

31/07-04H 10210 Menlo Ave
Capitol View Historic District

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
2 HISTORIC PRESERVATION COMMISSION

- 3 - - - - - X
- 4 HISTORIC AREA WORK PERMIT - : HPC Case No. 23/57-05A
4501 Olney Laytonsville Road :
5 :
6 - - - - - X
- 6 HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-04H
7 ~~10220~~ Menlo Avenue :
8 **10219** :
9 - - - - - X
- 9 HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-05D
3920 Baltimore Street :
10 :
11 - - - - - X
- 11 PRELIMINARY CONSULTATION - : Clarksburg Historic
12 23310 Frederick Road : District
13 :
14 - - - - - X

14 A meeting in the above-entitled matter was held on
15 April 27, 2005, commencing at 7:37 p.m., in the MRO
16 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
17
18 20910, before:

19 COMMITTEE CHAIRMAN

20 Julia O'Malley

21 COMMITTEE MEMBERS

22 Kimberly Protho Williams

23 Lynne B. Watkins

24 Lee Burstyn

25 Jeff Fuller

Nuray Anahtar

Deposition Services, Inc.

6245 Executive Boulevard

Rockville, MD 20852

Tel: (301) 881-3344 Fax: (301) 881-3338

info@DepositionServices.com www.DepositionServices.com

1 The next case is Case C, 10220 Menlo Avenue. Do we
2 have a staff report for this?

3 UNIDENTIFIED SPEAKER: Yes.

4 MR. LANGE: Excuse me, may I make one correction
5 first, which is that it is 219, not 220.

6 MS. O'MALLEY: All right.

7 MR. LANGE: 220 is on the other side of the street.

8 MS. O'MALLEY: Thank you. All right.

9 MS. TULLY: Okay. I will proceed with the staff
10 report. The project at 10209 Menlo Avenue is a vacant lot
11 within the Capital View Park Historic District. The
12 Commission first heard this case on October 15, 2004 and it
13 was continued at that time.

14 Since then, the applicants have completely
15 redesigned their proposal, which -- well, redesigned the
16 house. The proposal is for a new single-family residence on
17 the property. The new design, as you see in the staff
18 report, is markedly better than what was originally presented
19 and as before, staff reviewed the project for its impact on
20 the adjacent Lane house and the historic district as a whole.

21 The new project, although it had a boxy footprint,
22 does have airy roof lines and it has the appearance of a one
23 and a half story building while allowing for a second full
24 story that the applicants are looking for. It also has a
25 screened two-level rear porch, as opposed to a more suburban

1 deck.

2 There are really only two main concerns that staff
3 has with the project. One is with the size of the footprint
4 and the other is the rear porch roof. The proposed rear
5 porch as it is, is incorporated into a main roof.
6 Unfortunately, I don't have that electronically but as you
7 can see in the staff report, it is continuous with the house
8 and staff believes that it would be more appropriate to the
9 district and break up the massing a bit more if the rear
10 porch had a separate roof structure.

11 Additionally, the second major request that staff
12 has is that the width of the house be narrowed to allow for a
13 smaller footprint and be more in keeping with the rest of the
14 historic district. I will note that the most recent new
15 construction approved in the Capital View historic district,
16 is the project on Meadowneck Court and that particular house
17 happens to also be 30 feet wide I just actually discovered.

18 Some other items that staff is recommending as
19 condition to approval, would be that the windows be wood or
20 aluminum clad wood with simulated divided lights; that there
21 not be any vinyl products installed, that the railings would
22 be wood with inset pickets, that the exact details of the
23 rear screen porch would be approved at staff level, tree
24 protection measures be in place to protect trees on the lane,
25 the property and, of course, the typical permit sets. That

1 would be reviewed and stamped by staff.

2 And the applicants can certainly clarify this, but
3 it is I do believe that except for items one and two, they
4 are generally okay with the rest of the conditions. They
5 just want to specify on the drawings at this time and I'm
6 sure that they can clarify that for you. I'm also happy to
7 answer any questions. I have pictures of the vacant lot and
8 adjacent properties if you wish to refamiliarize yourself.

9 MS. O'MALLEY: Would any of the staff or the
10 commissioners like to see these pictures?

11 MS. TULLY: I believe most of the them have visited
12 the site. Are there any questions for staff?

13 MR. LANGE: Not a question but more a comment. My
14 name is James Lange, L-A-N-G-E. I'm an attorney and I'm also
15 the agent for the Brill Monahan couple who own this property
16 and they are going to do this development.

17 The only thing we noticed was that the narrowness
18 of the house, the 30 feet, we may need a foot or two more
19 than that, basically because of the plumbing. Now, we're
20 working with the plumber and the architect to try and get it
21 down to 30 feet, but at the moment, that is our only problems
22 as I say and it would only be a small difference. That is
23 the only difficulty we have. Other than that, we are totally
24 in agreement with the Commission's recommendations.

25 MS. O'MALLEY: All right, thank you. Are there --

1 MR. BURSTYN: Madame Chairman?

2 MS. O'MALLEY: Yes.

3 MR. BURSTYN: Yes, based on the recent observation
4 of the applicant, I would recommend that the width of the
5 house be 32 feet since he said he's fine with that and it
6 seems to me that we could work with him. He's come down
7 three; we'll go up two. So I don't know what the feelings
8 are with that, but it seems it's not going to make a big
9 difference in the site of the house.

10 And I'm just looking at the plans, I think to me,
11 it sounds like a reasonable recommendation.

12 MS. WATKINS: And I think you're to be commended.
13 I think you've really worked to do what we've asked and that
14 the second proposal is a wonderful improvement over the first
15 house. Thank you for listening.

16 MR. LANGE: Thank you. As I say, we have no
17 objection to the extension of the two feet. As I say, we are
18 working with the plumbers and the architect to try and get it
19 squared away somehow.

20 MS. WILLIAMS: Well, what is the square footage on
21 the proposed house plan?

22 MR. LANGE: Oh, without --

23 MS. MONAHAN: Where? When? As it stands?

24 MS. WILLIAMS: Yes.

25 MS. MONAHAN: Three thousand.

1 MS. WILLIAMS: Just as it's presented, the
2 proposed?

3 MS. MONAHAN: Yes.

4 MS. WILLIAMS: Okay.

5 MR. LANGE: And the lot itself is 50 feet wide,
6 which was required in 1887 when they subdivided it, but it is
7 205 or 6 feet deep.

8 MR. FULLER: Have there been any discussions between
9 you and staff as to how you would address the second
10 condition, the separation of the porch roof from the main
11 roof?

12 MR. LANGE: Discussions, no.

13 MS. TULLY: The architects are working on it.

14 MR. LANGE: Yes.

15 MS. TULLY: I sent sort of a non-structural
16 engineer, my rough guess of the suggestion. I was suggesting
17 a low hip. I don't think I included that sketch.

18 MR. FULLER: But you're still considering a two
19 story porch? It's not a --

20 MS. TULLY: No. No, no, no. I think the two story
21 porch is fine, but what I was suggesting is that the porch
22 itself, just should have a separate roof structure so it
23 looks like, you know, a porch that's been put on the back of
24 the house as opposed to just an extension of the whole house.

25 MR. FULLER: And are you asking to see that or do

1 you want to see that before it gets into final construction
2 drawings or do you want to just go ahead and --

3 MS. TULLY: I believe the intent of the condition
4 is that I would see that before they get to the construction
5 drawing stage.

6 MR. FULLER: That's all I'm getting to. It's very
7 -- both one and two are fairly big changes and I think it
8 would be in everybody's best interest, at least we submit a
9 quick schematic of how you implement the two issues.

10 MS. TULLY: Okay. You would want that to staff or
11 you would want that to the Commission?

12 MR. FULLER: No, staff is fine.

13 MS. TULLY: Okay.

14 MS. WILLIAMS: It looks to me like that
15 intersecting gable over -- I mean at the porch roof which
16 forms an intersection gable with the main roof is also
17 covering a section of the house. I mean of the addition.
18 It's not just the porch. So, how are you going to do a
19 different roof over the porch? How are you going to connect
20 it then?

21 MS. TULLY: What I was thinking is that on Circle
22 10, if you look at the right elevation and just took the back
23 wall of the house and drew it up, say you would just have a
24 gable end there. And then the porch roof would be a low hip.
25 You just whack off the top of that.

1 MS. ANAHTAR: But structurally, it doesn't seem
2 possible.

3 MS. TULLY: Okay. Well, that's why we have --

4 MS. ANAHTAR: The dormer on the left-hand side is
5 fanning out over the porch, right, which is what C7 --

6 MS. TULLY: It's the back of the house.

7 MS. ANAHTAR: Oh, I was, okay, I'm sorry. I wasn't
8 thinking about that, okay.

9 MS. TULLY: That's all right. You still have --

10 MS. ANAHTAR: I'll come back to that later. I
11 wasn't thinking of that side.

12 MS. WRIGHT: I think how a main porch roof connects
13 to that rear gable is going to be a little bit tricky and I
14 think that we will certainly look at whatever their architect
15 comes up with. I think the goal is not to create an odd
16 looking roof form, but simply to have the porch read as a
17 porch and maybe it ends up being just like a shed and roof
18 somehow connected in with that rear gable.

19 MR. FULLER: Attempting, the main body of the
20 house almost has to get higher to make that higher, but
21 anyhow, the problem is to me, it's more than something you
22 want to see as a final construction drawing. You just want
23 to see a sketch to make sure everybody feels comfortable with
24 it.

25 MR. LANGE: I'm not an architect. Historian, yes;

1 architect, no. But, I do feel that by a simple change in the
2 angle of the roof, that will the differentiation so that when
3 a person looks at it, they can tell that it is part of a
4 porch roof, rather than part of the house roof.

5 MS. O'MALLEY: Well --

6 MS. ANAHTAR: Can I talk about the front porch
7 there?

8 MR. LANGE: Sure.

9 MS. ANAHTAR: The dormer on the left-hand side is
10 actually over the porch. I don't know what the depth of that
11 porch is, but structurally, you need to support that dormer.

12 So, when I look at the porch columns, maybe if there
13 aligning with the sides of the dormer where you have the
14 front stairs, right in the middle it's going to perish, both
15 structurally and aesthetically.

16 MR. LANGE: I tend to agree.

17 MS. WILLIAMS: The other issue with the dormers is
18 we're reducing the width of the house. I kind of worry that
19 those dormers start to become more than dormers. They're
20 going to occupy basically the whole front elevation and so, I
21 worry about a condition of just, you know, reducing the size
22 without seeing a revised elevation.

23 MR. FULLER: A senior or staff?

24 MS. WILLIAMS: My staff can see it, but that is a
25 concern that proportionally --

1 MS. TULLY: Sure.

2 MS. WILLIAMS: -- as it starts to get very heavy --

3 MS. TULLY: Uh-huh.

4 MS. WILLIAMS: -- the dormers. I mean they are
5 already really big dormers.

6 MS. TULLY: Right. Well, I guess my assumption of
7 staff is that as they reduce the width of the house, those
8 would, you know, reduce as well, proportionately. I mean,
9 we'll have to see the sketches.

10 MS. WILLIAMS: I'd like to see that. I mean, I'd
11 just like to make sure the staff would confirm that.

12 MS. ANAHTAR: They can combine them and make it a
13 single dormer.

14 MR. FULLER: Yeah, there's a couple ways.

15 MS. ANAHTAR: Rather than having two heavy ones.

16 MR. FULLER: There's a couple ways you can do it.

17 MS. ANAHTAR: My other question is you got in this
18 diamond shaped window, is it in the staircase above this
19 window?

20 MS. MONAHAN: Yes, it is. It's way about the
21 stairwell.

22 MS. ANAHTAR: So I agree with that window.

23 MR. FULLER: I'm not that worried as a new house
24 springing up. All right, then why don't I try a motion that
25 we approve Case 31/07-04H based on staff recommendations with

1 the following changes: Condition number one be modified, the
2 house would be reduced to 32 feet or less; that condition
3 number two be revised to read that the revised elevations be
4 submitted to staff at a schematic level addressing the front
5 rear porches and dormers and the remaining conditions remain
6 as stated.

7 MS. O'MALLEY: Is there a second?

8 MS. WILLIAMS: Second.

9 MS. O'MALLEY: Any more special? All in favor,
10 raise your hands. It's unanimous. Thank you very much.

11 MR. LANGE: Thank you.

12 MS. O'MALLEY: This is a wonderful improvement.

13 MR. LANGE: Well, we're glad we could do it.

14

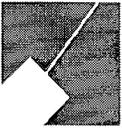
Tully, Tania

Subject: Kevin McCullough
Entry Type: Phone call
Start: Fri 11/17/2006 9:53 AM
End: Fri 11/17/2006 9:53 AM
Duration: 0 hours
Responded: -1

re: driveway construction
301-370-4904

Spoke with the owners about the driveway. They wish to proceed without off-street parking.

I said that was fine.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MONTGOMERY COUNTY PLANNING DEPARTMENT

November 15, 2006

MEMORANDUM

TO: Julia O'Malley, Chair
Historic Preservation Commission

FROM: Tania Tully, Senior Planner
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Driveway revisions to approved HAWP at 10219 Menlo Ave, Capitol View Park

-
- The approved site plan (circle 2) shows a 20'x12' driveway on the N property line.
 - The site plan stamped by Staff shows a driveway that extends along the N property line to the rear of the house. It is 10' wide narrowing to 8'.
 - A roughly 10'x30' asphalt & concrete drive was removed as part of the construction process.

Can this be approved at Staff level?

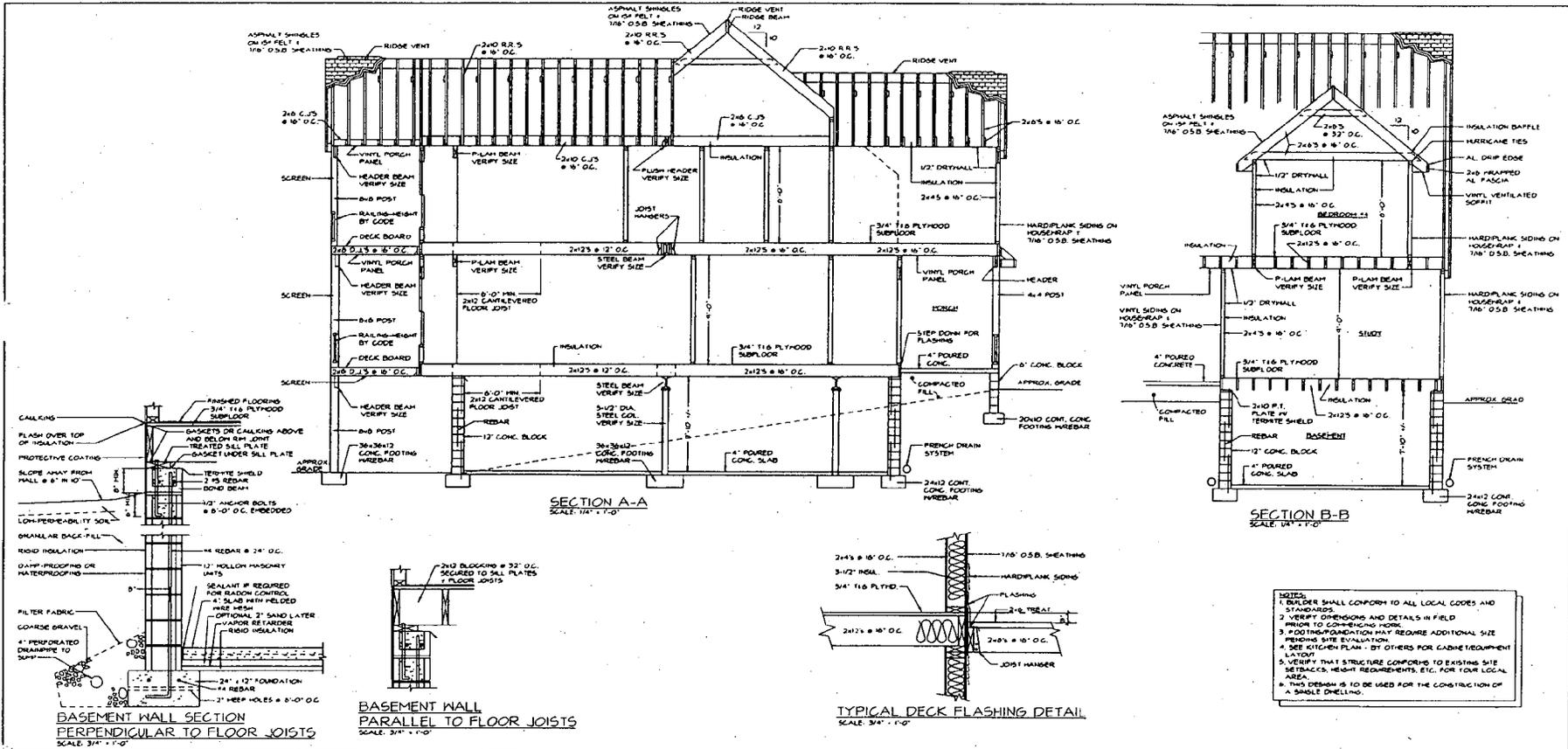
The current proposal is for a 20'x20' buff tinted concrete parking pad.

Circle 3

Circle 4

Must come back as HAWP

Also must explore maintenance of access to the adj historic site.
Perhaps a shared driveway



NOTES:

1. BUILDER SHALL CONFORM TO ALL LOCAL CODES AND STANDARDS.
2. VERIFY DIMENSIONS AND DETAILS IN FIELD PRIOR TO COMMENCING WORK.
3. FOOTING DIMENSION MAY REQUIRE ADDITIONAL SIZE PENDING SITE EVALUATION.
4. SEE SITE PLAN - BY OTHERS FOR CADING REQUIREMENT LAYOUT.
5. VERIFY THAT STRUCTURE CONFORMS TO EXISTING SETBACKS, HEIGHT REQUIREMENTS, ETC. FOR YOUR LOCAL AREA.
6. THIS DESIGN IS TO BE USED FOR THE CONSTRUCTION OF A SINGLE DWELLING.

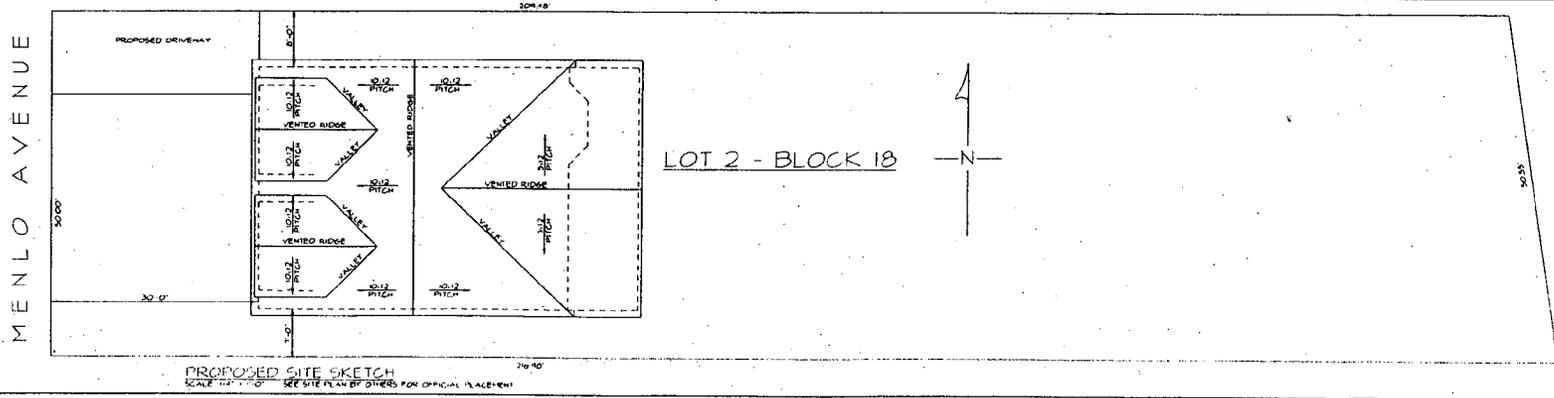
PLANETBLUEPRINTS.COM
Your Plans. Your Way. Online.
4129 Highway One
Rehoboth Beach, De 19971
(302) 226 9509
An O'Connor CAD Services Company

PROJECT
MONAHAN/BRILL RESIDENCE
CAPITOL VIEW PARK
SILVER SPRING, MD

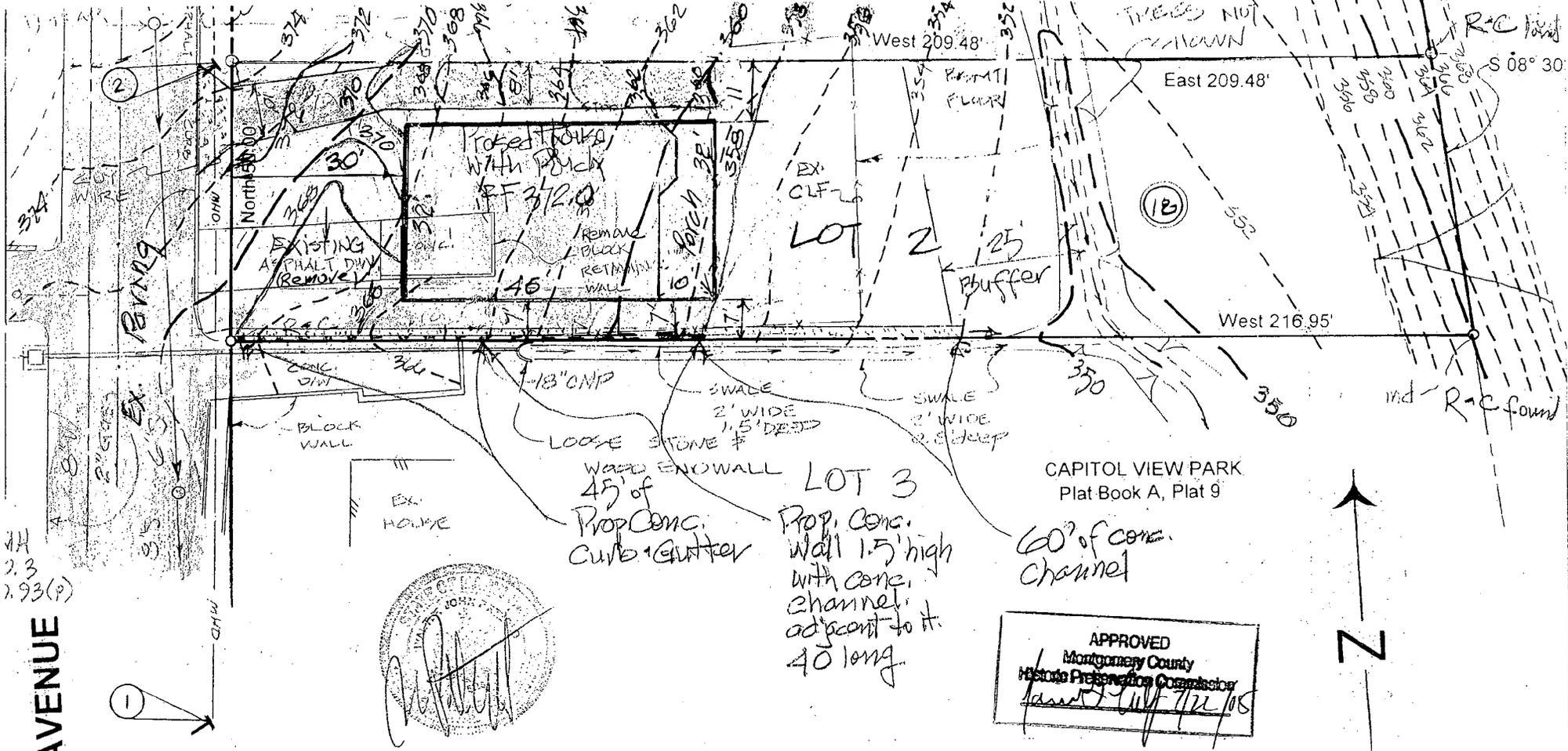
SCALE: AS NOTED
DRAWN BY: ECD
DATE: 3/31/05
REVISIONS:

SECTIONS, DETAILS,
NOTES AND SITE SKETCH

SHEET
A3



2



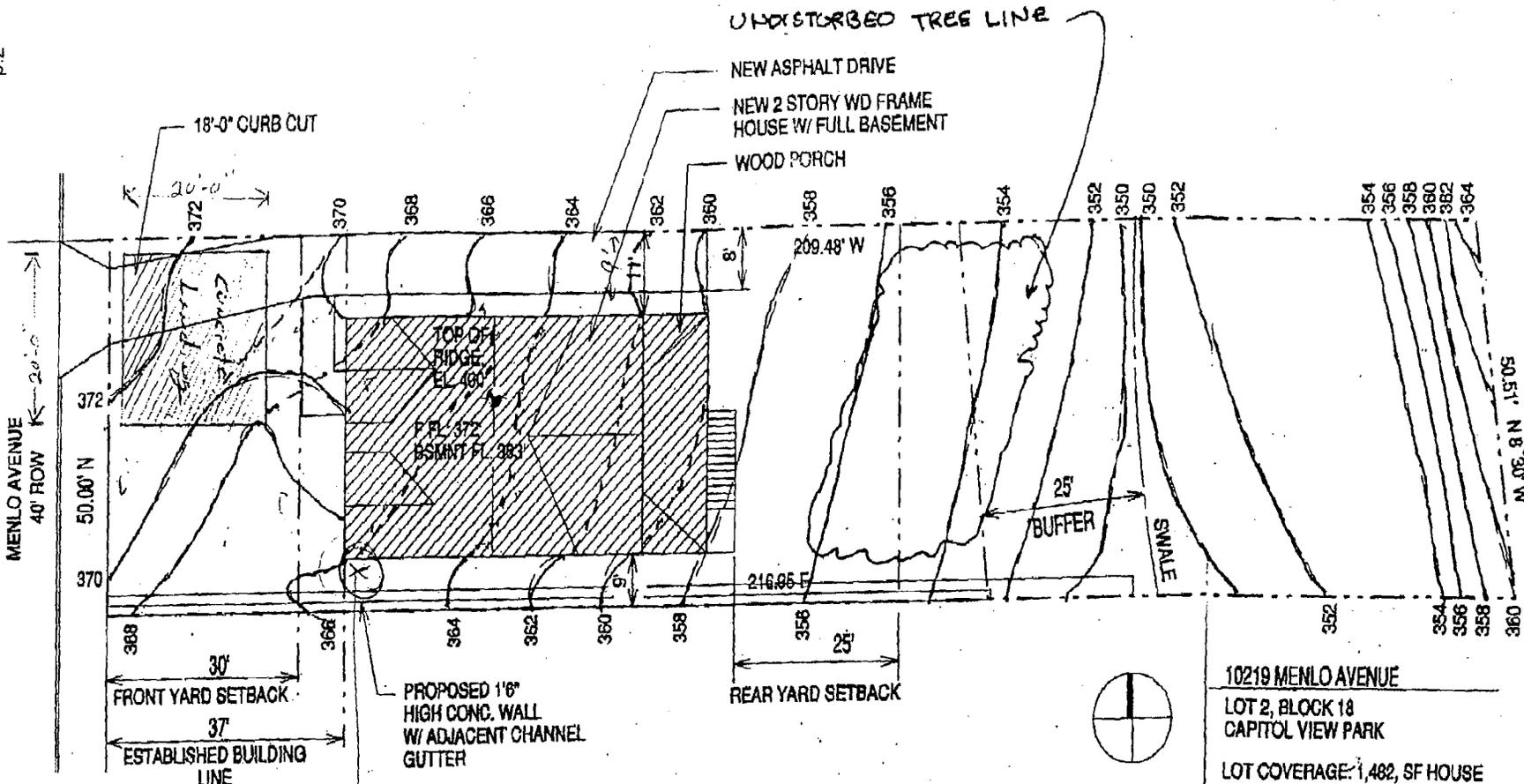
MENLO AVENUE
40' R/W

114
2.3
2.93(P)

OYSTER, IMUS & PETZOLD, INC.
CIVIL ENGINEERS • LAND PLANNERS • SURVEYORS
11230-B GRANDVIEW AVENUE • WHEATON, MARYLAND 20902 • (301) 949-2011

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/22/05

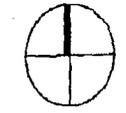
SITE PLAN
CAPITOL VIEW PARK
Lot 2, Block 18
Scale: 1" = 20'



A
SITE PLAN
1" = 20'-0"

RIGHT SIDE
OF HOUSE
FOR METER

391989



10219 MENLO AVENUE
 LOT 2, BLOCK 18
 CAPITOL VIEW PARK
 LOT COVERAGE: 1,482, SF HOUSE
 320 SF, PORCH
 LOT COVERAGE: 1,802, SF TOTAL
 LOT AREA: 10,880 SF TOTAL
 % COVERAGE: 17%





11/06



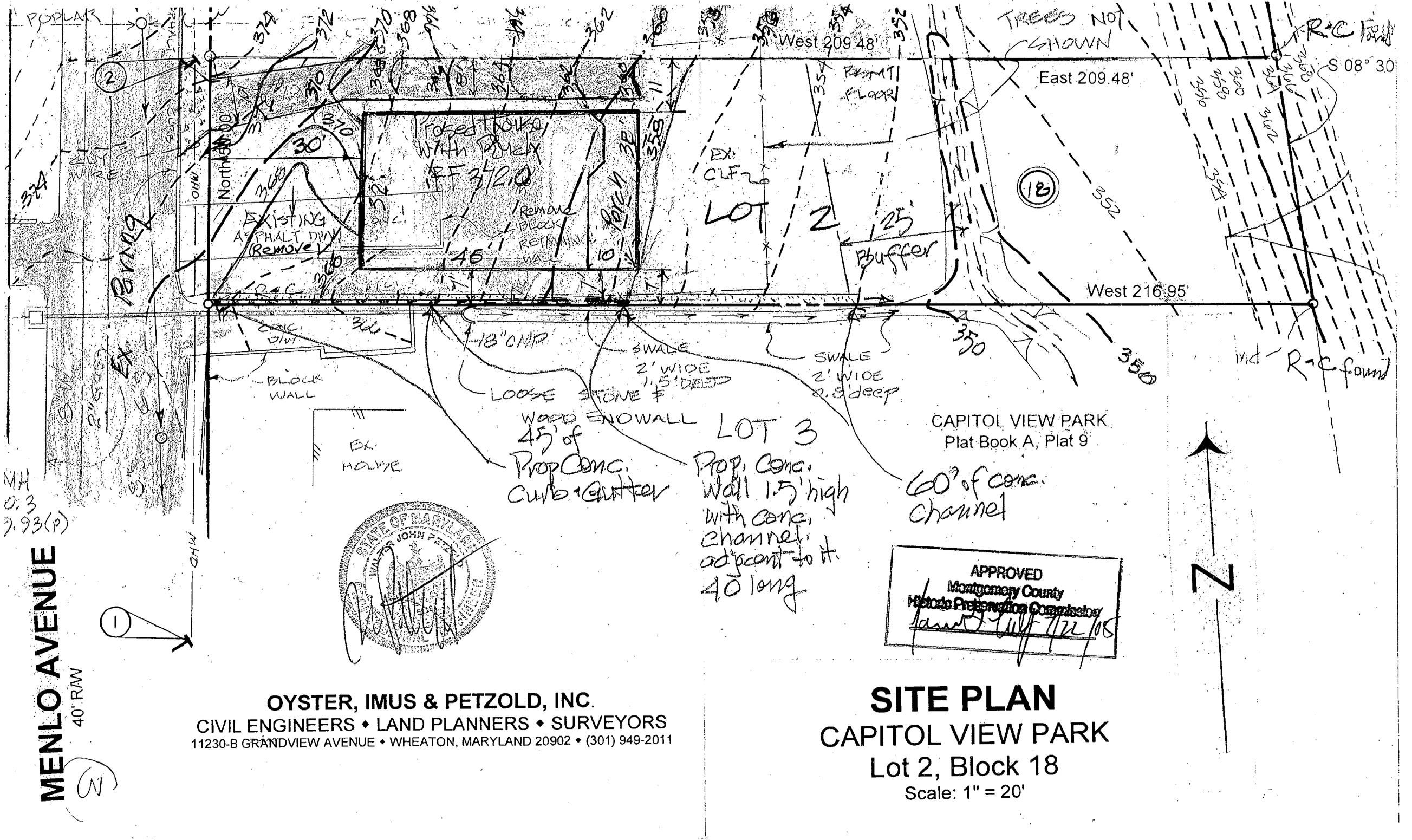
10/04



11/06



01/06



MH
0.3
2.93(P)

MENLO AVENUE
40' RAW

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11230-B GRANDVIEW AVENUE • WHEATON, MARYLAND 20902 • (301) 949-2011



APPROVED
Montgomery County
Historic Preservation Commission
Janet Luff 7/22/05

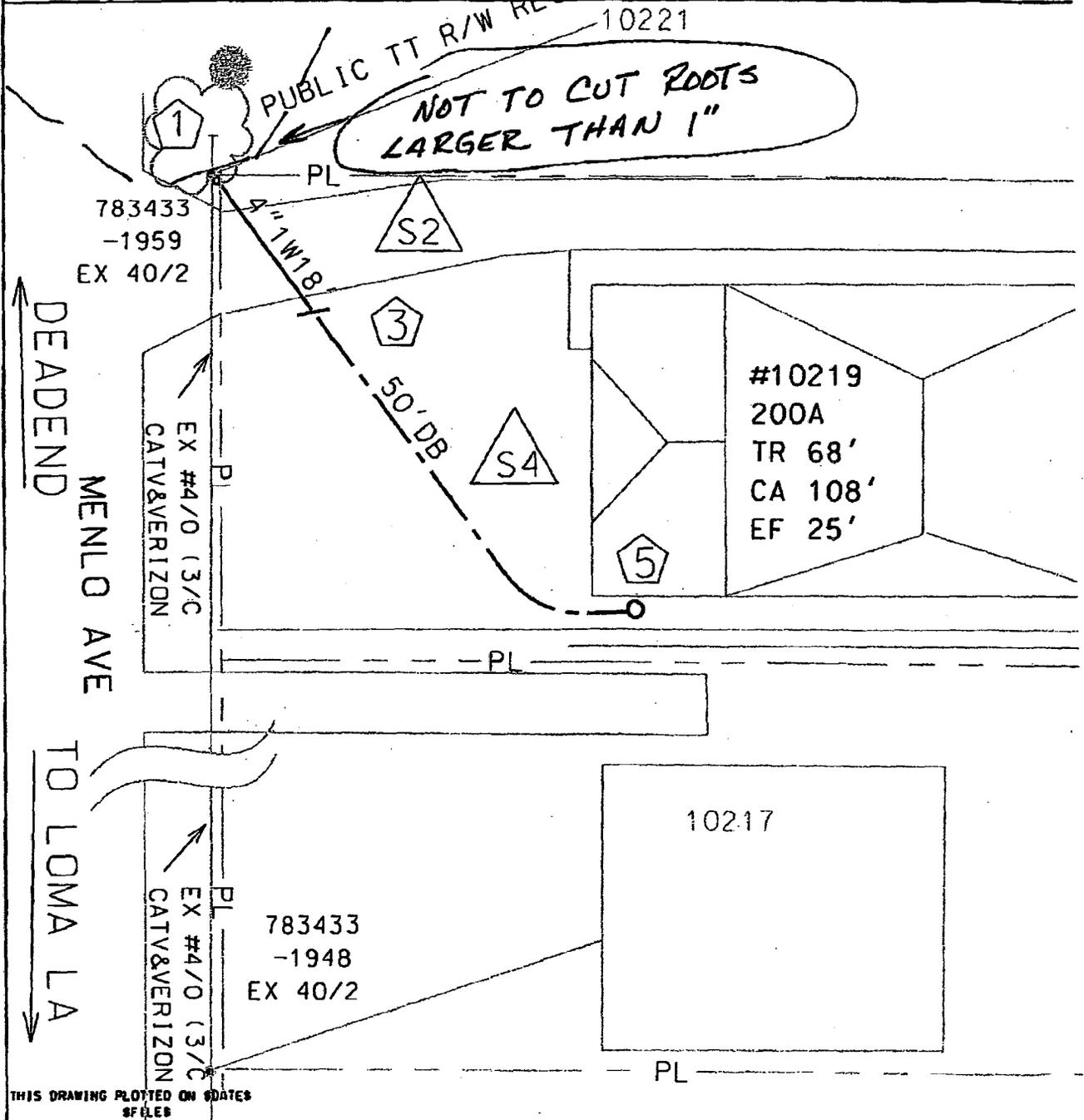
SITE PLAN
CAPITOL VIEW PARK
Lot 2, Block 18
Scale: 1" = 20'



A PHI Company

WR # 3156200	Proj. ID:	Custor
Date: 8/30/06	Reference WR:	
DsgnrName: A.P.	DesgnrPh.#: 301-	
CktName	Ckt#: 14272	Descri
Protective Device Type:		RESID
Protective Device ID:		Class
OH permits:	UG permits:	Jurisdic

Permits: NEED COUNTY PERMIT, PUBLIC OVERHEAD TREE TRIM



THIS DRAWING PLOTTED ON 08/31/06
SF LEB

state tree

ROADSIDE TREE CARE

Permission is given to work within the standards set forth in the Natural Resources Article, 5-209 and 5-406, Regulations 08.07.02.07 C-D-E.

Regulation 08.07.02.07 C – Ground Disturbance Requirements.

- (1) The requirements set forth in this section:
 - (a) Are intended to protect roadside trees during construction, installation, and maintenance of a structure requiring excavation;
 - (b) Apply to underground utilities such as:
 - (i) Sewers,
 - (ii) Water and gas pipes,
 - (iii) Storm drains,
 - (iv) Electric, telephone, and television cables or conduits
 - (v) Sidewalks,
 - (vi) Driveways, or
 - (vii) Roadways or similar structures.
- (2) A permittee shall take all necessary measures to protect roadside trees from damage during construction and associated activities.
- (3) Damage sustained by a tree, such as broken limbs, roots, or scarred trunks, including compaction damage, shall be repaired by the permittee.
- (4) The Forest Service shall supervise the measures taken to protect and repair roadside trees under this section.

Regulation 08.07.02.07 D. Protection of Tree Roots:

- (1) When an underground project subject to "C" of this regulation encounters the roots of a roadside tree, a permittee, in accordance with the guidelines in "D" (2) – (15) of this regulation or other criteria approved by the Forest Service, shall tunnel or bore under the tree or modify the project to protect the tree's root system.
- (2) For trees under 6 inches in diameter as measured 4 ½ feet above ground level, all machine digging shall stop at the drip-line of the tree, or where specified by the Forest Service.
- (3) For trees over 6 inches in diameter as measured 4 ½ feet above average ground level, all machine digging shall stop when roots of 1 inch or more in diameter are encountered, or when specified by the Forest Service.
- (4) Roots 1 inch or more in diameter may not be cut without approval of the Forest Service.

- (5) A tunnel or other method of modification of the project under or around the tree shall be used if considered necessary by the Forest Service.
- (6) The procedure noted in "D" (5) of this regulation also shall be used to approach the tree from the opposite side.
- (7) At least 24 inches of undisturbed earth shall remain over the tunnel or bore, or above other type of installation.
- (8) For operations using shallow trenching techniques up to 12 inches deep, care shall be taken to minimize root damage and protect the trunk of the tree.
- (9) Roots 1 inch or larger, damaged during construction, shall be sawed off close to the tree side of the ditch. Clean cuts shall be made at all times.
- (10) Installations affecting roadside trees shall be completed in as short a time as possible to prevent the drying out of exposed roots.
- (11) If considered necessary, the exposed root area within the ditch shall be watered and fertilized as directed by the Forest Service.
- (12) Tunnels shall be refilled and the soil tamped tightly to original firmness.
- (13) Trenches shall be filled to achieve and maintain original grade.
- (14) Excess soil shall be removed from the site or disposed of as directed by the Forest Service.
- (15) Unless otherwise directed by the Forest Service, the ground shall be fertilized and reseeded, cover shall be restored, and other procedures shall be followed as necessary to prevent erosion around trees.

Regulation 08.07.02.07 E. Violations of Roadside Tree Standards:

- (1) The Forest Service may require a person who fails to comply with "C or D" of this regulation to:
 - (a) Remove and replace a tree which dies within 1 year after the treatment activity is completed;
 - (b) Document for 3 years the condition of a tree which shows decline within 1 year after the treatment activity is completed; and
 - (c) Remove and replace a tree which dies after 3 years following the completion of the treatment activity, if the tree has been the subject of the documentation in "E"(1)(b) of this regulation.
- (2) The value of a tree to be replaced is determined as of the date of the violation.

POTOMAC ELECTRIC POWER COMPANY

Distribution Engineering - MARYLAND

8400B Old Marlboro Pike

Upper Marlboro, MD 20772

FACSIMILE COVER SHEET

DATE: 9-25-06

MESSAGE TO: ANNE FOTHERGILL

FAX #: 301-563-3412

PHONE #: _____

MESSAGE FROM: PEPCO
JOHN BLY

FAX #: 301-967-5830

PHONE #: 301-967-5812

NUMBER OF PAGES: 3 + COVER SHEET = 4

NOTE:

ANNE:
HERE IS A COPY OF JOB AND
MD. D.N.R. GUIDELINES.

GENERAL CONTRACTING
&
CONSTRUCTION, LLC

KEVIN T. McCULLOUGH
13305 GLEN MILL ROAD
ROCKVILLE, MARYLAND 20850

OFFICE 301-279-8836
FAX 301-279-0986

Tully, Tania

Subject: Kevin McKullah
Entry Type: Phone call
Start: Fri 4/21/2006 1:17 PM
End: Fri 4/21/2006 1:17 PM
Duration: 0 hours

Gen Contractor for the Brills

10219 Menlo Ave

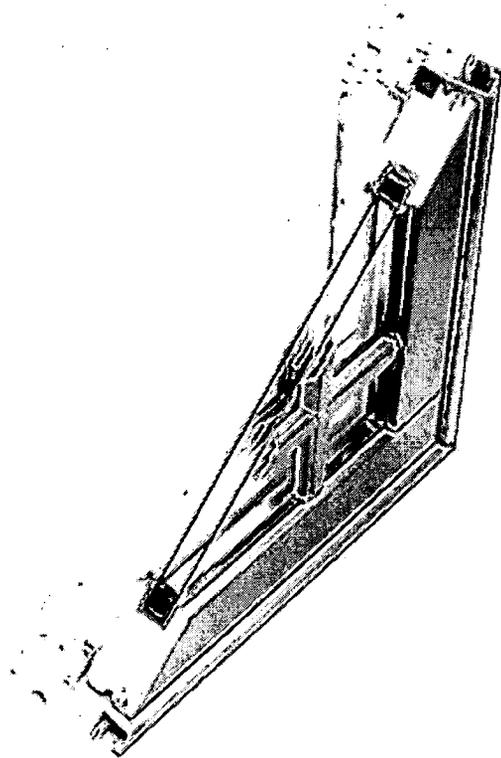
Purchasing Windows

Jeld-Wen - the reference we had does not exits, but the Tradition series plus does have SDL in & out

301-370-4904

Going with Tradition Plus Wood Windows by Jeld-Wen, SDL

http://www.jeld-wen.com/windows/wood/premium/product.cfm?product_id=38



Tully, Tania

From: Tully, Tania
Sent: Tuesday, May 31, 2005 5:04 PM
To: 'Patty Monahan'
Subject: RE: Architect's changes

Here is the current status of your HAWP.

CONDITIONS:

1. The width of the house is reduced to 32 feet or less. - **DONE**
2. The rear porch roof is redesigned such that it is separate from the main roof. - **DONE**
3. The windows will be wood or aluminum-clad wood simulated divided light windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance. **NEED THE WINDOW AND DOOR SCHEDULE, INCLUDING MANUFACTURER INFO (SPEC SHEETS FOR EACH TYPE OF WINDOW IS ALSO ACCEPTABLE)**
4. No vinyl products will be installed on the exterior of the house. **NEED CONSTRUCTION DRAWINGS FOR VERIFICATION (ONLY MAJOR MATERIALS INDICATED ON CURRENT DRAWINGS)**
5. All railings will be wood with inset pickets - the exact designs will be approved at the staff level. **NEED DETAILED CONSTRUCTION DRAWINGS**
6. The details of the rear-screened porch will be approved at staff level. **NEED DETAILED CONSTRUCTION DRAWINGS (I know you said that screening does come in widths wide enough to accommodate the current post spacing on the rear porch, but consider placement of the posts in locations that correspond with the windows and doors behind them)**
7. Tree protections measures are in place prior to beginning of any work to protect trees on the Lange House property. **NEED SITE PLAN SHOWING LOCATION OF TREE PROTECTION BARRIERS**
8. The applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits **OK TO HAVE THESE MADE**
9. Revised elevations drawings will be provided to and approved by staff prior to the completion of construction documents. **DONE**

Let me know if you have any other questions.
I look forward to receiving the construction drawings.

Tania Georgiou Tully
Historic Preservation Planner
Montgomery County Department of Park and Planning
8787 Georgia Avenue
Silver Spring, MD 20910
301-563-3400
301-563-3412 (fax)
www.mc-mncppc.org

-----Original Message-----

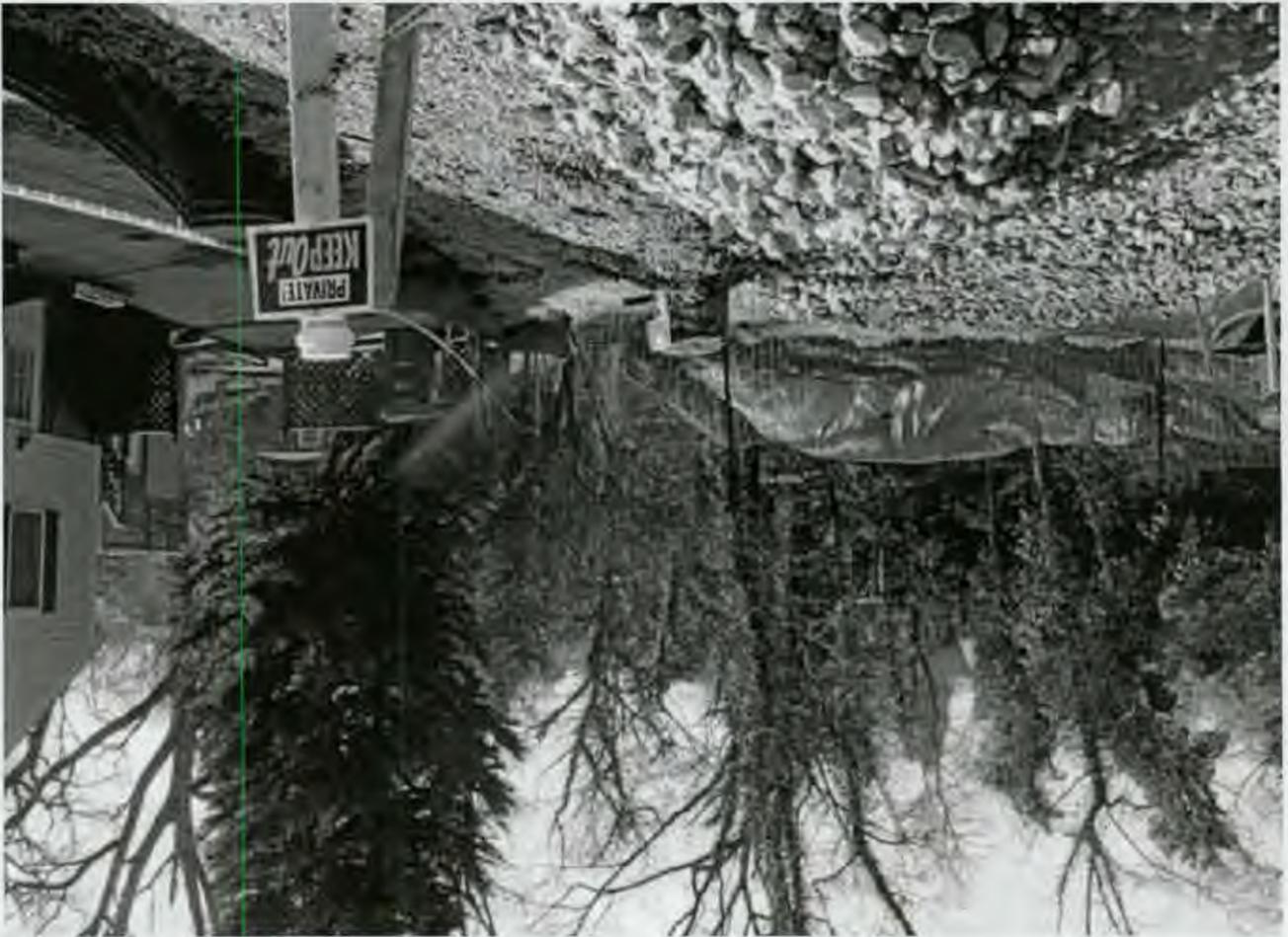
From: Patty Monahan [mailto:pattyb20@hotmail.com]
Sent: Tuesday, May 31, 2005 10:11 AM
To: Tully, Tania
Subject: Architect's changes

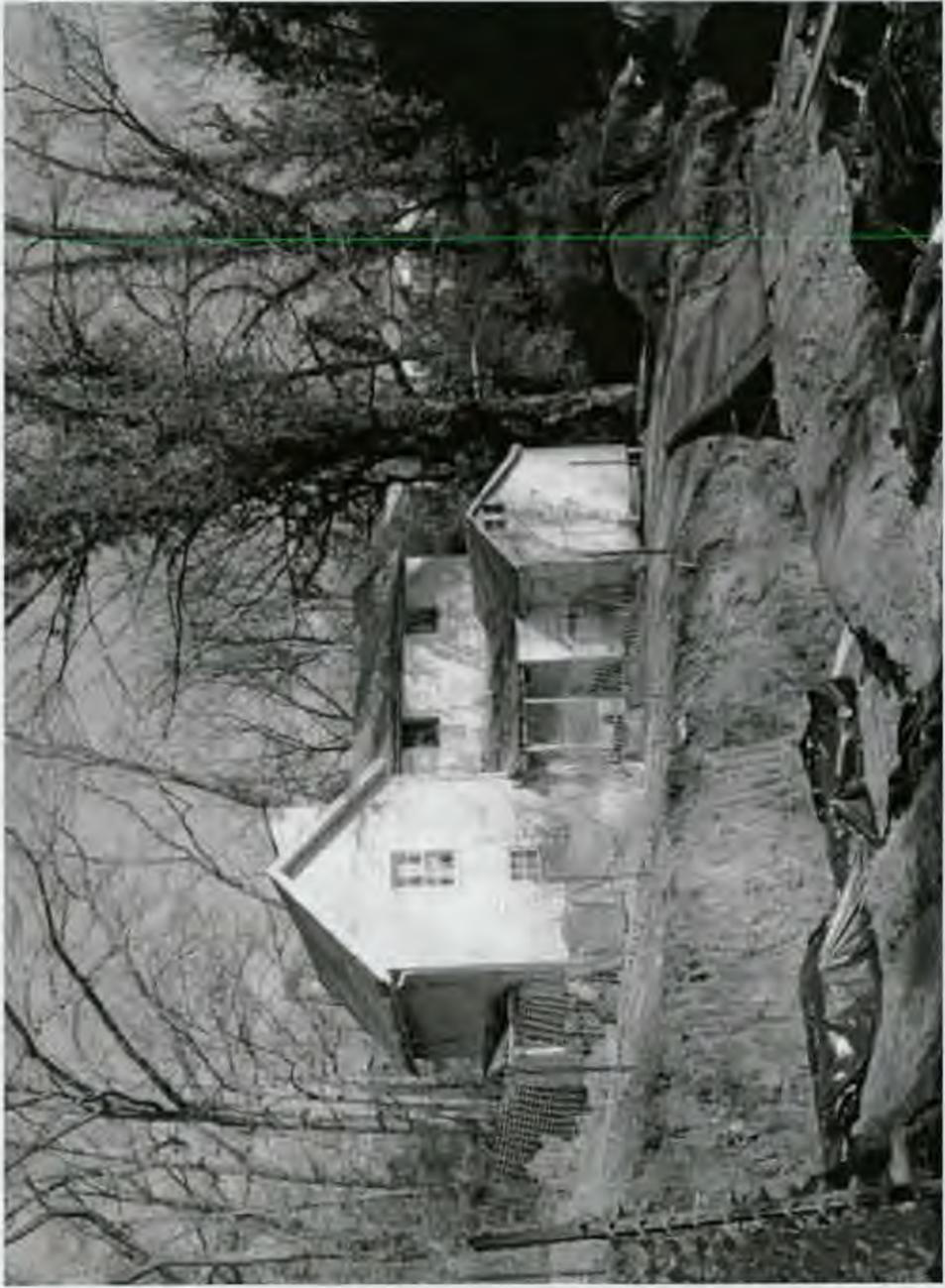
I am directly forwarding your messages to the architect so that there will be no miscommunications. He will know exactly what you are requesting by your messages. Please clarify exactly what is required for the plans to be finished. Thank you.

1/24/82









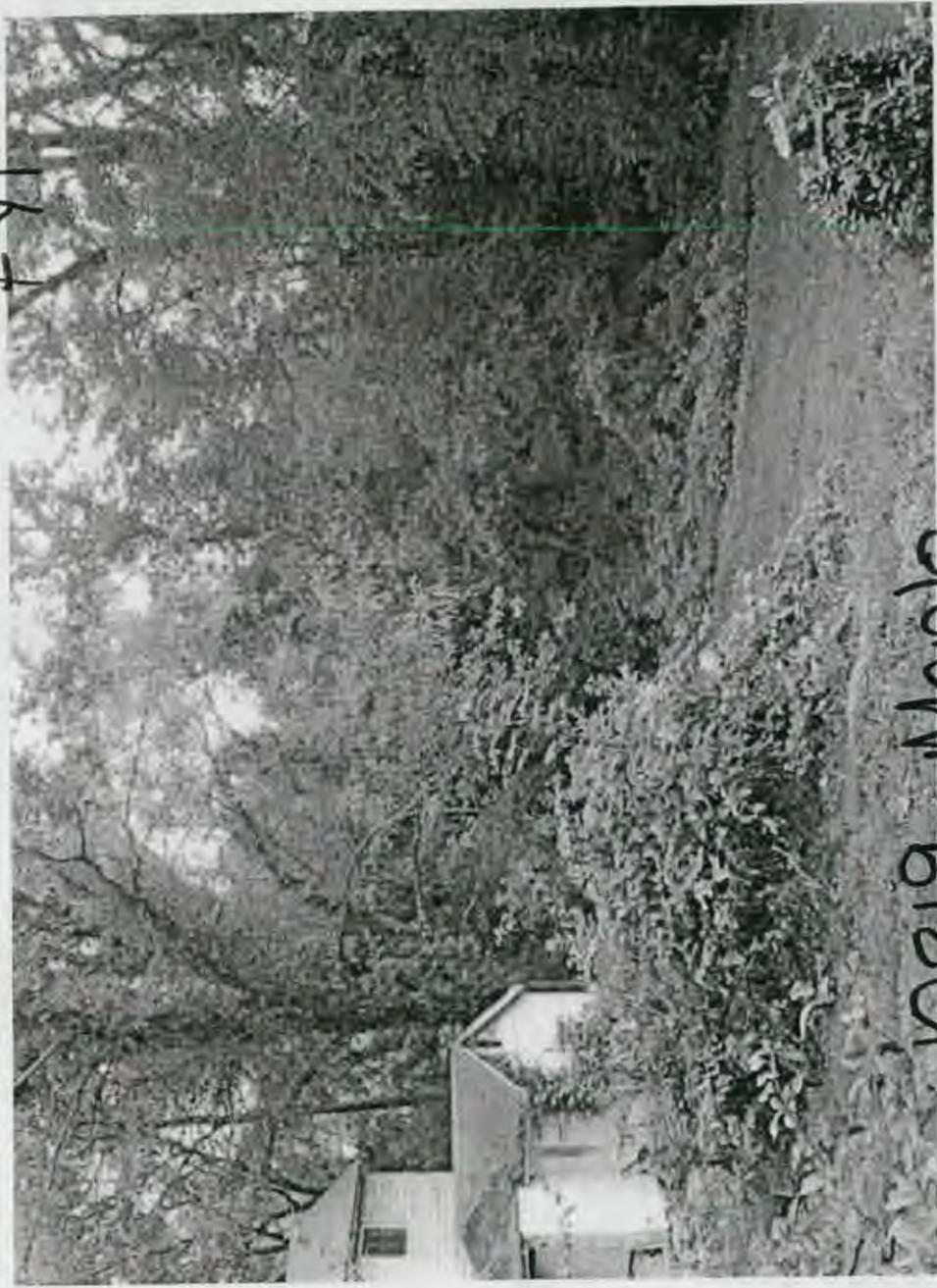


FYI



10219 Menlo.

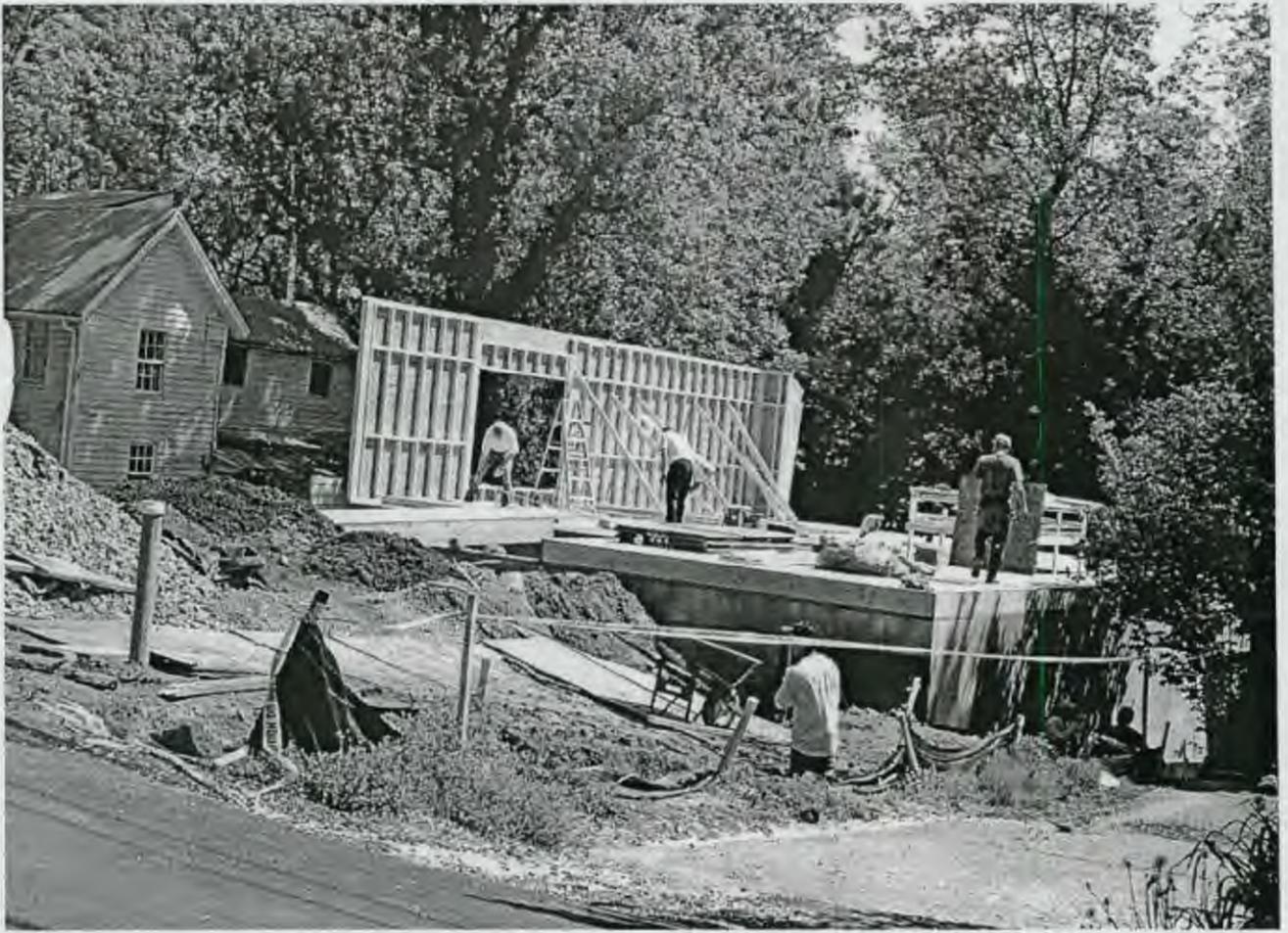




FR

10219 Menlo.





Brian Kim 301-370-3690

Tommy Howes 301-370-3675

Public Right Of Way

Permit/License: 238508

Please call 240-777-6320 to reach a representative.

Permit Number 238508
Application Date 07/27/2005
Issue Date 12/01/2005
Final Date
Work Type Construct - Driveway
Square Footage 0
Value \$.00

Site Address
10219 Menlo AVE
Silver Spring
MD 20910-
Lot - Block -
Subdiv.
Application Status
Permit Issued

Description	Status	Scheduled	Completed	Location
Field Investigation	Passed		10/19/2005	

Description	Status	Reviewer	Start Date	Complete Date
Bond Req'd.Update Bond Tracking	Approved	Laura King	07/27/2005	12/01/2005
Misc Row Permit Review	Approved	Jerome Oden	11/01/2005	11/01/2005
Signed Application	Approved	Laura King	07/27/2005	12/01/2005

Building Residential

Permit/License: 391989

Permit Number 391989
Application Date 07/27/2005
Issue Date 12/07/2005
Final Date
Work Type Construct - Single Family Dwelling
Square Footage 5009
Value \$500,000.00

Site Address
10219 Menlo AVE
Silver Spring
MD 20910-
Lot - Block -
Subdiv. -
Application Status
Permit Issued

Description	Status	Scheduled	Completed	Location
Permit Notification Sign	Passed	12/19/2005	12/19/2005	
Footing,Piers, Foundation	Failed	01/11/2006	01/11/2006	

Description	Status	Reviewer	Start Date	Complete Date
(Stormwater Requirements Met?)	Approved	Laura King	07/27/2005	08/19/2005
Architectural	Approved	Steve Thomas	11/19/2005	11/19/2005
Architectural	Denied	Steve Thomas	07/27/2005	07/27/2005
Architectural	Denied	Alan Kehr	09/13/2005	09/13/2005
Architectural	Denied	Steve Thomas	11/03/2005	11/04/2005
Architectural Screening	Approved	Rebecca Mason	10/10/2005	10/10/2005

Dps Zoning Review	Approved	Robin Ferro	10/13/2005	10/13/2005
Historic Preservation Plan Rvw	Approved	Tzu-Huei Adams	07/27/2005	07/27/2005
Hold For Contractor Lic Review	Approved	Tzu-Huei Adams	07/27/2005	07/27/2005
Hold For Contractor Lic Review	Approved	Rebecca Mason	10/12/2005	10/26/2005
Maryland Park & Planning	Approved	Wayne Cornelius	11/04/2005	11/04/2005
Mechanical	Waived			
Sediment Control No. Required	Approved	Laura King	07/27/2005	08/09/2005
Structural	Approved	Steve Thomas	11/03/2005	11/19/2005
Subdivision Development Review	Approved	Edward Myers	12/05/2005	12/05/2005
Wash Suburb Sanitation Commsn	Approved	Angela Bell	07/27/2005	12/05/2005

Sediment Control Permit

Permit/License: 219630

Permit Number 219630

Application Date 07/27/2005

Approved Date 08/08/2005

Final Date

Work Type Disturb

Value \$.00

Phase Name CAPITOL VIEW PARK

Site Address

10219 Menlo AVE
Silver Spring
MD 20910-

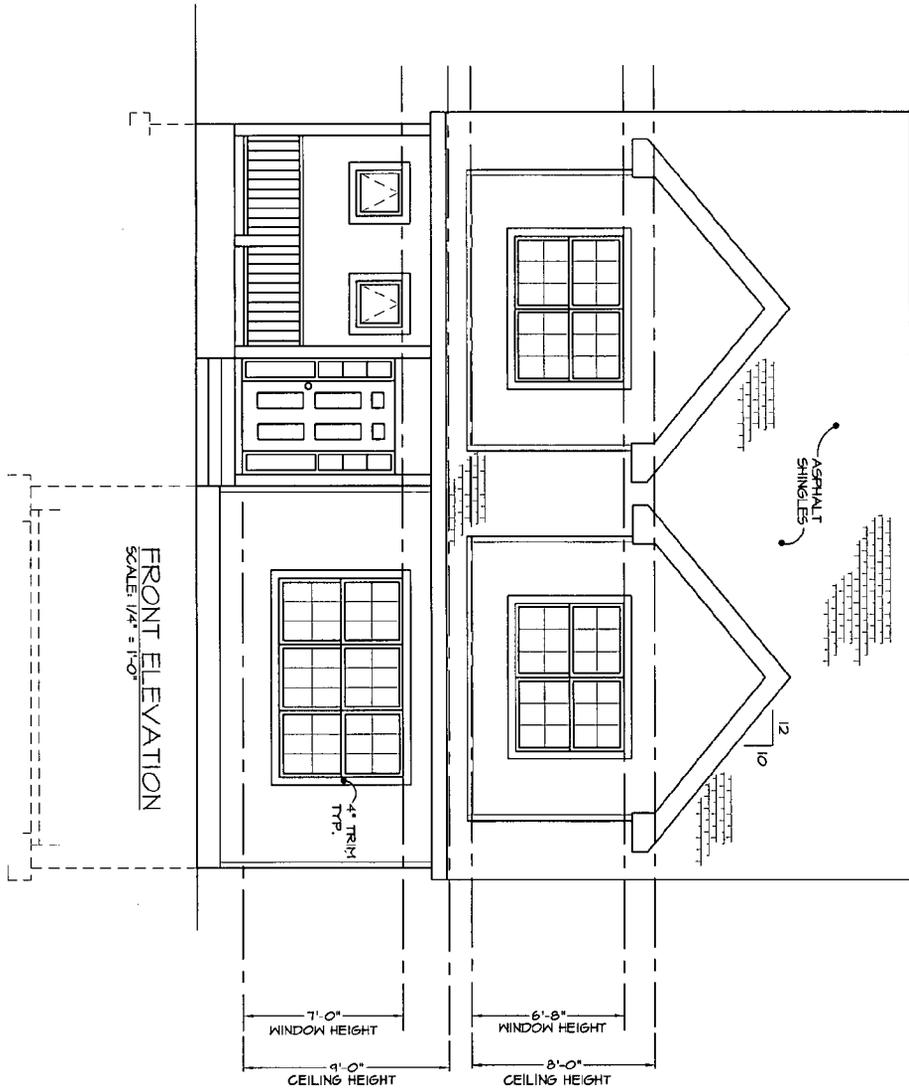
**Lot - Block -
Subdiv. -**

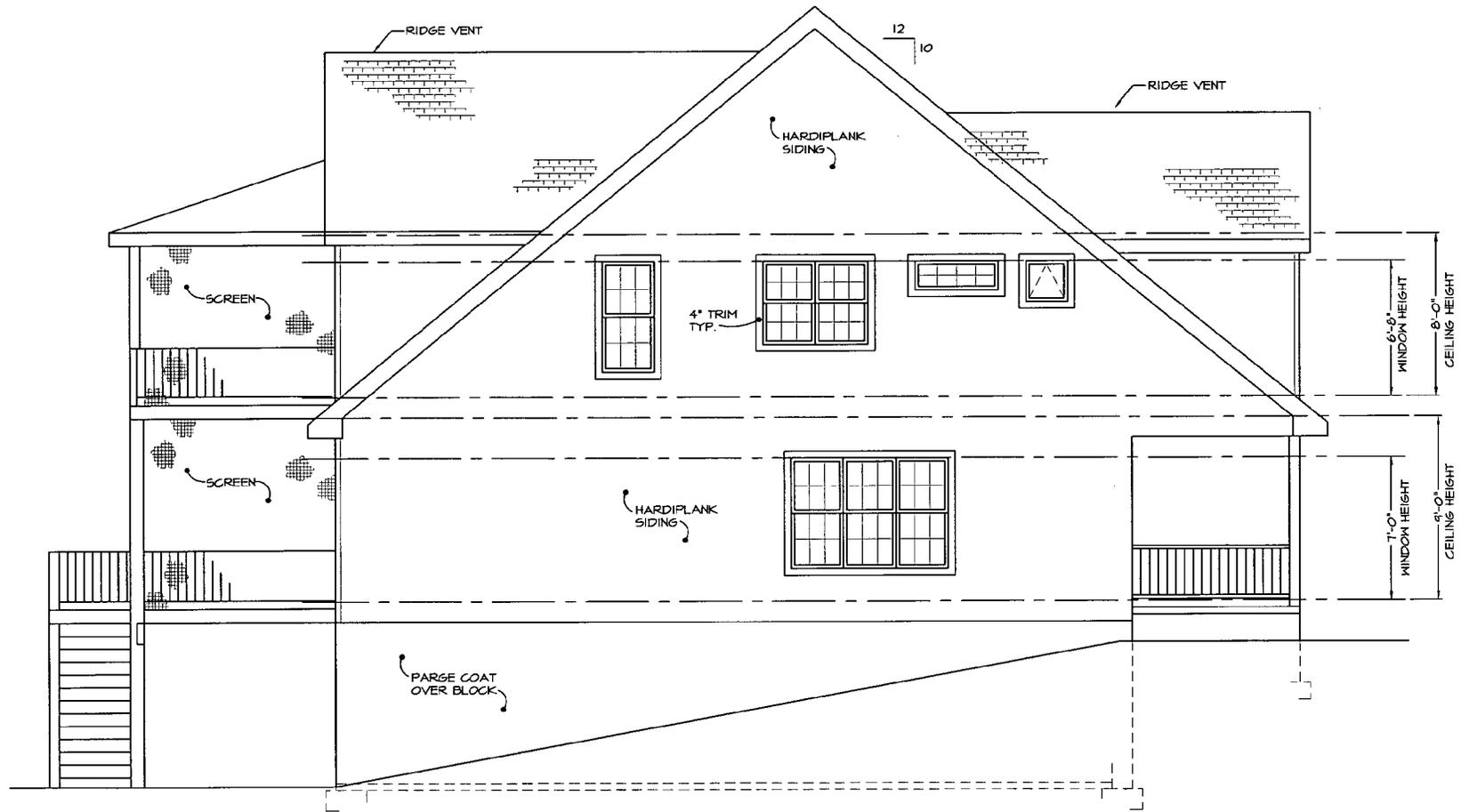
Application Status

Permit Issued

Description	Status	Scheduled	Completed	Location
Complaint	Passed		01/17/2006	
Sediment Control Maintenance	Passed	01/10/2006	01/10/2006	
Sediment Control Maintenance	Failed	01/06/2006	01/06/2006	
Sediment Control Maintenance	Failed		01/03/2006	

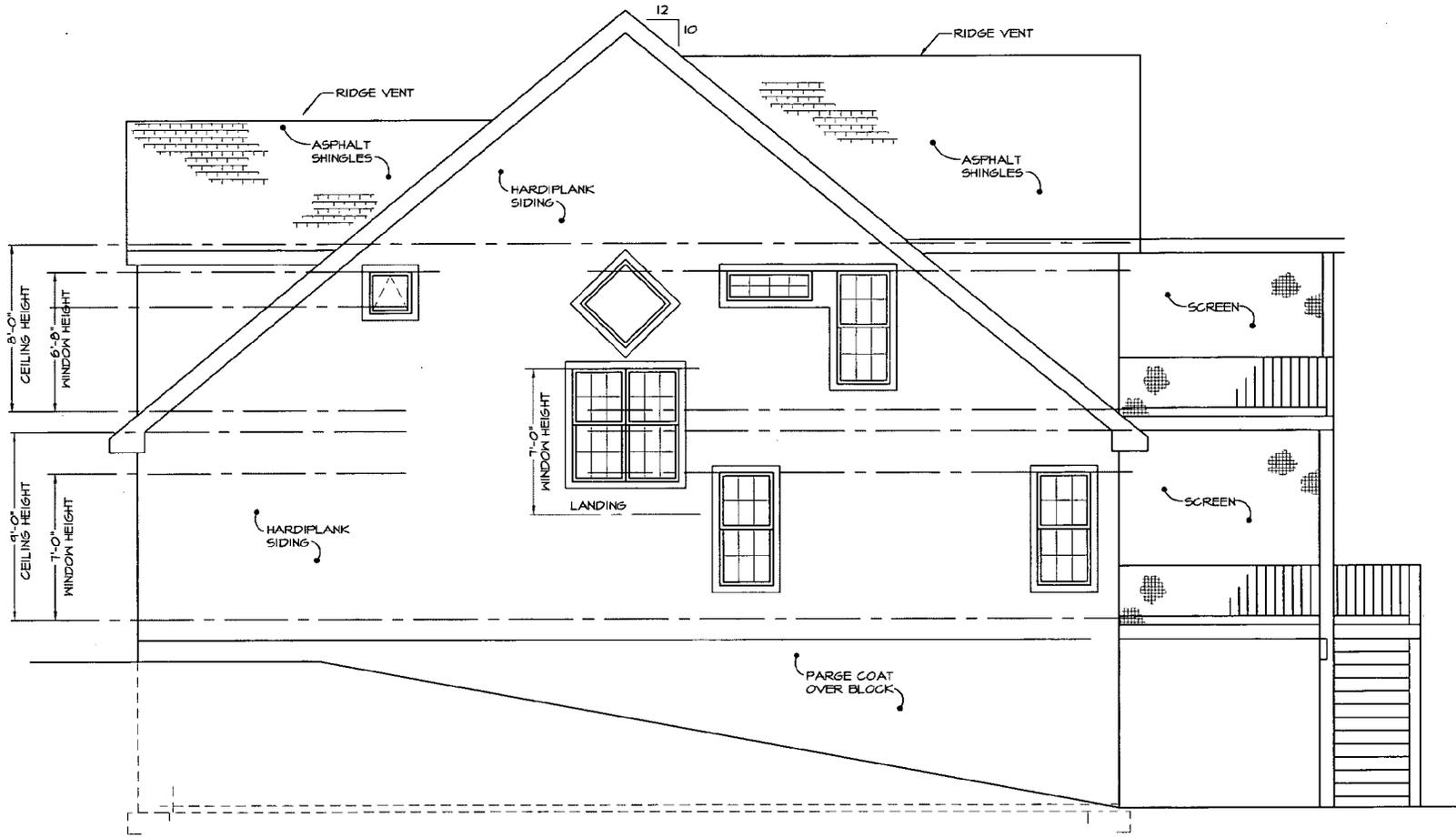
Description	Status	Reviewer	Start Date	Complete Date
Forest Conservation Requiremnt	Not Applicable	Laura Granger	07/27/2005	07/27/2005
Sediment Control Review	Approved	David Kuykendall	08/02/2005	08/08/2005





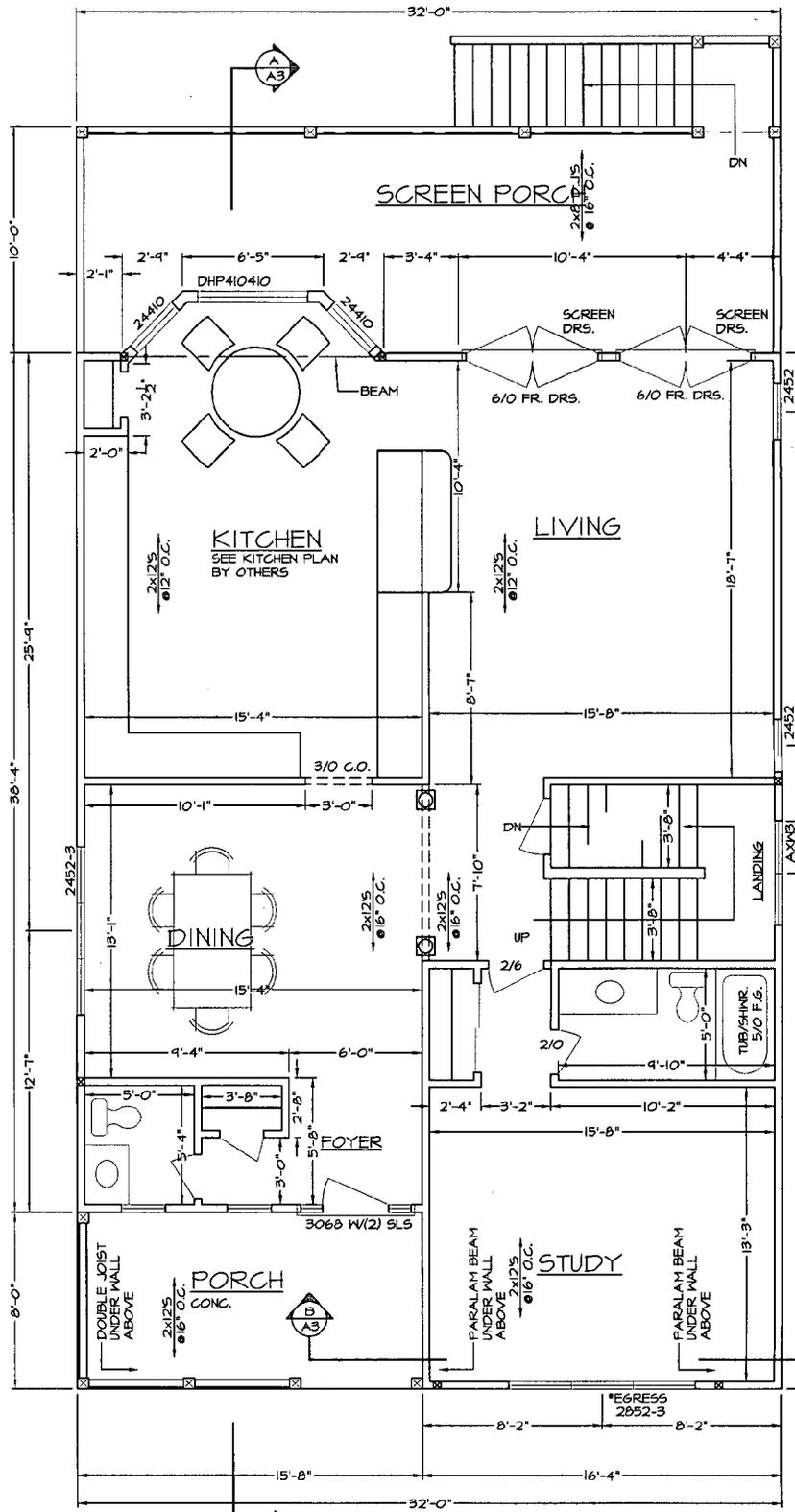
LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

REVISED 5/25/05

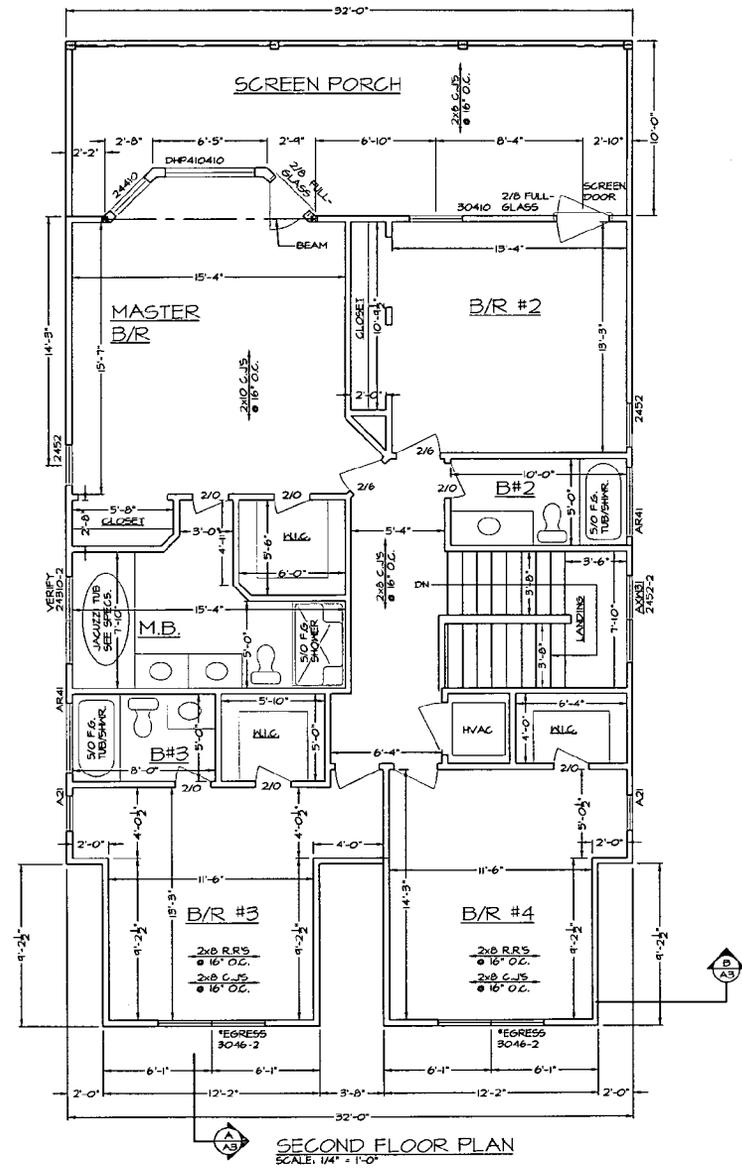
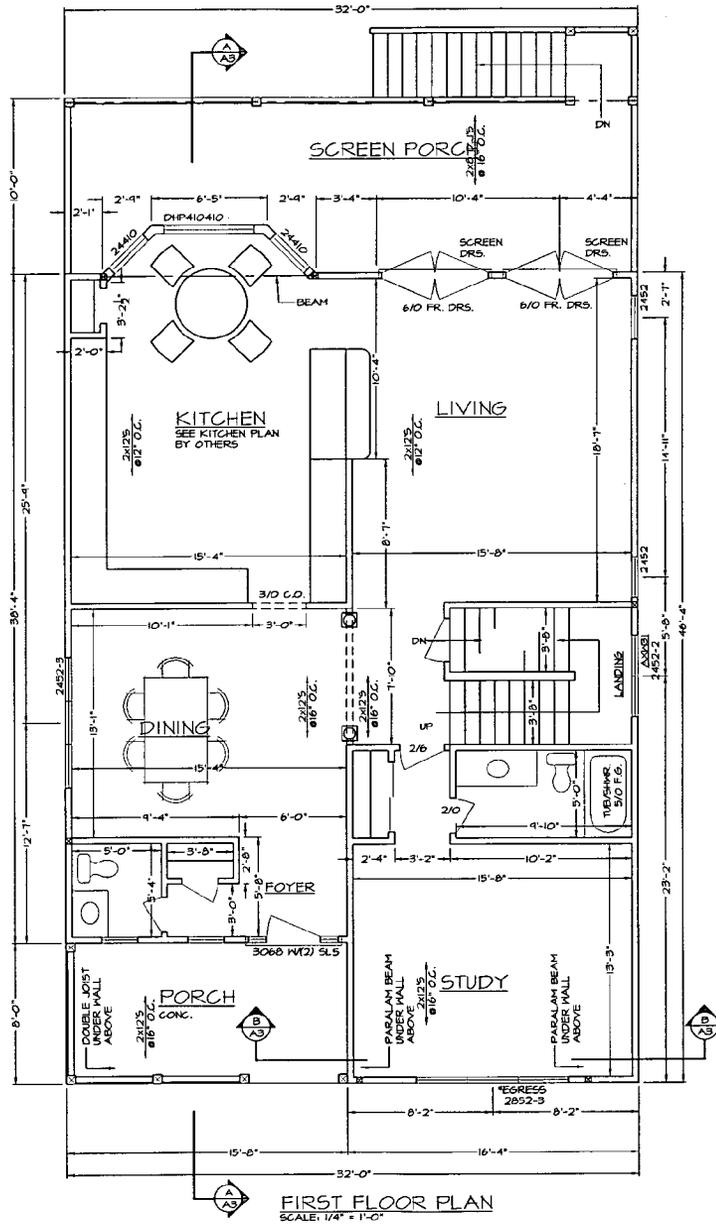


RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

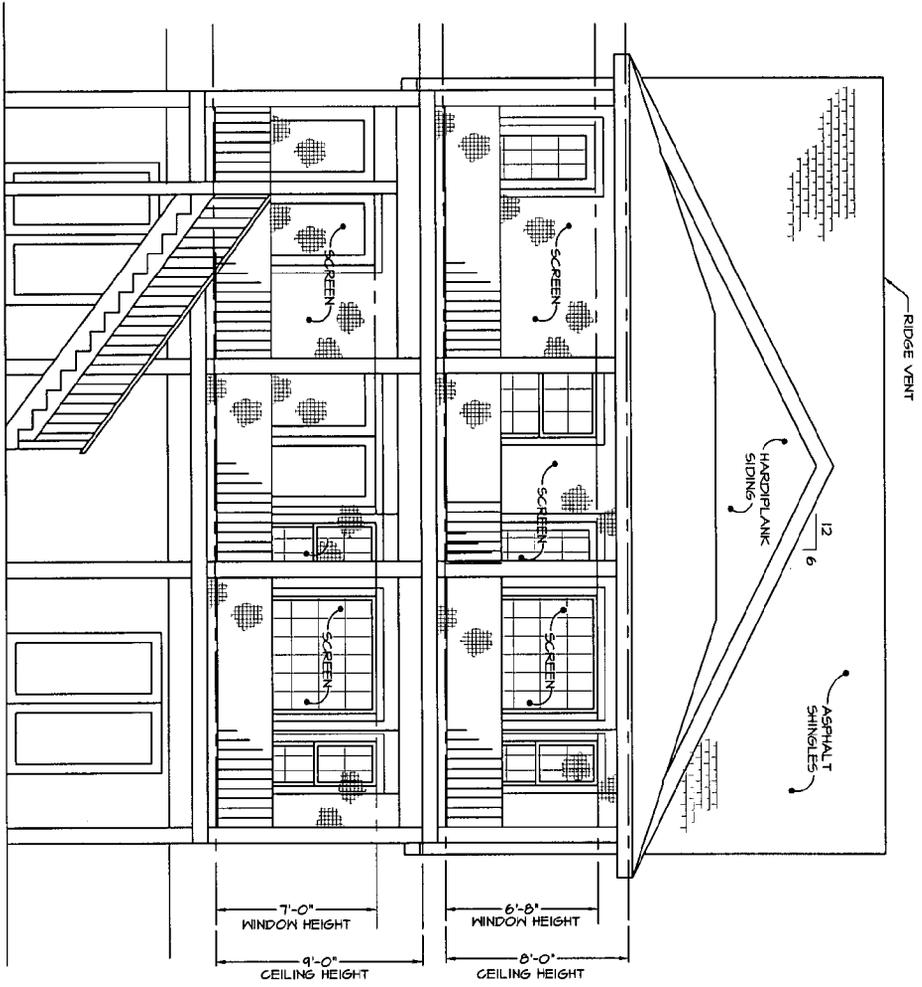




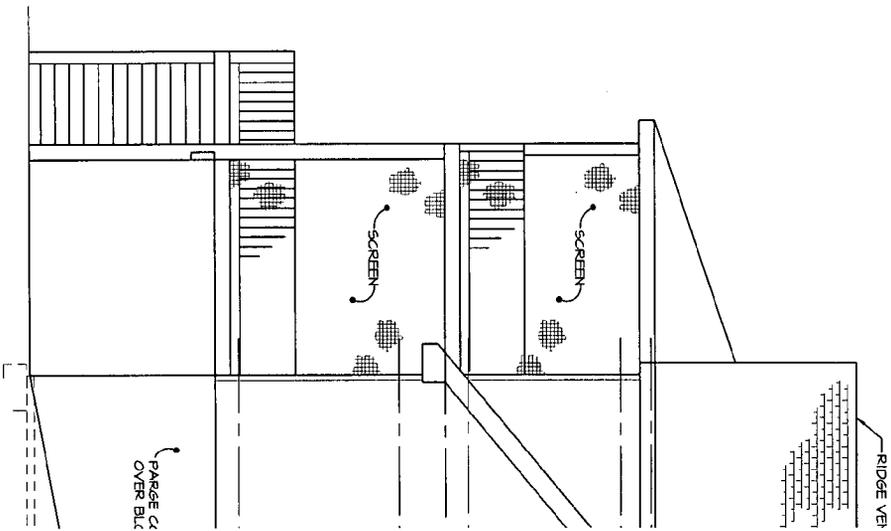
FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



BACK ELEVATION
SCALE: 1/4" = 1'-0"



Tully, Tania

From: Tully, Tania
Sent: Monday, June 06, 2005 3:38 PM
To: 'Patty Monahan'
Subject: RE: No. 7?



Tree Protection.jpg



Tree Fence.jpg



Orange Tree
Fence.jpg



ProtectTreesFrom.j
pg



TreeProtection.jpg



tree_plan.jpg



IIA4_tree_protection
fence.jpg...



Symbols.jpg



Landscape Map.jpg

Tree protection measures are used to protect trees in the vicinity (specifically trees over 5" in diameter) that could be impacted by construction equipment and materials. Typically, orange plastic barriers are placed around the trees - usually at the drip line - so that they are avoided.

Typically, tree protection measures consist of 48 inch high plastic poly-type fencing (snow fencing) of a highly visible type placed around the critical root zone with signage warning workers to stay away. Additional protection measures may include providing a 3 to 6 inch layer of mulch over the critical root zone, root pruning, crown pruning, fertilizing, or other actions as suggested by an arborist.

This website has a good description: <http://www.extension.umn.edu/info-u/environment/BD443.html>

<http://www.umass.edu/urbantree/publications/Construction.pdf>

<http://www.extension.umn.edu/distribution/housingandclothing/DK6135.html#Plan>

http://www.geneva.il.us/CommunityDevelopment/Building_Zoning/treeapdocs/5%20Protection%20Plan%20Directions.pdf

I've probably included more than you ever wanted to know. Basically, the symbols don't matter as much as knowing where to place the protection and ensuring that its intent is obeyed.

-----Original Message-----

From: Patty Monahan [mailto:pattyb20@hotmail.com]

Sent: Monday, June 06, 2005 2:11 PM

To: Tully, Tania

Subject: No. 7?

Please define: "tree protections measures"?

materials? sizes?

Please advise what symbols should be used on the site plan to show "tree protection barriers"?

Tully, Tania

From: Patty Monahan [pattyb20@hotmail.com]
Sent: Tuesday, May 31, 2005 10:11 AM
To: Tully, Tania
Subject: Architect's changes

I am directly forwarding your messages to the architect so that there will be no miscommunications. He will know exactly what you are requesting by your messages. Please clarify exactly what is required for the plans to be finished. Thank you.

Tully, Tania

From: Patty Monahan [pattyb20@hotmail.com]
Sent: Friday, May 27, 2005 7:20 PM
To: Tully, Tania
Subject: Plans: need viewer

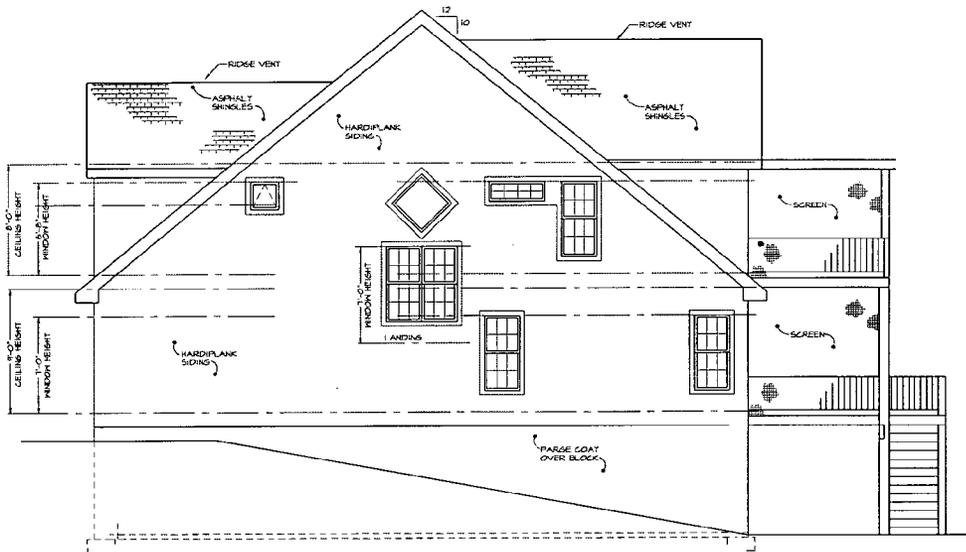


MONAHAN-5-25-a1 MONAHAN-5-25-a2
.dwf .dwf

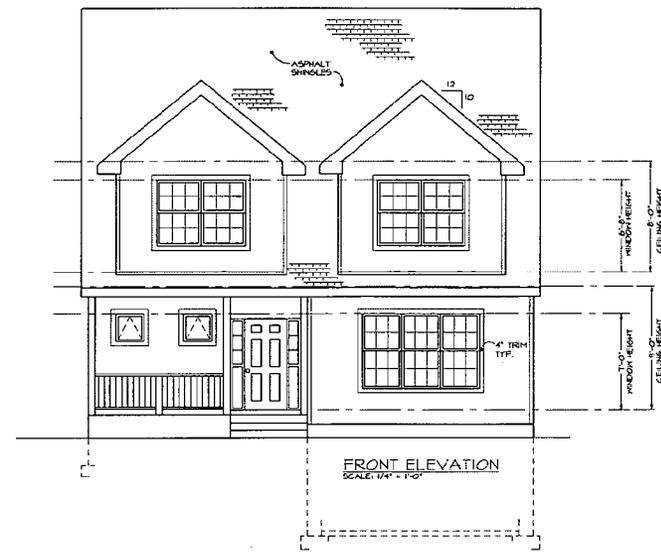
The DWF viewer is needed to see the plans. Go to the link below to download the viewer before opening the plans.

<http://usa.autodesk.com/adsk/servlet/item?siteID=123112&id=4424149>

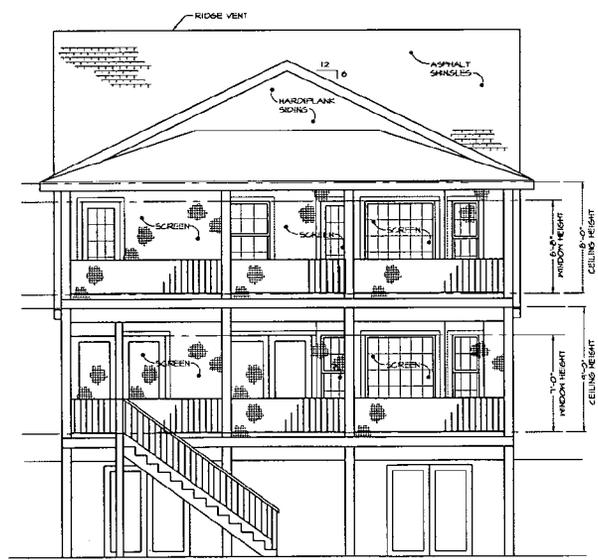
Please let me know if this works. Thanks.



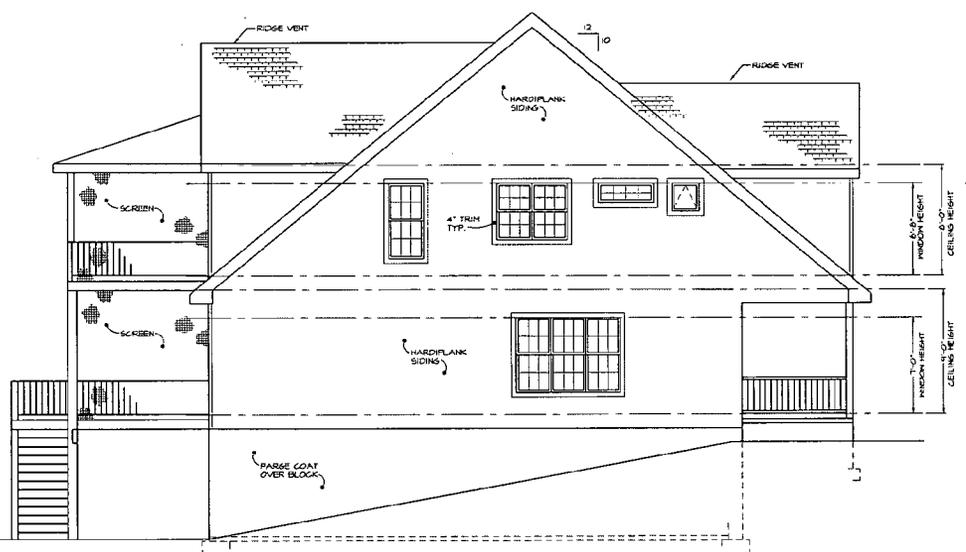
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BACK ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REVISED 5/25/05



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: May 27, 2005

Number of pages including this transmittal sheet: 1

RE: 10220 Menlo Avenue HAWP Conditions

NOTE:

Can the drawings be emailed? (tania.tully@mncppc-mc.org) If not, I'll need you to drop off cleaner copies – the fax is too small and distorted for a full evaluation. Actually, it would be better to have a much larger version to look at. I can however, make the following comments:

Condition 2 has been met.

We will need the window and door schedule or cut sheets (specifications)

We need detail drawings of the porch rails and columns

I'll be able to verify compliance with the other conditions once I receive the above items.

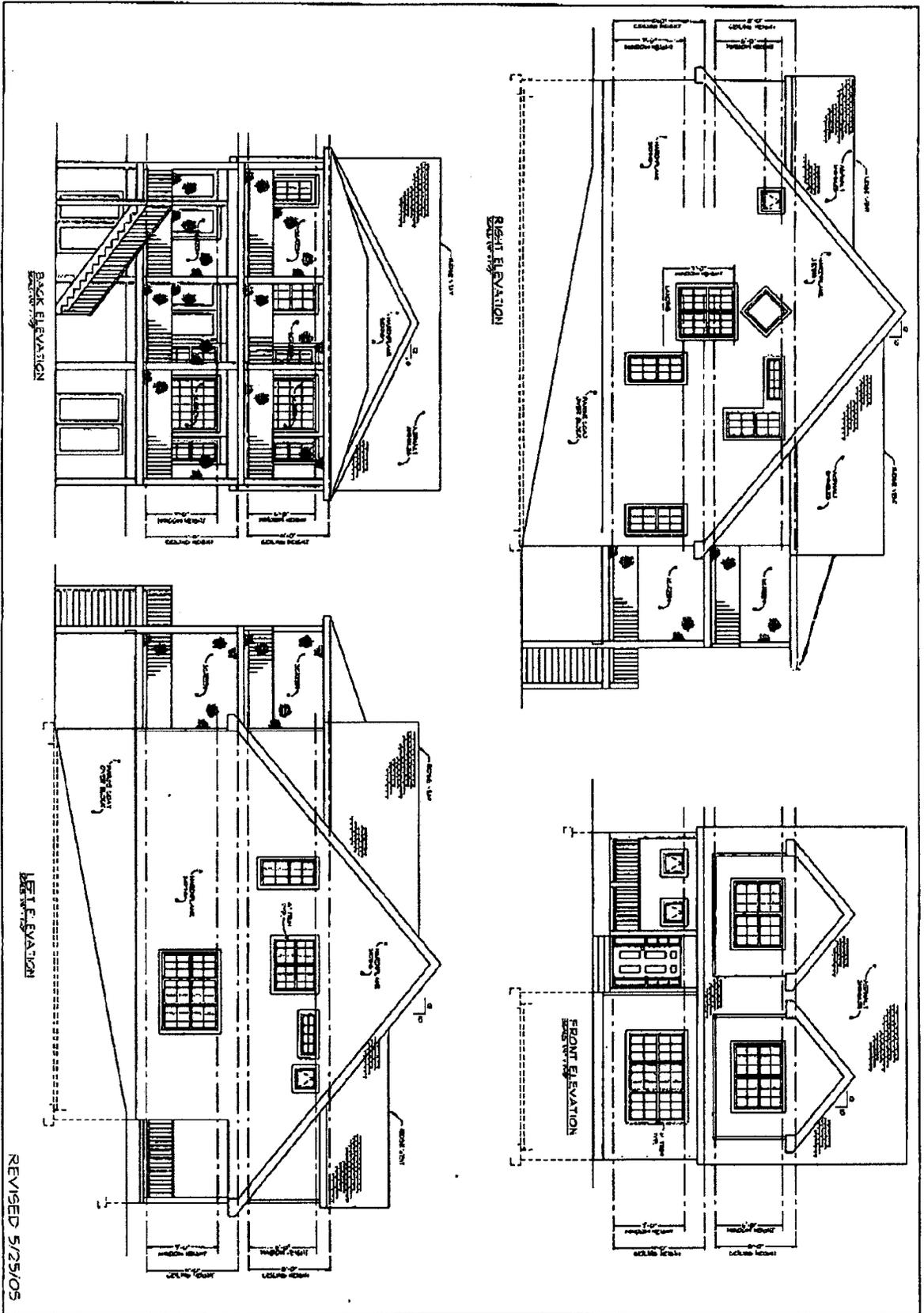
FACSIMILE TRANSMITTAL SHEET

TO:	TANIA TULLY	FROM:	PATRICIA MONAHAN
COMPANY:		DATE:	5-26-05
FAX NUMBER:	301-563-3412	TOTAL NO. OF PAGES INCLUDING COVER:	3
PHONE NUMBER:		SENDER'S PHONE NUMBER:	

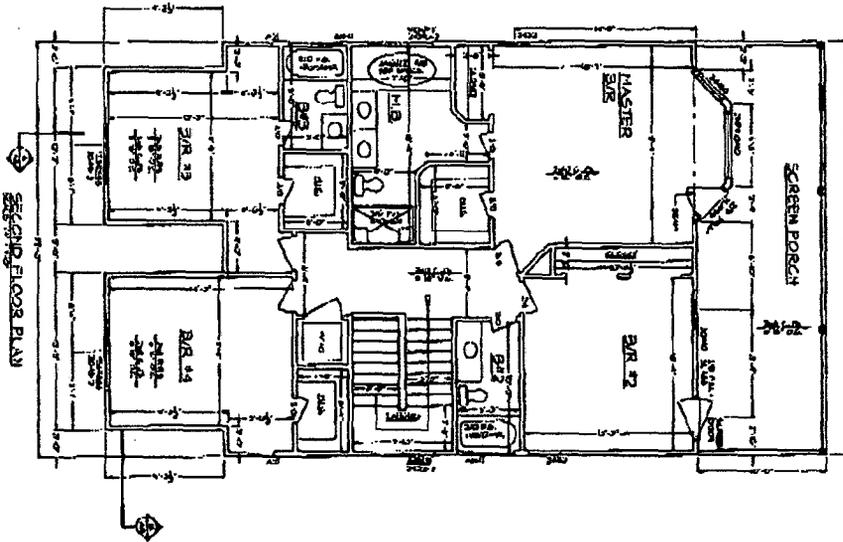
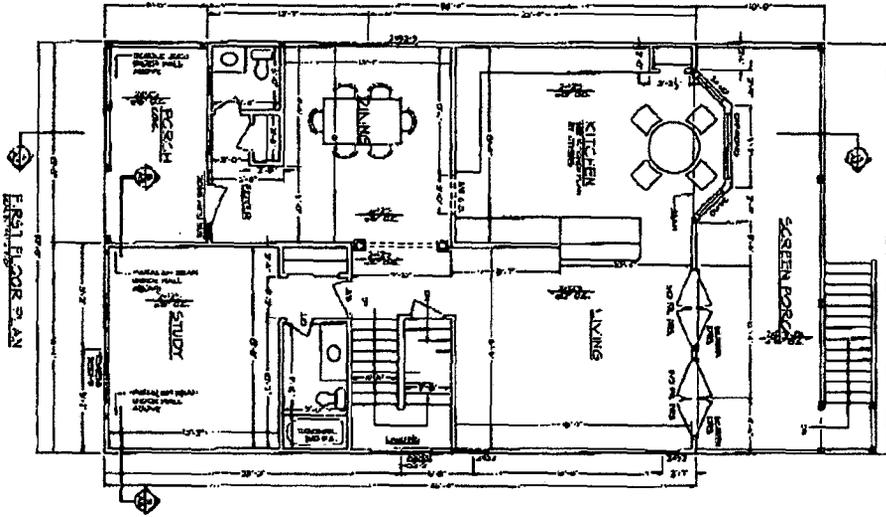
COMMENTS? CHANGES?

SCREENING NOW COMES IN
WIDTHS OF 108" AND 120"

WHAT ELSE DO WE NEED?



	ELEVATIONS	PLANETBLUEPRINTS.COM Your Plans. Your Way. Online. 4120 Highway One Rehoboth Beach, De 19071 (302) 228-9506 An O'Connor CAD Services Company
	MONAHAN/BRILL RESIDENCE 1020 MENLO AVENUE CAPITOL VIEW PARK SILVER SPRING, MD	



REVISED 5/23/05

A2

FLOOR PLANS

DATE	BY	DESCRIPTION

MONAHAN/BRILL RESIDENCE
 1020 MENLO AVENUE
 CAPITOL VIEW PARK
 SILVER SPRING, MD

PLANETBLUEPRINTS.COM
 Your Plans. Your Way. Online.
 4129 Highway One
 Rehoboth Beach, De 19971
 (302) 228 9500
 An O'Connor CAD Services Company

13305 Glen Mill Road
Rockville, Maryland 20850
Office - 301-279-8836
Fax - 301-279-0986



Fax

To: <i>Historic Preservation Section</i>	From: Kevin McCullough
Fax: 301-563-3412	Pages: ONE
Phone: 301-563-3400	Date: 11/9/06
Re: <i>10219 Mendoc Avenue Parking Landing</i>	CC: <i>Attn: Ms. Tania Tully</i>

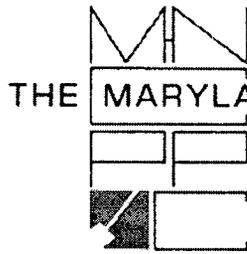
Material to be used - tinted concrete - color buff

Landing only 20' x 20' - no driveway

Requested meeting - Monday 11/13/06 - 12:00 Noon?

Please advise

Sincerely,
Kevin McCullough
 Cell # 301-370-4904



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET
Montgomery County Planning Department
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Kevin McCullough

FAX NUMBER: 301-279-0986

FROM: Tania Tully

DATE: November 7, 2006

Number of pages including this transmittal sheet: 1

RE: 10219 Menlo Ave Driveway

NOTE:



Approved driveway materials include:

- Gravel
- Stamped and/or tinted concrete
- Brick over a pervious material
- Crushed stone
- Concrete pavers over a pervious material
- Permeable concrete pavers

The chosen material should be a natural earth tone to blend better and be as small as possible for two cars.



As discussed on the telephone, the square balusters for all exterior rails have been approved.



I am available to meet on site the following days and times:

- Monday and Tuesday the 13th & 14th between 10 and 4
- Friday the 17th between 10 and 12



If we meet Monday or Tuesday then I can take the driveway revision to the HPC as a Staff Item on the 15th. Please fax me a sketch w/approximate dimensions of what you are currently proposing for the driveway.

Tully, Tania

Subject: Kevin McCullough
Entry Type: Phone call
Start: Wed 11/1/2006 10:04 AM
End: Wed 11/1/2006 10:04 AM
Duration: 0 hours

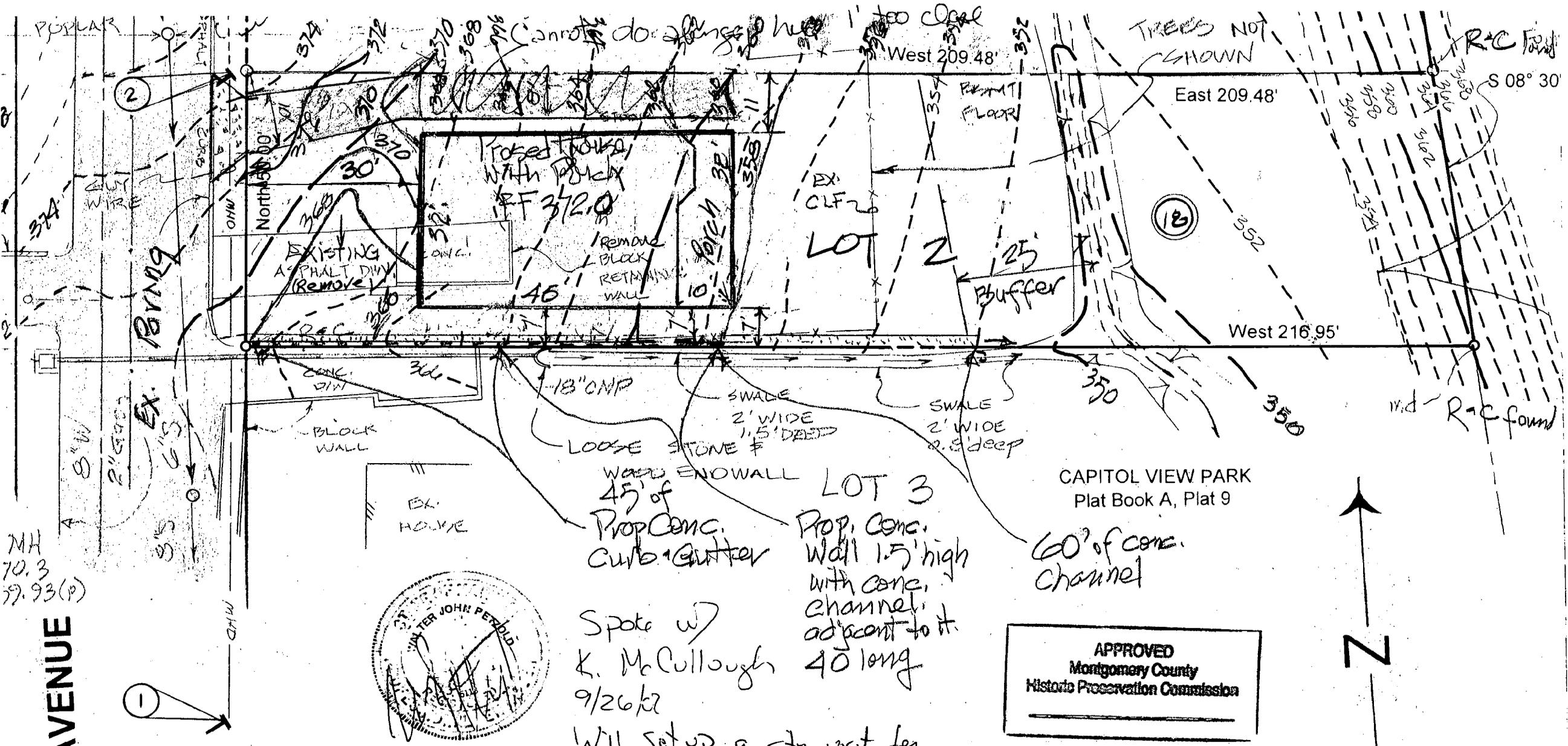
fax
301-279-0986

301-279-8836 office
301-370-4904 cell

driveway materials

parking landing
20X20....

Send times
for site
set fill



MH
70.3
37.93(P)

MENLO AVENUE
40' R/W

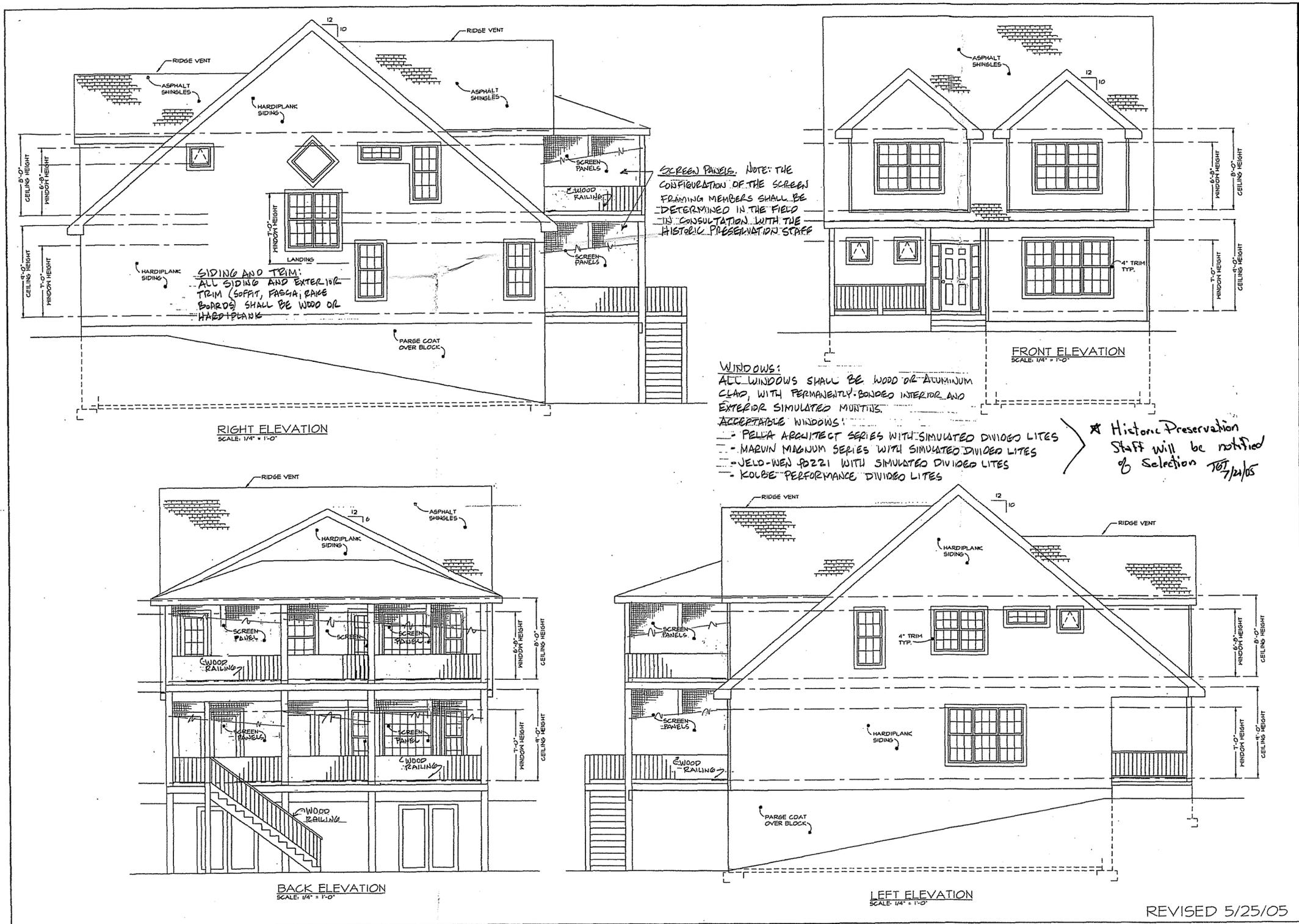


OYSTER, IMUS & PETZOLD, INC.
CIVIL ENGINEERS • LAND PLANNERS • SURVEYORS
11230-B GRANDVIEW AVENUE • WHEATON, MARYLAND 20902 • (301) 949-2011

Spoke w/
K. McCullough
9/26/2
Will set up a site visit for
Pacha driveway next mo.

APPROVED
Montgomery County
Historic Preservation Commission

SITE PLAN
CAPITOL VIEW PARK
Lot 2, Block 18
Scale: 1" = 20'



SCREEN PANELS. NOTE: THE CONFIGURATION OF THE SCREEN FRAMING MEMBERS SHALL BE DETERMINED IN THE FIELD IN CONSULTATION WITH THE HISTORIC PRESERVATION STAFF

SIDING AND TRIM: ALL SIDING AND EXTERIOR TRIM (SOFFIT, FASCIA, RAPE BOARDS) SHALL BE WOOD OR HARDPLANK

WINDOWS: ALL WINDOWS SHALL BE WOOD OR ALUMINUM CLAD, WITH PERMANENTLY BONDED INTERIOR AND EXTERIOR SIMULATED MUNTINS

- ACCEPTABLE WINDOWS:
- PELLA ARCHITECT SERIES WITH SIMULATED DIVIDED LITES
 - MARVIN MAGNUM SERIES WITH SIMULATED DIVIDED LITES
 - JELD-WEN 4021 WITH SIMULATED DIVIDED LITES
 - KOLBE PERFORMANCE DIVIDED LITES

* Historic Preservation Staff will be notified of Selection 7/21/05

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Rehoboth Beach, De 19971
(302) 226 9509
An O'Connor CAD Services Company

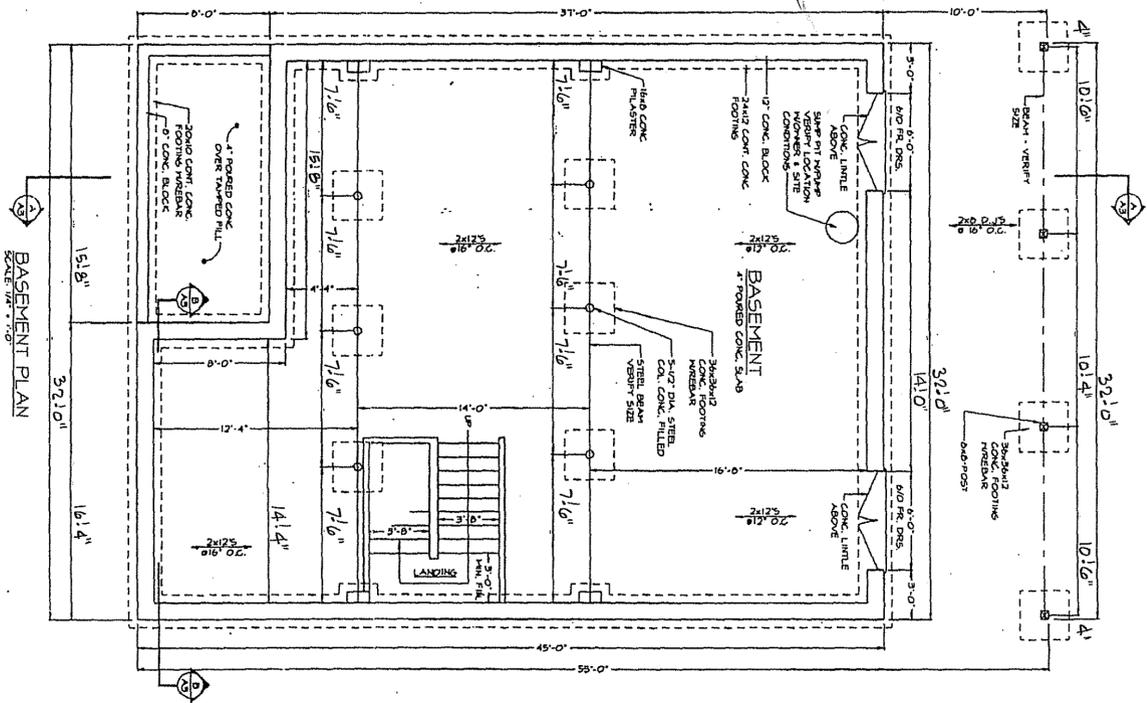
PROJECT
MONAHAN/BRILL RESIDENCE
1020 MENLO AVENUE
CAPITOL VIEW PARK
SILVER SPRING, MD

SCALE: AS NOTED
DRAWN BY: EDD
DATE: 3/31/05
REVISIONS:
5/25/05

ELEVATIONS

SHEET
A1
OF 2

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/21/05



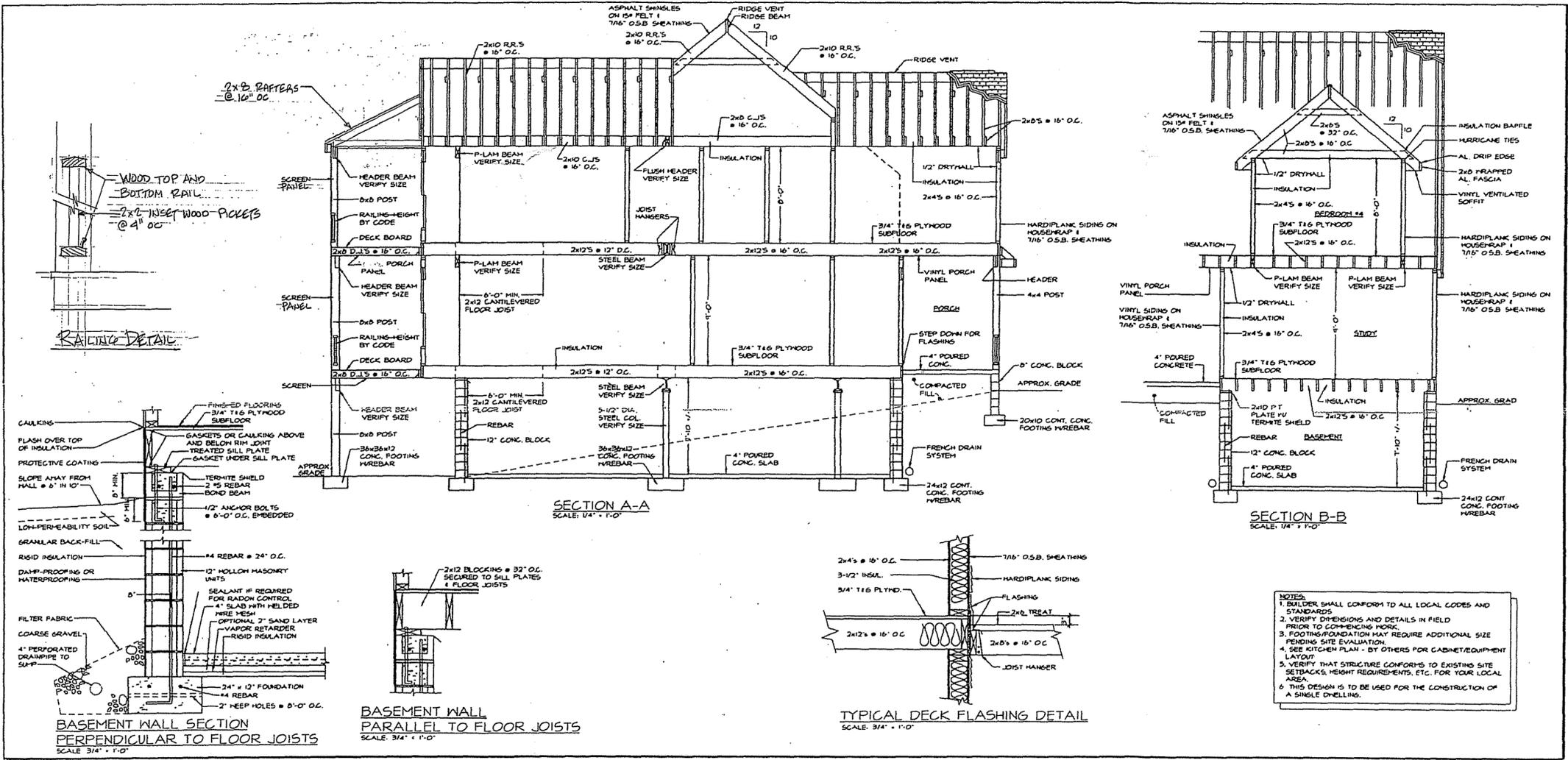
BASEMENT PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND STANDARDS.
 2. REFER TO CONSTRUCTION AND DETAILS IN FIELD.
 3. ROOMS/CONSTRUCTION MAY REQUIRE ADDITIONAL SIZE.
 4. SEE OTHER PLANS BY OTHERS FOR ADJUSTMENTS.
 5. LAYOUT HAS STRUCTURE COMPONENTS TO EXISTING SITE SERVICES, HEIGHT REQUIREMENTS ETC. FOR THE LAYOUT AREA.
 6. AREA DESIGN IS TO BE USED FOR THE CONSTRUCTION OF A SHEET DRAFTING.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
7/21/15

PROJECT
MONAHAN/BRILL RESIDENCE
1020 MENLO AVENUE
CAPITOL VIEW PARK
SILVER SPRING, MD

PLANETBLUEPRINTS.COM
Your Plans. Your Way. Online
4129 Highway One
Rehoboth Beach, De 19971
(302) 228 9509
An O'Connor CAD Services Company



- NOTES:**
1. BUILDER SHALL CONFORM TO ALL LOCAL CODES AND STANDARDS.
 2. VERIFY DIMENSIONS AND DETAILS IN FIELD PRIOR TO COMMENCING WORK.
 3. FOOTING FOUNDATION MAY REQUIRE ADDITIONAL SIZE PENDING SITE EVALUATION.
 4. SEE KITCHEN PLAN - BY OTHERS FOR CABINET/EQUIPMENT LAYOUT.
 5. VERIFY THAT STRUCTURE CONFORMS TO EXISTING SITE SETBACKS, HEIGHT REQUIREMENTS, ETC. FOR YOUR LOCAL AREA.
 6. THIS DESIGN IS TO BE USED FOR THE CONSTRUCTION OF A SINGLE DWELLING.

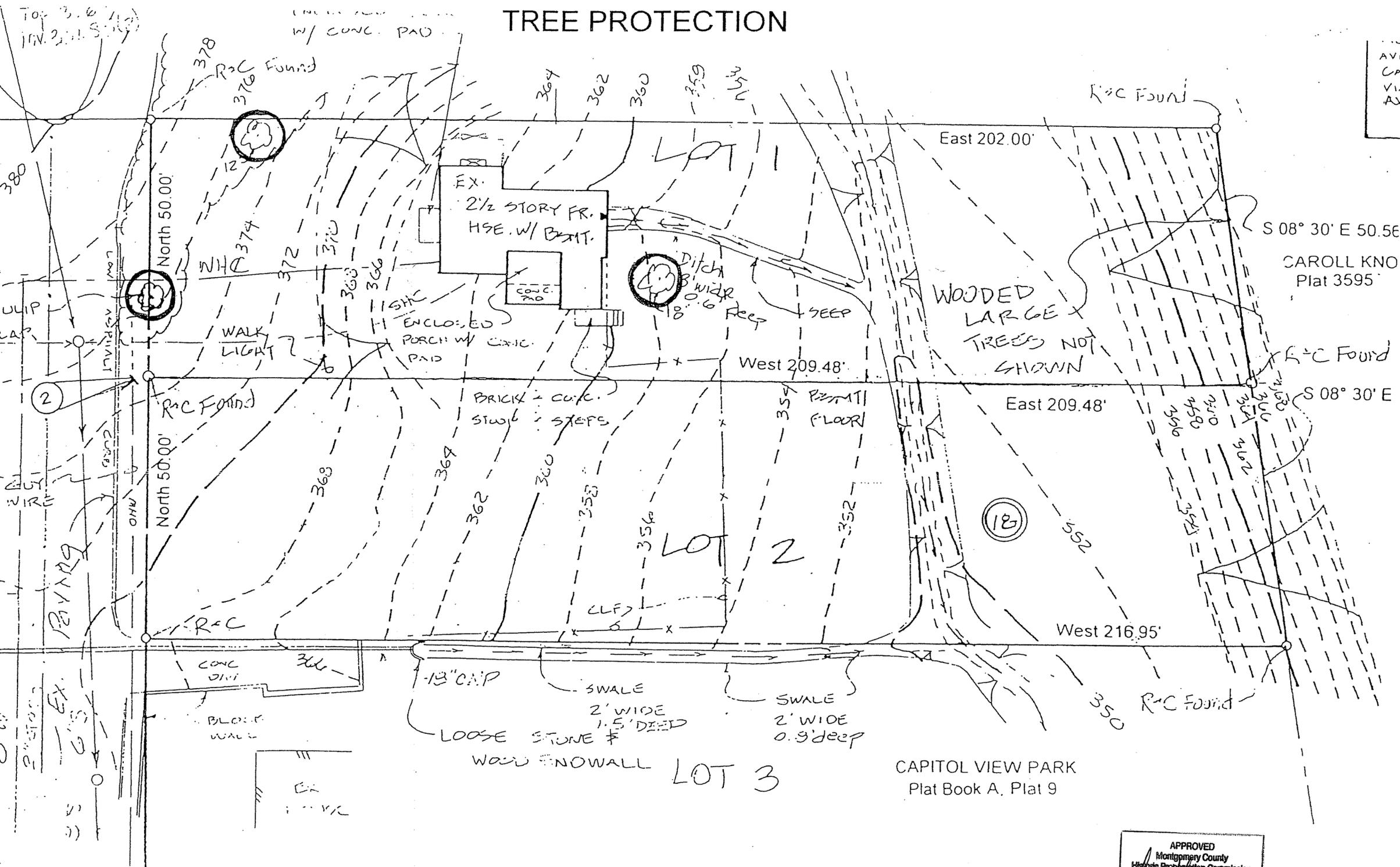
PROJECT: **MONAHAN/BRILL RESIDENCE**
1020 MENOLO AVENUE
CAPITOL VIEW PARK
SILVER SPRING, MD

PLANETBLUEPRINTS.COM
 Your Plans. Your Way. Online.
 4129 Highway One
 Rehoboth Beach, De 19971
 (302) 226 9509
 An O Connor CAD Services Company

APPROVED
 Montgomery County
 Historic Preservation Commission
 James Kelly 7/21/05

10530 1/15/10
05/11/10

TREE PROTECTION



AV
CA
VI
AS

S 08° 30' E 50.56'
CAROLL KNO
Plat 3595'

R-C Found
S 08° 30' E

CAPITOL VIEW PARK
Plat Book A, Plat 9

APPROVED
Montgomery County
Historic Preservation Commission
James [Signature] 7/2/05

10220 Menlo
New Const. - 2005



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 28, 2005

MEMORANDUM

TO: John Brill and Patricia Monahan
10219 Menlo Avenue, **Capitol View Park Historic District**

FROM: Tania Tully, Senior Planner ^{T6+}
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #358205

Your Historic Area Work Permit application for new construction was **Approved with Conditions** by the Historic Preservation Commission at its April 27, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 28, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner ^{TGT}
Historic Preservation Section

SUBJECT: Historic Area Work Permit #358205

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions**.

1. The width of the house is reduced to 32 feet or less.
2. The rear porch roof is redesigned such that it is separate from the main roof.
3. The windows will be wood or aluminum-clad wood simulated divided light windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.
4. No vinyl products will be installed on the exterior of the house.
5. All railings will be wood with inset pickets – the exact designs will be approved at the staff level.
6. The details of the rear-screened porch will be approved at staff level.
7. Tree protection measures are in place prior to beginning of any work to protect trees on the Lange House property.
8. The applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.
9. Revised elevations drawings will be provided to and approved by staff prior to the completion of construction documents.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: John Brill and Patricia Monahan

Address: 10219 Menlo Avenue, Silver Spring

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Patricia Monahan
Daytime Phone No.: 301-588-1747 voice & FAX

fax messages

Tax Account No.: 00996553

Name of Property Owner: John Brill & Patricia Monahan Daytime Phone No.: 301-588-1747 voice & FAX

Address: 10220 Menlo Ave., Silver Spring MD 20910
Street Number City State Zip Code

Contractor: Matthews General Contracting Phone No.: 301-942-1234

Contractor Registration No.: MHIC # 121613

Agent for Owner: James Lange Daytime Phone No.: 301-962-0117

LOCATION OF BUILDING/PREMISE

House Number: 10219 Street: Menlo Avenue

Town/City: Silver Spring Nearest Cross Street: Loma & Grant

Lot: 2 Block: 18 Subdivision: Capitol View Park

Liber: 2549 Folio: 408 Parcel: 13-5-996553

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 275,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patricia Monahan
Signature of owner or authorized agent

9-10-04
Date

Approved: with conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 9/27/05

Application/Permit No.: 358205 Date Filed: 9-15-04 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

No existing structures

There are several large old growth trees in the
rear of the lot which will not be disturbed
by the planned construction.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New construction on Brill Property, Capitol View
Park Historic District, 10219 Menlo Avenue,
Silver Spring, Maryland: Two-story, four bedroom
house with a covered front porch per plans
and specifications.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

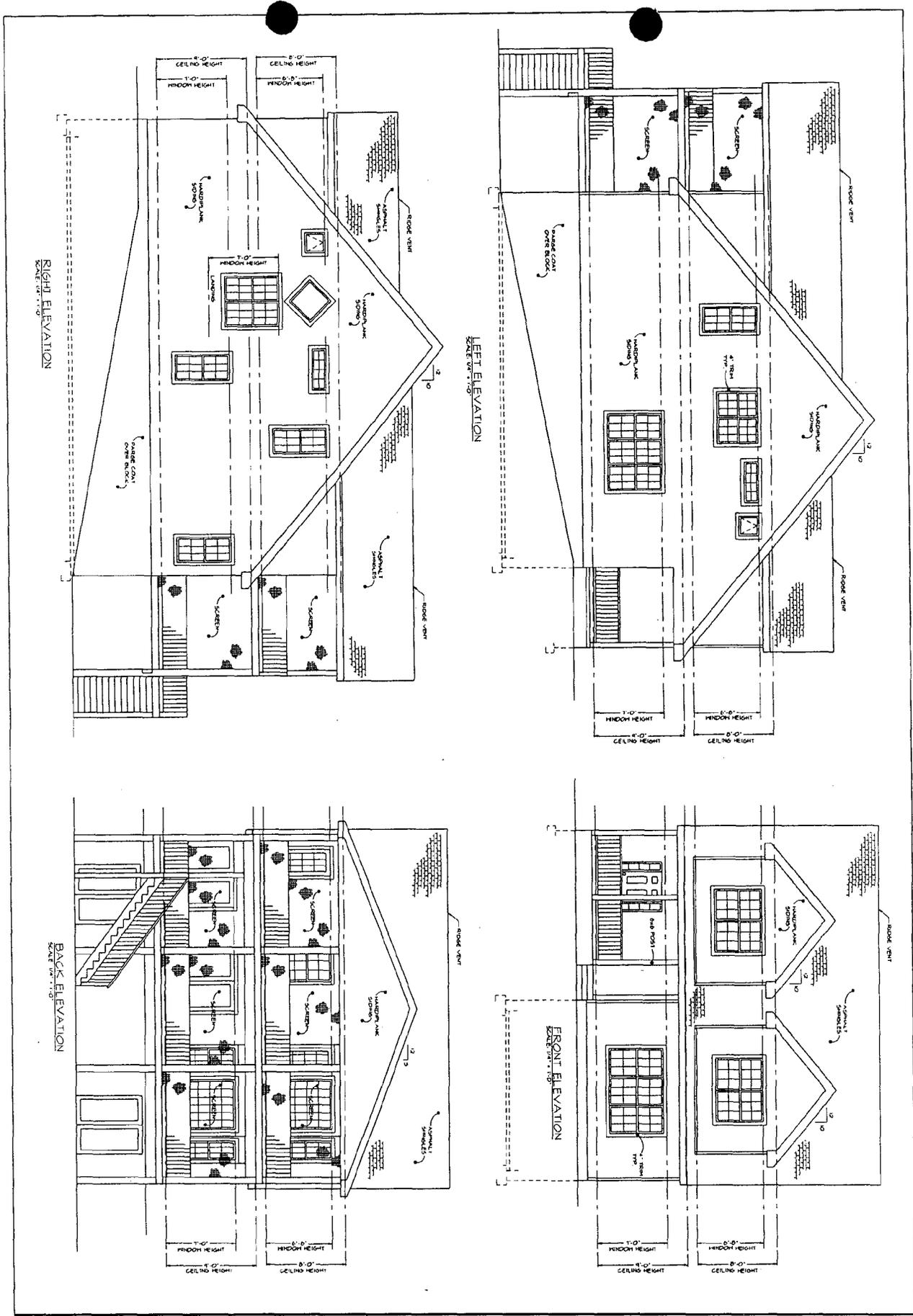
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the drieline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, 1301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



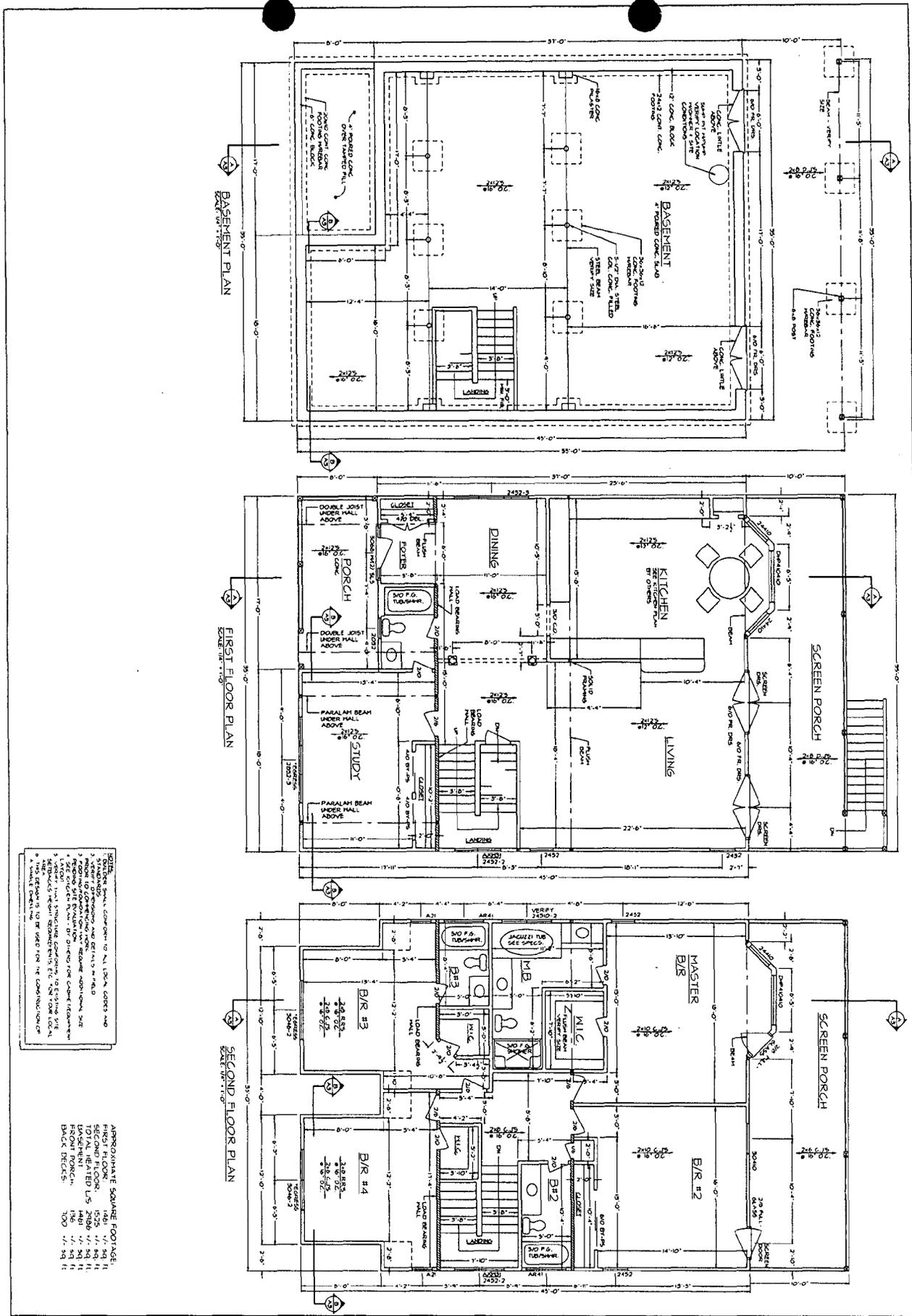
A1
SHEET
OF 1

ELEVATIONS

SCALE AS NOTED
DRAWN BY: EGO
DATE: 3/23/05
REVISIONS:

PROJECT
MONAHAN/BRILL RESIDENCE
CAPITOL VIEW PARK
SILVER SPRING, MD

PLANETBLUEPRINTS.COM
Your Plans. Your Way. Online.
4129 Highway One
Rehoboth Beach, De 19971
(302) 226 9509
An O'Connor CAD Services Company



1. ALL DIMENSIONS SHALL COMPLY WITH ALL LOCAL CODES AND STANDARDS. DIMENSIONS AND DETAILS IN FIELD SHALL BE TO GOVERN OVER DIMENSIONS AND DETAILS ON SHEETS. 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. 10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

APPROXIMATE SQUARE FOOTAGE:

FIRST FLOOR	1450	77	50	11
SECOND FLOOR	1525	77	50	11
TOTAL HEATED U.S.	2975	77	50	11
FRONT PORCH	186	77	50	11
BACK DECKS	100	77	50	11

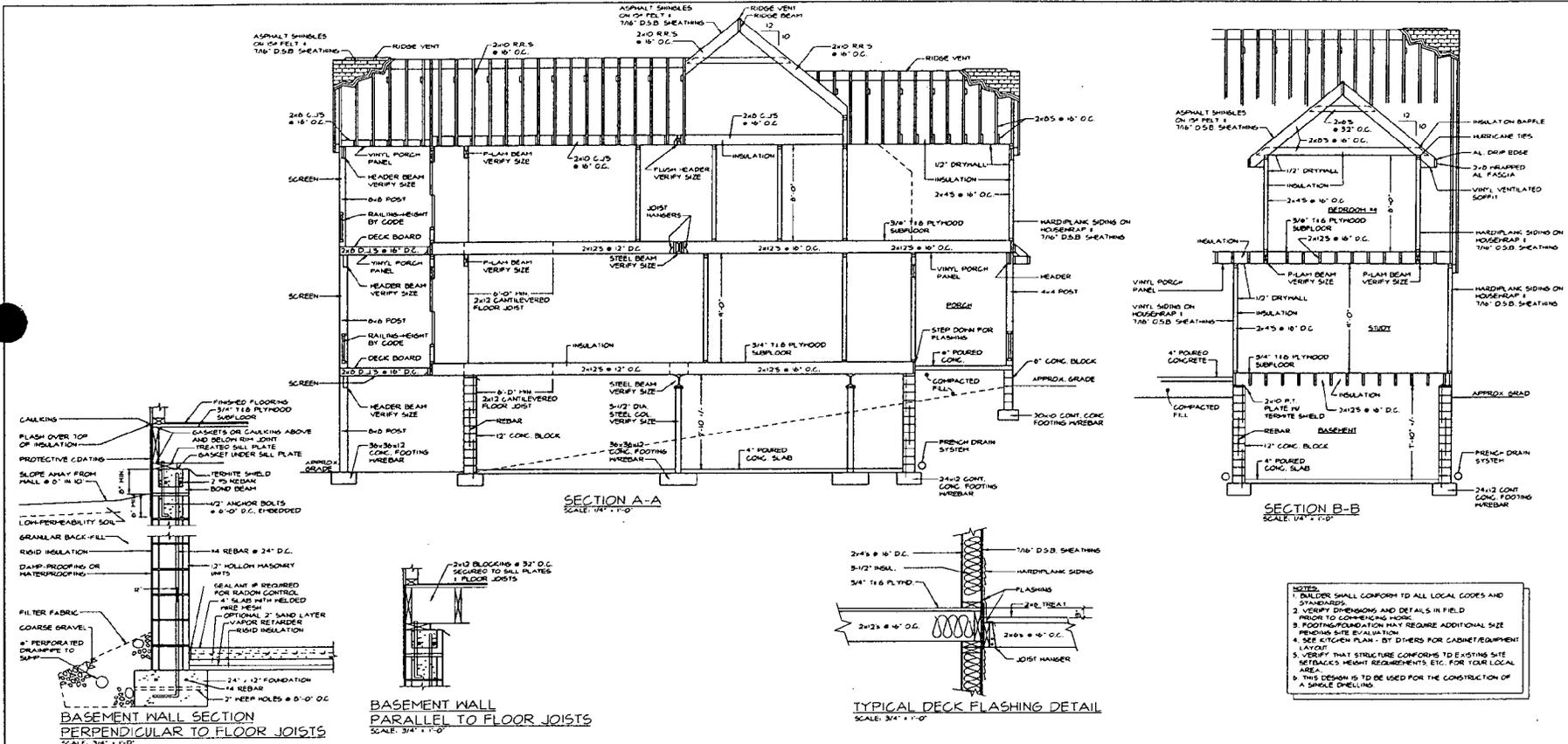
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 01 3

FLOOR PLANS,
 FOUNDATION PLAN AND
 NOTES

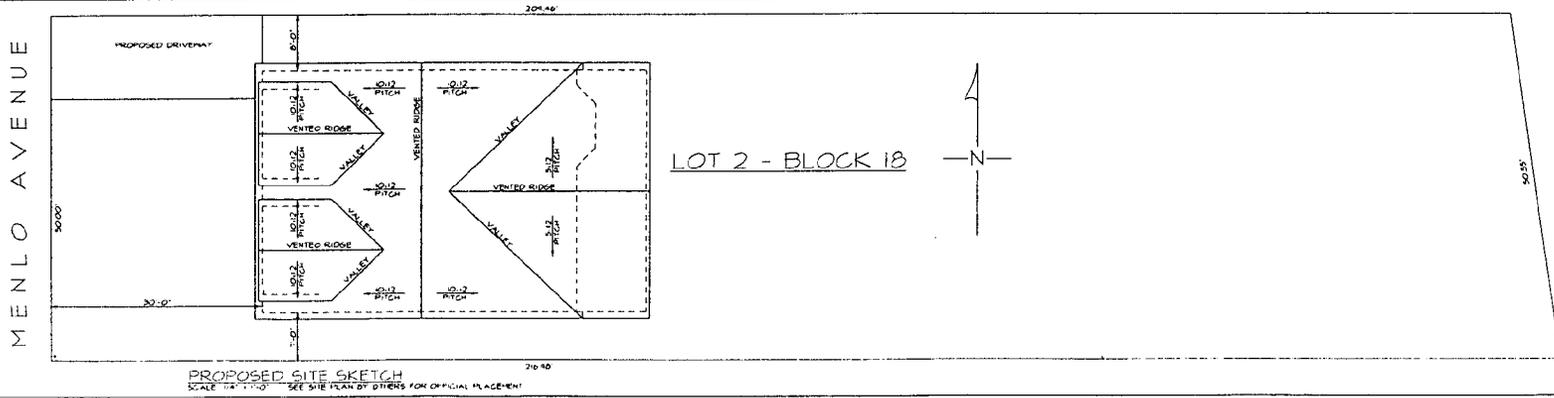
SCALE AS NOTED
DATE 1/11/08
REVISIONS:

PROJECT
 MONAHAN/BRILL RESIDENCE
 CAPITOL VIEW PARK
 SILVER SPRING, MD

PLANETBLUEPRINTS.COM
 Your Plans. Your Way. Online.
 4129 Highway One
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- NOTES:**
1. DIMENSIONS SHALL CONFORM TO ALL LOCAL CODES AND STANDARDS.
 2. VERIFY DIMENSIONS AND DETAILS IN FIELD PRIOR TO COMMENCING WORK.
 3. FOOTING/FOUNDATION MAY REQUIRE ADDITIONAL SIZE PERMISSIVE SITE EVALUATION.
 4. SEE KITCHEN PLAN - BY OTHERS FOR CABINET/EQUIPMENT LAYOUT.
 5. VERIFY THAT STRUCTURE CONFORMS TO EXISTING SITE SETBACKS & HEIGHT REQUIREMENTS, ETC. FOR YOUR LOCAL AREA.
 6. THIS DESIGN IS TO BE USED FOR THE CONSTRUCTION OF A SINGLE DWELLING.



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Rehoboth Beach, De 19971
(302) 228 9509
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PROJECT: MONAHAN/BRILL RESIDENCE
CAPITOL VIEW PARK
SILVER SPRING, MD

SCALE: AS NOTED
DRAWN BY: ECD
DATE: 3/21/03
REVISIONS:

SECTIONS, DETAILS,
NOTES AND SITE SKETCH

SHEET
A3

MATTHEWS GENERAL CONTRACTING, INC.

Construction Specifications for 10219 Menlo Avenue

FOUNDATION	<ul style="list-style-type: none">-Poured concrete footings (Engineer Certified)-8" poured, reinforced concrete foundation walls (Engineer Certified)-Asphalt waterproofing on exterior basement walls below grade
BASEMENT SLAB	<ul style="list-style-type: none">-Poured concrete over 6 mil poly vapor barrier; 4" stone base
TERMITE TREATMENT	<ul style="list-style-type: none">-Under basement slab and around perimeter with approved termite treatment chemical. Guarantee provided at job completion.
WALLS	<ul style="list-style-type: none">-2x4 exterior stud walls of kiln dried western spruce pine fir. Insulation blanket on Concrete walls in basement.
FLOORS	<ul style="list-style-type: none">-3/4" 4x8 OSB (oriented strand board) tongue and groove flooring on 2x10" floor joists
ROOF	<ul style="list-style-type: none">-Custom engineered, factory manufactured roof Truss system.-7/16" 4x8 OSB roof sheathing-Tamko "25 year" fiberglass shingles (25 year manufacturers limited shingle warranty)-Roof ventilation system using vented vinyl soffit; continuous ridge vent at peak of roof, or other roof venting appropriate to roof style
SIDING	<ul style="list-style-type: none">-Hardiplank siding
GUTTERS/ DOWNSPOUTS	<ul style="list-style-type: none">5" aluminum ogee seamless gutter and downspouts. Splash block at each downspout.
EXTERIOR TRIM	<ul style="list-style-type: none">-Vinyl soffit and aluminum wrapped fascia-J-channel at all windows.

WINDOWS	-Vinyl framed, double hung windows by Capitol (series 9555) with screens, grids and insulated glass according to plan.
SLIDING GLASS DOOR	-Capitol vinyl framed sliding glass doors with insulated glass from 1 st floor to rear deck
ENTRY DOOR	-Front entry – Benchmark steel door with foam insulated core; completely weather-stripped
INSULATION	-Exterior frame walls/band board – R13; top floor – finished area walls with R13; R11 foiled faced blankets on basement concrete walls; \$30 insulation in 2 nd floor ceiling
STAIRS	-Factory fabricated box stair unit of CDX plywood (carpet grade)
CABINETS/VANITIES	-Homecrest Summerfield Square (or equal). Framed, flat center panel door in oak. Vanities with doors in baths.
KITCHEN COUNTERTOP/SINK	Laminated kitchen countertops with stainless steel double bowl sink.
VANITY TOPS	-Single Bowl, cultured marble in white in all baths.
APPLIANCES	-Refrigerator - \$1000.00 allowance -Range - \$750.00 allowance -Dishwasher - \$500 allowance -Disposal - \$250 allowance -Range Hood - \$300 allowance, vented to outside.
INTERIOR TRIM	-Interior doors – six panel amazonite, hollow core with 2 1/2" molded DC 98 trim -Window trip – DC 98 with wood jamb extensions. -Base – 3 1/4 ogee trim

PLUMBING	-All plumbing inspected by WSSC. PVC waste/vent pipes; CPVC water pipe; exterior hosebibs on front and rear of house, water supplies and drain standpipe in basement laundry area. Ruud or equal high efficiency 40 gallon hot water heater; Moen kitchen and vanity faucets, Briggs or equal round front toilet, 5' standard one piece, fiberglass Akers tub/shower in two baths.
HVAC	-Exhaust fans in all baths -High efficiency furnace sized to fit house. -Electric central air conditioning system, sized to fit house.
ELECTRICAL	-All wiring according to electrical code and County inspected. 200 amp service Exterior waterproof outlets on the front and rear, smoke detector on each floor and for each bedroom, doorbell, electric clothes washer and dryer outlets, prewire for 3 phone and 3 cable outlets. Complete lighting package (\$450.00 allowance). Electrical panel to be in basement. Basement lighting will consist of porcelain ceiling lights.
PAINTING	-Exterior entry door received one coat acrylic latex enamel over factory primer coat. Finished interior walls and ceilings receive two coats of flat latex. Interior trim receives one coat flat primer and one coat of semi-gloss.
FLOORING	-Vinyl flooring over plywood underlayment in kitchen and baths. -Wall to wall carpet over 3/8 foam pad in all other finished areas including bedrooms. -No flooring in basement or on basement stair.
OTHER	-Mirrored medicine cabinets in baths. -Locksets/doorknobs are Kwikset "Standard" series in polished chrome.
EXTERIOR	-Driveway – Asphalt 3" base and 1" top coat. -Walk to house – 3' concrete. -Finished grade, seed and straw all disturbed areas.

In the case of unavailability or manufacturers changes, Matthews General Contracting, Inc. reserves the right to substitute above specified equipment/models/brand-named material with equipment/models/brand-named material that is equivalent or better quality.



10219 Menlo Ave.
(Subject property)



10221 Menlo Ave.



10217 Menlo Ave.
(10215 on the right)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Subject Property: 10219 Menlo Avenue

Owner's mailing address

John Brill & Patricia Monahan
10220 Menlo Avenue
Silver Spring MD 20910

Owner's Agent's mailing address

James Lange
10221 Menlo Avenue
Silver Spring MD 20910

Adjacent and confronting Property Owners mailing addresses

10218 & 10220 Menlo Ave.:
John Brill & Patricia Monahan
10220 Menlo Avenue
Silver Spring MD 20910

10219 & 10221 Menlo Ave.:
John Brill & Patricia Monahan
10220 Menlo Avenue
Silver Spring MD 20910

Peter & Susan Wilson
10217 Menlo Avenue
Silver Spring MD 20910

Elizabeth & I. E. Aco
10218 Leslie Street
Silver Spring MD 20902

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10219 Menlo Avenue **Meeting Date:** 04/27/05
Applicant: John Brill and Patricia Monahan (James Lange) **Report Date:** 04/19/05
Resource: Vacant Lot **Public Notice:** 04/13/05
 Capitol View Park Historic District **Tax Credit:** None
Review: HAWP **Staff:** Tania Tully
Case Number: 31/07-04H CONTINUED **RECOMMENDATION:**
PROPOSAL: New construction Approval with Conditions

STAFF RECOMMENDATION

Staff is recommending approval with the following conditions:

1. The width of the house is reduced to 30 feet.
2. The rear porch roof is redesigned such that it is separate from the main roof.
3. The windows will be wood or aluminum-clad wood simulated divided light windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.
4. No vinyl products will be installed on the exterior of the house.
5. All railings will be wood with inset pickets – the exact designs will be approved at the staff level.
6. The details of the rear-screened porch will be approved at staff level.
7. Tree protections measures are in place prior to beginning of any work to protect trees on the Lange House property.
8. The applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits

Revised drawings to be reviewed + shown to staff @ Schindler level

BACKGROUND

The Commission first reviewed this project at its October 13, 2004 meeting (the drawings and transcripts from this meeting are attached beginning on Circle 16).

HISTORIC INFORMATION

Capitol View Park is a railroad community begun in 1887 when Mary and Oliver Harr purchased and subdivided land along the B&O's Metropolitan Branch between Forest Glen and Kensington. The community's name came from the view of the Capitol dome afforded by the upper stories of some of the early houses. Because of the growth of trees in intervening years, this view is no longer possible. Capitol View Park, however, continues to retain the scenic, rural setting which attracted its first inhabitants from Washington. Narrow, country lanes wind between large lots, the average of which is 12,000 square feet.

Staff level

Most recent approved new exist in CV is the one @ Meadowbrook Ct

Plumbing issues

Farmer Thomas Brown built a house in the post-Civil War era, before the railroad bisected his farm. Set back on a long curving driveway, Brown's dwelling still stands, known as the Case House, at 9834 Capitol View Avenue.

Unlike the homogenous suburban developments that make up a great deal of Montgomery County, Capitol View Park is a picturesque blend of many architectural styles dating from the 1890s to the 1980s. The community represents the architectural history of Montgomery County over the last century. The first houses built in Capitol View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fish scale shingles. Notable Queen Anne style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

SITE DESCRIPTION

SIGNIFICANCE: vacant parcel within the **Capitol View Park Historic District**
STYLE: N/A
DATE: N/A

The northeastern boundary of the historic district is Menlo Avenue and only includes the properties on the east side of the street - the subject property is the next to the last lot. At .263 acres in area, this lot is an average size for the street. Immediately adjacent properties include the Lange House (.210 acres, Outstanding Resource), on the north and a non-contributing house (.354 acres) to the south. Across the street to the west are several c.1940s-50s resources - which are outside of the historic district. The lot is narrow and deep, sloping down towards the west with the low point being a stream at the back half of the property. There are significant drainage issues on the lot. There is an existing asphalt drive terminating in a raised concrete pad supported by a concrete block retaining wall. The site is largely open near Menlo Avenue, but turns to forest near the stream.

PROPOSAL:

The applicants propose to construct a new single-family residence set back 30' from the front lot line. The proposed house is two-stories with four bedrooms, a full walkout basement, front porch, and rear screened porches. Proposed materials include fiberglass shingle or asphalt roofing, vinyl trim, vinyl double-hung windows with between the glass "grids," and HardiPlank siding. The footprint of the house (not including the rear porches) as proposed is 1,575 sq. ft. (Circles 9-11). The relocated driveway is proposed to be stamped concrete.



FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: May 2, 2005

Number of pages including this transmittal sheet: 1

RE: 10220 Menlo Avenue HAWP

NOTE:

Attached is the memo with the conditions of approval. The original will follow via US Mail.



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: April 15, 2005

Number of pages including this transmittal sheet: 1

RE: 10220 Menlo Avenue HAWP

NOTE:

I have not yet completed my staff report and wish to speak with you regarding my comments since it may affect my report.

Additionally, I need to verify that the following proposed materials are accurate:

- Asphalt shingle roofing
- Vinyl trim,
- Vinyl double-hung windows with between the glass "grids"

I also need to know the following:

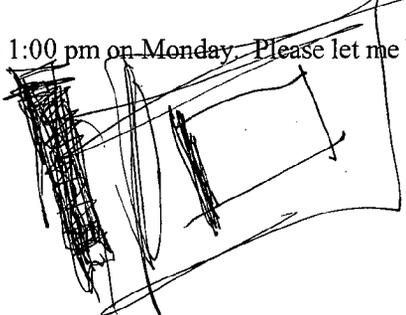
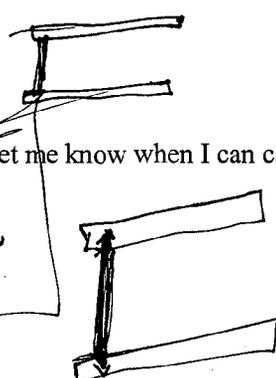
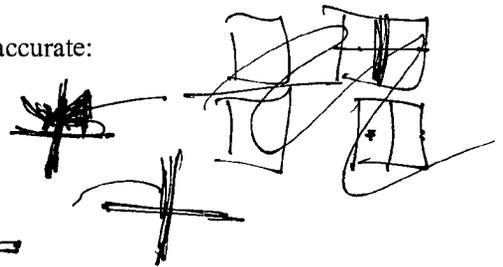
- Driveway material
- Porch railing and post materials *wood*
- Front steps material

I will be back in the office 1:00 pm on Monday. Please let me know when I can call you, or when you can come into the office.

Probably work on

*across the street
57'
squarely*

*40' 43' house next
door*





FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: April 15, 2005

Number of pages including this transmittal sheet: 1

RE: 10220 Menlo Avenue HAWP

NOTE:

I have reviewed the proposed design in more detail and would like to either talk to you via telephone or set up a brief meeting at my office. I want to discuss what my recommendation is going to be and see if you are amenable.

I am here today until 12:00 for a phone call; on Monday I am available between 1:00 and 4:00; and Tuesday at 10:00 or 2:00.



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

FAX TRANSMITTAL SHEET

Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: April 15, 2005

Number of pages including this transmittal sheet: 1

RE: 10220 Menlo Avenue HAWP

NOTE:

I have reviewed the proposed design in more detail and would like to either talk to you via telephone or set up a brief meeting at my office. I want to discuss what my recommendation is going to be and see if you are amenable.

I am here today until 12:00 for a phone call; on Monday I am available between 1:00 and 4:00; and Tuesday at 10:00 or 2:00.

Tania -

Can you please put your recommendation in writing and FAX back to me?

*301-588-1747
FAX*



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

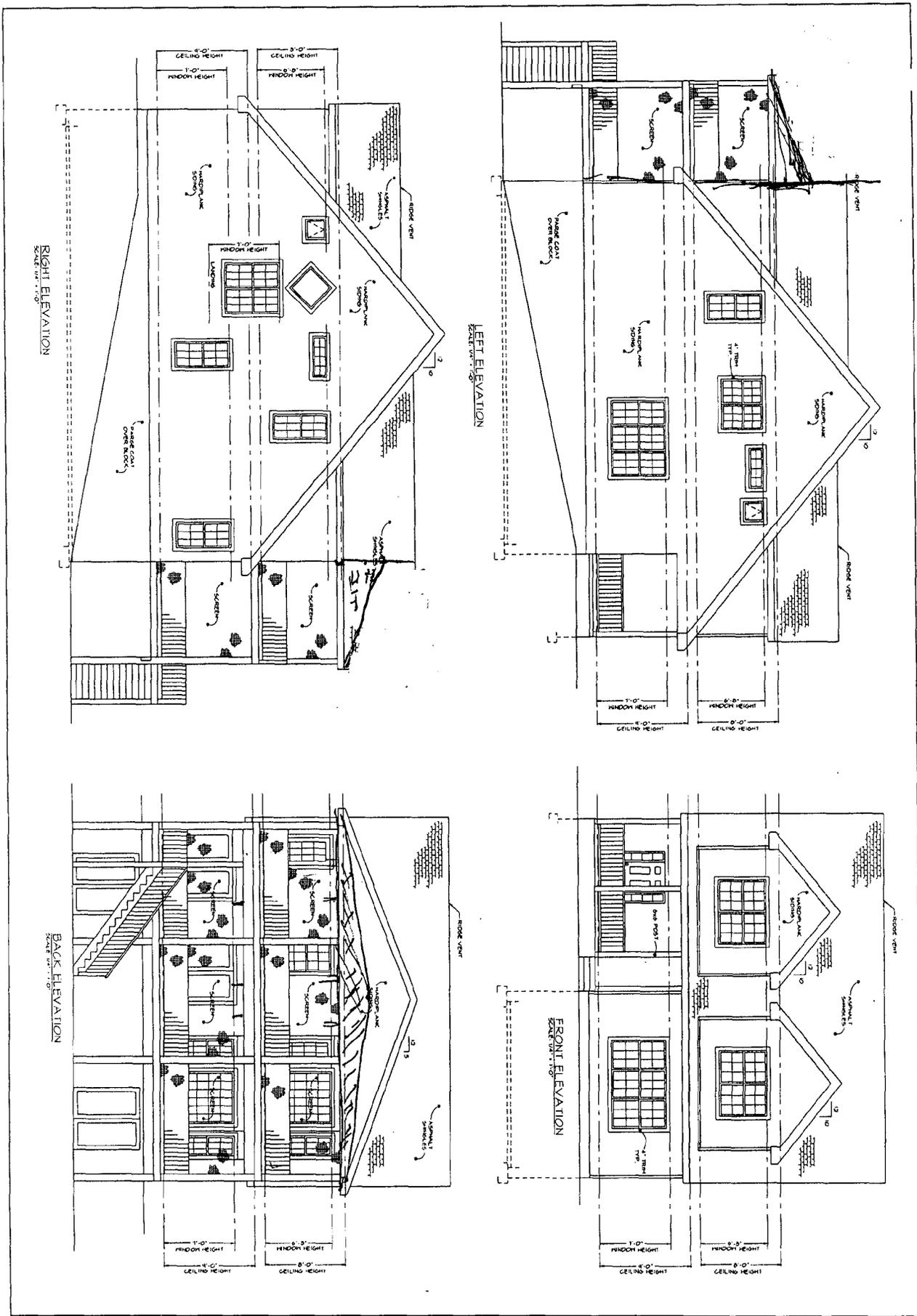
DATE: April 19, 2005

Number of pages including this transmittal sheet: 3

RE: 10220 Menlo Avenue HAWP

NOTE:

Attached are the drawings with the porch roof change suggestion drawn.



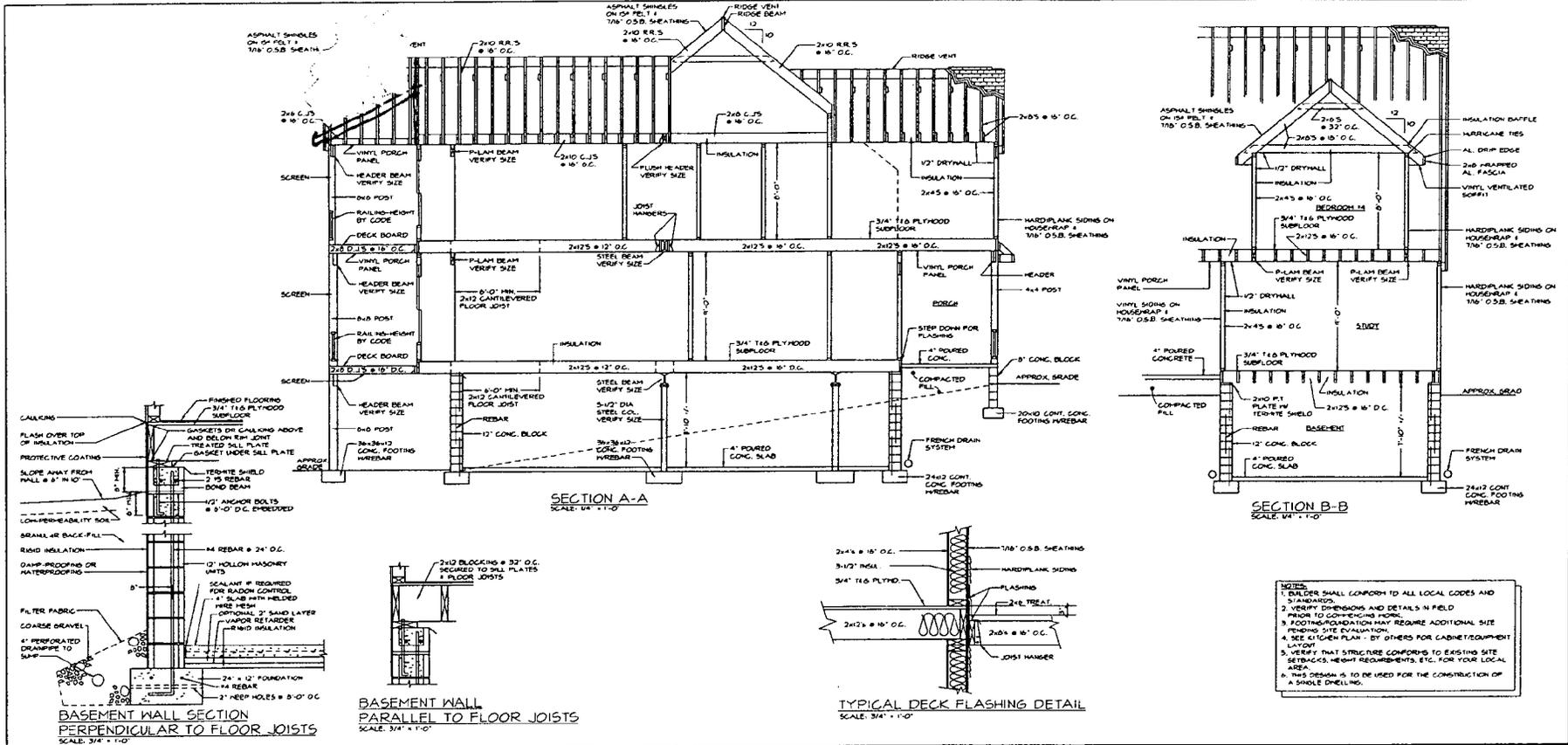
SHEET
A1
 OF 2

ELEVATIONS

SCALE AS SHOWN
 DRAWN BY: EDO
 DATE: 3/21/09
 APPROVED:

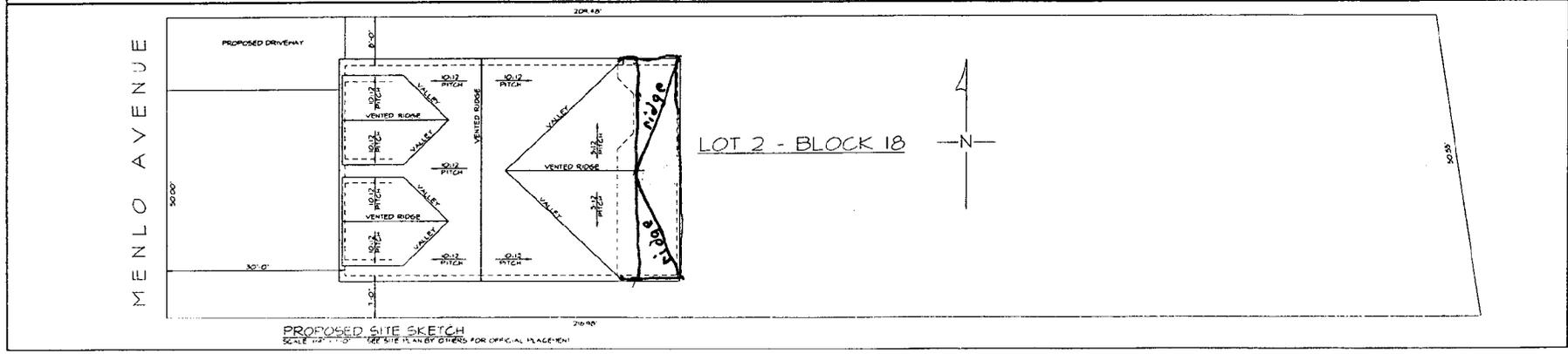
PROJECT
 MONAHAN/BRILL RESIDENCE
 CAPITOL VIEW PARK
 SILVER SPRING, MD

PLANETBLUEPRINTS.COM
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 4129 Highway One
 Rehoboth Beach, De 19971
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NOTES:

1. BUILDER SHALL CONFORM TO ALL LOCAL CODES AND STANDARDS.
2. VERIFY DIMENSIONS AND DETAILS IN FIELD PRIOR TO COMMENCING WORK.
3. FOOTING/FOUNDATION MAY REQUIRE ADDITIONAL SIZE PENDING SITE EVALUATION.
4. SEE GUTTER PLAN - 07' DIMENS FOR CABINET/EQUIPMENT LAYOUT.
5. VERIFY THAT STRUCTURE CONFORMS TO EXISTING SITE SETBACKS, HEIGHT REQUIREMENTS, ETC. FOR YOUR LOCAL AREA.
6. THIS DESIGN IS TO BE USED FOR THE CONSTRUCTION OF A SINGLE DWELLING.



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An O'Connor CAD Services Company

PROJECT
MONAHAN/BRILL RESIDENCE
CAPITOL VIEW PARK
SILVER SPRING, MD

SCALE: AS NOTED
DRAWN BY: ICC
DATE: 3/31/09
REVISIONS:

SECTIONS, DETAILS, NOTES AND SITE SKETCH

SHEET
A3
OF 3



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

FAX TRANSMITTAL SHEET
Montgomery County Department of Park and Planning
Historic Preservation Section

Telephone Number
(301) 563-3400

Fax Number
(301) 563-3412

TO: Patricia Monahan

FAX NUMBER: 301-588-1747

FROM: Tania Tully

DATE: March 29, 2005

Number of pages including this transmittal sheet: 1

RE: 10219 Menlo Avenue, New Construction

NOTE:

In order to proceed with the review of your HAWP, please provide the following by April 6, 2005:

- Site Plans – existing and proposed
- Dimensioned elevation drawings noting material types and locations.
- All elevations drawings should show the slope of the land and driveway location.
- Proposed landscaping plan – if any.

The new drawings as faxed seem to address most of the comments made by the Commission. I will provide comments on the new design at the time of submittal unless requested before then.

FACSIMILE TRANSMITTAL SHEET

TO: <i>TANIA TULLY</i>	FROM: <i>PATRICIA MONAHAN</i>
COMPANY: <i>HP</i>	DATE: <i>3-21-05</i>
FAX NUMBER: <i>301-563-3412</i>	TOTAL NO. OF PAGES INCLUDING COVER: <i>3</i>
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE:	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

PRELIMINARY PLANS FOLLOW.

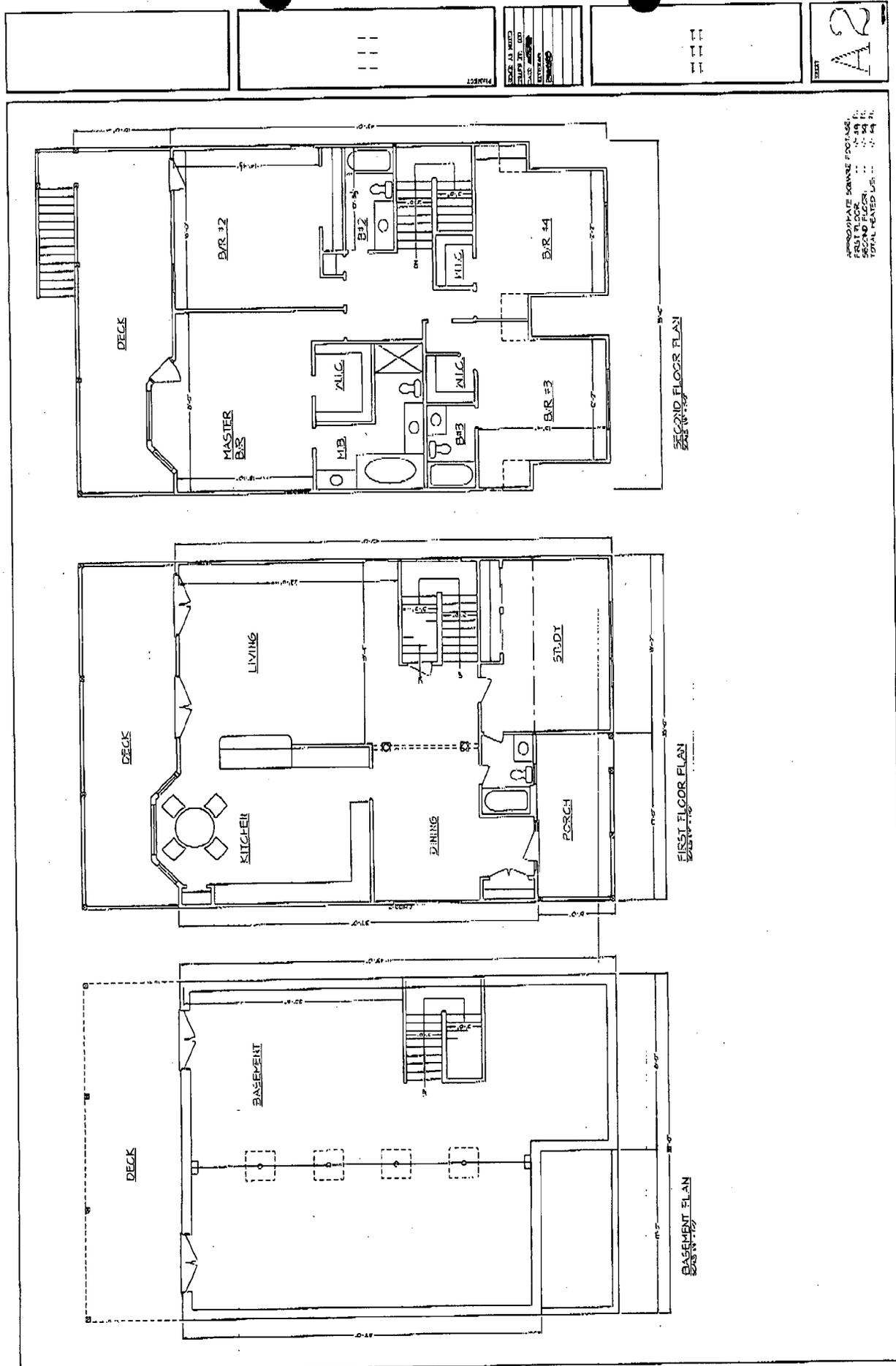
WHAT DO WE NEED TO PROCEED?

PLEASE FAX BACK YOUR RESPONSE

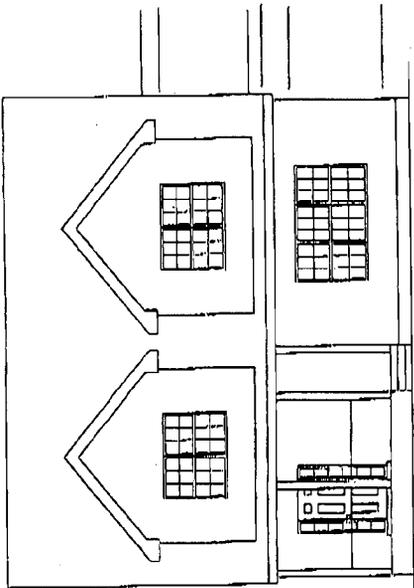
AND COMMENTS ON PLANS TO

MY FAX 301-588-1747

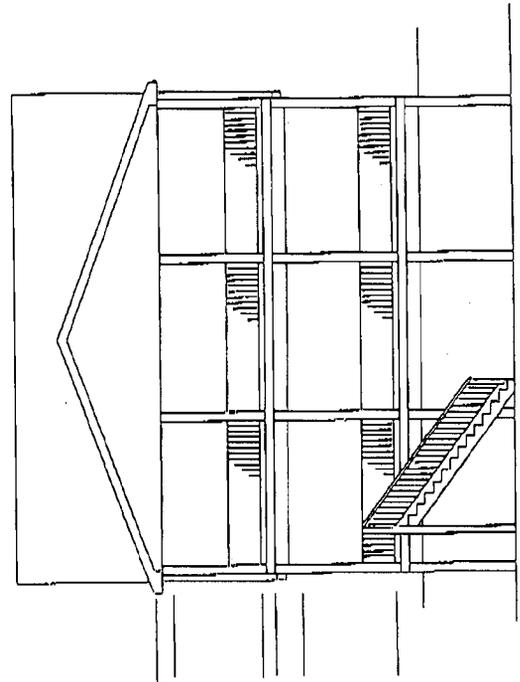
THANKS.



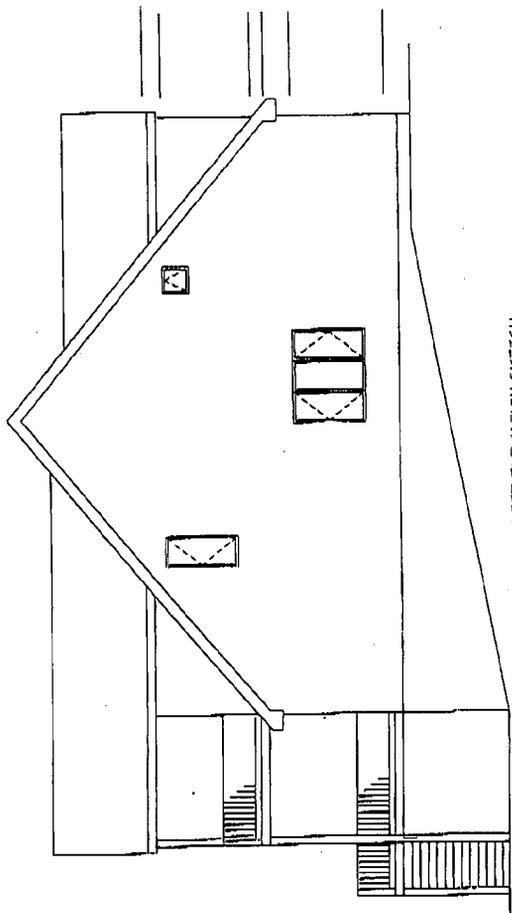
	 	<table border="1"> <tr><td>DATE & TIME</td></tr> <tr><td>PROJECT NAME</td></tr> <tr><td>SCALE</td></tr> <tr><td>DATE</td></tr> </table>	DATE & TIME	PROJECT NAME	SCALE	DATE	 	<table border="1"> <tr><td>A</td></tr> </table>	A
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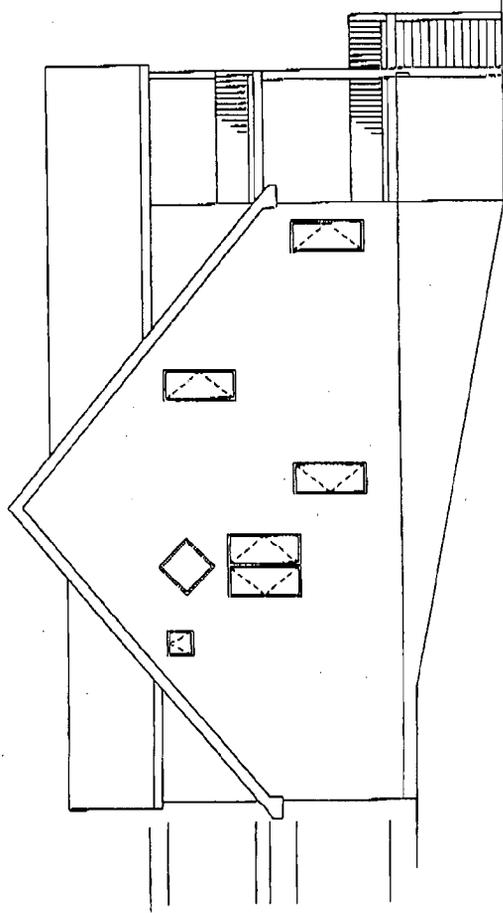
FRONT ELEVATION



BACK ELEVATION SKETCH



LEFT ELEVATION SKETCH



RIGHT ELEVATION SKETCH

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10219 Menlo Avenue	Meeting Date:	04/27/05
Applicant:	John Brill and Patricia Monahan (James Lange)	Report Date:	04/19/05
Resource:	Vacant Lot Capitol View Park Historic District	Public Notice:	04/13/05
Review:	HAWP	Tax Credit:	None
Case Number:	31/07-04H CONTINUED	Staff:	Tania Tully
PROPOSAL:	New construction	RECOMMENDATION:	Approval with Conditions

STAFF RECOMMENDATION

Staff is recommending approval with the following conditions:

1. The width of the house is reduced to 30 feet.
2. The rear porch roof is redesigned such that it is separate from the main roof.
3. The windows will be wood or aluminum-clad wood simulated divided light windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.
4. No vinyl products will be installed on the exterior of the house.
5. All railings will be wood with inset pickets – the exact designs will be approved at the staff level.
6. The details of the rear-screened porch will be approved at staff level.
7. Tree protections measures are in place prior to beginning of any work to protect trees on the Lange House property.
8. The applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits

BACKGROUND

The Commission first reviewed this project at its October 13, 2004 meeting (the drawings and transcripts from this meeting are attached beginning on Circle 16).

HISTORIC INFORMATION

Capitol View Park is a railroad community begun in 1887 when Mary and Oliver Harr purchased and subdivided land along the B&O's Metropolitan Branch between Forest Glen and Kensington. The community's name came from the view of the Capitol dome afforded by the upper stories of some of the early houses. Because of the growth of trees in intervening years, this view is no longer possible. Capitol View Park, however, continues to retain the scenic, rural setting which attracted its first inhabitants from Washington. Narrow, country lanes wind between large lots, the average of which is 12,000 square feet.

Farmer Thomas Brown built a house in the post-Civil War era, before the railroad bisected his farm. Set back on a long curving driveway, Brown's dwelling still stands, known as the Case House, at 9834 Capitol View Avenue.

Unlike the homogenous suburban developments that make up a great deal of Montgomery County, Capitol View Park is a picturesque blend of many architectural styles dating from the 1890s to the 1980s. The community represents the architectural history of Montgomery County over the last century. The first houses built in Capitol View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fish scale shingles. Notable Queen Anne style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

SITE DESCRIPTION

SIGNIFICANCE: vacant parcel within the **Capitol View Park Historic District**
STYLE: N/A
DATE: N/A

The northeastern boundary of the historic district is Menlo Avenue and only includes the properties on the east side of the street - the subject property is the next to the last lot. At .263 acres in area, this lot is an average size for the street. Immediately adjacent properties include the Lange House (.210 acres, Outstanding Resource), on the north and a non-contributing house (.354 acres) to the south. Across the street to the west are several c.1940s-50s resources - which are outside of the historic district. The lot is narrow and deep, sloping down towards the west with the low point being a stream at the back half of the property. There are significant drainage issues on the lot. There is an existing asphalt drive terminating in a raised concrete pad supported by a concrete block retaining wall. The site is largely open near Menlo Avenue, but turns to forest near the stream.

PROPOSAL:

The applicants propose to construct a new single-family residence set back 30' from the front lot line. The proposed house is two-stories with four bedrooms, a full walkout basement, front porch, and rear screened porches. Proposed materials include fiberglass shingle or asphalt roofing, vinyl trim, vinyl double-hung windows with between the glass "grids," and HardiPlank siding. The footprint of the house (not including the rear porches) as proposed is 1,575 sq. ft. (Circles 9-11). The relocated driveway is proposed to be stamped concrete.

Material Specifications:

- HardiPlank siding
- Vinyl double-hung windows with between the glass “grids”
- Parged foundation
- Asphalt or fiberglass shingles

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Capitol View Park Historic District there are two documents to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8 (d):

- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

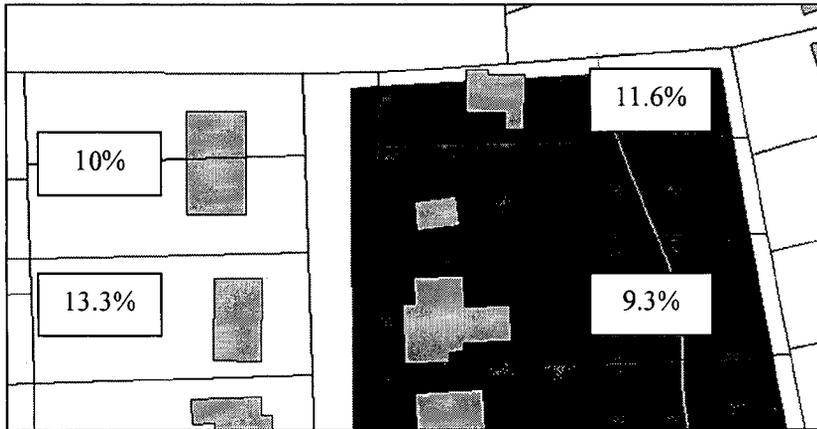
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

When reviewing this application for new construction, staff's primary concern is its impact on the Lange House and other Outstanding Resources on Menlo Avenue. The Monahan family owns all four lots at the end of the street, with 10220 sitting on two lots, outside the historic district.

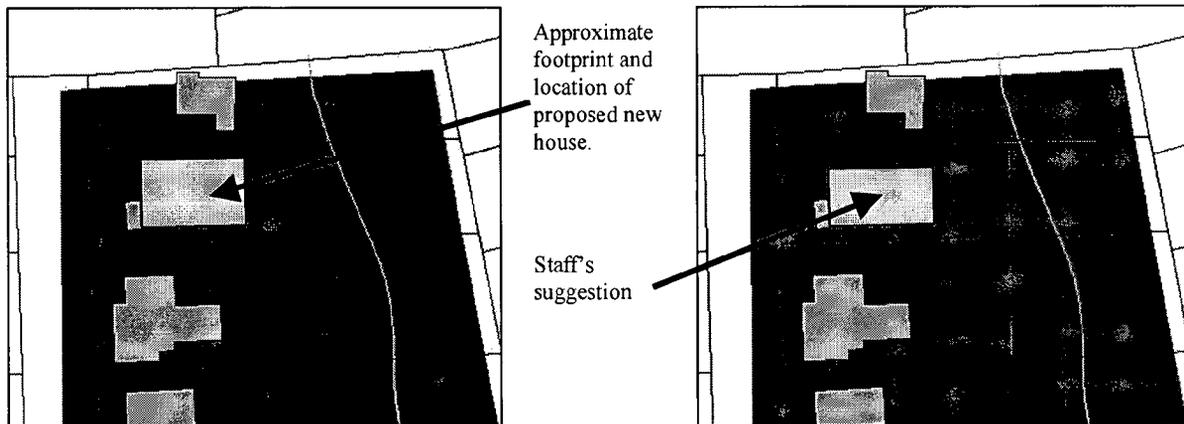
The new house as proposed is relatively compatible with the Capitol View Historic District and the Lange House. The applicant completely redesigned the house based on comments made by the Commission at the October 13, 2004 meeting. On the whole, the new design is much more compatible with the historic district than the prior submittal. Although it maintains a boxy footprint, the varying roof lines and front dormers give the house a 1 ½ story appearance on the exterior while allowing for a full 2nd level on the interior. The new design also proposes a screened two-level porch on the rear rather than the more suburban open deck.

Considering massing and proportion in addition to materials, staff has only two major concerns with the current proposal – the size of footprint and the rear porch roof. The footprint of the new house as proposed is 1,575 sq. ft. – more than 500 sq. ft. larger than the original proposal resulting in a lot coverage of 13.7% (compared to 9.21%). These numbers do not include the rear porch, but do include the front porch since it is under the main roof. If the front porch were not included, the proposed numbers would be 1461 sq. ft. and 12.8%. Adjacent properties have lot coverages* of approximately the following:



*Data was taken from the M-NCPPC GIS and the State Department of Assessments and Taxation Real Property Data. After calculating lot coverage based on each set of data, the larger of the two was used, though the difference was insignificant.

One of the challenges of this site is that the adjacent historic house is set very far back on the lot and down near the streambed. As a result, any new construction at 10219 must be carefully and creatively designed to ensure that the historic character of the house and its property are not diminished. Because of this, staff is recommending that the width of the house be reduced to approximately 30 feet. This would reduce the footprint of the house to 1350 sq. ft. and the lot coverage to 11.8% more in line with the historic house and surrounding lots. The applicant has proposed a front setback of 30 feet – a point between the historic Lange House and the adjacent non-contributing resource. Staff believes that the reduction in width of the house is a similar compromise.



The house is currently proposed to be set back 7 feet on the south and 8' on the north, by the historic house. If the width of the house were reduced, staff would recommend that the setback remain 7' on the south and allow for more room between the historic house and the new construction. The combination of a reduced footprint and increased distance from the Lange House makes the proposed new construction more

compatible in scale, massing, and setting. Changing the rear porch roof will also help. Staff is supportive of the screened porch concept and looks forward to seeing the details. However, we recommend that the porches be under a separate roof than the main structure in order to break up the massing and give it a more traditional porch appearance.

On the matter of materials, staff would not recommend the use of any vinyl products for new construction on this property. Use of compatible materials is one of the ways to work new construction into an historic district. HardiPlank may be an approvable siding material; windows should be wood with true-divided lights or simulated true-divided lights.

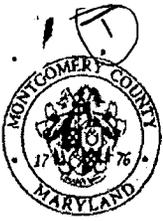
With the proposed modifications to the proposal, staff believes that this project could be conditionally approved. The design is vaguely reminiscent of both Cape Cod and Bungalow type houses and fits with the eclectic nature of the Capitol View Historic District. Staff encourages additional refinement and continued attention to the materials and details.

STAFF RECOMMENDATION:

Staff recommends that the Commission ***approve with the above-stated conditions*** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Patricia Monahan
Daytime Phone No.: 301-588-1747 voice & FAX

Tax Account No.: 00996553

Name of Property Owner: John Brill & Patricia Monahan Daytime Phone No.: 301-588-1747 voice & FAX
Address: 10220 Menlo Ave., Silver Spring MD 20910
Street Number City State Zip Code

Contractor: Matthews General Contracting Phone No.: 301-942-1234

Contractor Registration No.: MHIC # 121613

Agent for Owner: James Lange Daytime Phone No.: 301-962-0117

LOCATION OF BUILDING/PREMISE

House Number: 10219 Street: Menlo Avenue
Town/City: Silver Spring Nearest Cross Street: Loma & Grant
Lot: 2 Block: 18 Subdivision: Capitol View Park
Liber: 2549 Folio: 408 Parcel: 13-5-996553

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate Move Install Wreck/Reuse Revision Repair Revocable
CHECK ALL APPLICABLE:
 A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 275,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patricia Monahan 9-10-04
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 358205 Date Filed: 9-15-04 Date Issued: _____

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

No existing structures.

There are several large old growth trees in the rear of the lot which will not be disturbed by the planned construction.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New construction on Brill Property, Capitol View Park Historic District, 10219 Menlo Avenue, Silver Spring, Maryland: Two-story, four bedroom house with a covered front porch per plans and specifications.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

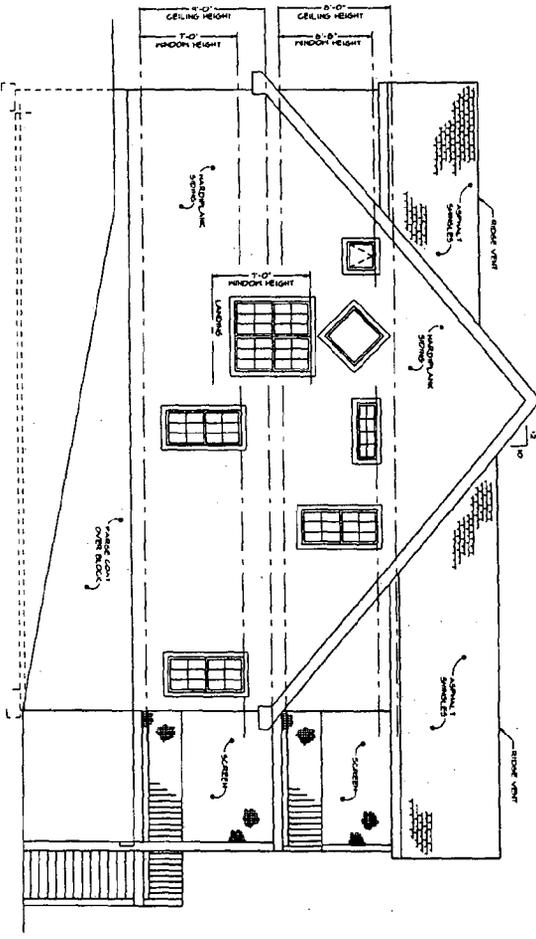
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

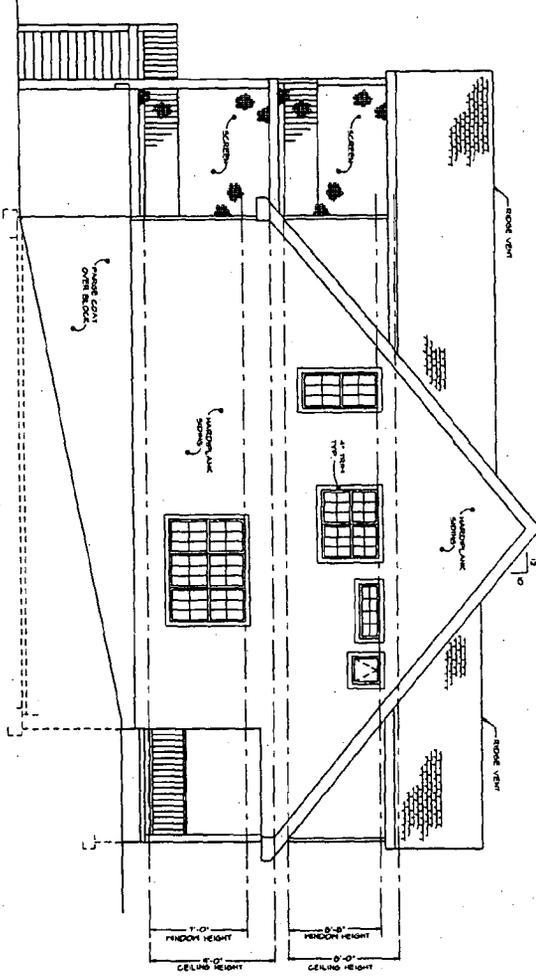
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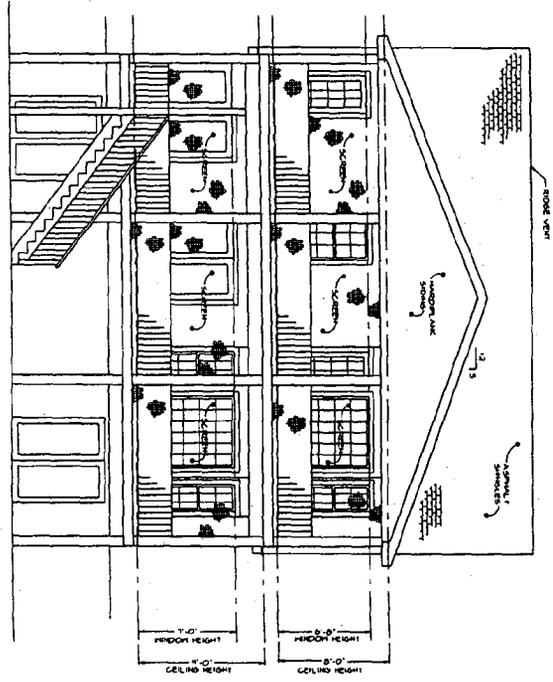
RIGHT ELEVATION



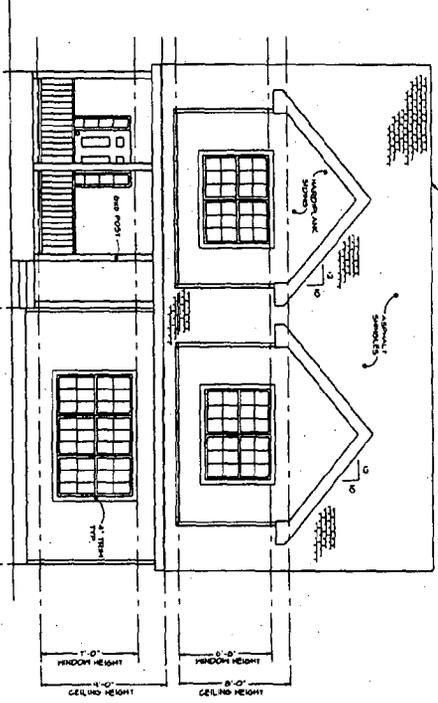
LEFT ELEVATION



BACK ELEVATION



FRONT ELEVATION



41

ELEVATIONS

PROJECT
 MONAHAN/BRILL RESIDENCE
 CAPITOL VIEW PARK
 SILVER SPRING, MD

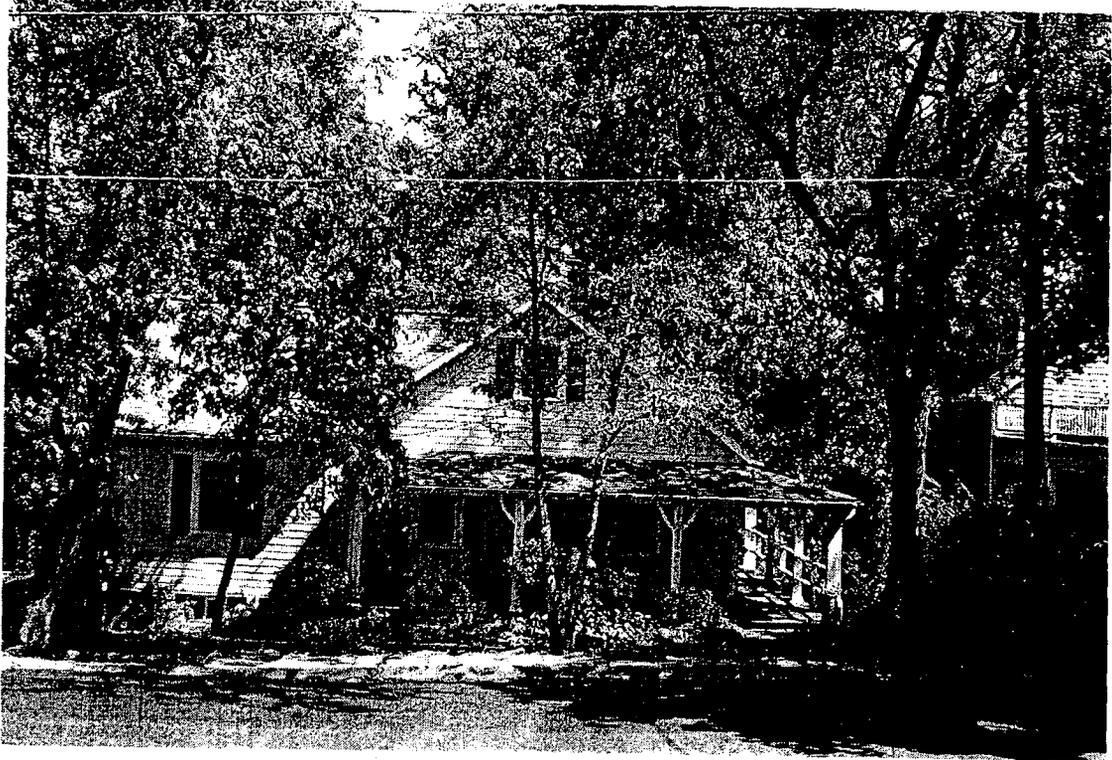
PLANETBLUEPRINTS.COM
 Your Plans. Your Way. Online.
 4129 Highway One
 Rehoboth Beach, De 19971
 (302) 228-9500
 An O'Connor CAD Services Company



10219 Menlo Ave.
(Subject property)



10221 Menlo Ave.



10217 Menlo Ave.
(10215 on the right)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Subject Property: 10219 Menlo Avenue

Owner's mailing address	Owner's Agent's mailing address
John Brill & Patricia Monahan 10220 Menlo Avenue Silver Spring MD 20910	James Lange 10221 Menlo Avenue Silver Spring MD 20910

Adjacent and confronting Property Owners mailing addresses

10218 & 10220 Menlo Ave.: John Brill & Patricia Monahan 10220 Menlo Avenue Silver Spring MD 20910	10219 & 10221 Menlo Ave.: John Brill & Patricia Monahan 10220 Menlo Avenue Silver Spring MD 20910
Peter & Susan Wilson 10217 Menlo Avenue Silver Spring MD 20910	Elizabeth & I. E. Aco 10218 Leslie Street Silver Spring MD 20902



FRONT/WEST

THE BRILL HOUSE

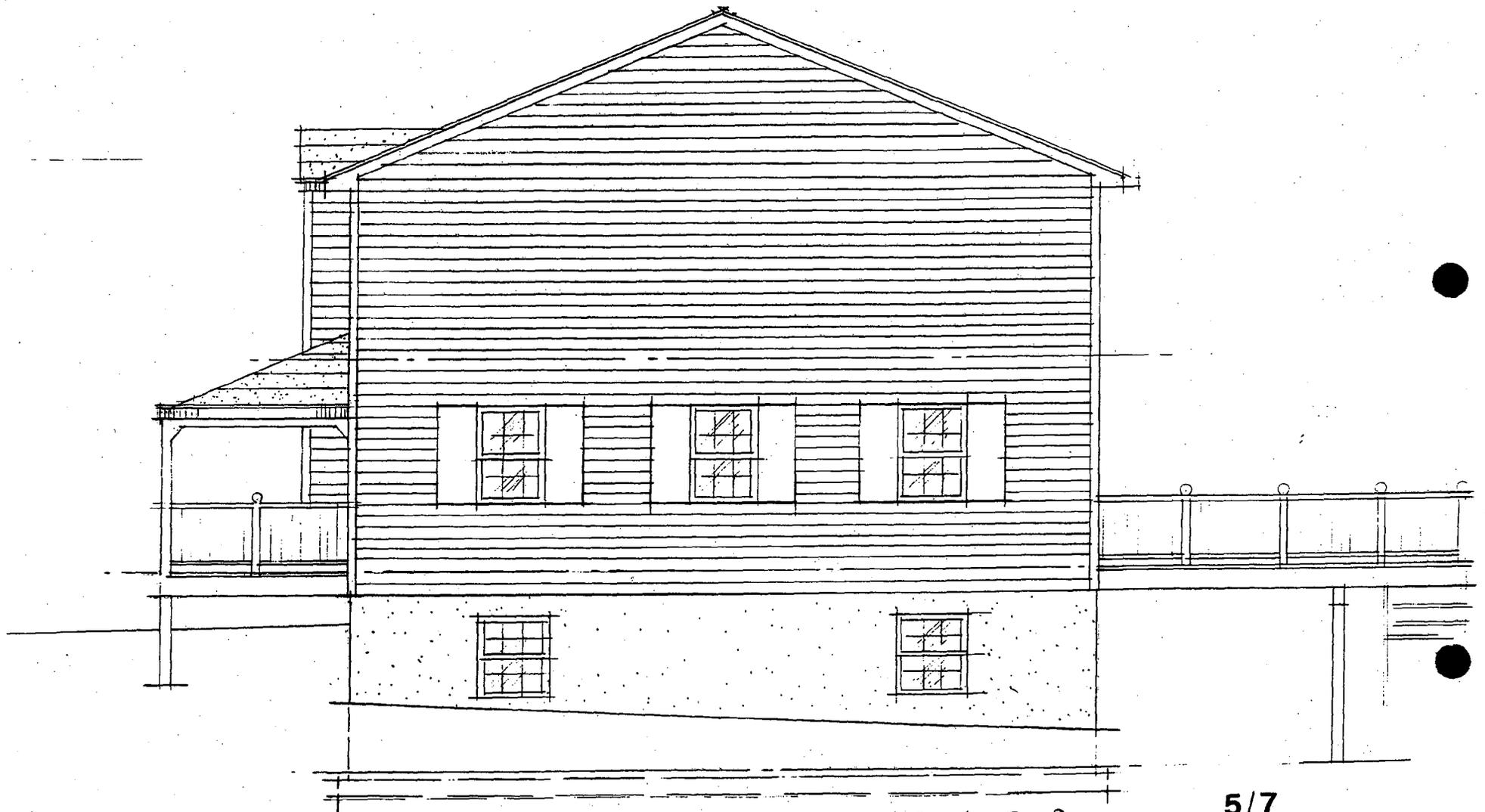


HARRY B. ADREON
 Architect
 4524 N. 19th Rd. Arlington, VA 22207
 (703) 528-2311

4/7

Version B

61
 (b)



SIDE/SOUTH

THE BRILL HOUSE

0 2 4 6 8

4OCT04

5/7

Version B

19
7



REAR/EAST

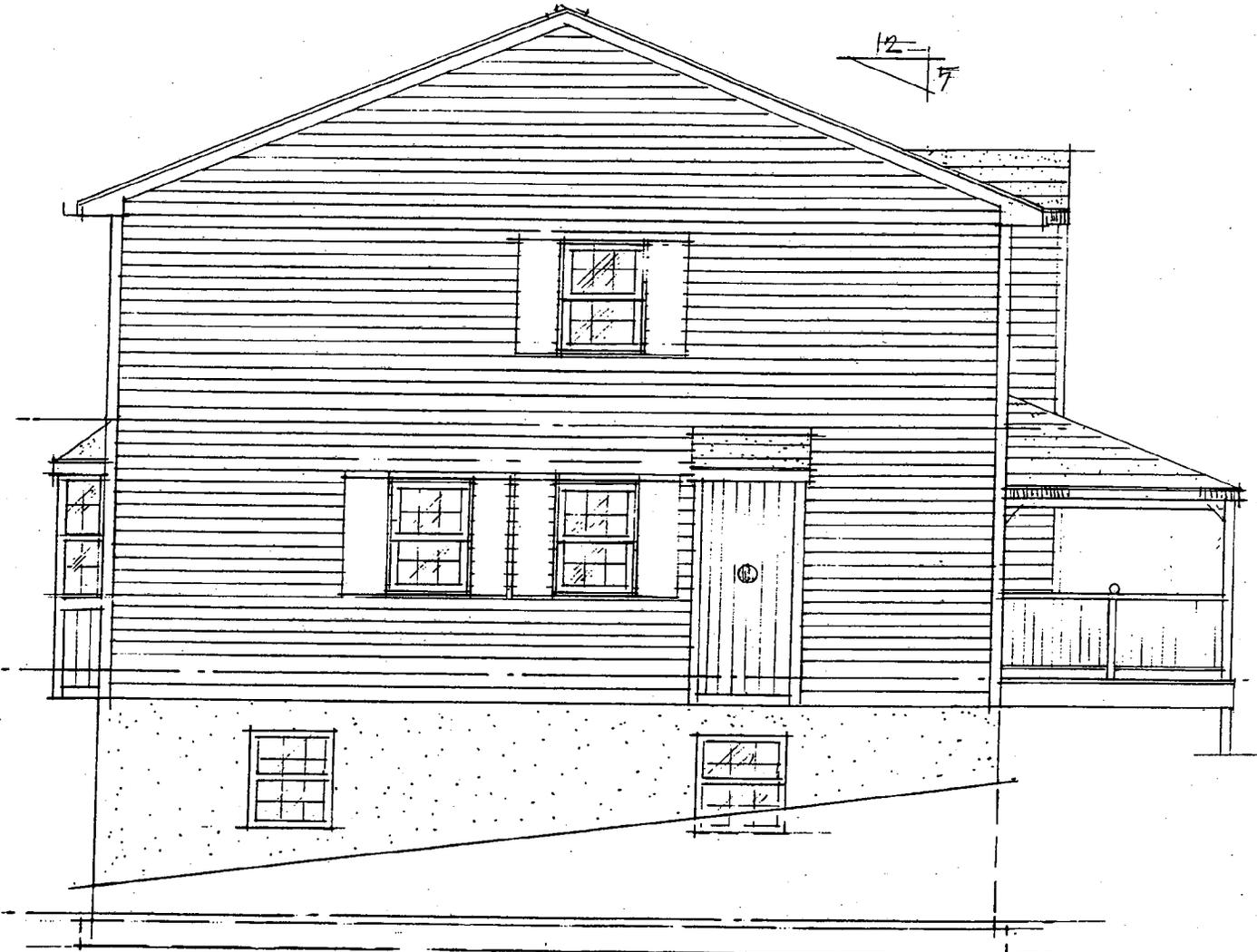
THE BRILL HOUSE



6/7

Version B

11
15



SIDE/NORTH

THE BRILL HOUSE

0 1 2 4 6 8

7/7

4OCT04

Version B

12
19

MATTHEWS GENERAL CONTRACTING, INC.
Construction Specifications for 10219 Menlo Avenue

- FOUNDATION** -Poured concrete footings (Engineer Certified)
-8" poured, reinforced concrete foundation walls (Engineer Certified)
-Asphalt waterproofing on exterior basement walls below grade
- BASEMENT SLAB** -Poured concrete over 6 mil poly vapor barrier; 4" stone base
- TERMITE TREATMENT** -Under basement slab and around perimeter with approved termite treatment chemical. Guarantee provided at job completion.
- WALLS** -2x4 exterior stud walls of kiln dried western spruce pine fir. Insulation blanket on Concrete walls in basement.
- FLOORS** -3/4" 4x8 OSB (oriented strand board) tongue and groove flooring on 2x10" floor joists
- ROOF** -Custom engineered, factory manufactured roof Truss system.
-7/16" 4x8 OSB roof sheathing
-Tamko "25 year" fiberglass shingles (25 year manufacturers limited shingle warranty)
-Roof ventilation system using vented vinyl soffit; continuous ridge vent at peak of roof, or other roof venting appropriate to roof style
- SIDING** -Hardiplank siding
- GUTTERS/ DOWNSPOUTS** 5" aluminum ogee seamless gutter and downspouts. Splash block at each downspout.
- EXTERIOR TRIM** -Vinyl soffit and aluminum wrapped fascia
-J-channel at all windows.

WINDOWS	-Vinyl framed, double hung windows by Capitol (series 9555) with screens, grids and insulated glass according to plan.
SLIDING GLASS DOOR	-Capitol vinyl framed sliding glass doors with insulated glass from 1 st floor to rear deck
ENTRY DOOR	-Front entry – Benchmark steel door with foam insulated core; completely weather-stripped
INSULATION	-Exterior frame walls/band board – R13; top floor – finished area walls with R13; R11 foiled faced blankets on basement concrete walls; \$30 insulation in 2 nd floor ceiling
STAIRS	-Factory fabricated box stair unit of CDX plywood (carpet grade)
CABINETS/VANITIES	-Homecrest Summerfield Square (or equal). Framed, flat center panel door in oak. Vanities with doors in baths.
KITCHEN COUNTERTOP/SINK	Laminated kitchen countertops with stainless steel double bowl sink.
VANITY TOPS	-Single Bowl, cultured marble in white in all baths.
APPLIANCES	-Refrigerator - \$1000.00 allowance -Range - \$750.00 allowance -Dishwasher - \$500 allowance -Disposal - \$250 allowance -Range Hood - \$300 allowance, vented to outside.
INTERIOR TRIM	-Interior doors – six panel amazonite, hollow core with 2 1/4" molded DC 98 trim -Window trip – DC 98 with wood jamb extensions. -Base – 3 1/4 ogee trim

- PLUMBING** -All plumbing inspected by WSSC. PVC waste/vent pipes; CPVC water pipe; exterior hosebibs on front and rear of house, water supplies and drain standpipe in basement laundry area. Ruud or equal high efficiency 40 gallon hot water heater; Moen kitchen and vanity faucets, Briggs or equal round front toilet, 5' standard one piece, fiberglass Akers tub/shower in two baths.
- HVAC** -Exhaust fans in all baths
-High efficiency furnace sized to fit house.
-Electric central air conditioning system, sized to fit house.
- ELECTRICAL** -All wiring according to electrical code and County inspected. 200 amp service Exterior waterproof outlets on the front and rear, smoke detector on each floor and for each bedroom, doorbell, electric clothes washer and dryer outlets, prewire for 3 phone and 3 cable outlets. Complete lighting package (\$450.00 allowance). Electrical panel to be in basement. Basement lighting will consist of porcelain ceiling lights.
- PAINTING** -Exterior entry door received one coat acrylic latex enamel over factory primer coat. Finished interior walls and ceilings receive two coats of flat latex. Interior trim receives one coat flat primer and one coat of semi-gloss.
- FLOORING** -Vinyl flooring over plywood underlayment in kitchen and baths.
-Wall to wall carpet over 3/8 foam pad in all other finished areas including bedrooms.
-No flooring in basement or on basement stair.
- OTHER** -Mirrored medicine cabinets in baths.
-Locksets/doorknobs are Kwikset "Standard" series in polished chrome.
- EXTERIOR** -Driveway - Asphalt 3" base and 1" top coat.
-Walk to house - 3' concrete.
-Finished grade, seed and straw all disturbed areas.

In the case of unavailability or manufacturers changes, Matthews General Contracting, Inc. reserves the right to substitute above specified equipment/models/brand-named material with equipment/models/brand-named material that is equivalent or better quality.

THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 36/01-04A
Linden Lane :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 10/59-04D
25917 Frederick Road :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 30/13-04B
10935 Montrose Avenue :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-04N
4010 Prospect Street :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-04F
2801 Beechbank Road :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-04G
2805 Beechbank Road :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-04BB
35 Quincy Street :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-04CCC
7111 Holly Avenue :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-04CC
12 Oxford Street :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 14/27-04A
23412 Ridge Road :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-04H
10219 Menlo Avenue :
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-04D
10115 Meadowneck Court : REVISION
- - - - - X
HISTORIC AREA WORK PERMIT - : HPC Case No. 37-03-04DDD
7332 Piney Branch :
- - - - - X

A meeting in the above-entitled matter was held on
October 13, 2004, commencing at 7:53 p.m., in the MRO
Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland

20910, before:

COMMISSION CHAIRMAN

Julia O'Malley

COMMISSION MEMBERS

Kimberly Prothro Williams

Caroline Alderson

Lynne B. Watkins

Lee Burstyn

Jef Fuller

ALSO PRESENT:

Gwen Wright

Michele Naru

Anne Fothergill

Tania Tully

APPEARANCES

<u>STATEMENT OF:</u>	<u>PAGE</u>
Steven Robins	6
David Vos	6
Matt Birenbaum	7
Jack McLaurin	7
Fred Gorvasi	25
Robert Lach, Jr.	36
Sterling Mehring	36
Alan Adler	46
Mark Hughes	53
James Lange	80
Josh Haines	99
Barry Malko	102
Jim Welu	109
Carl Mahany	127

1 your time.

2 MS. O'MALLEY: The next case is Case K, 10219
3 Menlo. Can we have a staff report, please?

4 MS. TULLY: Yes, I have a staff report. Case K is
5 at 10219 Menlo Avenue. It is a vacant lot in the Capitol
6 View Park Historic District. The proposal is a new single-
7 family residence set back 30 feet from the lot line, two
8 stories, four bedrooms, walk-out basement, et cetera. And
9 the property is immediately adjacent to the Lange House, an
10 outstanding resource, and on the other side of the property
11 is a non-contributing house. Menlo -- Menlo Avenue is a
12 street that is at the border of the historic district. On
13 one of the street you have outside of the district. On the
14 other -- where this line is, you are in the historic
15 district.

16 Staff is recommending denial of this application.

17 Our primary concern when reviewing the project was its
18 impact on the Lange House and other outstanding resources on
19 Menlo Avenue. The new house as proposed is incompatible
20 with the historic district and the Lange House. Although it
21 is relatively small in footprint, the massing of the full
22 two-story and the massing design make it appear much larger
23 than it actually is and overwhelms and does -- the Lange
24 House.

25 It is a somewhat challenging site because the

1 historic site is set very far back on its lot. So, those
2 are my recommendations. I do have some photographs of the
3 slides if you would like to see them.

4 MS. O'MALLEY: Very quickly.

5 MS. TULLY: Okay, this is taken from Lange, from
6 Menlo Avenue. This is the Lange House. This is
7 approximately the subject property boundary here and, you
8 know, roughly up this way. This was taken straight on
9 looking at the subject property. This is the non-
10 contributing house on the other side. And just another shot
11 through the trees.

12 This is approximately where the setback line at
13 the front of the house would be, 30 feet from the street.
14 It is set back farther than the non-contributing house, but
15 not as far back as the historic house. There are definite
16 drainage issues on this property.

17 This is taken from probably about halfway back on
18 the property -- it's a very narrow lot -- looking towards
19 the non-contributing house. This is looking straight up
20 towards Menlo Avenue. This gives you an idea of this is
21 approximately the property line between the vacant lot and
22 the historic house.

23 Again, this is just a shot standing at the front
24 of that van that you just saw looking towards the historic
25 house. And just another shot looking back towards the other

1 way, so you have an idea what the back of the lot looks
2 like. And these are just a couple of shots of houses down
3 the street. None of these are actually the contributing
4 resources, except possibly as we step forward the Lange
5 House, the other property -- outstanding resources are
6 farther down the street.

7 And -- any questions.

8 MS. O'MALLEY: Are there any questions for Staff?

9 I believe the applicants are here. Would you state your
10 name for the record, please?

11 MR. LANGE: Certainly. My name is James Lange, L-
12 A-N-G-E. I am the Lange that the Lange House talks about.
13 I grew up there and lived there for about 50 years, so I'm
14 very familiar both with this land, certainly. What we're
15 talking about now was originally, was until a short time
16 ago, my side yard. And also being there for 50 years, I'm
17 very, very familiar with the neighborhood of Menlo Avenue
18 and the area.

19 And I have a couple of things to say about this --
20 staff report. Basically, I'm trying to find the first error
21 I found that it was a distance of -- let me just -- and I
22 know what it was, so let me just say that the length -- not
23 the width. The width is 50 feet each of these lots. They
24 were subdivided in 1887 and that's what they did then. The
25 depth of the lot, though, is 200-plus feet. And it's

1 mentioned that a stream is at the back of the lot. It's
2 not. It's only about 120 feet down. I mention that because
3 on the next page it mentions the Lange House, and the Lange
4 House is close to the stream. It makes it sound like it's
5 toward the back of the lot, which it's not. Okay.

6 I come down here and I note the County Code, which
7 is the law -- not just opinion; it's law, and it says that
8 you should be lenient in the judgment of plans for
9 structures of little historical or design significance. And
10 actually, I think that the design we put in was historically
11 correct; that is to say, it did not in any way violate a
12 Victorian design, which is the -- this whole area was
13 subdivided in 1887. The Lange House is actually about 200
14 years old, but that's another story. But the place was
15 subdivided in 1887 so it is Victorian that is the theme of
16 most of the houses and the historic idea. As I say, there
17 is nothing un-Victorian about what we've put in.

18 Okay. Now, if you mention an outstanding
19 resources on Menlo Avenue, well there's two you have marked
20 here sort of on your Circle 28, I believe it is. Various
21 outstanding resources and that is a matter of opinion and I
22 will not argue with you about those outstanding resources.
23 But I do point out to you that 10209, which is the one right
24 below the one -- well, you have 10211 and 10209 is right
25 below it -- was built in 1989. It's a new house. Also,

1 10203, which is the one all the way at the bottom there, was
2 built in 1989. It's another new house. You have them
3 marked as outstanding resources. They may be, but they
4 certainly are not old or part of the old Victorian
5 neighborhood.

6 Okay, that being done, we move on. Okay, the idea
7 that the -- you saw the photographs. The idea that the new
8 house will somehow dwarf or make it seem insignificant, the
9 Lange House is to some extent true, basically because the
10 shape of the yards that we were looking at. The Lange
11 House, if you look at it from the street, you cannot see the
12 first story. The first thing you see is the second story
13 and you can see -- it's two-and-a-half stories actually.
14 You can see a part of the roof. But that's all you can see.

15 So, any house that you put on the gently sloping lot next
16 to it, which is not down all the way, so the first floor is
17 -- any house you put there is going to, to some extent,
18 overwhelm it and to some extent look bigger than it is. So,
19 it doesn't really matter what your exact size is or what
20 your design is; anything is going to look bigger.

21 And as a matter of fact, the house which you folks
22 recommended -- you folks sent a recommendation out which has
23 a lot of curlicues and curves and changes, that house to my
24 mind was a copy of the Victorian farmhouse which has been
25 modified over time. Not an original house, but one which

1 has been modified. That has so many angles and changes in
2 it, that I think it would not only overwhelm the Lange House
3 but the Wilson house, which is a non-contributing house next
4 door on the right, because it is a very -- in a way fancy
5 house because of its shape. But more fancy than the house
6 which we propose.

7 Oh, and we've got one more thing which is the
8 materials. You suggest wood windows and -- I know we were
9 talking about wood a few minutes ago. The basic problem
10 with wood as far as I'm concerned is it has to be painted
11 with oil-based paint if you're going to keep it preserved.
12 And oil-based paint is, unfortunately, a pollutant and we're
13 talking about being on a slope here that slopes down to the
14 stream which runs into Rock Creek, which runs into the
15 Potomac, which runs into the Bay, which is part of the whole
16 water system here. And any, as I say, any oil-based paint,
17 and we know that's -- Wilson house where they do have wood
18 and they do chip and repaint occasionally. The part you
19 chip off flows down into the stream and off it goes. As I
20 say, this oil-based paint is polluting and is a bad idea.

21 The other thing I wanted to say is that on my old
22 house, which as I say is 200 years old, I do have because of
23 replacement, two vinyl windows on the front and on the back.

24 And except for the fact that paint peels off the wooden
25 windows and if you touch them you can tell; other than that

1 you can't tell the difference. And I totally agree with
2 your concept about the shape of the windows should be that
3 they should have separated blanks and be exactly in effect
4 like the windows that are on the 200-year-old house because
5 that would be -- but as I say, I am not in favor of putting
6 any wood on this project.

7 And the last thing I would like to say is that --
8 and this disagreement here never got into the report or the
9 public via the press, somebody might wonder why you would
10 disapprove a plan or a memorandum which in 1999 you approved
11 -- actually it wasn't our plan, but it was almost identical
12 and I have a photograph of it here, for 10020 Menlo Avenue,
13 which is down on the other block of Menlo, but it's still in
14 the historic district. As I say, folks may wonder why you
15 disapproved this plan one place on Menlo Avenue in the same
16 historic district and approved of it on another spot. And
17 here -- if I may bring these forward, I can show you the --

18 (Discussion off the record.)

19 MR. LANGE: They're all the same and they have
20 both the -- all the alleged --

21 MS. TULLY: Keep one for yourself.

22 MR. LANGE: Thank you. They have all the lots
23 there that you say are the original ones -- important lots
24 marked and as well as having, on the second page, the
25 photographs of this house which you folks approved back in

1 1999 -- it was built back in 1999 on the other block of
2 Menlo.

3 (Discussion off the record.)

4 MR. LANGE: Renovate -- okay, it was renovated in
5 '99; sorry.

6 (Discussion off the record.)

7 MR. LANGE: Okay, there's more than one picture.
8 There are actually three pages -- okay, two pictures of that
9 house and one shows the house next door to it. As I say, it
10 is down on the other level of Menlo. Speaking of
11 overwhelming, it makes the house next to it look like a
12 shack. Also the dark color of the other house --

13 However, I think, I think what I wanted to say was
14 that we consider that our projected house, our plan, is
15 Victorian and, therefore, within the theme of the historic
16 district. That it is not truly large enough to dwarf either
17 the Lange House or the Wilson house on the other side.
18 Actually, the Wilson house is 46 feet wide. It's a very
19 wide house. It's on a -- most of these are 50-foot lots.
20 The Wilson lot, which is right next to the lot we're talking
21 about, is a 70-foot wide lot -- 75. It has a 70 frontage
22 and, again, it goes back 200 feet and it has a 46-foot wide
23 house.

24 So, we don't think that this would, in any way --
25 this plan would, in any way, dwarf these things. As a

1 matter of fact, it's actually with its porch, actually a
2 rather pretty looking, a rather pretty looking Victorian
3 house as far as we're concerned. And -- with the shutters
4 and, of course, the style, the proper style of window, if I
5 may.

6 And so we don't think it's particularly odd and we
7 think it is -- the whole thing -- as I say, we think that
8 anything in one way, because of the shape of the ground --
9 anything in one way will overwhelm the Lange House simply
10 because the first story of the Lange House can't be seen
11 from the street because it's down -- there's a bigger slope
12 there and it is built below the slope, whereas the lot next
13 to it is a gentle slope, rather than being an abrupt slope,
14 as you can see in the photographs.

15 And as I say, so we think that this would be a --
16 we disagree with your staff report in the ways which I have,
17 in the ways which I have pointed out. That's about it.

18 MR. FULLER: When somebody typically comes in for
19 a new house in a historic district, most people come in for
20 a preliminary consultation to sort of work through things at
21 a soft level. Is there a reason you chose not to go that
22 route?

23 MR. LANGE: Well, we had, we had had both the
24 architect and the builder in consultation with some of your
25 people, and he had gotten, at that point, we had gotten

1 nothing in terms of direction or guidance particularly from
2 your folks. And we -- since we weren't gaining anything, we
3 weren't getting any advice that seemed to be positive and
4 forward-looking, something to tell us how we could do this
5 so that we might succeed, we didn't see any reason to
6 continue to do, to do that again, as it were. Because, as I
7 say, we did do consultation, but we didn't do an official
8 preliminary, but we did do a consultation.

9 MR. FULLER: Okay.

10 MS. WILLIAMS: I understand the applicant's point
11 that the Lange House is set low into the hillside and that
12 anything next to it might overwhelm it. But I don't think
13 that that's necessarily justification for just building
14 anything there. I mean, I think that the house that is
15 built next to this outstanding resource needs to take into
16 consideration its position on the landscape and it should
17 somehow sympathize with that positive and be somewhat
18 organically sited itself.

19 I'm not saying that even a smaller, lower house
20 wouldn't in some way mar the historic setting, but it might
21 be less compromising and be more acceptable. As it is
22 presented in this packet, the house neither really addresses
23 the outstanding resource next to it, nor the context of the
24 Capitol View Historic District. It's not really Victorian.
25 I mean, it has some Victorian elements; a projecting

1 central bay and the front porch, but in terms of the
2 massing, asymmetry, the things that I think of when I think
3 of Victorian architecture; recessions and projections, you
4 know roof -- asymmetrical roof lines and things like that,
5 that's non-existent. This is a very straightforward
6 symmetrical three-bay box, and it's not in character with
7 the larger historic district nor in character with the
8 outstanding resource next to it.

9 So, I would like to see a little bit more effort
10 put into designing the house more specifically to its site
11 so that it reads more naturally and is more appropriate.

12 MR. LANGE: Well, again, I cannot disagree with
13 that concept and whereas I do think that as presented, was
14 Victorian, because Victorians also built simple houses, as I
15 pointed out. The house you folks recommended to us looks
16 very much like what had originally been a simple Victorian
17 farmhouse which had been added onto and modified over the
18 years. And -- which basically looked authentic by the way.
19 Most -- many of them were. But, as I say, that's the way
20 it seems today.

21 However, I do not at all disagree that the site
22 should be -- the site especially should be taken into
23 consideration because we are building here -- and I don't
24 know if it shows, but -- that we are building on a slope,
25 even though it is not -- as you say, it is not a dip the way

1 my house -- the old Lange House is on, but it is still a
2 downhill slope.

3 MR. FULLER: Let me bring up a couple --
4 particularly with the late hour. From my perspective I
5 agree with Commissioner Williams that I'm not against
6 building a house at all on this lot. I'm not against the
7 idea of trying to make a Victorian, but I do believe that
8 the design as presented to us, is very boxy and in my
9 perspective, would be unapprovable per se as it's presented
10 tonight.

11 If -- and so I sort of looked at this as we have
12 two choices. We can either -- if we're saying we are going
13 -- what's in front of us you want us to vote on and make a
14 decision on, that's one course of action, in which case it
15 doesn't make a lot of sense for us to spend a lot of time
16 sort of going through a design review. If we wanted to take
17 the approach that we did with the previous application and
18 essentially say that we want to go through sort of a
19 continuance so that you have the opportunity to hear the
20 opinions of the Commission and hopefully I'll call it more
21 of an adjustment of the design rather than anything else,
22 then I think we ought to go through and give you our design
23 comments as to what's going to be here. But that really
24 sort of depends on how you want to approach this evening's
25 hearing.

1 MR. LANGE: Well, I would appreciate hearing your
2 comments, but I'd also appreciate hearing -- 10020 Menlo
3 Avenue, which in my mind, is almost identical to what we've
4 project -- are projecting here and which was approved in
5 '99. I'd like to know, aside from the fact that it's next
6 to actually a small boxy dark house, rather than being next
7 to a quite historic resource --

8 MR. FULLER: I'd have to defer to somebody who was
9 on the Commission in '99. I was not there, but it was
10 phrased that that was a renovation rather than a new
11 construction, so I'm assuming most of the form was there to
12 begin with.

13 As it relates to this house, I guess my concerns
14 on it; number one if you look at the front elevation, the
15 size of the central section looks too insignificant in
16 relationship to the rest of the house. It's sort of a small
17 added on element.

18 I think the design is weakest in its side
19 elevations. If you look at your south side elevation, you
20 know it starts almost to take on a barn appearance to it and
21 I think that -- as I said, I don't think that's what you
22 want to end up with --

23 MR. LANGE: No.

24 MR. FULLER: I don't --

25 MS. O'MALLEY: Circle 10.

1 MR. FULLER: Circle 10. I don't know that it has
2 to be anywhere near as detailed as what Staff had put forth
3 as potentially another alternative, but I do think it needs
4 to be broken down in scale somehow. It needs some other --
5 it needs some other elements added to it.

6 So, from my perspective, I'm not sure that the
7 total size of the house is necessarily a problem. I'd
8 probably prefer it a little bit smaller than it is right
9 now, but my main concern is it's just -- it's right now
10 reading as a big box and the front elevation I just don't
11 think is sensitive right now. I think there's some elements
12 -- in particular, the central element would want to grow if
13 it wants to stay in that general configuration.

14 MS. WILLIAMS: I think it's not just the front
15 elevation. The rear elevation really doesn't relate to the
16 site either. I mean, in a way, I think lowering the height
17 to one-and-a-half stories that it's a full two stories in
18 size, but you still get the same number of stories which
19 help reduce the height from the exterior and might help
20 ground the house a little bit in the rear.

21 But those are my comments in general and the
22 design; I think it needs to be lowered in height; made to --
23 structure and maybe give it a little bit more articulation
24 architecturally in terms of some bays or projections or
25 something rather than just a box.

1 MS. ALDERSON: I would like to add to that. Going
2 back on the -- your suggestion that the precedent that
3 exists should carry into the future, I would add that we
4 also try to learn from how things look when they are built.

5 And when we see that the solution is not very successful,
6 we try to encourage the applicants to do a little better.

7 I -- when I look at this design, it looks like a
8 Germantown subdivision where all the houses match. It does
9 not look contextual to this location. It doesn't appear to
10 be built -- designed independent of the location.

11 I don't think it has to be a one story house.
12 Nor, as complex as the guidance. But I think the guidance
13 was provided really to offer suggestions about what is the
14 rhythm of the neighborhood and I'm -- I am -- live in a
15 historic district that's very diverse and so to me starting
16 with this -- rhythm here and I think above all, that rhythm
17 is defined by shapes that are not -- I see it as very boxy,
18 but particularly I'm concerned with the roof line. The roof
19 line is not at all Victorian. It's a very shallow roof
20 line. That's part of what is making it look boxy. A
21 steeper roof is going to make it look -- you know, blend in
22 more with the streetscape and this kind of picturesque
23 quality. I mean, I think that's the big thing to me is that
24 the buildings are picturesque, because of the shapes,
25 because of the roof lines.

1 And the other thing I would suggest is to look at
2 the way the features are laid out. Right now it's -- rather
3 horizontal and broad and simply changing the proportions and
4 the detailing of the windows and the bands of windows with a
5 broad front and a shallow -- together create a boxy look.
6 And just modifying those will also, I think also help in
7 making that centerpiece less like a stair tower that's
8 pulled forward and more either a distinct mass or
9 eliminating it altogether might help.

10 MR. LANGE: Well, I tend to agree that the house
11 could be less boxy. Without putting corners all over it or
12 making it look as if there have been several additions, I
13 think it can be fixed so that it's not square and boxy. And
14 I think that that is not a bad idea and I think that that
15 will probably improve it.

16 And I also agree that the roofline can, indeed, be
17 changed without, again, altering the concept that much.
18 Although, as I say, I was just noticing the photograph of
19 this other house, and this roof line is -- well, actually
20 it's -- very flat. I'll avoid that roof line because, as I
21 say, the one in the photograph appears way too, way too
22 flat.

23 Yeah, I think it should -- just to point out to
24 you that it looks like my house; it looks like the Lange
25 House.

1 MS. O'MALLEY: Well, there's something to that.
2 It's possible that you might be able to move back on the
3 property just a little bit more?

4 MR. LANGE: It already is set back on the
5 property. What we did is we set it back halfway between
6 where the Wilson house is, which is the house to its left
7 actually -- right -- to its right; I'm sorry -- and my
8 house, the Lange House. We set this one halfway between
9 those two points, specifically because -- blend that in --

10 (Discussion off the record.)

11 MR. LANGE: Yeah. Well, also so that it looks --
12 my idea -- I didn't think of it that way. I think I thought
13 of it, it looks intentional. It doesn't look like people
14 just threw houses somewhere. It looks as if there was a
15 concept and a design. That's already part of the design,
16 this was to be put back that far and that far back is where
17 you were shown on that side of the van there.

18 MS. O'MALLEY: Okay, I didn't -- it didn't show
19 your house on here so I couldn't tell.

20 MR. LANGE: Yeah, it's halfway between.

21 MS. O'MALLEY: Are there any other comments?

22 MS. WATKINS: I would agree with the comments that
23 you've heard already and some of your comments. I think you
24 did a good job setting it back the 30 feet. I think you're
25 acknowledging the Lange House. But I do agree that the

1 facades need to be broken up more and become less boxy, and
2 a one-and-a-half story solution, almost a Cape -- I don't
3 want to say Cape Cod, but almost a roof that -- maybe a
4 larger roof with some dormers or something may work.

5 MR. LANGE: Well, the house -- the Lange House is
6 two-and-a-half stories, although one of them is below view.

7 And the house next door is part -- is in some places one
8 and in some places two stories. It's been built over the
9 years and the -- it just so happens that the man who owns it
10 is a contractor and when he's not working on other things,
11 he works on his house. That's why it's so wide with many
12 additions to it.

13 MR. FULLER: I think the words that we're saying,
14 though, it looks like one-and-a-half. It's not we're saying
15 it has to be.

16 MR. LANGE: Yeah.

17 MR. FULLER: The apparent height.

18 MR. LANGE: I think the architect can -- one of
19 those.

20 MS. O'MALLEY: Right. Any other comments? All
21 right, so you are willing to continue and --

22 MR. LANGE: Absolutely.

23 MS. O'MALLEY: That would be great.

24 MR. FULLER: Look forward to seeing you again.

25 MR. LANGE: Okay, thank you very much.

26

C E R T I F I C A T E

DEPOSITION SERVICES, INC., hereby certifies that the foregoing pages represent an accurate transcript of the electronic sound recording of the proceedings before the Montgomery County Historic Preservation Commission.

Judith A. Downey

10/21/04