

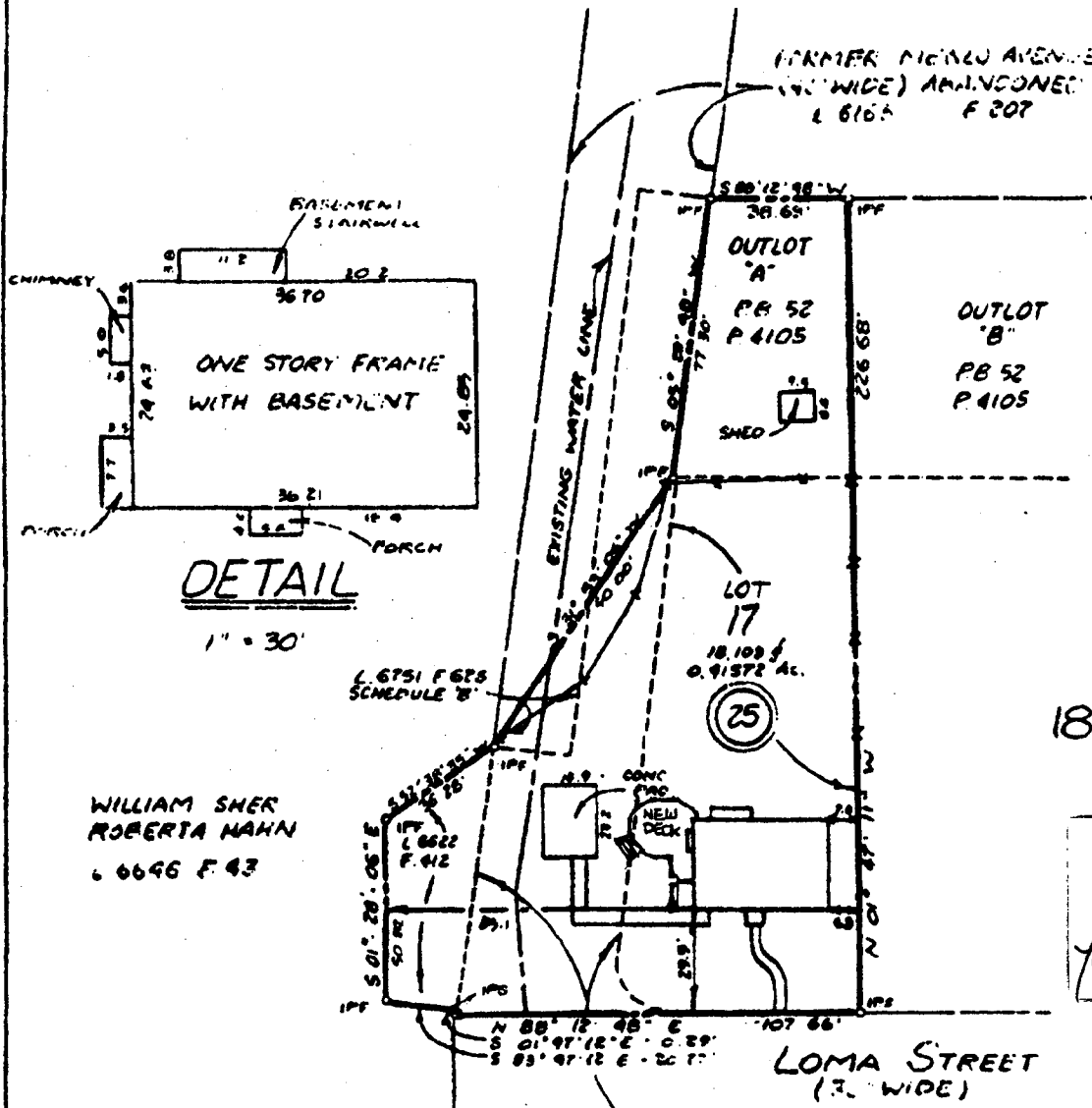
31/07-05B 2900 Loma Street  
Capitol View Historic District

~~HE~~ Loma









**DETAIL**  
1" = 30'

WILLIAM SHER  
ROBERTA NAHN  
L 6646 F 43

APPROVED  
Montgomery County  
Historic Preservation Commission  
*James Gully* 5/12/05

**ZONING:**  
R-60  
**MIN. YARD**  
FRONT 25'  
SIDE 8-18 TOT  
REAR 20'

x—x DENOTES FENCELINE

NOTE: THE LOT SHOWN HEREON DOES NOT LIE WITHIN THE 100 YEAR FLOOD BOUNDARY AS DELINEATED BY THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAP AS PUBLISHED JULY 2, 1975.

**HOUSE LOCATION SURVEY**

SCALE 1" = 50'	ADDRESS # 2900 LOMA STREET	DATE 6-13-85	DR. BY S.S.	CRD. BY G.F.C.
-------------------	----------------------------------	-----------------	----------------	-------------------

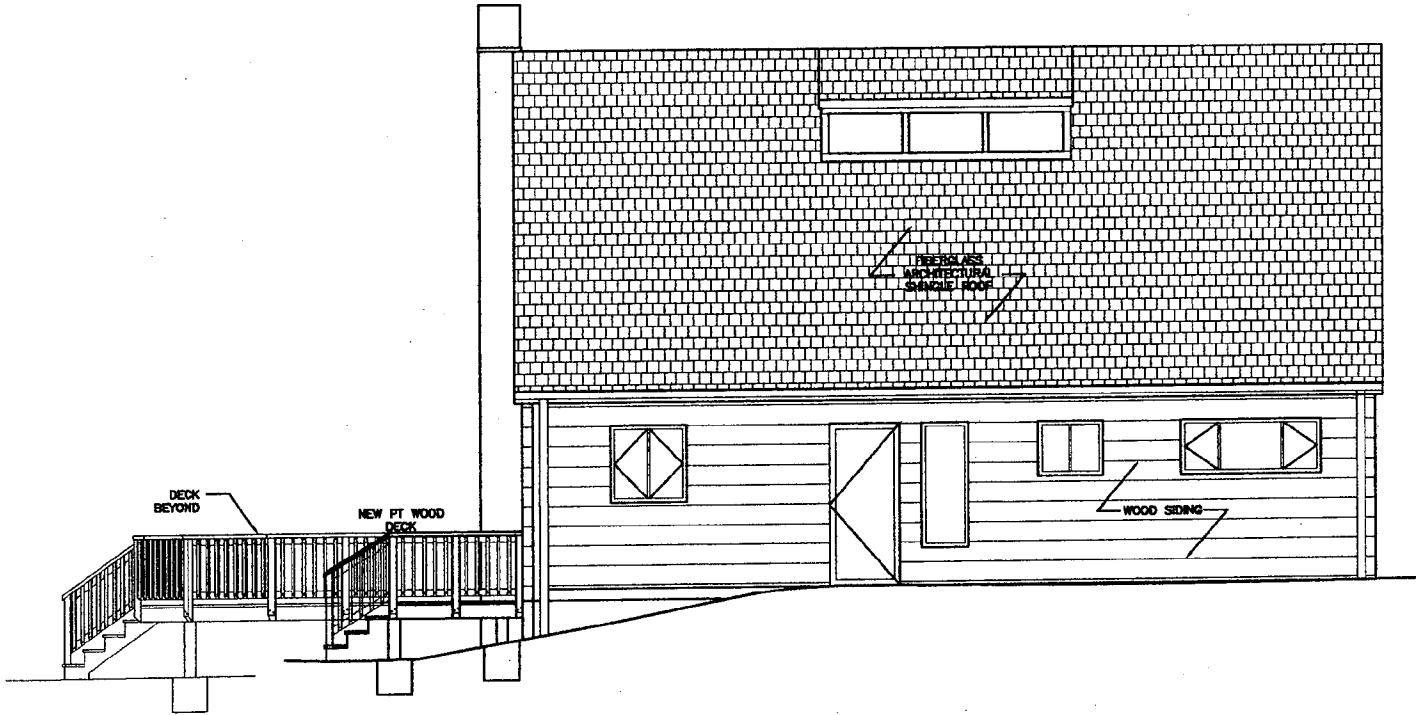
**LOT 17 BLOCK 25**  
**CAPITAL VIEW PARK**  
WHEATON ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

**DEWBERRY & DAVIS**  
ENGINEERS ARCHITECTS PLANNERS SURVEYORS  
ONE WEST DEER PARK RD., SAITHERSBURG, MD. 20877

I HEREBY CERTIFY THAT THE POSITION OF EXISTING IMPROVEMENTS ON THE ABOVE PROPERTY HAVE BEEN ESTABLISHED BY ACCEPTED FIELD METHODS. IT HAS BEEN PREPARED WITHOUT A TITLE REPORT AND DOES NOT PURPORT TO REFLECT ALL EASEMENTS, ENCUMBRANCES, OR OTHER CIRCUMSTANCES AFFECTING THE TITLE TO THE SUBJECT PROPERTY AND IS NOT INTENDED TO BE USED FOR THE CONSTRUCTION OF FENCES OR OTHER IMPROVEMENTS.

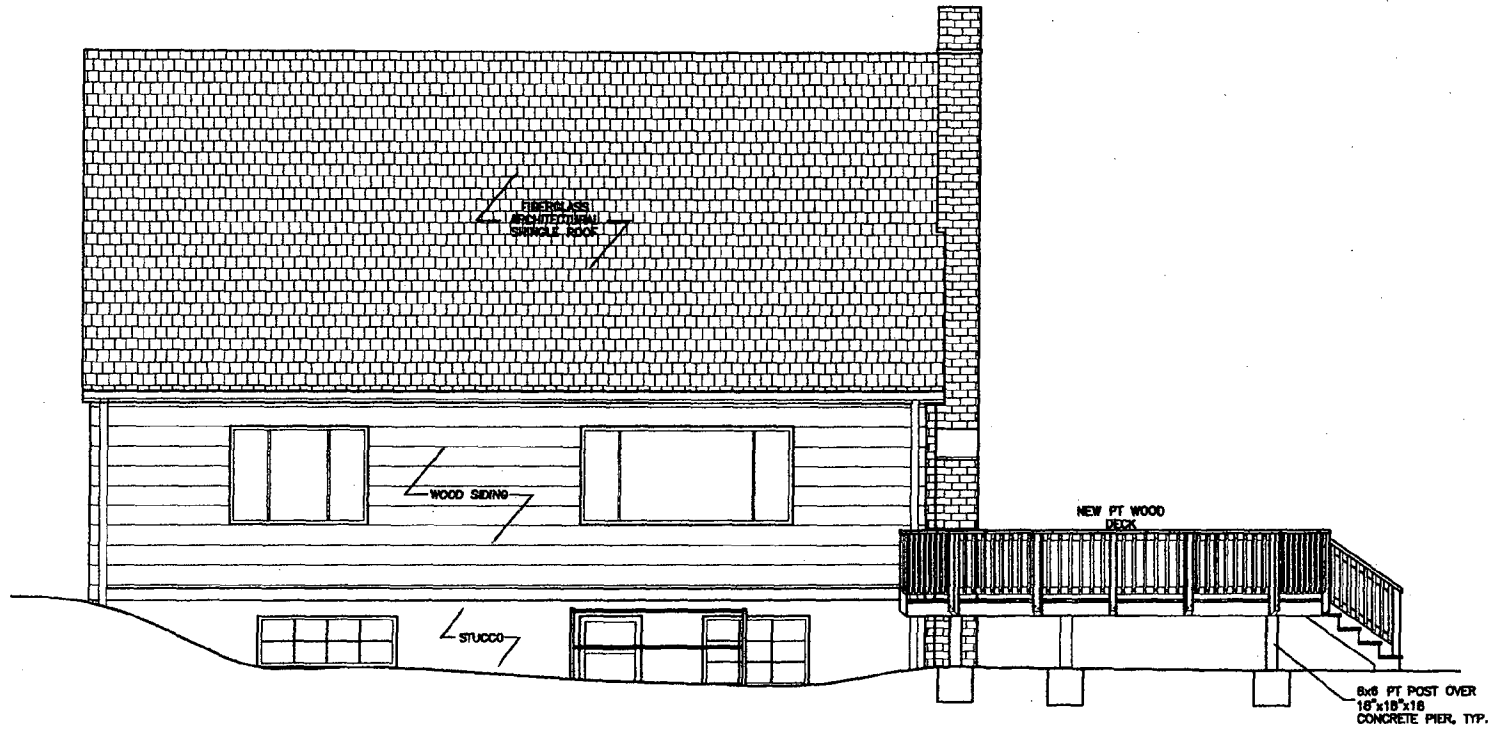
REFERENCE  
P.B. 26 P. 3980

*Frank P. Wiley*



NORTH ELEVATION  
SCALE 1/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Laura Kelly* 5/12/05

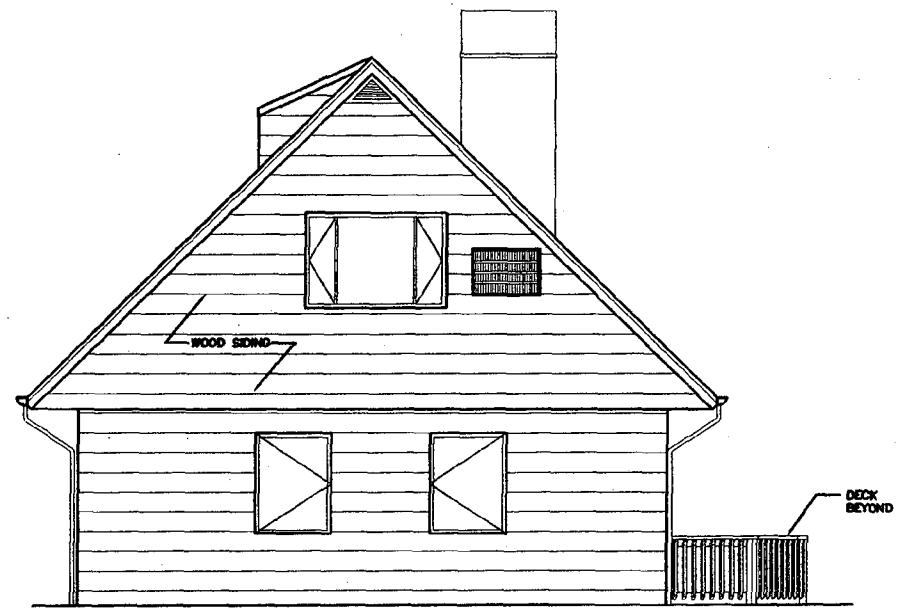


SOUTH ELEVATION  
 SCALE 1/8" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Paul Kelly* 5/12/05



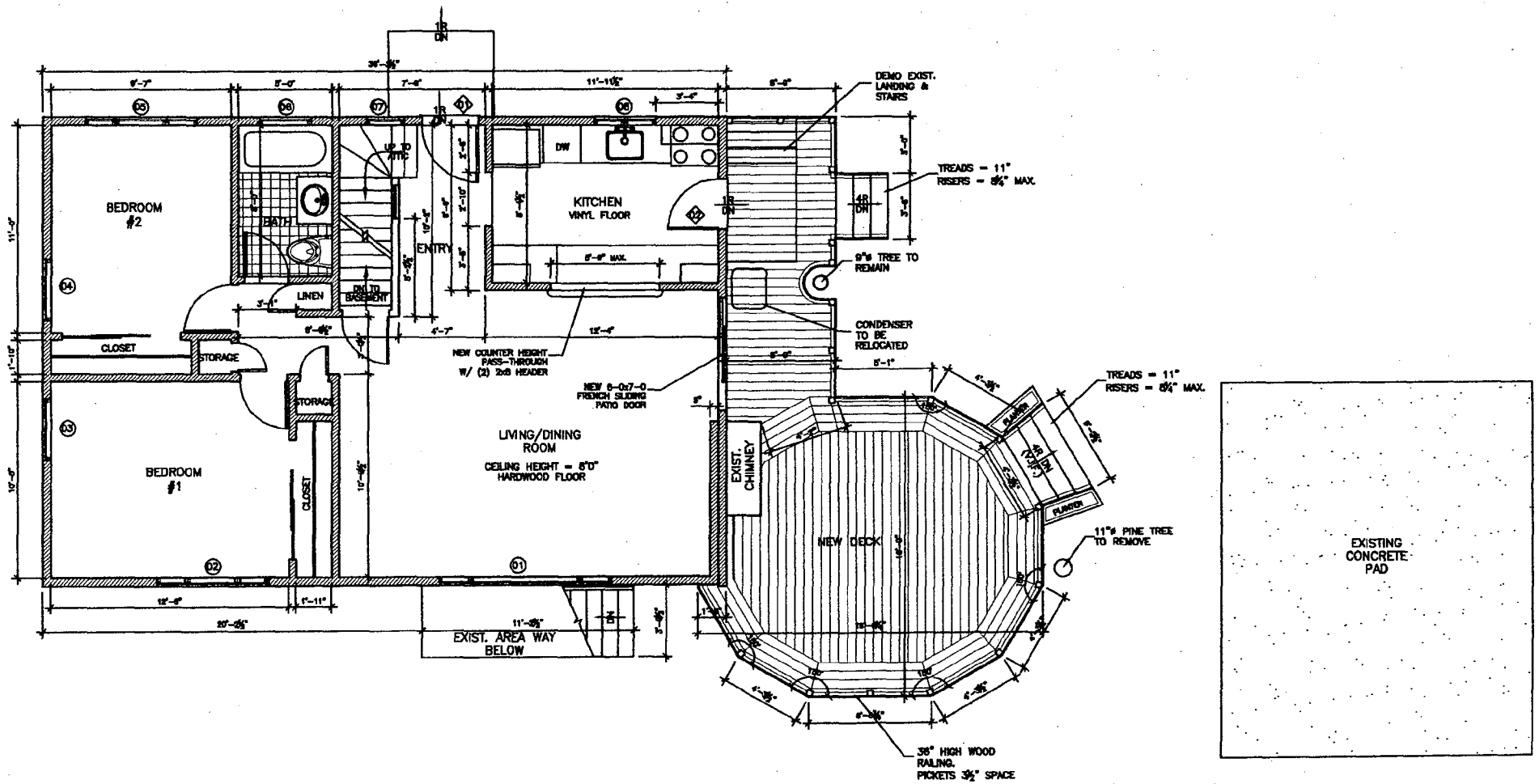
EAST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$



WEST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 5/12/05

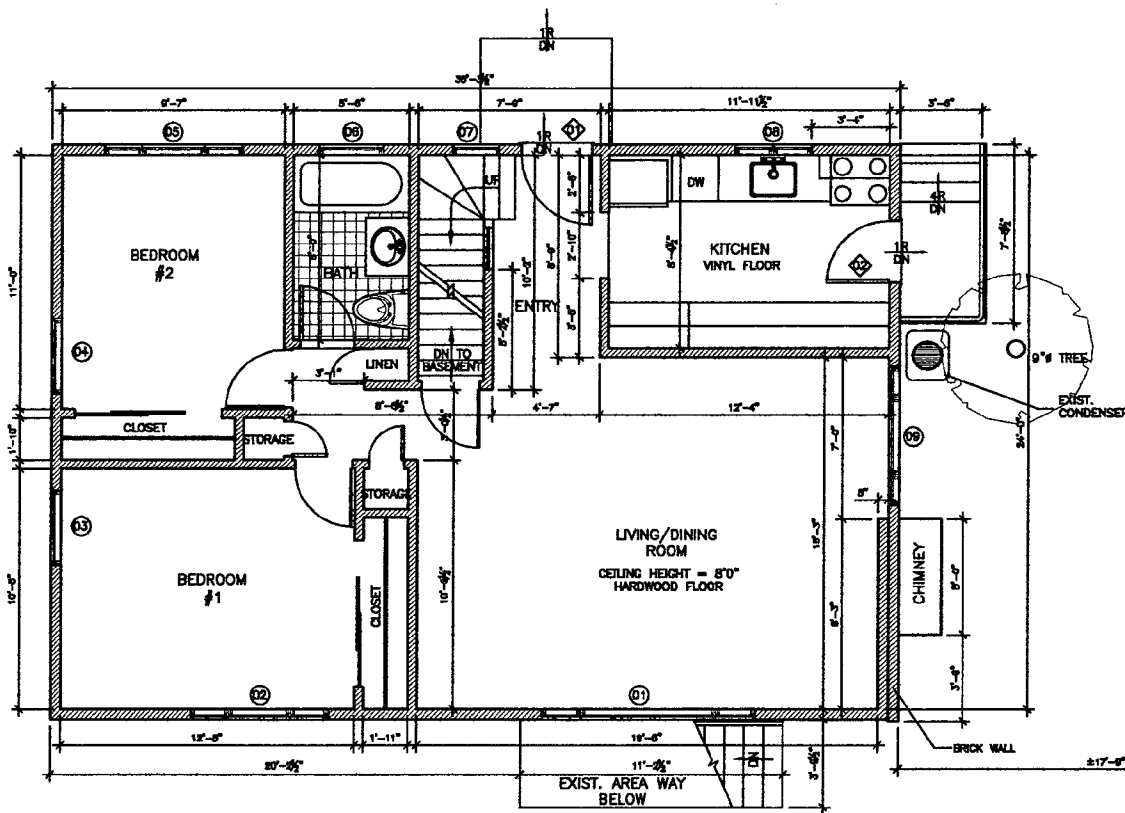




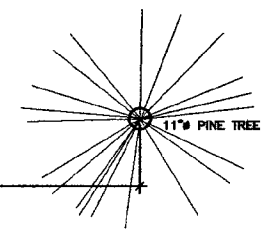
FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"

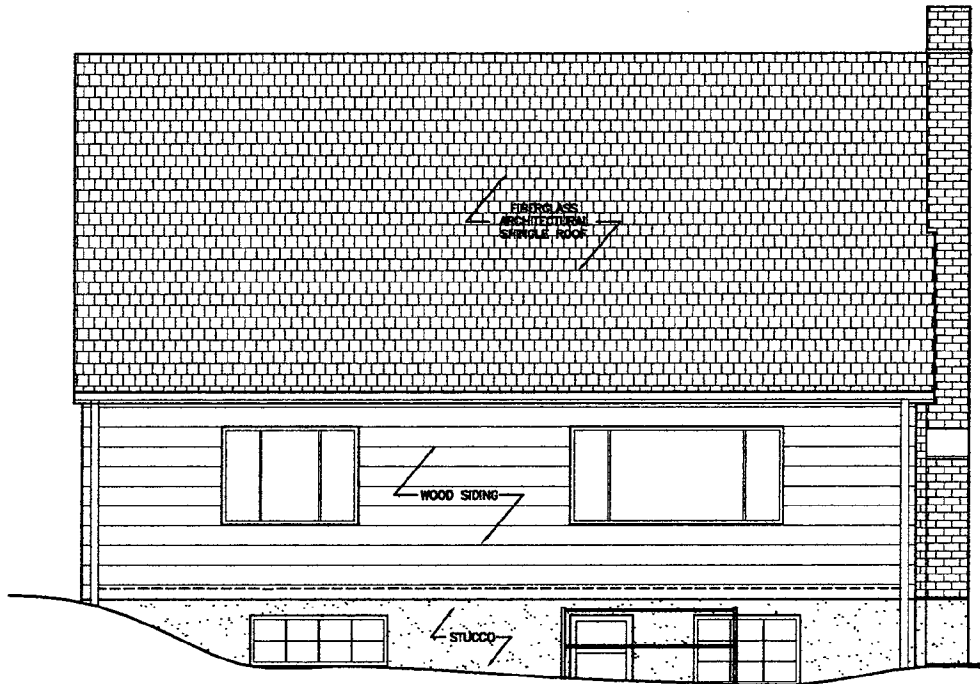
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 5/12/05



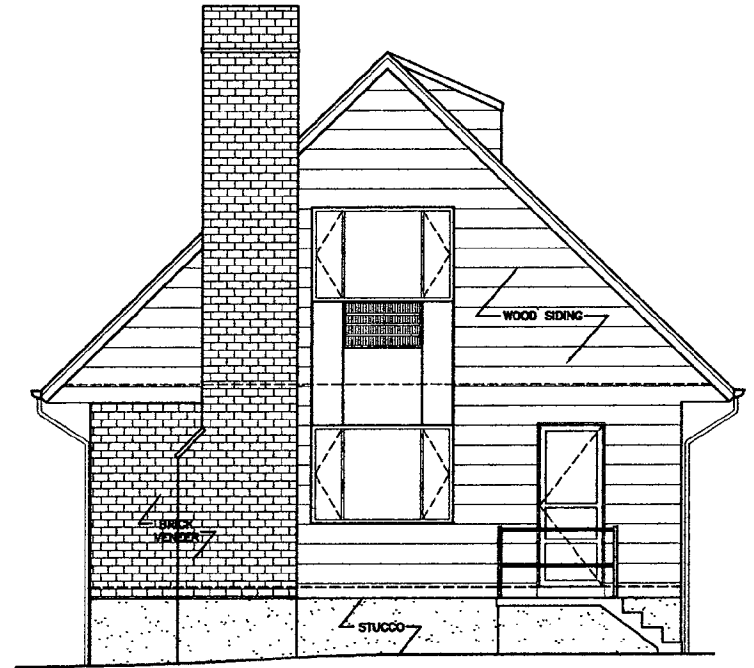
EXISTING WINDOWS	WIDTH	HEIGHT	HEAD HEIGHT
01	9'-1"	4'-3"	7'-0"
02	5'-11"	4'-3"	7'-0"
03	3'-3"	4'-4"	7'-0"
04	3'-3"	4'-4"	7'-0"
05	5'-11"	2'-3"	7'-0"
06	2'-9"	2'-4"	7'-0"
07	2'-0"	5'-4"	7'-0"
08	3'-3"	3'-3"	7'-0"
09	5'-11"	4'-3"	7'-0"



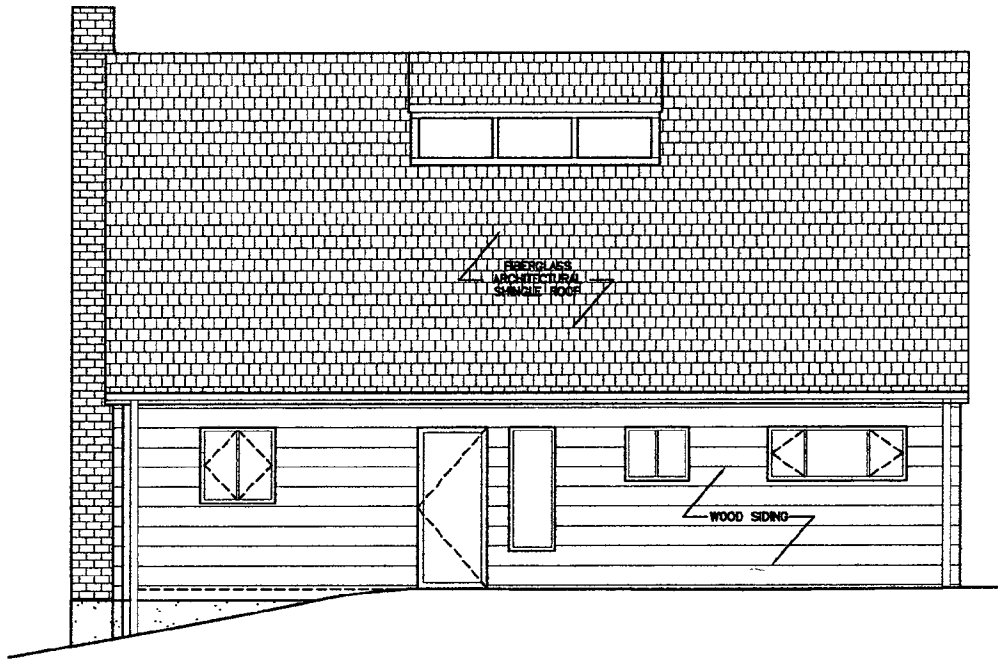
FIRST FLOOR PLAN  
 SCALE 1/8" = 1'-0"



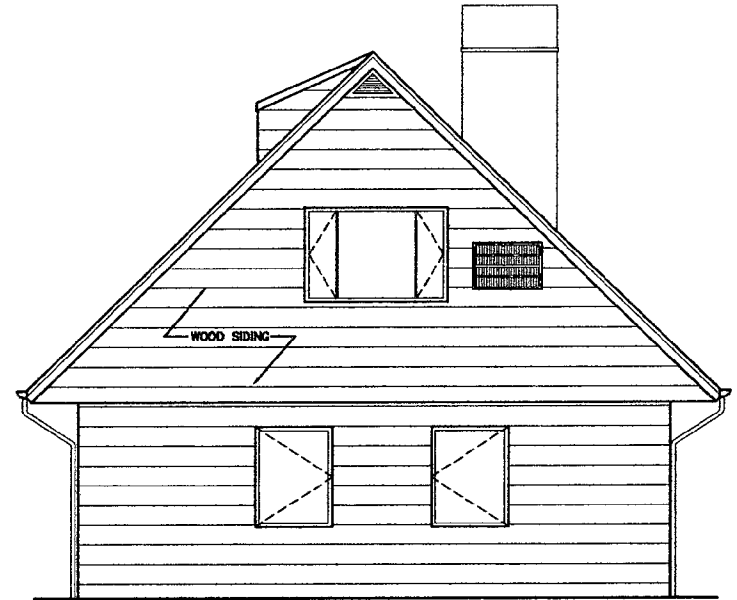
SOUTH ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$



EAST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$



NORTH ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$



WEST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director  
FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section  
SUBJECT: Historic Area Work Permit # 380536

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Tovi Lehmann

Address: 2900 Loma St, Silver Spring

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2005

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application – Approval

---

Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

When you file for your building permit at DPS, you must take with you the enclosed forms. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: TOVI / NOA  
Daytime Phone No.: 301-451-1059

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Tovi Lehmann Daytime Phone No.: 301 451-1059

Address: 2900 Loma St. Silver Spring MD 20910  
Street Number City State Zip Code

Contractor: Tony Auldridge, Old Ridge Home Improvements Phone No.: 301 814 8057

Contractor Registration No.: 76626

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 2900 Street: Loma St.  
Town/City: Silver Spring Nearest Cross Street: MENLO AVE.  
Lot: 17 Block: 25 Subdivision: CAPITAL VIEW PARK  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |  |  |                                    |  |  |  |                               |
|---|----------------------------------|--|--|------------------------------------|--|--|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze                | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |  |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Well (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |  |                               |

1B. Construction cost estimate: \$ 15,500.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tovi Lehmann Signature of owner or authorized agent 4/20/05 Date

Approved:  For Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 5/11/05  
Application/Permit No.: 380536 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house, located in Capitol View Park, was built in the 50's. Several historic houses are scattered in the neighborhood. None of the historic houses are located close to our house and are not visible from it. About a 100 feet east of the property, there is a small creek surrounded by thick natural vegetation including tall trees. The other sides of the house are surrounded by other properties.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is the construction of a deck flanking the east side of the house. The deck will not affect any historic or environmental resources.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



## Frenchwood® Gliding Patio Doors

### Standard Features

#### FRAME

- A** The sill of the Frenchwood® gliding patio door has an extruded aluminum track, with a stainless steel cap that resists stain, rust and denting. A thermal barrier reduces conductive heat loss and checks condensation on the inside. The sill has an attractive wear-repellent, heat-baked finish in a neutral gray color.
- B** All basic exterior frame members are covered with a rigid vinyl (PVC) sheath that maintains an attractive appearance while minimizing maintenance. Andersen® Frenchwood gliding patio doors are available in four neutral colors. Specify White, Sandtone, Terratone® or Forest Green color.
- C** Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance.



Interior frame trim pieces are clear unfinished pine. Oak and maple veneer and prefinished white interior options are available.

Gliding patio doors are shipped knocked down and require assembly.

- D** A flexible PVC weatherstrip on the side jambs, and a pile weatherstrip on the head, provide a positive seal between the frame and panels.



#### PANEL

- E** The exterior of the wood door panel is protected with a long-lasting urethane base finish in White, Sandtone, Terratone® or Forest Green color.
- F** Panel interior surfaces are unfinished clear pine. Unfinished oak and maple veneers are available as options. Low-maintenance prefinished white interiors are also available on units with White exteriors.
- G** Dual ball bearing rollers on door panels provide smooth gliding operation with self-contained leveling adjusters.

#### GLASS

- H** Panels are silicone bed glazed and finished with an interior wood stop and an exterior silicone bead.
- I** High-Performance™ Low-E tempered and High-Performance Sun™ Low-E tempered glass deliver optimum insulating performance. (Glass option must be specified.)



#### Reachout Locking Hardware

The unique Andersen reachout locking system pulls the door panel snugly into the jamb for weathertightness and enhanced security.



#### Mortise-and-Tenon Joints

Panel joints are mortise-and-tenon with patented dowel construction for maximum strength.



#### Flexible Seal

A patented full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

### Options

#### INSECT SCREENS



#### Perma-Clean® Gliding Insect Screen\*

Available for two- and four-panel doors in White, Sandtone, Terratone® or Forest Green color baked-on enamel finish. Patented square corner joint construction adds considerable strength to the frame members, and the long-lasting glass fiber screen cloth has a charcoal finish. Delrin® injection molded bottom rollers with self-contained leveling adjusters provide smooth operation. Interior and exterior pulls and latch are provided.



#### Perma-Clean® Retractable Insect Screen\*

The retractable insect screen is installed on the exterior of the door and opens side-to-side across the width of the opening. When the insect screen is not in use, it neatly retracts into a small canister mounted on the exterior of the door. The retractable insect screen canister is available for two-panel patio doors in White, Sandtone, Terratone® and Forest Green.

#### COLOR



#### Exterior Color

Specify a unit color option to complete your order: White, Sandtone, Terratone® or Forest Green.

#### Prefinished Interior

Andersen 400 Series Frenchwood gliding patio doors are available with a prefinished white interior.



#### Interior Veneer

Available in pine, oak and maple.

#### PATTERNED GLASS

Patterned glass options are available. See page 7 for more details.

#### HARDWARE

##### Expanded Offering

Andersen Frenchwood® gliding patio doors are available with hardware from the Metro™, Estate™ and Andiron™ collections in a variety of styles and finishes. See pages 8-9 for complete descriptions.

#### StormWATCH PROTECTION



Frenchwood gliding patio doors are available with Stormwatch™ protection.

For a copy of the Andersen Coastal Product Guide, see the Andersen supplier nearest you.

\* Sold separately.

Note: Andersen® patio doors are not intended for use as entrance doors.

\*Delrin® is a registered trademark of E.I. duPont de Nemours and Company.



Learn more online at  
[andersenwindows.com](http://andersenwindows.com)

# Frenchwood® Gliding Patio Doors

Frenchwood®  
 Gliding Patio Doors



Naturally occurring variations in grain, color and texture make each wood door panel one-of-a-kind. These defining features create a character unattainable in vinyl, steel or aluminum products.

#### Section Reference

Tables of Basic Sizes	136
Opening Specifications	137
Basic Unit Details	138
Joining Details	139
Standard Divided Light Patterns	156
Sidelights & Transoms	160
Art Glass Options	127
Combination Designs	237
Performance Data	251

Combining the beauty of traditional French Door styling with space-saving design, Frenchwood® gliding patio doors ride smoothly and easily on stainless steel and precision ball bearing rollers.



**Front of the House**



**Back of the House**



**change window for French  
Sliding Door**

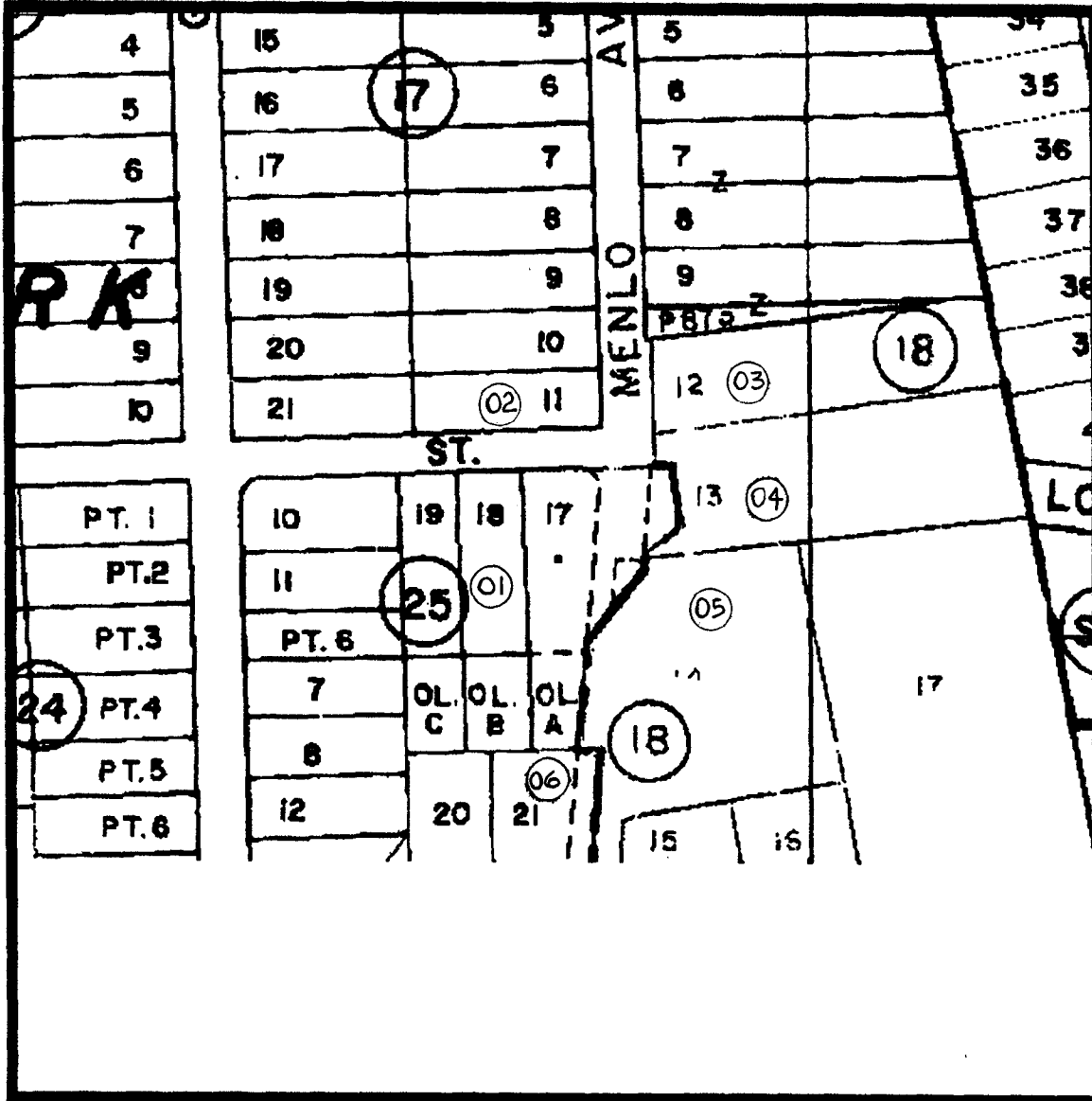
**Side of the House where the deck will be built**



Maryland Department of Assessments and Taxation  
**MONTGOMERY COUNTY**  
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District - 13 Account Number - 00997411



Property maps provided courtesy of the Maryland Department of Planning ©2001 - 2002.  
 For more information on electronic mapping applications, visit the Maryland Department of Planning  
 web site at [www.mdp.state.md.us/webcom/index.html](http://www.mdp.state.md.us/webcom/index.html)

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Maryland Department of Assessments and Taxation  
**MONTGOMERY COUNTY**  
 Real Property Data Search

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[Ground Rent](#)

**Account Identifier:** District - 13 Account Number - 00997411

**Owner Information**

**Owner Name:** LEHMAN, TOVI & NOA LIVNI-LEHMAN  
**Use:** RESIDENTIAL  
**Mailing Address:** 2900 LOMA ST SILVER SPRING MD 20910-1053  
**Principal Residence:** YES  
**Deed Reference:** 1)  
 2)

**Location & Structure Information**

**Premises Address**  
 2900 LOMA ST  
 SILVER SPRING 20910-1053  
**Legal Description**  
 OL A&ADJ PAR&ABAN ME  
 NLOW AVE CAP VIEW PK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No: Plat Ref:
HP53				5		25	17	1	
<b>Special Tax Areas</b>			<b>Town Ad Valorem Tax Class</b>	38					
<b>Primary Structure Built</b>			<b>Enclosed Area</b>	<b>Property Land Area</b>		<b>County Use</b>			
1953			1,350 SF	18,109.00 SF		111			
<b>Stories</b>		<b>Basement</b>		<b>Type</b>			<b>Exterior</b>		
1 1/2		YES		STANDARD UNIT			FRAME		

**Value Information**

	Base Value	Value As Of 01/01/2004	Phase-in Assessments	
			As Of 07/01/2004	As Of 07/01/2005
Land:	67,550	135,100		
Improvements:	109,780	155,950		
<b>Total:</b>	<b>177,330</b>	<b>291,050</b>	<b>215,236</b>	<b>253,142</b>
Preferential Land:	0	0	0	0

**Transfer Information**

**Seller:** STERN, MICHAEL P & **Date:** 08/27/2004 **Price:** \$435,000  
**Type:** IMPROVED ARMS-LENGTH **Deed1:** **Deed2:**  
**Seller:** STERN, MICHAEL P **Date:** 04/18/2000 **Price:** \$0  
**Type:** NOT ARMS-LENGTH **Deed1:** /18020/ 79 **Deed2:**  
**Seller:** **Date:** 07/05/1985 **Price:** \$0  
**Type:** IMPROVED ARMS-LENGTH **Deed1:** / 6785/ 91 **Deed2:**

**Exemption Information**

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

**Tax Exempt:** NO  
**Exempt Class:**

**Special Tax Recapture:**

\* NONE \*

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MONTGOMERY COUNTY  
Real Property Data Search

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[Ground Rent](#)

Account Identifier: District - 13 Account Number - 00996484

#### Owner Information

Owner Name: ADAMS, STEPHEN G Use: RESIDENTIAL  
Mailing Address: 2907 BARKER ST Principal Residence: YES  
SILVER SPRING MD 20910-1004 Deed Reference: 1) /16750/ 493  
2)

#### Location & Structure Information

Premises Address  
2907 BARKER ST  
SILVER SPRING 20910-1004

Legal Description  
CAPITAL VIEW PARK/PT  
ABAND MENLO AVE

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No: Plat Ref:
HP62				5		25	21	1	
Special Tax Areas				Town Ad Valorem Tax Class	38				
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1956			962 SF		12,304.00 SF		111		
Stories	Basement		Type		Exterior				
1	YES		STANDARD UNIT		FRAME				

#### Value Information

	Base Value	Phase-in Assessments		
		Value As Of	As Of	As Of
Land:	64,650	01/01/2004	07/01/2004	07/01/2005
Improvements:	115,540	129,300		
Total:	180,190	138,600	209,426	238,662
Preferential Land:	0	0	0	0

#### Transfer Information

Seller:	STEPHEN G ADAMS ET AL	Date:	02/05/1999	Price:	\$0
Type:	NOT ARMS-LENGTH	Deed1:	/16750/ 493	Deed2:	
Seller:		Date:	08/15/1989	Price:	\$180,000
Type:	NOT ARMS-LENGTH	Deed1:	/ 8949/ 555	Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	

#### Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*

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MONTGOMERY COUNTY  
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[Ground Rent](#)

Account Identifier: District - 13 Account Number - 00994793

#### Owner Information

Owner Name: BROWN, HERBERT A & E P      Use: RESIDENTIAL  
Mailing Address: 2902 LOMA ST      Principal Residence: YES  
SILVER SPRING MD 20910      Deed Reference: 1) / 2986/ 551  
2)

#### Location & Structure Information

Premises Address: 2902 LOMA ST      Legal Description: CAPITAL VIEW PARK  
SILVER SPRING 20910

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No: Plat Ref:
HP63				5		25	18	1	
Special Tax Areas			Town Ad Valorem Tax Class		38				
Primary Structure Built		Enclosed Area		Property Land Area		County Use			
1953		1,350 SF		7,650.00 SF		111			
Stories	Basement		Type		Exterior				
1 1/2	YES		STANDARD UNIT		FRAME				

#### Value Information

	Base Value	Value As Of	Phase-In Assessments	
			As Of	As Of
Land:	61,650	123,300	01/01/2004	07/01/2005
Improvements:	107,210	152,280		
Total:	168,860	275,580	204,433	240,006
Preferential Land:	0	0	0	0

#### Transfer Information

Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

#### Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*

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[New Search](#)  
[Ground Rent](#)

Account Identifier: District - 13 Account Number - 00994678

#### Owner Information

Owner Name: SPICER & SPICER LLC      Use: RESIDENTIAL  
Mailing Address: 10200 MENLO AVE      Principal Residence: NO  
SILVER SPRING MD 20910-1056      Deed Reference: 1)  
2)

#### Location & Structure Information

Premises Address      Legal Description  
10200 MENLO AVE      CAPITAL VIEW PARK  
SILVER SPRING 20910-1056

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	9
HP53				5		17	11	1	Plat Ref:	
Special Tax Areas			Town	Ad Valorem		Tax Class		38		
Primary Structure Built			Enclosed Area			Property Land Area			County Use	
1945			1,008 SF			7,500.00 SF			111	
Stories	Basement		Type			Exterior				
1 1/2	YES		STANDARD UNIT			FRAME				

#### Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	61,500	01/01/2004	07/01/2004	07/01/2005
Improvements:	84,820	123,000	127,180	
Total:	146,320	250,180	180,940	215,560
Preferential Land:	0	0	0	0

#### Transfer Information

Seller: INNOVATIVE REAL ESTATE SERVICES      Date: 01/19/2005      Price: \$315,000  
Type: IMPROVED ARMS-LENGTH      Deed1:  
Seller: PHILLIPS, RONALD G ET AL      Date: 09/01/2004      Price: \$255,000  
Type: IMPROVED ARMS-LENGTH      Deed1:      Deed2:  
Seller: FORD CONSUMER FINANCE CO INC      Date: 06/04/1997      Price: \$109,500  
Type: NOT ARMS-LENGTH      Deed1: /14914/ 646      Deed2:

#### Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*



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MONTGOMERY COUNTY  
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Account Identifier: District - 13 Account Number - 02610438

#### Owner Information

Owner Name: NESTI, LEON J & HEATHER A      Use: RESIDENTIAL  
Mailing Address: 10203 MENLO AVE      Principal Residence: YES  
SILVER SPRING MD 20910-1057      Deed Reference: 1)  
2)

#### Location & Structure Information

Premises Address: 10203 MENLO AVE      Legal Description: CAPITOL VIEW PARK  
SILVER SPRING 20910-1057

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	15856	
HP63				5		18	12	1	Plat Ref:		
Special Tax Areas				Town							
				Ad Valorem							
				Tax Class	38						
Primary Structure Built			Enclosed Area			Property Land Area			County Use		
1989			2,048 SF			21,675.00 SF			111		
Stories	Basement			Type			Exterior				
2	YES			STANDARD UNIT			FRAME				

#### Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	69,330	138,670	01/01/2004	07/01/2005
Improvements:	209,640	316,430		
Total:	278,970	455,100	337,680	396,390
Preferential Land:	0	0	0	0

#### Transfer Information

Seller:	CERVANTES, ANA L	Date:	09/03/2004	Price:	\$570,000
Type:	IMPROVED ARMS-LENGTH	Deed1:		Deed2:	
Seller:	CERVANTES, LENORE T	Date:	12/08/1999	Price:	\$0
Type:	NOT ARMS-LENGTH	Deed1:	/17730/ 279	Deed2:	
Seller:	LENORE T CERVANTES ET AL	Date:	04/09/1999	Price:	\$0
Type:	NOT ARMS-LENGTH	Deed1:	/16976/ 642	Deed2:	

#### Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*

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MONTGOMERY COUNTY  
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Account Identifier: District - 13 Account Number - 02610440

#### Owner Information

Owner Name: SHER, HUNTER N ET AL TR Use: RESIDENTIAL  
Principal Residence: NO  
Mailing Address: 2905 BARKER ST Deed Reference: 1) /23085/ 365  
SILVER SPRING MD 20910-1004 2)

#### Location & Structure Information

Premises Address 10201 MENLO AVE Legal Description  
SILVER SPRING 20910 CAPITOL VIEW PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	15856
HP63				5		18	13	1	Plat Ref:	
				Town						
				Ad Valorem						
				Tax Class	38					
Primary Structure Built			Enclosed Area			Property Land Area			County Use	
0000						28,675.00 SF			910	
Stories		Basement		Type			Exterior			

#### Value Information

	Base Value	Value As Of 01/01/2004	Phase-in Assessments	
			As Of 07/01/2004	As Of 07/01/2005
Land:	60,150	131,100		
Improvements:	0	0		
Total:	60,150	131,100	83,800	107,450
Preferential Land:	0	0	0	0

#### Transfer Information

Seller: SHER, WILLIAM ET AL Date: 02/19/2003 Price: \$0  
Type: NOT ARMS-LENGTH Deed1: /23085/ 365 Deed2:  
Seller: SHER, WILLIAM & P R Date: 05/30/2000 Price: \$0  
Type: NOT ARMS-LENGTH Deed1: /18115/ 345 Deed2:  
Seller: WILLIAM SHER ET AL Date: 01/17/1996 Price: \$0  
Type: NOT ARMS-LENGTH Deed1: /13870/ 409 Deed2:

#### Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*

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Account Identifier: District - 13 Account Number - 02610451

**Owner Information**

Owner Name: SHER, HUNTER N ET AL TR Use: RESIDENTIAL  
Mailing Address: 2905 BARKER ST Principal Residence: YES  
SILVER SPRING MD 20910-1004 Deed Reference: 1) /23085/ 368  
2)

**Location & Structure Information**

Premises Address: 2905 BARKER ST Legal Description: CAPITOL VIEW PARK  
SILVER SPRING 20910-1004

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	15856
HP63				5		18	14	1	Plat Ref:	
			Town							
			Ad Valorem							
			Tax Class		38					
Primary Structure Built			Enclosed Area			Property Land Area			County Use	
1993			3,476 SF			40,447.00 SF			111	
Stories		Basement		Type		Exterior				
2		YES		STANDARD UNIT		FRAME				

**Value Information**

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	78,720	01/01/2004	07/01/2004	07/01/2005
Improvements:	396,280	157,440		
Total:	475,000	530,810	546,083	617,166
Preferential Land:	0	0	0	0

**Transfer Information**

Seller: SHER, WILLIAM ET AL Date: 02/19/2003 Price: \$0  
Type: NOT ARMS-LENGTH Deed1: /23085/ 368 Deed2:  
Seller: SHER, WILLIAM & P R Date: 05/30/2000 Price: \$0  
Type: NOT ARMS-LENGTH Deed1: /18115/ 348 Deed2:  
Seller: MULT ACCTS ARMS-LENGTH Date: 03/10/1992 Price: \$0  
Type: MULT ACCTS ARMS-LENGTH Deed1: /10226/ 306 Deed2:

**Exemption Information**

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO  
Exempt Class:

Special Tax Recapture:

\* NONE \*

# **OWNER-NEIGHBOR LIST**

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# **PHOTOGRAPHS**

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# **SITE PLAN—PLAT**

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# **EXISTING CONDITIONS**

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# **PROPOSED DECK**

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## **PRODUCT INFO**

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***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	2900 Loma St	<b>Meeting Date:</b>	5/11/2005
<b>Applicant:</b>	Tovi Lehmann	<b>Report Date:</b>	5/4/2005
<b>Resource:</b>	Non-Contributing Resource Capitol View Historic District	<b>Public Notice:</b>	4/27/2005
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	31/07-05B	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Construct Rear Deck	<b>RECOMMENDATION:</b>	Approval with conditions

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource within the **Capitol View Park Historic District**  
**STYLE:** Contemporary  
**DATE:** 1935-present

**PROPOSAL:**

The applicant is proposing to install a wood octagonal deck on the east side of the house. One 11" pine tree will be removed.

**STAFF RECOMMENDATION:**

- Approval  
 Approval with conditions

- Tree protection measures are in place during construction of the deck
- One tree is planted elsewhere in the yard to replace removed tree.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

(F)

TTE



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Tovi / NOA

Daytime Phone No.: 301-451-1059

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Tovi Lehmann Daytime Phone No.: 301 451-1059

Address: 2900 Loma St. Silver Spring MD 20910  
Street Number City Street Zip Code

Contractor: Tony Aldridge, Old Ridge House Phone No.: 301 814 8057

Contractor Registration No.: 76626

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 2900

Town/City: Silver Spring YASCO AVE.

Lot: 17 Block: 25 Subdivision: CAPITAL VIEW PARK

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

EXISTING UTILITIES

- Downspout
- Sewer
- Gas
- AC
- CB
- Room Addition
- Porch
- Deck
- Shed
- Move
- Install
- Wreck/Reuse
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Revision
- Repair
- Revocable
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

18. Construction cost estimate: \$ 19,500.00

19. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
  - Entirely on land of owner
  - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tovi Lehmann  
Signature of owner or authorized agent

4/20/05  
Date

Approved: \_\_\_\_\_ For Commission, Planning, and Zoning

\_\_\_\_\_

\_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house, located in Capitol View Park, was built in the 50's. Several historic houses are scattered in the neighborhood. None of the historic houses are located close to our house and are not visible from it. About a 100 feet east of the property, there is a small creek surrounded by thick natural vegetation including tall trees. The other sides of the house are surrounded by other properties.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is the construction of a deck spanning the east side of the house. The deck will not affect any historic or environmental resources.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

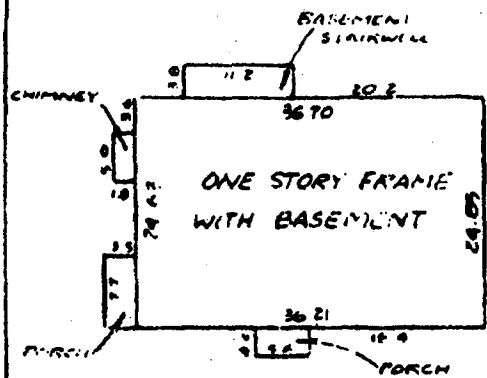
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

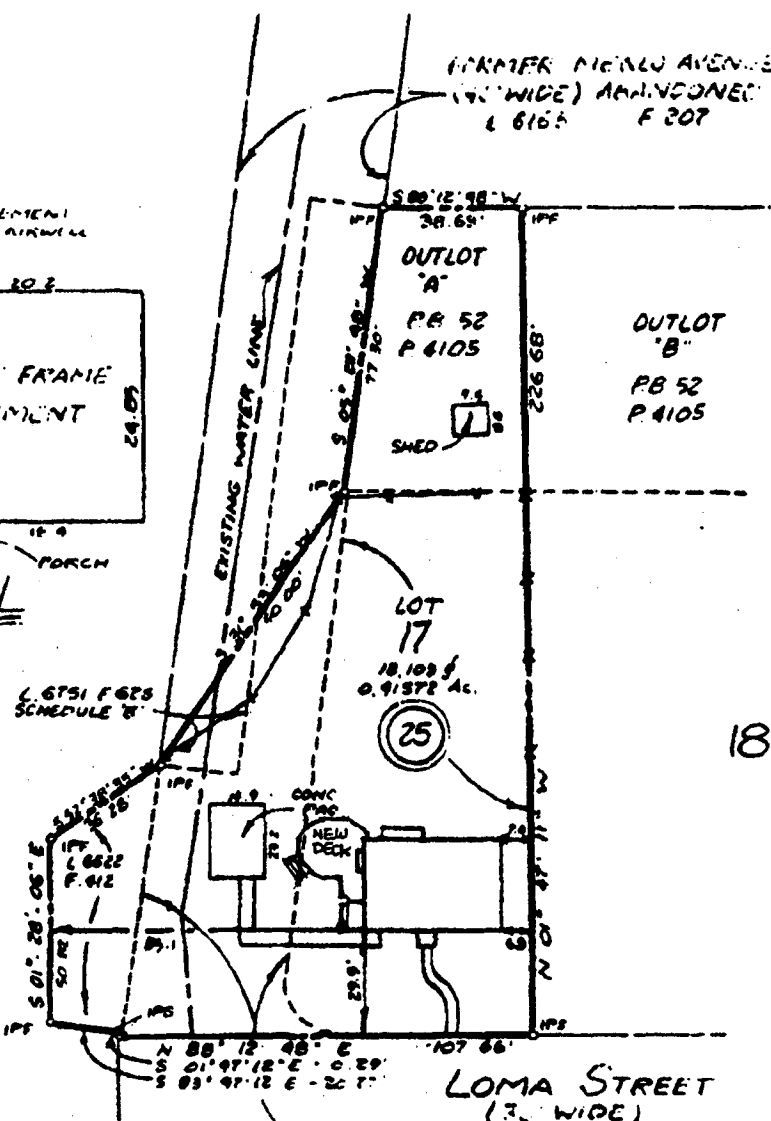
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**DETAIL**

1" = 30'

WILLIAM SHER  
ROBERTA HAHN  
L 6646 F 63



18

**ZONING:**

R-60  
MIN. YARD  
FRONT 25'  
SIDE 8-18 TOT  
REAR 20'

x — x DENOTES FENCELINE

NOTE: THE LOT SHOWN HEREON DOES NOT LIE WITHIN THE 100 YEAR FLOOD BOUNDARY AS DELINEATED BY THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAP AS PUBLISHED JULY 2, 1979.

**HOUSE LOCATION SURVEY**

SCALE	ADDRESS	DATE	DR. BY	CRD. BY
1" = 50'	# 2900 LOMA STREET	6-13-85	S.S.	G.F.C.

**LOT 17 BLOCK 25**  
**CAPITAL VIEW PARK**  
WHEATON ELECTION DISTRICT  
MONTGOMERY COUNTY, MARYLAND

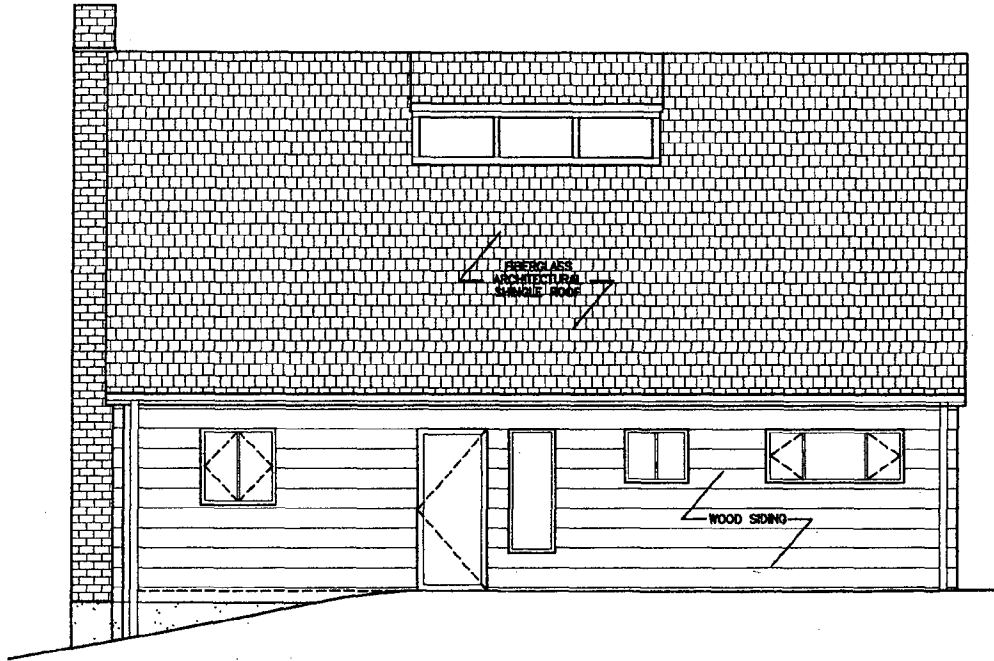
I HEREBY CERTIFY THAT THE POSITION OF EXISTING IMPROVEMENTS ON THE ABOVE PROPERTY HAVE BEEN ESTABLISHED BY ACCEPTED FIELD METHODS. IT HAS BEEN PREPARED WITHOUT A TITLE REPORT AND DOES NOT PURPORT TO REFLECT ALL EASEMENTS, ENCUMBRANCES, OR OTHER CIRCUMSTANCES AFFECTING THE TITLE TO THE SUBJECT PROPERTY AND IS NOT INTENDED TO BE USED FOR THE CONSTRUCTION OF FENCES OR OTHER IMPROVEMENTS.

*Leah P. Sibley*

**DEWBERRY & DAVIS**

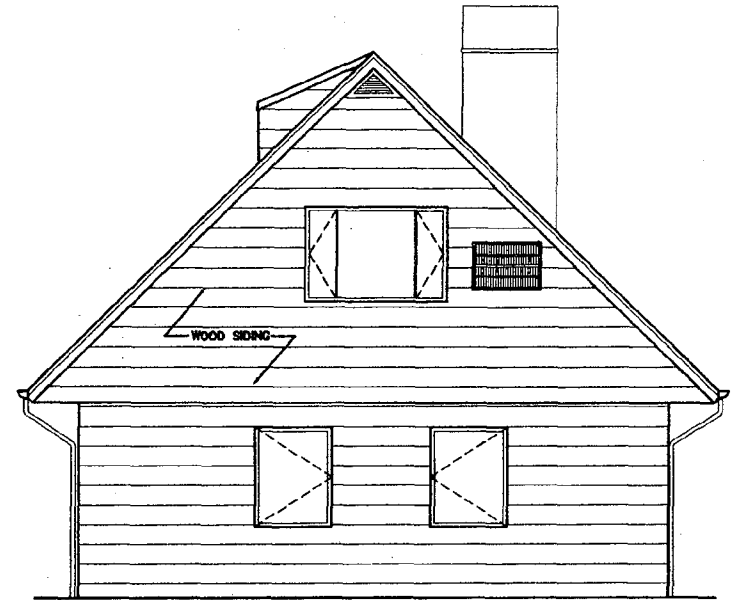
ENGINEERS ARCHITECTS PLANNERS SURVEYORS  
ONE WEST DEER PARK RD., GAITHERSBURG, MD. 20877

REFERENCE  
P.B. 96 P. 3960



NORTH ELEVATION  
SCALE  $\frac{1}{8}'' = 1'-0''$

Exstg

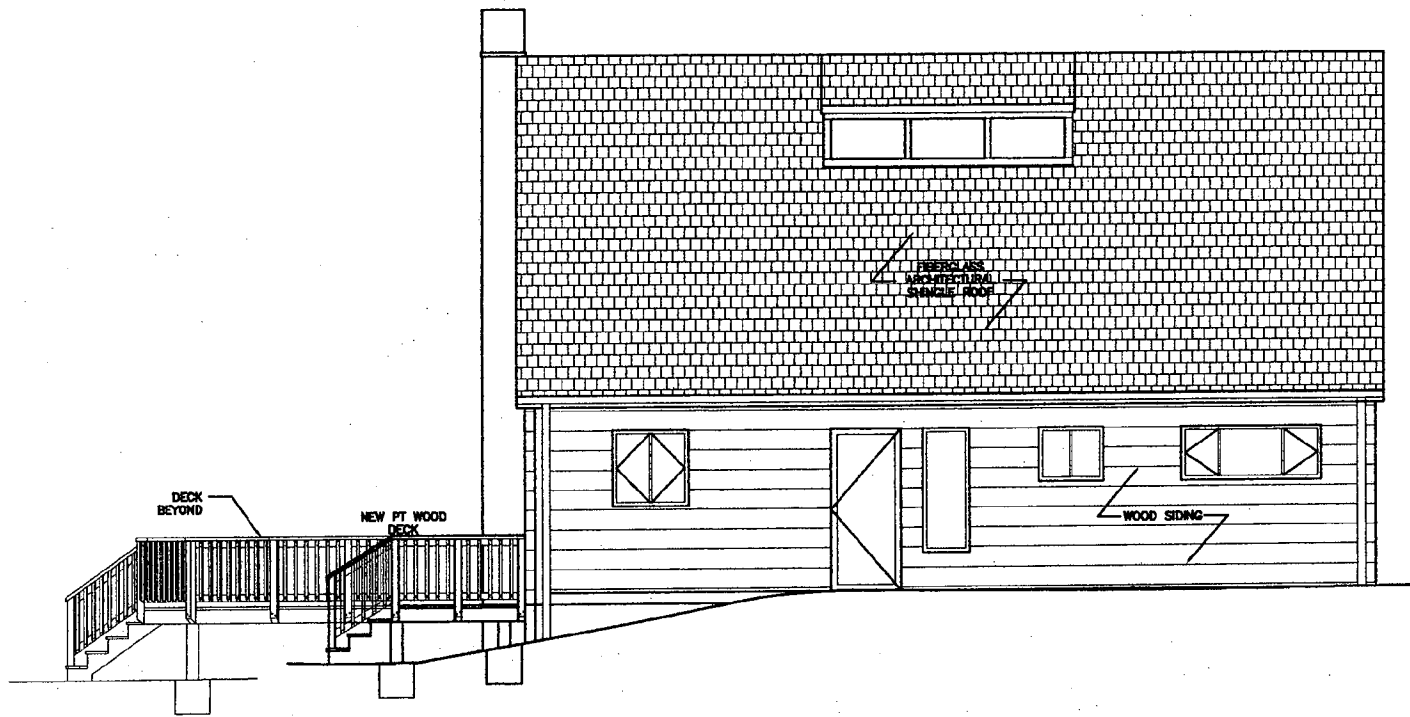


WEST ELEVATION  
SCALE  $\frac{1}{8}'' = 1'-0''$

Exstg

6

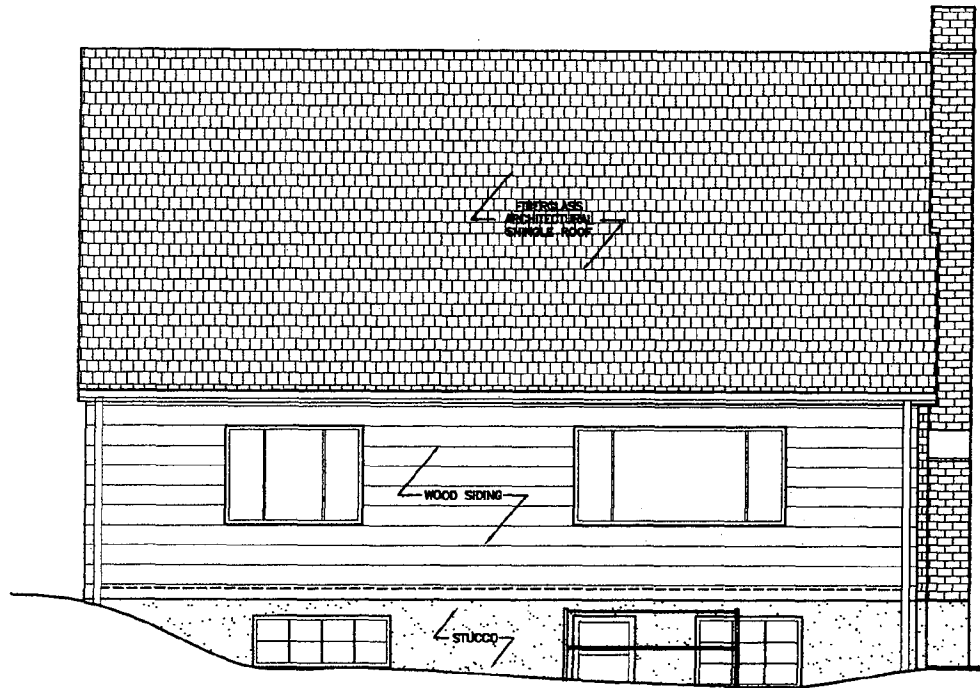
6



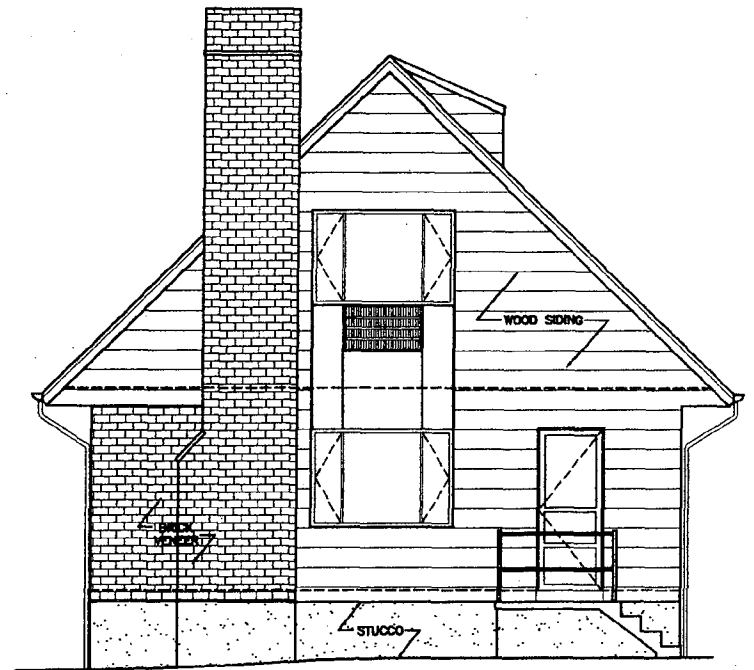
NORTH ELEVATION *Prop*  
SCALE 1/8" = 1'-0"

(3)



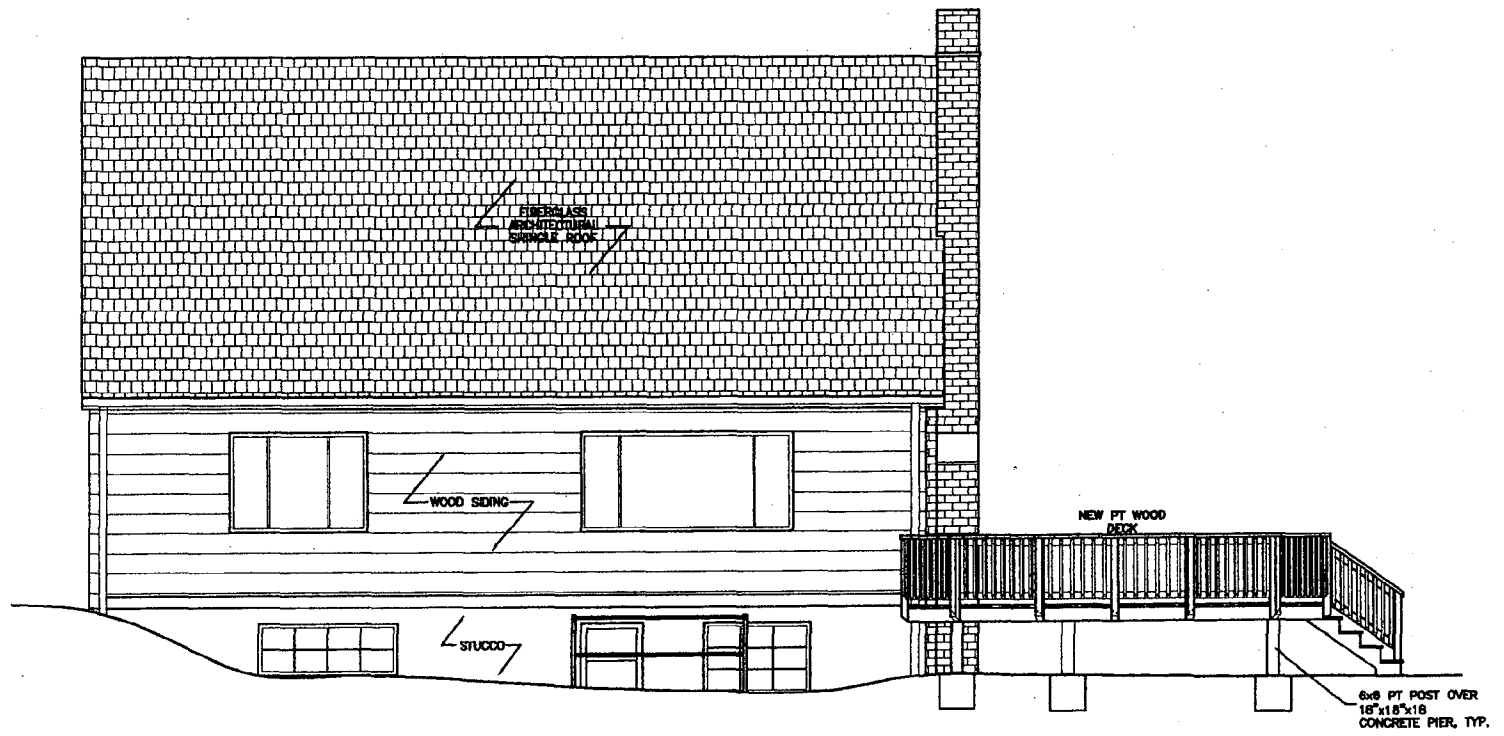


SOUTH ELEVATION *Exst*  
 SCALE  $\frac{1}{8}'' = 1'-0''$



EAST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$

8

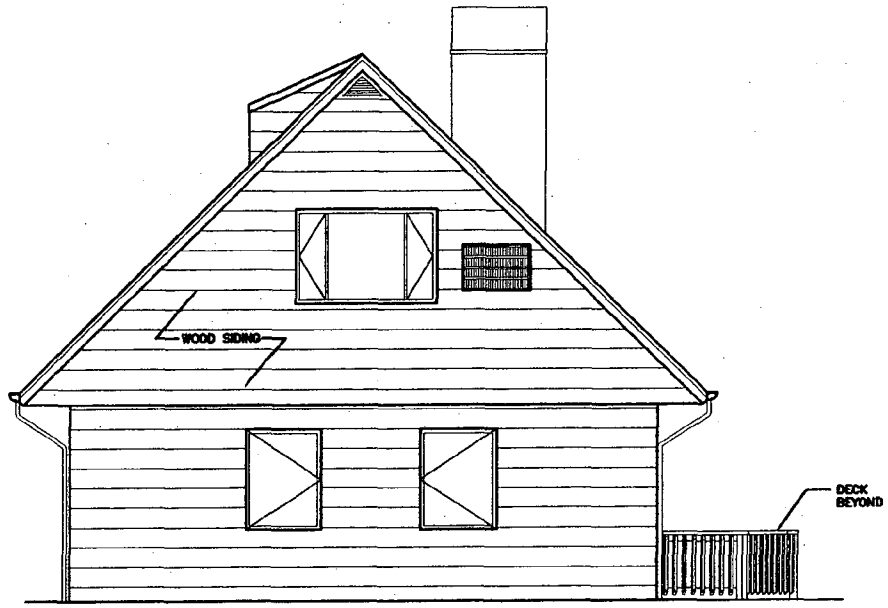


SOUTH ELEVATION Prop  
SCALE 1/8" = 1'-0"



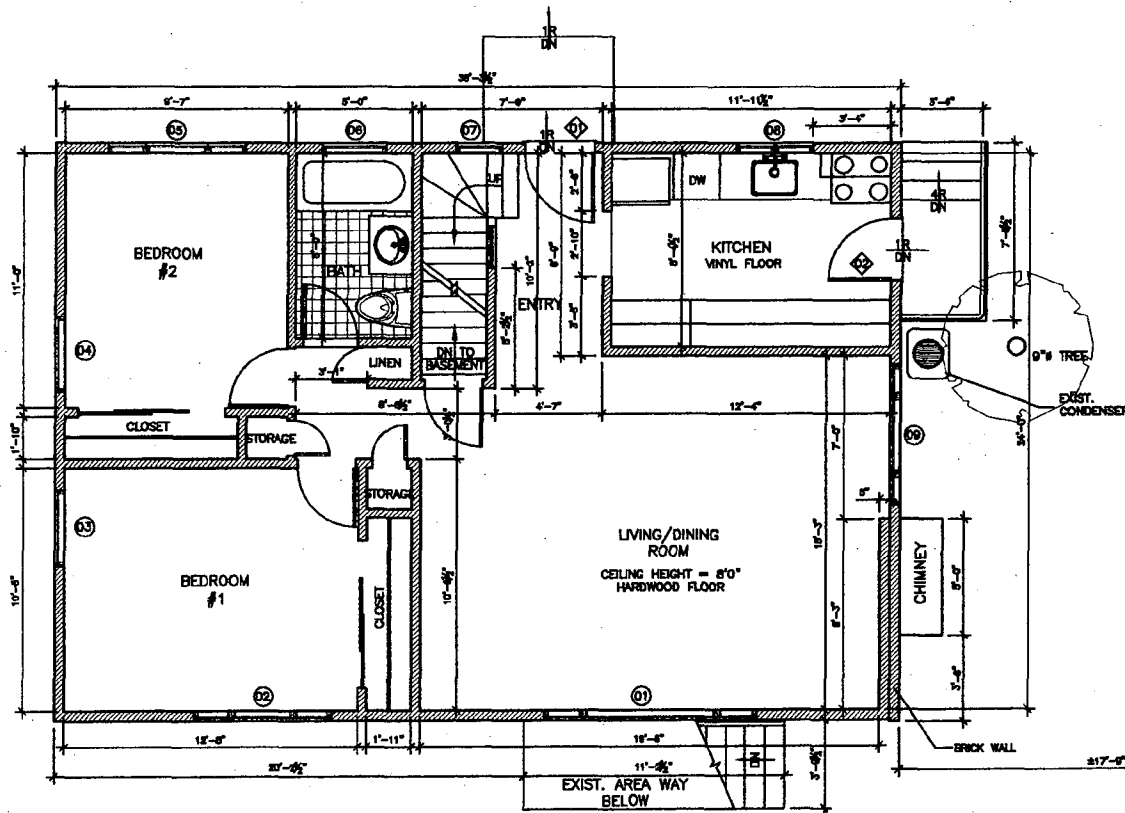
EAST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$

*Prop*

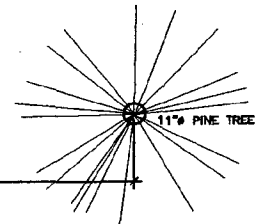


WEST ELEVATION  
 SCALE  $\frac{1}{8}'' = 1'-0''$

*Prop*



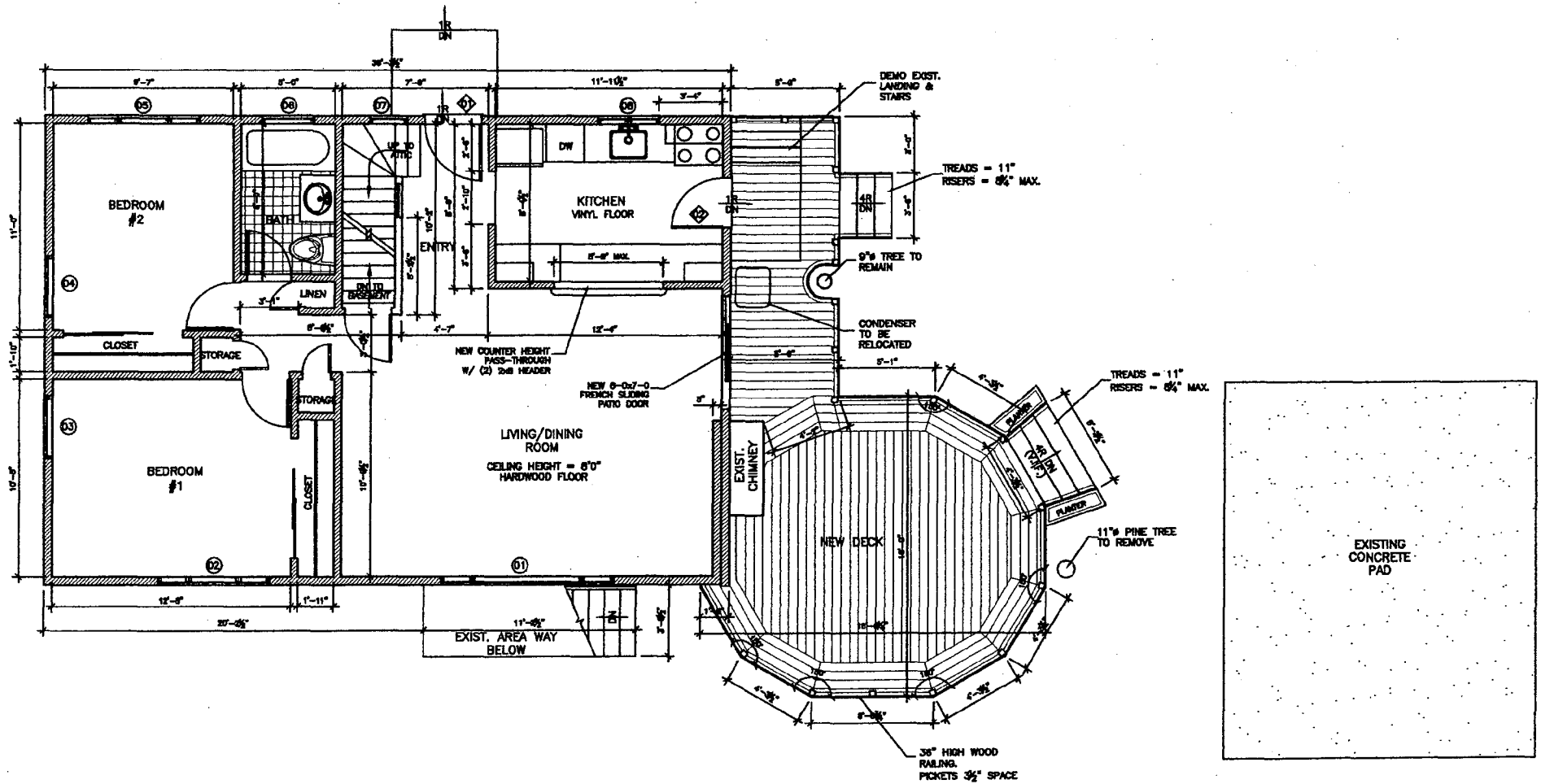
EXISTING WINDOWS	WIDTH	HEIGHT	HEAD HEIGHT
01	9'-1"	4'-3"	7'-0"
02	5'-11"	4'-3"	7'-0"
03	3'-3"	4'-4"	7'-0"
04	3'-3"	4'-4"	7'-0"
05	5'-11"	2'-3"	7'-0"
06	2'-9"	2'-4"	7'-0"
07	2'-0"	5'-4"	7'-0"
08	3'-3"	3'-3"	7'-0"
09	6'-11"	4'-3"	7'-0"



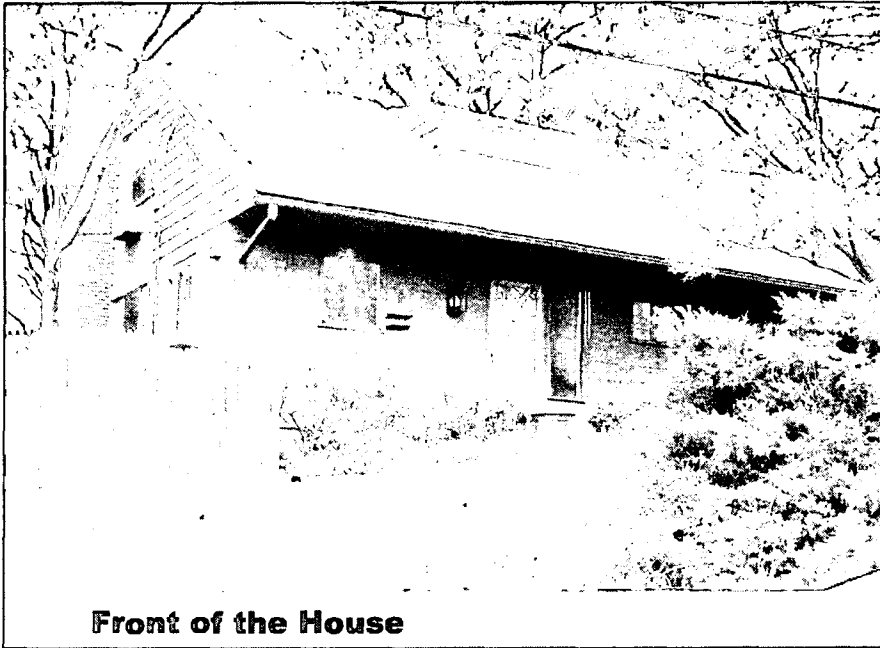
FIRST FLOOR PLAN *Exst*

SCALE  $\frac{1}{8}'' = 1'-0''$

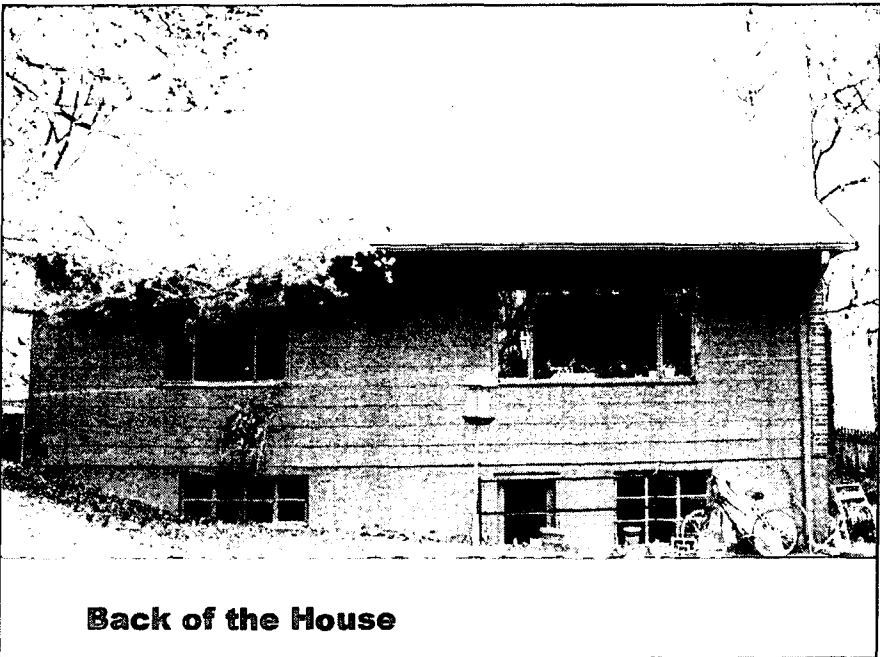
11



FIRST FLOOR PLAN *Prop*  
 SCALE 1/8" = 1'-0"



**Front of the House**



**Back of the House**



**change window for French  
Sliding Door**

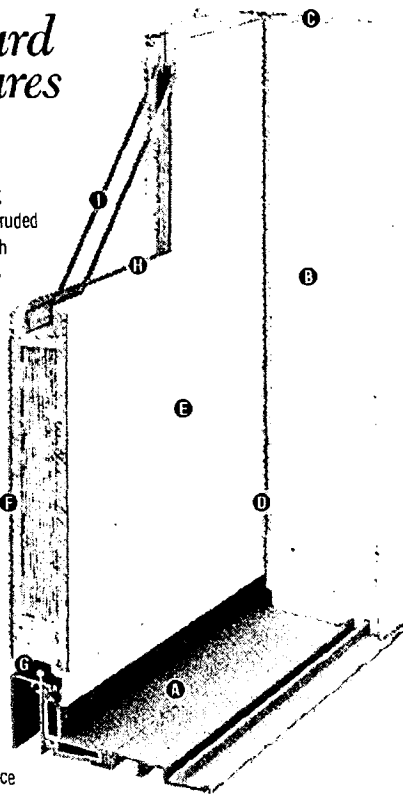
**Side of the House where the deck will be built**

# Frenchwood® Gliding Patio Doors

## Standard Features

### FRAME

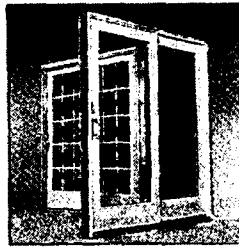
- A** The sill of the Frenchwood® gliding patio door has an extruded aluminum track, with a stainless steel cap that resists stain, rust and denting. A thermal barrier reduces conductive heat loss and checks condensation on the inside. The sill has an attractive wear-repellent, heat-baked finish in a neutral gray color.
- B** All basic exterior frame members are covered with a rigid vinyl (PVC) sheath that maintains an attractive appearance while minimizing maintenance. Andersen® Frenchwood gliding patio doors are available in four neutral colors. Specify White, Sandtone, Terratone® or Forest Green color.
- C** Wood frame members are treated with a water-repellent preservative for long-lasting protection and performance.



Interior frame trim pieces are clear unfinished pine. Oak and maple veneer and prefinished white interior options are available.

Gliding patio doors are shipped knocked down and require assembly.

**D** A flexible PVC weatherstrip on the side jambs, and a pile weatherstrip on the head, provide a positive seal between the frame and panels.



### PANEL

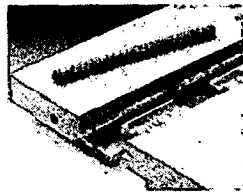
- E** The exterior of the wood door panel is protected with a long-lasting urethane base finish in White, Sandtone, Terratone® or Forest Green color.
- F** Panel interior surfaces are unfinished clear pine. Unfinished oak and maple veneers are available as options. Low-maintenance prefinished white interiors are also available on units with White exteriors.
- G** Dual ball bearing rollers on door panels provide smooth gliding operation with self-contained leveling adjusters.

### GLASS

- H** Panels are silicone bed glazed and finished with an interior wood stop and an exterior silicone bead.
- I** High-Performance™ Low-E tempered and High-Performance Sun™ Low-E tempered glass deliver optimum insulating performance. (Glass option must be specified.)



**Reachout Locking Hardware**  
The unique Andersen reachout locking system pulls the door panel snugly into the jamb for weathertightness and enhanced security.



**Mortise-and-Tenon Joints**  
Panel joints are mortise-and-tenon with patented dowel construction for maximum strength.



**Flexible Seal**  
A patented full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

## Options

### INSECT SCREENS



#### Perma-Clean® Retractable Insect Screen\*

The retractable insect screen is installed on the exterior of the door and opens side-to-side across the width of the opening. When the insect screen is not in use, it neatly retracts into a small canister mounted on the exterior of the door. The retractable insect screen canister is available for two-panel patio doors in White, Sandtone, Terratone® and Forest Green.



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### COLOR



#### Exterior Color

Specify a unit color option to complete your order: White, Sandtone, Terratone® or Forest Green.

#### Prefinished Interior

Andersen 400 Series Frenchwood gliding patio doors are available with a prefinished white interior.



#### Interior Veneer

Available in pine, oak and maple.

### PATTERNED GLASS

Patterned glass options are available. See page 7 for more details.

### HARDWARE

#### Expanded Offering

Andersen Frenchwood® gliding patio doors are available with hardware from the Metro™, Estate™ and Andiron™ collections in a variety of styles and finishes. See pages 8-9 for complete descriptions.

### WATCH PROTECTION



Frenchwood gliding patio doors are available with Stormwatch™ protection. For a copy of the Andersen Coastal Product Guide, see the Andersen supplier nearest you.

\* Sold separately.

Note: Andersen® patio doors are not intended for use as entrance doors.

† Delrin™ is a registered trademark of E. I. duPont de Nemours and Company.



Learn more online at  
[andersenwindows.com](http://andersenwindows.com)



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Casual User Application



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
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