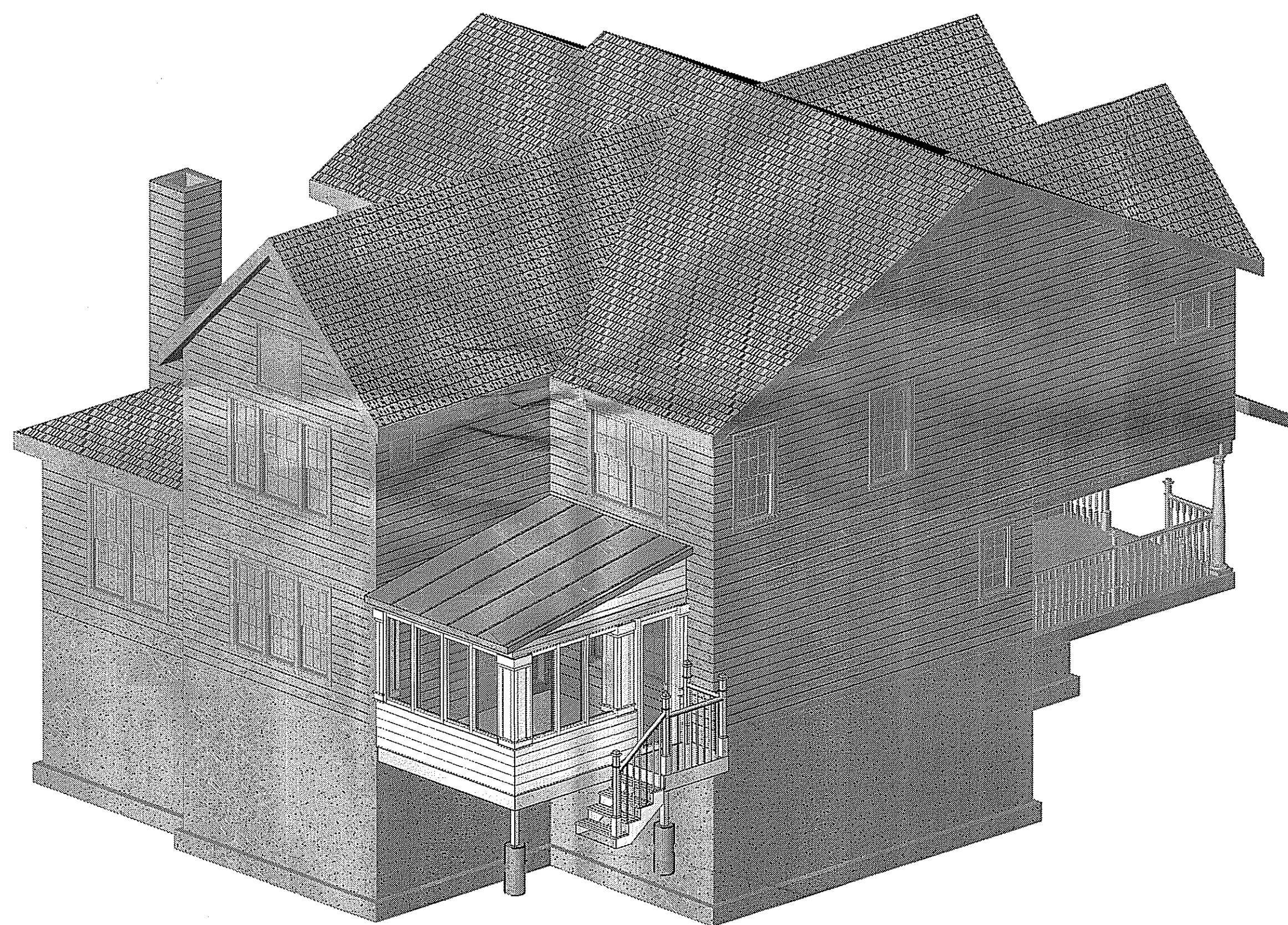


31/07-05C 10005 Leafy Ave
Capitol View Park Historic District



1 0.0 REAR RIGHT- 3D VIEW

ABBREVIATIONS

A.F.F.	Above Finished Floor
B.R.L.	Building Restriction Line
BRG.	Bearing
BSMT.	Basement
C.A.L.	Center hinged Active panel Left swing
C.A.R.	Center active panel Right hinged
C.L.	Center Line
CL.	Closet
CLG.	Ceiling
C.O.	Cased Opening
COL.	Column
CONC.	Concrete
C.T.	Ceramic Tile
DIAM.	Diameter
DN.	Down
D.S.	Double Swing
DUBL.	Double
DW.	Dishwasher
FDN.	Foundation
F.CLG.	Finished Ceiling
F.F.	Finished Floor
ELEC.	Electrical
ENG.	Engineered
E.W.	Each Way
EX.	Existing
FTG.	Footing
G.F.I.	Ground Fault Circuit Interrupter
H.H.	Head Height
H.W.	Hard Wood
INSUL.	Insulation
INT.	Interior
L.	Linen
M.L.	Microlam
MTD.	Mounted
MTL.	Metal
N.T.S.	Not to Scale
N/A	Not Applicable
PDR.	Powder Room
P.T.	Pressure Treated
PTD.	Painted
REF.	Refrigerator
R.R.	Roof Rafter
T.	Tempered
T.O.D.	Top Of Deck
T.O.FDN.	Top Of Foundation
T.O.F.F.	Top Of Finished Floor
T.O.P.	Top Of Plate
TYP.	Typical
U.N.O.	Unless Noted Otherwise
W.C.	Water Closet
N.C.	No Change
W/H.	Water Heater
W.I.C.	Walk-in-closet
WD.	Wood

DRAWING SYMBOLS

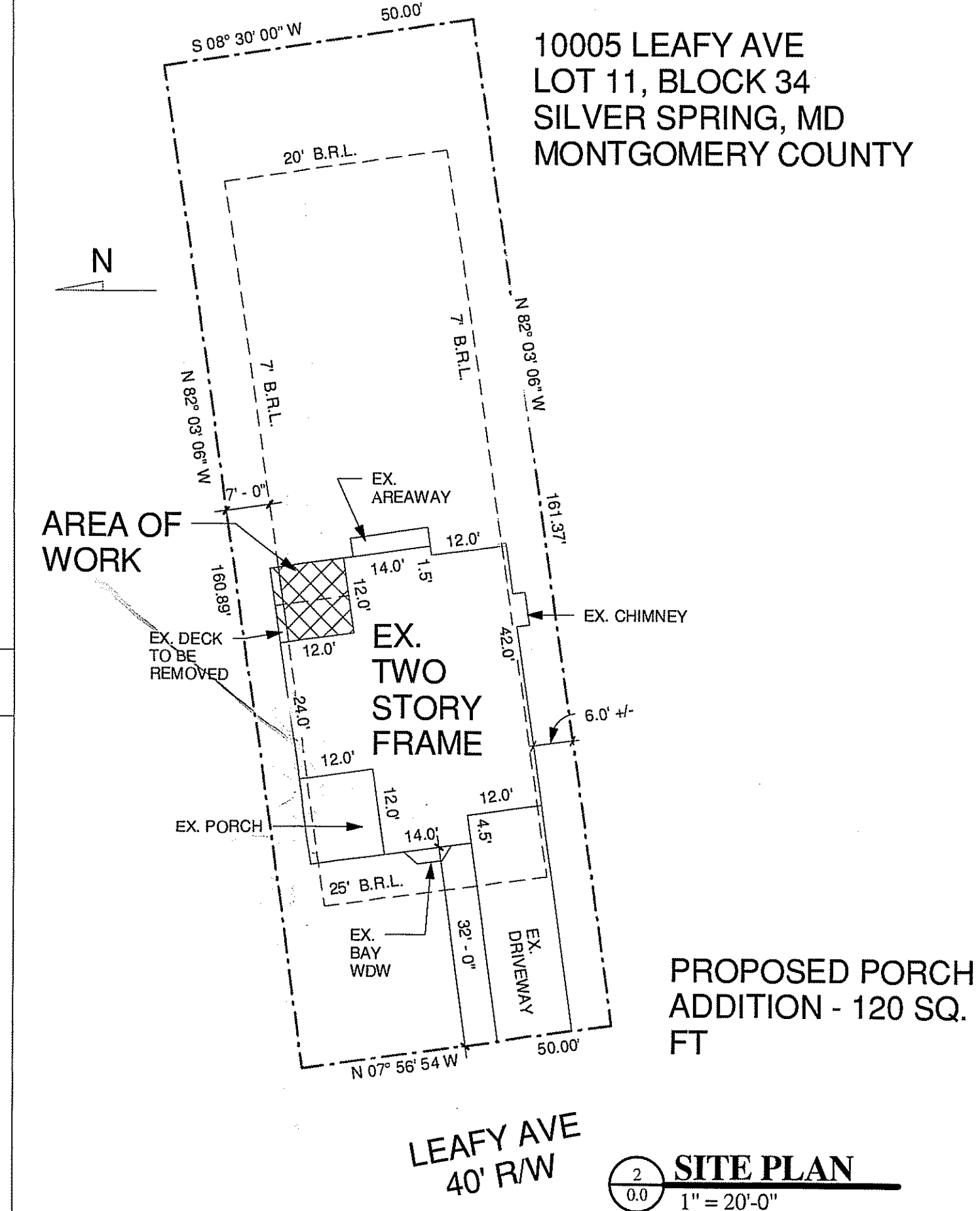
DIMENSION STRINGS	
	INTERNAL PARTITIONS
	WINDOW/DOOR CENTER LINES
	BUILDING BREAKS
	OVERALL
	ALIGN FACE OF FINISHES TO BE FLUSH
	CENTER LINE INDICATOR
	DRAWING REFERENCE
	DEMO NOTE TAG
	DOOR TAG
	LINE OF WORK INDICATOR
	REVISION NOTE TAG
	SECTION REFERENCE
	STRUCTURAL NOTE TAG
	WINDOW TAG

MATERIAL HATCH PATTERNS

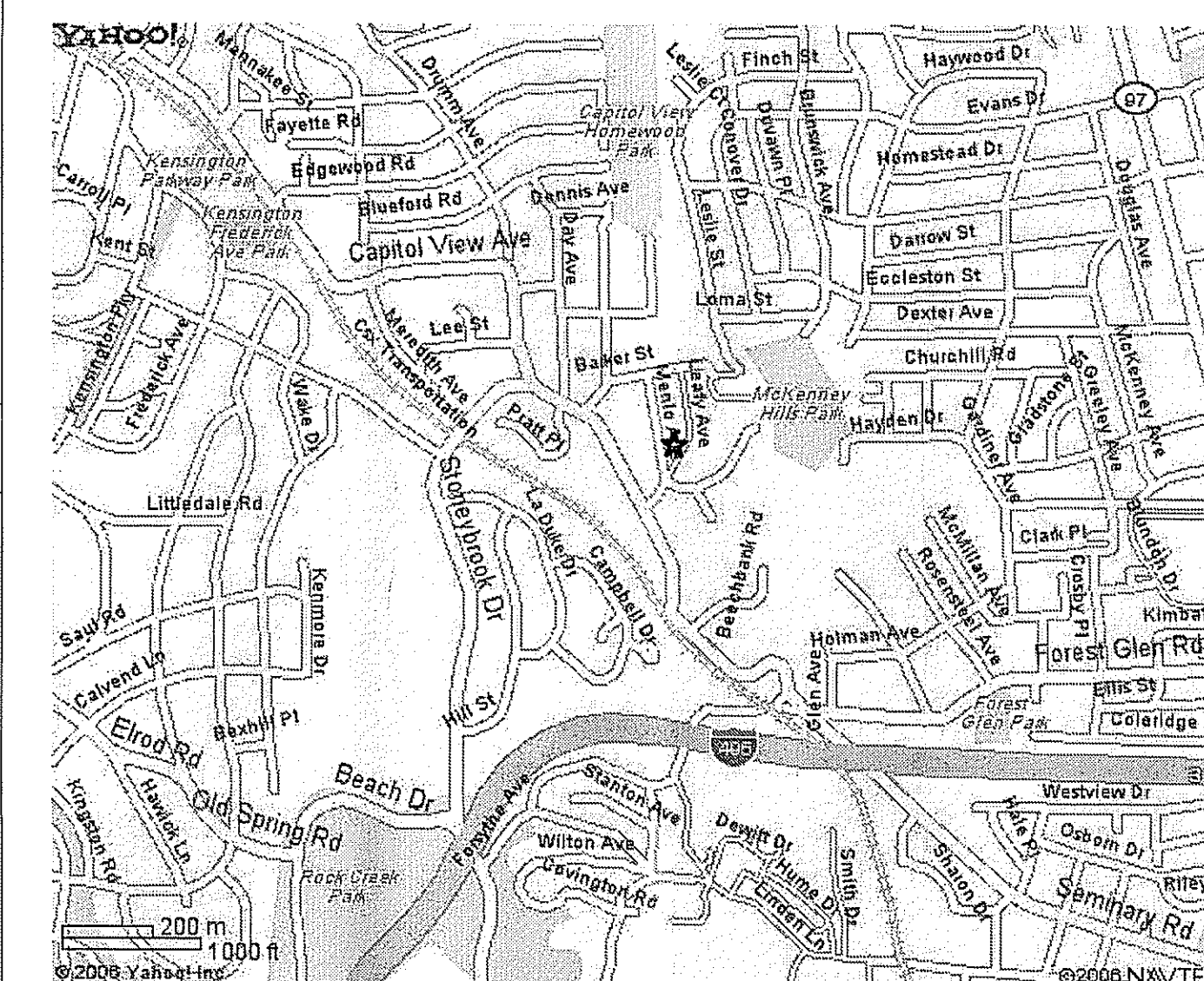
	BRICK		PLANK SIDING
	CONCRETE		GRAVEL
	EARTH		ASPHALT SHINGLES

DRAWING LIST

SHEET TITLE	SHEET NUM.	PRELIM 00.00.00	PERMIT 05.18.06	PERMIT 06.21.06	CONST. ...
Cover Sheet	0.0	X	X		
Specifications	0.1	X	X		
EX. PLANS & ELEVATIONS	0.3	X	X		
PLANS AND ELEVATIONS	1.0	X	X		
FRAMING PLANS & SECTIONS	4.0	X	X		
DETAILS	D.1				



NOTE: THIS SITE PLAN HAS BEEN REPRODUCED AS PER SURVEY PROVIDED BY OWNER. ARCHITECT ASSUMES NO LIABILITY FOR ACCURACY OF SURVEYOR'S INFORMATION.



LOCATION MAP N.T.S.

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(301) 445-9380

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/25/06

ISSUE: PERMIT
PLOT DATE: 7/21/2006 12:42:31 PM
Revision Schedule

DRAWING: Cover Sheet

Project #: 05073
Drawn by: HFN Chk by: JIM
DWG: 0.0
Scale: As indicated

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Division I: General Requirements

These documents are the property of John Mangan Group Architect. Any use of the documents without the written consent of the Architect is strictly prohibited.

All work performed shall comply with the following requirements:

- All general notes unless otherwise noted on the plans and specifications
- Building Code as specified on the architectural drawings
- All applicable state and local codes, ordinances, and regulations
- In places where the drawings do not address methodology, all contractors shall be bound to perform the work in strict compliance with manufacturer's specifications and/or recommendations

The General Contractor and his Subcontractors shall be responsible for the on-site verification of all dimensions and conditions. Noted dimensions take precedence over all scale references. Contractors shall consult the Project Architect with any questions.

The conditions and assumptions stated in these specifications shall be verified by the Contractor for conditions and conformance to local codes. In the event of a discrepancy between these specifications and conditions of codes, the Contractor shall inform the Architect in writing of the discrepancy and indicate any special engineering requirements that need to be applied to assure building's structural integrity.

These general notes and typical details apply throughout the project unless noted otherwise. These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.

The Architect shall not be responsible for, and will not have any control over construction means, methods, techniques, sequences and procedures or for the safety precautions and programs in connection with the work and will not be responsible for the failure of the Client or his Contractors, Subcontractors, or anyone else performing any part of the work.

The Architect accepts no responsibility for changes and deviations from these plans unless such changes are made by signed letter or change order. No substitution of products and materials identified by brand or manufacturer name shall be accepted without prior approval by the architect. Installation of all products and materials shall follow manufacturer's recommended procedures.

Any and all drawings and specifications for site work, plumbing supply/waste, electrical circuitry, heating/ventilation/air conditioning systems and per-fabric roof trusses are not part of the professional services provided to the Client unless included under their agreement. Any discrepancies with these documents by any of the services listed above as shown in the documents shall be reported to the Architect immediately.

Prior to the application for a building permit, Contractors shall furnish the Architect with two sets of shop drawings of all prefabricated components, with one set to be retained by the Architect and the other set to be returned to the Contractor after review. Items requiring shop drawings include, but are not limited to: roof trusses, floor trusses, stair components, cabinets and vanities. Should the design configuration of any prefabricated component be modified from previously approved shop drawings during construction, the Architect shall be furnished, prior to fabrication, with revised shop drawings incorporating the revisions. In the event that the Architect is not provided with the information required, the Client shall defend, indemnify, and hold harmless the Architect from any claim or suit whatsoever including, but not limited to, all payments, expenses or costs arising or alleged to have arisen from prefabricated items.

Discrepancies:

The Contractor shall compare and coordinate all drawings. When, in the opinion of the Contractor, a discrepancy exists, he shall promptly notify the Architect in writing before proceeding and shall be responsible for the same and any indirect results of his actions.

Omissions:

The architectural drawings and specifications shall be considered as part of the conditions of the work. In the event that certain features of the construction are not fully shown in the drawings, current national, state and local codes and ordinances, regulations or agreements as well as current acceptable building practices shall govern. The construction shall be of the same character as for similar conditions that are shown noted.

Division II: Site Work

Scope of the Work:

The work under this section involves all clearing, grubbing, excavating, filling, rough/finish grading and all related items necessary to complete the work. All excavated material that cannot be used as back fill for the new building shall be removed from the site or distributed as directed by the superintendent.

Soil Investigation and Report:

All earth work, compaction and supervision shall be done according to the recommendations of the soil investigation report prepared by a licensed geotechnical engineer. Concrete slab and footing calculations are based on a 2000 psf soil bearing capacity. If on-site borings reveal lesser values, notify the Architect, in writing.

The Contractor shall inspect the site prior to starting his work for proper grades, spot spots, and other anomalies. The Contractor shall be responsible for finish grading the sub grade under all areas before placing finished surfaces.

Provide termite protection in accordance with IRC 2000 R234 by chemical soil treatment, pressure treated lumber, naturally termite resistant wood or by other physical barriers that meet with the approval of building officials. Treat all soil around the building and provide the Owner(s) with a live (5) year guarantee. All work shall be performed by licensed exterminators that have been in business for at least five (5) years.

Excavate to the elevations and dimensions indicated. Allow for additional space as required for construction operations and inspection of foundations. Soil conditions shall conform to or exceed the following requirements:

- Bearing Capacity: Minimum 2000 psf under all footings and slabs, field verified by a licensed soils engineer.
- Water Table: Minimum 20" below the bottom of all concrete slabs and footings. Footings, foundation walls and slabs shall be placed on/nr Marine Clay, Peat or other organic materials.

The bottoms of all footings shall extend below the frost line of the locality and a minimum of 30" below existing grade. Disturbed soil or soil compacted to 95% dry density having the soil bearing capacity listed above.

Do not place footings or slabs on frozen ground. When freezing is expected, do not excavate to the full depth indicated, unless concrete can be placed immediately after the excavation has been completed. Protect the bottoms of footings so excavation is undisturbed if the placement of concrete is delayed.

The contractor shall control the grading around the building so that the ground is pitched to prevent water from running into excavated areas or damaging the structure.

All foundation wall backfill under slabs where the distance from the edge of wall to the edge of undisturbed soil exceeds 18" but is less than 48" shall consist of clean porous soil compacted in 6" layers to 95% dry density or provide No.4 rebar at 2'-0" O.C., 12" beyond edge of undisturbed soil and 12" into foundation wall.

Free draining granular backfill (SM or better) shall be used against foundation walls consistent with the architectural plans and related details. Equivalent fluid pressure of backfill shall not exceed 40 pcf. In the event that EFP exceeds 40 pcf, the walls must be designed to withstand the actual pressures by a registered professional engineer licensed in the locality where the building resides.

Place and compact backfill so as to minimize settlement and avoid damage to the walls and damp proofing and other work in place. The finished sub grade shall be brought to the elevations indicated and sloped to drain water away from the building walls. Pitch sub grade 1/2" per foot to a distance of 10'0" from building walls.

Unbalanced fill shall not exceed 7'-0" unless otherwise noted and substantiated by engineering calculations. Backfill shall not be against walls until slabs on grade and framed floors are in place and have reached their design strengths. Proper precautions shall be taken to brace foundation walls when backfilling. Where backfill is required on both sides, backfill both sides simultaneously.

Division III: Concrete

Compliance with Industry Standards:

Any materials or operations specified by reference to the published specifications of a manufacturer, the ASTM, the ACI, the Portland Cement Institute, the Concrete Reinforcing Steel Institute, the Local Building Code or Other Published Standards shall comply.

All concrete is to be ready-mixed and placed in accordance with building code requirements for reinforced concrete (ACI-318-88 and ACI-301-72J). All concrete shall have a minimum compressive strength of 3000 psi, with concrete exposed to weather (garage/exterior slabs) shall be air-entrained (5%) and have a minimum strength of 3500 psi.

All reinforcing, anchor bolts, anchor straps, pipe sleeves, and other inserts shall be positively secured in place and located according to the appropriate architectural drawings and details before concrete is placed.

Concrete properties shall conform to the following table:

Min. Compressive Strength [PSI at 28 Days]	Min. Aggregate Slump Size	Min. Performance
1. Floors: 3000	1/2" - 1"	4 [+/- 1/2]
2. Slabs on Grade: 3000	1/2" - 1"	4" +/- 1/2"
3. Foundation Walls: 3000	1/2" - 1"	4" +/- 1/2"
4. Garage/Exterior Slabs: 2500	1/2" - 1"	4" +/- 1/2"

Foundation walls shall be the thickness specified on the plans. Where there is an unbalanced fill condition of greater than 70", foundation walls shall be 10" thick or shall be engineered with reinforcing steel. Provide a masonry shell for brick veneer where indicated on the plans.

Concrete floor slabs on grade shall be placed over well-compacted sub grade. Over sub grade, place 4" of gravel; roll or tamp fill until thoroughly compacted. For interior slabs, place 6-mil vapor barrier over porous fill, taping joints 6" and sealing joints with tape (Turn barrier up on wall 4")

Reinforcing Steel:

Reinforcing steel shall be intermediate grade new billet steel bars, Grade 60, conforming to ASTM-615. Welded Wire Mesh (WWM) shall conform to ASTM-185. Refer to architectural plans for the locations and size of reinforcing steel.

Detailing, fabricating, and placing of reinforcement shall be in accordance with ACI-315 Manual of Standard Practice for Detailing Reinforced Concrete Structures. Furnish support bars and all required accessories in accordance with CRSI standards.

All reinforcing bars which intersect perpendicular elements shall terminate in hooks placed two (2) inches clear from outer face elements.

The Contractor shall notify the building official at least forty-eight (48) hours prior to each concrete pour. No concrete shall be poured into trenches containing standing water or mud. Footings shall be dewatered prior to placement of concrete. No concrete shall be placed until all reinforcing has been installed by the Contractors and inspected by the appropriate building official(s).

Minimum protective cover for reinforcing steel shall be as follows:

Concrete Structure	Min. Coverage
1. Footings:	3"
2. Beams/Columns:	2"
3. Floor Slabs:	Reinforcing Bars 3/4" Welded Wire Mesh Mid-Slab
4. Foundation Walls:	Interior Face 1" Exterior Wall 3"

Foundations:

Footing depths are shown on the architectural drawings. Footings shall bear a minimum of 1'0" into original undisturbed soil and a minimum of 30" below finished grade. Where it is necessary to stop continuous footings, step footings using a ratio of one (1) vertical step to two (2) horizontal steps. Vertical steps shall not exceed 16".

Where conditions develop requiring changes in excavations, such changes shall be made as directed by the Project Architect.

All footing excavation shall be inspected by the building official prior to the placement of any concrete. The building official shall be given at least forty-eight (48) hours notice for this observation.

Slabs on grade shall be 4" thick [unless noted otherwise] and reinforced with 6x6-10/10 WWM. Place on 6-mil vapor barriers over 4" crushed stone. Porch slabs shall be 4" thick unless noted otherwise.

Install anchor straps per manufacturer's recommendation, 12" from corners, 12" from midslit joints and at intervals of not more than 48". Embed anchors to the depth specified by the manufacturer.

Beam pockets shall be formed into concrete walls to provide a continuous, level, flat, solid bearing surface for all beams.

Division IV: Unit Masonry

Materials:

Brick shall be made from clay or shale and conform to ASTM Specification C62. For foundations, work below grade and with earth, use Grade SW. Use Grade MW for exterior wall above grade and Grade NW for interior walls and for back up of walls faced with facing brick. All materials to be used are to meet ASTM or published standards accepted by the ASTM.

Use Type M mortar for below grade applications and Type S mortar for all other applications. Masonry cement shall conform to accepted practice for masonry. Mix all cementitious materials and sand in a mechanical batch mixer for a minimum of five (5) minutes. Adjust the consistency of the mortar to the satisfaction of the mason. All mortar shall be used within 2-1/2 hours of the initial mixing and shall not be used after it has begun to set.

Materials shall conform to the following standards:

- Mortar: ASTM C-270-84
- Hollow CMU: ASTM C-90-75
- Face Brick: ASTM C-216-85

All masonry work shall conform to the applicable requirements of ACI 530.1-88 and ASCE 6-88.

All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be laid in temperatures below 35 degrees Fahrenheit without precautions necessary to prevent freezing. No antifreeze admixtures shall be added to mortar.

Brick veneer shall be attached to wood framing with corrosion-resistant 22-Gauge non-corrugated galvanized metal ties [minimum 7/8" wide]. Place ties vertically at 16" O.C. and horizontally at 16" O.C. Provide 15 lb asphalt felt over sheathing as a moisture barrier and provide weep holes for drainage through one vertical brick joint at 20" O.C. at the lowest course above finished grade.

Lay brick in an running bond, plumb, level and true to line in full beds of mortar. Coursing shall be done with story rods laid so that three (3) courses equal eight (8) inches. Completely fill all joints with mortar. Build in flashings, flashing blocks access panels, loose lintels, fireplace metal, and other work at locations shown on the drawings.

Lay concrete masonry units in a running bond, plumb, level and true to line in full beds of mortar. Completely fill all joints with mortar. Joints of interior concrete masonry units that will be exposed or painted shall be cut flush and tooled.

Waterproofing and Drain Tiles:

Lay drain tile (perforated 4" diameter PVC pipe) in 18" of VDOT No. 57 gravel along the footings with at least 2" of gravel below the pipe. Be sure that backfill has been well compacted before gravel is placed. The gravel filter shall be completely covered with geotextile fabric (EOS No. 70 Sieve, Gradient 2 or less).

Drain to daylight or a sump pump per the engineer's drawings. Filter fabric shall have an open area of 40% or less and an equivalent opening size of a No. 40 Sieve.

Sill Plate Anchor Bolts:

Sill plate anchor bolts shall be 1/2" bolts, 15" long [anchor end bent 2"] with 2" diameter washers. Anchor bolts may be replaced with straps. Install straps per manufacturer's instructions, twelve (12) inches from corners, and at intervals of not more than forty-eight (48) inches.

Division V: Metals

Compliance with Industry Standards:

Structural steel shall conform to the requirements of the AISC Manual of Steel Construction, latest edition, and shall conform to ASTM A-36-84A. Steel pipe columns shall be of equivalent capacity and weldability to ASTM A-500. All welding shall be in accordance to the American Welding Society Code and shall be performed by welders qualified in accordance with AWS procedures. Electrodes shall conform to ASTM A-233 E70 Series.

Provide base plates for all structural steel beams bearing on concrete or masonry. Provide standard angle and inserts, ties, clips, anchors, straps, hangers, bolts, bearing plates, and other hardware and fastening devices as may be required or indicated on the Architectural Drawings

All connections shall meet AISC standards.

Lintels

Unless otherwise noted, provide one (1) inch for each four (4) inches of wall thickness of wall or partition with 3-1/2" leg horizontal for openings in masonry as follows:

Openings Less Than 30"	L3 - 1/2 x 3 x 1/4"
Openings 30" to 60"	L4 x 3-1/2 x 5/16"
Openings 60" to 80"	L5 x 3-1/2 x 5/16"
Openings 80" to 86"	L6 x 3-1/2 x 5/16"

Provide a minimum of six (6) inches bearing for lintels and eight (8) inches at beams.

Division VI: Wood Materials:

All lumber shall be No.2 Grade Hem-Fir with the structural values listed below unless noted otherwise. Grading shall comply with PS 20-70 American Softwood Lumber Standard and applicable Western Wood Products Association standards.

Extreme Fiber Bending Stress (Fb):

Single Use Members:	1,000 psi
Repetitive Use Members:	1,150 psi
Modulus of Elasticity (E):	1,400,000 psi
Horizontal Shear (Fv):	75 psi
Compression Perpendicular to Grain (Fc):	385 psi
Wood Tensile-Parallel to Grain:	850 psi
Wall Stud-Compression Parallel to Grain:	500 psi

Engineered Lumber:

Laminated Veneer Lumber (LVL) Beams shall have a minimum extreme fiber bending stress value (Fb) of 2800 psi and a minimum modulus of elasticity value (E) of 2,000,000 psi. All manufactured lumber shall be handled, stored, and installed in strict accordance with the manufacturer's printed literature.

Design Loads:

Load Type/Description	Live Load	Dead Load	Total Load
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Floor Load-First/Second Floor	40 psf	10 psf	50 psf
Floor Load-Second Floor/Sleeping Floors	30 psf	10 psf	40 psf
Floor Load-Garage Slab	50 psf	-	50 psf
Floor Load-Snow	30 psf	17 psf	47 psf
Roof Load- Wind	24 psf	-	24 psf

All lumber of 4" nominal depth or greater shall have a moisture content not greater than 19%. Air-dried lumber is desired, but not necessary. Lumber may be kiln dried, however, the drying process must be slow and regulated to cause a minimum amount of checking when compared to air-dried stock.

All exterior lumber and lumber that is in contact with masonry or concrete shall be pressure preservative treated in accordance with AWPA Standards and stamped 'Ground Contact 0.40 lb/cubic foot.'

No structural member shall be omitted, notched, cut, blocked out, or relocated without the prior approval of the Architect.

Joists, rafters, and beams shall be set with the crown edge up. Double joists/rafters to form headers and trimmers around rough openings as required, providing blocking or suitable edge support between members where necessary.

Grade stamps shall appear on all lumber.

Store all lumber above grade and protect from exposure from weather.

Bridging and Blocking:

Joists shall be supported laterally at the ends of each support by full-depth solid blocking, except where the ends of joists are nailed or bolted to a header, band or rim joist, or to an adjoining stud. Solid blocking shall be no less than two (2) inches in thickness.

Joists having a depth-to-thickness ratio exceeding 6-to-1 based on nominal dimensions shall be supported laterally by solid blocking, diagonal bridging (wood or metal) or 1 x3 bridging, nailed to the bottom of the joist at intervals not exceeding 10'0".

Provide double trimmers under all headers 4x6 or larger. All such members shall be glued and spiked together.

Cutting of Beams, Joists, and Rafters:

Notches in the top or bottom of joists shall not exceed 1/6 the depth of the joist and shall not be located in the middle third of the span. Where joists are notched on the ends, the notch shall not exceed 1/4 the joist depth.

Cambraved portions less than 4" wide shall not be notched unless the reduced section properties and lumber grades are considered in the design of the member. Holes bored in joists shall be within 2" of the top and bottom of the joists and their diameter shall not exceed 1/3 the depth of the joist.

Fireplace/Chimney Clearances:

Keep framing a minimum of two (2) inches away from masonry fireplaces per IRC 2000 R1001.15. Allow chimney clearances per IRC 2000 R1001.15. Allow two (2) inches from the outside face of the chimney to combustible materials in the case of a masonry chimney built partially or totally within the dwelling. Combustible materials may be placed within one (1) inch of a masonry chimney when the chimney is built entirely outside the dwelling.

Pipes in Framed Bearing Walls/Shear Walls:

Notches in the top or bottom of joists shall not exceed 1/6 the depth of the joist. Notches or bored holes in studs of bearing walls or partitions shall not be more than 1/4 (25%) of depth of the stud.

Build-Up Beams:

Build-up beams or joists formed by a multiple of 2X members shall be interconnected as follows:

Size of Member	Method of Interconnection
1. Up to 9-1/4"	Glue/intermittal with (2) rows 16d at 24" O.C. [Staggered]
2. Over 9-1/4"	Glue/intermittal with (3) rows 16d at 24" O.C. [Staggered]

Flitch beams shall have a minimum Fb=1500 psi and E=1,400,000 psi with minimum 1/2" bolts located not closer than 2" from the top and bottom and 2" from each end.

Bolts in Wood Framing:

All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.

Steel plate washer sizes shall be as follows:

Bolt Sizes	Washer Size
1. 1/2" and 5/8" Bolts	2-1/4" sq x 5/16"
2. 3/4" Bolts	2-5/8" sq x 5/16"

Each bolt hole in wood shall be drilled 1/16" larger than the diameter of the bolt

Lag Bolts:

All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers. Lag bolts shall be square or hex headed and of structural grade steel.

Washers shall be placed under the head of lag bolts bearing on wood. The length of the bolt shall be a minimum of 2/3 the depth of the members being bolted together.

Joist Hangers:

All purllins, joists, and beams not framed over supporting members shall be supported by means of metal hangers. Joist hangers shall be prime quality steel which conforms to ASTM-A826, minimum 22-gauge. Products acceptable shall be Simpson's Kant Sag, or equivalent.

Plywood/Sheathing:

All plywood shall be Douglas Fir or Southern Yellow Pine and shall be manufactured and graded in accordance with "US Product Standard PS 1-85 for Construction and Industrial Plywood".

Each plywood sheet shall bear the "APA" grade trademark.

All end joints shall be staggered and shall butt along the center lines of framing members.

The face grain of plywood shall be laid at right angles to the joists and trusses and parallel to the studs.

Nails shall be placed a minimum of 3/8" from the edge of sheets. The minimum nail penetration into framing members shall be 1-1/2" for 8d nails and 1-3/8" for 10d nails.

All floors shall be glued and nailed with an APA approved elastomeric structural adhesive and 8d common smooth or ring-shank nails, spaced at 6" O.C. at panel edges and 10d O.C. at intermediate supports.

Corner Bracing:

Unless otherwise noted, brace exterior corners of the building with 1 x 4 diagonals, let into studs. Oriented Strand Board (OSB) or 4 x 8 sheets of plywood of a thickness to match that of sheathing, structural sheathing, or with metal strap devices installed in accordance with manufacturer's instructions (16-gauge compression tension)

Lap wall plates at all corners.

Nailing:

All nailing, unless noted otherwise, shall comply with nailing the schedules in IRC 2000 [as applicable], latest editions and all state and local building codes or manufacturer's recommendations.

Firestopping:

Firestop all concealed spaces in wood framing not already shut off by framing members per IRC 2000 R502.12 and R602.8 to prevent drafts from one space to another. Firestop all duct chases, bulkheads, laundry ducts, metal flues and other shafts [both horizontal and vertical] at each floor. Fit accurately to fill openings. Block all walls over 80" height at the 8" level.

Alignment of Framing Members:

All rafters and joists framing from opposite sides shall lap at least six (6) inches and shall be spiked together.

When framing end-to-end, joists shall be secured together by metal straps.

Partitions:

From interior partitions within the following guidelines:

- Double joists centered under all parallel partitions. For floor trusses, follow manufacturer's instructions.
- Provide solid blocking at 4'0" O.C. between the joist and first interior parallel joist.
- Splices shall occur only directly over studs.
- Structural variations are allowed if substantiated by engineering calculations stamped by a professional engineer licensed to practice in the jurisdiction where construction is taking place. One set of calculations is to be provided to the Architect for approval prior to construction.
- Lap top plates at corners and intersections.

Bearing Walls Supporting One or More Floors: Partitions must be constructed of at minimum 2x4 studs, spaced at 16" O.C. of the type of lumber specified.

If a double top plate of less than 2 2x6s or 2 2x4s is used, floor joists shall be centered directly over and below bearing wall studs with a tolerance of no more than 1" unless substantiated by engineering calculations.

Bearing stud walls must be sheathed with a minimum 1/2" gypsum board, fastened according to drywall manufacturer's recommendations.

Wood Roof Trusses:

Timber trusses shall be designed in accordance with NFPA Standards. Calculations, joint strength information [allowable load per square inch or per nail, allowable edge distance, allowable end distances], load test data, and other information as necessary shall be submitted to local authorities for approval prior to fabrication. Each truss shall be secured at bearing with one rafter tie type metal anchor at each end.

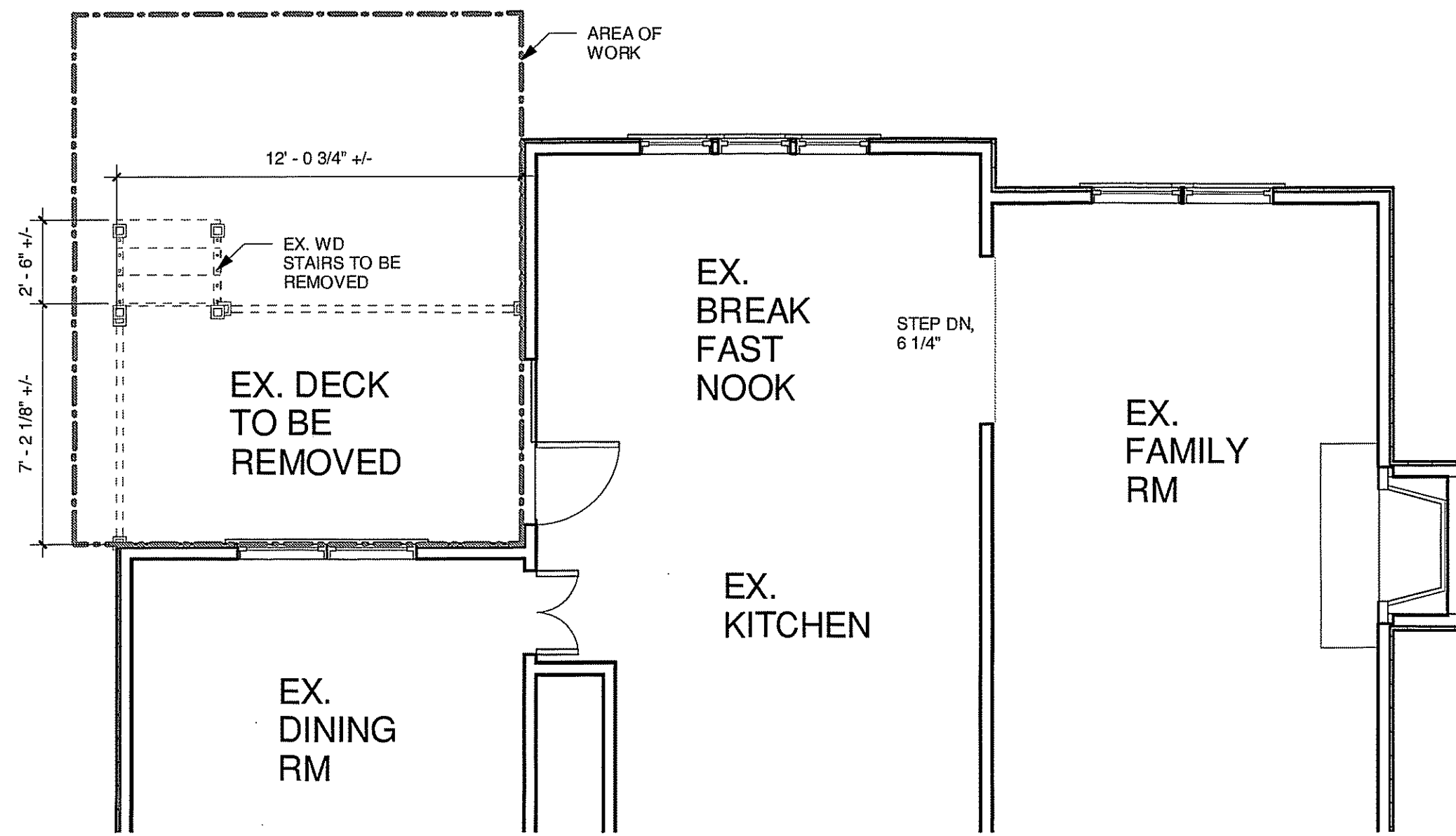
Truss diagrams and truss layout plan show design intent only. Truss manufacturer shall verify all spans, dimensions, heel heights and pitches.

Fabricator must submit two sets of components shop drawings and truss layout plan, each sealed by a professional engineer registered in the jurisdiction where the construction is taking place, to the Architect prior to fabrication [one copy for the Architect's records and one copy to be returned to the Contractor after review].

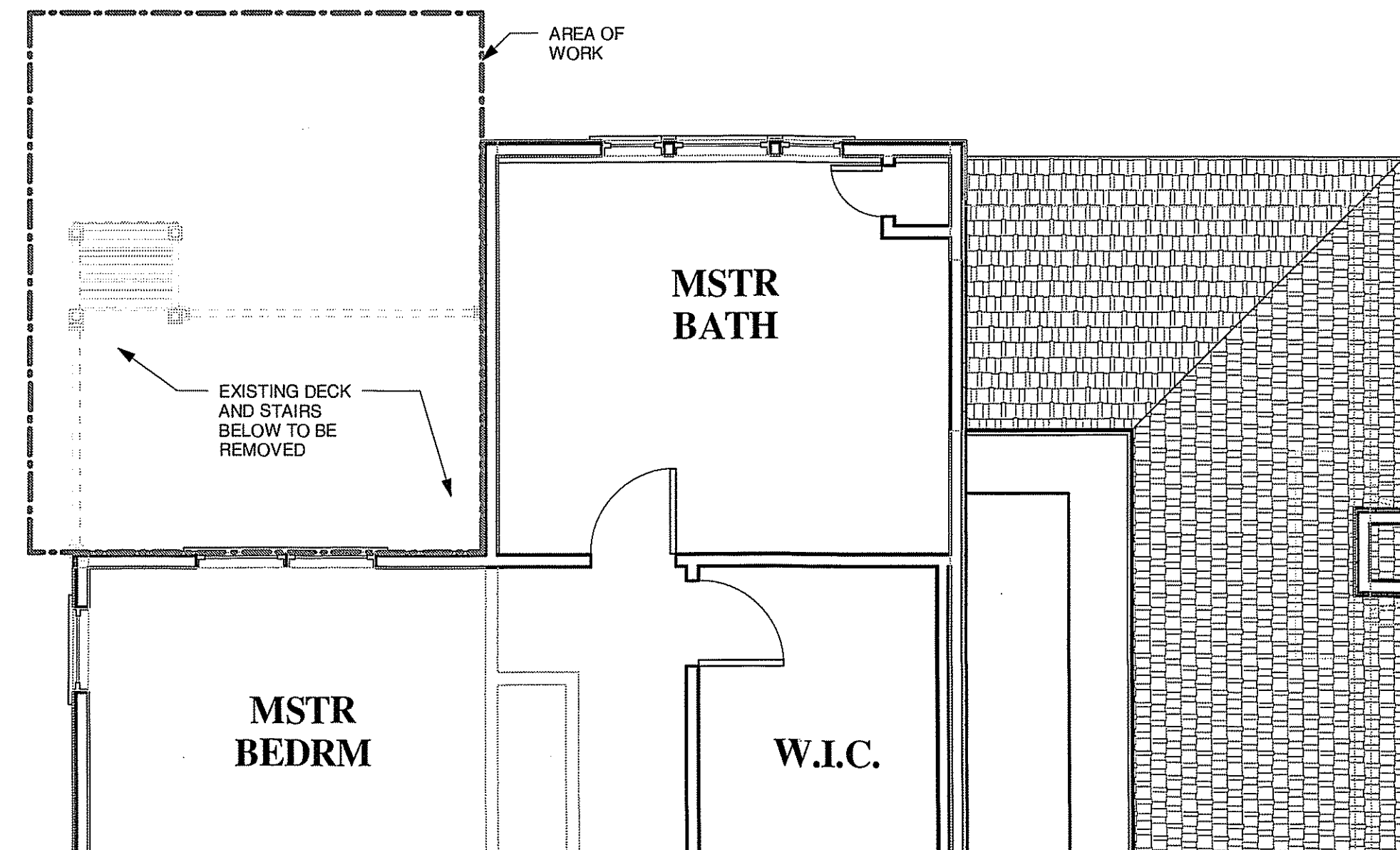
Truss shop drawings indicating calculations, loading, load test data, horizontal thrust, and any other information required shall be sealed by a professional engineer registered in the jurisdiction where the construction is taking place, and submitted to building officials prior to fabrication.

Store trusses above grade in such a way as to prevent bending, warping or deflection of the trusses.

Scissor Trusses:



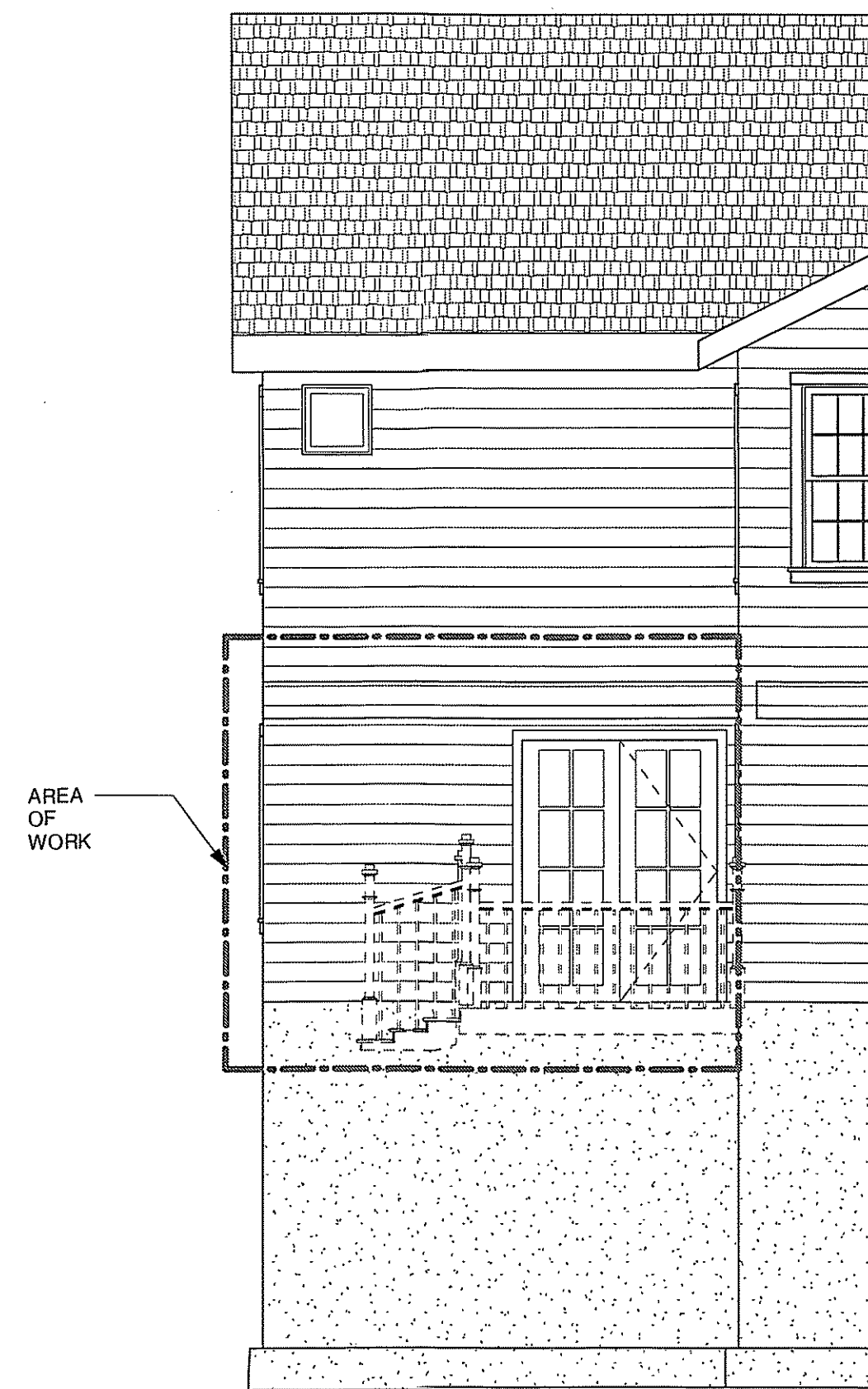
1
0.3 EXISTING PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"



2
0.3 EXISTING PARTIAL SECOND FLOOR PLAN
1/4" = 1'-0"



4
0.3 EXISTING PARTIAL REAR ELEVATION
1/4" = 1'-0"



3
0.3 EXISTING PARTIAL LEFT ELEVATION
1/4" = 1'-0"

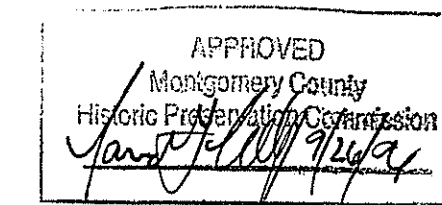
NOTE:

- A. UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY TO REMOVE FROM PROJECT SITE.
- B. ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNER'S PROPERTY. REMOVE, CLEAN AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA.
- C. COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- D. IN CASES IN WHICH OWNER WILL OCCUPY BUILDING DURING CONSTRUCTION, CONTRACTOR WILL CONDUCT DEMOLITION WITHOUT DISRUPTING OWNER'S USE OF THE BUILDING.
- E. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITIONS, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- F. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
- G. EMPLOY A CERTIFIED, LICENSED EXTERMINATOR TO TREAT BUILDING AND TO CONTROL RODENTS AND VERMIN UPON OWNERS APPROVAL.
- H. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDING AND SITE IMPROVEMENTS.
- I. PROVIDE AND MAINTAIN SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE.
- J. PROTECT BUILT STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
- K. PROTECT REMAINING WALLS, CEILING, FLOORS AND EXPOSED FINISHES. ERECT AND MAINTAIN DUST PROOF PARTITIONS. COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS AND EQUIPMENT.
- L. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
- M. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
- N. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

NOTE: DASHED LINES INDICATE EXISTING STRUCTURES TO BE REMOVED

NOTE:

THE ARCHITECT DOES NOT REPRESENT NOR WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS AS ACTUAL FIELD CONDITIONS MAY VARY; CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK AND SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES UPON SUCH DISCOVERY.



MANGAN GROUP
ARCHITECTS

7034 CARROLL AVE
SUITE 3
TAKOMA PARK, MD 20912
P: 301.589.7900
F: 301.589.7911
WWW.MANGANGROUP.COM

BUILDER:
CHEVEY CHASE CUSTOMS
7400 NEVIS ROAD
BETHESDA, MD 20816

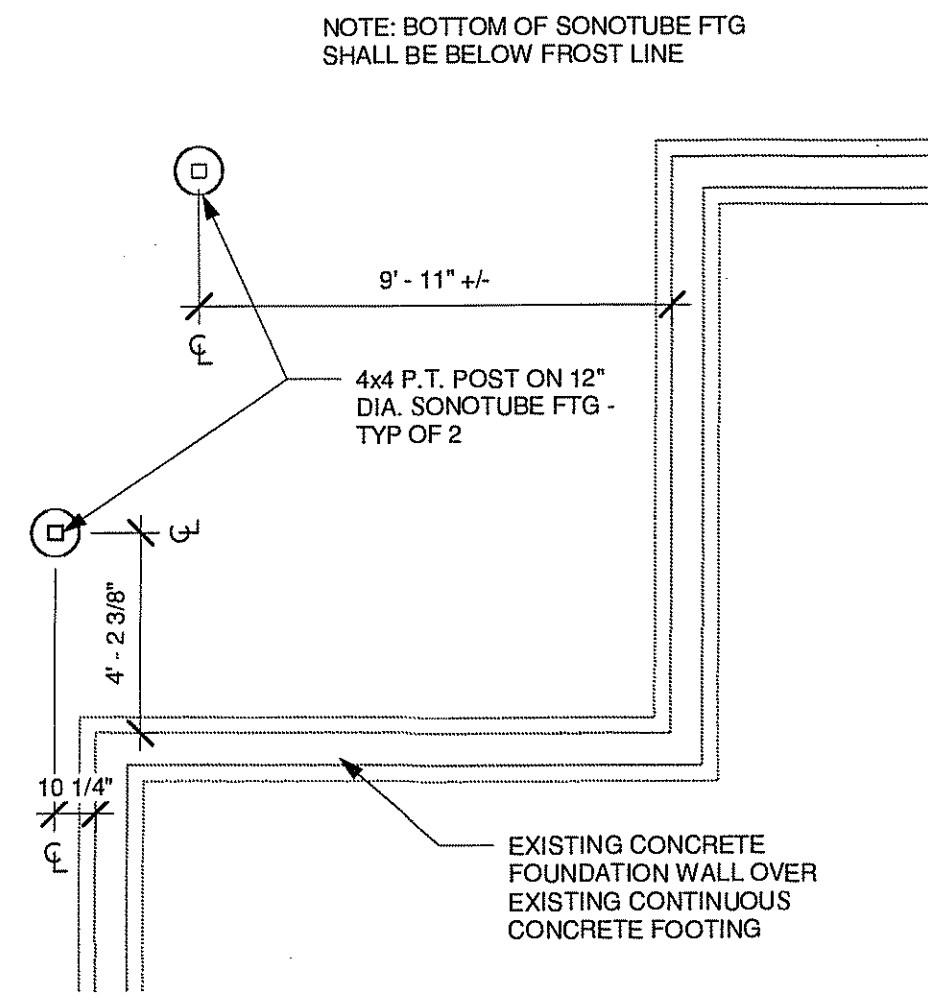
PROJECT:
FOSTER RESIDENCE
1005 LEAFY AVENUE
SILVER SPRING, MD 20910

ISSUE:
PERMIT

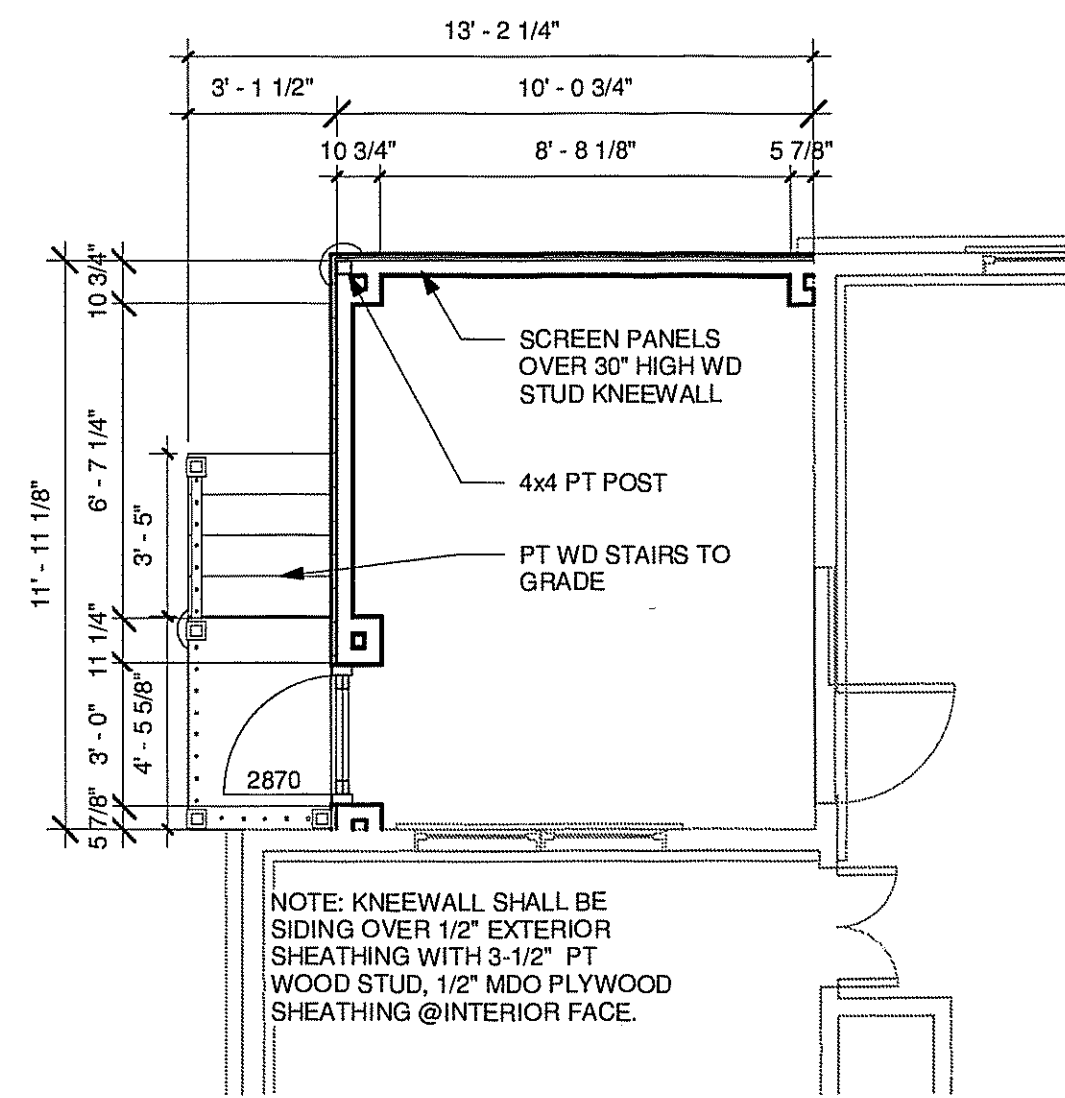
PLOT
DATE: 7/21/2006 12:42:51 PM
Revision Schedule

DRAWING:
EX. PLANS & ELEVATIONS

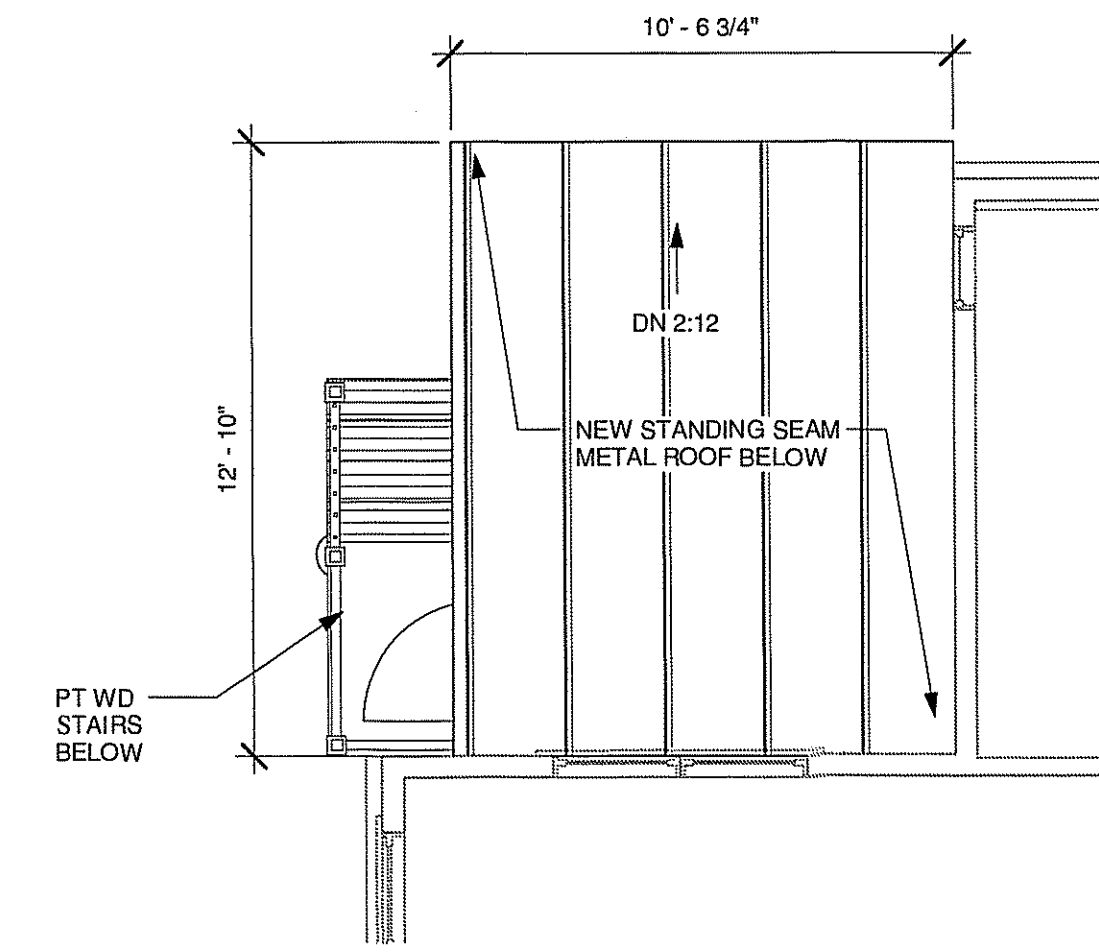
Project #: 05073
Drawn by: HFN Chk by: JJM
DWG:
0.3
Scale: 1/4" = 1'-0"



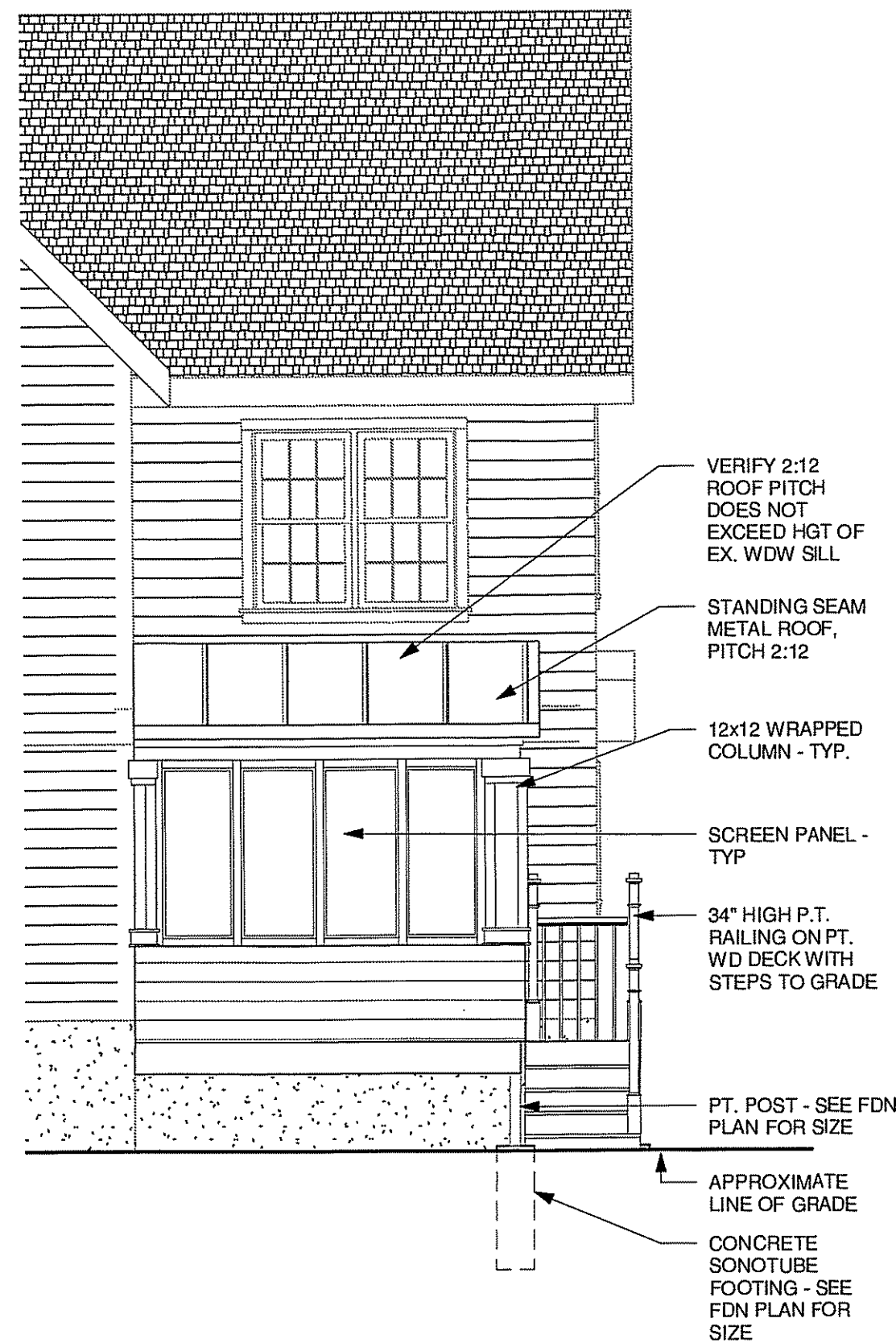
1 PROPOSED PARTIAL FDN PLAN
1.0 1/4" = 1'-0"



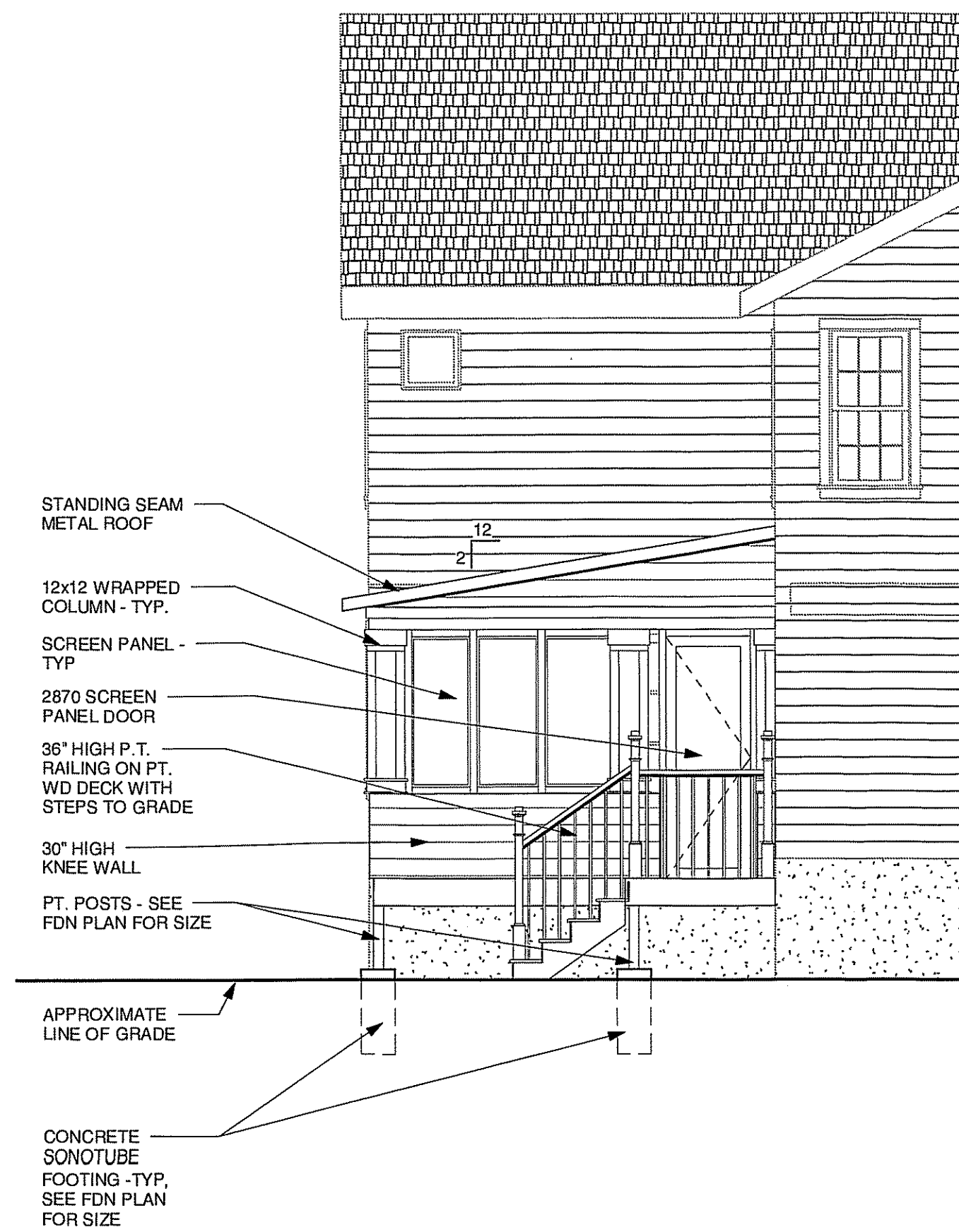
2 PROPOSED FIRST FLOOR PLAN
1.0 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
1.0 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
1.0 1/4" = 1'-0"



5 PROPOSED LEFT ELEVATION
1.0 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

MANGAN GROUP
ARCHITECTS

7034 CARROLL AVE
SUITE 3
TAKOMA PARK, MD 20912
P: 301.589.7900
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7400 NEVIS ROAD
BETHESDA, MD 20816

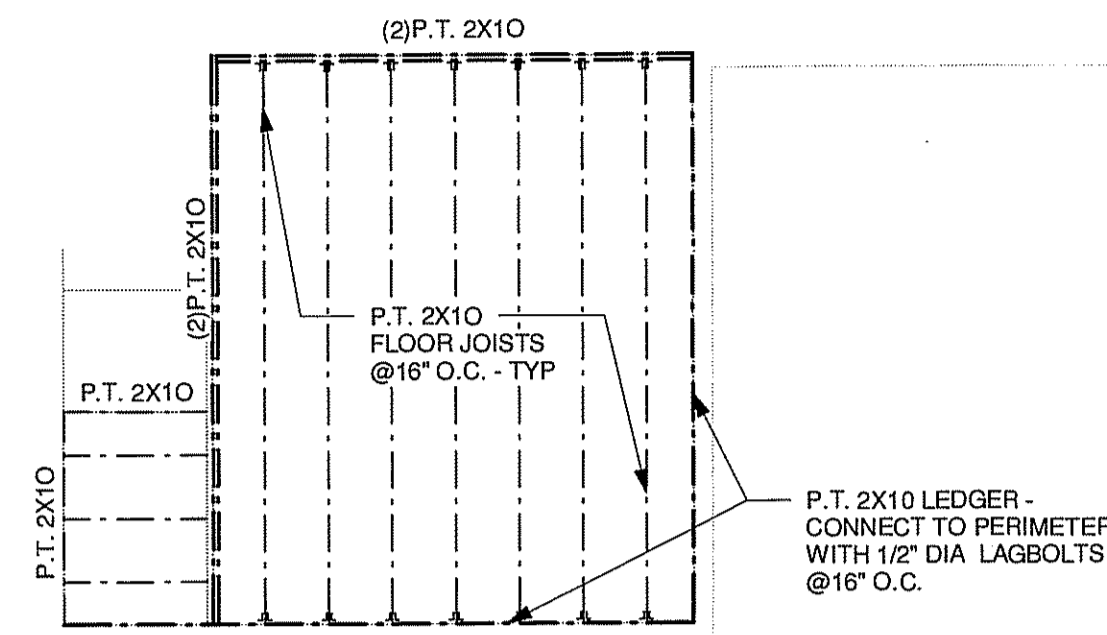
PROJECT:
FOSTER RESIDENCE
10005 LEAFY AVENUE
SILVER SPRING, MD 20910

ISSUE: PERMIT
PLOT DATE: 7/21/2006 12:43:00 PM
Revision Schedule

DRAWING: PLANS AND ELEVATIONS

Project #: 05073
Drawn by: Author Chk by: Checker
DWG: 1.0
Scale: 1/4" = 1'-0"

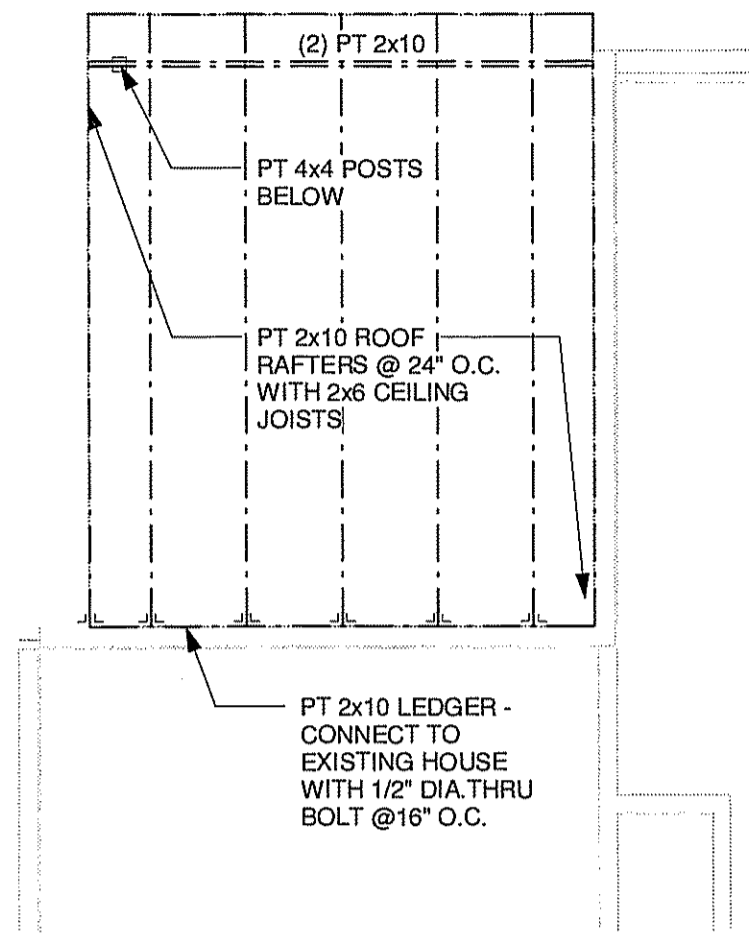
P:\scad\dwg\residential\remodeling\Foster\Foster2.rvt 7/21/2006 12:43:00 PM



1
4.0 **FIRST FLOOR DECK FRAMING**

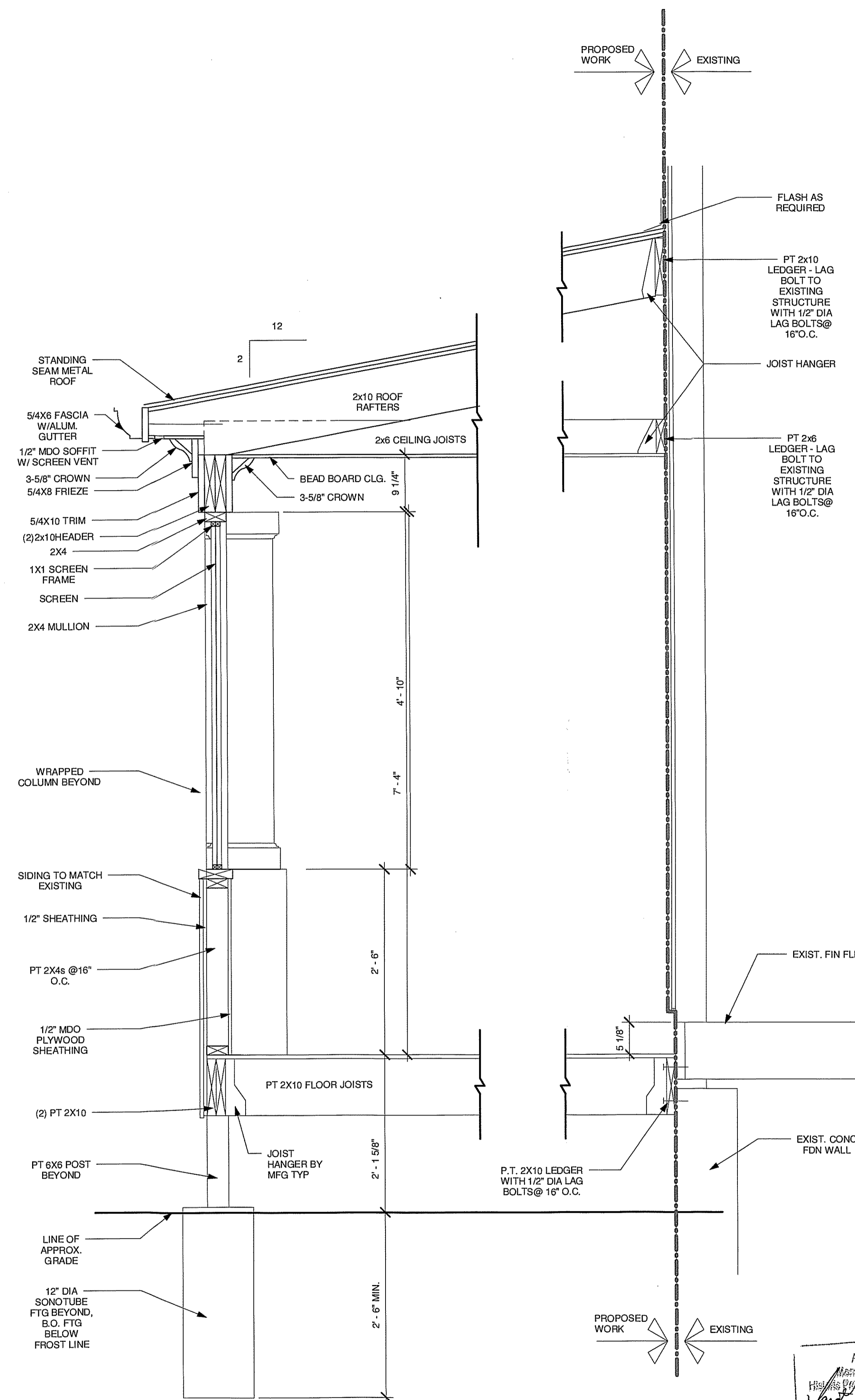
1/4" = 1'-0"

NOTE: SEE SHEET 1.0
FOR PARTIAL
FOUNDATION PLAN



2
4.0 **SECOND FLOOR DECK FRAMING**

1/4" = 1'-0"



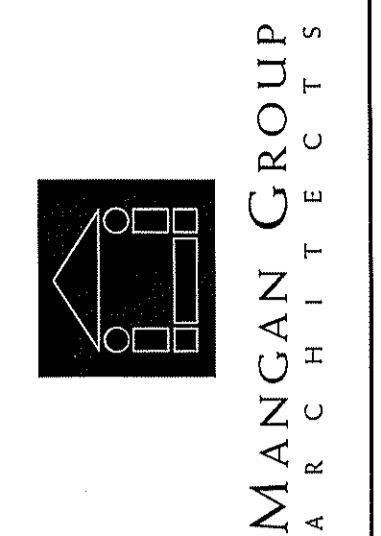
3
4.0 **SECTION**

1" = 1'-0"

APPROVED
Mistymay Coatsky
His/Her Professional Seal
7/25/06

NOTES:

- * ALL POST TO BE 2) 2X4'S UNLESS OTHERWISE NOTED
- ** ALL LEDGERS TO BE 2X12'S P.T. W/ 1/2" DIA. BY 4" LAG BOLT @ 16" O.C. UNLESS OTHERWISE NOTED
- *** VERIFY LENGTHS OF STRUCTURAL MEMBER WITH FIELD CONDITIONS



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BUILDER:
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7400 NEVIS ROAD
BETHESDA, MD 20816

PROJECT:
FOSTER RESIDENCE
10005 LEAFY AVENUE
SILVER SPRING, MD 20910

ISSUE: **PERMIT**
PLOT:
DATE: 7/21/2006 12:43:06 PM
Revision Schedule

DRAWING:
FRAMING PLANS & SECTIONS

Project #: 05073
Drawn by/Author: Chk by: Checker
DWG:
4.0
Scale: As indicated

P:\cad\dwg\residential\remodeling\Foster\Foster2.rvt



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 26, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Tania Tully, Senior Planner ^{TGT}
Historic Preservation Section

SUBJECT: Historic Area Work Permit #382224

Stamped 9/25/06 TGT
DPS already granted bldg. Perm

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions**.

- Should the applicant choose to make the addition a screened porch, the new design will be approved at the staff level.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Stuart T. & Nancy E. Foster

Address: 10005 Leafy Avenue, Silver Spring

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Stuart Foster
Daytime Phone No.: (301) 495 9380

Tax Account No.: 00994747

Name of Property Owner: Stuart T. & Nancy E. Foster Daytime Phone No.: (301) 495 9380

Address: 10005 Leafy Ave. Silver Spring MD 20910
Street Number City Street Zip Code

Contractor: Sandy Gordon Phone No.: (301) 674 5959

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10005 Street: Leafy Ave.
Town/City: Silver Spring Nearest Cross Street: Barker
Lot: 11 Block: 34 Subdivision: 5
Liber: S.A. 5 Folio: 207 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: SIDING

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stuart T. Foster
Signature of owner or authorized agent

5/3/05
Date

Approved: with conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 5/25/05

Application/Permit No.: 382224 Date Filed: _____ Date Issued: _____

Attachment to HAWP Application for Stuart Foster

Written Description of Project:

- a. This project under consideration is a 2-story single family home located on the eastern periphery of the Capitol View Park historic district. The property backs onto two large parcels (outside the historic district boundary) that are the sites of Leafy House and a nursing home. My house is one of 8 built on the former site of a nursery. Leafy Avenue was extended for this development which began in the late 1980's. With a few exceptions, most houses in the surrounding neighborhood are 50-60 years old. Brunswick Avenue, on the other side of Leafy House and also outside the historic district, was developed in the 1990's and there are now about a dozen new houses there. There is no historical significance to the property at 10005 Leafy. It was built in 1992. The only historical aspect to the property is in the general exterior appearance which uses several gables in the roof line to suggest a Victorian design.

- b. This project, if approved, will replace all siding on the structure, will remove an existing wood deck, and replace the deck with a 1-story addition.

The original siding is a Masonite product and it has begun to fail in several places. The failure takes the form of advanced decay from water intrusion. This product failure resulted in a class action suit against the manufacturer and a court-ordered settlement. I would like to replace the siding with a cement-fiber composite product manufactured by the James Hardie Corporation. Their siding is commonly referred to by the name of one item in their product line: HardiPlank. I intend to use their CedarPlank product because it comes in a greater variety of widths. It has a surface texture of rough-sawn wood and is virtually indistinguishable from the surface texture of the Masonite siding. The project will necessarily include some repairs to windows and possibly replacement. While the repair/replace decision hasn't been made for each window yet, I will ensure that the appearance of the existing windows is preserved in any replacements. There is no significant architectural feature other than the 5/4 by 4 inch trim that surrounds them.

During the siding renovation I would like to take the opportunity to replace the existing deck – which we have never liked – with a 1-story addition to sit in the same footprint as the deck. You'll notice on the plat that the northeast corner of the foundation has a 12-foot by 12-foot "notch". That's the present deck location. While the deck itself (without the steps) is only 8ft by 12ft, I intend to have the room addition fill the entire 12-foot square notch.

I believe the proposed changes – siding (with window repair) and the addition on the rear of the house will make no objectionable changes to the existing design or

appearance of the house. The siding cannot be distinguished from actual rough-sawn lumber at a distance of more than a few feet. While the Hardiplank is far superior in terms of maintenance and durability, it's surface texture is nearly identical to the existing Masonite siding. The proposed addition is almost invisible from the street. The only noticeable effects will be that the existing side wall is extended further toward the rear on the bottom floor. The addition will not project beyond the existing north wall of the house.

Material Specifications

I don't have specific information about the exact construction materials other than the following. It will be supported on a concrete footer and foundation wall with a crawl space below. The framing will be conventional kiln-dried 2x4 lumber. The siding and windows will match that on the rest of the house. The roof shingles will also match the existing house.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Stuart Foster
Daytime Phone No.: (301) 495 9380

Tax Account No.: 00994747

Name of Property Owner: Stuart T & Nancy E. Foster Daytime Phone No.: (301) 495 9380

Address: 1005 Leafy Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: Sandy Gordon Phone No.: (301) 674 5959

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10005 Street: Leafy Ave.

Town/City: Silver Spring Nearest Cross Street: Backer

Lot: 11 Block: 34 Subdivision: 5

Liber: J.A. 5 Folio: 207 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|--|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>SIDING</u> | | | | |

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stuart T. Foster
Signature of owner or authorized agent

5/3/05
Date

Approved: With conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 5/25/05

Application/Permit No.: 382224 Date Filed: _____ Date Issued: _____



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 26, 2005

MEMORANDUM

TO: Stuart T. & Nancy E. Foster
10005 Leafy Avenue, Silver Spring

FROM: Tania Tully, Senior Planner ^{TT}
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application #382224

Your Historic Area Work Permit application for rear addition was **Approved with Conditions** by the Historic Preservation Commission at its May 25, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10005 Leafy Avenue, Silver Spring	Meeting Date:	5/25/2005
Applicant:	Stuart T. & Nancy E. Foster	Report Date:	5/18/2005
Resource:	Non Contributing Resource Capitol View Park Historic District	Public Notice:	5/11/2005
Review:	HAWP	Tax Credit:	Partial
Case Number:	31/07-05C	Staff:	Tania Tully
PROPOSAL:	Rear addition	RECOMMENDATION:	Approval with Condition

STAFF RECOMMENDATION:

Staff is recommending approval with the following condition:

- Should the applicant choose to make the addition a screened porch, the new design will be approved at the staff level.

SITE DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource
STYLE: Neo-Victorian Farmhouse
DATE: 1992

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

PROPOSAL:

- Replace Masonite Siding with Hardi-Plank (*tax credit eligible*)
- Window repair/replacement (*potentially tax credit eligible*)
- Remove existing rear deck
- Add 1-story 12'x12' rear addition

STAFF DISCUSSION

As a non-contributing resource, the changes to 10005 Leafy Avenue are reviewed for any effects to the context and setting of the Historic District. With this in mind, staff believes that the proposed Hardi siding is an appropriate replacement for the failing Masonite. Additionally, window repair and replacement in-kind as needed is also allowable. Removal of the existing deck also poses no concern to staff.

As seen in the drawings on Circles 8-11, the proposed addition is appropriate in scale and massing to the house and will not diminish the historic district. Due to the relative closeness of the adjacent property and its location in the rear, the addition will have limited visibility. This is best illustrated on Circle 13.

After speaking with the applicant on May 16, 2005- staff was made aware of a potential change in the proposed addition. Rather than a fully sided addition as shown in circles 8-11, the applicant would like the flexibility to make the addition a screened porch. The footprint and height would be the same. Staff believes that this can be approved with the recommendation on Circle 1.

All of the proposed work items are consistent with applicable Guidelines and Standards and should be approved.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and provided the conditions listed on Circle 1 are met;

and with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable). After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Stuart Foster
Daytime Phone No.: (301) 495 9380

Tax Account No.: 00994747

Name of Property Owner: Stuart T & Nancy E. Foster Daytime Phone No.: (301) 495 9380

Address: 1005 Leafy Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: Sandy Gordon Phone No.: (301) 674 5959

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 1005 Street: Leafy Ave.
Town/City: Silver Spring Nearest Cross Street: Barker
Lot: 11 Block: 34 Subdivision: 5
Liber: J.A. 5 Folio: 207 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: SIDING
1B. Construction cost estimate: \$ TBD
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stuart T. Foster
Signature of owner or authorized agent

5/3/05
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 382224 Date Filed: _____ Date Issued: _____

Attachment to HAWP Application for Stuart Foster

Written Description of Project:

- a. This project under consideration is a 2-story single family home located on the eastern periphery of the Capitol View Park historic district. The property backs onto two large parcels (outside the historic district boundary) that are the sites of Leafy House and a nursing home. My house is one of 8 built on the former site of a nursery. Leafy Avenue was extended for this development which began in the late 1980's. With a few exceptions, most houses in the surrounding neighborhood are 50-60 years old. Brunswick Avenue, on the other side of Leafy House and also outside the historic district, was developed in the 1990's and there are now about a dozen new houses there. There is no historical significance to the property at 10005 Leafy. It was built in 1992. The only historical aspect to the property is in the general exterior appearance which uses several gables in the roof line to suggest a Victorian design.

- b. This project, if approved, will replace all siding on the structure, will remove an existing wood deck, and replace the deck with a 1-story addition.

The original siding is a Masonite product and it has begun to fail in several places. The failure takes the form of advanced decay from water intrusion. This product failure resulted in a class action suit against the manufacturer and a court-ordered settlement. I would like to replace the siding with a cement-fiber composite product manufactured by the James Hardie Corporation. Their siding is commonly referred to by the name of one item in their product line: HardiPlank. I intend to use their CedarPlank product because it comes in a greater variety of widths. It has a surface texture of rough-sawn wood and is virtually indistinguishable from the surface texture of the Masonite siding. The project will necessarily include some repairs to windows and possibly replacement. While the repair/replace decision hasn't been made for each window yet, I will ensure that the appearance of the existing windows is preserved in any replacements. There is no significant architectural feature other than the 5/4 by 4 inch trim that surrounds them.

During the siding renovation I would like to take the opportunity to replace the existing deck – which we have never liked – with a 1-story addition to sit in the same footprint as the deck. You'll notice on the plat that the northeast corner of the foundation has a 12-foot by 12-foot "notch". That's the present deck location. While the deck itself (without the steps) is only 8ft by 12ft, I intend to have the room addition fill the entire 12-foot square notch.

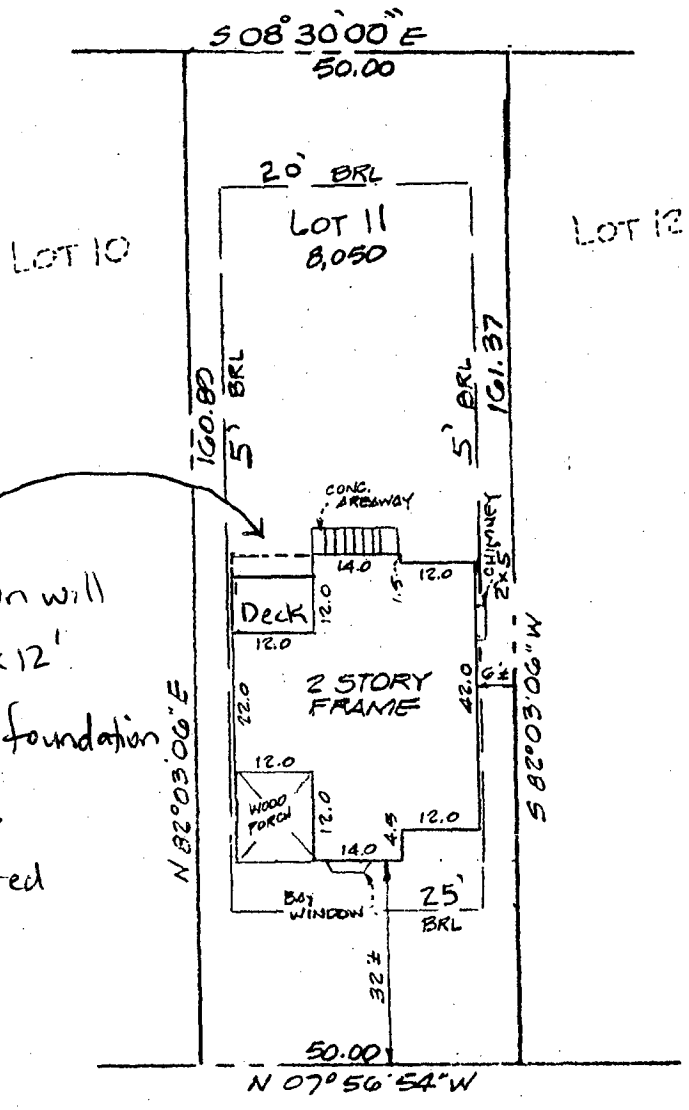
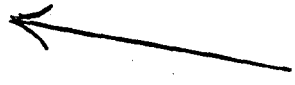
I believe the proposed changes – siding (with window repair) and the addition on the rear of the house will make no objectionable changes to the existing design or

appearance of the house. The siding cannot be distinguished from actual rough-sawn lumber at a distance of more than a few feet. While the Hardiplank is far superior in terms of maintenance and durability, it's surface texture is nearly identical to the existing Masonite siding. The proposed addition is almost invisible from the street. The only noticeable effects will be that the existing side wall is extended further toward the rear on the bottom floor. The addition will not project beyond the existing north wall of the house.

Material Specifications

I don't have specific information about the exact construction materials other than the following. It will be supported on a concrete footer and foundation wall with a crawl space below. The framing will be conventional kiln-dried 2x4 lumber. The siding and windows will match that on the rest of the house. The roof shingles will also match the existing house.

Block



Proposed addition will sit in this 12' x 12' "Notch" in the foundation where the deck is presently located

WARNER AVE.
(LEAFY AVE.)
40' R/W



THIS PROPERTY FALLS WITHIN ZONE "C" AREA OF MINIMUM FLOODING ACCORDING TO MONTGOMERY CO. MARYLAND, WATER RESOURCE DEPT.

I HEREBY CERTIFY THAT I HAVE CAREFULLY EXAMINED THE PROPERTY SHOWN HEREON IN ACCORDANCE WITH THE RECORD DESCRIPTION; THAT ALL OF THE EXISTING STRUCTURES AND IMPROVEMENTS HAVE BEEN LOCATED BY TRANSIT-TAPE SURVEY; AND UNLESS SHOWN HEREON, THERE ARE NO VISIBLE ENCROACHMENTS. THIS SURVEY IS FOR TITLE PURPOSES ONLY AND IS NOT TO BE USED FOR PLACING OF FENCING OR THE DETERMINATION OF PROPERTY LINES.

FINAL 3-29-93
WALL CHECK 2-24-93

Charles F. Young 3-30-93
CHARLES F. YOUNG
PROFESSIONAL LAND SURVEYOR
MD. REG. NO. 10932
DATE

HOUSE LOCATION SURVEY
LOT 11 BLOCK 34
CAPITAL VIEW PARK
MONTGOMERY Co. MD.
SCALE 1"=30' FEB, 1993

7



10005 Leafy Avenue
North Side Elevation (current) with wood deck in 12X12 notch in foundation at northeast corner
Scale 1:62.5

8



10005 Leafy Avenue

North Side Elevation (proposed) with sunroom addition built into 12X12 notch in foundation at northeast corner

Scale 1:62.5



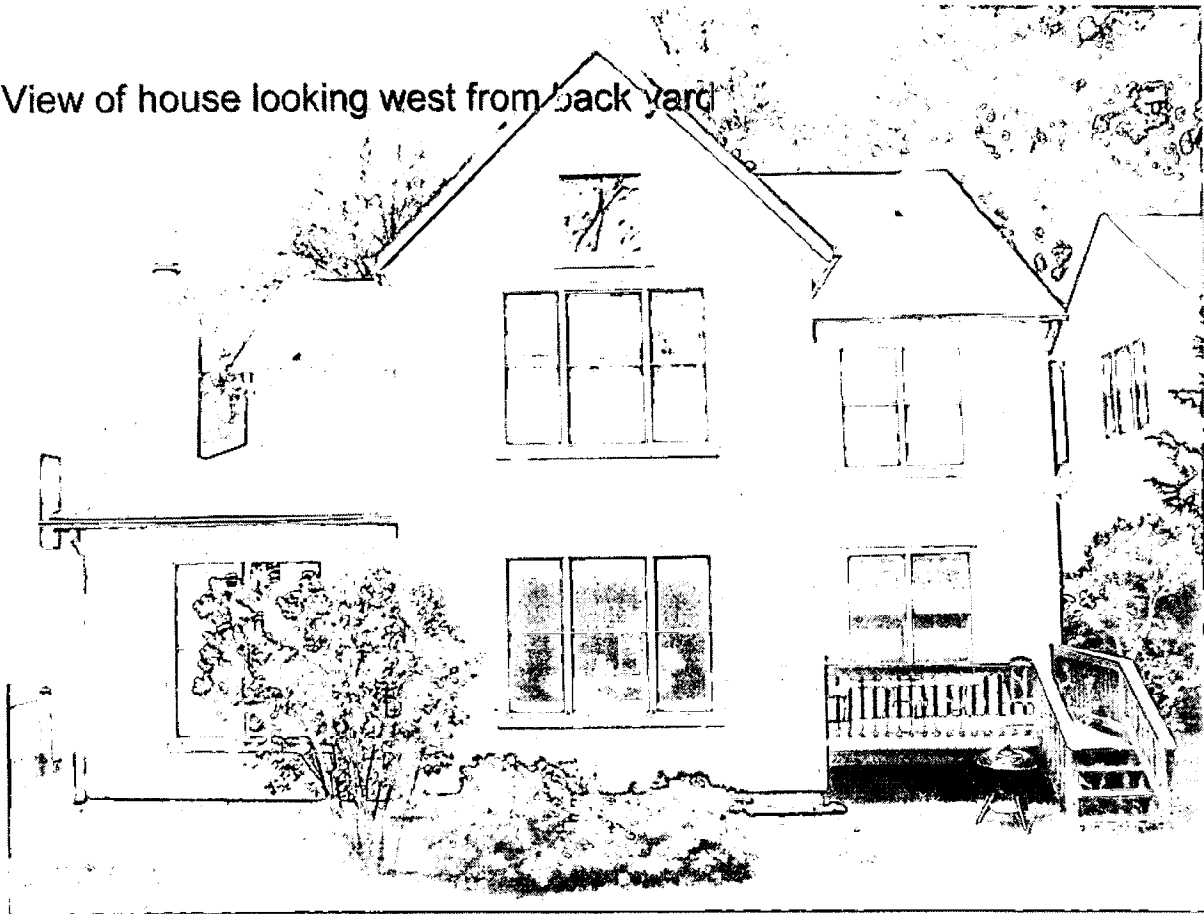


10005 Leafy Avenue
East Side Elevation (current) with wood deck in 12X12 notch in foundation at northeast corner
Scale 1:62.5

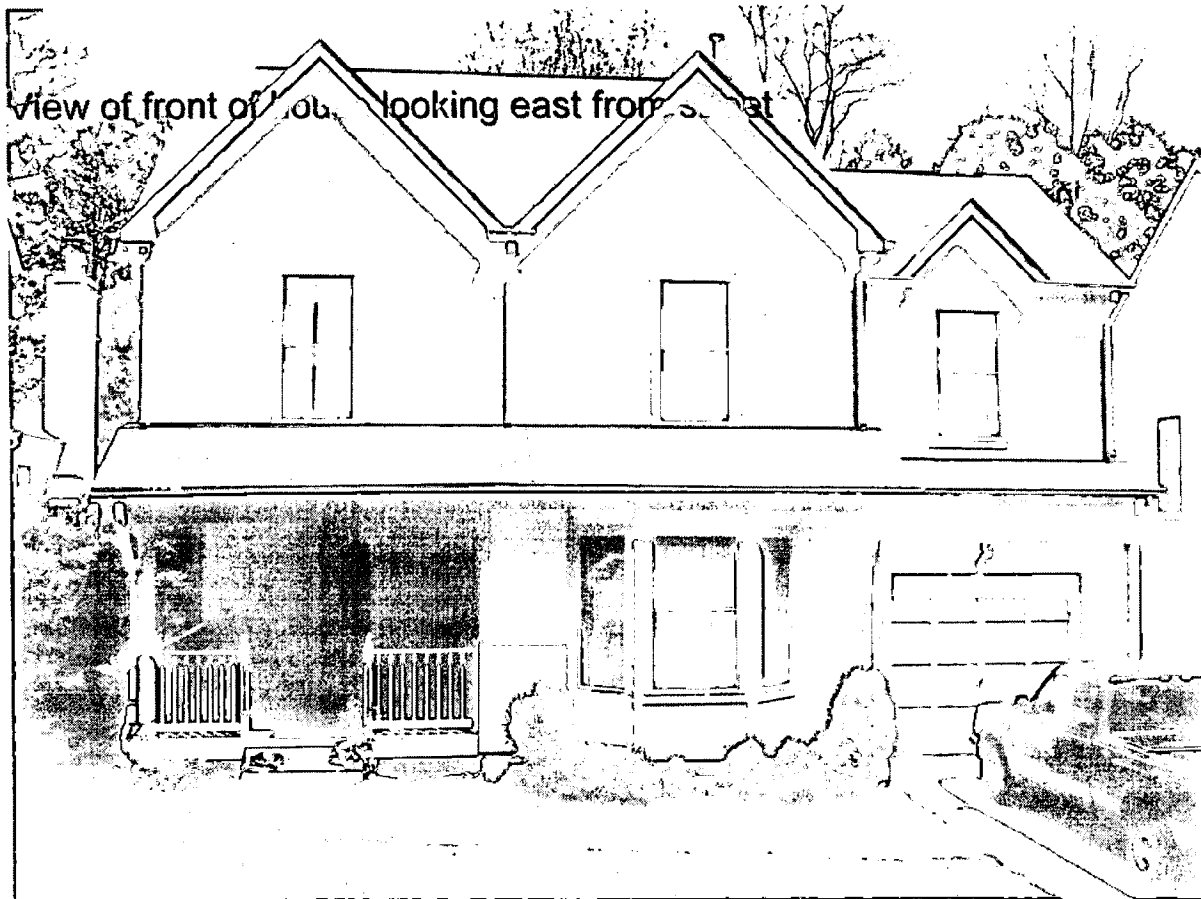


10005 Leafy Avenue
East Side Elevation (proposed) with sunroom addition in place of deck at 12x12 notch in foundation at northeast corner
Scale 1:62.5

View of house looking west from back yard

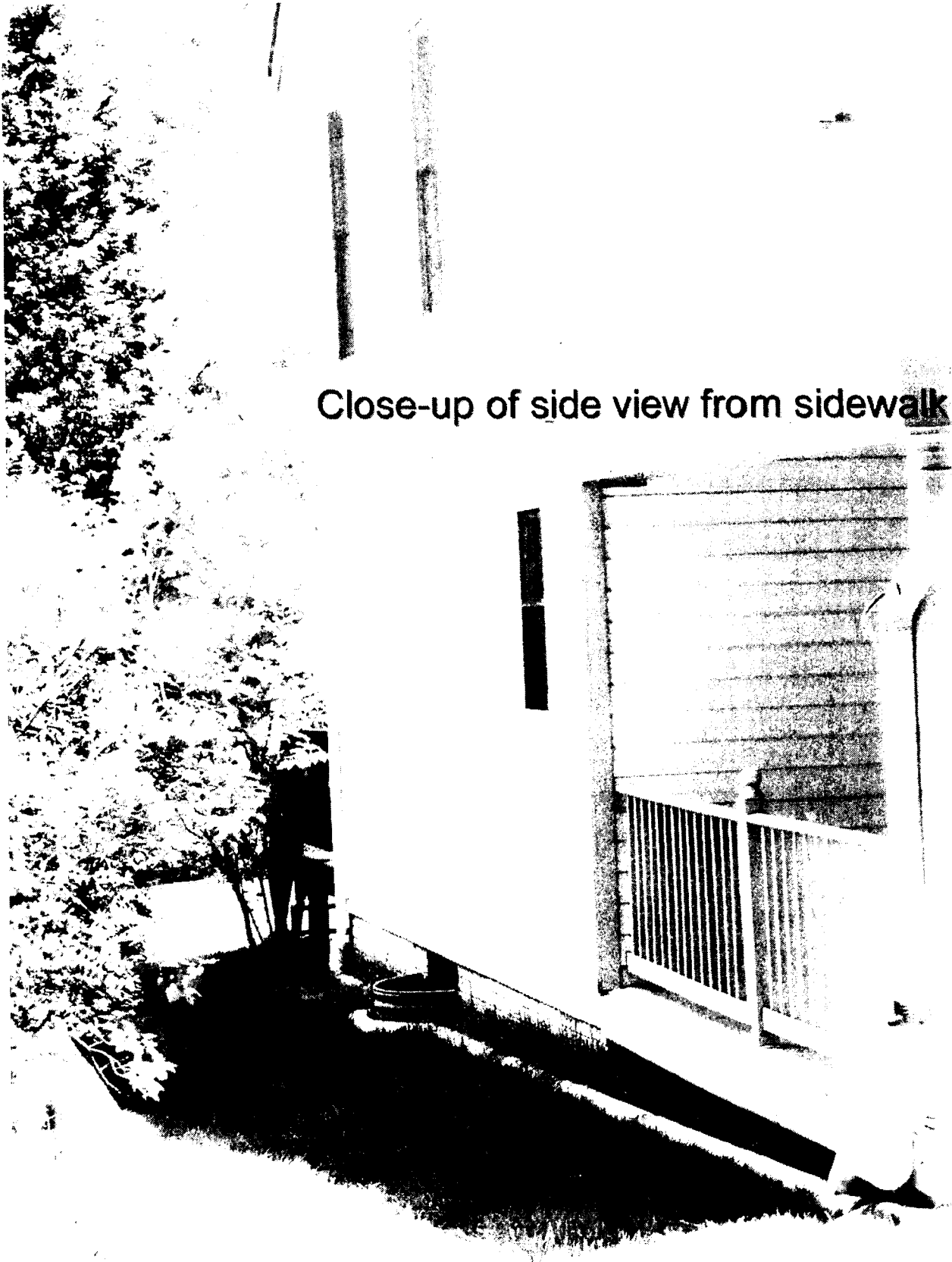


View of front of house looking east from street





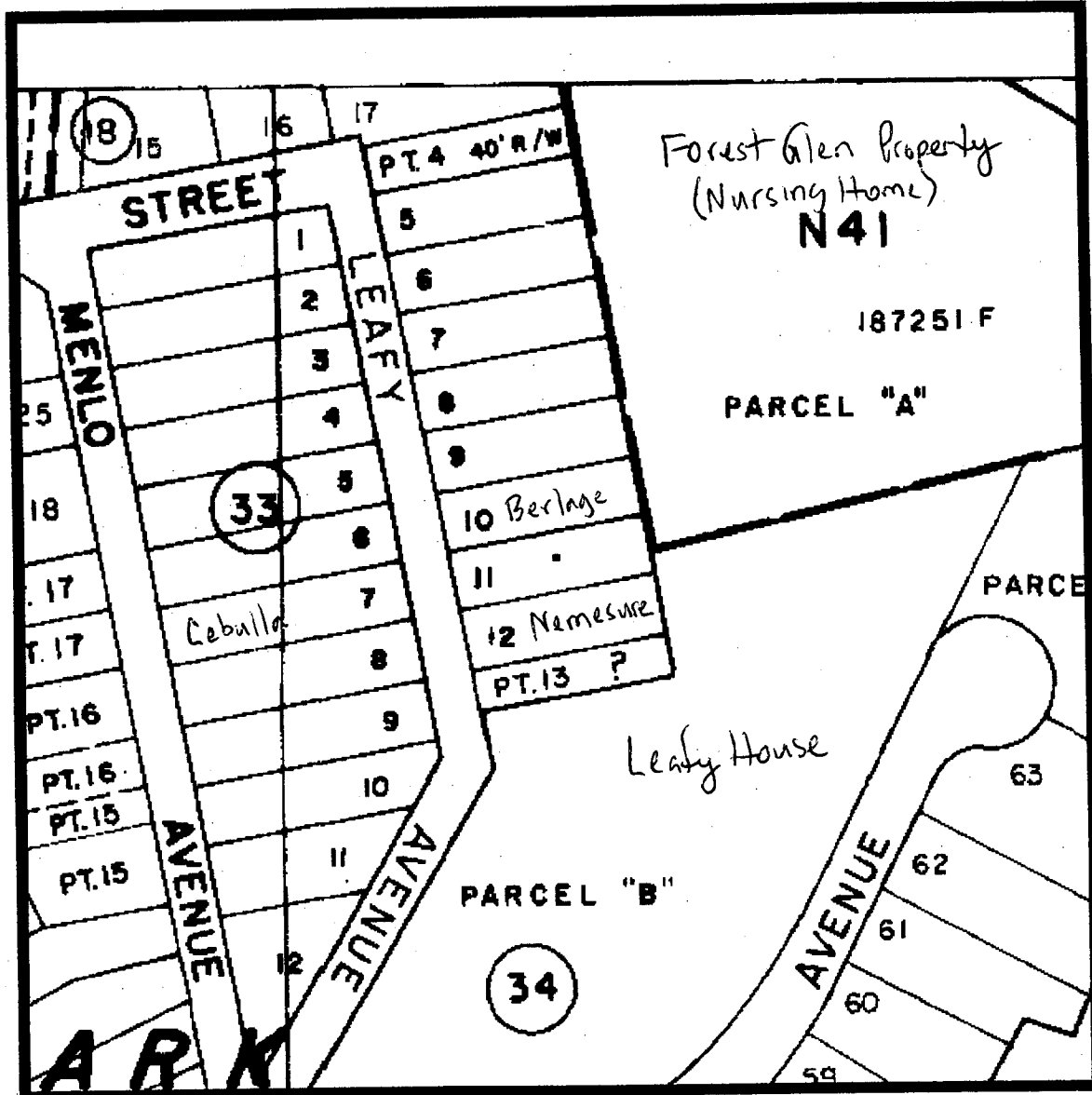
**View looking east from sidewalk between
10007 (on left) and 10005.
Proposed change will extend side wall
back 12 feet on first floor.**



Close-up of side view from sidewalk

	Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search
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District - 13 Account Number - 00994747



Property maps provided courtesy of the Maryland Department of Planning ©2004.
 For more information on electronic mapping applications, visit the Maryland Department of Planning
 web site at www.mdp.state.md.us/webcom/index.html

Note: Houses on Menlo (Block 33) front on Menlo.
 There are no Block 33 houses that front on Leary.

(15)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Stuart T. Foster 10005 Leafy Avenue Silver Spring MD 20910	
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Historic Preservation Commission
May 25, 2005

The Historic Review Committee of the Capitol View Park Citizens Association has reviewed proposals for a rear addition at 10005 Leafy avenue (HPC Case No 31/07/05C) and fence installation at 10043 Pratt Place (HPC case no 31/07-05D).

Both proposals are for non-contributing resources and will primarily be concealed by vegetation and in the case of the rear addition not visible from the street. Thus the Committee recommends accepting these proposals.

Sincerely,

Carol Ireland, Co-chair
Duncan Tebow, Co-chair
Historic review Committee

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See Attached

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See Attached

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777 6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Stuart Foster

Daytime Phone No.: (301) 495 9380

Tax Account No.: 00994747

Name of Property Owner: Stuart T & Nancy E. Foster Daytime Phone No.: (301) 495 9380

Address: 10005 Leafy Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: Sandy Gordon Phone No.: (301) 674 5959

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10005 Street: Leafy Ave.

Town/City: Silver Spring Nearest Cross Street: Barker

Lot: 11 Block: 34 Subdivision: 5

Liber: S.A. 5 Folio: 207 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: SIDING

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stuart T. Foster

Signature of owner or authorized agent

5/3/05

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 382224 Date Filed: _____ Date Issued: _____

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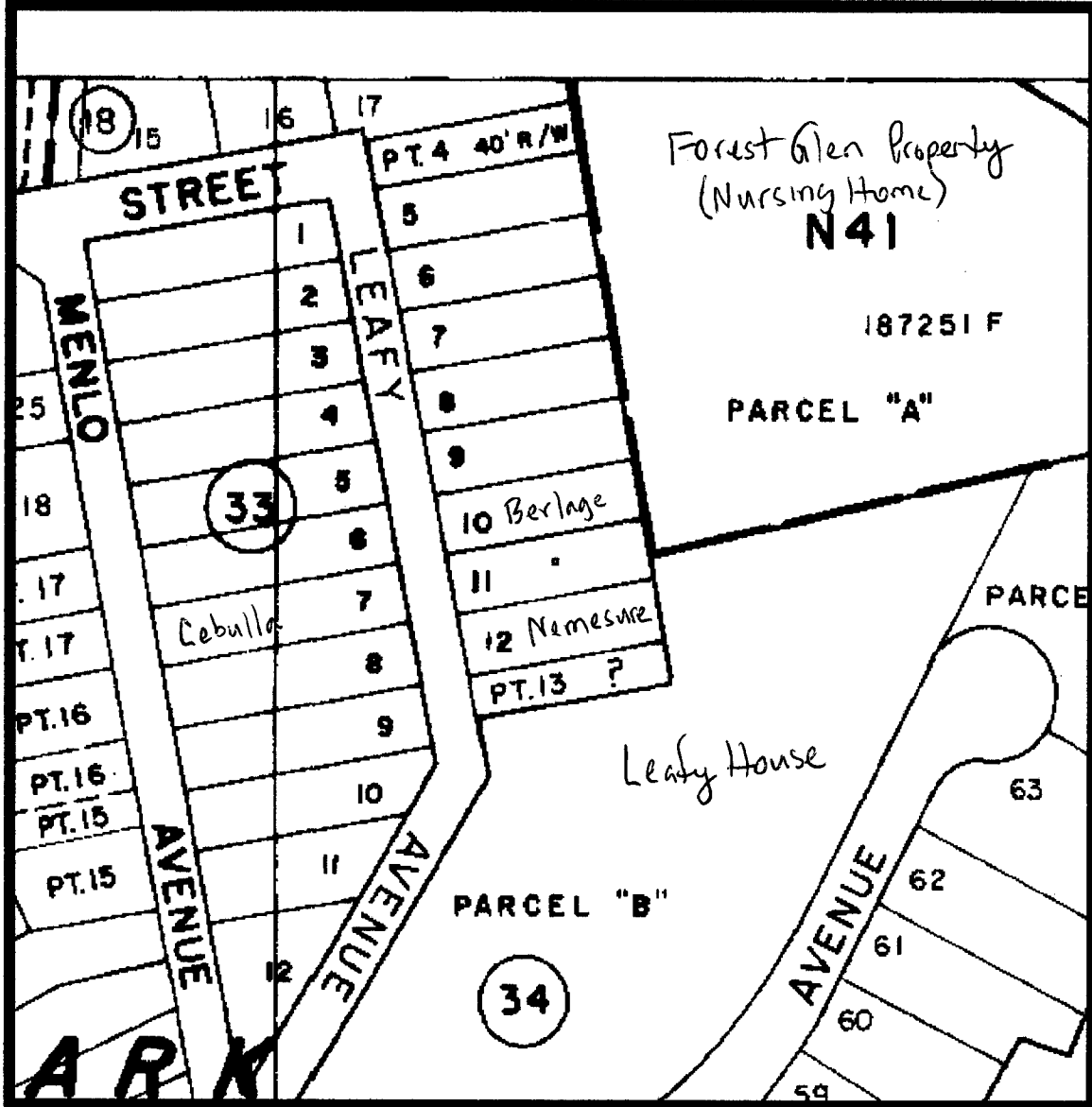
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Maryland Department of Assessments and Taxation
MONTGOMERY COUNTY
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District - 13 Account Number - 00994747



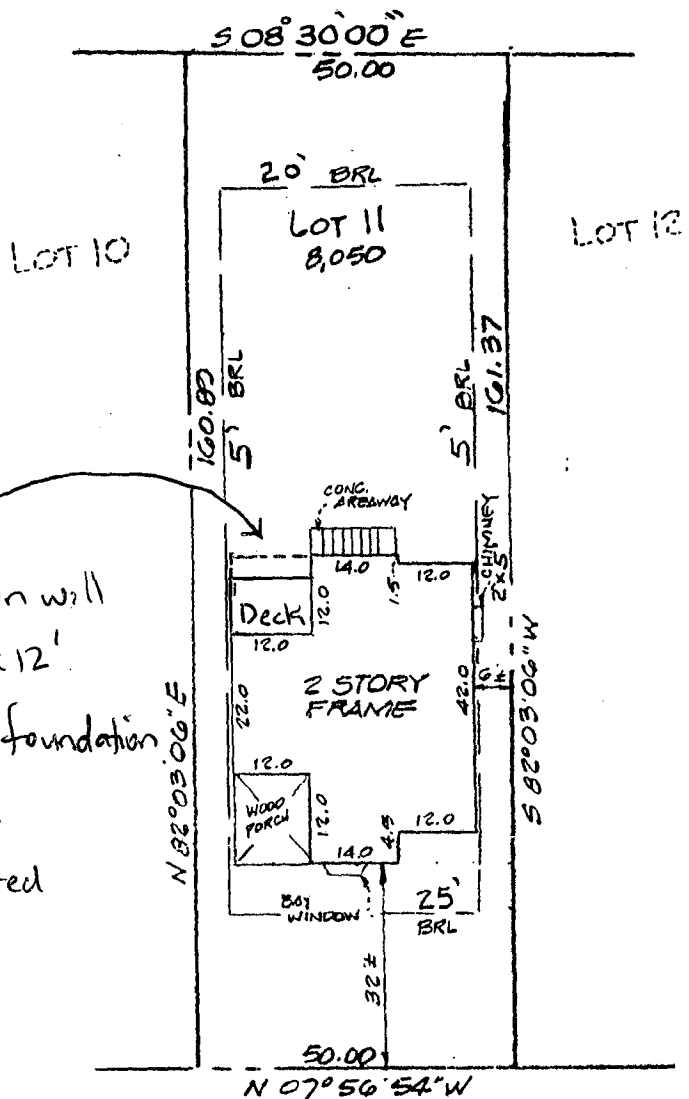
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Forest Glen Property LLC et al c/o Managed Care 3553 W. Peterson Ave., FL 3 Chicago IL 60659-3200	

North



Proposed addition will sit in this 12' x 12' "notch" in the foundation where the deck is presently located

WARNER AVE.
(LEAFY AVE.)
40' R/W

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FINAL 3-20-93
WALL CHECK 2-24-93

Charles F. Young 3-30-93
CHARLES F. YOUNG DATE
PROFESSIONAL LAND SURVEYOR
MD. REG. NO. 10932

HOUSE LOCATION SURVEY
LOT 11 BLOCK 34
CAPITAL VIEW PARK
MONTGOMERY CO. MD.
SCALE 1"=30' FEB., 1993



10005 Leafy Avenue

East Side Elevation (current) with wood deck in 12X12 notch in foundation at northeast corner

Scale 1:62.5



10005 Leafy Avenue
North Side Elevation (current) with wood deck in 12X12 notch in foundation at northeast corner
Scale 1:62.5



10005 Leafy Avenue
East Side Elevation (proposed) with sunroom addition in place of deck at 12x12 notch in foundation at northeast corner
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10005 Leafy Avenue

North Side Elevation (proposed) with sunroom addition built into 12X12 notch in foundation at northeast corner

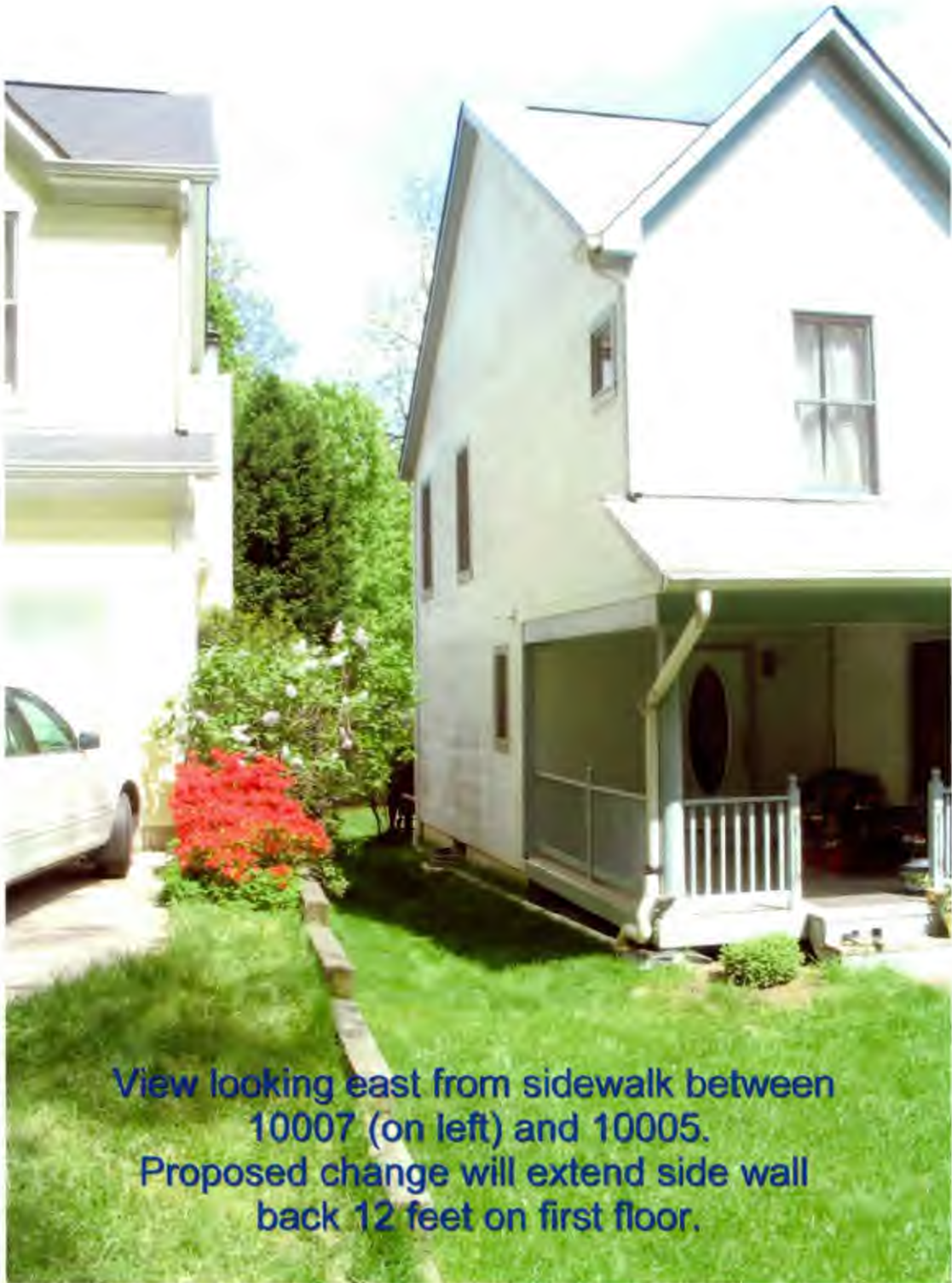
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View of house looking west from back yard



View of front of house looking east from street





View looking east from sidewalk between
10007 (on left) and 10005.
Proposed change will extend side wall
back 12 feet on first floor.



Close-up of side view from sidewalk