



¹⁰⁰⁰¹
31/07-05E ~~1004~~ Menlo Ave

¹⁰⁰⁰¹
31/07-05E REVISION ~~1004~~ Menlo
Chevy Chase Historic District

RESIDENCE REMODELING

10001 MENLO AVENUE
SILVER SPRING, MARYLAND 20910
CAPITOL VIEW PARK

LOT 12 - BLOCK 33

MONTGOMERY COUNTY

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 19021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20879
 Tel: (301) 948-3197 / Fax: (301) 990-4169

GENERAL NOTES

- EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R310 OF THE 2003 IRC. MAX. SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2003 INTERNATIONAL RESIDENTIAL CODE (IRC)
- MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAX. TREAD 10" FOR ALL STAIRWAYS. HANDRAIL PROJECTION 3 1/2" MAXIMUM PER 2003 IRC
- ROOF SHINGLES TO BE INSTALLED PER 2003 IRC
- FIRESTOPPING SHALL BE PROVIDED PER 2003 IRC
- ROOF VENTING SHALL BE INSTALLED PER 2003 IRC
- GUARDRAIL HEIGHTS TO BE 36" MIN. ACCORDING WITH 2003 IRC
- PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2003 IRC
- ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS IN CONFORMANCE WITH SECTION R308 OF THE 2003 IRC
- ALL FIREPLACES TO BE U.L. RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2003 IRC
- ALL FOOTINGS TO EXTENDED AT LEAST 24 INCHES BELOW FINISH GRADE PER 2003 IRC
- ALL FRAME BEARING WALLS TO CONFORM WITH 2003 IRC
- PROVIDE WALL BRACING IN ACCORDANCE WITH 2003 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4'x8' SHEATHING PANELS APPLIED VERTICALLY.
- PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2003 IRC
- ALL TRUSSES, BRIDGING, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND 2003 IRC
- PLYWOOD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2003 IRC
- PROVIDE FLASHING AS REQUIRED PER 2003 IRC
- PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELING UNIT, AND IN ALL BEDROOMS. THE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNITS. PER 2003 IRC
- SKYLIGHTS: SKYLIGHTS MAY BE GLAZED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2003 IRC. LAMINATED GLASS W/ WIRE MESH, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TEMPERED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION, AND COMMUNICATE TO THE ARCHITECT ANY DISCREPANCIES WITH THESE DRAWINGS.

CODE ANALYSIS

CODE: 2003 INTERNATIONAL RESIDENTIAL CODE (IRC)

EXISTING BUILDING	EXISTING BUILDING	PROPOSED ALTERATIONS
USE GROUP/MIXED USE	R3	R3
TYPE OF CONSTRUCTION	5B	5B
HEIGHT/NO. OF STORIES	16' HIGH 1 1/2 STORY	16' HIGH 2 STORY
HOUSE TYPE	2 LEVEL	2 LEVEL
COVERED MALL (Y/N)	NO	NO
FULLY SPRINKLERED (Y/N)	NO	NO
FLOOR AREA OF TENANT SPACE OR AREA OF RENOVATION		
FINISH BASEMENT	426 SQ.FT.	426 SQ.FT.
LEVEL ONE	798 SQ.FT.	798 SQ.FT.
LEVEL TWO	390 SQ.FT.	561 SQ.FT.
TOTALS	1,188 SQ.FT.	1,359 SQ.FT.
TOTALS (INCLUDING FIN. BASEMENT)	1,614 SQ.FT.	1,920 SQ.FT.

STRUCTURAL NOTES

SOIL BEARING AND WATER CONDITION: ASSUMED SOIL BEARING CAPACITY OF 2000 PSF (MIN.) WITH NO WATER CONDITION ANTICIPATED.

LIVE LOADS:	ROOF	30 PSF	15 PSF	DEAD LOAD
	FLOOR	40 PSF	15 PSF	
	STAIRWAY	100 PSF	15 PSF	
	BALCONIES	60 PSF	15 PSF	
	FLOOR AT BEDROOM LEV.	30 PSF	15 PSF	
	WIND LOAD	17 PSF		

BACKFILL: SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY, WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LATERAL LOADS ON FOUNDATION WALLS: WALLS BUILT TO RETAIN OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER SUPERIMPOSED LOADS HAVE BEEN DESIGNED ASSUMING PRESSURE EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 30 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT INTO UNDISTURBED EXISTING NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANT'S RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:
 F_c = 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND FILL IN CONCRETE BLOCKS.
 F_c = 3,000 PSI FOR EXTERIOR SLABS ON GRADE.
 F_c = 4,000 PSI FOR PRECAST CONCRETE UNITS.

SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 6" THICK, REINFORCED WITH #6, #10/10 WELDED WIRE MESH, LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE LAID ON A LAYER OF 4" MIL POLYETHYLENE OVER A 4" LAYER OF WASHED GRAVEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE, AIR-ENTRAINED CEMENT WITH ENTRAINED AIR OF 4% OF EQUIVALENT TO ASTM SPECIFICATIONS A615-40. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A614-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE DETAILED, FABRICATED & INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL A.C.I. 315.

REINFORCING STEEL: REINFORCING STEEL OR TIES, UNLESS OTHERWISE NOTED, SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPECIFICATIONS A615-40. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A614-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE DETAILED, FABRICATED & INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL A.C.I. 315.

STRUCTURAL STEEL: SHALL BE IN CONCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE "DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR STEEL BEAMS BEARING ON MASONRY OR CONCRETE. ALL WELDING TO CONFORM TO ASTM SPECIFICATIONS A-36. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

TRUSSED RAFTERS: WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS, INCLUDING BEARING DETAILS, SHALL BE SUBMITTED FOR APPROVAL. WOOD TRUSSED RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 16 GA. TOOTHED METAL PLATED OR 20 GA. NAILED STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 50 PSI WITH F.N.A. 64541.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.

WOOD PLATES RECEIVING TRUSSED RAFTERS ON MASONRY WALLS TO BE BOLTED TO WALL WITH 5/8" O BOLTS 18" MINIMUM LENGTH 4'-0" o.c.

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN USED AT 19% MAX. MO. 2 OR BETTER WITH THE FOLLOWING DESIGN VALUES:
 F_b = 1,150 PSI (SINGLE MEMBER)
 F_v = 75 PSI
 F_c = 825 PSI
 E = 1,400,000 PSI

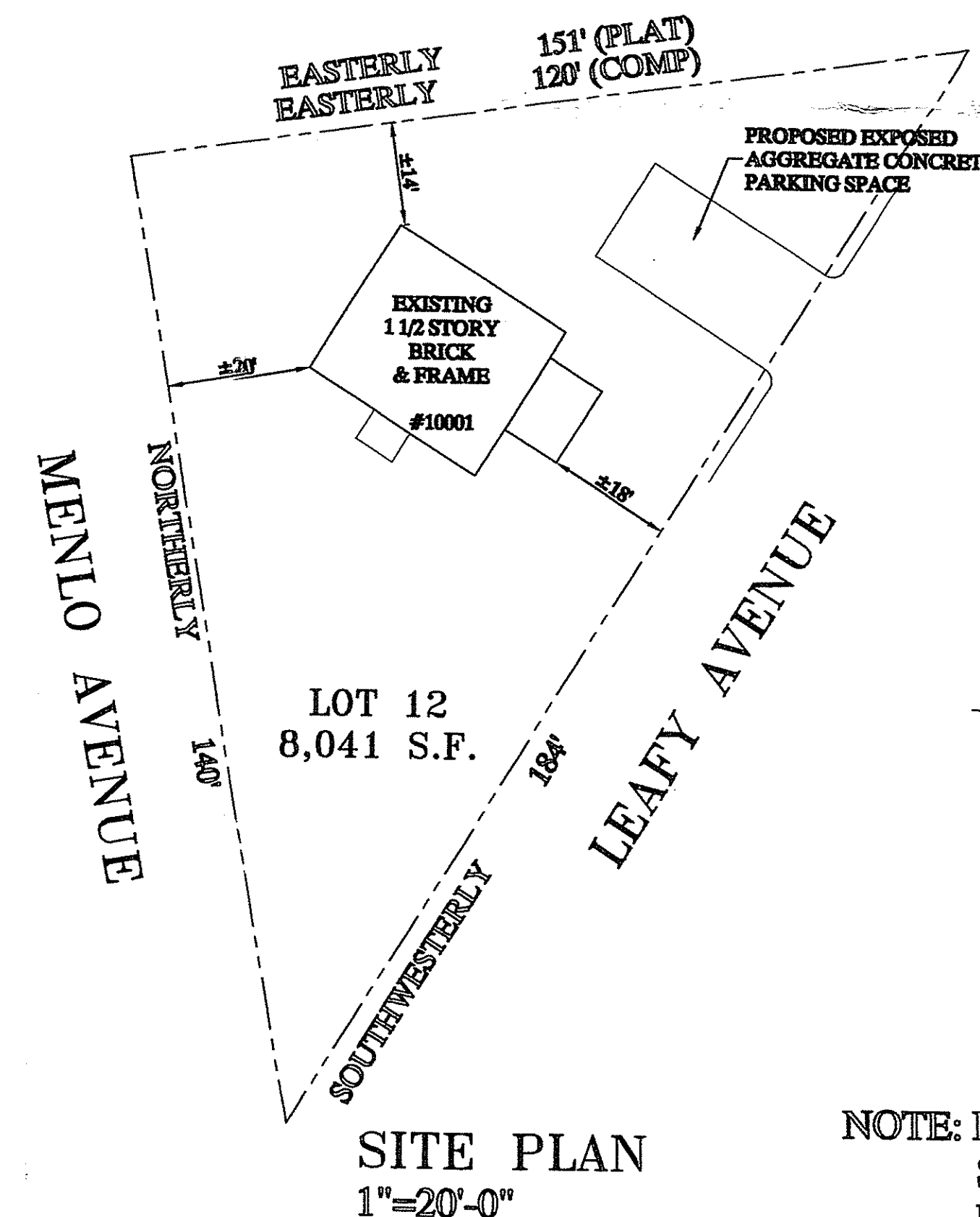
LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:
 F_b = 2,800 PSI
 F_v = 250 PSI
 F_c = 2,700 PSI
 E = 2,000,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING.

IF A DOUBLE TOP PLATE OF LESS THAN 2x4" OR 3x4" IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CENTRED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CENTRIFIED BY STRUCTURAL ENGINEER.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE ALL INTERIOR BEARING WALLS SUPPORTING MORE THAN ONE FLOOR MUST BE SHEATHED WITH A MINIMUM OF 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURERS RECOMMENDATIONS.

SITE PLAN



SITE PLAN
1"=20'-0"

NOTE: INFORMATION OBTAINED FROM SURVEY BY SNIDER & ASSOCIATES DATED 05-10-2005.

WINDOW & DOOR SCHEDULE

SEE PLANS

LINTEL SCHEDULE

PROVIDE STEEL ANGLE LINTELS (L) FOR MASONRY OPENINGS (M&O)

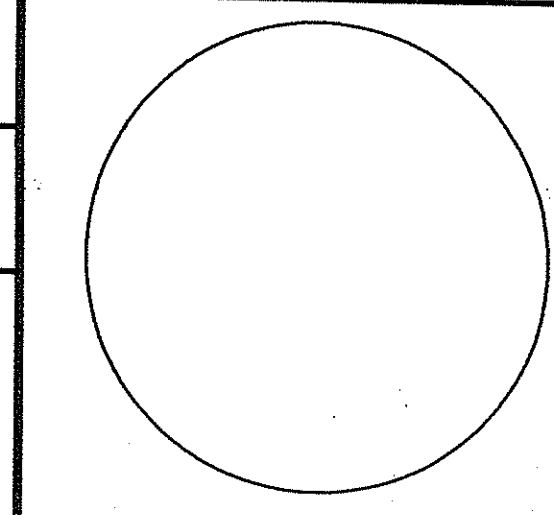
LINTEL	MIL. OPENING	BEARING R.E.
L-3-1/2x3-1/2x1/4	UP TO 3'-0"	4"
L-3-1/2x3-1/2x1/4	3'-1" TO 4'-0"	4"
L-4x3-1/2x1/4	4'-1" TO 5'-0"	4"
L-4x3-1/2x1/4	5'-1" TO 6'-0"	4"
L-5x3-1/2x1/4	6'-1" TO 7'-0"	4"
L-6x3x8	7'-1" TO 8'-0"	4"
L-6x3x8	8'-1" TO 9'-0"	4"
	> 9'-0" CONSULT A/E	

UNLESS OTHERWISE NOTED PROVIDE WOOD LINTELS OVER FRAME OPENINGS AS FOLLOWS: UP TO:
 DOUBLE 2x4 3'-0"
 DOUBLE 2x6 4'-0"
 DOUBLE 2x8 5'-0"
 DOUBLE 2x10 7'-0"
 DOUBLE 2x12 8'-0"

LIST OF DRAWINGS

- C-1 COVERSHEET / LEGENDS / SITE PLAN
- A-1 FLOOR PLANS
- A-2 ELEVATIONS
- A-3 FRAMING PLANS
- A-4 SECTION & WALL SECTION

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
9-10-05



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Rev.	Date	Description

PERMIT SET
August 18th, 2005

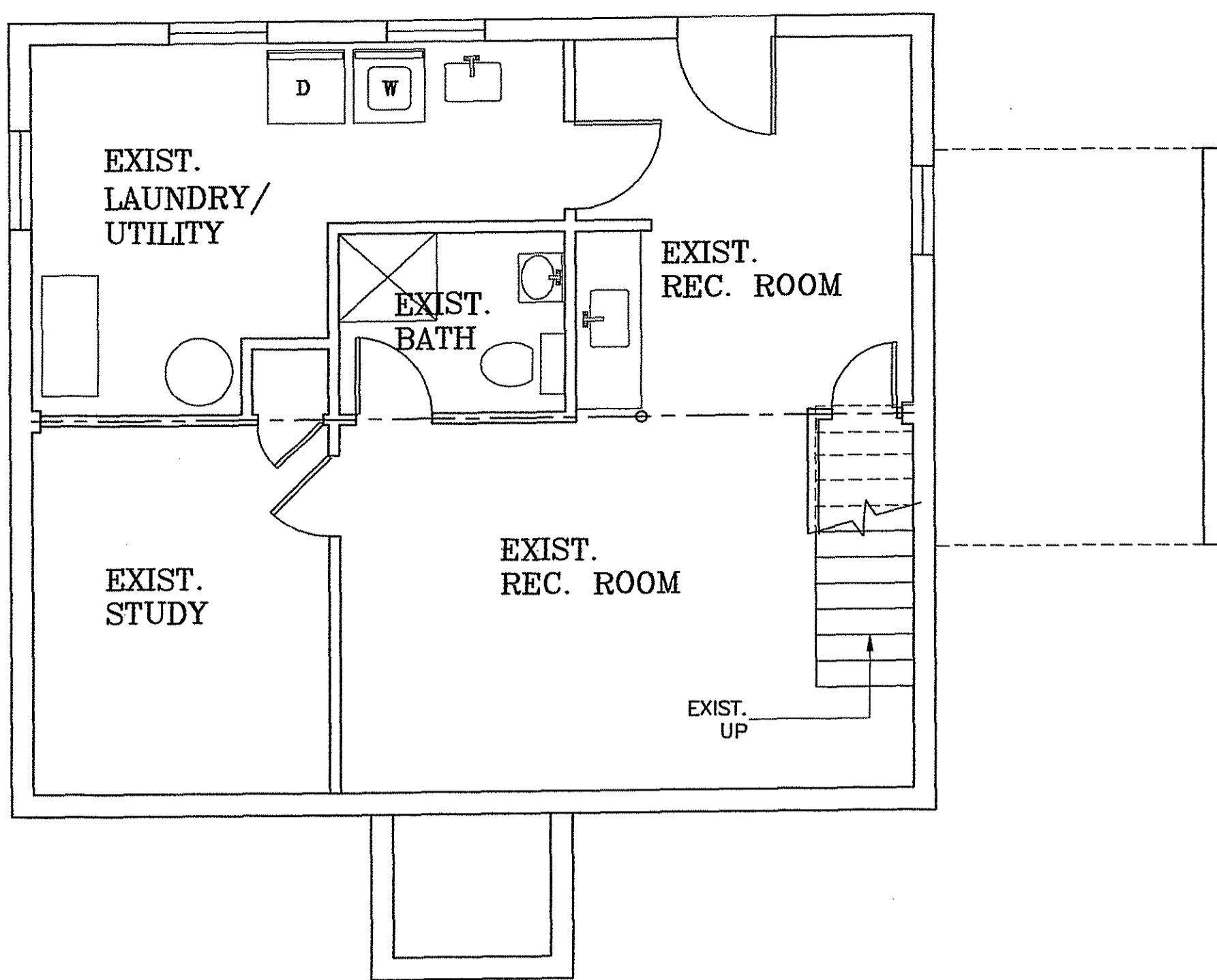
RESIDENCE REMODELING
 10001 MENLO AVENUE
 SILVER SPRING, MARYLAND 20910
 LOT 12 - BLOCK 33
 CAPITOL VIEW PARK
 MONTGOMERY COUNTY

Project Number: 049-2005
 Project Dist. Name: GUZMAN

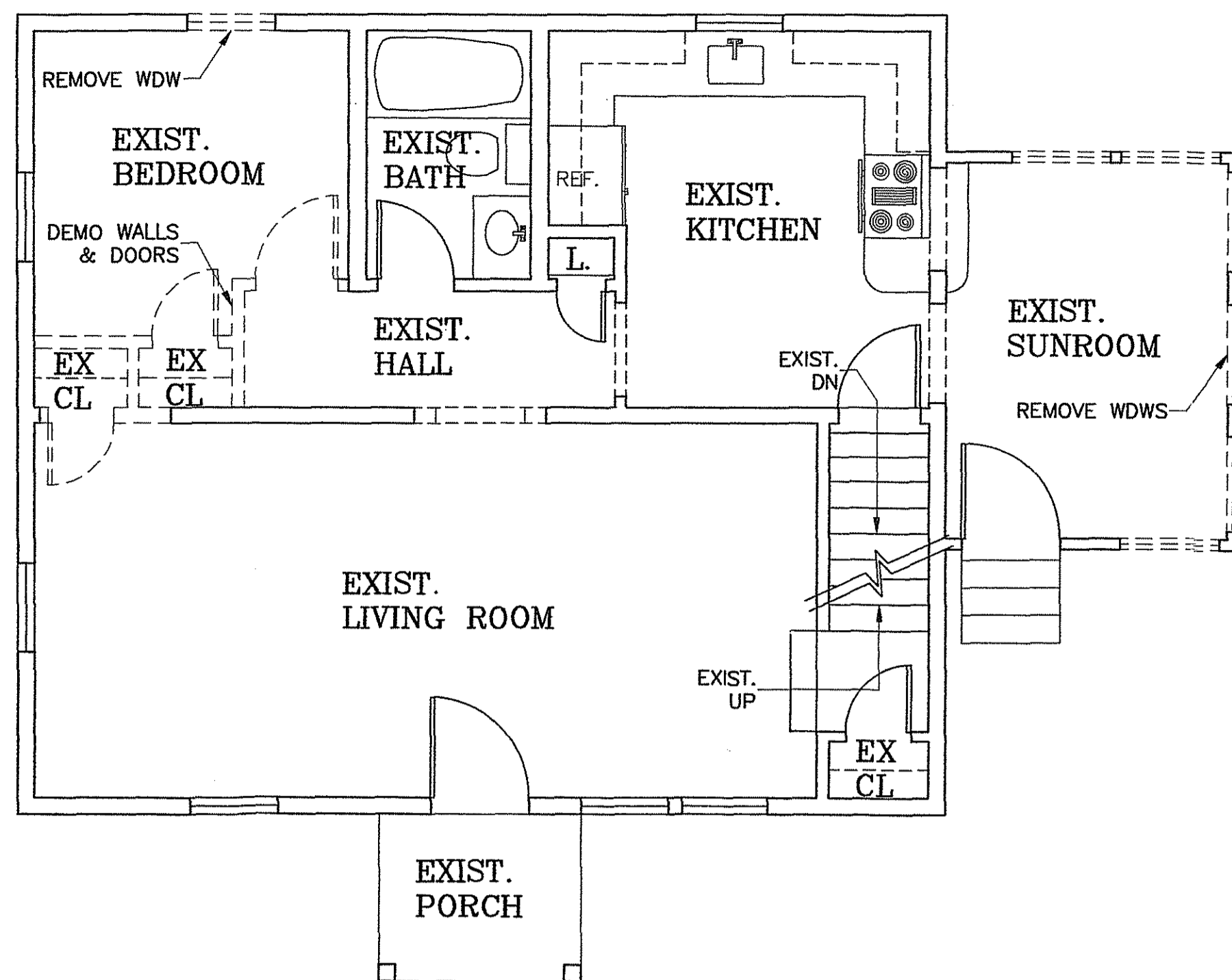
Designed By: Checked By:

Sheet Title: COVERSHEET
 LEGENDS / SITE PLAN

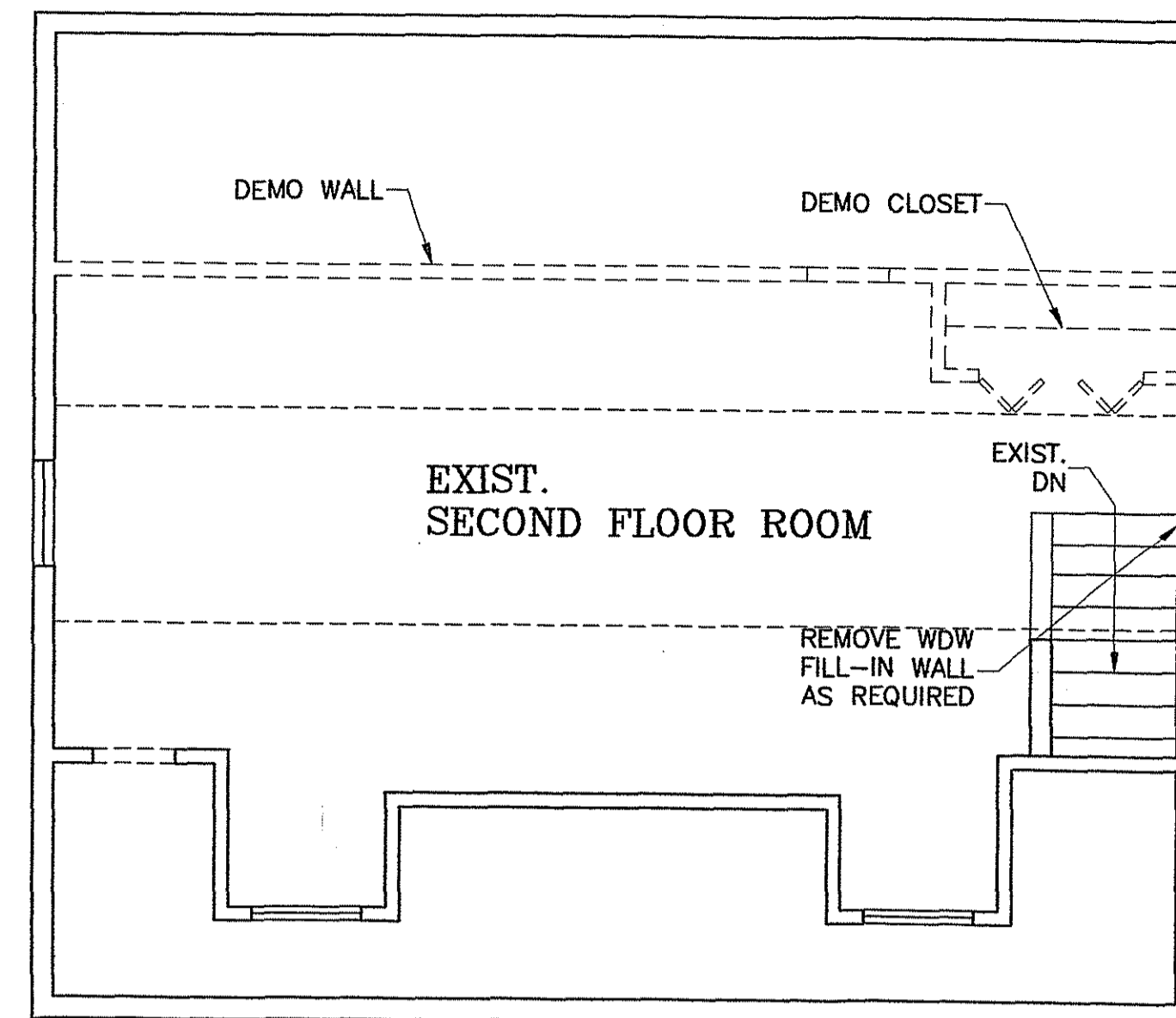
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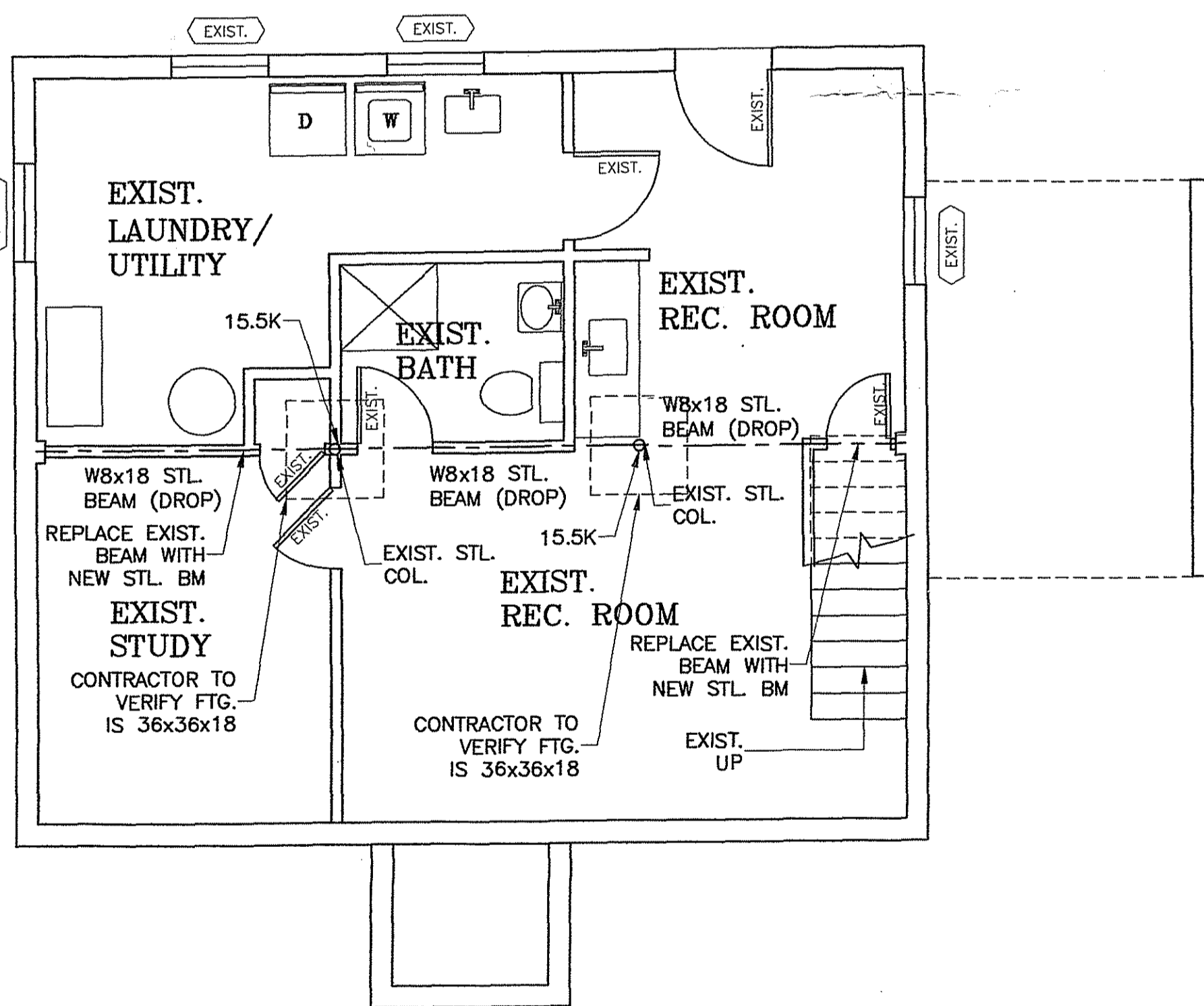
EXISTING BASEMENT PLAN
1/4"=1'-0"



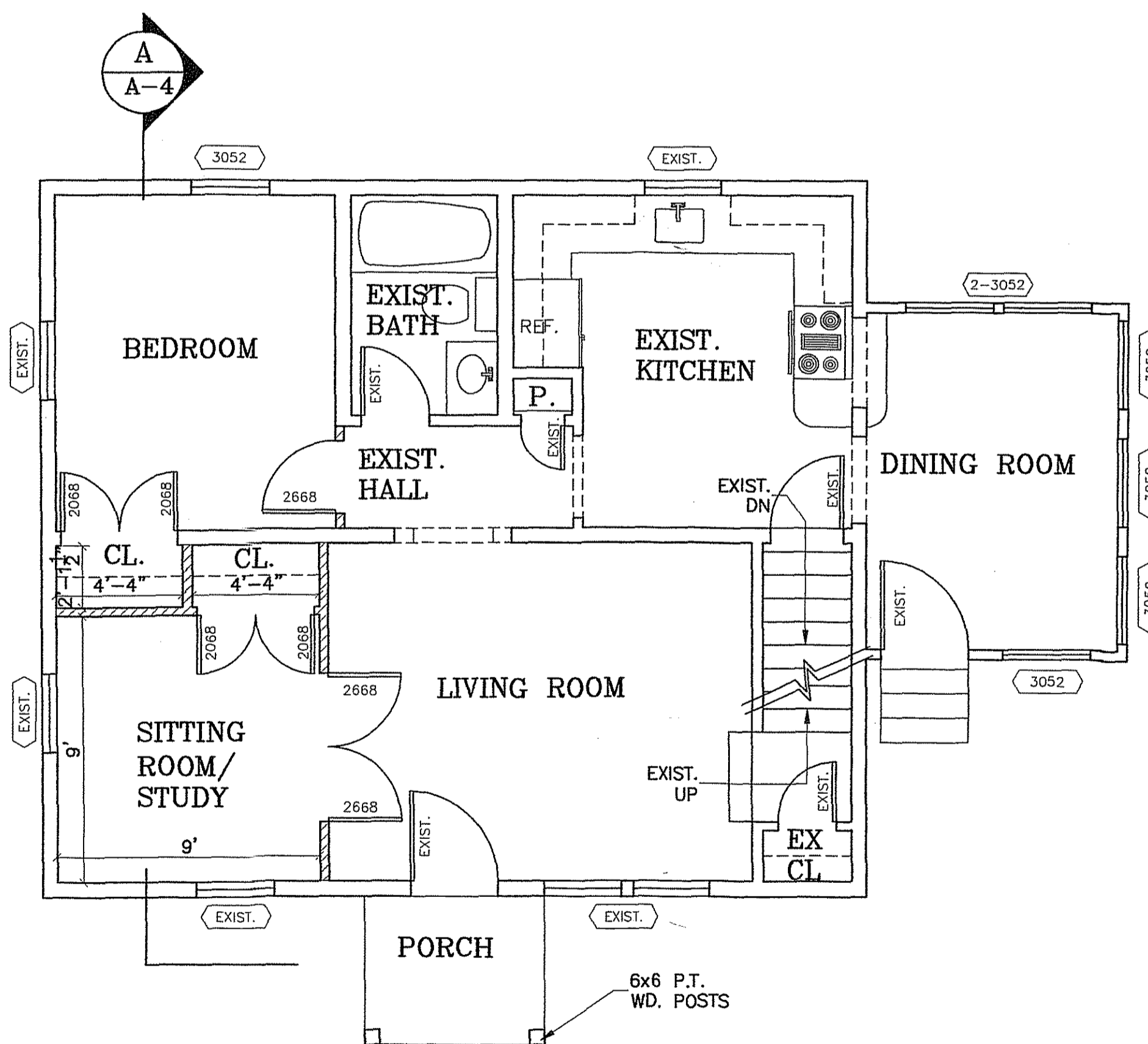
DEMOLITION FIRST FLOOR PLAN
1/4"=1'-0"



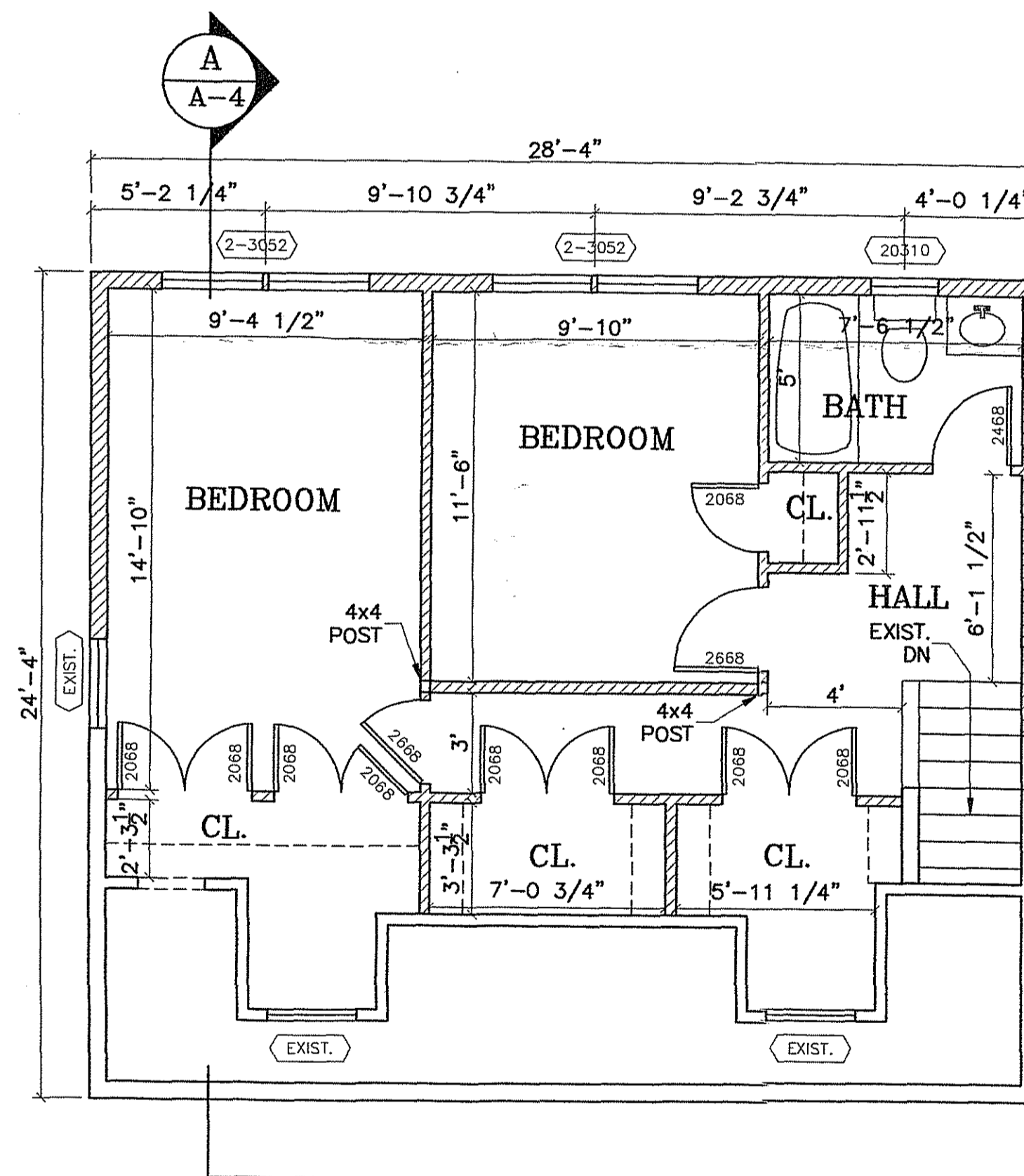
DEMOLITION SECOND FLOOR PLAN
1/4"=1'-0"



EXISTING BASEMENT PLAN
1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"

EXISTING WINDOWS TO BE RETAINED AND REPAIRED *AF*

NOTE: *ALL NEW WINDOWS TO BE WOOD WINDOWS WITH SIMULATED DIVIDED LIGHTS, OR VINYL-CLAD WOOD WINDOWS W/SIMULATED DIVIDED LIGHTS.
*ALL NEW DOORS TO BE WOOD.

DEMO. LEGEND

EXISTING TO REMAIN =

EXIST. TO BE DEMOLISHED - - - - -

WALL LEGEND

EXIST. FOUND. WALL =

NEW CMU FOUND. WALL =

EXISTING CONSTRUCTION =

NEW CONSTRUCTION =

NEW BRICK VENEER =

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
 19021 SEDLEY TERRACE
 GAITHERSBURG, MARYLAND 20878
 Tel: (301) 948-3197 / Fax: (301) 980-4169

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August 18th, 2005

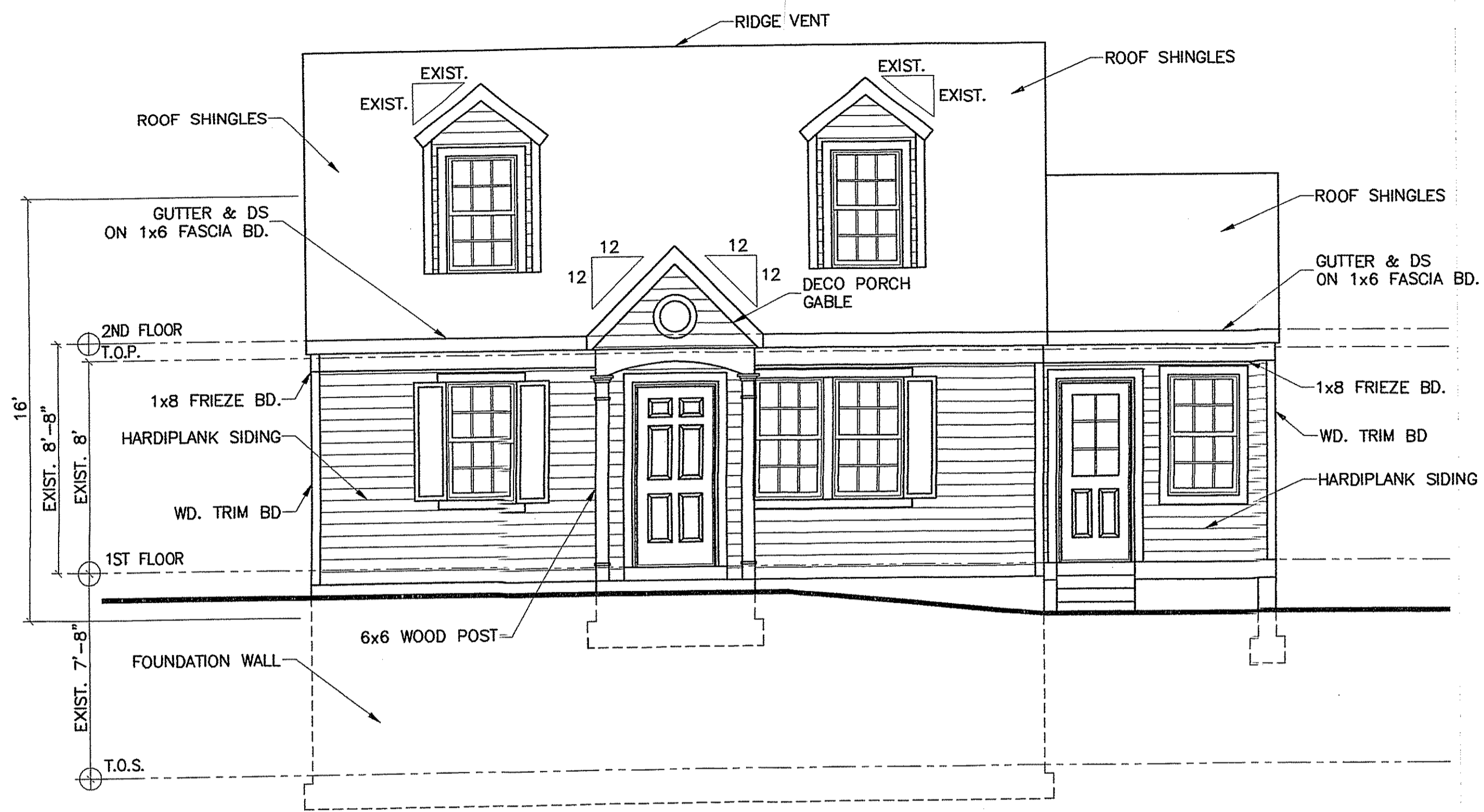
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 MONTGOMERY COUNTY

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 9-20-05

Project Number: 048-2006
 Project Rev. Name: GUZMAN
 Designed By: _____
 Checked By: _____

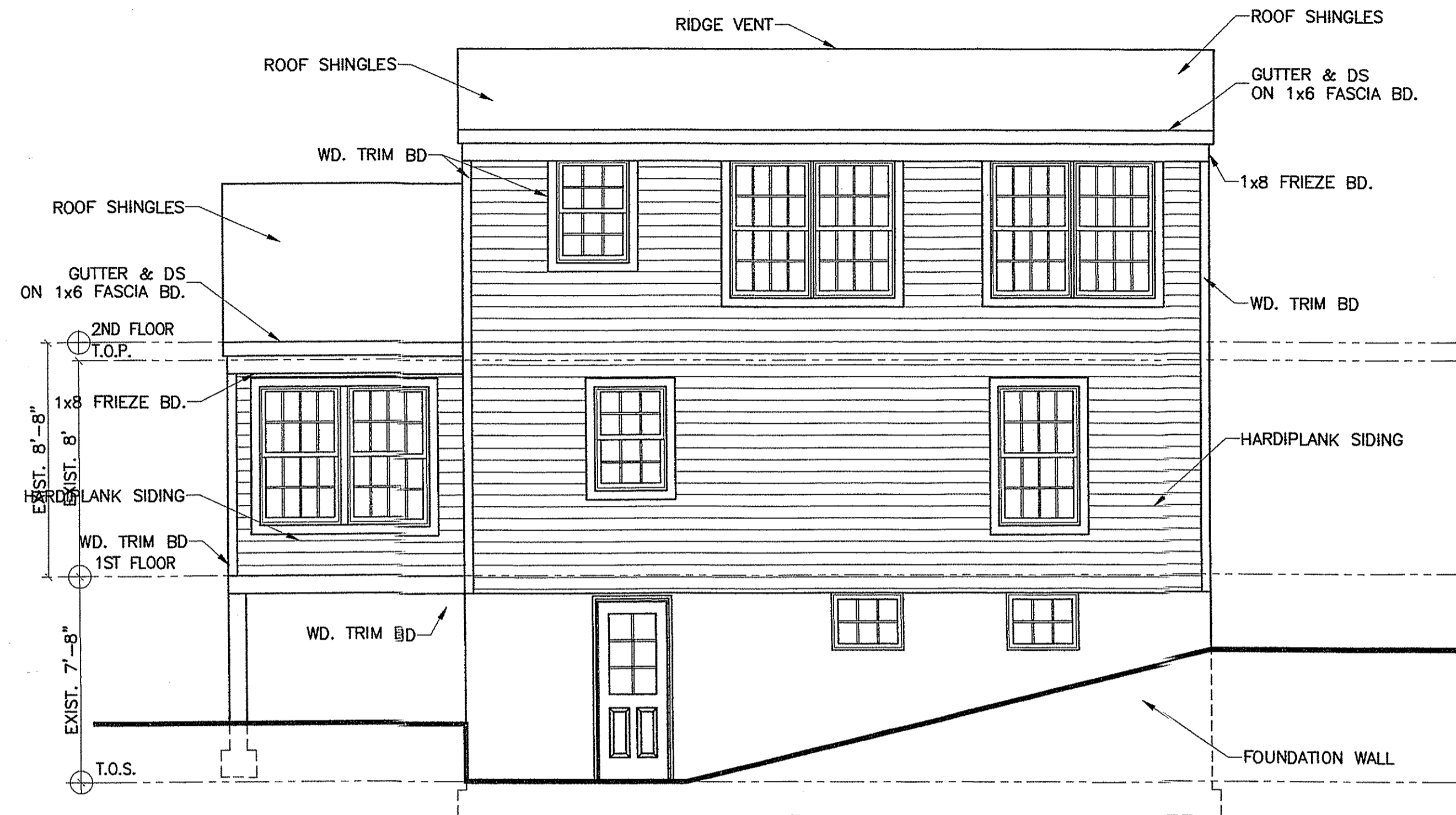
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FLOOR PLANS

Sheet Number:
A-1

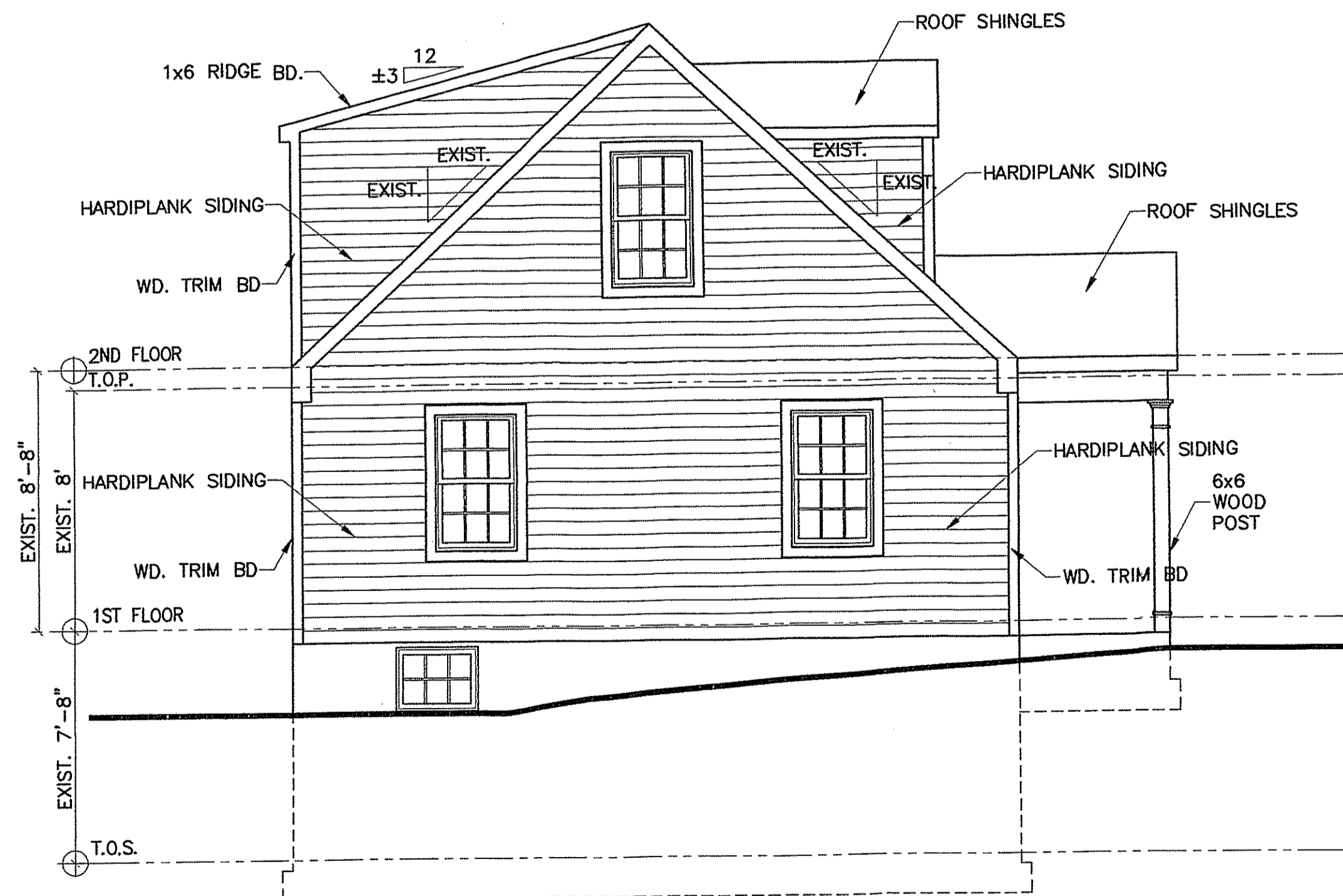


PROPOSED FRONT ELEVATION
1/4"=1'-0"

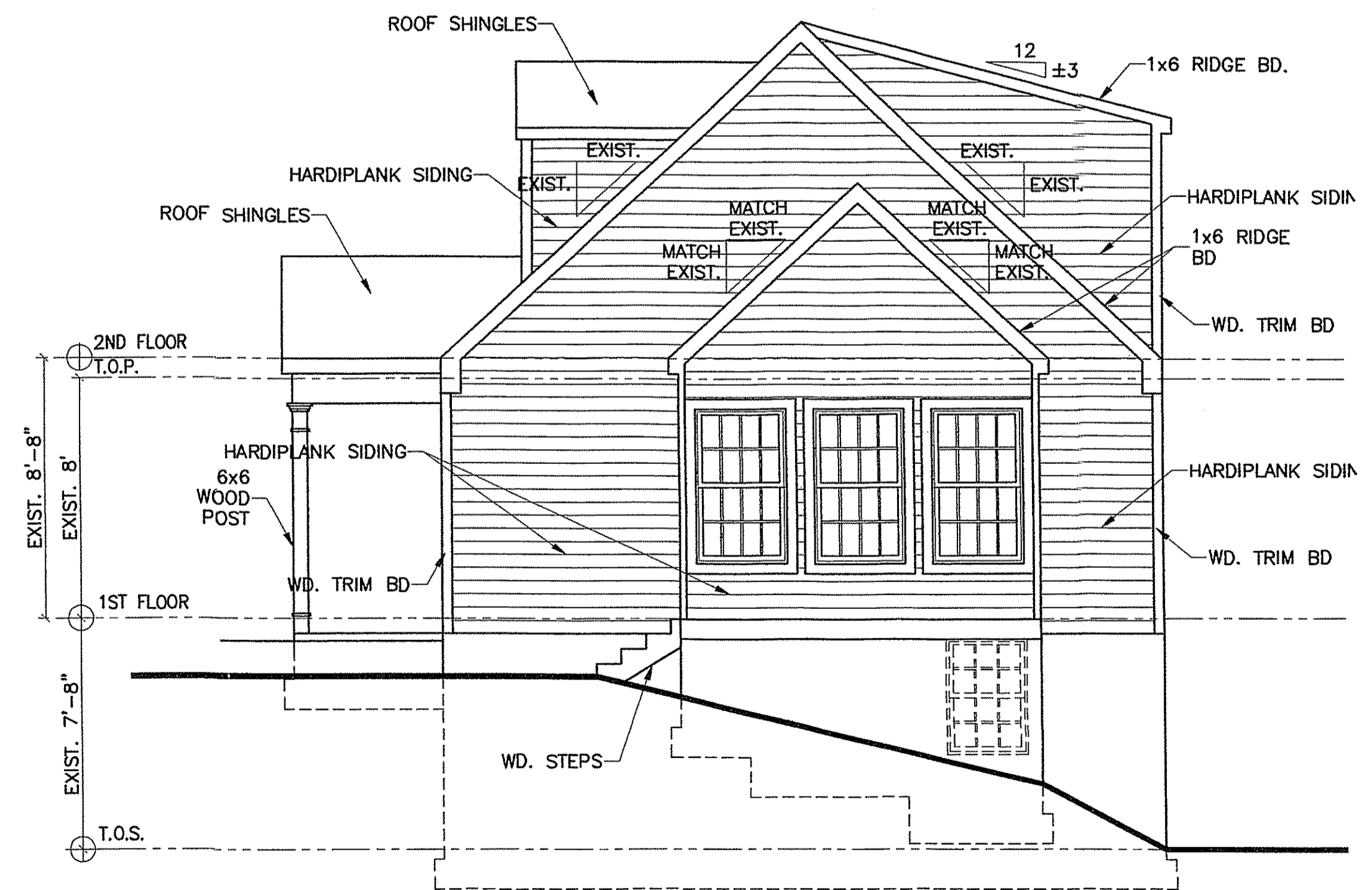
NOTE: % OF BURIED BASEMENT= 61%



PROPOSED REAR ELEVATION
1/4"=1'-0"



PROPOSED LEFT ELEVATION
1/4"=1'-0"



PROPOSED RIGHT ELEVATION
1/4"=1'-0"

NOTE: *ALL NEW WINDOWS TO BE WOOD WINDOWS WITH SIMULATED DIVIDED LIGHTS, OR VINYL-CLAD WOOD WINDOWS W/SIMULATED DIVIDED LIGHTS.

APPROVED
Montgomery County
Historic Preservation Commission
John D. Miller
4-20-06

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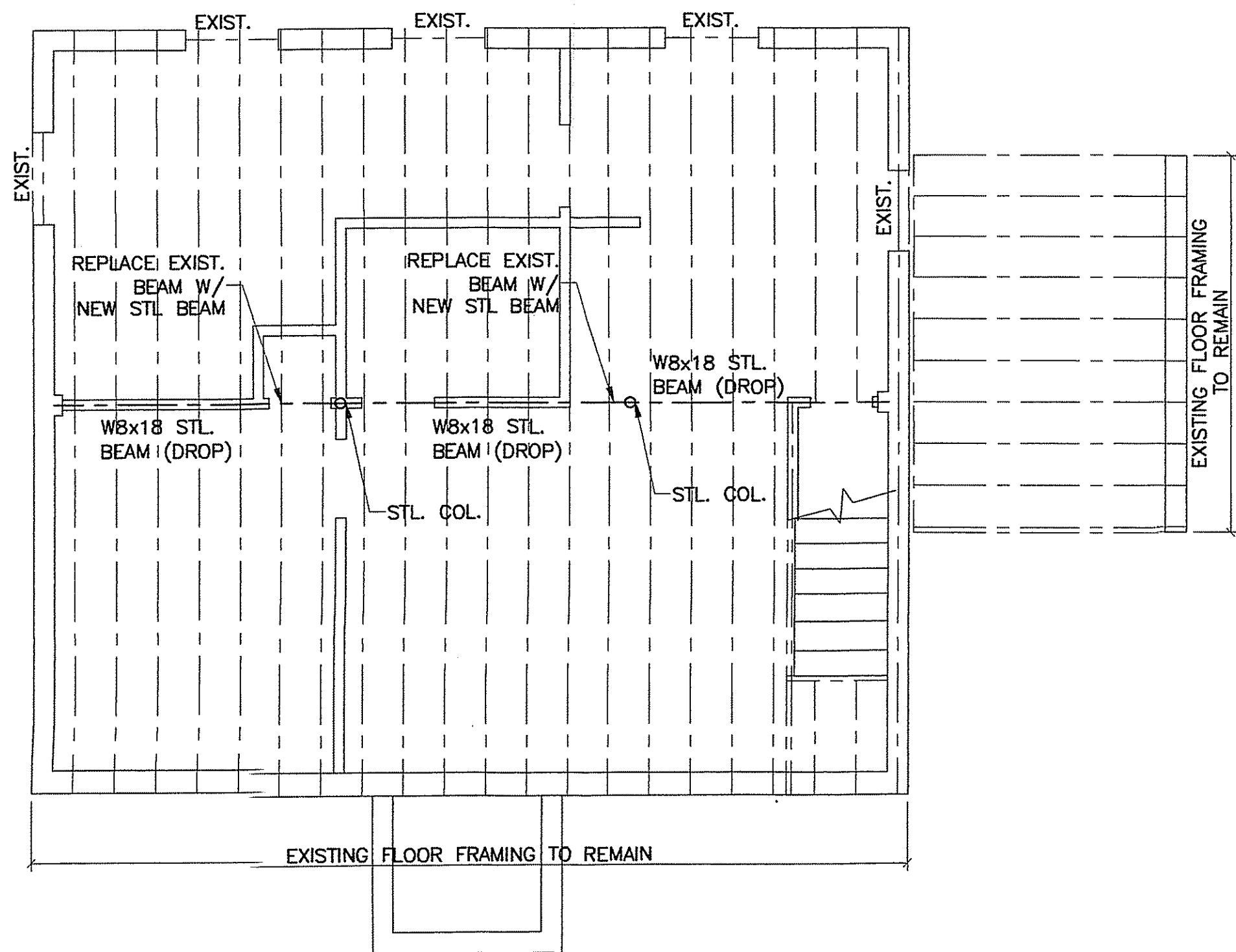
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MONTGOMERY COUNTY

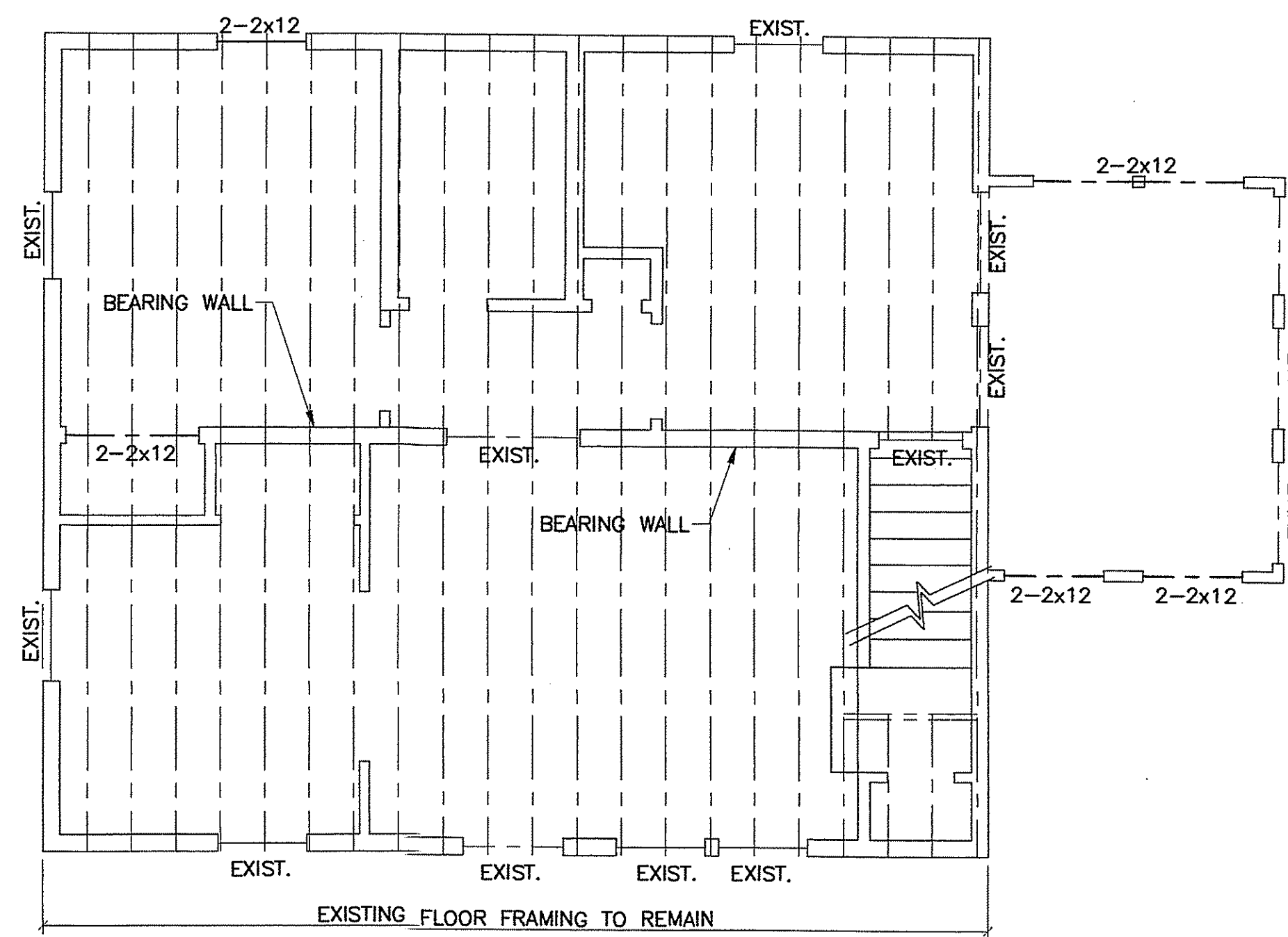
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ELEVATIONS
Sheet Number:
A-2

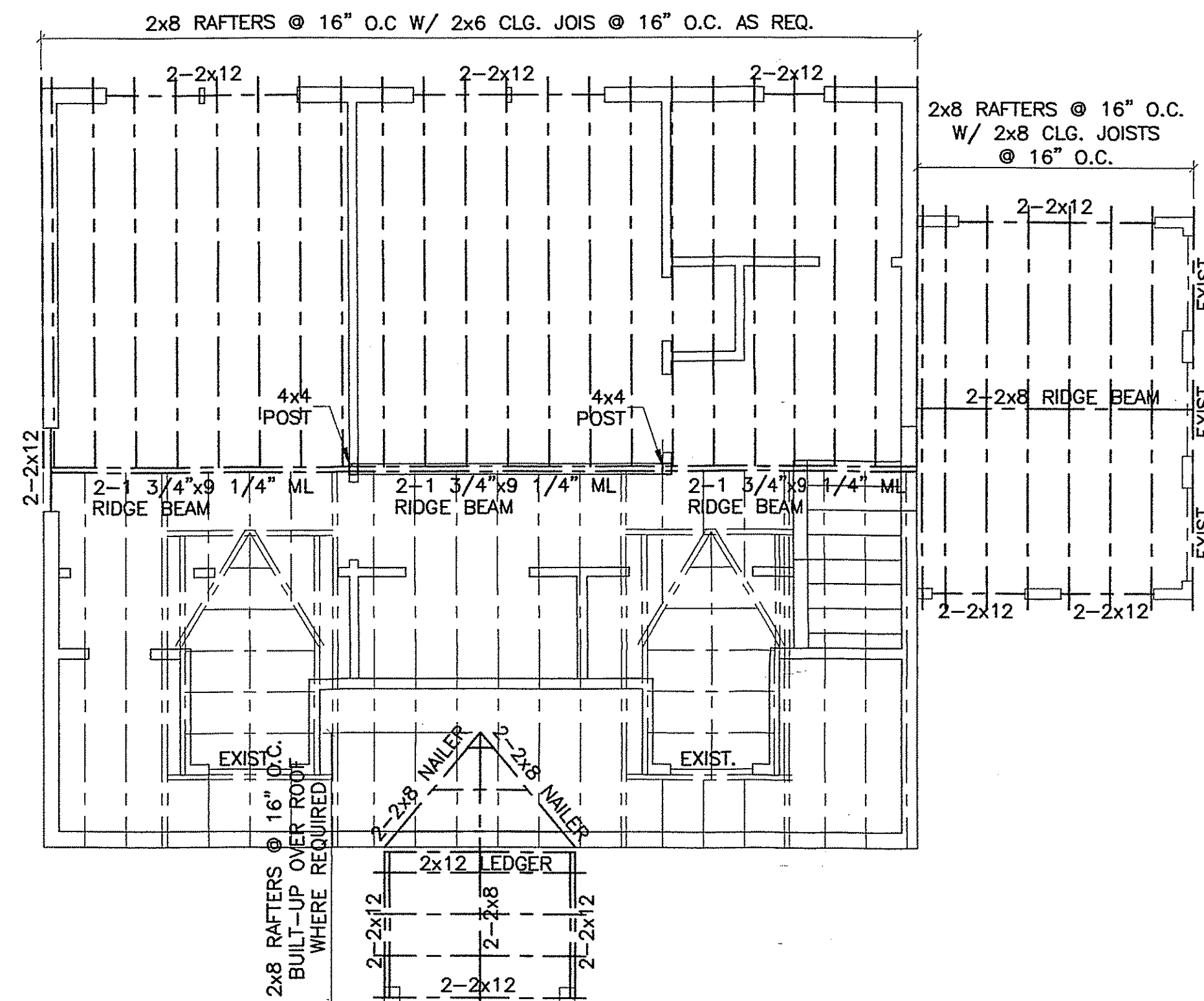
ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
19021 SEDLEY TERRACE
GAITHERSBURG, MARYLAND 20879
Tel: (301) 948-3197 / Fax: (301) 980-4189



1ST FLOOR FRAMING PLAN
1/4"=1'-0"



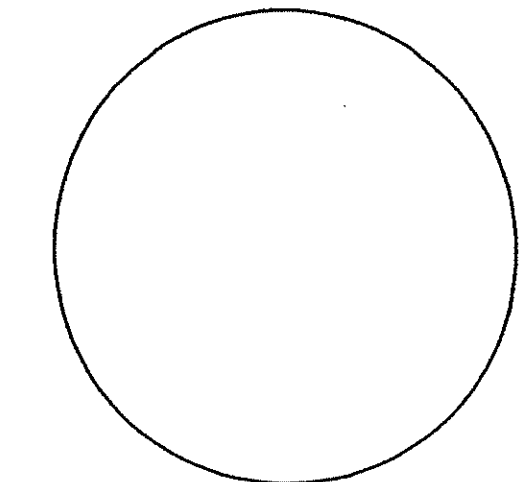
2ND FLOOR FRAMING PLAN
1/4"=1'-0"



ROOF FRAMING PLAN
1/4"=1'-0"

ARCHITECTS
RAOUL LISSABET, A.I.A.
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August 18th, 2005

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LOT 12 - BLOCK 33
CAPITOL VIEW PARK
MONTGOMERY COUNTY

Project Number: 048-2006

Designed By: GUZMAN

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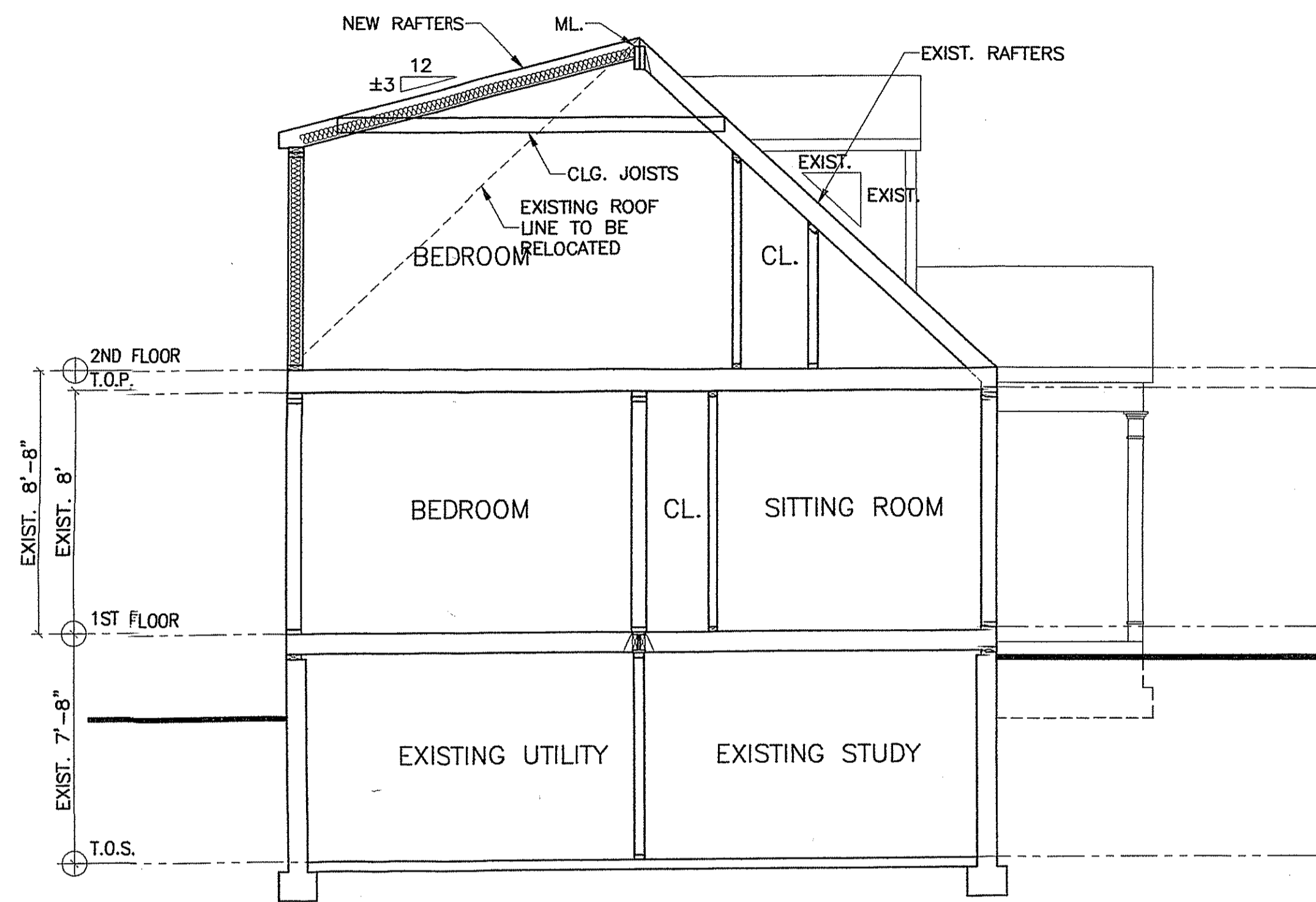
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FRAMING PLANS

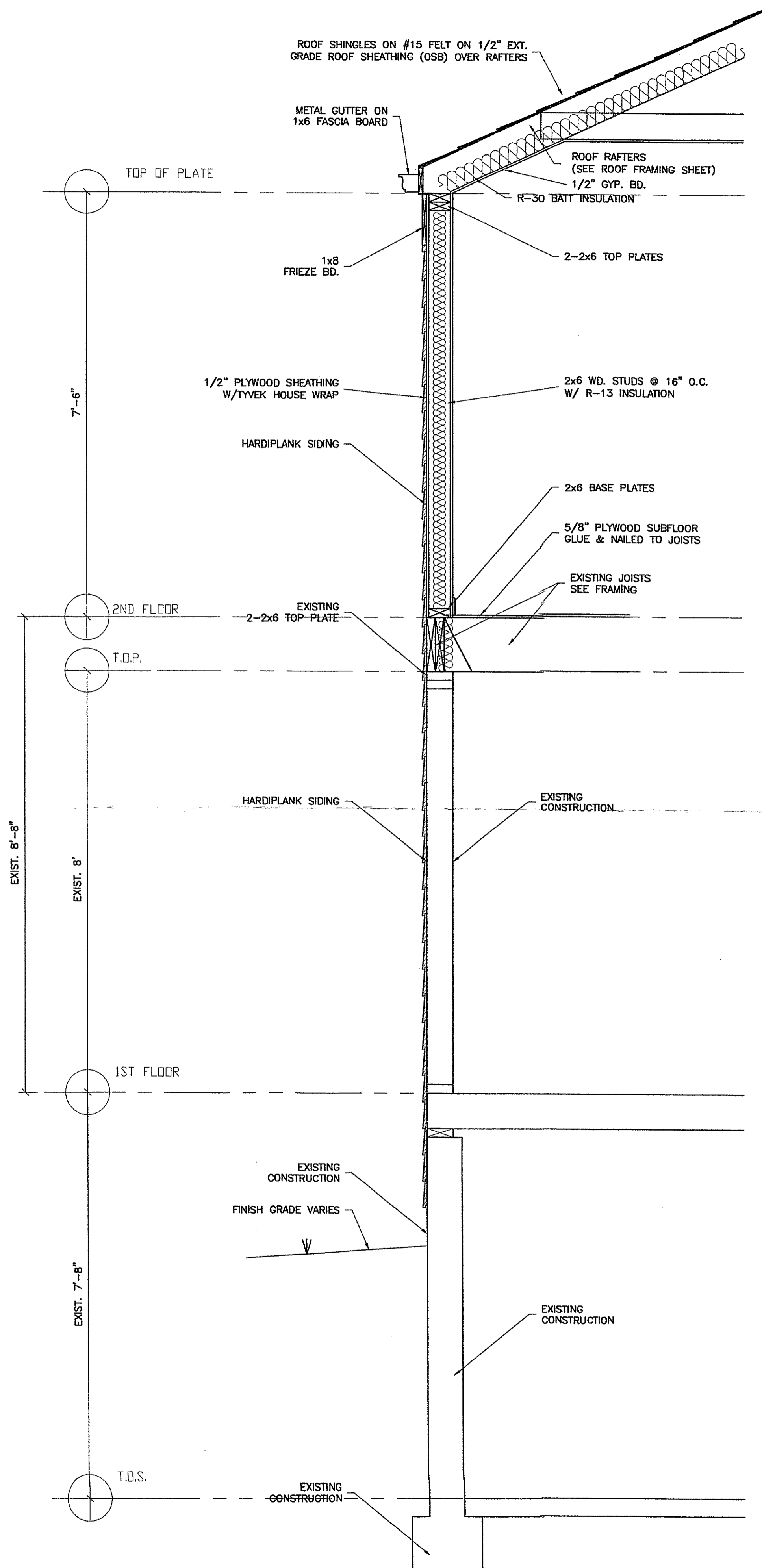
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A-3

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. [Signature]
9.20.05



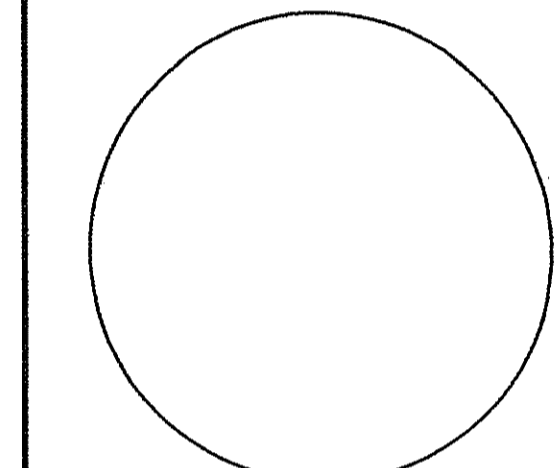
SECTION "A"
1/4"=1'-0"



TYP. WALL SECTION
NTS

APPROVED
Montgomery County
Historic Preservation Commission
Judith M. Mallory
9-28-05

ARCHITECTS
RAOUL LISSABET, A.I.A.
ARCHITECTS, LLC
19021 SEDLEY TERRACE
GAITHERSBURG, MARYLAND 20879
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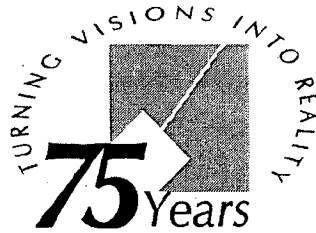
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August 16th, 2005

RESIDENCE REMODELING
10001 MENLO AVENUE
SILVER SPRING, MARYLAND 20910
LOT 12 - BLOCK 33
CAPITOL VIEW PARK
MONTGOMERY COUNTY

Project Number: 048-2005
Project Name: GUZMAN
Designed By:
Checked By:

Sheet Title:
SECTION/WALL SECT.

Sheet Number:
A-4




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 15, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit # 385733 **REVISION**

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITION:**

1. A tree protection plan will be submitted to staff, and tree protection measures will be in place before construction begins.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jose Manuel Guzman

Address: 10001 Menlo Avenue, Silver Spring, MD 20910

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6970

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Raoul Lissabet AIA
Daytime Phone No.: 301 948 3197

Tel Account No.: _____
Name of Property Owner: Jose Manuel Guzman Daytime Phone No.: 240 832 5607
Address: 6320 Baltimore Ave. University Park MD 20782
Street Number City Street Zip Code
Contractor: Owner Phone No.: _____
Contractor Registration No.: N/A
Agent for Owner: N/A Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10001 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Capitol View Ave.
Lot: 12 Block: 33 Subdivision: Capitol View Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Stair Room Addition Porch Deck Shed
 Move Install Wreck/Abate Spill Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. This is a revision of a previously approved active permit; see Permit # 385733

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/essment

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____ Date _____

Approved: with one condition For Chairperson of Historic Preservation Commission
Disapproved: _____ Signature: Julia O'Malley Date: 9-15-05
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edn 6/21/98

SEE REVERSE SIDE FOR INSTRUCTIONS

Revision approved - original application attached 9-15-05



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
340/777-6170

DPS - #8

(A)

HISTORIC PRESERVATION COMMISSION
301/563-3400

AP 385733

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JOSE GUZMAN MARTINEZ

Daytime Phone No.: 240.832.5607

Tax Account No.:

Name of Property Owner: JOSE GUZMAN MARTINEZ Daytime Phone No.: 240.832.5607

Address: 6320 BALTIMORE AVE UNIVERSITY PARK MD 20872
Street Number City State Zip Code

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 10001 Street: MENLO AVE
Town/City: SILVER SPRING MD 20910 Nearest Cross Street: LEAFY
Lot: 12 Block: Subdivision: CAPITOL VIEW PARK
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

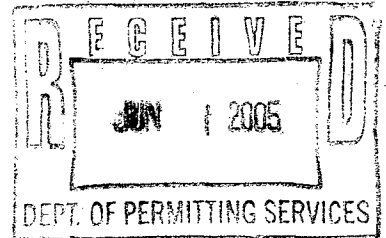
1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Reuse Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 200,000.00

1C. If this is a revision of a previously approved active permit, see Permit #



PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: 385733 with 4 conditions
For Chairperson, Historic Preservation Commission
Signature: Julia O'Malley
Date Filed: 6-23-05
Date Issued:



**CAPITOL VIEW PARK
CITIZEN'S ASSOCIATION**

SILVER SPRING, MARYLAND 20910

Historic Preservation Commission

9/14/05

Via FAX 301-563-3412

The Capitol View Park Citizens Association executive board and the Historic Review Committee of the Capitol View Park Citizens Association have reviewed the new proposal for alterations and an addition to the non-contributing resource at 10001 Menlo Avenue HPC Case No. 31/07-05E REVISION. We agree with HPC staff that this project should be accepted as proposed including the tree protection plan.

Sincerely,

Betsy Tebow, President
Capitol View Park Citizen's Association

Carol Ireland, Co-chair
Duncan Tebow, Co-chair
Historic Review Committee

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10001 Menlo Avenue, Silver Spring	Meeting Date:	09/14/05
Applicant:	Jose Manuel Guzman	Report Date:	09/07/05
Resource:	Non-Contributing Resource	Public Notice:	08/31/05
Review:	HAWP	Tax Credit:	Partial
Case Number:	31/07-05E REVISION	Staff:	Anne Fothergill

PROPOSAL: Alterations to house

RECOMMEND: Approval with one condition

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application with the following condition:

1. A tree protection plan will be submitted to staff, and tree protection measures will be in place before construction begins.

BACKGROUND

The HPC approved a Historic Area Work Permit Application for alterations and a rear addition to this house on June 22, 2005. The owner has changed the design and has submitted a revised application for the HPC's approval. The previous staff report can be found in Circles 1-24 and the HPC transcript in Circles j-m.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource, Capitol View Park Historic District
STYLE: 1 ½ story Cape
DATE: 1945

PROPOSAL

The applicant is proposing some alterations to the existing house and installation of an exposed aggregate concrete driveway behind the house where there is an existing curb cut. The existing right side addition's shed roof will be changed to a gable roof. At the back of the house the roof will be raised to allow for bedrooms on the second floor. See proposed site plan, floor plans, and elevations in Circles e-i.

The specific materials proposed for this project are Hardiplank horizontal siding (they will remove the existing Permastone and aluminum siding), wood simulated divided light windows (where there are new windows), an asphalt shingle roof on the entire house, and wood trim and wood posts.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10001 Menlo is located on the edge of the historic district. It is a corner property that sits across from a retirement home and a short distance from a row of new construction on Leafy Avenue. The house next door to it sits slightly higher than this house because of the grade change. Included in the previous staff report are photos of the house and also photos of the site as seen from Leafy (the back and left side of the house).

With a Non-Contributing Resource, it is important to enlarge the house with a design that is appropriate, maintain a low amount of lot coverage, select materials that are compatible with the other houses in the historic district, and not adversely affect the streetscape or the historic district. With this proposal, the applicant has successfully accomplished these goals as the rear roof expansion is a compatible design and the materials selected—Hardiplank and wood windows—are also appropriate.

Staff recommends approval with the standard tree protection condition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with one condition** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Raoul Lissabet AIA
Daytime Phone No.: 301 948 3197

Tax Account No.: _____
Name of Property Owner: Jose Manuel Guzman Daytime Phone No.: 240 832 5607
Address: 6320 Baltimore Ave. University Park MD 20782
Street Number City Street Zip Code
Contractor: Owner Phone No.: _____
Contractor Registration No.: N/A
Agent for Owner: N/A Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10001 Street: Menlo Ave
Town/City: Silver Spring Nearest Cross Street: Capitol View Ave.
Lot: 12 Block: 33 Subdivision: Capitol View Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Dock Shed
 Move Install Wreck/Place Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # 385733

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No. _____ Date Filed: _____ Date Issued: _____

(C)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a 1 1/2 story Cape. The exterior is covered with a fake stone siding. The side addition and dormers are aluminum siding. The roof is asphalt shingles. The house is set on a heavily wooded corner lot.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district.

The project consists of remodeling the existing house. All interior and exterior materials and finishes will be replaced. The attic roof will be raised on the rear side only to accommodate two bedrooms. The side addition shed roof will be changed to a gable roof to match the main house roof. The project will restore the Architecture to a true Cape. No trees will be removed.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

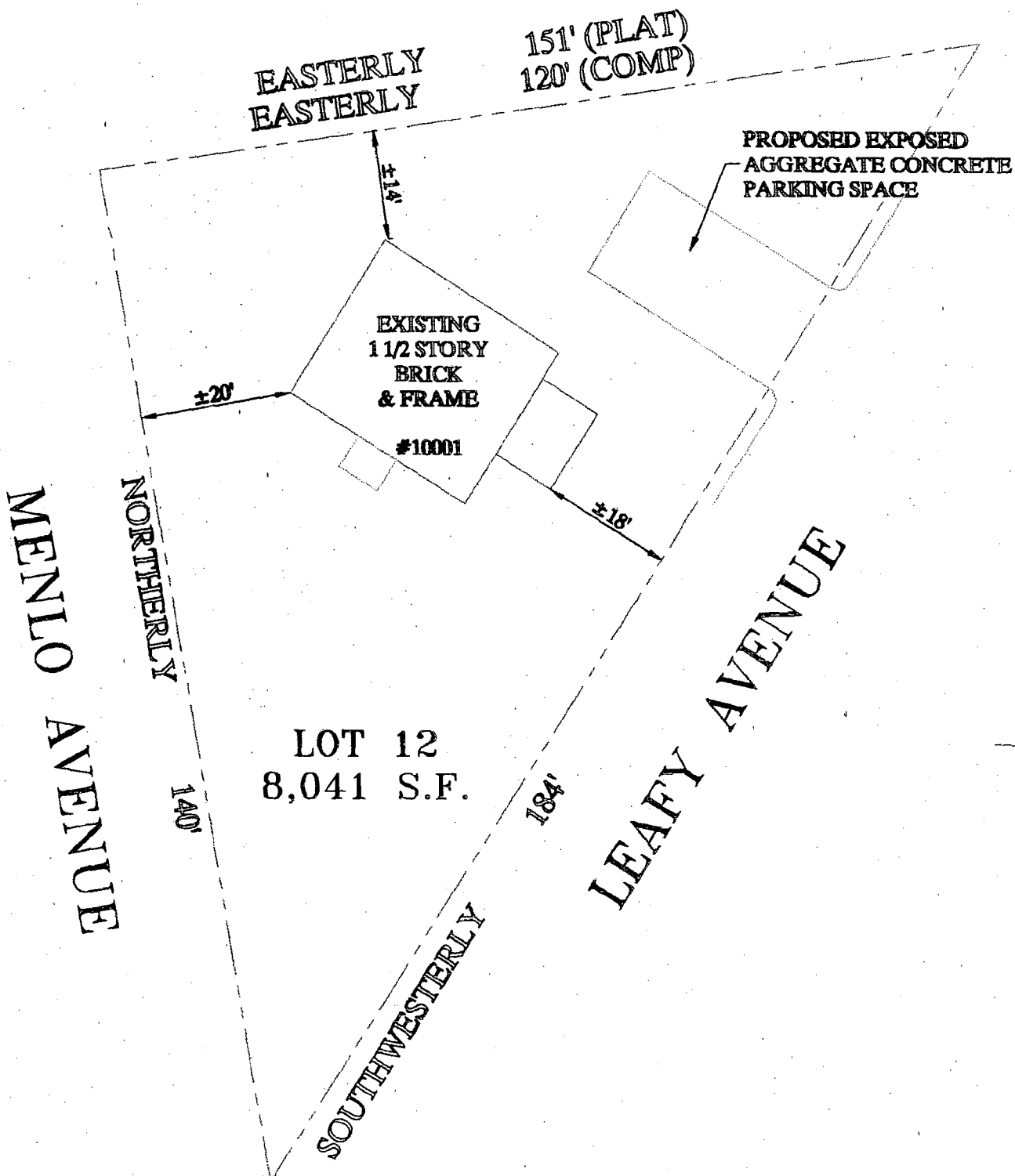
6. TREE SURVEY

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)278-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



LOT 12
8,041 S.F.

SITE PLAN
1"=20'-0"

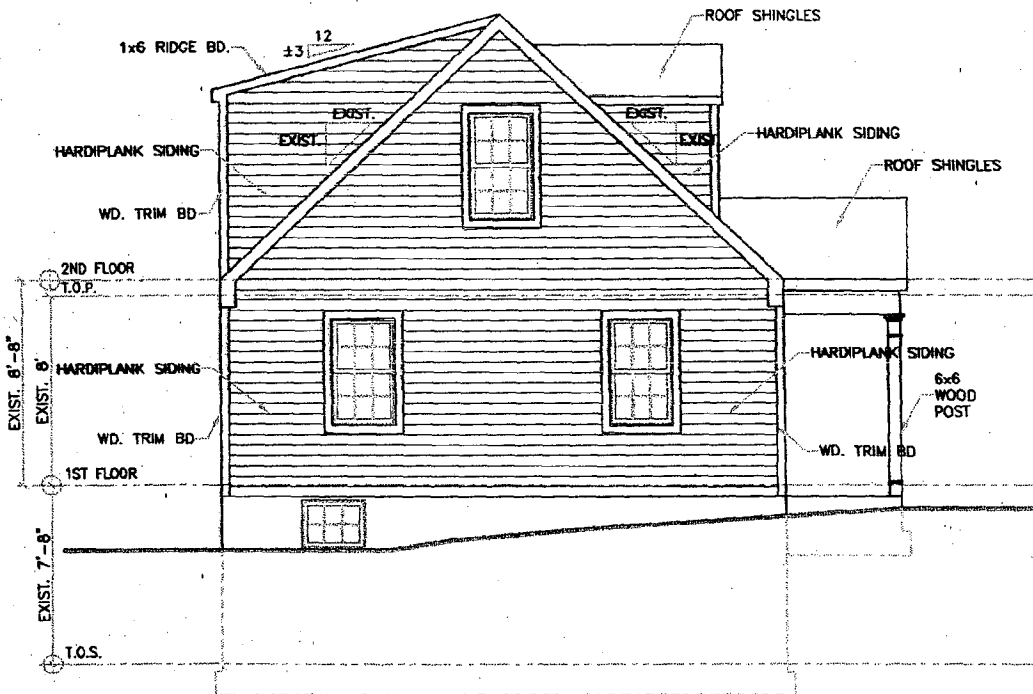
NOTE: INFORMATION OBTAINED FROM
SURVEY BY SNIDER & ASSOCIATES
DATED 05-10-2005.

RAOUL LISSABET A.I.A.
ARCHITECTS
19021 SEDLEY TERRACE
GAITHERSBURG, MD 208

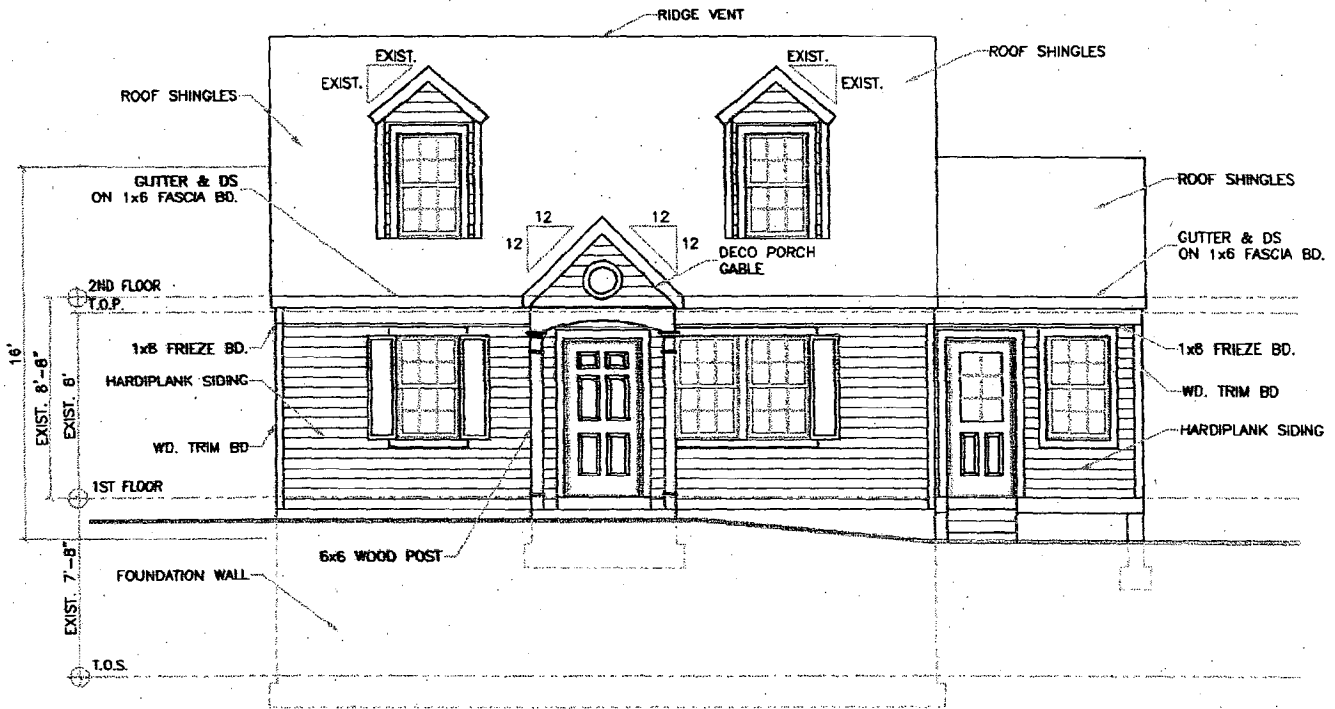
No trees will be removed

Aug. 19.05

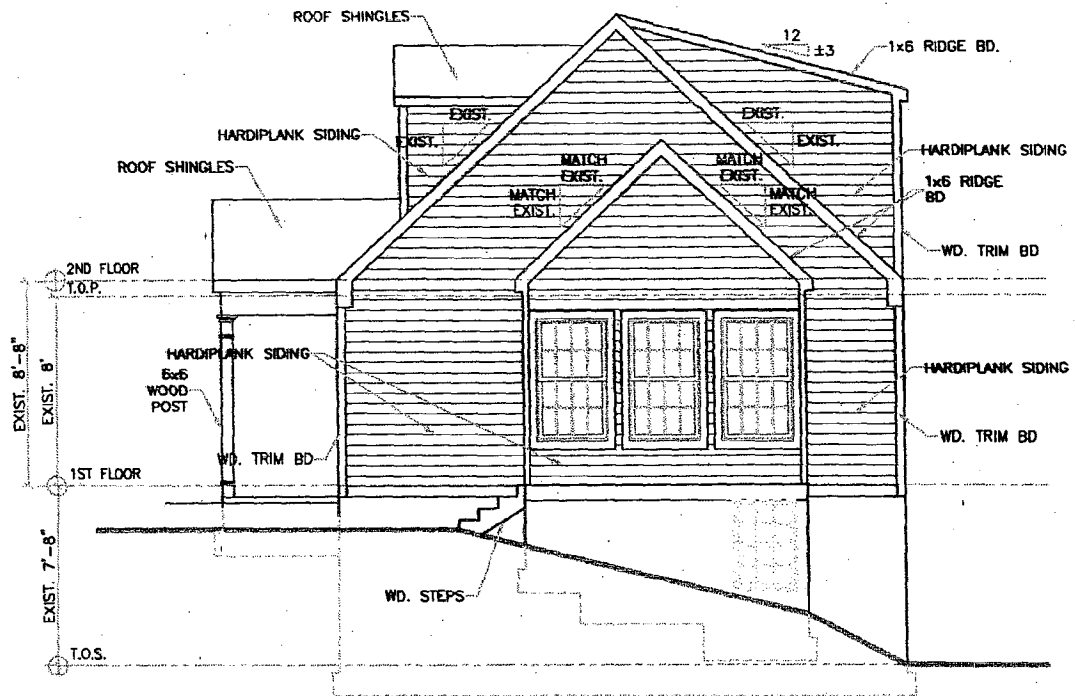
(e)



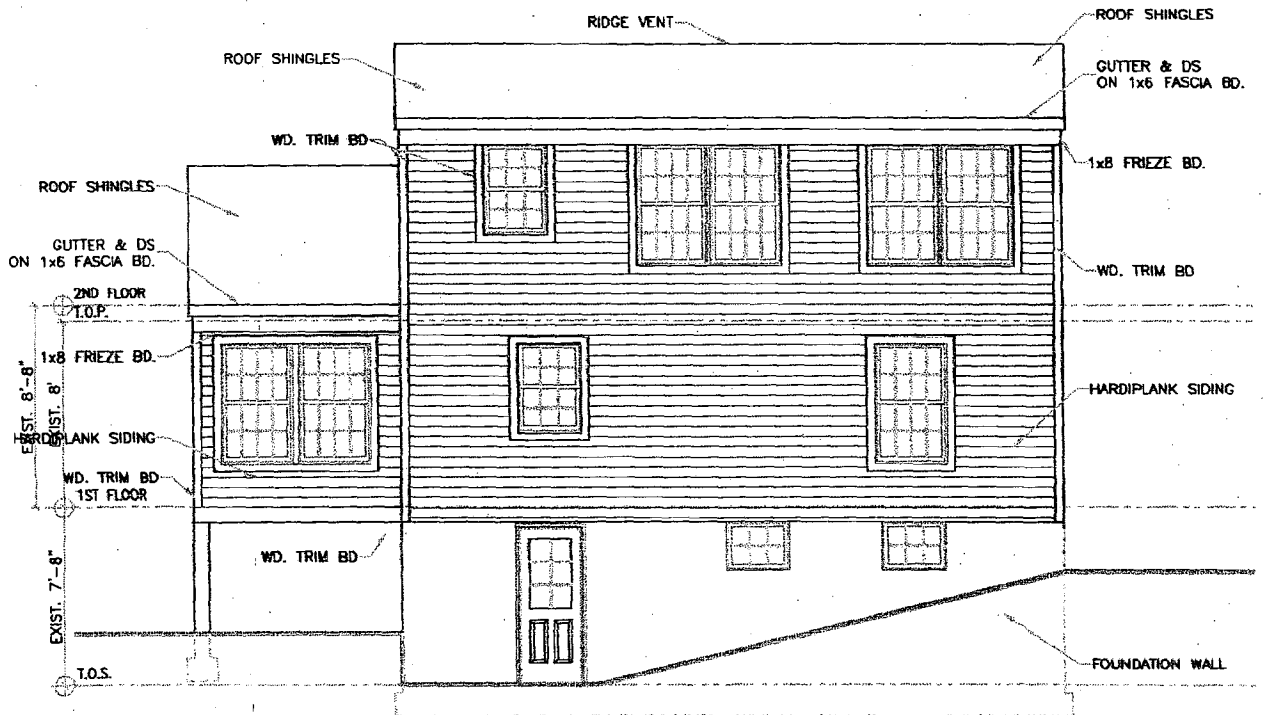
PROPOSED LEFT ELEVATION
 1/4"=1'-0"



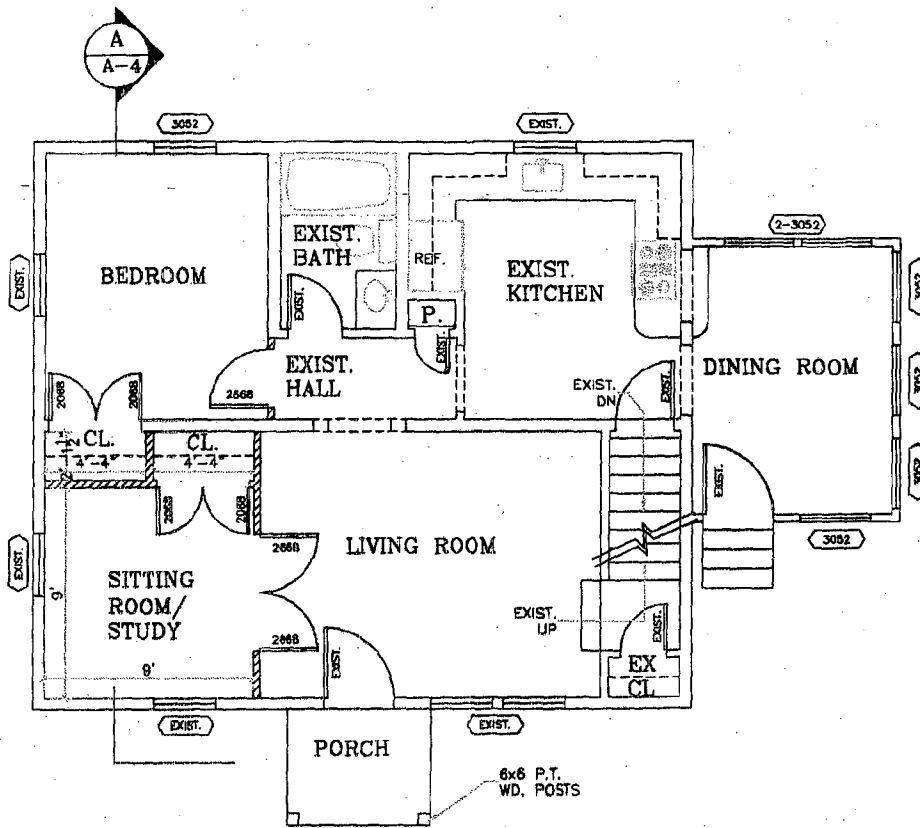
PROPOSED FRONT ELEVATION
 1/4"=1'-0"



PROPOSED RIGHT ELEVATION
 1/4"=1'-0"



PROPOSED REAR ELEVATION
 1/4"=1'-0"



PROPOSED EXTERIOR FINISHES / COLORS:

SIDING ON ALL SIDES - 5" HARDPLANK HORIZONTAL SIDING.
 COLOR: GLIDDEN - CHATHAM GREEN

TRIM - 1X3 WOOD PAINTED
 COLOR: GLIDDEN - TERRACE WHITE

FRONT DDOR - SOLID PAINT GRADE WOOD
 COLOR: GLIDDEN - NORTHWEST GREEN

ROOF FIBERGLAS SHINGLES - CERTAINEED (LANDMARK AR SERIES)
 COLOR: GRANITE GRAY

FOUNDATIDN WALL - PARGED CEMENT
 COLOR: GLIDDEN - CHATHAM GREEN

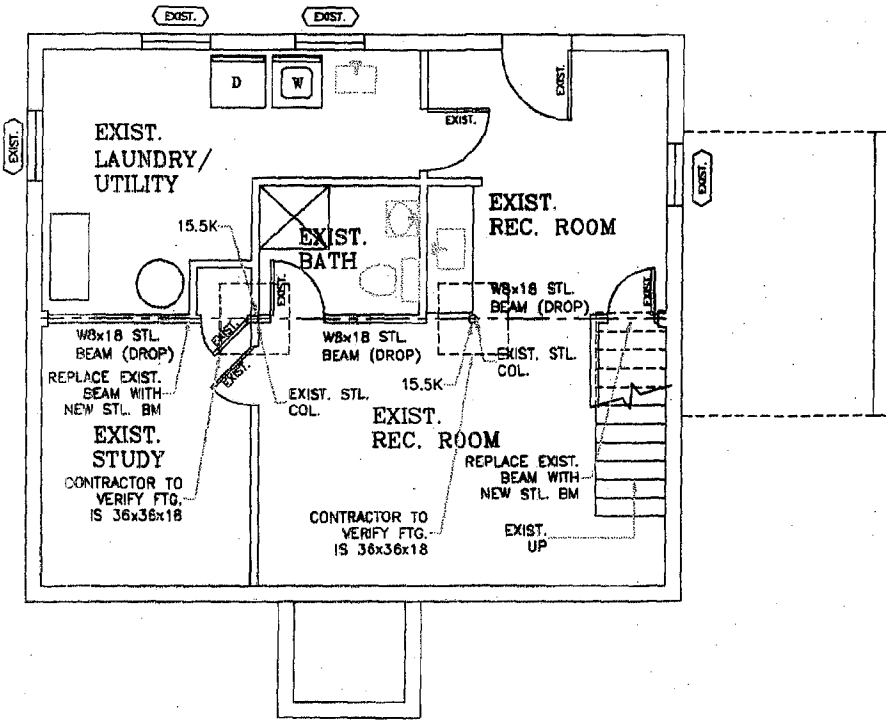
FRONT PORCH & STEPS - WOOD PAINTED
 COLOR: GLIDDEN - NORTHWEST GREEN

FRONT PORCH COLUMNS - WOOD PAINTED
 COLOR: GLIDDEN - TERRACE WHITE

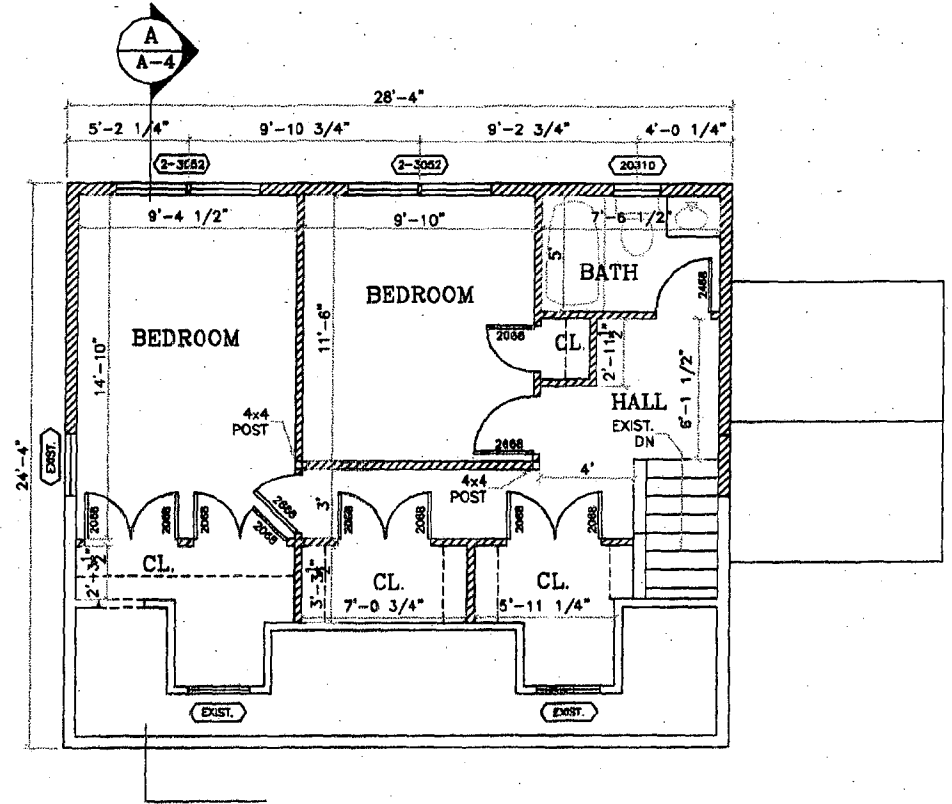
*Existing windows to remain.
 They will be repaired and
 painted white.*

PROPOSED FIRST FLOOR PLAN
 1/8"=1'-0"

7



EXISTING BASEMENT PLAN
1/8"=1'-0"



PROPOSED SECOND FLOOR PLAN
1/8"=1'-0"

1

HPC Meeting Transcript June 22, 2005

MS. O'MALLEY: Thank you. The next case that we'll hear is Case C, at 10001 Menlo Avenue.

MS. FOTHERGILL: We're working on getting some visuals, but I'll start with the staff report until we get them up. This is --

MS. O'MALLEY: Is your microphone on?

MS. FOTHERGILL: It is, sorry. This is a non-contributing resource in the Capital View Park Historic District. It is a one and a half story cape cod built in 1945. And the applicants are proposing substantial exterior alterations and modifications to the existing house, and then a new two story side addition on the right side of the rear, with a one car garage underneath.

There is an existing right side enclosed porch that they would remove to construct this addition. And the, they are proposed hearty plank horizontal siding on the front and left side of the existing house. They would remove the existing permastone siding, which, you'll see in a minute on the screen, but you can see in the photos, in your staff report, the, they, for the new addition in the back of the existing house, they're proposing hearty shingle siding.

And then they are proposing more of a bungalow design than the house has now, which you can also see in your staff report, and with wood columns on stone piers, and a stone foundation. And the, when staff met with the applicant about this property, at that time, they weren't sure if they, what they were going to propose, and staff discussed with them the importance of keeping the height of the roof the same as the existing house; that if they were going to enlarge it, use a design that would be appropriate to, you know, to not adversely affect the structure, even those this was a non-contributing resource.

And to, you know, maintain a low lot coverage and select materials that would be compatible with the other houses in the historic district. The, these, I'll now orient you. This is looking at the property; straight ahead to the right is Leafy Avenue and to the left is Menlo. And the house, you can

see the for sale sign; and that is the house tucked in those trees. This is the front of the house and there is that right side section that will be removed.

And then the right side rear addition would actually be set back further than that. And as you can see in your drawings, the front, I mean the house would be entirely redesigned; but it's actually keeping the same form of this massing, and the roof line is no higher, which staff really appreciates.

We stress the importance of not, you know, keeping this house to appear the same size. The, this is just going around the property. This is the rear, and that's that permastone siding that they'll be removing, and that is the site of this new addition. In this slide, you can see that the house next door does sit a little higher, so this new addition would be lower than that house.

And this is a view if you're coming on Leafy, of the back of the house. And the applicants, so the applicants took staff's suggestions and came back with this design, which has a 12 percent lot coverage, a 3 percent increase from what it's existing.

And the staff is recommending approval with a few conditions. One is a tree protection plan before construction begins. There, as you can see, there are some trees on the site and nearby, they need to be protected. And one condition is that, you know, the fully detailed permits would need to come back, including some more specific material specifications.

And staff has recommended materials for this project that weren't mentioned in this application, including wood siding, divided like windows, wood front steps to grade, and tongue and groove wood flooring for the new front porch floor. And the final condition that staff would recommend is, because it is a one car garage, that the garage would actually be a one car garage door and then there be a separate entry door for the storage area, rather than a garage door that appears to be for a two car garage. But you know, in general, staff is, feels that it meets the guidelines, and it's, would not adversely effect the historic district.

The Citizens Association wrote in a letter concurring with staff that they feel this, these alterations are, you know, compatible and appropriate for this. And the applicant is here, or if you have any questions for staff.

MS. O'MALLEY: Are there any questions for staff?

MS. ALDERSON: Is the applicant comfortable with the conditions, have you already spoken?

MS. FOTHERGILL: We have.

MS. O'MALLEY: I wanted to ask whether you had explored doing an addition similar to this in a cape cod style?

MS. FOTHERGILL: Let's bring the applicant up, I think they submitted five designs I believe, or four, and none were in the cape style.

MS. O'MALLEY: Would the applicant come up?

MS. NIELSON: Hi, my name is Teresa Nielson, I'll be speaking on behalf of my client, who is the applicant. I'll tell you, since you addressed the question about the cape cod?

MS. O'MALLEY: Yes, I just wondered, there was a comment by the citizen's association that talked about development in the community and how cape cods were part of that development, and I wondered if you had looked into that idea?

MS. NIELSON: Well, actually the, sort of the way the design progressed was when our architect had met with the Historic Preservation office. The Historic Preservation kind of gave them some direction, and one of the directions was a bungalow style, so that's what, that's what we decided to proceed with. We actually didn't realize that the neighborhood association had a preference to the cape cods, we were just following the direction of the Historic Preservation Office.

MS. FOTHERGILL: I haven't had a chance, do you agree with the conditions of approval?

MS. NIELSON: Yes, yes we do.

MS. O'MALLEY: Are there other questions? I guess there was one comment from the citizen's group, also about the overhang on the dormer. They weren't sure, they couldn't tell from the drawings what --

MS. NIELSON: You mean how large they are? And you know, I'm not sure how large they are either. With our drawings, there's no actual dimensions labeled on those, on those dormers. But we can adjust those so that they'll be --

MS. O'MALLEY: With staff approval?

MS. NIELSON: Yes, exactly.

MS. O'MALLEY: Where appropriate. And also, the tree protection, you're okay with working on that? That's a very difficult issue we've seen other problems recently where nobody really monitors what goes on with the trees during construction. And fences get moved --

MS. NIELSON: Right, we've, well, we've spoken to the architect. The architect didn't perceive any large trees being disturbed at all by the addition.

MS. O'MALLEY: It's getting on and off the lot, you know, and stacking materials --

MS. NIELSON: Right.

MS. O'MALLEY: -- and dumpsters. But it becomes an issue. So just be aware of that issue foreseen. Any other questions? Is there a motion?

MS. ALDERSON: I make a motion that we approve Case 31/075E, at 10001 Menlo Avenue, on meeting the staff, the four staff conditions described in the report.

MS. NIELSON: Thank you.

MR. FULLER: Second.

MS. O'MALLEY: All in favor, raise your right hand? That's a unanimous approval and thank you for working with staff and coming in with a design that does fit with the community.



**CAPITOL VIEW PARK
CITIZEN'S ASSOCIATION**

SILVER SPRING, MARYLAND 20910

Historic Preservation Commission

**June 22, 2005
Case # 31/07-05E**

The Historic Review Committee of the Capitol View Park Citizens Association and the President of the Citizens Association have reviewed the proposal for alterations and an addition to the existing capecod at 10001 Menlo Avenue.

Members of the Committee agree with the staff report that the stone piers for the columns in the front of the house should be straightened to simplify the lines as the applicants proposal appears to be too heavy in proportion to the house and pillars. The roofline over the windows on the second story of the addition needs to be clarified as to the amount of overhang. We are also concerned that tree protection should be in place to protect existing major trees.

The Committee has discussed the possibility of new owners asking to tear down houses in the Community which are significant to the history of the progression of housing styles in Capitol View Park. This progression was a key element in the establishing of this Historic District and includes the Cape Cod style houses built after World War II.

**Linda Winter, President
Capitol View Park Citizens Association**

**Carol Ireland, Co-chair
Duncan Tebow Co-chair
Capitol View Park Citizens Association
Historic Review Committee**

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10001 Menlo Avenue, Silver Spring	Meeting Date:	06/22/05
Applicant:	Jose Guzman Maltez	Report Date:	06/15/05
Resource:	Non-Contributing Resource	Public Notice:	06/08/05
Review:	HAWP	Tax Credit:	None
Case Number:	31/07-05E	Staff:	Anne Fothergill

PROPOSAL: Alterations and addition to house

RECOMMEND: Approval with conditions

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application with the following conditions:

- 1) A tree protection plan will be submitted to staff, and tree protection measures will be in place before construction begins.
- 2) The applicant will submit scaled, dimensioned, and fully detailed drawings including material specifications for stamping by staff before submitting a building permit application to DPS.
- 3) The applicant will use the specific building materials recommended in the staff report.
- 4) The applicant will work with the HPC staff to select a compatible one-car garage door and entry door.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource, Capitol View Park Historic District
STYLE: 1 ½ story Cape
DATE: 1945

PROPOSAL

The applicant is proposing exterior alterations and modifications to the existing house and a new two-story side addition on the right side at the rear with a one-car garage underneath. They are proposing to remove the existing right side enclosed porch. See proposed site plan, floor plans, and elevations in Circles 8-15.

The specific materials proposed are:

- Asphalt shingle roof on entire house
- Hardiplank horizontal siding on front and left side of existing house (remove the existing Permastone siding)
- 5" Hardishingle siding for new addition and back of existing house
- *Wood simulated divided light windows
- Wood trim
- Stone veneer foundation
- Wood columns on stone piers
- *Wood front steps to grade
- *Tongue-and-groove wood flooring for front porch floor

**these materials were not specified but they are the recommended materials for this house*

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10001 Menlo is on the edge of the historic district—see map in Circle 7. It is a corner property that sits across from a retirement home and a short distance from a row of new construction on Leafy Avenue. The house next door to it sits slightly higher than this house because of the grade change. Included in this staff report are photos of the house and also photos of the site as seen from Leafy (the back and left side of the house).

As this is a Non-Contributing Resource to the district, the applicant has a fair amount of flexibility what they can do with this property so long as it is compatible with the streetscape and the historic district. Staff met with the applicant and agents a number of times to discuss the possibilities for this site. At one point the applicant was considering demolition of this Non-Contributing Resource and building a new house on the lot. Then the applicant showed staff a number of different house possibilities involving changes to the existing house. Staff stressed the importance of keeping the height of the roof the same as the existing house, enlarging the house with a design that would be appropriate, maintaining a low amount of lot coverage, and selecting materials that would be compatible with the other houses in the historic district.

The applicant has selected a compatible siding material that is approvable for a Non-Contributing Resource—Hardiplank and Hardishingles—and a design that is appropriate for this historic district. The bungalow style is found in this district and would work well as a visual transition between the smaller Menlo Avenue houses and the larger Leafy Avenue houses.

The proposed side addition is to be built in place of the existing side porch and extends behind it. By breaking up the massing and keeping the roofline lower than the existing house, the house with the added section should not appear large or overwhelming for this block. The proposed one-car garage connects to an existing driveway and curb cut off of Leafy Avenue. While the garage is designed only for one car it has some extra room for storage. Staff would recommend that the applicants select a different garage door designed for a one-car garage and then select a separate, wood entrance door. Staff can work with the applicant on appropriate garage door selection.

The lot is approximately 8,400 SF and is triangular-shaped with the long side on Leafy Avenue. The existing lot coverage is approximately 9% and with the new addition the lot coverage would be approximately 12 %. Both the proposed footprint and the lot coverage are acceptable within the historic district.

Staff would recommend that the stone piers under the columns be straight, not angled as shown. While not recommended as a condition of approval, staff can work with the applicant's architect on this detail at a later date. Additionally, the plans don't specify front porch flooring but the appropriate material would be a wood tongue-and-groove front porch floor with two wood steps to grade. As can be seen in Circle one, staff recommended a few specific materials for this project that were not listed in the submission.

While the submitted plans do not show dimensions for the overall height of the house, the architect has stated that the existing house's height remains the same, and the plans do show a lower roofline for the addition. The final permit set of plans will need to reflect the exact heights of the different sections of the house.

There is a large tree right next to this house on the rear left side. While it is not located in the site of the

proposed addition, its root system could be adversely affected by any construction and staff is recommending the standard tree protection condition of approval.

Staff recommends approval with four conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application **with the conditions listed on page one of this report** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

AP 385733

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JOSE GUZMAN MALTEZ

Daytime Phone No.: 240.832.5607

Tax Account No.:

Name of Property Owner: JOSE GUZMAN MALTEZ Daytime Phone No.: 240.832.5607

Address: 6320 BALTIMORE AVE UNIVERSITY PARK MD 20872
Street Number City Street Zip Code

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 10001 Street: MENLO AVE
Town/City: SILVER SPRING MD 20910 Nearest Cross Street: LEAFY
Lot: 12 Block: Subdivision: CAPITOL VIEW PARK
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

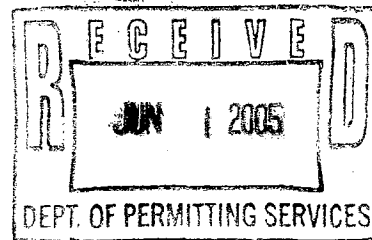
1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 200,000.00

1C. If this is a revision of a previously approved active permit, see Permit #



PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

6.1.05
Date

Approved: 385733 For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

EET 28E 7A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

NON CONTRIBUTING STRUCTURE -
SMALL CAPE COD W/ FORMSTONE EXTERIOR
AND PORCH (ENCLOSED) ADDITION

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADDITION TO THE REAR OF EXISTING HOUSE
WILL CHANGE FACADE TO BUNGALOW STYLE
HOPE TO BE MUCH MORE ATTRACTIVE THAN
EXISTING STRUCTURE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- HISTORIC PRES. ALREADY IN POSSESSION

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

EET 28E

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

JOSE GUZMAN MADRIZ
6320 BALTIMORE AVE
UNIVERSITY PARK MD
20872

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

10001 MENLO



Notice:
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All maps features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.
Copyright ©1998

Casual User Application



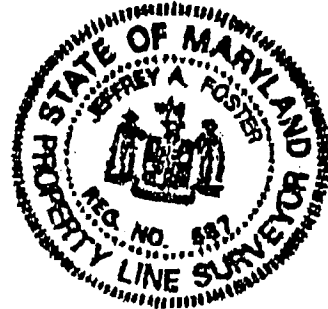
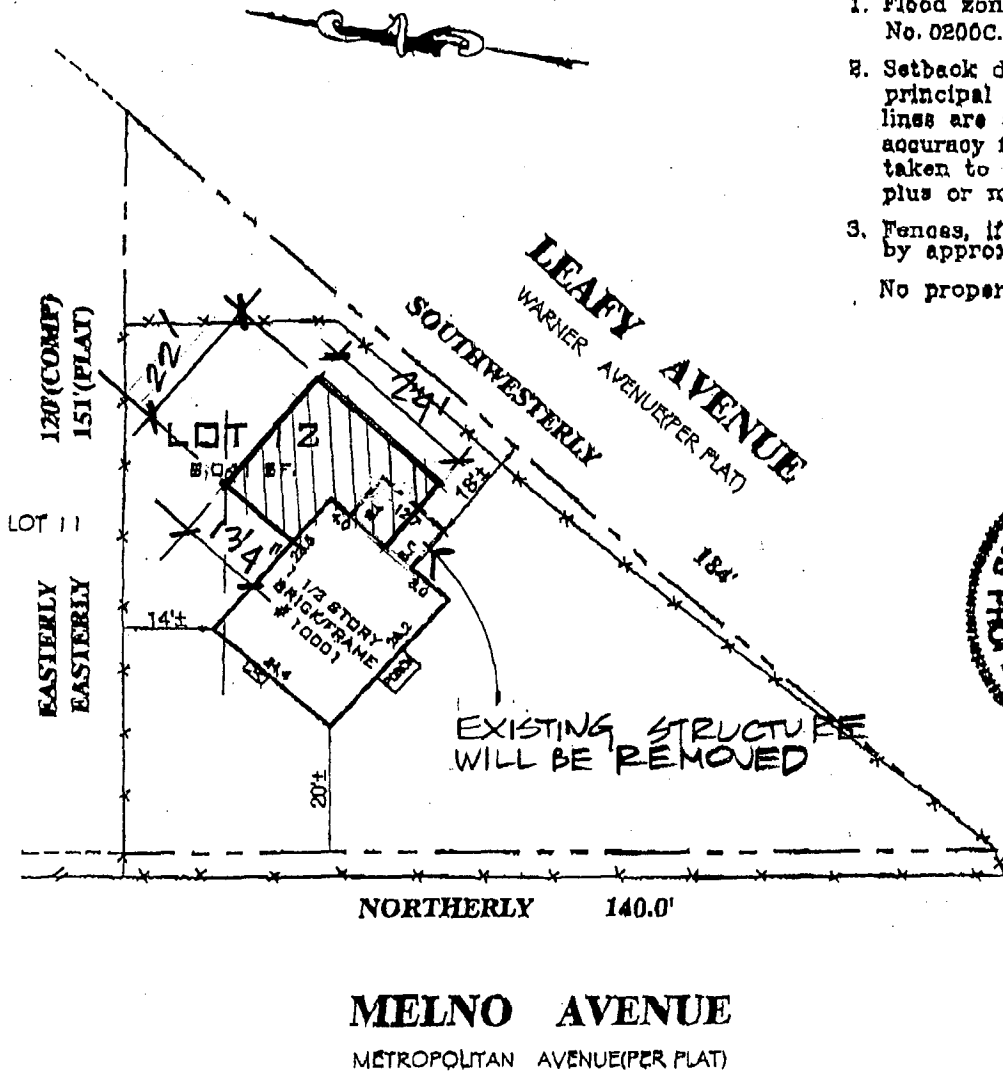
MONTOOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

CONSUMER INFORMATION NOTES:


1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

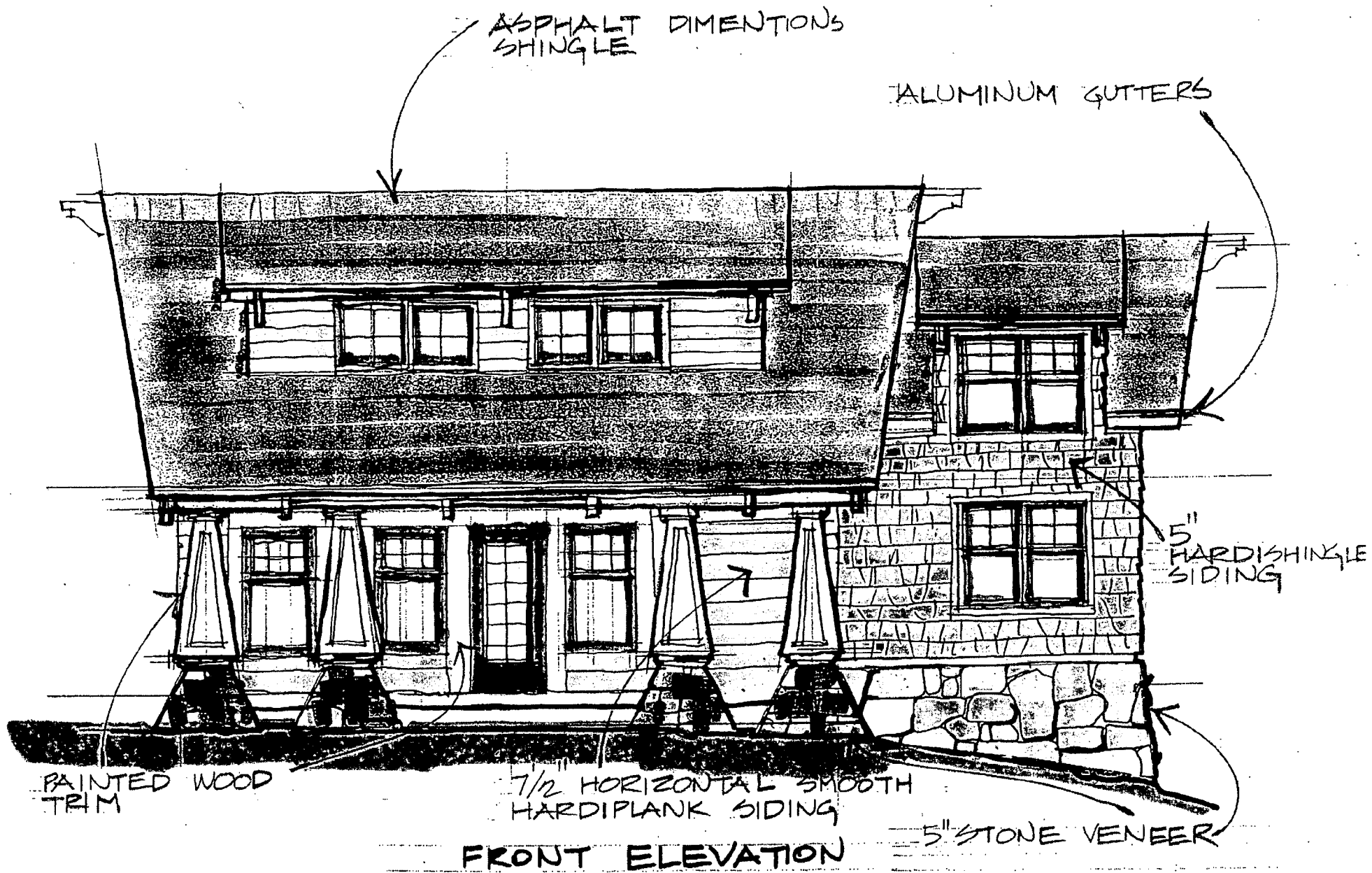
Notes

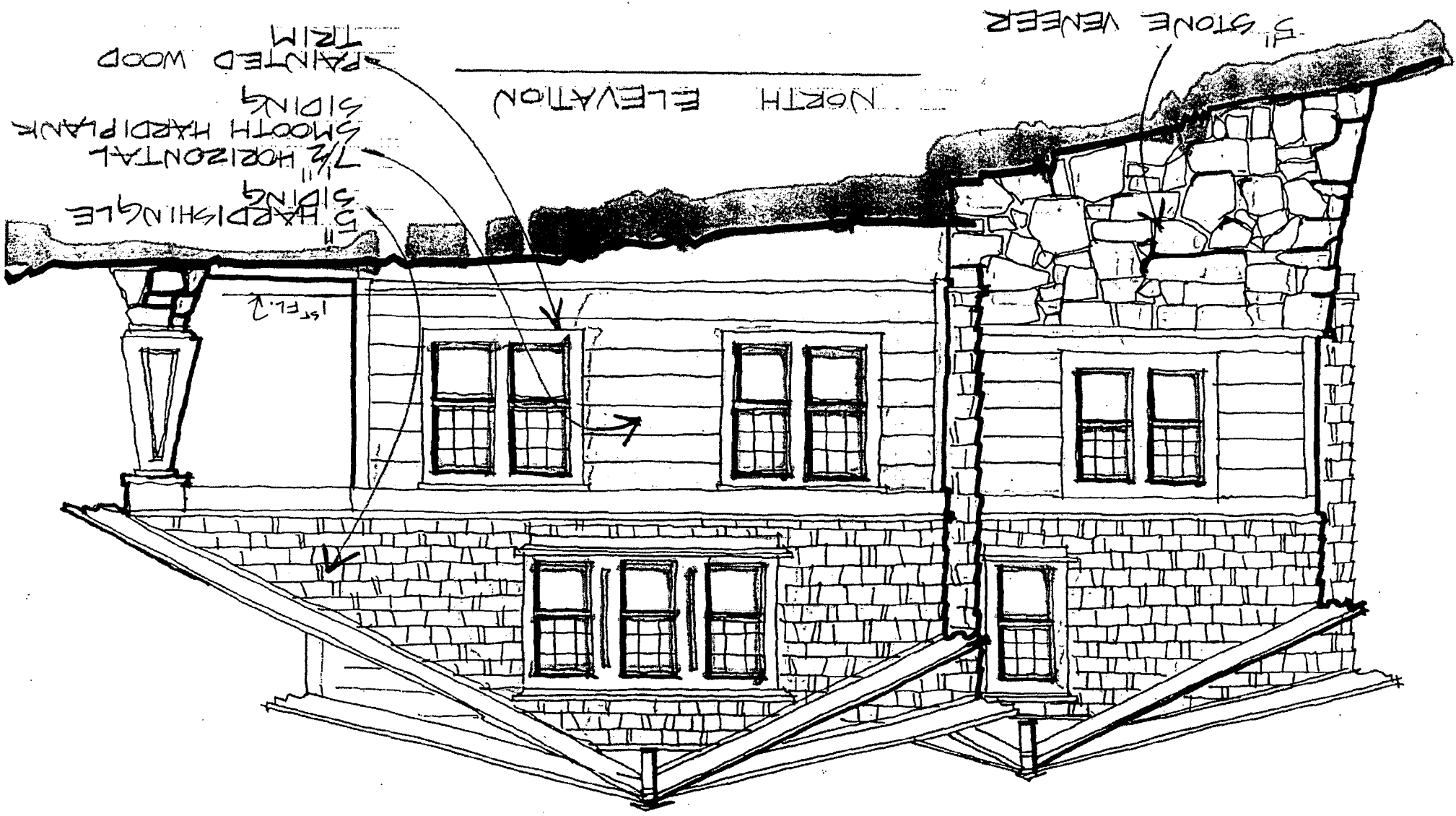
1. Flood zone "C" per H.U.D. panel No. 0200C.
 2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 10 Feet.
 3. Fences, if shown, have been located by approximate methods.
- No property corners found.



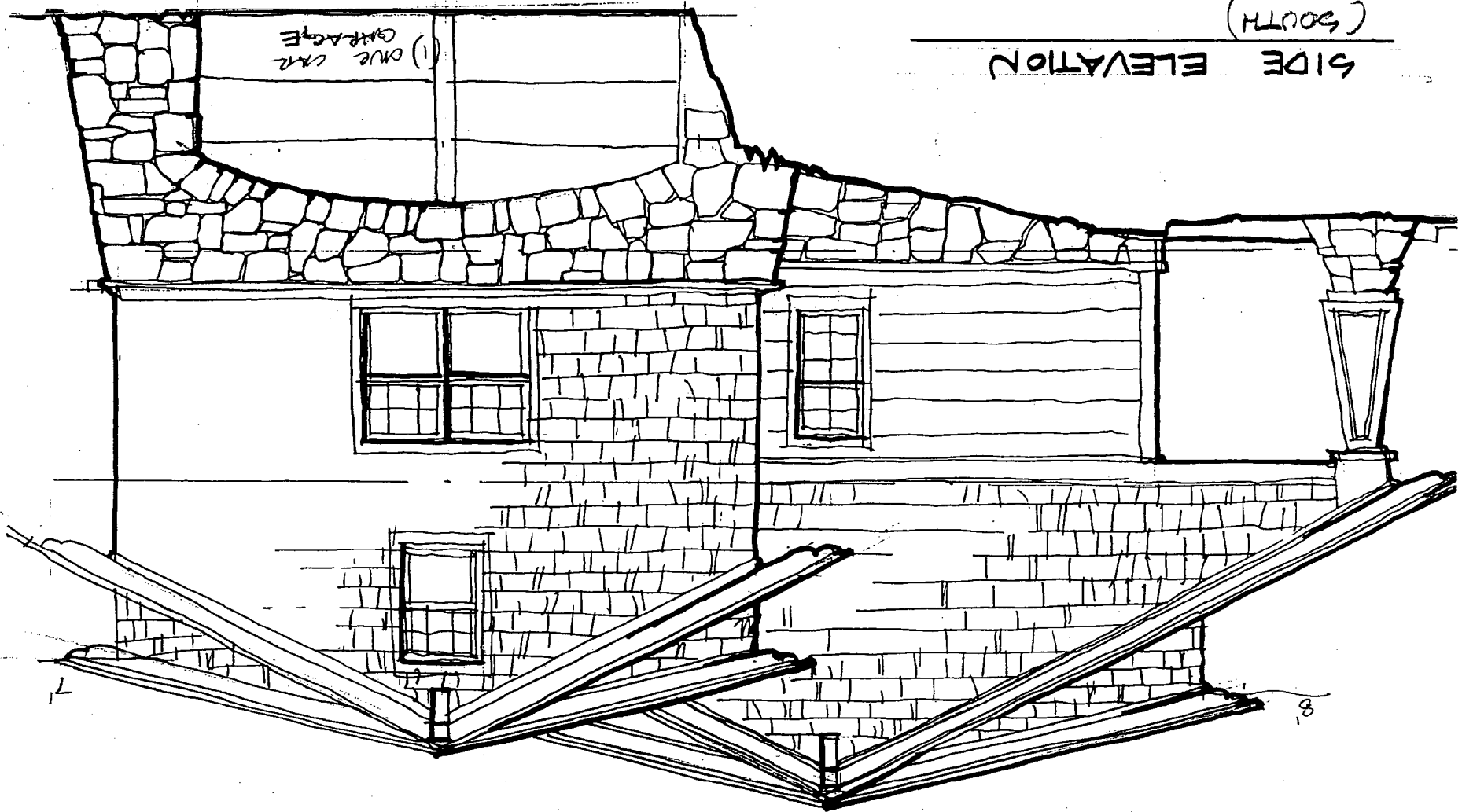
LOCATION DRAWING
LOT 12, BLOCK 33
CAPITOL VIEW PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 897	REFERENCES PLAT BK. A PLAT NO. 8	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 8 Professional Drive, Suite 216 Gaithersburg, Maryland 20878 301/948-6100, Fax 301/948-1288	DATE OF LOCATIONS: _____ WALL CHECK: _____ HSE. LOC.: 05-10-2005	SCALE: 1" = 30' DRAWN BY: F.A. JOB NO.: 8005-3111
	LIBER FOLIO		MARYLAND PROPERTY LINE SURVEYOR REG. NO. 897	



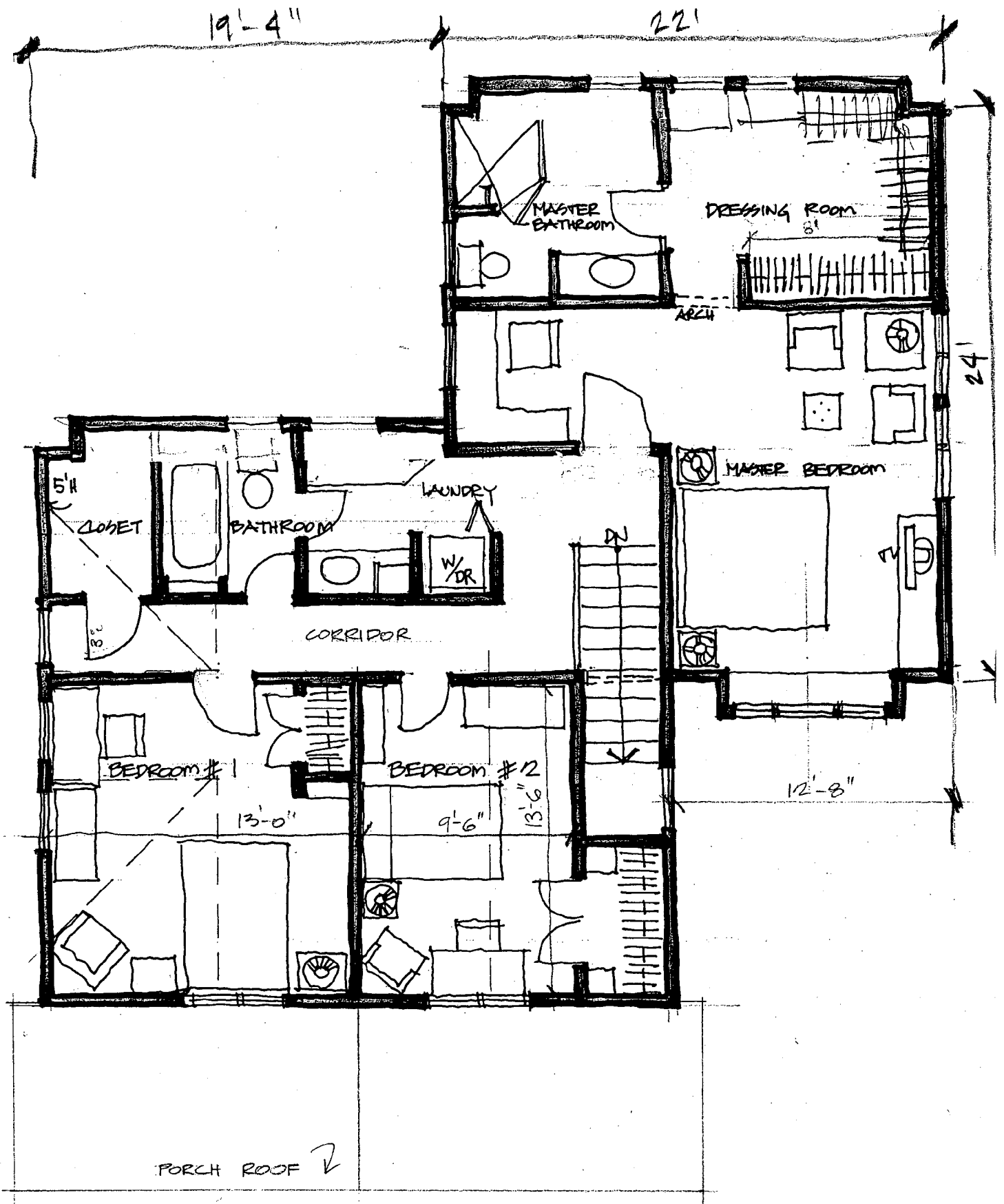


SIDE ELEVATION
(SOUTH)





REAR ELEVATION

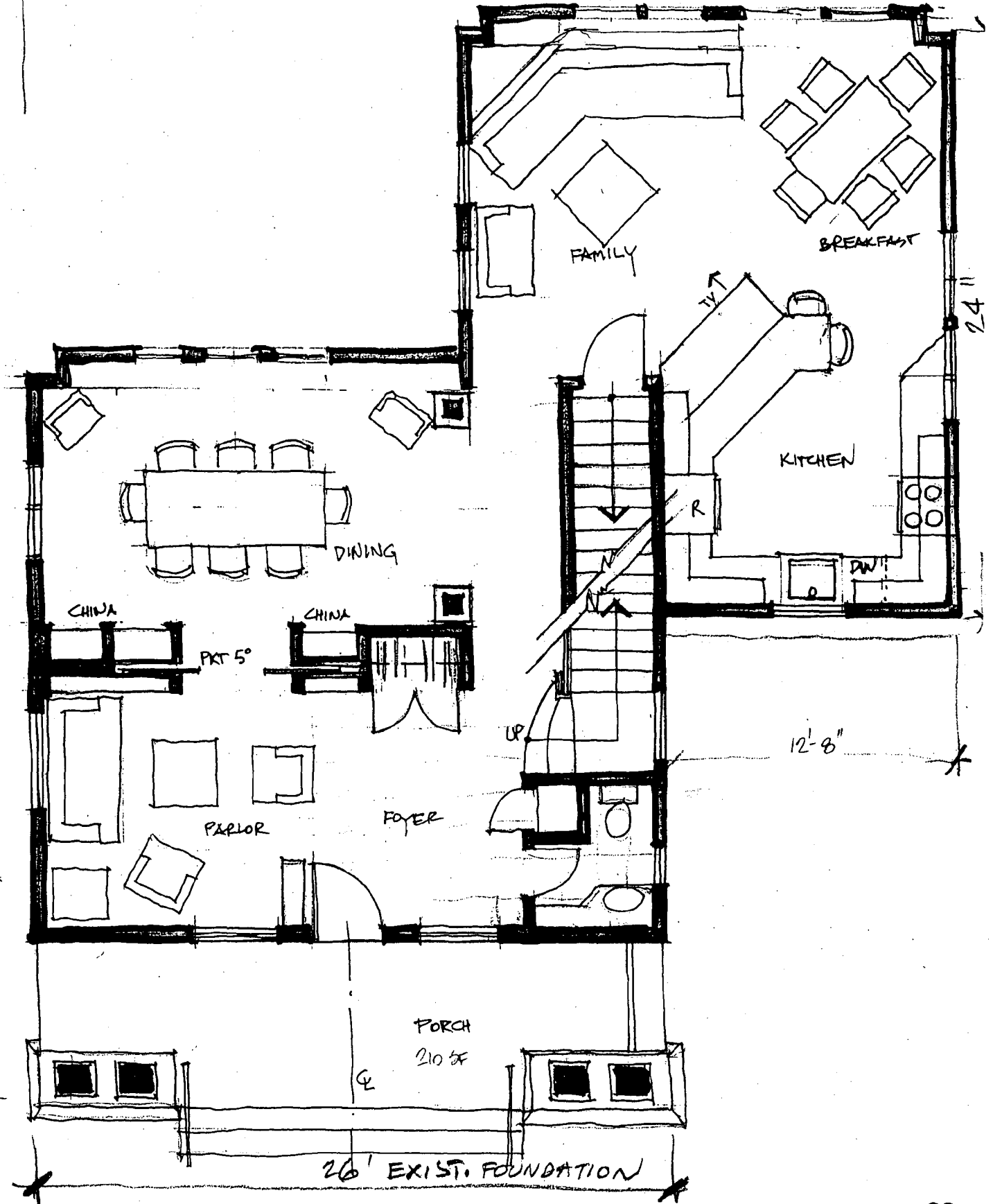


SECOND FLOOR PLAN

19'-4"

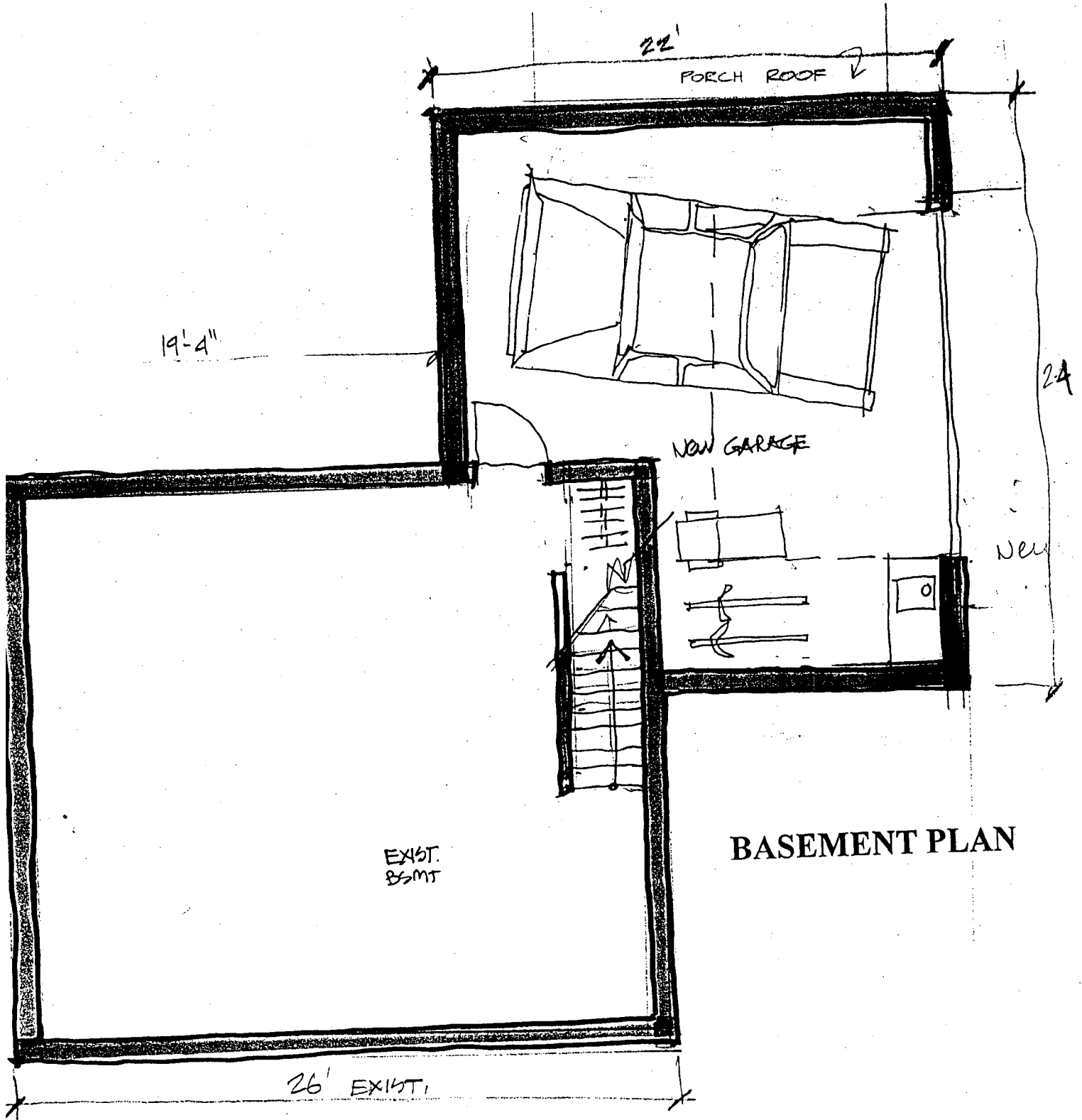
22'

24'-3"
EXIST. FOUNDATION



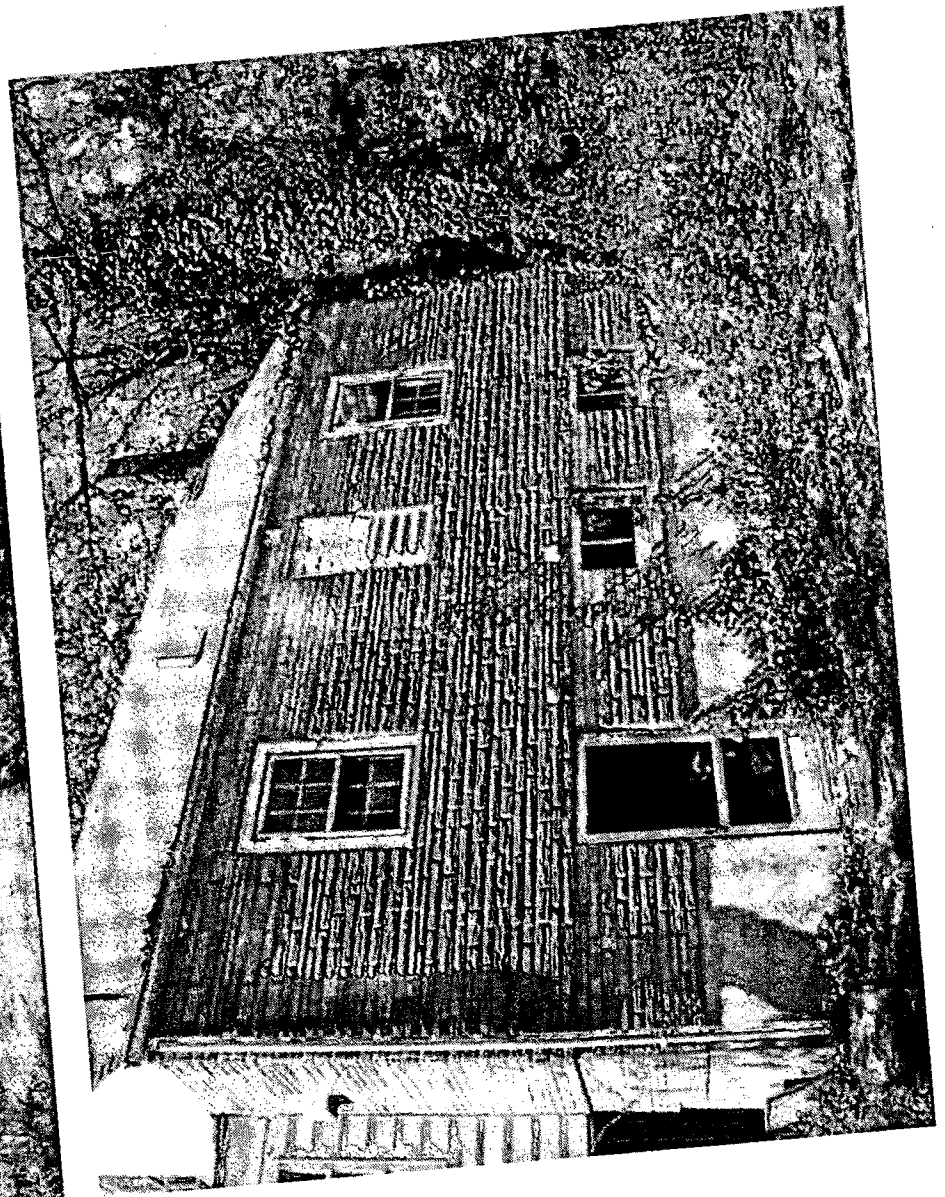
26' EXIST. FOUNDATION

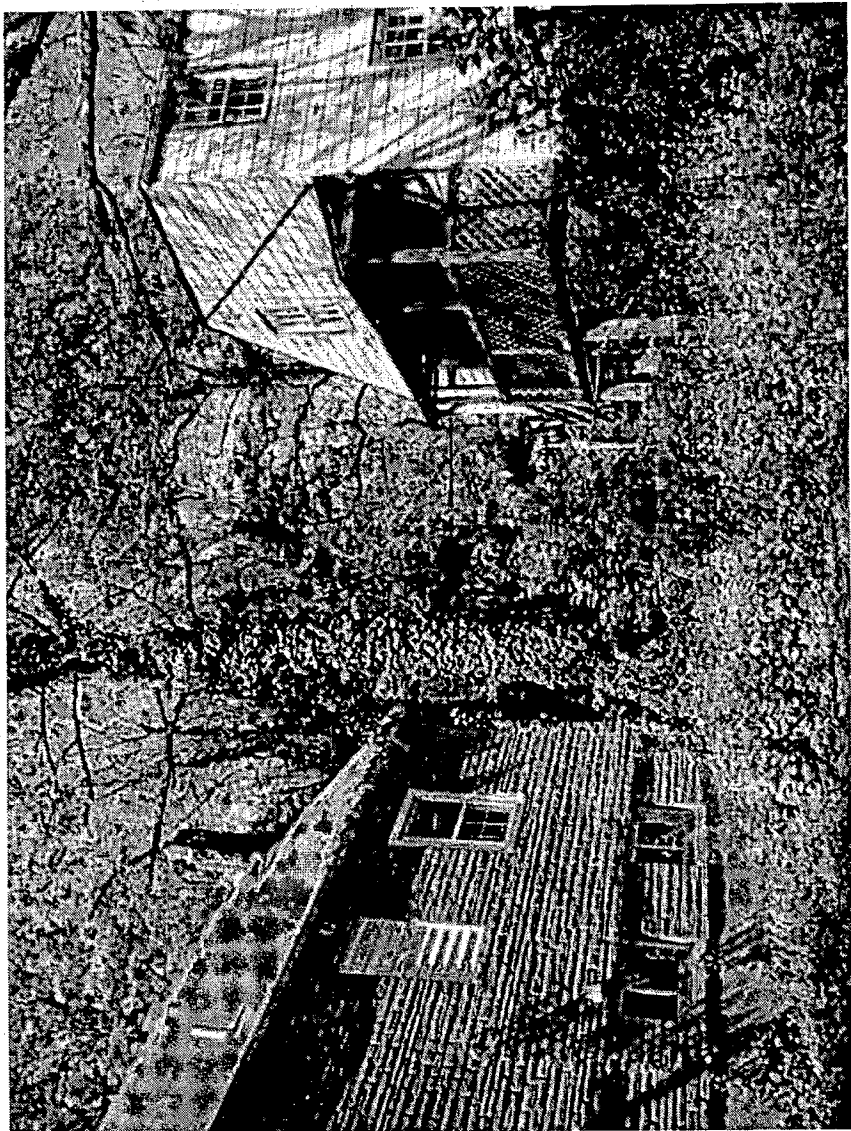
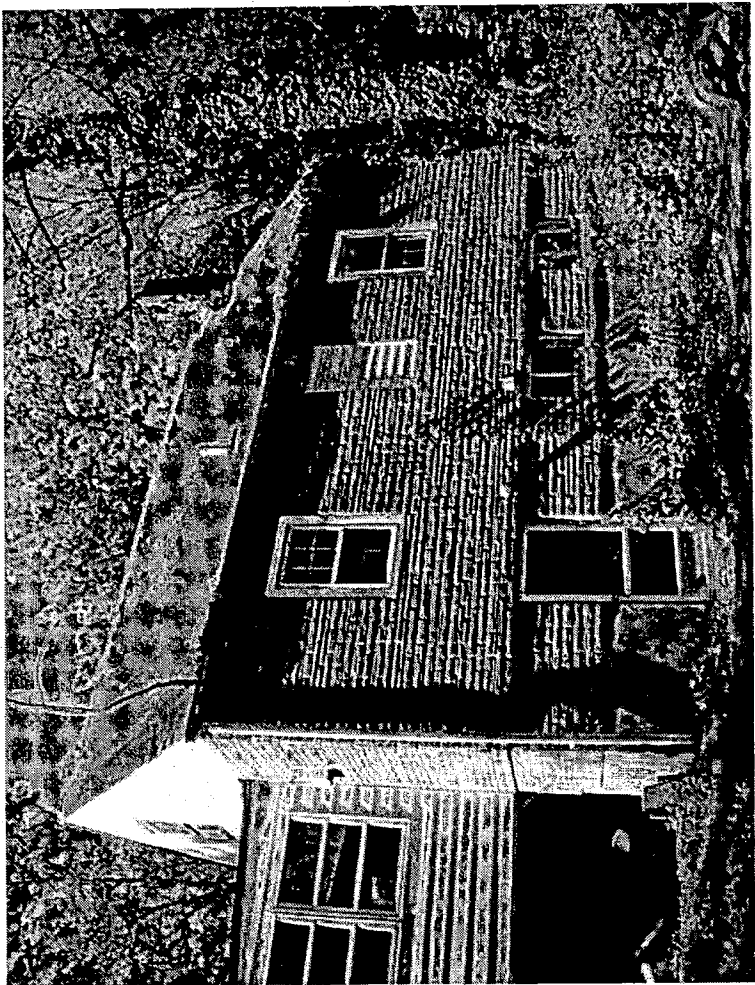
FIRST FLOOR PLAN



BASEMENT PLAN

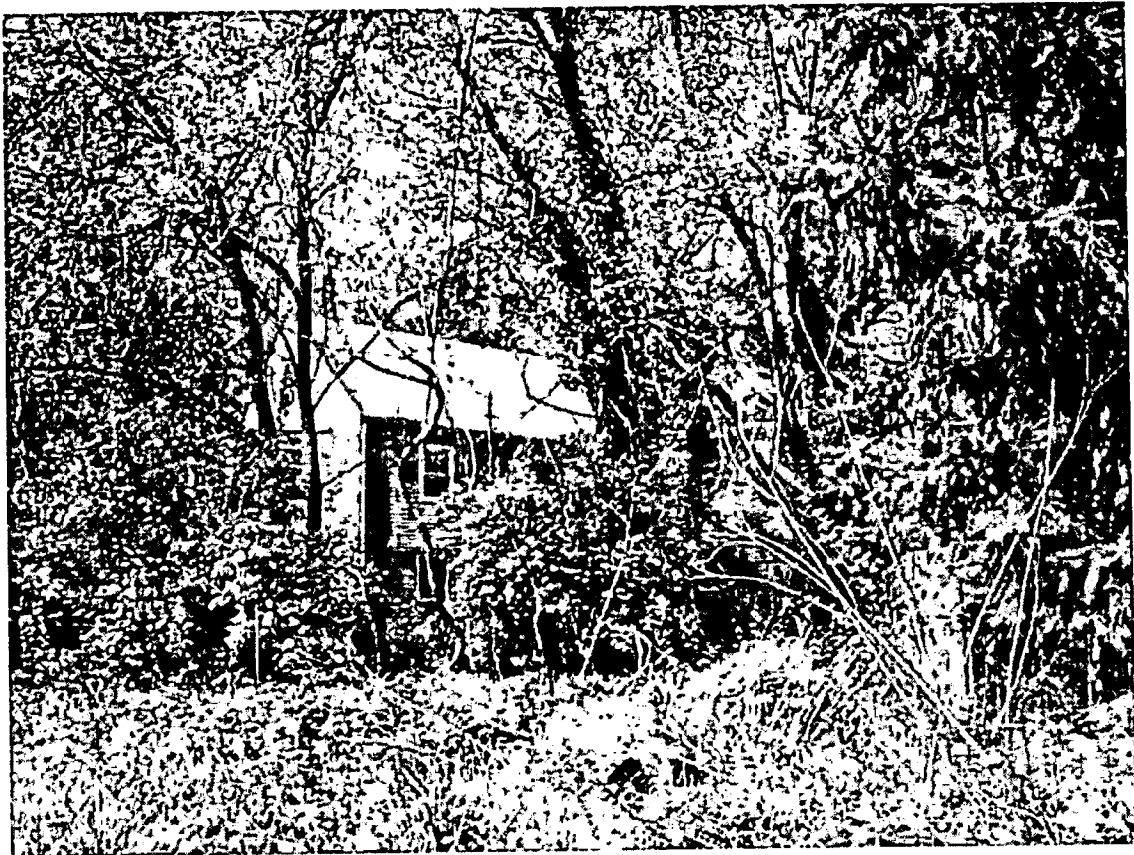








looking towards house (at left)
(memo on left, leafy straight ahead)



view from leafy

Click here for a plain text ADA compliant screen.

	Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search Ground Rent
---	--	--

Account Identifier: District - 13 Account Number - 00996006

Owner Information

Owner Name:	MARTIN, CLYDE D & L B	Use:	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	C/O C MARTIN VIDEO 406 HINSDALE LN SILVER SPRING MD 20901-3815	Deed Reference:	1) / 2307/ 223 2)

Location & Structure Information

Premises Address	Legal Description
10005 MENLO AVE SILVER SPRING 20910	CAP VIEW PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No: Plat Ref:
HP53				5		33	11	1	
Special Tax Areas				Town Ad Valorem Tax Class	38				
Primary Structure Built			Enclosed Area		Property Land Area			County Use	
1945			1,176 SF		8,002.00 SF			111	
Stories		Basement		Type			Exterior		
1 1/2		YES		STANDARD UNIT			FRAME		

Value Information

	Base Value	Value Phase-in Assessments		
		As Of 01/01/2004	As Of 07/01/2004	As Of 07/01/2005
Land:	62,000	124,000		
Improvements:	108,140	162,160		
Total:	170,140	286,160	208,813	247,486
Preferential Land:	0	0	0	0

Transfer Information

Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:


Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

21

Click here for a plain text ADA compliant screen.

 Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search Ground Rent
--	--

Account Identifier: District - 13 Account Number - 00997307

Owner Information

Owner Name:	NEWMAN, LEONARD E ET AL	Use:	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	10007 MENLO AVE SILVER SPRING MD 20910-1055	Deed Reference:	1) /19591/ 751 2)

Location & Structure Information

Premises Address	Legal Description
10007 MENLO AVE SILVER SPRING 20910-1055	CAPITOL VIEW PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	9
HP53				5		33	10	1		Plat Ref:

Special Tax Areas	Town Ad Valorem Tax Class	38
-------------------	---------------------------------	----

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1945	1,176 SF	8,975.00 SF	111

Stories	Basement	Type	Exterior
1 1/2	YES	STANDARD UNIT	FRAME

Value Information

	Base Value	Value As Of 01/01/2004	Phase-in Assessments	
			As Of 07/01/2004	As Of 07/01/2005
Land:	62,970	125,950		
Improvements:	137,820	183,720		
Total:	200,790	309,670	237,083	273,376
Preferential Land:	0	0	0	0

Transfer Information

Seller: FERDIG, MICHAEL T & Type: IMPROVED ARMS-LENGTH	Date: 08/24/2001 Deed1: /19591/ 751	Price: \$275,000 Deed2:
Seller: WENDY L MILLER Type: IMPROVED ARMS-LENGTH	Date: 10/17/1997 Deed1: /15235/ 689	Price: \$168,000 Deed2:
Seller: NICHOLAS J ALLEN & Type: MULT ACCTS ARMS-LENGTH	Date: 07/15/1993 Deed1: /11574/ 500	Price: \$0 Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

22

Click here for a plain text ADA compliant screen.

Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search Ground Rent
--	--

Account Identifier: District - 13 **Account Number -** 00997433

Owner Information

Owner Name:	RYAN, LAURIE M	Use:	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	10008 MENLO AVE SILVER SPRING MD 20910-1054	Deed Reference:	1) /24250/ 516 2)

Location & Structure Information

Premises Address	Legal Description
10008 MENLO AVE SILVER SPRING 20910-1054	CAPITOL VIEW PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No:	9
HP62				5		32	P15	1		Plat Ref:

Special Tax Areas	Town	Ad Valorem	Tax Class	38
-------------------	------	------------	-----------	----

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1948	1,414 SF	7,300.00 SF	111

Stories	Basement	Type	Exterior
1	NO	STANDARD UNIT	STUCCO

Value Information

	Base Value	Phase-in Assessments		
		Value As Of 01/01/2004	As Of 07/01/2004	As Of 07/01/2005
Land:	61,300	122,600		
Improvements:	71,120	146,520		
Total:	132,420	269,120	177,986	223,552
Preferential Land:	0	0	0	0

Transfer Information

Seller: WOODARD, TORY W & P J	Date: 06/20/2003	Price: \$303,000
Type: IMPROVED ARMS-LENGTH	Deed1: /24250/ 516	Deed2:
Seller: REBECCA J ROHRER ET AL	Date: 01/07/1999	Price: \$132,420
Type: IMPROVED ARMS-LENGTH	Deed1: /16644/ 350	Deed2:
Seller: JOYCE M MAURICE	Date: 03/30/1995	Price: \$135,000
Type: IMPROVED ARMS-LENGTH	Deed1: /13322/ 10	Deed2:


Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

23

Click here for a plain text ADA compliant screen.

 Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search Ground Rent
--	--

Account Identifier: District - 13 **Account Number -** 00997375

Owner Information

Owner Name:	KARAS, JUDITH KELLY & WILLIAM M	Use:	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	10009 MENLO AVE SILVER SPRING MD 20910-1055	Deed Reference:	1) 2)

Location & Structure Information

Premises Address	Legal Description
10009 MENLO AVE SILVER SPRING 20910-1055	CAPITOL VIEW PARK

Map	Grid	Parcel	Sub District	Subdivision	Section	Block	Lot	Assesment Area	Plat No: Plat Ref:
HP62				5		33	9	1	
Special Tax Areas				Town Ad Valorem Tax Class					
				38					
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1945			1,008 SF		10,000.00 SF		111		
Stories		Basement		Type			Exterior		
1 1/2		YES		STANDARD UNIT			FRAME		

Value Information

	Base Value	Phase-in Assessments		
		Value As Of 01/01/2004	As Of 07/01/2004	As Of 07/01/2005
Land:	63,500	127,000		
Improvements:	82,050	123,020		
Total:	145,550	250,020	180,373	215,196
Preferential Land:	0	0	0	0

Transfer Information

Seller: MCLOON, JOHN M & D M	Date: 03/10/2005	Price: \$330,000
Type: IMPROVED ARMS-LENGTH	Deed1:	Deed2:
Seller:	Date: 02/06/1976	Price: \$31,000
Type: IMPROVED ARMS-LENGTH	Deed1: / 4745/ 96	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2004	07/01/2005
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

24

ASPHALT DIMENTIONS
SHINGLE

ALUMINUM GUTTERS

5" HARD SHINGLE
SIDING

5" STONE VENEER

7/2 HORIZONTAL SMOOTH
HARD PLANK SIDING

FRONT ELEVATION

PAINTED WOOD
TRIM





NORTH ELEVATION

5" STONE VENEER

- 5" HARD SHINGLE SIDING
- 7 1/2" HORIZONTAL SMOOTH HARDIPLANK SIDING
- PAINTED WOOD TRIM














Date: June 23, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator 
Historic Preservation

SUBJECT: Historic Area Work Permit #_385733_

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITIONS:**

- 1) A tree protection plan will be submitted to staff, and tree protection measures will be in place before construction begins.
- 2) The applicant will submit scaled, dimensioned, and fully detailed drawings including material specifications for stamping by staff before submitting a building permit application to DPS.
- 3) The applicant will use the specific building materials recommended in the staff report.
- 4) The applicant will work with the HPC staff to select a compatible one-car garage door and entry door.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jose Guzman Maltez

Address: 10001 Menlo Avenue, Silver Spring, MD 20910

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

EE128E 7A

WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:
NON CONTRIBUTING STRUCTURE -
SMALL CAPE COD W/ FORMSTONE EXTERIOR
AND PORCH (ENCLOSED) ADDITION

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
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WILL CHANGE FACADE TO BUNGALOW STYLE
HOPE TO BE MUCH MORE ATTRACTIVE THAN
EXISTING STRUCTURE

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- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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5. PHOTOGRAPHS

- HISTORIC PRES. ALREADY IN POSSESSION

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

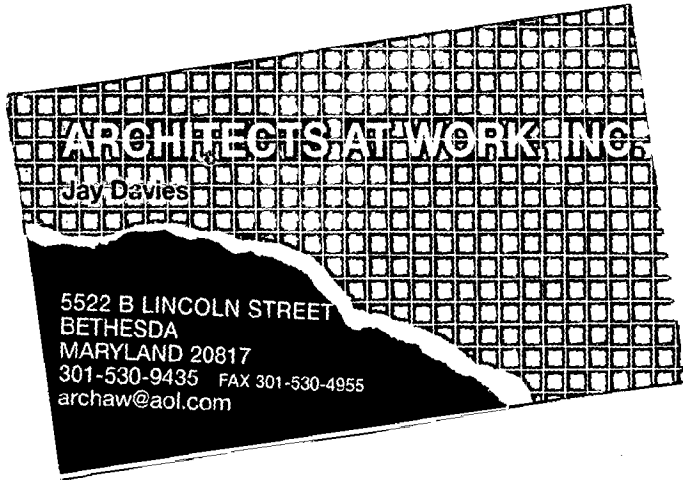
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EE128E



ARCHITECTS AT WORK, INC.

Jay Davies

5522 B LINCOLN STREET
BETHESDA
MARYLAND 20817
301-530-9435 FAX 301-530-4955
archaw@aol.com



1966

07

63

45

45

45

45

45

54

72

05

60

48

35

33

10001
mento ave.