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# MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

3102 Lee Street, Silver Spring

Meeting Date: 10/28/2009

Resource:

Non-Contributing Resource

**Report Date:** 10/21/2009

Capitol View Park Historic District

**Public Notice:** 10/14/2009

Applicant:

Perry Degener & Auysha Muhayya

Tax Credit:

None

Review:

**HAWP** 

Staff:

Josh Silver

**Case Number: 31/07-09E** 

**PROPOSAL:** One-story rear addition

### STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

# **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Non-Contributing Resource within the Capitol View Park Historic District

STYLE:

Cape Cod

DATE:

1938

# **PROPOSAL**

The applicants are proposing to construct an approximately 12' x 25', one-story addition at the rear of the house. The proposed work includes the removal of an existing landing and stairs from the rear elevation and construction of a new landing and stairs on the left side elevation. The proposed landing and stairs will connect to an existing open-style porch.

Material treatments for the proposed alterations include fiber cement siding, fiberglass shingles, wooden double-hung windows, wooden doors, synthetic decking and wooden railings.

#### APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

#### Montgomery County Code; Chapter 24A

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
  - (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

# Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

# **STAFF DISCUSSION**

Staff supports the proposed addition at the subject property. The proposed work is consistent with Chapter 24A-8(b) (1) & (2) and Standards #9 & 10.

The proposed rear addition will not substantially alter the exterior features of the subject property. The proposed work is compatible in character and nature with the historic massing and site context. The proposed material treatments are appropriate for a rear addition to a non-contributing resource. Staff is recommending that the HPC approve the HAWP application.

The proposed work is also consistent with *The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland.* 

### **Basic Principles for an Addition**

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

# 18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

# **STAFF RECOMMENDATION**

Staff recommends that the Commission <u>approve</u> the HAWP application as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the

staff person assigned to this application at 301.563.3400 or <u>joshua.silver@mncppc-mc.org</u> to schedule a follow-up site visit.



Edit 6/21/99

RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240:777-6370

DPS - #8

# HISTORIC PRESERVATION COMMISSION 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: Mark Kramer, A.I. A
	Daytime Phone No.: 301-652-5700
Tax Account No.: 00995877	· · · · · · · · · · · · · · · · · · ·
Name of Property Owner: PERRY DEGENER & A	UYSHA MUHAYYA 301-588-468/
Address: 3/02 LEE STREET, SILVE	R SPRING, MD- 20910-1051
Contractor: Not Selected @ this T	Spring MD - 20910 - 1051 Steet Zip Code Phone No.:
Contractor Registration No	
Agent for Owner: KRAMER ARCH ITECTS, INC.	2 - Daytime Phone No.: 301-652-5700
Attn = Mark Kramer LOCATION OF BUILDING/PREMISE	
House Number: 3/0 Z  Town/City: 5/LVER 5RR/NG Nearest Cross Lot: 2/ Block: 23 Subdivision: CA	Street LEE STREET
Town/City: S/LVER SRRING Nearest Cross	Street: CAPITAL VIEW AVENUE
Lot: 21 Block: 23 Subdivision: CA	PITAL VIEW PARK
Liber: Folio: Parcel:	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CHECK ALL APPLICABLE:	CK ALL APPLICABLE:
☐ Construct 🕱 Extend ☐ Alter/Renovate ☐	A/C 🗆 Slab 🔀 Room Addition 🗀 Porch 🔀 Deck 🗆 Shed
☐ Move ☐ Install ☐ Wreck/Raze ☐	Solar
☐ Revision ☐ Repair ☐ Revocable ☐	Fence/Wall (complete Section 4)
1B. Construction cost estimate: \$ 25,000	
1C. If this is a revision of a previously approved active permit, see Permit # $\_$	· · · · · · · · · · · · · · · · · · ·
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/	ADDITIONS
2A. Type of sewage disposal: 01 🕱 WSSC 02 □ Sep	tic 03 🗆 Other:
2B. Type of water supply: 01 💢 WSSC 02 🗆 Well	03
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightfeetinches	
3B. Indicate whether the fence or retaining wall is to be constructed on one	of the following locations:
☐ On party line/property_line ☐ Entirely on land of owner	On public right of way/easement
I hereby certify that I have the authority to make the foregoing application, t approved by all agencies listed/and I hereby acknowledge and accept this t	hat the application is correct, and that the construction will comply with plans
	,
Han Hillames mark Kin	amer <u>9/29/09</u>
Signature of owner or authorized agent	, Date
Approved:Fi	or Chairperson, Historic Preservation Commission
Disapproved: Signature:	Date:
Application/Permit No.: 502363	Oate Filed: 130 75 Date Issued:

**SEE REVERSE SIDE FOR INSTRUCTIONS** 

(5)

# THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

	Description of existing structure(s) and environmental setting, including their historical features and significance:  Brick building structure, cape cod style.
	The existing building is a two-story structure
	w/ full waik-out basement level.
	Control of the second by historic property of the ample and parting and palace and parting district
<b>D</b> .	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:  The project 1's to add a one level family room at the
r	rear of the existing residence with an open space below
	the proposed addition. The siding will be Hardy Plank conci
l	with a 7" exposure to match existing. The windows are
Ü	louble hung Andersen to motch existing style- The color or
7	the addition will be white.
SI	TEPLAN
Sit	te and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
a.	the scale, north arrow, and date;
b.	dimensions of all existing and proposed structures; and
C.	site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
_	LANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

1. WRITTEN DESCRIPTION OF PROJECT

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

2.

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

# 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS



# KRAMER ARCHITECTS INC.

7960-D Old Georgetown Road, Bethesda, MD 20814 301/652-5700 • FAX 301/913-9254

PROJECT: <u>RESIDENCE RENOVATION & ADDITION PROJECT</u> 3102 LEE STREET, SILVER SPRING, MD.

# **ADJOINING/CONFRONTING HOME OWNERS:**

- Ryan Watts
   3104 Lee Street, Silver Spring, MD. 20910
   Lot 20, Block 23, Capital View Park
- Janice Rodgers
   10106 Capital View Avenue, Silver Spring, MD. 20910
   Lot 22, Block 23, Capital View Park
- Charles Richie
   3107 Lee Street, Silver Spring, MD. 20910
   Lot part of 22, Block 20, Capital View Park

# PROPOSED BUILDING MATERIALS:

Roofing: Use Certainteed fiberglass shingles to match the existing residence at the two side sections of the addition which are visible. Use black raised seam metal roof at the lower sloped roof structure not visible from the two sides.

Siding: Use a white painted Hardy Plank concrete siding material with a 7 inch exposure at the addition to match the existing siding.

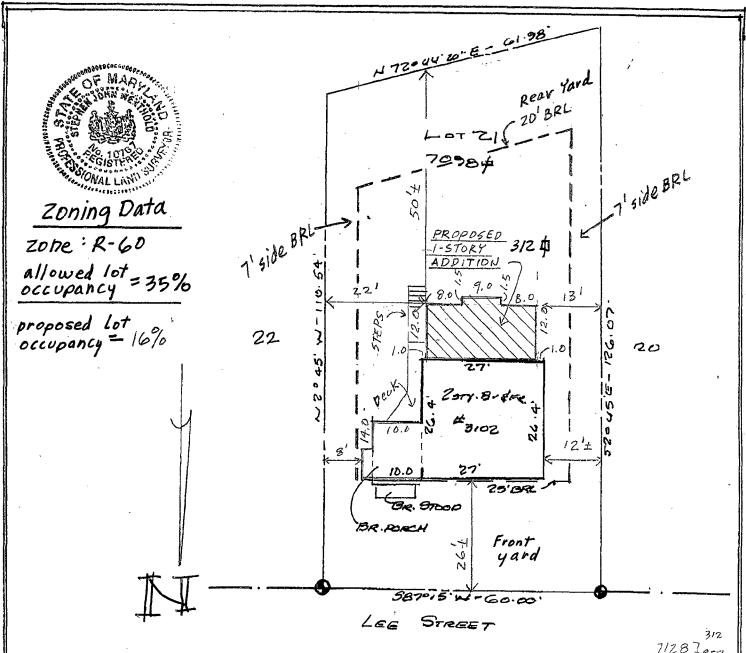
Windows: Use an Andersen double hung window to match the style and and color of the existing residence windows.

Doors: Use a half-lite side door unit with a nine lite pattern at the glass. Lower half of the door to be ptd. panel.

Support: Use brick columns covering steel columns.

Deck Railing: Use painted white pickets to match the existing railing Decking: Use Trex material in a dark brown color.





No evidence of property corners was found. Apparent occupation is shown.

Date:

03-13-02

Scale: 1'= 20' Drn: 5J w

Plat Book: Plat No .:

1059

NO TITLE REPORT FURNISHED

Work Order: Address:

02-1787

District:

3102 LEE STREET

Jurisdiction: MONTGOMERY COUNTY, MD

**LOCATION DRAWING** 

**LOT 21 BLOCK 23** 

CAPITAL VIEW PARK

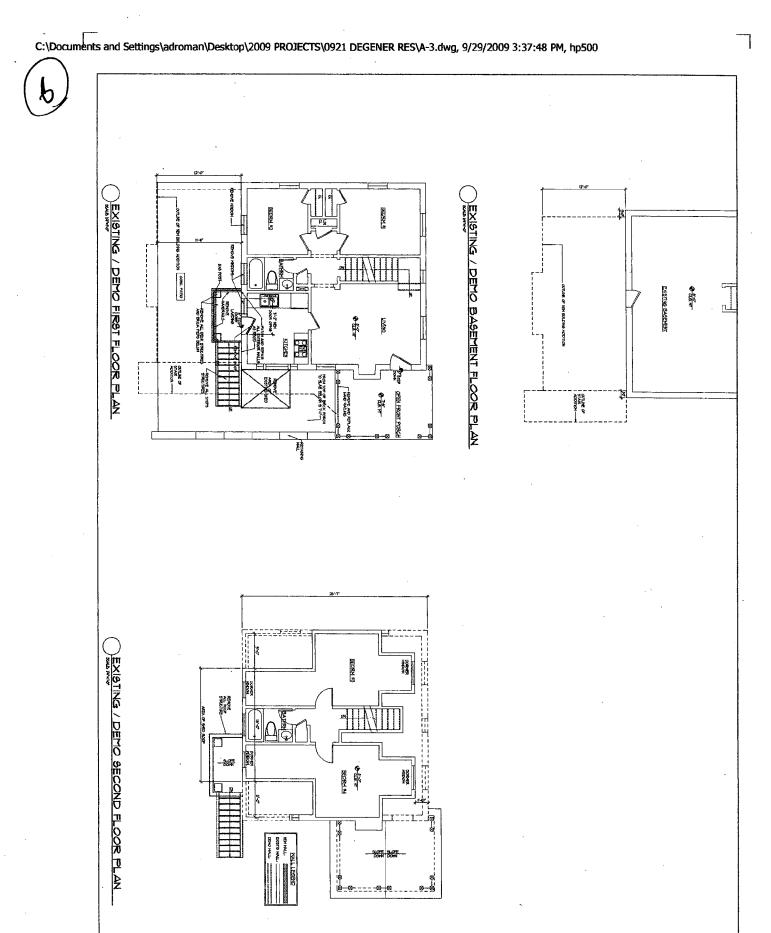
NOTE: This plat is of benefit to a consumer only insofar as it is required by a tender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, It has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.



Meridian Surveys, Inc. 811 Russell Avenue Suite #303 Gaithersburg, MD 20879 (301) 721-9400



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Project Nariber
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SHEET TITLE: EXISTING / DEMO FLOOR PLANS

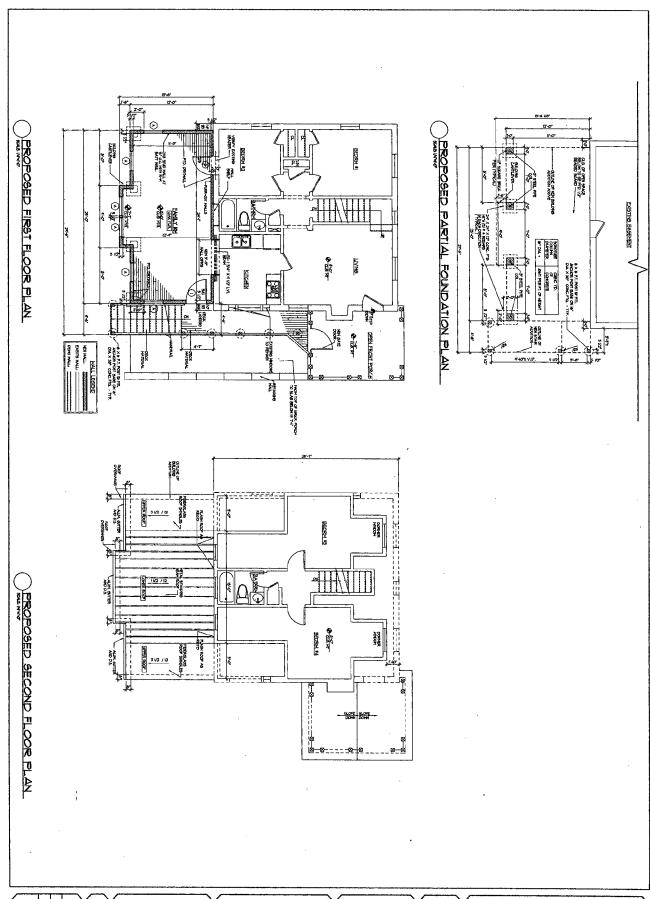
PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE 51REET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY









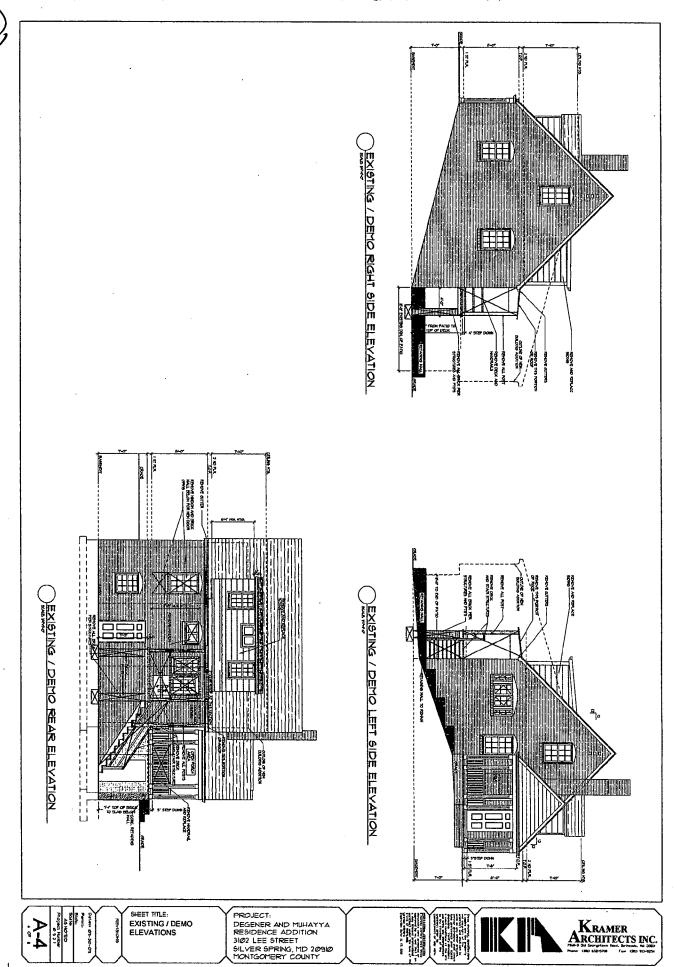


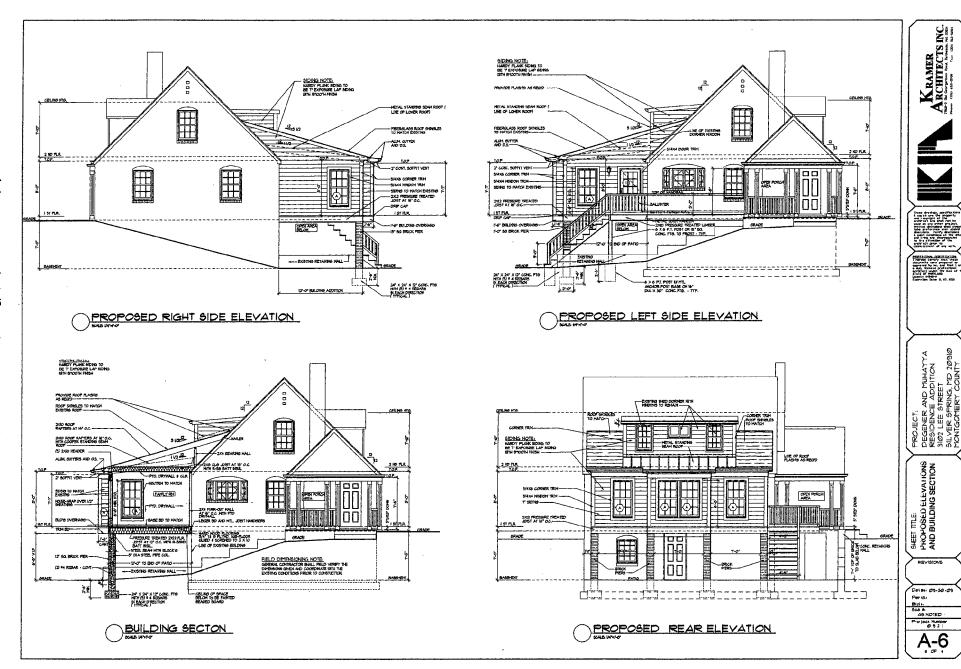
SHEET TITLE: PROPOSED FLOOR PLANS PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3/02 LEE STREET
SILVER SPRING, MD 203/0
MONTGOMERY COUNTY





KRAMER ARCHITECTS INC. 784-9 036 Georgetten Fast, Induses, N. 2014 Proner (201) 632-3700 Fast (201) 103-493.







3102 Lee Street, Silver Spring Capitol View Park Historic District





KRAMER ARCHITECTS, INC. 7960-D Old Georgetown Rd Bethesda, MD 20814 (301) 652-5700 FAX (301) 913-9254



SIDE AND REAR ELEVATION FROM REAR OF EXISTING



FRONT ELEVATION OF EXISTING RESIDENCE FROM FRONT YARD



FRONT ELEVATION OF EXISTING RESIDENCE @ EXISTING PORCH









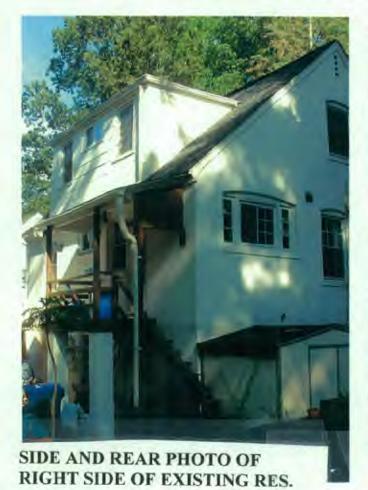
REAR LEFT SIDE OF RESIDENCE FROM BACKYARD

FRONT ELEVATION OF EXISTING RESIDENCE @ EXISTING PORCH











REAR LEFT SIDE OF RESIDENCE FROM BACKYARD



KRAMER ARCHITECTS, INC. 7960-D Old Georgetown Rd Bethesda, MD 20814 (301) 652-5700 FAX (301) 913-9254



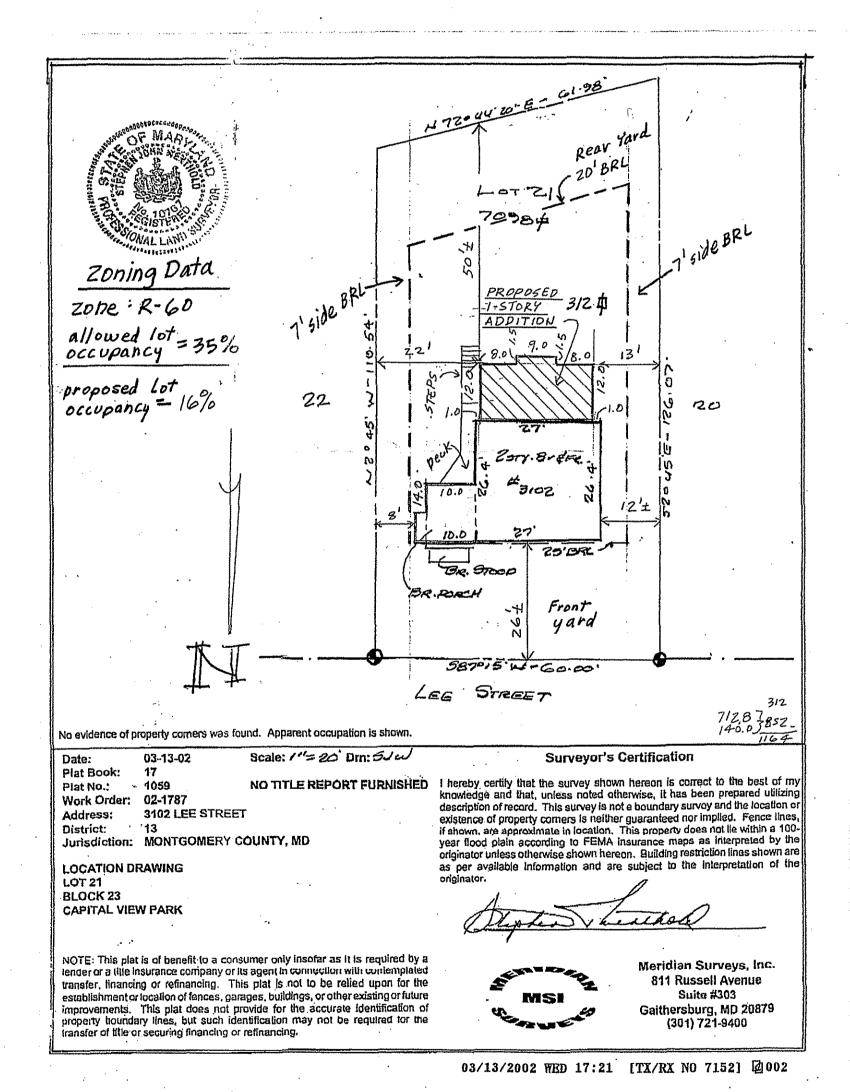
SIDE AND REAR ELEVATION FROM REAR OF EXISTING



FRONT ELEVATION OF EXISTING RESIDENCE FROM FRONT YARD

3102 LEE STREET, SILVER SPRING, MARYLAND 20910

SITE PLAN



PROPOSED BUILDING ADDITION

GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

. All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2006 IRC.

2. Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect

3. Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing service. And provide the panel to satisfy all load regulrements for any new construction as designated on plans.

4. Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project. 5. Electrical subcontractor to review drawings and bring any questions related to

specifications to the attention of the Architect. 6. The General Contractor shall obtain permits required for construction, unless other wise

THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.

7. The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials All debris at the construction site shall be periodically removed from the site at intervals ad as not to create a site hazard or create a visual hazard to the Owner.

8. General Contractor shall be licensed in the Montgomery County and State of Maryland shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland laws require.

9. The General Contractor shall provide competent daily supervision of the project. 10. The General Contractor shall carry Workman's Compensation insurance in full force

during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance and Property Damage Insurance of \$ 500,000 to \$750,000. minimum. The owner can amend these requirements if specified on the

II. All drawings, specifications and copies furnished by the Architect are the documents, for construction of the project only and shall not be used in any other circumstance.

12. The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.

13. The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and shall quarantee no mechanic liens against such project at completion.

14. The Contract Sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the Work under the Contract Documents. A Change Order is written by the General Contractor and Signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract Sum and be accepted by the Owner before it is part of the contract.

15. Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.

16. The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.

THE PROCEEDING UNLESS AMENDED WITH APPROVAL OF THE OWNER IS TO BE CONSIDERED ALONG WITH THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS.

CONTRACTOR (Date) (Date)

MISS UTILITY INSPECTION NOTE: CALL 'MISS UTILITY' TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAYATION WITH THE EXISTING

PORTA-TOILET FACILITY FOR PROJECT: GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE IT'S LOCATION WITH THE OWNER MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

TABLE R3015

# PROJECT DATA

THE DEGENER AND MUHAYYA RESIDENCE BUILDING ADDITION 3102 LEE STREET, SILVER SPRING, MD 20910

BLOCK 23

PLAT. NO. PLAT, BOOK No.

**ZONE:** R-60

LOT SIZE = 7,098 SQ. FT.

SET BACKS: FRONT: 0' REAR: OO' SIDE: OO'

MAX, HEIGHT:

MAX. LOT COVERAGE :

# INDEX OF DRAWINGS

COVER SHEET, SITE PLAN, CONSTRUCTION NOTES # DRAWING INDEX

A-2 SPECIFICATIONS

A-3 EXISTING / DEMO FLOOR PLANS

A-4 EXISTING / DEMO ELEVATIONS 1-5 PROPOSED FLOOR PLANS

A-6 PROPOSED ELEVATIONS AND BUILDING SECTION

S-I FLOOR AND ROOF FRAMING PLANS

E-I FIRST FLOOR ELECTRICAL FLOOR PLAN

IBUILDING CODE: INT'L RESIDENTIAL CODE 2006

#### LIST OF ABBREVIATIONS SYMBOL LEGEND ANCHOR BOLT FLOOR FOUNDATION OVERHANG ABOVE FINISH FLOOR ADJACENT FIRE RATED **OPERATOR** AHU. AIR HANDELER UNIT FIREPLACE OPENING OUNCE DETAIL SECTION ALUM. ANCH. ALUMINUM ANCHOR ANGLE PARTICLE BOARD ARCH ARCHITECTURAL GALV. GALVANIZED GC. GENERAL CONTRACTOR GEN. GENERAL GYP. BD GYPSUM BOARD PERFERATED PLATE PLYWOOD PWD./PLYWD BD. BLDG. BM BTM BLK'G BR'G BSMT POUNDS PER SQ. IN POUNDS PER SQ.FT. PRESSURE TREATED BLOCKING BEARING BASEMENT REF. REQU HARDWOOD REFER TO REFERENCE REINFORCING.REINFORCED ELEVATION TAG HORIZONTAL, HORIZONTALL CONTROL JOINT- SAUCUT REQUIRED CENTER LINE CONCRETE MASONRY UNIT MI CONTINUE HEADER HOSE BIB ROUGH OPENING COLUMN CONCRETE CONDITION CONTINUOUS GRAVEL FILL ONE ROD SAWCUT SHELF SHEET SIMILAR INTERIOR INSIDE CORNER CONSTRUCTION COUNTERSUNK SHLF SHT. SM. FIBERGLASS BATT INSULATION CASED OPENING CANTILEYER JOINT CONCRETE MASONRY UNITS. CERAMIC TILE STAINLESS STEEL LIGHTWEIGHT CEILING STRUCTURAL SUSPENSION SLIDING GLASS DOOR ONE SHELF STRUCT. SUSP. DIA RUSSIL BRICK OR STONE VENEER DIAMETER DOOR DRAWING DOWNSPOUT LAUNDRY TUB HISTORY OF THE POPULATION OF T CONCRETE (SOLID:POURED) TOP OF TOP OF FOUNDATION WALL MATERIAL MAXIMUM MECHANICAL DETAIL TYPICAL TREAD TRIPLE EAJEZY ELLEZ EQUP. EXT. EXT. EXPANSION JOINT ELECTRICAL ELEVATION MASONRY OPENING UNLESS NOTED OTHERWISE VERTICAL VERIFY IN FIELD EQUAL EQUIPMENT EXPANSION EXTERIOR EACH END VERT. NOT IN CONTRACT NOT TO SCALE WASHER WITH WELDED WIRE FABRIC WALKOUT MINDOM

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS ( IN POUNDS PER SQUARE FOOT )				
USE	LIVE LOAD			
ATTICS WITH STORAGE <sup>D</sup>	20			
ATTICS WITHOUT STORAGE	lø			
DECKS <sup>e</sup>	40			
EXTERIOR BALCONIES	60			
FIRE ESCAPES	40			
GUARDRAILS AND HANDRAILS	200			
GUARDRAILS IN-FILL COMPONENTS	50			
PASSENGER VEHICLE GARAGES <sup>a</sup>	50			
ROOMS OTHER THAN SLEEPING ROOMS	40			
SLEEPING ROOMS	30			

RESIDENTIAL CODE NOTES = RCN I. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE ( IRC ), 2003 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-04. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301.2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

		RESIDEN	ITIAL CONSTRUCT	ION DESIGN F	PARAMETERS						
GROUND SHOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE EROM			WINTER DESIGN TEMP.	ICE SHIELD UNDER LAYMENT REQ'D	FLOOR HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	,				
30 PSF	90 MPH	В	SEVERE	24 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	1	YES	JULY 2, 1979	300	55° F

# INTERNATIONAL BUILDING CODE DATA 2006 IRC

FOR SI: I POUND PER SQUARE FOOT: 0.0497 KN/M 2, I SQUARE INCH: 645 mm2, I POUND- 4.45N

ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.

B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS

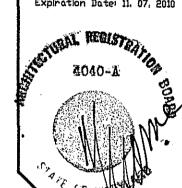
C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

D. A SINGLE CONCENTRATED LAOD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. SEE SECTION R 502. 2. I FOR DECKS ATTACHED TO EXTERIOR WALLS

GUARD IN-FILL COMPONENTS ( ALL THIOSE EXCEPT THE HANDRAIL ), BLASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZOTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.



and bring any discrepancies to the attention of the architect prior to commencement of any work.



REVISIONS

Dates: 09-30-09 Permit:

AS NOTED Project Number

0921

A-11 OF 8

GRAPHIC SCALE

1 INCH = 20 FT.

INSTRUCTIONS TO BIDDERS: All bidders will be notified by the Architect concerning the bid due date and place.

CONDITIONS OF THE CONTRACT: All bidders are notified that AIA Document A201
General Conditions of the Contract for Construction, latest edition are hereby made a part of this specification.

CONTRACT TIME AND LIQUIDATION DAMAGES: The contract time in which the General Contractor agrees to complete his work is of considerable importance and will be one consideration in determining the acceptable bidder.

FAMILIARITY WITH THE WORK: Before submitting proposal, Contractor shall carefully examine the proposed Contract Documents, inspect the site of the project, acquaint himself with all governing laws, ordinances, etc. and otherwise thoroughly familiarize himself with all conditions which may affect the performance of the work. The act of submitting proposal means that the Contractor has so familiarized himself, and therefore, no concession will be granted because of any claim or misunderstanding or lack of information.

EXTENT OF SITE: For purposes of this contract, the construction site shall be defined as that area located within the contract limit lines as shown on site plan of drawings.

TEMPORARY CONSTRUCTION AND FACILITIES

1. Scope of Work: The work required under this section consists of providing all temporary construction and facilities necessary to complete the Work as indicated on drawings and described in the specifications. The term: Contractor, is used to indicate the General Contractor on this project.

2. Temporary Electricity during Construction: The contractor shall make the necessary arrangements and provide all electric service and lighting required during the entire construction period.

3. Cold Weather Protection and Temporary Heat: The Contractor shall provide cold weather protection and temporary heat as necessary to carry on the work expeditiously during inclement weather, to protect all work and materials against injury from dampness and cold.

SCOPE OF WORK: The work related to driveways, concrete walks and steps, all patios, terraces and related items as applicable to the project necessary to complete the Work as outlined on

2. ACCEPTANCE OF SITE: The contractor shall inspect the site prior to starting his work for proper grades, soft spots, etc. This Contractor shall be responsible for fine grading the subgrade under all areas before placing finished surface.

EXCAVATION, FILLING: AND GRADING

1. SCOPE OF WORK: The work required under this section consists of all clearing, grubbing, excavating, filling, rough grading, finished grading and related items necessary to complete the Work. All excavated material that cannot be used as backfill for the new building shall be removed from the site or distributed only with the owners approval, upon the site. The Contractor shall clear only that portion within the contract limit lines.
2. PROTECTION OF TREES: The Contractor shall be responsible for the protection of tops, trunks and roots of existing trees on the project that are to remain.

3. EXCAVATION FOR BUILDING: Excavate to elevations and dimensions indicated: allow for additional space as required for construction

operations and inspecting foundations. A. Suitable bearing for foundations: (Assumed 3,000psf) If suitable bearing is not encountered at the depth indicated on drawings for foundations, the Contractor shall notify the Architect for further information.

B. Drainage: Contractor shall control the grading around bldg. so that ground is pitched to prevent water from running into the excavated areas or damaging the structure.

C. Footings: All footings shall be placed on permanently undisturbed soil not less than 2 feet 6 inches below adjacent exterior grade. Use a ratio of 1 vertical to 2 horizontal when necessary to step continuous wall footings. Vertical steps to be 1 foot 4 inch maximum.

D. Frost protection: Do not place footings or slabs on frozen ground. When freezing is expected, do not excavate to the full depth indicated, unless the footings or slabs can be placed immediately after the excavation has been completed. Protect the bottoms so excavated from frost if concrete is delayed.

4. FILL UNDER FLOOR SLAB ON GRADE: Where fill is required to raise the subgrade for concrete floor slabs to the elevations indicated on drawings, such fills shall be of earth or bank run gravel, placed and compacted as specified.

5. BACKFILLING FOR BUILDING: Backfill against foundation walls only after the approval of the Architect. Place and compact backfill so as to minimize settlement and avoid damage to the walls and to waterproofing and other work in place. Deposit backfill in layers not more than 8 inches thick. Place the fill material in successive horizontal layers, in loose depth as specified, for the full width of the cross section. The finished subgrade shall be brought to elevations indicated and sloped to drain water away from the building walls. A grade of 1/2 inch per foot minimum for at least 10 feet from building walls.

1.SCOPE OR WORK: Furnish all materials, labor, equipment and appliances, and perform all operations in connection with installation of concrete work, complete, as shown on the drawings or herein specified, subject to the conditions of the Contract.

2. COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS: Any material or operation specified by reference to the published specs of a manufacturer, ASTM, ACI, The Portland Cement Assoc, The Concrete Reinforcing Steel Institute, the local code or other published standard shall comply.

3. MATERIALS: All concrete is to be ready mixed and place in accordance with Building Code requirements for reinforced concrete (4CI 318). Concrete shall have a minimum compressive strength at 28 days equal to 3,000 psi (Class 'B" mix minimum 5 bag mixture)

Reinforcing steel: Reinforcing bars to be deformed billet steel bars which conform to the American Society for Testing and material designations as follows: Reinforcing bars & Bar Deformations are

to be ASTM A615, Welded Steel Fabric to be ASTM A185 (Lap edges of welded wire mesh 6" in each direction). Reinforcing bars to be protected with a minimum of 1 inch concrete top and bottom @ slabs.

CONCRETE WORK (CONT.)

Expansion Joint Fillers: 1/2" inch asphalt impregnated fiberboard conforming to ASTM D1751. Joint fillers to extend full slab depth.

Perimeter Insulation: Cellular 2 inch thick, conforming to ASTM C343. Refer to drawings for details as to widths.

4. PLACING REINFORCEMENT: Place reinforcement accurately in position shown, securely fasten and support to prevent displacement before or during pouring. Cleaning, bending, placing and splicing of reinforcement shall be done in accordance with requirements of the BOCA Building Code. Mesh reinforcement in slabs shall have sides and ends lapped not less than one mesh.

5. WEATHER CONDITIONS: Concrete when deposited shall have a temp. not below 50 deg. F. for 7 days after placing. Cooling of the concrete to outside temperature shall be at a rate not faster than one degree each hour for the first day and 2 degrees each hour thereafter until the outside temperature is reached. The methods of heating the materials and protecting the concrete produced with heated aggregates, heated water or both, shall not exceed 90 deg.F at any time during its production or transportation. A. The use of salt, chemicals or other foreign materials shall

not be mixed with the concrete for the purpose of preventing B. Admixtures intended to accelerate the hardening of the concr

or to produce higher than normal strength at early periods will not be permitted unless specified, or prior approval is obtained from the Architect.

6.FLOOR SLABS ON EARTH: Concrete floor slabs on earth shall be placed over a well compacted subgrade. Over subgrade place porous fill: thickness of pourous fill shall be 4 inches unless otherwise shown. Roll or tamp fill until thoroughly compacted. Over porous fill lay vapor barrier, lap joints 6 inches and seal with tape. Turn paper up on walls approximately 4 inches. Provide welded wire mesh as spec-Immediately place concrete of required thickness and strike off at proper levels to receive finishes specified. Set continuous expansion joint strips where edge of slab abuts vertical surface. Provide a standard integral monolithic steel trowel finish for all concrete slabs, unless spec, otherwise on drawings.

STRUCTURAL AND MISCELLANEOUS STEEL

1. SCOPE OF WORK: The work required under this section consists of all structural steel, steel erection, miscellaneous steel, painting and -related items necessary to complete the Work indicated on the draw.

2.COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS: Any material or operation specified shall comply with ASTM, ANSI, AWS or other published standard. All structural steel members are to be fabricated and erected in accordance with the AISC(American Institute of Steel Construction) Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings.

Unless otherwise noted, provide one angle for each 4"thickness of wall, or partition with 3-1/2" leg horizontal for openings in masonry as follows:

Openings to 3'-0" L 3-1/2 x 3 x 1/4 Openings 3'-1" to 6'-0" L4 x 3-1/2 x 5/16 Openings 6'-1" to 7'-11"  $L5 \times 3-1/2 \times 5/16$ L6 x 3-1/2 x 5/16 Openings 8'-0" to 8'-5"

Provide a minimum of 6" bearing for angle lintels and 8" at beams

SCOPE OF WORK: The Work under this section consists of all masonry work and related items necessary to complete the Work indicated on the drawings and described in the spec.

2.MATERIALS: Building Brick: Brick shall be made from clay or shale and conform to ASTM Spec c62. For foundations, work below grade and work in contact with earth, use Grade SW. Use Grade MW for exterior walls above grade and Grade NW for interior walls and for back up of walls faced with facing brick. All materials to be used are to

meet ASTM or published standards accepted by ASTM,
A. Facing brick: Brick shall conform to ASTMc 216, Grade SW. Refer to drawings for allowance for brick bidding purposes. B. Concrete masonry units: Shall conform to applicable ASTM specifications. Use c90 for hollow load bearing units. Use load bearing tupe units for load bearing partitions, walls and all other locations where concrete masonry units are indicated on drawings. Grade A units shall be used.

C. Joint Reinforcement: Steel reinforcement for use in horizon-tal bed joints of concrete masonry units and other locations as hereinafter specified shall be prefabricated type formed of zinc-coated cold drawn steel wire conforming to ASTM Spec. All6 for class 2 coating. Side wires shall be formed of no.9 gauge or larger and be deformed; cross rods shall be of no.12 gauge or larger, smooth or deformed wire, butt welded to side wires. The following manufacturer is recommended: DUR-0-WALL D. Reinforcing rods: Shall be ASTM Spec. Al5 or Al6 for all rods for lintels and other reinforcement

3. STORAGE OF MATERIALS: Store materials under cover in a dry place and in a manner to prevent damage or intrusion of foreign matter. During freezing weather protect all masonry units with taupaulins. Store concrete masonry units under covers that will permit circulation of air and prevent excessive moisture absorption. Reinforcement shall be free from rust, ice or other foreign materials prior to installation. Concrete masonry units shall be protected against wetting prior to use.

4. MORTAR AND MIXING PROCEDURE: See drawings for color of mortar to be used with bricks. Masonry cement to conform to accepted practice for masonry. Mix all cementitious materials and sand in a mechanical batch mixer for a minimum of 5 minutes. Adjust the consistency of the mortar to the satisfaction of the mason. All mortar shall be used within 2 1/2 hours of the initial mixing. It shall not be used after it has begun to set.

5. PRECAUTIONS AND GENERAL REQUIREMENTS: Do not lay masonry when the temperature of the outside air is below 40 degrees F. unless suitable means as approved by the Architect are provided. No antifreeze ingredient shall be used in the mortar.

6. LAYING BRICK: Lay brick plumb, level and true to line in full beds of mortar. Lay brick in running bond, Coursing shall be done with story rod laid so that 3 courses equal B inches. Completely fill all joints with mortar. Build in flashings, flashing blocks, access panels, loose lintels and fireplace metal and other work at locations on drawings and as specified.

7. LAYING CONCRETE MASONRY: Set units plumb and true to line. All units shall be laid with level horizontal joints. Units shall be laid in running bond. Joints of interior concrete masonry units that will be exposed or painted shall be cut flush and tooled.

WATERPROOFING AND TILE DRAINS

1.SCOPE OF WORK: The Work required of this section consists of all weatherproofing (dampproofing), tile foundation drains and related items necessary to complete the Work indicated on the drawings.

METALLIC WATERPROOFING: Provide waterproofing on outside face of all masonry walls that enclose building. Extend waterproofing from tops of footings to 3 inches above grade. Provide at all locations indicated on drawings. Contractor to inspect surfaces to receive waterproofing and dampproofing specified.

A. Application on masonry surfaces: First coat shall be composed of 1 part portland cement, 2 parts screened sand by volume and 15 lbs. of metallic compound to each bag of cement. Mix to troweling consistency and apply to a thickness of 3/8 inch. B. Guarantee: Contractor shall furnish owner with a guarantee in which he agrees to correct and repair at his own expense any leaks, excepting structural defect leaks, which occur at areas

where waterproofing was under his contract.

INTERIOR DAMPPROOFING: Apply dampproofing on isde face of all exterior masonry walls that are furred and finished. Material shall be an asphalt base material and suitable for application by spray. Deliver material to the project site in sealed containers with manufacturer's label on each container. Apply dampproofing in strict accordance with manufacturer's instructions. Surfaces shall be thoroughly covered with an unbroken coating and left free from runs and sags at normal temperatures. Make a waterfight seal between dampproofing and flashings that are turned up on side of wall.

4. FOUNDATION DRAINS: Lay drain tile or pipe level on a bed of gravel. Be sure that backfill has been well compacted before gravel is placed. Lay tile with a 1/4 inch wide open butt joints. Cover tile with continuous strips of heavy burlay or felt.

ROOFING AND SHEET METAL

1. SCOPE OF WORK: The work required under this section consists of all roofing, sheet metal and related items necessary to complete the Work indicated on drawings. Refer to the drawings for type of roof material and specification of color and manufacturer.

MISCELLANEOUS FLASHINGS: Furnish and install all miscellaneous flashings, head flashings, base flashings, etc. required to provide watertight walls or roofs. Furnish and install stepped flashing for chimney flashing. Furnish termite shield where required in 10 foot lengths with 3 inch minimum lap joints.

1. SCOPE OF WORK: The work required under this section consists of furnishing all wood windows and sliding glass doors, and related items necessary to complete the Work. See window and door schedule on drawings for manufacturer and specification of each product.

2. PROTECTION: Care shall be used in handling windows and doors during transporatation and at job site. Store upright on pieces of lumber in a dry location and under cover.

1. SCOPE OF WORK: The work required under this section consists of all carpentry and millwork and related items necessary to complete the Work described in the drawings.

2. CARPENTRY ITEMS FOR PERFORMANCE: Without restricting the volume or generality of the work, this section shall include, but is not limited to the following:

A. Refer to drawings, schedules and details for quantity and location of carpentry millwork. B. Blocking: Furnish and set all wood blocks, plugs, strips, etc. in securing equipment and finished work of contractors to mason:

C. Furring: All wood furring required for the proper installation of work of the contractors. D. Fastenings: All anchors, ties, bolts, hangers, etc.

E. Furnishing and installing all rough hardware, nails, spikes,

. Installation of all finishing hardware G. Furnishing and installation of wood windows and sliding glass doors and wood doors H. Furnishing and installing all interior and exterior finished

millwork . Wood for inerior and exterior stairs, balconies, decks, etc. Installation of all medicine cabinets and mirrors, as appl. K. Furnishing and installation of wood flooring and ceilings L. Furnishing and installing of all wood joists, Teco hangers, wood studs, sheathing, plywood, floor and roof trusses, etc.

M. Metal or wood ventilation louvers 3. MATERIALS: All framing lumber to be minimum Hem Fir or approved equal for specific locality with moisture content in lumber not to exceed 19 per cent when installed. For interior woodwork that is to have a painted finish use C select or better white pine or an approved equal. Studs shall be 2x4 or 2x6, as specified on drawings at 16" on center with double top plate, or at 24" o.c. again as specified on drawings. See details for special framing.

4. MISCELLANEOUS MATERIALSoffit insect screen shall be aluminum mesh, width as required. Secure to plywood or soffit framing. A. Anchor bolts generally shall be 5/8 inch in diameter with

nut and washer and wall end bent 2 inches. B. Anchors shall be installed where specified on drawings to anchor carpentry to masonry.

C. Insulated sheathing shall be 1/2 inch thick R-Max type in-'sulation board or approved equal. D. Building paper shall be 30 lb. asphalt- saturated felt.

5.WOOD DOORS:Refer to door schedule on drawings for specifications and location of doors. Cap exterior doors with non-corrosive metal and flash cutouts to prevent penetration of door by water.

6. FRAMING: In general apply the following standards in construction A. Brace walls between studs with members 2 inch by wall thick. at least once in each story height or as detailed on drawings. B. Cut framing square on bearings, closely fitted: accurately set to required lines and levels and plumb; secure rigidly in place at bearings and connections.

C. Do not use shims for leveling on wood or metal bearings. Use slate or tile shims with full bearing for leveling on masonry. D. Firestop all concealed spaces in wood framing not already shut off by framing members, to prevent drafts from one space to another. Fill accurately to fill openings. E. Keep framing 2 inches away from masonry chimneys, 4 inches

from fireplace back walls. F. Install corner bracing in exterior walls of metal ties or approved equal; let into stude and plates flush with face of studs as near 45 degrees from horizontal as possible.

CARPENTRY AND MILLWORK ( CONTINUED)

6. FRAMING (CONTINUED)

G. Ceiling Joists, rafters, beams are to be set with crown edge up. Double joists to form headers and trimmers around access doors, stairs to attics, skylights, etc. Where built into masonry, provide ends with 3 inch bevel cut. Provide blocking or suitable edge support between members where necessary . H. Studding: Double studs at openings, with two 2x6 headers minimum above as headers

I. Plywood subflooring: use 3/4 inch thick plywood, c-D with exterior glue. J. Plywood roof sheathing: use 1/2 inch thick plywood, C-D

with exterior glue. 7. PRESSURE TREATED WOOD: Pressure treated lumber shall be used at wall plates at top of masonry and concrete in exterior walls and

at exterior rough bucks for all wood doors 8. FINISH CARPENTRY: The following notes apply in general to project:
A. Cut moldings and shapes sharp and true.

B. Blind nail where possible C. Built up items shall be glued as well as nailed. D. Set finishing nails, used on exposed faces, to receive putty E. Install exterior and interior fascias in long lengths, with joints staggered and only where solid fastening is possible. F. Cope molded work at returns and interior angles. Miter at

G. Leave work free from defects in any exposed part. H. Back prime all members before installation, with exterior priming material specified in painting section. Install with non-corrosive type nails only.

9. ROUGH AND FINISHING HARDWARE: Install all rough hardware and metal fastenings as shown on drawings or as required for proper installation of carpentry. Provide allowance for contract to cover all finish hardware as required for execution of the contract. A. Protection: Cover door knobs, pulls and other finished hardware until project is painted and complete, free from defect B. Keys: Upon the completion of the work, all hardware shall be demonstrated to work freely; all keys shall be fitted in their respective locks and delivered to owner upon completion.

door frames at the same height thoroughout the building.

C. Locks and latch strikes shall be installed on the doors and

GYPSUM WALLBOARD AND THERMAL INSULATION

1. SCOPE OF WORK: The work required under this section consists of all gypsum wallboard, thermal insulation and related items necessary to complete the Work.

2. GYPSUM WALLBOARD: Wallboard shall comply with requirements of ASTM C36 and C442 with amendments.

A. <u>Materials</u>: Reinforcing tape shall be Perf A Tape by USG. Bedding and topping compound shall be USG or approved equal. Provide corner beads, casing beads and other metal trim as regd. to properly conceal the metal flanges of all trim. B. Installation: Minimum temperature in areas to receive drywall shall be 50 deg. F. All wallboard joints shall be butted loosely together. Maximum allowance shall be 1/4 inch. End joints shall be supported on framing members. Apply end joint compound to back of wallboard along end joints. After trim is installed. correct all surface damage and defects as required .

3. THERMAL INSULATION: Provide nominal foil faced insulation with R factor as specified for area of use: wall, floor or roof. Insulation shall be either blanket or batt type to suit conditions encountered and shall be of proper widths to insure 100 per cent

coverage in all specified areas as follows: A. At 4 inch nominal walls use 3 5/B inch thick R-13 Foil Faced B. At 6 inch nominal walls use 6 inch R-19 Foil Faced C. At roofs & Crawl spaces use 9 inch nominal R-30 insulation D. Insulation shall be installed in strict accordance with manufacturer's recommendations and latest publ. specifications.

· SCOPE OF WORK: The work required consists of all ceramic tile

and marble thresholds, and related items to complete the Work. 2. SAMPLES AND ALLOWANCE: Contractor shall provide allowance as indicated on drawings and ultimatly provide samples to owner for selection using these prices .

3. LAYOUT OF WORK: Align joints in floor at right angles to each other and straight with walls, to conform to patterns selected unless Otherwise designated on plans for custom patterns.

4. INSTALLATION OF TILE: Compliance shall be with standard specs in the field as proposed American National Standards Institute specs Alo8.4 Standard Specifications for installation of ceramic tile with water résistant organic adhesives.

.SCOPE OF WORK: Consists of all resilient floor coverings and related items for installation of such products.

2. ALLOWANCE: Contractor shall provide a reasonable allowance for the product and installation. Use a typical no-wax finish product.

3. PREPARATION OF SURFACES RECEIVING RESILIENT FLOORING AND BASE: Surfaces shall be turned over to contractor broom clean and free of paint, grease, wax, oil, dirt and any material which will inhibit adhesive bond.

4. INSTALLATION: In space where flooring is to be installed, maintain temperature at not less than 70 degrees F. for 24 hours prior to installing and at least 48 hours after installing, and thereafter atleast 55 degrees F. or above, to prevent damage.

CAULKING, WEATHERSTRIPPING AND THRESHOLDS

1. SCOPE OF WORK: Consists of calking as required for project, weatherstripping exterior doors and thresholds as specified.

2. APPLICATION OF CAULKING: Caulk all exterior and interior perimeter of all sash and masonry, between door frames at exterior masonry walls, at joint between masonry and steel shelf angles and lintels, at exterior moldings and masonry products or wood if adjacent, etc.

For interior conditions between door frames, exposed masonry walls, joints at trim, door frames, etc. or as required for project.

. WORKMANSHIP: All work to be done in strict accordance with the directions furnished by the manufacture. Compound to be of proper consistency and readily workable. Caulking to be finished smooth with joints and as inconspicuous as possible, free from tool marks. 4. WEATHERSTRIPPING: Install as per manufacturer's instructions.

PAINTING FINISHES

1. SCOPE OF WORK: The Work required under this section consists of and related items necessary to complete the work indicated on drawings and described herewith.

2. ACCEPTABLE MANUFACTURERS: The following manufacturers are considered acceptable for use by the subcontractor: Benjamin Moore, Pratt and Lambert, Sherwin Williams, Duron, Pittsburgh & Dupont

3. GENERAL REQUIREMENTS: Before starting any work, the painting contractor shall inspect all surfaces to be painted or finished. No work shall be done under conditions which are unsuitable for the production of good results.

4. SCHEDULE OF PAINTING: Interior Drywall, use 1 coat primer and 1 coat finish; Interior Trim, use 1 coat primer and 2 coats Alkyd enamel: Exterior Wood Trim, use 1 coat primer, sealer and 2 coats Alkyd enamel.

5. CLEANING UP: The painting contractor shall, upon completion, remove all paint where it has been spilled, splashed or spattered on surfaces; it shall be removed without maring the surface finish

HEATING, VENTILATING AND AIR CONDITIONING

1. SCOPE OF WORK: The work required under this section consists of all labor, materials, appliances and related items necessary to complete the Work required for proper conditioning of the air within the project. Without restriction to, the work shall consist of, but is not limited to the following: A. Furnish and install complete heating, cooling and ventilat-

ing system \*

B. Furnish and install all controls required for the system. C. Furnish and install all exhaust fans as indicated on plans D. Furnish and install all ductwork, grilles, registers and

ceiling diffusers as required for the project E. Furnish and install all insulation as described F. Balance cooling, heating and ventilating system so as to give uniform cooling and heating throughout.

\*NDTE: The word "system" means pipe and fittings, valves, ductwork accessories. equipment required for complete, operating system.

G. Furnish and install air cooled condenser and air handling

2. CODES AND STANDARDS: Latest effective standards, codes, regulations, etc. The contractor shall also submit to the ARCHITECT a shop drawing or layout drawing indicatingthe proposed layout of the system, and then proceed only after receiving approval.

3. CONDITIONS: The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade and the coordination of his work in relation to the other trades.

4. GUARANTEE: On completion of entire work, complete systems and equipment shall be carefully tested by actual operation, and the various pieces of equipment made to function as intended. All workmanship, material and equipment shall be guaranteed and serviced for a minimum period of one year. The guarantee shall be all inclusive and shall include any adjustments required due to malfunctioning of any of the systems. Service contract and equipment warranties shall be turned over to the owner. All charges incurred within this period shall be borne by the contractor.

1.SCOPE OF WORK: The work required under this section consists of all labor, materials, accessories and related items necessary to complete the Work indicated and inferred on the drawings to complete

2. RULES AND REGULATIONS: All work shall be in strict accordance with rules and regulations of any authorities having jurisdiction within the project locality. The contractor shall also secure all permits and any necessary inspections at the proper time during the progress of the work and also upon completion of the work.

3. CONDITIONS: The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade as indicated or specified within the project specs or drawings. If for any reason changes in locations have to differ, the matter shall be discussed with the architect immediately for his decision and further instructions.

4. GUARANTEE: Same guarantee as outlined in "Heating, Ventilating and Air Conditioning" section, #4 GUARANTEE.All hot and cold water piping installed by this contractor and including fixture and equipment after erection and prior to concealment shall be tested under pressure of not less than 100 p.s.i. for at least 60 minutes without leaks, and drop of pressure of not more than 1 lb. per sq. inch. All gas piping, if applicable, shall be tested in accordance with the rules and regulations of the gas utility company.

SCOPE OF WORK: The work required under this section consists of all electrical work including labor, materials (unless otherwise noted on drawings), equipment, apparatus and related items necessary to complete the Work. The following items shall be included in the

E. Service equipment as required

contract, but is not limited to: A. Permits and Certificates B. Electrical Service and metering equipment(as applicable) C. Panelboards, lighting fixtures, devices, appliances, and all other electrical materials, equipment and apparatus. D. Outlets, raceways, wires, cables and electrical connections

2. REGULATIONS: The work shall be done in accordance with all electrical codes and ordinances as they apply within the locality.

3. MATERIALS AND WORKMANSHIP: The contractor shall coordinate the electrical installation with the installation of the work of other trades in the project. Electrical materials and apparatus furnished shall be new and shall be approved by the Underwriters Laboratories. The contractor shall study all plans and provide service and equipment as required to satisfy the electrical requirements of the project. The contractor shall notify the required Power Company and satisfy their requirements. All electricians with the contractor shall be licensed as required within the state laws and codes. The architectural drawings indicate the general extent and arrangement of the installation requirements only. The architectural drawings shall be referred to for construction and finish details as they affect the work of the electrical section.

4. GUARANTEE: Same quarantee as outlined in "Heating, Ventilating and Air Conditioning: "Section #4.All final inspections and equipment shall be tested and delivered to the owner without flaws and in proper working order.

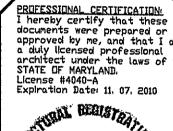
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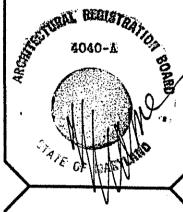
KRAMER
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Bld Georgetown Road, Bethe



These drawings, specifications & copies are the property and copyright of the architect and shall not be used on any other project, Written dimensions shall always take preference over scaled dimensions. dimensions. Verify dimensions & exist conditions at the sit and bring any discrepancies to the attention of the architect prior to commencement of any work,





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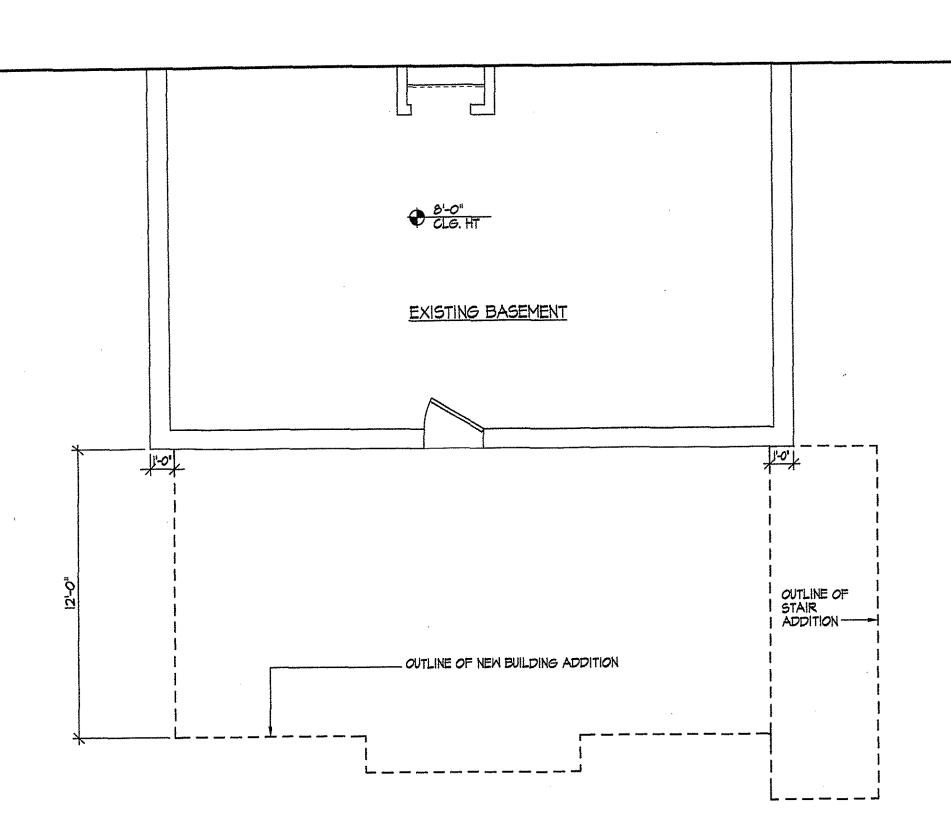
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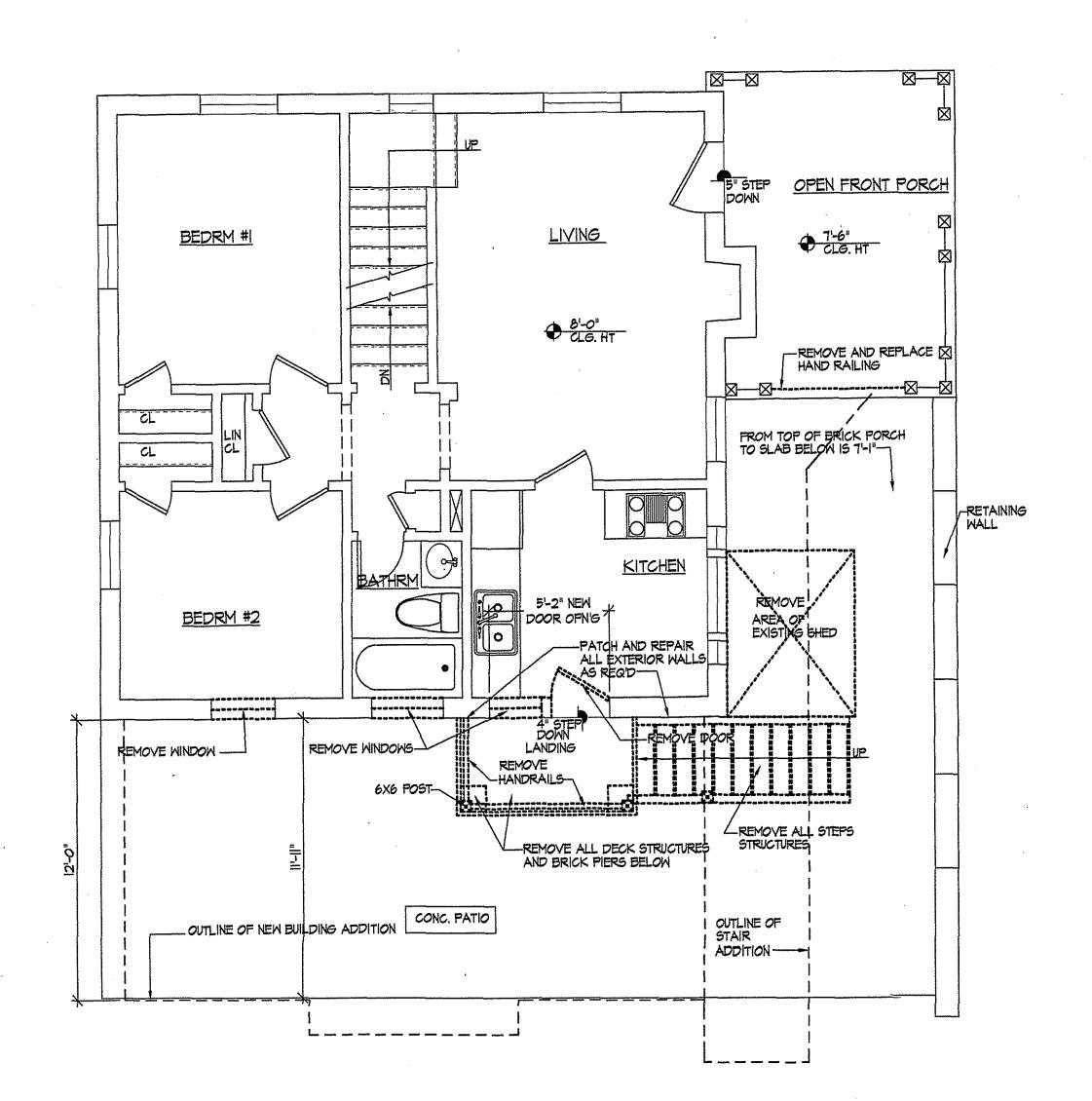
Dates: 09-30-09

Bids: AS NOTED Project Number 0921

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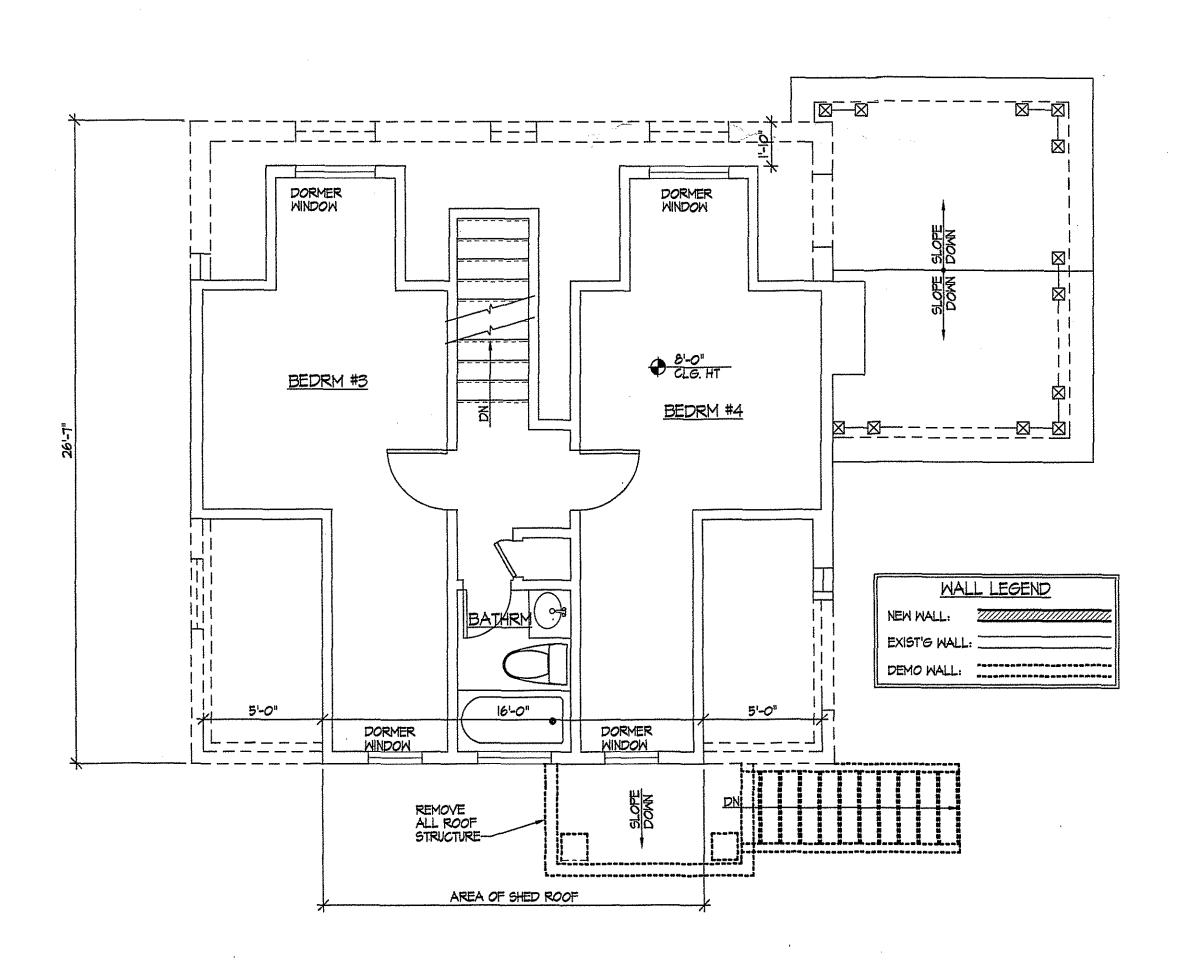


# EXISTING / DEMO BASEMENT FLOOR PLAN SCALE: 1/4"=1"-0"



EXISTING / DEMO FIRST FLOOR PLAN

SCALE: 1/4"=1"-0"



EXISTING / DEMO SECOND FLOOR PLAN

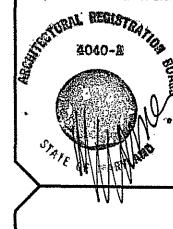
SCALE, 1/4"=1"-0"

KRAIMER
ARCHITECTS INC.
7960-1) Did Georgetown Road, Bethesda, Md. 20814
Phone: (301) 652-5700 Fax: (301) 913-9254



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PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I are a duly licensed professional architect under the laws of the STATE OF MARYLAND.
License #4040-A
Expiration Date: 11, 07, 2010



DEGENER AND MUHAYYA RESIDENCE ADDITION 3102 LEE STREET SILVER SPRING, MD 20910

SHEET TITLE: EXISTING / DEMO FLOOR PLANS

EVISIONS

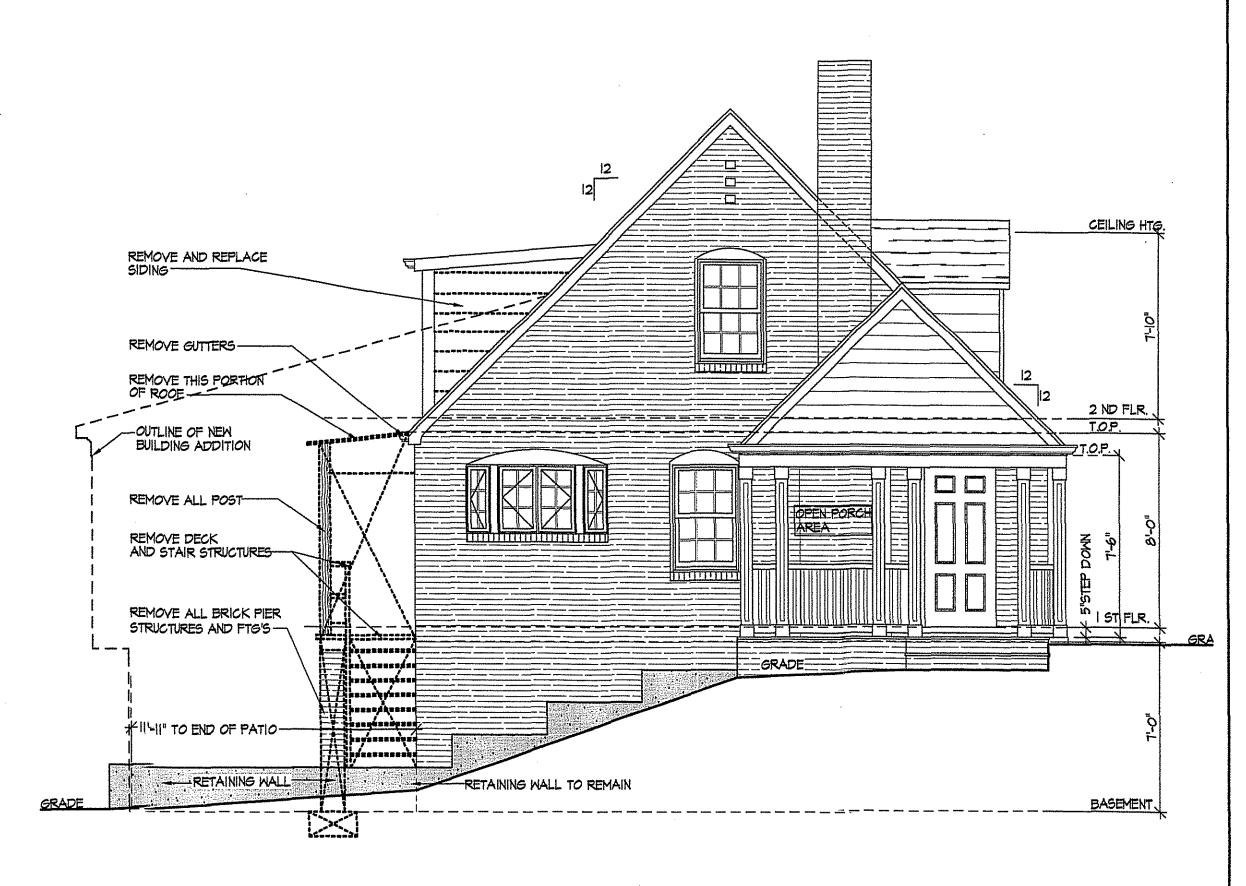
Dates: 09-30-09
Permit:
Bids:

Scale:
AS NOTED
Project Number
Ø 9 2 1

A-3

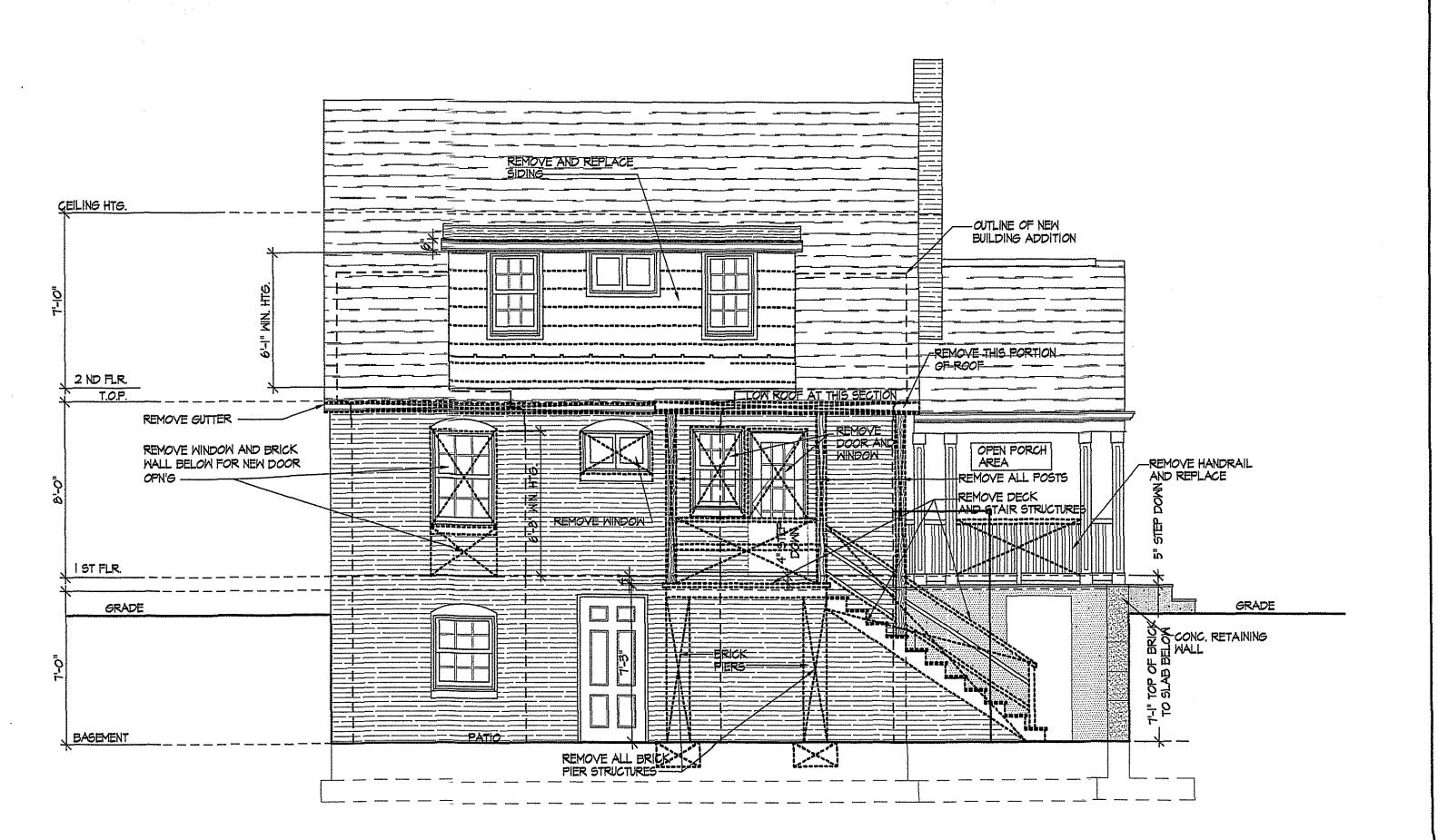
EXISTING / DEMO RIGHT SIDE ELEVATION

SCALE: 1/4"=1"-0"



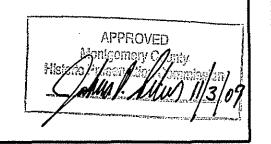
EXISTING / DEMO LEFT SIDE ELEVATION

SCALE: 1/4"=11"-0"



EXISTING / DEMO REAR ELEVATION

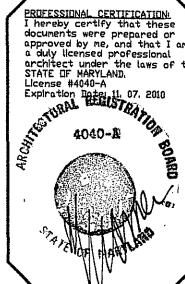
SCALE: 1/4"=1"-0"



ARCHITECTS INC. 7960-1) [Ild Georgetown Road, Bethesda, Md. 20814 Phone: (301) 652-5700 Fax: (301) 913-9254



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DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

KISTING / DEMO EVATIONS

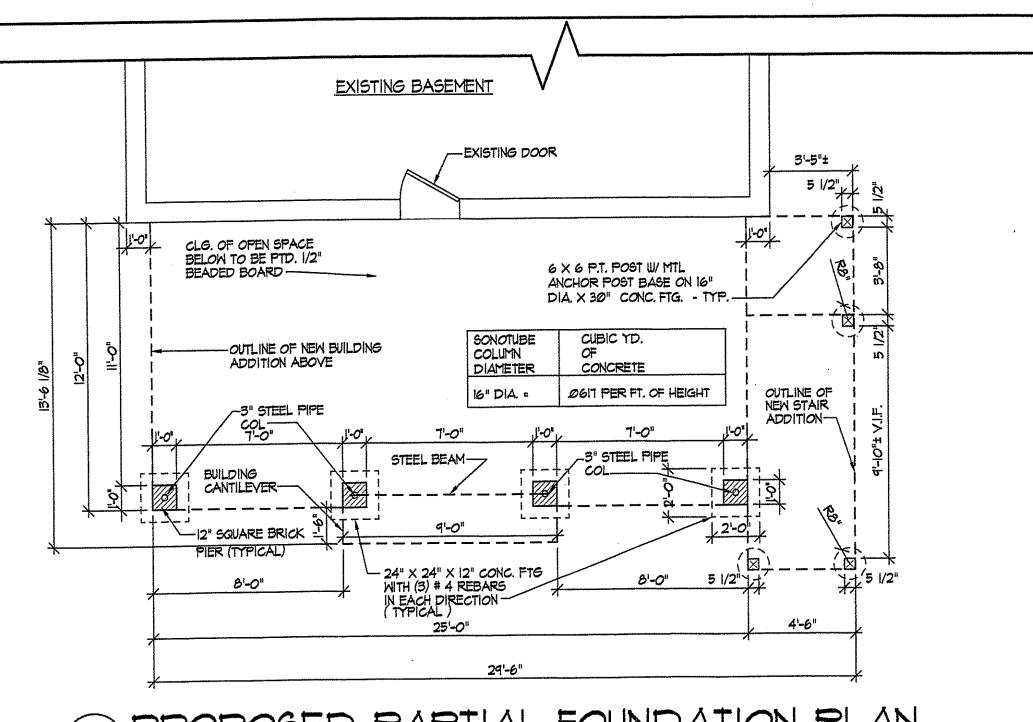
REVISIONS

Dates: 09-30-09
Permit:
Bids:
Scale:
AS NOTED

Project Number 0921

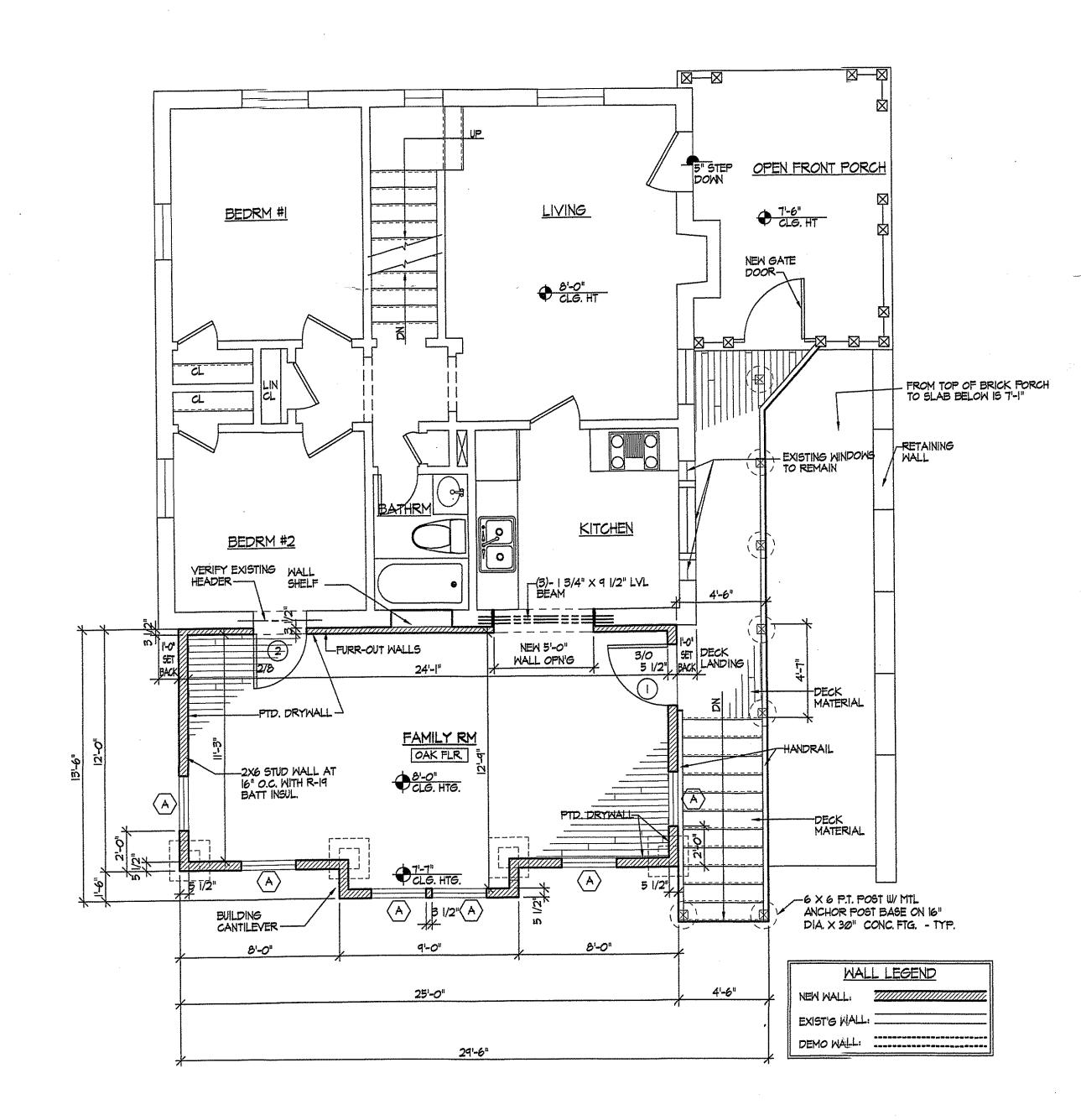
A-4
4 OF 8

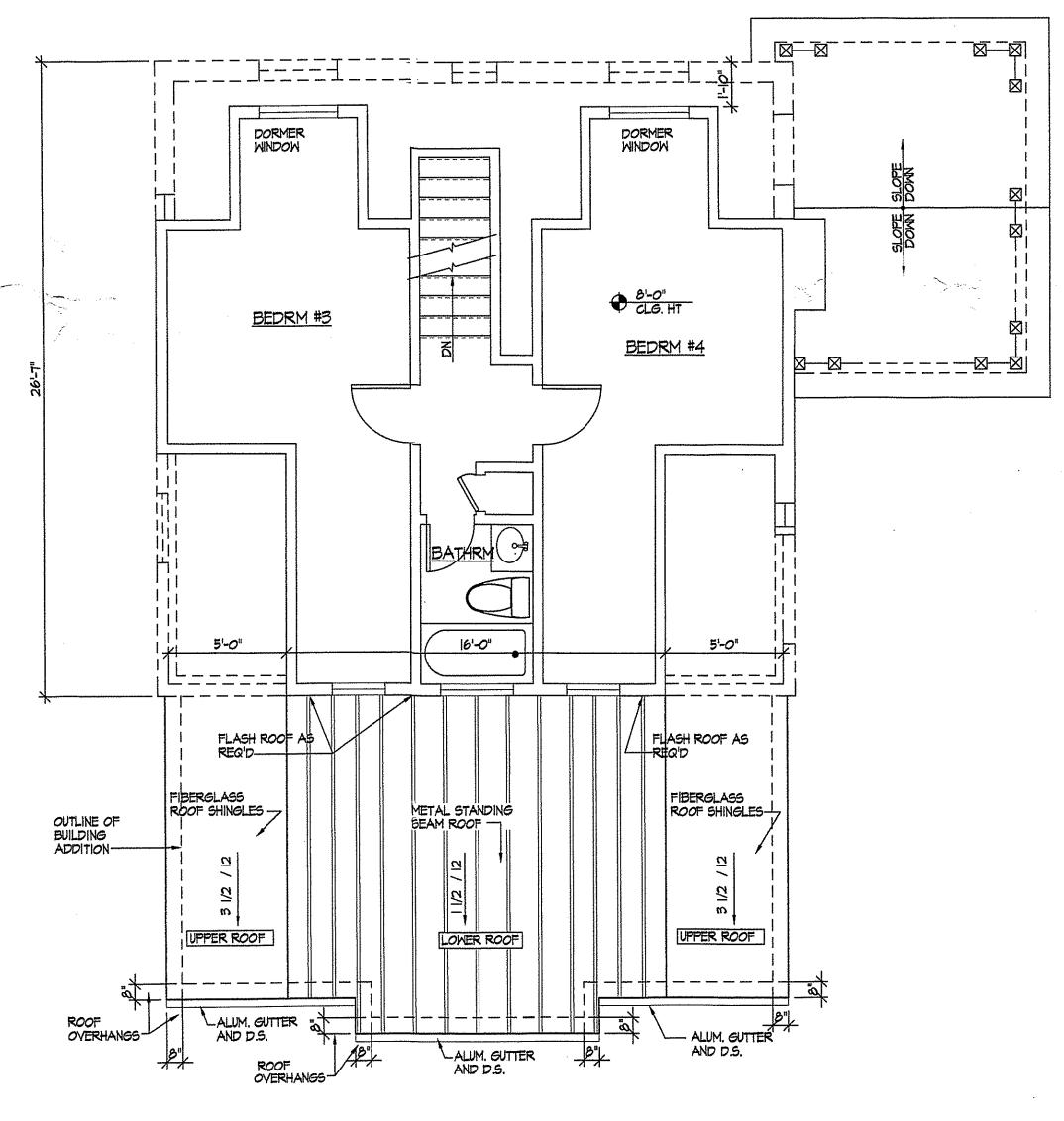
js\adroman\Desktop\2009 PROJECTS\0921 DEGENER RES\A-3.dwg, 9/30/2009 12:00:50 PM, h



PROPOSED PARTIAL FOUNDATION PLAN

SCALE: 1/4"=1'-0"

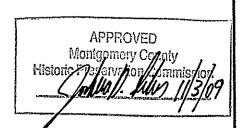




PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1"-0"

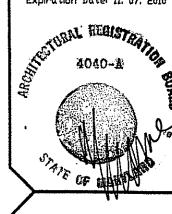
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



ARCHITECTS INC.
7960-D Old Georgetown Road, Be-thesda, Md. 20814
Phone: (301) 652-5700 Fax: (301) 913-9254

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License #4040-A
Expiration Date: 11. 07, 2010



PROJECT:

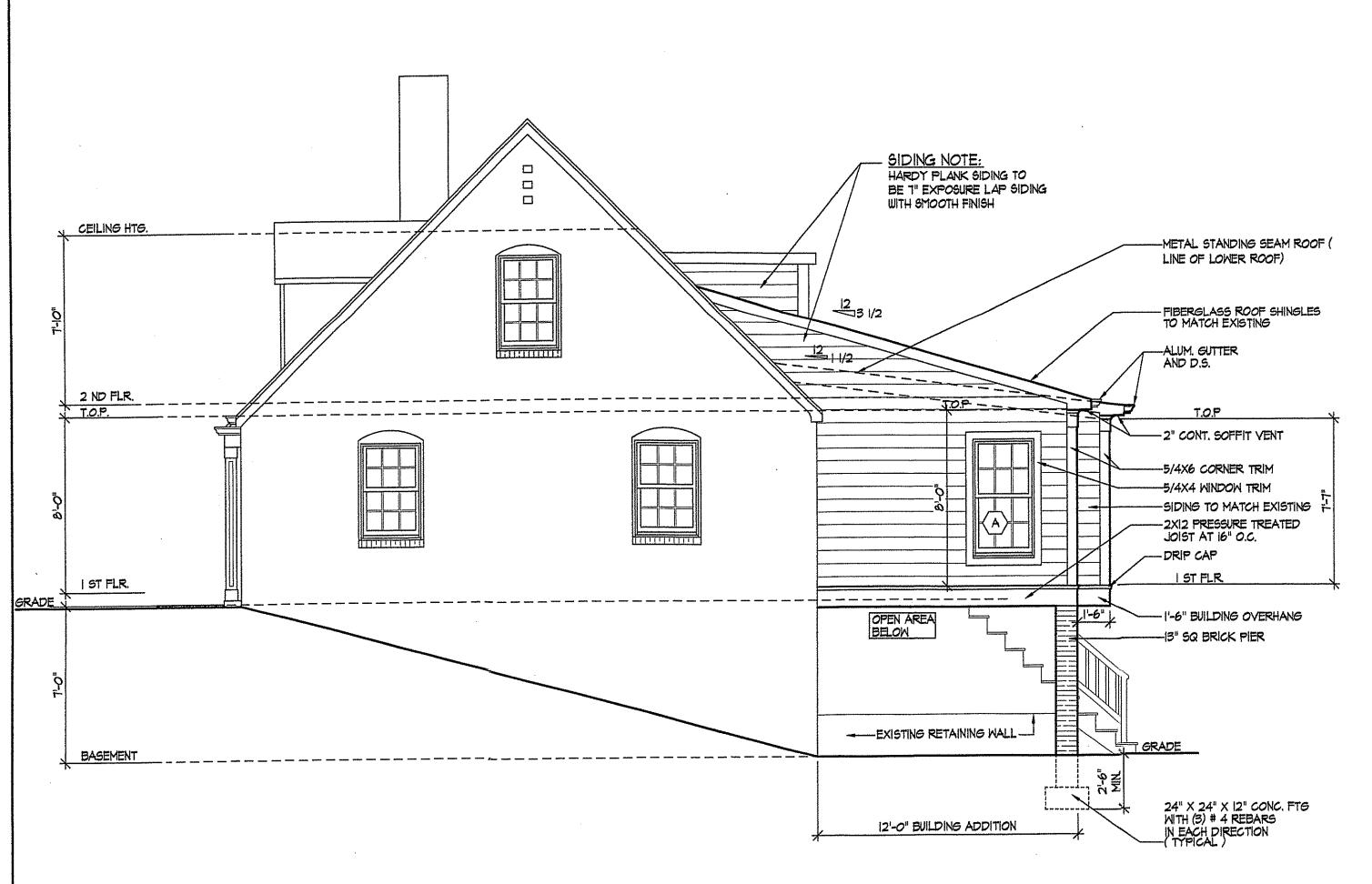
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

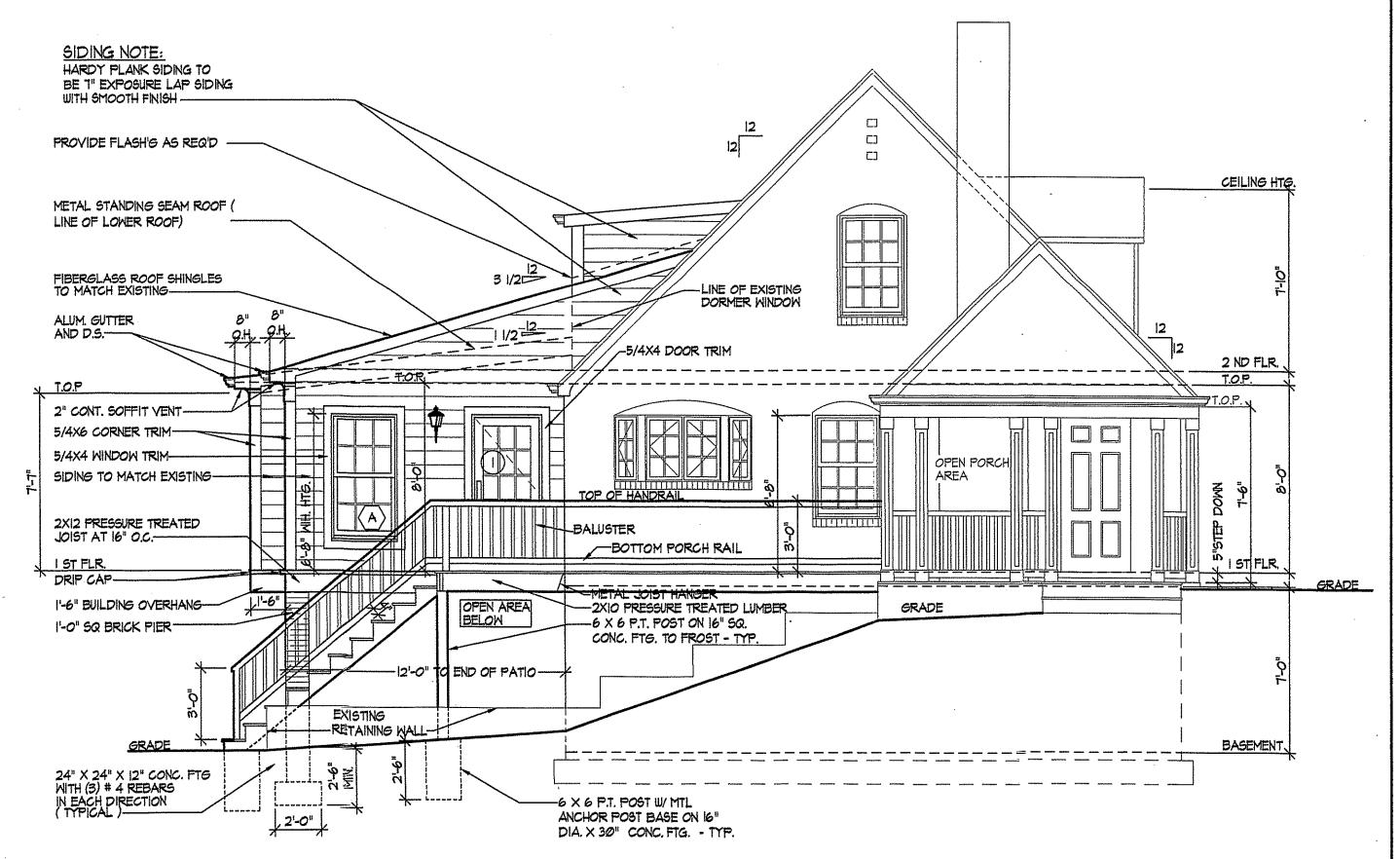
SHEET TITLE:
PROPOSED FLOOR
PLANS

REVISIONS

Dates: 09-30-09
Permit:
Bids:
Scale:
AS NOTED
Project Number
0 9 2 1

A-5

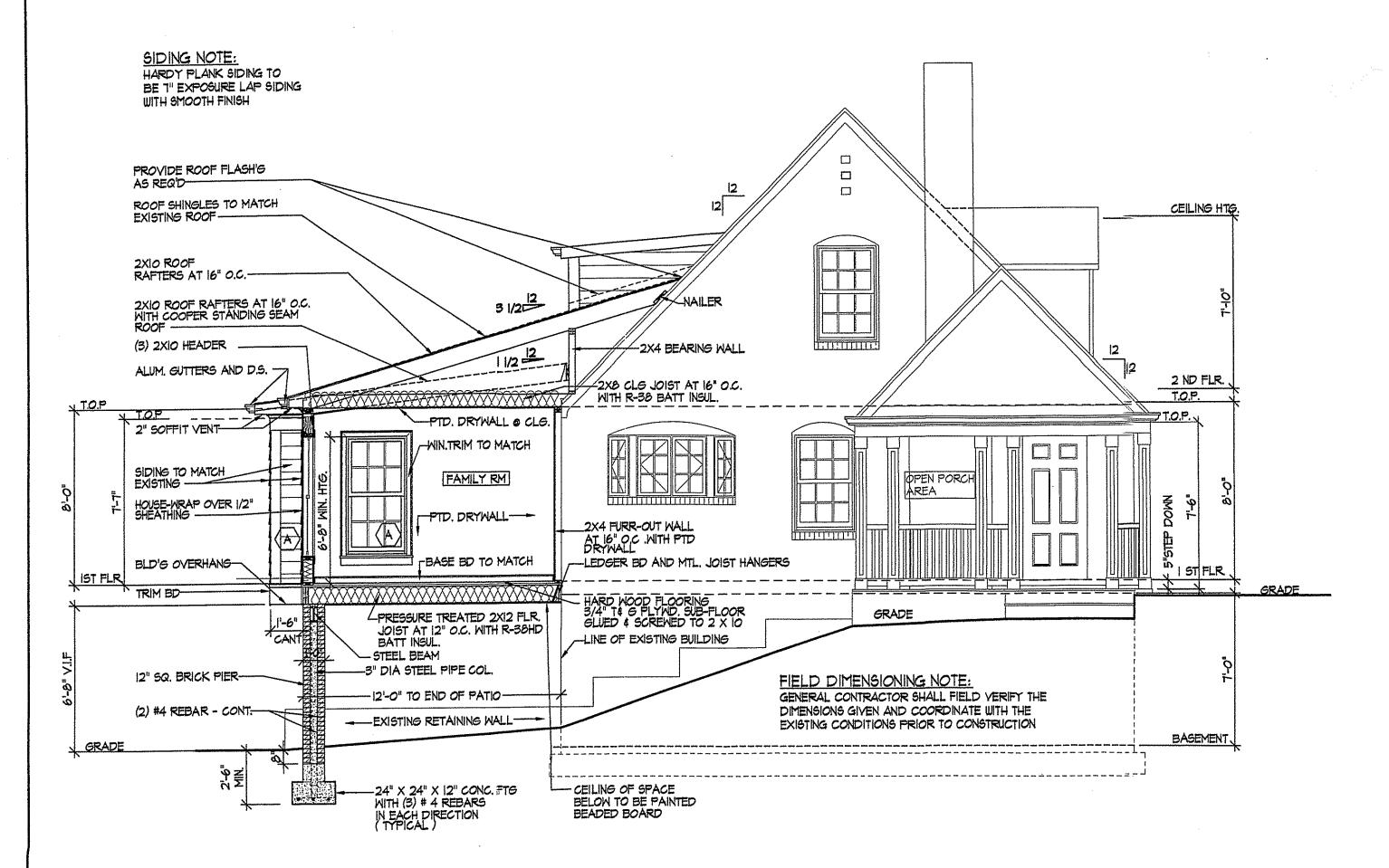




PROPOSED RIGHT SIDE ELEVATION

PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



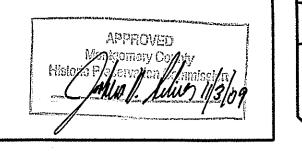


BUILDING SECTON

SCALE: 1/4"=1'-0"

PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

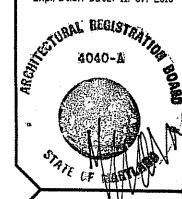


ARCHITECTS INC.
7960-10 Glid Georgetown Road, Bethesda, Md. 20814



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PROJECT:

DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

SHEET TITLE:
PROPOSED ELEVATIONS
AND BUILDING SECTION

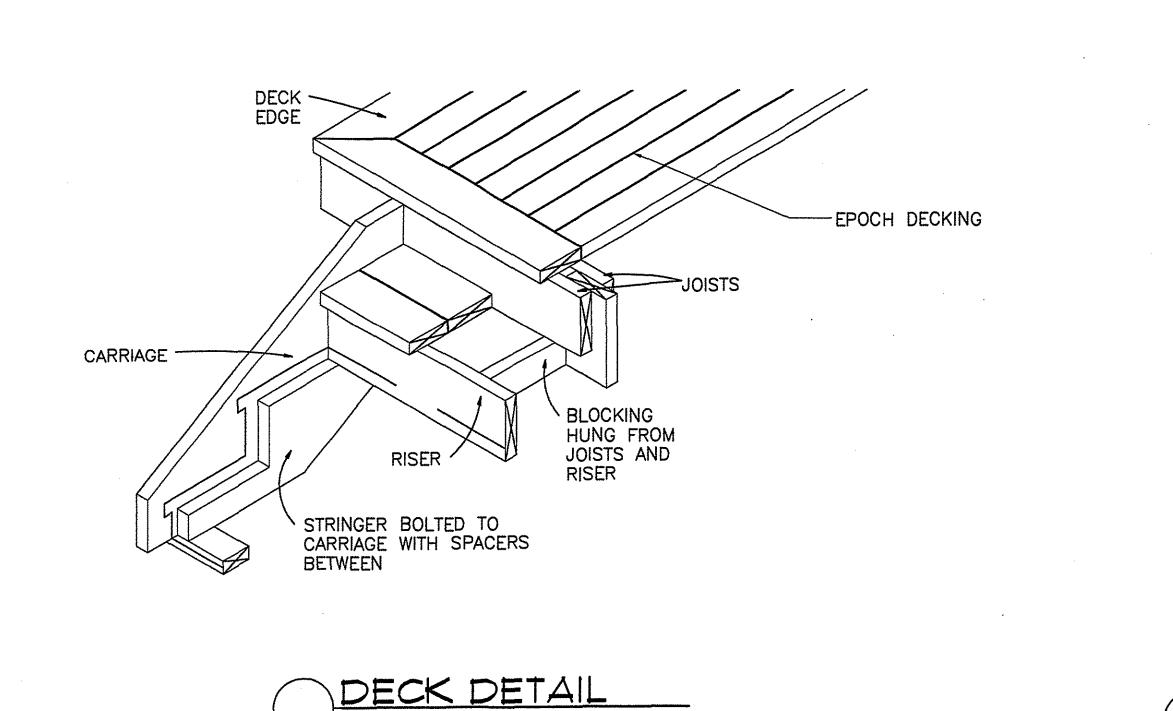
Permit:
Bids:
Scale:
AS NOTED

Project Number

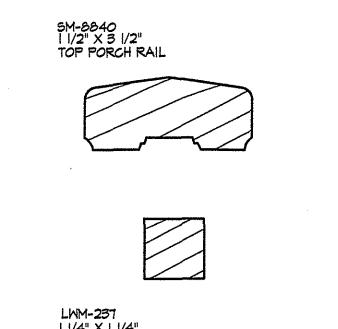
© 9 2 1

A-6

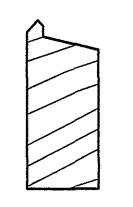
6 OF 8



SCALE: |"=1'-0"

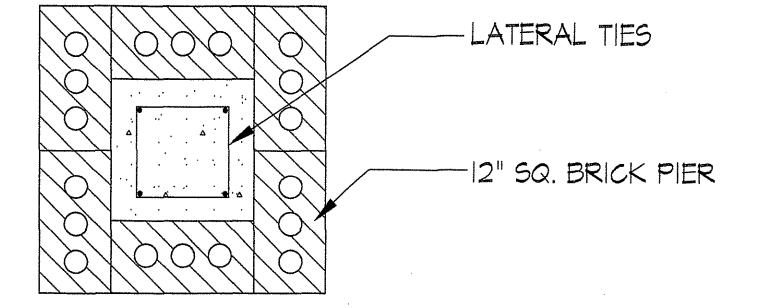


LWM-237 | 1/4" X | 1/4" BALUSTER STOCK

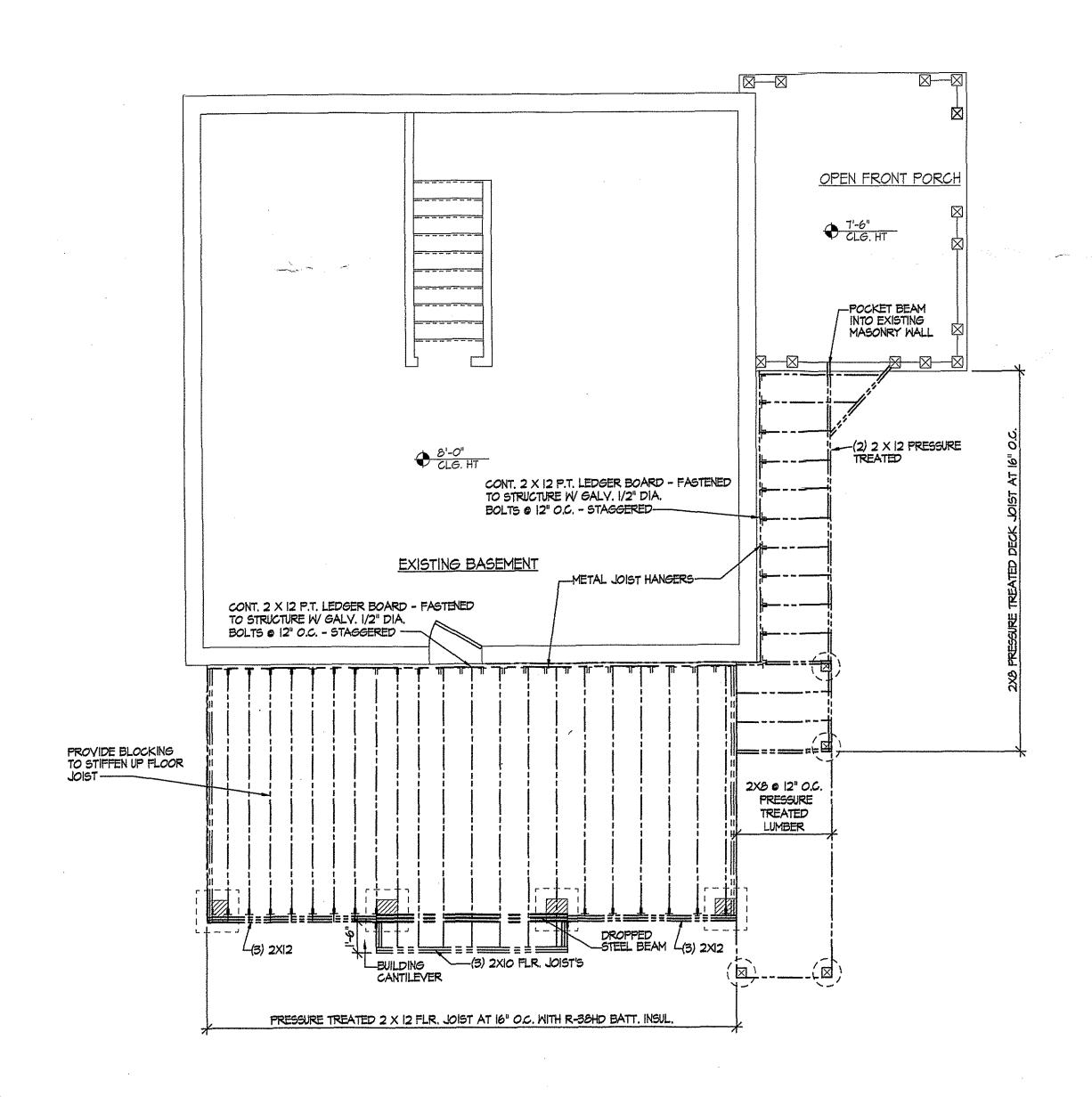


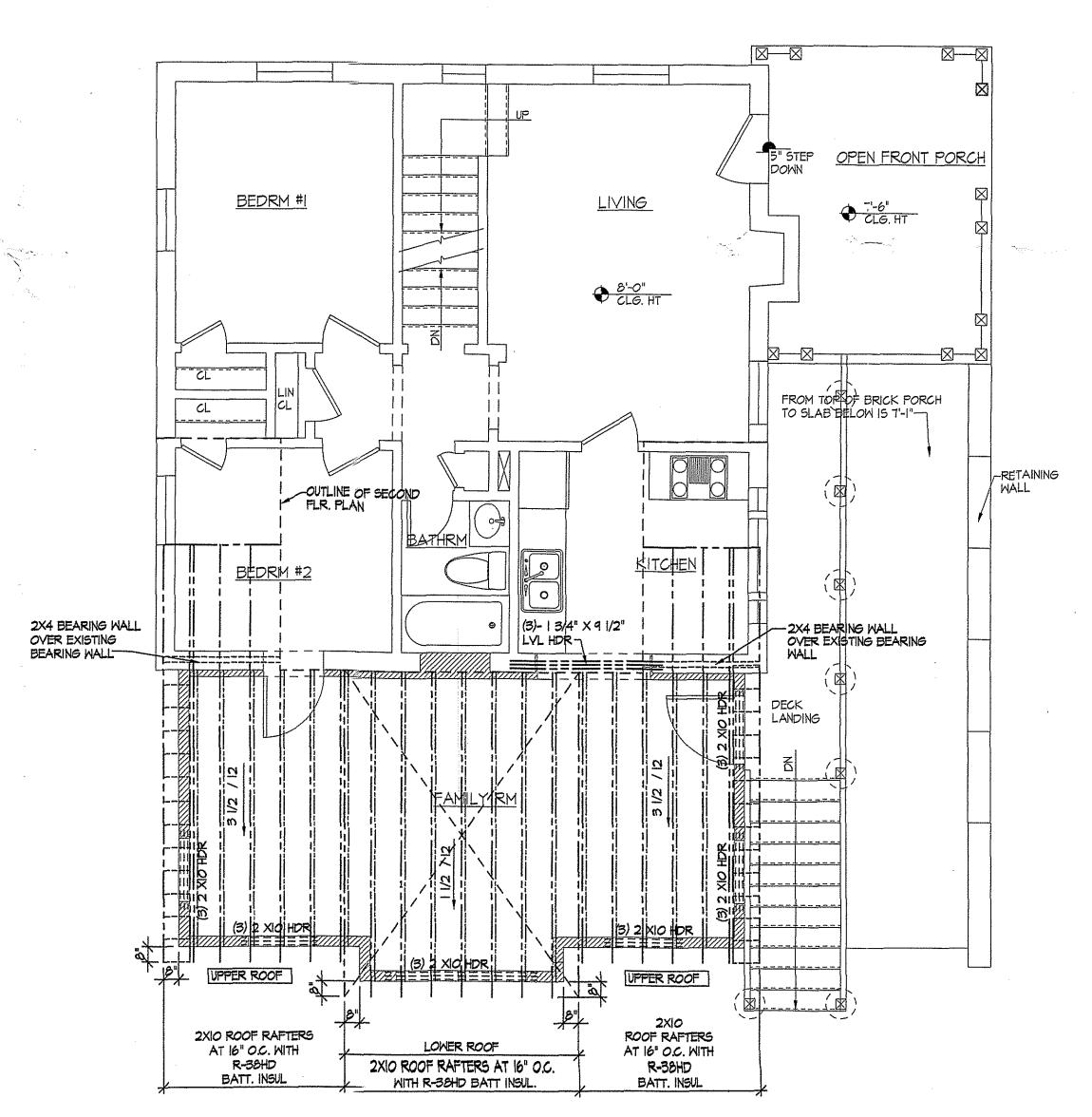
SM-8841 | 1/2" X 3 1/2" BOTTOM PORCH RAIL

HANDRAIL DETAILS SCALE: 6"=1'-0"



12 SQUARE BRICK PIER DETAIL





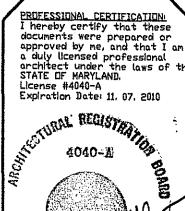
PROPOSED FIRST FLOOR FRAMING PLAN

ROOF FRAMING PLAN





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SHEET TITLE:
PROPOSED FLOOR
PLANS AND DETAILS

REVISIONS

Dates: 09-30-09 Permit: Scale: AS NOTED

Project Number Ø 9 2 1

7 OF 8

# ELECTRICAL FIXTURE SCHEDULE

# INCANDESCENT

- CEILING MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR
- WALL MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR

# RECESSED LIGHT FIXTURES

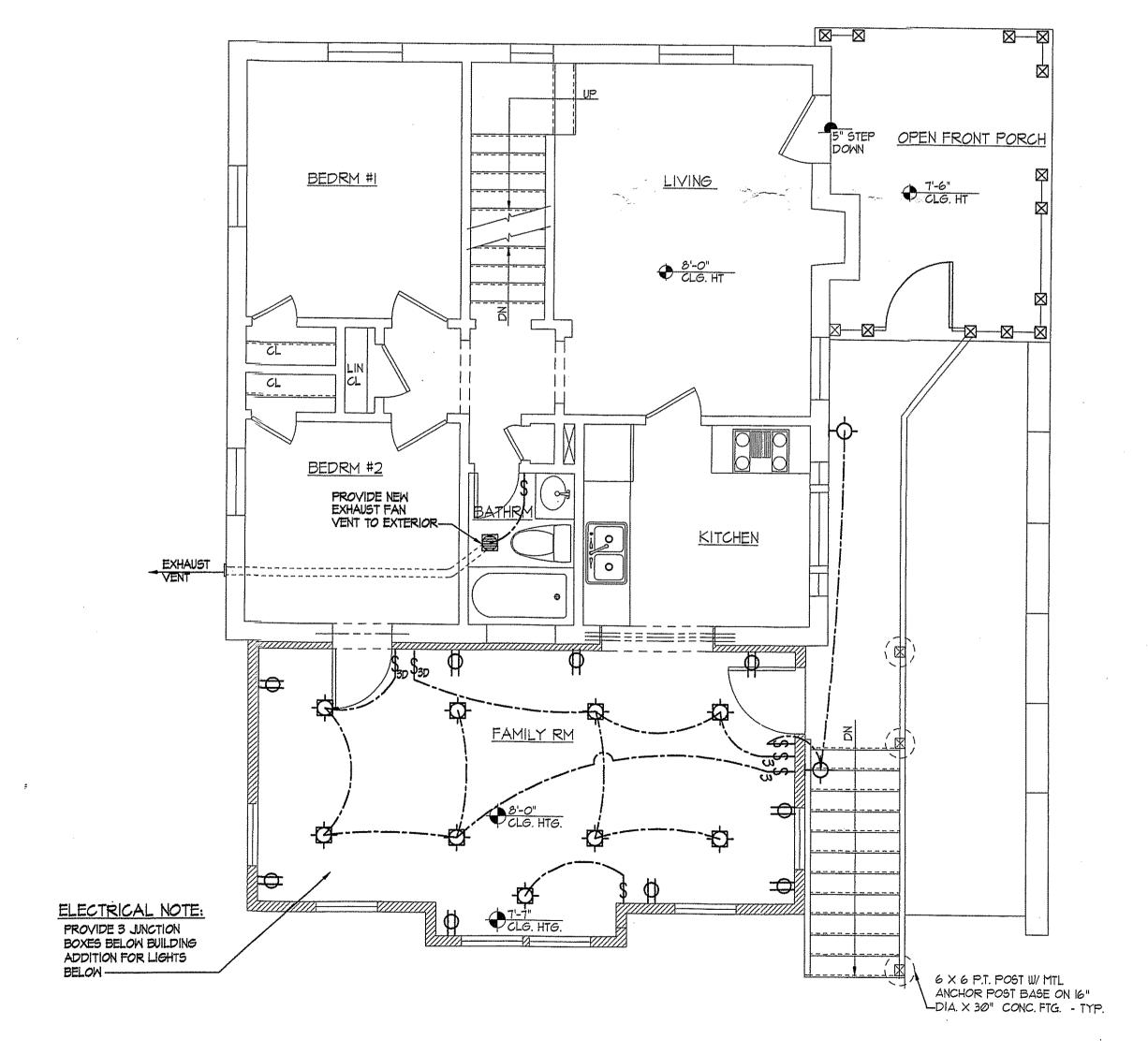
- -0-33" Lightolier Step Baffle Recessed Light #2005WH Reflector, #2002Pl Frame-in kit with Par 20/50w
- 1 3 3 Lightolier (INSULATED) Step Baffle Recessed Light #2005WH Reflector, #2000IC Frame-in kit with Par 20/50w
- 5" Lightolier Step Baffle Recessed Light
  #1005WH Reflector, #1002Pl Frame-in kit with Par 30/75w
- 5" Lightolier (INSULATED) Step Baffle Recessed Light
  #1005WH Reflector, #1000IC Frame-in kit with Par 30/15w

  6 3/4" Lightolier Step Baffle Recessed Light
  #1005WH Reflector, #1102PI Frame-in kit with Par 38/90w
- 6 3 " Lightolier Slope Ceiling Recessed Light
  #131WH Reflector for 3/12- 1/12 Ceiling pitch
  #1133WH Reflector for 1/12- 12/12 Ceiling pitch
  #1100AICM Frame in kit with Par 30/15W
- -0-6 3/4" Lightolier Fresnel lens shower It.
  #1126 Reflector, #1102Pl Frame-in kit with Par 19 / 60 w
- -D- 6 3/4" Lightolier (INGULATED) Freenel lens shower It.
  #1126 Reflector, #11001C Frame-in kit with Par 19 / 60 w
- 6 3/4" Lightolier Opal disk surface closet it.
  #1121 Reflector, 1102Pl Frame- in kit with Par 19 / 60 w
  (INSULATED), #1100IC Frame-in kit with Par 19 / 60 w

# MISCELLANEOUS

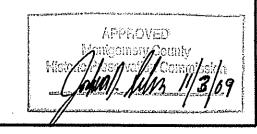
- "PANASONIC', fan only exhaust to exterior sized for cubic feet of room
- Ceiling Fan. with eeparate lines for light and fan operation from switch owner to provide and G.C to install
- Fluorescent under cabinet lighting,
  Allow #5000 per unit

NOTE: Owner shall be responsible for providing all lines for speakers, computers, and security system. Contractor must coordinate scheduling with owner's and their specialist for line all strong strong security systems.



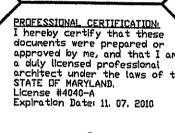
FIRST FLOOR ELECTRICAL PLAN

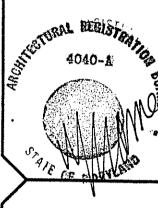
SCALE: 1/4"=1'-0"



KRAMER
ARCHITECTS
7960-D Elid Georgetown Road, Bethesda

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DEGENER AND MUHAYYA RESIDENCE ADDITION 3102 LEE STREET SILVER SPRING, MD 20910

SHEET TITLE:
PROPOSED FIRST FLOOR
ELECTRICAL PLAN

REVISIONS

Dates: 09-30-09
Permit:
Bids:

Scale:
AS NOTED
Project Number
Ø 9 2 1

E-1
8 OF 8



# HISTORIC PRESERVATION COMMISSION

Isiah Leggett County Executive David Rotenstein Chairperson

Date: October 29, 2009

# **MEMORANDUM**

TO:

Carla Reid, Director

Department of Permitting Services

FROM:

Josh Silver, Senior Planner

Historic Preservation Section

Maryland-National Capital Park & Planning Commission

SUBJECT:

Historic Area Work Permit #522363, one-story rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>approved</u> at the October 28, 2009 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant:

Perry Degener & Auysha Muhayya

Address:

3102 Lee Street, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or <a href="mailto:joshua.silver@mncppc-mc.org">joshua.silver@mncppc-mc.org</a> to schedule a follow-up site visit.



# THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

he e	XISTING C	building	15 0	two-storg	style . strusture
1 full	Walk-OL	it base	ment	level.	
<u>′</u>					
<del></del>	***				
	·				<del></del>
					<del></del>
				•	re applicable, the historic dist

2. SITE PLAI

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

double hung Anderson to motch existing

with a 7" Exposure to match existing. The

a. the scale, north arrow, and date;

WRITTEN DESCRIPTION OF PROJECT

- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

# 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 5. TREE SURVEY

if your are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RESURN TO THE HAR THE NECEPHENDING SERVICES

255 POOR ALLE PARE QUARLOGR ROCKVILLE IND 26850

245 277 - 177

# HISTORIC PRESERVATION COMMISSION 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: MARK NIUMEN, PA.1.
" ^	Daytime Phone No.: 301-652-5700
Tax Account No.: 009958	
Name of Property Owner: PERRY DEG	SENER & AUYSHA MUHAYYA 301-588-168,
Address: 3102 LEE STREE	T, SILVER SPRING MD - 20910-1051
Street Number Contractor: Not Selected	C this time Phone No.:
Contractor Registration No.:	•
Agent for Dwner: KRAMER ARCH I	TECTS, INC - Daytime Phone No.: 301-652-5700
Attn = Mark Kr LOCATION OF BUILDING PREMISE	amer
LOCATION OF BUILDING/PREMISE	IET STORET
House Number: 3/0 2	Street LEE STREET
Town/City: S/LVER SRRIM	Nearest Cross Street. CAPITAL VIEW AVENUE
Lot: 21 Block: 23 Sul	Street LEE STREET  UG Nearest Cross Street: CAPITAL VIEW AVENUE  bdivision: CAPITAL VIEW PARK
Liber:Folio:	
PART ONE: TYPE OF PERMIT ACTION AND US	
1A. CHECK ALL APPLICABLE:	CHECK ALL APPLICABLE:
Construct X Extend Alter/Reno	· · · · · · · · · · · · · · · · · · ·
☐ Move ☐ Install ☐ Wreck/Rag	, , , , , , , , , , , , , , , , , , , ,
☐ Revision. ☐ Repair ☐ Revocable	
1B. Construction cost estimate: \$ 25 00	00,
1C. If this is a revision of a previously approved active	e permit, see Permit #
PART TWO: COMPLETE FOR NEW CONSTRUC	TION AND EXTEND/ADDITIONS
2A. Type of sewage disposal: 01 💥 WSSC	02 🖸 Septic 03 🗔 Other:
ZB. Type of water supply: 01 X WSSC	
zs. Type of Maisterppy,	
PART THREE: COMPLETE ONLY FOR FENCE/RI	ETAINING WALL
3A. Heightinches	
3B. Indicate whether the fence or retaining wall is t	to be constructed on one of the following locations:
☐ On party line/property line ☐ En	ntirely on land of owner
	toregoing application, that the application is correct, and that the construction will comply with plans vieldge and accept this to be a condition for the issuance of this permit.  **MARK KNAME**  **J/29/09  **Date**  **Date**
Approved:	For Chairperson, Historic Preservation Commission
Disapproved: Signature:	(JDS) Date: 11 3 09
Application/Permit No.: 592363	Date Filed: 130 751 Date Issued:

**SEE REVERSE SIDE FOR INSTRUCTIONS**