

3102 Lee Street, Silver Spring
[HPZ Case 3107-09E]
Capitol View Park Historic District

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 3102 Lee Street, Silver Spring **Meeting Date:** 10/28/2009
Resource: Non-Contributing Resource **Report Date:** 10/21/2009
Capitol View Park Historic District **Public Notice:** 10/14/2009
Applicant: Perry Degener & Auysha Muhayya **Tax Credit:** None
Review: HAWP **Staff:** Josh Silver
Case Number: 31/07-09E
PROPOSAL: One-story rear addition

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Capitol View Park Historic District
STYLE: Cape Cod
DATE: 1938

PROPOSAL

The applicants are proposing to construct an approximately 12' x 25', one-story addition at the rear of the house. The proposed work includes the removal of an existing landing and stairs from the rear elevation and construction of a new landing and stairs on the left side elevation. The proposed landing and stairs will connect to an existing open-style porch.

Material treatments for the proposed alterations include fiber cement siding, fiberglass shingles, wooden double-hung windows, wooden doors, synthetic decking and wooden railings.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would

be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed addition at the subject property. The proposed work is consistent with Chapter 24A-8(b) (1) & (2) and Standards #9 & 10.

The proposed rear addition will not substantially alter the exterior features of the subject property. The proposed work is compatible in character and nature with the historic massing and site context. The proposed material treatments are appropriate for a rear addition to a non-contributing resource. Staff is recommending that the HPC approve the HAWP application.

The proposed work is also consistent with *The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland*.

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.6 Use windows that are similar in character to those of the main structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b) (1) & (2);

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the

I-B

staff person assigned to this application at 301.563.3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Mark Kramer, A.I.A.
Daytime Phone No.: 301-652-5700

Tax Account No.: 00995877
Name of Property Owner: PERRY DEGENER & AUYSHA MUHAYYA Daytime Phone No.: 301-588-4681
Address: 3102 LEE STREET, SILVER SPRING, MD - 20910-1051
Street Number City State Zip Code
Contractor: Not selected @ this time Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: KRAMER ARCHITECTS, INC. Daytime Phone No.: 301-652-5700
Attn: Mark Kramer

LOCATION OF BUILDING/PREMISE

House Number: 3102 Street: LEE STREET
Town/City: SILVER SPRING Nearest Cross Street: CAPITAL VIEW AVENUE
Lot: 21 Block: 23 Subdivision: CAPITAL VIEW PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 25,000.
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark A. Kramer Mark Kramer 9/29/09
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 522363 Date Filed: 9/30/09 Date Issued: _____

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Brick building structure, cape cod style.
The existing building is a two-story structure
w/ full walk-out basement level.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is to add a one level family room at the
rear of the existing residence with an open space below
the proposed addition. The siding will be Hardy Plank concrete
with a 7" exposure to match existing. The windows are
double hung Andersen to match existing style. The color of
the addition will be white.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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KRAMER ARCHITECTS INC.

7960-D Old Georgetown Road, Bethesda, MD 20814 301/652-5700 • FAX 301/913-9254

PROJECT: RESIDENCE RENOVATION & ADDITION PROJECT
3102 LEE STREET, SILVER SPRING, MD.

ADJOINING/CONFRONTING HOME OWNERS:

1. Ryan Watts
3104 Lee Street, Silver Spring, MD. 20910
Lot 20, Block 23, Capital View Park
2. Janice Rodgers
10106 Capital View Avenue, Silver Spring, MD. 20910
Lot 22, Block 23, Capital View Park
3. Charles Richie
3107 Lee Street, Silver Spring, MD. 20910
Lot part of 22, Block 20, Capital View Park

PROPOSED BUILDING MATERIALS:

Roofing: Use Certainteed fiberglass shingles to match the existing residence at the two side sections of the addition which are visible. Use black raised seam metal roof at the lower sloped roof structure not visible from the two sides.

Siding: Use a white painted Hardy Plank concrete siding material with a 7 inch exposure at the addition to match the existing siding.

Windows: Use an Andersen double hung window to match the style and color of the existing residence windows.

Doors: Use a half-lite side door unit with a nine lite pattern at the glass. Lower half of the door to be ptd. panel.

Support: Use brick columns covering steel columns.

Deck Railing: Use painted white pickets to match the existing railing

Decking: Use Trex material in a dark brown color.

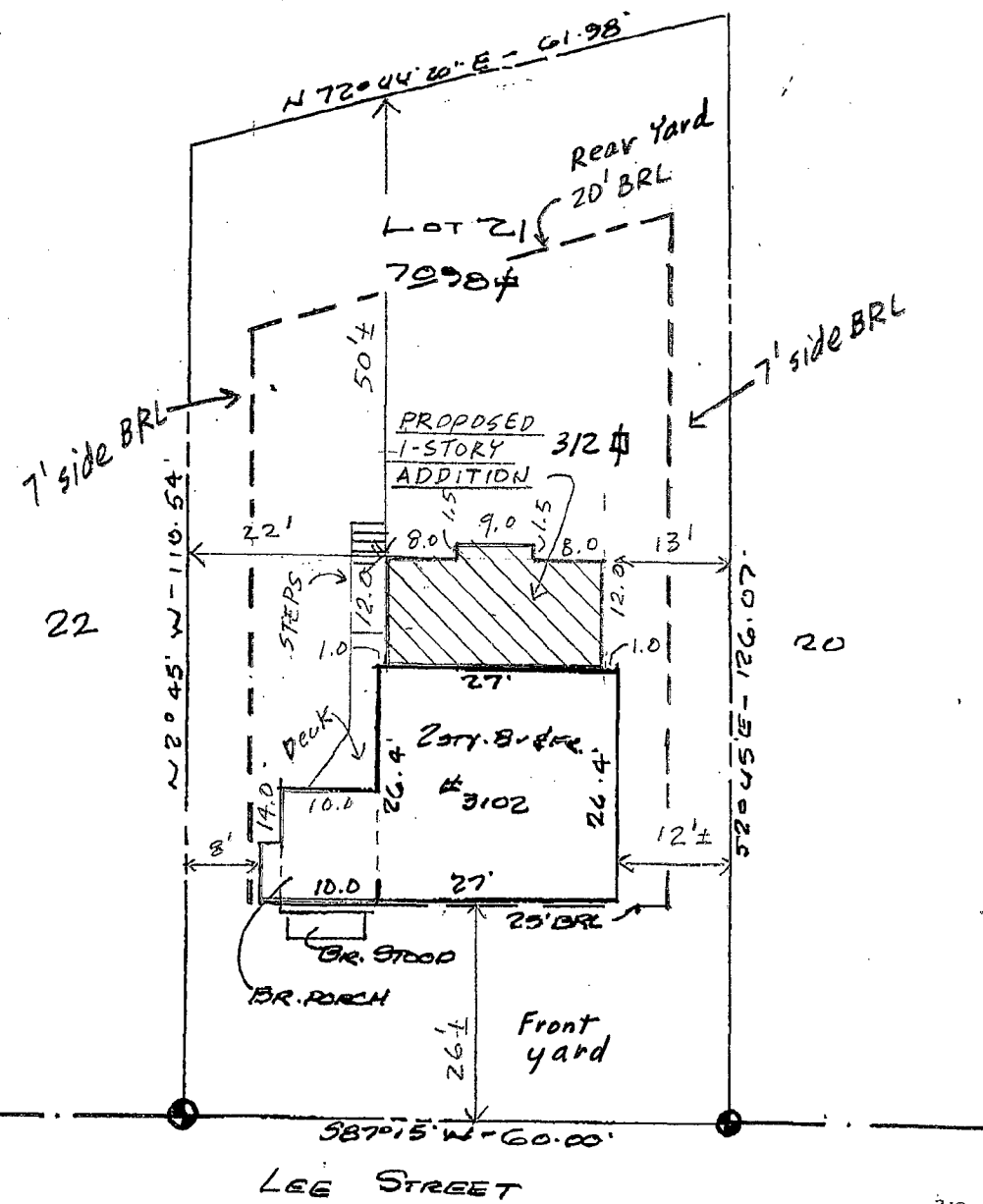
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Zoning Data

zone: R-60
 allowed lot occupancy = 35%

proposed lot occupancy = 16%



No evidence of property corners was found. Apparent occupation is shown.

312
 712.87
 140.0 } 852.
 116.4

Date: 03-13-02
 Plat Book: 17
 Plat No.: 1059
 Work Order: 02-1787
 Address: 3102 LEE STREET
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MD

Scale: 1" = 20' Dm: SW
 NO TITLE REPORT FURNISHED

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen Jones Westfield

LOCATION DRAWING
 LOT 21
 BLOCK 23
 CAPITAL VIEW PARK

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

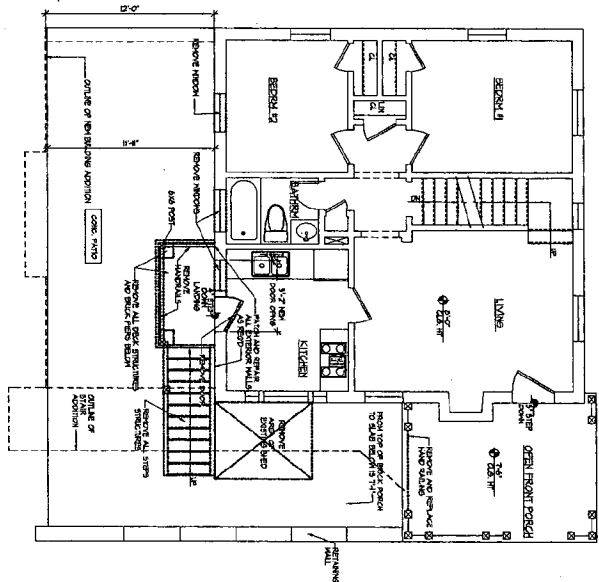


Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

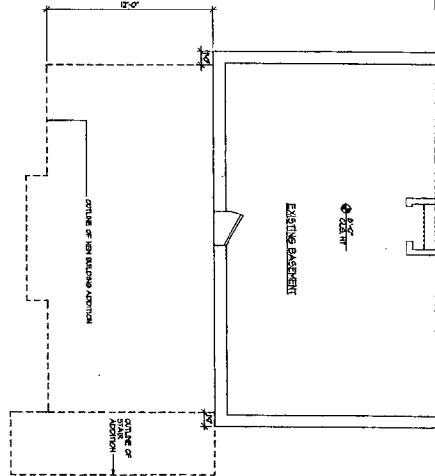
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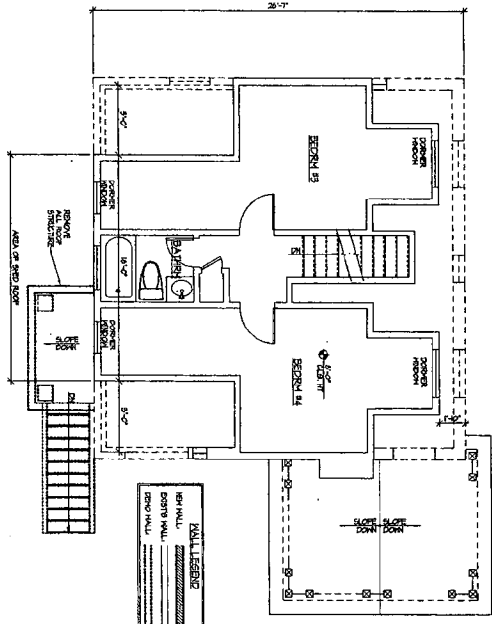
EXISTING / DEMO FIRST FLOOR PLAN



EXISTING / DEMO BASEMENT FLOOR PLAN

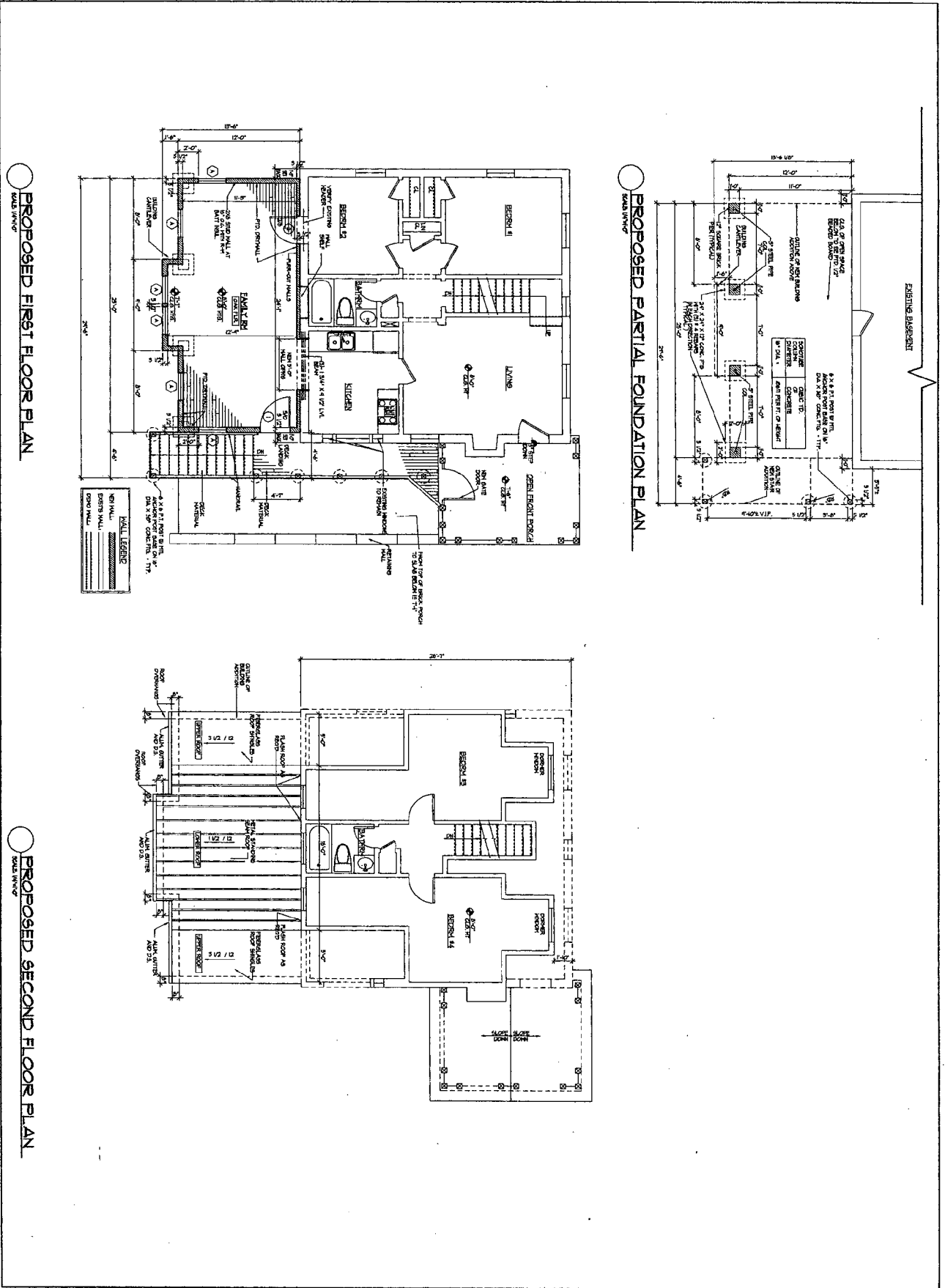


EXISTING / DEMO SECOND FLOOR PLAN



<p>A-3 3 of 8</p>	<p>DATE: 09-29-09 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>REVISIONS:</p>	<p>SHEET TITLE: EXISTING / DEMO FLOOR PLANS</p>	<p>PROJECT: DEGENER AND MUHAYYA RESIDENCE ADDITION 3102 LEE STREET SILVER SPRING, MD 20910 MONTGOMERY COUNTY</p>	<p>NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE. 3. ALL DOORS ARE 6'0" HIGH AND 3'0" WIDE UNLESS NOTED OTHERWISE. 4. ALL WINDOWS ARE 6'0" HIGH AND 3'0" WIDE UNLESS NOTED OTHERWISE. 5. ALL STAIRS ARE 10'0" WIDE UNLESS NOTED OTHERWISE. 6. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE. 7. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE. 8. ALL CEILING ARE 8'0" HIGH UNLESS NOTED OTHERWISE. 9. ALL EXTERIOR WALLS ARE 16" CMU UNLESS NOTED OTHERWISE. 10. ALL EXTERIOR ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.</p>	<p>KRAMER ARCHITECTS INC. 7943 Old Georgetown Road, Bethesda, MD 20814 Phone: 301 652-2700 Fax: 301 913-6254</p>
	<p>DATE: 09-29-09 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>REVISIONS:</p>	<p>SHEET TITLE: EXISTING / DEMO FLOOR PLANS</p>	<p>PROJECT: DEGENER AND MUHAYYA RESIDENCE ADDITION 3102 LEE STREET SILVER SPRING, MD 20910 MONTGOMERY COUNTY</p>	<p>NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE. 3. ALL DOORS ARE 6'0" HIGH AND 3'0" WIDE UNLESS NOTED OTHERWISE. 4. ALL WINDOWS ARE 6'0" HIGH AND 3'0" WIDE UNLESS NOTED OTHERWISE. 5. ALL STAIRS ARE 10'0" WIDE UNLESS NOTED OTHERWISE. 6. ALL ROOFS ARE 12/12 UNLESS NOTED OTHERWISE. 7. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE. 8. ALL CEILING ARE 8'0" HIGH UNLESS NOTED OTHERWISE. 9. ALL EXTERIOR WALLS ARE 16" CMU UNLESS NOTED OTHERWISE. 10. ALL EXTERIOR ROOFS ARE 12/12 UNLESS NOTED OTHERWISE.</p>	<p>KRAMER ARCHITECTS INC. 7943 Old Georgetown Road, Bethesda, MD 20814 Phone: 301 652-2700 Fax: 301 913-6254</p>

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PROPOSED FIRST FLOOR PLAN

PROPOSED PARTIAL FOUNDATION PLAN

PROPOSED SECOND FLOOR PLAN

WALL LEGEND

(Symbol)	6" CMU WALL
(Symbol)	8" CMU WALL
(Symbol)	CONCRETE WALL

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OF 5

SHEET TITLE:
PROPOSED FLOOR PLANS

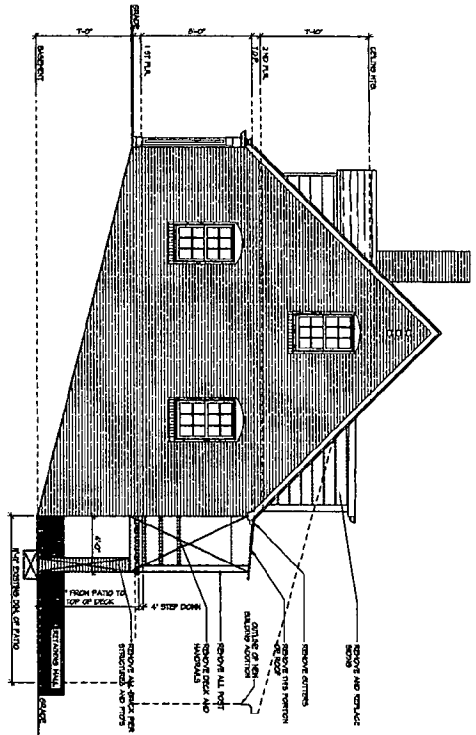
PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

REVISIONS

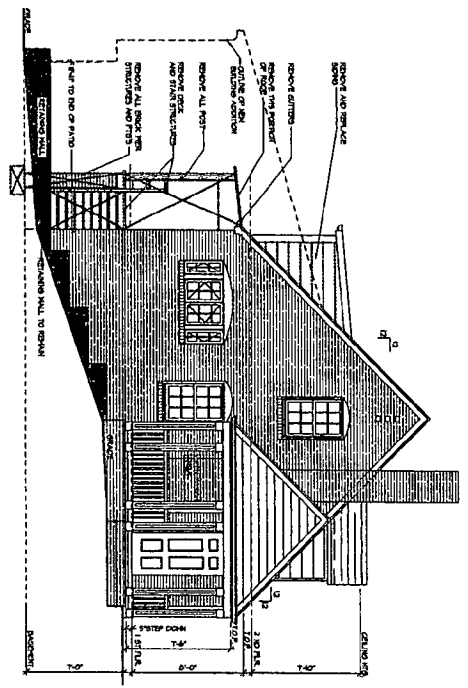
NO.	DATE	DESCRIPTION

KRAMER ARCHITECTS INC.
7863 Old Georgetown Road, Bethesda, MD 20814
Phone: (301) 552-7000 Fax: (301) 552-9554

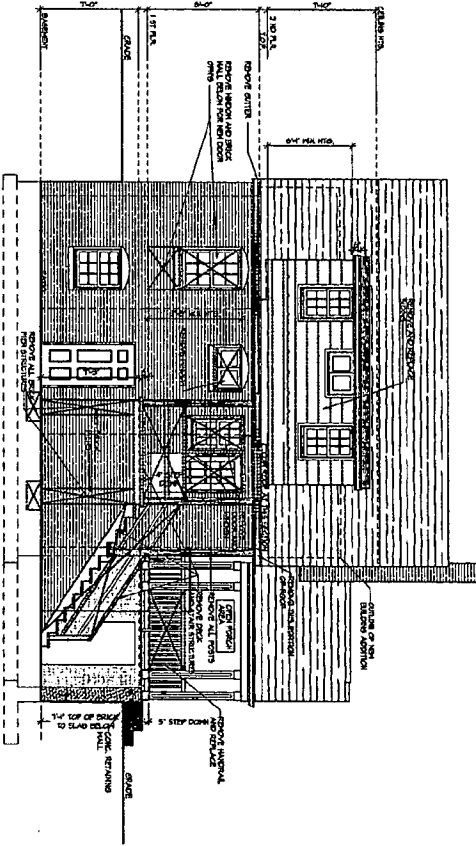
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EXISTING / DEMO RIGHT SIDE ELEVATION

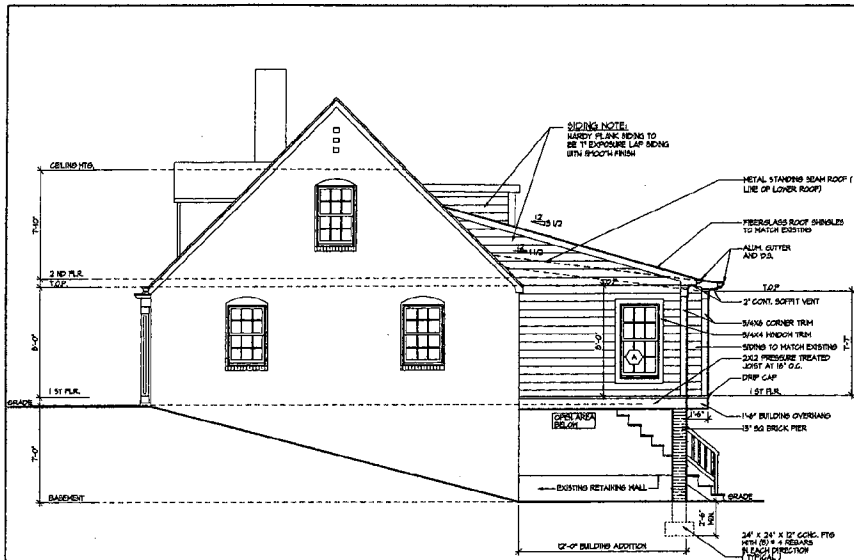


EXISTING / DEMO LEFT SIDE ELEVATION

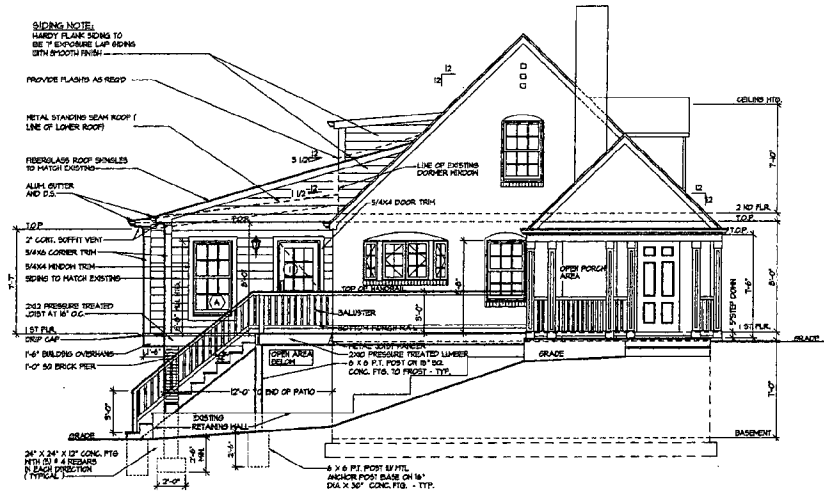


EXISTING / DEMO REAR ELEVATION

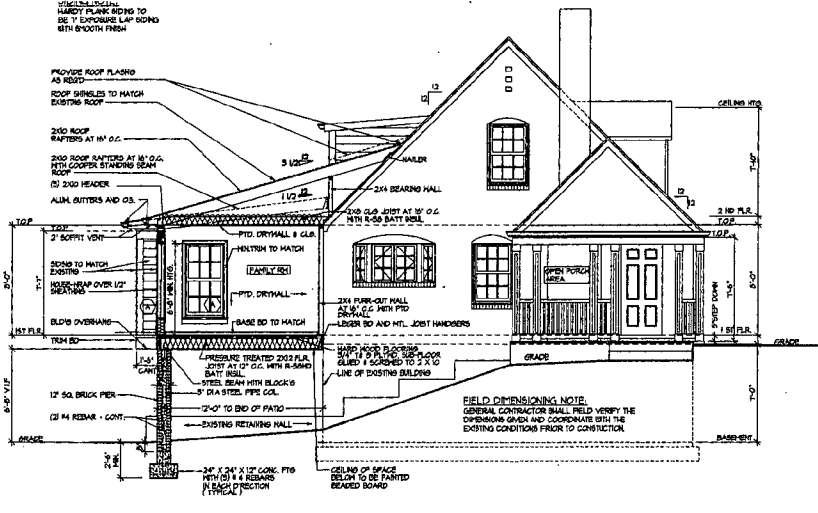
<p>A-4 1 of 1</p>	<p>RESTRICTIONS</p>	<p>SHEET TITLE: EXISTING / DEMO ELEVATIONS</p>	<p>PROJECT: DEGENER AND MUHAYYA RESIDENCE ADDITION 3102 LEE STREET SILVER SPRING, MD 20910 MONTGOMERY COUNTY</p>	<p>KRAMER ARCHITECTS INC. 7500 3rd Georgetown Road, Bethesda, MD 20814 Phone: 301-532-0700 Fax: 301-532-0254</p>
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PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"



BUILDING SECTION
SCALE 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4"=1'-0"

KRAMER ARCHITECTS INC.
1000 W. BROAD ST. SUITE 200
MONTGOMERY, AL 36104
PH: 205.261.1234
FAX: 205.261.1235

PROJECT:
DEGENER AND MUHATTA
RESIDENCE ADDITION
3107 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

SHEET TITLE:
PROPOSED ELEVATIONS
AND BUILDING SECTION

REVISIONS

Date: 09-30-09
Pen: [initials]
Blk: [initials]
Circ: A
As NOTED
Project Number: 0921

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8 OF 8

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3102 Lee Street, Silver Spring
Capitol View Park Historic District



(B)



KRAMER ARCHITECTS, INC.
7960-D Old Georgetown Rd
Bethesda, MD 20814
(301) 652-5700
FAX (301) 913-9254



**SIDE AND REAR ELEVATION
FROM REAR OF EXISTING**



**FRONT ELEVATION OF EXISTING
RESIDENCE FROM FRONT YARD**

14

**FRONT ELEVATION OF EXISTING
RESIDENCE @ EXISTING PORCH**



REAR OF EXISTING PORCH



**SIDE AND REAR PHOTO OF
RIGHT SIDE OF EXISTING RES.**



**REAR LEFT SIDE OF RESIDENCE
FROM BACKYARD**

**FRONT ELEVATION OF EXISTING
RESIDENCE @ EXISTING PORCH**



REAR OF EXISTING PORCH



**SIDE AND REAR PHOTO OF
RIGHT SIDE OF EXISTING RES.**



**REAR LEFT SIDE OF RESIDENCE
FROM BACKYARD**



KRAMER ARCHITECTS, INC.

7960-D Old Georgetown Rd
Bethesda, MD 20814
(301) 652-5700
FAX (301) 913-9254



**SIDE AND REAR ELEVATION
FROM REAR OF EXISTING**



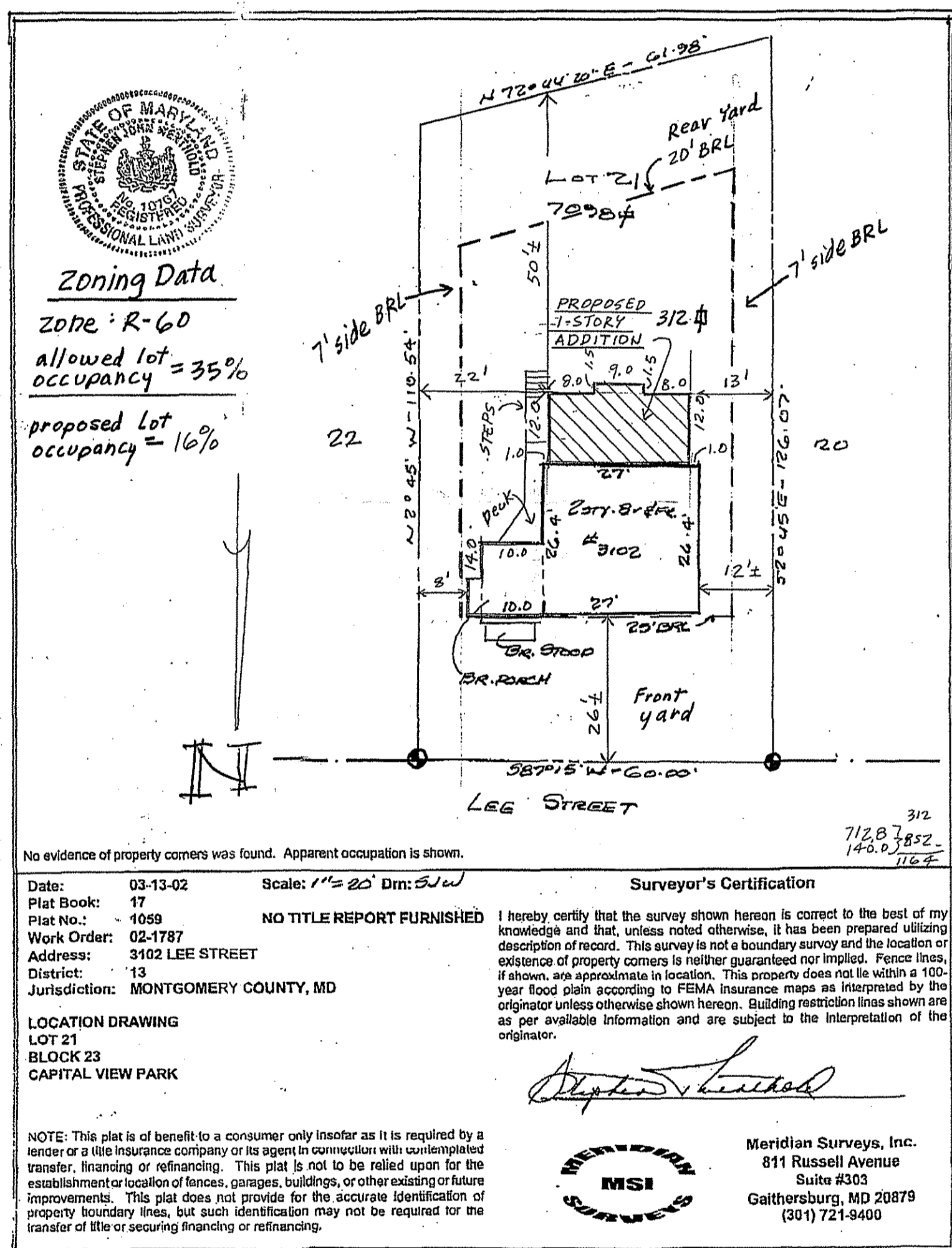
**FRONT ELEVATION OF EXISTING
RESIDENCE FROM FRONT YARD**

THE DEGENER AND MUHAYYA RESIDENCE BUILDING ADDITION

3102 LEE STREET, SILVER SPRING, MARYLAND 20910

PROPOSED BUILDING ADDITION

SITE PLAN



GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

- All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2006 IRC.
- Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect all shrubs that are to remain.
- Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing services. And provide the panel to satisfy all load requirements for any new construction as designated on plans.
- Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
- Electrical subcontractor to review drawings and bring any questions related to specifications to the attention of the Architect.
- The General Contractor shall obtain permits required for construction, unless otherwise informed by the Architect.
 THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.
- The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials. All debris at the construction site shall be periodically removed from the site at intervals as not to create a site hazard or create a visual hazard to the Owner.
- General Contractor shall be licensed in the Montgomery County and State of Maryland shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland law require.
- The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall carry Workman's Compensation Insurance in full force during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automobile Liability Insurance and Property Damage Insurance of \$500,000 to \$100,000, minimum. The owner can amend these requirements if specified on the contract.
- All drawings, specifications and copies furnished by the Architect are the documents for construction of the project only and shall not be used in any other circumstance.
- The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.
- The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the work, whether temporary or permanent and shall guarantee no mechanic liens against such project at completion.
- The Contract sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the Contract Documents. A Change Order is written by the General Contractor and signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract sum and be accepted by the Owner before it is part of the contract.
- Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work. All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.
- The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.

CONTRACTOR _____ (Signature) _____ (Date)
 OWNER _____ (Signature) _____ (Date)

MISS UTILITY INSPECTION NOTE:
 CALL MISS UTILITY TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAVATION WITH THE EXISTING UTILITIES.
 PORTA-TOILET FACILITY FOR PROJECT.
 GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE ITS LOCATION WITH THE OWNER, MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

PROJECT DATA

THE DEGENER AND MUHAYYA
 RESIDENCE BUILDING ADDITION
 3102 LEE STREET, SILVER SPRING, MD 20910

LOT: 21
 BLOCK 23
 PLAT. NO.
 PLAT. BOOK NO.
 ZONE: R-60
 LOT SIZE: 1098 SQ. FT.
 SET BACKS:
 FRONT: 0'
 REAR: 00'
 SIDE: 00'
 MAX. HEIGHT:
 MAX. LOT COVERAGE =

BUILDING CODE: INT'L RESIDENTIAL CODE 2006

INDEX OF DRAWINGS

- A-1 COVER SHEET, SITE PLAN, CONSTRUCTION NOTES & DRAWING INDEX
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- A-4 EXISTING / DEMO ELEVATIONS
- A-5 PROPOSED FLOOR PLANS
- A-6 PROPOSED ELEVATIONS AND BUILDING SECTION
- S-1 FLOOR AND ROOF FRAMING PLANS
- E-1 FIRST FLOOR ELECTRICAL FLOOR PLAN

SYMBOL LEGEND

- DETAIL SECTION
- DETAIL TAG
- DETAIL SHEET NO.
- BLDG SECTION TAG
- ELEVATION TAG
- GRAVEL FILL
- EARTH
- FIBERGLASS BATT INSULATION
- CONCRETE MASONRY UNITS
- BRICK OR STONE VENEER
- CONCRETE (SOLID/Poured)

LIST OF ABBREVIATIONS

AB.	ANCHOR BOLT	FLR.	FLOOR FOUNDATION	O.C.	ON CENTER OVERHANG
ADJ.	ADJACENT	FR.	FIRE RATED	OPER.	OPERATOR
AHU.	AIR HANDLER UNIT	FP.	FIREPLACE	OPENG.	OPENING
ALUM.	ALUMINUM	FTG.	FLOORING	OZ.	OUNCE
ANCH.	ANCHOR	F/C	FLOOR COVERING CHANGE	P.NL.	PANEL PARTICLE BOARD
AT.	ANGLE ARCHITECTURAL	GA.	GAUGE	PFD.	PERFORATED
B.	BOARD	GALV.	GALVANIZED	FLATE.	FLATE
BLDG.	BUILDING	G.C.	GENERAL CONTRACTOR	FLYWOOD.	PLYWOOD
BM.	BEAM	GEN.	GENERAL	FF.	FREEIFRICATION
BTH.	BATH	GYP. BD.	GYPSUM BOARD	PF.	POUNDS PER SQ. IN.
BLKG.	BLOCKING	GLUE.	GLUE LAM	PPF.	POUNDS PER SQ. FT.
BRG.	BEARING	H.L.	HARDWARE	PSF.	POUNDS PER SQ. IN.
BMT.	BASEMENT	HDR.	HEADER	FT.	FOOT
C.J.	CONTROL JOINT- SAUCUT	HDR.	HEADER	R.	RIBBER
CHIL.	CHIMNEY	HDR.	HEADER	RND.	ROUND
CCL.	COLUMN	HD.	HOSE BIB	VR.	VERTICAL
CONC.	CONCRETE	ID.	INSIDE DIAMETER	S.C.	SAUCUT
COND.	CONDITION	INSUL.	INSULATION	SHT.	SHIRT
CONT.	CONTINUOUS	INT.	INTERIOR	SHT.	SHEET
CONT.	CONSTRUCTION	IS.	INSIDE CORNER	SH.	SIMILAR
CTSK.	COUNTERSINK	JT.	JOINT	S.S.	STAINLESS STEEL
CLG.	CASED OPENING	LT. UT.	LIGHTWEIGHT	STL.	STEEL
CANT.	CANTILEVER	L.V.	LIGHT	SUSP.	SUSPENSION
CT.	CERAMIC TILE	LVR.	LAUNDRY TUB	STRUC.	STRUCTURAL
CLG.	CEILING	L.V.	LAUNDRY TUB	SUSP.	SUSPENSION
DBL.	DOUBLE	MT.	MARBLE THRESHOLD	USG.	UNLESS NOTED OTHERWISE
DIA.	DIAMETER	MAS.	MASONRY	VERT.	VERTICAL
DR.	DOOR	MAT.	MATERIAL	VIF.	VERIFY IN FIELD
DWG.	DRAWING	MAT.	MATERIAL	W.	WASHER
D.S.	DOWNSPOUT	MAX.	MAXIMUM	W.	WOOD
DTL.	DETAIL	MECH.	MECHANICAL	WLF.	WELDED WIRE FABRIC
D.	DRYER	MN.	MINIMUM	W/O.	WITHOUT
E.A.	EACH	MO.	MASONRY OPENING	W/O OR W/O	WITHOUT OR WITHOUT
E.L.	EXPANSION JOINT	MTL.	METAL		
ELEC.	ELECTRICAL	N/C.	NOT IN CONTRACT		
ELEV.	ELEVATION	(N/S)	NOT TO SCALE		
EQ.	EQUAL				
EQIP.	EQUIPMENT				
EXP.	EXPANSION				
EXT.	EXTERIOR				
EE	EACH END				

INTERNATIONAL BUILDING CODE DATA 2006 IRC

TABLE R301.5
 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
 (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
ATTICS WITH STORAGE ^a	20
ATTICS WITHOUT STORAGE ^b	10
DECKS ^c	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS ^d	200
GUARDRAILS IN-FILL COMPONENTS ^e	50
PASSENGER VEHICLE GARAGES ^f	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

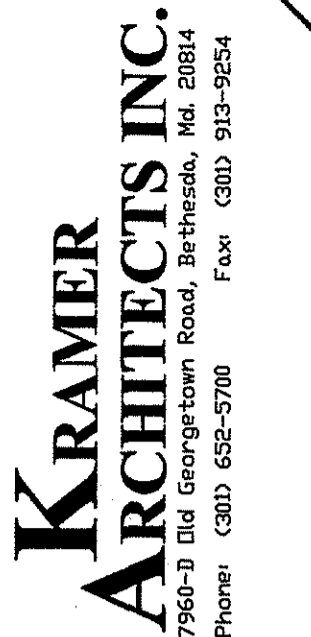
RESIDENTIAL CODE NOTES: RCN
 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE (IRC), 2003 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-24. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301.2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

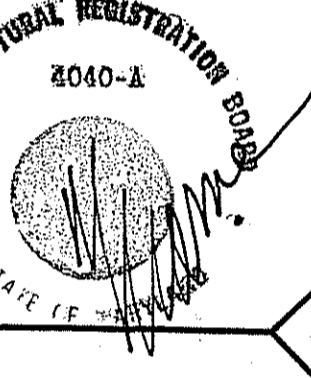
GROUND SHOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING		TERMITES	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDER LAYMENT REQ'D	FLOOR HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE DEPTH							
30 PSF	90 MPH	B	SEVERE	24 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	13° F	YES	JULY 2, 1919	300	55° F

- FOR 51: 1 POUND PER SQUARE FOOT = 0.0491 KN/M², 1 SQUARE INCH = 645 mm², 1 POUND = 4.45N
- A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.
 - B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS
 - C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
 - D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
 - E. SEE SECTION R 502.2.1 FOR DECKS ATTACHED TO EXTERIOR WALLS
 - F. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BLASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 11/3/09



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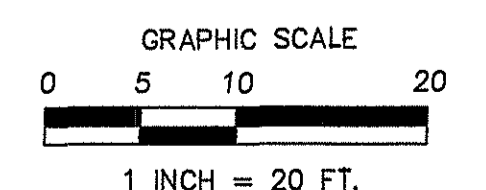
PROJECT:
 DEGENER AND MUHAYYA
 RESIDENCE ADDITION
 3102 LEE STREET
 SILVER SPRING, MD 20910
 MONTGOMERY COUNTY

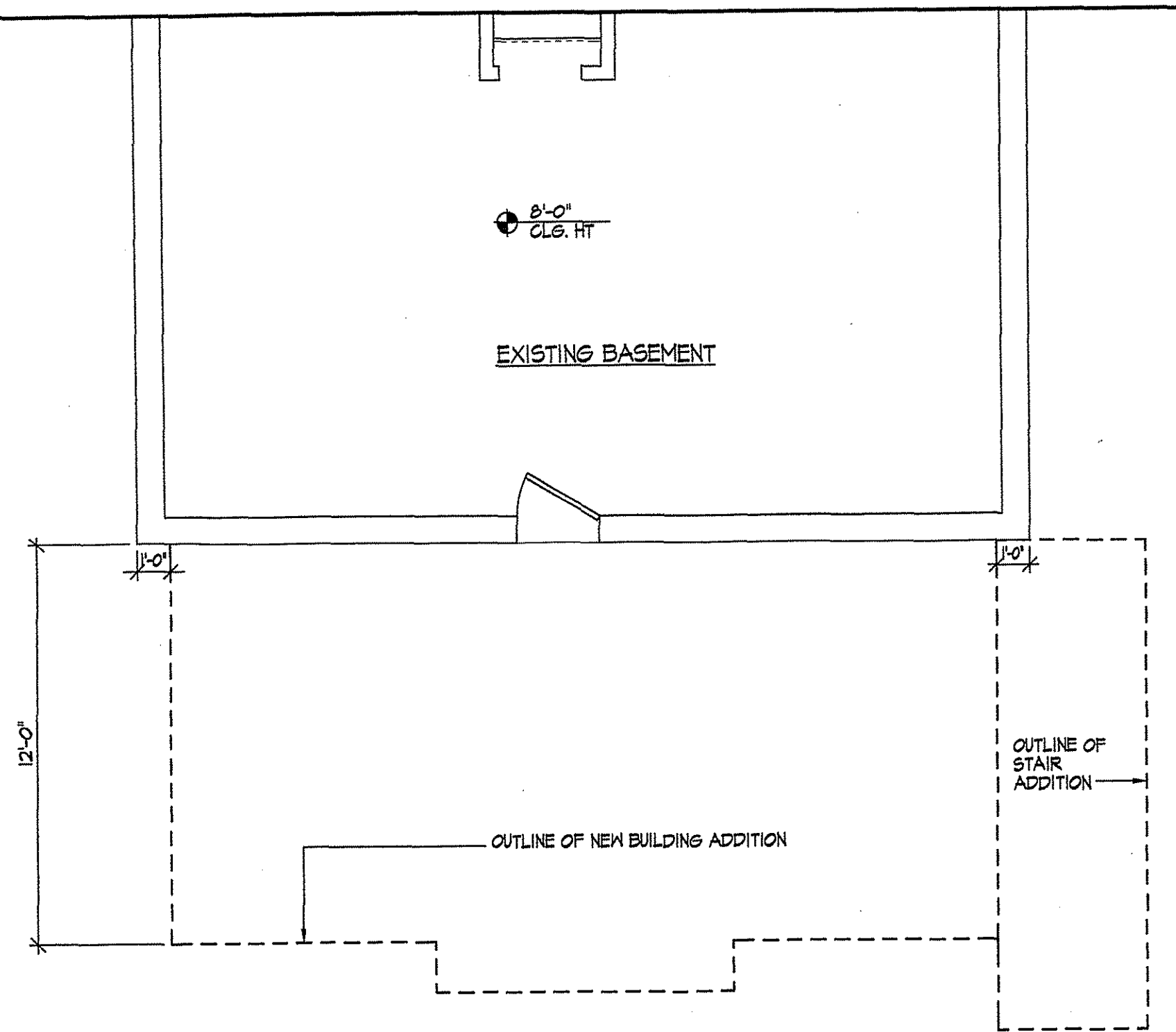
SHEET TITLE:
 COVER SHEET

REVISIONS

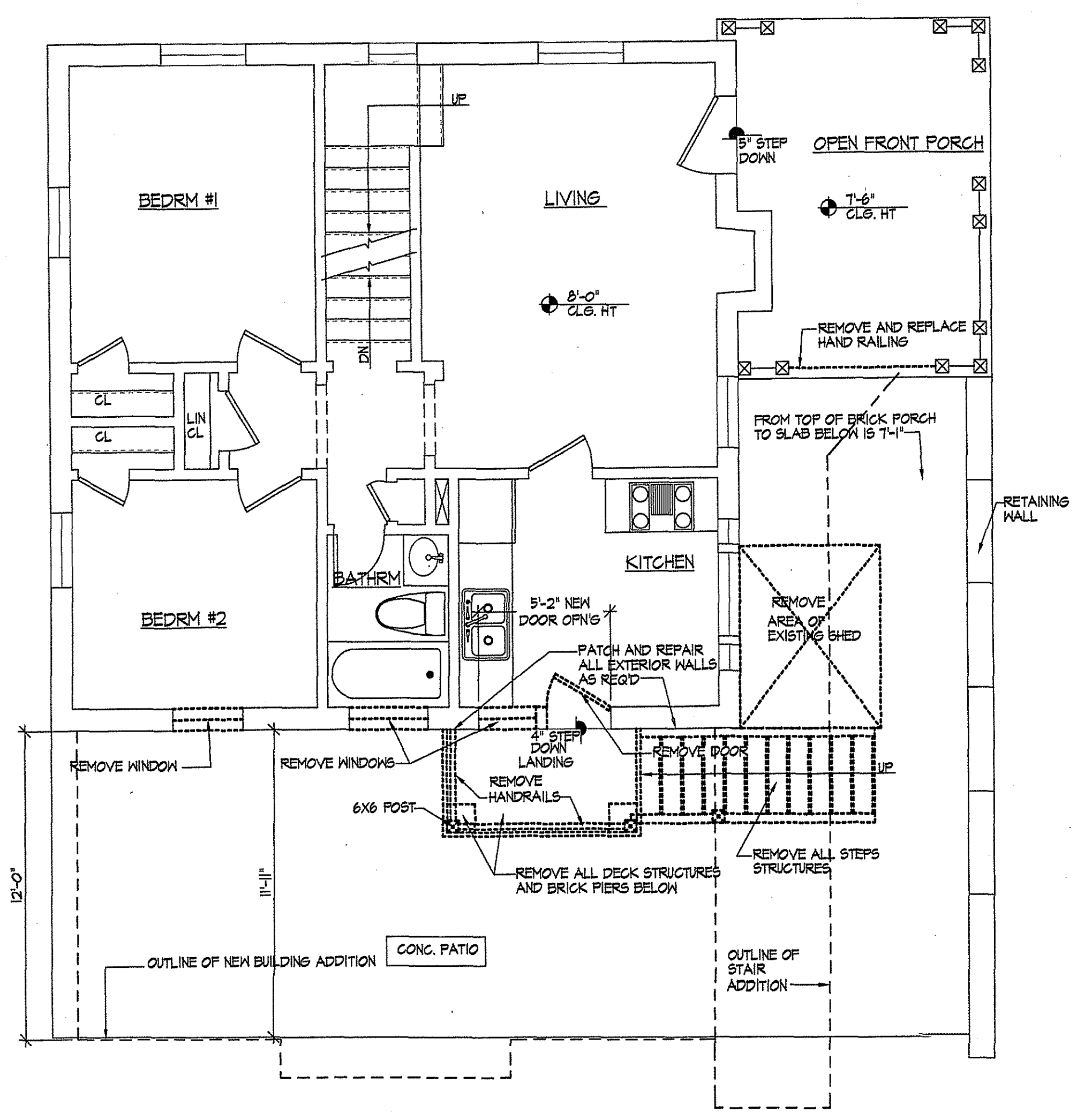
Dates: 09-30-09
 Permit:
 Blde:
 Scale:
 AS NOTED
 Project Number
 0921

A-1
 1 OF 8

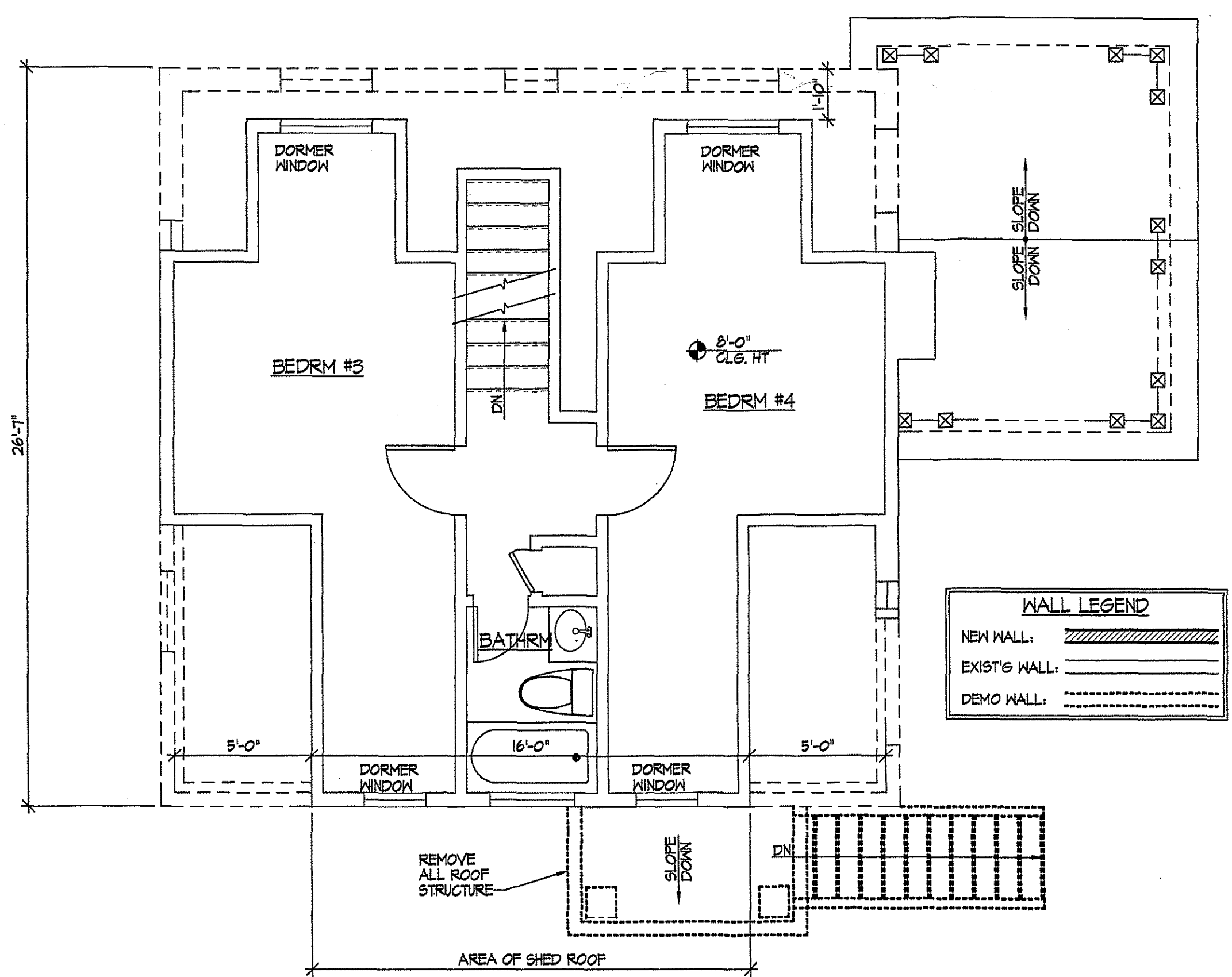




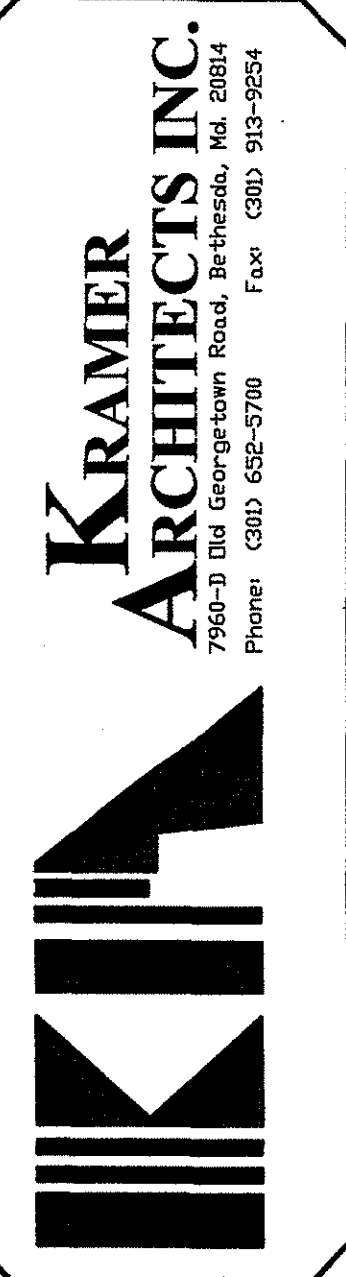
EXISTING / DEMO BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING / DEMO FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

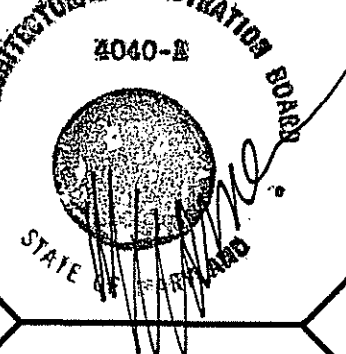


EXISTING / DEMO SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



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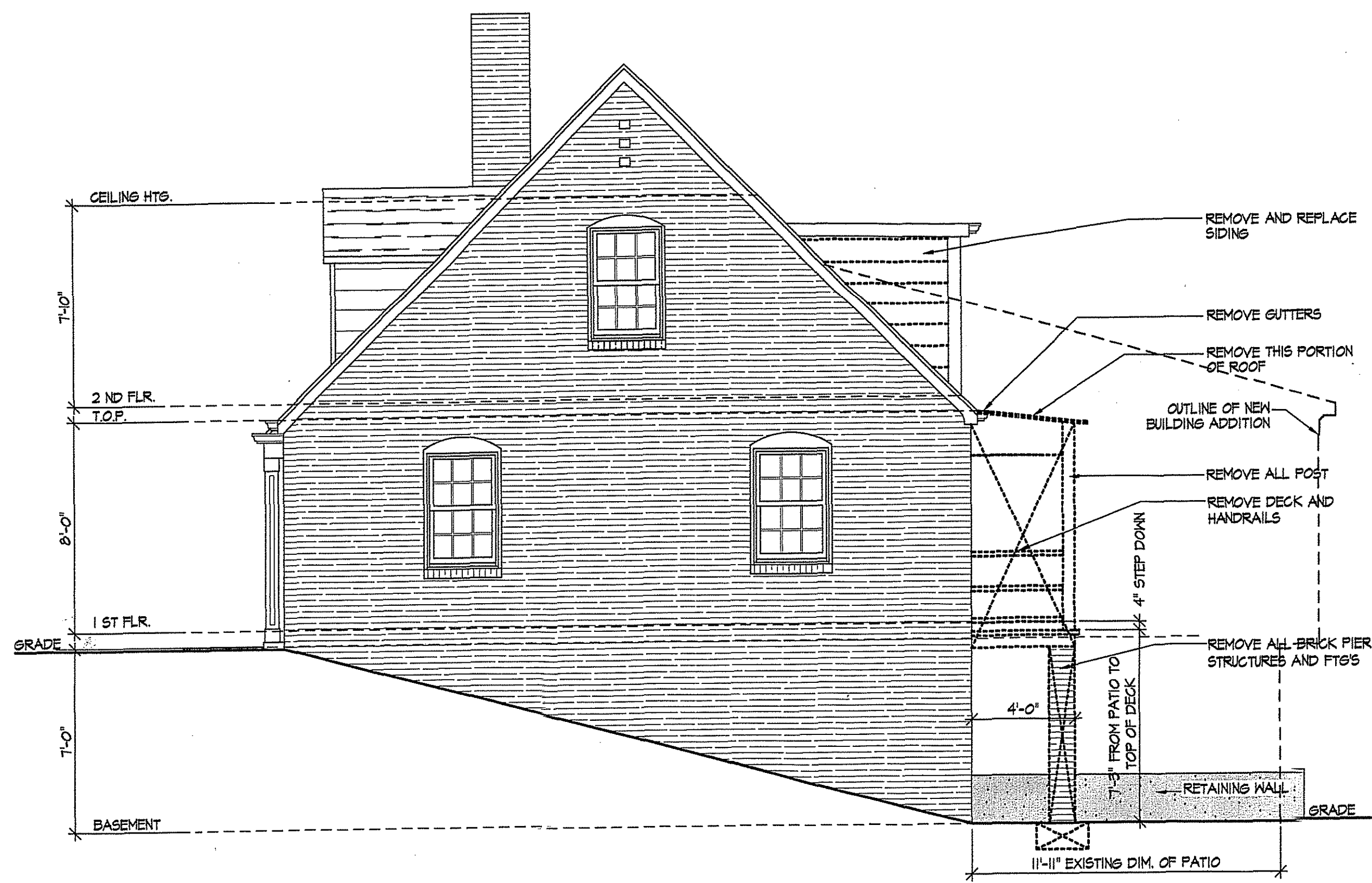
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EXISTING / DEMO
FLOOR PLANS

REVISIONS

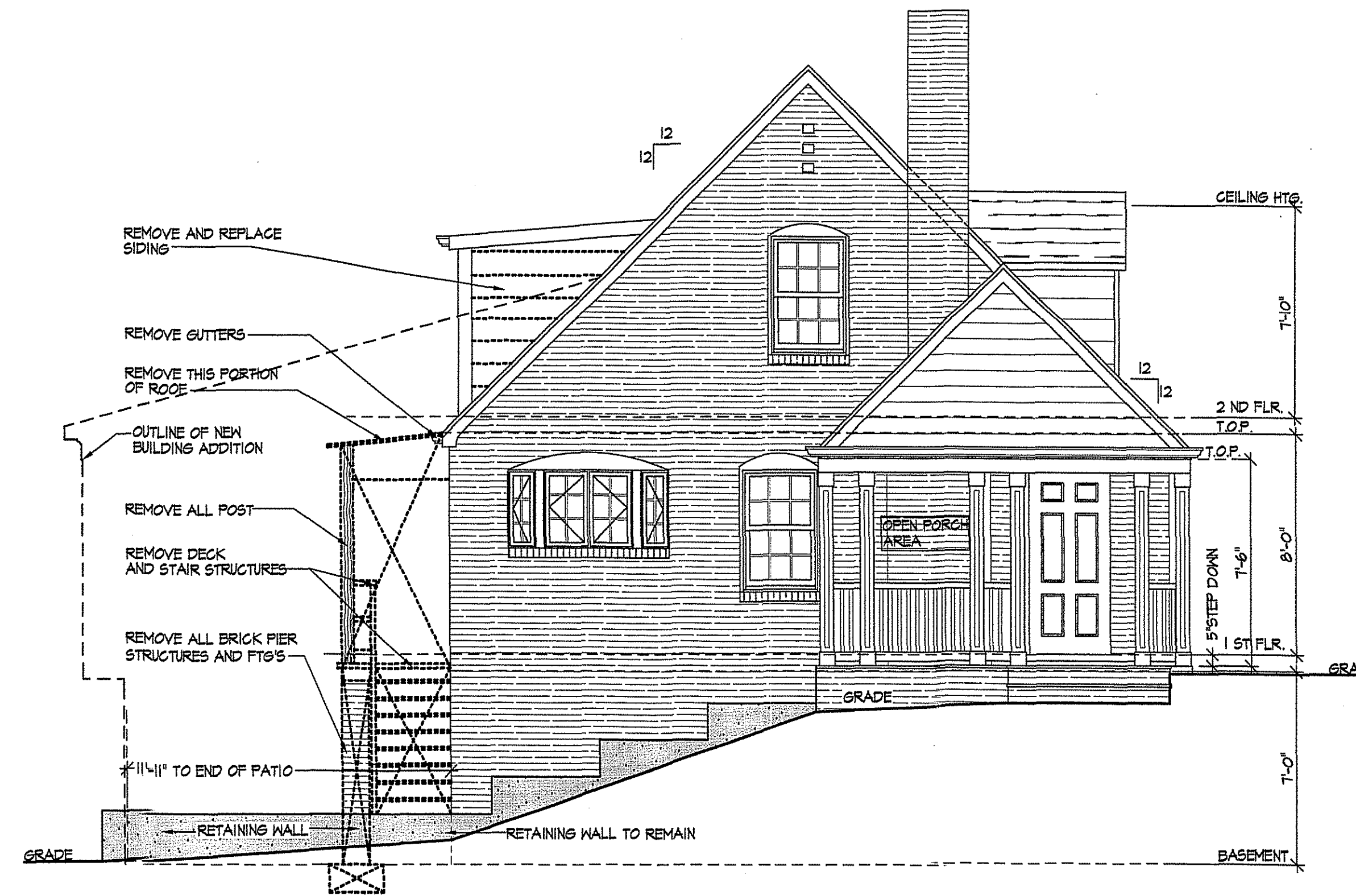
Dates: 09-30-09
Permit:
Bids:
Scale:
AS NOTED
Project Number
0921

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3 OF 8

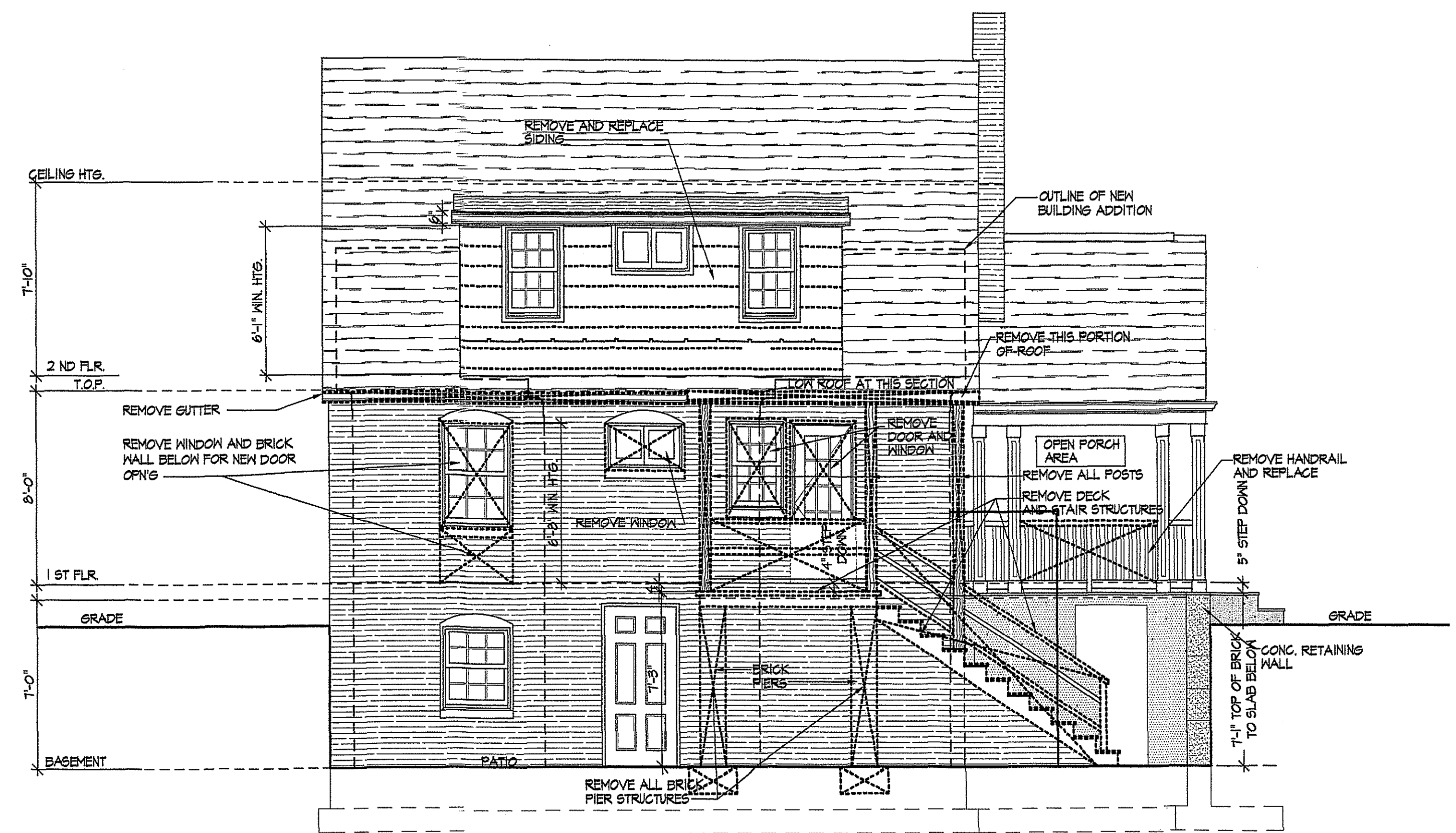
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Historic Preservation Commission
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EXISTING / DEMO RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING / DEMO LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING / DEMO REAR ELEVATION
SCALE: 1/4"=1'-0"

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Historic Preservation Commission
Calvin Miller 11/3/09

KRAMER ARCHITECTS INC.
7560-P Old Georgetown Road, Bethesda, Md. 20814
Phone: 301-656-9700 Fax: 301-913-9654

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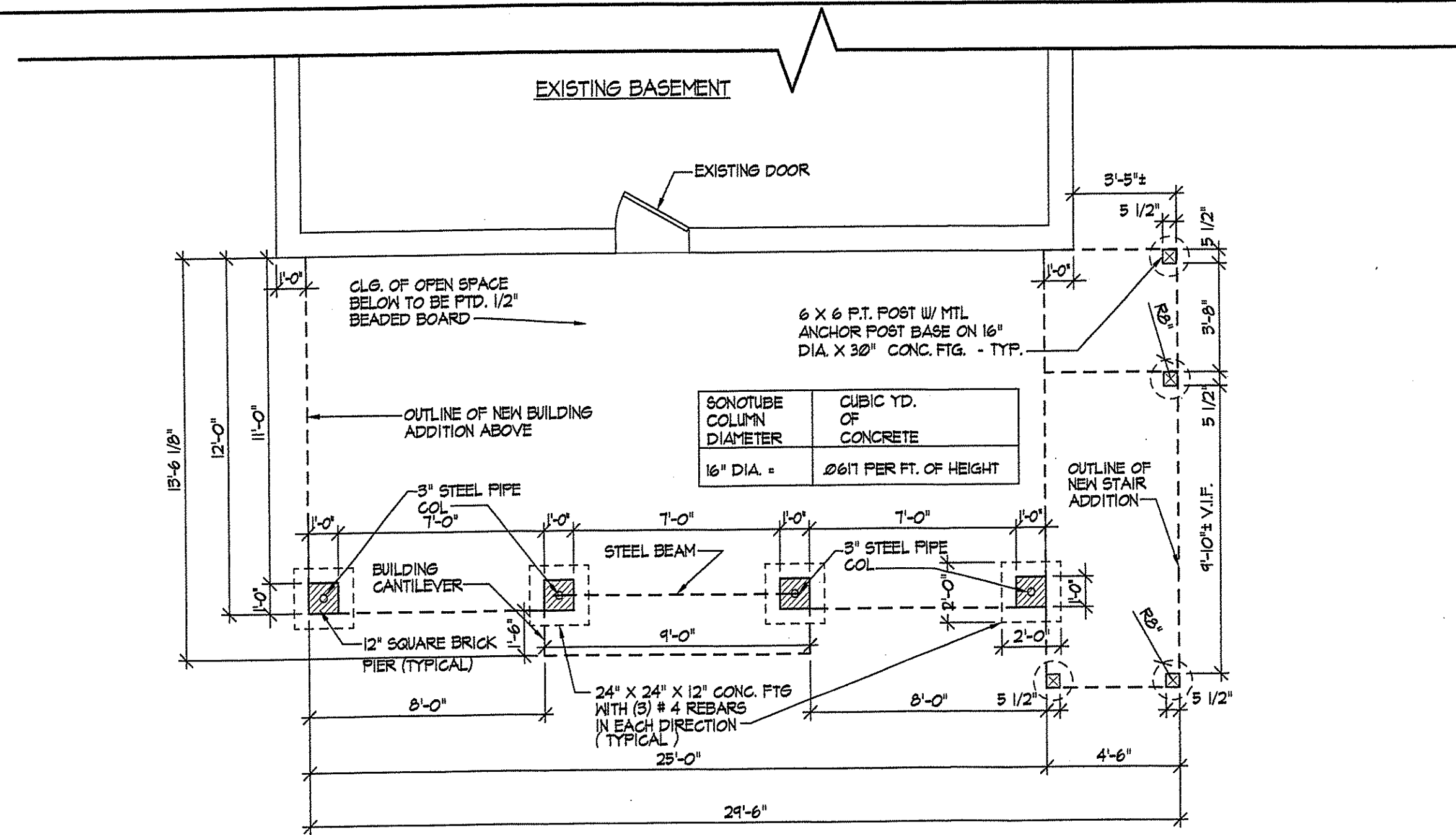
PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

SHEET TITLE:
EXISTING / DEMO
ELEVATIONS

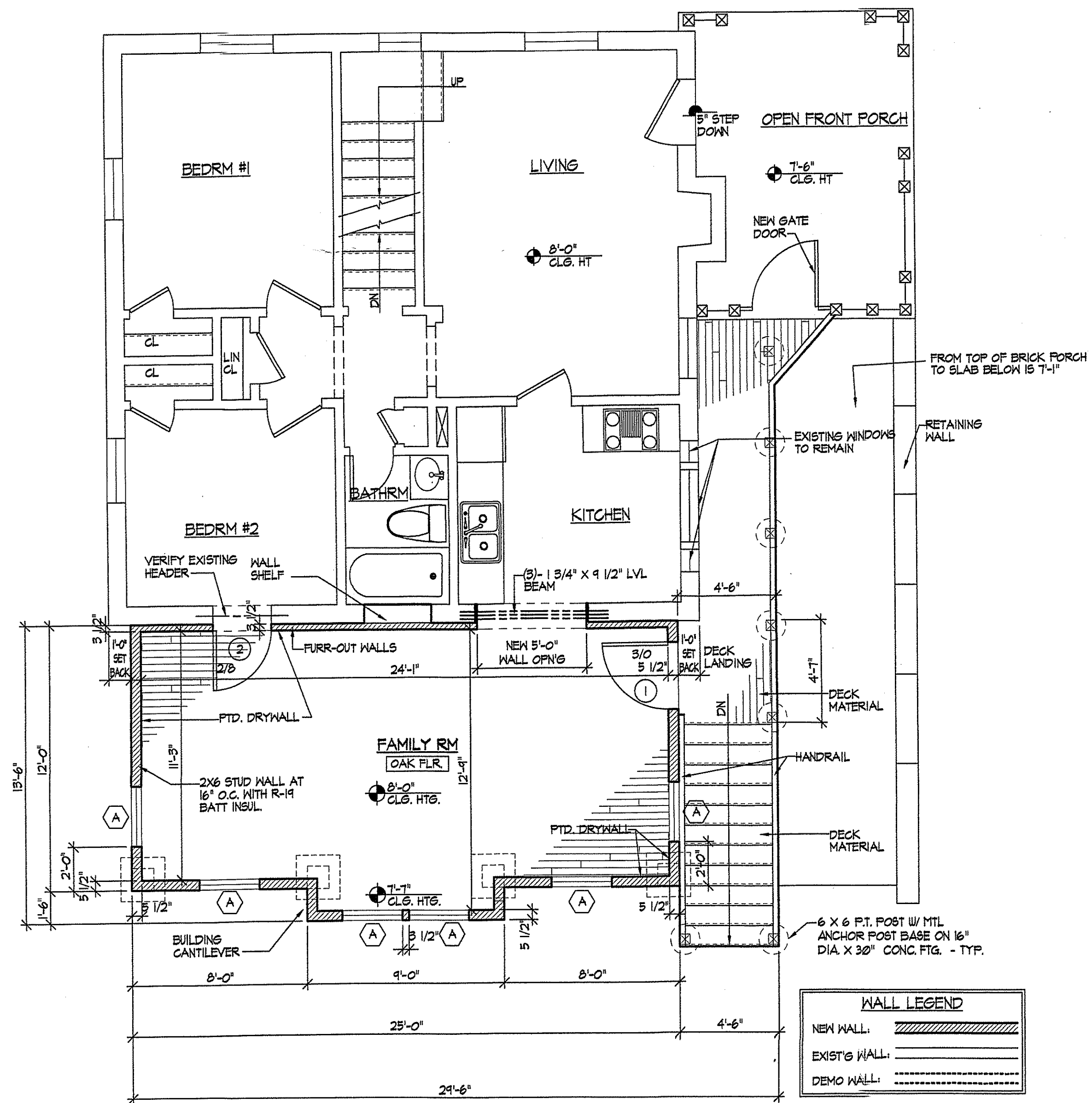
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Date: 09-30-09
Permit:
Scale:
A8 NOTED
Project Number
0 9 2 1

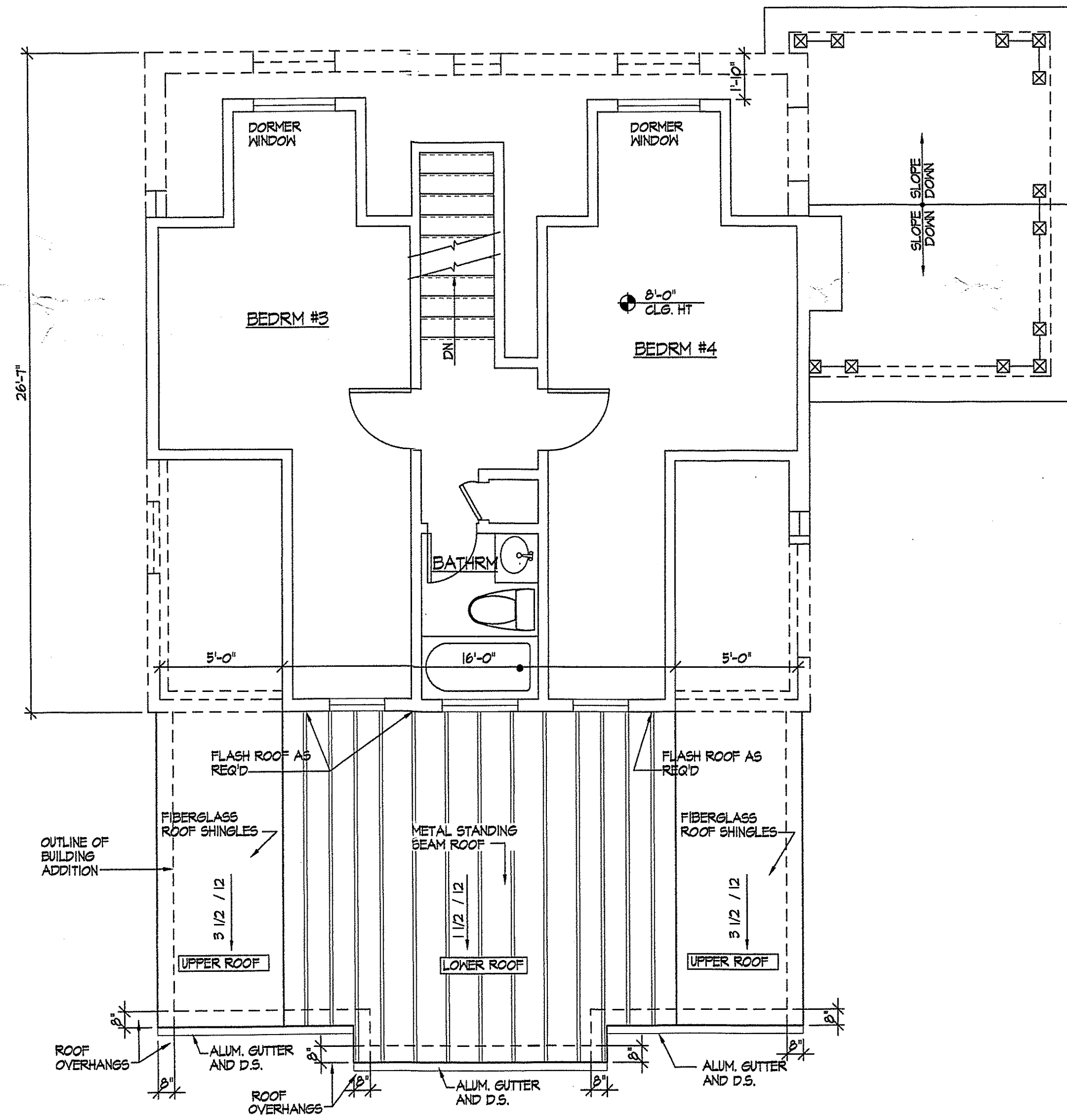
A-4
4 OF 8



PROPOSED PARTIAL FOUNDATION PLAN
SCALE: 1/4"=1'-0"

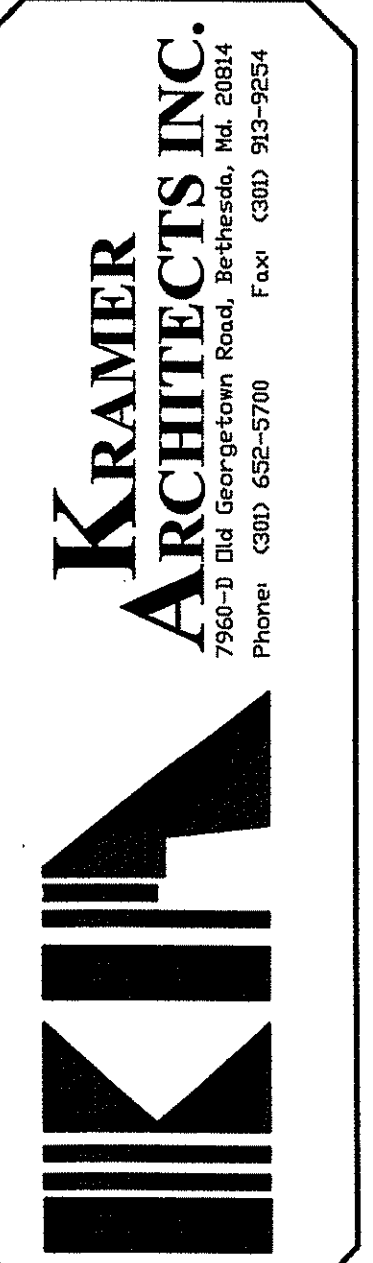


PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



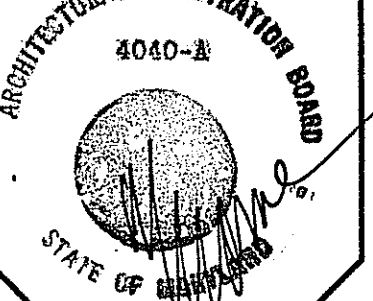
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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Historic Preservation Commission
[Signature] 11/3/09



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PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

SHEET TITLE:
PROPOSED FLOOR PLANS

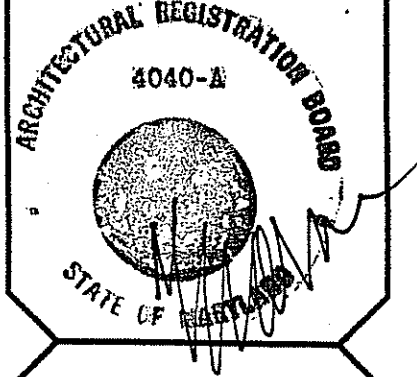
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Dates: 09-30-09
Permit:
Bids:
Scale: AS NOTED
Project Number 0921

A-5
5 OF 8

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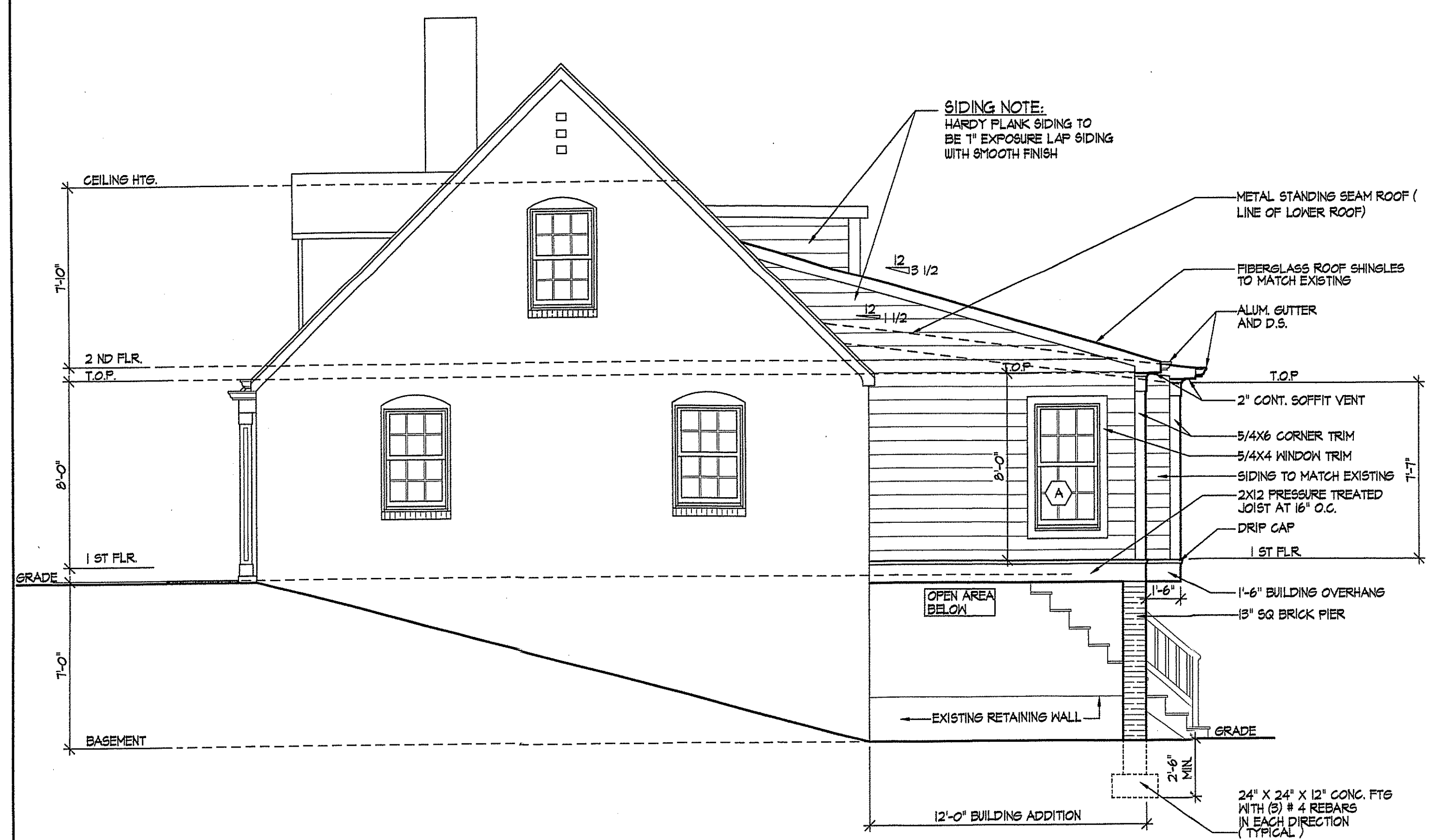
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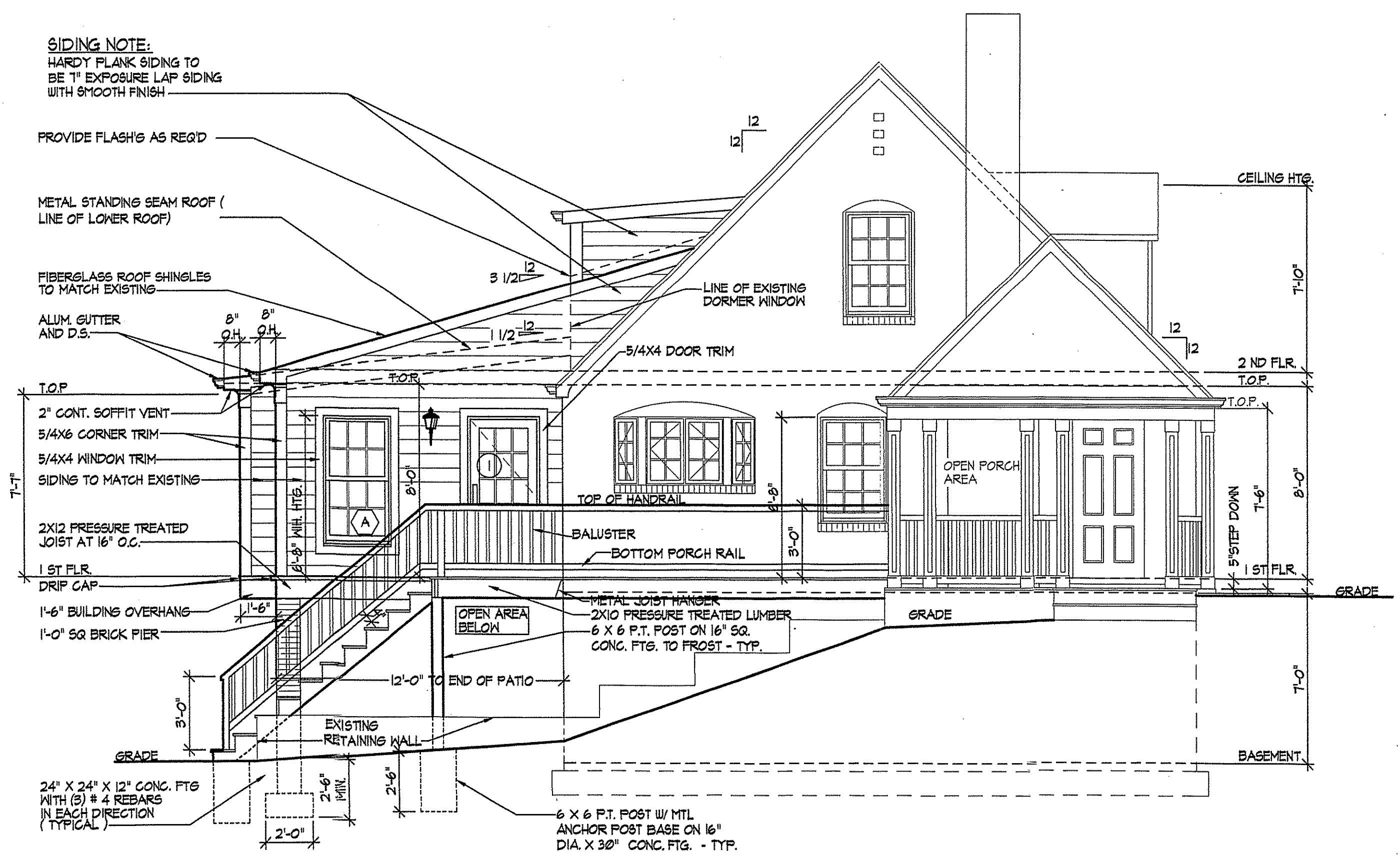
PROJECT:
 DEGENER AND MUHAYYA
 RESIDENCE ADDITION
 3102 LEE STREET
 SILVER SPRING, MD 20910
 MONTGOMERY COUNTY

SHEET TITLE:
 PROPOSED ELEVATIONS
 AND BUILDING SECTION

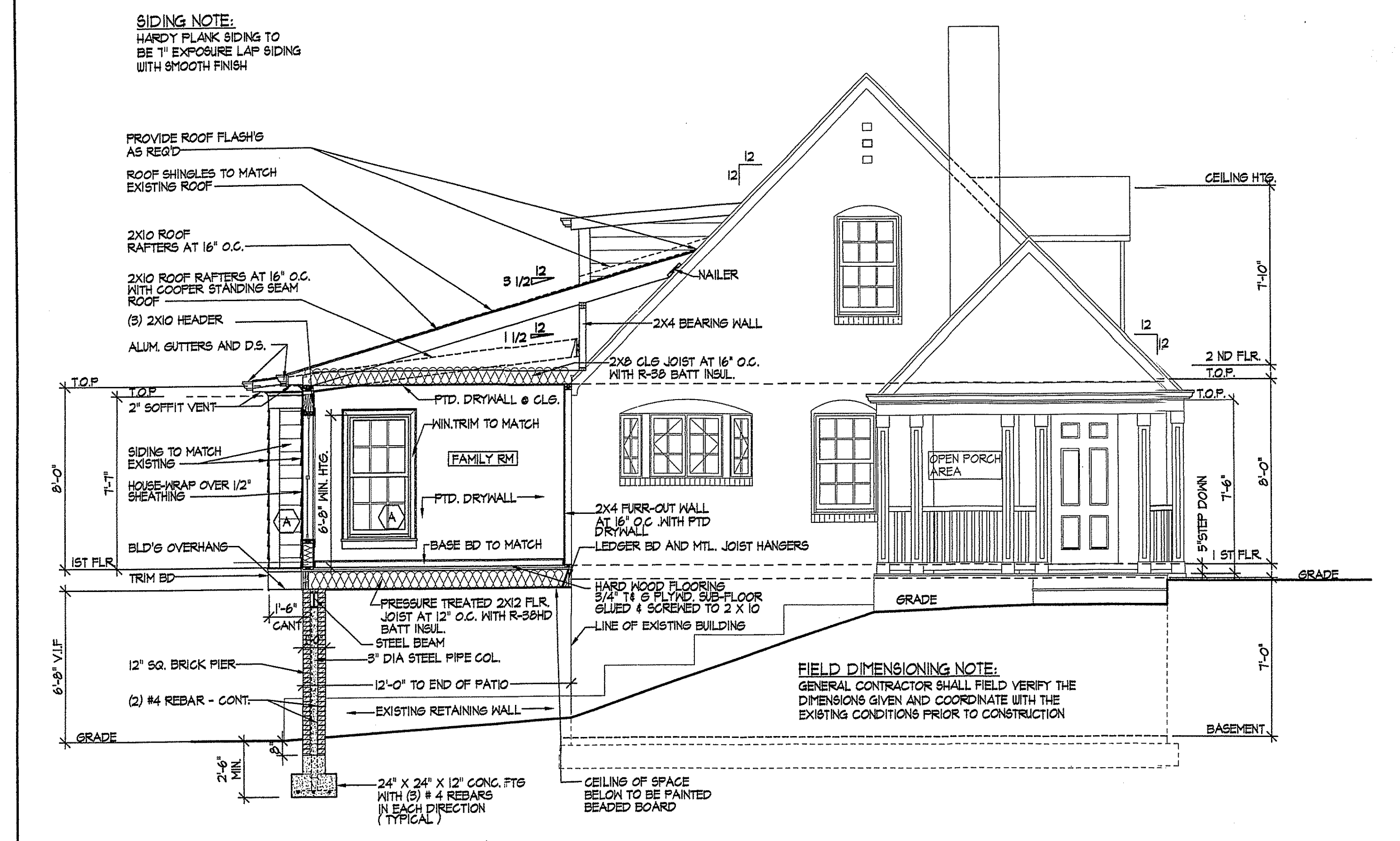
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 Dates: 03-30-09
 Permit:
 Blids:
 Scale:
 AS NOTED
 Project Number
 0321



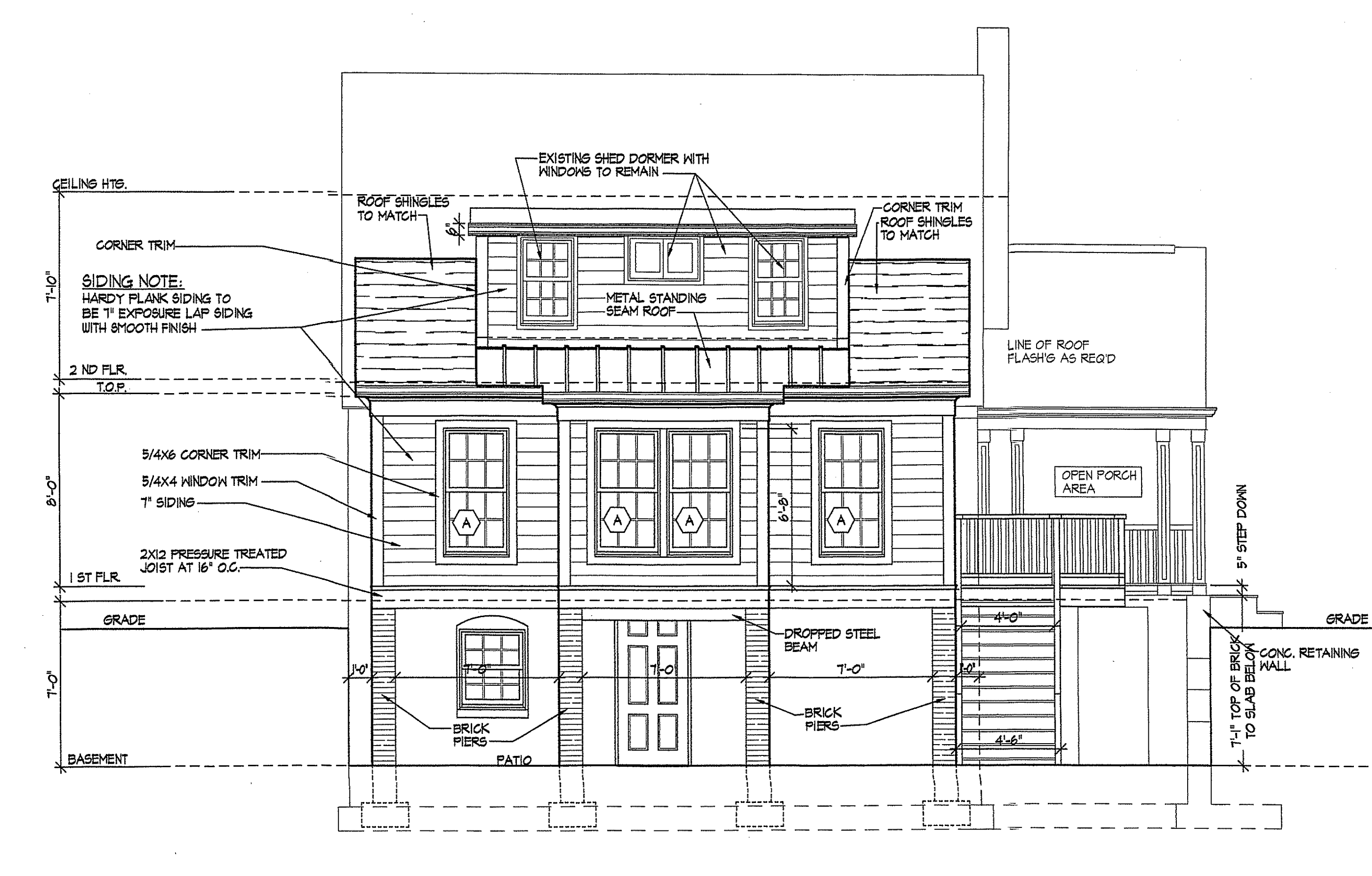
PROPOSED RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

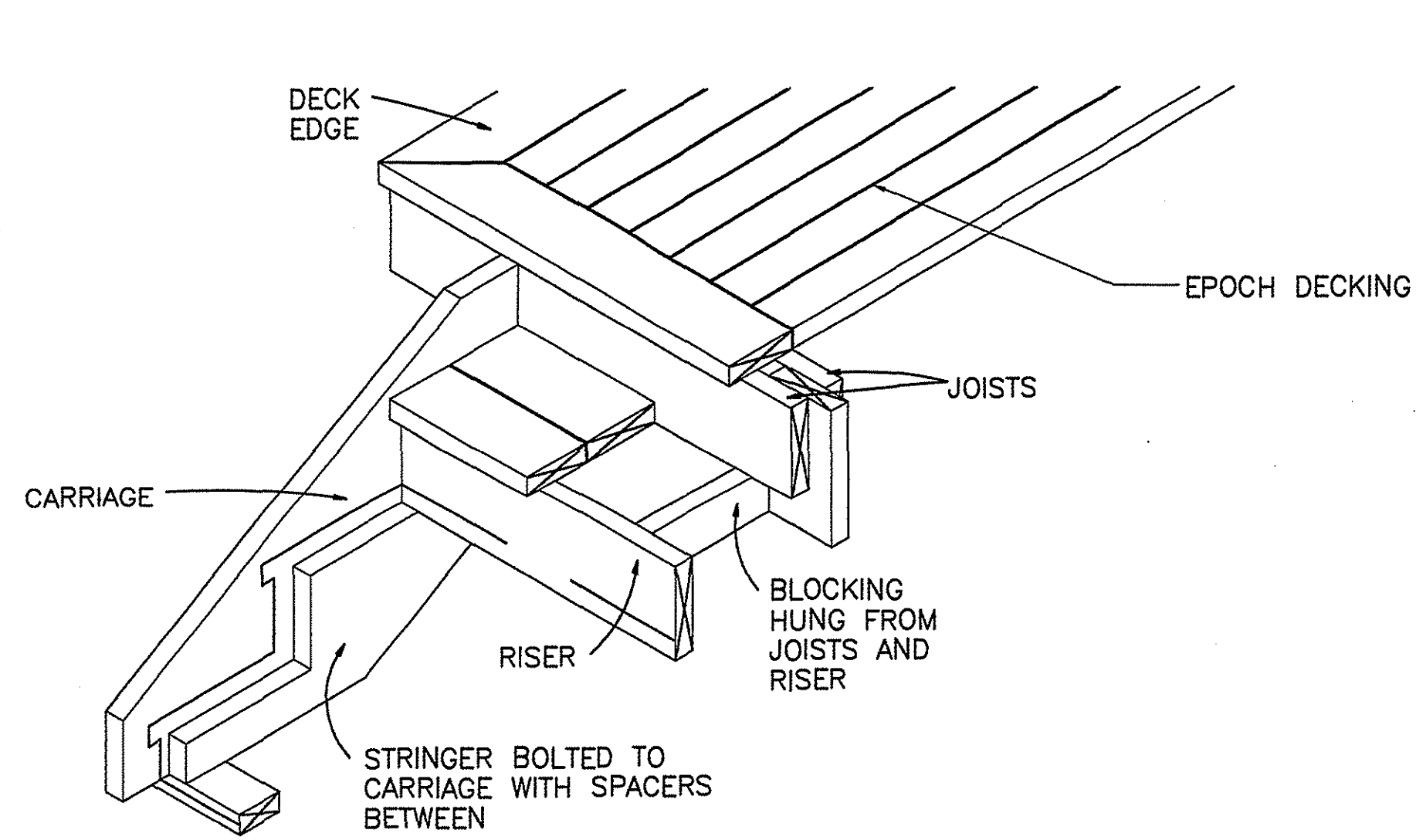


BUILDING SECTION
 SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
 SCALE: 1/4"=1'-0"

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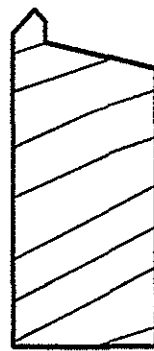
DECK DETAIL

SCALE: 1"=1'-0"

SM-8840
1 1/2" X 3 1/2"
TOP PORCH RAIL



LHM-28T
1 1/4" X 1 1/4"
BALUSTER STOCK

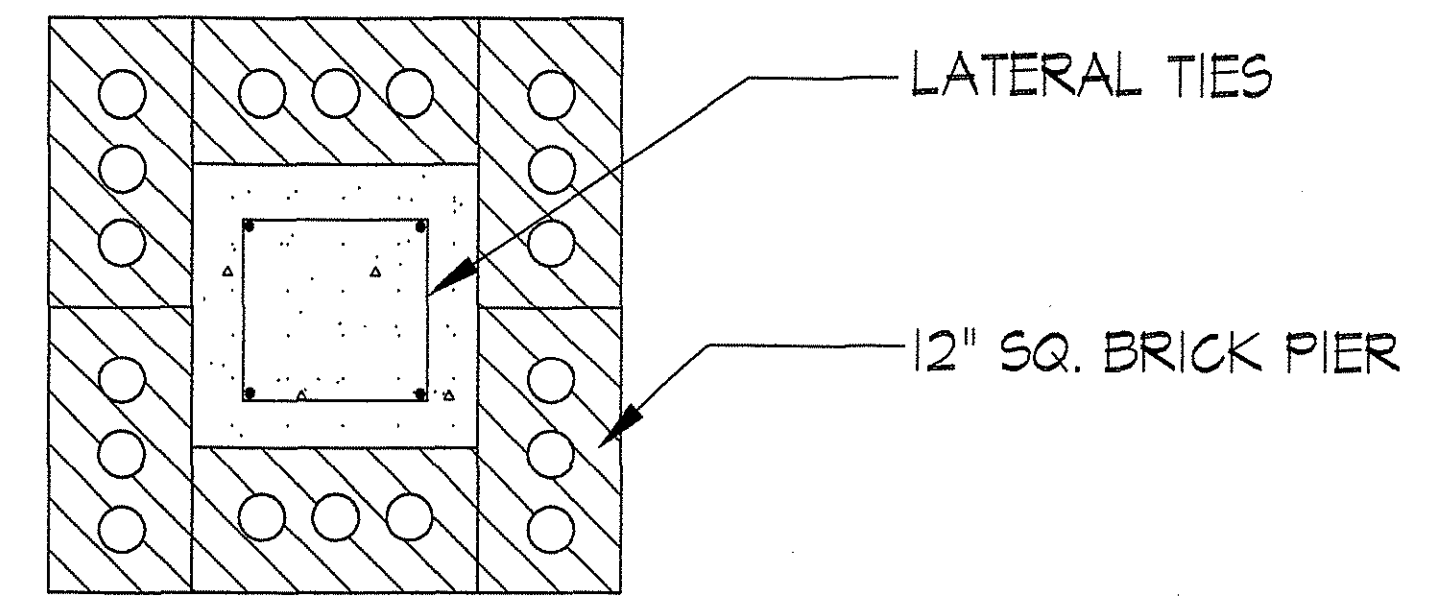


SM-8841
1 1/2" X 3 1/2"
BOTTOM PORCH RAIL



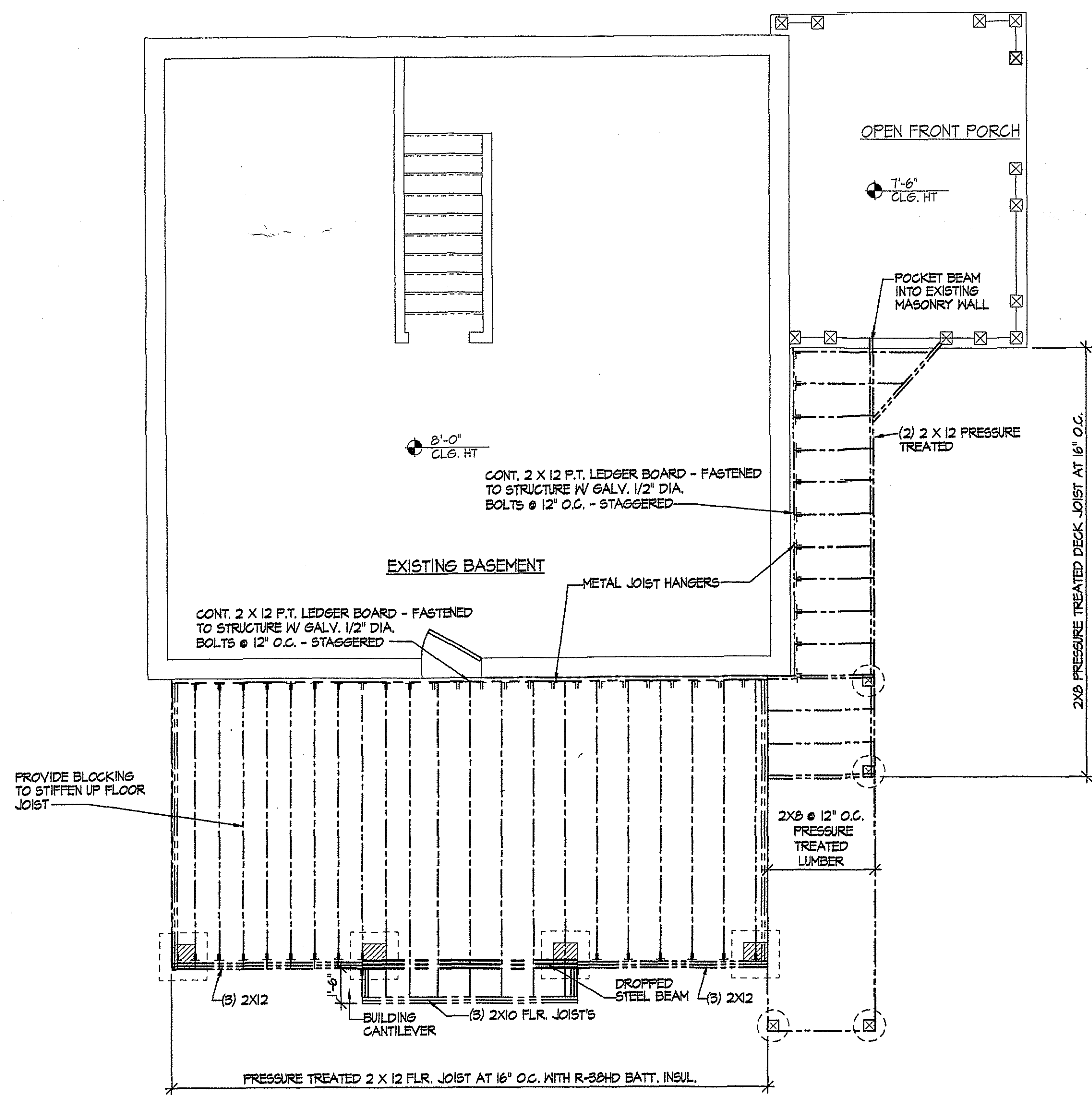
HANDRAIL DETAILS

SCALE: 6"=1'-0"



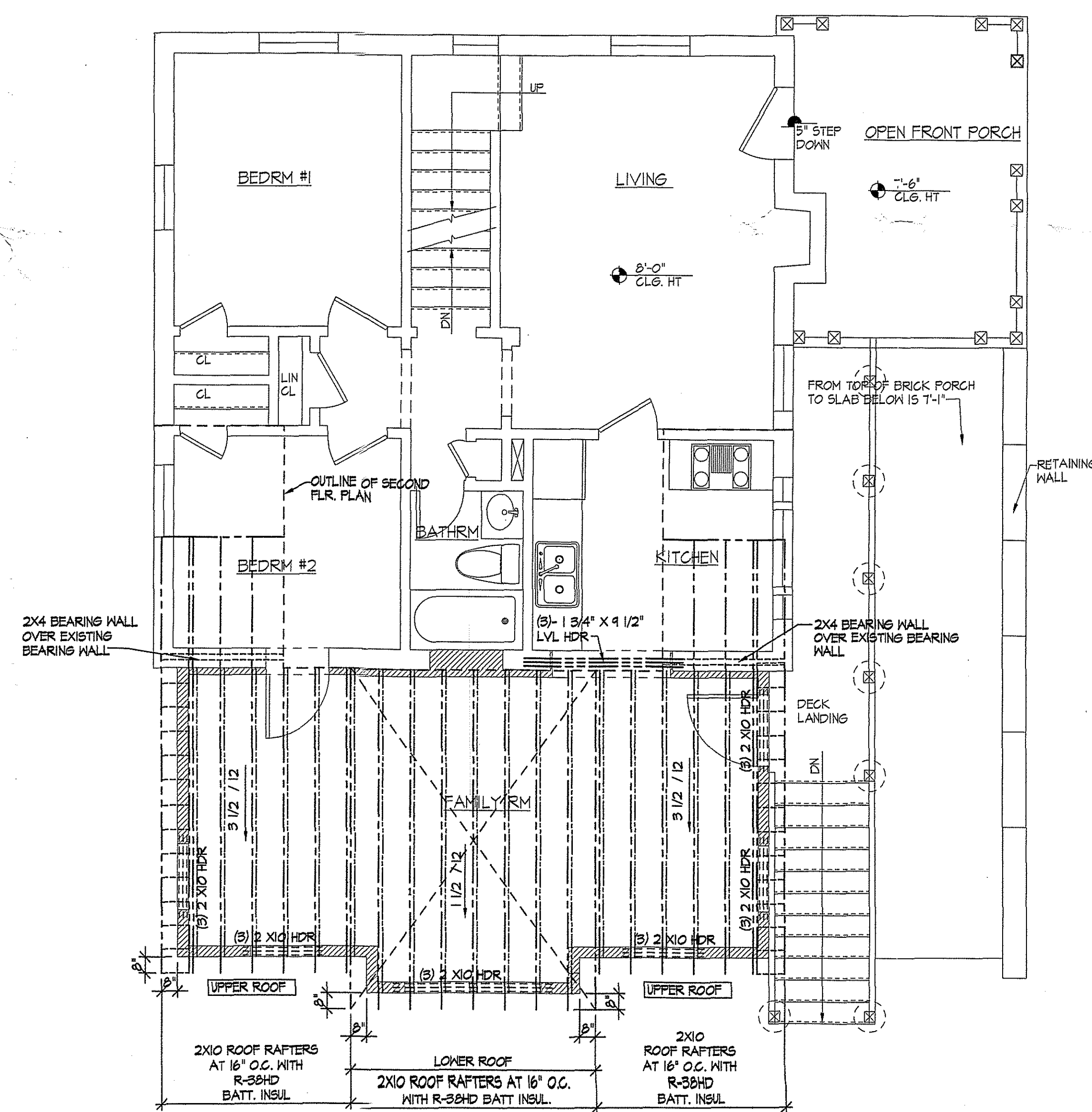
12 SQUARE BRICK PIER DETAIL

SCALE: 3"=1'-0"



PROPOSED FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN

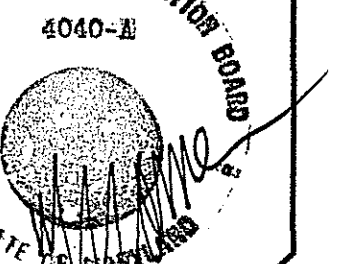
SCALE: 1/4"=1'-0"

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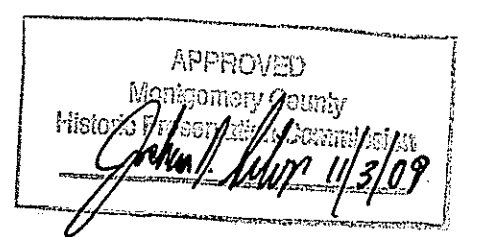


PROJECT:
DEGENER AND MUHAYYA
RESIDENCE ADDITION
3102 LEE STREET
SILVER SPRING, MD 20910
MONTGOMERY COUNTY

SHEET TITLE:
PROPOSED FLOOR
PLANS AND DETAILS

REVISIONS

Date: 03-30-09
Permit:
Bid:
Scale:
As NOTED
Project Number
0321

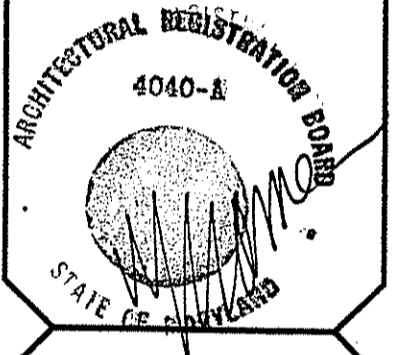


S-1
7 OF 8



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 3102 LEE STREET
 SILVER SPRING, MD 20910
 MONTGOMERY COUNTY

SHEET TITLE:
 PROPOSED FIRST FLOOR
 ELECTRICAL PLAN

REVISIONS

Date: 09-30-09
 Permit:
 Title:
 Scale:
 AS NOTED
 Project Number
 0921

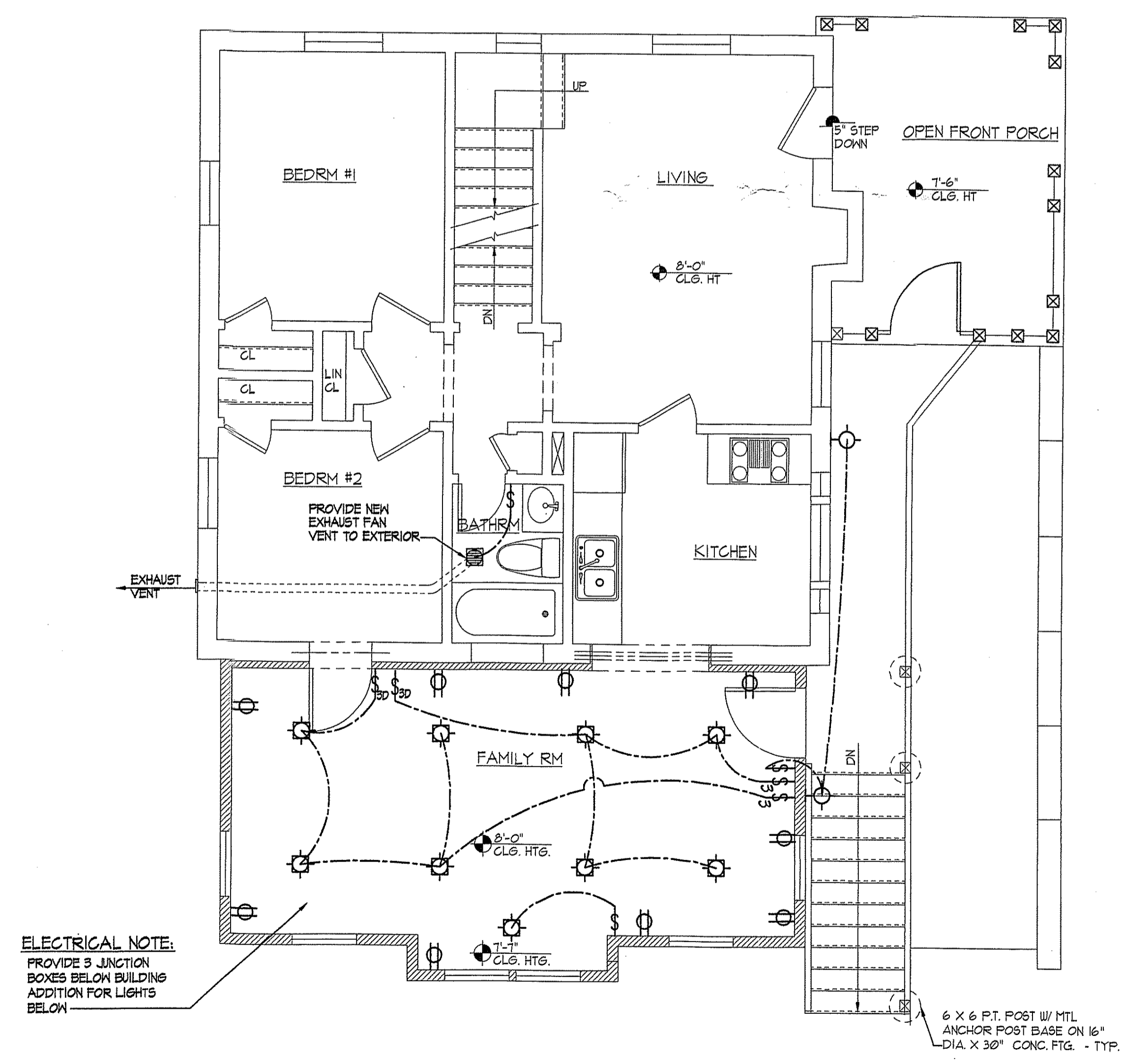
ELECTRICAL SYMBOLS

⊕	DUPLEX OUTLET - SET 12" AFF U.N.O.	⊕	THERMOSTAT HONEYWELL OR EQUAL LED DISPLAY
⊕ _A	DUPLEX OUTLET -42" AFF	⊕	APPLIANCE OUTLET - SEE MANUF. INSTRUCTIONS FOR ELEC. REQ.
⊕ _S	DUPLEX OUTLET - 1/2 SWITCHED	⊕ _B	DOOR BELL BUTTON
⊕ _F	FLOOR OUTLET	⊕ _C	CHIME
⊕ _Q	QUADRUPEX OUTLET	SP	SPEAKER
⊕ _{3/4}	SWITCH, 3-WAY, 4-WAY - SET 38" AFF U.N.O.	DS	DOOR SWITCH
⊕	SWITCH - SET @ 38" AFF U.N.O.	WP/GFI	WATER PROOF/GFI
⊕ _D	DIMMER	TV	TELEVISION
⊕ _{GFI}	GROUND FAULT INTERRUPT (48" A.F.F. U.N.O.)	▬	ELEC. PANEL
PH	TELEPHONE / MODEM	▬	SECURITY LIGHTS
⊕ _{SD}	SMOKE DETECTOR CONNECTED IN SERIES WITH BATTERY BACKUP MOUNTED AT CEILING TO MEET ALL LOCAL BUILDING CODES	○ _{PC}	FULL CHAIN LIGHT
⊕	JUNCTION BOX - SERVING ITEM INDICATED VOLTAGE AS NOTED	▬ _K	KEY PAD
		▬	TRACK LIGHT / HEADS
		—	SWITCH CIRCUIT

ELECTRICAL FIXTURE SCHEDULE

INCANDESCENT	MISCELLANEOUS
⊕ _A CEILING MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR	⊕ PANASONIC, fan only - exhaust to exterior sized for cubic feet of room
⊕ _W WALL MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR	⊕ Ceiling Fan with separate lines for light and fan operation from switch owner to provide and G.C to install
RECESSED LIGHT FIXTURES	▬ Fluorescent under cabinet lighting, Allow \$200 per unit
⊕ _{3 1/2} 3 1/2" Lightoller Step Baffle Recessed Light #2025UH Reflector, #202PI Frame-in kit with Par 20/50w	
⊕ _{3 1/2} 3 1/2" Lightoller (INSULATED) Step Baffle Recessed Light #2025UH Reflector, #202IC Frame-in kit with Par 20/50w	
⊕ ₅ 5" Lightoller Step Baffle Recessed Light #2025UH Reflector, #202PI Frame-in kit with Par 30/75w	
⊕ ₅ 5" Lightoller (INSULATED) Step Baffle Recessed Light #2025UH Reflector, #202IC Frame-in kit with Par 30/75w	
⊕ _{3 1/4} 3 1/4" Lightoller Step Baffle Recessed Light #1025UH Reflector, #102PI Frame-in kit with Par 30/30w	
⊕ _{3 1/4} 3 1/4" Lightoller (INSULATED) Step Baffle Recessed Light #1025UH Reflector, #102IC Frame-in kit with Par 30/30w	
⊕ _{3 1/2} 3 1/2" Lightoller Slope Ceiling Recessed Light #133UH Reflector for 3/12- 1/12 Ceiling pitch #133UH Reflector for 1/12- 12/12 Ceiling pitch #102AICM Frame -in kit with Par 30/75w	
⊕ _{3 1/4} 3 1/4" Lightoller Fresnel lens shower lt. #126 Reflector, #102PI Frame-in kit with Par 19 / 60 w	
⊕ _{3 1/4} 3 1/4" Lightoller (INSULATED) Fresnel lens shower lt. #126 Reflector, #102IC Frame-in kit with Par 19 / 60 w	
⊕ _K 3 1/4" Lightoller Opal disk surface closet lt. #121 Reflector, #102PI Frame- in kit with Par 19 / 60w (INSULATED), #102IC Frame-in kit with Par 19 / 60 w	

NOTE: Owner shall be responsible for providing all lines for speakers, computers, and security system. Contractor must coordinate scheduling with owner's and their specialist for installation.



FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"

APPROVED
 [Signature]
 11/3/09



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: October 29, 2009

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #522363, one-story rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the October 28, 2009 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Perry Degener & Auysa Muhayya

Address: 3102 Lee Street, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Brick building structure, cape cod style.
The existing building is a two-story structure
w/ full walk-out basement level.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is to add a one level family room at the
rear of the existing residence with an open space below
the proposed addition. The siding will be Hardy Plank concrete
with a 7" exposure to match existing. The windows are
double hung Andersen to match existing style. The color of
the addition will be white.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
743-777-1377

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Mark Kramer, A.I.A.

Daytime Phone No.: 301-652-5700

Tax Account No.: 00995877

Name of Property Owner: PERRY DEGENER & AUYSHA MUHAYYA Daytime Phone No.: 301-588-7681

Address: 3102 LEE STREET, SILVER SPRING, MD - 20910-1051
Street Number City Street Zip Code

Contractor: Not selected @ this time Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: KRAMER ARCHITECTS, INC. Daytime Phone No.: 301-652-5700
Attn: Mark Kramer

LOCATION OF BUILDING/PREMISE

House Number: 3102 Street: LEE STREET

Town/City: SILVER SPRING Nearest Cross Street: CAPITAL VIEW AVENUE

Lot: 21 Block: 23 Subdivision: CAPITAL VIEW PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|---|--|------------------------------------|---|--------------------------------|--|--------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> | <input type="checkbox"/> Single Family | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: | | | | |

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark A. Kramer mark Kramer 7/29/09
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 11/3/09

Application/Permit No.: 522363 Date Filed: 9/30/09 Date Issued: _____