

10115 Grant Avenue, Silver Spring  
HPC Case No. 31/07-08B  
Capitol View Park Historic District

STAMPED PLANS IN  
BEIGE PLAN HOLDER  
IN MAIN OFFICE.

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## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: April 10, 2008

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Joshua Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #480300, rear addition, deck installation, window replacement and siding installation

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the April 9, 2008 meeting.

1. *The applicant will include a door and window schedule and materials list on the permit set of drawings submitted to HPC staff.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Margaret Burke

Address: 10115 Grant Avenue, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Margaret T. Burke  
Daytime Phone No.: 301-520-4798

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Margaret T. Burke Daytime Phone No.: \_\_\_\_\_

Address: 10115 Grant Avenue Silver Spring, MD 20910  
Street Number City State Zip Code

Contractor: American Capitol Construction Phone No.: 410-841-5360  
City State

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 10115 Street: Grant Avenue

Town/City: Silver Spring Nearest Cross Street: Capitol View Avenue

Lot: 10 Block: 25 Subdivision: Capitol View Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret T. Burke  
Signature of owner or authorized agent

March 17, 2008  
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 4/28/08

Application/Permit No.: 480300 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Residential home

No known historical significance or features

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Rear addition. 1-Bedroom 1-Family room 2-bathrooms  
rear deck vinyl siding on new addition and over  
existing shingles on front and side of house New  
windows on existing side porch  
(deck-12x12) (new windows 36x48)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10115 Grant Avenue, Silver Spring	<b>Meeting Date:</b>	4/9/2008
<b>Resource:</b>	Non-Contributing Resource Capitol View Park Historic District	<b>Report Date:</b>	4/2/2008
<b>Applicant:</b>	Margaret Burke	<b>Public Notice:</b>	3/26/2008
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	31/07-08B	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Rear addition, deck installation, window replacement and siding installation		

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC **approve** this HAWP application **with the following condition:**

1. The applicant will include a door and window schedule and materials list on the permit set of drawings submitted to HPC staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource Within The Capitol View Park Historic District  
**STYLE:** Dutch Colonial  
**DATE:** c.1950

**HISTORIC CONTEXT**

Capitol View Park is an example of a railroad community, which developed gradually over 100 years. The community's origin is representative of a number of railroad suburbs which developed following the opening of the Metropolitan Branch B&O. Most Capitol View structures possess little distinction as architectural entities. When grouped, however, these resources are a contiguous visual architectural example of suburban development styles.

Capitol View Park is a railroad community begun in 1887 when Mary and Oliver Harr purchased and subdivided land along the B&O's Metropolitan Branch between Forest Glen and Kensington. The community's name came from the view of the Capitol dome afforded by the upper stories of some of the early houses. Because of the growth of trees in intervening years, this view is no longer possible. Capitol View Park, however, continues to retain the scenic, rural setting which attracted its first inhabitants from Washington. Narrow, country lanes wind between large lots, the average of which is 12,000 square feet. Farmer Thomas Brown built a house in the post-Civil War era, before the railroad bisected his farm. Set back on a long curving driveway, Brown's dwelling still stands, known as the *Case House*, at 9834 Capitol View Avenue.

Unlike the homogenous suburban developments that make up a great deal of Montgomery County, Capitol View Park is a picturesque blend of many architectural styles dating from the 1890s to the 1980s. The

community represents the architectural history of Montgomery County over the last century. The first houses built in Capitol View Park were designed in the Queen Anne style, characterized by their picturesque rooflines, large scale, numerous porches, and variety of building materials, including clapboard and fishscale shingles. Notable Queen Anne-style houses, built in the 1880s and 1890s, are found on Capitol View Avenue, Meredith Avenue, Lee Street, and Menlo Avenue. Residents built Colonial Revival style dwellings beginning in the 1890s. These dwellings feature classical details including cornices with entablatures, heavy window molding, and large round porch columns. Colonial Revival-style houses are found on Capitol View Avenue and Grant Avenue.

By the turn of the twentieth century, smaller-scale houses were becoming popular. Designed to harmonize with natural settings, these structures have a horizontal emphasis and were painted in natural tones. This group includes Bungalow- and Craftsman-style houses built from 1900 into the 1920s. Early examples are found on Stoneybrook Drive, Meredith Avenue, and Capitol View Avenue.

The pace of growth in Capitol View Park continued at a constant rate until the 1940s when a construction boom added nearly 50 houses to the community. Since then, houses have been added at a more leisurely rate, continuing the pattern of diversity that characterizes Capitol View Park.

### **PROPOSAL:**

The applicant is proposing to:

1. Construct a one-story, 35' x 24' rear addition
2. Construct a 12' x 12' wood deck at the rear of the house (the deck will attach to the proposed rear addition)
3. Remove one non-original window from the second-story rear elevation of the house and install a new circular window
4. Install vinyl siding on all sections of the existing house where artificial siding is present.

### **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction in the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### ***Montgomery County Code; Chapter 24A***

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or

2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

***Secretary of the Interior's Standards for Rehabilitation:***

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Generally non-contributing resources are subject to less scrutiny than contributing resources. When reviewing alterations to non-contributing resources the Commission's review should place emphasis on potential impacts to the streetscape of the historic district.

Staff is generally supportive of the entire application package. The subject property is a non-contributing resource constructed of primarily contemporary materials. Although the proposed addition is significantly larger than what would be approved for a contributing resource staff supports this addition for three reasons: (1) the house is a **non-contributing** resource; (2) the proposed addition is at the rear of the house and behind an existing contemporary side addition; (3) impact to the streetscape of the historic district will only be minimal because the property is bordered by two non-contributing resources (side and rear) and confronted by several properties outside of the historic district boundary. (See Circle 7)

*Staff is recommending that the Commission approve this HAWP application with the condition specified on Circle 1.*

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the condition** specified on Circle 1 as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.





RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
243 777-1171

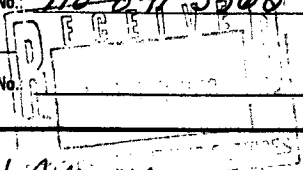
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**APPLICATION FOR**  
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Street Number City State Zip Code  
Contractor: American Capital Construction Phone No.: 410-841-5860  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_



**LOCATION OF BUILDING/PREMISE**

House Number: 10115 Street: Grant Avenue  
Town/City: Silver Spring Nearest Cross Street: Capitol View Avenue  
Lot: 10 Block: 250 Subdivision: Capitol View Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 75,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret T. Burke Signature of owner or authorized agent March 17, 2008 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 480300 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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5

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> Margaret T Burke 10115 Grant Ave Silver Spring, MD 20910	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Joshua Silverman 2904 Loma St Silver Spring, Md 20910	Peter Rauner 10122 Grant Ave Silver Spring, Md 20910
Alan Townsley 10113 Grant Ave Silver Spring, MD 20910	Elizabeth Bishop 10201 Grant Ave Silver Spring, md 20910

# 10115 Grant Avenue, Silver Spring

## Adjacent and Confronting Properties Historical Significance Categories



**STRUCTURAL NOTES**

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE AND ANNE ARUNDEL COUNTY, MD REGULATIONS.

**A. DESIGN LOADS:**

1. ROOF DEAD LOADS: TOP CHORD 7 PSF  
 BOTTOM CHORD 10 PSF

**2. LIVE LOADS:**

ROOF 30 PSF  
 STAIRS 40 PSF  
 ALL OTHER AREAS 40 + 10 (PARTITIONS) 50 PSF  
 MECHANICAL 60 PSF

3. WIND LOADS 15 PSF

**8. SOIL BEARING VALUE:**

MINIMUM REQUIRED ALLOWABLE SOU BEARING CAPACITY:

2,500 PSF ON ORIGINAL UNDISTURBED SOIL

ALL EXTERIOR FOOTINGS ON UNDISTURBED SOIL SHALL BE A MINIMUM OF 2'-6" BELOW FINISHED EXTERIOR GRADE

**C. CONCRETE:**

1. STRUCTURAL CONCRETE SHALL CONFORM TO ACI 318-85

2. CONCRETE SHALL CONFORM TO THE TYPE OF MIX DESIGNATED BELOW AND SHALL DEVELOP THE MINIMUM 28 DAY COMPRESSIVE STRENGTH NOTED FOR EACH TYPE OF MIX:

Pc= 3,000 PSI NORMAL WEIGHT - TYPICAL UNLESS OTHERWISE NOTED

**D. CONCRETE REINFORCEMENT:**

1. REINFORCING STEEL SHALL CONFORM TO ASTM A615-99, GRADE 60- FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH ACI DETAIN'S MANUAL-1988, ACI 315.80 (REVISED 1986), WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-85.

ALL SLABS ON GRADE SHALL HAVE A MINIMUM OF ONE LAYER OF 6X6-W2.1 X W2.1 WELDED WIRE FABRIC AT 1-1/2 INCHES FROM TOP OF SLAB.  
 2. CONCRETE PROTECTION FOR REINFORCEMENT MINIMUM COVER FOR REINFORCING STEEL SHALL BE:

3/4" IN SLABS AND IN WALLS AT FACES NOT EXPOSED TO WEATHER  
 1-1/2" IN SLABS AT BOTTOM Poured ON VAPOR BARRIER/GRAVEL BASE

**MASONRY WALLS:**

1. MASONRY WALL TIES: ALL MASONRY UNITS OF SOLID AND CAVTY MASONRY WALLS SHALL BE BONDED TOGETHER WITH GALVANIZED HORIZONTAL CONTINUOUS WALL REINFORCEMENT AT 16" O.C. VERTICALLY.

2. USE TYPE "B" PORTLAND CELENT-UME MORTAR FOR ALL MASONRY WDRK.

**F. STRUCTURAL STEEL**

1. STRUCTURAL STEEL SHALL CONFORM TO AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" LATEST EDITION.

2. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36-89, UNLESS OTHERWISE NOTED.

**G. LUMBER ROOF RAFTERS AND FRAMING LUMBER**

DESIGN AND FABRICATION SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" LATEST EDITION, THE AITC STANDARD AND BOCA APPENDIX C: RECOMMENDED FASTENING SCHEDULE.

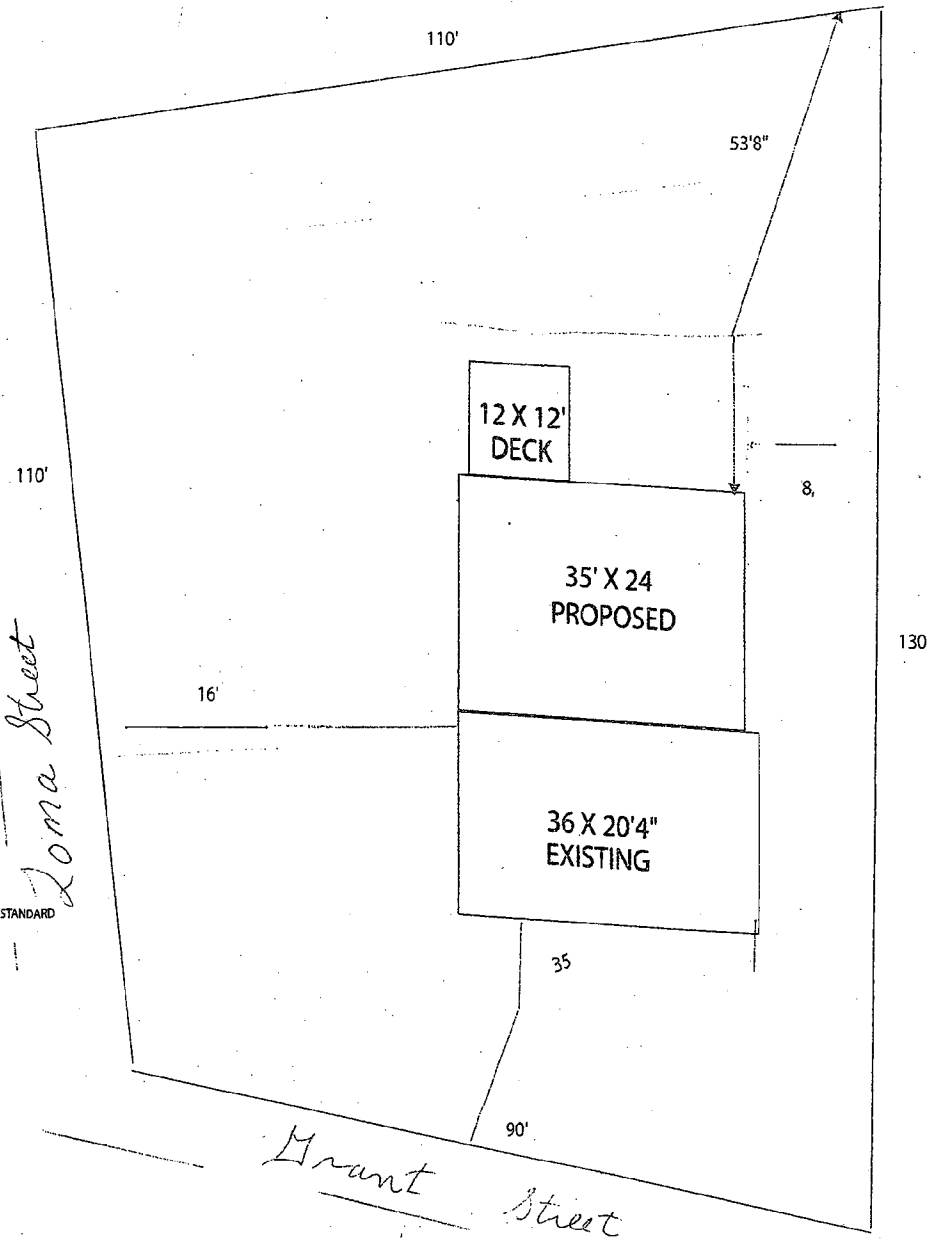
MINIMUM REQUIRED WORKING STRESS SHALL BE AS FOLLOWS:

1. FRAMING LUMBER: SOUTHERN PINE NO. 2 OR HEM-FIR NO. 1

EXTREME FIBER IN BENDING: SINGLE/REPETITIVE 1,200/1,400 PSI  
 HORIZONTAL SHEAR: 75 PSI  
 COMPRESSION PARALLEL TO GRAIN: 1,050 PSI  
 COMPRESSION PERPENDICULAR TO GRAIN: 405 PSI  
 MODULUS OF ELASTICITY: 1,400,000 PSI

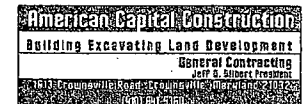
2. WOOD TRUSSES INDICATED ON THE DRAWINGS SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. DESIGN AND DETAIL OF ALL TRUSSES SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE "NATIONAL SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" LATEST EDITION.

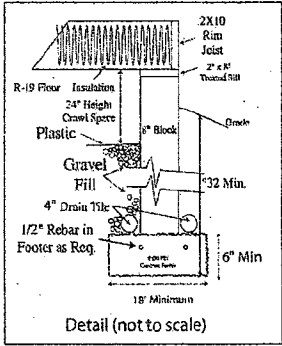
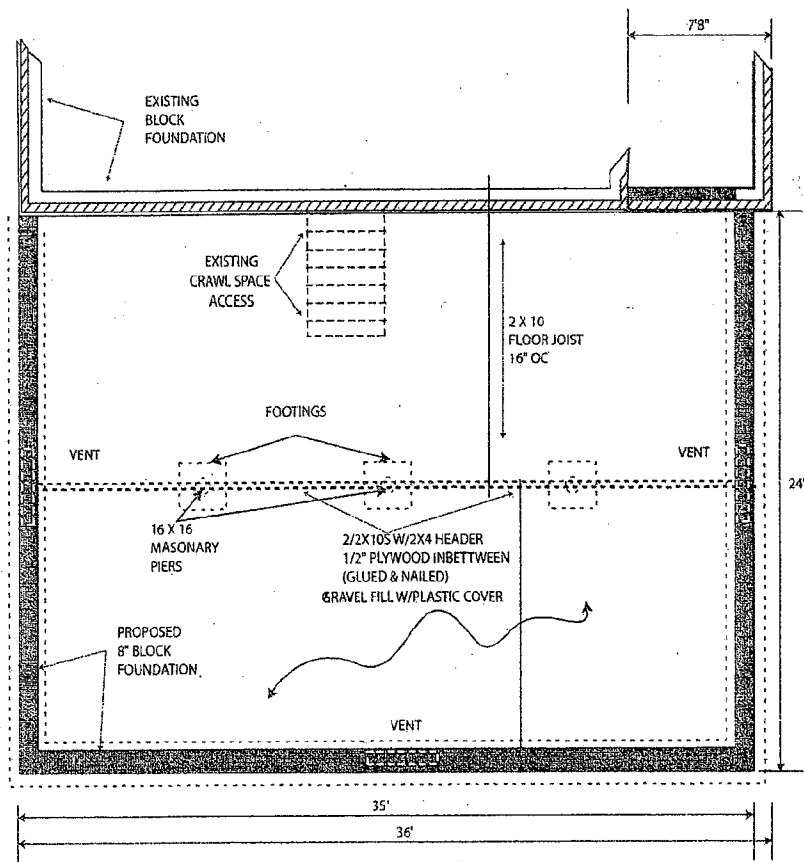
3. MICRO-LAM OR APPROVED EQUAL  
 EXTREME FIBER IN BENDING: 2,800 PSI  
 MODULUS OF ELASTICITY: 2,008,000 PSI



1. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK AND NOTIFY OWNER/OF ANY DISCREPANCIES
2. ALL EXTERIOR FOOTING SHALL BE 2'-6" BELOW FINISH GRADE
3. SAFETY PRECAUTIONS AND PROTECTION OF INSTALLED NEW CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES AND ID THE RESPONSIBILITY OF THE CONTRACTOR

1"=10'  
 SCALE



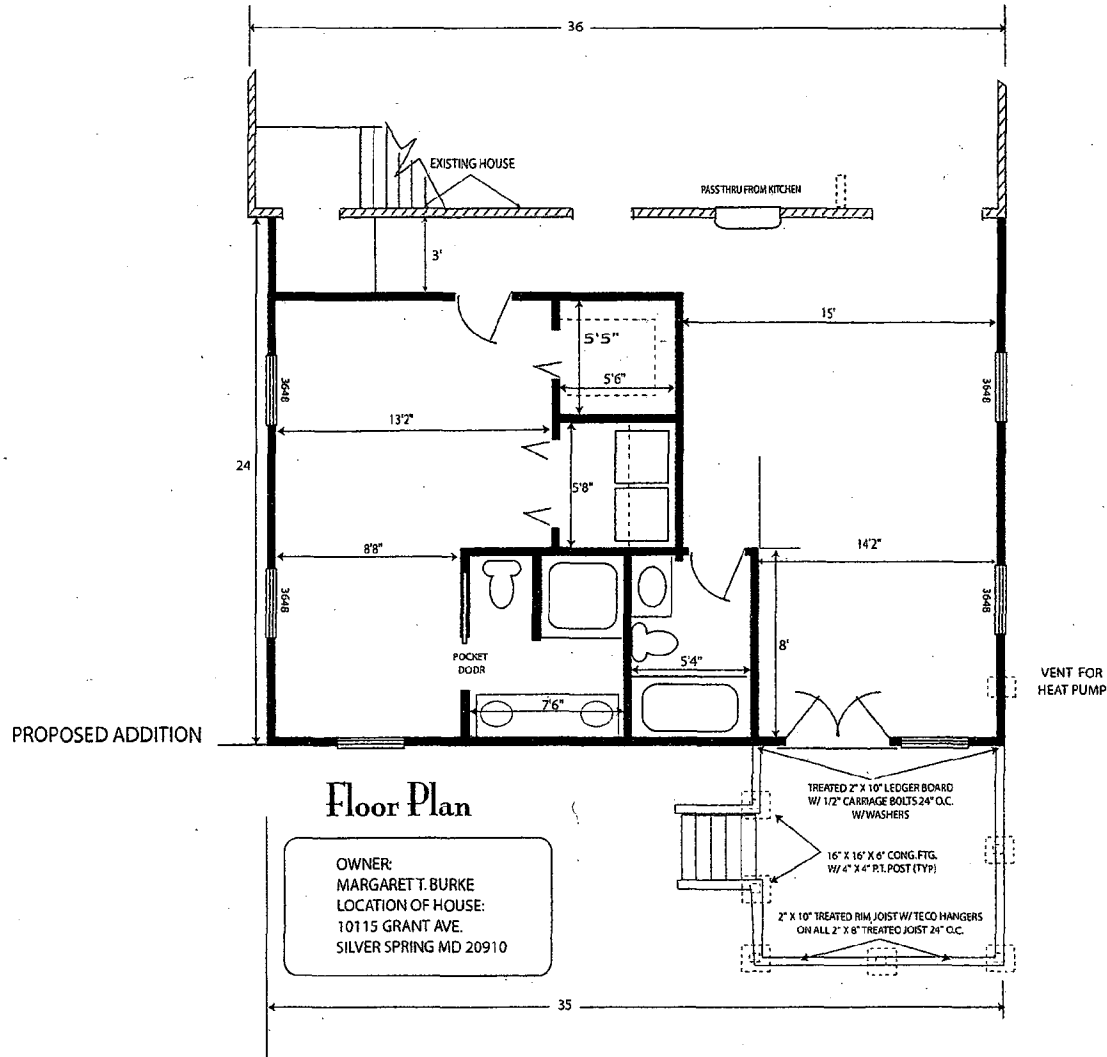


OWNER:  
 MARGARET T. BURKE  
 LOCATION OF HOUSE:  
 10115 GRANT AVE.  
 SILVER SPRING MD 20910

Foundation Plan

Scale 1/4" = 1'

9



Scale 1/4" = 1'

110



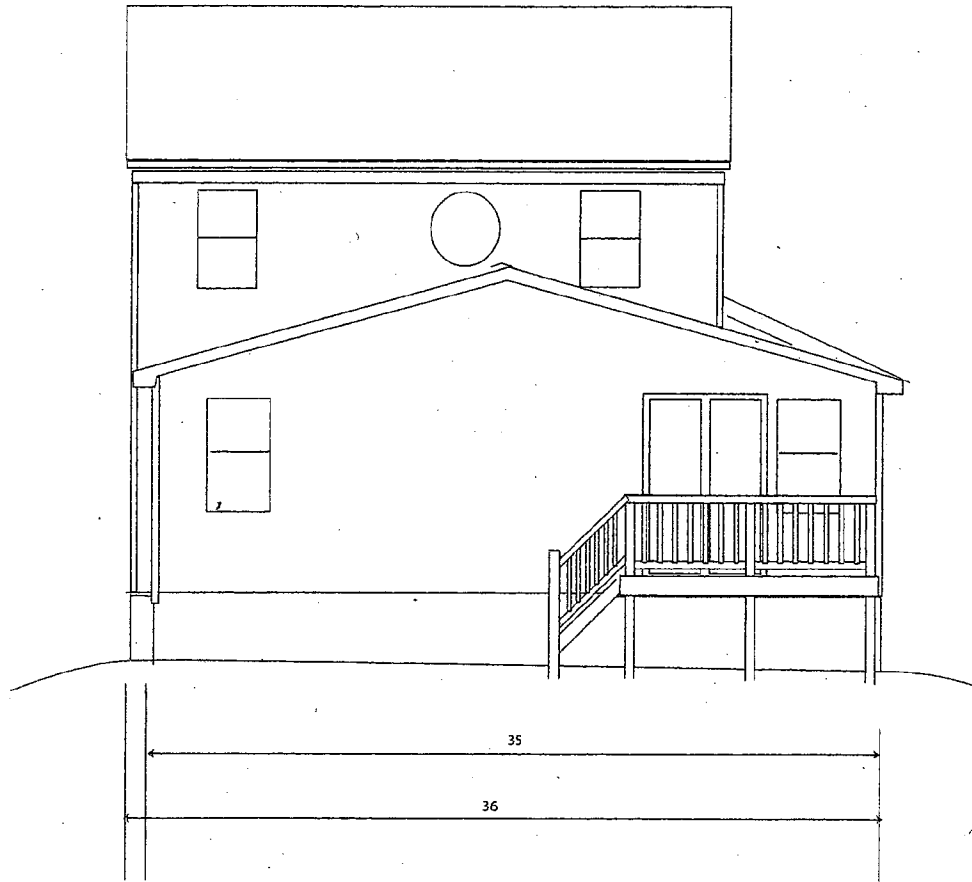
OWNER:  
MARGARET T. BURKE  
LOCATION OF HOUSE:  
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SILVER SPRING MD 20910

Scale 1/4" = 1'

# Front Elevation

10



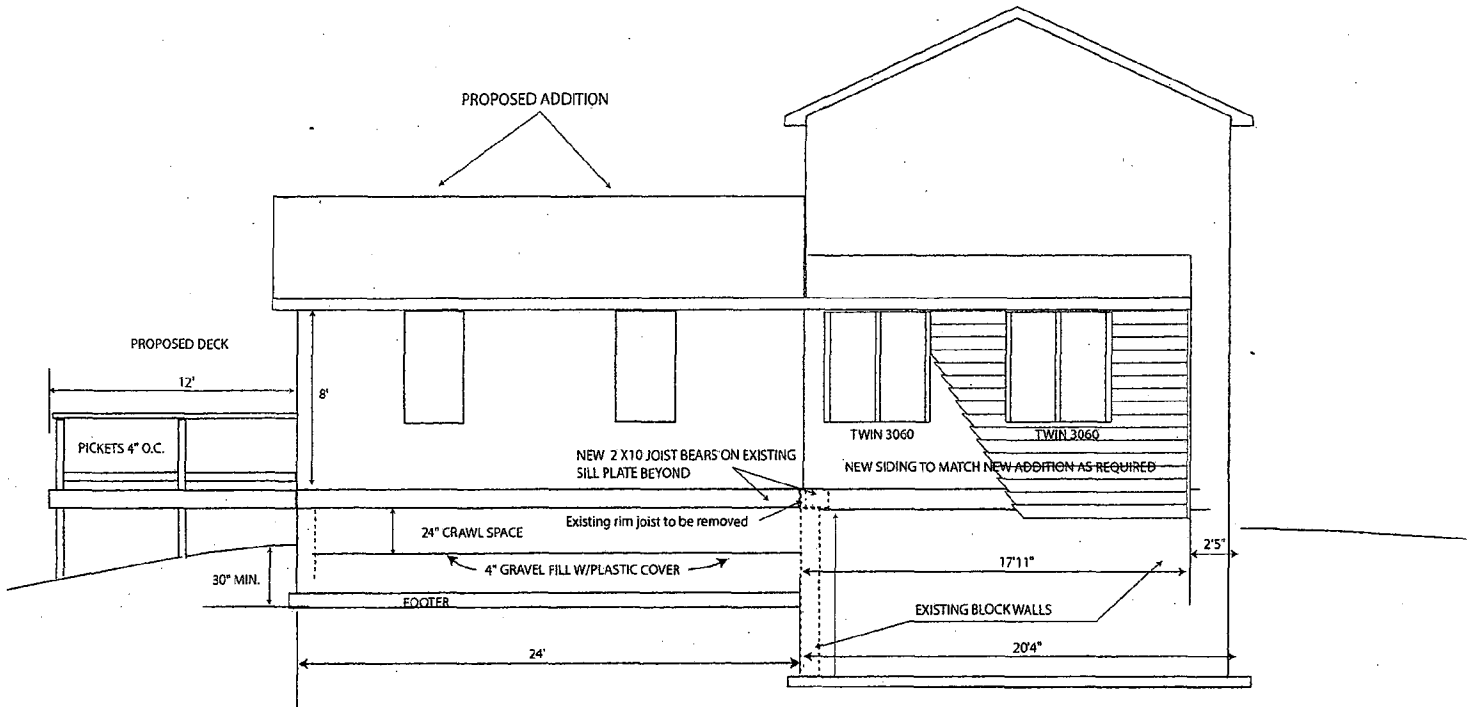


### Rear Elevation

OWNER:  
MARGARET T. BURKE  
LOCATION OF HOUSE:  
10115 GRANT AVE.  
SILVER SPRING MD 20910

Scale 1/4"=1'

12

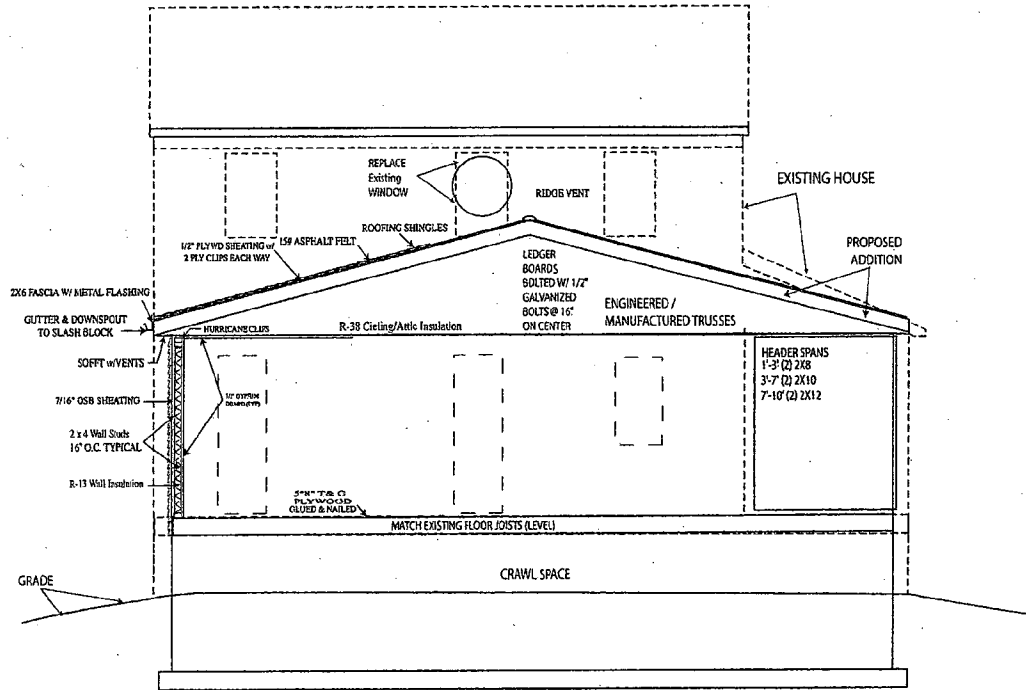


OWNER:  
MARGARET T. BURKE  
LOCATION OF HOUSE:  
10115 GRANT AVE.  
SILVER SPRING MD 20910

# Side Elevation

Scale 1/4" = 1'

12



### Section Typical

OWNER:  
MARGARET T. BURKE  
LOCATION OF HOUSE:  
10115 GRANT AVE.  
SILVER SPRING MD 20910

Scale: 1/4" = 1'

174

10115 Grant Avenue, Silver Spring





Existing Property Condition Photographs (duplicate as needed)



New windows  
↓

← replacement siding?

Detail: 10115 Grant Ave Front view



← new addition

Detail: 10115 Grant Ave BACK view

Applicant: \_\_\_\_\_

10115 GRANT AVENUE



Existing Property Condition Photographs (duplicate as needed)



New windows  
↓

← replacement siding

Detail: 10115 Grant Ave Front view



← new addition

Detail: 10115 Grant Ave Back view

Applicant: \_\_\_\_\_

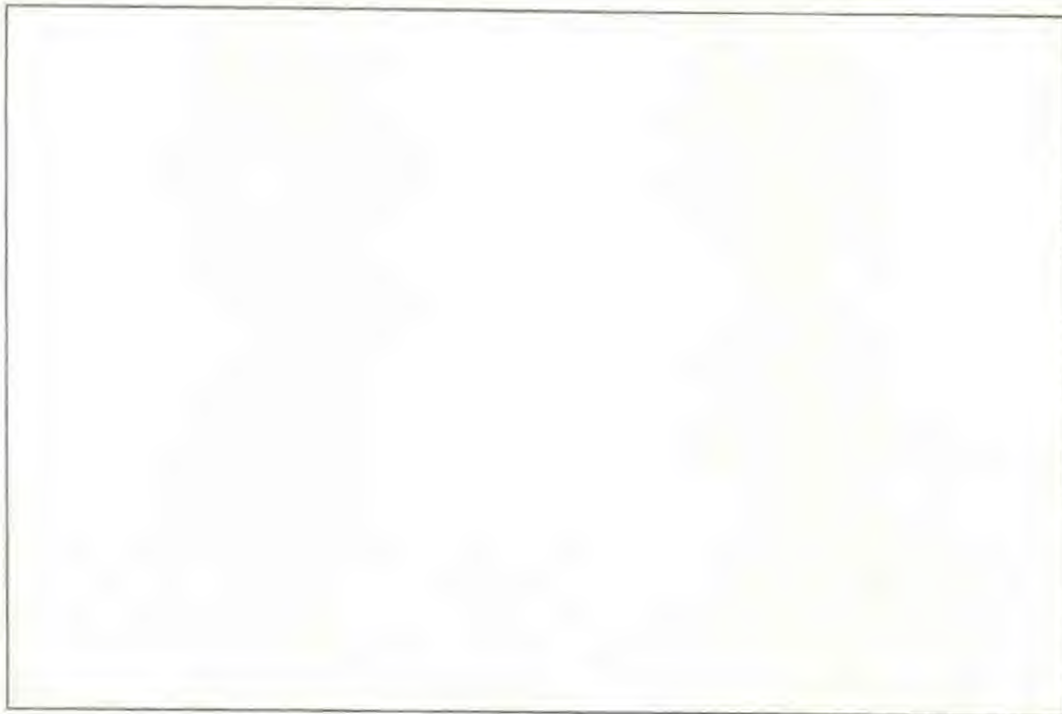
Page: \_\_\_\_\_



Existing Property Condition Photographs (duplicate as needed)



Detail: 10122 Grant Replacement Siding



Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_

Page: \_\_\_\_\_

Existing Property Condition Photographs (duplicate as needed)

existing Ex.



10201 Grant - replacement siding



10114 Grant replacement siding

Applicant: \_\_\_\_\_

Page: \_\_\_\_\_



Existing Property Condition Photographs (duplicate as needed)



Detail: 10113 <sup>Grant</sup> Replacement Siding



Detail: 10109 Grant Replacement Siding