

37703-06P 3120 LEE ST

Capitol View Park Historic District



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: November 16, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 438934 -- Deck replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 15, 2006 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

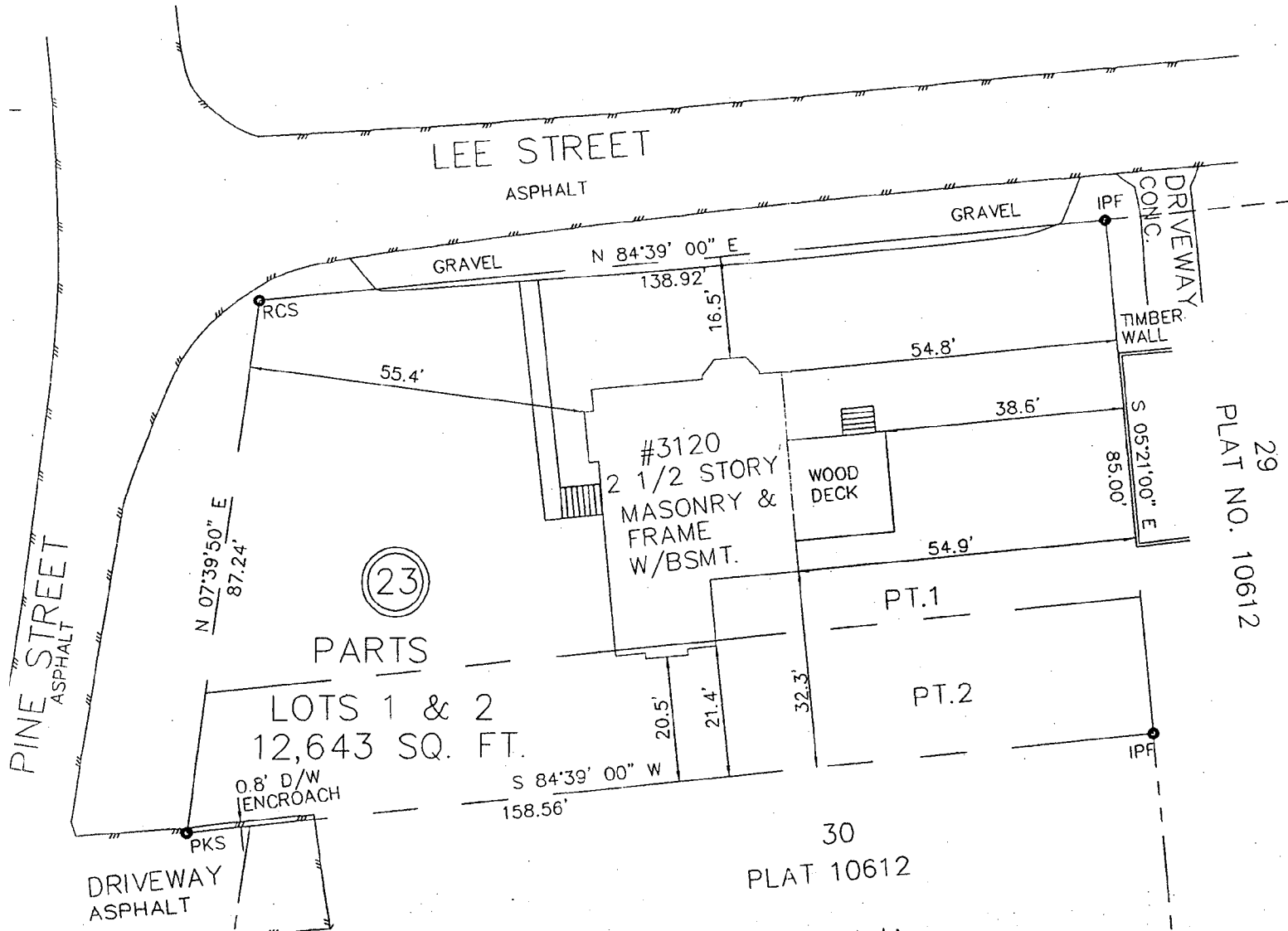
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Gordon & Michele Bock

Address: 3120 Lee St, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





I HEREBY CERTIFY THAT THE PROPERTY DELINEATED HEREON IS IN ACCORDANCE WITH THE PLAT OF SUBDIVISION AND/OR DEED OF RECORD. THAT THE IMPROVEMENTS WERE LOCATED BY ACCEPTED FIELD PRACTICE AND INCLUDE PERMANENT VISIBLE STRUCTURES AND ENCROACHMENTS, IF ANY.

Mario E. Siravo
 Mario E. Siravo
 Registered Professional Land Surveyor
 Maryland No. 10883

BOUNDARY AND HOUSE LOCATION S
 PARTS LOTS 1 & 2, BLOCK 2:
 CAPITOL VIEW PARK
 3120 LEE STREET
 MONTGOMERY COUNTY, MARYLAND

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia A. Mollen
 11-16-06

existing conditions
 - see attached plan for
 proposed approved deck

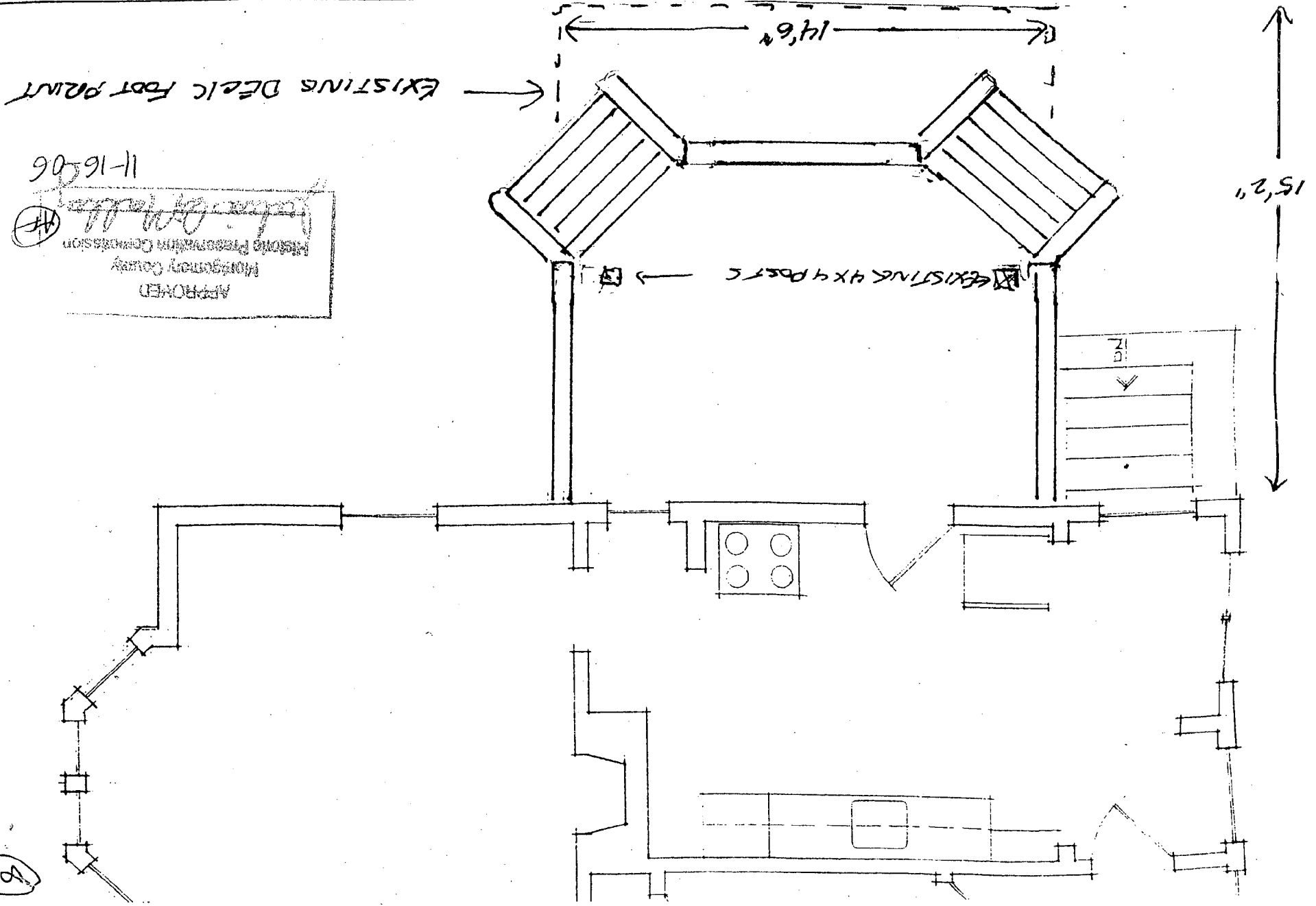
IPF=IRON PIPE FOUND
 RCS=REBAR W/CAP SET
 PKS=PK-NAIL SET

DRAWN BY: JRL/CTG	REFERENCE
DATE: AUGUST 28, 2001	PLAT BOOK: A
SCALE: 1" = 20'	PLAT NO.: 9
JOB NO.: 0152	



LANDMARK ENGINEERS, INC.
 1751 ELTON ROAD, SUITE 202
 SILVER SPRING, MARYLAND 20903
 CONSULTING ENGINEERS PLANNERS S

BOOK RESIDENCE DECK ALTERATIONS
3120 LEG ST. SILVER SPRING MD 20910
10/06
1/4" = 1' PLAN



3120 LEE ST SILVER SPRING MD. 20910 10/06
BACK RESIDENCE DECK ALTERATIONS 1/4" = 1'

11-16-06

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

SECOND HAND RAIL
OMITTED FOR CLARITY

NEW POSTS
4x4
OR
RIPPLE STONE

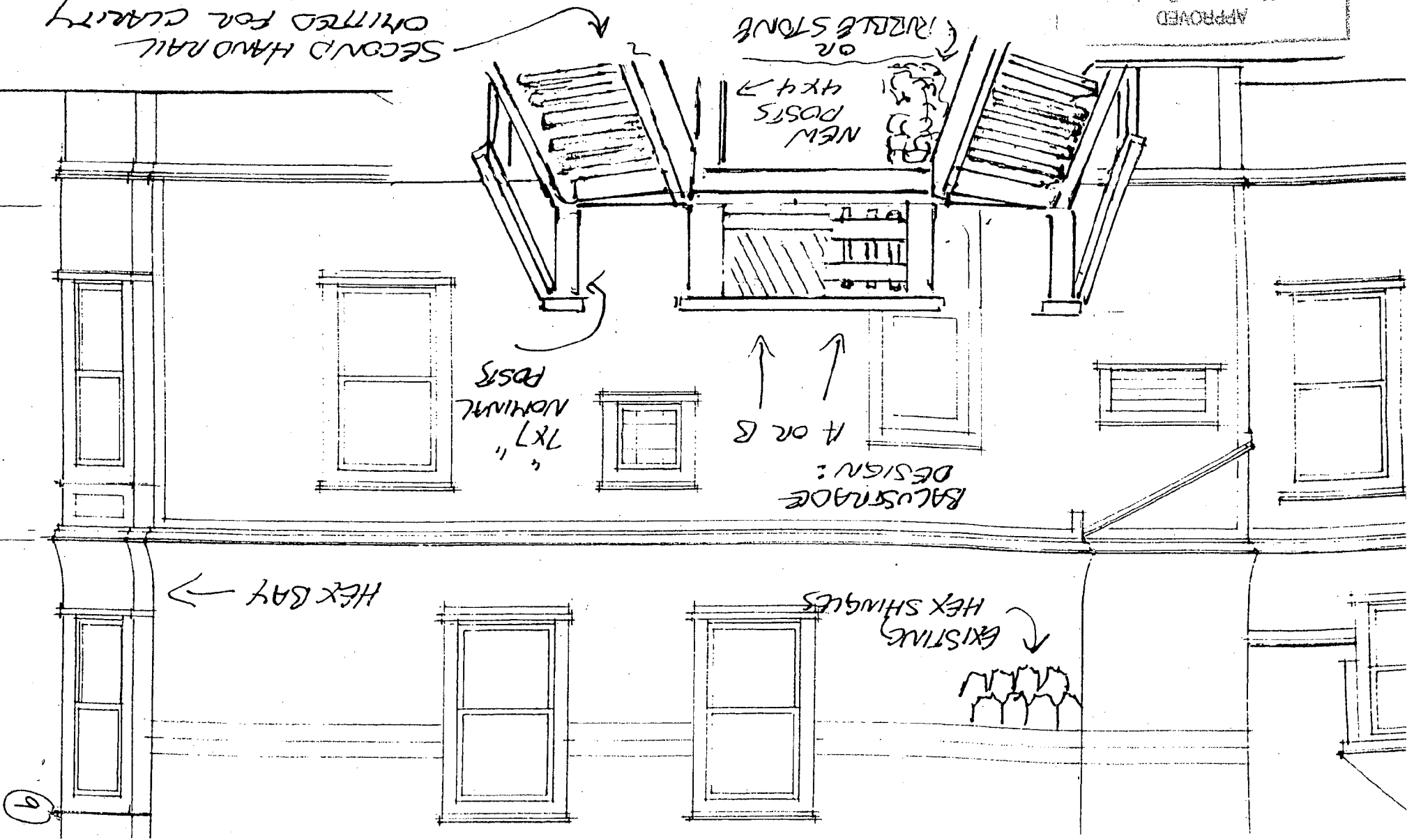
7x7"
NOMINAL
POSTS

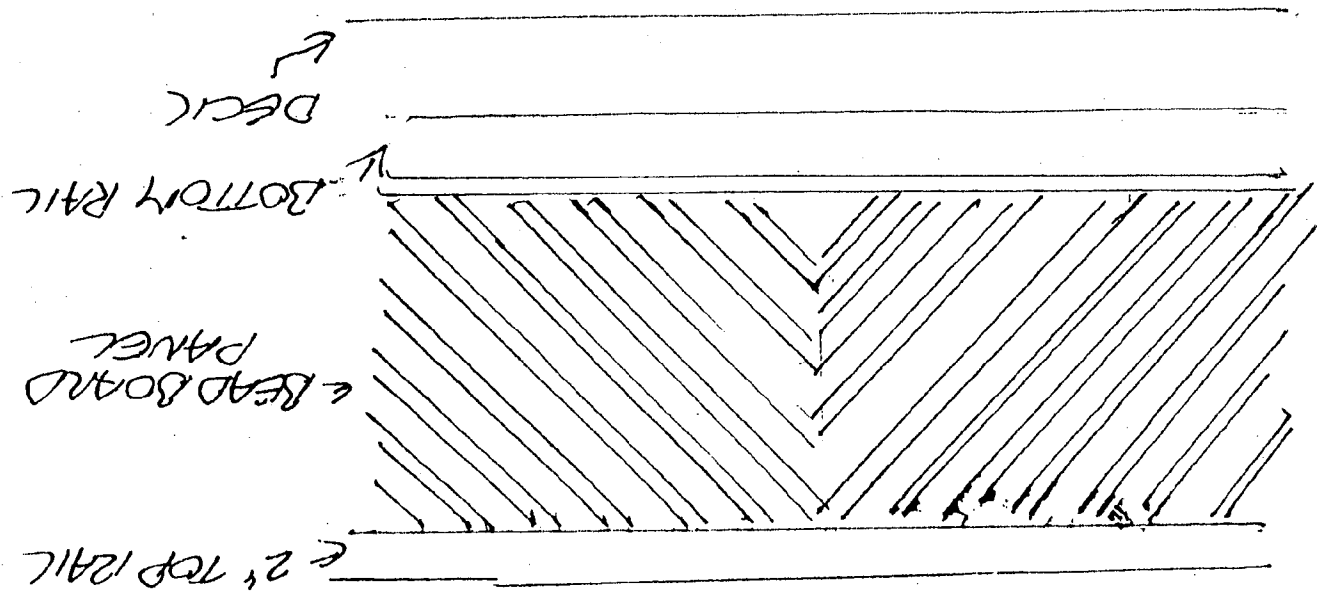
BALUSTRADE
DESIGN:
A OR B

HEX BAY

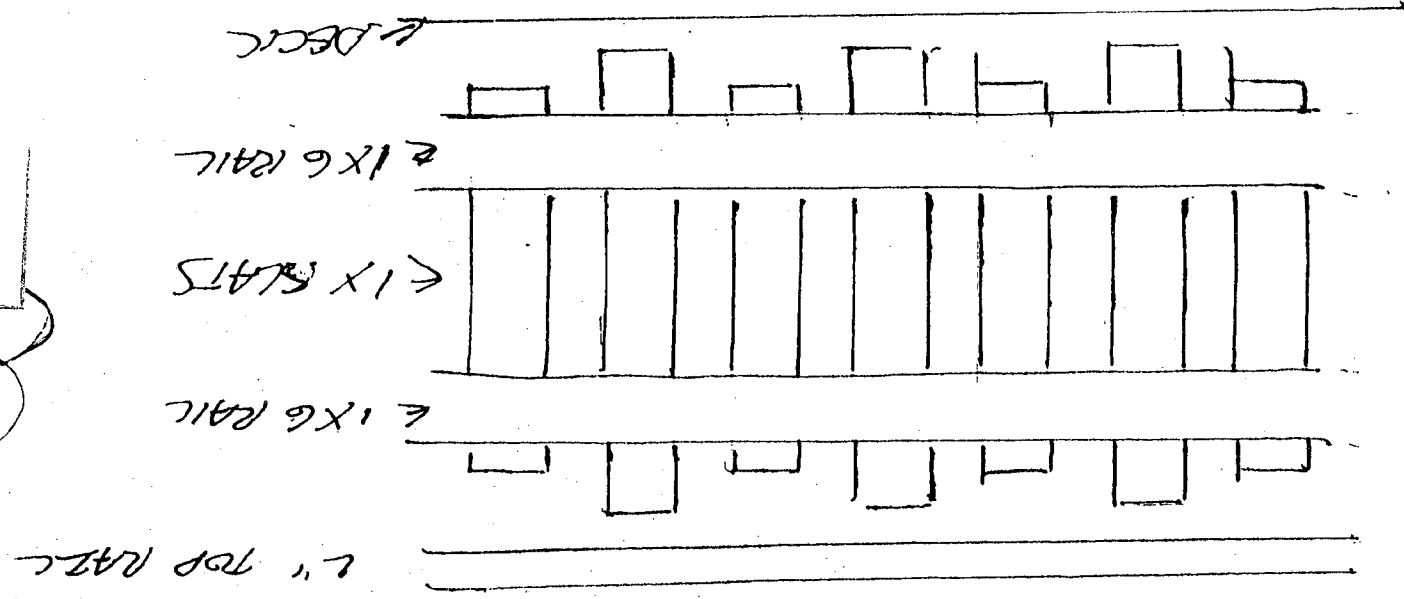
EXISTING
HEX SHINGLES

9





DESIGN B



DESIGN A

APPROVED
 MONTGOMERY COUNTY
 HISTORIC PRESERVATION COMMISSION
 11-16-06

BALUSTER DESIGNS BASIC RESIDENCES DEC 10/06
 1" = 1'
 (10)



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Gordon Bock

Daytime Phone No.: 202 339 0744 x106

Tax Account No.: 00996952

Name of Property Owner: Gordon Bock + Michele Daytime Phone No.: 301 565 0680

Address: 3120 LEE ST. SILVER SPRING MD 20910
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 3120 Lee St. Street: Lee

Town/City: Silver Spring Nearest Cross Street: Pine

Lot: P1 E2 Block: 23 Subdivision: 005

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ \$ 5,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Michele + Gordon Bock
Signature of owner or authorized agent

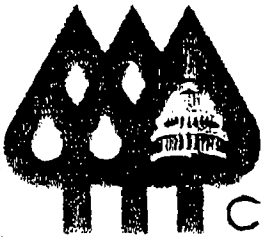
10-9-06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 11-16-06

Application/Permit No.: 438934 Date Filed: _____ Date Issued: _____

Case # - D



CAPITOL VIEW PARK
CITIZEN'S ASSOCIATION

SILVER SPRING, MARYLAND 20910

Historic Preservation Commission
11/15/06

The Executive Committee and Historic Review Committee of the Capitol View Park Citizens Association met on Monday November 13 and reviewed the application of Gordon and Michele Bock for deck replacement for the Outstanding Resource at 3120 Lee Street. ((HPC Case No 37/03/06P))

The Committees agreed with the recommendation of the HPC staff to approve this application. The owners will be making a major improvement to the existing deck on this Outstanding Resource.

Betsy Tebow, President
Capitol View Park Citizens Association

Carol Ireland and Duncan Tebow, Co-chairs
Historic Review Committee
Capitol View Park Citizens Association

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3120 Lee Street, Silver Spring	Meeting Date:	11/15/2006
Resource:	Outstanding Resource Capitol View Park Historic District	Report Date:	11/8/2006
Applicant:	Gordon and Michele Bock	Public Notice:	11/1/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06P	Staff:	Anne Fothergill
PROPOSAL:	Deck replacement		
RECOMMENDATION:	Approve		

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Capitol View Park Historic District
STYLE: Queen Anne, Mullet Thompson House
DATE: 1891

PROPOSAL

The applicants are proposing to replace their existing deck with a smaller, wood deck in the same location. The deck will have two sets of wood steps to grade and a vertical balustrade (Design A).

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The applicants are proposing to replace an existing deck with a smaller deck in the same location and no additional historic fabric will be altered or removed for the new deck. The deck is located at the rear of the house but is visible from the street because it is a corner property and there is no fencing or screening. Since there is an existing deck that is being replaced, the proposed changes will not have an adverse impact on the historic house, streetscape or historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

3120 Lee Street
Bock Residence

1. a. *Written description of existing structure, environmental setting, including their historical features.*

The existing structure is an unroofed, open-air, wood frame deck, approximately 15' by 14.5' that provides access up to the rear entrance, as well as an outdoor seating area. Constructed circa 1965 of pressure-treated lumber, it is sited on the relatively plain secondary elevation of the house, possibly as part of a kitchen remodeling campaign that relocated the rear entrance to this façade. The deck rests above grade on 6x6 posts and, though stylistically unembellished, appears as a clear anachronism on a 1880s -1910s Queen Anne house. Especially obvious are the angled railings ringing the perimeter, which resemble those of an above-ground pool. The deck is anchored to the house, well constructed for its era and, though needing paint and other minor maintenance, in sound condition.

b. *General description of project, effect on historic resource, environmental setting, and the historic district.*

We propose to alter the existing deck to make it more sympathetic to the building in scale and detailing, while retaining and enhancing its practical function as a rear entrance access:

- 1) Reduce the deck size (to reduce its visual impact) and modify it from a square to hex plan (to echo other details on the house, such as the nearby bay window and decorative shingle wall cladding).
- 2) Reconfigure the railings to vertical posts and a rail-and baluster design that is more historically inspired, as well as less visually obtrusive, than the current angled design.
- 3) Add a second flight of steps and handrail to grade to access the backyard.

Alterations to be principally wood framing on the outer portions of the deck, basically within the footprint of the existing deck, with no impact on the historic main house or intrusion on its site.

2. *Site plan*

See attached survey and boundary plan.

3. *Plans and elevations*

See attached drawings

4. *Material Specifications*

Use as much of existing materials as possible with additional wood planking as needed.

5. *Photographs*

See attached photos.

3120 Lee Street
Bock Residence

6. Addresses and Names of Neighbors

Alan Dorow and Lauren Stockbower – confronting house owners – house vacant
now on the market
8602 Battailles Court
Annandale, VA 22003

Zen Nicholidis and Phil Zevliegher
10001 Pine Street
Silver Spring, MD 20910



3120 Lee Street
pre-paint job
View from Lee Street



Deck from rear of building



Front of house
3120 Westree

3120 Lee St.
View of Deck from Lee Street
(after paint job (nearly done last winter))

