

31/07/06H 9917 Capitol View Ave
Capitol View Historic District, 31/07



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 4/27/06

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #417193, sunroom construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the 4/26/2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: William Sabol

Address: 9917 Capitol View Ave, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: William Sabol

Daytime Phone No.: 202-512-3464

Tax Account No.: 00995605

Name of Property Owner: William Sabol, et al Daytime Phone No.: 202-512-3464

Address: 9917 Capitol View Ave. Silver Spring MD 20910
Street Number City State Zip Code

Contractor: VIP Renovation, Inc (Hugo Amelink) Phone No.: 301-588-0055

Contractor Registration No.: 122545

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 9917 Street: Capitol View Avenue

Town/City: Silver Spring Nearest Cross Street: Stoneybrook Ave or Seminary Road

Lot: 7 Block: 32 Subdivision: CAPITOL VIEW PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 55,000

1C. If this is a revision of a previously approved active permit, see Permit # 414028

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Amyswe
Signature of owner or authorized agent

3/31/06
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Judith A. Maloney Date: 4-27-06

Application/Permit No.: 417193 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a 1 story brick, split-level house of approximately 1100 sq-ft. It ~~was~~ was built in 1958 on a plot of about 9,175 sq-ft. It is located within an historic district but it has no particular historic value other than that associated with late 1950s, survival split-level homes

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project will replace an existing screen porch on the back of the house with a ~~screen porch~~ 4-season sunroom on the same location. The sunroom will be sided in a manner that is consistent with siding on adjacent homes. The sunroom will be no more or less visible from the road (Capital View Ave) as the existing screen porch.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

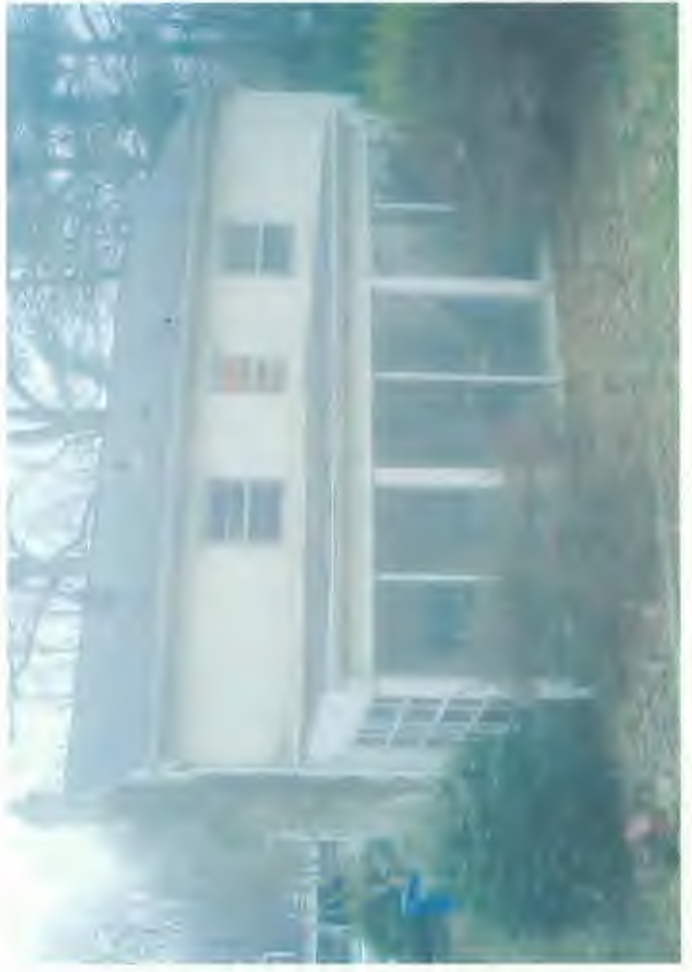
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355). See attachment

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|--|-----------------------|-----------------|
| Address: | 9917 Capitol View Ave, Silver Spring | Meeting Date: | 4/26/2006 |
| Resource: | Contributing Resource Capitol View Historic District, 31/07 | Report Date: | 4/19/2006 |
| Applicant: | William Sabol | Public Notice: | 4/12/2006 |
| Review: | HAWP | Tax Credit: | None |
| Case Number: | 31/07/06H | Staff: | Anne Fothergill |

PROPOSAL: Screened porch removal and sunroom construction

RECOMMENDATION: Approve

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Capitol View Park Historic District
STYLE: Modern
DATE: 1958

PROPOSAL

The applicant is proposing to remove an existing screened porch on the rear of the house and construct a sunroom in the same location. The 17' x 17.5' sunroom would be 5' deeper than the existing porch. The sunroom will have an asphalt shingle shed roof with two skylights, Hardiplank siding, wood windows, and the applicants plan to reuse the existing door.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Approved & Adopted Sector Plan for Capitol View & Vicinity (Sector Plan)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed alterations are at the rear of a Non-Contributing Resource. The materials, size and location proposed for the addition are appropriate and compatible with the house. The proposed changes will not have an adverse impact on the streetscape or the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



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PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 55,000

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Amyswe
Signature of owner or authorized agent

3/31/06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

CAF 193

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List of adjacent and confronting property owners:

Mark Bastan
9915 Capitol View Avenue
Silver Spring, MD 20910

William and Barbara Yoffee
9921 Capitol View Avenue
Silver Spring, MD 20910
301-565-2834

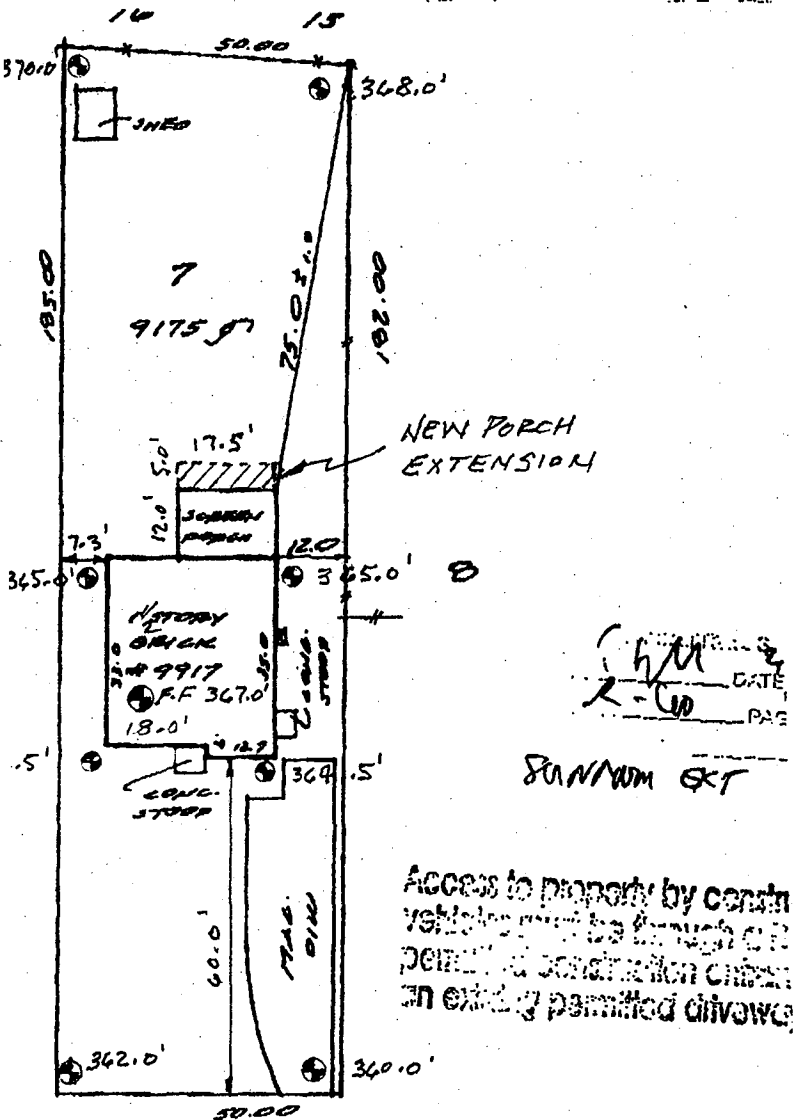
Anne and David Menotti
9912 Capitol View Avenue
Silver Spring, MD 20910
301-588-2458

Robert and J.M. Biersner
9914 Capitol View Avenue
Silver Spring, MD 20910
301-589-9114

Robert Nothstein
9918 Capitol View Avenue
Silver Spring, MD 20910
301-585-3044

V.I.P. Renovation, Inc.
9519 Georgia Ave. (Rear)
Silver Spring, Md. 20910

GEORGE C. GERBER, P.E.
Consulting Engineer
1309 Ballantrae Court
McLean, Virginia 22101
(703) 442-0309
(703) 821-8873 Fax



CAPITOL VIEW AVENUE

EL. 359.5' ± STREET

Occupation is shown.

30' Dm: S.D.

Surveyor's Certification

REPORT FURNISHED

I hereby certify that the survey shown hereon is correct to the knowledge and that, unless noted otherwise, it has been prepared in accordance with the description of record. This survey is not a boundary survey and the existence of property corners is neither guaranteed nor implied. If shown, are approximate in location. This property does not lie in a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines are shown as per available information and are subject to the interpretation of the originator.

Stephan T. Luchessa

as it is required by a section with contemplated to be relied upon for the

Meridian Surveys
811 Russell Ave

SIDENCE PORCH EXTENSION
CAPITOL VIEW AVENUE
R SPRING, MARYLAND 20910

6

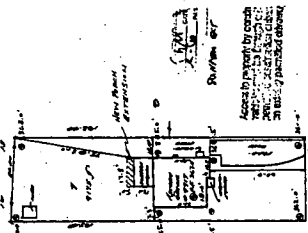
V.P. Respiration, Inc.
 1000 Capital Way
 Silver Spring, MD 20910

GENERAL CONTRACTOR
 1000 Capital Way
 Silver Spring, MD 20910

SABOL RESIDENCE PORCH EXTENSION
 9917 CAPITAL WAY AVENUE
 SILVER SPRING, MARYLAND 20910



DATE: 10/1/88
 SHEET: 1 of 1

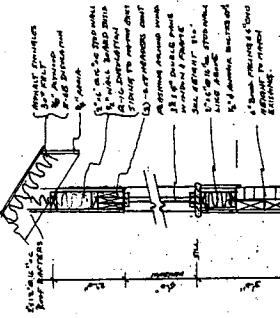


- NOTES:
- Existing contours (spot elevations) are proposed to be used.
 - Structure to be built on a concrete foundation.
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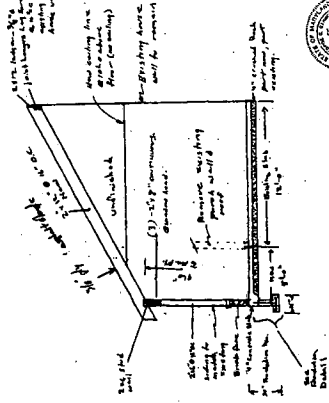
Access to property by coach
 1000 Capital Way
 Silver Spring, MD 20910

SITE PLAN
 Scale 1/8" = 1'-0"

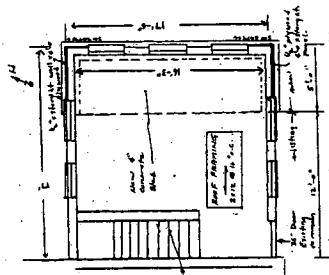
- NOTES:
- USE MONTGOMERY CO. AND BUILDING CODES LATEST EDITION. SEC. 2002.
 - LOADS LIVE - ROOF FLOOR - 20 PSF. ROOF - 15 PSF. WIND - 90 MPH. WIND RESISTANCE - 150 PSF. PERPENDICULAR TO WALLS. WIND RESISTANCE - 150 PSF. PARALLEL TO WALLS.
 - STRUCTURAL MEMBERS SHALL BE Labeled WITH SPECIFICATION AND VALUE AS SHOWN. IS
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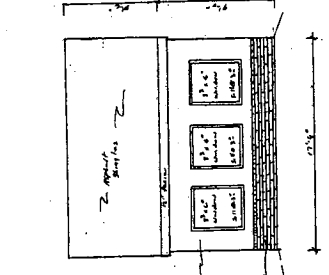
WALL & FOUNDATION SECTION
 Scale 1/4" = 1'-0"



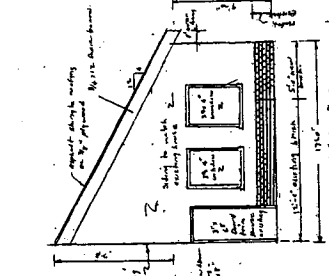
SECTION
 Scale 1/4" = 1'-0"



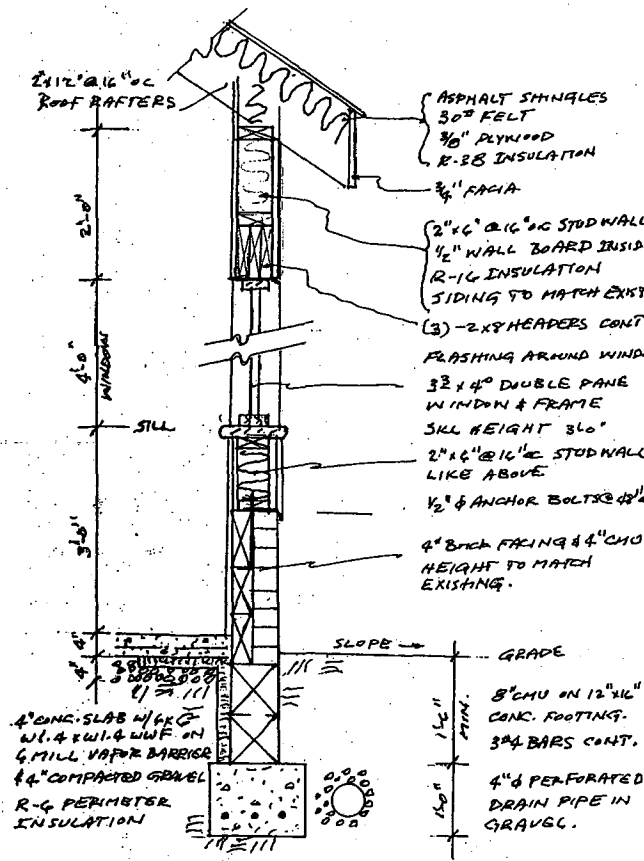
FLOOR & ROOF PLAN
 Scale 1/8" = 1'-0"



EAST ELEVATION
 Scale 1/8" = 1'-0"



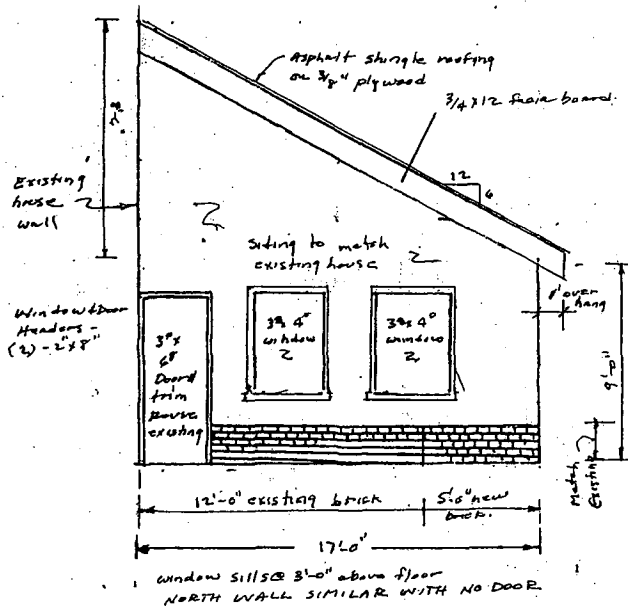
SIDE ELEVATION
 Scale 1/8" = 1'-0"



1. USE MONTGOMERY CO., ME
2. USE MONTGOMERY COUNTY
3. LOADS- LIVE - PORCH FLOOR EXPOSURE B IMPORTANCE SPECTRAL RESPONSE COE SEC MAP VALUE SI = 5.85g; 2D; EQUIVALENT LATERAL I
4. FOUNDATIONS ARE DESIGN UNDISTURBED SOIL. FOOTING FINISHED GRADE AND ALL FOOTINGS SHALL HAVE 3 # BARS 6" INTO EXISTING FOOTING
5. CONCRETE - 3000 PSI @ 28 DAYS USE ACI STANDARDS.
6. FRAMING LUMBER SHALL BE 1/2" PLYWOOD PLAN. PROVIDE HURRICANE ALL FRAMING WITHIN 8" OF
7. WALL INSULATION - R-16, 1" WOOD, LOW E, ARGON FILL
8. ELECTRICAL: RELOCATE EXISTING EAST WALL. REUSE EXISTING
9. CONTRACTOR SHALL VERIFY

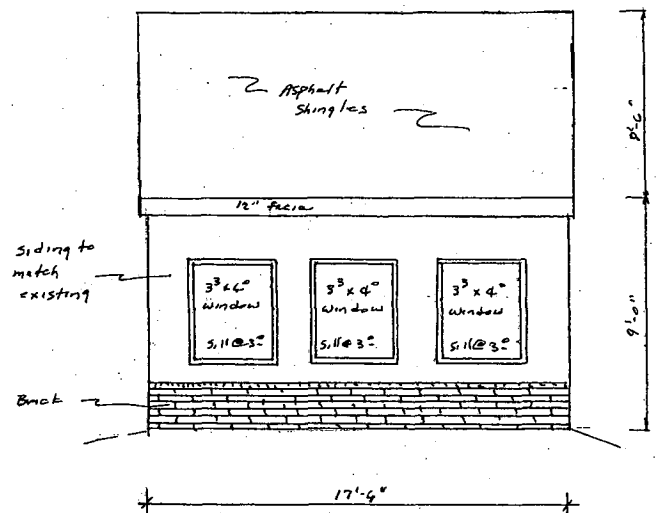
WALL & FOUNDATION SECTION

Scale 3/4" = 1'-0"



SIDE ELEVATION

Scale 1/8" = 1'-0"



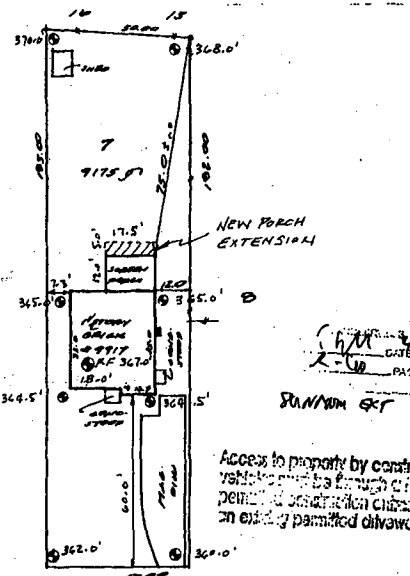
EAST ELEVATION

NOTES

- 1. IBC CODE LATEST EDITION. IRC 2003.
- 2. STANDARD RESIDENTIAL SPECIFICATION.
- 3. PSF; ROOF - 30 PSF - SNOW; WIND 90 MPH
- 4. MIC - DESIGN CATEGORY B; USE GROUP 1;
- 5. NTS, SHORT MAP VALUE $S_s = 12.5\%$, 1.0
- 6. VALUE CLASS D, Fa 1.6; RESISTING SYSTEM METHOD.
- 7. 1000 PSF SOIL. FOOTINGS SHALL BEAR ON
- 8. FOUNDATIONS SHALL BE AT LEAST 2' - 6" BELOW
- 9. GRADE (SUM OF 1'-0" INTO NATURAL GROUND).
- 10. REINFORCING BARS CONTINUOUS. DOWEL 3 #4
- 11. REINFORCING STEEL ASTM A615 GRADE 60.
- 12. STRUCTURAL GRADE. DIAGONAL BRACING
- 13. STORY HEIGHT WHERE SHOWN ON THE
- 14. DRAWING FROM ROOF FRAMING TO STUD WALL TOP.
- 15. ROOF SHALL BE PRESSURE TREATED.
- 16. G AND ROOF R-38, GLASS DOUBLE PANE,
- 17. CEILING LIGHT. MOVE DUPLEXES TO NEW
- 18. ELECTRICAL PANELS IN THE FIELD.

NOTES:

1. Existing contours (spot elevations) and proposed elevations are the same.
2. Elevation at the center front of the house at the street centerline is 359.5'. First floor of existing house is at elevation 367.0'. Mean height of house roof with and without porch extension is at elevation 380.0'
3. Existing lot is 9175 square feet. House coverage is 1249 square feet or 13.6% and with the proposed porch extension is 1337 square feet or 14.6%.



Property protection modern day zoning. No evidence of property corners was found. Apparent occupation is shown.

Date: 07-28-04 Scale: 1" = 40' Dwn: G.C.

Surveyor's Certification

Plat Book: A NO TITLE REPORT FURNISHED

Plat No.: 0

Work Order: 04-3279

Address: 9917 CAPITOL VIEW AVENUE

District: 13

Jurisdiction: MONTGOMERY COUNTY, MD

LOCATION DRAWING

LOT 7

BLOCK 32

CAPITOL VIEW PARK

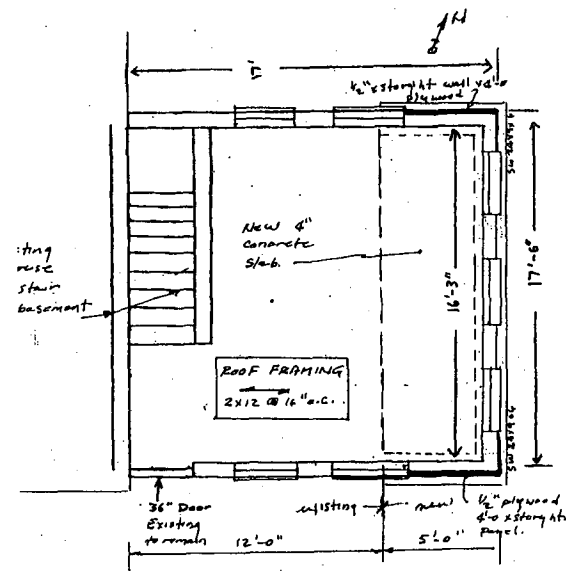
NOTE: I hereby certify that the survey shown herein is correct to the knowledge and that, unless noted otherwise, it has been prepared in accordance with the laws of the State of Maryland and the rules and regulations of the Board of Professional Engineers. This survey is not a boundary survey and it does not guarantee the existence of property corners in the field. If shown, they are approximate in location. This property does not lie within a flood plain according to FEMA insurance maps as shown on file in the office of the Surveyor. Building construction shall be in accordance with the applicable codes and regulations in effect at the time of construction and are subject to the interpretation of the original engineer.

Signature: *George C. Gerber*

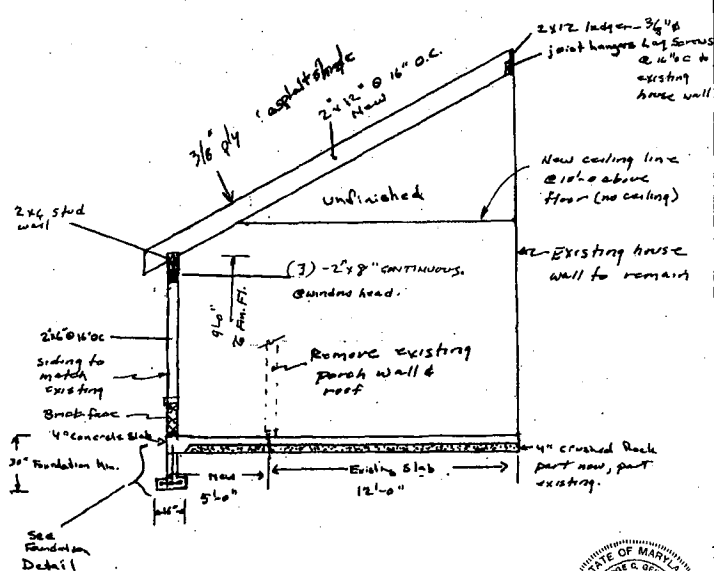
Meridian Surveys
911 Russell Ave

SITE PLAN
Scale 1"=30'

SABOL RESIDENCE PORCH EXTENSION
9917 CAPITOL VIEW AVENUE
SILVER SPRING, MARYLAND 20910



FLOOR & ROOF PLAN
Scale 1/4"=1'-0"



SECTION
Scale 1/4"=1'-0"



3-21-09

SHEET 1 of 1

SIMPLIFIED PRESCRIPTIVE PACKAGE WORKSHEET

Applicant Name Sabel Date March 21, 2004
 Applicant Address 9917 Capitol View Ave, Silver Spring, Md. 20910
 Phone Number _____
 Building Address 9917 Capitol View Ave, S.S. Permit (A/P) # _____

| Criteria | Required | Provided | Describe the Assembly |
|---|------------|----------|--|
| Maximum Glazing U-Factor [BTU / (hr · ft ² · °F)] | 0.45 | 0.45 | Double pane, wood, low E, Argon filled |
| Maximum U- Factor for Opaque doors | 0.35 | 0.35 | Solid core wood 3" x 6" |
| Minimum Insulation R-Value (Ceilings) Roof | R-38 | R-38 | Batt insulation, 3/8" plywood, Asphalt shingles. |
| Minimum Insulation R-Value (Walls) | R-16 | R-14 | 2x6 studs @ 16" o.c w insulation assisting to match house on Brck slab |
| Minimum Insulation R-Value (Floors) | R-19 | R-19 | 4" concrete slab on grade |
| Minimum Insulation R-Value (Basement walls) | R-9 | N/A | |
| Minimum Insulation R-Value (Slab perimeter R-value and depth) | R-6, 2 ft. | R-6, 2ft | Block wall on concrete footer perimeter insulation. |
| Minimum Insulation R-Value (Crawl space walls) | R-17 | N/A | |

Gross Area of Exterior Walls = 608 ft²

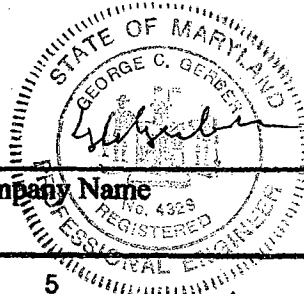
Area of Glazing = 91 ft²

Percent glazing = 15 %

I hereby certify that the proposed building design represented in these construction documents has been designed to meet the simplified prescriptive requirements of the Montgomery County Energy Code.

George C. Gerber, P.E.

Builder/Designer/Contractor



Company Name

March 21, 2004
Date

Residential Energy Code

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3-21-04

9917 Capitol View





