

31/7-01L 9914 Capitol View Avenue  
(Capitol View Park Historic District)



11 8'01

DATE: 11-6-01  
SUBJECT: TEMP.  
SHORING TO  
SUPPORT UPSTAIRS  
DATE: 11-7-01  
SUBJECT: TEMP. PIERS  
TO REPLACE TEMP.  
SHORING  
DATE: 11-12-01  
SUBJECT: STEEL COL  
ON TEMP PIER - SUPPORT  
ING HOUSE "SEE  
SEPERATIONS IN WALK"



11 8'01



11 7'01

DATE: 11-6-01

SUBJECT: FRONT VIEW  
9914 CAPITOL VIEW  
BIERSNER'S

DATE: 11-6-01

SUBJECT: REAR BASEMENT  
WALL - PLYWOOD OVER  
AREA OF FOUNDATION  
SETTLEMENT

DATE: 11-6-01

SUBJECT: REAR VIEW  
9914 CAPITOL VIEW  
DECK REMOVED  
FOR STRUCTURAL REPAIRS



DATE: "1979"

SUBJECT: DECK BUILT

1979 - REMOVED

FOR STRUCTURAL  
REPAIRS TO HOME

SUBJECT: HOME OWNER  
MRS BIERSMER

DATE:

SUBJECT:

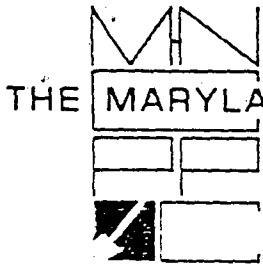


PHOTO BY AL FREGLY

DATE:	_____
SUBJECT:	_____
	_____
	_____
DATE:	_____
SUBJECT:	_____
	_____
	_____
DATE:	_____
SUBJECT:	_____
	_____
	_____



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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/19/01

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits HPC# 31/7-01L DPS# 264129

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

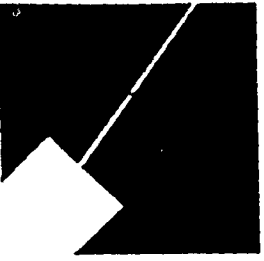
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 12/19/01

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner (M)

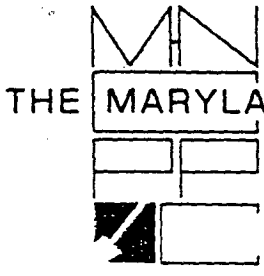
SUBJECT: Historic Area Work Permit Application - HPC Decision

HPC# 31/7-01L DPS# 264129

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The Historic Preservation Commission reviewed this project on 12/19/01  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 12/19/01

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit HPC # 31/7-011 DPS # 264129

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MR. & MRS. ROBERT BIERSNER

Address: 9914 CAPITOL VIEW AVE, CV HIST. DIST.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Duane R. Metcalf

Daytime Phone No.: 301-921-0727

Tax Account No.:

Name of Property Owner: Mr and Mrs Robert Biersner Daytime Phone No.: 301-589-9114

Address: 9914 Capitol View Ave. Silver Spring Md 20910-1032
Street Number City State Zip Code

Contractor: Prime Construction of Md., Inc. Phone No.: 301-9210727

Contractor Registration No.: 52-1131447 / 02073066

Agent for Owner: Duane R. Metcalf Daytime Phone No.: 301-921-0727/301-633-0067

LOCATION OF BUILDING/PREMISE

House Number: 9914 Street: Capitol View Ave.

Town/City: Silver Spring Nearest Cross Street: Stoney Brook Dr.

Lot: P3&P4 Block: 31 Subdivision: Capitol View Park

Liber: Plat Book A Folio: Plat 9 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 5,500.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Duane R. Metcalf
Signature of owner or authorized agent

11-16-2001 Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 12/19/01

Application/Permit No.: AIR # 264129 Date filed: 12/30/01 Date issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing 2 story frame home and basement was built in the fifties. The home was added onto in the sixties along with a carport. An elevated deck with stairs was added across the rear of the original house and addition in 1979. The back yard has many mature and young trees and shrubs.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The home addition of the sixties was built on uncompacted fill and the foundation settled enough to warrant an emergency deck removal and costly structural repair. See attached Building Permit No. 262634, Dated 11-5-2001. This project has no effect on the historic resources or environmental setting, it is only replacing the treated lumber deck and stairs that have existed since 1979. See attached Building Permit Drawings No. 099252 Dated 6-20-1979.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. ***Schematic construction plans***, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

***EXPEDITED***  
**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	9914 Capital View Avenue, Silver Spring	<b>Meeting Date:</b>	12/19/01
<b>Resource:</b>	Non-Contributing Resource Capitol View Park Historic District	<b>Report Date:</b>	12/12/01
<b>Review:</b>	HAWP	<b>Public Notice:</b>	12/05/01
<b>Case Number:</b>	31/07-01L	<b>Tax Credit:</b>	Yes
<b>Applicant:</b>	Robert and Marjorie Biersher	<b>Staff:</b>	Michele Naru
<b>PROPOSAL:</b>	Deck Construction	<b>RECOMMEND:</b>	Approval

**PROPOSAL:**

The applicant is proposing to re-install the rear deck that was removed in November 2001 (Demolition Permit # 262634.) The original deck was built on uncompacted fill, which caused the foundation to settle and create a hazard. The applicants are proposing to re-construct the deck in the same size, dimensions and materials of the original. The only variation will be the balustrade. The original deck contained a 3-board balustrade. The applicants are proposing a 2"x 2" picket balustrade to be constructed on the new deck.

**STAFF RECOMMENDATION:**

Approval  
 Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

\_\_\_\_\_4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

\_\_\_\_\_5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

\_\_\_\_\_6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  3. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
  4. Removal of accessory building that are not original to the site or otherwise historically significant.
  5. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  6. Signs that are in conformance with all other County sign regulations.

7. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
8. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
9. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
10. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
11. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
12. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Duane R. Metcalf

Daytime Phone No.: 301-921-0727

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Mr and Mrs Robert Biersner Daytime Phone No.: 301-589-9114

Address: 9914 Capitol View Ave. Silver Spring Md 20910-1032  
Street Number City State Zip Code

Contractor: Prime Construction of Md., Inc. Phone No.: 301-9210727

Contractor Registration No.: 52-1131447 / 02073066

Agent for Owner: Duane R. Metcalf Daytime Phone No.: 301-921-0727/301-633-0067

### LOCATION OF BUILDING/PREMISE

House Number: 9914 Street: Capitol View Ave.

Town/City: Silver Spring Nearest Cross Street: Stoney Brook Dr.

Lot: P3&P4 Block: 31 Subdivision: Capitol View Park

Liber: Plat Book A Folio: Plat 9 Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- |   |                                  |   |  |                                    |  |  |  |                               |
|---|----------------------------------|---|--|------------------------------------|--|--|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |  |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wail (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |  |                               |

1B. Construction cost estimate: \$ 5,500.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line       Entirely on land of owner       On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Duane R. Metcalf  
Signature of owner or authorized agent

11-16-2001 Date 5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The home addition of the sixties was built on uncompacted fill and the foundation settled enough to warrant an emergency deck removal and costly structural repair. See attached Building Permit No. 262634, Dated 11-5-2001. This project has no effect on the historic resources or environmental setting, it is only replacing the treated lumber deck and stairs that have existed since 1979. See attached Building Permit Drawings No. 099252 Dated 6-20-1979.

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Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
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**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right of way and of the

(6)



Addresses of Adjacent and Confronting Property Owners

Paul La Gasse and Mary Jo Lazun  
9912 Capitol View Ave.  
Silver Spring, Md 20910  
301-589-5421

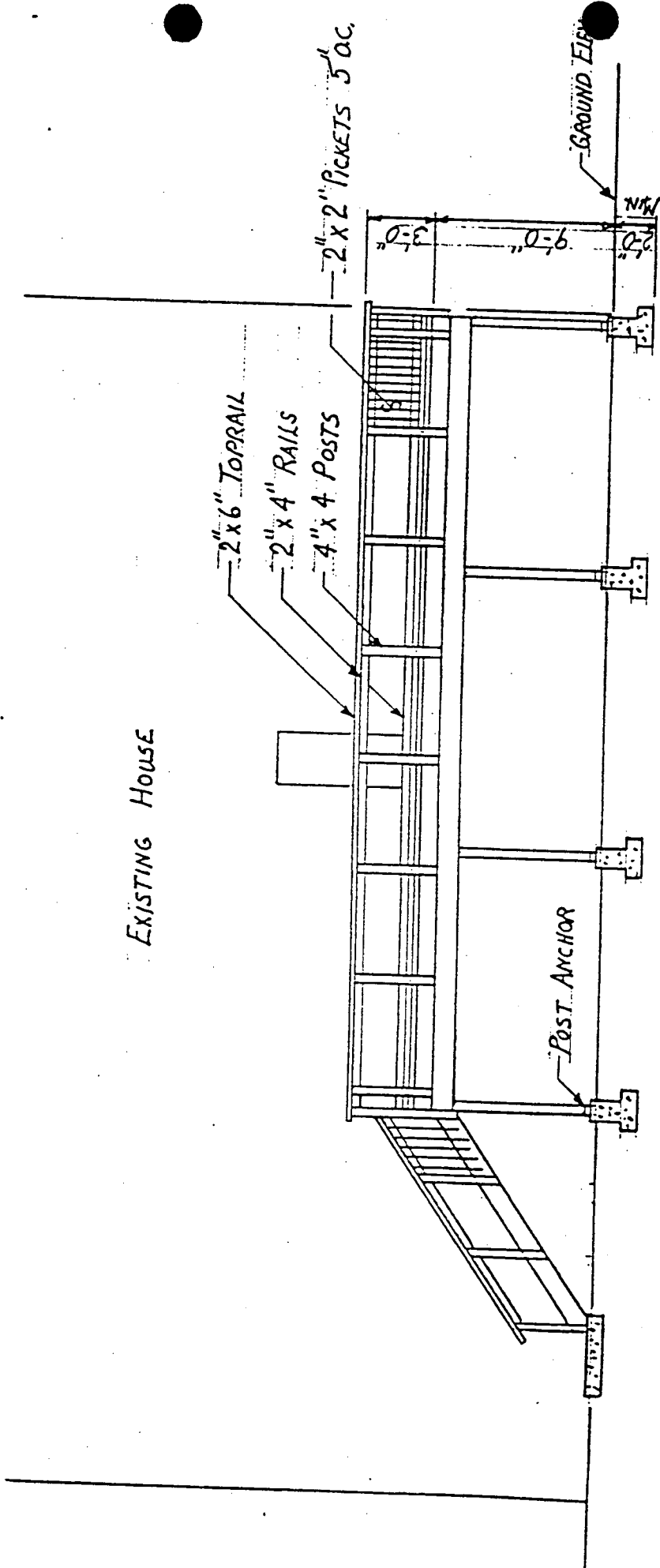
Mary Matzen and Robert L. Northstein  
9918 Capitol View Ave.  
Silver Spring, Md 20910  
301-585-3044

Steve Malone and Mary Alexander  
9913 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-4367

Mark J. Bastan  
9915 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-0299

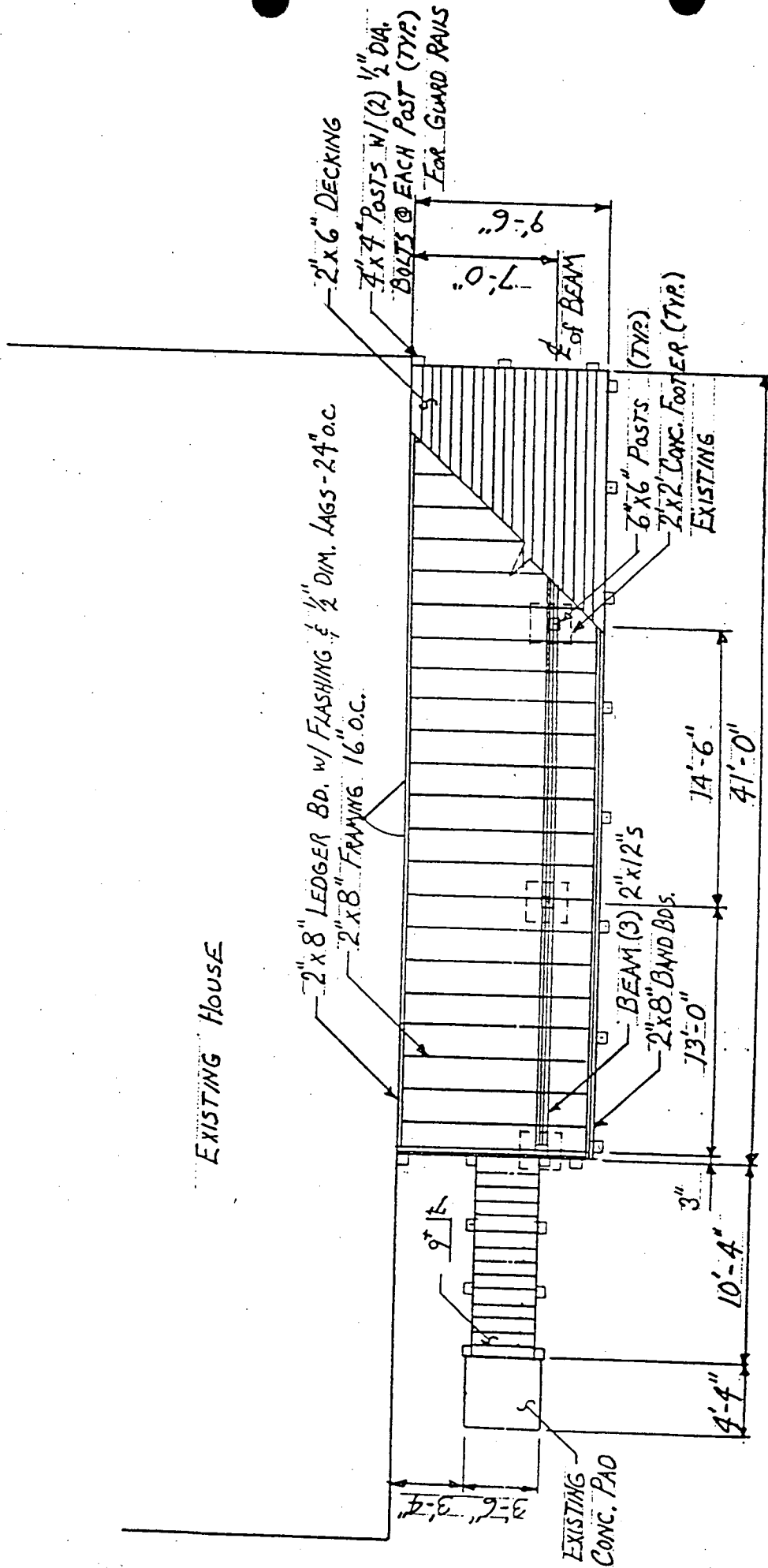
John and Mary Dale  
9917 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-3317

EXISTING HOUSE



DECK REPLACEMENT  
ELEVATION

DECK REPLACEMENT	
MR & MRS BIERNSNER	
7917 CAPITOL VIEW AVE	
SILVER SPRING, MD. 20910	
By: PRIME CONSTRUCTION & M/D/K	
SCALE: 1/8" = 1'-0"	11-5-01



DECK REPLACEMENT 390 SQ. FT.  
 PLAN VIEW  
 ALL LUMBER PRESSURE TREATED

DECK REPLACEMENT
MR. & MRS. BIERSENER
9914 CAPITOL VIEW AVE.
SILVER SPRING, MD. 20910
By: PRIME CONSTRUCTION of MD, INC.
SCALE: 1/8" = 1'-0"
11-5-01

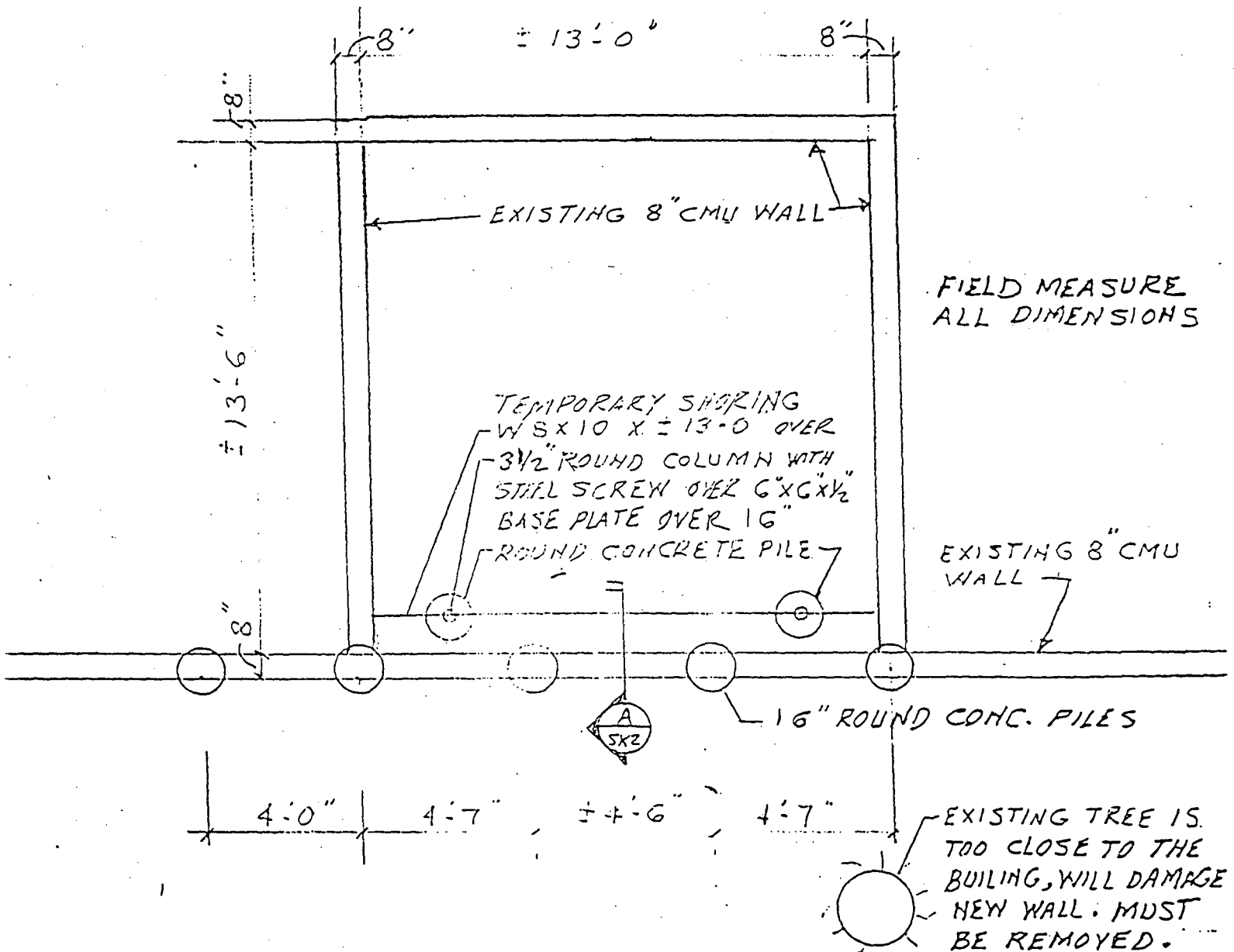




STRUCTURAL ENGINEERS, P.A.

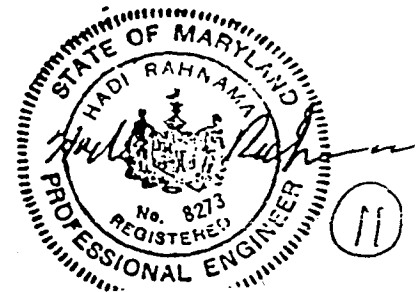
2437 HENSLOWE DRIVE, POTOMAC, MD 20854 TEL: (301) 315-0605 FAX: (301) 315-0604

9914 CAPITAL VIEW AVENUE  
SILVER SPRING, MD 20910  
SKI , NOV. 5, 2001



PART FLOOR PLAN

SCALE 1/4" = 1'-0"





STRUCTURAL ENGINEERS, P.A.

2437 HENSLOWE DRIVE, POTOMAC, MD 20854 TEL: (301) 315-0605 FAX: (301) 315-0604

9914 CAPITAL VIEW AVENUE  
SILVER SPRING, MD 20910  
SK2 , NOV. 5, 2001

ADD 2-2X10 X ± 4'-0" TO  
EACH DAMAGED JOIST AND  
REPLACE BAND BOARD.  
PROVIDE TEMPORARY SHORING  
REMOVE EXISTING CMU WALL.

1/2" φ ANCHOR BOLT OR  
TIE DOWN STRAP AT 4'-0"  
INTO TOP COURSE SOLID CMU

EXISTING WALL  
NEW P.T. BAND BOARD  
EXISTING JOISTS

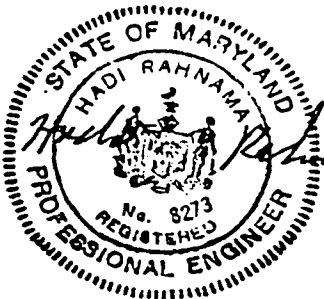
NEW W8X10 TEMP.  
NEW 3 1/2" φ COL TEMP.  
NEW 2X8 P.T. PLATE  
NEW 8" CMU WALL  
BASE PLATE TEMP.  
EXISTING CONC. SLAB

12"X16" CONC. BEAM  
WITH 4 #6 + #3 7"  
AT 12" O.C.

4 #6 X 4'-0" DOWELS 1'-0" 7'-0"

16" ROUND CONC. PILES  
TO SOLID BEARING  
(7 TOTAL)

12" SOLID UNDISTURB  
SOIL



SECTION A

SCALE 1/2" = 1'-0"

12



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

BUILDING  
PERMIT

Issue Date: 11/5/2001

Permit No: 262634  
Expires: 11/6/2002  
X Ref.  
Rev. No:  
ID: AC783057

THIS IS TO CERTIFY THAT:

DUANE R METCALF  
7605 C AIRPARK RD  
GAITHERSBURG MD 20879

HAS PERMISSION TO: RESTORE AND / OR REPAIR SINGLE FAMILY DWELLING

PERMIT CONDITIONS:

PREMISE ADDRESS: 9914 CAPITOL VIEW AVE  
SILVER SPRING MD 20910-1032

LOT P3	BLOCK 31	ZONE R60	GRID
LIBER	ELECTION DISTRICT 13	PLATE	PARCEL
FOLIO	TAX ACCOUNT NO.:		PS NUMBER 0
PERMIT FEE: \$137.50	SUBDIVISION WHEATON OUTSIDE		

MUST BE POSTED ON JOB SITE

NOTICE

THIS APPROVAL DOES NOT INCLUDE  
LUMBERING, GAS PIPING OR ELECTRICAL  
OR CONSTRUCTION IN ANY  
DEDICATED RIGHT-OF-WAY.

NOTE

THIS PERMIT DOES NOT INCLUDE  
APPROVAL FOR ANY ELECTRICAL  
WORK. YOU MUST HAVE A  
SEPARATE ELECTRICAL PERMIT  
TO DO ANY ELECTRICAL WORK.

Director, Department of Permitting Services

DATE: "1979"

SUBJECT: DECK BUILT  
1979 - REMOVED

FOR STRUCTURAL  
REPAIRS TO HOME

DATE: \_\_\_\_\_  
SUBJECT: HOME OWNER  
MRS MRS BIERNER

DATE: \_\_\_\_\_

SUBJECT: \_\_\_\_\_





DATE: 11-6-01

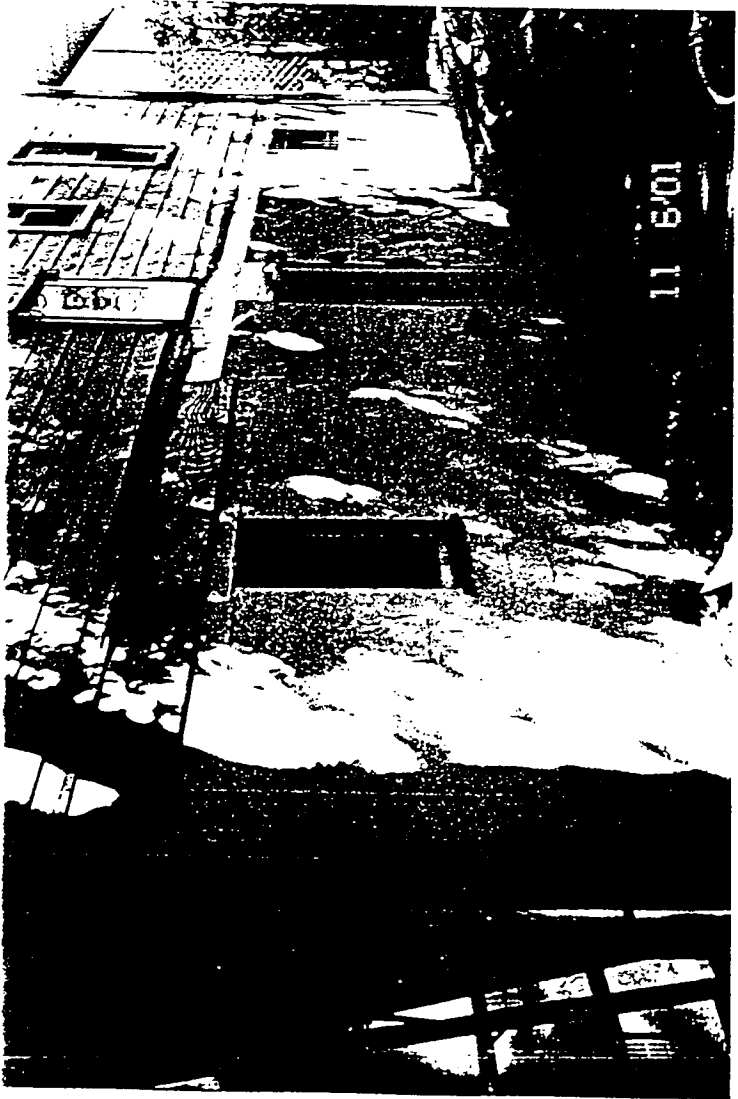
SUBJECT: FRONT VIEW  
9914 CAPITOL VIEW  
BIERSNER'S

DATE: 11-6-01

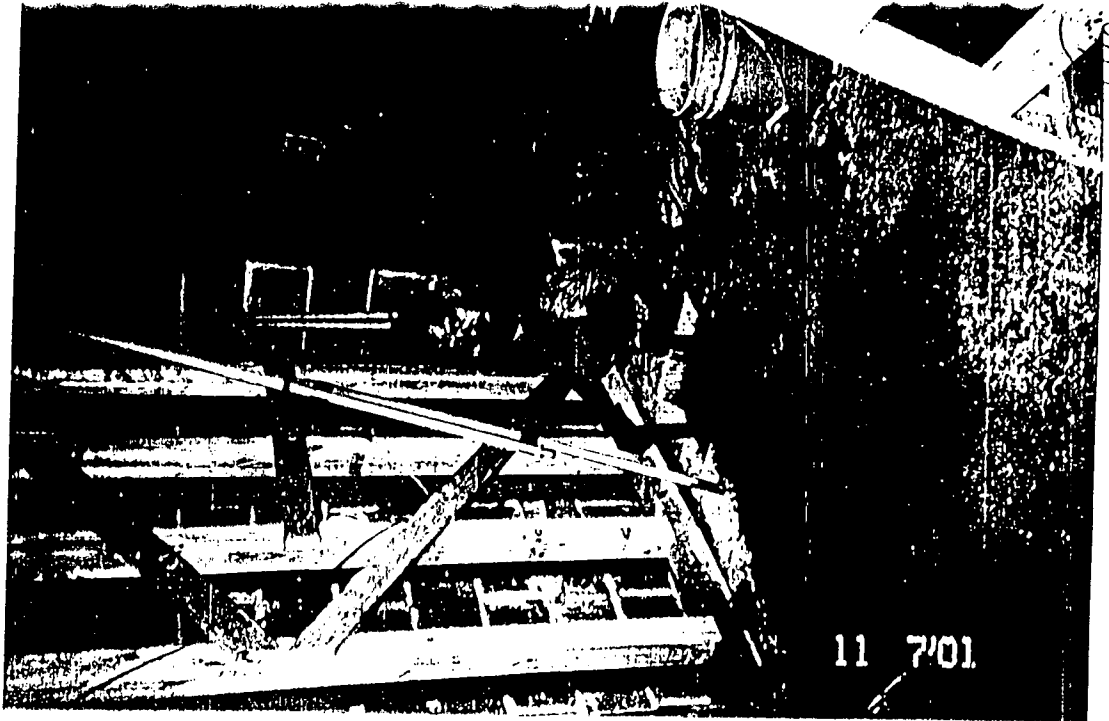
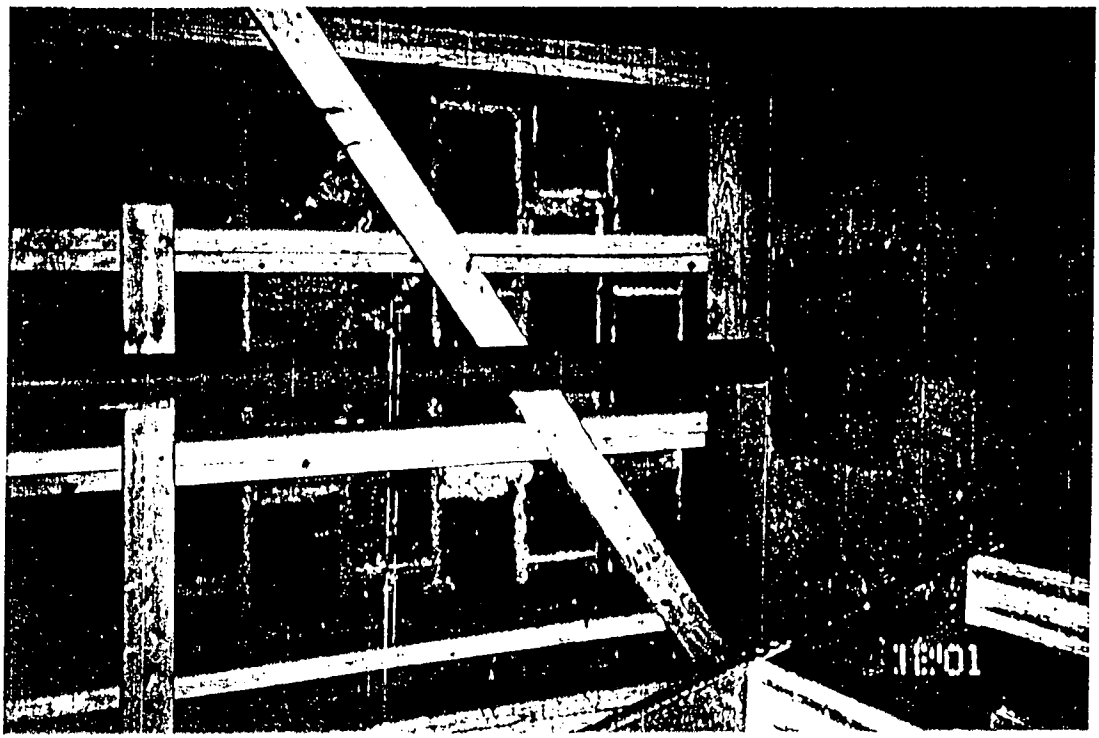
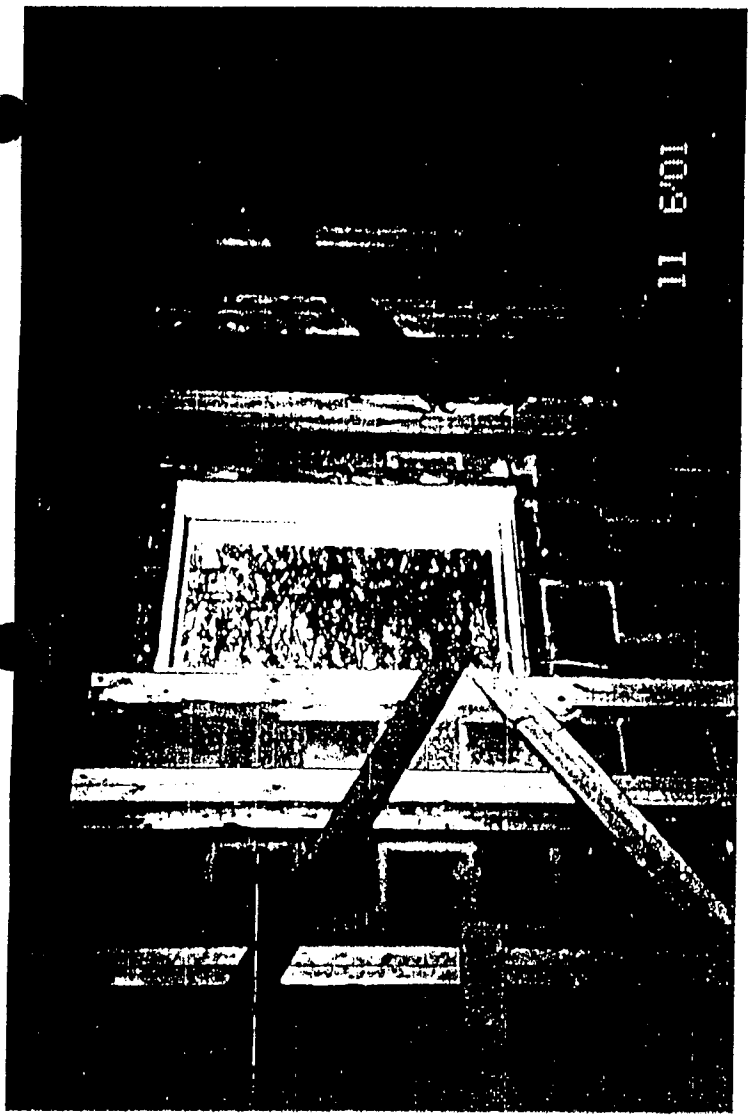
SUBJECT: REAR BASEMENT  
WALL - PLYWOOD OVER  
AREA OF FOUNDATION  
SETTLEMENT

DATE: 11-6-01

SUBJECT: REAR VIEW  
9914 CAPITOL VIEW  
DECK REMOVED  
FOR STRUCTURAL REPAIRS



DATE: 11-6-01  
SUBJECT: TEMP.  
SHORING TO  
SUPPORT UPSTAIR  
DATE: 11-7-01  
SUBJECT: TEMP. PIER  
TO REPAIR TEMP  
SHORING  
DATE: 11-12-01  
SUBJECT: STEEL C/L  
ON TEMP PIER - SUFF  
ING HORIZE "SEE  
SEPERATIONS IN WALL



Addresses of Adjacent and Confronting Property Owners

Paul La Gasse and Mary Jo Lazun  
9912 Capitol View Ave.  
Silver Spring, Md 20910  
301-589-5421

Mary Matzen and Robert L. Northstein  
9918 Capitol View Ave.  
Silver Spring, Md 20910  
301-585-3044

Steve Malone and Mary Alexander  
9913 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-4367

Mark J. Bastan  
9915 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-0299

John and Mary Dale  
9917 Capitol View Ave.  
Silver Spring, Md 20910  
301-587-3317

**Building Location Plat  
Part of Lots 3 & 4, Block 31  
CAPITOL VIEW PARK**

Montgomery County, Maryland  
Scale: 1" = 40'

**Surveyor's Certificate**

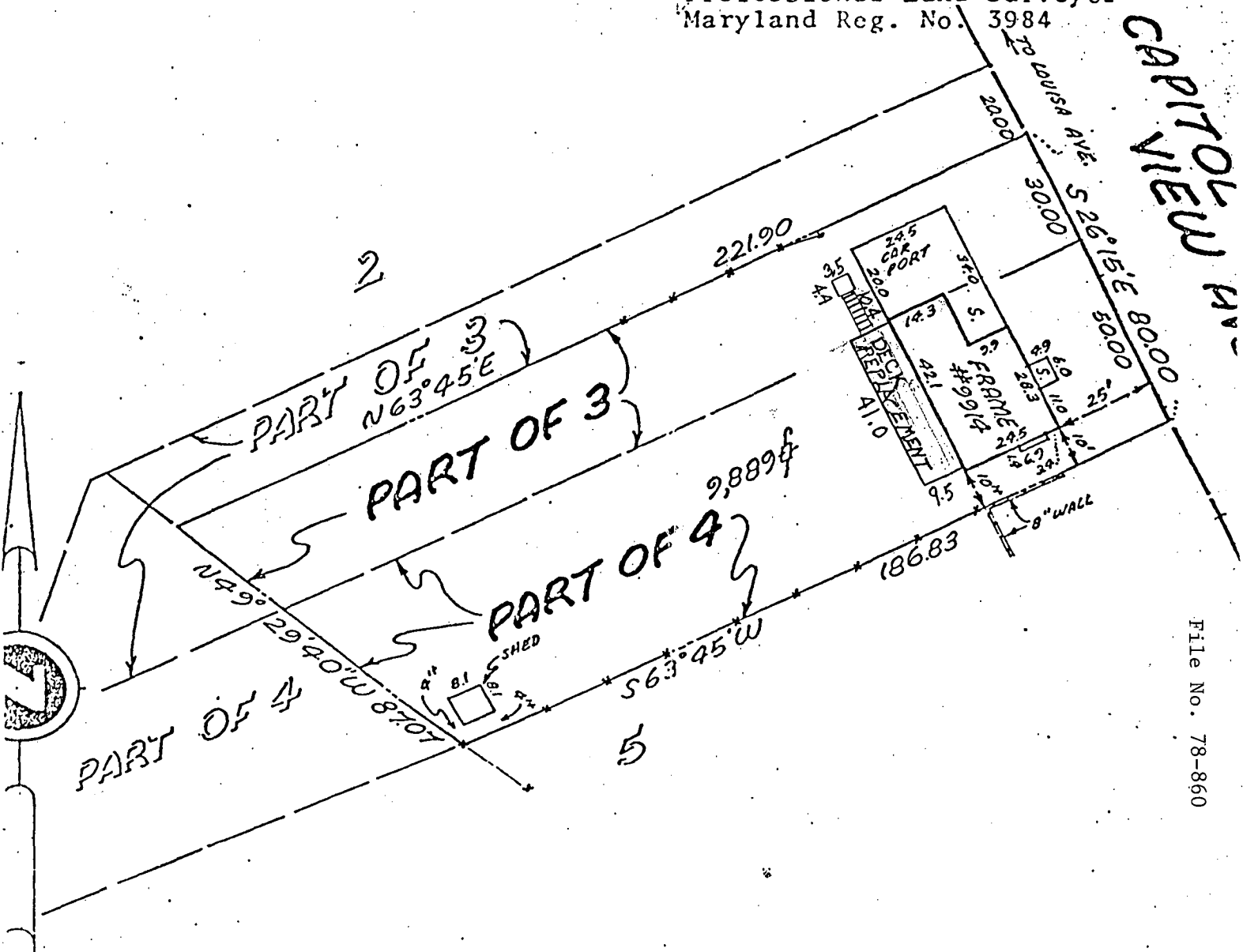
We hereby certify "This plat shows that (1) the improvements are located as indicated within or on the perimeter of the property, (2) there are no encroachments of existing improvements located on said land into any easement thereon nor onto any adjoining land and (3) there are no encroachments onto said land of existing improvements located on adjoining land."

Date: June 23, 1978

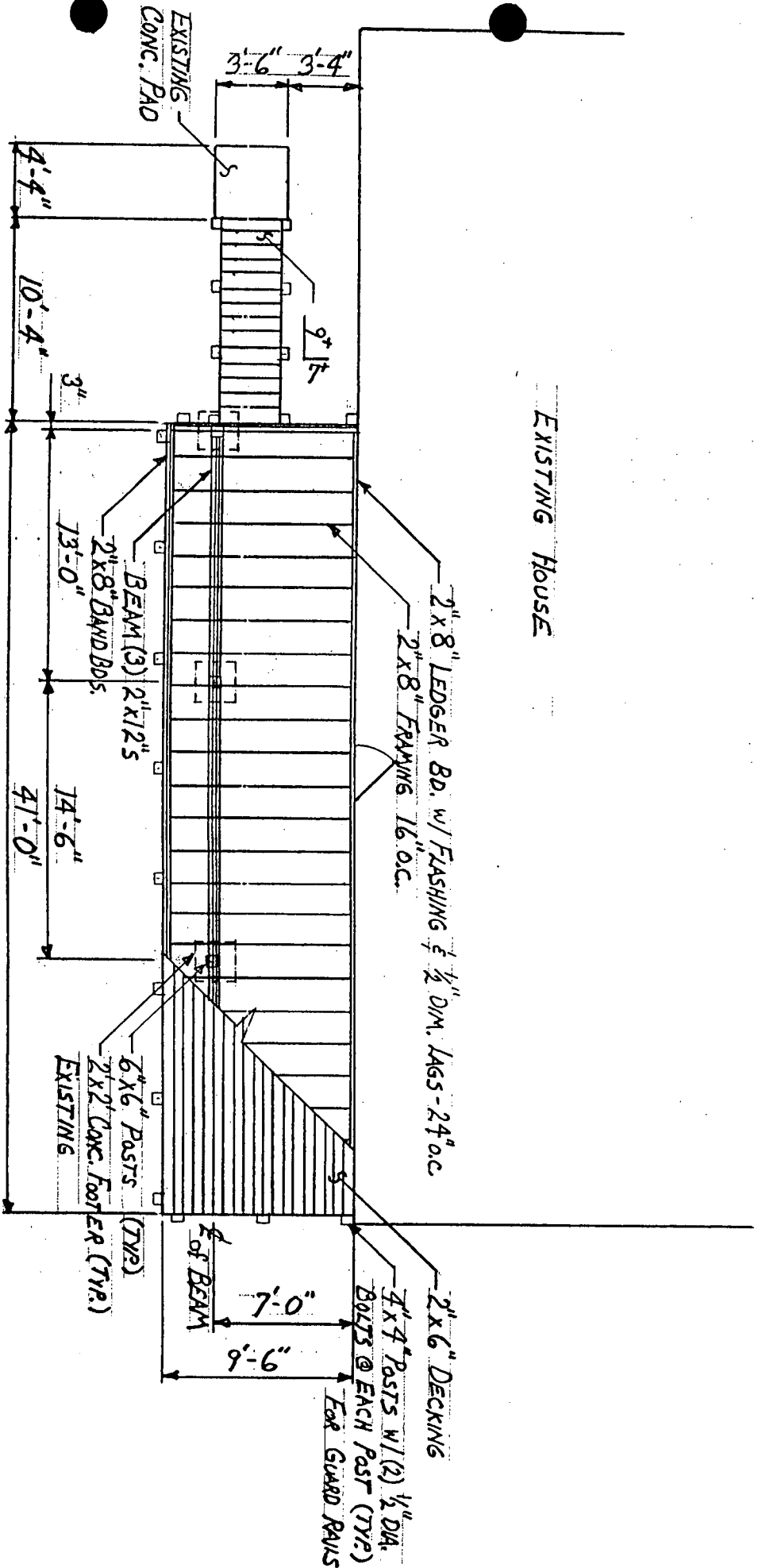
Frey, Sheehan, Stoker & Assoc., Inc.  
Land Planning Consultants  
Phone 588-3110

Plat Book A  
Plat 9

By: James F. Sheehan  
James F. Sheehan  
Professional Land Surveyor  
Maryland Reg. No. 3984



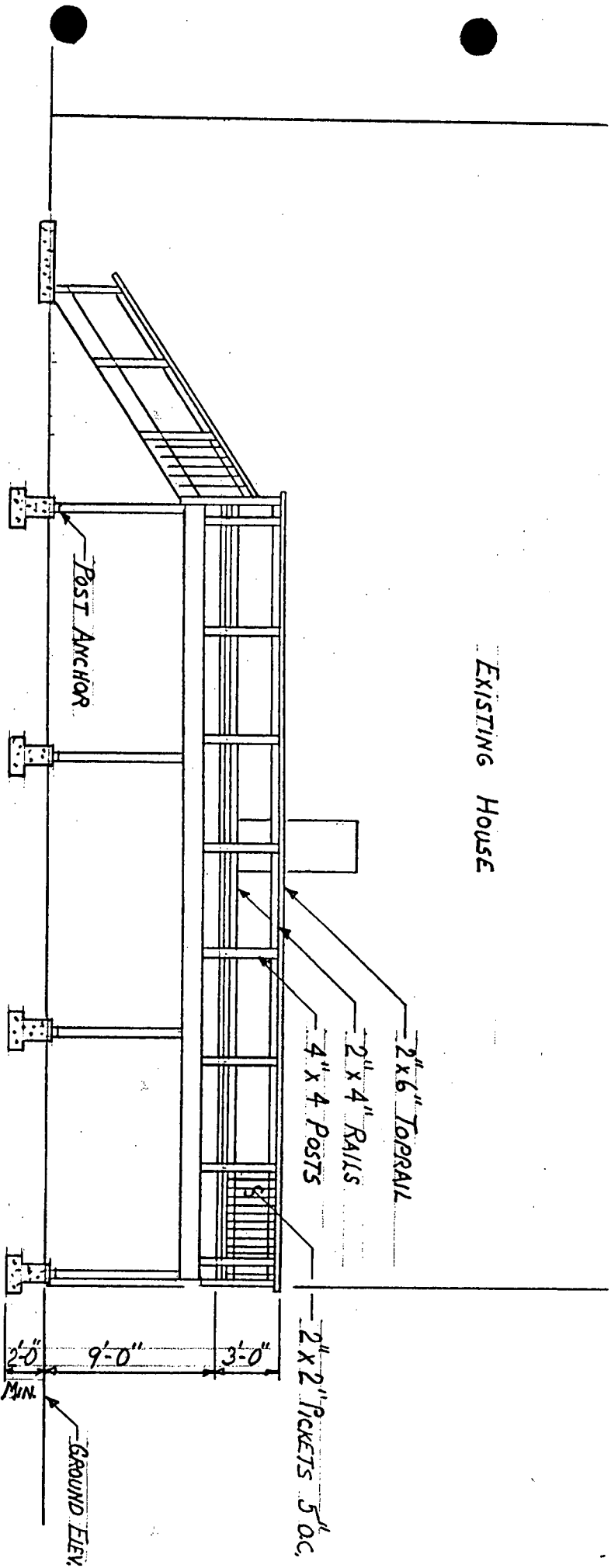
EXISTING HOUSE



DECK REPLACEMENT 390 SQ. FT.  
PLAN VIEW  
ALL LUMBER PRESSURE TREATED

DECK REPLACEMENT	
MR & MRS BIEASNER	
9914 CAPITOL VIEW AVE.	
SILVER SPRING, MD. 20910	
By: PRIME CONSTRUCTION of MD, INC.	
SCALE: 1/8" = 1'-0"	11-5-01

EXISTING HOUSE



DECK REPLACEMENT  
ELEVATION

DECK REPLACEMENT	
MR & MRS BIERNER	
9914 CAPITOL VIEW AVE.	
SILVER SPRING, MD. 20910	
BY: PRIME CONSTRUCTION d'ADJAC	
SCALE: 1/8" = 1'-0"	11-5-01



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

BUILDING  
PERMIT

Issue Date: 11/5/2001

Permit No: 262634  
Expires: 11/6/2002  
X Ref.  
Rev. No:  
ID: AC783057

THIS IS TO CERTIFY THAT: DUANE R METCALF  
7605 C AIRPARK RD  
GAITHERSBURG MD 20879

HAS PERMISSION TO: RESTORE AND / OR REPAIR SINGLE FAMILY DWELLING

PERMIT CONDITIONS:

PREMISE ADDRESS: 9914 CAPITOL VIEW AVE  
SILVER SPRING MD 20910-1032

LOT P3 BLOCK 31 ZONE R60 GRID  
LIBER ELECTION DISTRICT 13 PLATE PARCEL  
FOLIO TAX ACCOUNT NO.: PS NUMBER 0  
PERMIT FEE: \$137.50 SUBDIVISION WHEATON OUTSIDE

MUST BE POSTED ON JOB SITE

NOTICE

THIS APPROVAL DOES NOT INCLUDE  
PLUMBING, GAS PIPING OR ELECTRICAL  
OR CONSTRUCTION IN ANY  
DEDICATED RIGHT-OF-WAY.

NOTE

THIS PERMIT DOES NOT INCLUDE  
APPROVAL FOR ANY ELECTRICAL  
WORK. YOU MUST HAVE A  
SEPARATE ELECTRICAL PERMIT  
TO DO ANY ELECTRICAL WORK.

Director, Department of Permitting Services



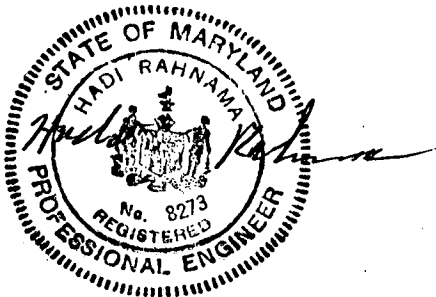
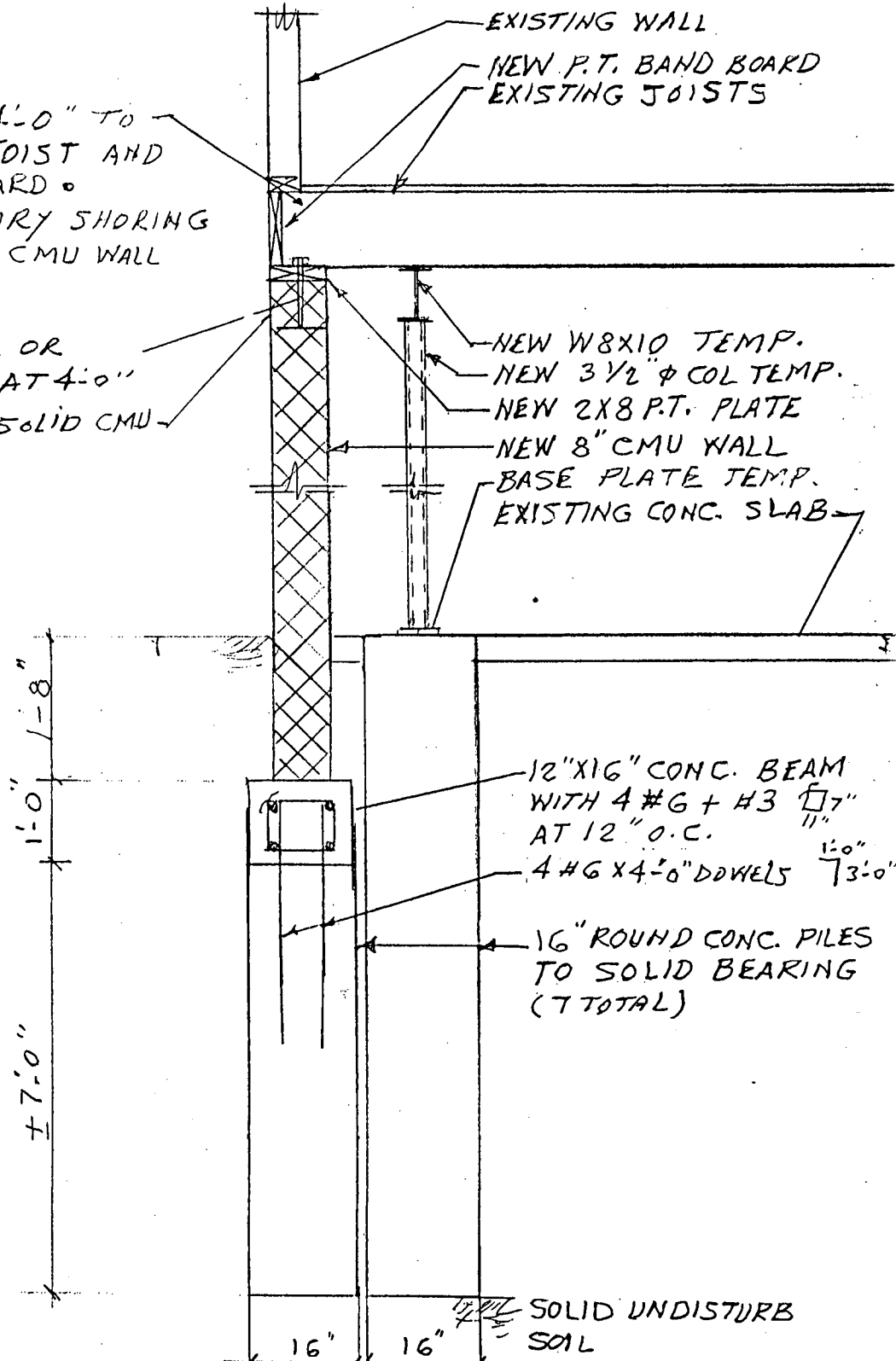
STRUCTURAL ENGINEERS, P.A.

2437 HENSLOWE DRIVE, POTOMAC, MD 20854 TEL: (301) 315-0605 FAX: (301) 315-0604

9914 CAPITAL VIEW AVENUE  
SILVER SPRING, MD 20910  
SK2 , NOV. 5, 2001

ADD 2-2X10 X ± 4'-0" TO EACH DAMAGED JOIST AND REPLACE BAND BOARD. PROVIDE TEMPORARY SHORING REMOVE EXISTING CMU WALL

1/2" φ ANCHOR BOLT OR TIE DOWN STRAP AT 4'-0" INTO TOP COURSE SOLID CMU



SECTION A  
SCALE 1/2" = 1'-0"

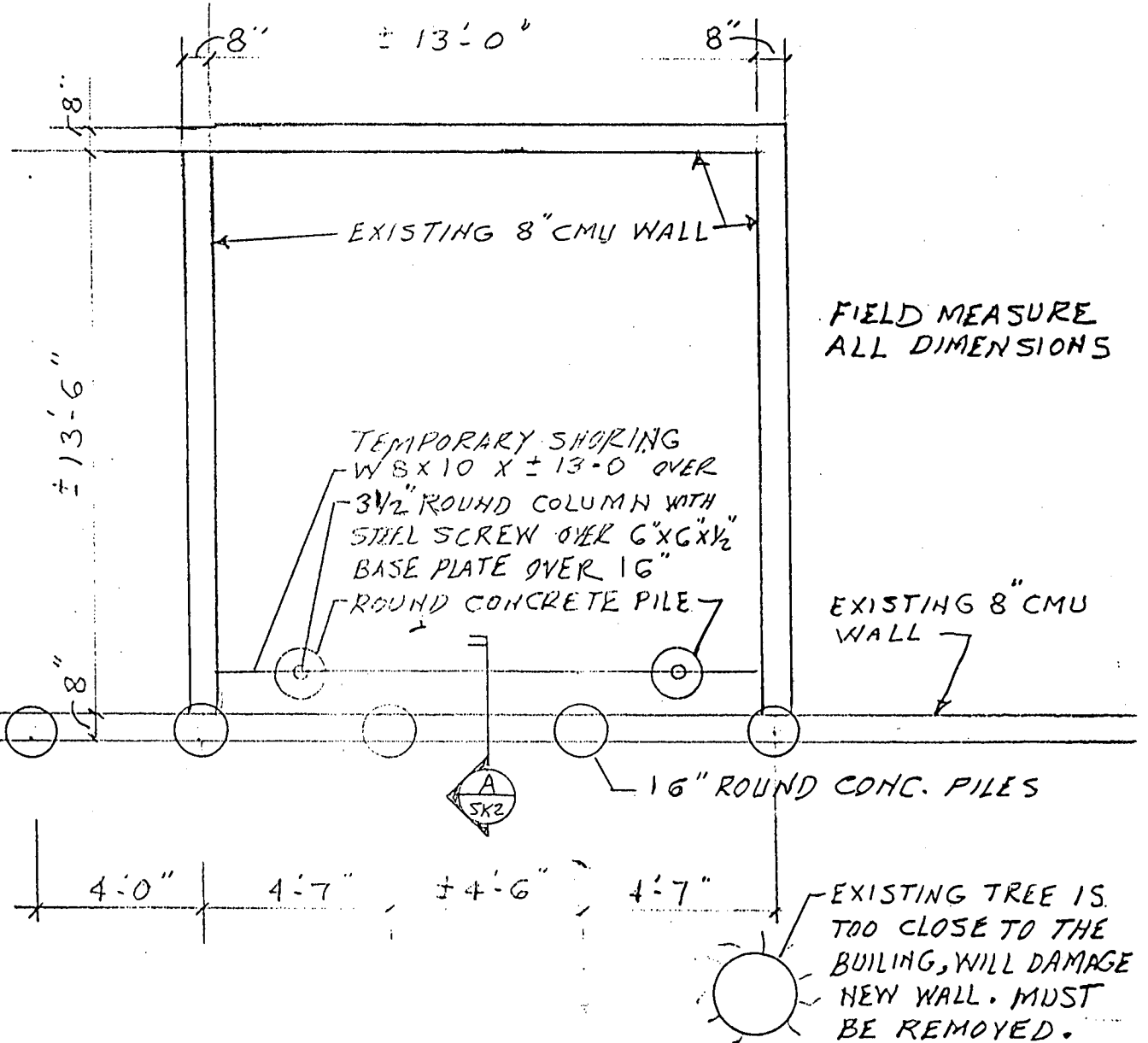




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9914 CAPITAL VIEW AVENUE  
SILVER SPRING, MD 20910  
SKI , NOV. 5, 2001



PART FLOOR PLAN

SCALE 1/4" = 1'-0"



**Building Location Plat  
Part of Lots 3 & 4, Block 31  
CAPITOL VIEW PARK**

Montgomery County, Maryland  
Scale: 1" = 40'

**Surveyor's Certificate**

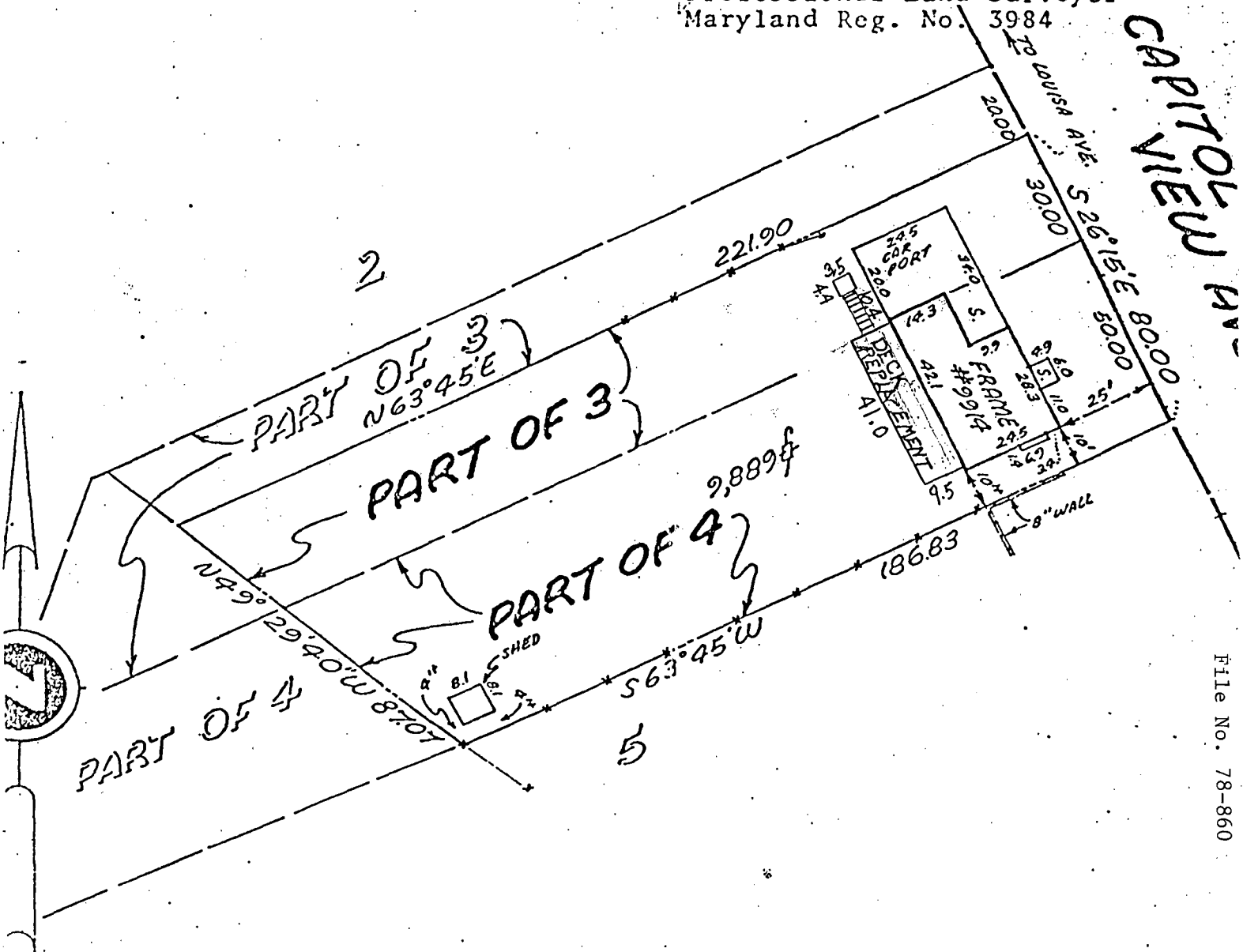
We hereby certify "This plat shows that (1) the improvements are located as indicated within or on the perimeter of the property, (2) there are no encroachments of existing improvements located on said land into any easement thereon nor onto any adjoining land and (3) there are no encroachments onto said land of existing improvements located on adjoining land."

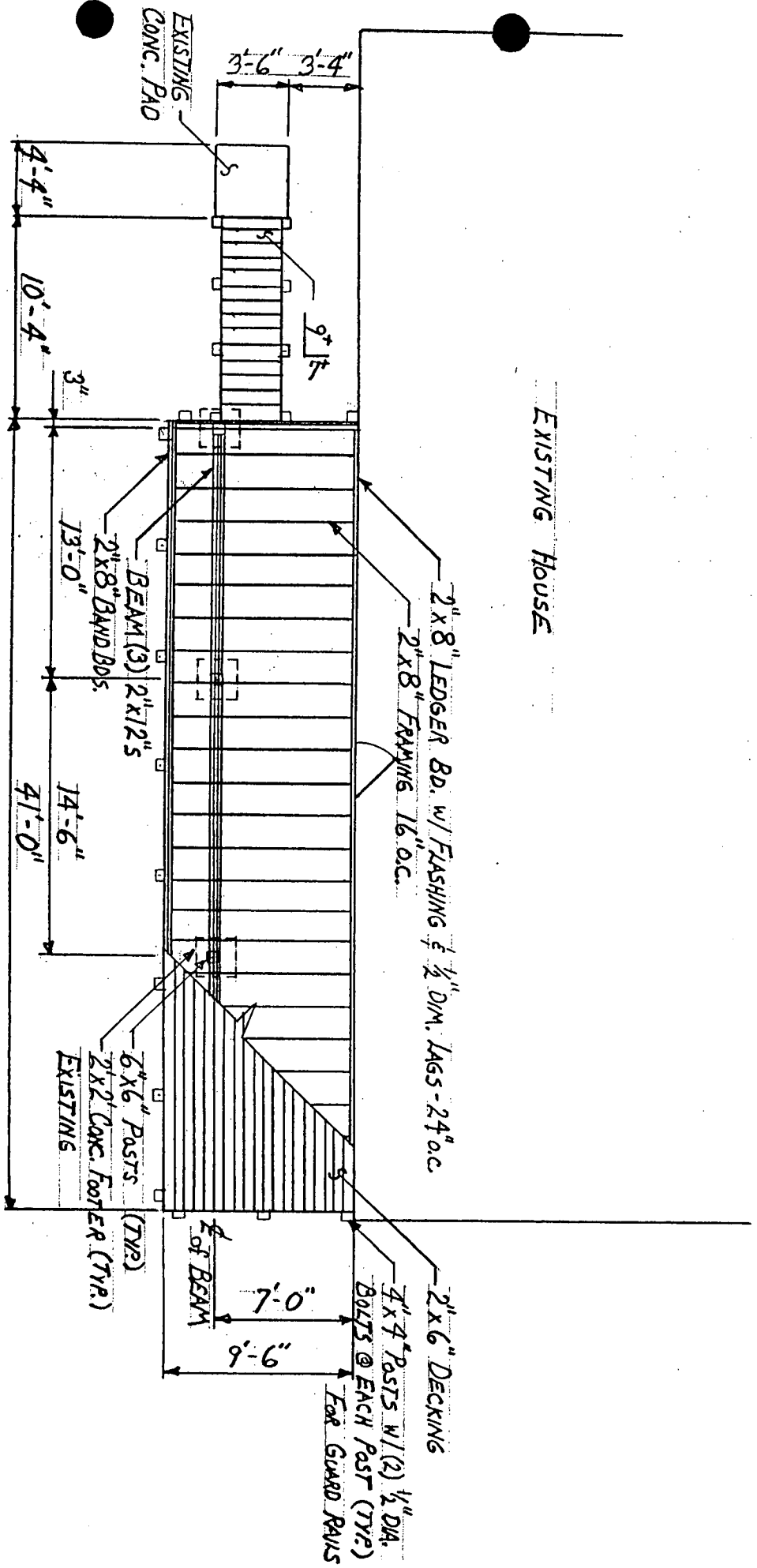
Date: June 23, 1978

Frey, Sheehan, Stoker & Assoc., Inc.  
Land Planning Consultants  
Phone 588-3110

Plat Book A  
Plat 9

By: James F. Sheehan  
James F. Sheehan  
Professional Land Surveyor  
Maryland Reg. No. 3984





EXISTING HOUSE

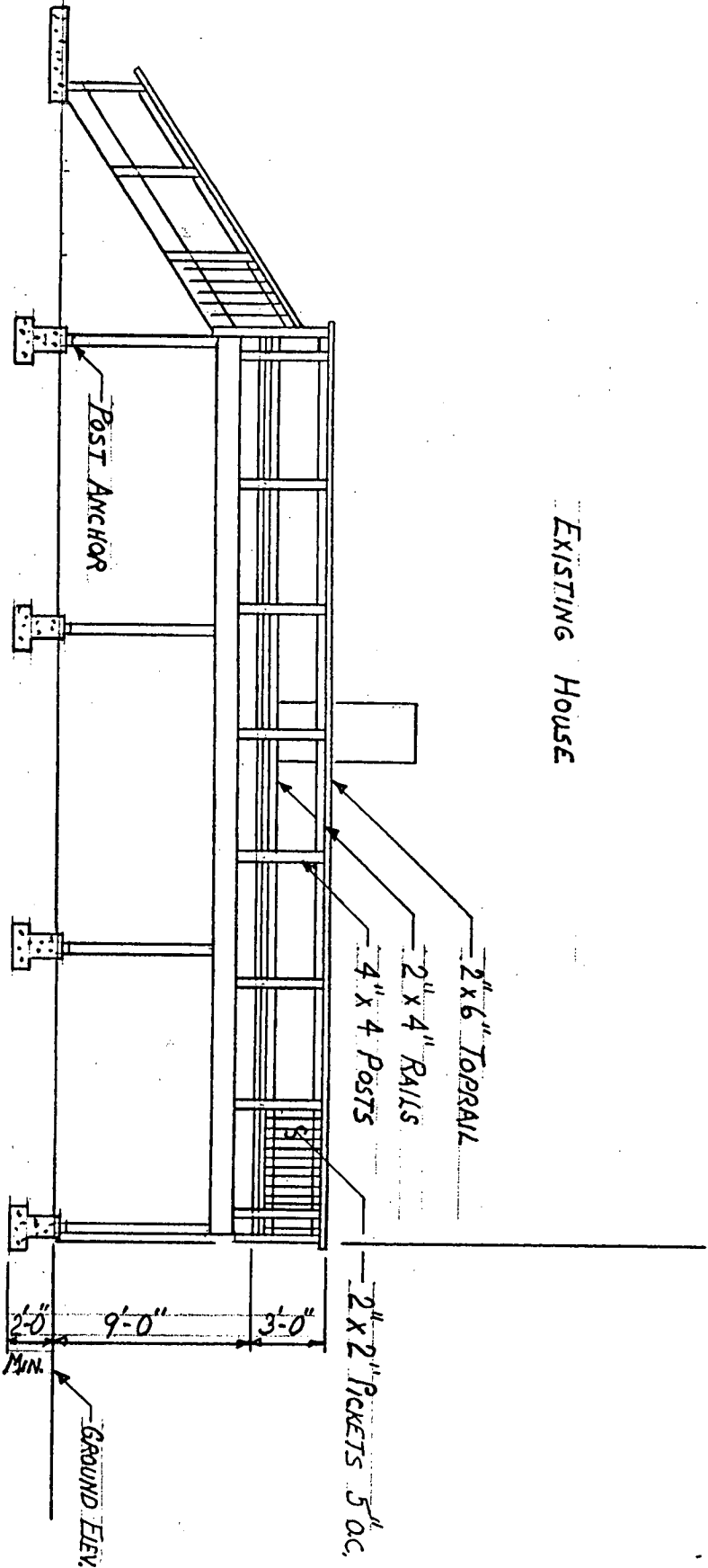
**DECK REPLACEMENT** 390 SQ. FT.

PLAN VIEW

ALL LUMBER PRESSURE TREATED

<b>DECK REPLACEMENT</b>	
MR & MRS BIRSNER	
9914 CAPITOL VIEW AVE.	
SILVER SPRING, MD. 20910	
BY: PRIME CONSTRUCTION of MD, INC.	
SCALE: 1/8" = 1'-0"	11-5-01

EXISTING HOUSE



DECK REPLACEMENT  
ELEVATION

DECK REPLACEMENT	
MR & MRS BIERNER	
9914 CAPITOL VIEW AVE.	
SILVER SPRING, MD. 20910	
BY: PRIME CONSTRUCTION & M.D.C.	
SCALE: 1/8" = 1'-0"	11-5-01

Building Location Plat  
Part of Lots 3 & 4, Block 31  
CAPITOL VIEW PARK

Montgomery County, Maryland  
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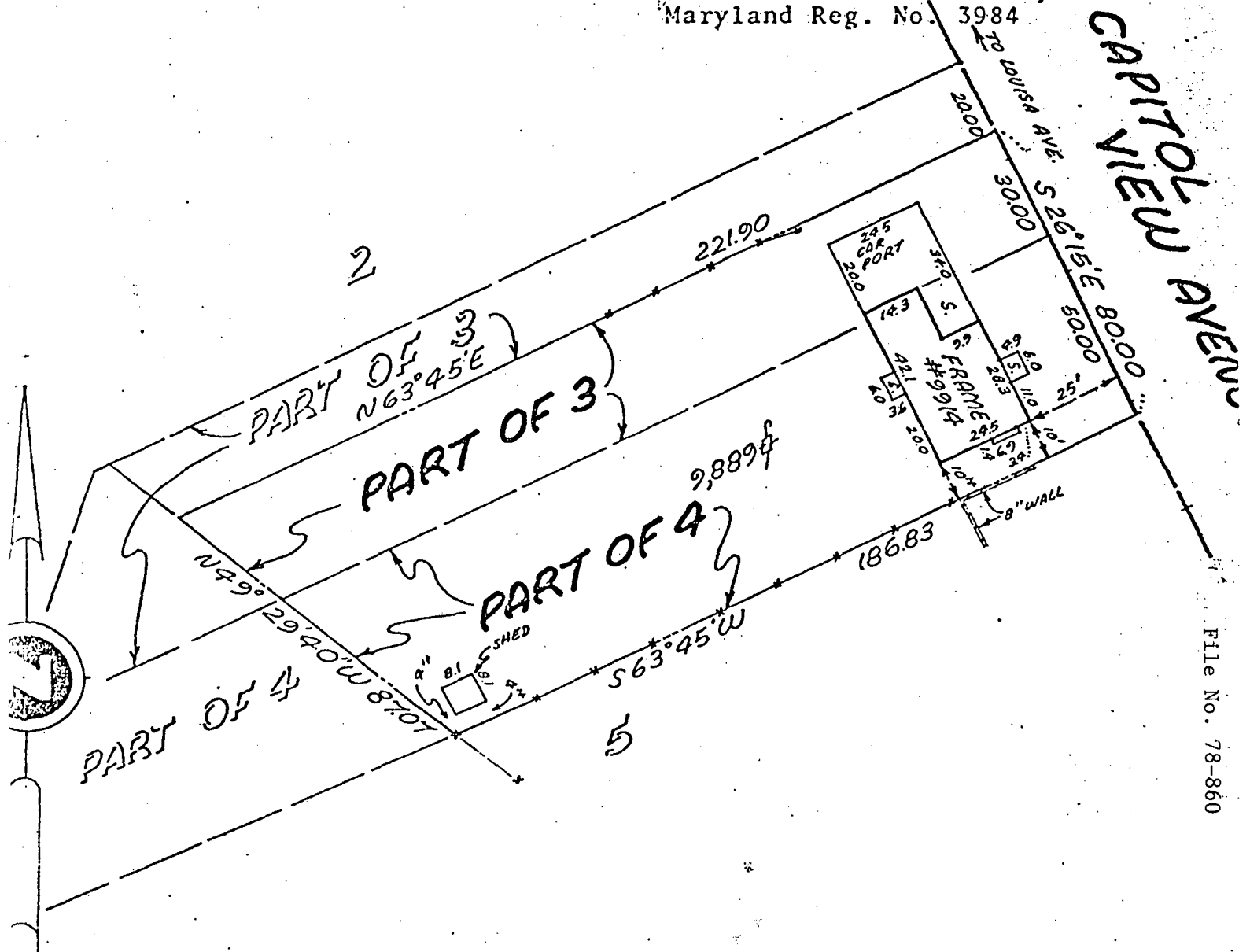
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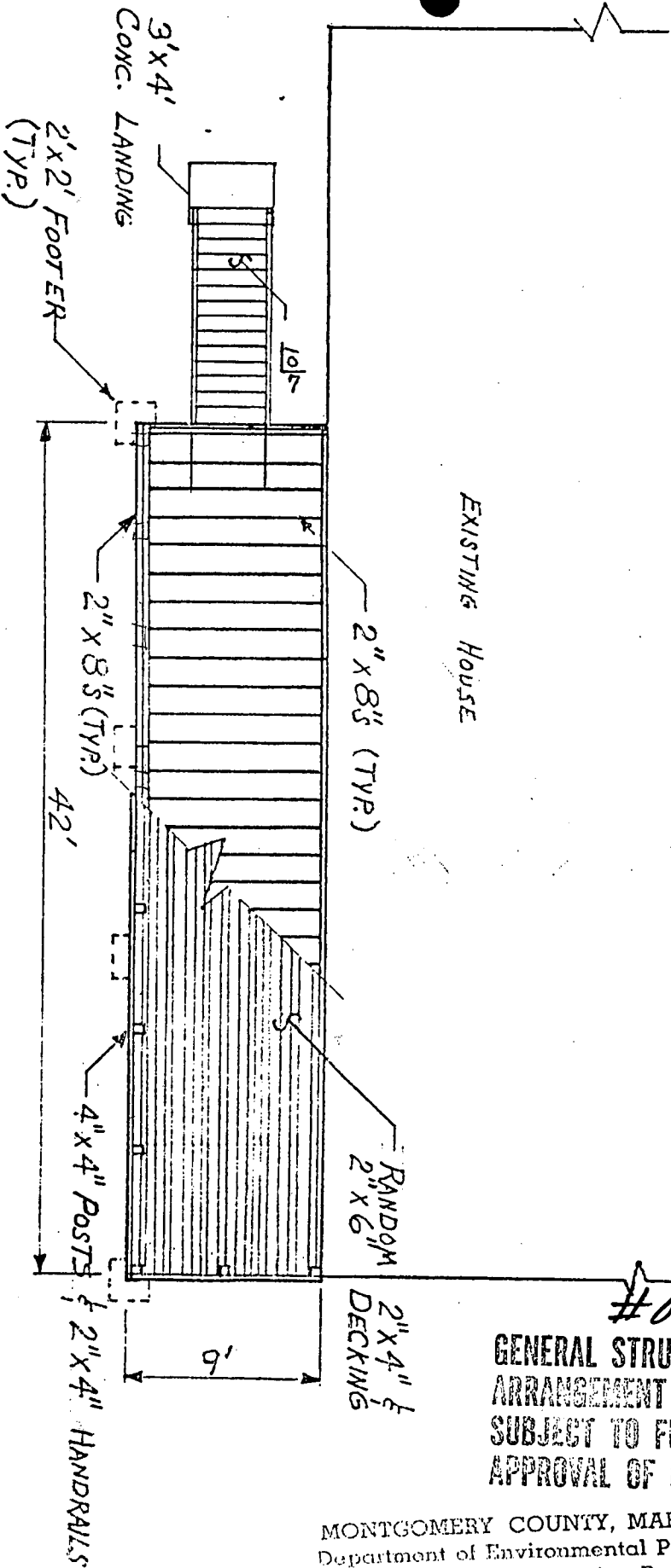
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Phone 588-3110

Plat Book A  
Plat 9

By: *James F. Sheehan*  
James F. Sheehan  
Professional Land Surveyor  
Maryland Reg. No. 3984



PLAN VIEW



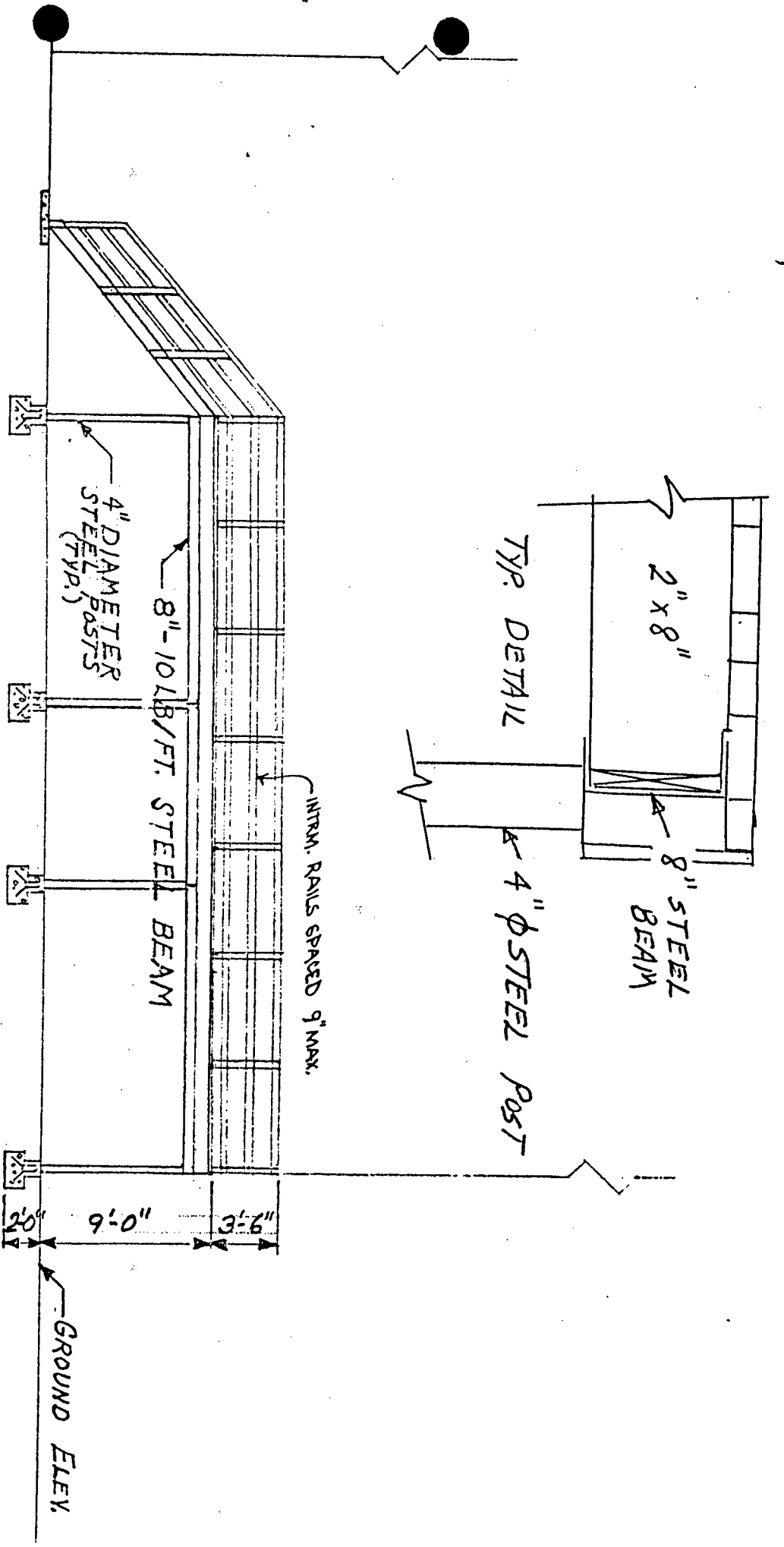
PATIO DECK ADDITION
9914 CAPITOL VIEW
SILVER SPRING, MARYLAND
OWNER: LCDR R. J. BIRSNER
BY: PRIME CONSTRUCTION OF MD, INC.
DRM SCALE: 1/8" = 1'-0" 6-18-79

#099252

**GENERAL STRUCTURAL  
ARRANGEMENT APPROVED  
SUBJECT TO FURTHER  
APPROVAL OF CONSTRUCTION**

MONTGOMERY COUNTY, MARYLAND  
Department of Environmental Protection  
Division of Construction Permits

Approved: R. P. Nelson  
Date: 6/20/79



ELEVATION

PATIO DECK ADDITION
9914 CAPITOL VIEW
SILVER SPRING, MARYLAND
OWNER: LCDR R.J. BIEBSNER
BY: PRIME CONSTRUCTION OF MD, INC.
DRM SCALE: 1/8" = 1'-0" 6-18-79