

31/7-02A 10112 Capitol View Ave  
(Capitol View Park Historic Dst)



histori copy

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssueDate: 4/9/2002

Permit No: 271207  
Expires:  
X Ref:  
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

TIMOTHY D SIMPSON  
10112 CAPITOL VIEW AVE  
SILVER SPRING MD 209100000

HAS PERMISSION TO: ADD

PERMIT CONDITIONS:

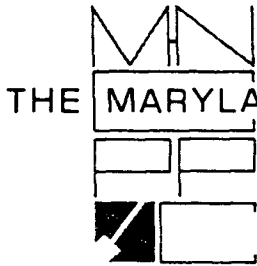
PREMISE ADDRESS 10112 CAPITOL VIEW AVE  
SILVER SPRING MD 20910-1038

LOT P10 BLOCK 20 PARCEL ZONE  
LIBER ELECTION DISTRICT 13 PLATE GRID  
FOLIO SUBDIVISION ROCKVILLE OUTSIDE-RESIDENTIAL  
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y  
HISTORIC ATLAS: Y

HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED

Director, Department of Permitting Services



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 3/28/02

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

*HPC# 31/7-02A DPS# 271207*

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

1. Windows and doors in the new addition will be painted wood, style and type to be approved at staff level.
2. A painted, cement-fiber horizontal siding will be used on the new addition (such as Chem-Plank or Hardi-Plank)
3. Proposed deck will be constructed entirely of wood with an inset picket balustrade.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: TIM SIMPSON

Address: 10112 CAPITOL VIEW AVE, SILVER SPRING

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Tim Simpson  
Daytime Phone No.: 301 983-5733

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Tim Simpson Daytime Phone No.: 301 983-5733  
Address: 10112 Capitol View Ave Silver Spring MD 20910  
Street Number City State Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 10112 Street: Capitol View Ave  
Town/City: Silver Spring Nearest Cross Street: Lee Street  
Lot: P10 Block: 20 Subdivision: Capitol View Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 50,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 3 feet 6 inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 3/6/02

Approved: X W/CONDITIONS. For Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 3/28/02  
Application/Permit No.: 271207 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 1/2 story brick + block Cape Cod single family home  
located within historical District, Built in late 1940's/early 50's  
- not recognized as a historic structure

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Add family room + basement, 2 bedrooms and 2 bathrooms to  
the existing up stairs  
- relatively little impact on the plot - to construction design  
Keeps the integrity of the original home (dormers etc..)  
- increase the living space of a relatively small single family home

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1355).

M-NCPPC

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 3/28/02

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner (M)

SUBJECT: Historic Area Work Permit Application - HPC Decision

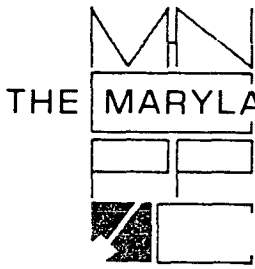
HPC# 31/7-02A DPS# 271207

The Historic Preservation Commission reviewed this project on

3/27/02

A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 3/28/02

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

HPC # 31/7-02A DPS # 271207

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 10112 Capitol View Ave, Silver Spring      **Meeting Date:** 03/27/02  
**Resource:** Non-Contributing Resource      **Report Date:** 03/20/02  
**Capitol View Park Historic District**  
**Review:** HAWP      **Public Notice:** 03/13/02  
**Case Number:** 31/07-02A      **Tax Credit:** None  
**Applicant:** Tim Simpson      **Staff:** Michele Naru

**PROPOSAL:** Rear addition and Deck installation

**RECOMMEND:** Approval w/ conditions

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**STAFF RECOMMENDATION**

Staff is recommending that the Commission approve this HAWP with the following conditions:

1. Windows and doors in the new addition will be painted wood, style and type to be approved at staff level.
2. A painted, cement-fiber horizontal siding will be used on the new addition (such as Chem-Plank or Hardi-Plank)
3. Proposed deck will be constructed entirely of wood with an inset picket balustrade.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource in the Capitol View Park Historic District  
**STYLE:** Colonial Revival: Cape Cod  
**DATE:** Late 1940s

The subject is a 1-1/2-story brick Cape Cod type house. The house features a side gable roof detailed with two gable-roof dormers. The dormers are clad in aluminum siding.

**PROPOSAL:**

The owners wish to expand and modify their home by the addition of a 1-1/2 story frame structure on the rear of their existing house and the addition of a full-width rear dormer. A new deck is also proposed adjacent to the new addition. The proposal includes the removal of an original window on the side addition and the removal of an existing rear deck.



The proposed materials for the alterations and the addition consist of a 12" CMW block foundation wall faced with 4" brick above grade, siding (unspecified), asphalt composition shingles and wood decking.

### STAFF DISCUSSION

The house is a non-contributing resource within the Capitol View Park Historic District and alterations to these resources are reviewed with a very moderate level of design review.

Plans for all alterations should be compatible with the resource's original design. Additions, specifically, should be sympathetic to existing architectural character, including massing, height, and setbacks. Applicants are encouraged by the Commission to use appropriate, compatible new materials on all new construction within their historic districts.

The applicant did not specify the type of horizontal siding to be used in this application. The Commission generally does not approve vinyl siding on new construction within their historic districts. Staff is recommending the applicants use a painted, fiber-cement horizontal siding product (such as Chem-Plank or Hardi-Plank).

Staff feels that the design of the new addition is a compatible new construction and feels that the alterations will not negatively impact the integrity or the environmental setting of the historic district.

The addition has been designed as a compatible element on the site. In this case, the work is being proposed at the rear/side of this building and will not be visible from the public right-of way.

### STAFF RECOMMENDATION

Staff recommends that the Commission **approve w/ conditions** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



# APPLICATION FOR HISTORIC AREA WORK PERMIT (NC)

Contact Person: Tim Simpson

Daytime Phone No.: 301 983-5733

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Tim Simpson Daytime Phone No.: 301 983-5733

Address: 10112 Capitol View Ave Silver Spring MD 20910  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 10112 Street: Capitol View Ave  
Town/City: Silver Spring Nearest Cross Street: Lee Street  
Lot: P10 Block: 20 Subdivision: Capitol View Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:  
 A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 3/6/02 (4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 1/2 story brick + block Cape Cod single family home  
located within historical district, Built in late 1940's/early 50's  
- not recognized as a Historic Structure

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Add family room + basement, 2 bedrooms and 2 bathrooms to  
the existing upstairs  
- relatively little impact on the plot - construction design  
keeps the integrity of the original home (dormers etc...)  
- increases the living space of a relatively small single family home

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on

# Neighbors of 10112 Capitol View Ave.

① LAREK BECKMAN  
10116 Capitol View Avenue  
Silver Spring MD 20910

② OCCUPANT  
10110 Capitol View Ave.

③ OCCUPANT  
10113 Capitol View Ave

④ OCCUPANT  
10117 Capitol View Ave

**GENERAL NOTES**

1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE COUNCIL OF AMERICAN BUILDING OFFICIALS CODE (CABO), COUNTY, MARYLAND, AND ALL OTHER APPLICABLE CODES AND ORDINANCES AS ADOPTED BY MONTGOMERY COUNTY, MARYLAND.
2. ALL MECHANICAL AND PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH THE COUNCIL OF AMERICAN BUILDING OFFICIALS CODE (CABO), LATEST ADOPTED ORDINANCES AS ADOPTED BY MONTGOMERY COUNTY, MARYLAND.
3. ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE COUNCIL OF AMERICAN BUILDING OFFICIALS CODE (CABO), LATEST ADOPTED ORDINANCES AS ADOPTED BY MONTGOMERY COUNTY, MARYLAND.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT PROCEEDING WITH THE WORK IS IN ACCORDANCE WITH THE WORK IN QUESTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
6. DIMENSIONS NOTED FOR A GIVEN CONDITION ARE TO FACE UNLESS OTHERWISE INDICATED. DO NOT SCALE DRAWINGS.
7. THE CONTRACTOR SHALL TAKE PRECEDENCE OVER DRAWINGS AT ALL TIMES.
8. DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE TEMPORARY WATERPROOFING AND SECURITY AT ALL NEW AND EXISTING OPENINGS.
9. GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING OF AND/OR MODIFICATIONS TO HVAC, ELECTRICAL, PLUMBING SYSTEMS BEING ADDED OR MODIFIED. ALL PATCHING TO RESTORE FINISHES SHALL MATCH ADJACENT SURFACES.

**DEMOLITION NOTES**

1. COORDINATE REMOVAL OF PERSONAL BELONGINGS OR FURNISHINGS WITH OWNER FROM AREAS OF CONSTRUCTION.
2. PROTECT ALL INTERIOR WALLS, DOORS, TRIM, CEILINGS, FLOORS, ETC., FROM UNNECESSARY DAMAGE DURING DEMOLITION AND CONSTRUCTION.
3. PHASE WORK TO ACHIEVE MINIMUM DISTURBANCE IN WORK AREAS. PROTECT UNAFFECTED AREAS FROM DUST AND DIRT.
4. SALVAGE ITEMS SPECIFICALLY IDENTIFIED ON CONTRACT DOCUMENTS. SALVAGE AND CLEAN BRICK FOR REUSE UNLESS APPROPRIATE.
5. REMOVE TITLE TO, ALTERNATELY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL SUCH MATERIALS FROM THE SITE AND ADJACENT AREAS SHALL BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES. SALE OR BURNING OF DIRT AND DEBRIS ON SITE IS PROHIBITED.
6. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LOCATION PRIOR TO COMMENCING UTILITY FOR UTILITY EXISTING PLUMBING AND GAS-HOOK-UPS ARE TO BE BEAT OFF IMMEDIATELY PRIOR TO DEMOLITION WORK.
7. PROTECT THE EXISTING INTERIOR STRUCTURAL DAMAGE, WALLS, ROOF AND TRIM FROM DAMAGE DURING CONSTRUCTION.
8. CONTRACTOR SHALL DO CUTTING AND DRILLING OF EXISTING STRUCTURE AS REQUIRED FOR INSTALLATION OF NEW WORK.
9. REMOVE ALL ABANDONED ELECTRICAL, RECEPTACLES AND SWITCHES, CABLE TV OUTLETS, TELEPHONE OUTLETS, ETC.

**STRUCTURAL NOTES**

1. DESIGN LOADS: FLOOR = 40 PSF, ROOF = 30 PSF
2. SOIL VALUE: SOIL BEARING VALUE SHALL BE 2,000 PSF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINATION OF ALL REVIEW AGENCIES FOR THEIR INSPECTION AT ALL FOOTING AND REQUIRED TIMES.
3. MINIMUM WIDTH OF ALL FOOTINGS SHALL EXTEND 1'-0" INTO UNDISTURBED SOIL AND WHERE FOOTINGS SHALL BE EXTENDED LOWER WHEN NECESSARY TO REACH THE ABOVE SOIL BEARING VALUE.
4. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS. CAREFULLY CURE TO PROTECT BOTH FOOTING AND SLAB REINFORCING STEEL. REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. CONCRETE PROTECTION SHALL BE AS LARGER #7 EXPOSED SLABS WITH #5 OR SMALLER. 1-1/2" #8 OR STEEL. ALL STEEL SHALL BE FINISHED WITH 30 MILS OF MASONRY. ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE A. MORTAR FOR CMU SHALL CONFORM TO ASTM C-77 TYPE S OR M. PROVIDE 3 COURSES OF SOLID BRICK OR SOLID BLOCK (NOT FILLED) BLOCK UNDER ALL CONCRETE SLABS. PROVIDE 6 COURSES OF SOLID BRICK OR 100% SOLID BLOCK, 8" WIDTH BY 2'-0" MIN. LAY OUT COURSES OF STRUCTURAL STEEL BEARING. WALLS RETAINING EARTH AT EQUAL TRUSS SPACING SHALL BE CONSTRUCTED WITH DUR-O-WALL OR LUMBER. ALL STRUCTURE SHALL HAVE A MINIMUM BENDING STRESS OF 1000 F.L.E. 4000 PSI.
5. AND ROOF FRAMING SHALL BE HEAVY-FR OR OUG-FR #2 OR SOUTHERN PINE #2.
6. ALL STRUCTURAL LUMBER SHALL BE MICRO-LAM OR EQUAL WITH THE FOLLOWING PROPERTIES: F<sub>b</sub> = 2,900 PSI, F<sub>v</sub> = 285 PSI, E<sub>p</sub> = 2,100,000 PSI.

**SOIL AND EROSION CONTROL NOTES**

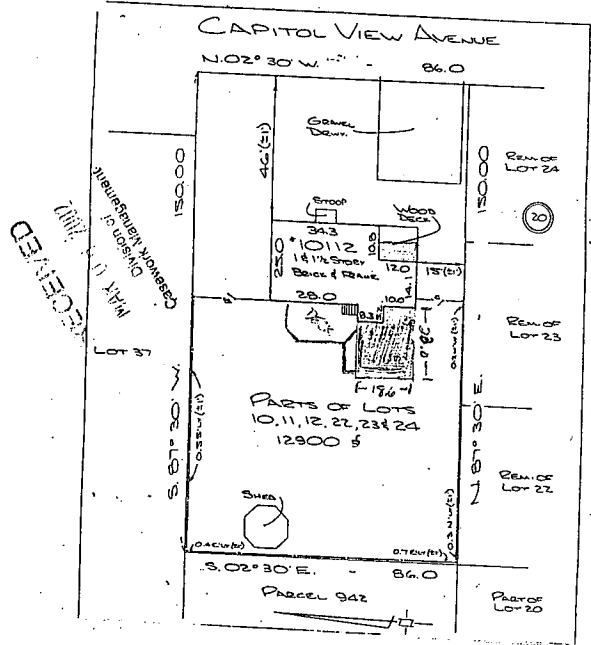
1. ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND MAINTAINED THROUGHOUT THE PROJECT. INSPECTIONS REVEALS THAT FURTHER, IF ANY ON-SITE ARE NECESSARY THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS SHALL BE REMOVED FROM SITE.
3. TRAPS AND/OR STREET SHALL BE SWEPT CLEAN AT ALL TIMES DURING AND AFTER CONSTRUCTION.
4. ALL CATCH BASINS AND TRAPS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION. ANY CHAIN OR DRAIN BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
5. ANY STOCKPILES FOR ITS CLEANING SHALL BE STABILIZED WITHIN THE PROJECT'S ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT.
6. WORKING STOCKPILES SHALL BE COVERED WHEN NOT IN USE.

DEPT. OF PUBLIC WORKS & ENGINEERING SERVICES

APR 2012 NOV 2011 03 - 7-6-2012

ZONING 3-60 L-60 PAGE 2 OF 4

BOARD OF ZONING ADJUSTMENT, DC



T. Simpson  
2012 Capitol View Ave  
Silva Services

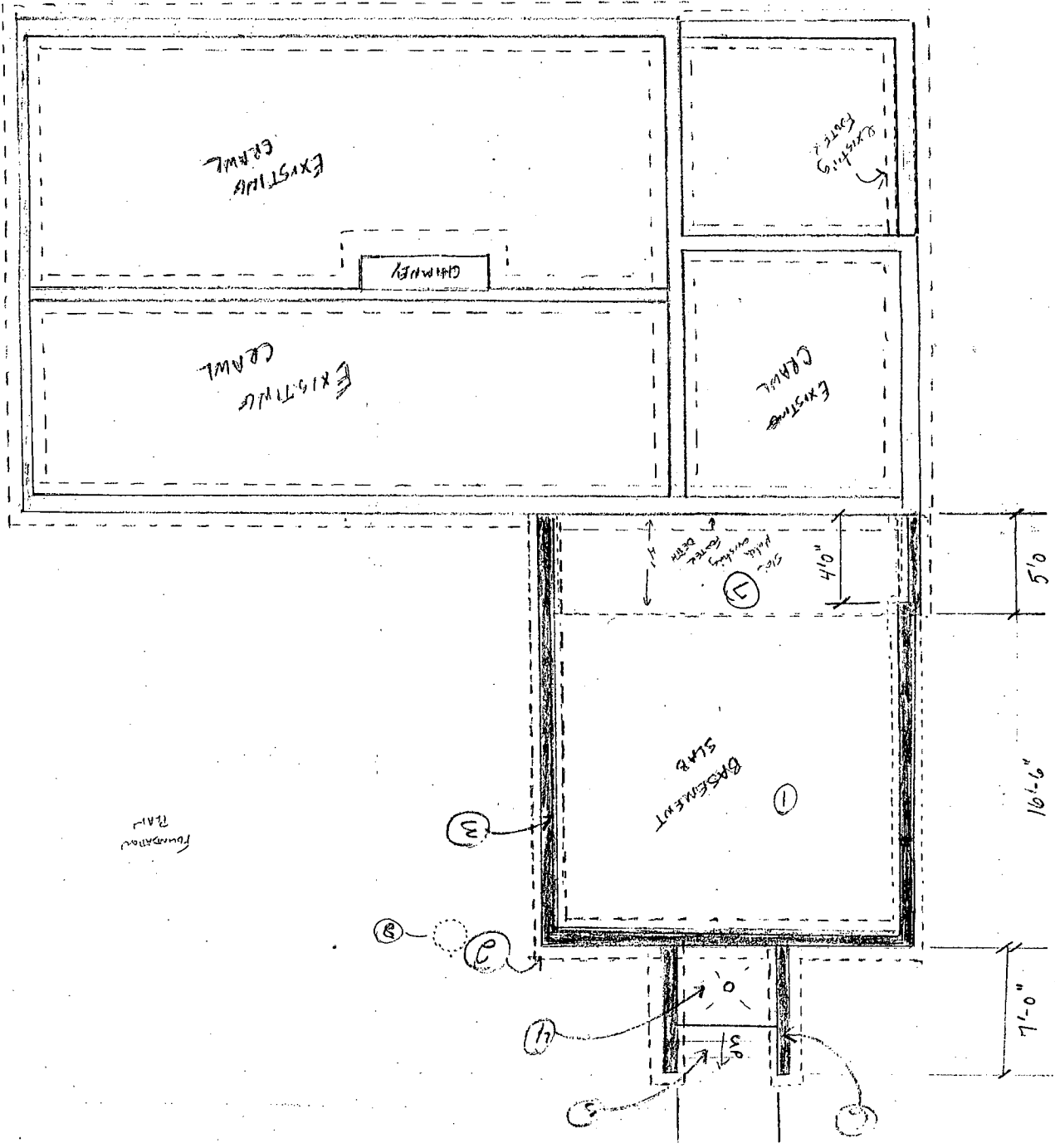
Existing and Proposed  
FOUNDATION / BASEMENT PLAN

3/16" = 1'0"

Keyed Notes  
Foundation Plan

1. 4" CONCRETE SLAB WITH 1 LAYER W1.4 x W1.4 WWF ON GRADE
2. 2.0' x 1.0' CONTINUOUS CONCRETE FOOTING WITH 2 #4 STEEL BARS CONTINUOUS
3. 8" CMU FOUNDATION WALL GROUT SOLID WITH #4'S AT 1'-4" O.C. VERTICAL
4. 4" CONCRETE SLAB ON GRADE WITH 1 LAYER W1.4 x W1.4 WWF SLOPE 1/4" PER 1.0' TO DRAIN
5. CONCRETE STAIR 6" MIN THICKNESS WITH 3 #4 CONTINUOUS AND 1 #4 AT EACH NOSING, SLOPE EACH TREAD 1/4" PER 1.0' TO DRAIN
6. 8" CMU CONCRETE RETAINING WALL WITH #4'S AT 1'-4" O.C. VERTICAL
7. 4" CONCRETE LAB ON GRADE WITH 1 LAYER W1.4 x W1.4 WWF SLOPE 1/4" PER 1.0' TO DRAIN 8" TURNED DOWN CONCRETE SLAB
8. 12" DIAMETER CONCRETE FOOTER FOR 6 x 6 DECK POST

EXISTING  
PROPOSED



Foundation Plan

8

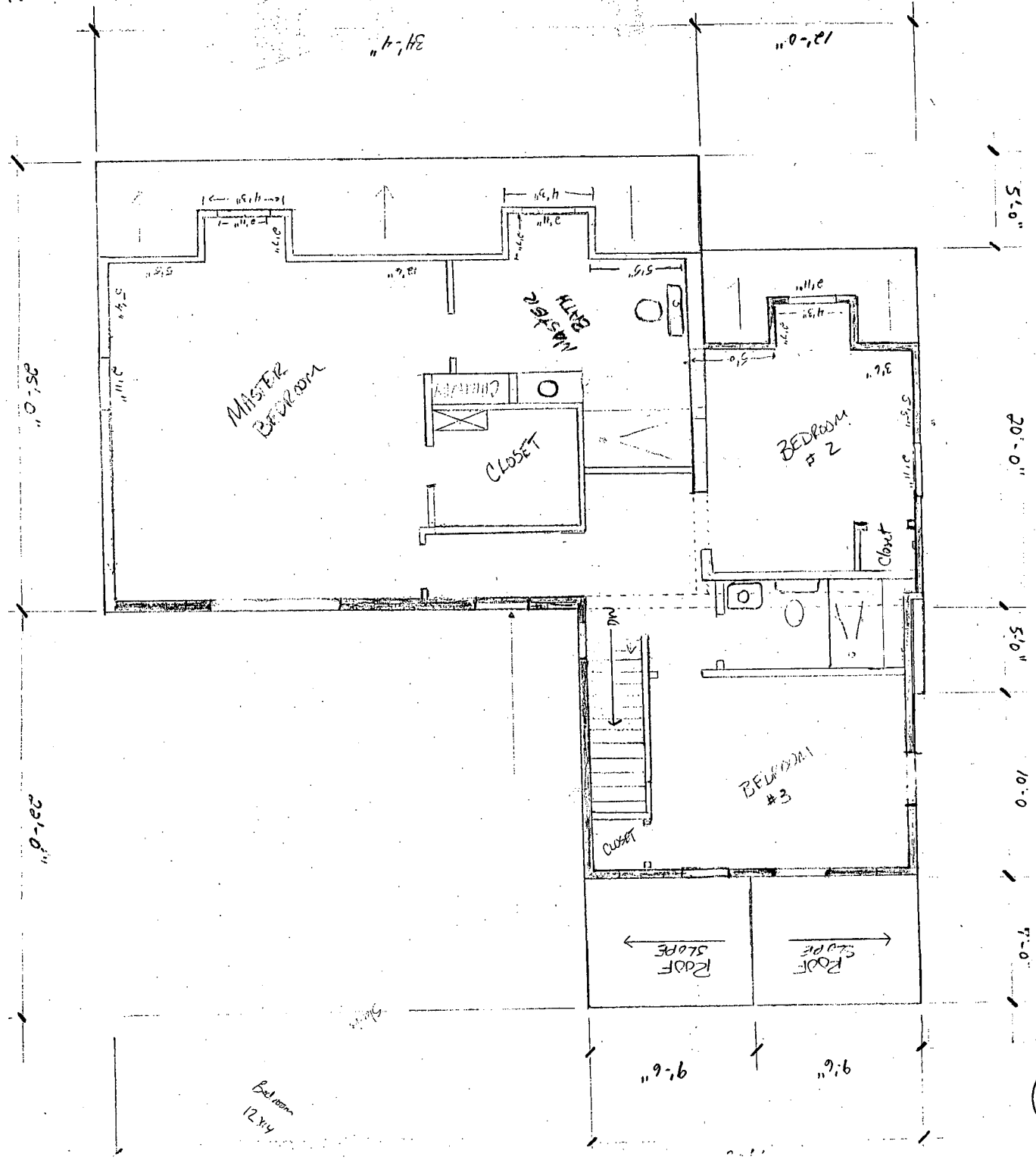




SECOND FLOOR PLAN  
EXISTING + PROPOSED

3/16" = 1'0"

EXISTING  
 PROPOSED



3/16" = 1'0"

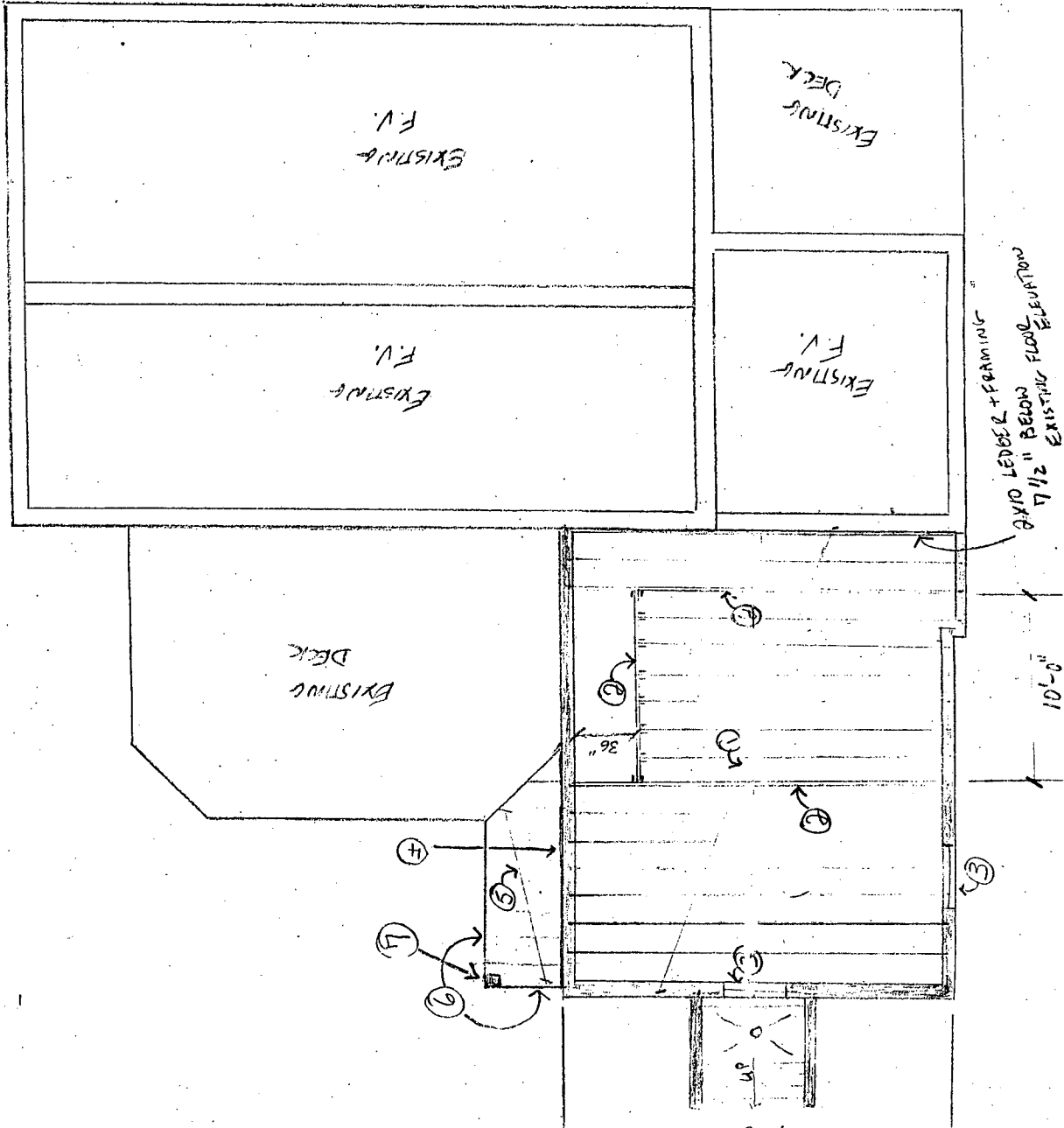
FIRST FLOOR FRAMING

Keyed Notes  
First Floor Framing Plan

1. 11/8 TJI Joists @ 1'-4" o.c.
2. 11/8 TJI Joists @ 1'-4" o.c.
3. HEADER: 2x10's WITH 1/2" PLYWOOD SPACER
4. 2x8 P.T. LEDGER BOLTED TO WALL FRAMING WITH 1/2" BOLTS 16" O.C.
5. 2x8 P.T. DECK JOISTS WITH 2x6 P.T. DECKING
6. 2x10 P.T.
7. 6x6 P.T.

EXISTING

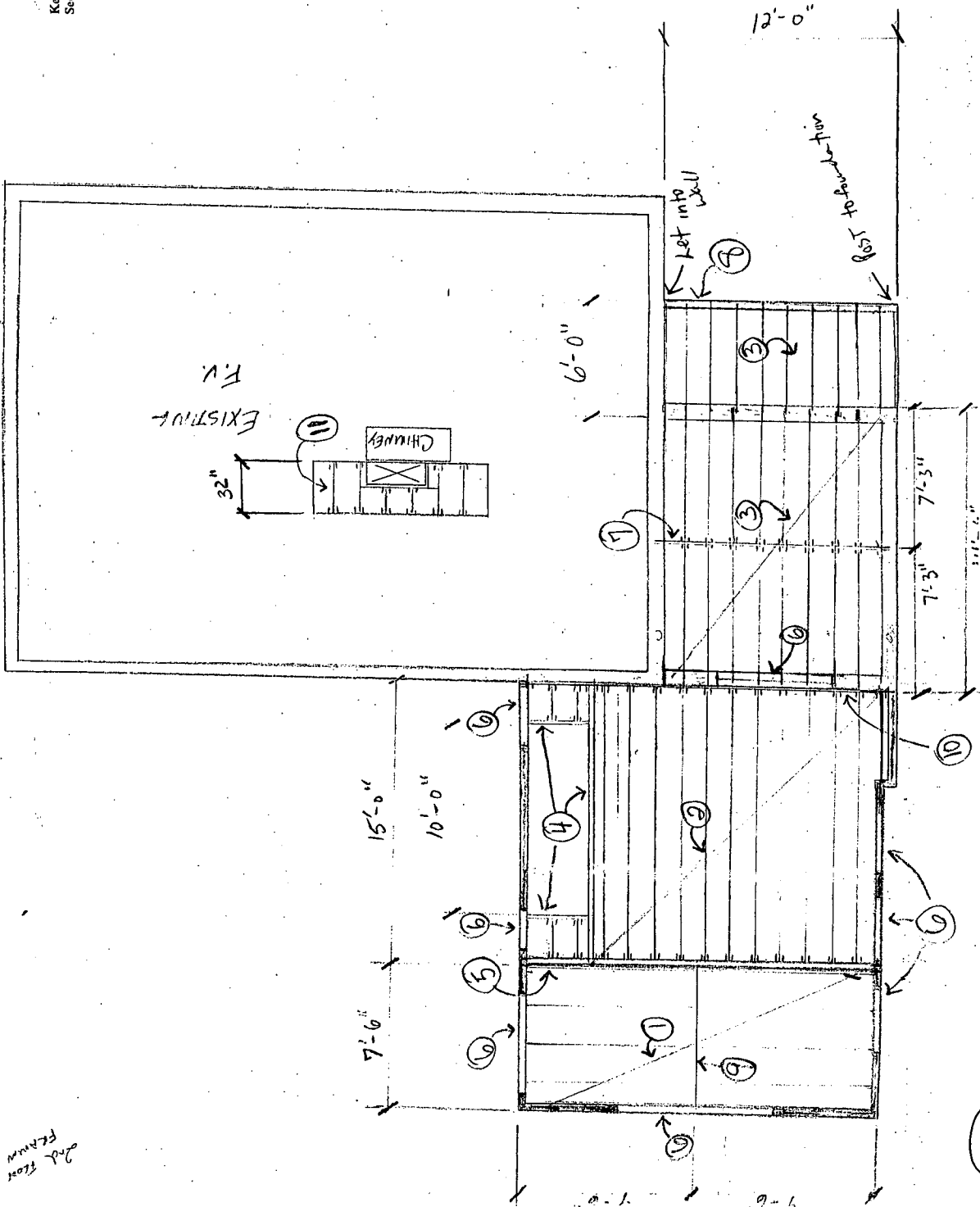
PROPOSED



3/16" = 1'0" SECOND FLOOR FRAMING

- Keyed Notes  
 Second Floor Framing  
 1. 2x10 RAFTERS 2'-0" O.C. WITH 2x6 CEILING JOISTS  
 2. 2x10'S @ 1'-4" O.C.  
 3. 2x8'S @ 1'-4" O.C.  
 4. 2-2x10'S  
 5. 2-16 7/8" x 1 7/8" MICROLAM'S SET UP  
 6. HEADERS: 2-2x10'S WITH 1/2" PLYWOOD SPACER  
 7. 2-2x8'S  
 8. 2-2x12'S SET INTO EXISTING MASONRY WALL AND  
 ONTO 4 x 4 POST SET ONTO EXISTING FOOTER  
 BELOW  
 9. 2x12 RIDGE WITH KING STUD AT EACH END  
 10. 2x10 LEDGER BOARD SET TO MATCH EXISTING  
 FLOOR ELEVATION  
 11. 2x8'S

EXISTING  
 PROPOSED

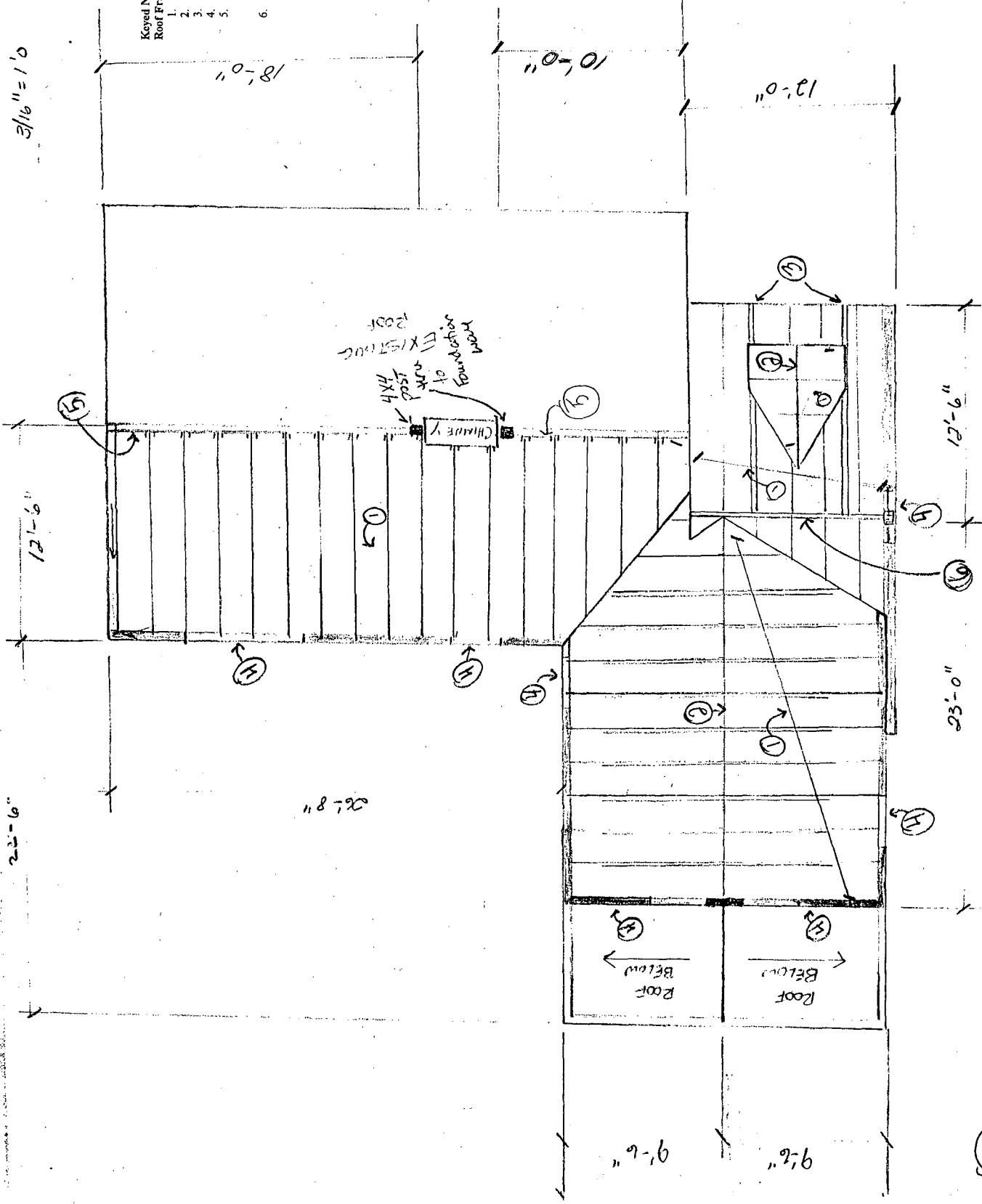


2nd Floor Framing

ROOF FRAMING

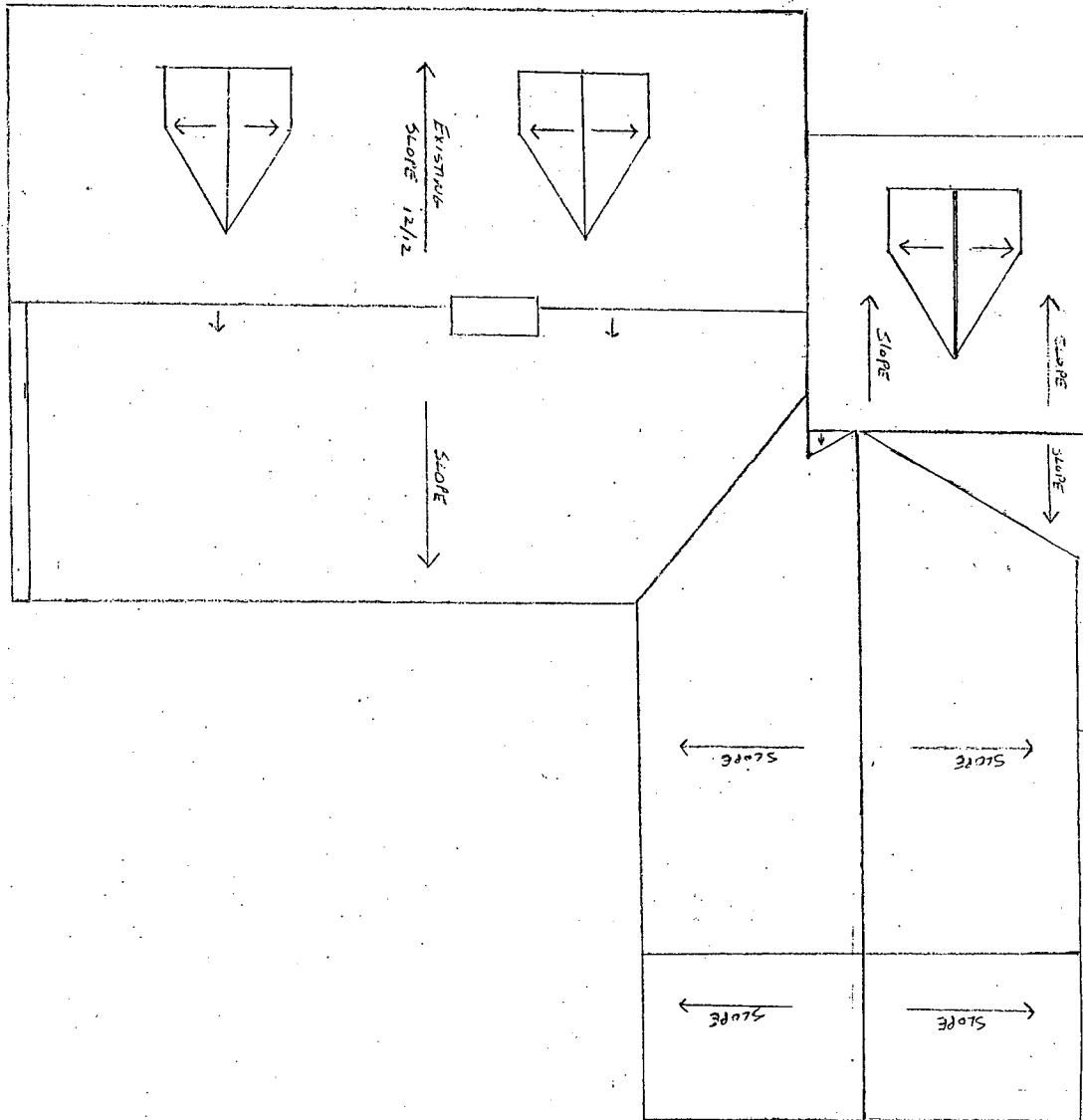
Keyed Notes  
Roof Framing

1. 2X10 RAFTERS 2'-0" O.C. WITH 2X6 COLLAR TIES
2. 2X12 RIDGE WITH KING STUD AND HANGER
3. 2X10 RAFTERS
4. HEADERS: 2X8'S WITH 1/2" PLYWOOD SPACER
5. 1 7/8" x 9 7/8" MICROLAM ATTACHED TO EXISTING RIDGE, SET INTO MASONRY WALL AND ONTO POST.
6. 2-1 7/8" x 9 7/8" MICROLAMS WITH KING STUD



(13)

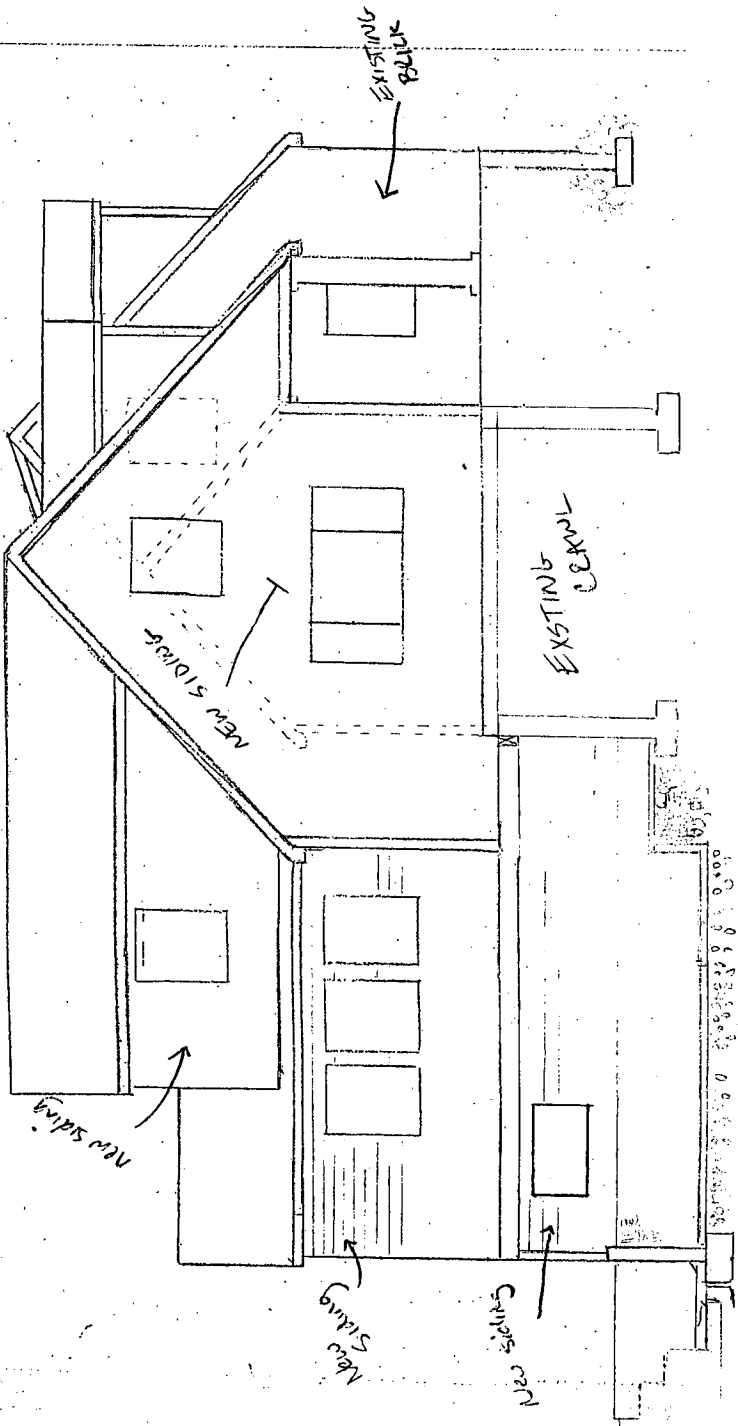
2/16" = 1'0" ROOF PLAN



SOUTH ELEVATION

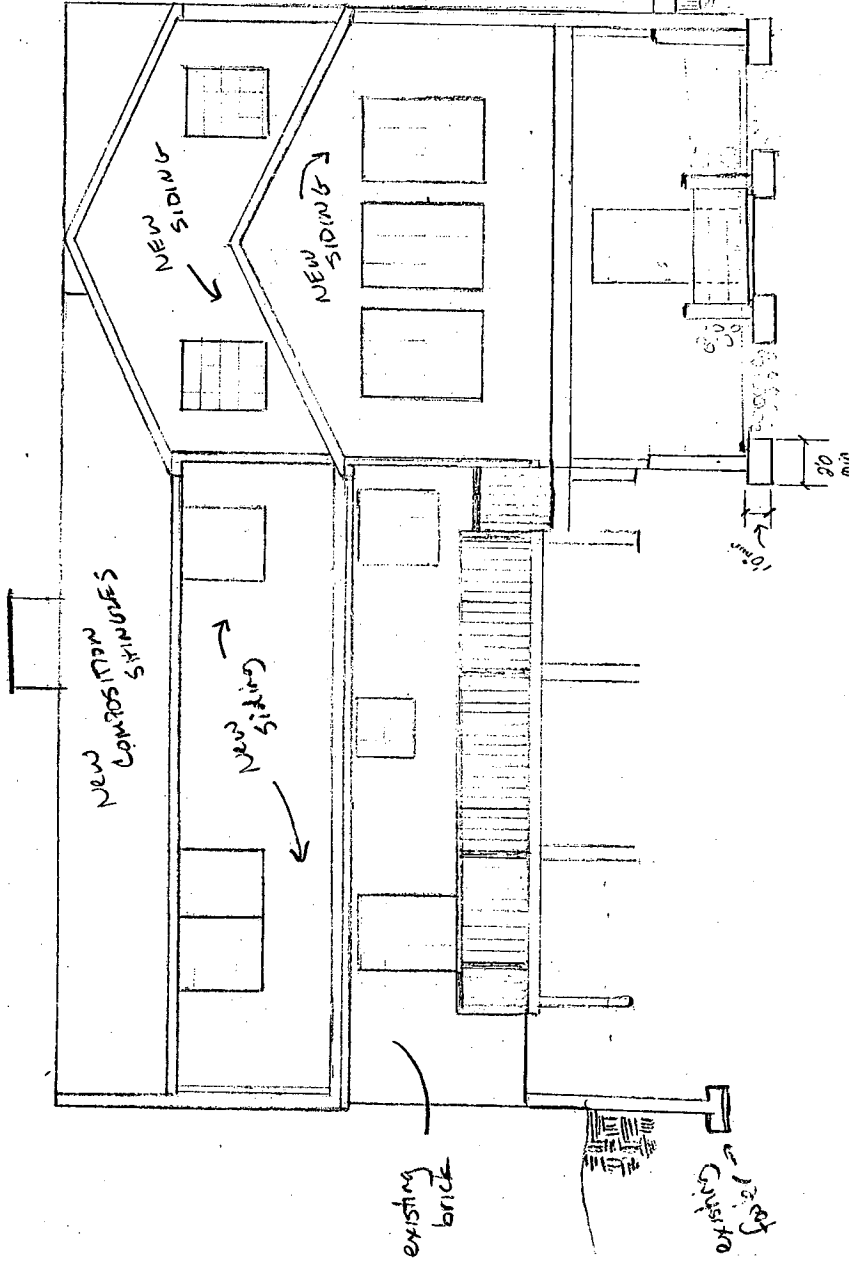
3/16" = 1'0"

WALL SECTION



WEST ELEVATION

3/16" = 1'0"



**TYPICAL CONSTRUCTION ASSEMBLIES**

**ROOF CONSTRUCTION**  
 THREE CLASS A ASPHALT  
 COMPOSITE ROOF SLIPS UNDER  
 FELT (FOR ROOF SLIPS UNDER  
 3/12 PROVIDE 2 LAYERS OF 1/2"  
 FELT) WITH EAVES FLASHING AND  
 WATERPROOF UNDERLAYMENT AT  
 VALLEYS OVER 1/2" EXTERIOR  
 PLYWOOD SHEATHING ON  
 2x10 ROOF RAFTERS WITH R-19  
 INSULATION AND 1/2"  
 PAINTED GYP. BOARD ON INSIDE  
 CONTINUOUS SAFETY VENT AND  
 ALUMINUM GUTTERS AND  
 DOWNSPOUTS.

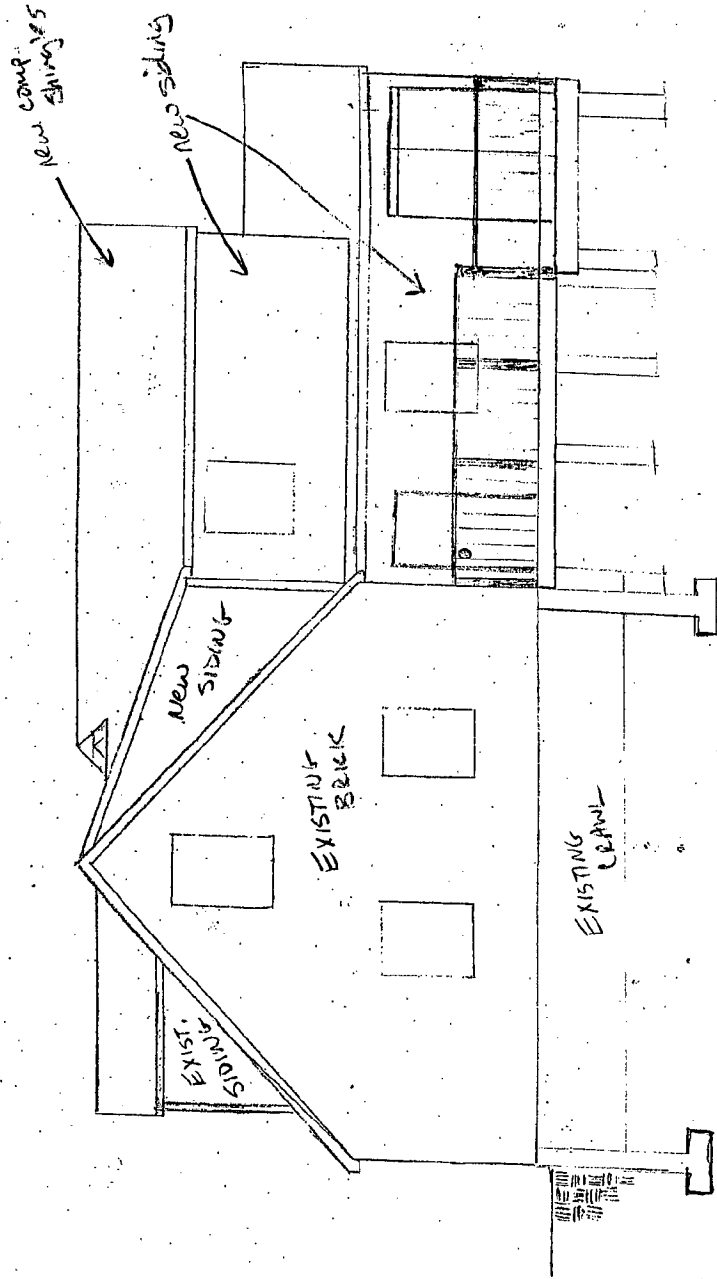
**WALL CONSTRUCTION**  
 EXTERIOR SIDING ON 2x4 WOOD  
 STUDS WITH R-11 FACED BATT  
 INSULATION WITH 1/2" PLYWOOD  
 WITH 1/2" GWB AND 1/2" GWB INTERIOR  
 FINISH.

**FLOOR CONSTRUCTION**  
 WOOD STRIP FLOORING ON 1/2" T &  
 G PLYWOOD SUBFLOOR GLUED  
 AND NAILED TO 2x10 FLOOR JOISTS  
 ON 1'-4" O.C. WITH 1/2" GWB CEILING.

**FOUNDATION CONSTRUCTION**  
 INSULATED TREATED 2x10 WOOD  
 PLATE WITH 1/2" DIAMETER ANCHOR  
 BOLTS AT A MAXIMUM 6'-0" O.C. ON  
 12" CMU WALL (4" BRICK ON 8" CMU  
 ABOVE GRADE) ON CONCRETE  
 FOOTING.

NORTH ELEVATION

3/16" = 1'0"







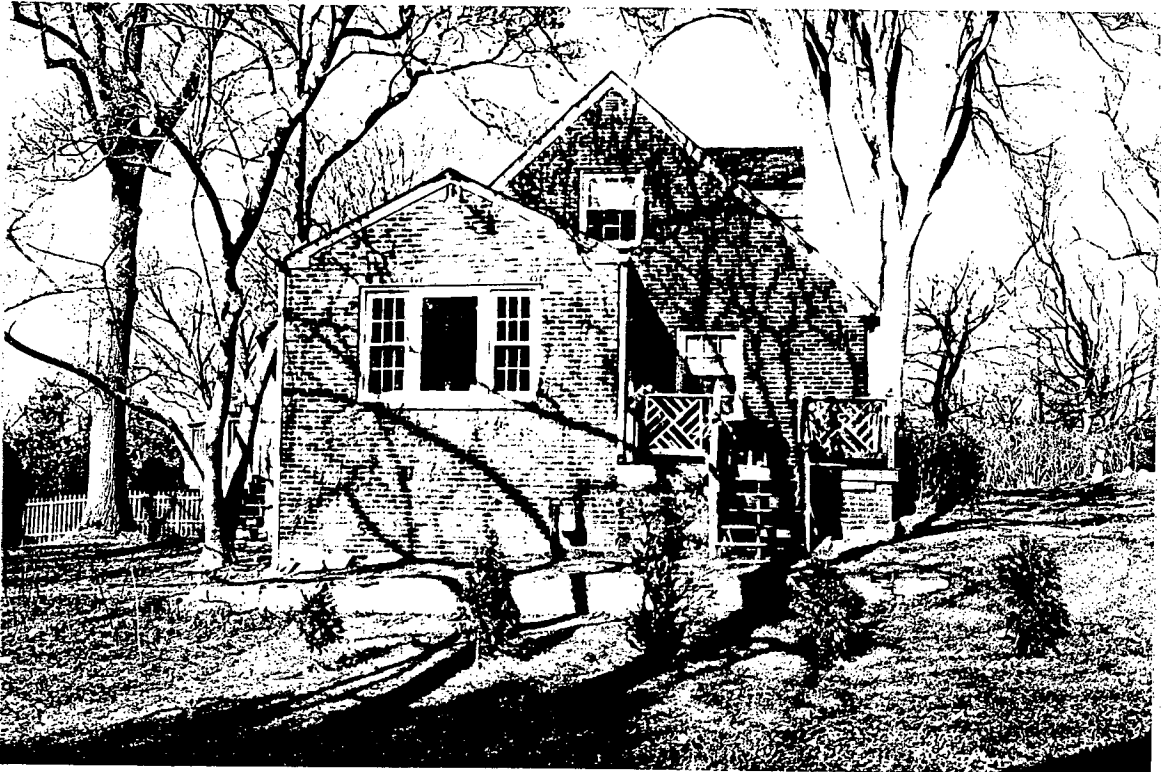
~~WEST~~ NORTH



EAST



WEST



SOUTH