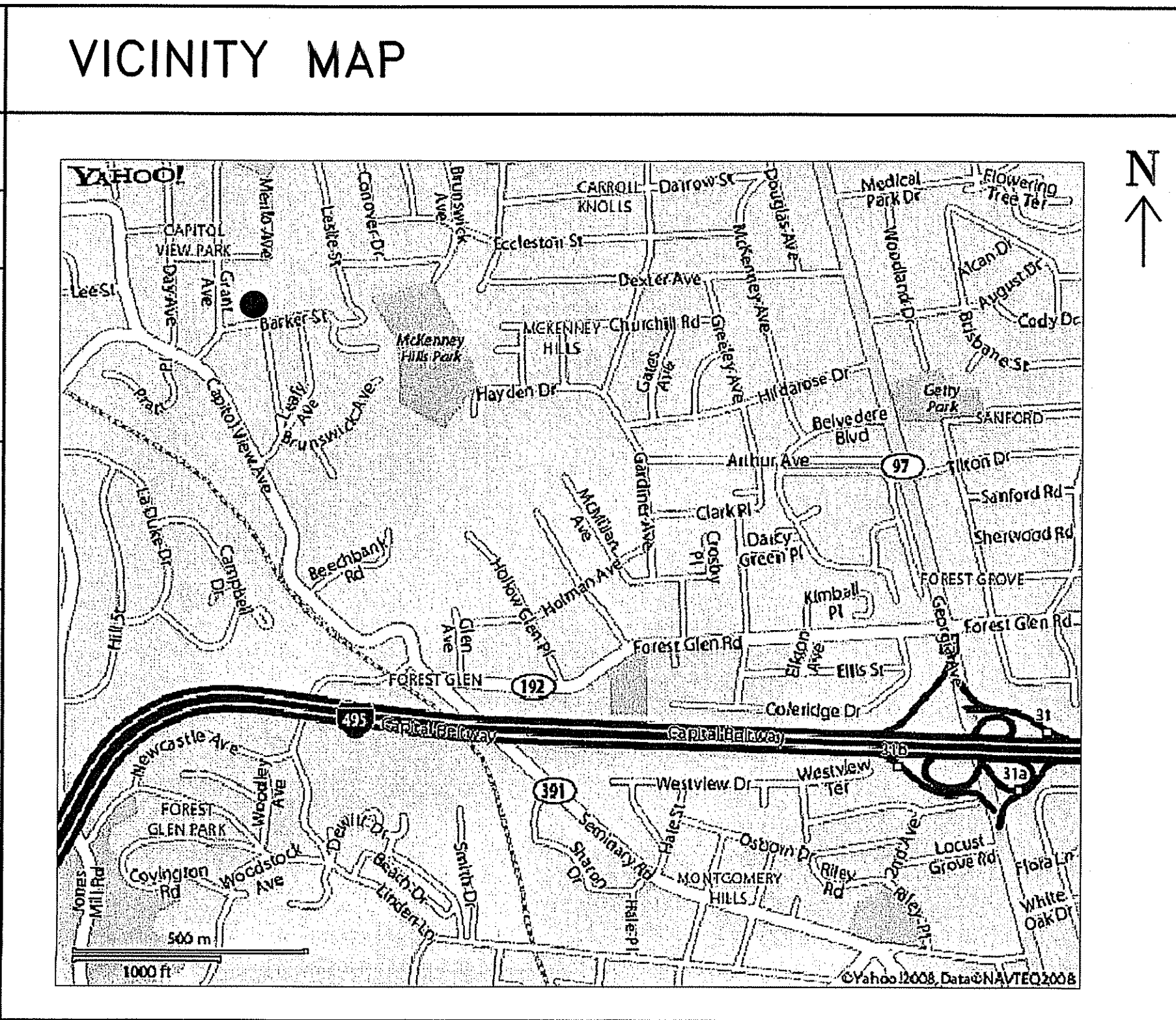


2909 Barber St.
Silver Springs Capital View Park 3/7-08D

WOOD MOULDING PROFILES		
	CASING	WM - 361 W 1 1/16 x 3 1/2
	BED	WM - 75 9/16 x 1 5/8
	BED	VM - 45 11/16 x 5 1/4 ALSO, VM - 47 11/16 x 4 5/8
	CHAIR RAIL	WM - 297 11/16 x 3
	BASES	WM - 620 9/16 X 4 1/2 ALSO, VM - 618 9/16 x 5 1/2
	SHOE	VM - 131 7/16 x 3/4
	FLAT STOOLS	WM - 1021 11/16x5-1/4 (FJ) LWM - 1021 1-1/16x5-1/4 (FJ) LWM - 1021 11/16x7-1/4 (FJ)
	PLINTH STOCK	PLINT STOCK 13/16x3-1/2 (A)



DOOR AND WINDOW SCHEDULE

DOORS EXPOSED TO UNHEATED AREA TO BE INSULATED TO R=6 W/ 1 5/8 STYROFOAM

ALL WINDOWS ARE DOUBLE GLAZED INSULATED WITH R=3.1 ANDERSEN OR AMERICAN CRAFTSMAN

HARDWARE SCHEDULE

ALL DOORS OTHER THAN CLOSET DOORS TO HAVE 1 1/2 PR-3 1/2" HINGES

PRIVACY LOCKS FOR ALL BATHROOM, BEDROOM DOORS

LATCH/KNOBS ALWAYS OPENABLE FOR CLOSET DOORS

KEYED/TURN BUTTON LOCKS FOR EXTERIOR DOORS.

BARKER STREET ADDITION

**2909 BARKER STREET
SILVER SPRING, MD 20910**

- ## GENERAL NOTES
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL CURRENT GOVERNING CODES, ALL APPLICABLE ORDINANCES, REGULATIONS AND OTHER LOCAL CODES.
 - THE INFORMATION PROVIDED IN THIS DOCUMENT IS FROM DOCUMENTATION AVAILABLE AND MAY NOT REFLECT EXACT FIELD CONDITIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL INFORMATION. BRING CONFLICTS TO THE ATTENTION OF THE OWNER AND OBTAIN APPROVAL FROM THE OWNER OR AUTHORITY HAVING JURISDICTION PRIOR TO PROCEEDING WITH ALTERNATE METHODS AND/OR MATERIALS, ETC.
 - THE ARCHITECT WILL NOT HAVE CONTROL OVER OR CHARGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCE OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL VISIT THE SITE TO HAVE A COMPLETE UNDERSTANDING OF THE SCOPE OF PROJECT BEFORE SUBMITTING THE PROPOSAL.
 - THE CONTRACTOR SHALL REVIEW THE CONTRACT DRAWINGS FOR ANY CONDITIONS WHICH RELATE TO THE PERFORMANCE AND COORDINATION OF SPECIFIC TRADES.
 - ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER TRADES AND SEQUENCING OF CONSTRUCTION OPERATIONS.
 - DO NOT SCALE DRAWINGS. ALL DIMENSIONS SHALL BE FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE INFORMED TO THE OWNER AND/OR ARCHITECT.
 - MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEER'S DRAWINGS. IF DISCREPANCIES OCCUR IT SHALL BE BROUGHT TO THE ARCHITECT'S AND/OR THE LANDLORD'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. ANY WORK INSTALLED IN CONFLICT WITH THE DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - AS WORK PROGRESSES AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND SEPARATE SET OF PRINTS OF THE CONTRACT DRAWINGS INCLUDING ALL REVISIONS AND ADDENDA AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL CLEARLY AND ACCURATELY RECORD ALL WORK COMPLETED AND ALL MODIFICATIONS AND CHANGES FROM THE ORIGINAL CONTRACT DRAWINGS.
 - THE CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EQUIPMENT SPECIFIED AND/OR SHOWN ON THE DRAWINGS. THE CONTRACTOR PROVIDED SHOP DRAWINGS SHALL INCLUDE ACCURATE DETAILED DIMENSIONAL DRAWINGS, INCLUDING COMPLETE DESCRIPTIONS OF MATERIALS, INSTALLATION DETAILS AND MANUFACTURERS PUBLISHED PERFORMANCE DATA.
 - DETAILS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB CONDITIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. OBTAIN THE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING WITH DEVIATION FROM DETAILS.
 - THE CONTRACTOR SHALL PERFORM DAILY CLEAN-UP OF ALL TRASH AND DEBRIS RESULTING FROM ITS WORK AND SHALL CONTINUE TO BE RESPONSIBLE FOR THE DAILY CLEAN-UP AND REMOVAL OF ALL TRASH AND DEBRIS WHICH RESULTS FROM ITS OPERATIONS. IF THE CONTRACTOR FAILS TO COMPLY WITH THIS, THE OWNER SHALL PERFORM THE NECESSARY CLEAN-UP AND DEDUCT THE COST FROM THE CONTRACT AMOUNT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITY LINES AND INTERCEPT AS REQUIRED.
 - THE CONTRACTOR SHALL NOTIFY THE LANDLORD AND/OR THE OWNER OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL DOWN TIME THREE (3) DAYS PRIOR TO DISTURBANCE.
 - DELIVERIES MUST BE SCHEDULED A MINIMUM OF 24 HOURS IN ADVANCE WITH THE BUILDING MANAGER.
 - THE CONTRACTOR SHALL CONDUCT THE ACTIVITIES IN A SAFE MANNER AND SHALL BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL SAFETY REGULATIONS OF OSHA AND LOCAL LIFE SAFETY AGENCIES.
 - THE CONTRACTOR SHALL GUARANTEE TO REPLACE DEFECTIVE MATERIALS AND WORKMANSHIP FOR THE ENTIRE PROJECT FOR A PERIOD OF ONE (1) YEAR FROM GRAND OPENING DATE.

LEGEND

- POROUS FILL/GRAVEL
- EARTH/COMPACT FILL
- RIGID INSULATION
- STEEL/OTHER METAL
- BRICK
- C.M.U.
- CONCRETE
- STONE
- DOOR
- ELEVATION
- DETAIL
- LIGHTS
- HARD WIRED BATTERY BACKED SMOKE DETECTOR
- 3 WAY SWITCH
- SWITCH
- RECEPTACLES
- EXIT LIGHT
- BATTERY BACKED EM LT
- SECTION
- DOOR NUMBER
- PARTITION TYPE
- FINISH NUMBER
- KEYED NOTE
- SMOKE DETECTOR
- EXISTING
- NEW
- EXHAUST FAN
- CEILING FAN

FINISH SCHEDULE

CEILING FSC-26-75
FLOOR CARPET MCRF0.22/WICM

SPACE	FLOOR	BASE	WALL	CEILING	NOTE
RECREATION AREA	HARD WD	WD	PAINT	DW	
BEDROOM	HARD WD	WD	PAINT	DW	
BATH ROOM	TILE	TILE	PAINT/TILE	DW	

GENERAL NOTES:

- PLANS CONFORM WITH IRC 2003. AS AMENDED BY MONTGOMERY COUNTY.
- ALL WOOD IN CONTACT WITH SOIL OR MASONRY FOUNDATION TO BE PRESSURE TREATED-ACQ TREATED SYP OR EQUIVALENT. ALL FASTENERS USED WITH ACQ TREATED LUMBER WILL MEET THE ASTM STANDARD A153, CLASS 185.
- ALL FRAMING LUMBER TO BE SPF#2 UNLESS INDICATED OTHERWISE.
- DESIGN CRITERIA USED ARE AS FOLLOWS:
 - ROOF LIVE LOAD 30 LBS/SF
 - ROOF AND FLOOR DEAD LOAD 10 LBS/SF
 - SEISMIC DESIGN CATEGORY B
 - TERMITE DAMAGE SUBJECTIVITY - HEAVY
 - WINTER DESIGN TEMPERATURE - 19 DEGREES F
 - SUBJECTIVITY TO DAMAGE FROM WEATHER - HEAVY
 - SUBJECTIVITY TO DECAY - MODERATE
 - FLOOR LIVE LOAD IN NON-SLEEPING AREAS - 40 LBS/SF
 - FLOOR LIVE LOAD IN SLEEPING AREAS - 30 LBS/SF
 - WIND SPEED - 90 MPH
 - FROST LINE DEPTH - 24"
 - FLOOD HAZARD - YES
- CONCRETE - 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
- AUBFLOORS - 3/4" APA SUBFLOOR / UNDERLAYMENT RATED, TONGUE AND GROOVE, GLUED AND NAILED TO JOISTS.
- ROOF SHEATHING - 1/2" OSB WITH SPACERS.
- ROOFING - 215 LB PER SQUARE ASPHALT SHINGLES OVER 15 LB FELT.

LOAD CRITERIA

1ST FLOOR
DEAD LOAD : 10PSF
LIVE LOAD : 40PSF

2ND FLOOR
DEAD LOAD : 10PSF
LIVE LOAD : 30PSF

ROOF
DEAD LOAD : 17PSF
LIVE LOAD : 30PSF

SNOW LOAD: 25PSF
WIND PEED: 90MPH
WELDED WIRE FABRIC: 1.4X1.4/6X6 MIN.
MICROLAM: 2,950 PSI OR SEE BEAM SCHEDULE
SOIL BEARING CAPACITY: 1,500PSF MIN.

MATERIAL SPECIFICATIONS

WINDOWS: DOUBLE PANE INSULATED, THERMAL BROKEN OR R=3.1
LUMBERS: KILN DRIED SPF #2 Fb=875 OR BETTER
CONCRETE: 3,000 PSI
REINFORCING STEEL: 36 KIPS

THRESHOLD

MARBLE 4-3/4" WIDE
TYPICAL THRESHOLD @ ALL BATH ROOMS

DRAWINGS

A-1	COVER SHEET
A-2	DEMOLITION & EXISTING FLOOR PLANS -- BASEMENT, 1ST FL
A-3	PROPOSED FLOOR PLANS -- BASEMENT, 1ST FL
A-4	ELEVATIONS
A-5	FOUNDATION PLAN AND 1ST FL. FRAMING PLAN & ROOF FRAMING PLAN
A-6	BUILDING SECTIONS
A-7	TYP. WALL SECTION AND DETAILS

DESIGN / CONSTRUCTION SHALL BE IN COMPLIANCE WITH 2006 I.R.C. AS AMENDED BY MONTGOMERY COUNTY.

CODE ANALYSIS

ELEMENTS	EXISTING	PROPOSED
USE GROUP [SEE BELOW]	R3	R3
CONST. TYPE	VB	VB
HT/STORY	22/1	22/1
HI-RISE	NO	NO
COVERD MALL	NO	NO
SPRINKLER	NO	NO

FLOOR AREA	EXISTING	NEW ADDITION	TOTAL
BASEMENT FL.	1,011 SF	585 SF	1,596 SF
1ST FL.	1,011 SF	585 SF	1,596 SF
TOTAL	2,022 SF	1,170 SF	3,192 SF

SCOPE OF WORK

- NEW ADDITION-
 - MAKE RECREATION AREA AT BASMENT FLOOR.
 - TWO BEDROOMS AND BATH ROOM AT 1ST FLOOR.
- INSTALL NEW STAIR AT INSIDE EXISTING BUILDING.

APPROVED
Montgomery County
Historic Preservation Commission

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAW OF THE STATE OF MARYLAND.
LICENSE NUMBER: A-3116
EXPIRATION DATE: 5-15-2009

7-28-06

CONTRACTOR: PETER BALL
 W/301-299-8910
 207 SHAW AVE.
 SILVER SPRING, MD. 20904
 TEL(301) 622-0322

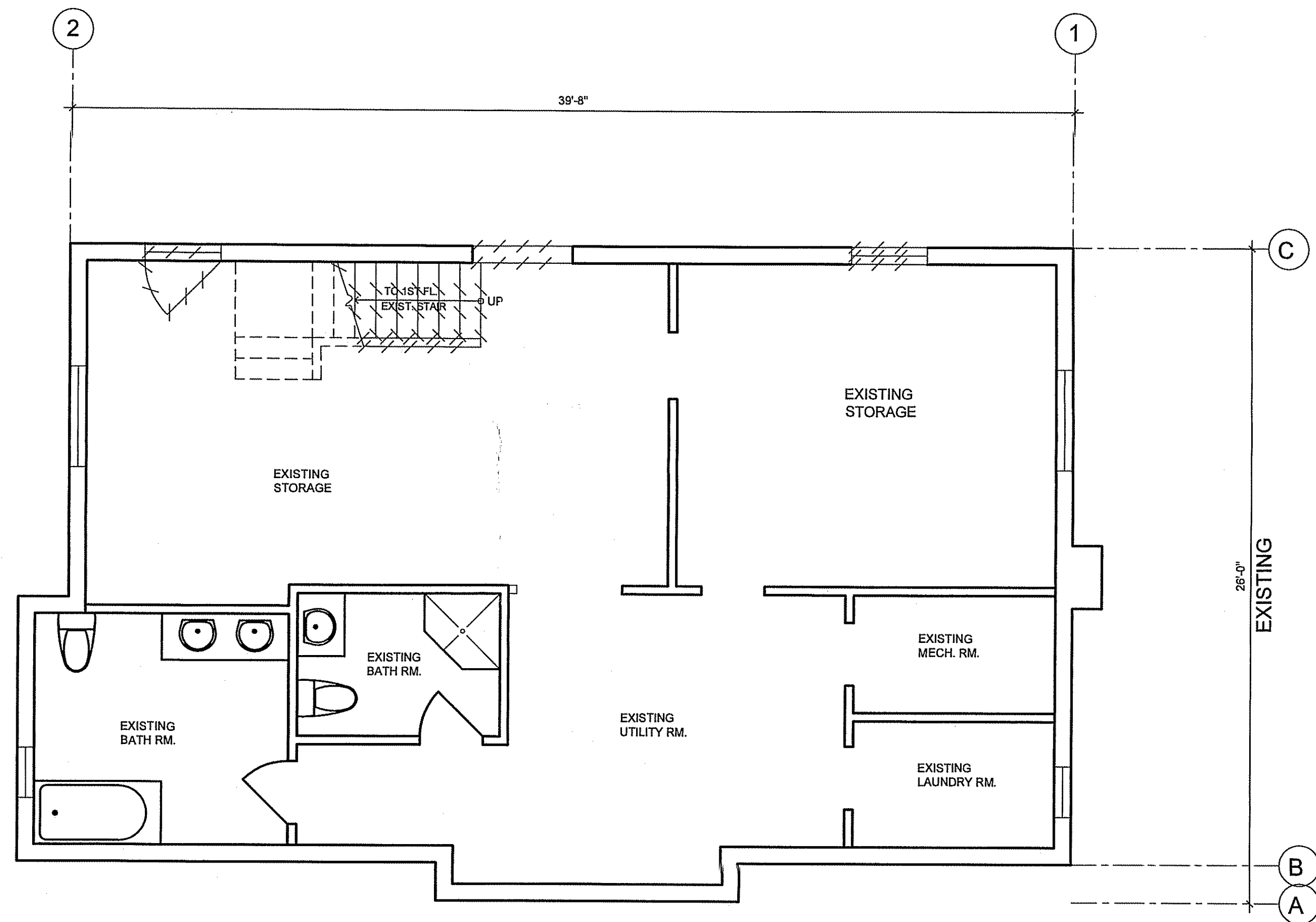
BARKER STREET ADDITION
 2909 BARKER STREET
 SILVER SPRING, MD 20910

MKK ARCHITECTS

SHEET TITLE:
COVER SHEET

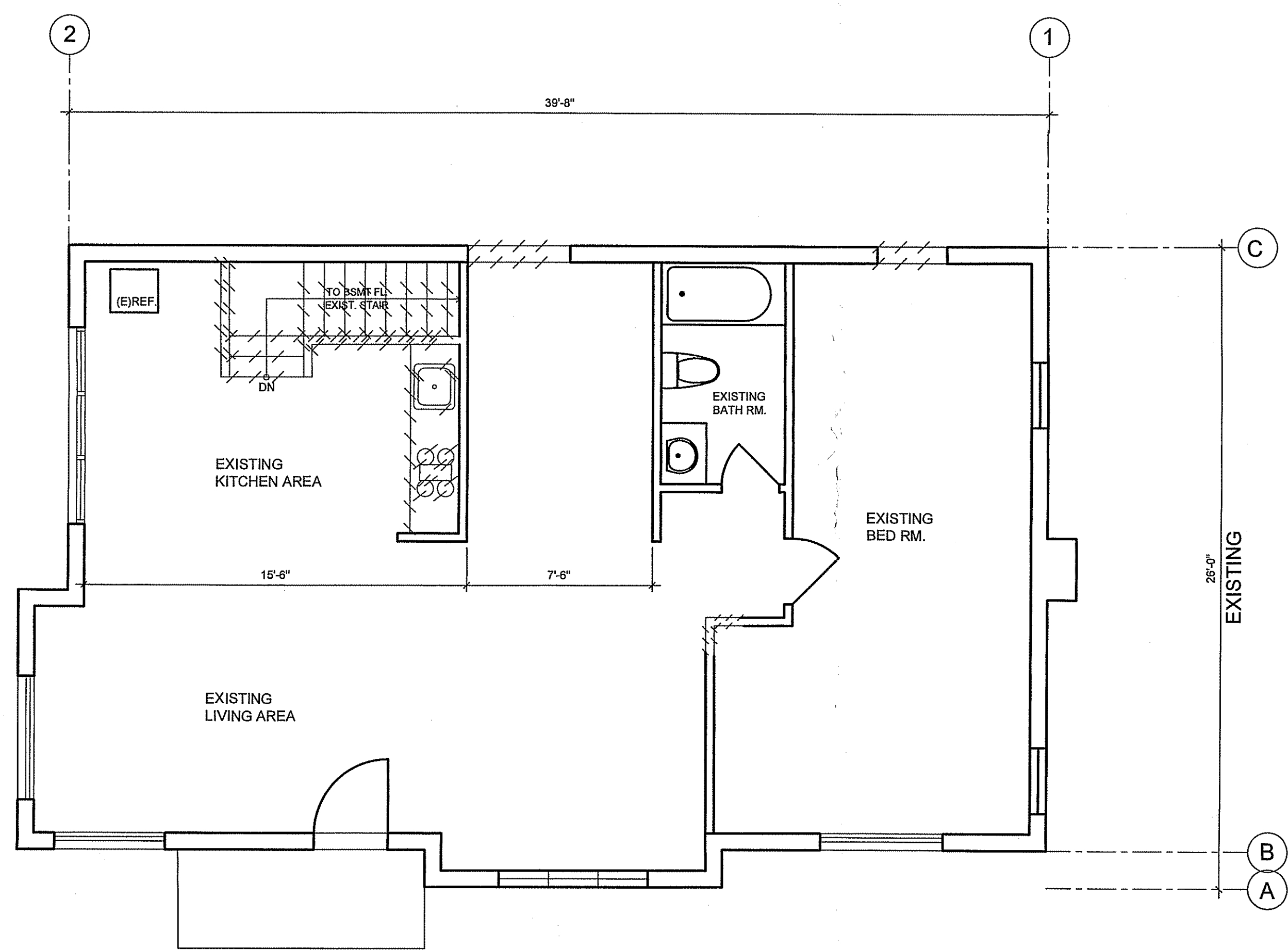
APPROVED:
 CHECKED:
 SCALE: AS SHOWN
 DATE: 07/03/2008

DRAWING NO.
A-1



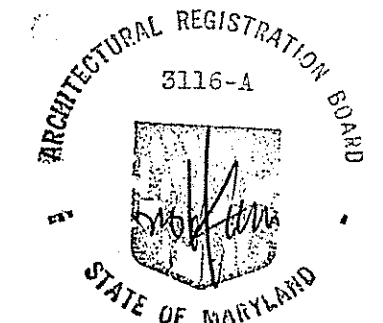
DEMOLITION & EXISTING BASEMENT FLOOR PLAN

1/4"=1'-0"
 ----- REMOVE



DEMOLITION & EXISTING 1ST FLOOR PLAN

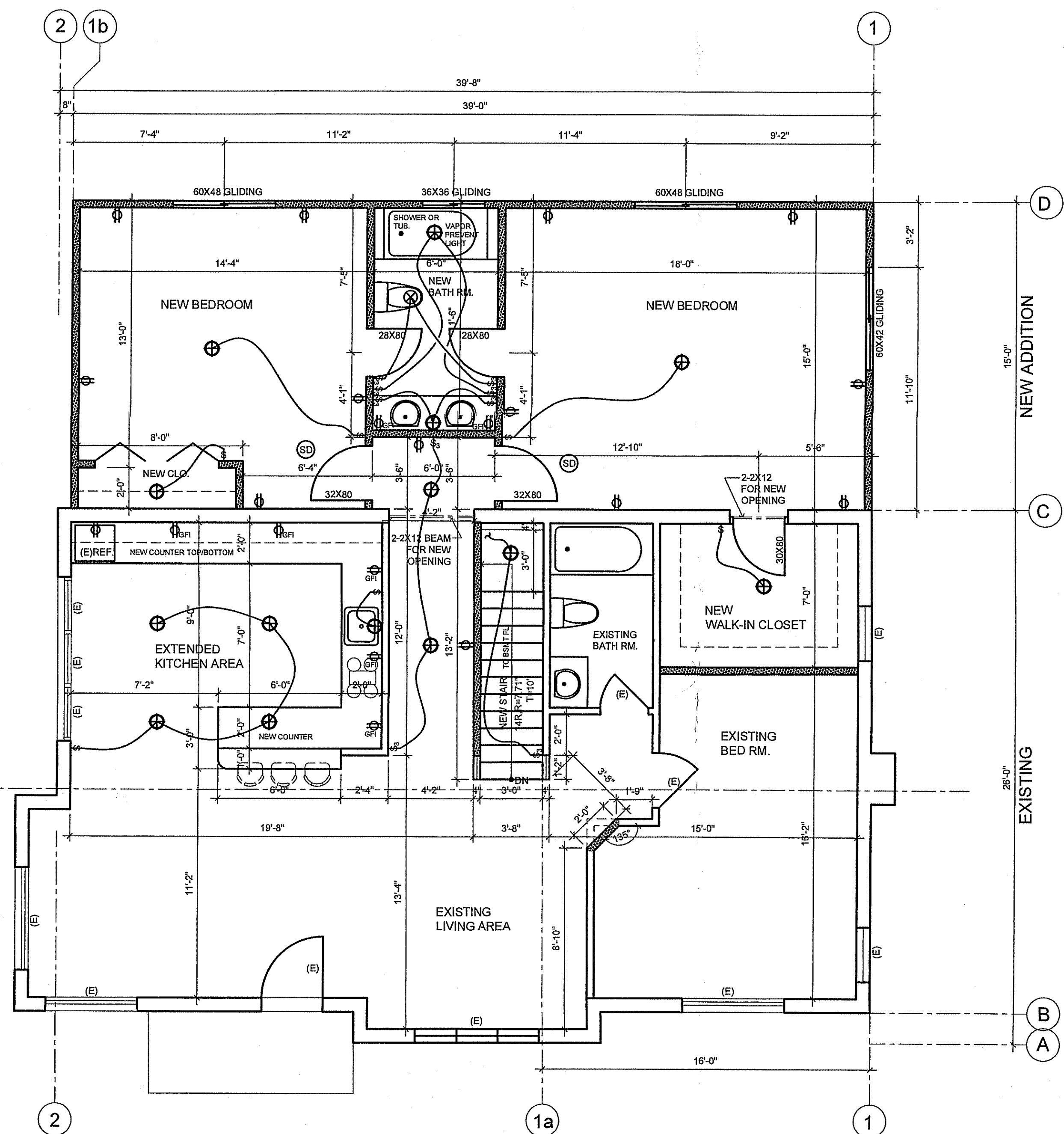
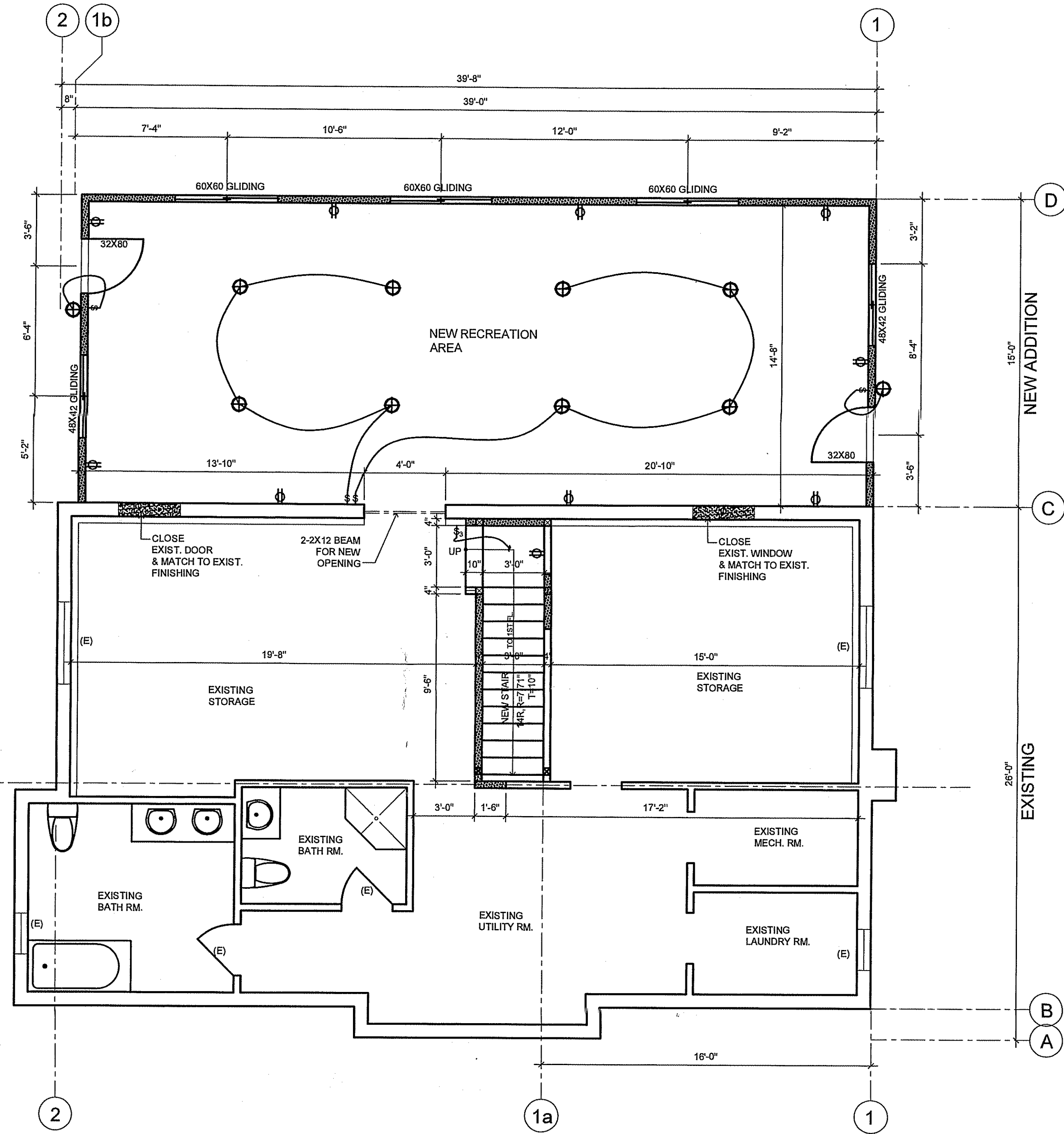
1/4"=1'-0"
 ----- REMOVE



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 LICENSE NUMBER: A-3116 EXPIRATION DATE: 5-15-2009

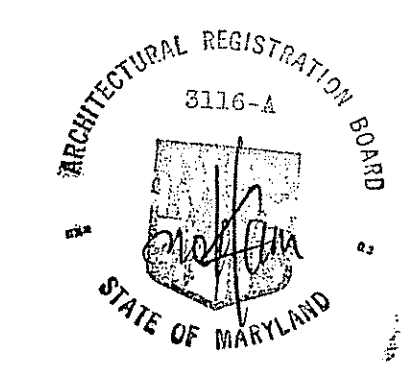
BARKER STREET ADDITION	
2909 BARKER STREET SILVER SPRING, MD 20910	
CONTRACTOR: PETER BALL W/501-299-8910	207 SHAW AVE. SILVER SPRING, MD. 20904 TEL.(301) 622-0322
MKK ARCHITECTS	

SHEET TITLE: DEMOLITION & EXISTING FLOOR PLANS - BASEMENT & 1ST	
DATE: 07/03/2008	CHECKED: AS SHOWN
SCALE: AS SHOWN	APPROVED:
DRAWING NO. A-2	



LEGEND

- LIGHTS
- HARD WIRED BATTERY PACKED SMOKE DETECTOR
- LIGHT SWITCH
- OUTLETS
- REMOVE
- NEW STUD WALLS
- EXISTING WALLS TO REMAIN
- BRICK
- C.M.U.
- CONCRETE
- STONE



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 LICENSE NUMBER: A-3116 EXPIRATION DATE: 5-15-2009

BARKER STREET ADDITION
 2909 BARKER STREET
 SILVER SPRING, MD 20910

MKK ARCHITECTS

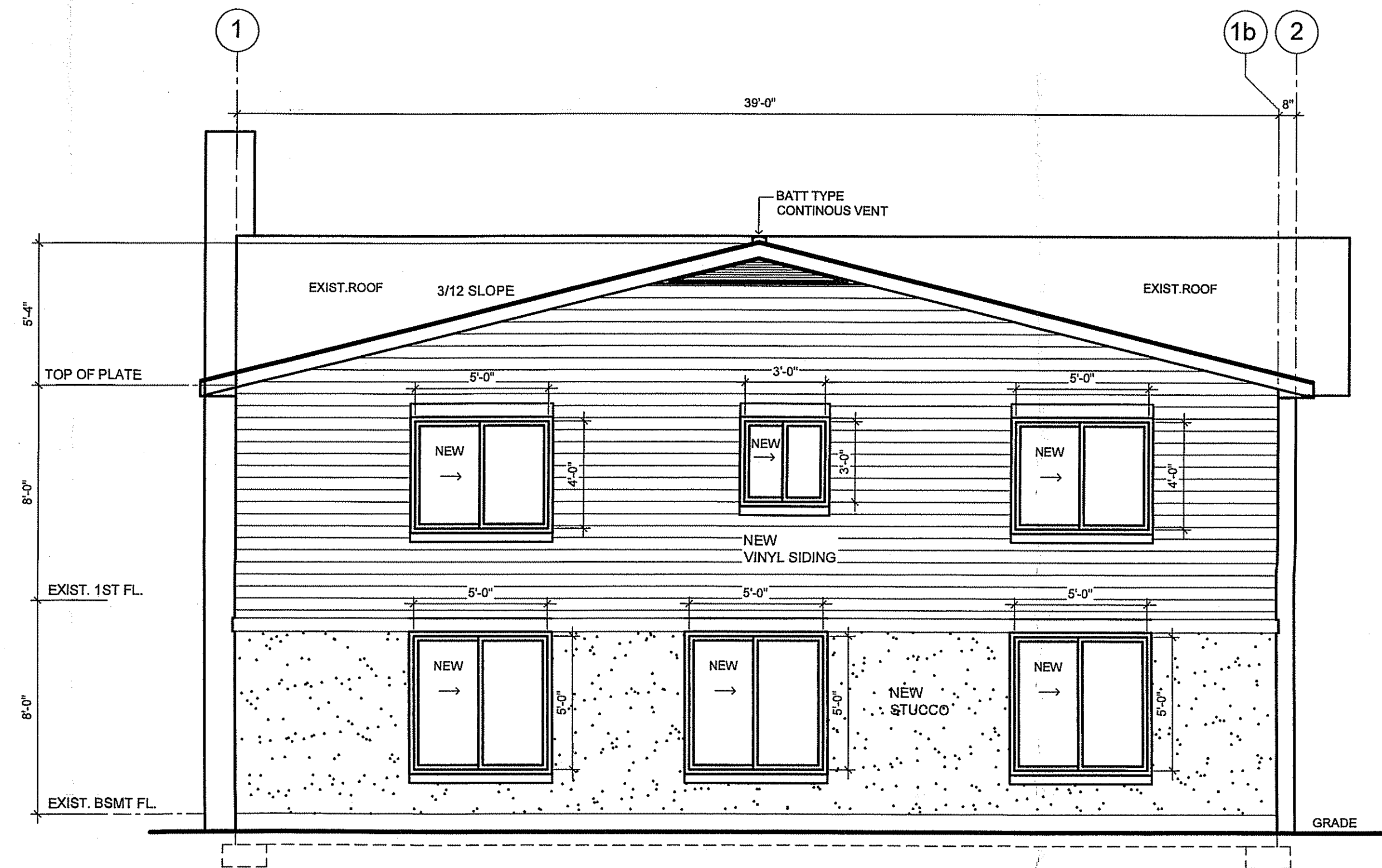
CONTRACTOR: PETER BALL
 W/301-299-8910

207 SHAW AVE. 20904
 SILVER SPRING, MD.
 TEL.(301) 622-0322

SHEET TITLE:
PROPOSED FLOOR PLANS - BASEMENT & 1ST

DATE: 07/03/2008 SCALE: AS SHOWN CHECKED: APPROVED:

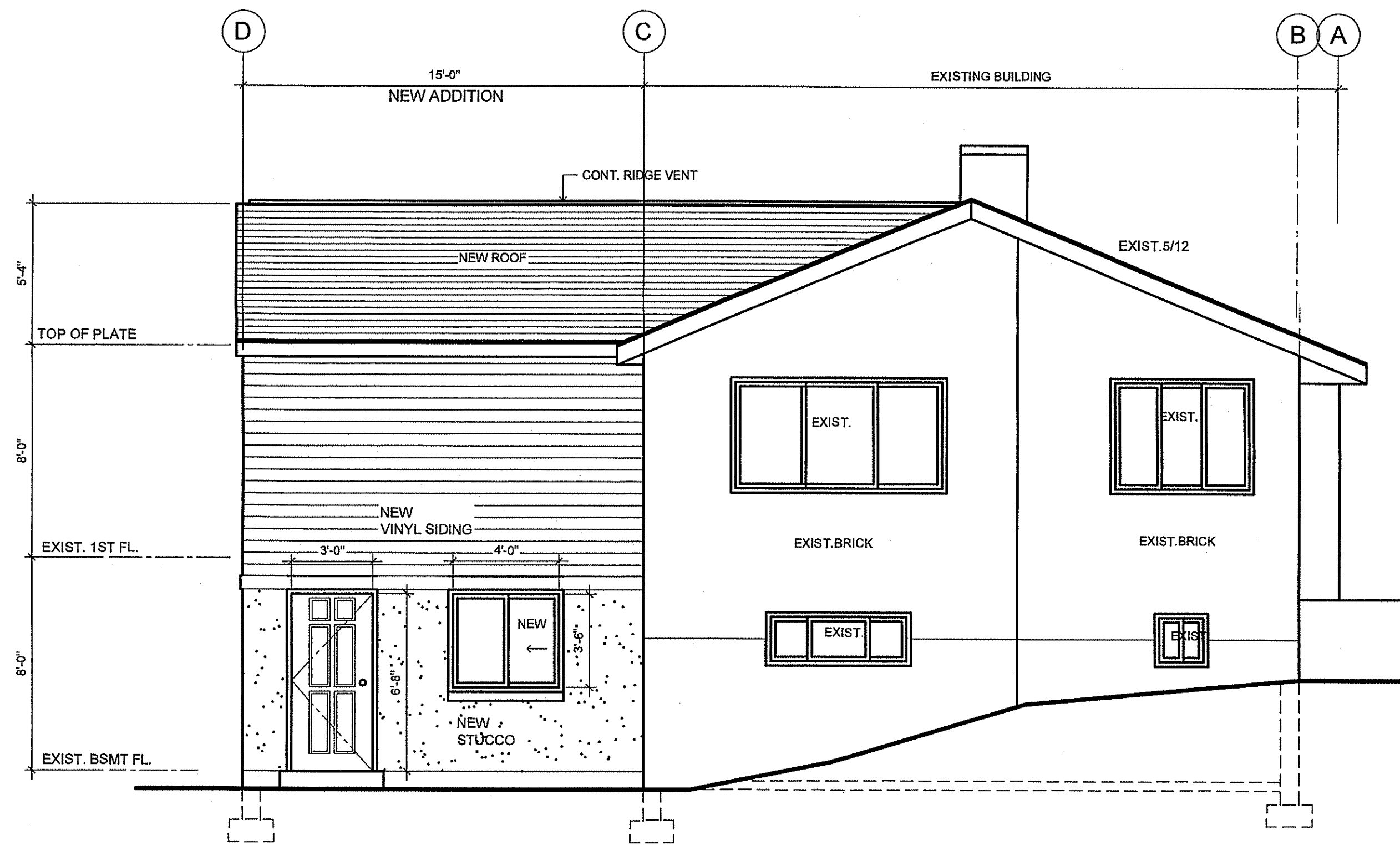
DRAWING NO.
A-3



REAR ELEVATION

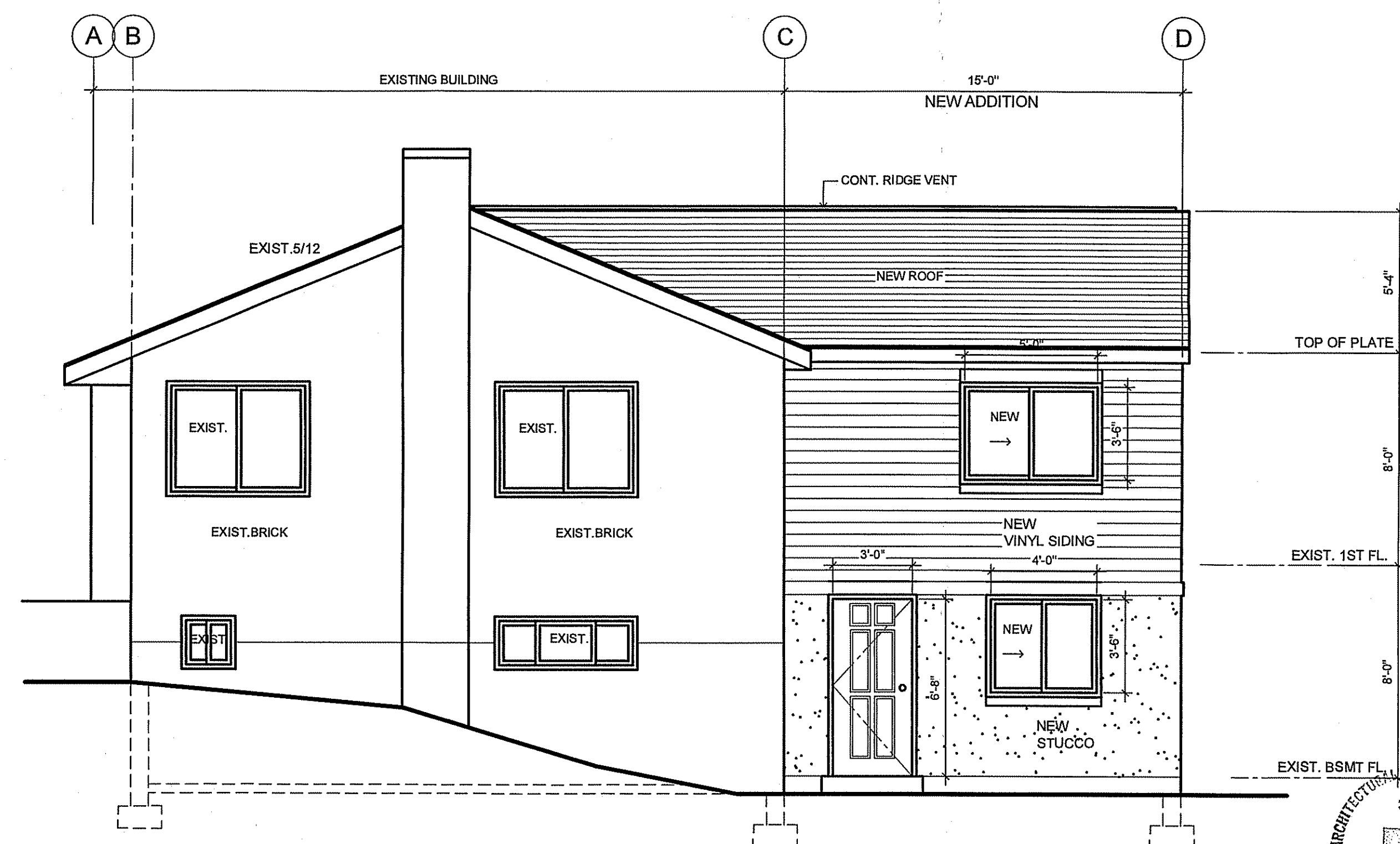
1/8"=1'-0"

BEDROOM WINDOW
WINDOW OPENING AREA 6.7 SFMIN.
MIN. OPENING HEIGHT- 24"
MIN. OPENING WIDTH - 20"



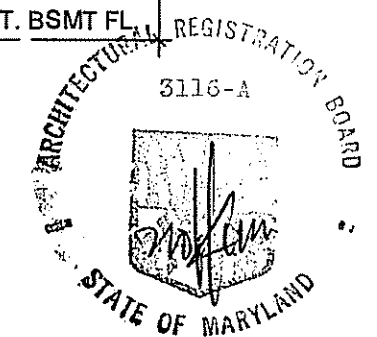
LEFTRSIDE ELEVATION

1/8"=1'-0"



RIGHTSIDE ELEVATION

1/8"=1'-0"



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207 SHAW AVE. 20904
SILVER SPRING, MD.
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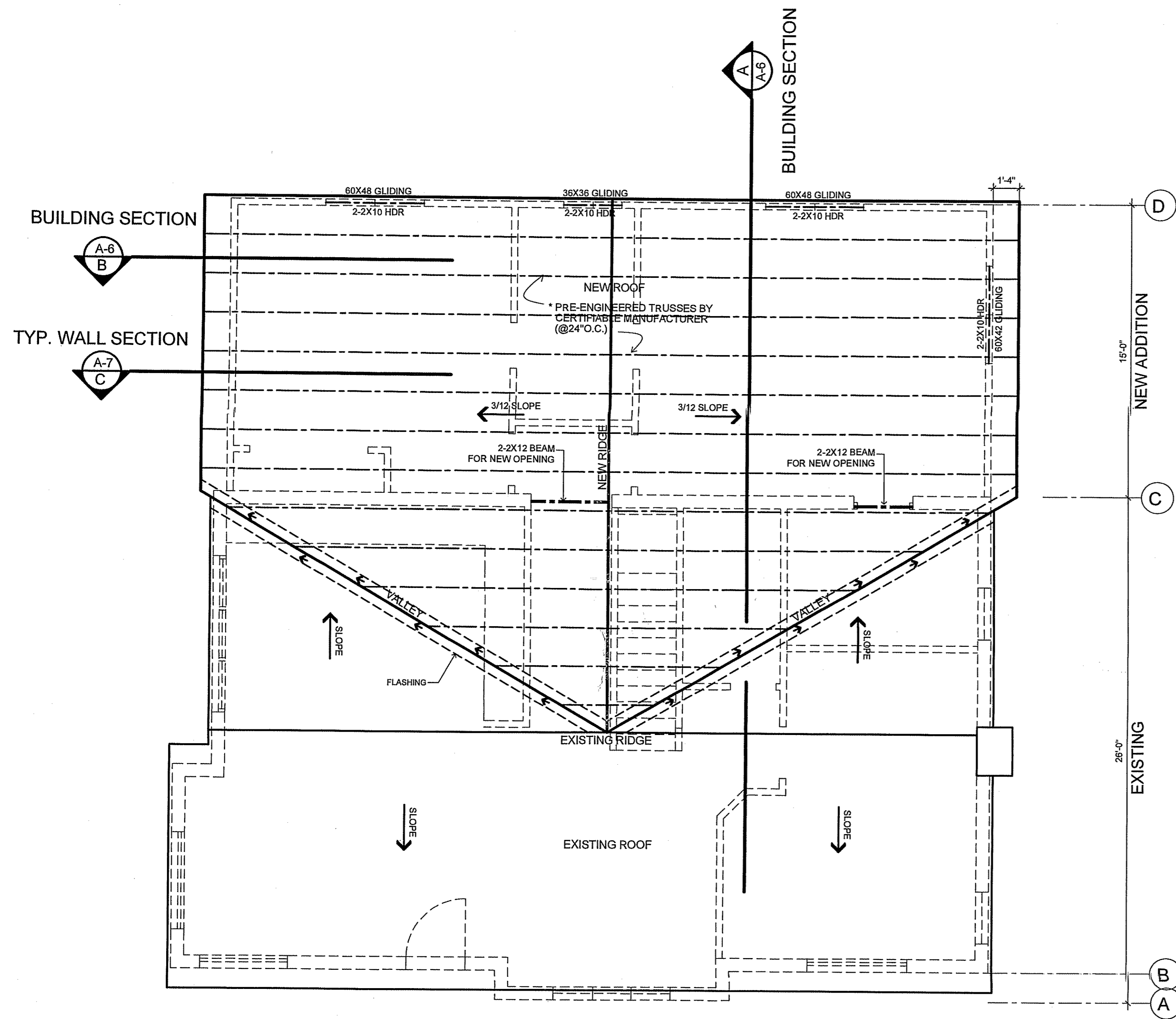
BARKER STREET ADDITION
2909 BARKER STREET
SILVER SPRING, MD 20910

MKK ARCHITECTS

SHEET TITLE: **ELEVATIONS**
DATE: 07/03/2008
SCALE: AS SHOWN
CHECKED: AS SHOWN
APPROVED:

DRAWING NO. **A-4**

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAW OF THE STATE OF MARYLAND,
LICENSE NUMBER A-3116 EXPIRATION DATE 5-15-2009



PROPOSED ROOF FRAMING PLAN

1/4"=1'-0" SHOWN OVER 1ST FLOOR PLAN

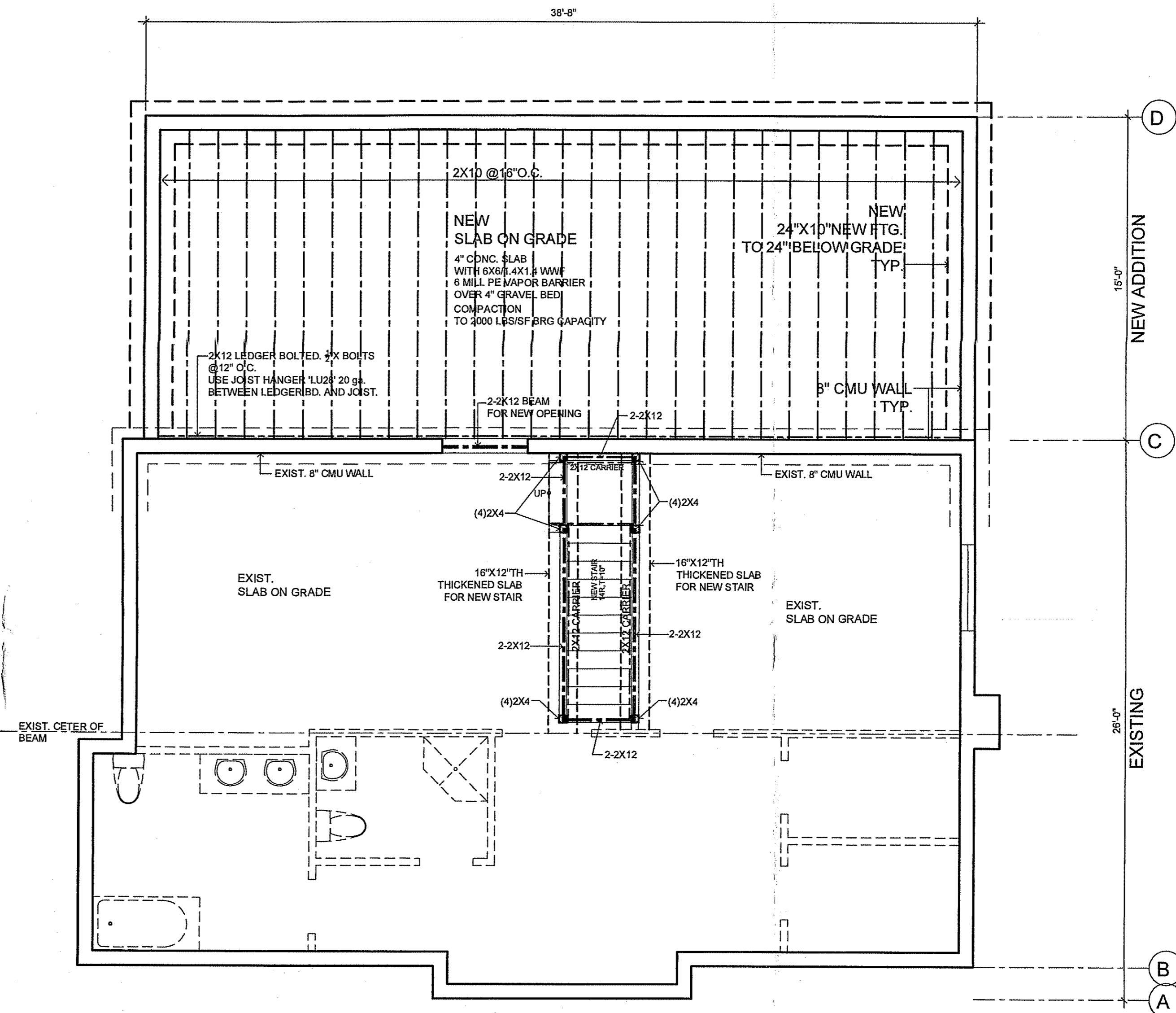
* PRE-ENGINEERED TRUSSES BY CERTIFIABLE MANUFACTURER (@24" O.C.)

NOTES

SIZE OF BEAMS AND LINTELS SUPPORTING TRUSSES MAY CHANGE DEPENDING UPON THE CONFIGURATION OF THE TRUSSES.

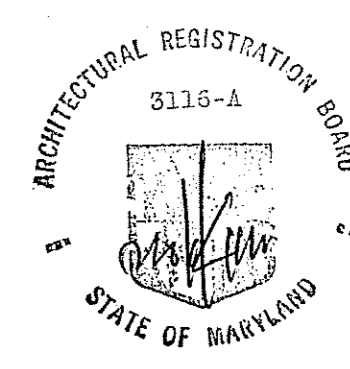
THE TRUSS MANUFACTURE SHALL CERTIFY THE TRUSS, BEAM, LINTEL, VERTICAL SUPPORTS AND CONNECTORS.

DISTRIBUTE LOADS TO MINIMIZER POINTED LOADS.



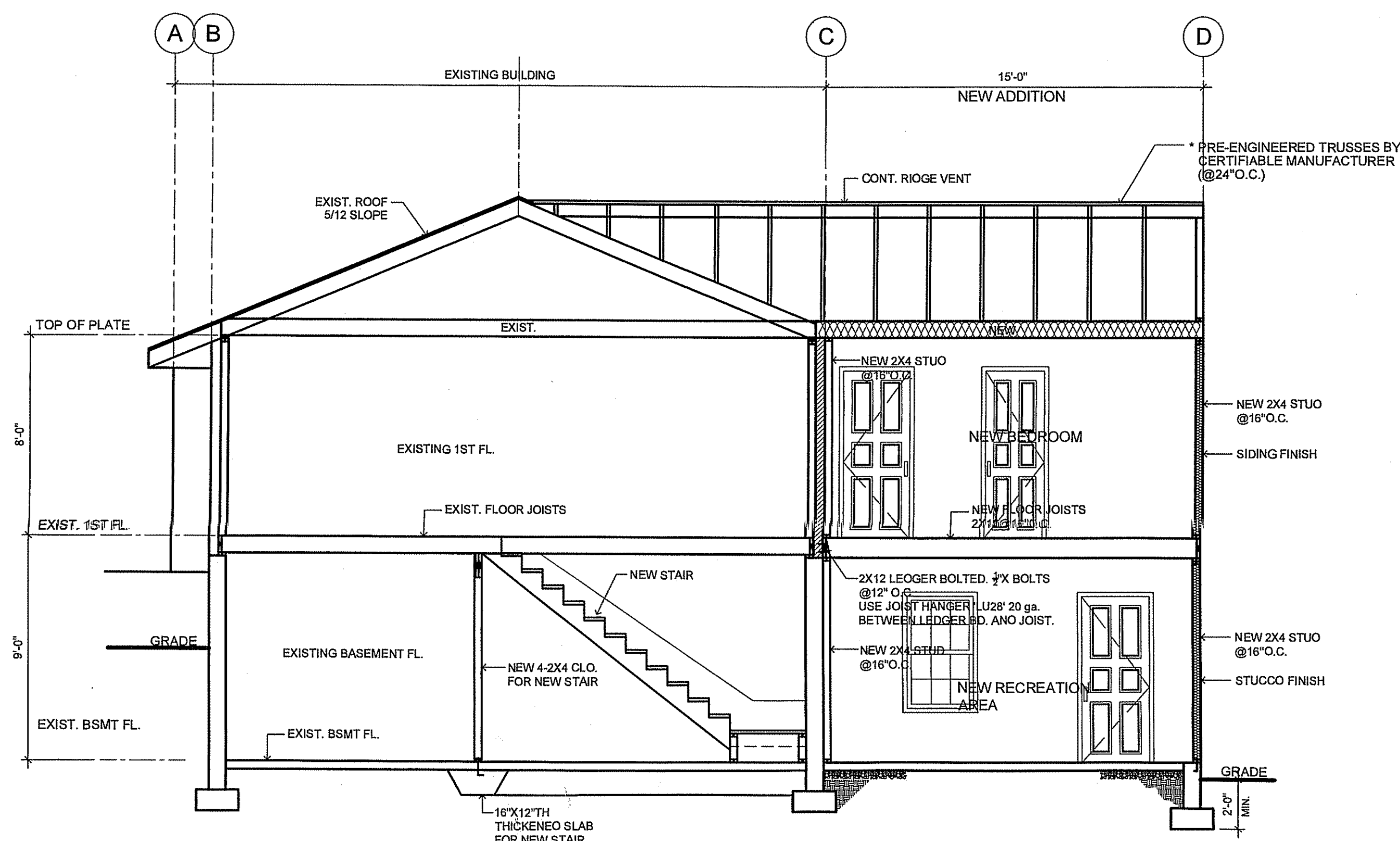
PROPOSED FOUNDATION PLAN & PARTIAL 1ST FLOOR FRAMING PLAN

1/4"=1'-0" SHOWN OVER BASEMENT FLOOR PLAN

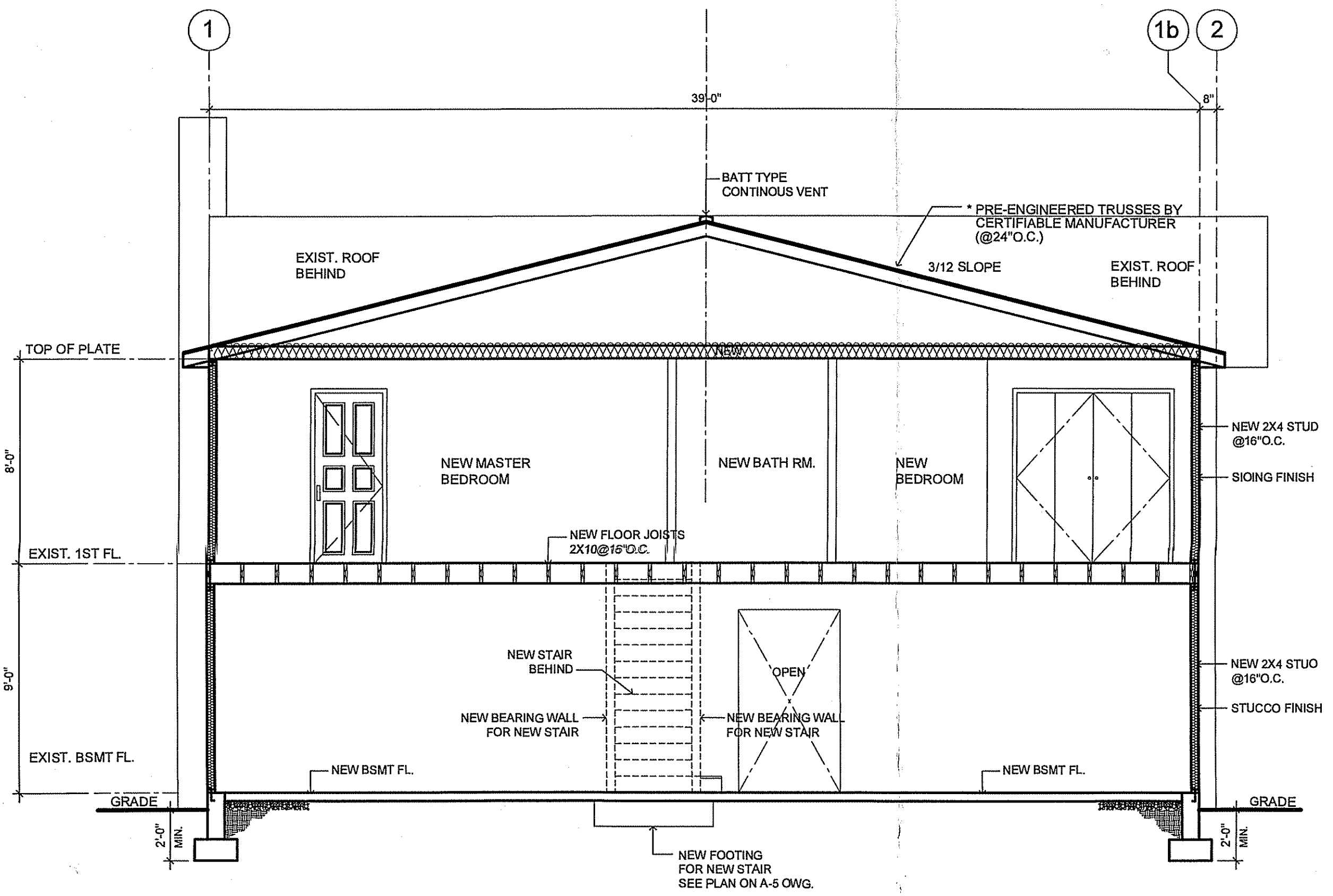


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 LICENSE NUMBER A-3116 EXPIRATION DATE 5-15-2009

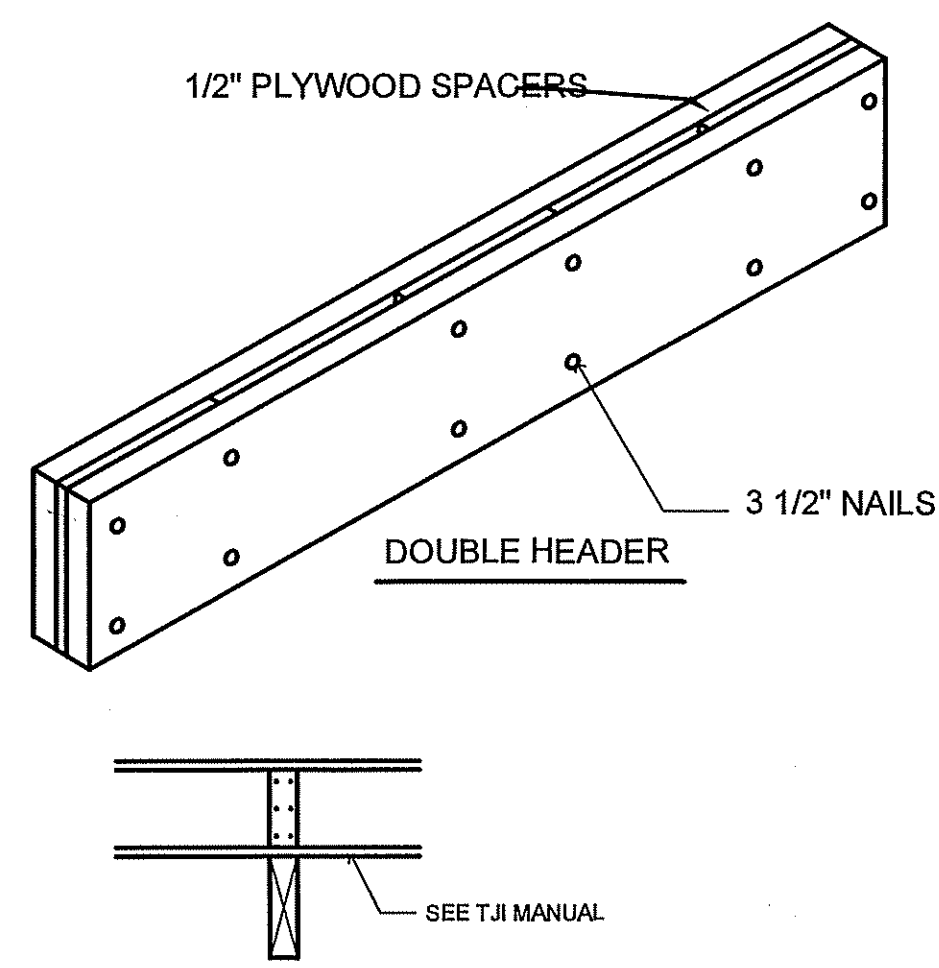
BARKER STREET ADDITION		CONTRACTOR: PETER BALL	
2909 BARKER STREET		W)301-299-8910	
SILVER SPRING, MD 20910		207 SHAW AVE.	
MKK ARCHITECTS		SILVER SPRING, MD. 20904	
		TEL.(301) 622-0322	
FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN			
ROOF FRAMING PLAN			
SHEET TITLE:	DATE:	CHECKED:	APPROVED:
	06/09/2008	AS SHOWN	
DRAWING NO.			
A-5			



A BUILDING SECTION 1/4"=1'-0"
A-6



B BUILDING SECTION 1/4"=1'-0"
A-6



ALLOWABLE SPANS FOR OPENING HEADERS

HEADER SIZE SUPPORTING TWO (MATERIAL ON FLOORS EDGE)	SUPPORTING ONE FLOOR, CEILING AND ROOF	SUPPORTING ONE FLOOR, CEILING AND ROOF	SUPPORTING ONLY CEILING AND ROOF
2-2x8s	2'	3'	4'
2-2x8s	4'	5'	6'
2-2x10s	6'	7'	8'
2-2x10s	7'	8'	10'
2-2x12s	8'	9'	12'

A HEADER IS MADE UP BY NAILING TWO PIECES OF STOCK TOGETHER WITH THE PROJECT THICKNESS OF SPACER BETWEEN THEM. FOR A 2 BY 4 FRAME, THE SPACER WILL BE 1/2" IN.

LINTELS: UNLESS OTHERWISE SHOWN ON DRAWINGS, PROVIDE ANGLE LINTELS WHERE ARCHITECTURAL DRAWINGS INDICATE FACE BRICK AND PRECAST LINTELS ELSEWHERE. PROVIDE ONE LINTEL WITH SIX-INCH. MINIMUM BEARING FOR EACH FOUR INCHES OF WALL THICKNESS AS FOLLOWS:

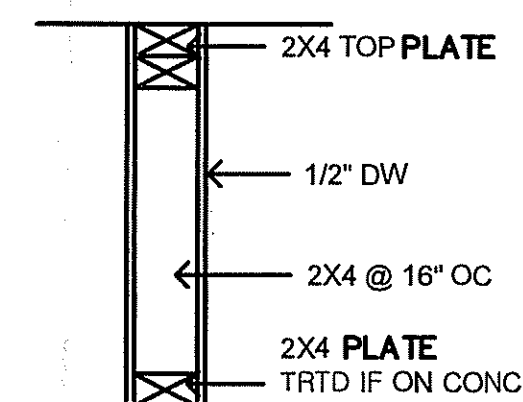
OPENINGS:				
UP TO 4'-0"	L3-1/2 x 1/4	OR	4" x 8" PCC	W/ #3 TOP AND BOTTOM
4'-1" TO 5'-0"	L4 x 3-1/2 x 5/16	OR	4" x 8" PCC	W/ #4 TOP AND BOTTOM
5'-1" TO 6'-0"	L5 x 3-1/2 x 5/16	OR	4" x 8" PCC	W/ #4 TOP AND BOTTOM
6'-1" TO 8'-0"	L6 x 3-1/2 x 3/8	OR	4" x 8" PCC	W/ #4 TOP AND BOTTOM

OVER 8'-0" TO LESS THAN 12'-0" W 12 x 35 W/ 5/16 CONT. HUNG AND 1/4" HANGER @ 16" O.C.

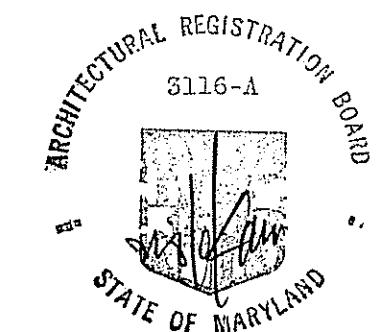
PROVIDE LINTELS FOR MISCELLANEOUS OPENINGS SUCH AS DICHS, LOUVERS, CHASES, ETC. ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZES AND LOCATIONS.

STRUCTURAL CONNECTOR SCHEDULE

JOIST HANGER FOR 1-2X12 FACE MNT U210
 JOIST HANGER FOR 2-2X12 FACE MNT U210-2
 JOIST HANGER FOR 3-2X12 FACE MNT U210-3
 JOIST HANGER FOR 1-3/4X16 I-JOISTS FACE MNT. MIU 1.81/16
 JOIST HANGER FOR 1-3/4X16 I-JOISTS TOP MNT. WP16
 POST-BEAM CONNECTOR FOR ENO CAP—EPC SERIES. MATCHING SIZES.
 POST-BEAM CONNECTOR FOR CONTINUING—PC SERIES. MATCHING SIZES.
 LALLY COLUMCAPS—LC SERIES MATCHING SIZES
 COLUMN BASE FOR POSTS AT BALLOON WALL OPENING—PSB SERIES W/ MATCHING SIZE
 FOR OTHER SITUATIONS CONSULT SIMPSON STRONG-TIE MANUAL.
 OTHER ACCEPTABLE MAKES: TECO, PBS.



TYPICAL INTERIOR PARTITIONS



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 LICENSE NUMBER: A-3116 EXPIRATION DATE: 5-15-2009

BARKER STREET ADDITION
 2909 BARKER STREET
 SILVER SPRING, MD 20910

CONTRACTOR: PETER BALL
 W/301-299-8910

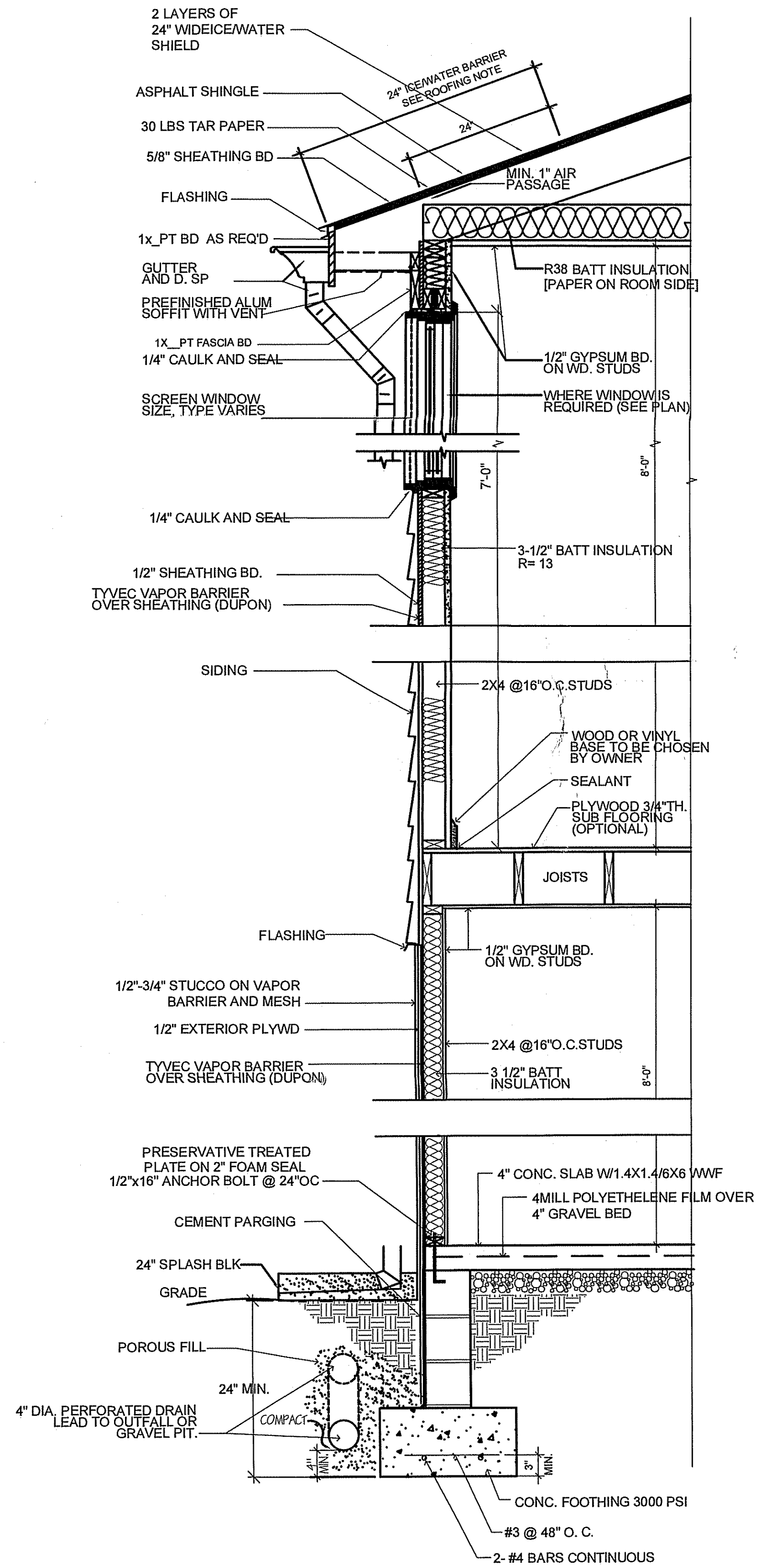
207 SHAW AVE.
 SILVER SPRING, MD. 20904
 TEL.(301) 622-0322

MKK ARCHITECTS

SHEET TITLE:
FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN
ROOF FRAMING PLAN

DATE: 06/09/2008
 SCALE: AS SHOWN
 CHECKED: AS SHOWN
 APPROVED:

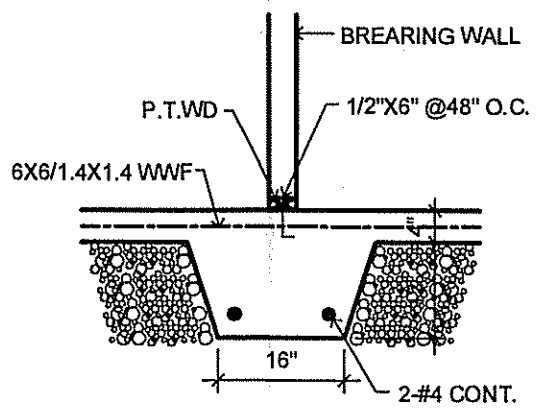
DRAWING NO.
A-6



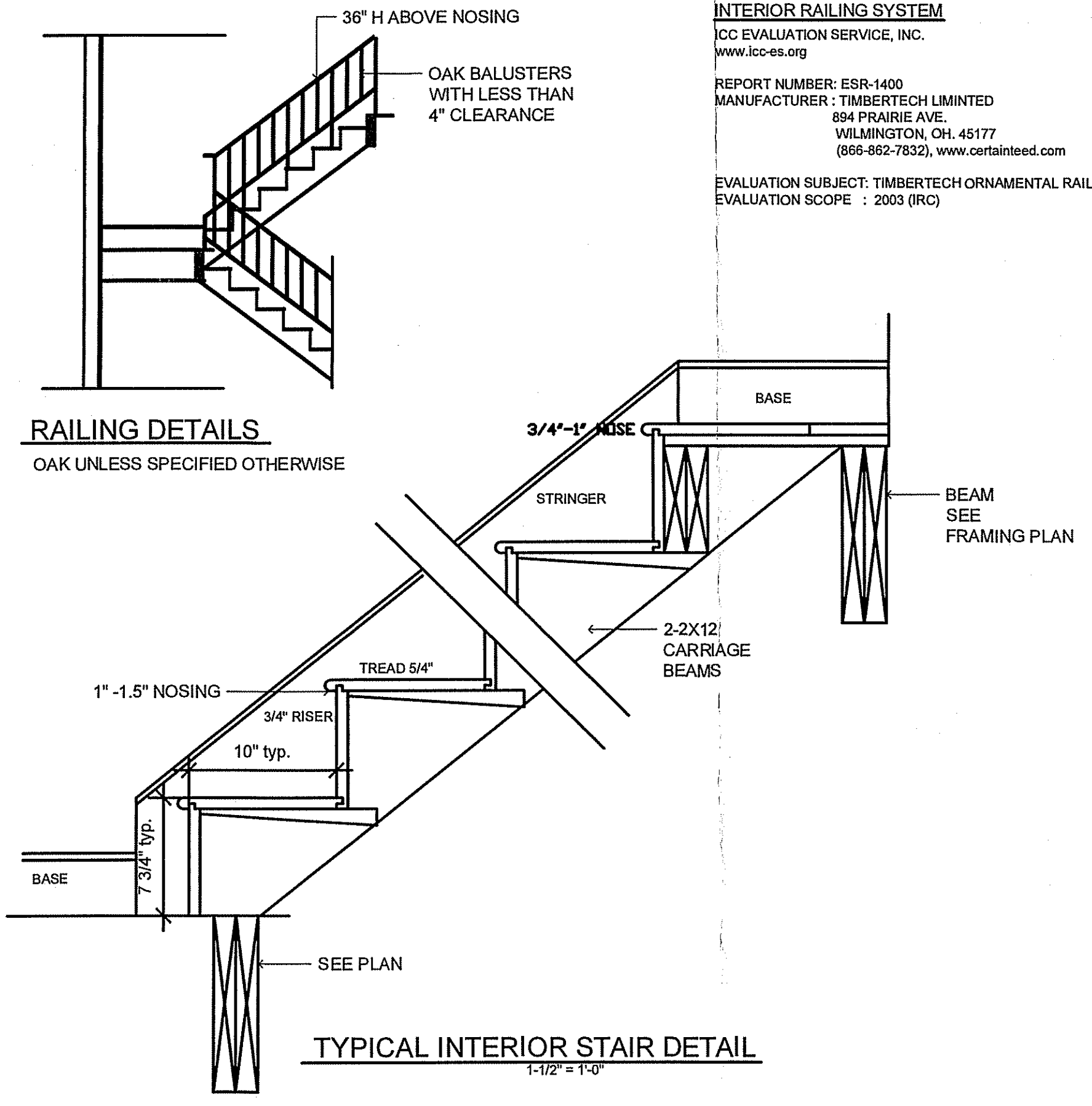
TYPICAL WALL SECTION 3/4" = 1'-0"

ROOFING FLASHING AND SHIELD NOTE:

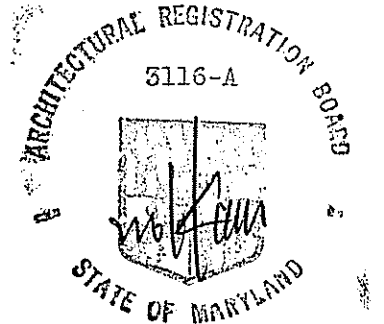
1. METERAL SHALL BE SELF ADHESIVE AND SELF SEALING "WEATHER WATCH" LEAK BARRIER BY GAF OR EQUAL.
2. SNOW / ICE SHIELD SHALL BE INSTALLED ALL ALONG THE EAVES LINE. EXTEND THE SHIELD FROM EAVES TO 24" BEYOND EXTERIOR WALL LINE.
3. VALLEYS: 30" WIDE.
4. HIP/S AND RIDGES: 18" WIDE (OPTIONAL)
5. AROUND DORMERS AND CHIMNYS : 24" WIDE.
6. AROUND SKY LIGHT, PLUMBING VENTS AND ROOF FANS : 18" WIDE.



THICKENED SLAB 1/2" = 1'-0"



INTERIOR RAILING SYSTEM
 ICC EVALUATION SERVICE, INC.
 www.icc-es.org
 REPORT NUMBER: ESR-1400
 MANUFACTURER: TIMBERTECH LIMITED
 884 PRAIRIE AVE.
 WILMINGTON, OH. 45177
 (855-852-7832), www.certainteed.com
 EVALUATION SUBJECT: TIMBERTECH ORNAMENTAL RAILING SYSTEM
 EVALUATION SCOPE : 2003 (IRC)



BARKER STREET ADDITION		CONTRACTOR: PETER BALL	
2909 BARKER STREET		W/301-299-8910	
SILVER SPRING, MD 20910		207 SHAW AVE. 20904	
MCK ARCHITECTS		SILVER SPRING, MD 20904	
TEL:(301) 622-0322			
FOUNDATION PLAN & 1ST FLOOR FRAMING PLAN			
ROOF FRAMING PLAN			
SHEET TITLE:	SCALE:	CHECKED:	APPROVED:
DATE: 06/09/2008	AS SHOWN		
DRAWING NO.			
A-7			

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAW OF THE STATE OF MARYLAND.
 LICENSE NUMBER A-3116 EXPIRATION DATE 5-15-2009



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 07/28/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #489322 – Rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the July 23, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kalyan and Binata Bose
Address: 2909 Barker Street, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
246:777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Peter Ball
Daytime Phone No.: 301-537-7405

Tax Account No.: 00995412
Name of Property Owner: Kalyan + Binata Bose Daytime Phone No.: 703-898-4517
Address: 2909 Barker St. Silver Spring, MD 20910
Street Number City State Zip Code
Contractor: Potomac Home Improvement Phone No.: 301-299-8910
Contractor Registration No.: MHIC 87346
Agent for Owner: Peter Ball Daytime Phone No.: 301-537-7405

LOCATION OF BUILDING/PREMISE

House Number: 2909 Street: Barker Street
Town/City: Silver Spring Nearest Cross Street: Giant Ave
Lot: _____ Block: 25 Subdivision: Capital View Park
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed, and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter Ball Signature of owner or authorized agent 6/30/08 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 7-28-08
Application/Permit No.: 489322 7/1/08 WR Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Build 1st Floor addition w/ basement
approx. 15' x 39' at rear of house*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*No effect to surrounding neighbors. The
style of the addition resembles existing
house structure. The material used is in
existence in the neighborhood.*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

I - D

HPC

July 13, 2008

2909 Barker Street
Silver Spring MD 20910

Capitol View Park

The Capitol View Park Historic review committee and the Executive Board of the Citizens Association support the request of Kalyan and Binata Bose at 2909 Barker Street to construct a rear addition on this non-contributing resource.

Sincerely

Betsy Tebow, President
Capitol view Park Citizens Association

Carol Ireland and Duncan Tebow, co-chairs
Capitol View Park Historic review Committee

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	2909 Barker Street, Silver Spring	Meeting Date:	7/23/08
Resource:	Non-Contributing Resource Capitol View Park Historic District	Report Date:	7/16/08
Applicant:	Kalyan and Binata Bose	Public Notice:	7/09/08
Review:	HAWP	Tax Credit:	None
Case Number:	31/07-08D	Staff:	Anne Fothergill
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within Capitol View Park Historic District
DATE: 1956

PROPOSAL

The applicant is proposing to build an addition at the rear of the house. The addition will be 39' wide and 15' deep and will have vinyl siding and stucco at the basement level.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Capitol View Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance

or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed rear addition to a Non-Contributing resource will not have a negative impact on the historic district and staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Peter Ball

Daytime Phone No.: 301-537-7405

Tax Account No.: 00995412

Name of Property Owner: Kulwan + Bineta Bose Daytime Phone No.: 703-878-4517

Address: 2909 Barkers St. Silver Spring, MD 20910
Street Number City Street Zip Code

Contractor: Potomac Home Improvement Phone No.: 301-294-8910

Contractor Registration No.: MHIC 87346

Agent for Owner: Peter Ball Daytime Phone No.: 301-537-7405

LOCATION OF BUILDING/PREMISE

House Number: 2909 Street: Barkers Street

Town/City: Silver Spring Nearest Cross Street: Clement Ave

Lot: _____ Block: 25 Subdivision: Capital View Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 6/30/08 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 789322 1108 OR Date Filed: _____ Date Issued: _____

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style of the addition resembles existing
house structure. The material used is in
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4

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

Owner's mailing address

Kalyan & Binata Bose
2909 Barker St.
Silver Spring, MD
20910

Owner's Agent's mailing address

Peter Ball
Potomac Home Improvement
10600 Vantage Ct
Potomac, MD 20854

Adjacent and confronting Property Owners mailing addresses

Steve Adams
2907 Barker St.
Silver Spring, MD
20910

John Bellinger
2911 Barker St.
Silver Spring, MD
20910

Doug Reingold
2910 Barker St.
Silver Spring, MD
20910

Scott & Sarah Wood
10103 Grant Ave
Silver Spring, MD
20910

David Edwin Young
10105 Grant Ave
Silver Spring, MD
20910

Randy Cumes
10109 Grant Ave
Silver Spring, MD
20910

POTOMAC HOME IMPROVEMENT

10600 Vantage Court
Potomac, MD 20854

Tel:(301)299-4672
Fax:(301)299-8628
E-mail: pball3@juno.com

June 23, 2008

Historic Preservation Commission
c/o DPS
255 Rockville Pike
Rockville, MD 20850

Re: Addition at 2909 Barker Street, Silver Spring, MD

Dear Sirs/Madams:

Please find a complete application along with all supporting documents for a rear addition at 2909 Barker St., Silver Spring, MD.

The house is located in Capital View Park, which falls under the jurisdiction of the Historic Preservation Commission. The addition is for the rear of the house. It consists of a first floor with a basement. The size is approximately 15' deep and 39' wide.

The materials use will be Certaintee XT 25 asphalt shingles matching the existing house shingles; stucco finish on basement level of new addition, Certaintee 5" vinyl horizontal siding (color to be beige) and Certaintee white vinyl sliders. These materials already exist in the neighborhood. Mr. Bellinger at 2909 Barker Street has the same type of shingles, siding and windows.

The addition will cause no adverse effect to the neighborhood, because

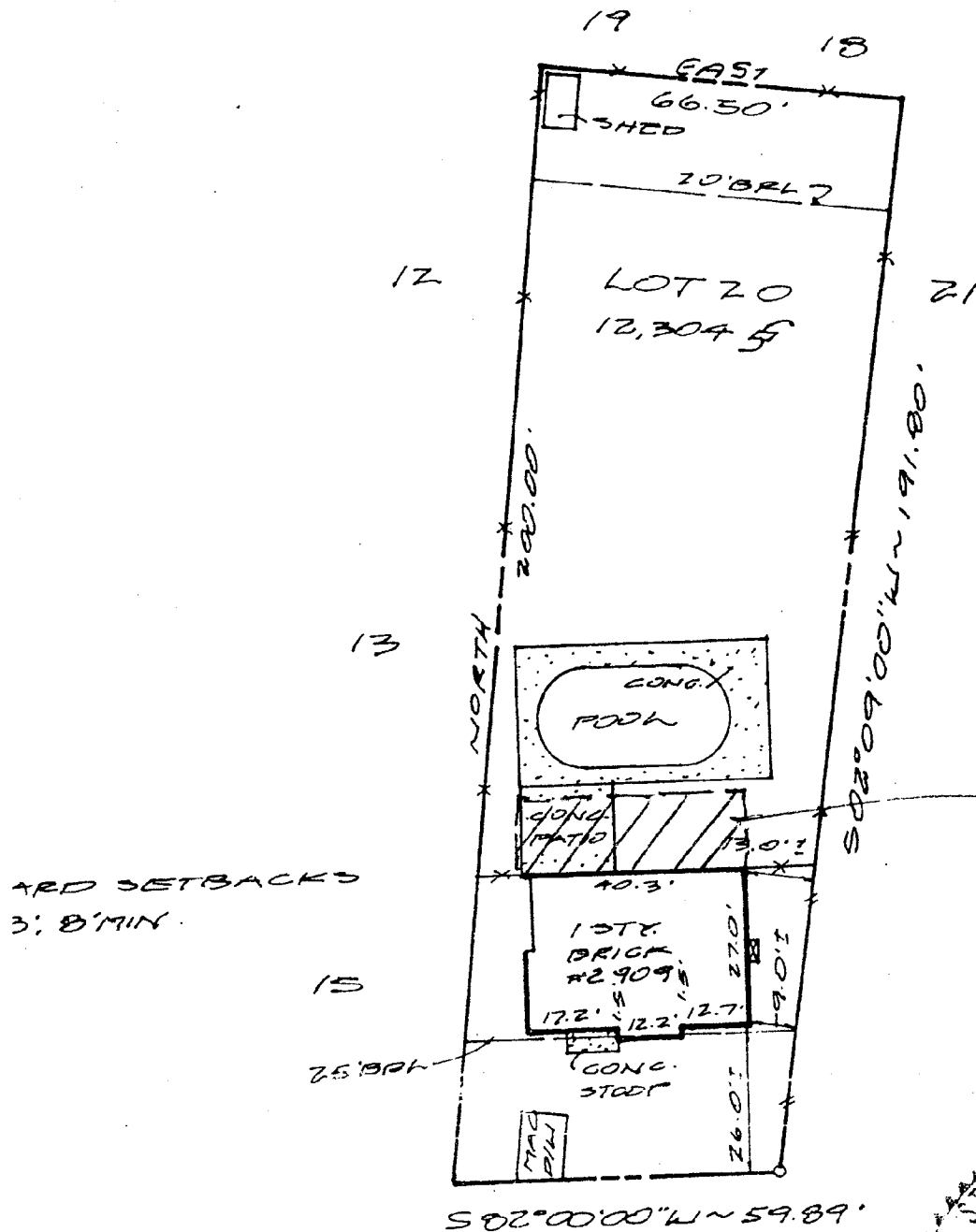
1. the addition is in harmony with the existing house;
2. the materials used are already being used in the neighborhood;
3. the addition cannot be seen from the street.

If you need additional information, please contact me at the above address or telephone number.

Sincerely,
Potomac Home Improvement Co.


Peter Ball

6



ARD SETBACKS
3'; 8' MIN.

Proposed
Addition
39' 6" x 15' 0"



OCK 25

BARKER STREET

EW PARK

Block 25

Capital View Park
Montgomery County, MD

Surveyor's Certification

7

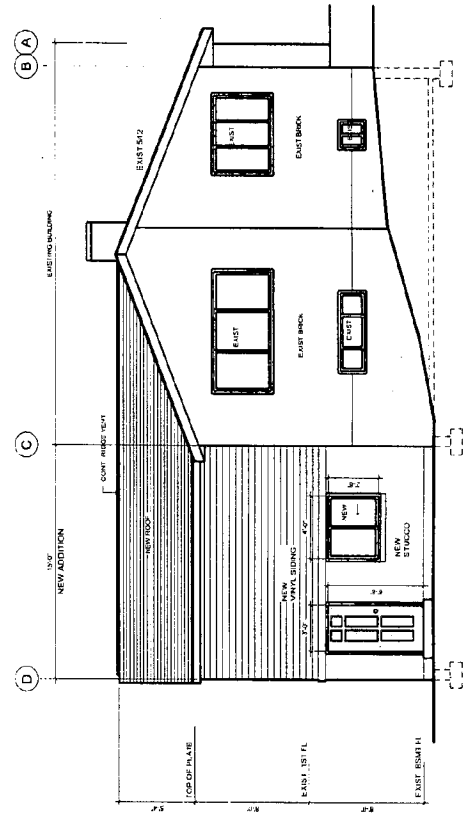
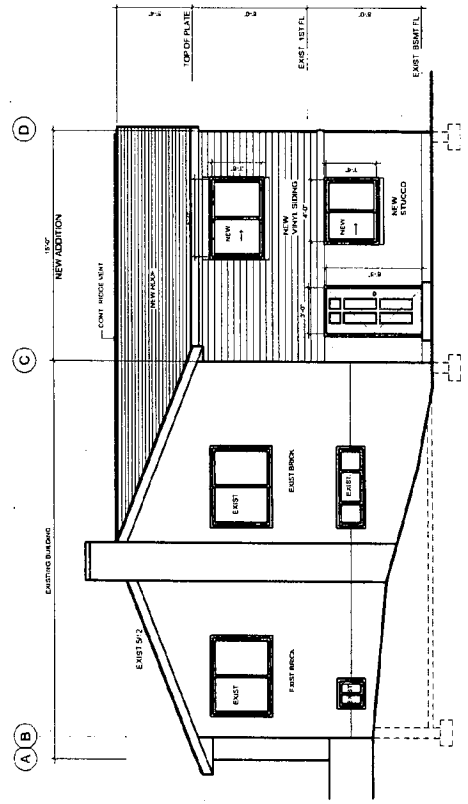
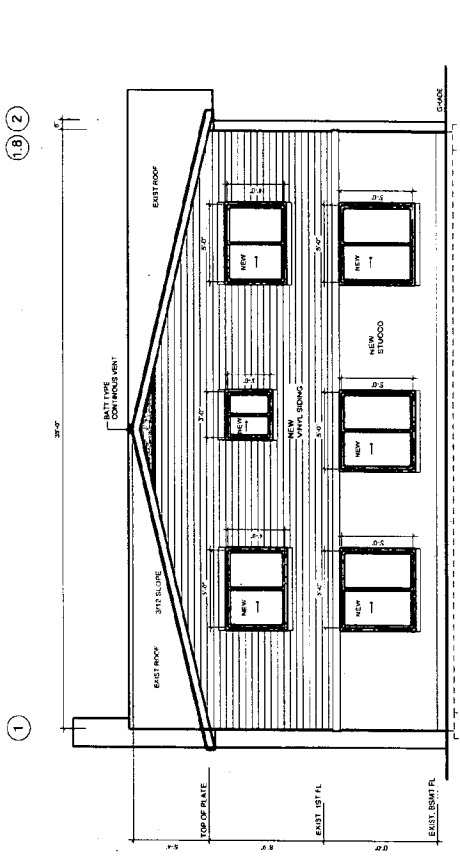
shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible
wise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence
anted nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie
Building certification lines shown are not available information

BARKER STREET ADDITION
 2909 BARKER STREET
 SILVER SPRING, MD 20910
 CONTRACTOR: PETER BULL

MKK ARCHITECTS
 207 SHAW AVE.
 SILVER SPRING, MD 20904
 TEL: (301) 922-0222

SHEET TITLE: **ELEVATIONS**
 DRAWING NO. **1/1**

DATE: 06/02/2008
 SCALE: AS SHOWN
 CHECKED: APPROVED:



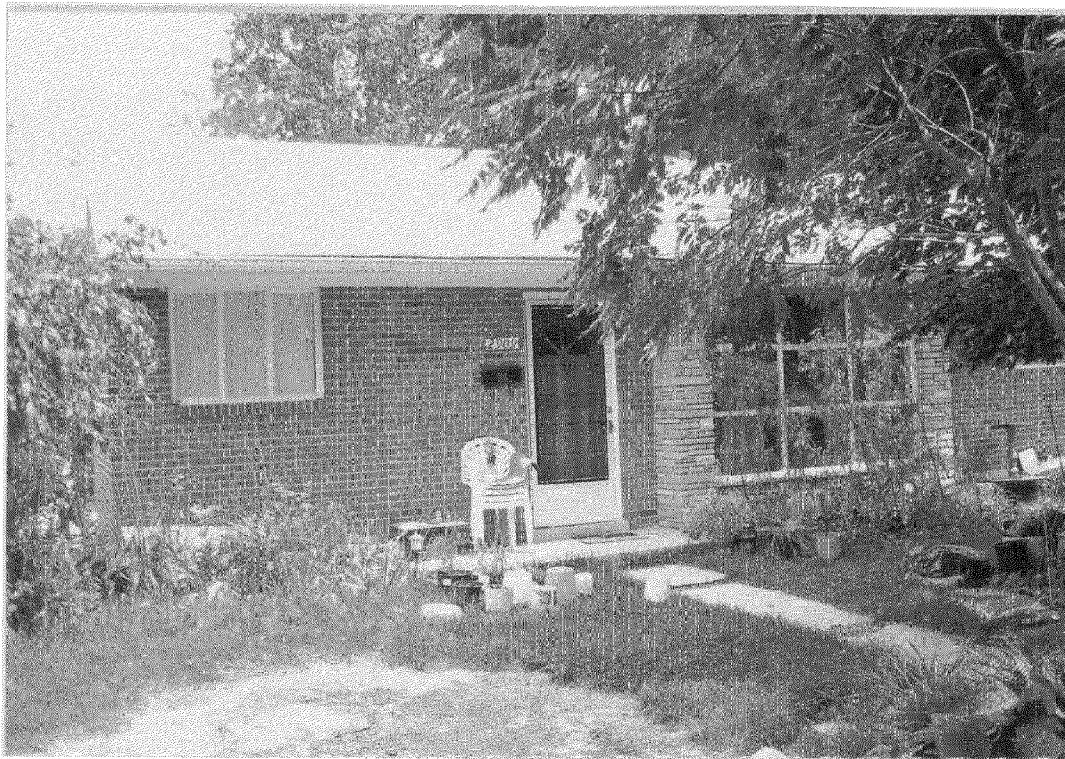
8

2909 Barker



11

Existing Property Condition Photographs (duplicate as needed)



Detail: Front of house



Detail: Rear of house

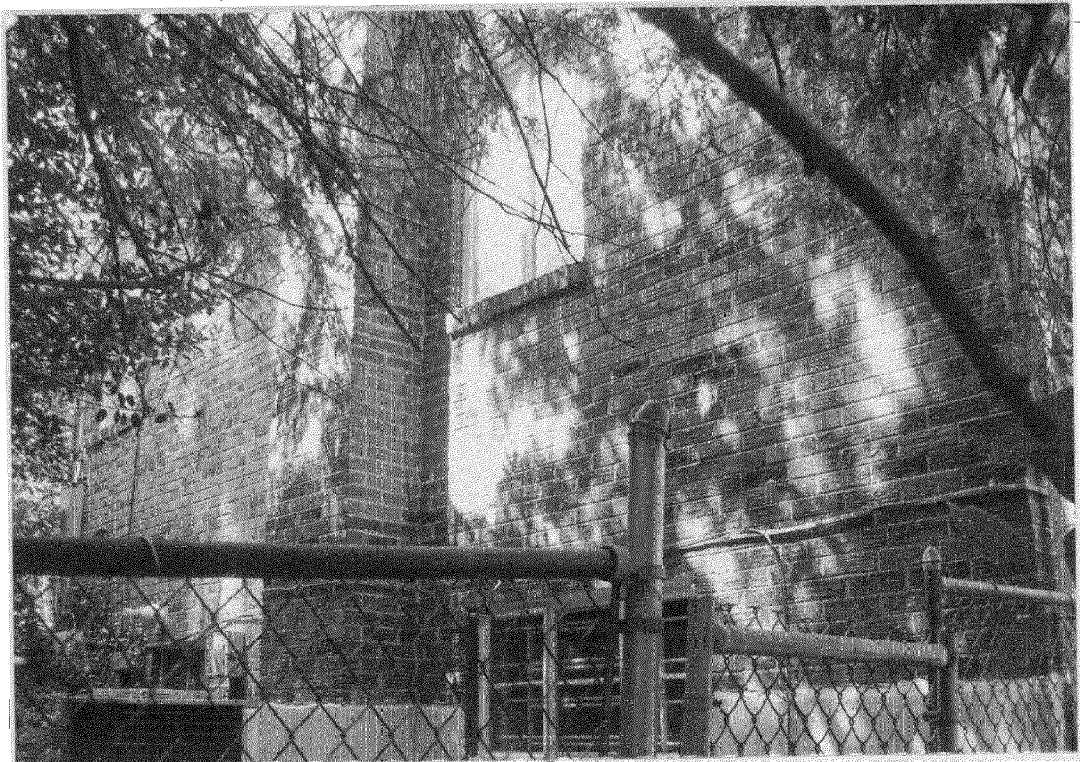
Applicant: _____

Page: ___

Existing Property Condition Photographs (duplicate as needed)



Detail: Left side of house



Detail: Right side of house

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

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Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

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