

37/03-06K 7333 Piney Branch Road  
Takoma Park Historic District, 37/03



## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 4/12/2006

### MEMORANDUM

TO: Patricia Barth & Edwin Scorza  
7333 Piney Branch Road, Takoma Park

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #415301

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Your Historic Area Work Permit application for Rear Addition was Approved with Conditions by the Historic Preservation Commission at its 4/11/2006 meeting.

The conditions of approval were:

1. *Should the windows ultimately have divided lights, they will be wood simulated divided light wood windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance*
2. *Siding on the addition will match the profile of the historic siding rather than the existing asphalt shingles.*

Prior to applying for a county building permit, if applicable, from the Montgomery County Department of Permitting Services, you must contact your assigned staff person to arrange for your three (3) sets of final permit drawings to be stamped at the Historic Preservation Office at 1109 Spring Street. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another town government agency before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval memo (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!





## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 4/12/2006

### MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #415301, Rear Addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the 4/11/2006 meeting.

1. *Should the windows ultimately have divided lights, they will be wood simulated divided light wood windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance*
2. *Siding on the addition will match the profile of the historic siding rather than the existing asphalt shingles.*

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Patricia Barth & Edwin Scorza

Address: 7333 Piney Branch Road, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JOHN KATINAS, AIA  
Daytime Phone No.: 301-652-8300

Tax Account No.: \_\_\_\_\_

Name of Property Owner: PATRICIA BARTH & EDWIN SCORZA Daytime Phone No.: 301-641-7340

Address: 7333 PINEY BRANCH ROAD TAKOMA PARK MD 20912  
Street Number City State Zip Code

Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: JOHN KATINAS, AIA Daytime Phone No.: 301-652-8300

### LOCATION OF BUILDING/PREMISE

House Number: 7333 Street: PINEY BRANCH ROAD  
Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE  
Lot: 38 Block: 12 Subdivision: BRASHER'S SUBDIVISION  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 300,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed, and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

21 MARCH 2006  
Date

Approved: With Conditions For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: Jessica D. Malley Date: 4/11/06

Application/Permit No.: 415301 Date Filed: 3/22/06 Date Issued: \_\_\_\_\_

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 7333 Piney Branch Road, Takoma Park      **Meeting Date:** 4/11/2006  
**Resource:** Contributing Resource      **Report Date:** 4/4/2006  
Takoma Park Historic District  
**Applicant:** Patricia Barth & Edwin Scorza      **Public Notice:** 3/28/2006  
(John G. Katinas, AIA)  
**Review:** HAWP      **Tax Credit:**  
**Case Number:** 37/03-06K      **Staff:** Tania Tully  
**PROPOSAL:** Rear Addition

**RECOMMENDATION:** Approve with Conditions

**STAFF RECOMMENDATION:**

*Mention exposure of siding*

Staff is recommending that the HPC approve this HAWP application with the following condition:

- Should the windows ultimately have divided lights, they will be wood simulated divided light wood windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the **Takoma Park Historic District**  
**STYLE:** Foursquare  
**DATE:** c.1920

This two-story frame house, now covered with asbestos shingles, is a rarity in that it and the adjacent vacant parcel is still owned by descendants of the first owners. The house has a small rear kitchen addition, but retains its original windows and trim. With a footprint of 1100 SF, it sits on a large 17,820 SF wooded lot situated well above the traffic along Piney Branch Road. The steep driveway shares a curb cut with the adjacent property to the right. The applicants also own the vacant parcel to the left.

**HISTORIC CONTEXT**

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

"Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century."

"Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900."

"By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. "

"The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just "three minutes to car line" – and individuality – "no two are alike in design." At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue."

"Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976."

**PROPOSAL:**

The applicants are proposing to construct a 1-story plus basement 965 SF addition at the rear left corner of the house. It will be of frame construction, sit on a parged masonry foundation, and have either wood or fiber cement siding. The trim will be painted wood and the roof will be asphalt shingles. Views of the wooded lot informed many of the design decisions. The applicants also intend to remove the asbestos siding on the historic house and reside with horizontal wood siding on the 1<sup>st</sup> level and wood shingles on the 2<sup>nd</sup>. A tree protection plan was submitted with the application.

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale

and massing

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

### ***Secretary of the Interior's Standards for Rehabilitation:***

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

New additions on historic structures should be avoided, if possible, and considered only after it is determined that needs cannot be met by altering secondary, non-character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alternative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged or destroyed.

This project has been before the Commission at two Preliminary Consultations: September 14, 2005 and December 21, 2005. (Transcripts for the 12/21 meeting begin on Circle 25) On the whole, the Commission found the revision seen at the 2<sup>nd</sup> Preliminary to be an improvement and more compatible with the historic house. In particular, the proposed addition has much less of a physical and visual impact on the historic



house. The only area of significant discussion was the roof/turret where the addition meets the historic house. Otherwise, the Commission merely suggested making some tweaks to the design and returning as a HAWP application.

Although the applicants chose not to change the turret roof as requested by one Commissioner, Staff is recommending approval with one condition.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE MD 20850  
240/777-6170

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JOHN KATINAS, AIA  
Daytime Phone No.: 301-652-8300

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: PATRICIA BARTH & EDWIN SCORZA Daytime Phone No.: 301-641-7340  
Address: 7333 PINEY BRANCH ROAD TAKOMA PARK MD 20912  
Street Number City Street Zip Code

Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: JOHN KATINAS, AIA Daytime Phone No.: 301-652-8300

**LOCATION OF BUILDING/PREMISE**

House Number: 7333 Street: PINEY BRANCH ROAD  
Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE  
Lot: 38 Block: 12 Subdivision: BRASHER'S SUBDIVISION  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input checked="" type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 300,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 21 MARCH 2006 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 415301 Date filed: 3/22/06 Date issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

## KATINAS BRUCKWICK ARCHITECTURE

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4931 Saint Elmo Avenue Suite 2 Bethesda Maryland 20814  
301.652.8300 office 301.652-8306 fax  
www.KBArchitecture.com

**2 December 2005**

### **Existing Building and Proposed Addition Description**

7333 Piney Branch Road is a four square circa 1922 frame house on a large 17,820 square foot lot in Takoma Park, Maryland. The house has an existing footprint of approx 1100 square feet. The exterior frame of the house is now covered with asbestos shingles. The wood windows and trim are original as is the front porch and dormers. The foundation wall and chimney are cement plaster over masonry. Located on the first floor are four rooms of which three are original; entrance foyer with stair, living room and dining room. The kitchen, pantry and bathroom have been renovated or added. The second floor has its original four bedrooms and one bath. There is an unfinished attic and an unfinished cellar.

The proposed one story plus basement addition has a foot print of approx 965 square feet and is sited off the back left corner of the house. The addition in this position maintains three corners of house, the side staircase landing window and door, the rear dining room window, and all of the second floor windows. The addition is skewed from the house which allows for views of the yard in all directions. Interior access to the addition is through the kitchen which becomes a back hall with new stair to the basement. On the first floor of the addition are the new kitchen, breakfast room, family room, home office, powder room and mudroom. There is also a side door entrance and deck. The second floor maintains all rooms. The bathroom will be renovated. The new basement is for a master suite, workroom and laundry room and has a walkout patio to side yard.

The addition will be a frame structure on a masonry foundation with a painted finish. The exterior frame finishes will be painted wood or cement board siding, painted wood casing, corner boards and cornice. The windows will have grills and be wood double hung and casements. The roof will be asphalt shingles.

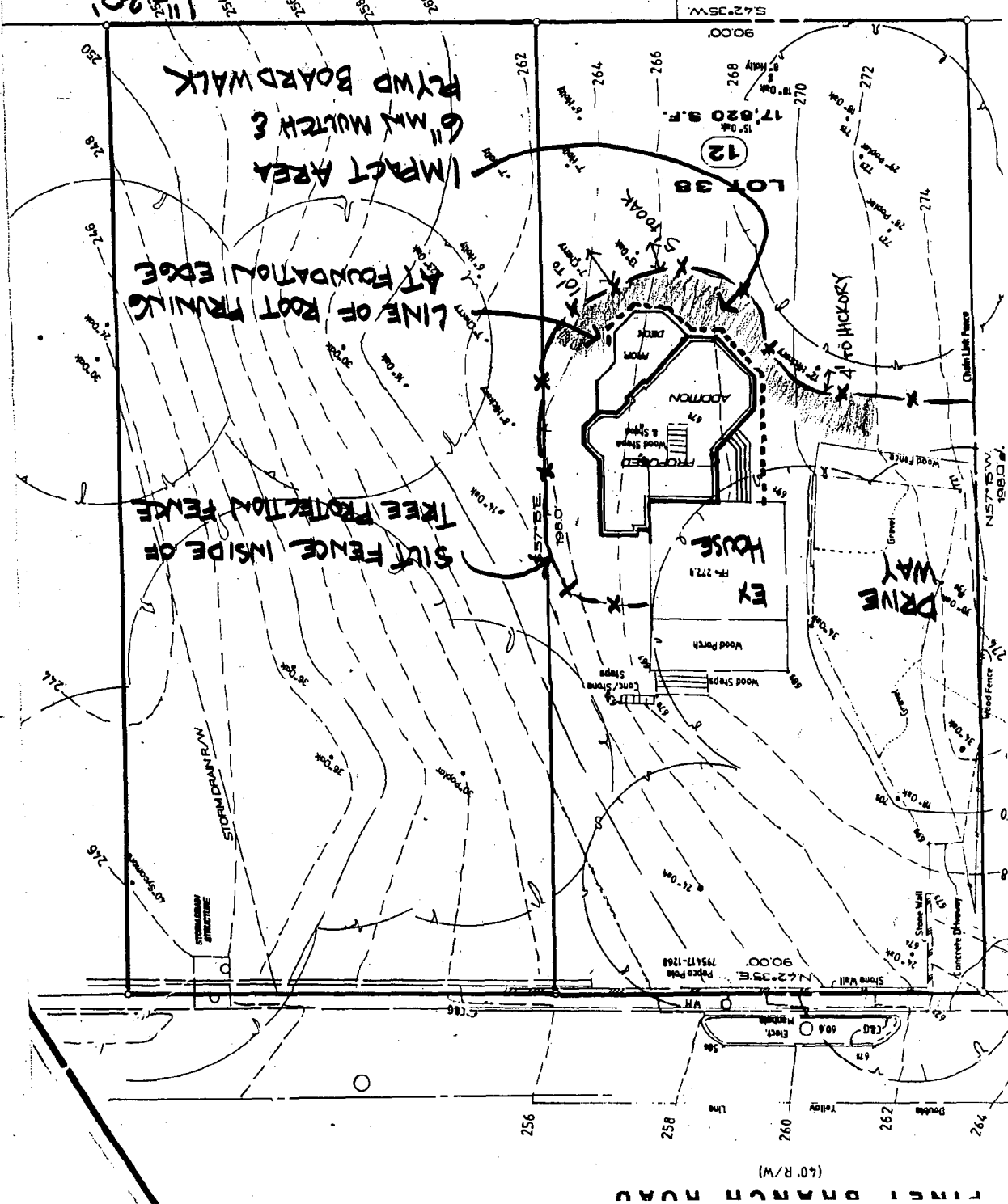
It is the owner's intent to remove the asbestos shingles from the existing house and replace them with wood siding at first floor level and wood shingles at the second level as was originally on the house.

END

John Katinas, AIA  
Principal  
Katinas Bruckwick Architecture

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**TREE PROTECTION PLAN 7333 PINEY BRANCH ROAD 3 MARCH 06**  
**BARTH/SCUTZ & RESIDENCE**  
**KATMAS BRICKWICK ARCHITECTURE**



PINEY BRANCH ROAD (60' R/W)

BRASHARS SUBDIVISION - TAYLOR PARK BOOK 2 PLAT BOOK B PLAT LOT 35

**ELEVATION NOTES:**

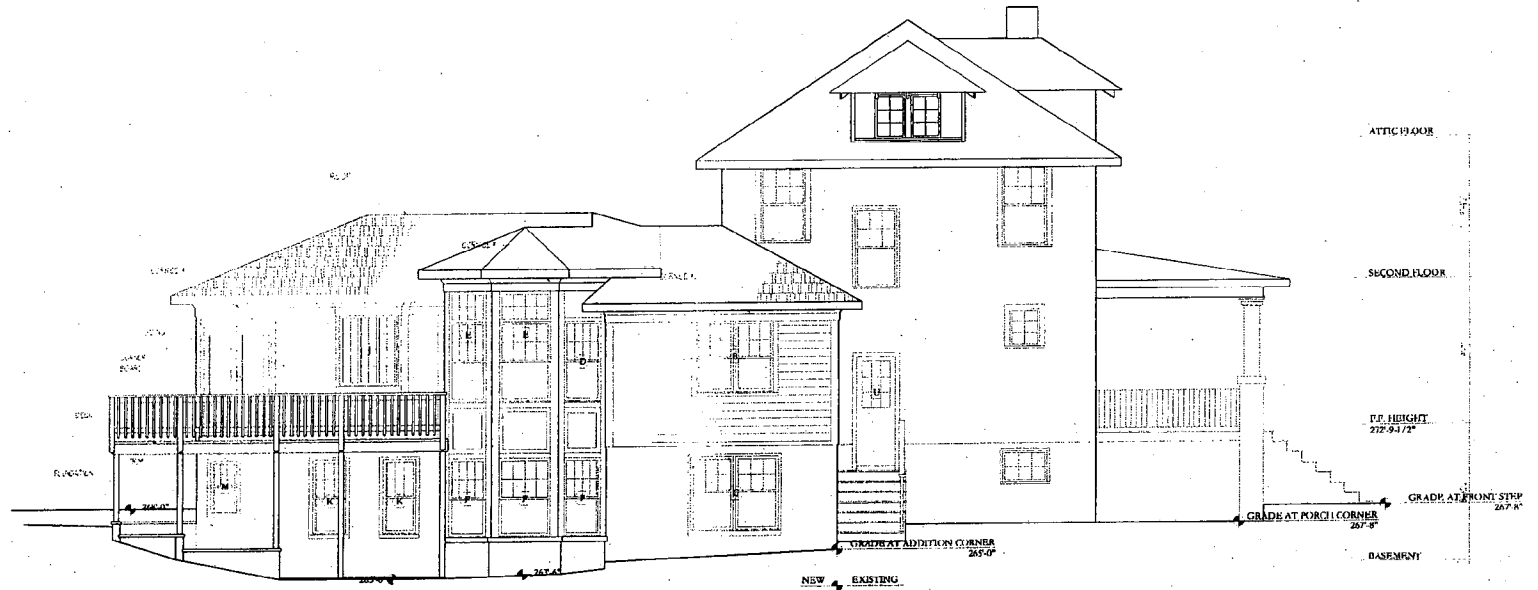
1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER.
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



**NORTH WEST ELEVATION**

**2**

1" = 1'-0"

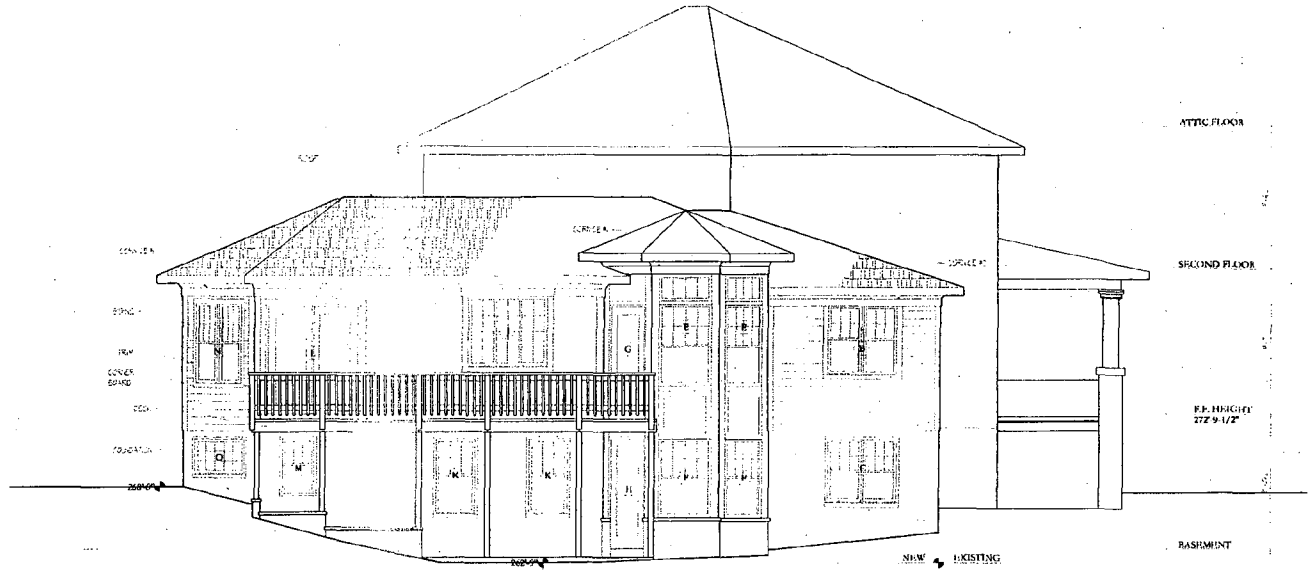


**NORTH EAST ELEVATION**

**1**

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.
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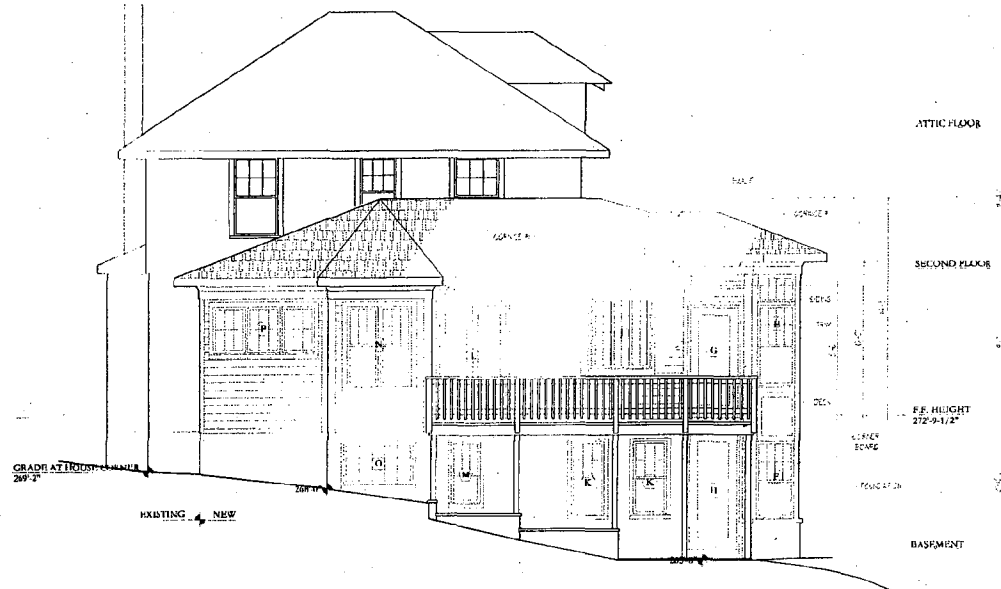


**EAST ELEVATION**

2

1/4" = 1'-0"

WINDOW - EXTERIOR DOOR SCHEDULE				
JELDWIN MANUFACTURER, POZZI COLLECTION, GLAD, INSULATED, LOW-E GLASS, SGL, PAINTED WOOD INTERIOR				
ALL MEASUREMENTS REPRESENT ROUGH OPENING DIMENSIONS				
SYM	TYPE	WIDTH	HEIGHT	COMMENT
A	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
B	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
C	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
D	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
E	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
F	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
G	OUTSWING DOOR	24-11/8"	81-7/8"	OPN. 24-0"
H	OUTSWING DOOR	24-11/8"	81-7/8"	OPN. 24-0"
I	OUTSWING FRENCH DOOR	24-11/8"	81-7/8"	OPN. 24-0"
J	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
K	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
L	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
M	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
N	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
O	CASEMENT	24-11/8"	41-5/8"	OPN. 24-0"
P	CASEMENT	24-11/8"	41-5/8"	OPN. 24-0"
R	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
S	DEL. WND	24-11/8"	41-5/8"	OPN. 24-0"
T	DOOR	24-11/8"	81-7/8"	
U	DOOR	24-11/8"	81-7/8"	



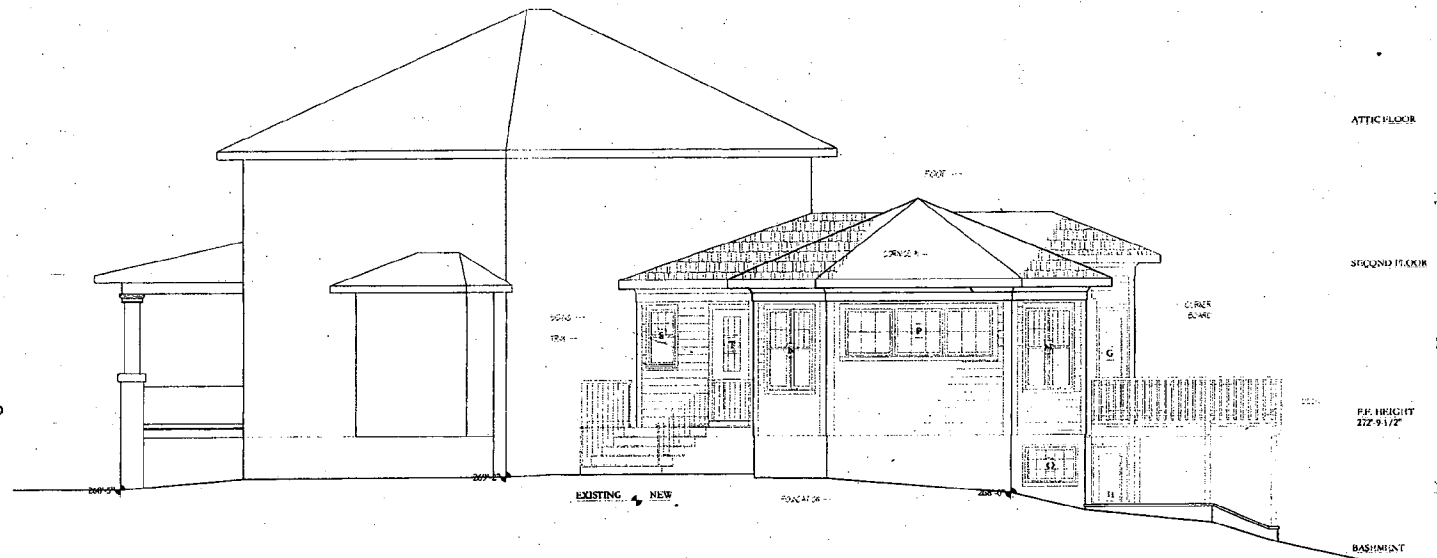
**SOUTH EAST ELEVATION**

1

10

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CHAMFRT FIBER BOARD SIDING ON VAPOR BARRIER.
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & FND DAM AT ALL WINDOW HEAD & SH.S.



**SOUTH ELEVATION**

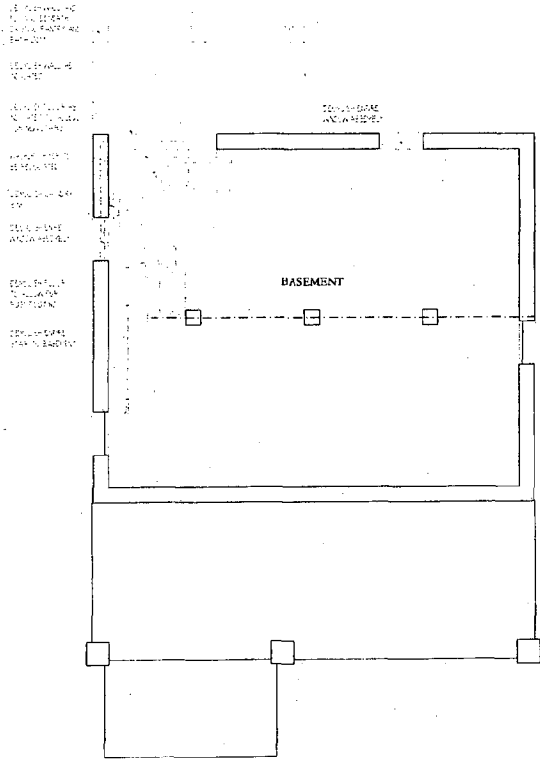
2

1" = 1'-0"



**SOUTH WEST ELEVATION**

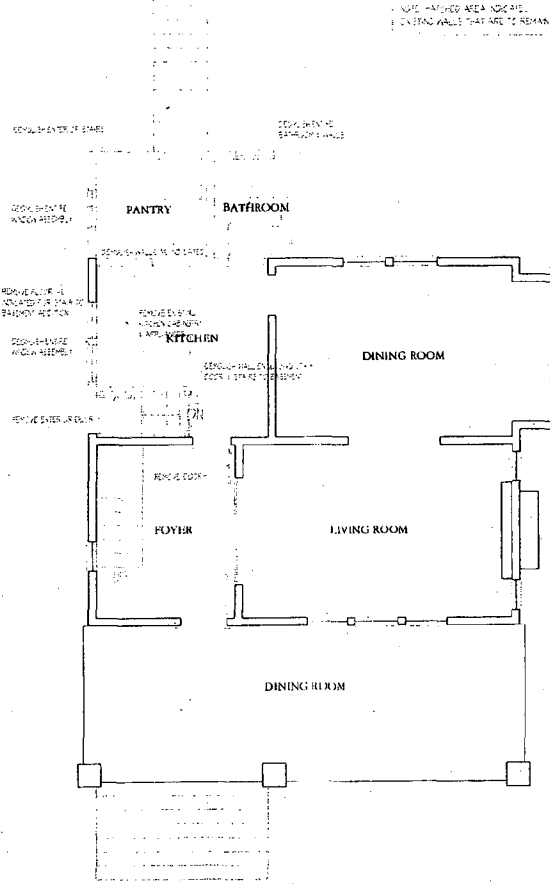
11



BASEMENT

3

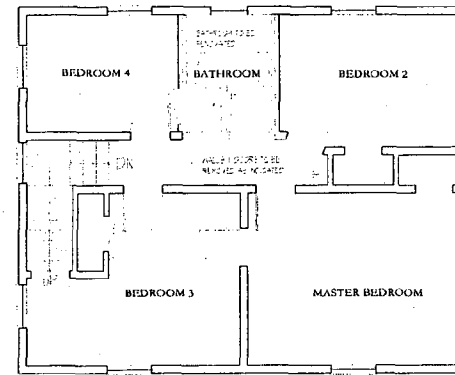
1/4" = 1'-0"



1ST FLOOR

2

1/4" = 1'-0"



2ND FLOOR

1

1/4" = 1'-0"

- DEMO NOTES:
1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
  2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
  3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
  4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
  5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDITIOUSLY TO MATCH EXISTING IF DAMAGED.
  6. ABANDON MECHANICAL DUCTS NOT TO BE USED IN PLACE OR RE-USE AS PART OF NEW 2 ZONE SYSTEM.
  7. MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

KATINAS BRUCKWICK  
ARCHITECTURE

4631 SAINT ELMO AVENUE  
BETHESDA, MARYLAND 20814  
TEL: 301.652.8300 FAX: 301.652.8306

BARTH/SCORZA RESIDENCE  
ADDITION

7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

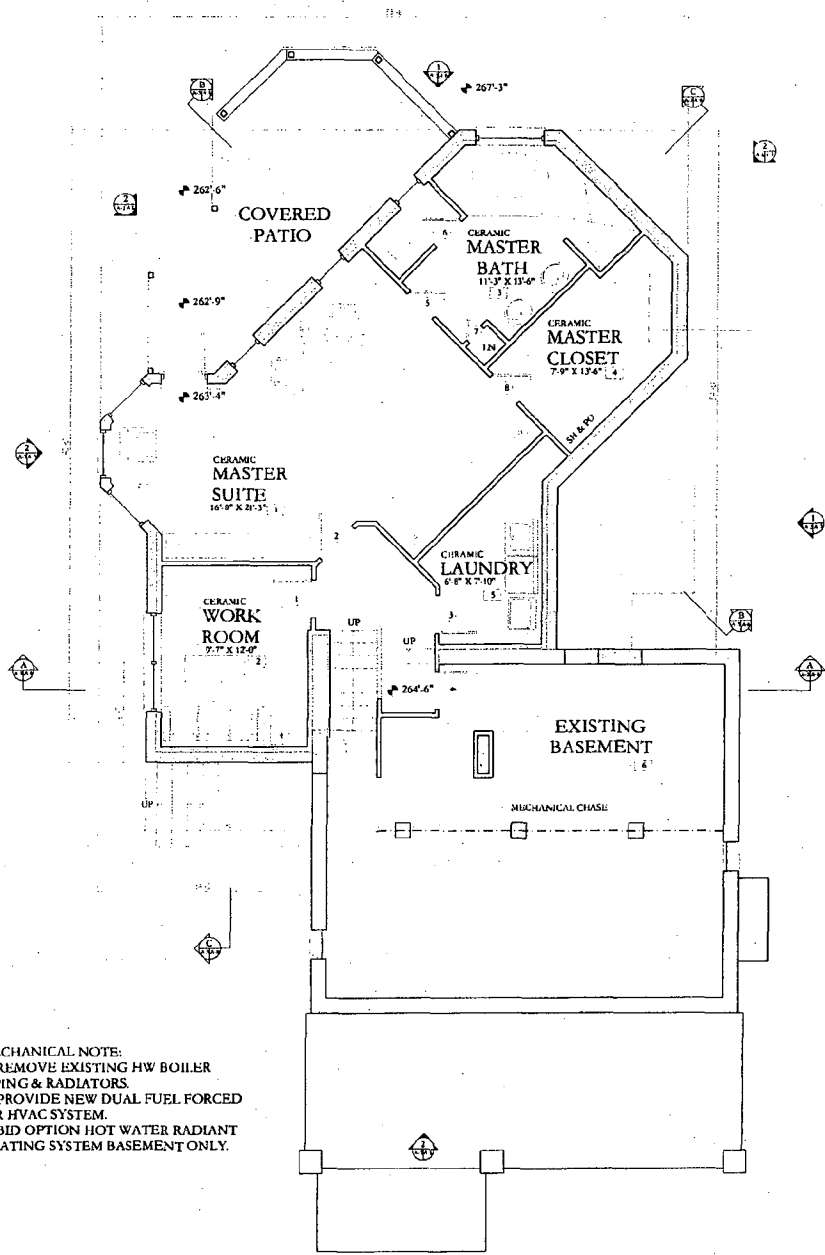
05-200

ISSUE DATE  
CHECK SET 03.01.06  
SUBMITTAL 03.20.06

DEMO

12



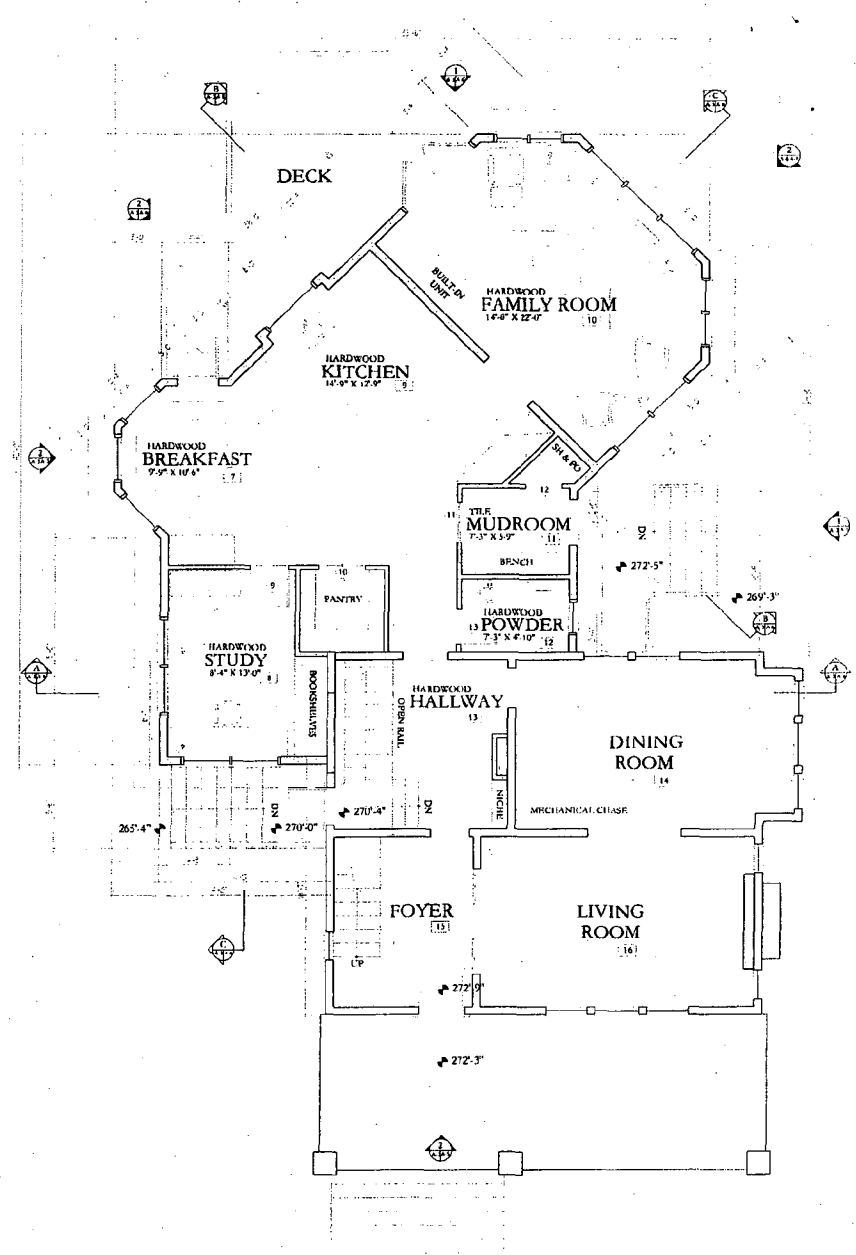


MECHANICAL NOTE:  
 1. REMOVE EXISTING HW BOILER PIPING & RADIATORS.  
 2. PROVIDE NEW DUAL FUEL FORCED AIR HVAC SYSTEM.  
 3. BID OPTION HOT WATER RADIANT HEATING SYSTEM BASEMENT ONLY.

BASEMENT PLAN

2

1/4" = 1'-0"



1ST FLOOR PLAN

1

13

**INTERIOR DOOR SCHEDULE**  
DOORS ARE MASONITE SOLID, STYLE TO MATCH EXISTING

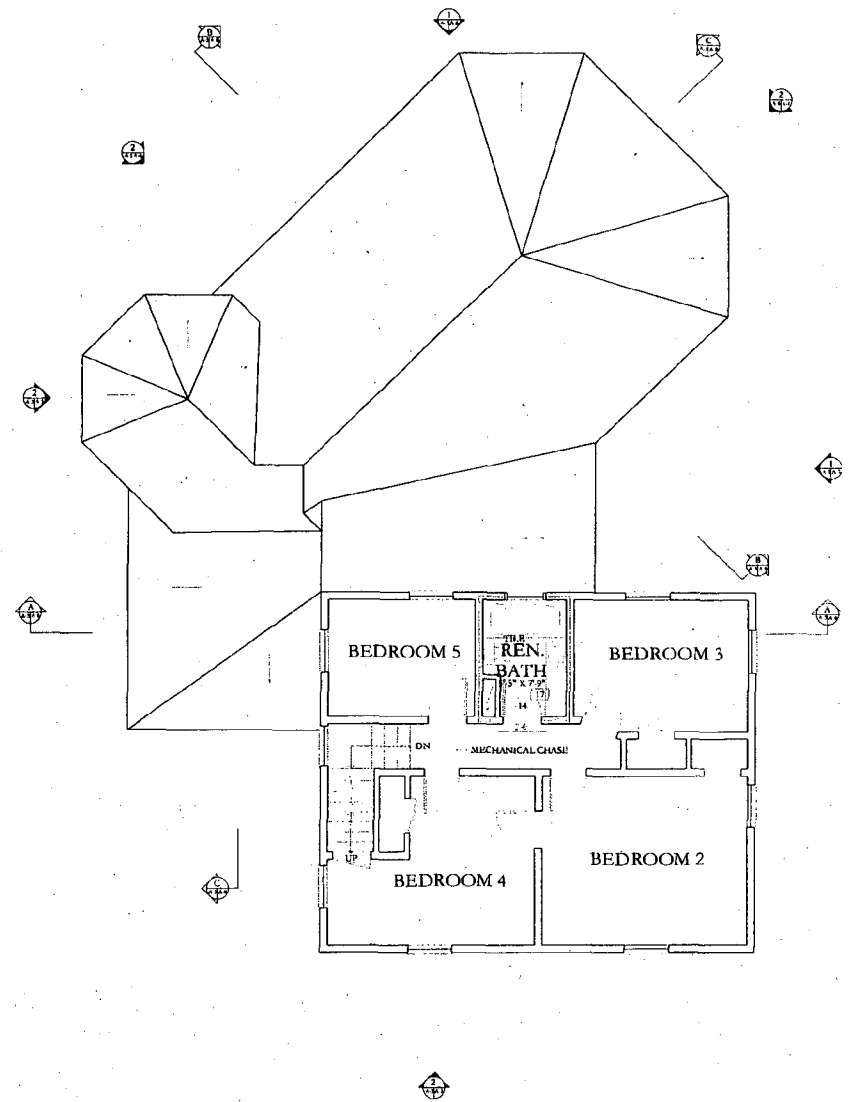
SYM	WIDTH	HIGHT	COMMENT
1	3'-0"	6'-8"	
2	3'-0"	6'-8"	
3	3'-0"	6'-8"	
4	3'-0"	6'-8"	
5	3'-0"	6'-8"	
6	3'-0"	6'-8"	
7	3'-0"	6'-8"	
8	3'-0"	6'-8"	
9	3'-0"	6'-8"	
10	3'-0" EACH LEAF 1'-6"	6'-8"	POCKET DOOR
11	3'-0"	6'-8"	POCKET DOOR
12	3'-0"	6'-8"	
13	3'-0"	6'-8"	
14	3'-0"	6'-8"	

**INDEX**

- FLOOR**  
 4022 FLOOR GRN. TO MATCH EXISTING  
 01- GLAZED CERAMIC FLOOR TILE 8" X 8"  
 02- GLAZED CERAMIC FLOOR TILE 12" X 12"  
 03- UNFINISHED CONCRETE FLOOR  
 04- CARPET  
**DOOR**  
 4020 DOOR MASONITE TO MATCH EXISTING  
 01- CERAMIC TILE BASE - MATCH GLAZED CERAMIC WALL TILE  
**HALLS**  
 01- FLEX LAMINATE PANEL - 1/2" MINER COMB 2 FINISH COAT  
 02- LAMINATE 1/4" ALTHA FINISH DRY PAINT - FINISH COAT 2 FINISH COAT  
 03- SOUND PLAY WHITE LAMINATE ON SMOOTH GIBBS CEILING  
 04- GLAZED CERAMIC WALL TILE  
 05- UNFINISHED GIBBS  
**HOLDINGS**  
 01- DOOR 1/2" MASONITE TO MATCH EXISTING  
 02- BASE BOARD TO MATCH EXISTING

**FINISH SCHEDULE**

NO.	NAME	FLOOR	WALLS	MOULDINGS	CLG PAINT	NOTES	NO.
1	MARBLE BUTE	01-2	01-2	01-2	01-2		1
2	MARBLE BUTE	01-2	01-2	01-2	01-2		2
3	MARBLE BUTE	01-2	01-2	01-2	01-2		3
4	MARBLE BUTE	01-2	01-2	01-2	01-2		4
5	MARBLE BUTE	01-2	01-2	01-2	01-2		5
6	SLIP-RESISTANT	01-2	01-2	01-2	01-2		6
7	SLIP-RESISTANT	01-2	01-2	01-2	01-2		7
8	SLIP-RESISTANT	01-2	01-2	01-2	01-2		8
9	SLIP-RESISTANT	01-2	01-2	01-2	01-2		9
10	SLIP-RESISTANT	01-2	01-2	01-2	01-2		10
11	SLIP-RESISTANT	01-2	01-2	01-2	01-2		11
12	SLIP-RESISTANT	01-2	01-2	01-2	01-2		12
13	SLIP-RESISTANT	01-2	01-2	01-2	01-2		13
14	SLIP-RESISTANT	01-2	01-2	01-2	01-2		14
15	SLIP-RESISTANT	01-2	01-2	01-2	01-2		15
16	SLIP-RESISTANT	01-2	01-2	01-2	01-2		16
17	SLIP-RESISTANT	01-2	01-2	01-2	01-2		17



2ND FLOOR & ADDITION ROOF PLAN

(12)

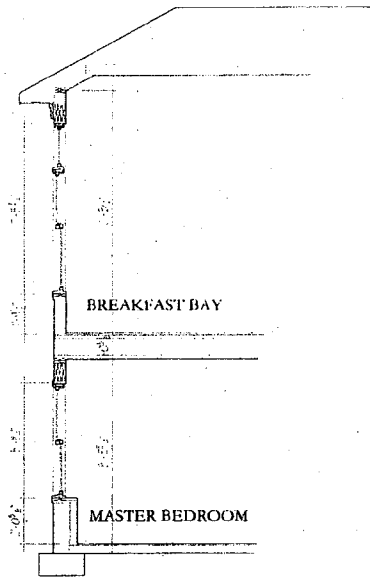
**BUILDING SECTION NOTES:**

**ROOF:**  
 30 YR. 350# OWENS CORNING OAKRIDGE PRO 40 AR  
 OR EQUAL ON 30# FELT ON 5/8" SHEATHING.  
 FIELD BUILT ROOF FRAMING- 2x10" TOP CHORD AND  
 2x6" BOTTOM CHORD AT 16" OC.

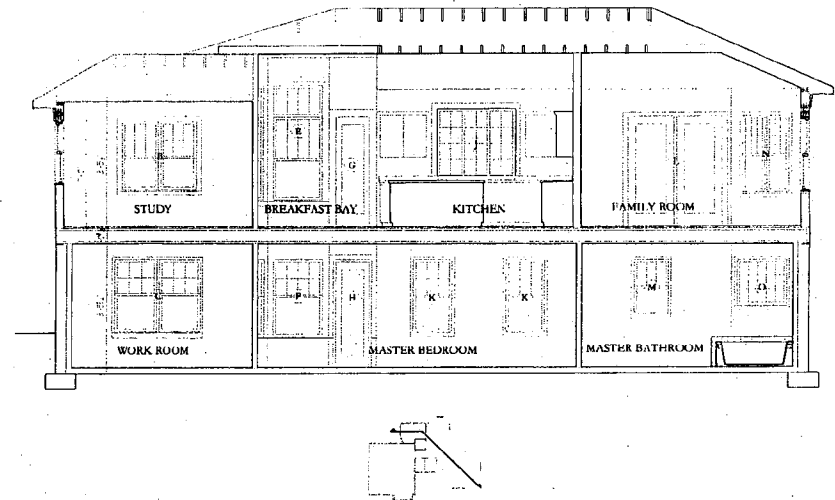
**WALLS:**  
 6" LAP PAINTED CEMENT FIBER BOARD SIDING ON  
 VAPOR BARRIER ON 1/2" SHEATHING ON 2x6's AT 16"  
 OC WITH 1/2" GYPSUM WALL BOARD.

**FLOOR DECK:**  
 FLOORING ON 3/4" T&G SHEATHING ON  
 ENGINEERED FLOOR TRUSSES. 5/4" STRAND BOARD  
 BAND. TREATED WOOD SILL PLATE ANCHOR BOLTED  
 TO FOUNDATION WALL.

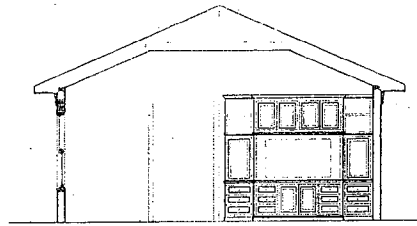
**INSULATION:**  
 WALLS R19  
 ROOF R30  
 OVERHANG R30  
 BASEMENT R13 FLOOR TO CEILING  
 CRAWL R13 FLOOR TO CEILING



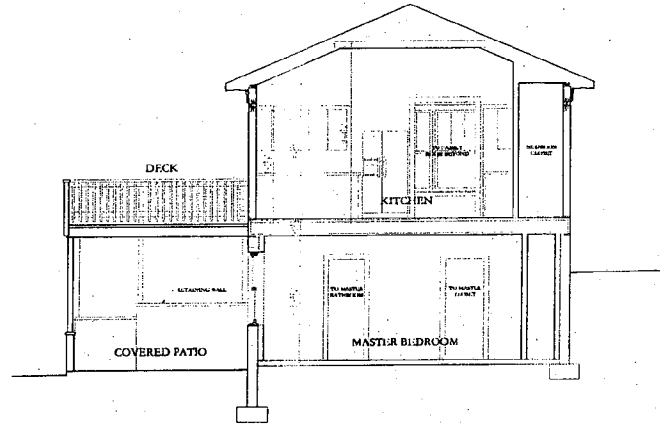
**SECTION DETAIL** 5  
 BREAKFAST BAY ABOVE & MASTER BAY BELOW 1/4" = 1'-0"



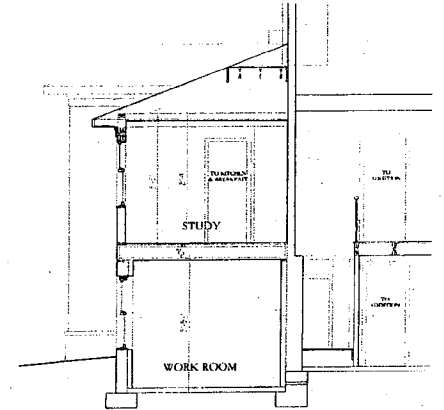
**SECTION** 3  
 1/4" = 1'-0"



**FAMILY ROOM SECTION** 4  
 W/ BUILT-INS 1/4" = 1'-0"

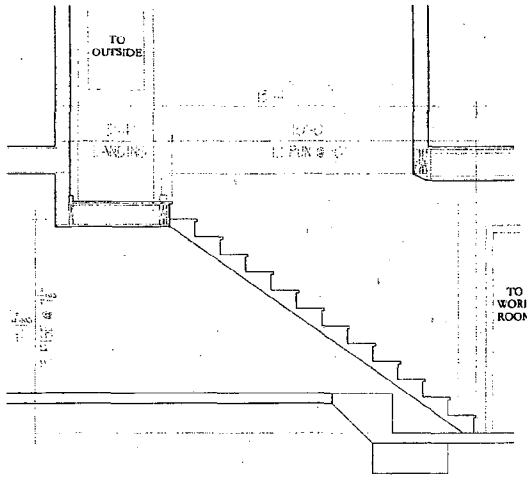


**SECTION** 2  
 1/4" = 1'-0"



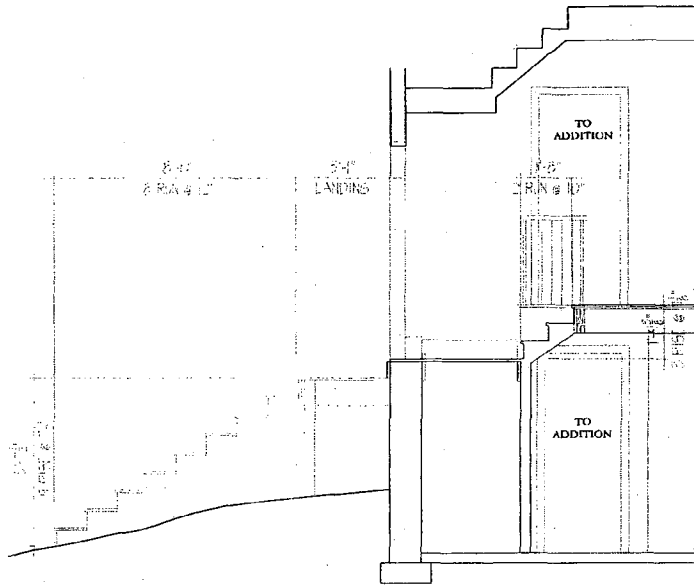
**SECTION** 1  
 STUDY ABOVE & WORK ROOM BELOW 1/4" = 1'-0"

15



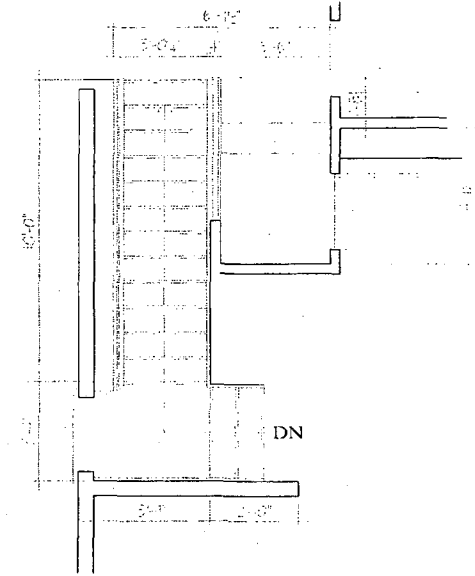
STAIR SECTION

$\frac{1}{2}'' = 1'-0''$



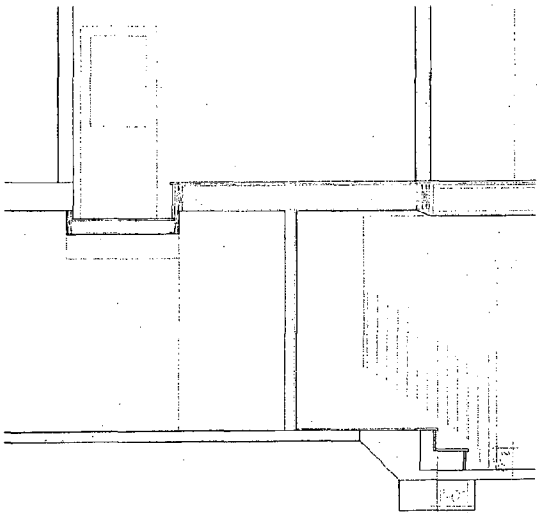
STAIR SECTION

$\frac{1}{2}'' = 1'-0''$

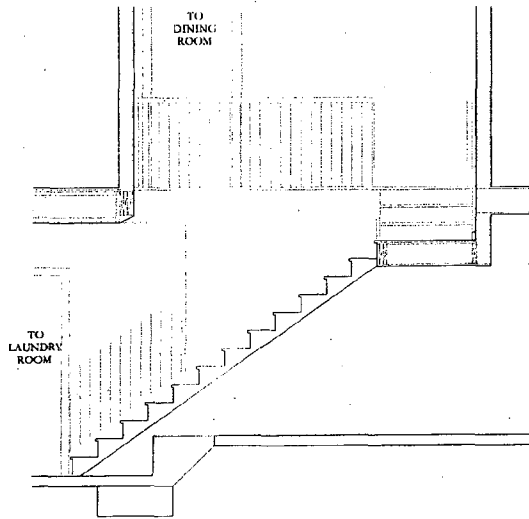


STAIR PLAN

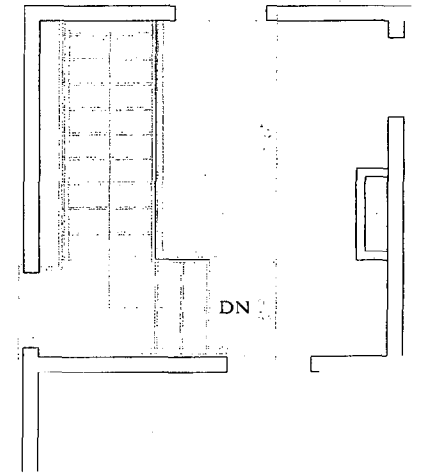
$\frac{1}{2}'' = 1'-0''$



STAIR SECTION



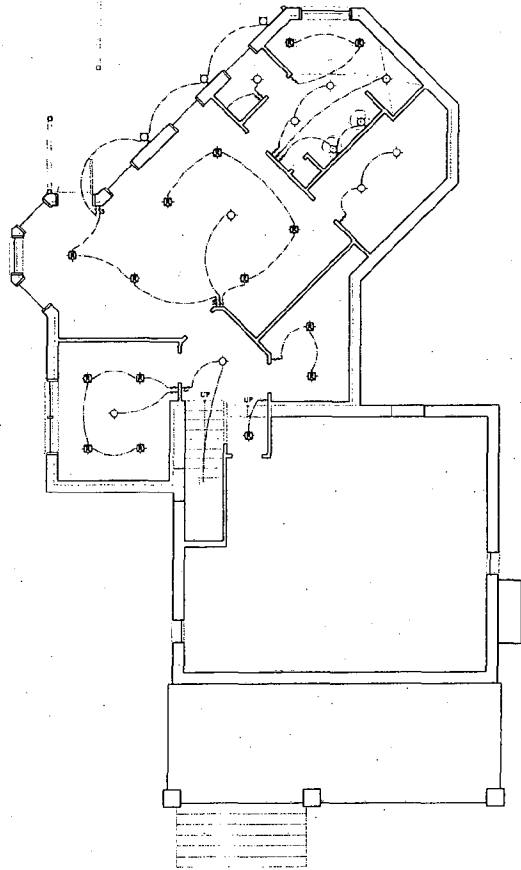
STAIR SECTION



STAIR PLAN

116

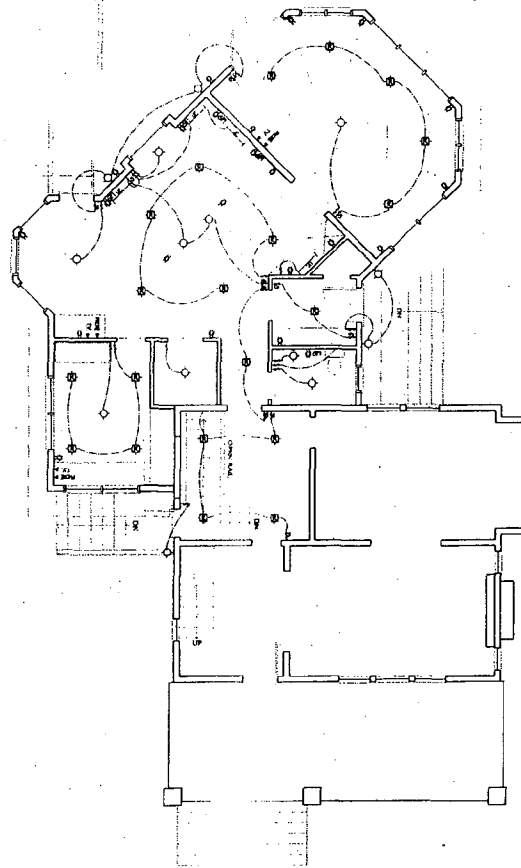
- LEGEND:
- EXH FAN - EXHAUST FAN
  - MH - HALL MOUNT
  - RC - RECESSED CAN
  - FANLT - FAN LIGHT
  - SM - SURFACE MOUNT
  - SV SPEAKER VOLUME CENTER
  - SWR SPEAKER HOPE RA
  - CL6 SPEAKER
  - ◁ DIRECTIONAL FEATURE LIGHT
  - UNDER COUNTER LIGHT



**BASEMENT PLAN**

3

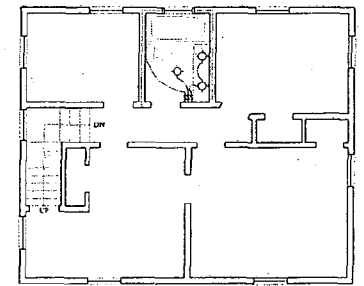
3/8" = 1'-0"



**1ST FLOOR PLAN**

2

3/8" = 1'-0"

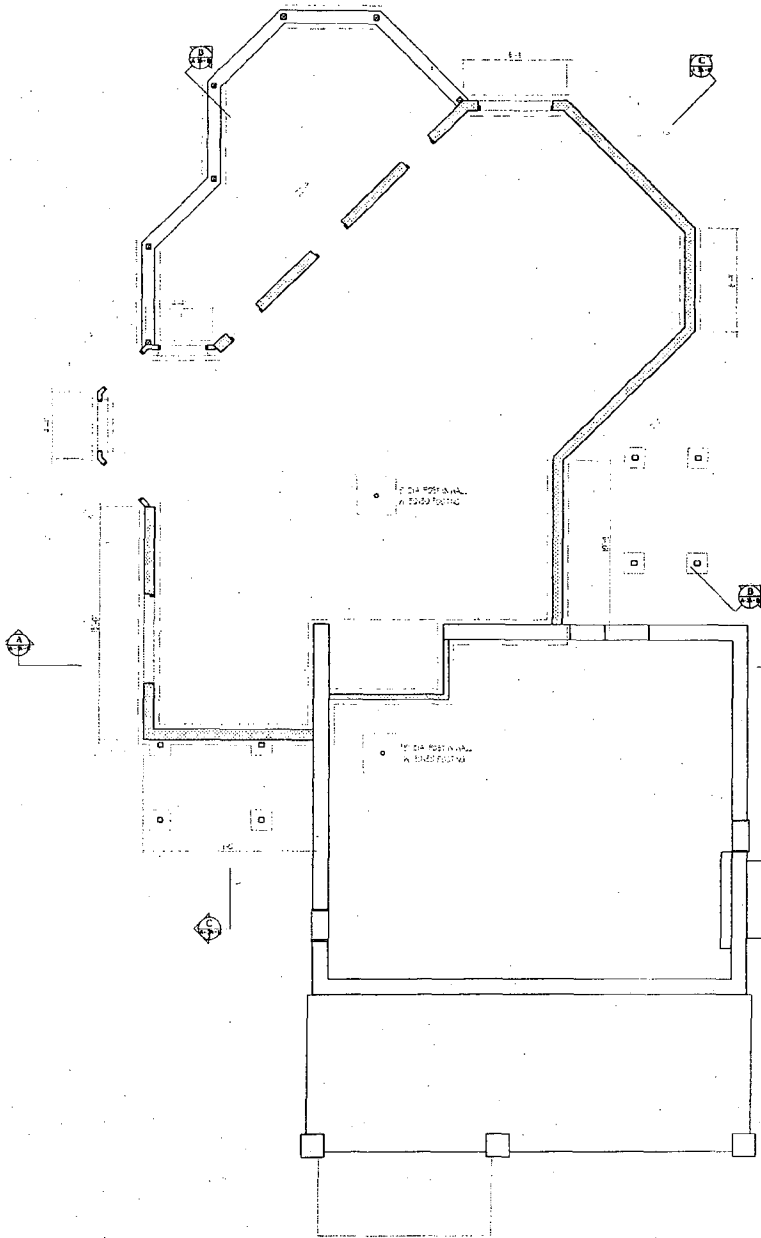


**2ND FLOOR PLAN**

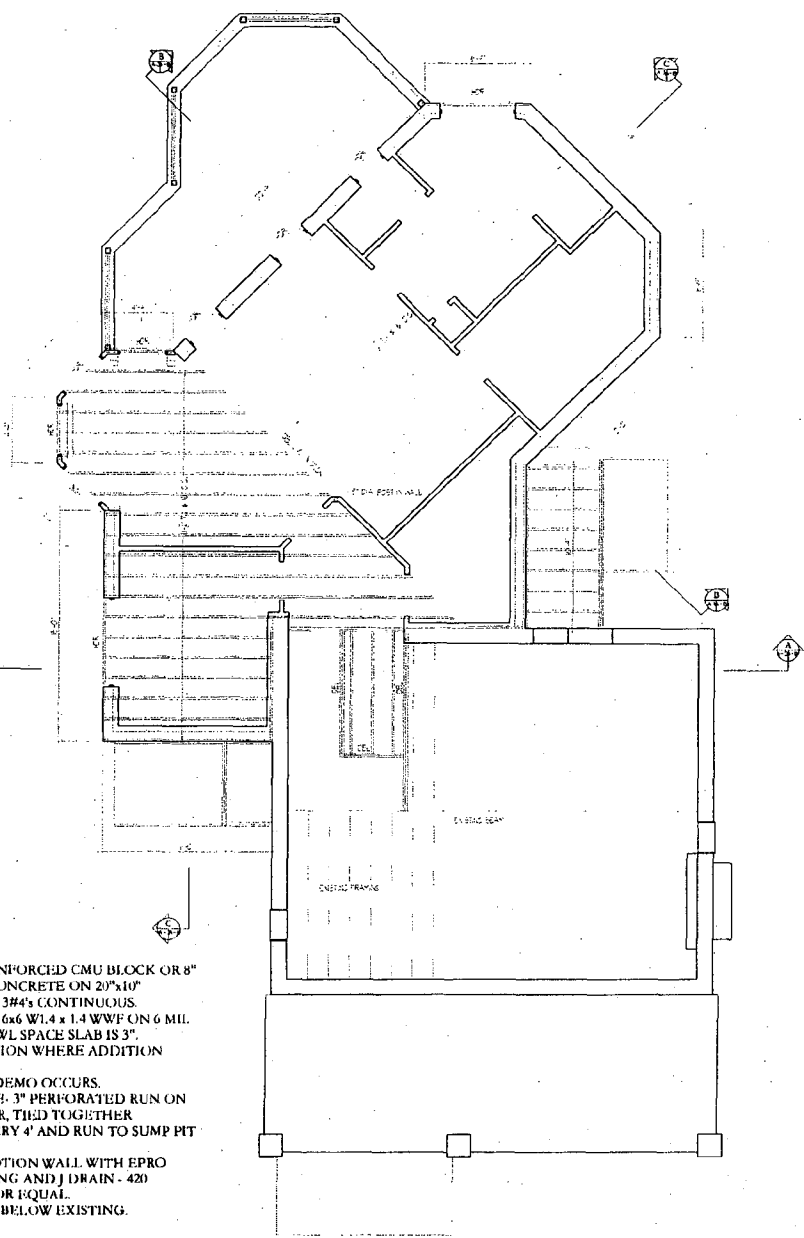
1

3/8" = 1'-0"

(7)



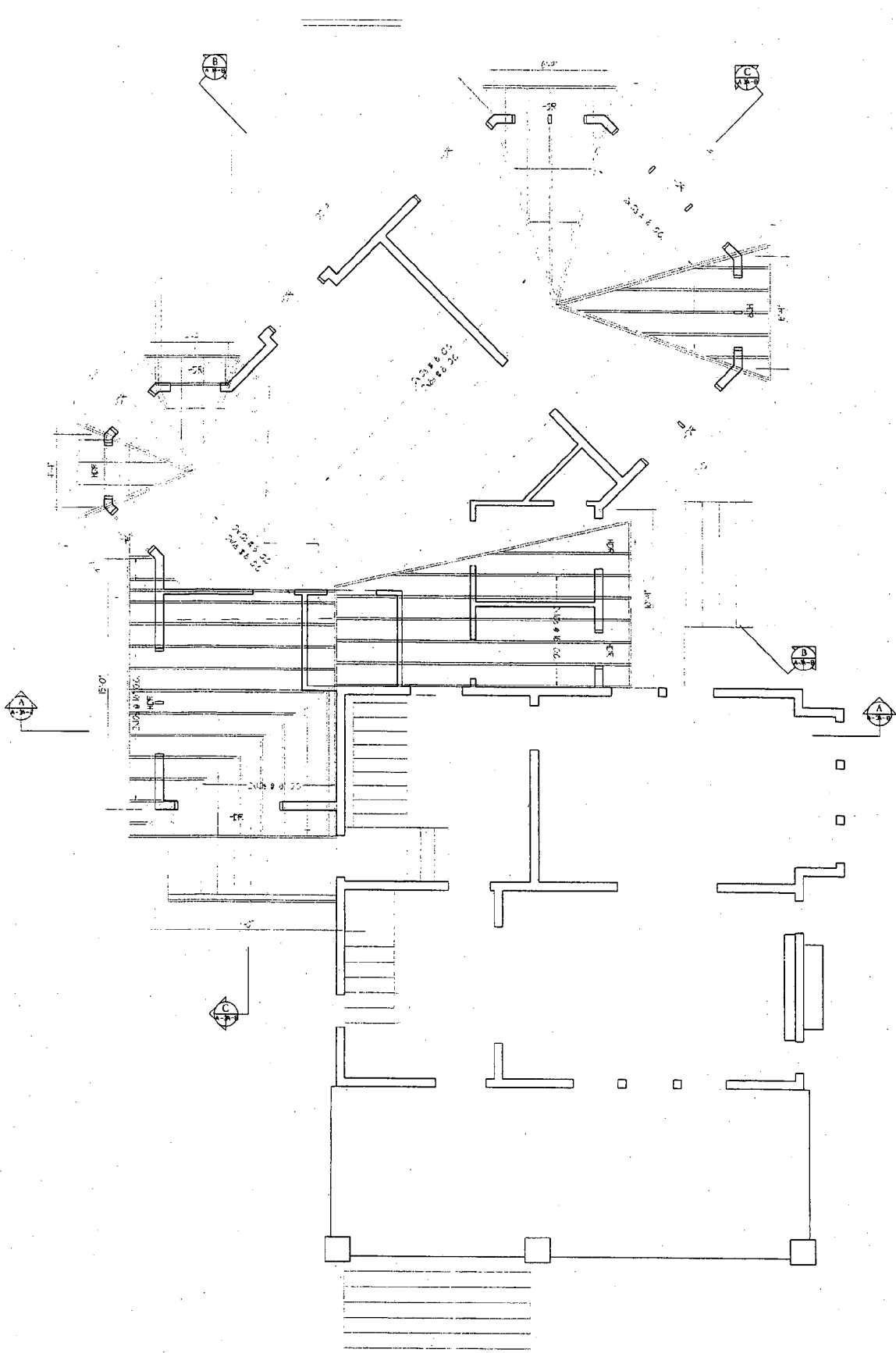
FOUNDATION PLAN



1ST FLOOR FRAMING PLAN

- FOUNDATION NOTES:
1. FOUNDATION IS 8" REINFORCED CMU BLOCK OR 8" REINFORCED POURED CONCRETE ON 20"x10" CONCRETE FOOTING W/ 3#4's CONTINUOUS.
  2. SLAB- 4" CONCRETE w/ 6x6 W1.4 x 1.4 WWF ON 6 MIL POLY ON 4" STONE. CRAWL SPACE SLAB IS 3".
  3. UNDERPIN FOUNDATION WHERE ADDITION MEETS EXISTING HOUSE.
  4. REPOUR SLAB WHERE DEMO OCCURS.
  5. PERIMETER DRAIN TILE: 3" PERFORATED RUN ON INTERIOR AND EXTERIOR, TIED TOGETHER THROUGH FOOTING EVERY 4' AND RUN TO SUMP PIT WITH PUMP.
  6. WATERPROOF FOUNDATION WALL WITH EPRO PCBASH WATERPROOFING AND J DRAIN - 420 DIMPLE BOARD SYSTEM OR EQUAL.
  7. NEW BASEMENT IS 1'-4" BELOW EXISTING.

18



ROOF DECK FRAMING

②









22



23

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
PATRICIA BARTI EDWIN SCORZA 7333 PINEY BRANCH ROAD TAKOMA PARK MARYLAND 20912	JOHN KATINAS, AIA KATINAS BRUCKWICK ARCHITECTURE 4931 ST ELMO AVE BETHESDA MD 20814
Adjacent and confronting Property Owners mailing addresses	
AGNES PATTI 7306 HOLY AVE	DEAN & JOSEPHINE HOGE 7314 HOLLY AVE
HANK & CHERYL COX 7331 PINEY BRANCH	7330 PINEY BRANCH ROAD

1  
2 THE HISTORIC PRESERVATION COMMISSION

3 PRELIMINARY CONSULTATION -  
4 7333 Piney Branch Road  
----- X

5  
6 December 21, 2005,  
7

8  
9 MS. O'MALLEY; Thank you.

10 We have an addition at 7333 Piney Branch Road in Tacoma Park.

11 MS. TULLY: Yes, and I thank the applicants for their patience tonight.

12 This is an addition at 7333 Piney Branch Road in Tacoma Park. This is a contributing  
13 resource within the Tacoma Park Historic District. This is the second preliminary for this project. The  
14 commission first saw this project September 14th at which point a number of suggestions and  
15 comments were made by the commission.

16 Roughly what's being proposed now is a one story plus basement 965 square foot  
17 addition off of the rear left corner of the house. Things that are the same. It's still a frame construction  
18 and there's some design issues. The applicants in addition intend to remove the asbestos siding on  
19 the historic house and then reside it, well, bring it back to what it was with horizontal wood siding on the  
20 first level with wood shingles on the second level.

21 I believe one of the complications initially is that this is a four square and the window on  
22 the proposed addition was not square. The applicants have addressed nearly ever comment made by  
23 the commission. Changes were made. The addition is no longer two stories. The second floor of the  
24 historic house remains entirely intact. The portion of the addition nearest the house has been squared  
25 off reducing the variety of the angles in the roof lines.

**Deposition Services, Inc.**

19 It is 6205 Shady Side Drive, Suite 201, Rockville, MD 20852  
20 so that it's no longer bumping up against the historic house. And there is now only one set of windows  
21 being removed as a result of the addition and it is attached.  
info@DepositionServices.com www.DepositionServices.com

1           Because of that, staff encourages the commission to recommend that the applicants,  
2 you know, move forward with an historic area work permit with whatever comments you may have  
3 tonight about materials or anything of that nature.

4           MS. O'MALLEY: Any questions for staff? Could the applicants come up, please. Good  
5 evening.

6           MR. KATINAS: Good morning.

7           MS. O'MALLEY: State your name for the record.

8           MR. KATINAS: John Katinas.

9           MS. BARTH: Patricia Barth.

10          MS. O'MALLEY: Welcome. You've made a lot of changes.

11          MR. KATINAS: Yes.

12          MS. O'MALLEY: Do any of the commissioners have questions?

13          MR. JESTER: I don't have any questions. I would just like to say that I think what staff  
14 pointed out in their report seems to be very accurate. I think you really have addressed all those  
15 concerns we raised at the last preliminary, and I think it's a vast improvement.

16          MS. O'MALLEY: Did you have another shot that showed it from the opposite side?

17          MR. KATINAS: The subservient to the main house from every side. Previously these  
18 windows, the door were taken in the addition two stories and now instead there's one window here,  
19 which is the existing kitchen window which is the only one lost.

20          MS. O'MALLEY: And where does it start to angle back?

21          MR. KATINAS: Initially starts 27 feet back from the neighbors porch front. It's square to  
22 the house for another 25 feet and then branches off in the back.

23          MS. O'MALLEY: Any other questions?

24          MR. DUFFY: The drawings didn't print terribly well. If you just cycle through them.

25          MR. KATINAS: Sure. The first floor, except for the existing foyer, living room, dining  
26 room, this was the kitchen with a small addition out the back with a bathroom and a pantry. That's what

1 was removed. The existing main stair starts in the front. It's a landing with a window goes up to the  
2 second floor. What we're doing is we're going to put a new stair to the basement within that space of  
3 the original kitchen.

4 The second floor consisting four bedrooms and bath. The bath was already once  
5 renovated. It's going to be renovated again now, and though everything else will stay the same. The  
6 room addition is in the rear, mud room, powder room, mud room entrance to a parking area off to the  
7 side, which is a study directly through the kitchen a family room.

8 MR. DUFFY: Really I meant just to –

9 MR. KATINAS: I'm sorry.

10 MR. DUFFY: – so that I can see them.

11 MR. KATINAS: Thank you for your patience. So in the basement now will be a master  
12 suite. They've thought this over and with the grade in there and the lovely lot to the side that they own,  
13 they can feel like it's really a grade level master suite, not a basement level. Here's the site plan.  
14 Again, the existing house is here. The two lots that they have, here's the addition set back to the rear  
15 of this other property here.

16 MR. DUFFY: Well, the last time you were here I made some comments about the  
17 geometry of the addition. I'm not going to harp on that today. I said what I said. It hasn't changed  
18 greatly. However, you've addressed the bigger issues well, I think. And I think that's commendable.

19 I think it's a significant improvement. One question I would ask that I brought up the last  
20 time, and it's not a major issue either. Is, there's a square turret that you seem to really want, which is a  
21 Victorian element that just strikes me as a bit odd, and sometimes odd might be okay

22 MR. KATINAS: The bay, well, it's used for the –

23 MR. DUFFY: It's really an elevation is what I'm referring to. The elevations and the  
24 massing of the house are greatly improved from the last time, and a lot of the objections that I think we  
25 had you've addressed really well, and that one element is, you know, the geometry, it would be nice in  
26 my mind if it were more sympathetic to the original, but I think you've gone a long way, and I'm not

1 going to make a big deal out of that. It would be nice I think if that element weren't there. A gable roof  
2 or something. If that form is very near and dear to your hearts, I don't want to break your hearts, but  
3 how do you feel about that?

4 MR. KATINAS: Well, I guess to ask a question. Is it the shape of the wall or the shape  
5 of the roof or both?

6 MR. DUFFY: Well, it's primarily the roof in the sense, as I say, that is a characteristic  
7 Victorian or Queen Anne home, and the house is not, the original house is not Victorian. It's a very  
8 rathoginal, you know, and the addition is today. It's a vernacular 21st Century addition. So it just  
9 seems like a Victorianish element. It doesn't really go with the original and doesn't seem to be  
10 something that is part of the rest of the new.

11 MR. KATINAS: I guess part of it, part of what works about it, is the roof, the knuckle, is a  
12 knuckle for a place in the –

13 MR. DUFFY: Yes.

14 MR. KATINAS: – in the roof. So it's holding a spot there, it allow the roof to gable. So  
15 it's serving that function there. Also, as far as it having it the only clear story windows on the addition is  
16 in the appropriate spot is the other part of it. So if we merely just dropped it down, we may be able to  
17 still have it allowing the roof to bend or break at that point, but would eliminate the clear story, which I  
18 would like to offer that.

19 MS. O'MALLEY: Keep that and have a gable?

20 MR. KATINAS: Possibly. I mean, the gables over hexed shapes are, unless there's  
21 over hangs to them that are, a hip break around the wall.

22 MS. O'MALLEY: Some of the houses in Kensington are that way. At a corner.

23 MS. TULLY: Are there any comments from the commissioners with regard to the  
24 fenestration. What's being proposed right now looks like very similar to what's on the historic house of  
25 just over one, what I'd like to be able to do is have the applicants make some changes and then have a  
26 lot of discussion at the historic area work permit. If possible, I know there are only five of you here but





1 any suggestions you have at this point would be helpful.

2 MR. DUFFY; Thanks for bringing that to our attention. It's something that will probably  
3 be commented on in the future that typically we like to see the fenestration on the addition different  
4 from the original such that the new would have just the one over one, perhaps instead of a six over one,  
5 you know something like that. So that it's clearly, I mean, because the geometry is clearly different. But  
6 would you be comfortable with a one over one type of window or something that's not the same window  
7 as in the original?

8 MS. WRIGHT: We frequently recommend that when the addition is so close to the  
9 original architecture that there would be some question about detailing, be differentiated. I mean, not  
10 that, I am not suggesting that it's a good idea but in this case you've got such an extremely  
11 differentiated addition. There's no question that it's not original.

12 MR. DUFFY: Actually that's a good point. I think when I was looking at the elevations,  
13 let me take back what I said. I think that this is an exception to the rule because of the geometry and  
14 they do tie together, and again, when you would bring it as a HAWP, that's something that is easy  
15 enough to change if other commissioners you know warrant here that strong feelings. I would say just  
16 find a way to, if there's something you can do with the third roof, that would be nice.

17 MS. TULLY: So general consensus is make some tweaks, bring it back for a HAWP.

18 MR. ROTENSTEIN: Definitely.

19 MS. TULLY: I promise they will be first on the agenda for the historic area work permit.

20 MS. O'MALLEY; Thank you. All right. We have minutes for November 16th.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade effected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

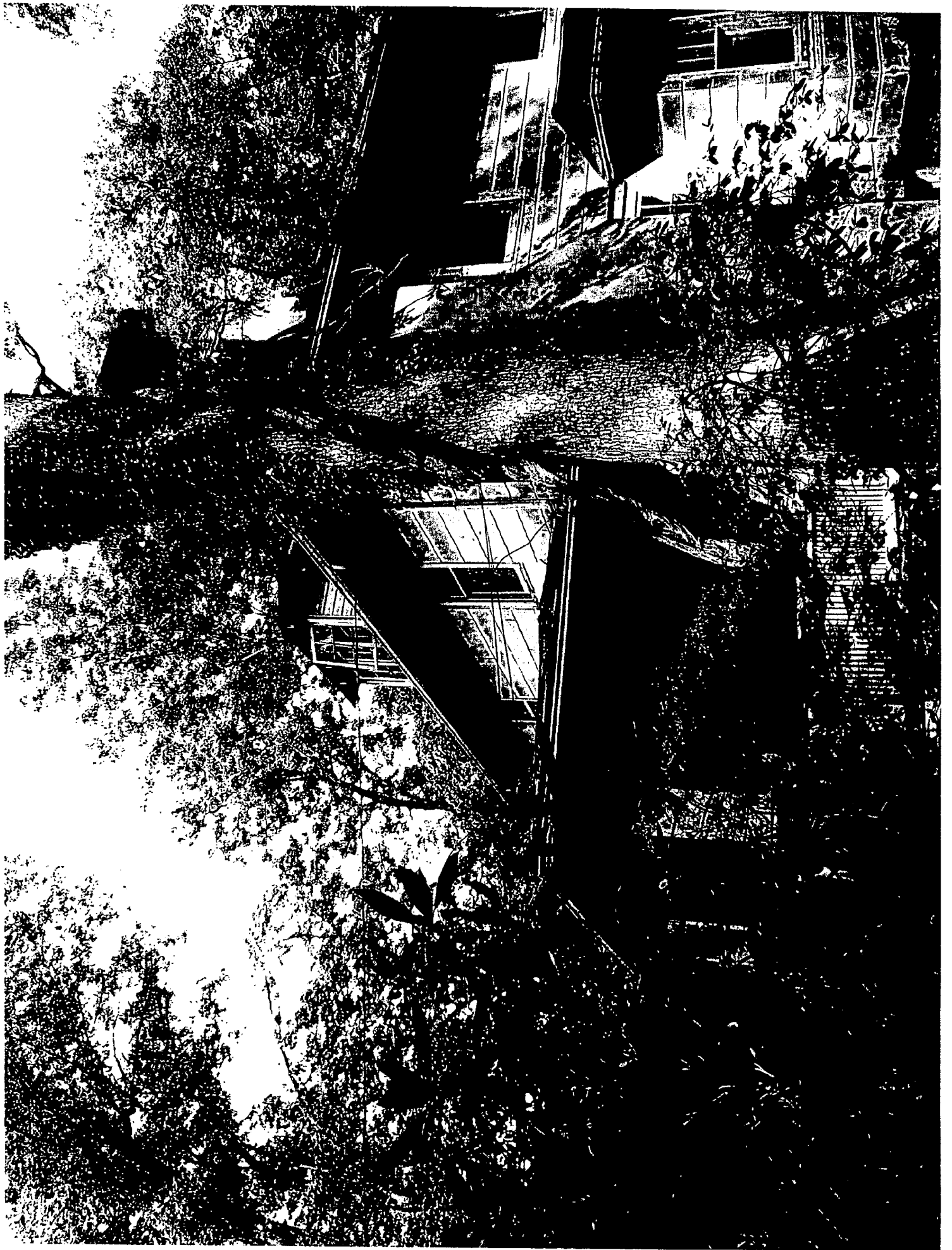
- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dropline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

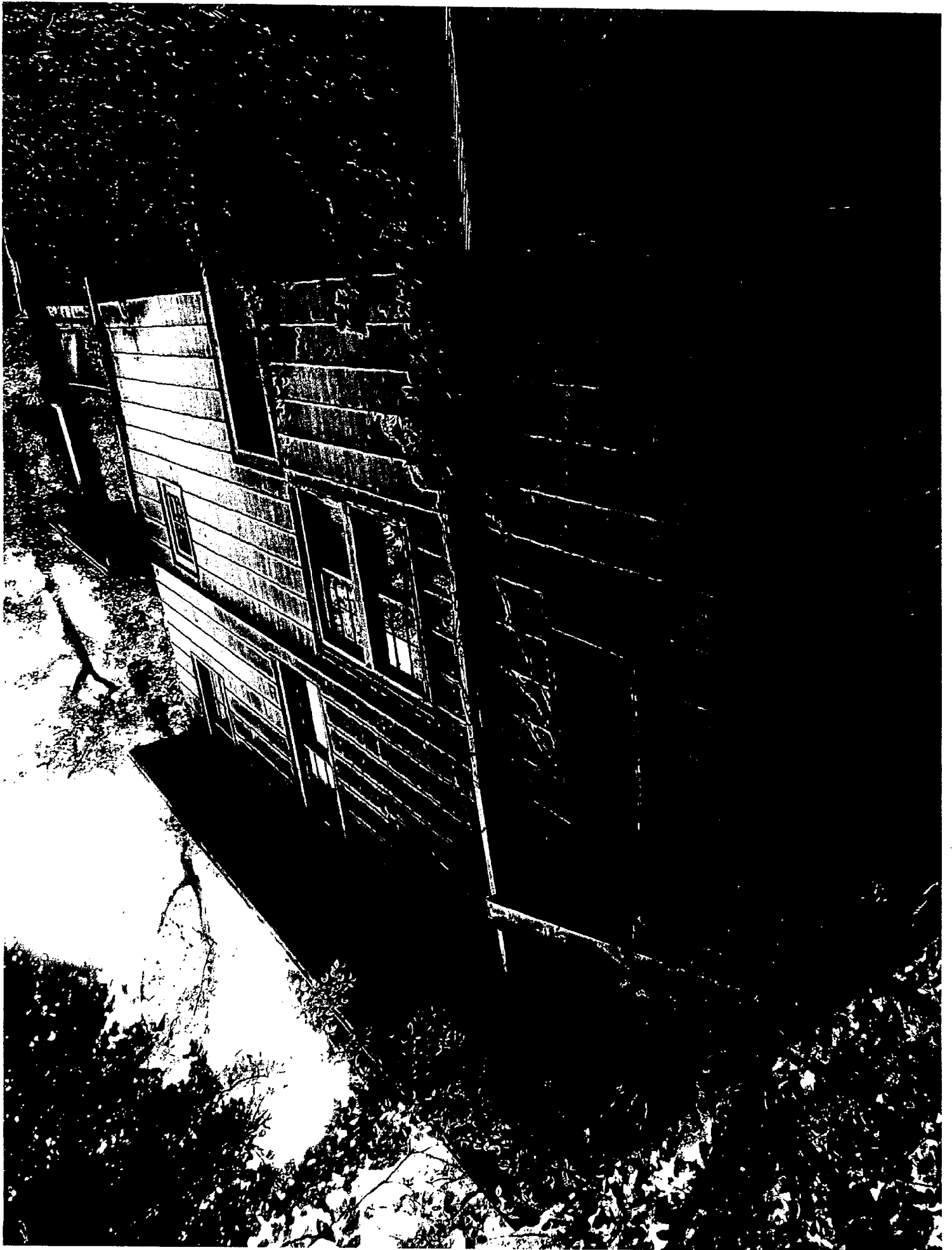
7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Montie Street, Rockville, (301/279-1355).









# BARTH/SCORZA RESIDENCE ADDITION

7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

## ARCHITECT:

KATINAS BRUCKWICK ARCHITECTURE  
4931 SAINT ELMO AVENUE, SUITE 2  
BETHESDA MARYLAND 20814  
TEL 301.652.8300 FAX 301.652.8306

## GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2003 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2003 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
2. ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
3. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
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6. THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
7. ALL METAL FLASHING INSTALLATIONS PER SMACNA.
8. FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
9. ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
10. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
11. THE CONTRACTORS SHALL BE REQUIRED TO MAKE PLURAL AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
12. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.
13. ALL COSTS LISTED ARE MATERIAL ONLY, U.N.O.

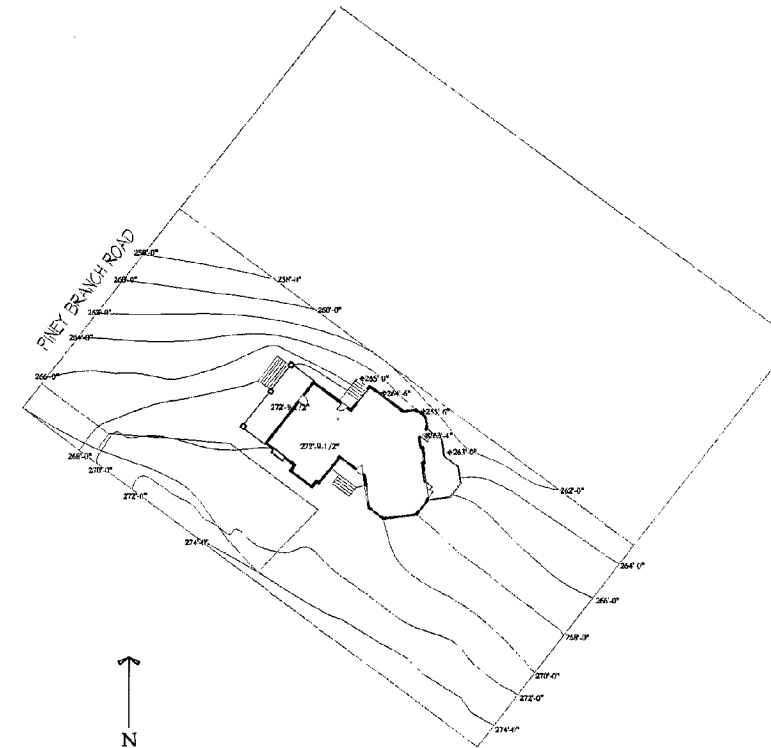
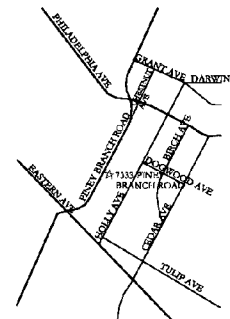
## DRAWING INDEX

- A-1 COVER SHEET
- A-2 DEMO PLANS
- A-3 1ST & 2ND FLOOR PLANS
- A-4 BSMT & ROOF PLANS
- A-5 ELEVATIONS
- A-6 ELEVATIONS 2
- A-7 SECTIONS
- A-8 SECTIONS 2
- A-9 KITCHEN & BUILT-IN ELEVATIONS
- S-1 FOUNDATION & FRAMING PLANS
- S-2 FRAMING PLANS
- E-1 ELECTRICAL PLANS

## STRUCTURAL NOTES:

1. FOOTINGS ARE DESIGNED FOR A SOIL BEARING OF 1500 PSF. THIS VALUE IS TO BE VERIFIED IN FIELD BY GEOTECHNICAL ENGINEER.
2. BOTTOM OF ALL EXTERIOR FOOTINGS TO BE A MINIMUM OF 30" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED STEP FOOTINGS IN RATIO OF 2 HORIZ. : 1 VERT. FOOTINGS ARE TO BE POURED AGAINST UNDISTURBED SOIL AT SIDES AND BOTTOM UNLESS NOTED OTHERWISE.
3. CONCRETE SHALL BE 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE. ALL CONCRETE TO BE POURED IN ACCORDANCE W/ ACI 301 SPECS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED 6% ± 1%.
4. ALL FILL UNDER SLABS TO BE COMPACTED TO DRY DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR. MAXIMUM DRY DENSITY (ASTM D-698) TO BE PLACED IN LAYERS NOT EXCEEDING 8".
5. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 40 PCF ASSUMING A FREE DRAINING MATERIAL BEHIND WALL WITH A PERIMETER DRAIN SYSTEM. NOTIFY ARCHITECT IF SOIL CONDITIONS DIFFER.
6. ALL REINFORCING STEEL TO MEET ASTM GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" AND CRSI STANDARDS. PROVIDE 1 1/2" CLEAR DISTANCE TO REINFORCING IN WALLS. PROVIDE 3" CLEAR TO REINFORCING AT BOTTOM OF FOOTING.
7. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 90 LB LOAD BEARING MASONRY. ALL MASONRY TO BE REINFORCED @ 16" HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE N.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. ALL TRUSSES OR OPEN WEB JOISTS TO BE VERIFIED & SEALED BY SUPPLIER'S ENGINEER (REGISTERED IN MARYLAND). SUBMIT SHOP DRAWING FOR ARCHITECT FOR APPROVAL BEFORE FABRICATION.
10. ML DENOTES LAMINATED VENEER LUMBER WITH VALUES OF  $F_b = 24000$ psi SINGLE MEMBER,  $F_v = 220$ psi,  $E = 1,800,000$ psi.
11. OUTSIDE WALL TRUSSES TO BE FIELD BUILT OR MANUFACTURED TRUSSES WITH APPROPRIATE BLOCKING TO TRANSFER UPPER FLOOR HEADER JACKS AND ROOF FLOOR TRUSS LOADS.
12. WALL FRAMING TO BE LOAD BEARING WALLS (SPF NO. 2 GRADE OR BETTER. VALUES OF  $F_{cII} = 1150$ psi,  $F_v = 135$ psi &  $E = 1,400,000$ psi.
13. ALL FRAMING LUMBER TO BE HEM FIR #2 OR SPF 2 OR BETTER.  $F_b = 850$  FOR SINGLE MEMBER USE,  $F_v = 135$ psi,  $F_{cII} = 1100$ psi &  $E = 1,300,000$ psi. SPF (SOUTH) IS NOT ACCEPTABLE. LUMBER MUST BE GRADED NLGA.
14. COLUMNS AND POSTS TO BE BLOCKED SOLID (THROUGH DECK ASSEMBLIES) TO WALL COLUMN OR POST BELOW TO FOUNDATION OR FOOTING.
15. ALL HEADERS TO BE SUPPORTED ON (2) 2x4'S (1 JACK, 1 KING) WHEN OPENINGS ARE 3'-6" OR LESS. OPENINGS GREATER THAN 3'-6" ARE REQUIRED TO HAVE (3) 2x4'S (2 JACKS, 1 KING) ALL MICROLAMS REQUIRE 2 JACKS, 1 KING TYP.
16. STRUCTURAL STEEL SHALL BE ASTM A 992 AND CONFORM TO AISC SPECIFICATIONS FOR FABRICATION AND ERECTION. STEEL LINTEL SCHEDULE FOR 4" BRICK.
  - OPENINGS TO 3'-0" = 3 1/2" x 3 1/2" x 1/4"
  - 3'-1" - 5'-0" = 4" x 3 1/2" x 5/16" LLV (LONG LEG VERTICAL)
  - 5'-1" - 6'-6" = 5" x 3 1/2" x 5/16" LLV
  - SPANS OVER 6'-6" CONSULT ENGINEER
17. FLITCH BEAMS SHALL BE BOLTED W/ 1/2" THROUGH BOLTS @ 16" O.C. TOP AND BOTTOM W/ THE FIRST BOLTS @ 6" MAX FROM THE ENDS.

## LOCATION:



KATINAS BRUCKWICK  
ARCHITECTURE  
4931 SAINT ELMO AVENUE  
BETHESDA MARYLAND 20814  
TEL 301.652.8300 FAX 301.652.8306

BARTH/SCORZA RESIDENCE  
ADDITION  
7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

05-200

ISSUE DATE  
CHECK SET 03.01.06  
SUBMITTAL 03.20.06

COVER  
**A-1**  
SHEET











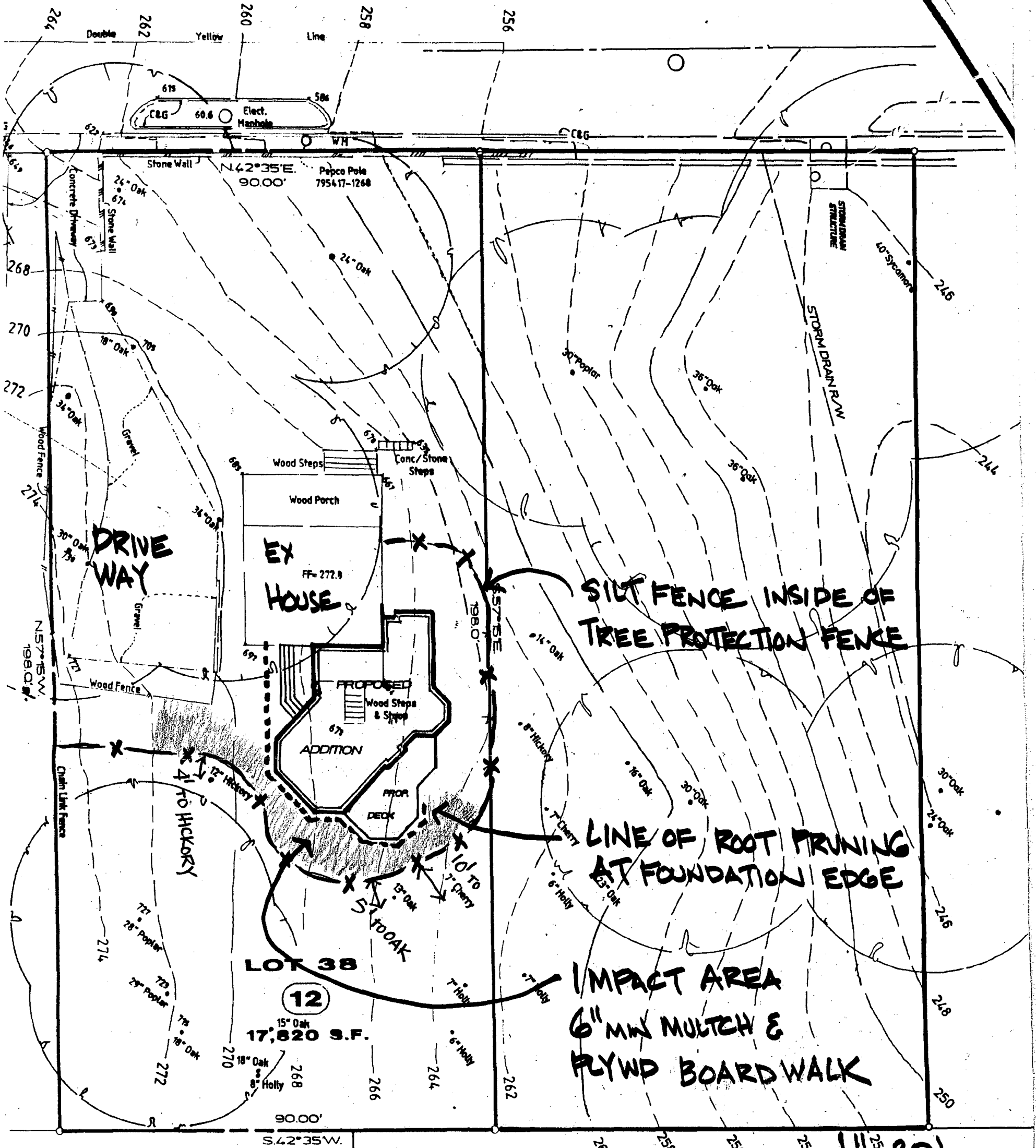






**PINEY BRANCH ROAD**

(40' R/W)



**DRIVE WAY**

**EX HOUSE**

**PROPOSED ADDITION**

**SILT FENCE INSIDE OF TREE PROTECTION FENCE**

**LINE OF ROOT PRUNING AT FOUNDATION EDGE**

**IMPACT AREA  
6" MULCH &  
PLYWD BOARD WALK**

**LOT 38  
(12)  
17,820 S.F.**

**TREE PROTECTION PLAN 7333 PINEY BRANCH ROAD 3 MARCH 06  
BARTH / SCORZA RESIDENCE KATINAS BRICKWICK ARCHITECTURE**

BRASHEAR'S SUBDIVISION - TAKOMA PARK - BLOCK 12 - PLAT BOOK B PLAT 2

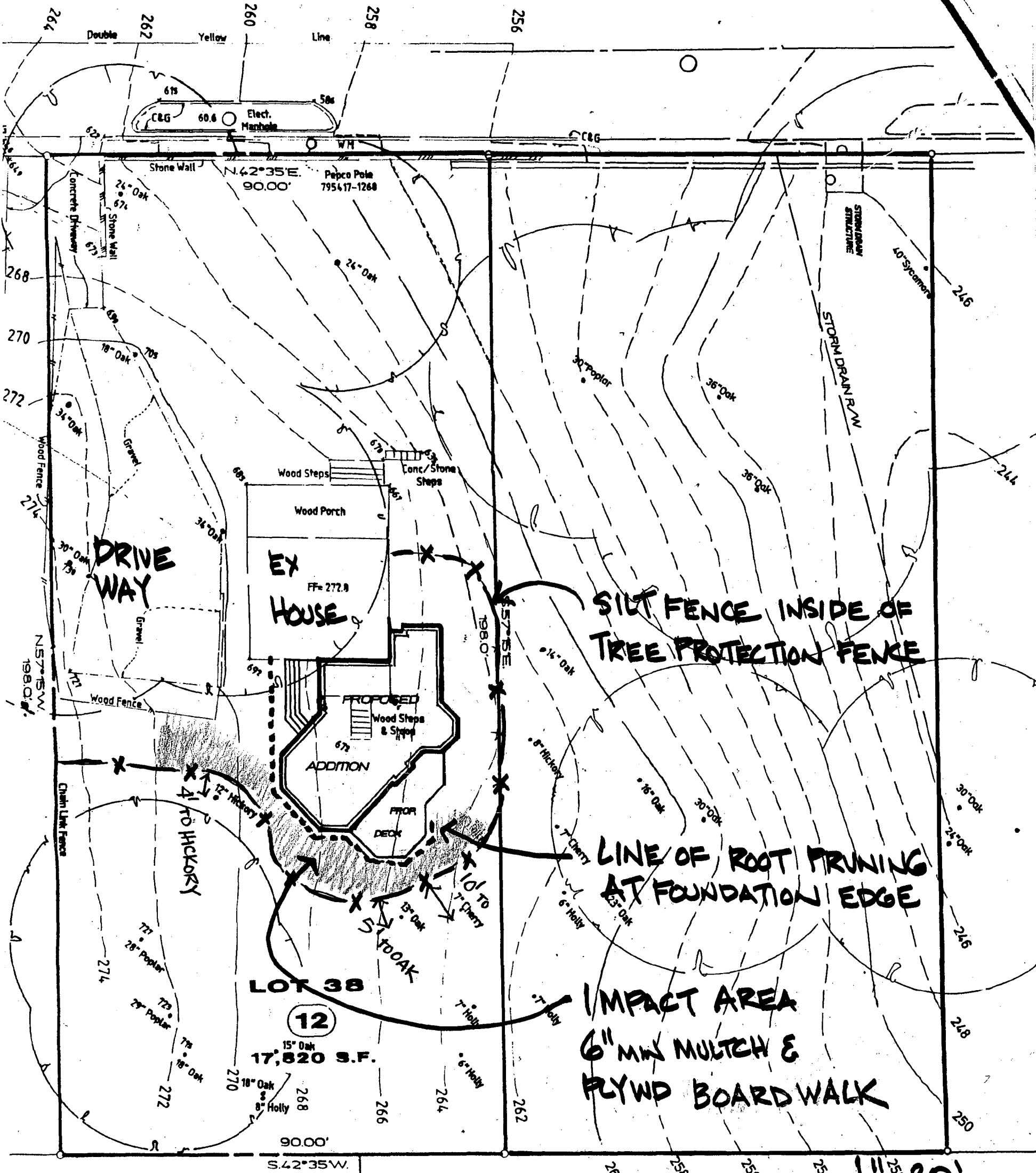
LOT 35

LOT 36



**PINEY BRANCH ROAD**

(40' R/W)



**TREE PROTECTION PLAN 7333 PINEY BRANCH ROAD 3 MARCH 06**  
**BARTH / SCORZA RESIDENCE KATINAS BRUCKWICK ARCHITECTURE**

BRASHEAR'S SUBDIVISION - TARDON PARK - BLOCK 12 - PLAT BOOK 8 PLAT 2

LOT 35

LOT 36

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

## KATINAS BRUCKWICK ARCHITECTURE

---

4931 Saint Elmo Avenue Suite 2 Bethesda Maryland 20814  
301.652.8300 office 301.652-8306 fax  
www.KBArchitecture.com

**2 December 2005**

### **Existing Building and Proposed Addition Description**

7333 Piney Branch Road is a four square circa 1922 frame house on a large 17,820 square foot lot in Takoma Park, Maryland. The house has an existing footprint of approx 1100 square feet. The exterior frame of the house is now covered with asbestos shingles. The wood windows and trim are original as is the front porch and dormers. The foundation wall and chimney are cement plaster over masonry. Located on the first floor are four rooms of which three are original; entrance foyer with stair, living room and dining room. The kitchen, pantry and bathroom have been renovated or added. The second floor has its original four bedrooms and one bath. There is an unfinished attic and an unfinished cellar.

The proposed one story plus basement addition has a foot print of approx 965 square feet and is sited off the back left corner of the house. The addition in this position maintains three corners of house, the side staircase landing window and door, the rear dining room window, and all of the second floor windows. The addition is skewed from the house which allows for views of the yard in all directions. Interior access to the addition is through the kitchen which becomes a back hall with new stair to the basement. On the first floor of the addition are the new kitchen, breakfast room, family room, home office, powder room and mudroom. There is also a side door entrance and deck. The second floor maintains all rooms. The bathroom will be renovated. The new basement is for a master suite, workroom and laundry room and has a walkout patio to side yard.

The addition will be a frame structure on a masonry foundation with a painted finish. The exterior frame finishes will be painted wood or cement board siding, painted wood casing, corner boards and cornice. The windows will have grills and be wood double hung and casements. The roof will be asphalt shingles.

It is the owner's intent to remove the asbestos shingles from the existing house and replace them with wood siding at first floor level and wood shingles at the second level as was originally on the house.

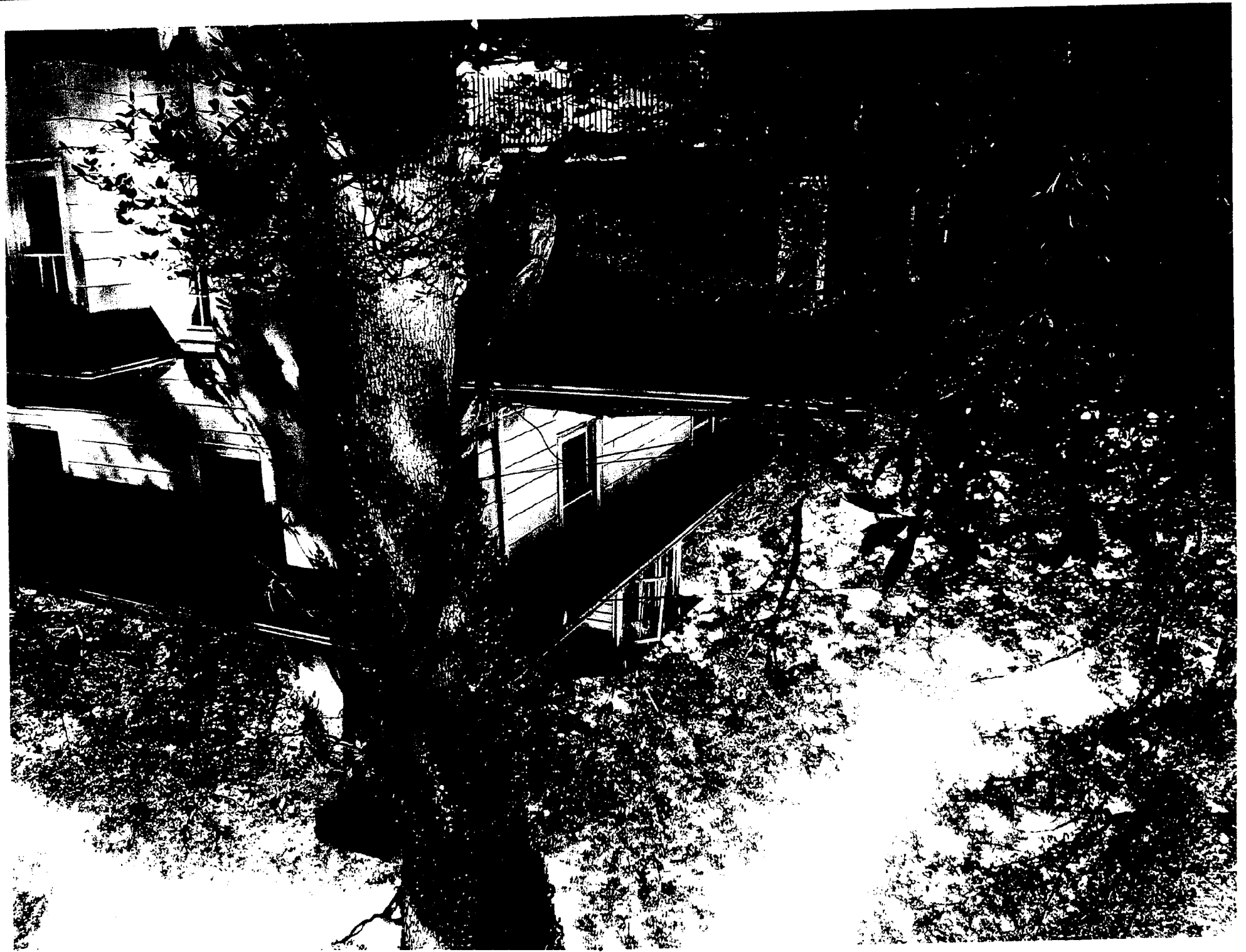
END

John Katinas, AIA  
Principal  
Katinas Bruckwick Architecture

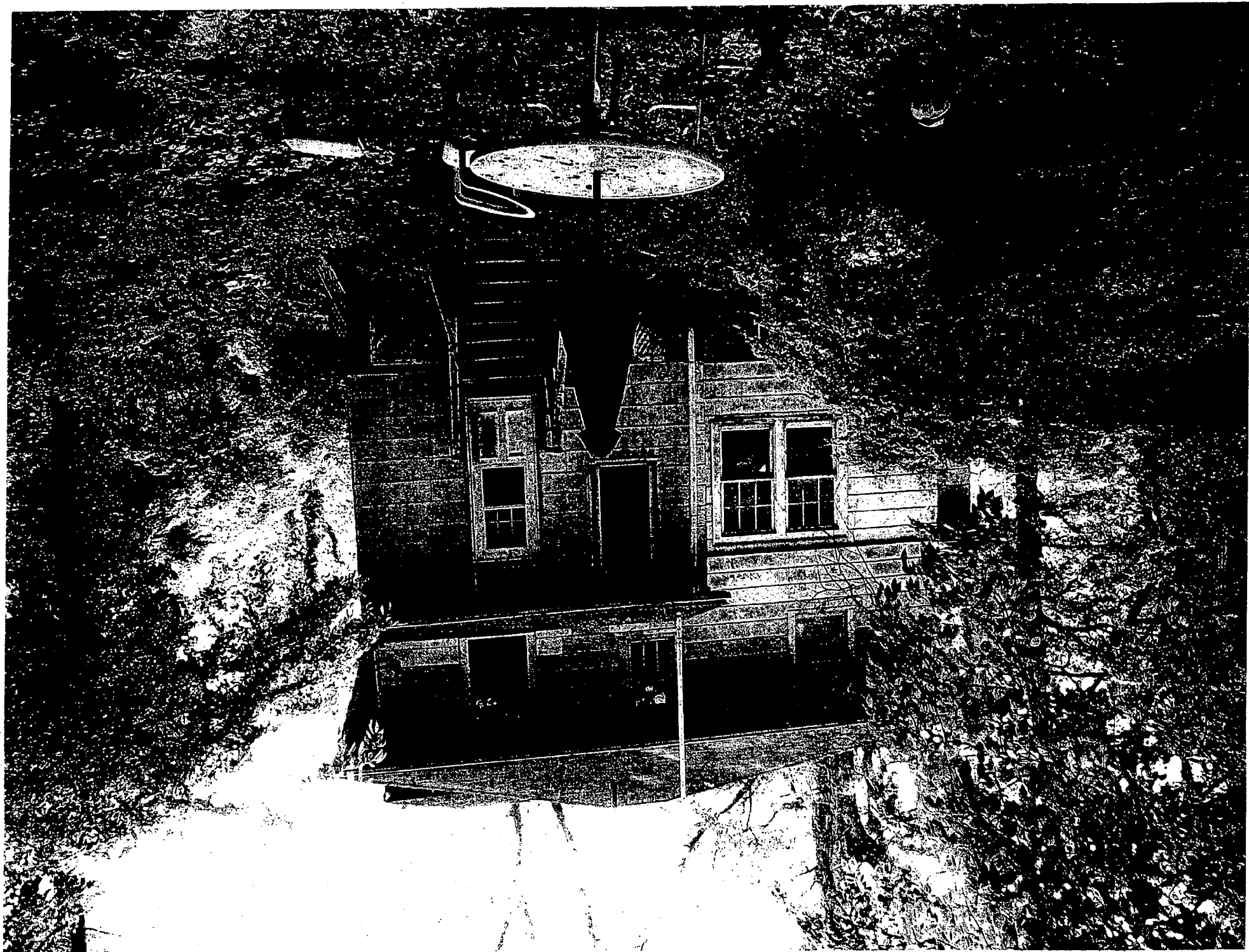
**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address PATRICIA BARTI EDWIN SCORZA 7333 PINEY BRANCH ROAD TAKOMA PARK MARYLAND 20912</p>	<p>Owner's Agent's mailing address JOHN KATINAS, AIA KATINAS BRUCKWICK ARCHITECTURE 4931 ST ELMO AVE BETHESDA MD 20814</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p>AGNES PATTI 7306 HOLY AVE</p>	<p>DEAN &amp; JOSEPHINE HOGE 7314 HOLLY AVE</p>
<p>HANK &amp; CHERYL COX 7331 PINEY BRANCH</p>	<p>7330 PINEY BRANCH ROAD</p>





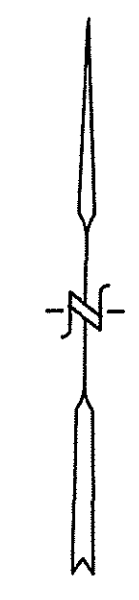
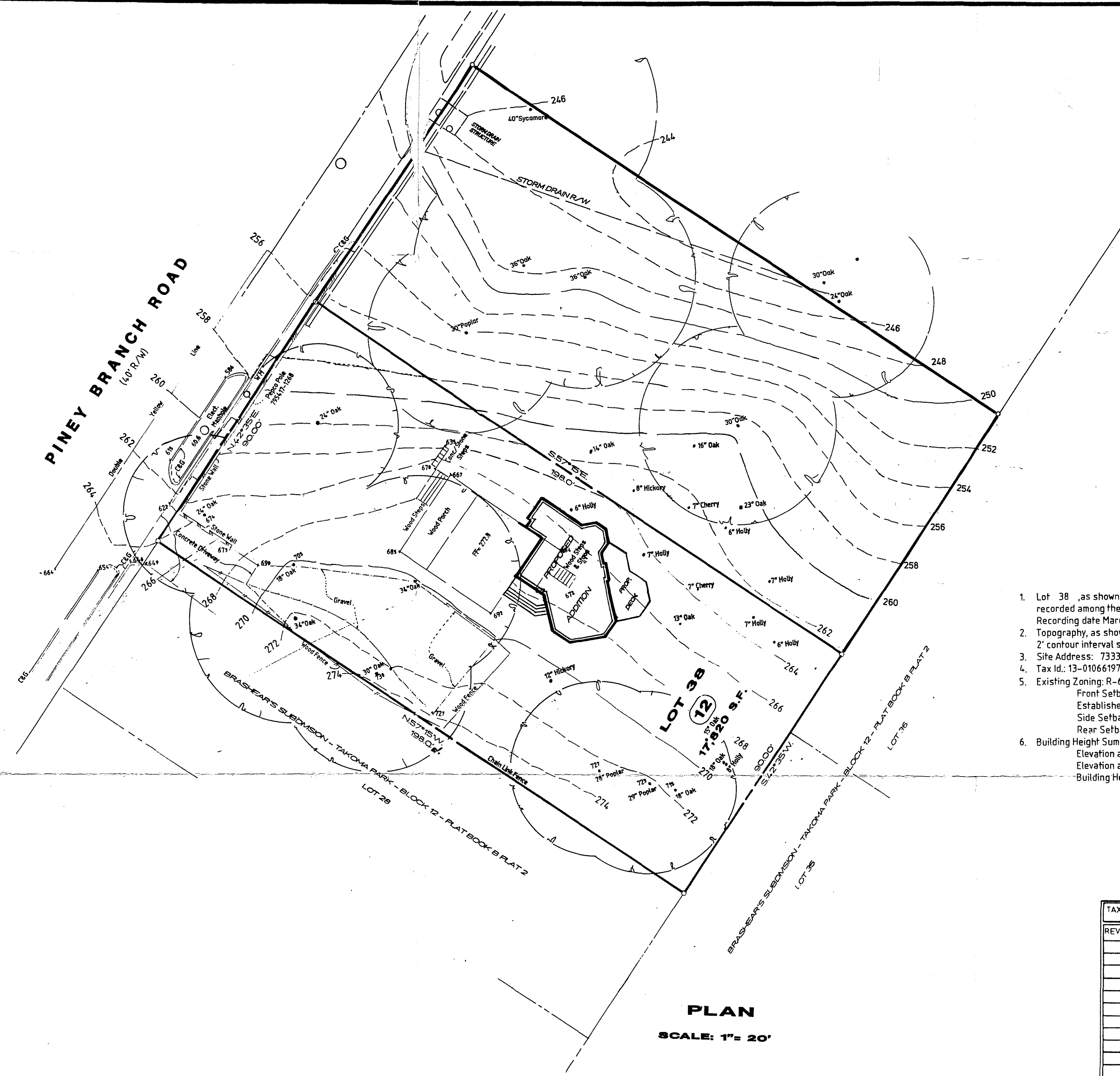






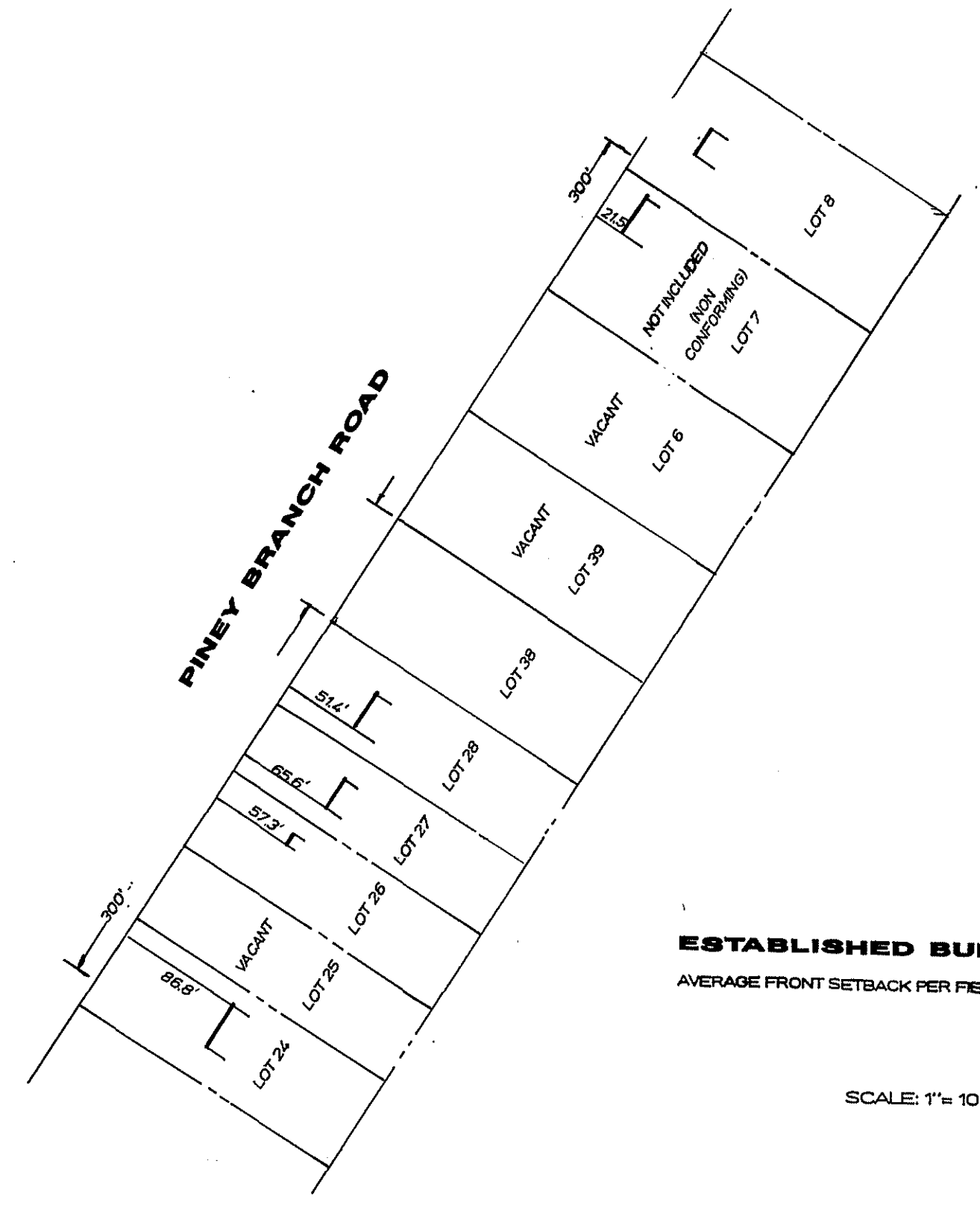






- NOTES**
- Lot 38, as shown, is included on a Subdivision Record Plat titled "Brashears Subdivision" and is recorded among the Land Records of Montgomery County, Maryland in Plat Book 45 as Plat 3365. Recording date March 25, 1953.
  - Topography, as shown, is from a field run survey completed June 2005 by this office. 2' contour interval shown. Vertical Datum is WSSC.
  - Site Address: 7333 Piney Branch Road
  - Tax Id: 13-01066197
  - Existing Zoning: R-60
    - Front Setback = 25' or the Established Building Line
    - Established =
    - Side Setback = 18' total, 8' one side.
    - Rear Setback = 20'
  - Building Height Summary
    - Elevation at centerline of road = 260'
    - Elevation at mid-point of gable =
    - Building Height =

**PLAN**  
SCALE: 1" = 20'

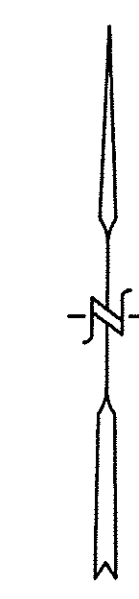
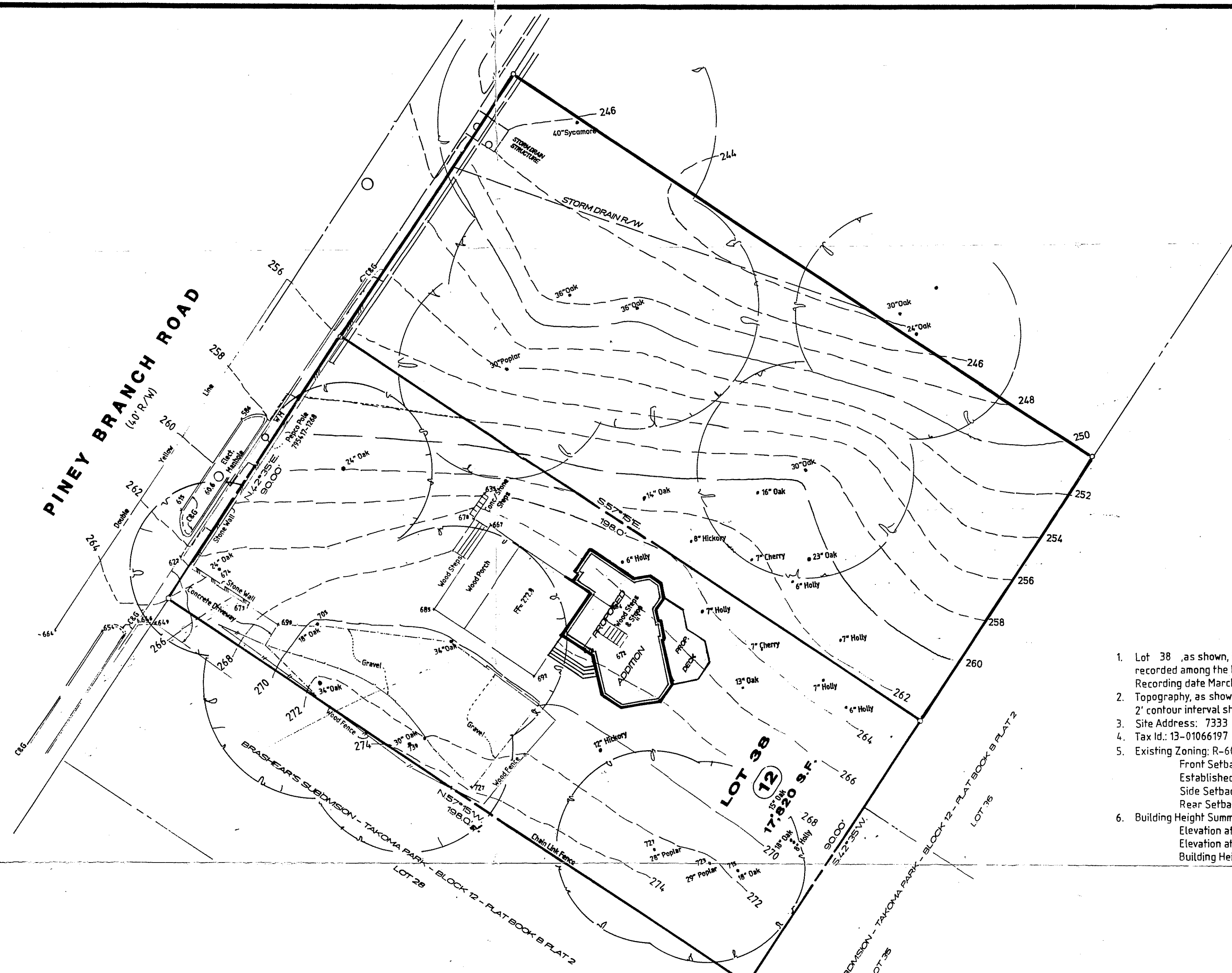


**ESTABLISHED BUILDING LINE**  
AVERAGE FRONT SETBACK PER FIELD SURVEY JULY 2005

SCALE: 1" = 100'

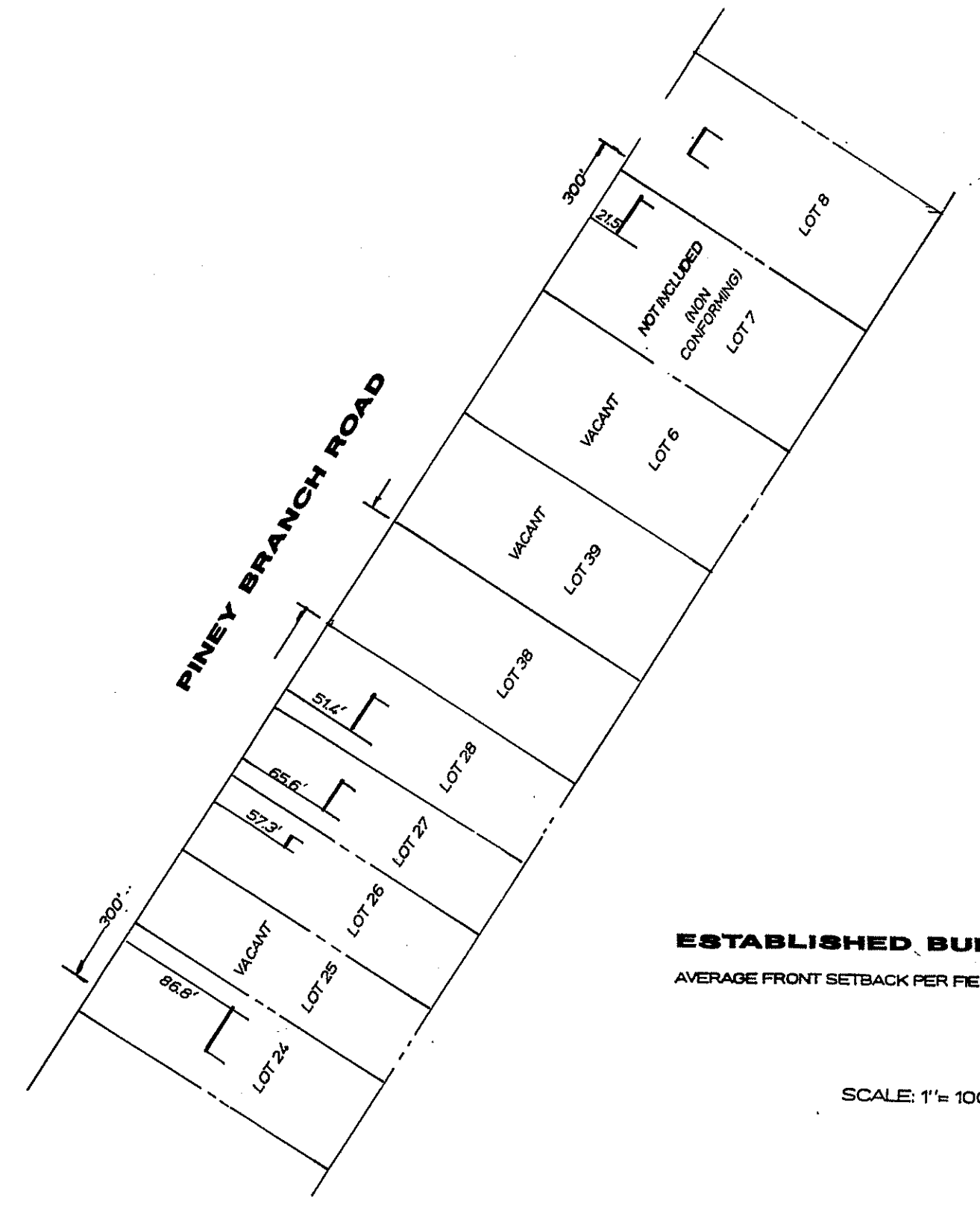


TAX MAP JN 342	2009	209 NW 1	2009 D PUBLIC MAP PART 27 GRID C-10
REVISIONS:	VICINITY MAP SCALE: 1" = 2,000'		
PREPARED FOR:	<b>KATYAS BRUNSWICK ARCHITECTURE</b> 4831 ST. ELMO AVE. SUITE 2 BETHESDA MD 20814 301-652-8300 FAX 301-652-8306		
<b>SITE PLAN</b>			
<b>LOT 38 - BLOCK 12</b> <b>BRASHEAR'S SUBDIVISION</b> <b>TAKOMA PARK</b> WHEATON (13th) ELECTION DISTRICT MONTGOMERY COUNTY MARYLAND			
<b>WITMER ASSOCIATES, LLC</b> Land Surveying, Land Planning & Design 98 A Church Street, Rockville, MD 20850 Tele (301) 309-8600 Fax (301) 309-8601			
SCALE AS NOTED	DATE JUNE 2005	PROJ. NO. 05814 A	SHEET NO. 1 of 1



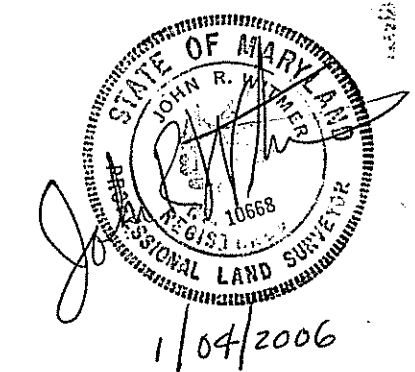
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TAX MAP	JN 342	2009 GRID	209 NW 1	2000' U.S. A.C. MAP	PAGE 27 GRID C-10
REVISIONS:	VICINITY MAP SCALE 1" = 2,000'				
PREPARED FOR: <b>KATINA BRUNSWICK ARCHITECTURE</b> 4931 ST. ELMO AVE. SUITE 2 BETHESDA MD 20814 301-852-8300 FAX 301-652-8306					

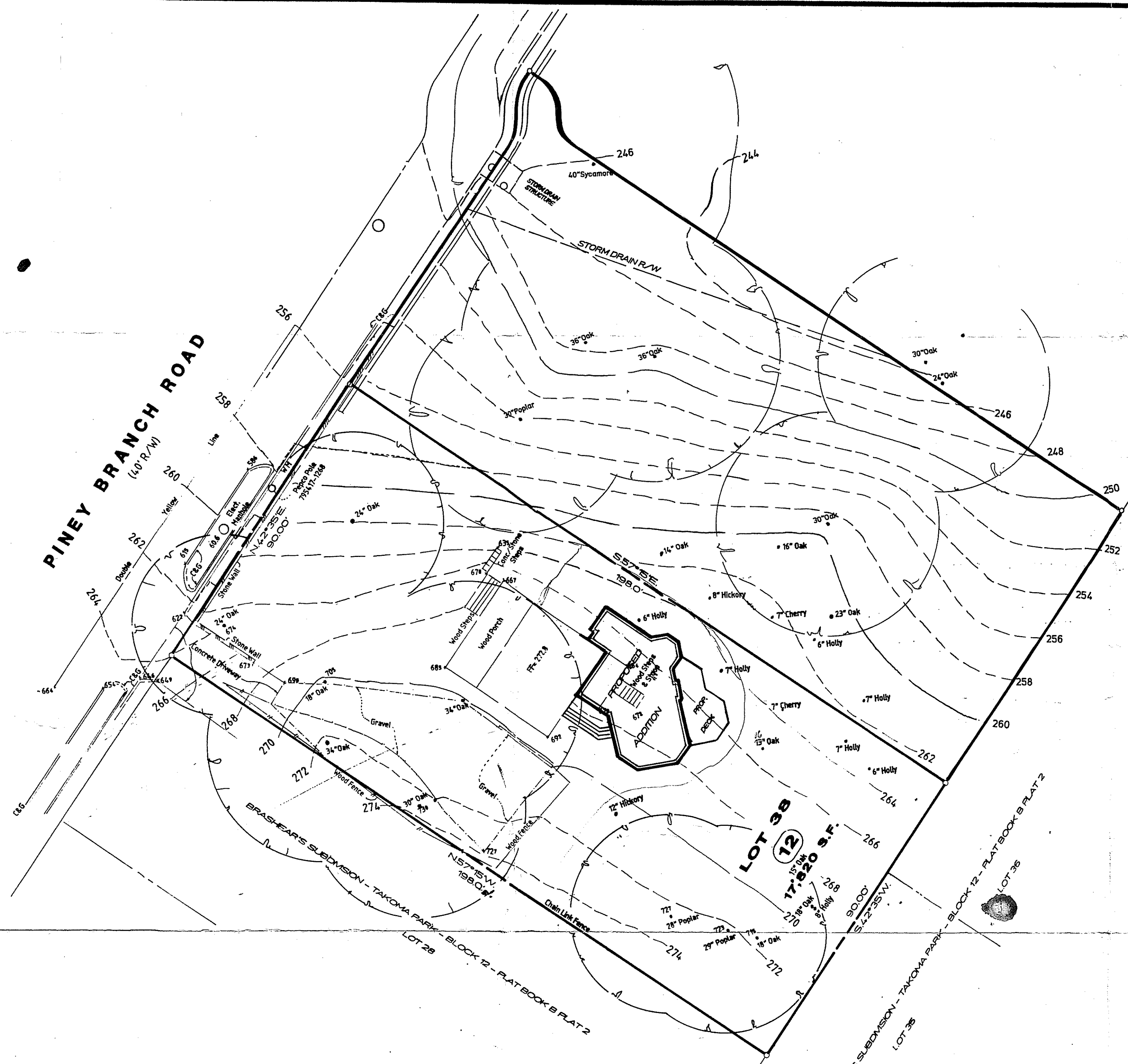
**SITE PLAN**

**LOT 38 - BLOCK 12**  
**BRASHEAR'S SUBDIVISION**  
**TAKOMA PARK**

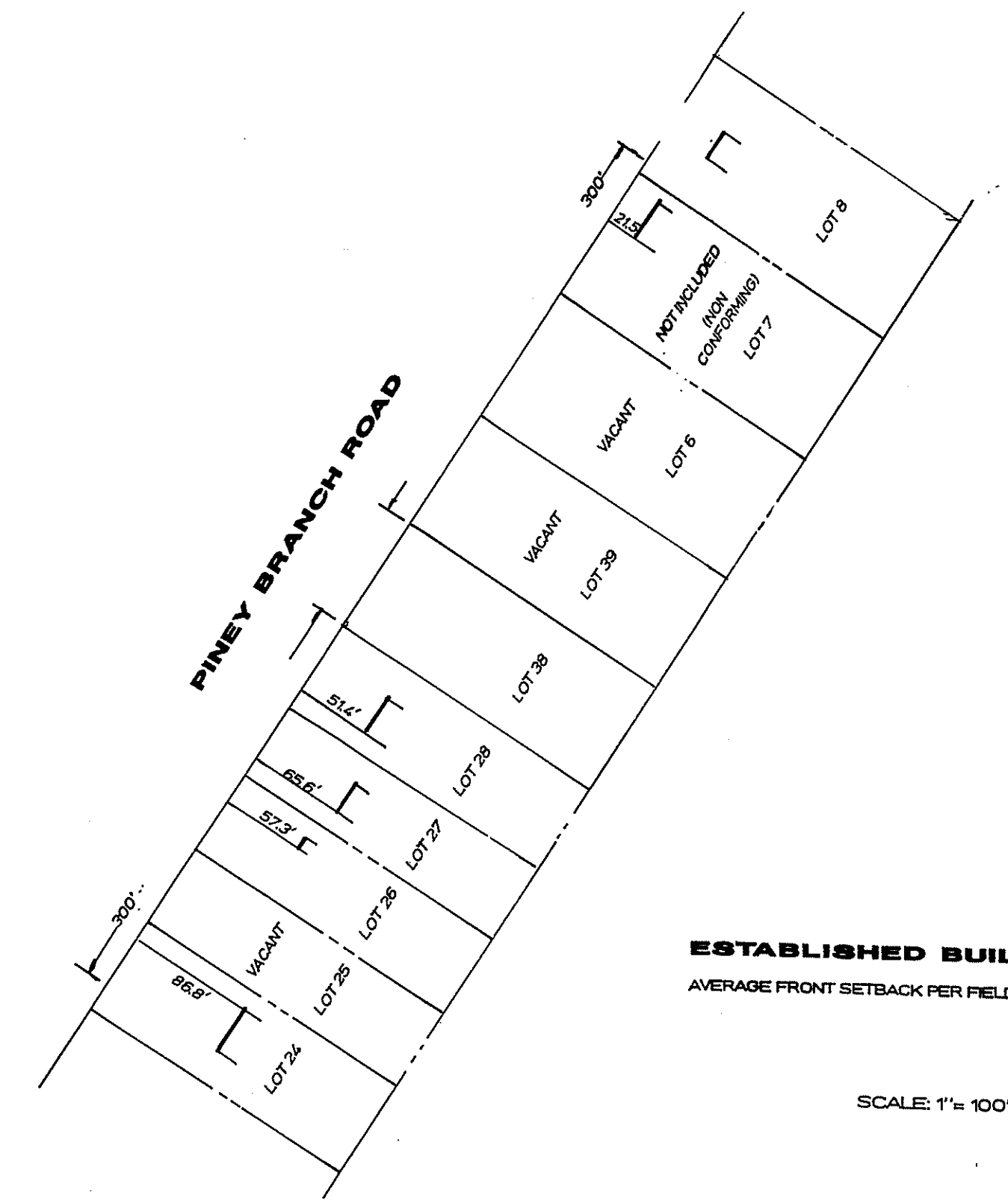
WHEATON (19th) ELECTION DISTRICT  
 MONTGOMERY COUNTY MARYLAND

**W WITMER ASSOCIATES, LLC**  
 Land Surveying, Land Planning & Design  
 98 A Church Street, Rockville, MD 20850  
 Tele (301) 309-8600 Fax: (301) 309-8601

SCALE	DATE	PROJ. NO.	SHEET NO.
AS NOTED	JUNE 2005	05814 A	1 of 1



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TAX MAP JN 342	200 SHEET 209 NW 1	2000 G ADC MAP PAGE 27 GRID C-10
REVISIONS:	VICINITY MAP	SCALE: 1" = 2,000'
PREPARED FOR:	<b>KATHAS BRUNSWICK ARCHITECTURE</b> 4931 ST. ELMO AVE. SUITE 2 BETHESDA MD 20814 301-852-8300 FAX 301-852-8306	

**SITE PLAN**

**LOT 38 - BLOCK 12**  
**BRASHEAR'S SUBDIVISION**  
**TAKOMA PARK**

WHEATON (13th) ELECTION DISTRICT  
 MONTGOMERY COUNTY MARYLAND

**W WITMER ASSOCIATES, LLC**  
 Land Surveying, Land Planning & Design  
 98 A Church Street, Rockville, MD 20850  
 Tele (301) 309-8600 Fax (301) 309-8601

1/04/2006



# BARTH/SCORZA RESIDENCE ADDITION

7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

## ARCHITECT:

KATINAS BRUCKWICK ARCHITECTURE  
4931 SAINT ELMO AVENUE, SUITE 2  
BETHESDA MARYLAND 20814  
TEL 301.652.8300 FAX 301.652.8306

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10. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
11. THE CONTRACTORS SHALL BE REQUIRED TO MAKE PLURAL AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
12. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.
13. ALL COSTS LISTED ARE MATERIAL ONLY, U.N.O.

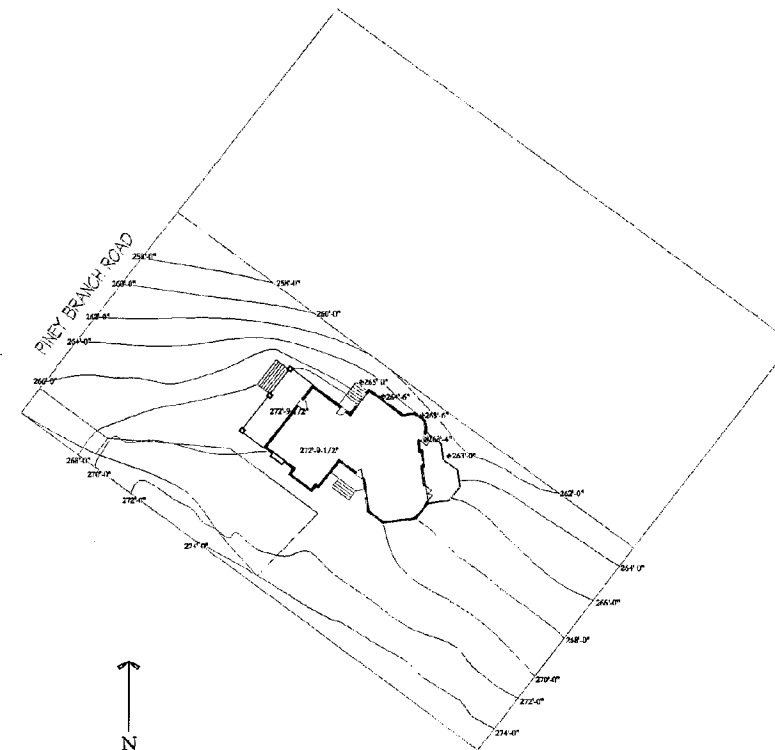
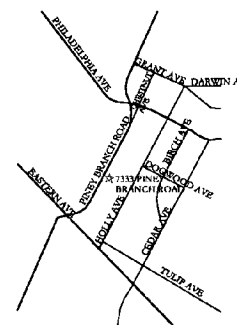
## DRAWING INDEX

- A-1 COVER SHEET
- A-2 DEMO PLANS
- A-3 1ST & 2ND FLOOR PLANS
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- S-1 FOUNDATION & FRAMING PLANS
- S-2 FRAMING PLANS
- E-1 ELECTRICAL PLANS

## STRUCTURAL NOTES:

1. FOOTINGS ARE DESIGNED FOR A SOIL BEARING OF 1500 PSF. THIS VALUE IS TO BE VERIFIED IN FIELD BY GEOTECHNICAL ENGINEER.
2. BOTTOM OF ALL EXTERIOR FOOTINGS TO BE A MINIMUM OF 30" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED STEP FOOTINGS IN RATIO OF 2 HORIZ. : 1 VERT. FOOTINGS ARE TO BE POURED AGAINST UNDISTURBED SOIL AT SIDES AND BOTTOM UNLESS NOTED OTHERWISE.
3. CONCRETE SHALL BE 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE. ALL CONCRETE TO BE POURED IN ACCORDANCE W/ ACI 301 SPECS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED 6% ± 1%.
4. ALL FILL UNDER SLABS TO BE COMPACTED TO DRY DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR. MAXIMUM DRY DENSITY (ASTM D-698) TO BE PLACED IN LAYERS NOT EXCEEDING 8".
5. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 40 PCF ASSUMING A FREE DRAINING MATERIAL BEHIND WALL WITH A PERIMETER DRAIN SYSTEM. NOTIFY ARCHITECT IF SOIL CONDITIONS DIFFER.
6. ALL REINFORCING STEEL TO MEET ASTM GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" AND CRSI STANDARDS. PROVIDE 1 1/2" CLEAR DISTANCE TO REINFORCING IN WALLS. PROVIDE 3" CLEAR TO REINFORCING AT BOTTOM OF FOOTING.
7. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 PO LOAD BEARING MASONRY. ALL MASONRY TO BE REINFORCED @ 16" HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE N.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. ALL TRUSSES OR OPEN WEB JOISTS TO BE VERIFIED & SEALED BY SUPPLIER'S ENGINEER (REGISTERED IN MARYLAND). SUBMIT SHOP DRAWING FOR ARCHITECT FOR APPROVAL BEFORE FABRICATION.
10. ML DENOTES LAMINATED VENEER LUMBER WITH VALUES OF F<sub>b</sub> = 2400psi SINGLE MEMBER, F<sub>v</sub> = 220psi, E = 1,800,000psi.
11. OUTSIDE WALL TRUSSES TO BE FIELD BUILT OR MANUFACTURED TRUSSES WITH APPROPRIATE BLOCKING TO TRANSFER UPPER FLOOR HEADER JACKS AND ROOF FLOOR TRUSS LOADS.
12. WALL FRAMING TO BE LOAD BEARING WALLS (SPF NO. 2 GRADE OR BETTER. VALUES OF F<sub>c</sub> = 1150psi, F<sub>v</sub> = 135psi & E = 1,400,000psi.
13. ALL FRAMING LUMBER TO BE HFEM FIR #2 OR SPF 2 OR BETTER. F<sub>b</sub> = 850 FOR SINGLE MEMBER USE, F<sub>v</sub> = 135psi, F<sub>c</sub> = 1100psi & E = 1,300,000psi. SPF (SOUTH) IS NOT ACCEPTABLE. LUMBER MUST BE GRADED NLGA.
14. COLUMNS AND POSTS TO BE BLOCKED SOLID (THROUGH DECK ASSEMBLIES) TO WALL COLUMN OR POST BELOW TO FOUNDATION OR FOOTING.
15. ALL HEADERS TO BE SUPPORTED ON (2) 2x4'S (1 JACK, 1 KING) WHEN OPENINGS ARE 3'-6" OR LESS. OPENINGS GREATER THAN 3'-6" ARE REQUIRED TO HAVE (3) 2x4'S (2 JACKS, 1 KING) ALL MICROLAMS REQUIRE 2 JACKS, 1 KING TYP.
16. STRUCTURAL STEEL SHALL BE ASTM A 992 AND CONFORM TO AISC SPECIFICATIONS FOR FABRICATION AND ERECTION. STEEL LINTEL SCHEDULE FOR 4" BRICK.  
OPENINGS TO 3'-0" = 3 1/2" x 3 1/2" x 1/4"  
3'-1" - 5'-0" = 4" x 3 1/2" x 5/16" LLV (LONG LEG VERTICAL)  
5'-1" - 6'-6" = 5" x 3 1/2" x 5/16" LLV  
SPANS OVER 6'-6" CONSULT ENGINEER
17. FLITCH BEAMS SHALL BE BOLTED W/ 1/2" THROUGH BOLTS @ 16" O.C. TOP AND BOTTOM W/ THE FIRST BOLTS @ 6" MAX FROM THE ENDS.

## LOCATION:



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BARTH/SCORZA RESIDENCE  
ADDITION

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TAKOMA PARK, MD 20912

05-200

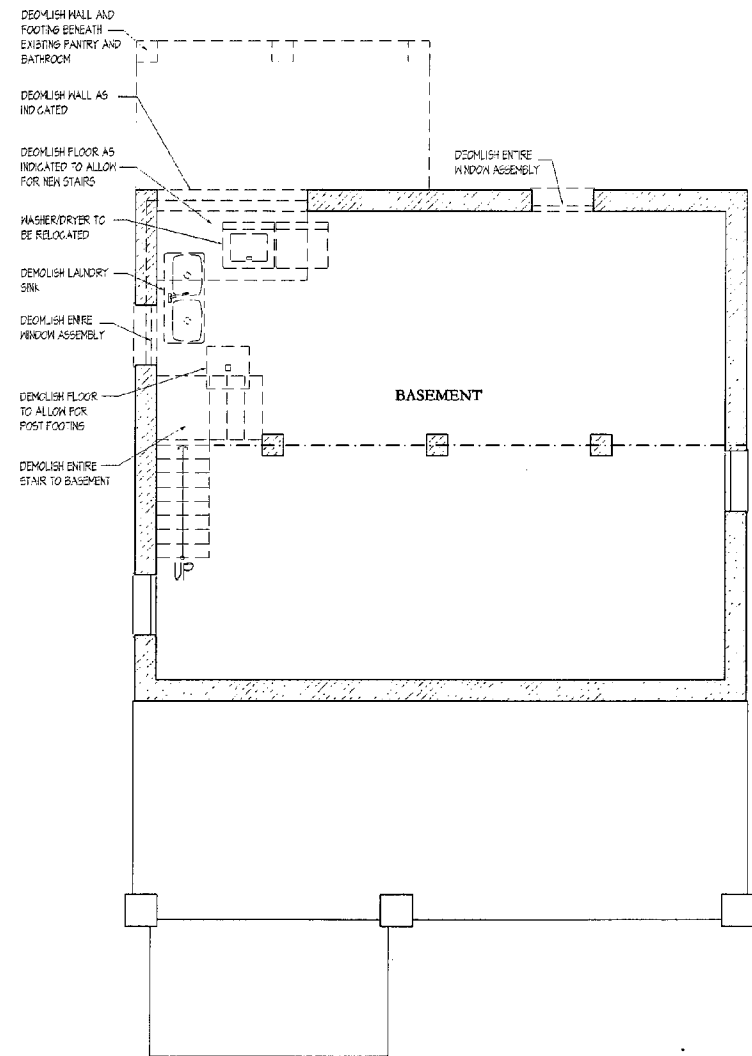
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COVER

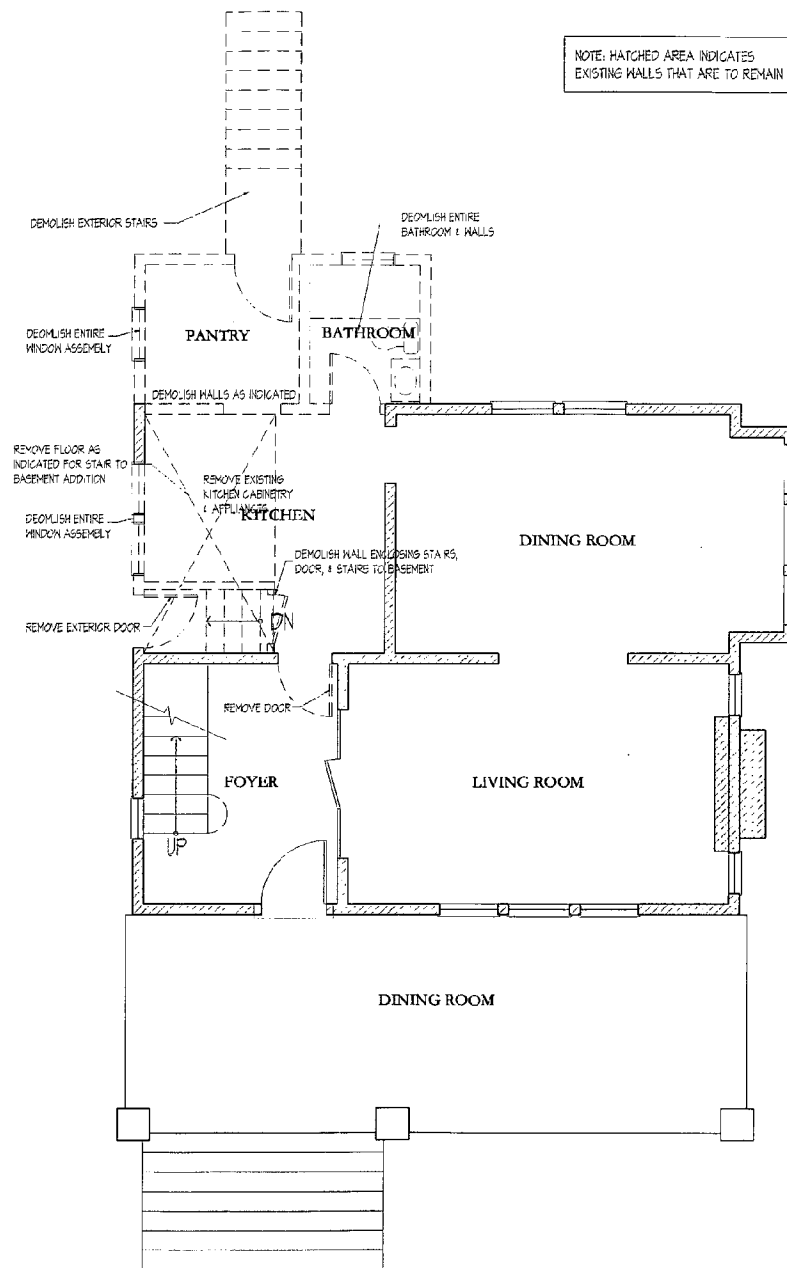
**A-1**

SHEET



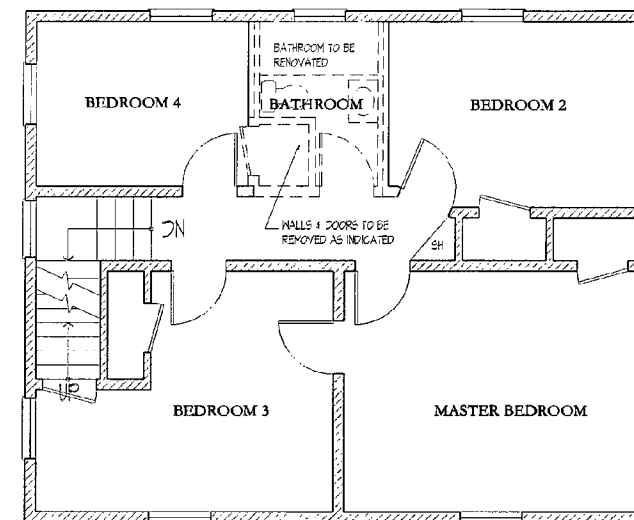


**BASEMENT** 3  
 $\frac{1}{4}'' = 1'-0''$



NOTE: HATCHED AREA INDICATES EXISTING WALLS THAT ARE TO REMAIN

**1ST FLOOR** 2  
 $\frac{1}{4}'' = 1'-0''$



**2ND FLOOR** 1  
 $\frac{1}{4}'' = 1'-0''$

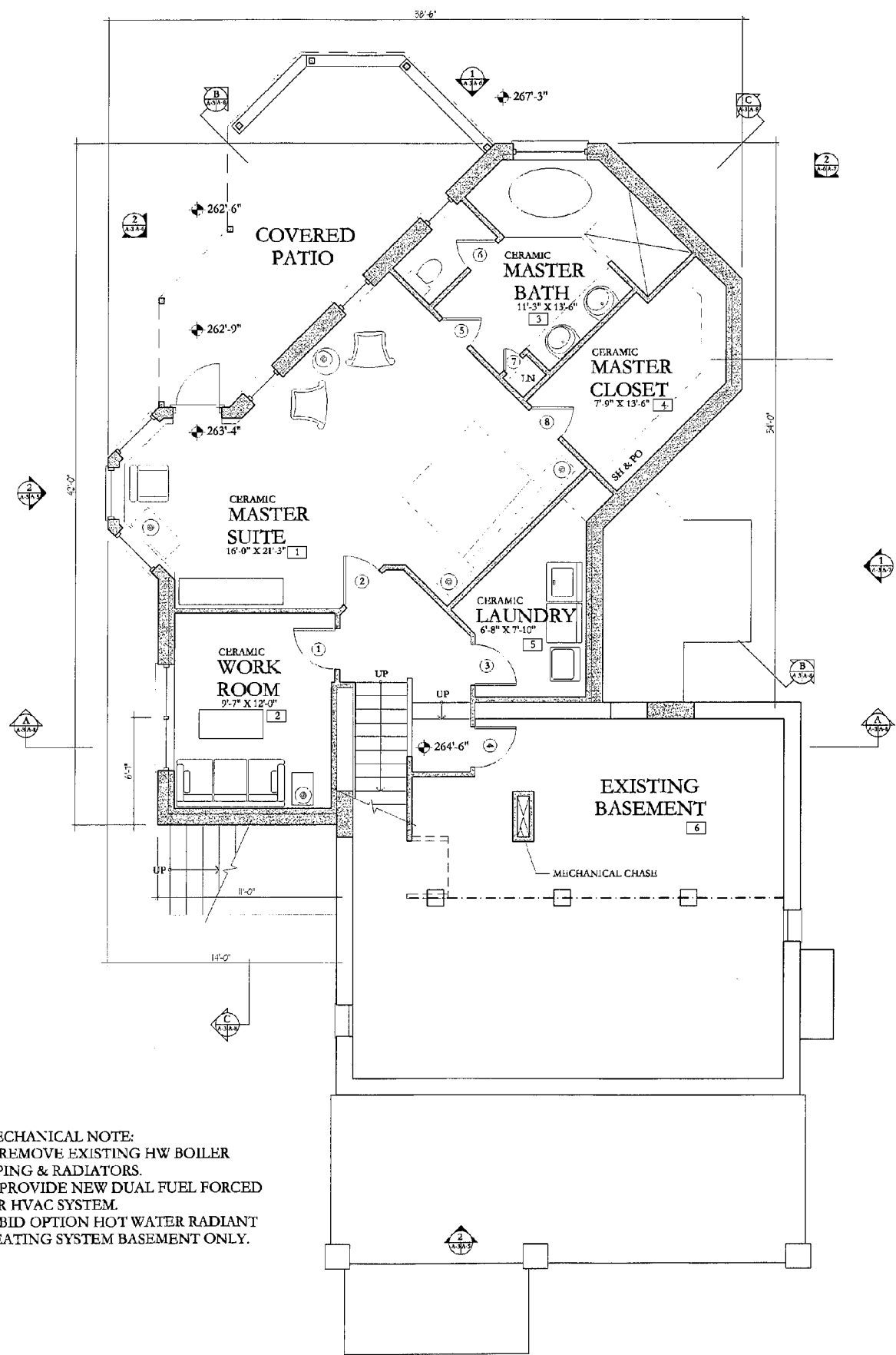
- DEMO NOTES:
1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
  2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
  3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
  4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
  5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLTLY TO MATCH EXISTING IF DAMAGED.
  6. ABANDON MECHANICAL DUCTS NOT TO BE USED IN PLACE OR RE-USE AS PART OF NEW 2 ZONE SYSTEM.
  7. MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

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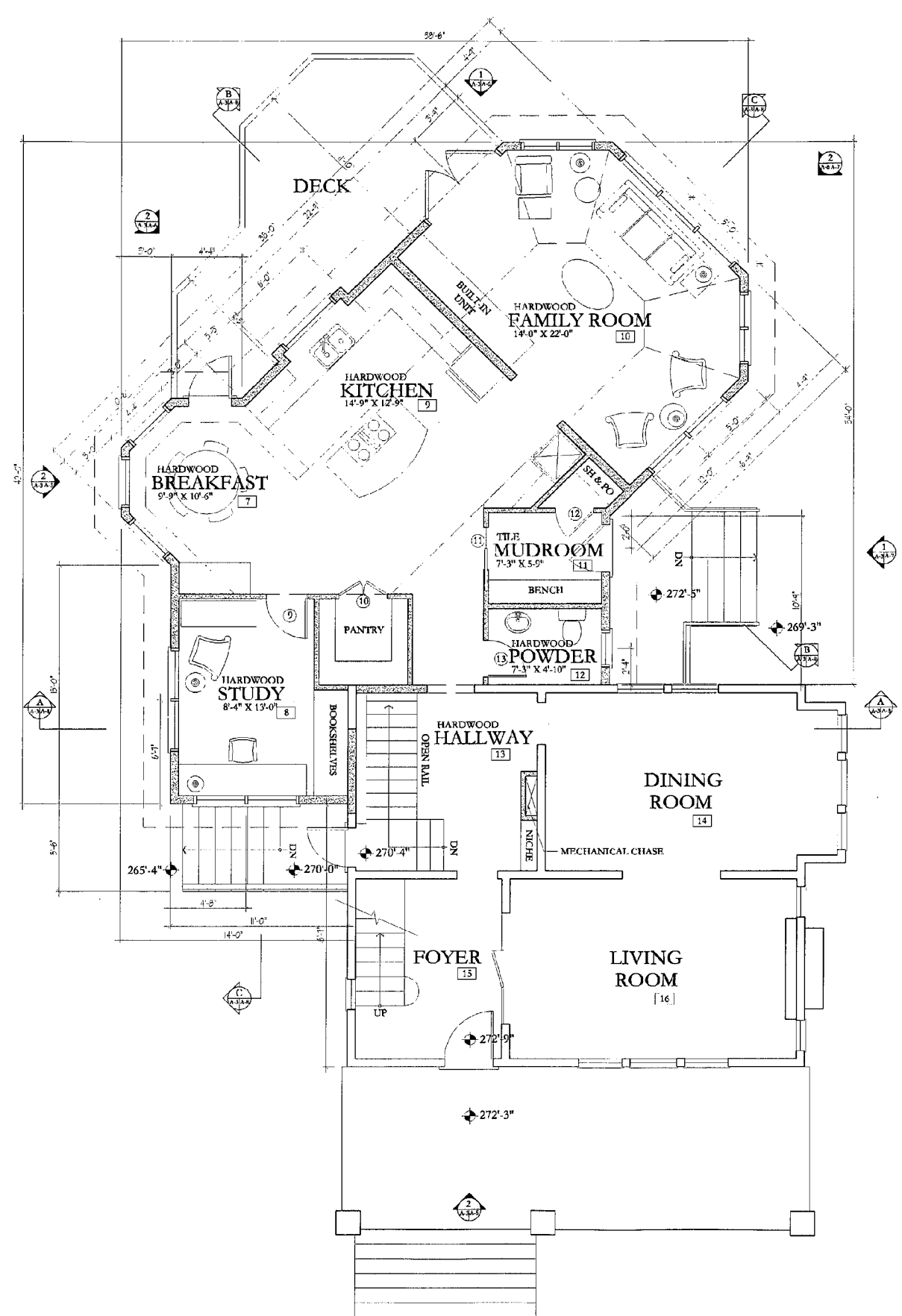
DEMO  
**A-2**  
 PLANS



**BASEMENT PLAN**

**2**

$\frac{1}{4}'' = 1'-0''$



**1ST FLOOR PLAN**

**1**

$\frac{1}{4}'' = 1'-0''$

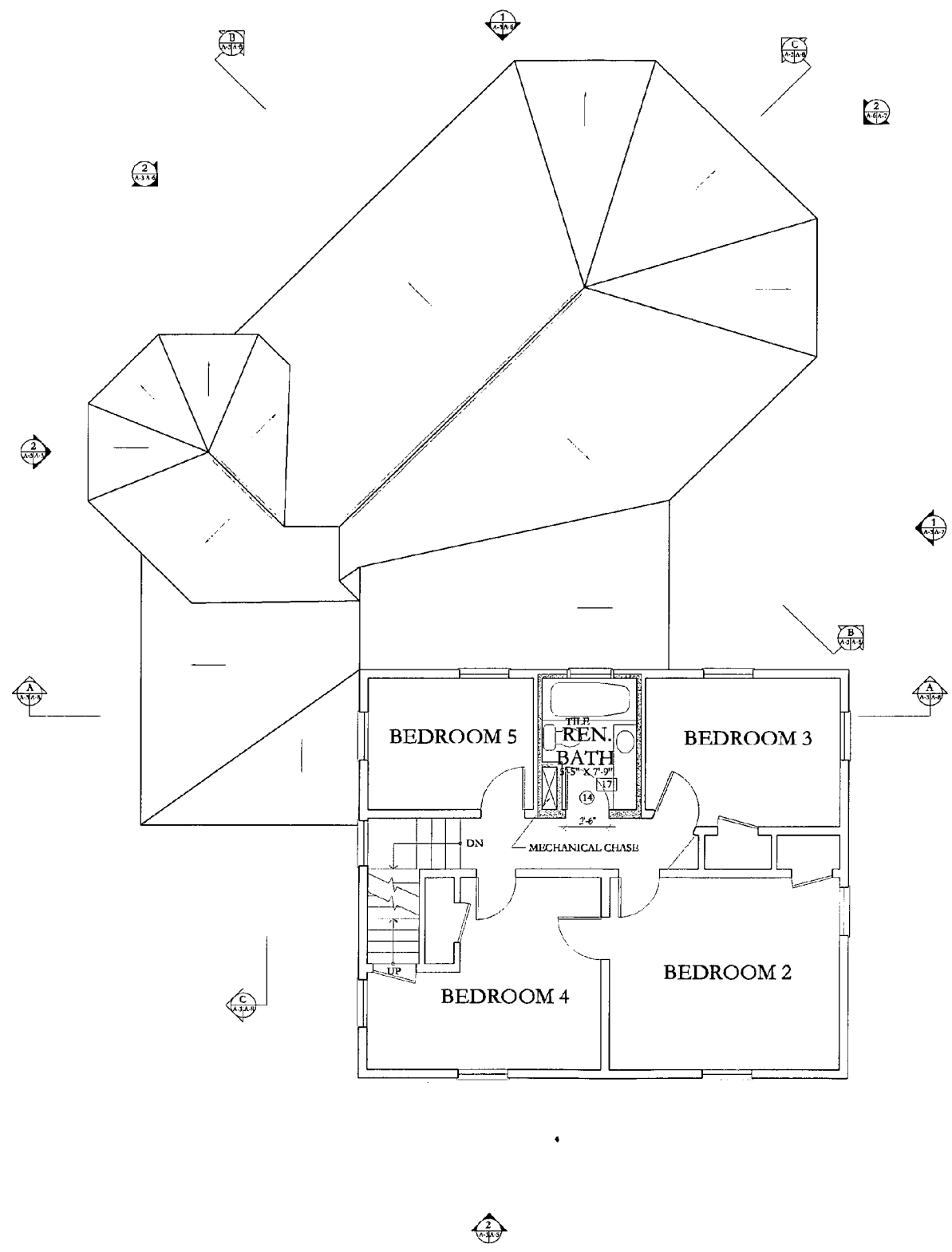
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BSMT & 1ST  
**A-3**  
 FLOOR PLANS

INTERIOR DOOR SCHEDULE			
DOORS ARE MASONITE SOLID, STYLE TO MATCH EXISTING			
SYM	WIDTH	HEIGHT	COMMENT
1	2'-6"	6'-8"	
2	5'-0"	6'-8"	
3	2'-6"	6'-8"	
4	2'-6"	6'-8"	
5	2'-4"	6'-8"	
6	2'-4"	6'-8"	
7	1'-4"	6'-8"	
8	2'-6"	6'-8"	
9	2'-6"	6'-8"	
10	5'-0" (EACH LEAF 1'-6")	6'-8"	POCKET DOOR
11	2'-8"	6'-8"	
12	2'-4"	6'-8"	
13	2'-4"	6'-8"	
14	2'-6"	6'-8"	



INDEX

- FLOORS:  
 WOOD FLOOR OAK TO MATCH EXISTING  
 GT-1 GLAZED CERAMIC FLOOR TILE, 8" x 8"  
 GT-2 GLAZED CERAMIC FLOOR TILE 12" x 12"  
 C-1 UNFINISHED CONCRETE FLOOR  
 C-2 CARPET
- BASES:  
 WD 1/2" x 2" BASE MOLD, TO MATCH EXISTING  
 GTB-1 CERAMIC TILE BASE - MATCH GLAZED CERAMIC WALL TILE
- WALLS:  
 FT-1 FLAT LATEX WALL PAINT - 1 PRIMER COAT, 2 FINISH COAT  
 FT-2 LATEX SEMI GLOSS ENAMEL TRIM PAINT, 1 PRIMER COAT, 2 FINISH COAT  
 FT-3 CEILING FLAT WHITE LATEX ON SMOOTH GNB CEILING (CL-1)  
 GT-2 GLAZED CERAMIC WALL TILE
- UF UNFINISHED GLG
- MOLDINGS:  
 M-1 DOOR & WINDOW CASING TO MATCH EXISTING  
 M-2 BASE BOARD TO MATCH EXISTING

FINISH SCHEDULE							
NO.	NAME	FLOOR	WALLS	MOULDINGS	CLG PAINT	NOTES	NO.
1	MASTER SUITE	GT-2	FT-1	M-1, M-2	FT-5		1
2	WDR. ROOM	GT-2	FT-1		FT-5		2
3	MASTER BATH	GT-2	FT-1, GT-2	M-1, M-2	FT-5		3
4	MASTER CLOSET	GT-2	FT-1	M-1, M-2	FT-5		4
5	LAUNDRY	GT-2	FT-1	M-1, M-2	FT-5		5
6	EXISTING BASEMENT	C-1	FT-	M-1, M-2	FT-5		6
7	BREAKFAST	WOOD FLOOR	FT-	M-1, M-2	FT-5		7
8	STUDY	WOOD FLOOR	FT-	M-1, M-2	FT-5		8
9	KITCHEN	WOOD FLOOR	FT-	M-1, M-2	FT-5		9
10	FAMILY ROOM	WOOD FLOOR	FT-	M-1, M-2	FT-5		10
11	HDRROOM	GT-1	FT-2, GT-2	M-1, M-2	FT-5		11
12	PORCHER ROOM	WOOD FLOOR	FT-2	M-1, M-2	FT-5		12
13	HALLWAY	WOOD FLOOR	FT-1	M-1, M-2	FT-5		13
14	DINING ROOM	WOOD FLOOR		M-1, M-2	FT-5		14
15	FOYER	WOOD FLOOR		M-1, M-2	FT-5		15
16	LIVING ROOM	WOOD FLOOR		M-1, M-2	FT-5		16
17	RENOVATED BATHROOM	GT-1	FT-1, GT-2	M-1, M-2	FT-5		17

2ND FLOOR & ADDITION ROOF PLAN

1/4" = 1'-0"

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 7333 PINNEY BRANCH ROAD  
 TAKOMA PARK, MD 20912

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2ND & ROOF

**A-4**  
 PLANS

ELEVATION NOTES:

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER.
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



NORTH WEST ELEVATION

2

1/4" = 1'-0"



NORTH EAST ELEVATION

1

1/4" = 1'-0"

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ADDITION**

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NW & NE

**A-5**

ELEVATIONS

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
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10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



**EAST ELEVATION**

2  
1/4" = 1'-0"

WINDOW + EXTERIOR DOOR SCHEDULE					
JULIEN MANUFACTURER, POZZI COLLECTION, CLAD, INSULATED, LOW-E GLASS, SGL, PRIMED WOOD INTERIOR					
ALL MEASUREMENTS REPRESENT ROUGH OPENING DIMENSIONS					
SYM	TYPE	WIDTH	HEIGHT	MODUL NUMBER	COMMENT
A	DEL - HUNG	4'-8-1/4"	4'-4-5/16"	CPDH 2420-2	TWIN UNIT
B	DEL - HUNG	4'-11-1/4"	4'-5-3/16"	CPDH 2422-2	TWIN UNIT
C	DEL - HUNG	3'-7-1/4"	4'-9-5/16"	CPDH 2824-2	TWIN UNIT
D	DEL - HUNG	3'-4-7/8"	3'-5-3/16"	CPDH 5228	
E	DEL - HUNG	3'-4-7/8"	3'-4-5/16"	CPDH 5226	
F	DEL - HUNG	3'-4-7/8"	7'-5-5/16"	CPDH 5228, CPDM 5214	THE UNITS MILLED TOGETHER
G	OUTSWING DOOR	2'-9-15/16"	7'-2-5/16"	COSMT 2870	
H	OUTSWING DOOR	2'-9-15/16"	7'-2-5/16"	COSMT 2870	
J	CSMT IN BAY	3'-0-1/2"	4'-7-1/2"	CC 2054-5	
K	DEL - HUNG	2'-5-7/8"	4'-9-5/16"	CPDH 2424	
L	OUTSWING FRENCH DOOR	6'-5-1/8"	7'-2-5/16"	COPRT 6070	
M	DEL - HUNG	2'-1-1/8"	3'-5-3/16"	CPDH 2018	
N	DEL - HUNG	4'-3-1/4"	3'-4-1/4"	CPDH 2026-2	TWIN UNIT
O	CASEMENT	4'-8-1/2"	2'-3-1/2"	CCP 5452	
P	CASEMENT	4'-0-1/2"	3'-0-1/2"	CC 3626-5	TRIPLE
R	DEL - HUNG	6'-5-1/4"	5'-1-1/4"	CPDH 5228-2	TWIN UNIT
S	DEL - HUNG	2'-4-7/8"	3'-5-3/16"	CPDH 2016	
T	DOOR	2'-9-1/8"	7'-2-5/8"		
U	DOOR	2'-4-1/2"	7'-2-5/8"		



**SOUTH EAST ELEVATION**

1  
1/4" = 1'-0"

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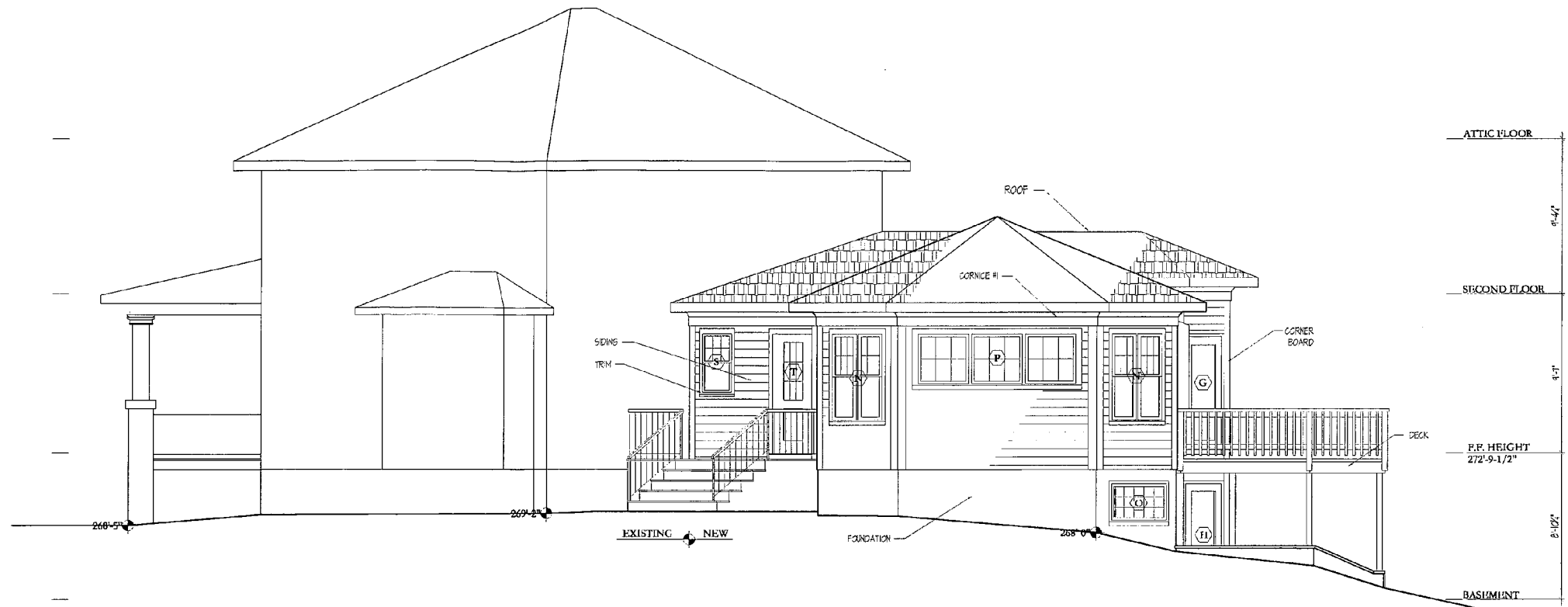
E & SE

**A-6**

ELEVATIONS

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
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9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILL S.



**SOUTH ELEVATION**

2

1/4" = 1'-0"



**SOUTH WEST ELEVATION**

1

1/4" = 1'-0"

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S & SW

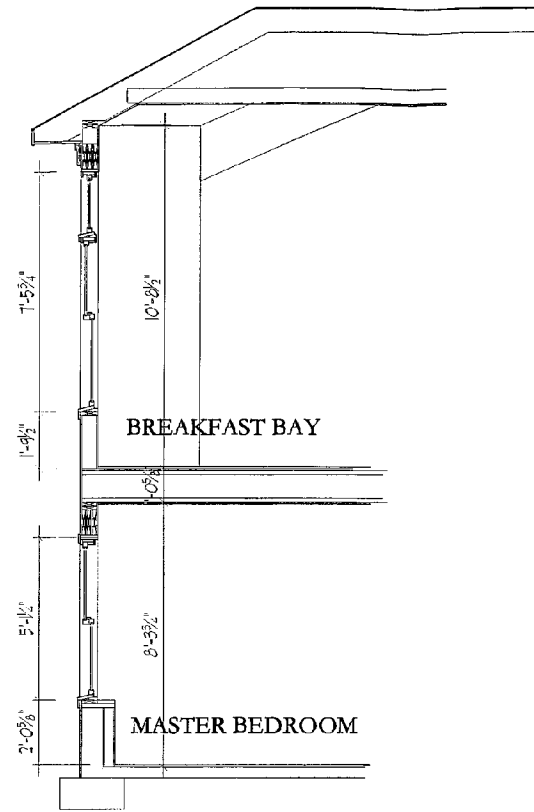
**A-7**  
ELEVATIONS

**BUILDING SECTION NOTES:**  
**ROOF:**  
 30 YR. 350# OWENS CORNING OAKRIDGE PRO 40 AR OR EQUAL ON 30# FELT ON 5/8" SHEATHING. FIELD BUILT ROOF FRAMING- 2x10 TOP CHORD AND 2x6 BOTTOM CHORD AT 16" OC.

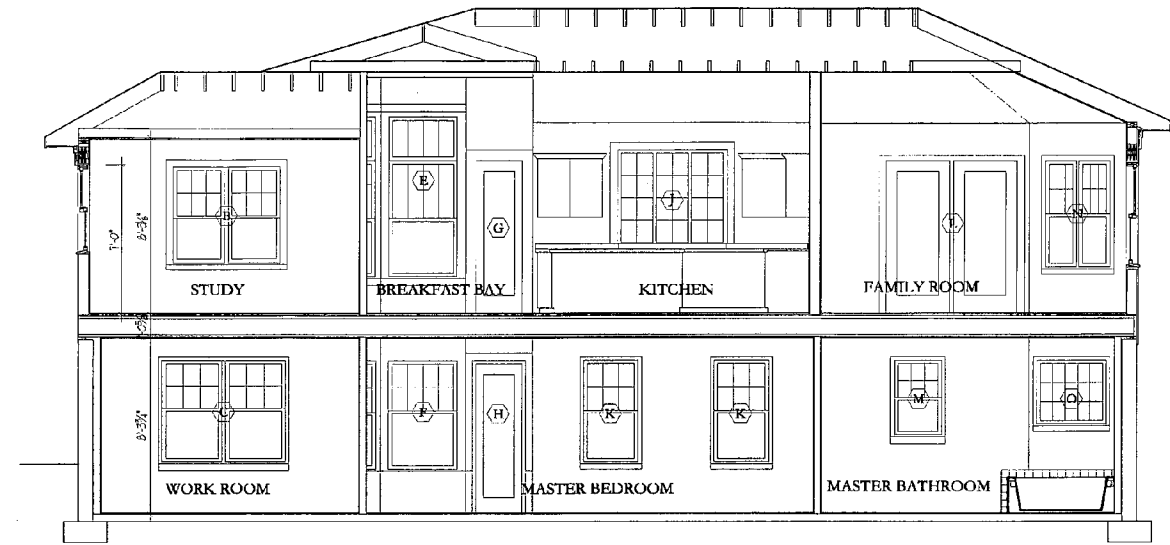
**WALLS:**  
 6" LAP PAINTED CEMENT FIBER BOARD SIDING ON VAPOR BARRIER ON 1/2" SHEATHING ON 2x6's AT 16" OC WITH 1/2" GYPSUM WALL BOARD.

**FLOOR DECK:**  
 FLOORING ON 3/4" T&G SHEATHING ON ENGINEERED FLOOR TRUSSES. 5/4" STRAND BOARD BAND. TREATED WOOD SILL PLATE ACHOR BOLTED TO FOUNDATION WALL.

**INSULATION:**  
 WALLS R19  
 ROOF R30  
 OVERHANG R30  
 BASEMENT R13 FLOOR TO CEILING  
 CRAWL R13 FLOOR TO CEILING



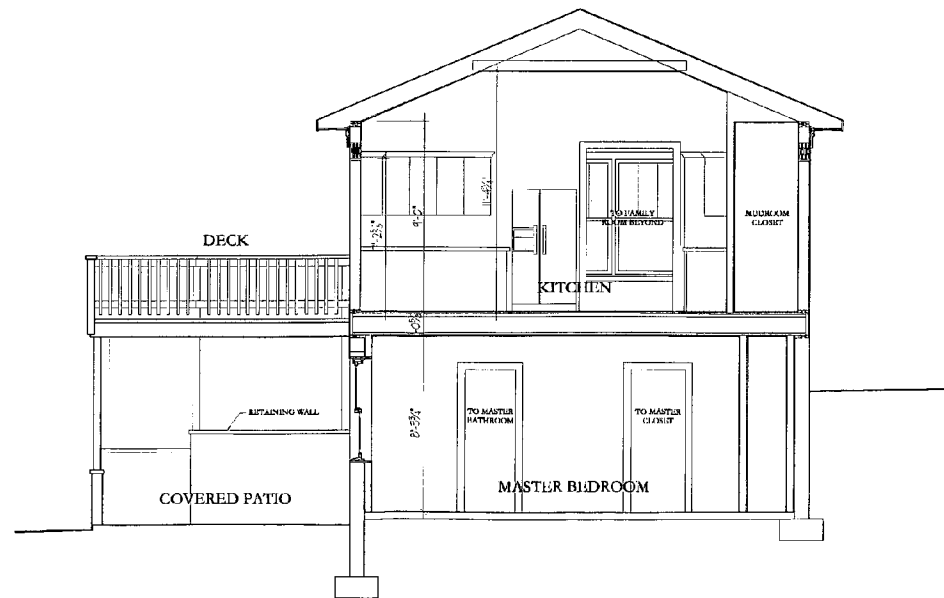
**SECTION DETAIL** 5  
 BREAKFAST BAY ABOVE & MASTER BAY BELOW 1/2" = 1'-0"



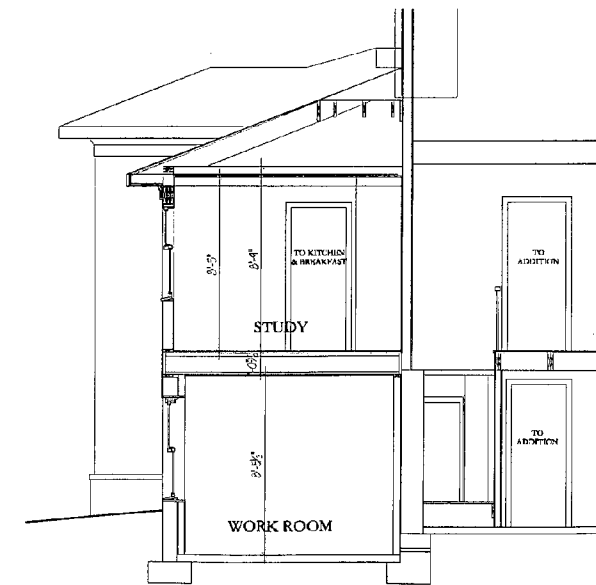
**SECTION** 3  
1/4" = 1'-0"



**FAMILY ROOM SECTION** 4  
 W/ BUILT-INS 1/4" = 1'-0"



**SECTION** 2  
1/4" = 1'-0"



**SECTION** 1  
 STUDY ABOVE & WORK ROOM BELOW 1/4" = 1'-0"

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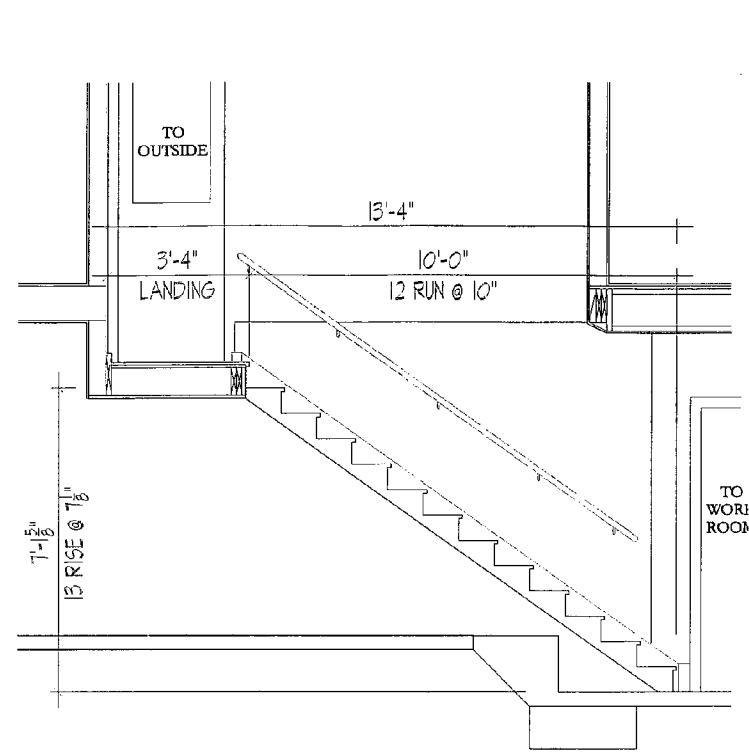
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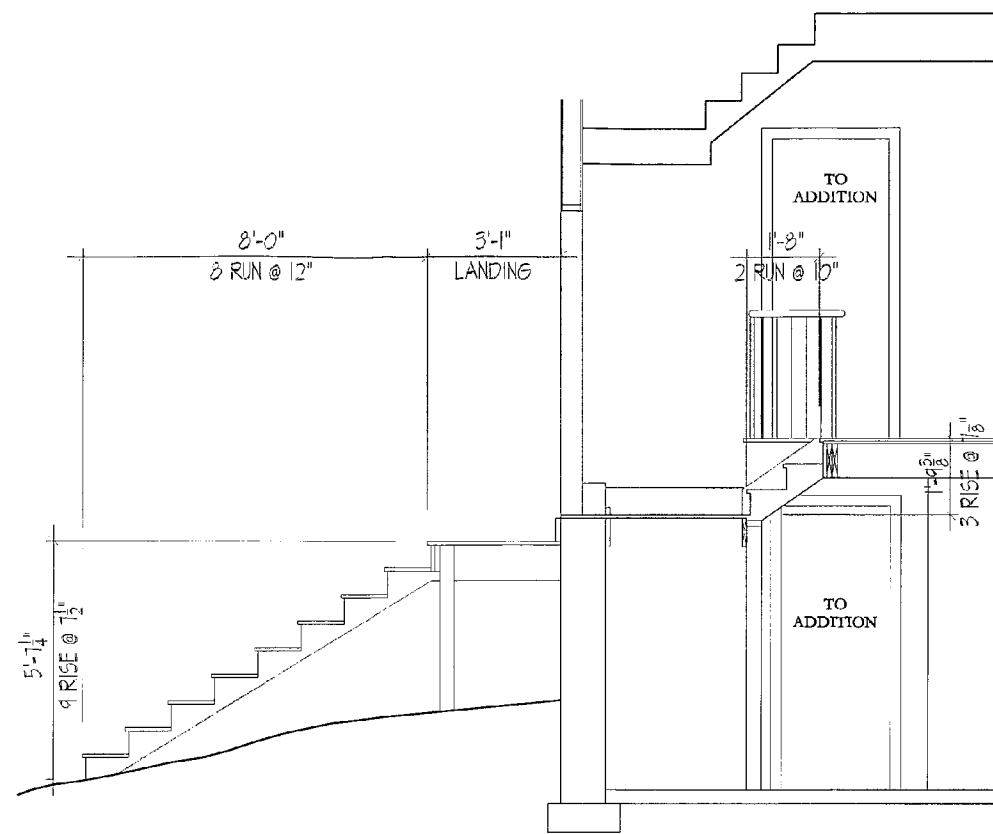
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SECTIONS

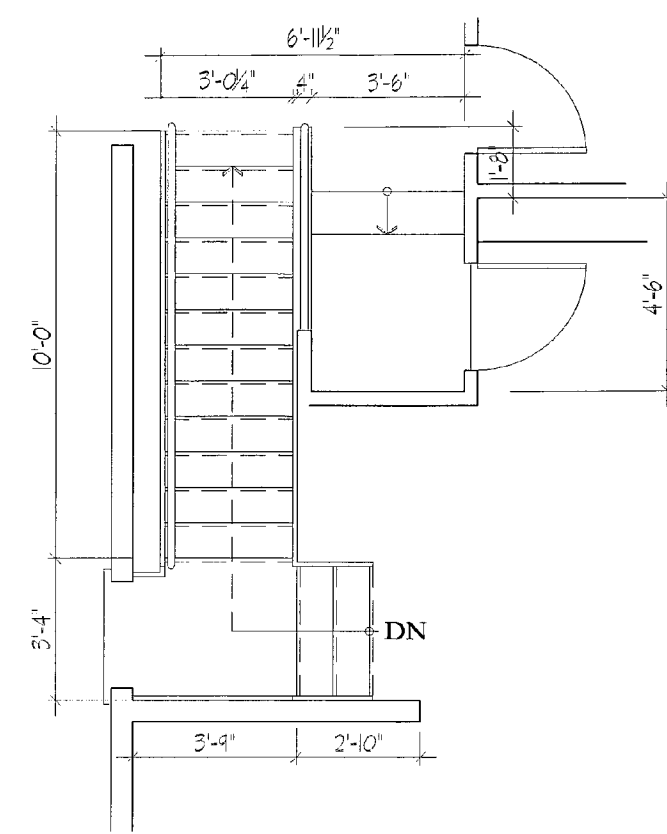
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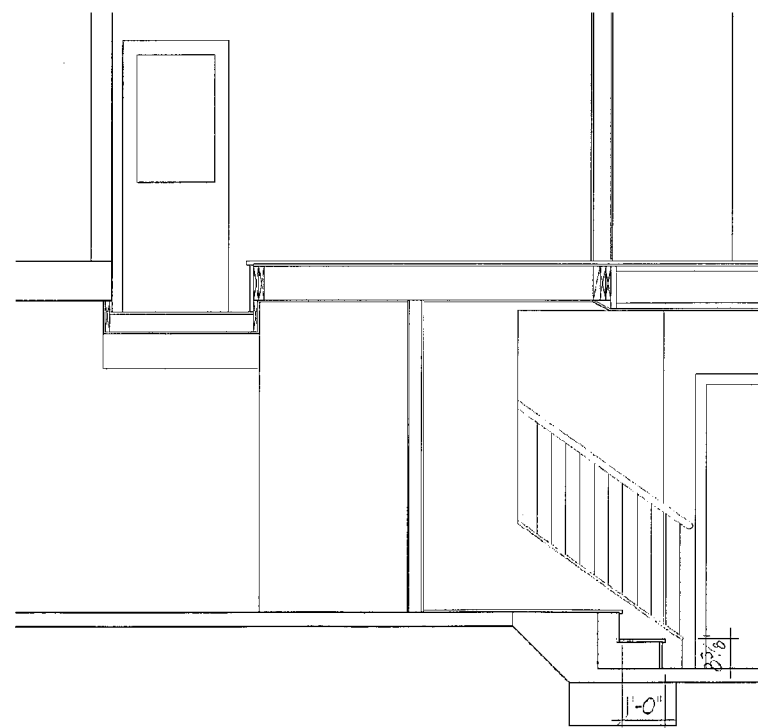
STAIR SECTION 5  
1/2" = 1'-0"



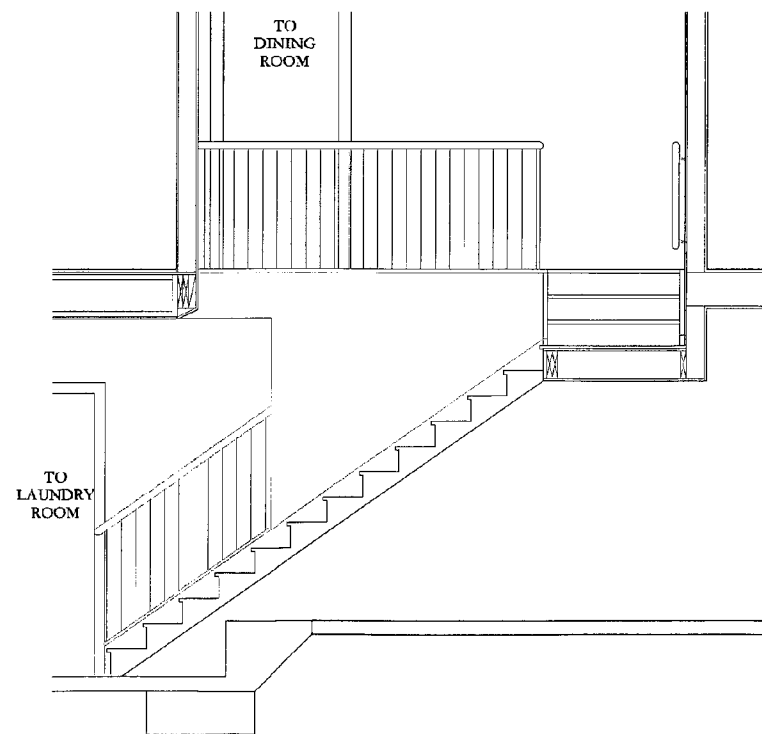
STAIR SECTION 5  
1/2" = 1'-0"



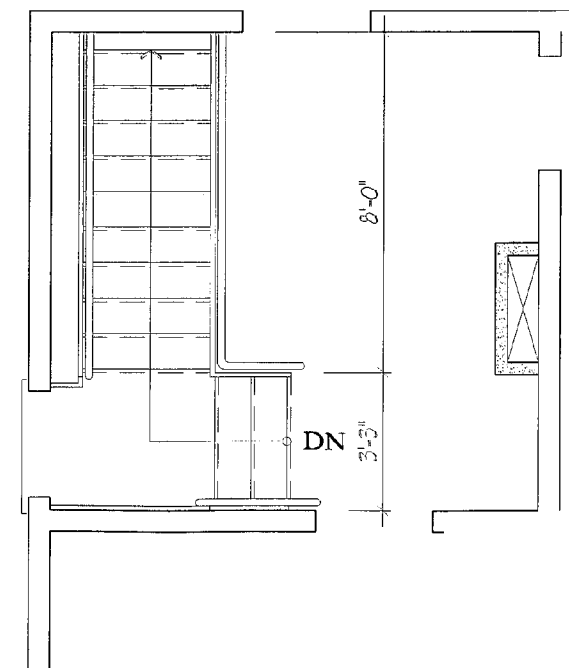
STAIR PLAN 3  
1/2" = 1'-0"



STAIR SECTION 4  
1/2" = 1'-0"













STAIR SECTION 2  
1/2" = 1'-0"

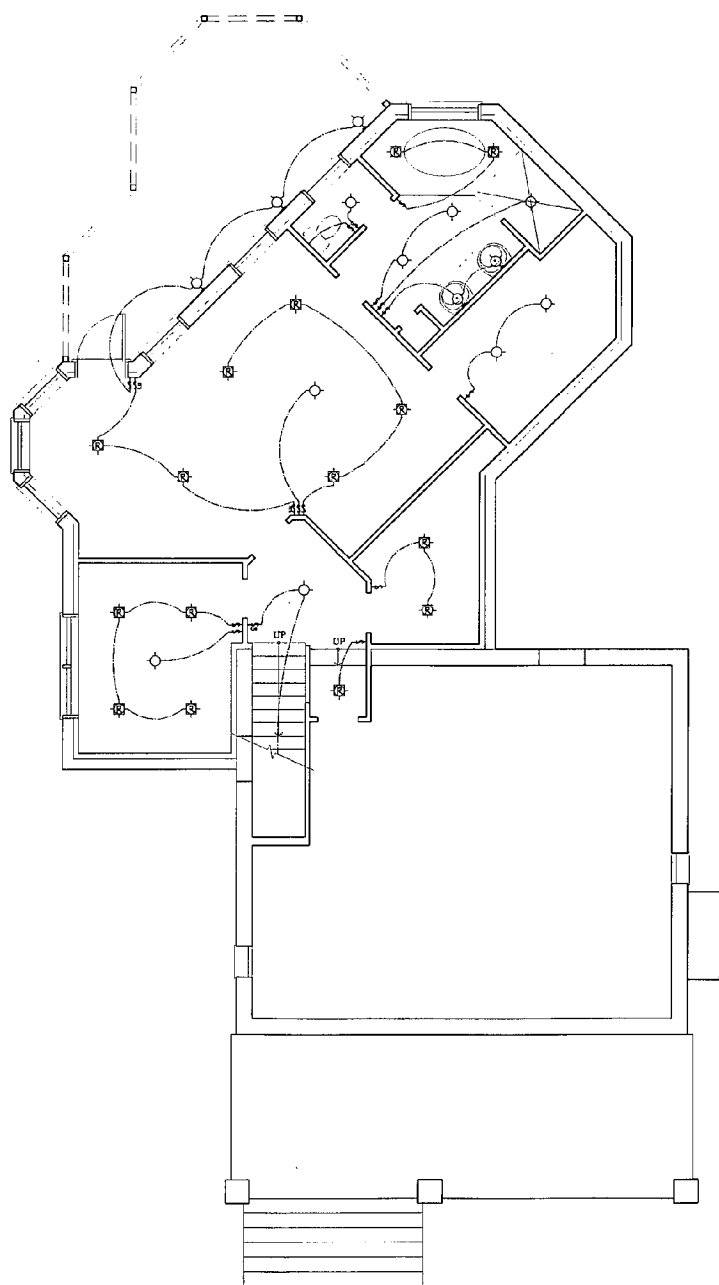


STAIR PLAN 1  
1/2" = 1'-0"



LEGEND:

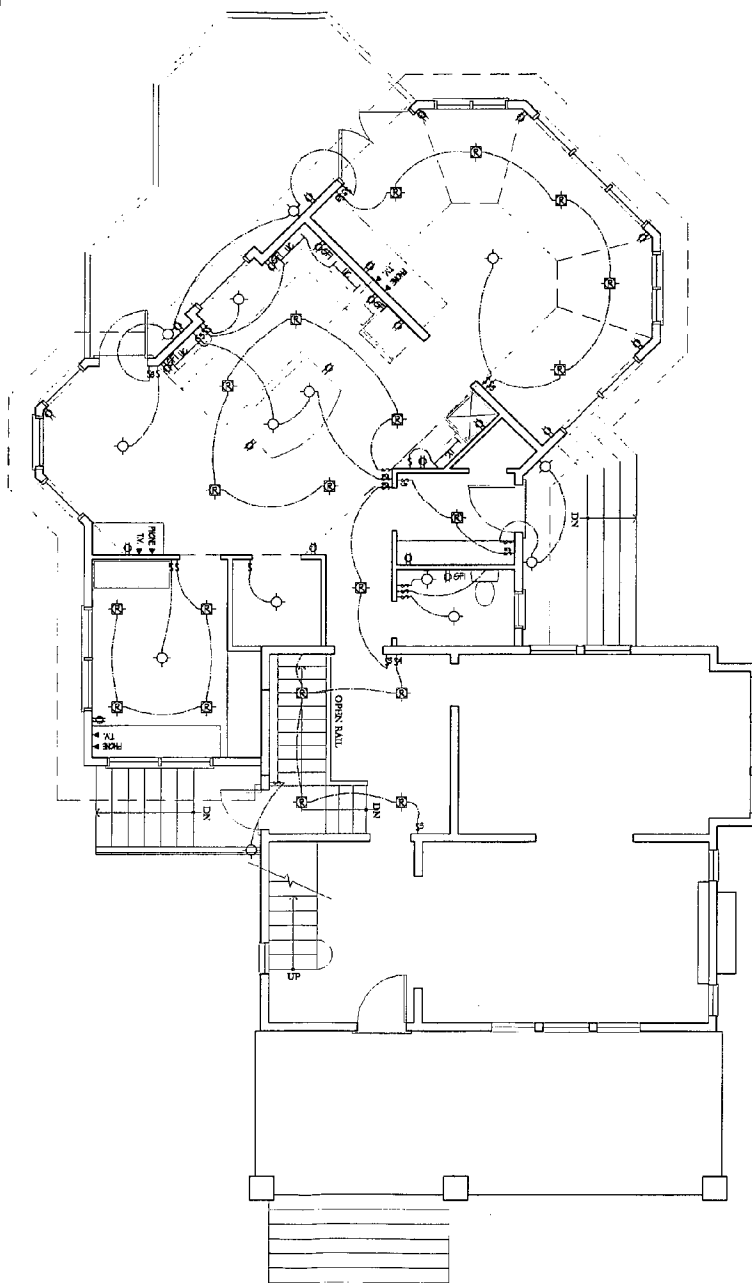
-  EXH FAN - EXHAUST FAN
-  WM - WALL MOUNT
-  RC - RECESSED CAN
-  FANLT - FAN LIGHT
-  SM - SURFACE MOUNT
-  SV
-  SHR
-  S
-  DIRECTIONAL FEATURE LIGHT
-  UC



BASEMENT PLAN

3

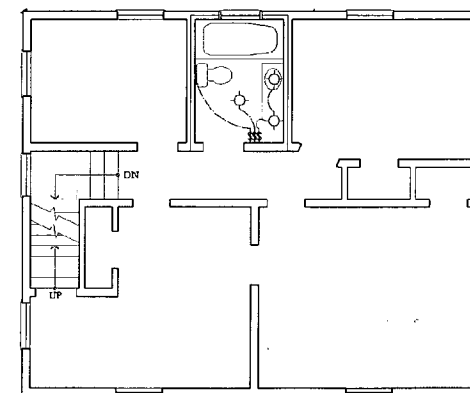
$\frac{3}{16}'' = 1'-0''$



1ST FLOOR PLAN

2

$\frac{3}{16}'' = 1'-0''$



2ND FLOOR PLAN

1

$\frac{3}{16}'' = 1'-0''$

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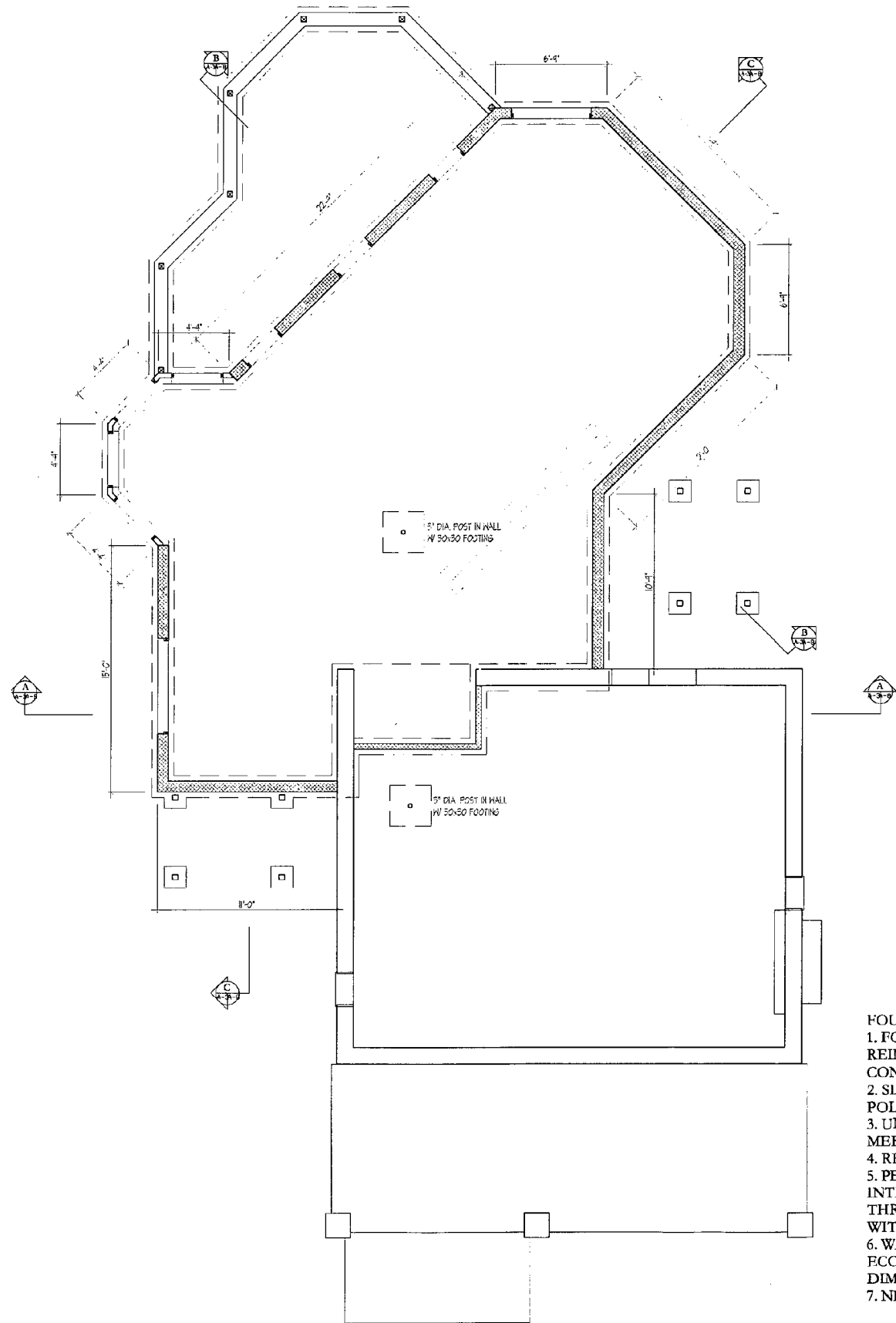
**BARTH/SCORZA RESIDENCE  
ADDITION**  
7333 PINNEY BRANCH ROAD  
TAKOMA PARK, MD 20912

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ELECTRICAL

**E-1**  
PLANS

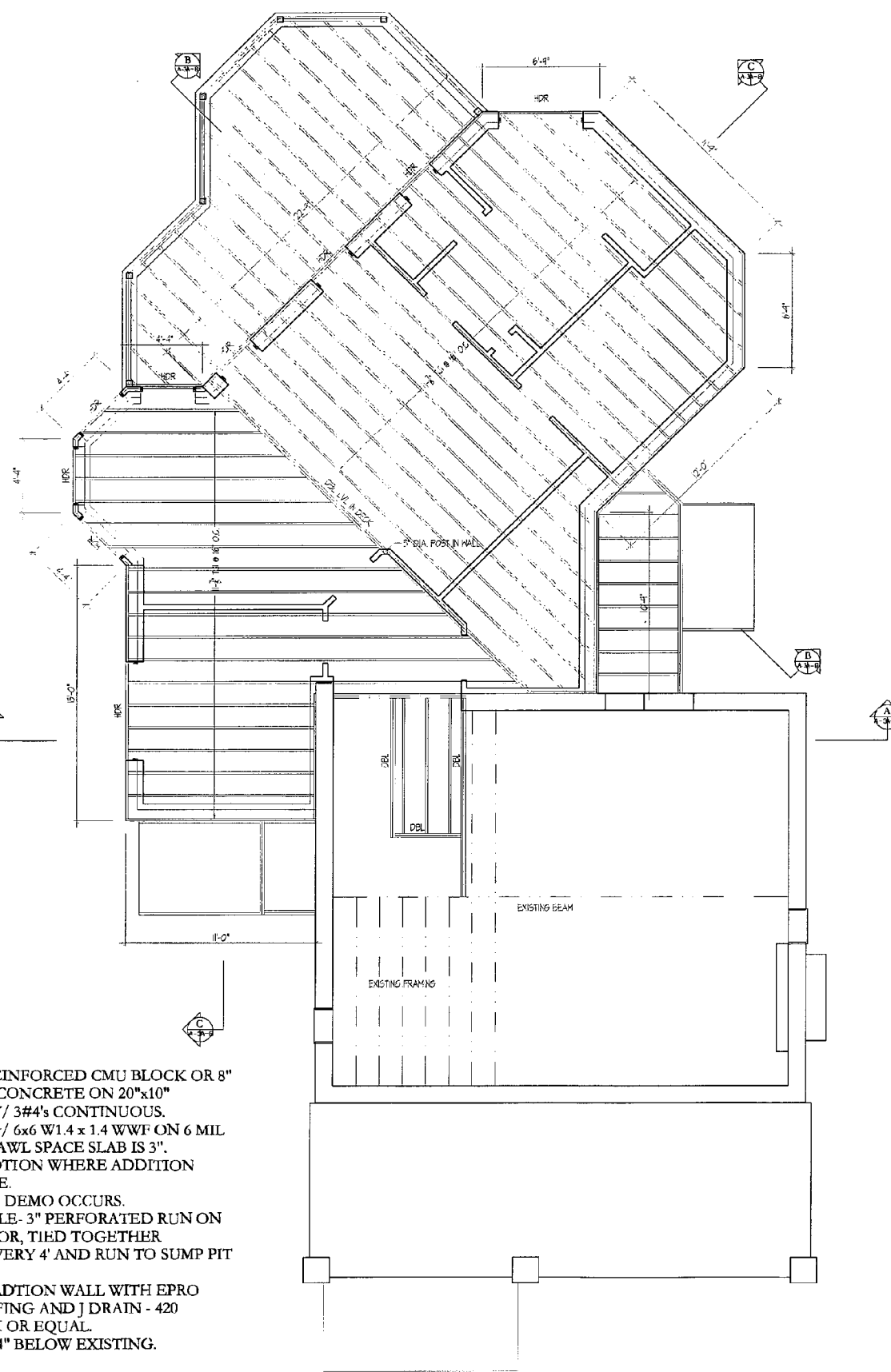


FOUNDATION PLAN

2

1/4" = 1'-0"

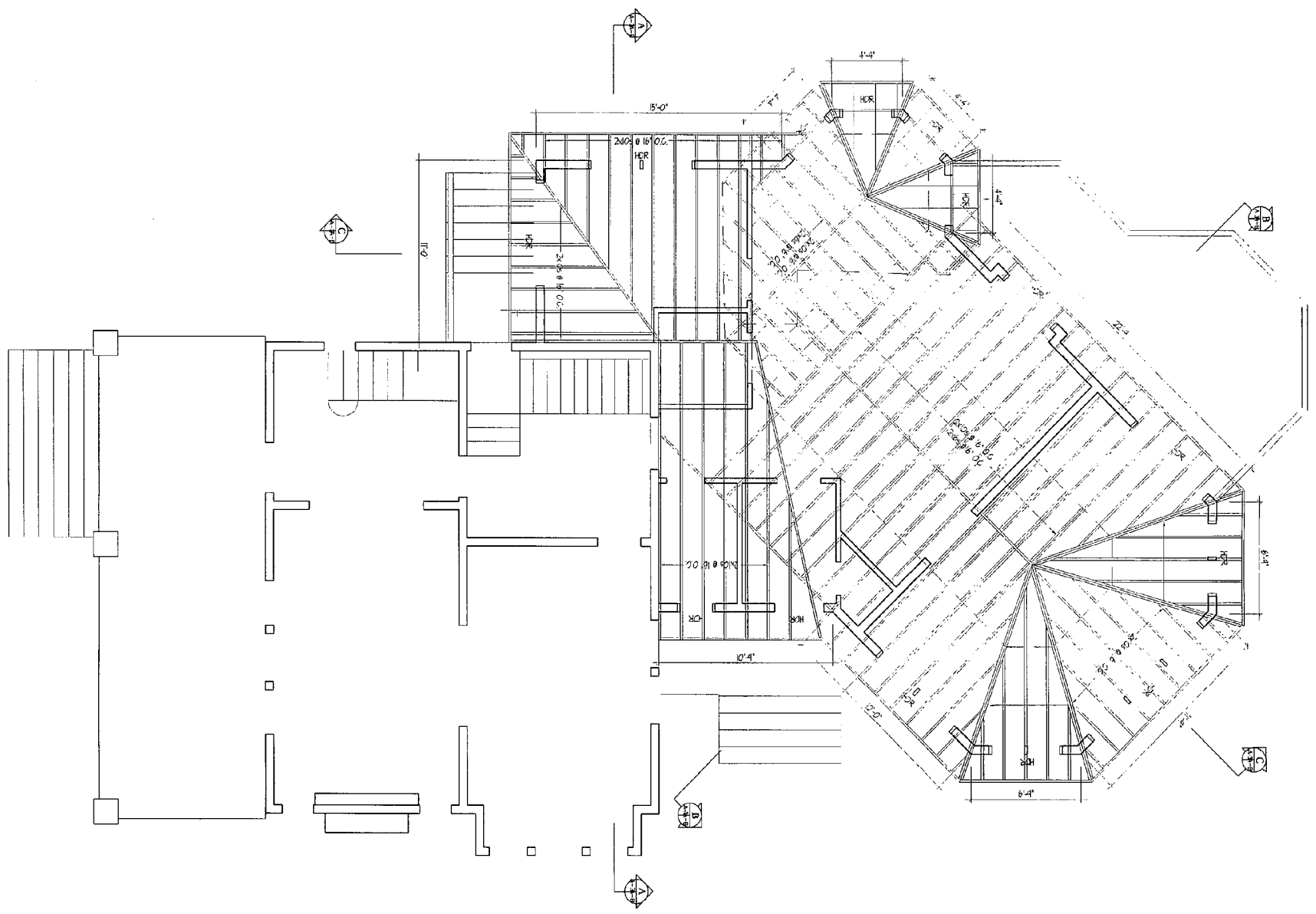
- FOUNDATION NOTES:
1. FOUNDATION IS 8" REINFORCED CMU BLOCK OR 8" REINFORCED POURED CONCRETE ON 20"x10" CONCRETE FOOTING W/ 3#4's CONTINUOUS.
  2. SLAB- 4" CONCRETE w/ 6x6 W1.4 x 1.4 WWF ON 6 MIL POLY ON 4" STONE. CRAWL SPACE SLAB IS 3".
  3. UNDERPIN FOUNDATION WHERE ADDITION MEETS EXISTING HOUSE.
  4. REPOUR SLAB WHERE DEMO OCCURS.
  5. PERIMETER DRAIN TILE- 3" PERFORATED RUN ON INTERIOR AND EXTERIOR, TIED TOGETHER THROUGH FOOTING EVERY 4' AND RUN TO SUMP PIT WITH PUMP.
  6. WATERPROOF FOUNDATION WALL WITH EPRO ECOBASE WATERPROOFING AND J DRAIN - 420 DIMPLE BOARD SYSTEM OR EQUAL.
  7. NEW BASEMENT IS 1'-4" BELOW EXISTING.



1ST FLOOR FRAMING PLAN

1

1/4" = 1'-0"



ROOF DECK FRAMING

1/4" = 1'-0"

**KATINAS BRUCKWICK ARCHITECTURE**  
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**BARTH/SCORZA RESIDENCE ADDITION**  
 7333 PINEY BRANCH ROAD  
 TAKOMA PARK, MD 20912

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**S-2**  
 FRAMING

# BARTH/SCORZA RESIDENCE ADDITION

7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

## ARCHITECT:

KATINAS BRUCKWICK ARCHITECTURE  
4931 SAINT ELMO AVENUE, SUITE 2  
BETHESDA MARYLAND 20814  
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## GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2003 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2003 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
2. ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
3. ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
4. DRAWINGS ARE TO BE READ AND NEVER SCALED.
5. PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
6. THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
7. ALL METAL FLASHING INSTALLATIONS PER SMACNA.
8. FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
9. ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
10. FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
11. THE CONTRACTORS SHALL BE REQUIRED TO MAKE PLURAL AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
12. CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.
13. ALL COSTS LISTED ARE MATERIAL ONLY, U.N.O.

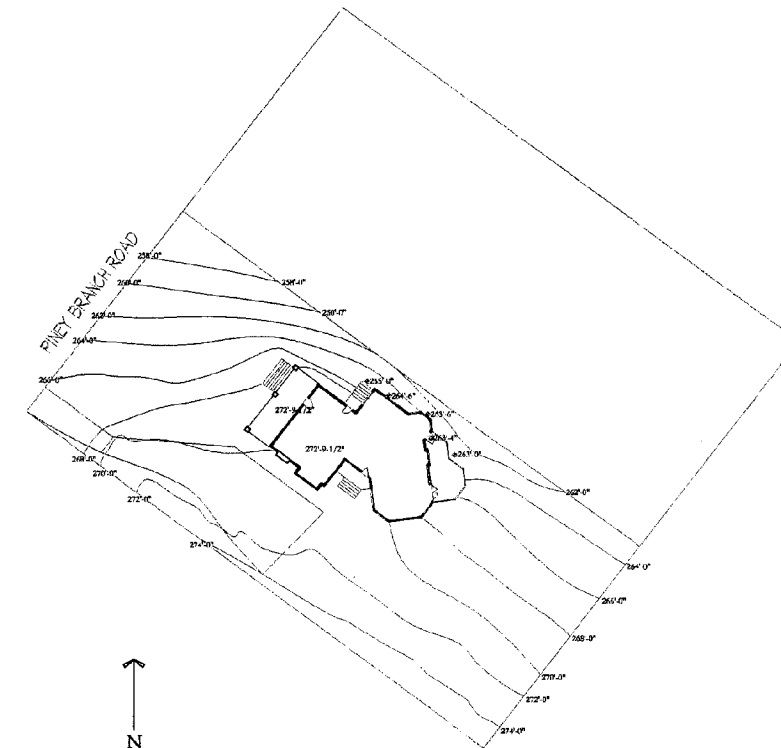
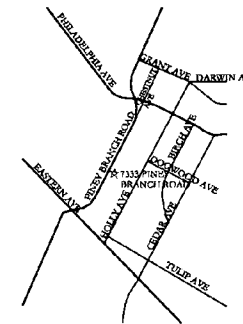
## DRAWING INDEX

- A-1 COVER SHEET
- A-2 DEMO PLANS
- A-3 1ST & 2ND FLOOR PLANS
- A-4 BSMT & ROOF PLANS
- A-5 ELEVATIONS
- A-6 ELEVATIONS 2
- A-7 SECTIONS
- A-8 SECTIONS 2
- A-9 KITCHEN & BUILT-IN ELEVATIONS
- S-1 FOUNDATION & FRAMING PLANS
- S-2 FRAMING PLANS
- E-1 ELECTRICAL PLANS

## STRUCTURAL NOTES:

1. FOOTINGS ARE DESIGNED FOR A SOIL BEARING OF 1500 PSF. THIS VALUE IS TO BE VERIFIED IN FIELD BY GEOTECHNICAL ENGINEER.
2. BOTTOM OF ALL EXTERIOR FOOTINGS TO BE A MINIMUM OF 30" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED STEP FOOTINGS IN RATIO OF 2 HORIZ. : 1 VERT. FOOTINGS ARE TO BE POURED AGAINST UNDISTURBED SOIL AT SIDES AND BOTTOM UNLESS NOTED OTHERWISE.
3. CONCRETE SHALL BE 3000 PSI @ 28 DAYS UNLESS NOTED OTHERWISE. ALL CONCRETE TO BE POURED IN ACCORDANCE W/ ACI 301 SPECS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED 6% ± 1%.
4. ALL FILL UNDER SLABS TO BE COMPACTED TO DRY DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR. MAXIMUM DRY DENSITY (ASTM D-698) TO BE PLACED IN LAYERS NOT EXCEEDING 8".
5. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 40 PCF ASSUMING A FREE DRAINING MATERIAL BEHIND WALL WITH A PERIMETER DRAIN SYSTEM. NOTIFY ARCHITECT IF SOIL CONDITIONS DIFFER.
6. ALL REINFORCING STEEL TO MEET ASTM GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" AND CRSI STANDARDS. PROVIDE 1 1/2" CLEAR DISTANCE TO REINFORCING IN WALLS. PROVIDE 3" CLEAR TO REINFORCING AT BOTTOM OF FOOTING.
7. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FO LOAD BEARING MASONRY. ALL MASONRY TO BE REINFORCED @ 16" HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE N.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. ALL TRUSSES OR OPEN WEB JOISTS TO BE VERIFIED & SEALED BY SUPPLIER'S ENGINEER (REGISTERED IN MARYLAND). SUBMIT SHOP DRAWING FOR ARCHITECT FOR APPROVAL BEFORE FABRICATION.
10. ML DENOTES LAMINATED VENEER LUMBER WITH VALUES OF Fb = 2400psi SINGLE MEMBER, Fv = 220psi, E = 1,800,000psi.
11. OUTSIDE WALL TRUSSES TO BE FIELD BUILT OR MANUFACTURED TRUSSES WITH APPROPRIATE BLOCKING TO TRANSFER UPPER FLOOR HEADER JACKS AND ROOF FLOOR TRUSS LOADS.
12. WALL FRAMING TO BE LOAD BEARING WALLS (SPF NO. 2 GRADE OR BETTER. VALUES OF FcII = 1150psi, Fv = 135psi & E = 1,400,000psi).
13. ALL FRAMING LUMBER TO BE HEM FIR #2 OR SPF 2 OR BETTER. Fb = 850 FOR SINGLE MEMBER USE, Fv = 135psi, FcII = 1100psi & E = 1,300,000psi. SPF (SOUTH) IS NOT ACCEPTABLE. LUMBER MUST BE GRADED NLGA.
14. COLUMNS AND POSTS TO BE BLOCKED SOLID (THROUGH DECK ASSEMBLIES) TO WALL COLUMN OR POST BELOW TO FOUNDATION OR FOOTING.
15. ALL HEADERS TO BE SUPPORTED ON (2) 2x4S (1 JACK, 1 KING) WHEN OPENINGS ARE 3'-6" OR LESS. OPENINGS GREATER THAN 3'-6" ARE REQUIRED TO HAVE (3) 2x4S (2 JACKS, 1 KING) ALL MICROLAMS REQUIRE 2 JACKS, 1 KING TYP.
16. STRUCTURAL STEEL SHALL BE ASTM A 992 AND CONFORM TO AISC SPECIFICATIONS FOR FABRICATION AND ERECTION. STEEL LINTEL SCHEDULE FOR 4" BRICK.  
OPENINGS TO 3'-0" = 3 1/2" x 3 1/2" x 1/4"  
3'-1" - 5'-0" = 4" x 3 1/2" x 5/16" LVL (LONG LEG VERTICAL)  
5'-1" - 6'-6" = 5" x 3 1/2" x 5/16" LVL  
SPANS OVER 6'-6" CONSULT ENGINEER
17. FLITCH BEAMS SHALL BE BOLTED W/ 1/2" THROUGH BOLTS @ 16" O.C. TOP AND BOTTOM W/ THE FIRST BOLTS @ 6" MAX FROM THE ENDS.

## LOCATION:



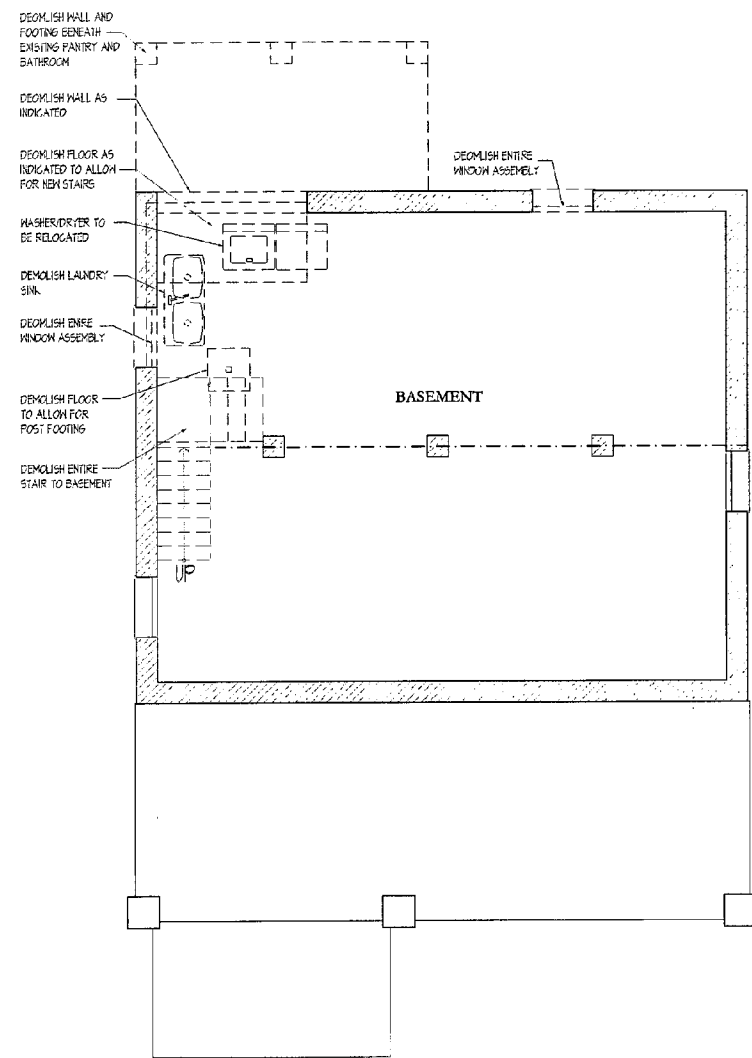
KATINAS BRUCKWICK  
ARCHITECTURE  
4931 SAINT ELMO AVENUE  
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BARTH/SCORZA RESIDENCE  
ADDITION  
7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

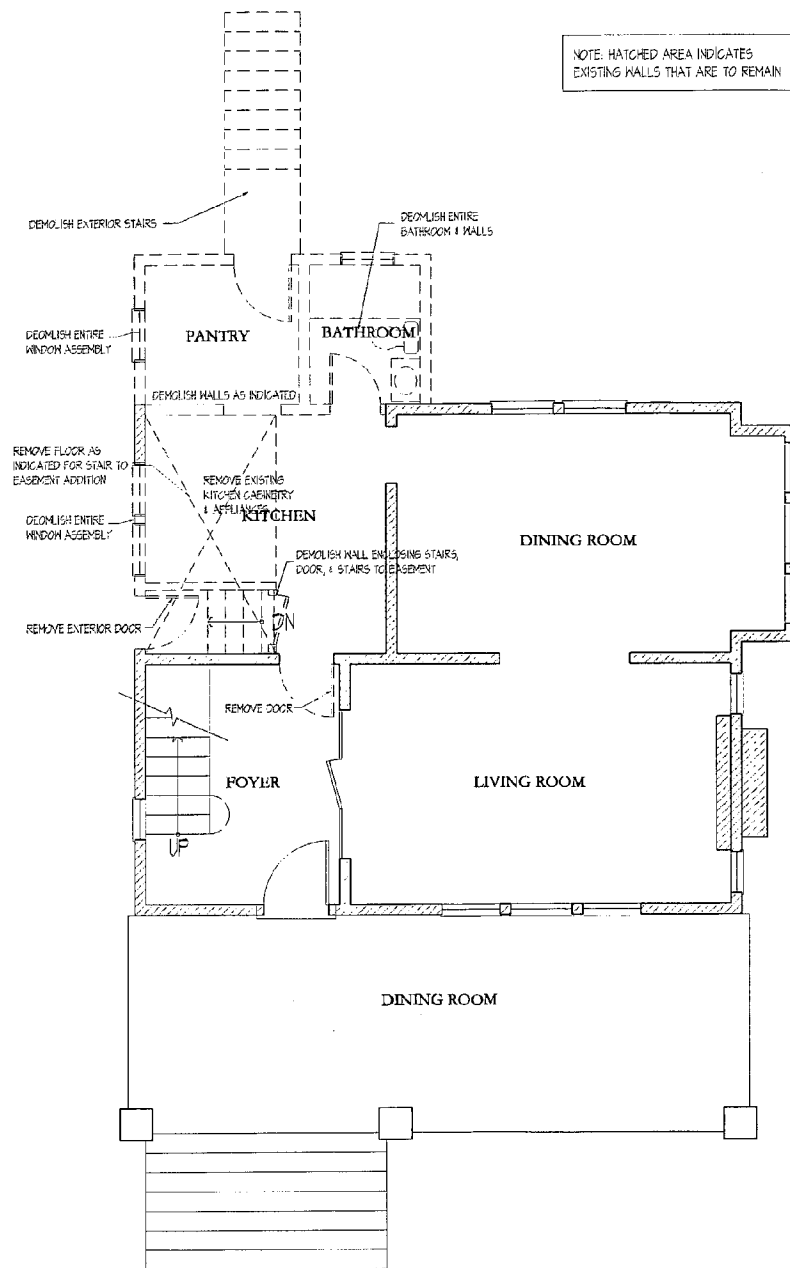
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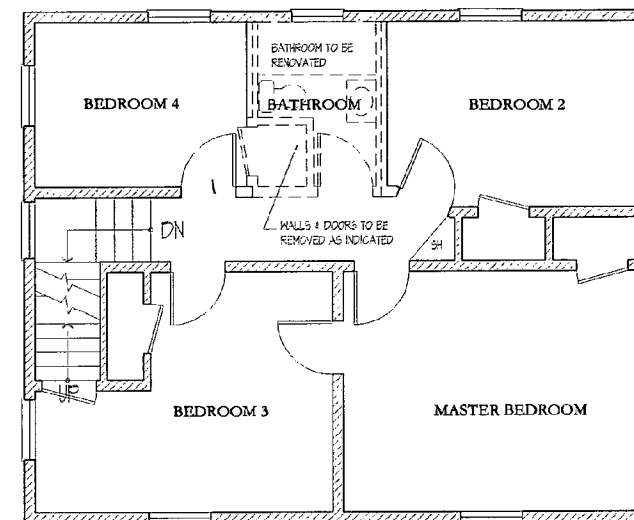
COVER  
**A-1**  
SHEET



**BASEMENT** 3  
 $\frac{1}{4}'' = 1'-0''$



**1ST FLOOR** 2  
 $\frac{1}{4}'' = 1'-0''$



**2ND FLOOR** 1  
 $\frac{1}{4}'' = 1'-0''$

- DEMO NOTES:**
1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
  2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
  3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
  4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
  5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDIENTLTLY TO MATCH EXISTING IF DAMAGED.
  6. ABANDON MECHANICAL DUCTS NOT TO BE USED IN PLACE OR RE-USE AS PART OF NEW 2 ZONE SYSTEM.
  7. MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

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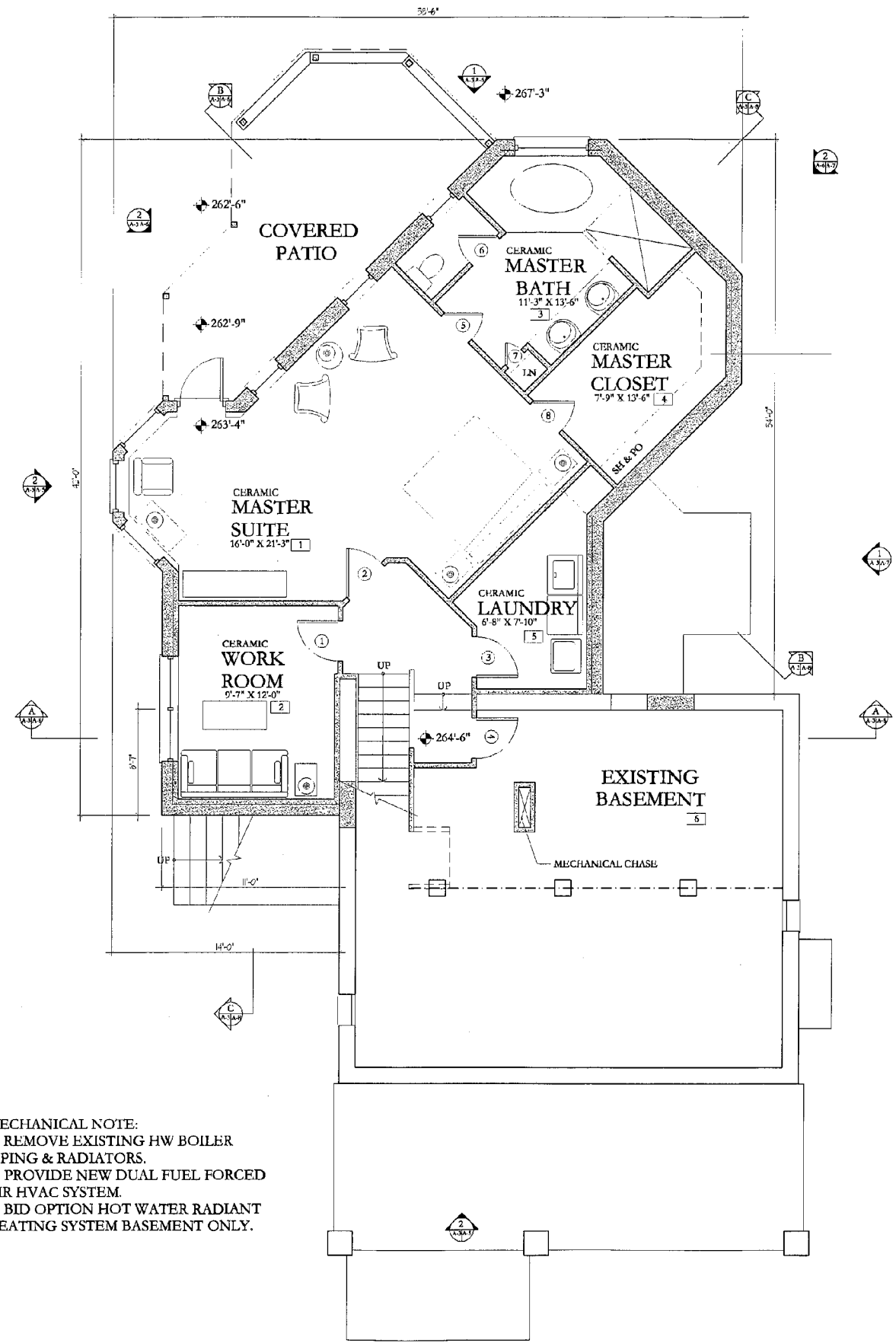
**BARTH/SCORZA RESIDENCE  
 ADDITION**

7333 PINEY BRANCH ROAD  
 TAKOMA PARK, MD 20912

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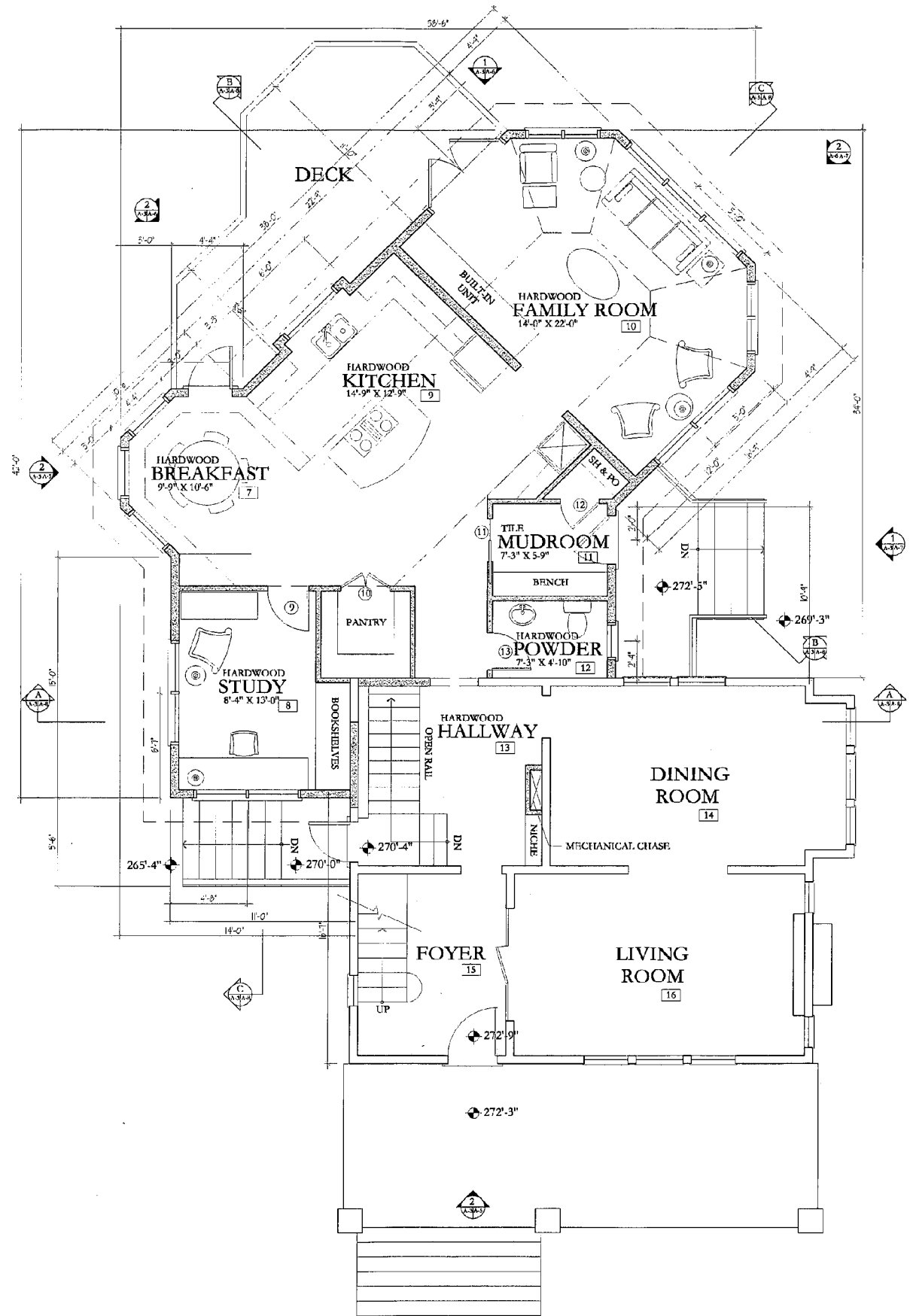
DEMO  
**A-2**  
 PLANS



**BASEMENT PLAN**

2

1/4" = 1'-0"



**1ST FLOOR PLAN**

1

1/4" = 1'-0"

**KATINAS BRUCKWICK ARCHITECTURE**  
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**BARTH/SCORZA RESIDENCE ADDITION**  
 7333 PINEY BRANCH ROAD  
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BSMT & 1ST

**A-3**

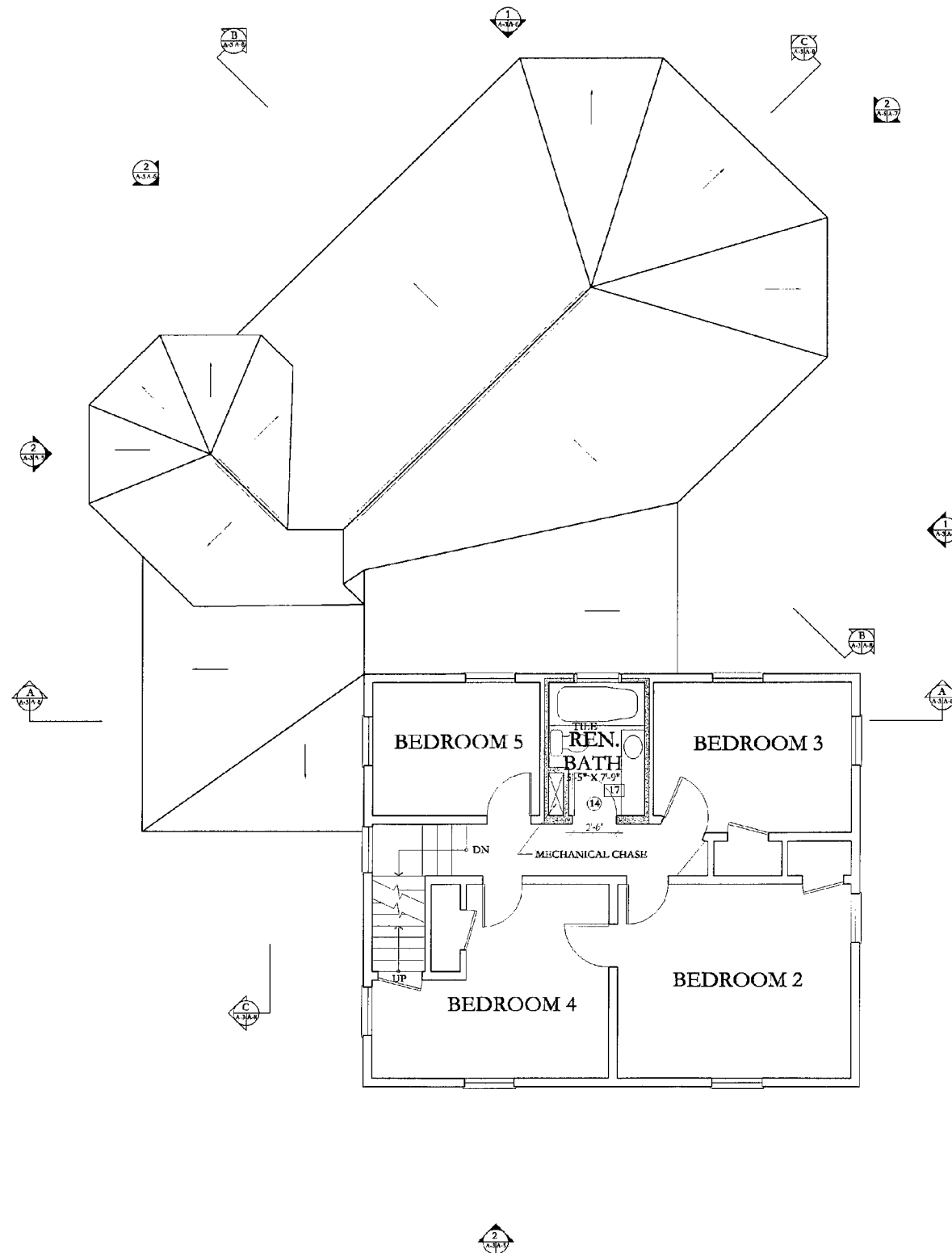
FLOOR PLANS

INTERIOR DOOR SCHEDULE			
DOORS ARE MASONITE SOLID, STYLE TO MATCH EXISTING			
SYM	WIDTH	HEIGHT	COMMENT
1	2'-6"	6'-8"	
2	5'-0"	6'-8"	
3	2'-6"	6'-8"	
4	2'-6"	6'-8"	
5	2'-4"	6'-8"	
6	2'-4"	6'-8"	
7	1'-4"	6'-8"	
8	2'-6"	6'-8"	
9	2'-6"	6'-8"	
10	5'-0" (EACH LEAF 1'-6")	6'-8"	
11	2'-8"	6'-8"	POCKET DOOR
12	2'-4"	6'-8"	
13	2'-4"	6'-8"	
14	2'-6"	6'-8"	

FINISH SCHEDULE:							
NO.	NAME	FLOOR	WALLS	MOULDINGS	CLG PAINT	NOTES	NO.
1	MASTER SUITE	GT-2	PT-	M-1, M-2	PT-5		1
2	WORK ROOM	GT-2	PT-	M-1, M-2	PT-5		2
3	MASTER BATH	GT-2	PT-, GT-2	M-1, M-2	PT-5		3
4	MASTER CLOSET	GT-2	PT-	M-1, M-2	PT-5		4
5	LAUNDRY	GT-2	PT-	M-1, M-2	PT-5		5
6	EXISTING BASEMENT	G-	PT-	M-1, M-2	PT-5		6
7	BREAKFAST	HOOD FLOOR	PT-	M-1, M-2	PT-5		7
8	STUDY	HOOD FLOOR	PT-	M-1, M-2	PT-5		8
9	KITCHEN	HOOD FLOOR	PT-	M-1, M-2	PT-5		9
10	FAMILY ROOM	HOOD FLOOR	PT-	M-1, M-2	PT-5		10
11	HDRROOM	GT-1	PT-2, GT-2	M-1, M-2	PT-5		11
12	POWDER ROOM	HOOD FLOOR	PT-2	M-1, M-2	PT-5		12
13	HALLWAY	HOOD FLOOR	PT-	M-1, M-2	PT-5		13
14	DINING ROOM	HOOD FLOOR	PT-	M-1, M-2	PT-5		14
15	FOYER	HOOD FLOOR	PT-	M-1, M-2	PT-5		15
16	LIVING ROOM	HOOD FLOOR	PT-	M-1, M-2	PT-5		16
17	RENOVATED BATHROOM	GT-1	PT-1, GT-2	M-1, M-2	PT-5		17

INDEX:

- FLOORS:**  
HOOD FLOOR OAK TO MATCH EXISTING  
GT-1 GLAZED CERAMIC FLOOR TILE, 8" X 8"  
GT-2 GLAZED CERAMIC FLOOR TILE, 12" X 12"  
C-1 UNFINISHED CONCRETE FLOOR  
C-2 CARPET  
**BASES:**  
ND NY/820 BASE MOLD, TO MATCH EXISTING  
GTB-1 CERAMIC TILE BASE - MATCH GLAZED CERAMIC WALL TILE  
**HALLS:**  
PT-1 FLAT LATEX HALL PAINT - PRIMER COAT, 2 FINISH COAT  
PT-2 LATEX SEMI GLOSS ENAMEL TRIM PAINT, 1 PRIMER COAT, 2 FINISH COAT  
PT-3 CEILING FLAT WHITE LATEX ON SMOOTH GNB CEILING (CL-1)  
GT-2 GLAZED CERAMIC WALL TILE  
IF UNFINISHED GIB  
**MOULDINGS:**  
M-1 DOOR & WINDOW CASING TO MATCH EXISTING  
M-2 BASE BOARD TO MATCH EXISTING



2ND FLOOR & ADDITION ROOF PLAN

1

1/4" = 1'-0"

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2ND & ROOF

**A-4**  
PLANS

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER..
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER..
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



NORTH WEST ELEVATION

2

1/4" = 1'-0"



NORTH EAST ELEVATION

1

1/4" = 1'-0"

**KATINAS BRUCKWICK  
ARCHITECTURE**

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**BARTH/SCORZA RESIDENCE  
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NW & NE

**A-5**  
ELEVATIONS



- ELEVATION NOTES:**
1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
  2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
  3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
  4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER.
  5. 5/4 x 4 WINDOW AND DOOR TRIM.
  6. 5/4 x 6 CORNER BOARDS.
  7. PAINTED BLOCK FOUNDATION.
  8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
  9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
  10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



**EAST ELEVATION**

2

1/4" = 1'-0"

**WINDOW + EXTERIOR DOOR SCHEDULE**  
JELDWEN MANUFACTURER, POZZI COLLECTION, CLAD, INSULATED, LOW-E GLASS, SDI, PRIMED WOOD INTERIOR

ALL MEASUREMENTS REPRESENT ROUGH OPENING DIMENSIONS

SYM	TYPE	WIDTH	HEIGHT	MODUL NUMBER	COMMENT
A	DEL - HUNG	4'-11-1/4"	4'-1-5/16"	CPDH 2420-2	TWIN UNIT
B	DEL - HUNG	4'-11-1/4"	4'-5-5/16"	CPDH 2422-2	TWIN UNIT
C	DEL - HUNG	5'-7-1/4"	4'-4-5/16"	CPDH 2824-2	TWIN UNIT
D	DEL - HUNG	5'-4-7/8"	5'-5-5/16"	CPDH 3226	
E	DEL - HUNG	5'-4-7/8"	5'-1-5/16"	CPDH 3226	
F	DEL - HUNG	5'-4-7/8"	7'-5-5/16"	CPDH 3226, CPDM 32-4	TWO UNITS MILLED TOGETHER
G	OUTSWING DOOR	2'-4-15/16"	7'-2-5/16"	COSMT 2870	
H	OUTSWING DOOR	2'-4-15/16"	7'-2-5/16"	COSMT 2870	
J	COSMT IN BAY	5'-0-1/2"	4'-7-1/2"	CC 2084-5	
K	DEL - HUNG	2'-5-1/8"	4'-4-5/16"	CPDH 2424	
I	OUTSWING FRENCH DOOR	6'-5-1/8"	7'-2-5/16"	COPRT 6070	
M	DEL - HUNG	2'-4-7/8"	5'-5-5/16"	CPDH 3016	
N	DEL - HUNG	4'-5-1/4"	5'-1-1/4"	CPDH 2026-2	TWIN UNIT
O	CASEMENT	4'-6-1/2"	2'-6-1/2"	CC 5432	
P	CASEMENT	9'-0-1/2"	3'-0-1/2"	CC 3636-5	TRIPLE
R	DEL - HUNG	6'-3-1/4"	5'-4-1/4"	CPDH 3226-2	TWIN UNIT
S	DEL - HUNG	2'-4-7/8"	5'-5-5/16"	CPDH 2016	

T	DOOR	2'-4-1/8"	7'-2-5/8"		
U	DOOR	2'-4-1/2"	7'-2-5/8"		



**SOUTH EAST ELEVATION**

1

1/4" = 1'-0"

05-200

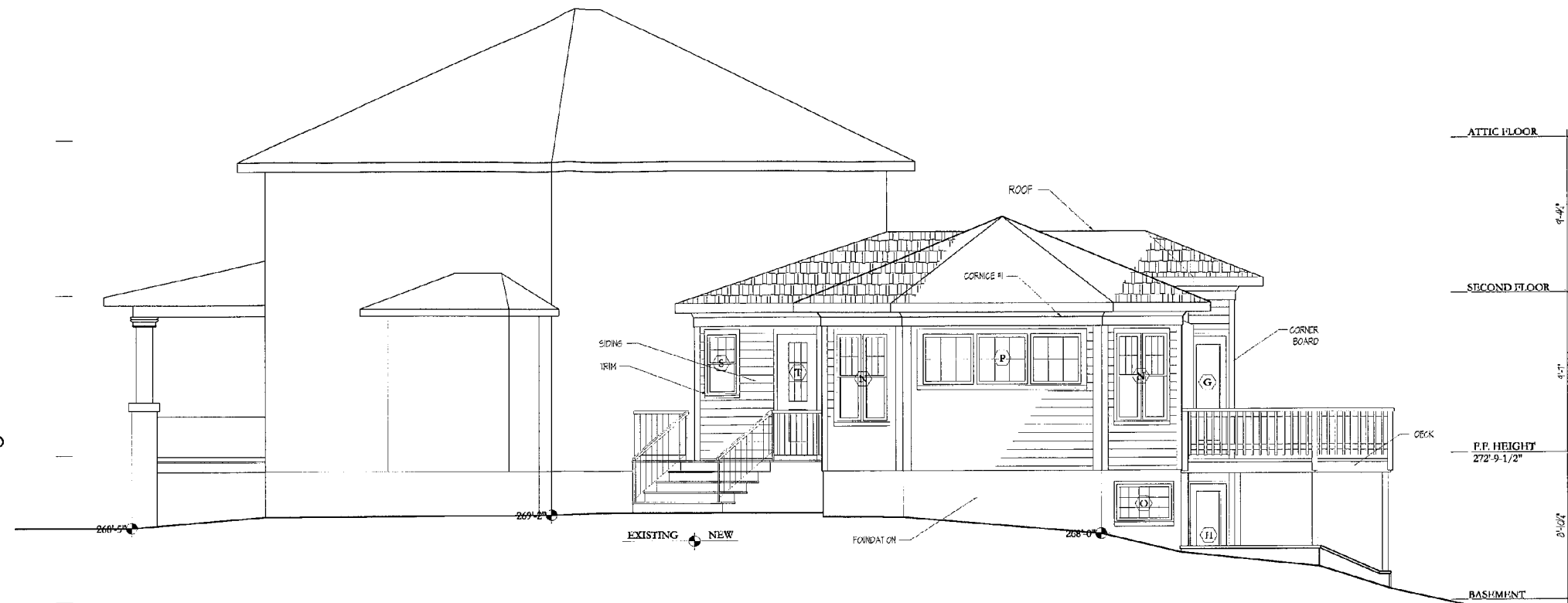
ISSUE DATE  
CHECK SET 03.01.06  
SUBMITTAL 03.20.06

E & SE

**A-6**  
ELEVATIONS

ELEVATION NOTES:

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER.
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILL.



SOUTH ELEVATION

2

1/4" = 1'-0"



SOUTH WEST ELEVATION

1

1/4" = 1'-0"

**KATINAS BRUCKWICK  
ARCHITECTURE**

4931 SAINT ELMO AVENUE  
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TEL: 301.652.8300 FAX: 301.652.8306

**BARTH/SCORZA RESIDENCE  
ADDITION**

7333 PINFY BRANCH ROAD  
TAKOMA PARK, MD 20912

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S & SW

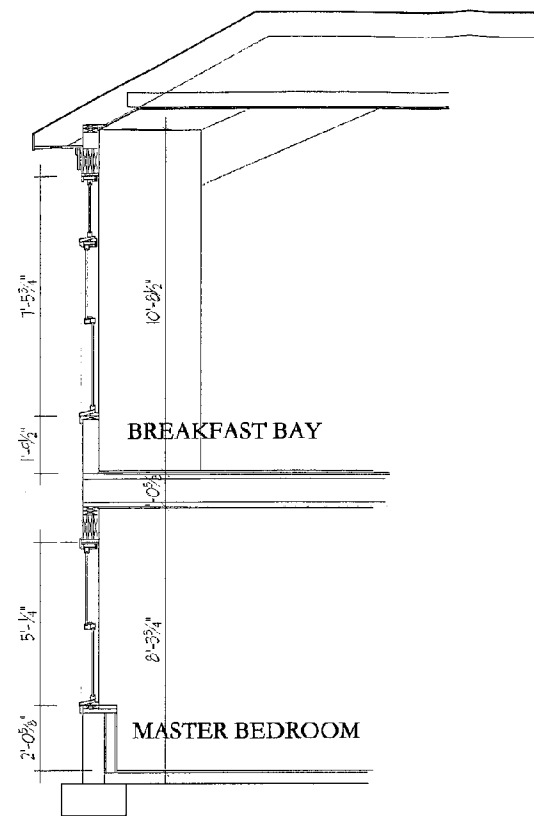
**A-7**  
ELEVATIONS

**BUILDING SECTION NOTES:**  
**ROOF:**  
 30 YR. 350# OWENS CORNING OAKRIDGE PRO 40 AR OR EQUAL ON 30# FELT ON 5/8" SHEATHING. FIELD BUILT ROOF FRAMING- 2x10 TOP CHORD AND 2x6 BOTTOM CHORD AT 16" OC.

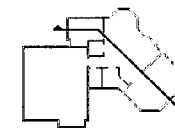
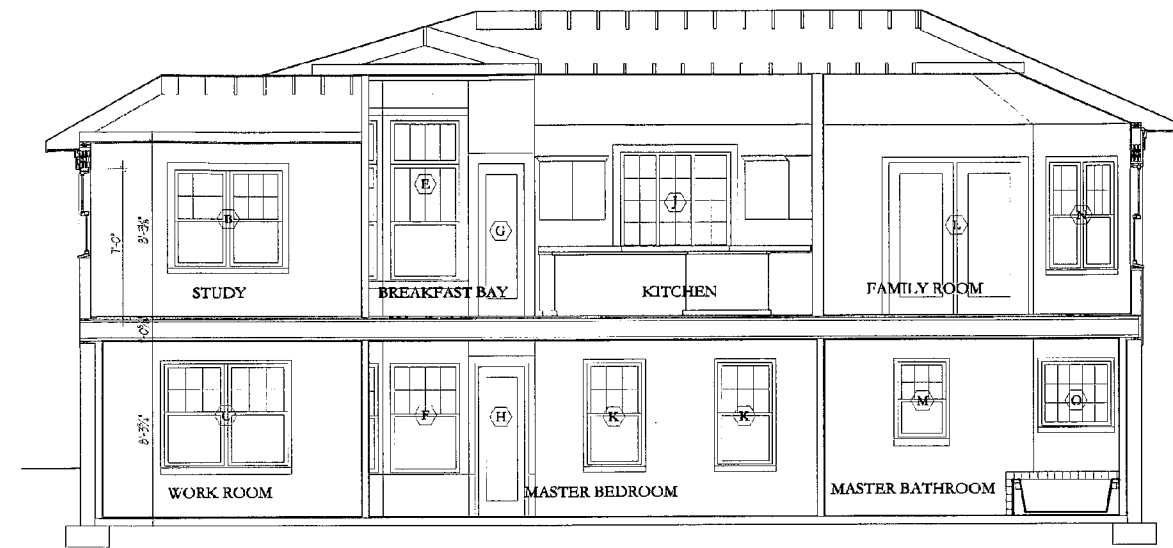
**WALLS:**  
 6" LAP PAINTED CEMENT FIBER BOARD SIDING ON VAPOR BARRIER ON 1/2" SHEATHING ON 2x6's AT 16" OC WITH 1/2" GYPSUM WALL BOARD.

**FLOOR DECK:**  
 FLOORING ON 3/4" T&G SHEATHING ON ENGINEERED FLOOR TRUSSES. 5/4" STRAND BOARD BAND. TREATED WOOD SILL PLATE ACHOR BOLTED TO FOUNDATION WALL.

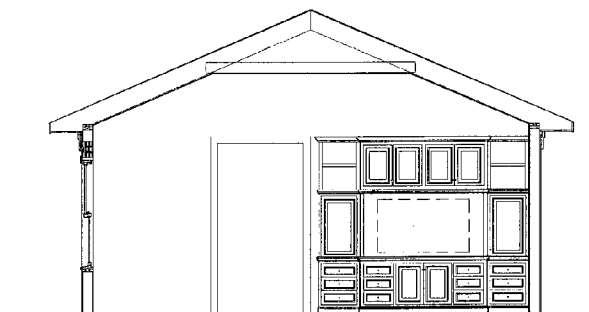
**INSULATION:**  
 WALLS R19  
 ROOF R30  
 OVERHANG R30  
 BASEMENT R13 FLOOR TO CEILING  
 CRAWL R13 FLOOR TO CEILING



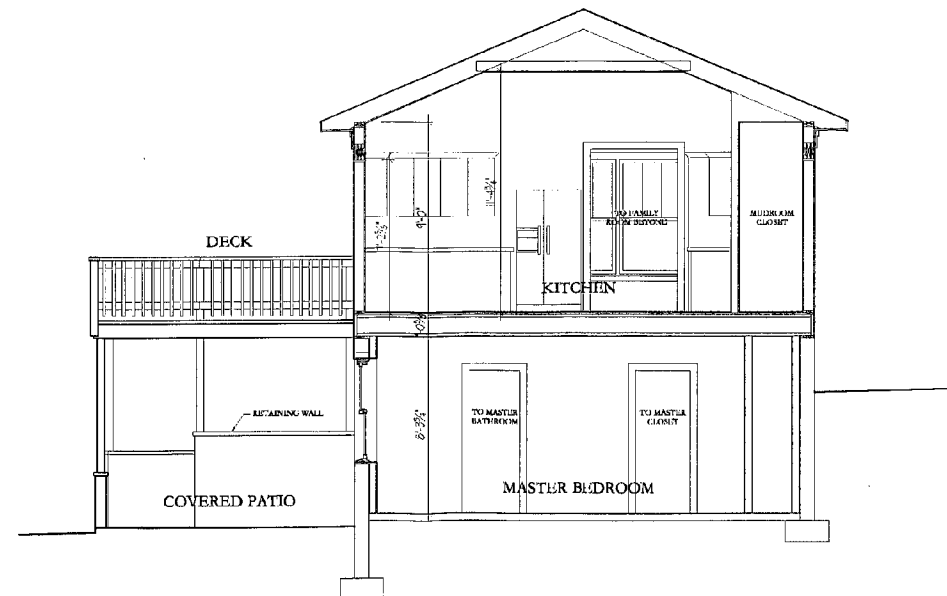
**SECTION DETAIL** 5  
**BREAKFAST BAY ABOVE & MASTER BAY BELOW** 1/2" = 1'-0"



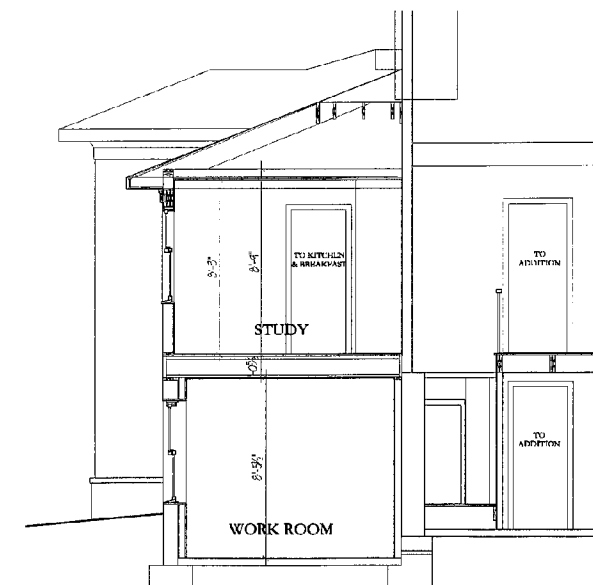
**SECTION** 3  
1/4" = 1'-0"



**FAMILY ROOM SECTION** 4  
**W/ BUILT-INS** 1/4" = 1'-0"



**SECTION** 2  
1/4" = 1'-0"



**SECTION** 1  
**STUDY ABOVE & WORK ROOM BELOW** 1/4" = 1'-0"

**KATINAS BRUCKWICK ARCHITECTURE**  
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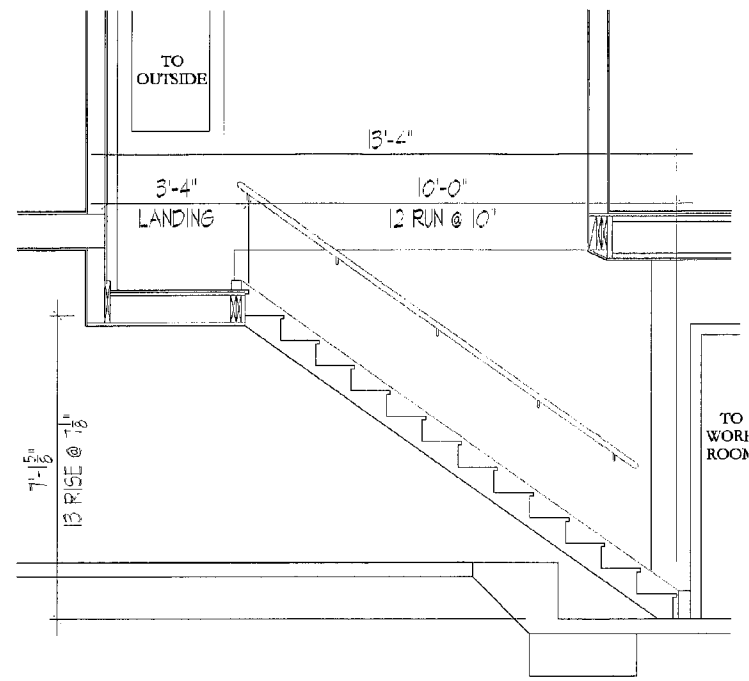
**BARTH/SCORZA RESIDENCE ADDITION**  
 7333 PINEY BRANCH ROAD  
 TAKOMA PARK, MD 20912

05-200

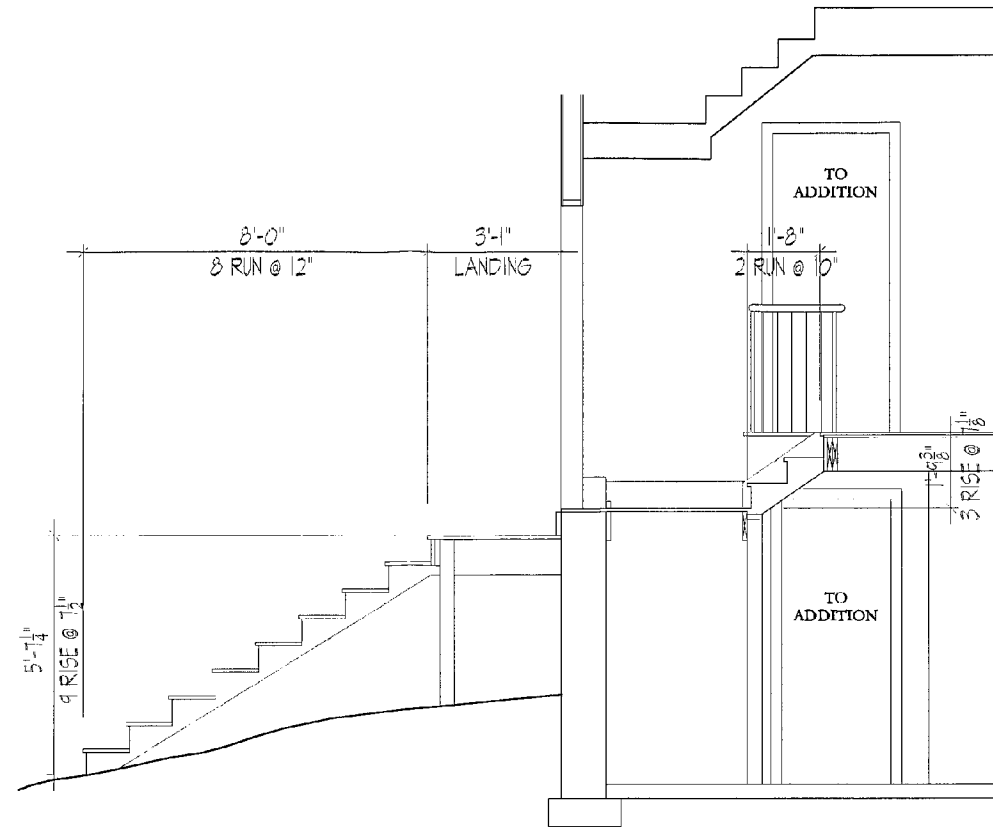
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SECTIONS

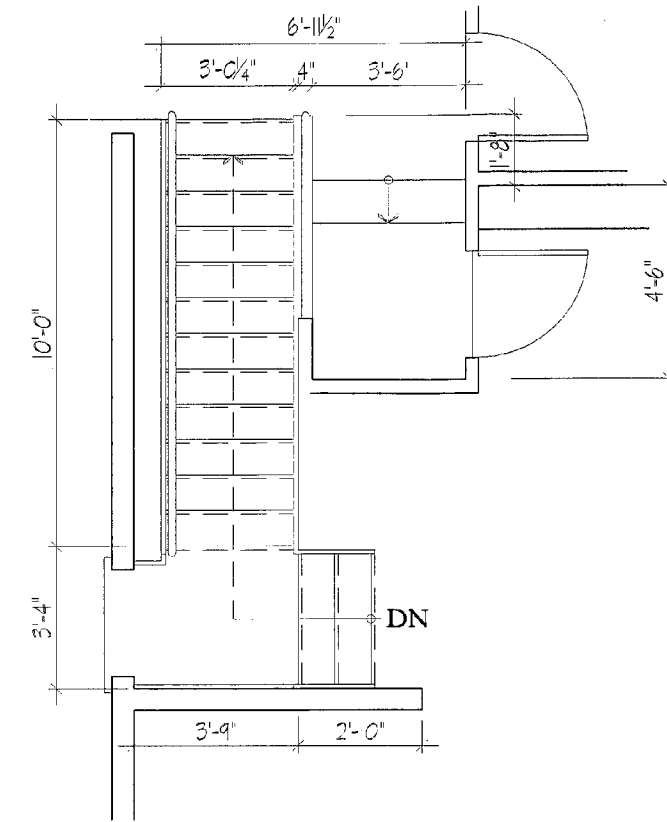
**A-8**



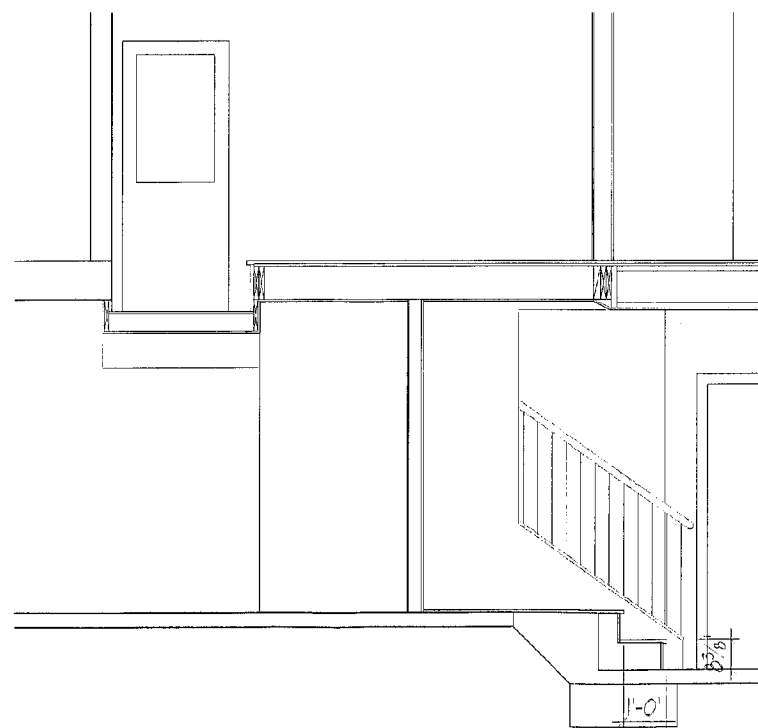
STAIR SECTION 6  
 $\frac{1}{2}'' = 1'-0''$



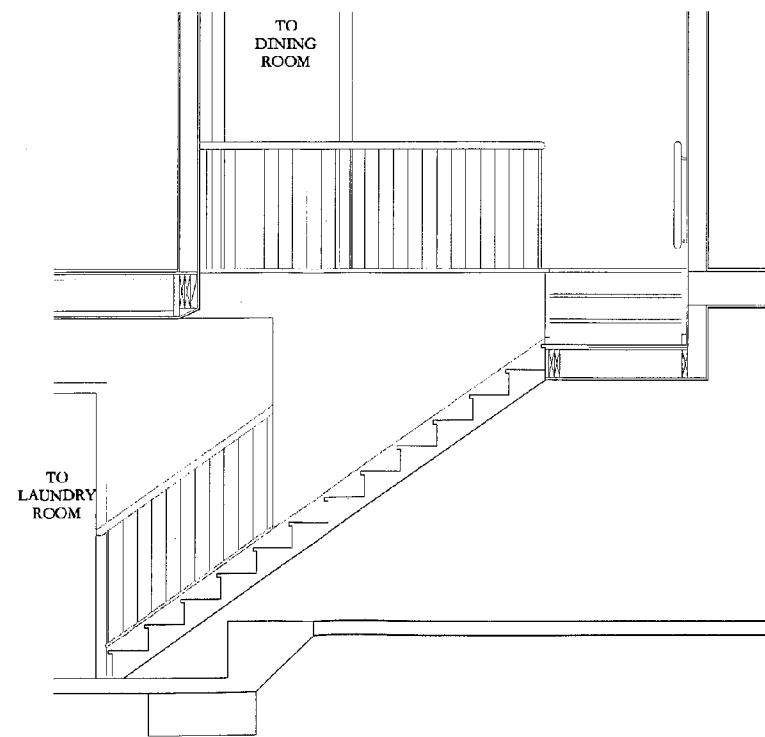
STAIR SECTION 5  
 $\frac{1}{2}'' = 1'-0''$



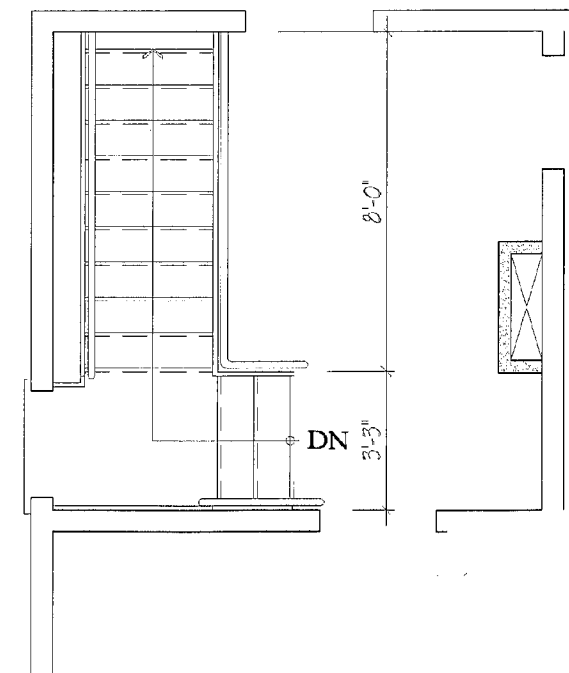
STAIR PLAN 3  
 $\frac{1}{2}'' = 1'-0''$



STAIR SECTION 4  
 $\frac{1}{2}'' = 1'-0''$













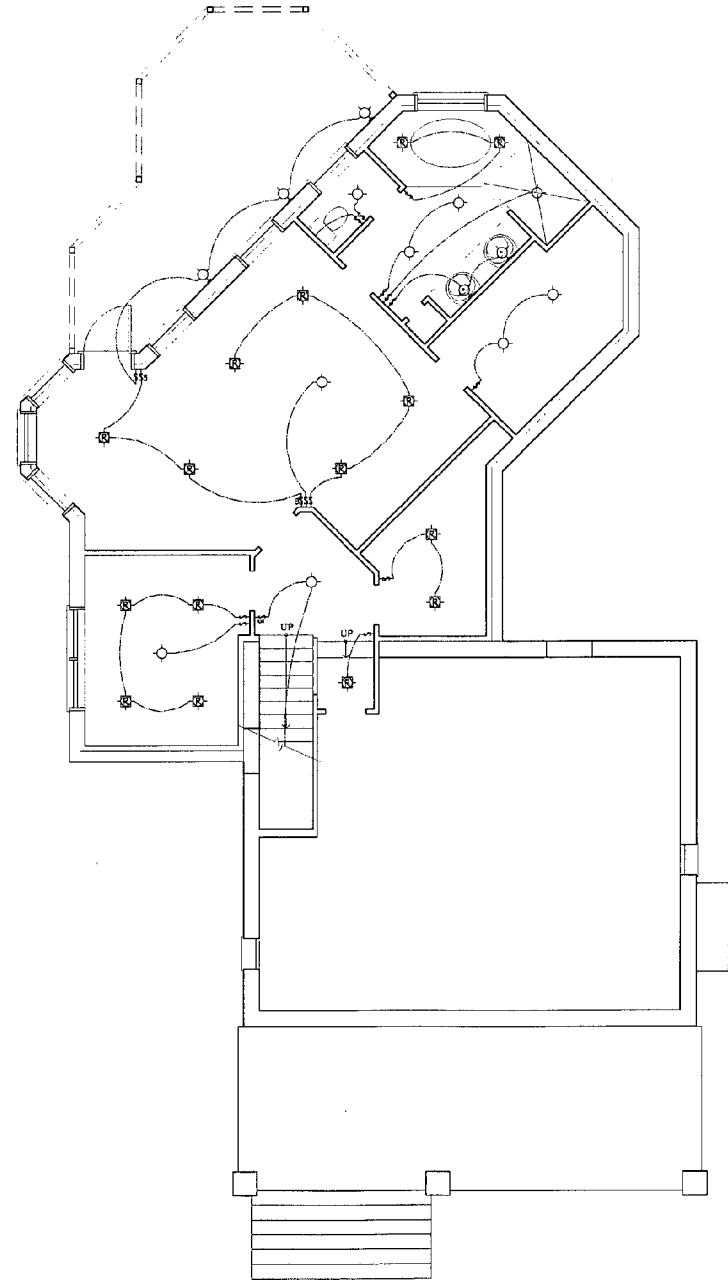
STAIR SECTION 2  
 $\frac{1}{2}'' = 1'-0''$



STAIR PLAN 1  
 $\frac{1}{2}'' = 1'-0''$

LEGEND:

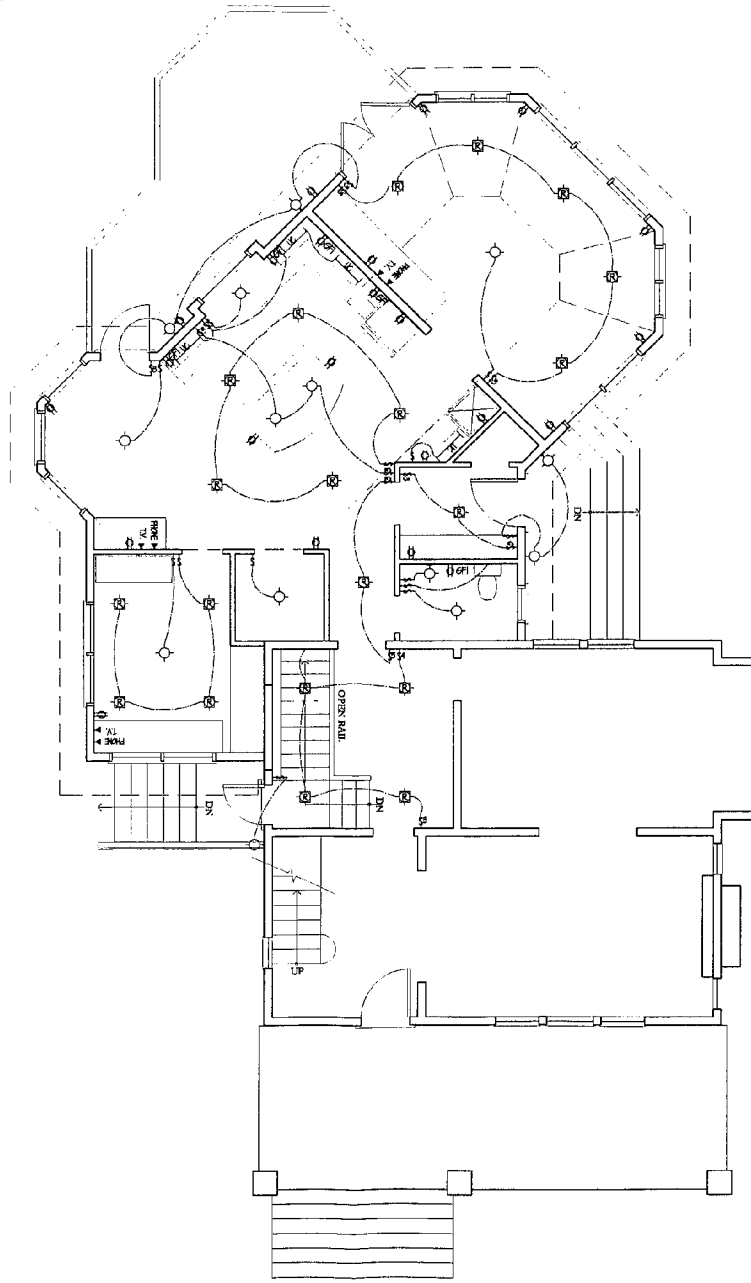
-  EXH FAN - EXHAUST FAN
-  HM - HALL MOUNT
-  RC - RECESSED CAN
-  FAN/LT - FAN LIGHT
-  SM - SURFACE MOUNT
-  SV
-  SHR
-  GLG SPEAKER
-  DIRECTIONAL FEATURE LIGHT
-  UNDER COUNTER LIGHT



BASEMENT PLAN

3

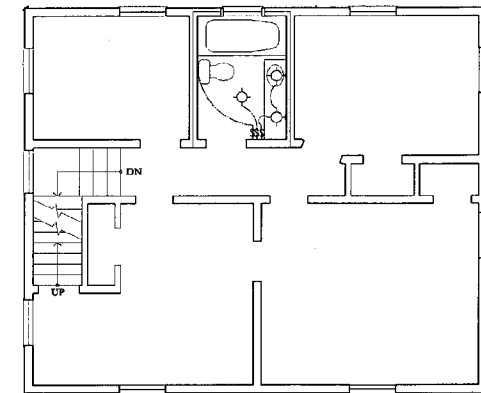
$\frac{3}{16}'' = 1'-0''$



1ST FLOOR PLAN

2

$\frac{3}{16}'' = 1'-0''$



2ND FLOOR PLAN

1

$\frac{3}{16}'' = 1'-0''$

**KATINAS BRUCKWICK  
ARCHITECTURE**

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**BARTH/SCORZA RESIDENCE  
ADDITION**

7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

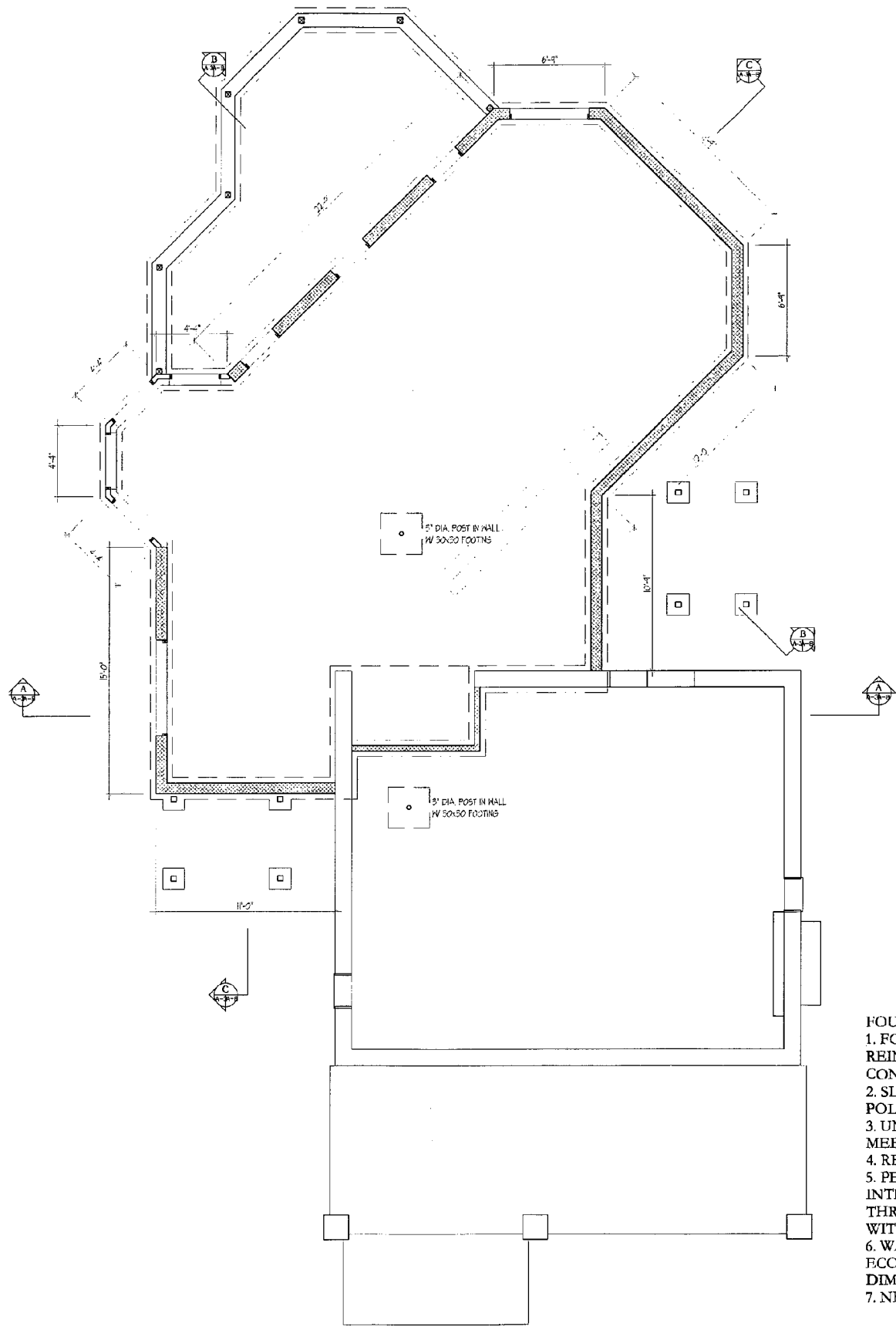
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ELECTRICAL

**E-1**

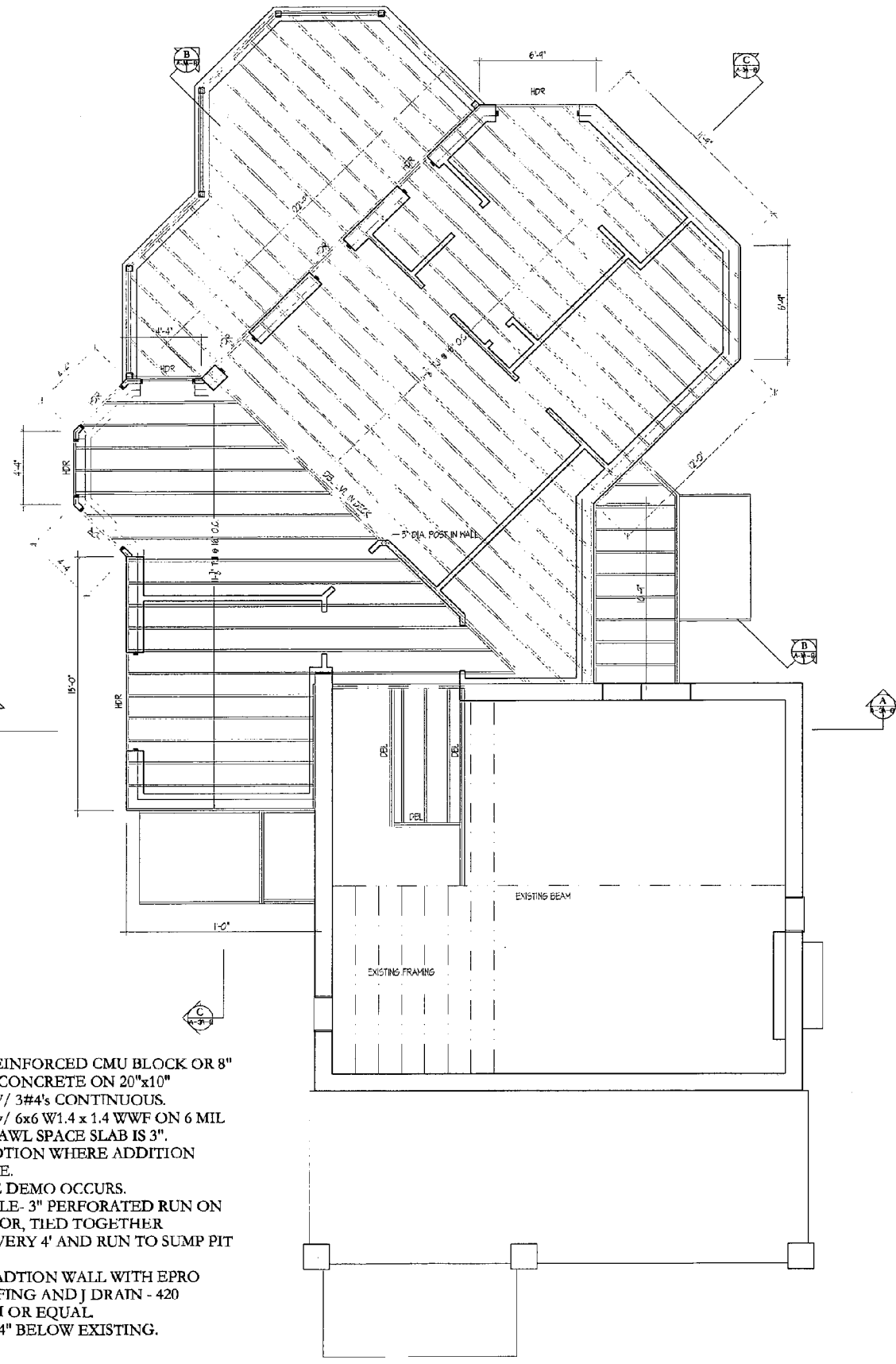
PLANS



FOUNDATION PLAN

2

1/4" = 1'-0"



1ST FLOOR FRAMING PLAN

1

1/4" = 1'-0"

- FOUNDATION NOTES:
1. FOUNDATION IS 8" REINFORCED CMU BLOCK OR 8" REINFORCED POURED CONCRETE ON 20"x10" CONCRETE FOOTING W/ 3#4's CONTINUOUS.
  2. SLAB- 4" CONCRETE w/ 6x6 W1.4 x 1.4 WWF ON 6 MIL POLY ON 4" STONE. CRAWL SPACE SLAB IS 3".
  3. UNDERPIN FOUNDATION WHERE ADDITION MEETS EXISTING HOUSE.
  4. REPOUR SLAB WHERE DEMO OCCURS.
  5. PERIMETER DRAIN TILE- 3" PERFORATED RUN ON INTERIOR AND EXTERIOR, TIED TOGETHER THROUGH FOOTING EVERY 4' AND RUN TO SUMP PIT WITH PUMP.
  6. WATERPROOF FOUNDATION WALL WITH EPRO EPOBASE WATERPROOFING AND J DRAIN - 420 DIMPLE BOARD SYSTEM OR EQUAL.
  7. NEW BASEMENT IS 1'-4" BELOW EXISTING.

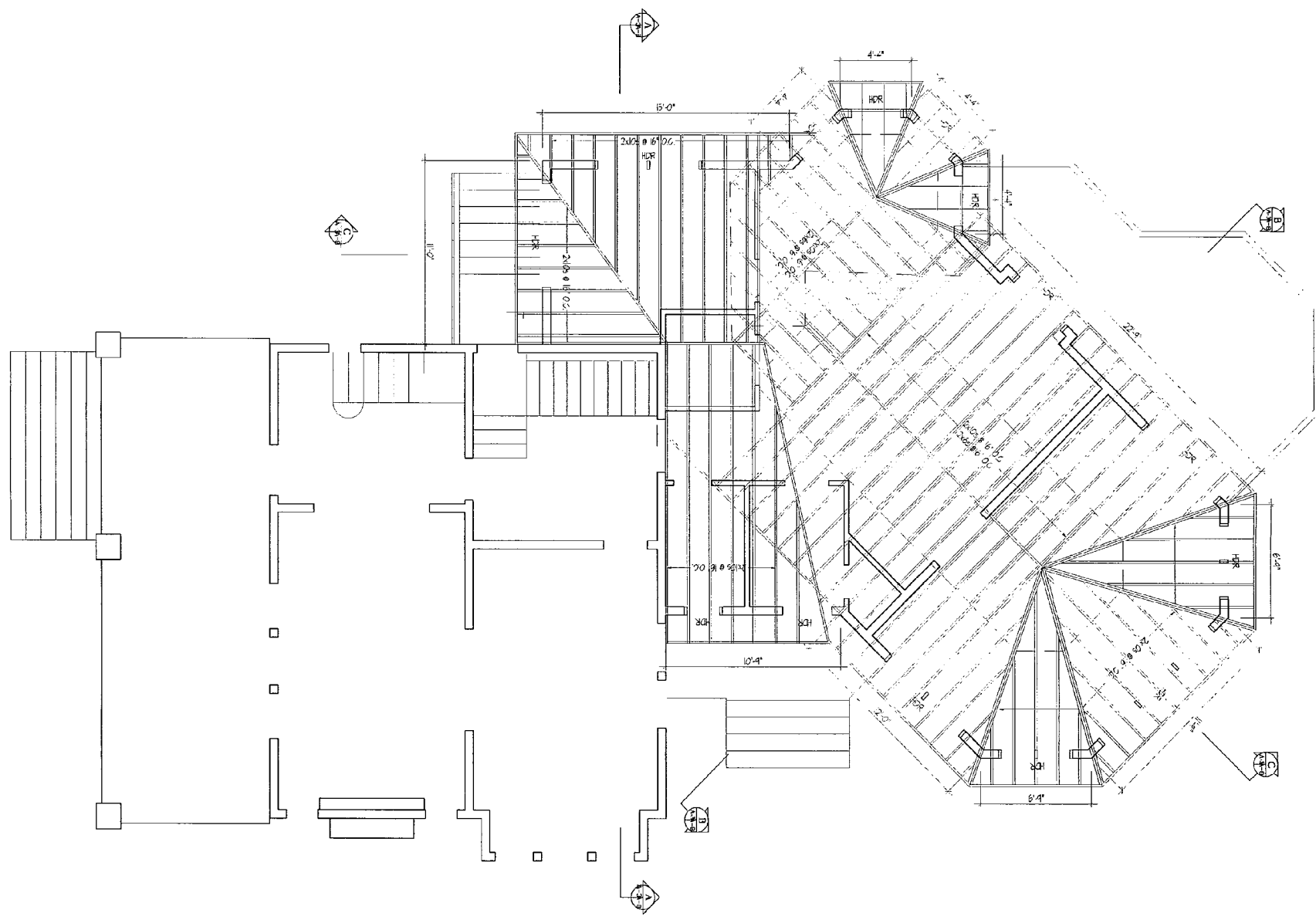
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SUBMITTAL 03.20.06

FOUNDATION

**S-1**  
& FRAMING





ROOF DECK FRAMING

1/4" = 1'-0"

1

**S-2**  
FRAMING

ISSUE DATE  
CHECK SET 03/11/06  
SUBMITTAL 02/20/05

05-200

**BARTH/SCORZA RESIDENCE  
ADDITION**

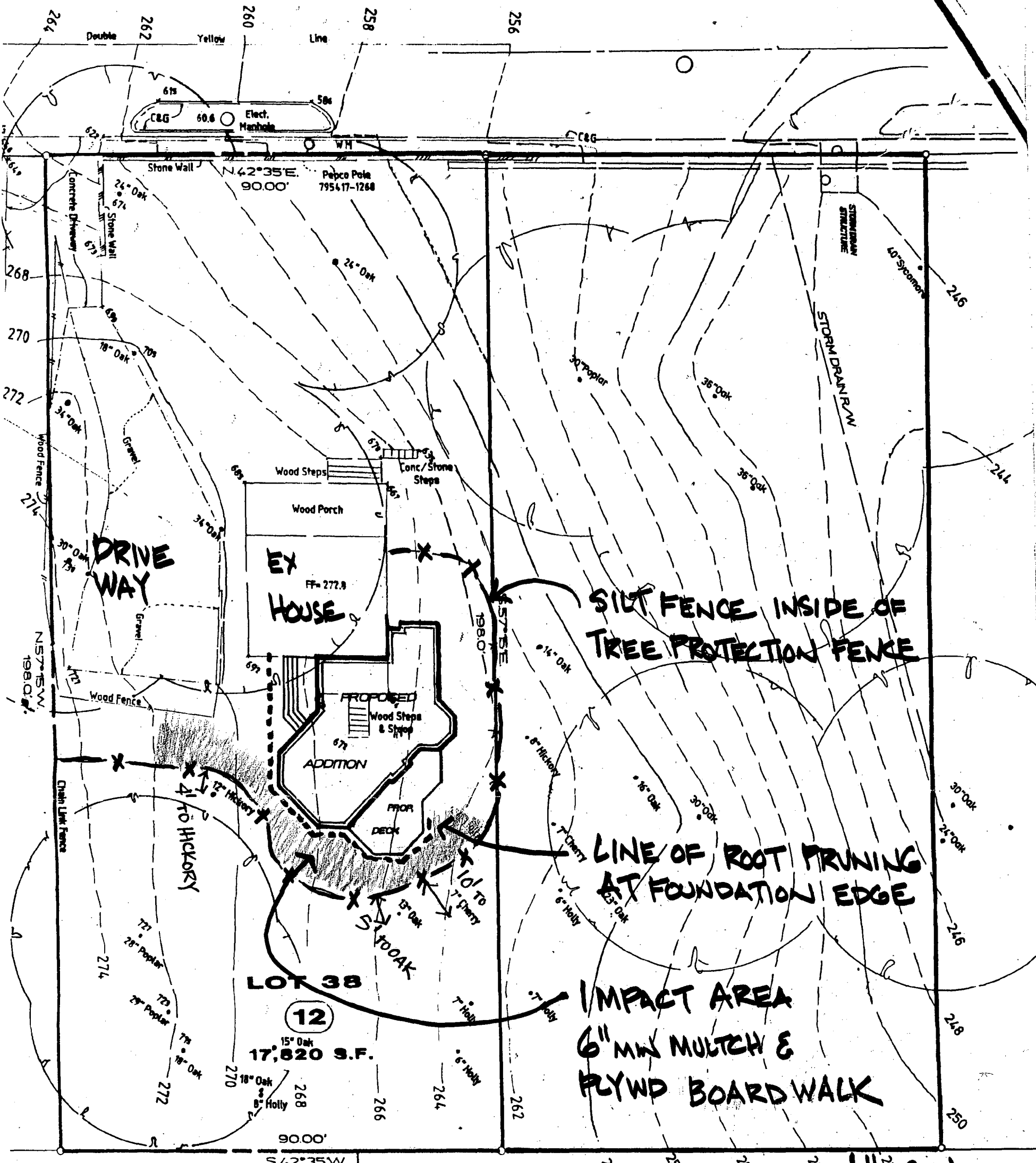
7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

**KATINAS BRUCKWICK  
ARCHITECTURE**

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# PINEY BRANCH ROAD

(40' R/W)



**DRIVE WAY**

**EX HOUSE**  
FF= 272.8

**PROPOSED ADDITION**  
Wood Steps & Steps  
WOOD PORCH  
PROP. DECK

**SILT FENCE INSIDE OF TREE PROTECTION FENCE**

**LINE OF ROOT PRUNING AT FOUNDATION EDGE**

**IMPACT AREA  
6" MULCH & PLYWD BOARD WALK**

**LOT 38**  
**12**  
17,820 S.F.

**TREE PROTECTION PLAN 7333 PINEY BRANCH ROAD 3 MARCH 06**  
**BARTH / SCORZA RESIDENCE KATINAS BRUCKWICK ARCHITECTURE**

BRASHLAR'S SUBDIVISION - PARK PARK BLOCK 2 PLAT BOOK B PLAT 2

LOT 35

LOT 36

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	7333 Piney Branch Road, Takoma Park	<b>Meeting Date:</b>	4/11/2006
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	4/4/2006
<b>Applicant:</b>	Patricia Barth & Edwin Scorza (John G. Katinas, AIA)	<b>Public Notice:</b>	3/28/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	
<b>Case Number:</b>	37/03-06K	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Rear Addition		

**RECOMMENDATION:** Approve with Conditions

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP application with the following condition:

- Should the windows ultimately have divided lights, they will be wood simulated divided light wood windows, which contain muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the **Takoma Park Historic District**  
**STYLE:** Foursquare  
**DATE:** c.1920

This two-story frame house, now covered with asbestos shingles, is a rarity in that it and the adjacent vacant parcel is still owned by descendants of the first owners. The house has a small rear kitchen addition, but retains its original windows and trim. With a footprint of 1100 SF, it sits on a large 17,820 SF wooded lot situated well above the traffic along Piney Branch Road. The steep driveway shares a curb cut with the adjacent property to the right. The applicants also own the vacant parcel to the left.

**HISTORIC CONTEXT**

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.”

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert’s promotion of the natural setting is the use of the Native American “Takoma”, meaning “exalted” or “near heaven.” Later he added the “Park” appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900.”

“By 1893, the town’s population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. “

“The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just “three minutes to car line” – and individuality – “no two are alike in design.” At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue.”

“Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town’s close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.”

**PROPOSAL:**

The applicants are proposing to construct a 1-story plus basement 965 SF addition at the rear left corner of the house. It will be of frame construction, sit on a parged masonry foundation, and have either wood or fiber cement siding. The trim will be painted wood and the roof will be asphalt shingles. Views of the wooded lot informed many of the design decisions. The applicants also intend to remove the asbestos siding on the historic house and reside with horizontal wood siding on the 1<sup>st</sup> level and wood shingles on the 2<sup>nd</sup>. A tree protection plan was submitted with the application.

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale

and massing

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation:***

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

New additions on historic structures should be avoided, if possible, and considered only after it is determined that needs cannot be met by altering secondary, non-character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alternative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged or destroyed.

This project has been before the Commission at two Preliminary Consultations: September 14, 2005 and December 21, 2005. (Transcripts for the 12/21 meeting begin on Circle 25) On the whole, the Commission found the revision seen at the 2<sup>nd</sup> Preliminary to be an improvement and more compatible with the historic house. In particular, the proposed addition has much less of a physical and visual impact on the historic

house. The only area of significant discussion was the roof/turret where the addition meets the historic house. Otherwise, the Commission merely suggested making some tweaks to the design and returning as a HAWP application.

Although the applicants chose not to change the turret roof as requested by one Commissioner, Staff is recommending approval with one condition.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE MD 20850  
240/717 6370

DPS-#8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: JOHN KATINAS, AIA  
Daytime Phone No.: 301-652-8300

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: PATRICIA BARTH & EDWIN SCORZA Daytime Phone No.: 301-641-7340  
Address: 7333 PINEY BRANCH ROAD TAKOMA PARK MD 20912  
Street Number City Street Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: JOHN KATINAS, AIA Daytime Phone No.: 301-652-8300

LOCATION OF BUILDING/PREMISE:

House Number: 7333 on PINEY BRANCH ROAD  
Town/City: TAKOMA PARK Nearest Cross Street: EASTERN AVENUE  
Lot: 38 Block: 12 Subdivision: BRASHER'S SUBDIVISION  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  AC  Stab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Retire  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 300,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 21 MARCH 2006 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 415301 Date filed: 3/22/06 Date issued: \_\_\_\_\_

## KATINAS BRUCKWICK ARCHITECTURE

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4931 Saint Elmo Avenue Suite 2 Bethesda Maryland 20814  
301.652.8300 office 301.652-8306 fax  
www.KBArchitecture.com

**2 December 2005**

### **Existing Building and Proposed Addition Description**

7333 Piney Branch Road is a four square circa 1922 frame house on a large 17,820 square foot lot in Takoma Park, Maryland. The house has an existing footprint of approx 1100 square feet. The exterior frame of the house is now covered with asbestos shingles. The wood windows and trim are original as is the front porch and dormers. The foundation wall and chimney are cement plaster over masonry. Located on the first floor are four rooms of which three are original; entrance foyer with stair, living room and dining room. The kitchen, pantry and bathroom have been renovated or added. The second floor has its original four bedrooms and one bath. There is an unfinished attic and an unfinished cellar.

The proposed one story plus basement addition has a foot print of approx 965 square feet and is sited off the back left corner of the house. The addition in this position maintains three corners of house, the side staircase landing window and door, the rear dining room window, and all of the second floor windows. The addition is skewed from the house which allows for views of the yard in all directions. Interior access to the addition is through the kitchen which becomes a back hall with new stair to the basement. On the first floor of the addition are the new kitchen, breakfast room, family room, home office, powder room and mudroom. There is also a side door entrance and deck. The second floor maintains all rooms. The bathroom will be renovated. The new basement is for a master suite, workroom and laundry room and has a walkout patio to side yard.

The addition will be a frame structure on a masonry foundation with a painted finish. The exterior frame finishes will be painted wood or cement board siding, painted wood casing, corner boards and cornice. The windows will have grills and be wood double hung and casements. The roof will be asphalt shingles.

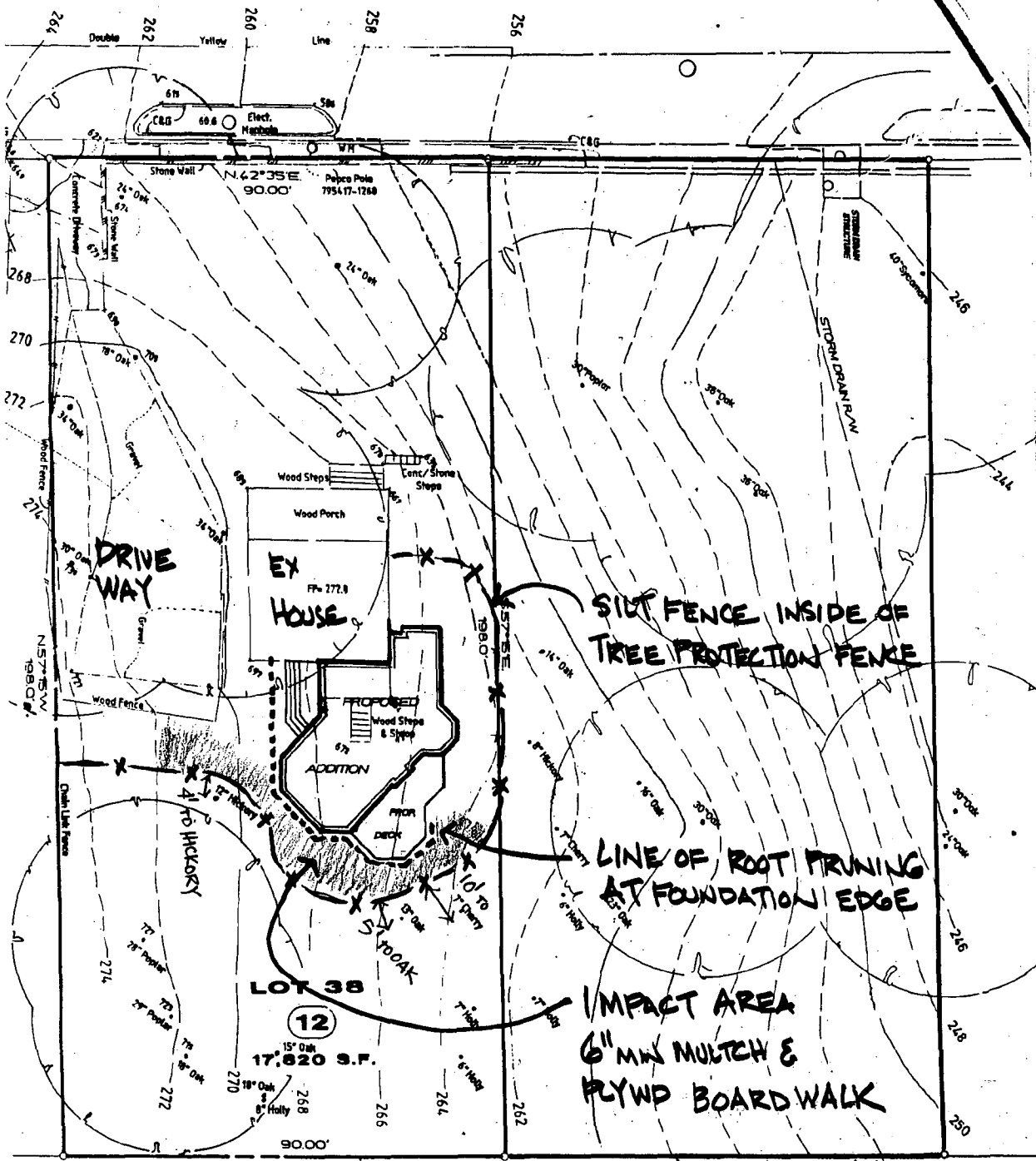
It is the owner's intent to remove the asbestos shingles from the existing house and replace them with wood siding at first floor level and wood shingles at the second level as was originally on the house.

END

John Katinas, AIA  
Principal  
Katinas Bruckwick Architecture

PINEY BRANCH ROAD

(40' R/W)



SILT FENCE INSIDE OF TREE PROTECTION FENCE

LINE OF ROOT PRUNING AT FOUNDATION EDGE

IMPACT AREA  
6" MIN MULCH &  
PLYWD BOARDWALK

TREE PROTECTION PLAN 7333 PINEY BRANCH ROAD 3 MARCH 06  
BARTH/SCORZA RESIDENCE KATINAS BRUCKWICK ARCHITECTURE

ELEVATION NOTES:

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
3-1/2" CROWN ON 1x10 PADDED FRIEZE BOARD.
3. CORNICE #2:  
ALUM K GUTTER ON 1x6 FASCIA  
8" SOFFIT WITH 2" CONTINUOUS ALUM VENT.  
2-1/2" CROWN ON 1x8 PADDED FRIEZE BOARD.
4. 6" LAP CEMENT FIBER BOARD SIDING ON VAPOR BARRIER.
5. 5/4 x 4 WINDOW AND DOOR TRIM.
6. 5/4 x 6 CORNER BOARDS.
7. PAINTED BLOCK FOUNDATION.
8. EXTERIOR OF ADDITION WILL BE PAINTED, PRIMED PLUS 2 COATS, 3 COLOR SCHEME BY OWNER.
9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & END DAM AT ALL WINDOW HEAD & SILLS.



NORTH WEST ELEVATION

2

1/4" = 1'-0"



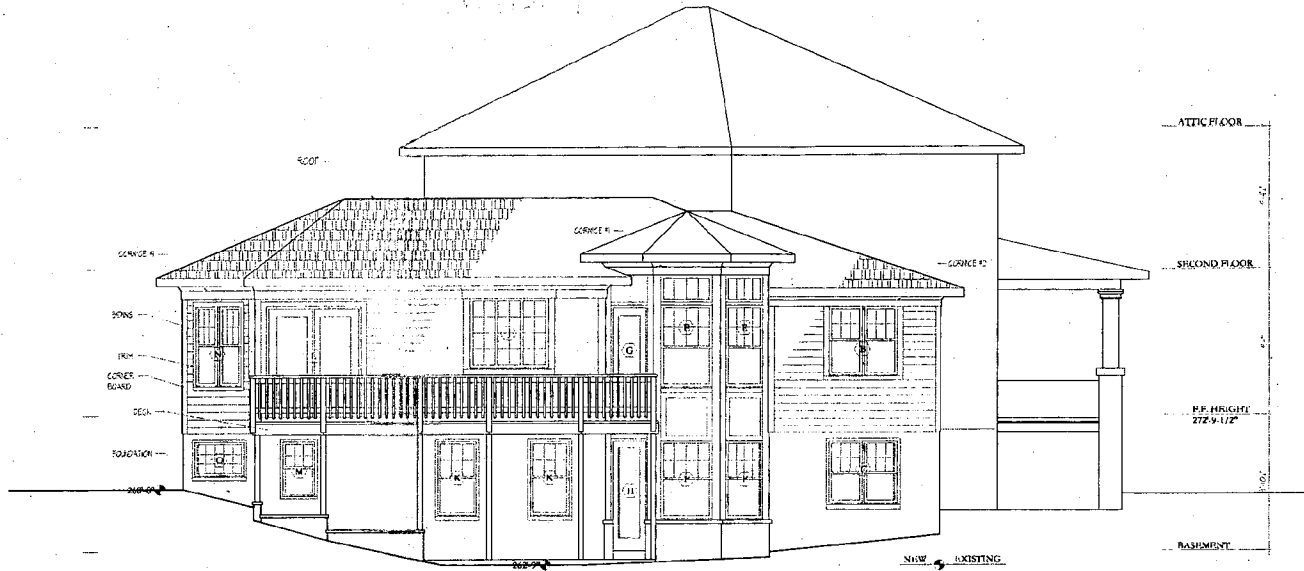
NORTH EAST ELEVATION

1

6

**ELEVATION NOTES:**

1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL
2. CORNICE #1:  
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**EAST ELEVATION**

2

1" = 1'-0"

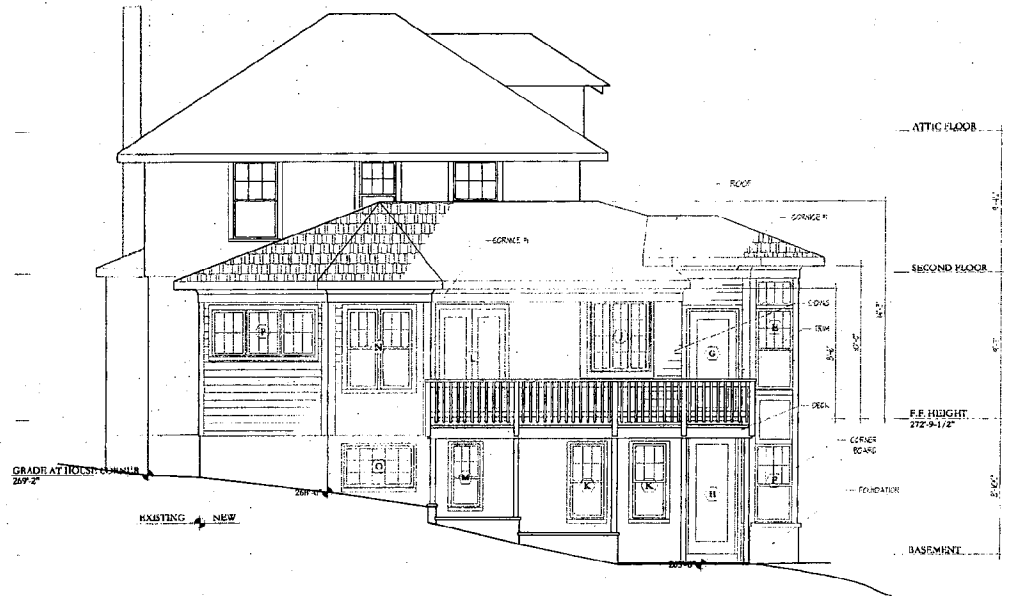
WINDOW & EXTERIOR DOOR SCHEDULE:  
JELDWIN MANUFACTURER, POZZI COLLECTION, CLAD, INSULATED, LOW-E GLASS SOL, PRIMED WOOD INTERIOR

ALL MEASUREMENTS REPRESENT ROUGH OPENING DIMENSIONS

SYM	TYPR	WIDTH	HEIGHT	MODUL NUMBER	COMMENT
A	DEL - HUNG	3'-11-1/2"	4'-5-5/8"	OPEN 2420-2	TWIN UNIT
B	DEL - HUNG	3'-4-1/2"	4'-5-5/8"	OPEN 2420-2	TWIN UNIT
C	DEL - HUNG	3'-4-1/2"	4'-8-5/8"	OPEN 2824-2	TWIN UNIT
D	DEL - HUNG	3'-4-1/2"	3'-4-5/8"	OPEN 3028	
E	DEL - HUNG	3'-4-1/2"	3'-4-5/8"	OPEN 3028	
F	DEL - HUNG	3'-4-1/2"	3'-5-5/8"	OPEN 3028 (FROM EXH)	TWO UNITS MATED TOGETHER
G	OPENING DOOR	2'-4-1/2"	7'-2-5/8"	DOOR 2870	
H	OPENING DOOR	2'-4-1/2"	7'-2-5/8"	DOOR 2870	
J	CRMT IN BAY	3'-0-1/2"	3'-7-1/2"	CC 2084-8	
K	DEL - HUNG	2'-5-7/8"	4'-9-5/8"	OPEN 3424	
I	OPENING FRENCH DOOR	6'-0-1/2"	7'-2-5/8"	DOOR 6270	
M	DEL - HUNG	2'-1-1/8"	5'-5-5/8"	OPEN 1208	
N	DEL - HUNG	3'-2-1/4"	5'-4-1/2"	OPEN 2024-2	TWIN UNIT
O	CASEMENT	4'-8-1/2"	2'-4-1/2"	SUP 2452	
P	CASEMENT	4'-5-1/2"	2'-4-1/2"	CC 2828-2	TRIPLE
R	DEL - HUNG	4'-2-1/2"	5'-4-1/2"	OPEN 3528-2	TWIN UNIT
S	DEL - HUNG	2'-1-1/8"	5'-5-5/8"	OPEN 1208	

T	DOOR	2'-4-1/2"	7'-2-5/8"		
U	DOOR	2'-4-1/2"	7'-2-5/8"		



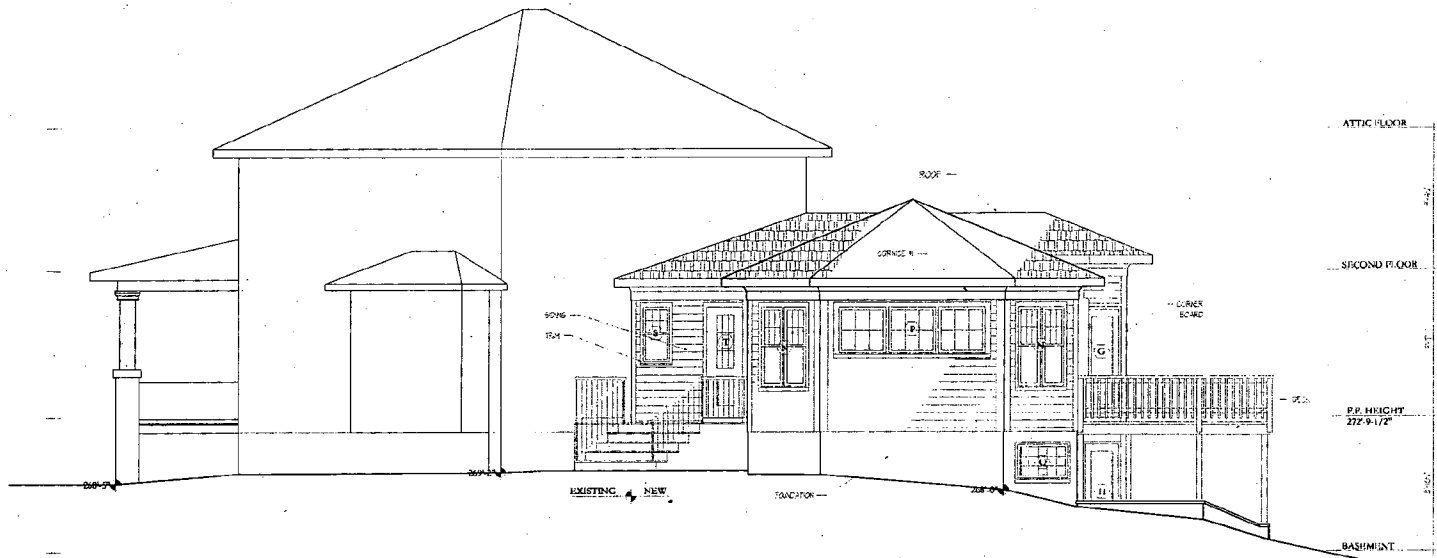
**SOUTH EAST ELEVATION**

1

19

ELEVATION NOTES:

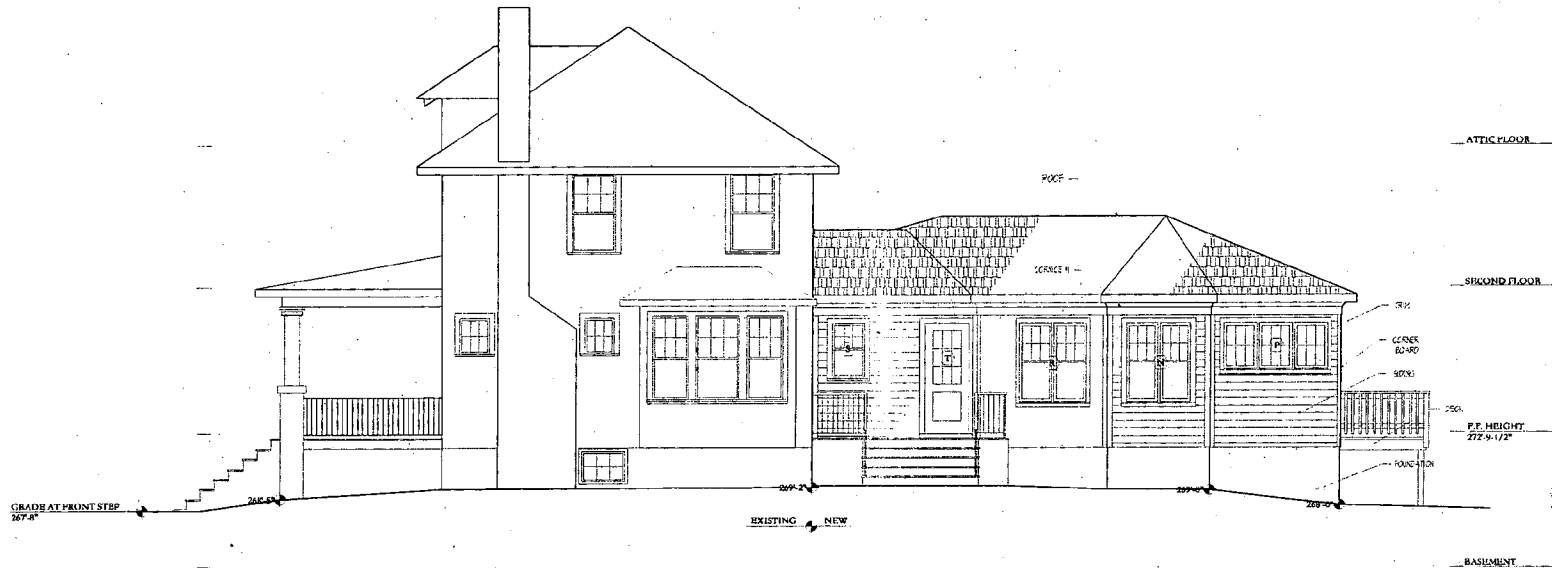
1. ROOF: OWENS CORNING OAKRIDGE PRO 40 AR ON 30# FELT OR EQUAL.
2. CORNICE #1:  
ALUM K GUTTER ON 1x6 FASCIA  
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3/4" CROWN ON 1x10 PADDED FRIEZE BOARD.
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9. METAL FLASHING REQ'D 6" UP WALL AT ALL ROOF/WALL EDGES.
10. FLASH & FND DAM AT ALL WINDOW HEAD & SILL.



SOUTH ELEVATION

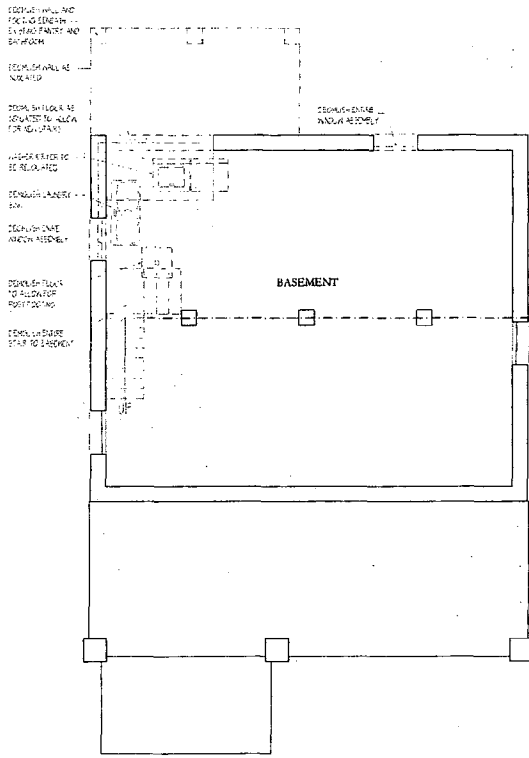
2

1/4" = 1'-0"



SOUTH WEST ELEVATION

11

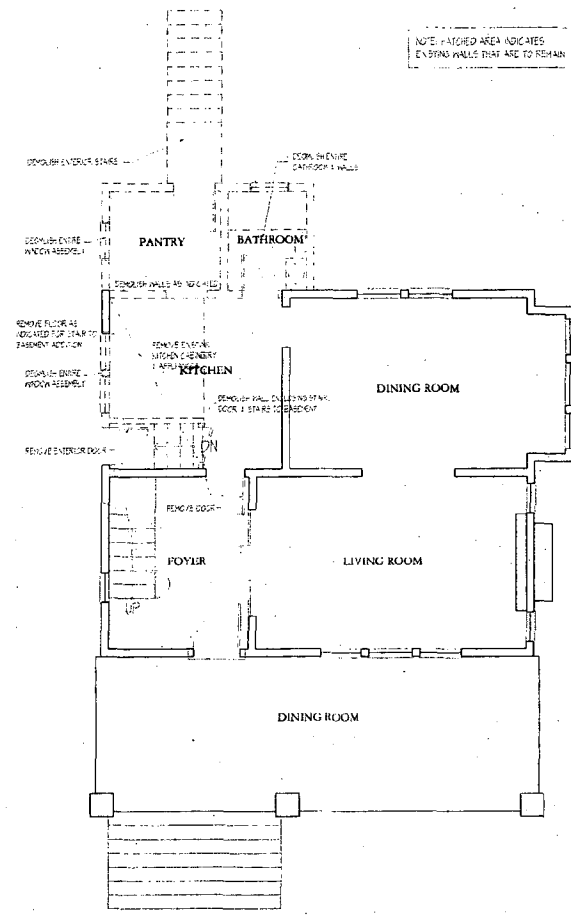


BASEMENT

3

1/4" = 1'-0"

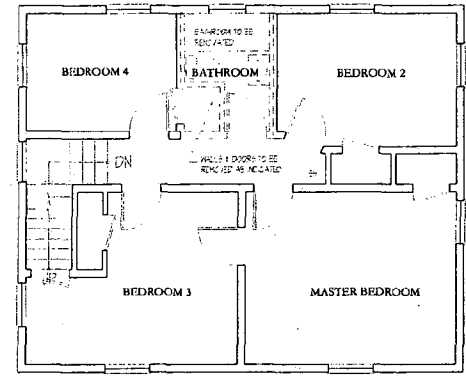
12



1ST FLOOR

2

1/4" = 1'-0"



2ND FLOOR

1

1/4" = 1'-0"

- DEMO NOTES:
1. PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
  2. RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
  3. PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
  4. DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.
  5. PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDITIOUSLY TO MATCH EXISTING IF DAMAGED.
  6. ABANDON MECHANICAL DUCTS NOT TO BE USED IN PLACE OR RE-USE AS PART OF NEW 2 ZONE SYSTEM.
  7. MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

**KATINAS BRUCKWICK  
ARCHITECTURE**  
4811 SAINT BLAISE AVENUE  
BETHESDA MARYLAND 20814  
TEL. 301.652.8300 FAX 301.652.8306

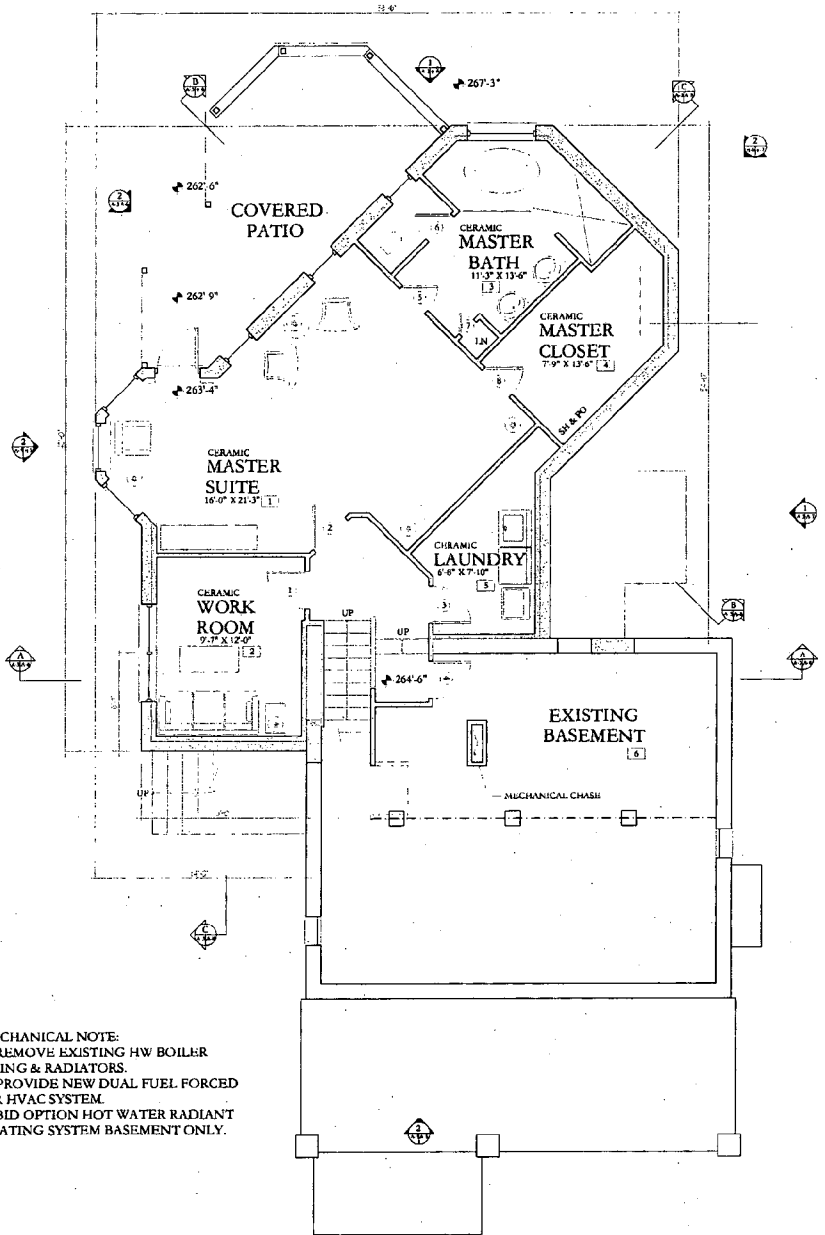
**BARTH/SCORZA RESIDENCE  
ADDITION**  
7333 PINEY BRANCH ROAD  
TAKOMA PARK, MD 20912

05-200

ISSUE	DATE
CHECK SET	03.01.06
SUBMITTAL	03.20.06

DEMO



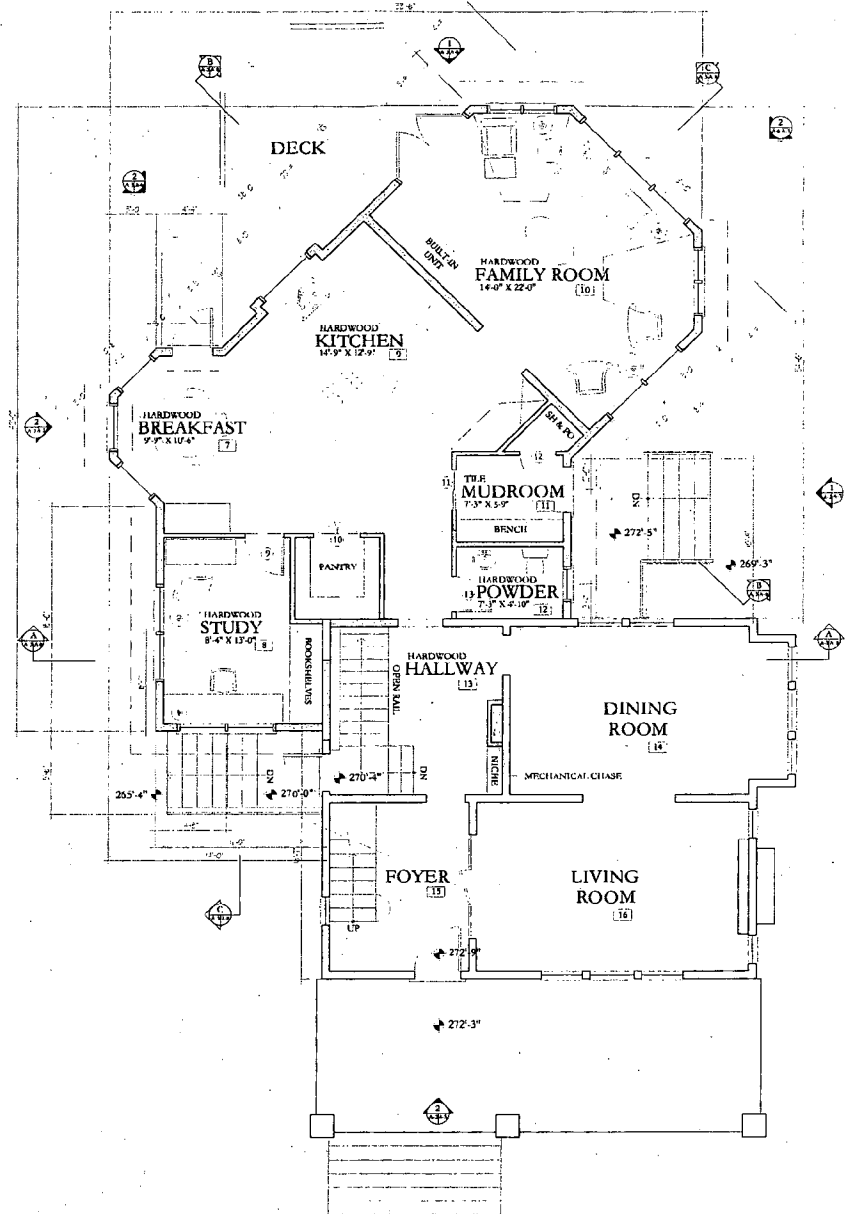


MECHANICAL NOTE:  
 1. REMOVE EXISTING HW BOILER PIPING & RADIATORS.  
 2. PROVIDE NEW DUAL FUEL FORCED AIR HVAC SYSTEM.  
 3. BID OPTION HOT WATER RADIANT HEATING SYSTEM BASEMENT ONLY.

BASEMENT PLAN

2

1" = 1'-0"



1ST FLOOR PLAN

1

1" = 1'-0"

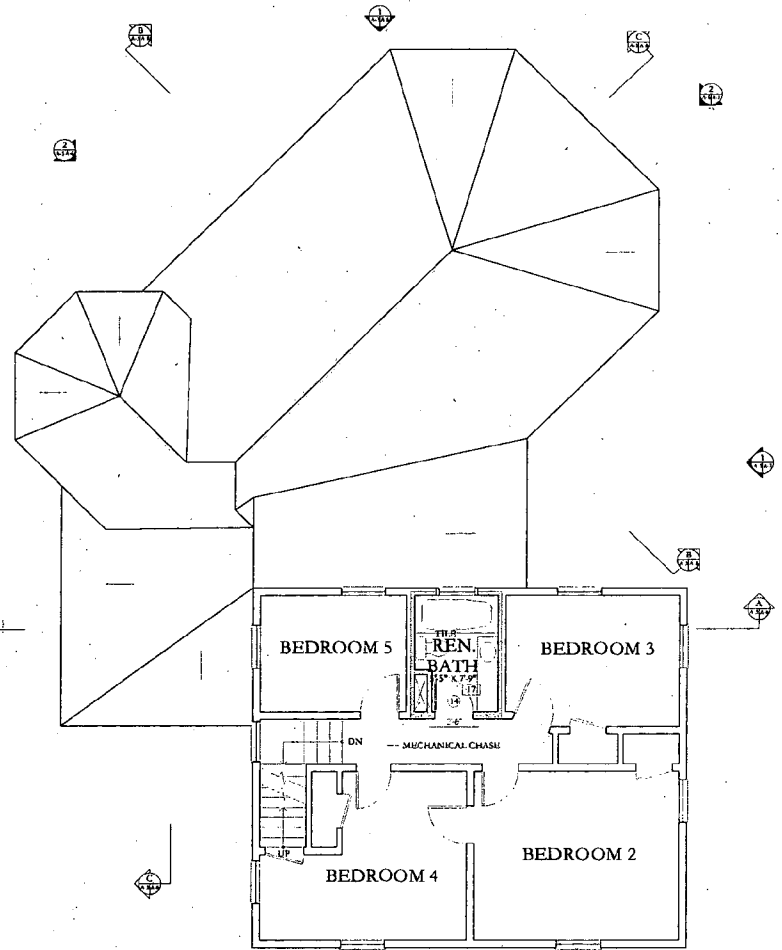
13

INTERIOR DOOR SCHEDULE			
DOORS ARE MASONRY SOLID, STYLE TO MATCH EXISTING			
SYM	WIDTH	HEIGHT	COMMENT
1	2'-6"	8'-0"	
2	2'-0"	8'-0"	
3	2'-6"	8'-0"	
4	2'-6"	8'-0"	
5	2'-0"	8'-0"	
6	2'-0"	8'-0"	
7	2'-0"	8'-0"	
8	2'-0"	8'-0"	
9	2'-0"	8'-0"	
10	2'-0" (EACH LEAF 1'-0")	8'-0"	
11	2'-0"	8'-0"	FOUR-LEAF DOOR
12	2'-0"	8'-0"	
13	2'-0"	8'-0"	
14	2'-0"	8'-0"	

FINISH SCHEDULE							
NO.	NAME	FLOOR	WALLS	MOULDINGS	CLG PAINT	NOTES	NO.
1	MASTER BATH	CF-2	PH	M-4, M-2	PT-8		1
2	WORK ROOM	CF-2	PH		PT-8		2
3	MASTER BATH	CF-2	PH, CF-2	M-4, M-2	PT-8		3
4	MASTER BATH	CF-2	PH	M-4, M-2	PT-8		4
5	LAUNDRY	CF-2	PH	M-4, M-2	PT-8		5
6	BED RM CASPER	CF-1	PH	M-4, M-2	PT-8		6
7	BREAKFAST	WOOD FLOOR	PH	M-4, M-2	PT-8		7
8	KITCHEN	WOOD FLOOR	PH	M-4, M-2	PT-8		8
9	HALLWAY	WOOD FLOOR	PH	M-4, M-2	PT-8		9
10	FAMILY ROOM	WOOD FLOOR	PH	M-4, M-2	PT-8		10
11	HALLWAY	CF-1	PH, CF-2	M-4, M-2	PT-8		11
12	POWDER ROOM	WOOD FLOOR	PH	M-4, M-2	PT-8		12
13	HALLWAY	WOOD FLOOR	PH	M-4, M-2	PT-8		13
14	DINING ROOM	WOOD FLOOR	PH	M-4, M-2	PT-8		14
15	FOYER	WOOD FLOOR	PH	M-4, M-2	PT-8		15
16	LIVING ROOM	WOOD FLOOR	PH	M-4, M-2	PT-8		16
17	SEMI-FINISHED BATHROOM	CF-1	PH, CF-2	M-4, M-2	PT-8		17

INDEX

- WOOD FLOOR
- FLOORS
- CF-1 9/4" TO MATCH EXISTING
- CF-2 GLAZED CERAMIC FLOOR TILE 3" x 6"
- CF-3 GLAZED CERAMIC FLOOR TILE 12" x 12"
- CF-4 UNFINISHED CONCRETE FLOOR
- C-3 CARPET
- BASES
- MB MASONRY BASE MOLD TO MATCH EXISTING
- CF-4 CERAMIC TILE BASE - MATCH GLAZED CERAMIC WALL TILE
- WALLS
- PH PLASTER WALL PINK - 1/2" PROPER COAT 2 FINISH COAT
- PF-2 LATEX SEMI GLOSS ENAMEL TRIM PAINT 1 PROPER COAT 2 FINISH COAT
- PF-3 CEILING PLAT WHITE LATEX ON SMOOTH GIBS CEILING (S&W)
- CF-2 GLAZED CERAMIC WALL TILE
- CF UNFINISHED GIBS
- MOULDINGS
- PH DOOR & WINDOW CASING TO MATCH EXISTING
- MB BASE BOARD TO MATCH EXISTING



2ND FLOOR & ADDITION ROOF PLAN

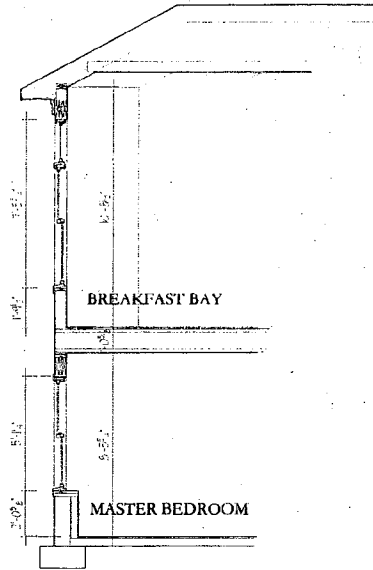
121

**BUILDING SECTION NOTES:**  
**ROOF:**  
 30 YR. 350# OWENS CORNING OAKRIDGE PRO 40 AR OR EQUAL ON 30# FELT ON 5/8" SHEATHING. FIELD BUILT ROOF FRAMING- 2x10 TOP CHORD AND 2x6 BOTTOM CHORD AT 16" OC.

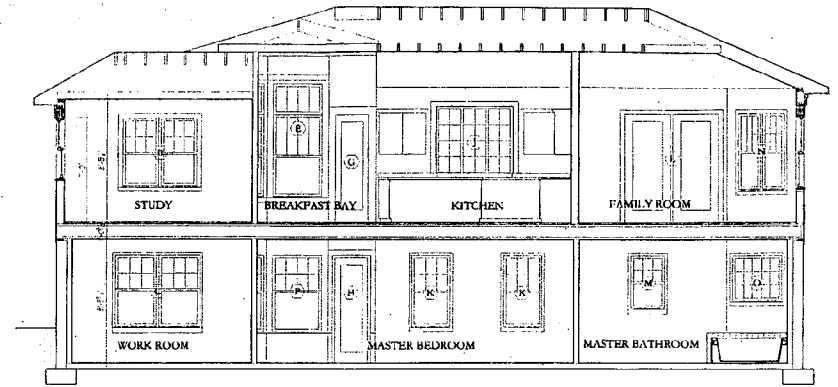
**WALLS:**  
 6" LAP PAINTED CEMENT FIBER BOARD SIDING ON VAPOR BARRIER ON 1/2" SHEATHING ON 2x6's AT 16" OC WITH 1/2" GYPSUM WALL BOARD.

**FLOOR DECK:**  
 FLOORING ON 3/4" T&G SHEATHING ON ENGINEERED FLOOR TRUSSES. 5/4" STRAND BOARD BAND. TREATED WOOD SILL PLATE ACHOR BOLTED TO FOUNDATION WALL.

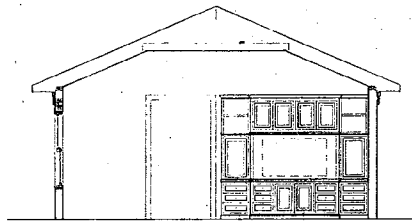
**INSULATION:**  
 WALLS R19  
 ROOF R30  
 OVERHANG R30  
 BASEMENT R13 FLOOR TO CEILING  
 CRAWL R13 FLOOR TO CEILING



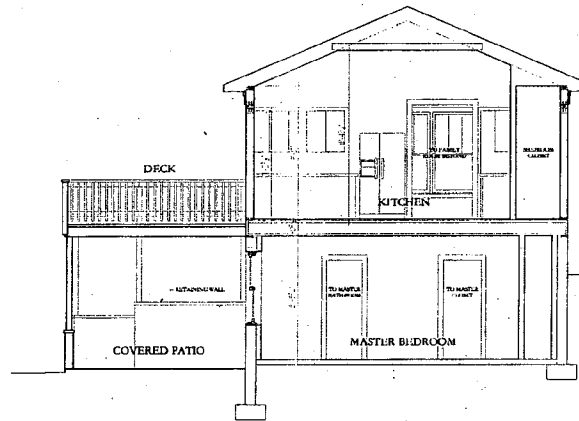
SECTION DETAIL  
 BREAKFAST BAY ABOVE & MASTER BAY BELOW  $\frac{1}{2}'' = 1'-0''$



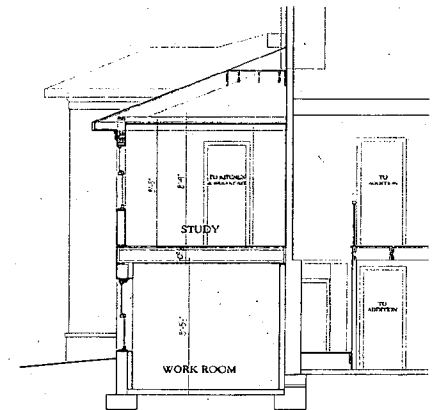
SECTION 3  
 $\frac{1}{4}'' = 1'-0''$



FAMILY ROOM SECTION  
 W/ BUILT-INS  $\frac{1}{4}'' = 1'-0''$

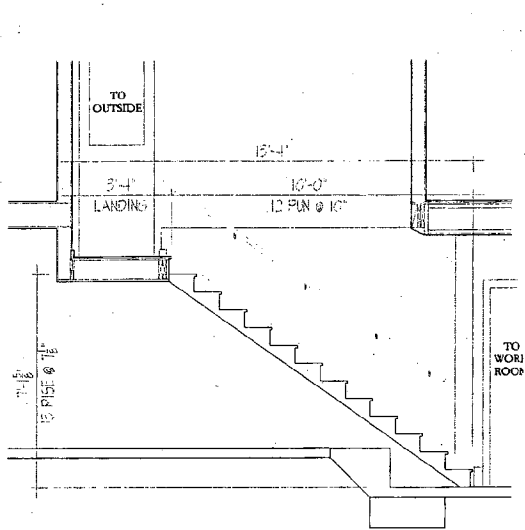


SECTION 2  
 $\frac{1}{4}'' = 1'-0''$



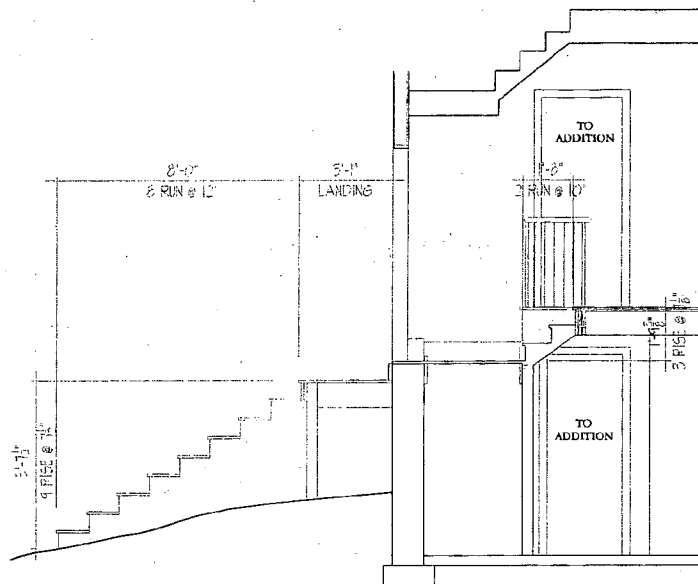
SECTION 1  
 STUDY ABOVE & WORK ROOM BELOW  $\frac{1}{4}'' = 1'-0''$

15



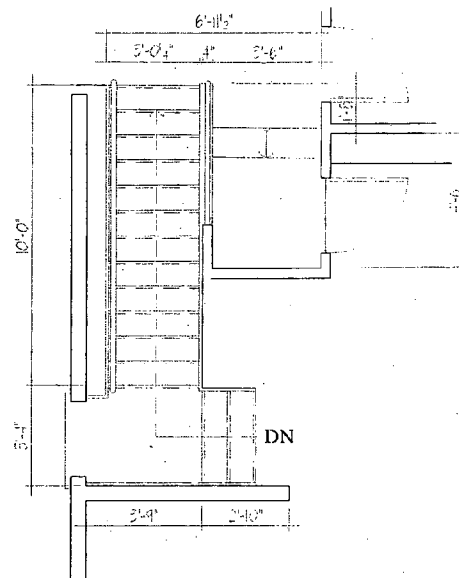
STAIR SECTION

$\frac{1}{2}'' = 1'-0''$



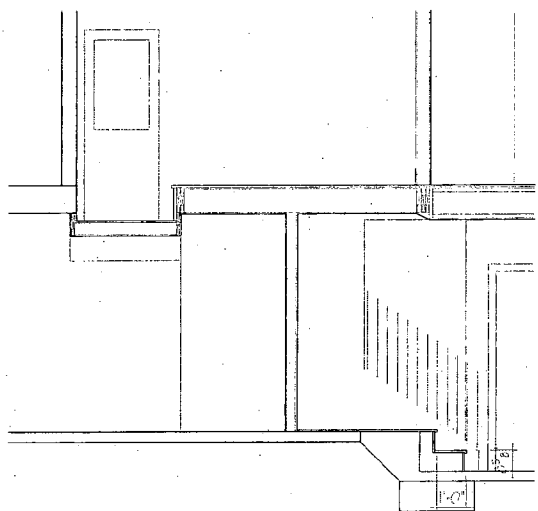
STAIR SECTION

$\frac{1}{2}'' = 1'-0''$

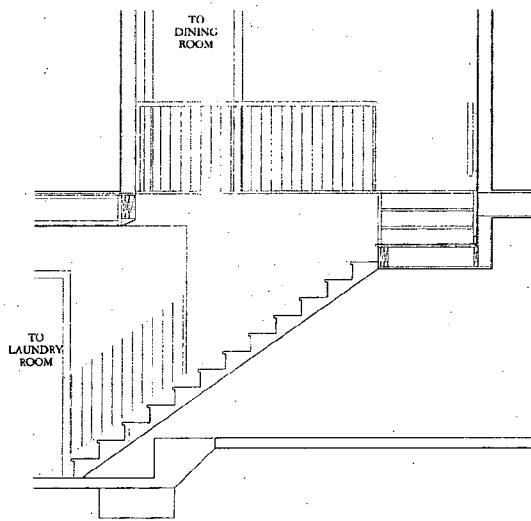


STAIR PLAN

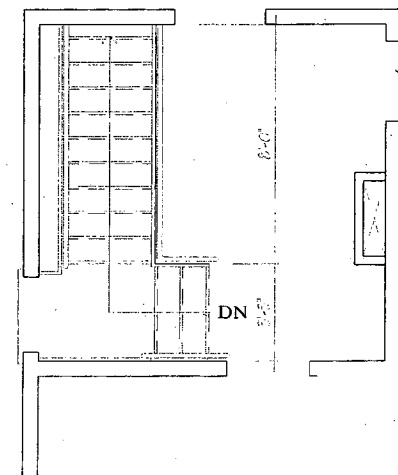
$\frac{1}{2}'' = 1'-0''$



STAIR SECTION



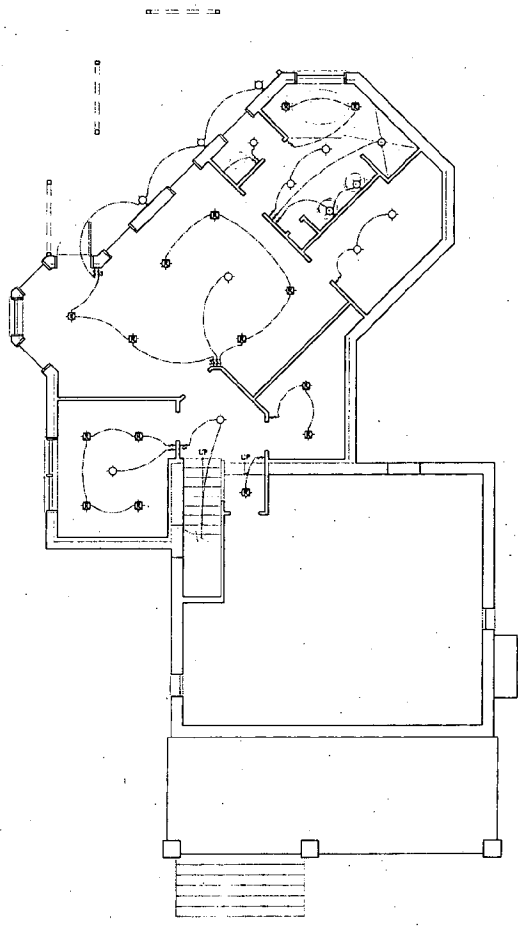
STAIR SECTION



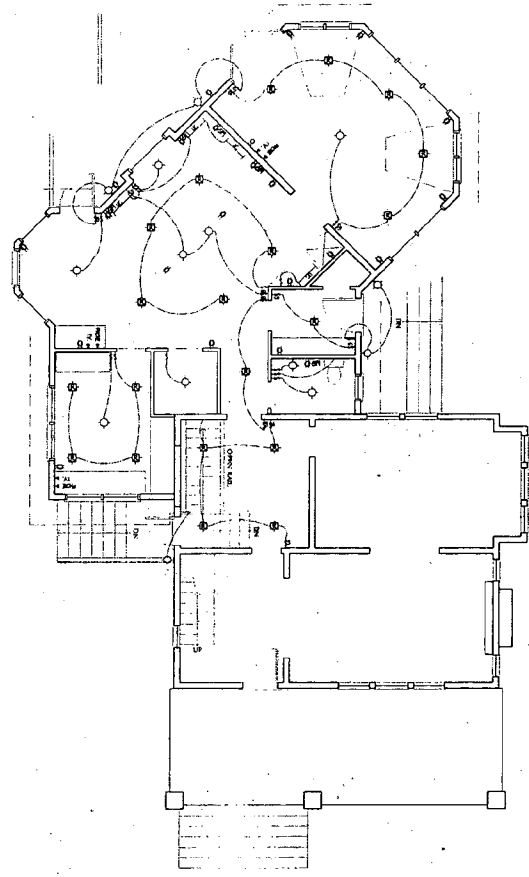
STAIR PLAN

116

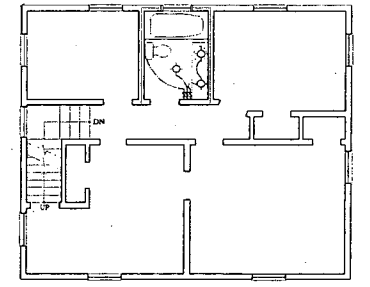
- LEGEND:
- ⊙ EXH FAN - EXHAUST FAN
  - ⊖ H4 - HALL MOUNT
  - ⊖ R2 - RECESSED CAN
  - ⊖ FANL1 - FAN LIGHT
  - ⊖ FAN
  - ⊖ S4 - SURFACE MOUNT
  - ⊖ SV - SPEAKER VOLUME CENTER
  - ⊖ S4R - SPEAKER HOME RUN
  - ⊖ S4S - GL6 SPEAKER
  - ⊖ DFL - DIRECTIONAL FEATURE LIGHT
  - ⊖ ICL - UNDER COUNTER LIGHT



BASEMENT PLAN 3  
 $\frac{3}{8}'' = 1'-0''$

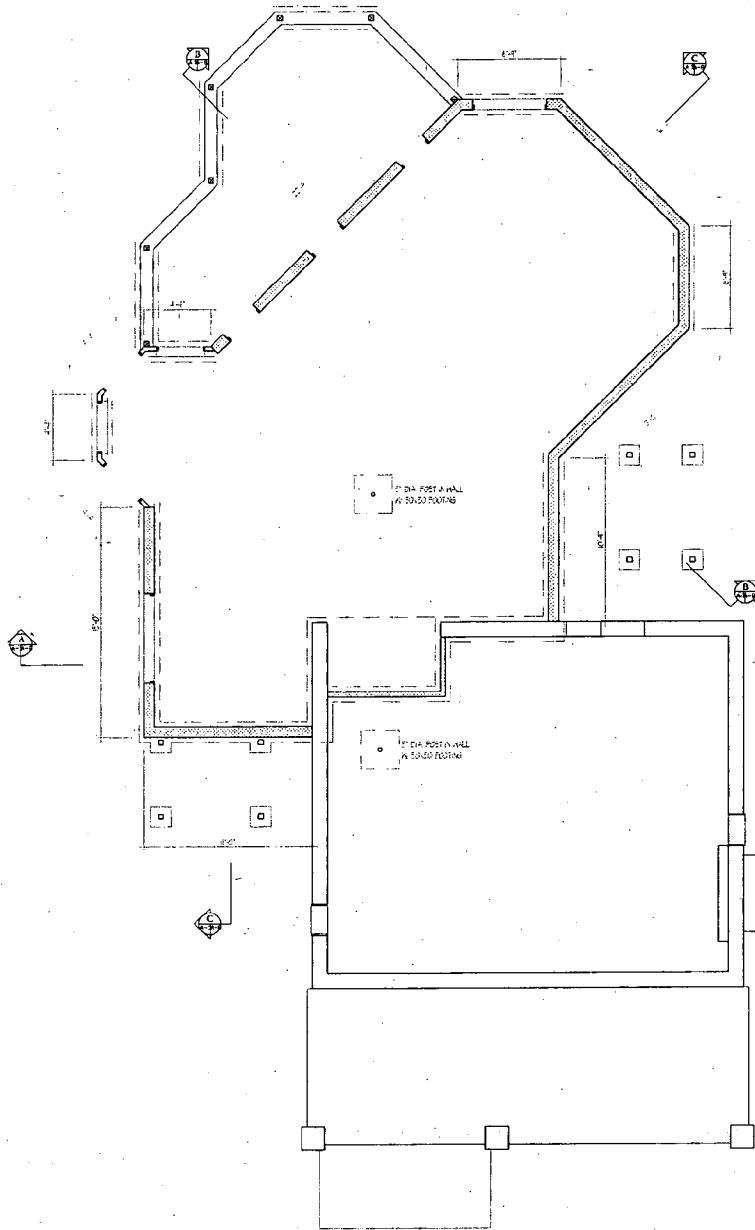


1ST FLOOR PLAN 2  
 $\frac{3}{8}'' = 1'-0''$



2ND FLOOR PLAN 1  
 $\frac{3}{8}'' = 1'-0''$

(7)

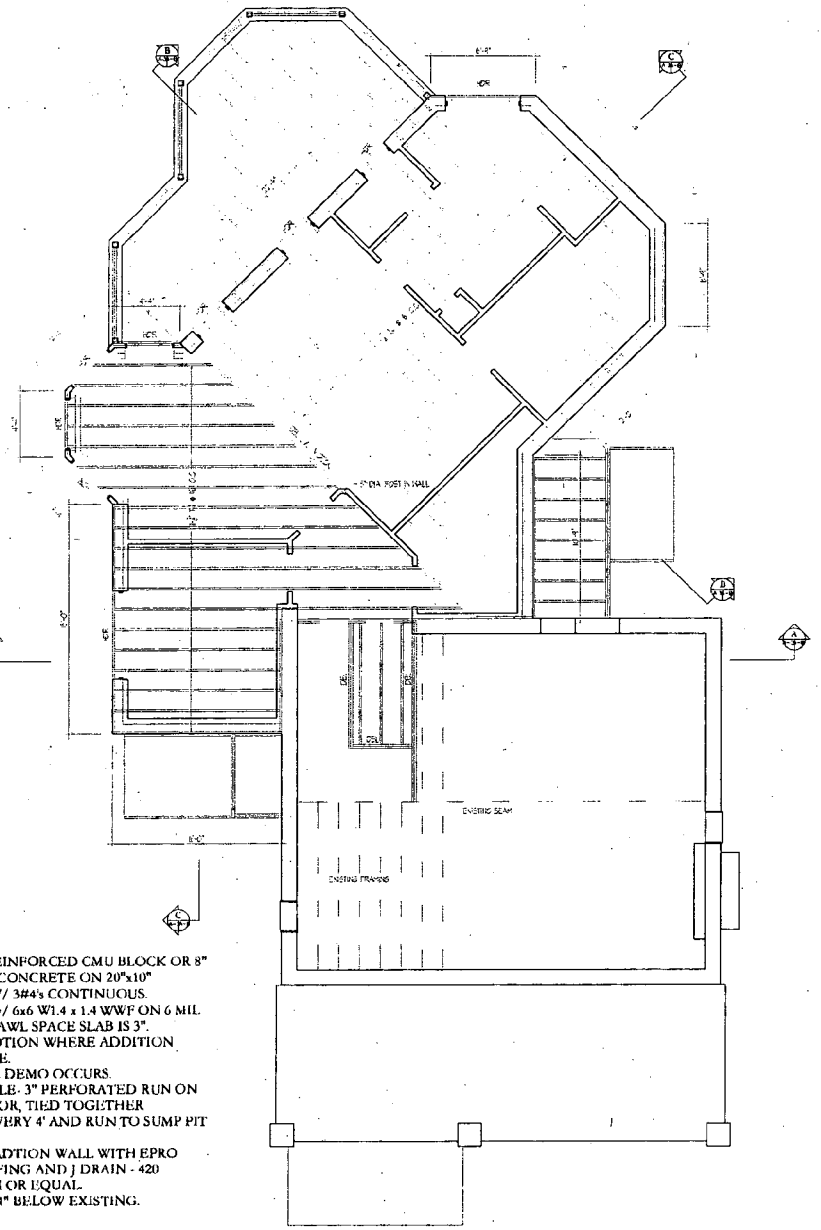


FOUNDATION PLAN

2

FOUNDATION NOTES:

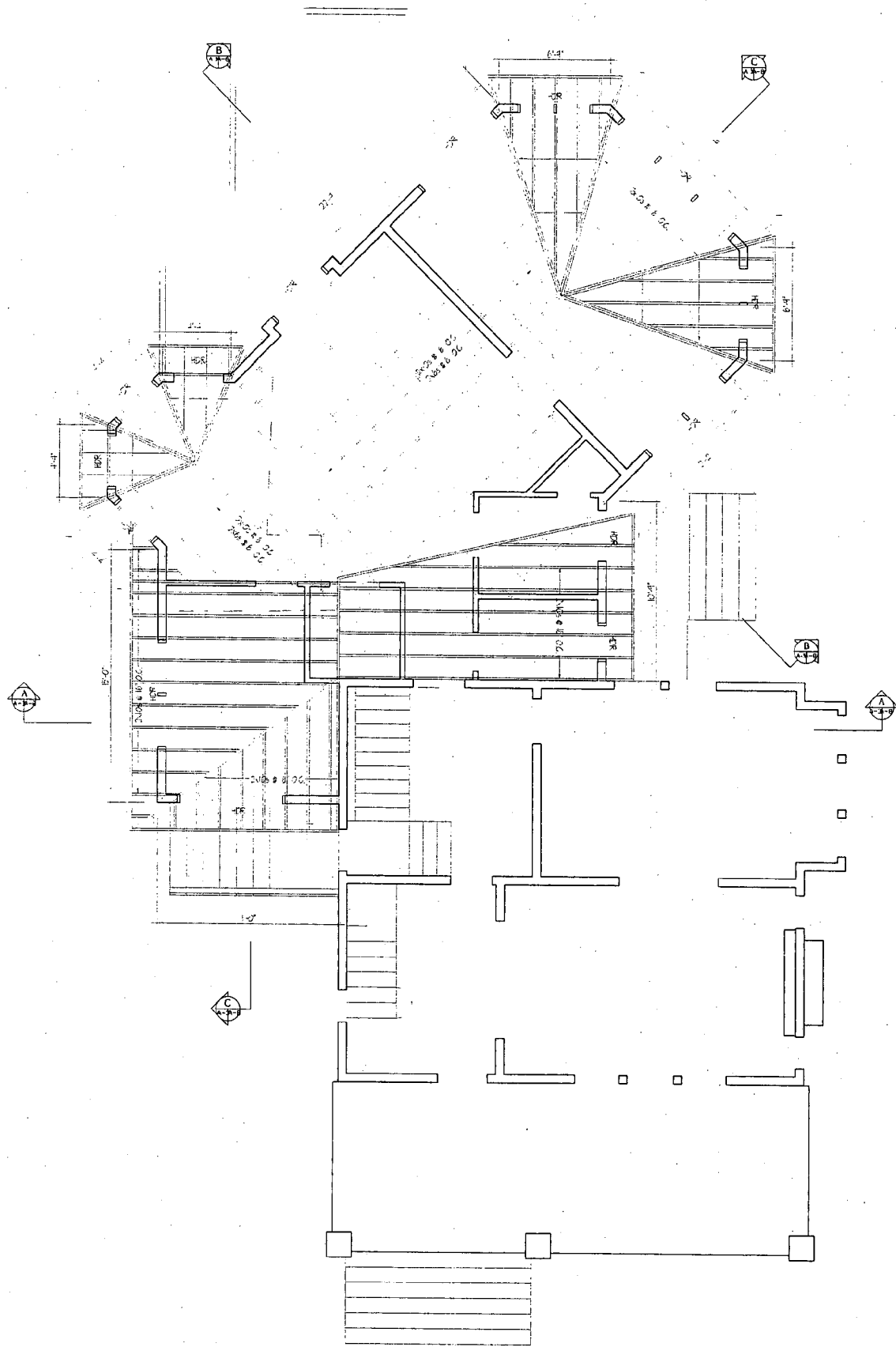
1. FOUNDATION IS 8" REINFORCED CMU BLOCK OR 8" REINFORCED POURED CONCRETE ON 20"x10" CONCRETE FOOTING W/ 3#4s CONTINUOUS.
2. SLAB - 4" CONCRETE w/ 6x6 W1.4 x 1.4 WWF ON 6 MIL POLY ON 4" STONE. CRAWL SPACE SLAB IS 3".
3. UNDERPIN FOUNDATION WHERE ADDITION MEETS EXISTING HOUSE.
4. REPOUR SLAB WHERE DEMO OCCURS.
5. PERIMETER DRAIN TILE - 3" PERFORATED RUN ON INTERIOR AND EXTERIOR, TIED TOGETHER THROUGH JACKING EVERY 4' AND RUN TO SUMP PIT WITH PUMP.
6. WATERPROOF FOUNDATION WALL WITH EPRO (COARSE WATERPROOFING AND ) DRAIN - 420 DIMPLR BOARD SYSTEM OR EQUAL.
7. NEW BASINMENT IS 1'-4" BELOW EXISTING.



1ST FLOOR FRAMING PLAN

1

18



**ROOF DECK FRAMING**







05













23

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
PATRICIA BARTI EDWIN SCORZA 7333 PINEY BRANCH ROAD TAKOMA PARK MARYLAND 20912	JOHN KATINAS, AIA KATINAS BRUCKWICK ARCHITECTURE 4931 ST ELMO AVE BETHESDA MD 20814
Adjacent and confronting Property Owners mailing addresses	
AGNES PATTI 7306 HOLY AVE	DEAN & JOSEPHINE HOGE 7314 HOLLY AVE
HANK & CHERYL COX 7331 PINEY BRANCH	7330 PINEY BRANCH ROAD

1  
2 THE HISTORIC PRESERVATION COMMISSION

3 PRELIMINARY CONSULTATION - :  
4 7333 Piney Branch Road :  
----- X

5  
6 December 21, 2005,  
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19 MS. O'MALLEY; Thank you.

20 We have an addition at 7333 Piney Branch Road in Tacoma Park.

21 MS. TULLY: Yes, and I thank the applicants for their patience tonight.

22 This is an addition at 7333 Piney Branch Road in Tacoma Park. This is a contributing  
23 resource within the Tacoma Park Historic District. This is the second preliminary for this project. The  
24 commission first saw this project September 14th at which point a number of suggestions and  
25 comments were made by the commission.  
26

27 Roughly what's being proposed now is a one story plus basement 965 square foot  
28 addition off of the rear left corner of the house. Things that are the same. It's still a frame construction  
29 and there's some design issues. The applicants in addition intend to remove the asbestos siding on  
30 the historic house and then reside it, well, bring it back to what it was with horizontal wood siding on the  
31 first level with wood shingles on the second level.

32 I believe one of the complications initially is that this is a four square and the window on  
33 the proposed addition was not square. The applicants have addressed nearly ever comment made by  
34 the commission. Changes were made. The addition is no longer two stories. The second floor of the  
35 historic house remains entirely intact. The portion of the addition nearest the house has been squared  
36 off reducing the variety of the angles in the roof lines.

**Deposition Services, Inc.**

37 It is now visually subservient to the historic house. The addition has been stretched out  
38 Rockville, MD 20852  
39 so that it's no longer bumping up against the historic house. And there is now only one set of windows  
40 info@DepositionServices.com www.DepositionServices.com  
41 being removed as a result of the addition and it is attached.

1           Because of that, staff encourages the commission to recommend that the applicants,  
2 you know, move forward with an historic area work permit with whatever comments you may have  
3 tonight about materials or anything of that nature.

4           MS. O'MALLEY: Any questions for staff? Could the applicants come up, please. Good  
5 evening.

6           MR. KATINAS: Good morning.

7           MS. O'MALLEY: State your name for the record.

8           MR. KATINAS: John Katinas.

9           MS. BARTH: Patricia Barth.

10          MS. O'MALLEY: Welcome. You've made a lot of changes.

11          MR. KATINAS: Yes.

12          MS. O'MALLEY: Do any of the commissioners have questions?

13          MR. JESTER: I don't have any questions. I would just like to say that I think what staff  
14 pointed out in their report seems to be very accurate. I think you really have addressed all those  
15 concerns we raised at the last preliminary, and I think it's a vast improvement.

16          MS. O'MALLEY: Did you have another shot that showed it from the opposite side?

17          MR. KATINAS: The subservient to the main house from every side. Previously these  
18 windows, the door were taken in the addition two stories and now instead there's one window here,  
19 which is the existing kitchen window which is the only one lost.

20          MS. O'MALLEY: And where does it start to angle back?

21          MR. KATINAS: Initially starts 27 feet back from the neighbors porch front. It's square to  
22 the house for another 25 feet and then branches off in the back.

23          MS. O'MALLEY: Any other questions?

24          MR. DUFFY: The drawings didn't print terribly well. If you just cycle through them.

25          MR. KATINAS: Sure. The first floor, except for the existing foyer, living room, dining  
26 room, this was the kitchen with a small addition out the back with a bathroom and a pantry. That's what



1 was removed. The existing main stair starts in the front. It's a landing with a window goes up to the  
2 second floor. What we're doing is we're going to put a new stair to the basement within that space of  
3 the original kitchen.

4 The second floor consisting four bedrooms and bath. The bath was already once  
5 renovated. It's going to be renovated again now, and though everything else will stay the same. The  
6 room addition is in the rear, mud room, powder room, mud room entrance to a parking area off to the  
7 side, which is a study directly through the kitchen a family room.

8 MR. DUFFY: Really I meant just to –

9 MR. KATINAS: I'm sorry.

10 MR. DUFFY: – so that I can see them.

11 MR. KATINAS: Thank you for your patience. So in the basement now will be a master  
12 suite. They've thought this over and with the grade in there and the lovely lot to the side that they own,  
13 they can feel like it's really a grade level master suite, not a basement level. Here's the site plan.  
14 Again, the existing house is here. The two lots that they have, here's the addition set back to the rear  
15 of this other property here.

16 MR. DUFFY: Well, the last time you were here I made some comments about the  
17 geometry of the addition. I'm not going to harp on that today. I said what I said. It hasn't changed  
18 greatly. However, you've addressed the bigger issues well, I think. And I think that's commendable.  
19 I think it's a significant improvement. One question I would ask that I brought up the last  
20 time, and it's not a major issue either. Is, there's a square turret that you seem to really want, which is a  
21 Victorian element that just strikes me as a bit odd, and sometimes odd might be okay

22 MR. KATINAS: The bay, well, it's used for the –

23 MR. DUFFY: It's really an elevation is what I'm referring to. The elevations and the  
24 massing of the house are greatly improved from the last time, and a lot of the objections that I think we  
25 had you've addressed really well, and that one element is, you know, the geometry, it would be nice in  
26 my mind if it were more sympathetic to the original, but I think you've gone a long way, and I'm not



1 going to make a big deal out of that. It would be nice I think if that element weren't there. A gable roof  
2 or something. If that form is very near and dear to your hearts, I don't want to break your hearts, but  
3 how do you feel about that?

4 MR. KATINAS: Well, I guess to ask a question. Is it the shape of the wall or the shape  
5 of the roof or both?

6 MR. DUFFY: Well, it's primarily the roof in the sense, as I say, that is a characteristic  
7 Victorian or Queen Anne home, and the house is not, the original house is not Victorian. It's a very  
8 routhogonal, you know, and the addition is today. It's a vernacular 21st Century addition. So it just  
9 seems like a Victorianish element. It doesn't really go with the original and doesn't seem to be  
10 something that is part of the rest of the new.

11 MR. KATINAS: I guess part of it, part of what works about it, is the roof, the knuckle, is a  
12 knuckle for a place in the –

13 MR. DUFFY: Yes.

14 MR. KATINAS: – in the roof. So it's holding a spot there, it allow the roof to gable. So  
15 it's serving that function there. Also, as far as it having it the only clear story windows on the addition is  
16 in the appropriate spot is the other part of it. So if we merely just dropped it down, we may be able to  
17 still have it allowing the roof to bend or break at that point, but would eliminate the clear story, which I  
18 would like to offer that.

19 MS. O'MALLEY: Keep that and have a gable?

20 MR. KATINAS: Possibly. I mean, the gables over hexed shapes are, unless there's  
21 over hangs to them that are, a hip break around the wall.

22 MS. O'MALLEY: Some of the houses in Kensington are that way. At a corner.

23 MS. TULLY: Are there any comments from the commissioners with regard to the  
24 fenestration. What's being proposed right now looks like very similar to what's on the historic house of  
25 just over one, what I'd like to be able to do is have the applicants make some changes and then have a  
26 lot of discussion at the historic area work permit. If possible, I know there are only five of you here but



1 any suggestions you have at this point would be helpful.

2 MR. DUFFY; Thanks for bringing that to our attention. It's something that will probably  
3 be commented on in the future that typically we like to see the fenestration on the addition different  
4 from the original such that the new would have just the one over one, perhaps instead of a six over one,  
5 you know something like that. So that it's clearly, I mean, because the geometry is clearly different. But  
6 would you be comfortable with a one over one type of window or something that's not the same window  
7 as in the original?

8 MS. WRIGHT: We frequently recommend that when the addition is so close to the  
9 original architecture that there would be some question about detailing, be differentiated. I mean, not  
10 that, I am not suggestion that it's a good idea but in this case you've got such an extremely  
11 differentiated addition. There's no question that it's not original.

12 MR. DUFFY: Actually that's a good point. I think when I was looking at the elevations,  
13 let me take back what I said. I think that this is an exception to the rule because of the geometry and  
14 they do tie together, and again, when you would bring it as a HAWP, that's something that is easy  
15 enough to change if other commissioners you know warrant here that strong feelings. I would say just  
16 find a way to, if there's something you can do with the third roof, that would be nice.

17 MS. TULLY: So general consensus is make some tweaks, bring it back for a HAWP.

18 MR. ROTENSTEIN: Definitely.

19 MS. TULLY: I promise they will be first on the agenda for the historic area work permit.

20 MS. O'MALLEY; Thank you. All right. We have minutes for November 16th.