

37/03-06QQ 7330 PINEY BRANCH RD
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: September 25, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner 
Historic Preservation Section, MENCPPC

SUBJECT: Historic Area Work Permit # **428680**, for landscape Alterations and Fence/Wall Installation

The Montgomery County Historic Preservation Commission (HPC) reviewed the attached application for a Historic Area Work Permit (HAWP) at its public hearing on September 13, 2006. This application was **APPROVED with conditions**. These conditions of approval were that:

1. The revised drawings dated 7/18/06 are approved.
2. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Ronit Eisenbach & Dan Chasen

Address: 7330 Piney Branch Road, Takoma Park Historic District

With the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping, if applicable, prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if they propose to make any alterations to the approve plans.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

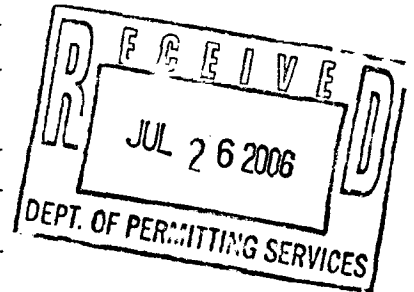
HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

428680
428680

Contact Person: Joan Honeyman
Daytime Phone No.: 202.986.0711

Tax Account No.: _____
Name of Property Owner: Ronit Eisehbach / Dan Chazen Daytime Phone No.: 301.920.1975
Address: 7330 Piney Branch Road, Takoma Park, MD 20912
Street Number City State Zip Code
Contractor: JMC Masonry / Jose Carlota Phone No.: 301.990.9872
Contractor Registration No.: 25883
Agent for Owner: Joan Honeyman / Jordan Honeyman LA. Daytime Phone No.: 202.986.0711



LOCATION OF BUILDING/PREMISE

House Number: 7330 Street: Piney Branch Road
Town/City: Takoma Park Nearest Cross Street: Eastern Avenue, NW
Lot: 16 Block: 11 Subdivision: Brushhears
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet _____ inches → 2'-9"-4'-7" wall / fence combined.
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joan Honeyman Signature of owner or authorized agent 7.25.06 Date

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 9-13-06
Application/Permit No.: 428680 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Stucco hung low, single family detached residence
facing a major roadway

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Providing privacy for the home owners from the roadway
through the addition of walls and fencing. Enhancing
the facade of the home and improving the driveway
parking area
see attached document regarding site improvements
to front & side yard

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dropline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

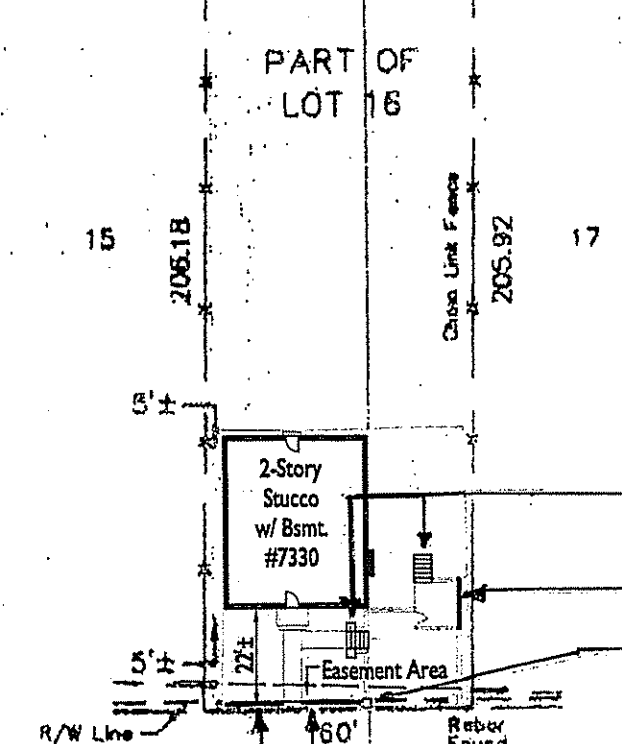
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

NOTE: R/W line and easement area line per L. 608 F. 184 and SRC plot # 1742

(2) No property corners found or set unless otherwise noted

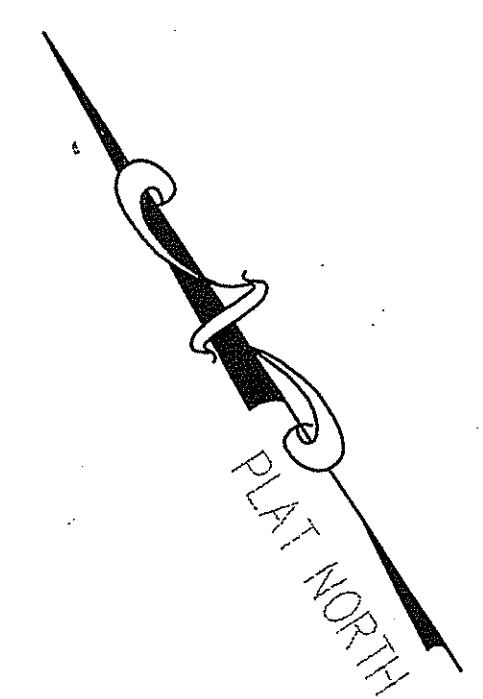
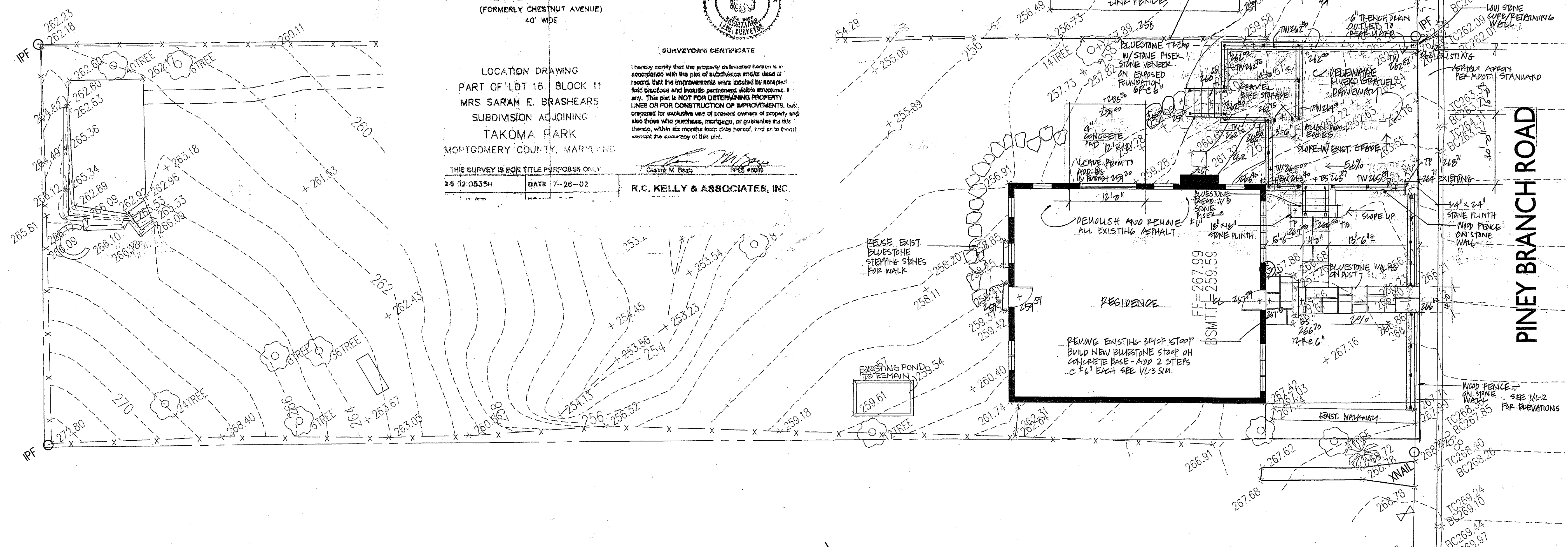
(3) The accuracy of this survey and the apparent setback distance is 2'



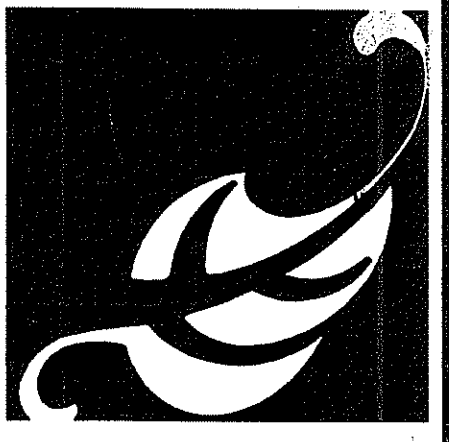
LOCATION DRAWING
 PART OF LOT 16, BLOCK 11
 MRS SARAH E. BRASHEARS
 SUBDIVISION ADJOINING
 TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE
 I hereby certify that the property delineated hereon is in accordance with the plat of subdivision and/or used of record, that the improvements were located by accepted field practices and include permanent visible structures, if any. This plat is NOT FOR DETERMINING PROPERTY LINES OR FOR CONSTRUCTION OF IMPROVEMENTS, but prepared for exclusive use of present owners of property and also those who purchase, mortgage, or guarantee the title thereto, within six months from date hereof, and as to them) warrant the accuracy of this plat.

THIS SURVEY IS FOR TITLE PURPOSES ONLY
 DATE 7-26-02
 R.C. KELLY & ASSOCIATES, INC.



APPROVED
 Montgomery County
 Historic Preservation Commission
Michele Baker
 9/15/06

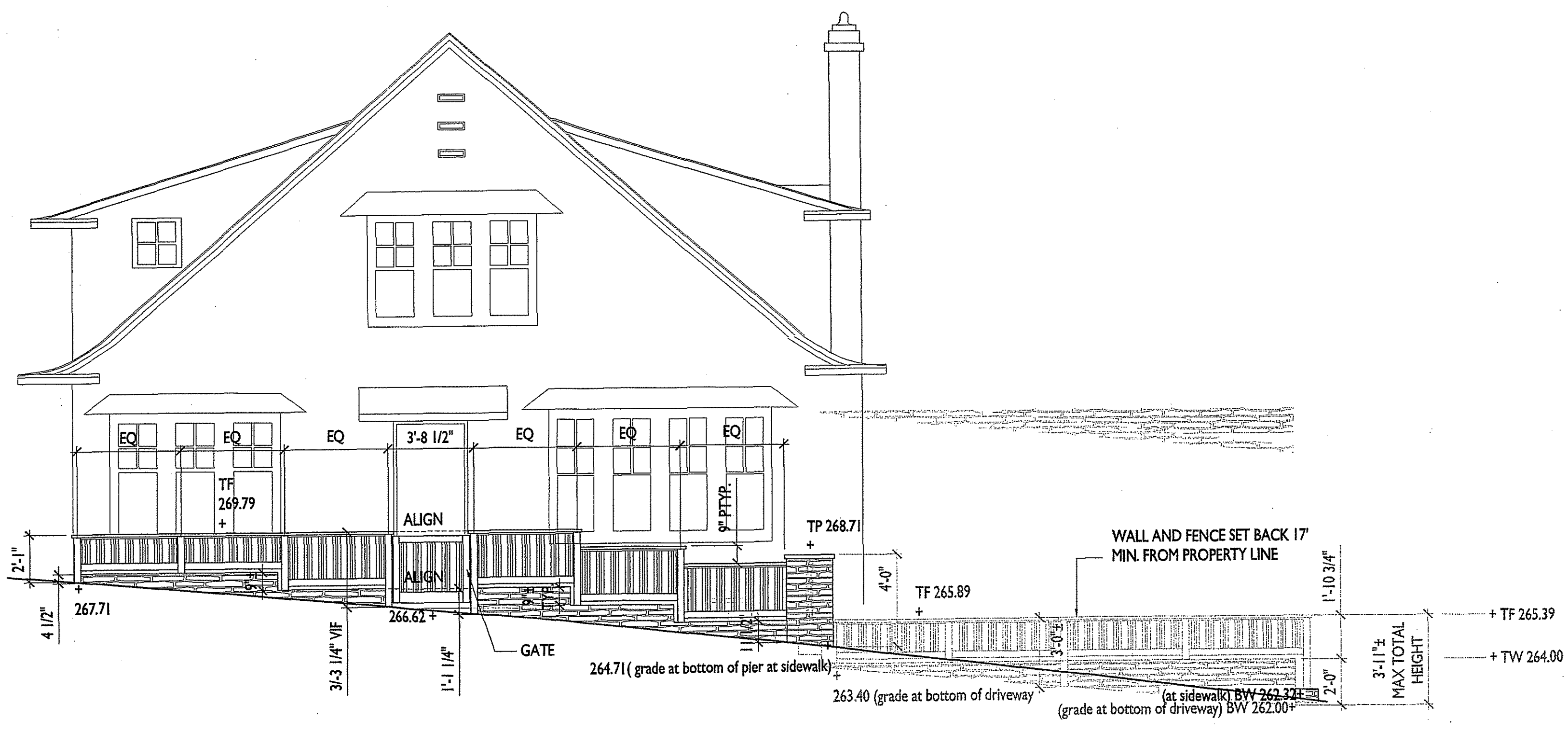


Scale: 1/8" = 1'-0"
 Date: 9/15/06 REVISION SET
 Revisions:

Eisenbach Chazen Residence
 7330 Piney Branch Road
 Takoma Park, MD 20912

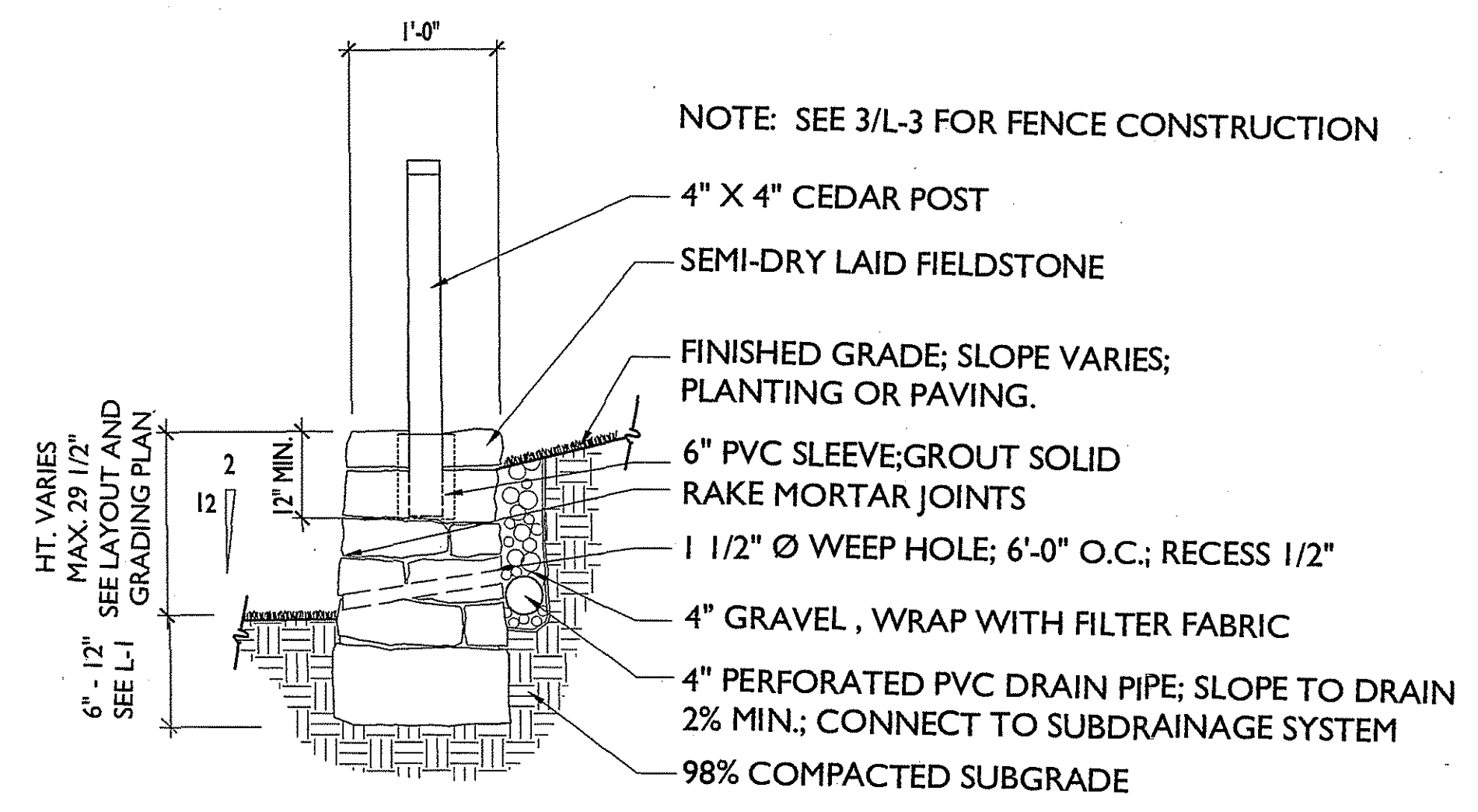
Layout and Grading Plan





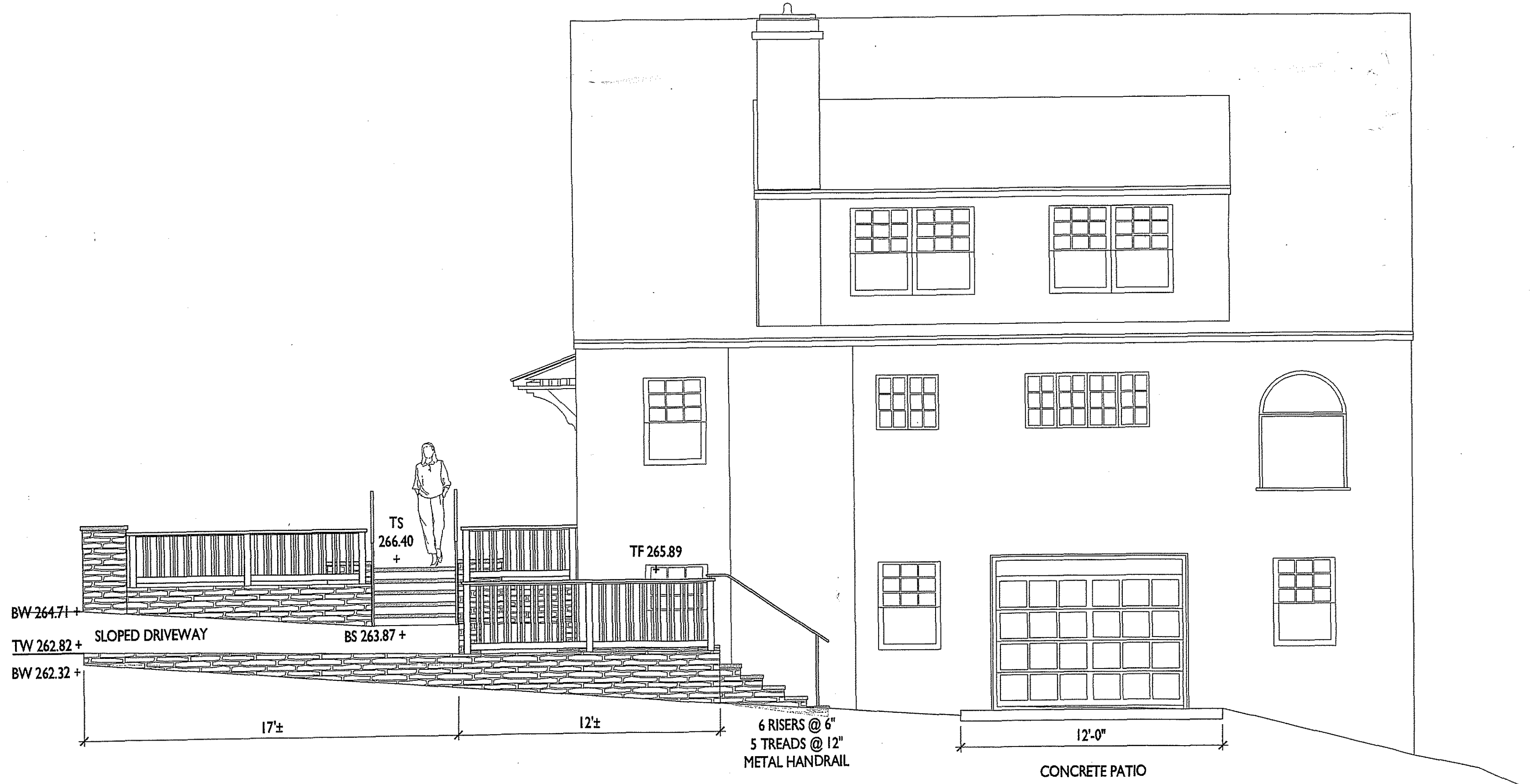
1 PROPOSED STONE WALL WITH FENCE
ELEVATION

SCALE: 1/4" = 1'-0"



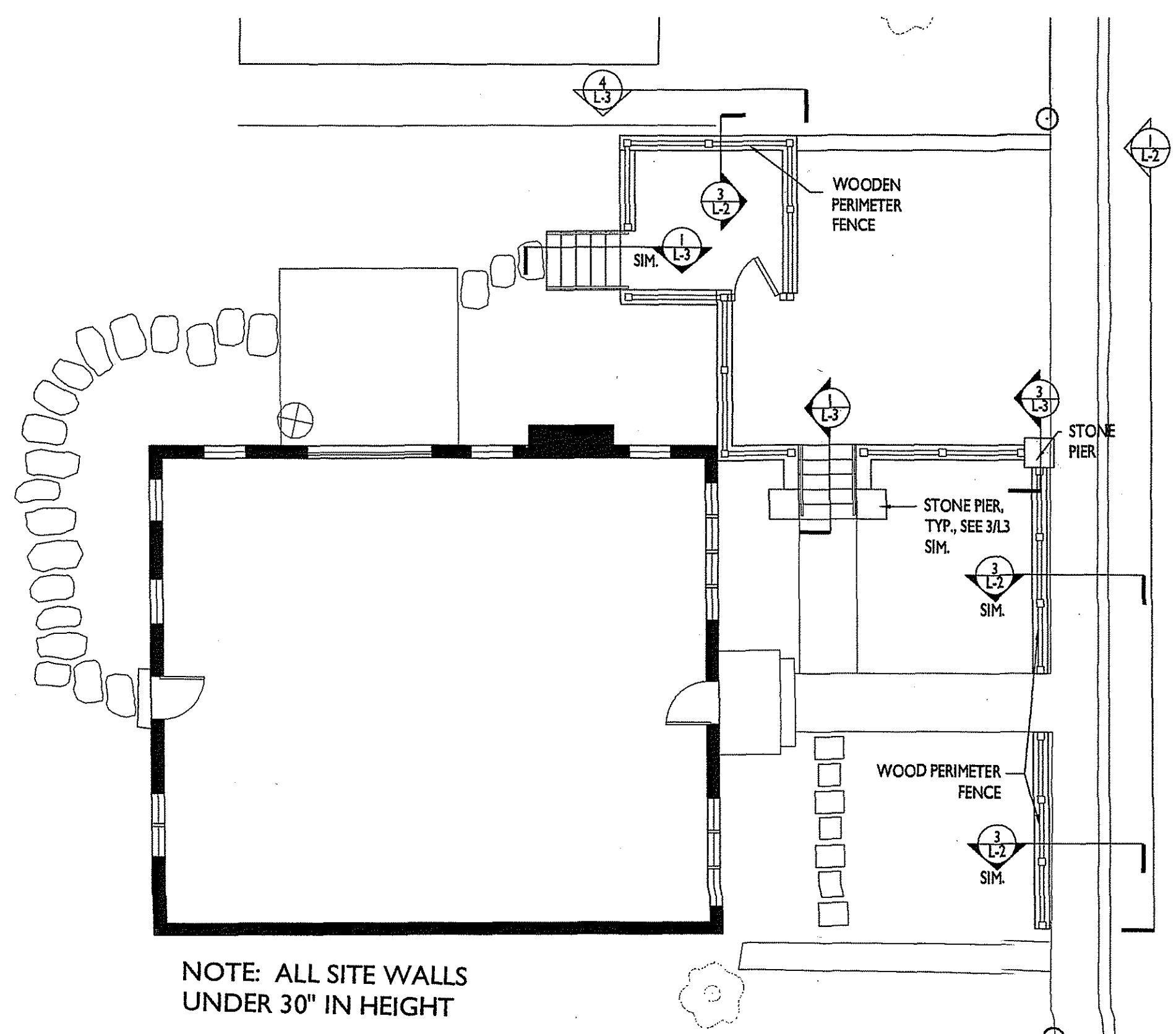
3 WOODEN PERIMETER FENCE ON RETAINING/CURB WALL
SECTION

SCALE: 3/4" = 1'-0"



2 PROPOSED STONE WALL /FENCE/ PATIO/ STEPS/ DRIVEWAY
ELEVATION

SCALE: 1/4" = 1'-0"



4 DETAIL CALLOUTS
PLAN

SCALE: 1/8" = 1'-0"



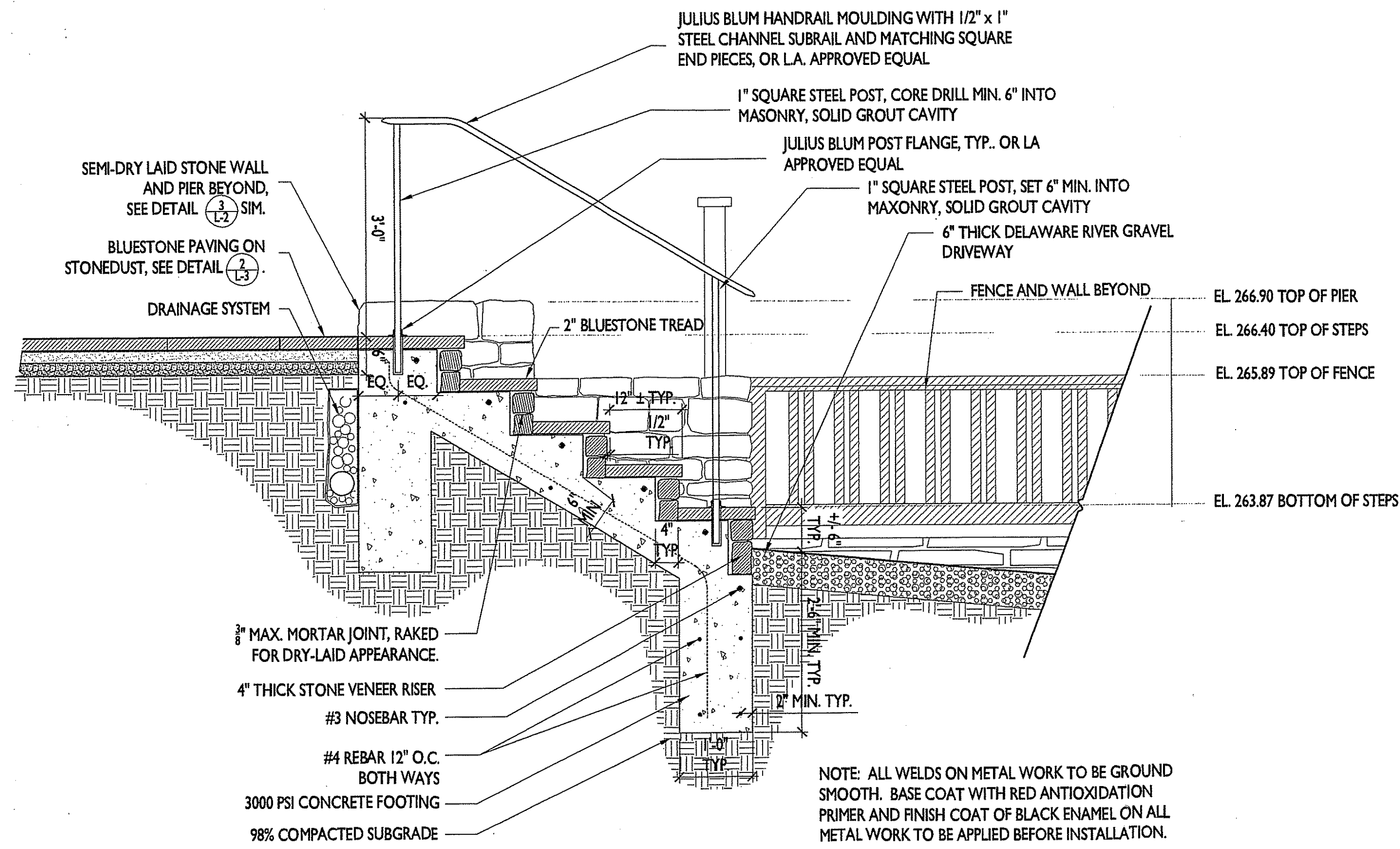
JORDAN HONEHAN
Landscape Architecture, LLC
711 Florida Avenue
Washington, DC 20001
202.896.0711
202.896.0713 FAX

Scale: As noted
Date: 09.15.06 PERMIT SET
Revisions:

Eisenbach Chazen Residence
7330 Piney Branch Road
Takoma Park, MD 20912

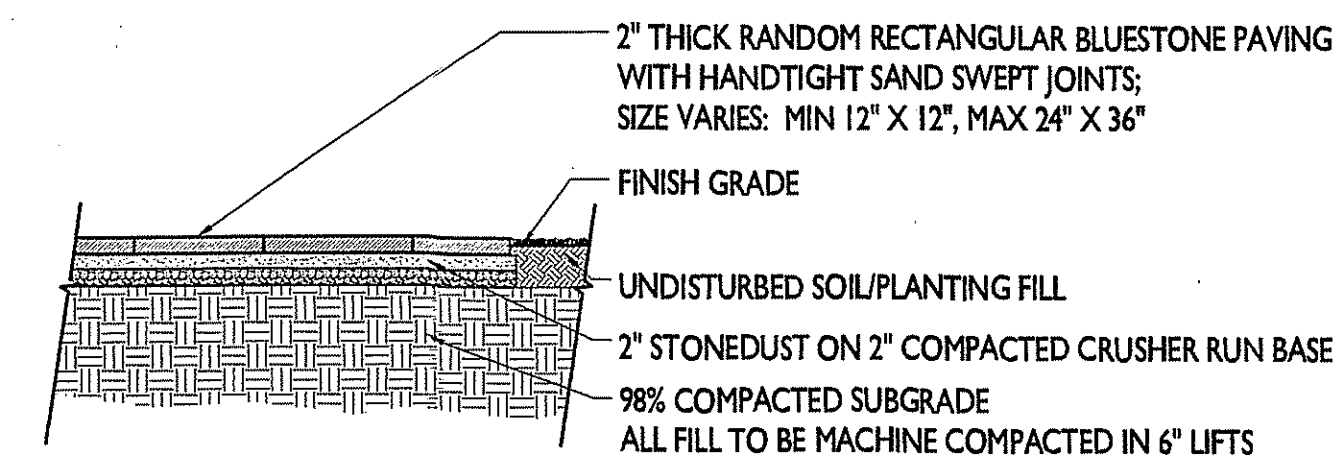
Details

L-2



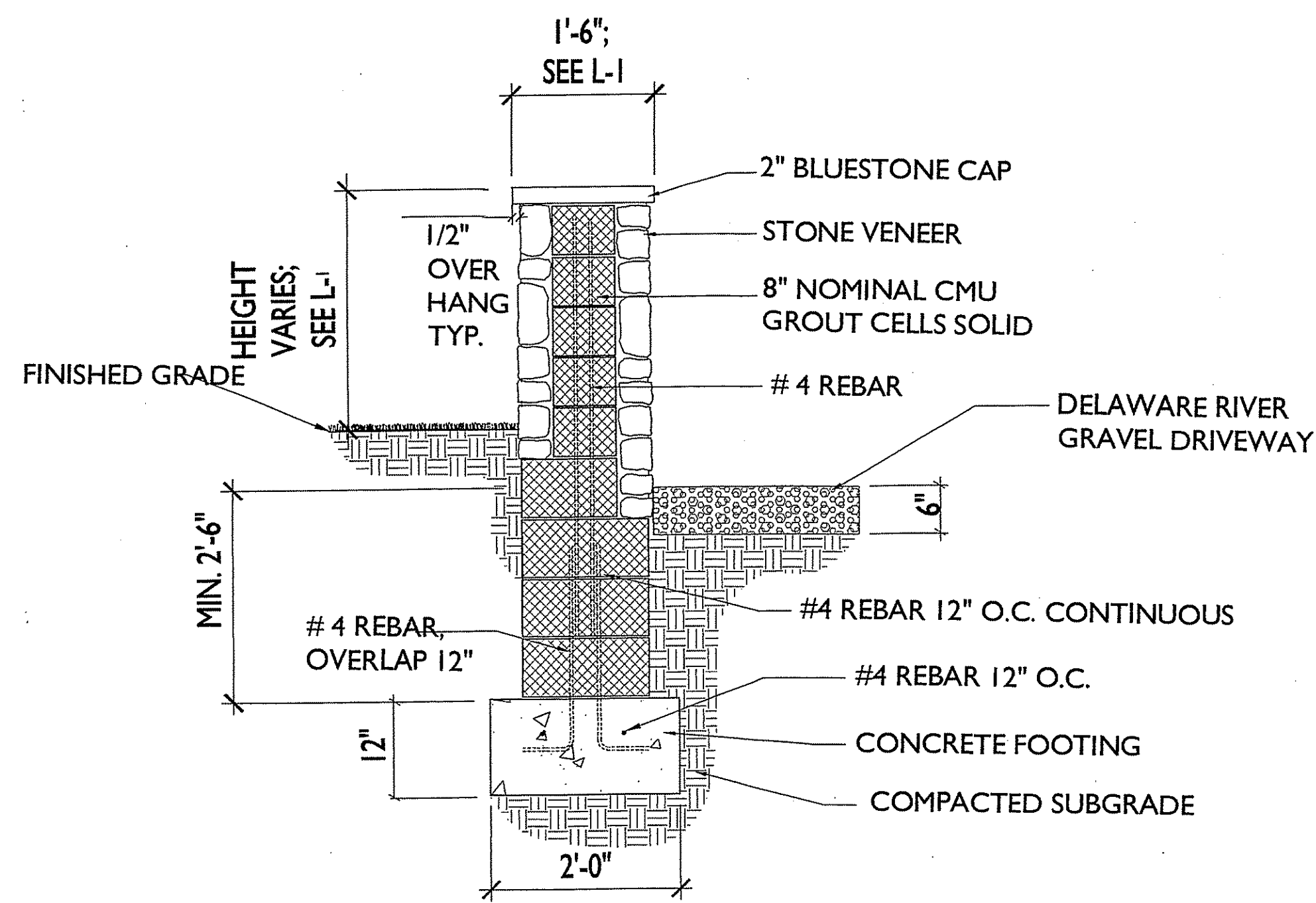
1 STONE STAIRS WITH BLUESTONE LANDING SECTION

SCALE: 3/4" = 1'-0"



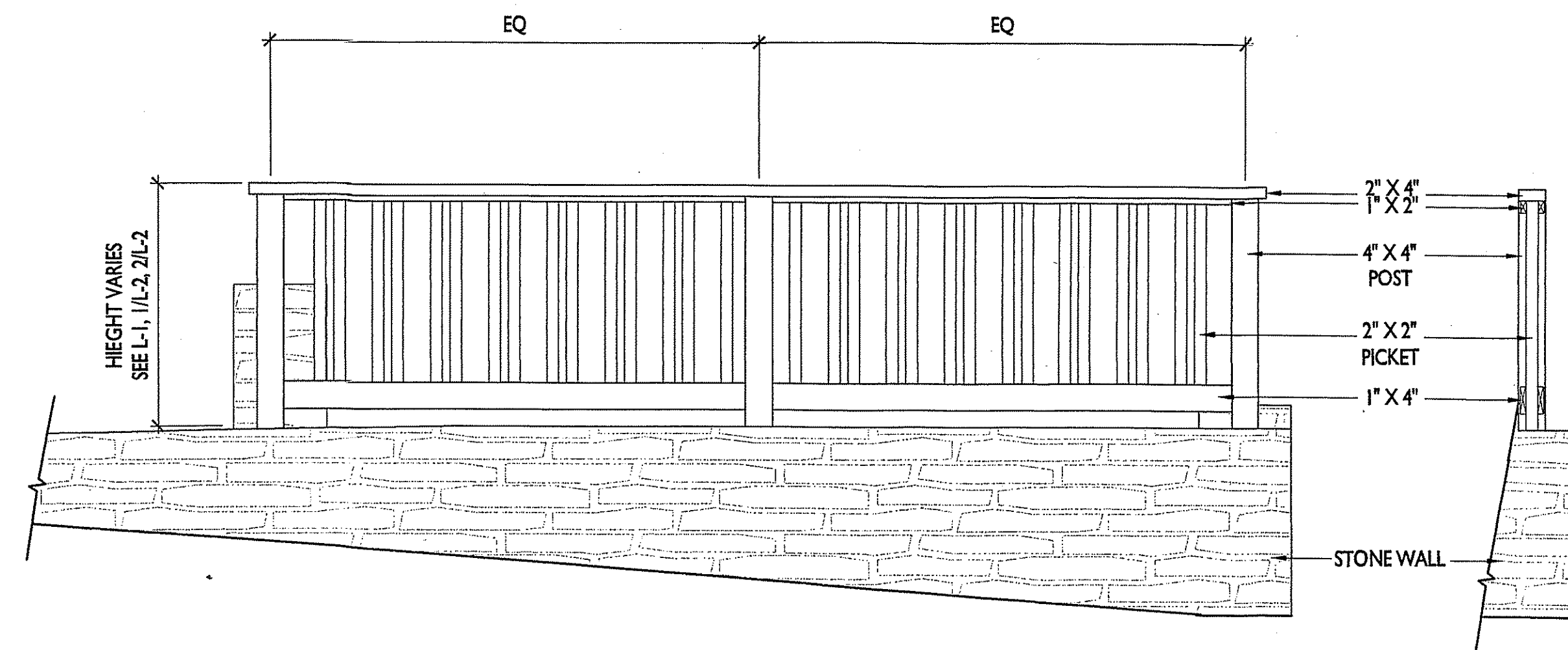
2 BLUESTONE PAVING ON STONEDUST SECTION

SCALE: 1/2" = 1'-0"



3 STONE PIER SECTION

SCALE: 3/4" = 1'-0"



4 TYPICAL FENCE DETAIL ELEVATION/SECTION

SCALE: 3/4" = 1'-0"



REVISED DRAWINGS.

III.A

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7330 Piney Branch Rd, Takoma Park **Meeting Date:** 9/13/2006
Resource: Contributing Resource **Report Date:** 9/6/2006
Takoma Park Historic District
Applicant: Ronit Eisebnach & Dan Chasen **Public Notice:** 8/30/2006
(Joan Honeyman, landscape architect)
Review: HAWP **Tax Credit:** N/A
Case Number: 37/03-06QQ **Staff:** Michele Oaks
PROPOSAL: Landscape alterations and fence/wall installation

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

- ✿ The fence/wall combination to be constructed forward of the rear plane of the house, will be lowered so that no part of the structure exceeds 4' in height.
- ✿ The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District
STYLE: Colonial Revival
DATE: c1920s

PROPOSAL:

The applicant proposes to:

1. Construct a 3' high chain link fence along the north (side) property line.
2. Install a 12' x 12' concrete patio in front of garage entrance located on the basement level of the north (side) elevation of the house.
3. Construct a series of stone retaining walls with wood fencing and piers in the front yard - varying in height from 2'9" to 6'5-1/2".
4. Install a gravel driveway measuring 20' wide x 17' deep; with an additional 10' x 10' gravel area beyond a proposed stonewall for storage.
5. Construct a 4' wide bluestone walkway on stone duct leading from ROW to front door.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Takoma Park Historic District Guidelines (Guidelines)*, the *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- some non-original building materials may be acceptable on a case-by-case basis;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open-space

Montgomery County Code; Chapter 24A

- The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district;
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter;

Secretary of the Interior's Standards for Rehabilitation:

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

It has been the Commission's policy to only approve fences and retaining walls, which are 4' in height or lower forward of the rear elevation of the house. Staff would note that the subject project is approvable if the wood, fencing is removed from the top of the retaining walls, and the stone pier is lowered in height. We encourage the applicant to work with staff to modify the proposal.

Staff supports the remaining elements of the proposal as the majority of the property is being retained as green space and the proposed materials visible from the public right-of way (gravel, stone) are sympathetic to the environmental setting of the historic district (the proposed concrete pad is being located down slope and will not be visible from the public right-of-way).

No trees 6" DBH or greater are proposed to be removed as part of this application.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
3500 PINEY BRANCH ROAD, TAKOMA PARK, MD 20912
202.986.5370

DPS - #8

M

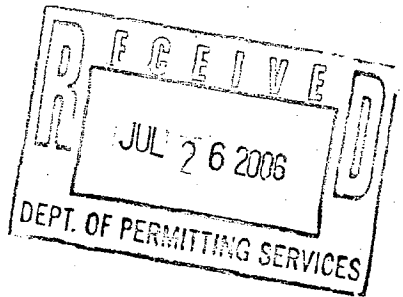
HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

428680
428680

Contact Person: Joan Honeyman
Daytime Phone No.: 202.986.0711

Tax Account No.: _____
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LOCATION OF BUILDING/PREMISE
House Number: 7330 Street: Piney Branch Road
Town/City: Takoma Park Nearest Cross Street: Eastern Avenue, NW
Lot: 16 Block: 11 Subdivision: Brushhears
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
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 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ _____
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PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

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3A. Height: 2'-9" - 4'-7" feet _____ inches → 2'-9" - 4'-7" wall / fence combined.
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Joan Honeyman Signature of owner or authorized agent 7.25.06 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Stucco bungalow, single family detached residence
facing a major roadway

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Providing privacy for the home owners from the roadway
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Part 7 - Addresses of Adjacent and Confronting Property Owners

See Attached Map

All addresses: TAKOMA PARK, MD 20912

	Map Label	Block	Lot	Owner	Address
Applicant:	Shaded	11	P16	CHAZAN, DANIEL I & RONIT Z EISENBACH	7330 PINEY BRANCH RD
Adjoining and Confronting Properties:	1	78	9A	GINSBERG, MARK R & ELAINE A ANDERSON	7325 BALTIMORE AVE
	2	78	10A	REED, STANELY J & JOCE R BRANDA	7327 BALTIMORE AVE
	3	78	10B	PERRY, HELEN F	7329 BALTIMORE AVE
	4	11	17	AMTRUP, JAN W & KARINE MEGERDOOMIAN	7332 PINEY BRANCH RD
	5	11	15	GHEZZI, PATRICE ET AL	7328 PINEY BRANCH RD
	6	12	38	BARTH, PATRICIA D	7333 PINEY BRANCH RD
	7	12	28	COX, HANSEL H & C P	7331 PINEY BRANCH RD
	8	12	P27	PEYREBRUNE, JOHN C & KRISTIN	7329 PINEY BRANCH RD

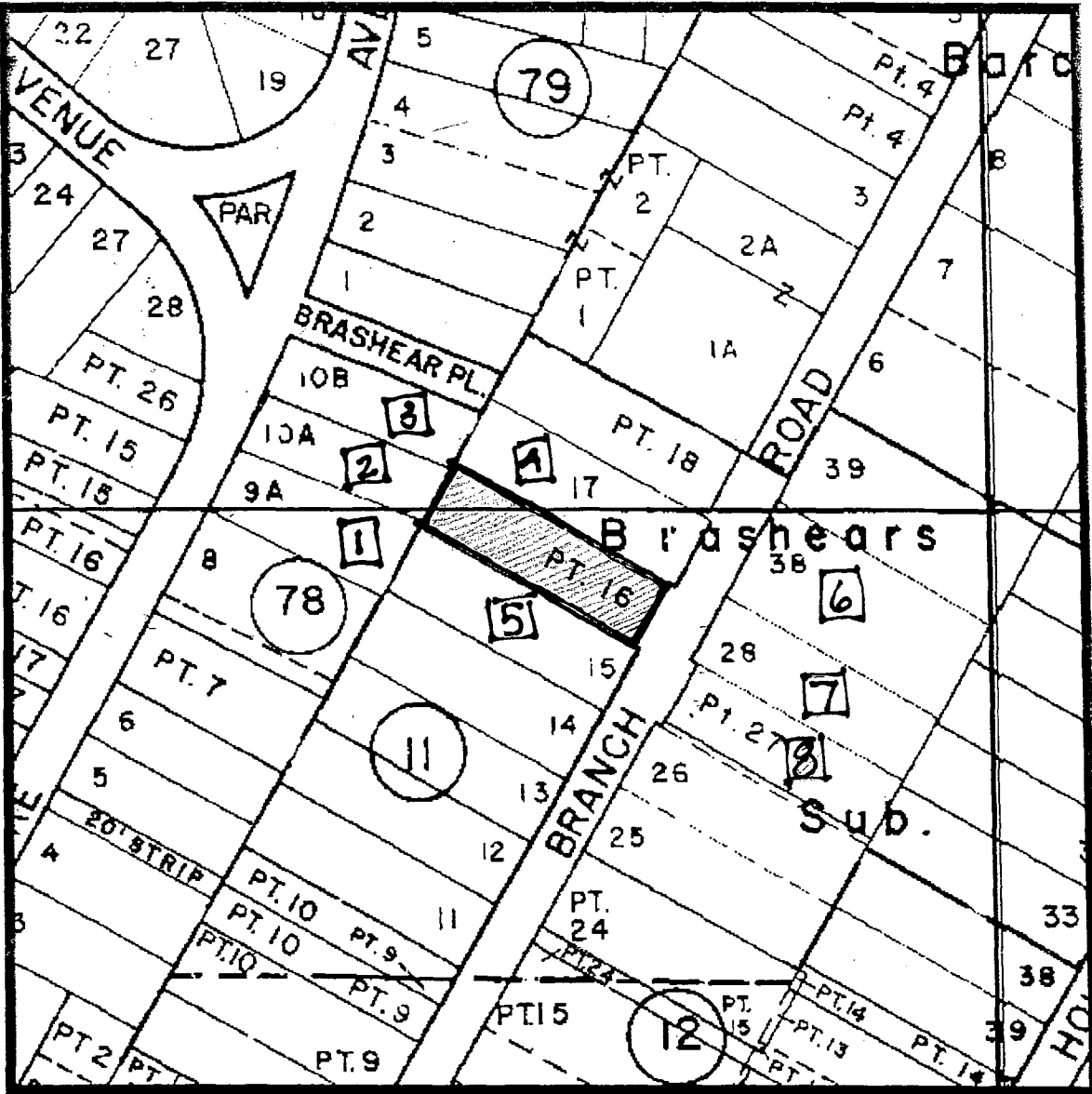
6



Maryland Department of Assessments and Taxation
MONTGOMERY COUNTY
Real Property Data Search

[Go Back](#)
[View Map](#)
[New Search](#)

District - 13 Account Number - 01076631

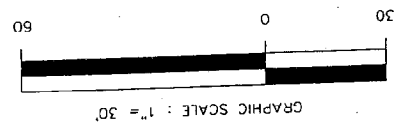


Property maps provided courtesy of the Maryland Department of Planning ©2004.
For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/webcom/index.html

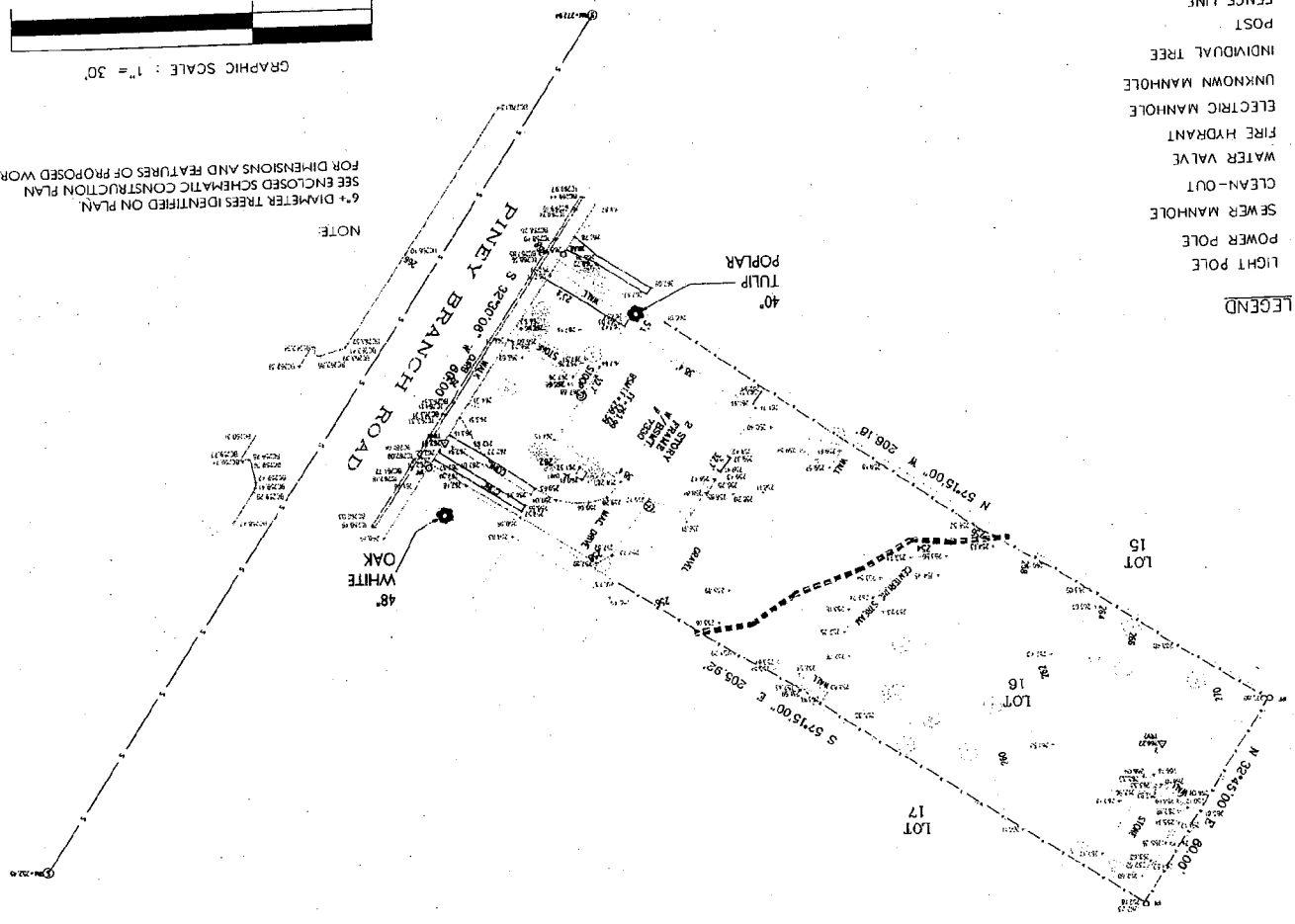


7

- LEGEND**
- LIGHT POLE
 - ⊙ POWER POLE
 - ⊗ SEWER MANHOLE
 - ⊙ CLEAN-OUT
 - WATER VALVE
 - FIRE HYDRANT
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - INDIVIDUAL TREE
 - POST
 - FENCE LINE
 - ⊙ VALVE
 - PROPERTY LINE
 - ▬▬▬▬ LIMIT OF WORK LINE



NOTE:
6+ DIAMETER TREES IDENTIFIED ON PLAN
SEE ENCLOSED SCHEMATIC CONSTRUCTION PLAN
FOR DIMENSIONS AND FEATURES OF PROPOSED WORK.



JOB NUMBER	2309967
DATE	01-11-05
DRAWN BY	K.S.
TOPOGRAPHIC SURVEY	
SHEET	

REVISIONS

PLANS PREPARED BY:
Real Estate Surveyors LLC
1417 POWERS HILL ROAD
MONTGOMERY COUNTY, MARYLAND 20902
TEL: (301) 311-5000 FAX: (301) 311-4555

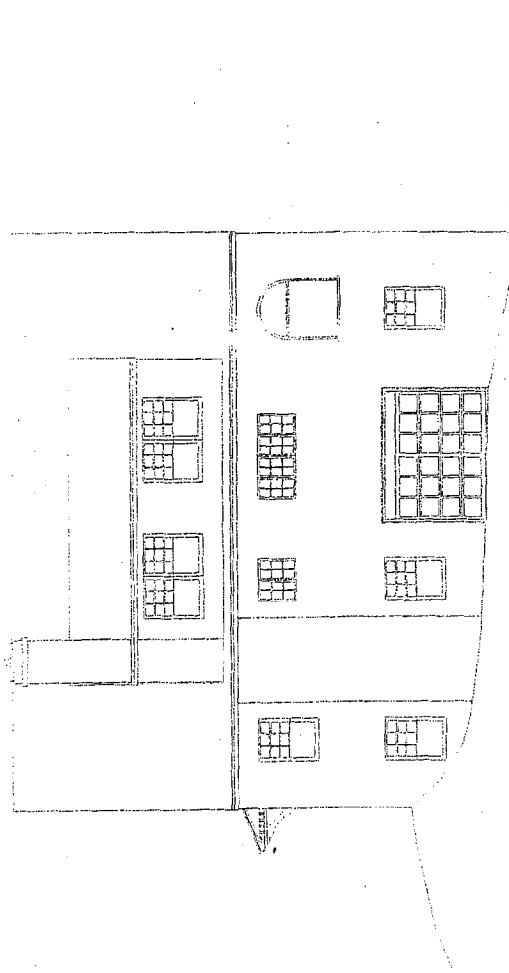
TOPOGRAPHIC SURVEY FOR:
PART OF LOT 16, BLOCK 11
BRASHEARS SUBDIVISION
PLAT BOOK # 2
13th ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

JORDAN HONEYMAN
 LANDSCAPE ARCHITECTURE, LLC
 711 BORDEN AVENUE, NW
 WASHINGTON, DC 20001
 202.598.0711
 202.598.0713 FAX

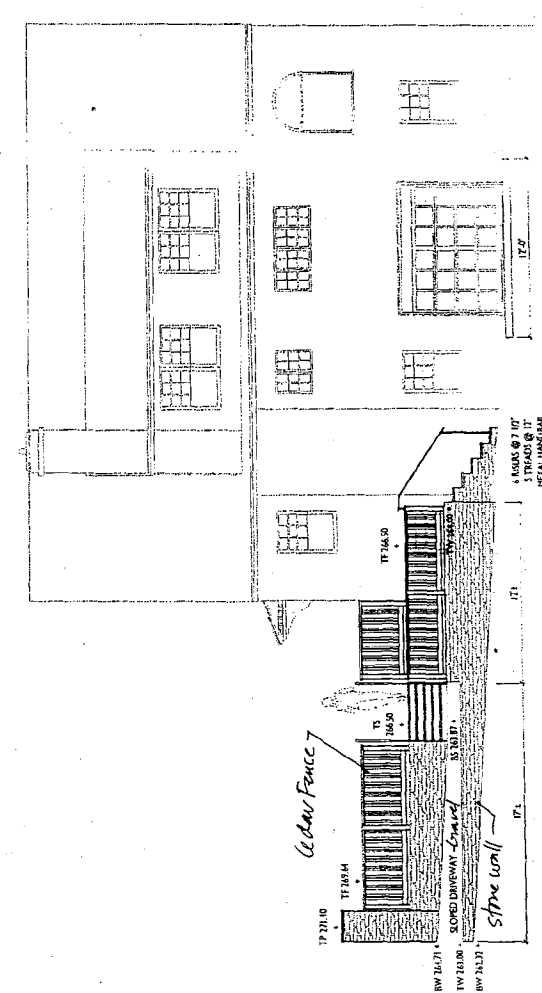
Scale: 1/8" = 1'-0"
 Date: 07.18.06
 Revisions:

Eisenbach Chazen
Residence
 7330 Piney Branch Road
 Takoma Park, MD 20912

Side Existing and
 Proposed
 Elevations



3 EXISTING RIGHT FACADE
 ELEVATION
 SCALE: 1/8" = 1'-0"



4 PROPOSED STONE WALL / FENCE / PATIO / STEPS / DRIVEWAY
 ELEVATION
 SCALE: 1/8" = 1'-0"



Eisenbach Chazen Residence
 7330 Piney Branch Road
 Takoma Park, MD 20912
 Front Garden - 04.10.2006

Jordan Honeyman Landscape Architecture
 1003 K Street NW, Suite 840
 Washington, DC 20001
 (202) 737-0451

Symbol	#	Botanical Name	Common Name	Size	Condition	Notes
AC	4	Amelanchier canadensis	Serviceberry	6-8"	B&B	full
IAF	3	Ilex attenuata 'Fosteri'	Foster Holly	6-8"	B&B	full
LIN	1	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	6-8"	B&B	multi-stemmed
TO	6	Thuja occidentalis 'Techny'	Eastern Arborvitae	6-8"	B&B	full
<hr/>						
Shrubs:						
RHG	5	Azalea 'Hardy Gardenia'	Hardy Gardenia Azalea	18"-24"	cont.	full
CAH	10	Clethra alnifolia 'Hummingbird'	Clethra	18"-24"	cont.	full, upright form
CS	5	Camellia sasanqua 'Daydream'	White w/ Rose Edge, Single Camellia	3-4'	cont.	full, upright form
HB	2	Hydrangea serrata 'Bluebird'	Lacecap Hydrangea	18"-24"	cont.	full
HQA	1	Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea	30"-36"	cont.	full
IV	3	Itea virginica 'Little Henry'	Little Henry Sweetspire	15"-18"	cont.	full
JN	2	Jasminum nudiflorum	Winter Jasmine	2 gal.	cont.	full
ND	7	Nandina domestica	Heavenly Bamboo	24"-36"	cont.	full
PJW	6	Fieris japonica 'Whitewater'	Japanese Andromeda	18"-24"	cont.	full
RL	1	Rhododendron x 'Lemon Lights'	Lemon Lights Azalea	24"-36"	cont.	full
TMC	6	Taxus x media 'Chadwick'	Chadwick Yew	24"-36"	cont.	full
<hr/>						
Perennials:						
DE	45	Dryopteris erythrosora	Autumn Fern	1 gal.	cont.	18" o.c.
DGN	6	Duezia gracilis 'Niko'	Niko Duezia	15"-18"	cont.	24" o.c.
EPM	12	Echinacea purpurea 'Magnus'	Purple Coneflower	1 qt.	cont.	18" o.c.
HJ	6	Hosta 'June'	Chartreuse with Blue Edge Plantain Lily	1 qt.	cont.	18" o.c.
HLG	21	Hemerocallis 'Little Grapette'	Daylily	1 qt.	cont.	18" o.c.
HM	48	Hakonechloa macra	Yellow and Green Variegated Hakone Grass	1 gal.	cont.	18" o.c.
HO	28	Helleborus orientalis	Lenten Rose	1 qt.	cont.	18" o.c.
HSF	5	Hosta sieboldiana 'Francis Williams'	Francis William Plantain Lily	1 qt.	cont.	18" o.c.
IS	8	Iris sibirica 'Caesar's Brother'	Dark Blue Siberian Iris	1 gal.	cont.	18" o.c.
IT	8	Iris tectorum	Evergreen Japanese Root Iris	1 qt.	cont.	18" o.c.
LMP	94	Liriope muscari 'Royal Purple'	Purple Lilyturf	4" pot	cont.	12" o.c.
MR	16	Mazus reptans	Mazus	1 qt.	cont.	in between stepping stones
PLR	2	Paeonia lactiflora 'Raspberry Sundae'	Yellow and Pink Double Peony	3 gal.	cont.	as shown

1. All plant material shall conform to the "American Standards for Nursery Stock", ANSI Z60.1-2004 by the American Nursery and Landscape Association.
2. All planting installation and soil preparation shall conform to the "Landscape Specification Guidelines for Baltimore Washington Metropolitan Area, 5th Edition, 2002, by the Landscape Contractors Association MD DC VA unless otherwise noted.
3. When a range of plant size is specified, the average size of those plants must be in the center of the range or larger. Exceptions to be approved by LA.
4. Contractor shall verify locations of all underground utilities within work areas and be responsible for their protection. Call MISS UTILITY (800/257-7777) before installation begins.
5. Planting plan provides general layout only. Specific planting layout shall be directed by LA.
6. All plant substitutions to be approved by LA.
7. Contractor responsible for transplanting existing material according to LCA Guidelines and maintaining transplanted material until job is 100% complete.
8. Plant quantities to be verified by Contractor from planting plan. Any discrepancies should be brought to the attention of the LA for verification.
9. Sod to be installed according to LCA specifications. Careful attention shall be paid to subgrade preparation and grading.

New locations on site as per LA

18" o.c.

cont.

1 gal.

Variegated Solomon's Seal

Polygonatum falcatum 'Variegatum'

16

PF

Transplants

AJ

4

Large Aucuba on side of house

3-5' tall

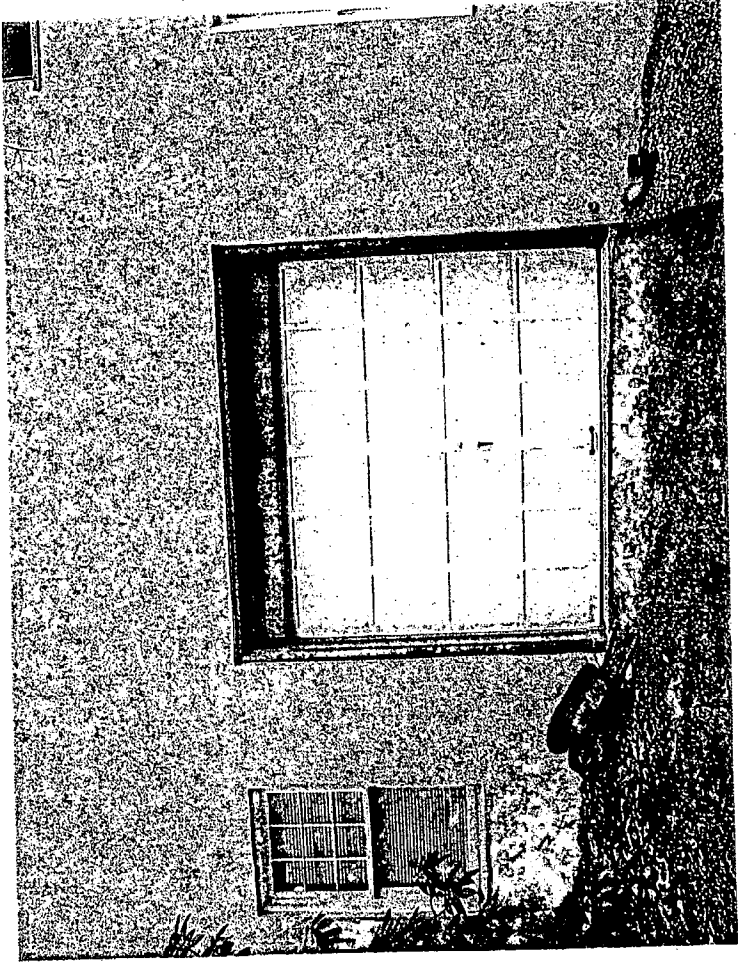
Planting Notes



Existing front façade of 7300 Piney Branch Road, Takoma Park, MD 20912



Existing right façade of 7330 Piney Branch Road, Takoma Park, MD 20912



Detail of garage on right side of house, 7330 Piney Branch Road, Takoma Park,
MD 20912

September 13, 2006

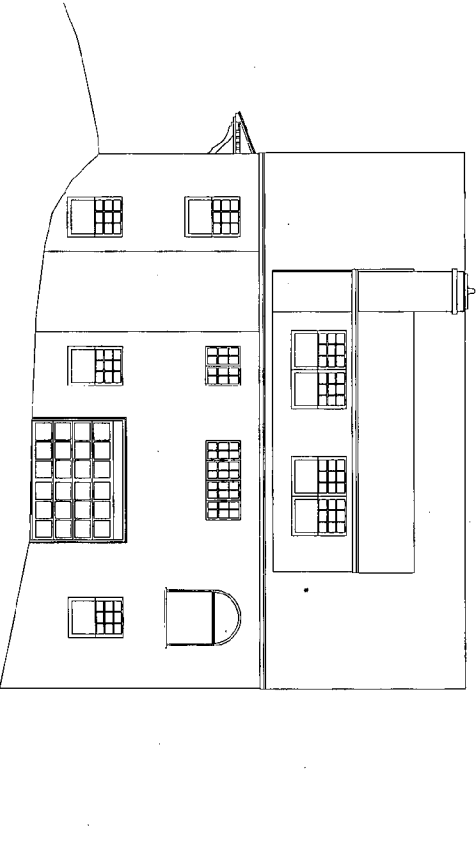
Case II-A
Eisenbach/Chasen Residence

The attached is the applicants revised submittal. Please utilize these plans for your review this evening.

The plans reflect the recommended changes per the staff report.

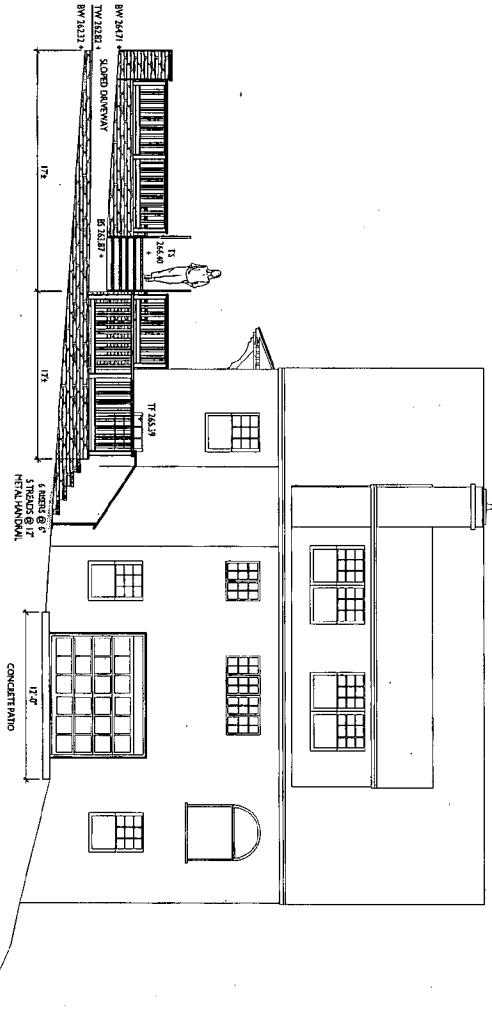
3 EXISTING RIGHT FACADE
ELEVATION

SCALE: 1/8" = 1'-0"



4 PROPOSED WALL/STEPS/PATIO/DRIVEWAY
ELEVATION

SCALE: 1/8" = 1'-0"



Side Existing and
Proposed
Elevations

**Eisenbach Chazen
Residence**

7330 Piney Branch Road
Takoma Park, MD 20912

Scale: 1/8" = 1'-0"
Date: 07.18.06
Revisions:



JORDAN
HONEYMAN
Landscape Architecture, LLC
711 Florida Avenue, NW
Washington, DC 20001
302.464.0711
202.788.8712 FAX



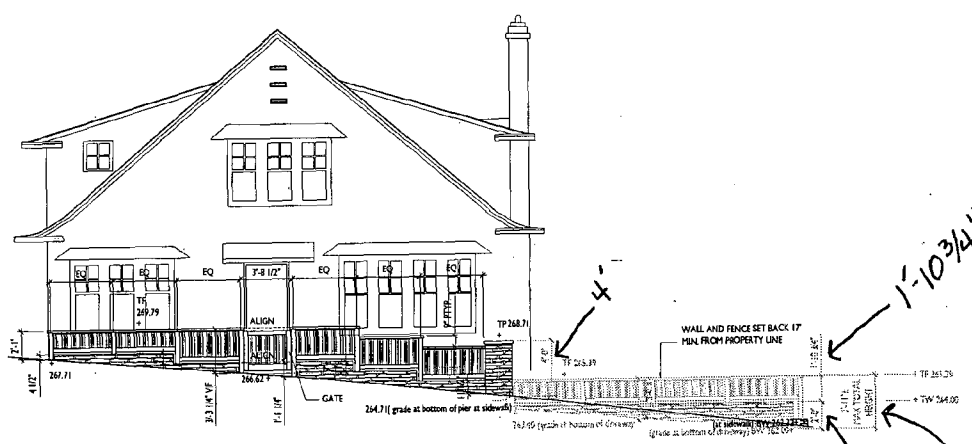
JORDAN HONEYMAN
Landscape Architecture, LLC
11100 Rockville Pike, Suite 100
Rockville, MD 20850
301.761.1144

Scale: As noted
Date: 07/18/06
Revisions: 07/12/06

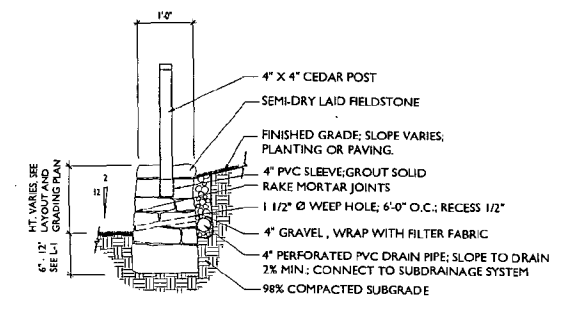
Eisenback Chazen Residence
7330 Piney Branch Road
Takoma Park, MD 20912

Details

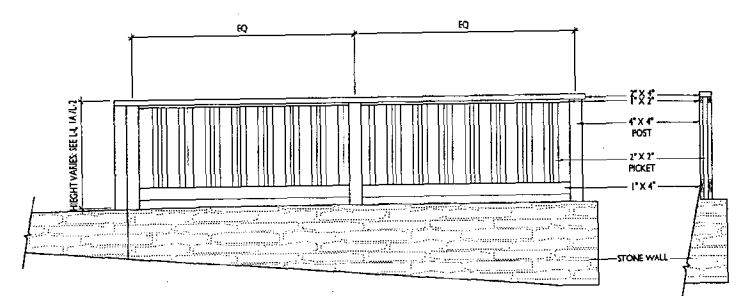
L-2



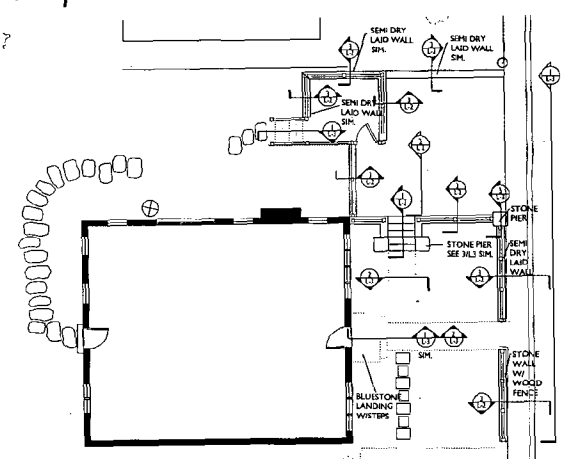
1 PROPOSED STONE WALL WITH FENCE ELEVATION SCALE 1/4" = 1'-0"



3 SEMI-DRY LAID STONE RETAINING WALL SECTION SCALE 3/4" = 1'-0"



2 FENCE DETAIL ELEVATION SECTION SCALE 3/4" = 1'-0"



4 DETAIL CALLOUTS PLAN SCALE 1/8" = 1'-0"

3'11" TOTAL MAX HEIGHT

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7330 Piney Branch Rd, Takoma Park	Meeting Date:	9/13/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	9/6/2006
Applicant:	Ronit Eisebnach & Dan Chasen (Joan Honeyman, landscape architect)	Public Notice:	8/30/2006
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-06QQ	Staff:	Michele Oaks
PROPOSAL:	Landscape alterations and fence/wall installation		

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

- The fence/wall combination to be constructed forward of the rear plane of the house, will be lowered so that no part of the structure exceeds 4' in height.
- The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District
STYLE: Colonial Revival
DATE: c1920s

PROPOSAL:

The applicant proposes to:

1. Construct a 3' high chain link fence along the north (side) property line.
2. Install a 12' x 12' concrete patio in front of garage entrance located on the basement level of the north (side) elevation of the house.
3. Construct a series of stone retaining walls with wood fencing and piers in the front yard - varying in height from 2'9" to 6'5-1/2".
4. Install a gravel driveway measuring 20' wide x 17' deep; with an additional 10' x 10' gravel area beyond a proposed stonewall for storage.
5. Construct a 4' wide bluestone walkway on stone duct leading from ROW to front door.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Takoma Park Historic District Guidelines (Guidelines)*, the *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- some non-original building materials may be acceptable on a case-by-case basis;
- all changes and additions should respect existing environmental settings, landscaping, and patterns of open-space

Montgomery County Code; Chapter 24A

- The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district;
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

It has been the Commission's policy to only approve fences and retaining walls, which are 4' in height or lower forward of the rear elevation of the house. Staff would note that the subject project is approvable if the wood, fencing is removed from the top of the retaining walls, and the stone pier is lowered in height. We encourage the applicant to work with staff to modify the proposal.

Staff supports the remaining elements of the proposal as the majority of the property is being retained as green space and the proposed materials visible from the public right-of way (gravel, stone) are sympathetic to the environmental setting of the historic district (the proposed concrete pad is being located down slope and will not be visible from the public right-of-way).

No trees 6" DBH or greater are proposed to be removed as part of this application.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR, ROCKVILLE, MD 20850
240/777-5370

DPS - #8

HISTORIC PRESERVATION COMMISSION

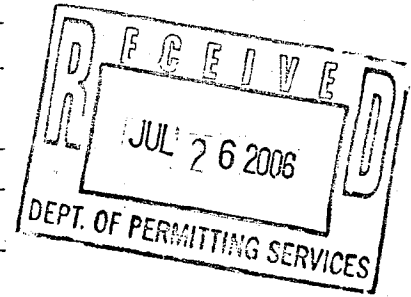
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

428680
428680

Contact Person: Joan Honeyman
Daytime Phone No.: 202.986.0711

Tax Account No.: _____
Name of Property Owner: Ronit Eisebach / Dan Chazen Daytime Phone No.: 301.920.1975
Address: 7330 Piney Branch Road, Takoma Park, MD 20912
Street Number City Street Zip Code
Contractor: JMC Masonry / Jose Carlota Phone No.: 301.990.9872
Contractor Registration No.: 25883
Agent for Owner: Joan Honeyman / Jordan Honeyman LA. Daytime Phone No.: 202.986.0711



LOCATION OF BUILDING/PREMISE
House Number: 7330 Street: Piney Branch Road
Town/City: Takoma Park Nearest Cross Street: Eastern Avenue, NW
Lot: 16 Block: 11 Subdivision: Brashears
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|---|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |
- 1B. Construction cost estimate: \$ _____
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Wet 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 2'-9" - 4'-7" feet inches → 2'-9" - 4'-7" wall / fence combined.
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joan Honeyman Signature of owner or authorized agent Date: 7.25.06

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Stucco bungalow, single family detached residence.
facing a major roadway

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Providing privacy for the home owners from the roadway
through the addition of walls and fencing. Enhancing
the facade of the home and improving the driveway
parking area
see attached document regarding site improvements
to front + side yard

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5


Part 7 - Addresses of Adjacent and Confronting Property Owners

See Attached Map

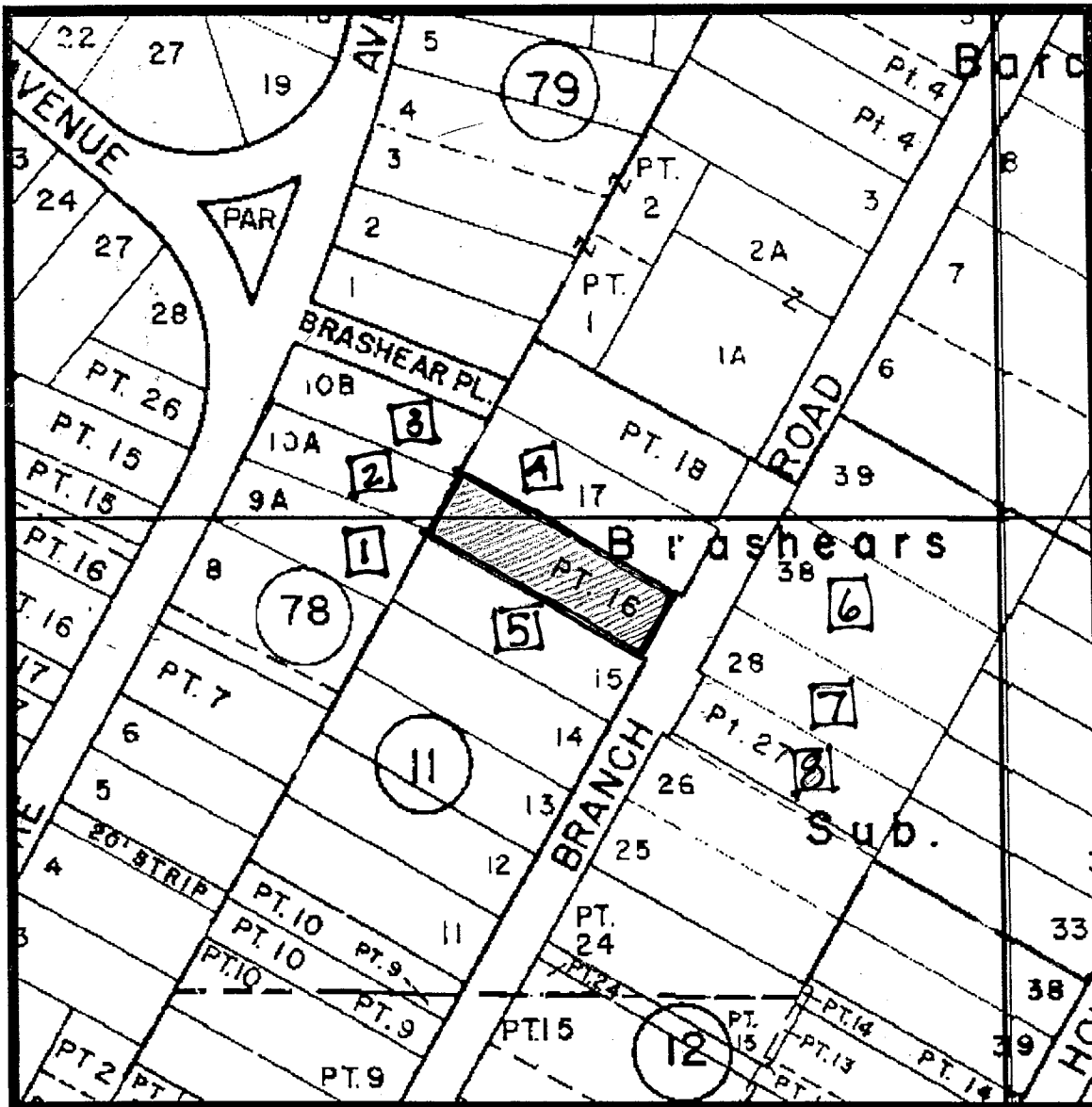
All addresses: TAKOMA PARK, MD 20912

	Map Label	Block	Lot	Owner	Address
Applicant:	Shaded	11	P16	CHAZAN, DANIEL I & RONIT Z EISENBACH	7330 PINEY BRANCH RD
Adjoining and Confronting Properties:	1	78	9A	GINSBERG, MARK R & ELAINE A ANDERSON	7325 BALTIMORE AVE
	2	78	10A	REED, STANELY J & JOCE R BRANDA	7327 BALTIMORE AVE
	3	78	10B	PERRY, HELEN F	7329 BALTIMORE AVE
	4	11	17	AMTRUP, JAN W & KARINE MEGERDOOMIAN	7332 PINEY BRANCH RD
	5	11	15	GHEZZI, PATRICE ET AL	7328 PINEY BRANCH RD
	6	12	38	BARTH, PATRICIA D	7333 PINEY BRANCH RD
	7	12	28	COX, HANSEL H & C P	7331 PINEY BRANCH RD
	8	12	P27	PEYREBRUNE, JOHN C & KRISTIN	7329 PINEY BRANCH RD

6

	Maryland Department of Assessments and Taxation	Go Back
	MONTGOMERY COUNTY	View Map
	Real Property Data Search	New Search

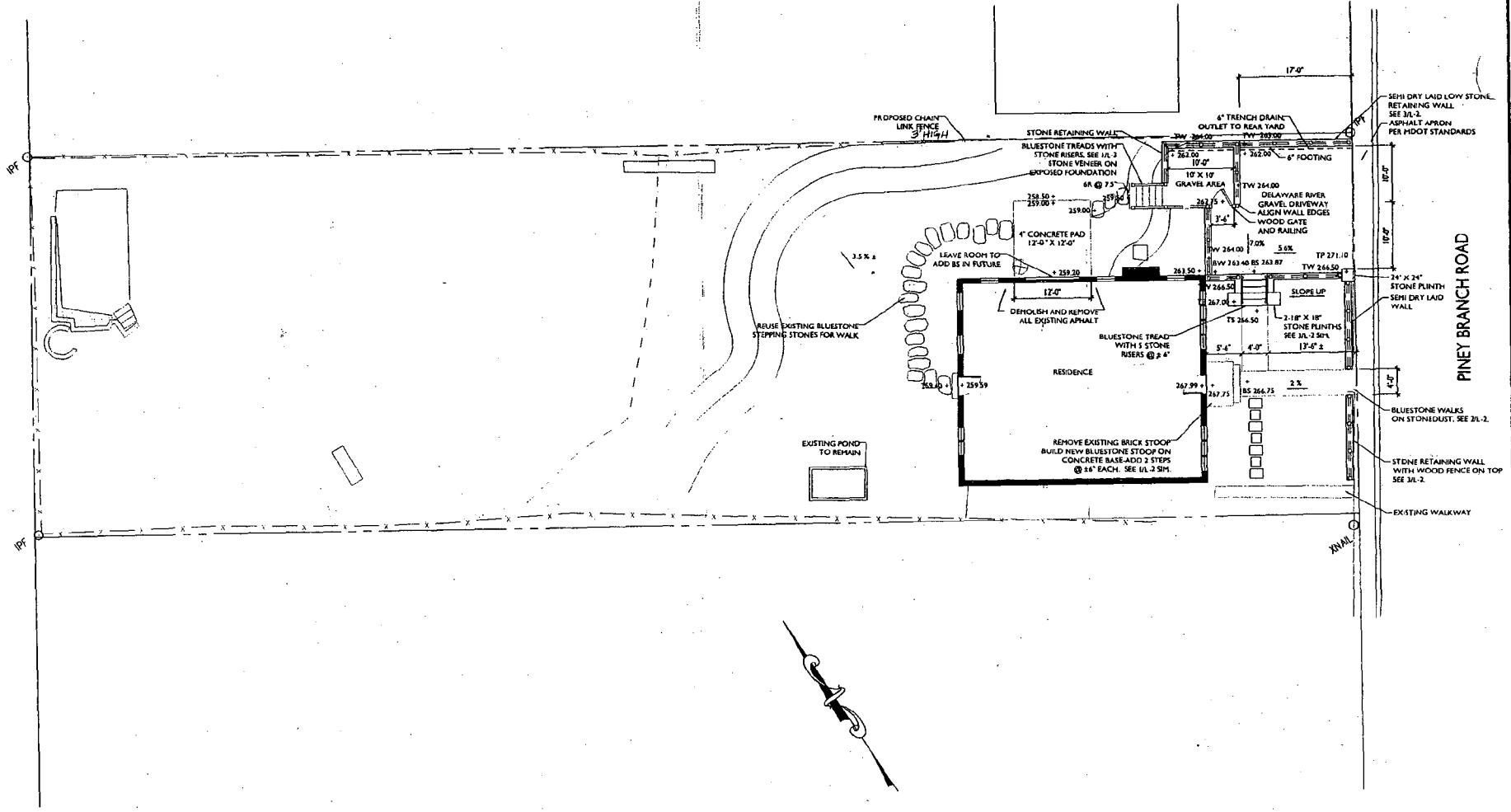
District - 13 Account Number - 01076631



Property maps provided courtesy of the Maryland Department of Planning ©2004.
For more information on electronic mapping applications, visit the Maryland Department of Planning web site at www.mdp.state.md.us/webcom/index.html

7

9



Scale: 1/8" = 1'-0"
 Date: 04.10.06
 Revisions:

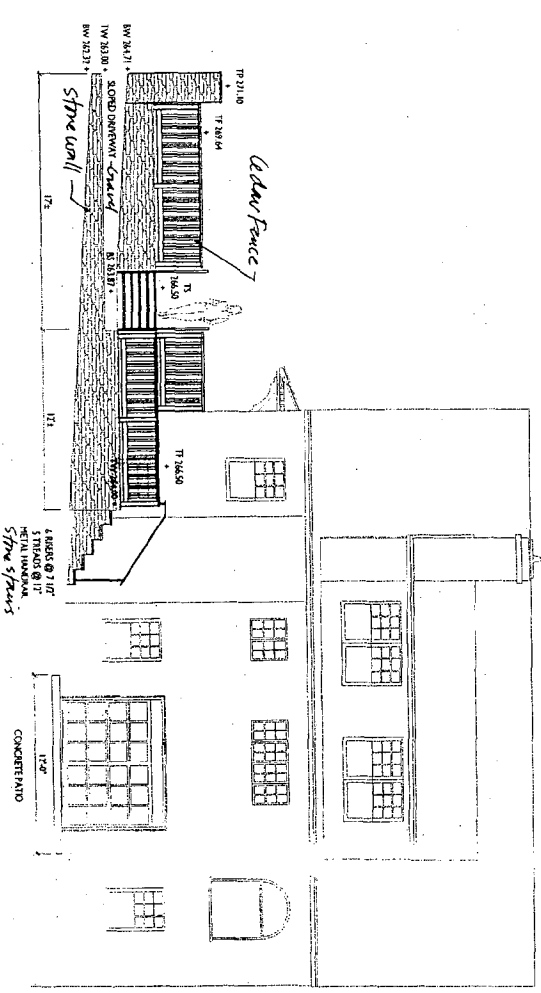
Eisenbach Chazen Residence
 7330 Piney Branch Road

Layout &
 Construction

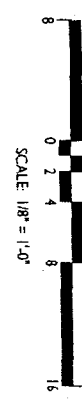


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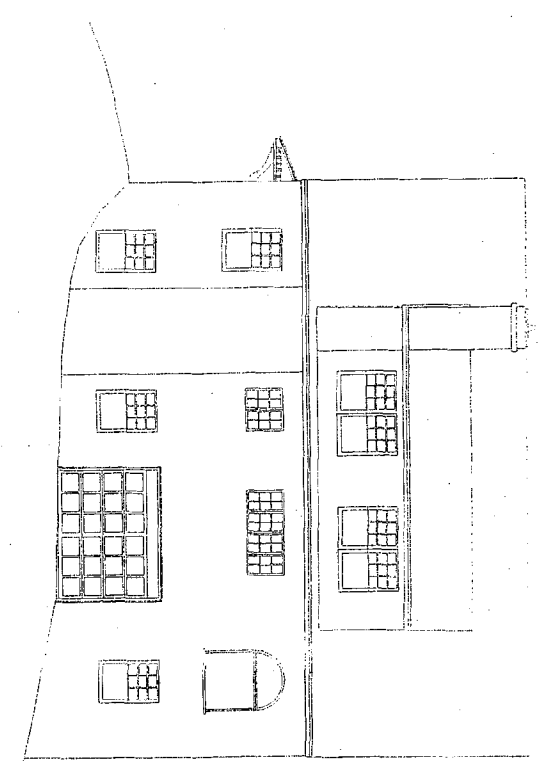
4 PROPOSED STONE WALL / FENCE PATIO STEPS DRIVEWAY ELEVATION



SCALE: 1/8" = 1'-0"



3 EXISTING RIGHT FACADE ELEVATION



SCALE: 1/8" = 1'-0"

Side Existing and Proposed Elevations

Eisenbach Chazen Residence
 7330 Piney Branch Road
 Takoma Park, MD 20912

Scale: 1/8" = 1'-0"
Date: 07.18.06
Revisions:



JORDAN HONEYMAN
 Landscape Architecture, LLC
 711 Florida Avenue, NW
 Washington, DC 20001
 202.986.0711
 202.986.0712 FAX

Eisenbach Chazen Residence

7330 Piney Branch Road
Takoma Park, MD 20912

Front Garden - 04.10.2006

Jordan Honeyman Landscape Architecture

1003 K Street NW, Suite 840

Washington, DC 20001

(202) 737-0451

Symbol	#	Botanical Name	Common Name	Size	Condition	Notes
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HQA	1	Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea	30"-36"	cont.	full
IV	3	Itea virginica 'Little Henry'	Little Henry Sweetspire	15"-18"	cont.	full
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PJW	6	Pieris japonica 'Whitewater'	Japanese Andromeda	18"-24"	cont.	full
RL	1	Rhododendron x 'Lemon Lights'	Lemon Lights Azalea	24"-36"	cont.	full
TMC	6	Taxus x media 'Chadwick'	Chadwick Yew	24"-36"	cont.	full
<u>Perennials:</u>						
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DGN	6	Duetzia gracilis 'Nikko'	Nikko Duetzia	15"-18"	cont.	24" o.c.
EPM	12	Echinacea purpurea 'Magnus'	Purple Coneflower	1 qt.	cont.	18" o.c.
HJ	6	Hosta 'June'	Chartreuse with Blue Edge Plantain Lily	1 qt.	cont.	18" o.c.
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HSF	5	Hosta sieboldiana 'Francis Williams'	Francis William Plantain Lily	1 qt.	cont.	18" o.c.
IS	8	Iris sibirica 'Caesar's Brother'	Dark Blue Siberian Iris	1 gal.	cont.	18" o.c.
IT	8	Iris tectorum	Evergreen Japanese Root Iris	1 qt.	cont.	18" o.c.
LMP	94	Liriope muscari 'Royal Purple'	Purple Lilyturf	4" pot	cont.	12" o.c.
MR	16	Mazus reptans	Mazus	1 qt.	cont.	in between stepping stones
PLR	2	Paconia lactiflora 'Raspberry Sundae'	Yellow and Pink Double Peony	3 gal.	cont.	as shown

13

PF	16	Polygonatum falcatum 'Variegatum'	Variegated Solomon's Seal	1 gal.	cont.	18" o.c.
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Transplants

AJ	4	Large Aucuba on side of house		3-5' tall		New locations on site as per LA
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Planting Notes

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Existing front façade of 7300 Piney Branch Road, Takoma Park, MD 20912



Existing right façade of 7330 Piney Branch Road, Takoma Park, MD 20912



Existing front façade of 7300 Piney Branch Road, Takoma Park, MD 20912



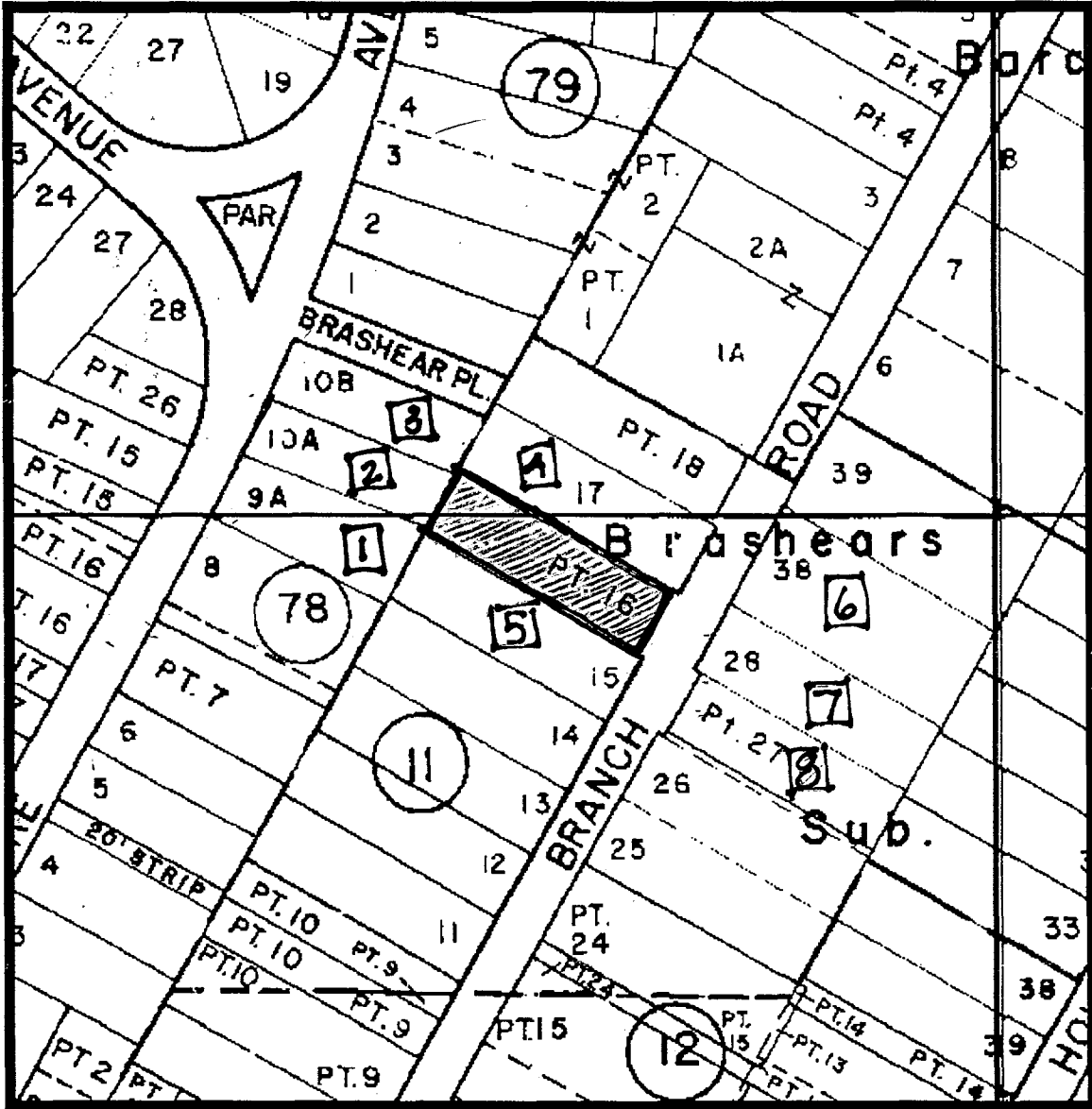
Existing right façade of 7330 Piney Branch Road, Takoma Park, MD 20912



Detail of garage on right side of house, 7330 Piney Branch Road, Takoma Park, MD 20912

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District - 13 Account Number - 01076631



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Order the **TAX**
MAP
click here...

Part 7 - Addresses of Adjacent and Confronting Property Owners

See Attached Map

All addresses: TAKOMA PARK, MD 20912

	Map Label	Block	Lot	Owner	Address
Applicant:	Shaded	11	P16	CHAZAN, DANIEL I & RONIT Z EISENBACH	7330 PINEY BRANCH RD
Adjoining and	1	78	9A	GINSBERG, MARK R & ELAINE A ANDERSON	7325 BALTIMORE AVE
Confronting Properties:	2	78	10A	REED, STANELY J & JOCE R BRANDA	7327 BALTIMORE AVE
	3	78	10B	PERRY, HELEN F	7329 BALTIMORE AVE
	4	11	17	AMTRUP, JAN W & KARINE MEGERDOOMIAN	7332 PINEY BRANCH RD
	5	11	15	GHEZZI, PATRICE ET AL	7328 PINEY BRANCH RD
	6	12	38	BARTH, PATRICIA D	7333 PINEY BRANCH RD
	7	12	28	COX, HANSEL H & C P	7331 PINEY BRANCH RD
	8	12	P27	PEYREBRUNE, JOHN C & KRISTIN	7329 PINEY BRANCH RD

Eisenbach Chazen Residence
 7330 Piney Branch Road
 Takoma Park, MD 20912
 Front Garden - 04.10.2006

Jordan Honeyman Landscape Architecture
 1003 K Street NW, Suite 840
 Washington, DC 20001
 (202) 737-0451

Symbol	#	Botanical Name	Common Name	Size	Condition	Notes
Trees:						
AC	4	Amelanchier canadensis	Serviceberry	6-8'	B&B	full
IAF	3	Ilex attenuata 'Fosteri'	Foster Holly	6-8'	B&B	full
LIN	1	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	6-8'	B&B	multi-stemmed
TO	6	Thuja occidentalis 'Techny'	Eastern Arborvitae	6-8'	B&B	full
Shrubs:						
RHG	5	Azalea 'Hardy Gardenia'	Hardy Gardenia Azalea	18"-24"	cont.	full
CAH	10	Clethra alnifolia 'Hummingbird'	Clethra	18"-24"	cont.	
CS	5	Camellia sasanqua 'Daydream'	White w/ Rose Edge, Single Camellia	3-4'	cont.	full, upright form
HB	2	Hydrangea serrata 'Bluebird'	Lacecap Hydrangea	18"-24"	cont.	full
HQA	1	Hydrangea quercifolia 'Alice'	Oakleaf Hydrangea	30"-36"	cont.	full
IV	3	Itea virginica 'Little Henry'	Little Henry Sweetpire	15"-18"	cont.	full
JN	2	Jasminum nudiflorum	Winter Jasmine	2 gal.	cont.	full
ND	7	Nandina domestica	Heavenly Bamboo	24"-36"	cont.	full
PJW	6	Pieris japonica 'Whitewater'	Japanese Andromeda	18"-24"	cont.	full
RL	1	Rhododendron x 'Lemon Lights'	Lemon Lights Azalea	24"-36"	cont.	full
TMC	6	Taxus x media 'Chadwick'	Chadwick Yew	24"-36"	cont.	full
Perennials:						
DE	45	Dryopteris erythrosora	Autumn Fern	1 gal.	cont.	18" o.c.
DGN	6	Duetzia gracilis 'Nikko'	Nikko Duetzia	15"-18"	cont.	24" o.c.
EPM	12	Echinacea purpurea 'Magnus'	Purple Coneflower	1 qt.	cont.	18" o.c.
HJ	6	Hosta 'June'	Chartreuse with Blue Edge Plantain Lily	1 qt.	cont.	18" o.c.
HLG	21	Hemerocallis 'Little Grapette'	Daylilly	1 qt.	cont.	18" o.c.
HM	48	Hakonechloa macra	Yellow and Green Variegated Hakone Grass	1 gal.	cont.	18" o.c.
HO	28	Helleborus orientalis	Lenten Rose	1 qt.	cont.	18" o.c.
HSF	5	Hosta sieboldiana 'Francis Williams'	Francis William Plantain Lily	1 qt.	cont.	18" o.c.
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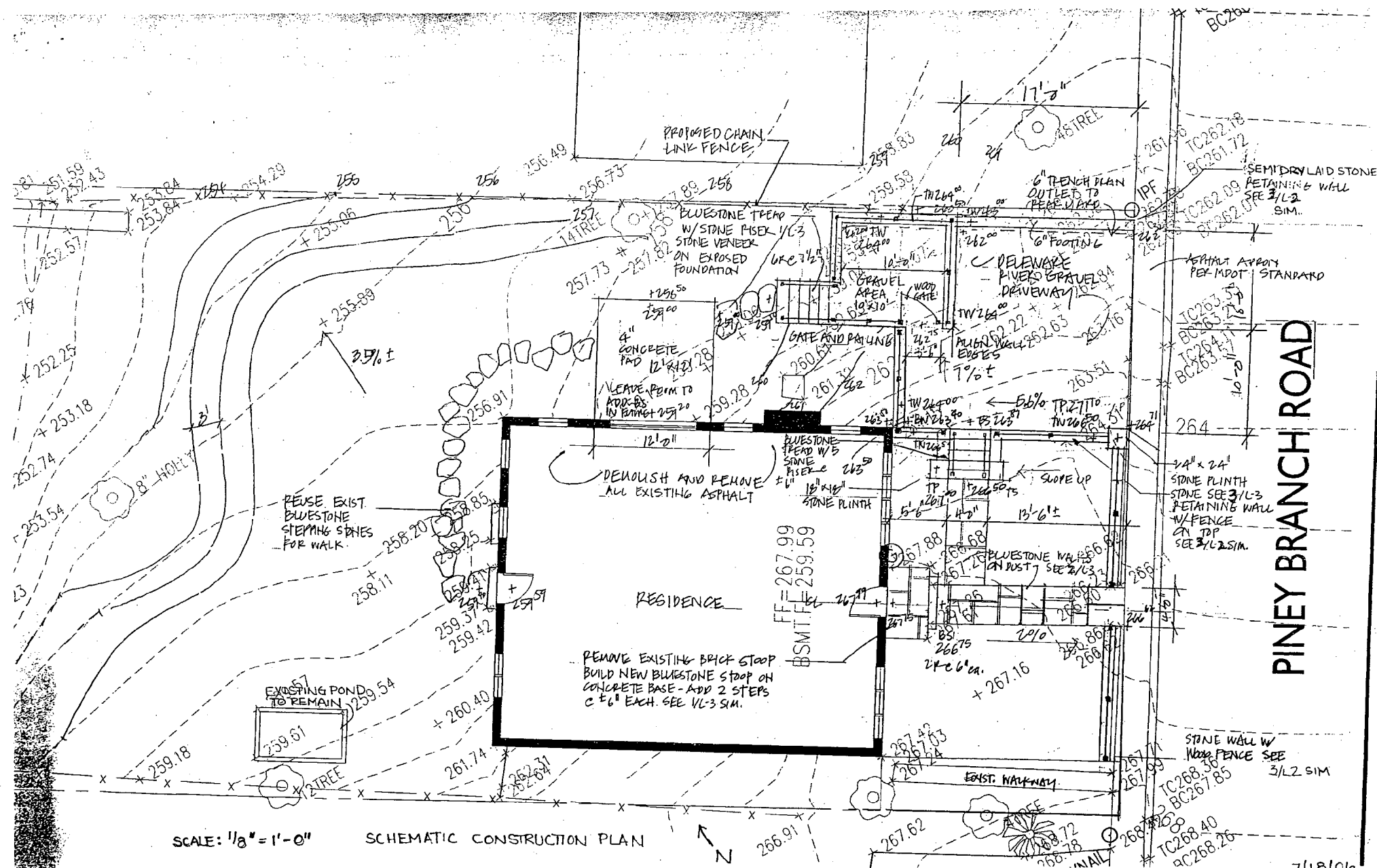
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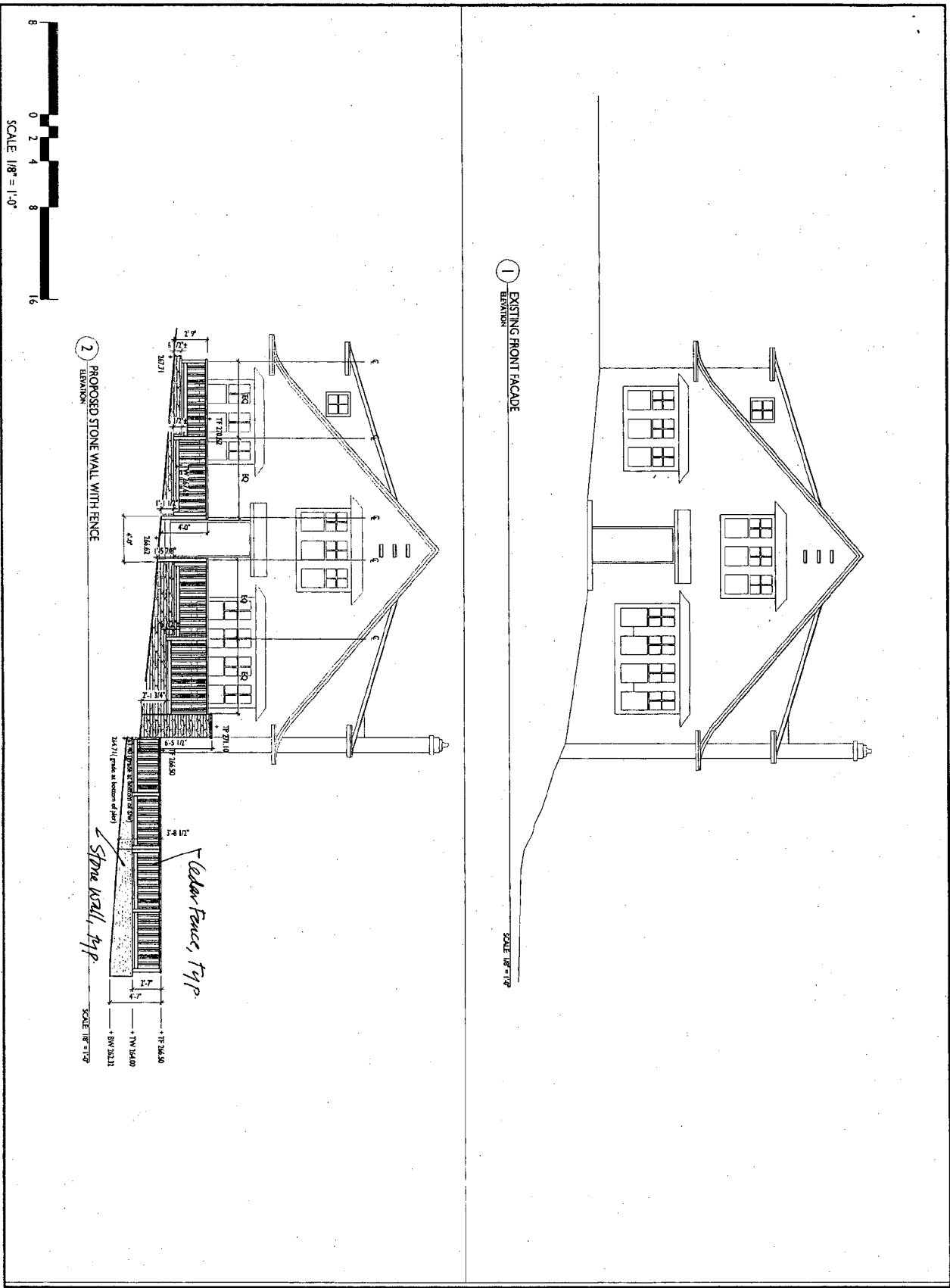
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Front
Existing and
Proposed
Elevations

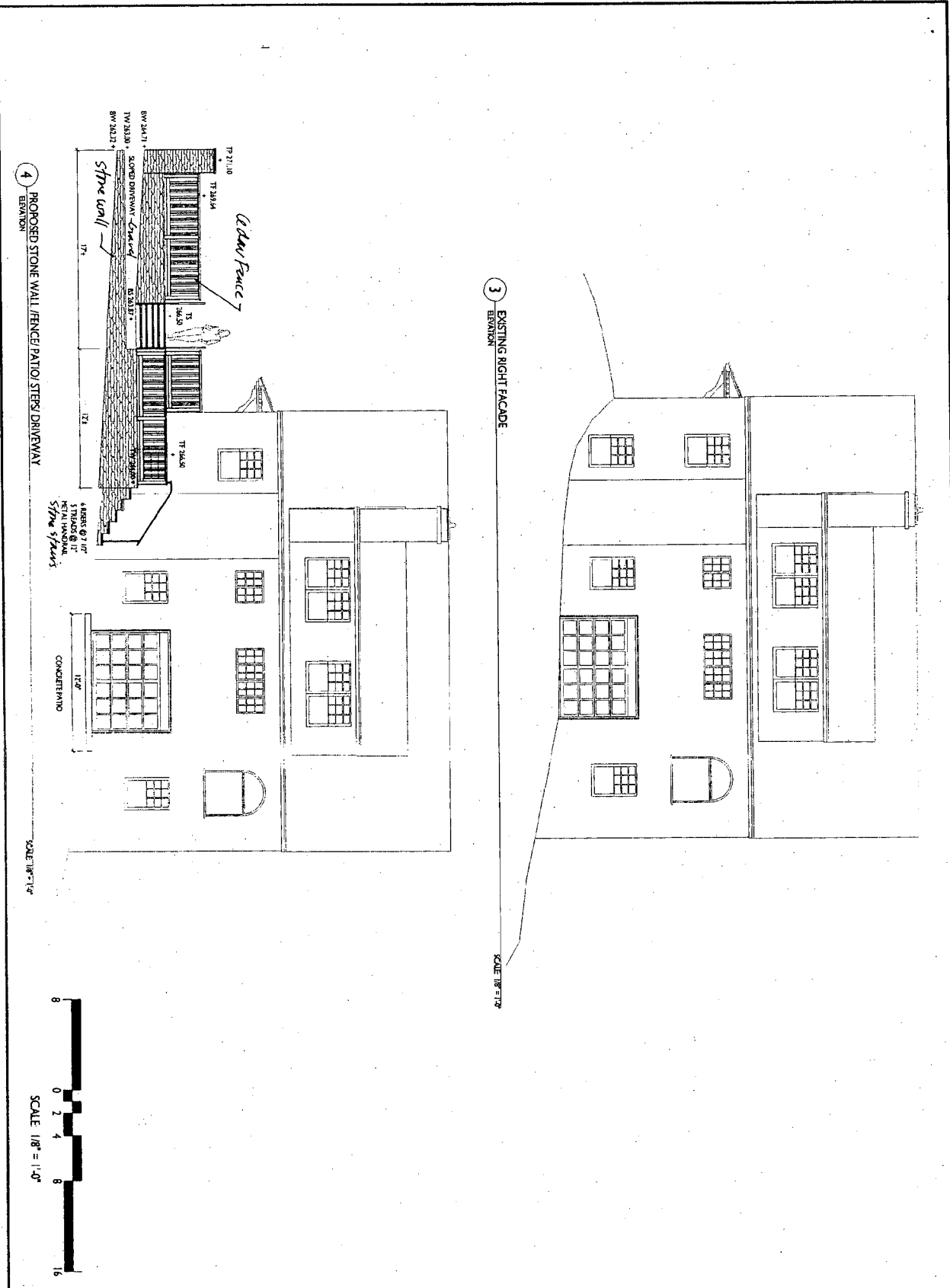
Eisenbach Chazen Residence

7330 Piney Branch Road
Takoma Park, MD 20912

Scale: 1/8" = 1'-0"
Date: 07.18.06
Revisions:



JORDAN
HONEYMAN
Landscape Architecture, LLC
711 Florida Avenue, NW
Washington, DC 20001
202.986.0711
202.986.0712 FAX

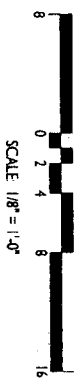


4 PROPOSED STONE WALL/FENCE/PATIO/STEPS/DRIVEWAY
ELEVATION

3 EXISTING RIGHT FACADE
ELEVATION

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



Side Existing and
Proposed
Elevations

Eisenbach Chazen Residence

7330 Piney Branch Road
Takoma Park, MD 20912

Scale: 1/8" = 1'-0"
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