


7700 Takoma Avenue, TP
HPC Case No. 37103-08NN
Takoma Park Historic District

Pendaflex
Esselte

4350 1/3 RED 10%  P4

2 Dec - left message for Sally Trucks



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 18 December, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Rachel Kennedy, Senior Planner *rk*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #500370, Remove nonhistoric wood shingle roof and replace with architectural asphalt shingles.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the December 17, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sally Brucker
Address: 7700 Takoma Avenue, Takoma Park. Takoma Park Historic District.

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or rachel.kennedy@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240 777 6270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: SALLY BRUCKER
Daytime Phone No.: 301 565 6904

Tax Account No.: 337 38 1657

Name of Property Owner: SALLY BRUCKER Daytime Phone No.: 11

Address: 7700 TAKOMA AVE and TAKOMA PARK MD 20912
Street Number City Street Zip Code

Contractor: MIKE WIDENER Phone No.: 301 352 7222

Contractor Registration No.: MHC 65386

Agent for Owner: Self Daytime Phone No.: 301 213 2334

LOCATION OF BUILDING/PREMISE

House Number: 7700 Street: TAKOMA AVE

Town/City: TAKOMA PARK Nearest Cross Street: NEW YORK AVE

Lot: 1 Block: 69 Subdivision: PTPL + TCO'S OF TAKOMA PARK

attached

Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|---|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>Roof</u> | | | |

1B. Construction cost estimate: \$ 12,200

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 10/23/08

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 500370 Date Filed: 11/17/08 Date Issued: _____

(6)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 single family Queen Anne Victorian

wood porch of historic porch (25 years old)

porch to be replaced

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

1/2" scale architectural drawing approximated historic
section plan under construction - 30 year landmark
Architectural 3-D shingle

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7



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LANDMARK™



House shown in Colonial Slate



- The durable shingle line has with the widest variety of incredible colors to suit any tastes, the widest color array than any other shingle!
- 30-year, limited transferable warranty that provides coverage in the event of manufacturing defects.
- An added 5-year SureStart™ warranty that covers 100% of replacement and labor costs due to manufacturing defects.
- 10-year StreakFighter™ warranty that protects your roof against streaking and discoloration caused by airborne algae.

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Note: Due to variation in computer monitors and printers, the color samples seen here may not exactly match the corresponding shingle color. To verify actual product color ask to see a full shingle available through a Certainteed contractor or distributor.

Click on an image to enlarge

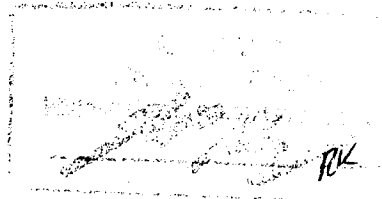


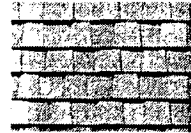
Photo
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Available



Atlantic Blue



Photo
Not
Available



Mist White



Photo
Not
Available



Burnt Sienna

Photo
Not
Available



Moire Black

Charcoal Black

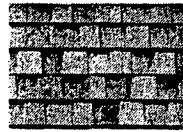
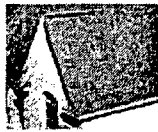


Photo
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Mojave Tan

Cobblestone Gray



Pewter

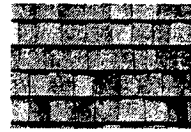


Colonial Slate



Resawn Shake

Photo
Not
Available



Driftwood



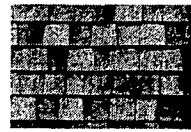
Sandstone



Georgetown Gray



Photo
Not
Available



Silver Birch

Heather Blend



Sunrise Cedar



Hunter Green

Weathered Wood



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SKETCH ESTIMATE

ROOFWORKS

Roofing, Gutters, Siding, Insulation

MHIC 65386

Mike Widener

(301)352-7222

(240)505-0762

Proposed Layout for:

NAME SALLY BROOKER	
ADDRESS 7700 Takoma Ave	
Takoma Park MD	
PHONE NO. 301-585-6904	
ESTIMATOR Mike Widener	DATE 09-18-2008

Scale 1/4" = 1' - Job # 08-

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30

*** NOTE: Attic should be checked for "slats"!**

ROOF AREA CALCULATION:

Main:	34 X 34 X 1.68 =	1942
	20 X 18 X 1.68 =	605
	12 X 3 X 1.25 =	45
Starter:	163 X .4 =	66
Ridge:	76 X 1 =	76
Hips:	1/2 X 44(4x) =	48
	2782 SF =	28 SQ

(Tear Off Cedar Shake X2)

ROOF CERTAINTED XT25, AR:

Shingle/Labor:	28 X 353 =	9884
Felt, 30LB, FE:	8 X 28 =	224
Ice/Water Shield:	104 X 3.00 =	312
Chimney Flash:	3 X 285 =	855
Apex Flash:	10 X 8.00 =	80
Step Flash:	42 X 6.00 =	252
Vent Pipe Collar:	4 X 15 =	60
Drip Edge, 5" Alum:	20 X 18 =	360
Ridge Vent/Shingle:	76 X 6.50 =	494
		12,521
Discount		- 321
		12,200

"AR" = Algae-Resistant Shingles.

Notes: 2/12 and 12/12 Pitch, 2 Layer Cedar Shake Tear Off.	Materials	1/3 Deposit ok
Limited Access. Work to begin within 14 Days. Duration = 2-3 Days.	Labor	Finance & Down: \$214/Mon
25 Year Shingle and 5 Year Labor Warranty.	Tax	
1" X 6" Lumber - \$3.75/LF, 3/2" Plywood - \$67.20 per 4'x8' Sheet.	Total	12,200

All job-related debris to be hauled away.

Rachel Kennedy
17 Dec 08 H&C meetg
HPC Case No 37103-08NNN
Case IA

Kennedy, Rachel

From: Michael Widener [mike_widener@msn.com]
Sent: Friday, December 12, 2008 9:25 AM
To: Kennedy, Rachel
Subject: RE: 7700 Takoma Avenue
Attachments: Landmark Shingle in Weathered Wood.jpg; Landmark Shingle Swatch in Weathered Wood.jpg

Ms. Kennedy,

As fate would have it Ms. Brooker called me last night and would like to change her shingle of choice to the Certainteed 30 year Landmark Architectural (3-dimensional) shingle in the color of Weathered Wood. We offered her a discounted price for the upgrade. This shingle would present a more "shake-like" appearance.

Is it too late to do this? Is there somewhere I can drop off a shingle sample board to help sway the board?

I have attached pictures of this shingle in the specified color.

Please advise.

Thanks,

Mike Widener
Roofworks
Cell: 240-505-0762

Subject: RE: 7700 Takoma Avenue
Date: Thu, 11 Dec 2008 11:55:27 -0500
From: Rachel.Kennedy@mncppc-mc.org
To: mike_widener@msn.com

Not until next Wednesday pm. Will you be representing her? She should have received a letter about the meeting date and time in the mail.

-----Original Message-----

From: Michael Widener [mailto:mike_widener@msn.com]
Sent: Thu 12/11/2008 8:45 AM
To: Kennedy, Rachel
Cc:
Subject: RE: 7700 Takoma Avenue

Ms. Kennedy,

Did the board make a decision on Ms. Brooker's roof?

Thanks,
[Mike_widener@msn.com](mailto:mike_widener@msn.com)
Roofworks
Cell: 240-505-0762



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House shown in Colonial Slate



- The durable shingle line has with the widest variety of incredible colors to suit any tastes, the widest color array than any other shingle!
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Click on an image to enlarge

Photo
Not
Available



Atlantic Blue

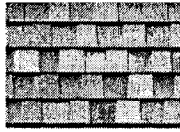
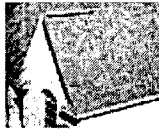


Burnt Sienna

Photo
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Charcoal Black



Cobblestone Gray



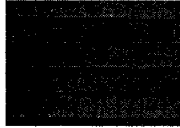
Colonial Slate



Driftwood



Georgetown Gray



Heather Blend



Hunter Green

Photo
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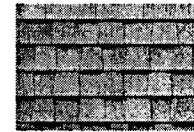


Mist White



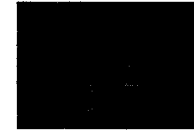
Moire Black

Photo
Not
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Mojave Tan

Photo
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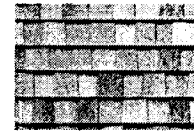


Pewter



Resawn Shake

Photo
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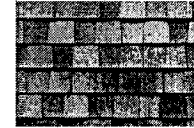


Sandstone



Silver Birch

Photo
Not
Available



Sunrise Cedar



Weathered Wood

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MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7700 Takoma Avenue, Takoma Park	Meeting Date:	12.17.08
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	12.10.08
Applicant:	Sally Brucker Mike Widener, agent	Public Notice:	12.03.08
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08NNN	Staff:	Rachel Kennedy
PROPOSAL:	Remove nonhistoric wood shingle roof and replace with three-tab asphalt shingles		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Queen Anne
DATE: circa 1896

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these

houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue). Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicants are proposing to remove a nonhistoric wood shingle roof and replace it with three-tab asphalt shingles, manufactured by CertainTeed (XT25). Brown aluminum flashing will be used on the roof as well. No gutter or soffit work will be done as part of this project.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction for noncontributing structures within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines) and the Montgomery County Code Chapter 24A (Chapter 4A)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions to Outstanding Resources.

The *Guidelines* that pertain to this project are as follows:

- Preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- Plans for all alterations should be compatible with the resource's original design.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24

(a) The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

(b) The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a

manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
6. In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

STAFF DISCUSSION

Staff is recommending that the Commission approve this HAWP application as being consistent with the *Guidelines*. Given that this is an outstanding resource, staff attempted to discover the original roofing material.

Staff is unsure what covered the house's original roof. The current porch roof is covered by three-tab asphalt shingles and the current wood shingle roof was placed on the main part of the house in the 1980s. Staff is fairly certain that the original treatment was not wood shingle, given the location in a dense suburban area. Photographs from the early 1980s (see *Takoma Park: Portrait of a Victorian Suburb, 1883-1983, 36-37*) suggest that the roof did have a dimensional quality; however, the material is unclear. A conversation with the roofer suggests that the current wood shingle roof was placed over an older wood shingle roof. This roof was not the original roofing material either and could have dated from the 1930s or 1940s. No historic photos or other information could be found to identify the original material, which was likely to have been slate or asphalt shingle. Staff also visited the site's environs to see what other houses of similar period had covering their roofs. Staff found two instances of slate and many more asphalt shingle examples.

Given that we do not know what was on the roof originally and that the wood shingle treatment was not original, staff believes that three-tab can be used at this site.

STAFF RECOMMENDATION:

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3407 or rachel.kennedy@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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301/563-3400

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HISTORIC AREA WORK PERMIT

Contact Person: SALLY BRUCKER
Daytime Phone No.: 301 585 6904

Tax Account No.: 337 38 1657
Name of Property Owner: SALLY BRUCKER Daytime Phone No.: 11
Address: 7700 Takoma Ave Takoma Park MD 20912
Street Number City State Zip Code
Contractor: MIKE WIDENER Phone No.: 301 352 7222
Contractor Registration No.: MHC 65386
Agent for Owner: Self Daytime Phone No.: 301 213 2334

LOCATION OF BUILDING/PREMISE

House Number: 7700 Street: TAKOMA AVE
Town/City: TAKOMA PARK Nearest Cross Street: NEW YORK AVE
Lot: 1 Block: 69 Subdivision: TPL + TCO'S OF TAKOMA PARK
Folio: _____ Parcel: _____
attached

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Roof

1B. Construction cost estimate: \$ 12,200

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: _____ Date: 11/23/08

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 500370 Date Filed: 11/17/08 Date Issued: _____

(6)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 single family Queen Anne Victorian
wood home w/ cedar siding 100% (25 years old)
ready to be replaced

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New roof with historic approximate historic
setting than existing cedar siding

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

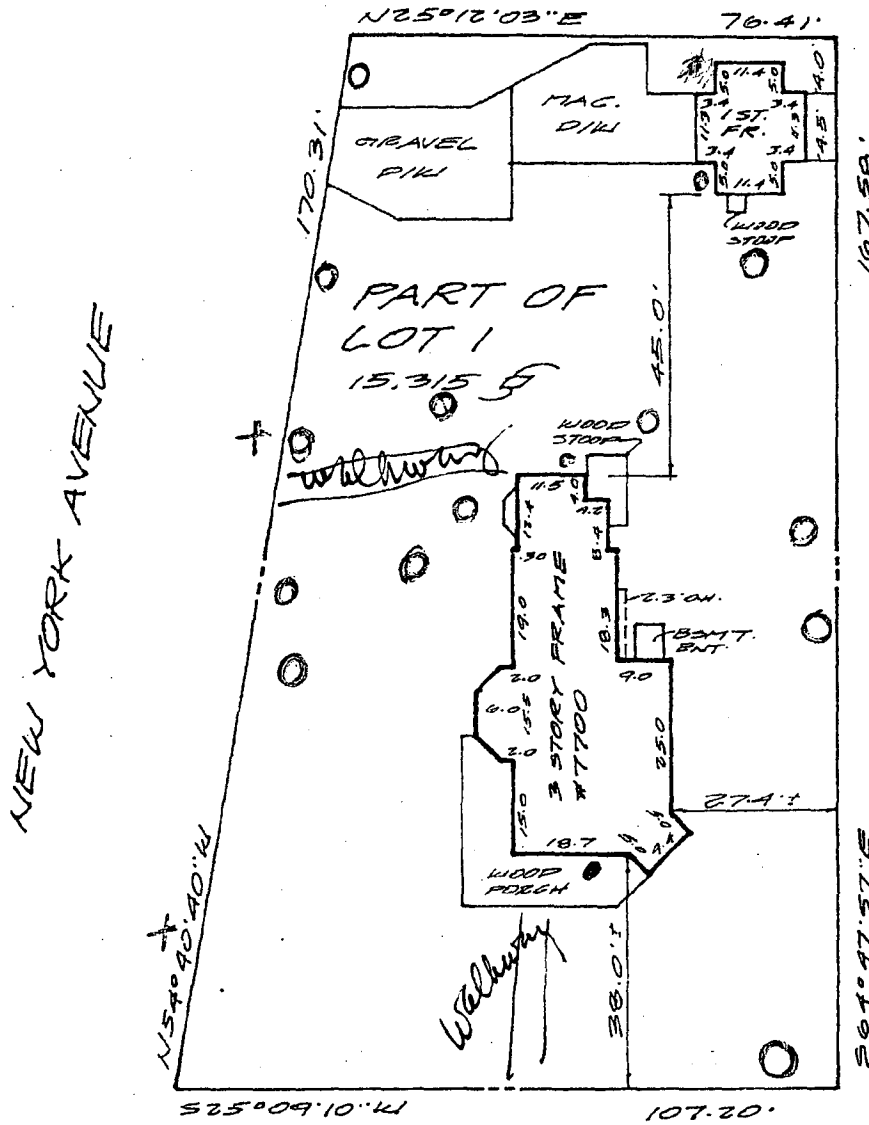
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For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7

PART OF LOT 1



HOME LETNG - ○
 PUB. ST. LETNG - +
 TREES - ○

TAKOMA AVENUE

PART OF LOT 1 BLOCK 69

THE T.P.L. & T. CO.'S SUBDIVISION OF
 TAKOMA PARK

NOTE:
 PROPERTY PREPARES
 MODERN DAY ZONING

Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

1.12.93
 Date

Stephen J. Wenthold
 Stephen J. Wenthold
 Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

Scale: 1" = 30'
 Plat Book: B
 Plat No.: 23
 York Order: 93-0025

Property
 Address: 7700 TAKOMA AVENUE
 Election District # 13
 Jurisdiction: MONTGOMERY COUNTY, MD.



Meridian Surveys, Inc.
 2401 Research Boulevard
 Suite 380
 Rockville MD, 20850
 (301) 840-0025

8

Form 5 (Revised 3/2000)

BOARD OF APPEALS FOR MONTGOMERY COUNTY, MARYLAND

LIST OF ADJOINING AND CONFRONTING PROPERTY OWNERS

(Please see information on reverse side)

<u>NAME</u>	<u>ADDRESS</u> (Please add Zip Code)	<u>LOT/PARCEL</u>	<u>BLOCK</u>
David + Morelyn Weisman	7701 TAKOMA AVE TAKOMA PARK, MD. 20912	6	73
Steve Korn	7704 TAKOMA AVE TAKOMA PARK, MD 20912	16	69
Montgomery College	7600 TAKOMA AVE Takoma Park, MD 20912	3 N. 410	14
Richard Weill Sherry "	7617 Takoma Ave Takoma Park, MD 20912	21	74

7700 Takoma Park



SKETCH ESTIMATE

ROOFWORKS

Roofing, Gutters, Siding, Insulation

MHIC 65386

Mike Widener

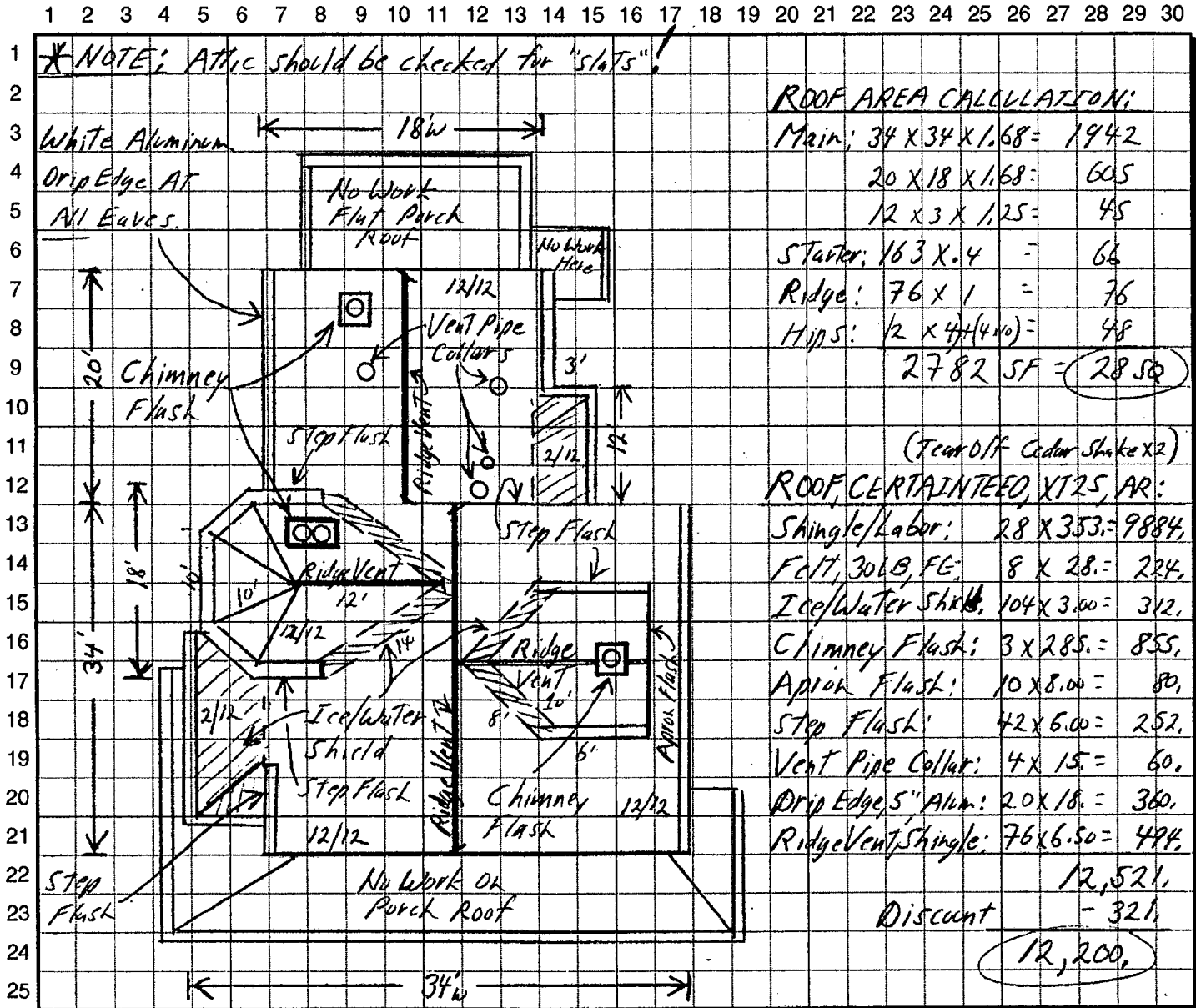
(301)352-7222

(240)505-0762

Proposed Layout for:

NAME	SALLY BROOKER	
ADDRESS	7700 Takoma Ave	
	Takoma Park MD	
PHONE NO.	301-585-6904	
ESTIMATOR	Mike Widener	DATE
		09-18-2008

Scale 1/4" = Job # 08-



"AR" = Algae-Resistant Shingles.

Notes: 2/12 and 12/12 Pitch, 2 Layer Cedar Shake Tear Off.	Materials	1/3 Deposit ok
Limited Access. Work to begin within 14 Days. Duration = 2-3 Days.	Labor	Finance & Down = \$214./hr
25 Year Shingle and 5 Year Labor Warranty.	Tax	
1" X 6" Lumber = \$3.75/LF, 1/2" Plywood = \$67.20 per 4' X 8' Sheet.	Total	12,200

DC8511 All job-related debris to be hauled away.

11

CertainTeed

XT 30, XT 25, CT 20

Traditional Shingles

Shown in Moire Black

CertainTeed 

Quality made certain. Satisfaction guaranteed.™

If you're looking for shingles with staying power, your search stops here. When it comes to weathering the elements, XT™ 30, XT™ 25, and CT™ 20 are at the top of their class. Built on a tough fiber glass base, each shingle is a little heavier than the next with added warranty and wind protection.

All products conform to the following specifications:

- Fiber glass composition
- UL Class A fire resistance
- UL certified to meet ASTM D3462
- UL certified to meet ASTM D3018 Type I
- Conforms to CSA standard A123.5-98

For U.S. building code compliance, see product specification sheets.

Be sure to ask your roofing contractor for a copy of the CertainTeed product warranty¹ or call the CertainTeed Consumer Hotline at 800-782-8777 to request a copy. We make it easy for you to view our warranties and register your investment online: certainteed.com/warranty.

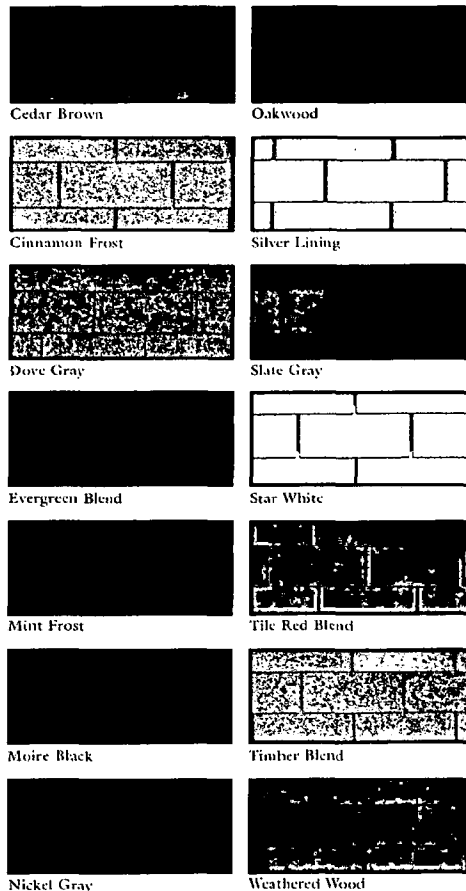
In addition to our traditional three-tab shingles, CertainTeed also offers a complete line of luxury and premium shingles that can transform your home into a warm work of art, gracefully and easily. For more information, ask your contractor or visit us on the web at www.certainteed.com.

Limited transferable warranty, including SureStart[®] protection, is applicable only in the United States, its territories and Canada; for products sold outside these areas, please refer to the International Warranty for specific details and limitations.



Want it all to match? CertainTeed offers Flintastic™ SA, a low-slope roofing product that goes perfectly with XT 30, XT 25, and CT 20 shingles. It's available in several colors, giving you the flexibility to coordinate or match areas such as porches, canopies and carports with your main roof.

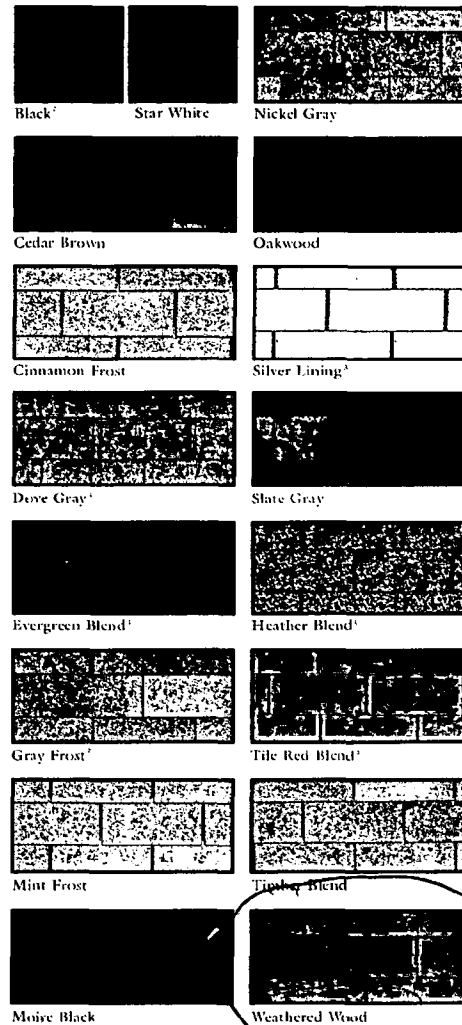
- Think big**—View a full-sized shingle, not just a swatch or sample.
- Be real**—Look at actual houses where the house/roof color combinations are similar to what you're considering.
- Watch the light**—As you look, notice how colors appear under changing light conditions and at various times of day.



XT 30 Product Specifications & Warranty¹

- 230 lb. per square
- 30-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty
- 5-year SureStart™ protection
- 5-year warranty against winds up to 70 mph

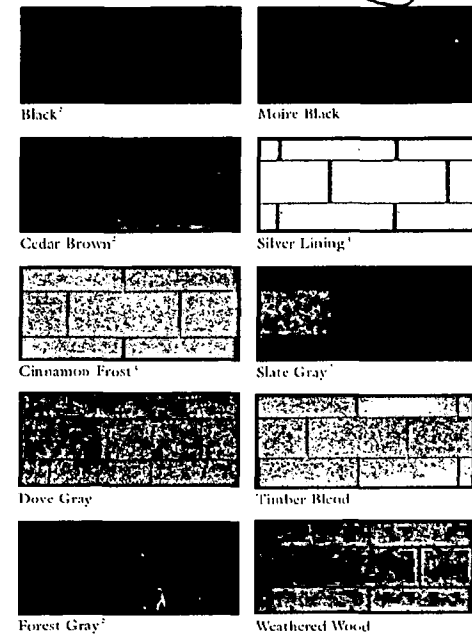
- 4. Consider the pitch**—Look for roofs with a similar pitch to your own. A roof's pitch affects the way you see its color.
- 5. Ask your contractor**—They might be able to point you to a home where they've installed a roof of your style and color.



XT 25 Product Specifications & Warranty¹

- 220 lb. per square
- 25-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty (on available colors)
- 5-year SureStart™ protection
- 5-year warranty against winds up to 60 mph

¹See actual warranty for specific details and limitations.
²Available only in non StreakFighter™ version.
³Available only in StreakFighter™ version.



CT 20 Product Specifications & Warranty¹

- 200 lb. per square
- 20-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty (on available colors)
- 3-year SureStart™ protection
- 5-year warranty against winds up to 60 mph

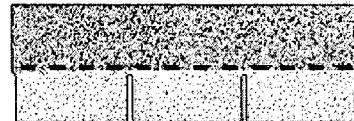
13

Technical Data Sheet
XT™ 30 Shingles
XT™ 25 Shingles
CT20™ Shingles
Seal King® 25 Shingles

CertainTeed

PRODUCT INFORMATION

CertainTeed offers a variety of three-tab shingle products that combine exceptional durability with flexibility for better resistance to blow-off. In addition to their suitability for residential applications, these products are ideal for commercial applications. Available in "English" dimensions – 12" x 36" and in "Metric" dimensions – 13 1/4" x 39 3/8", depending on the product and sales region.



Some of these shingles have the additional attribute of resisting the growth of algae (commonly called fungus), especially in damp regions. AR shingles are not available in all regions.

Special Note: In Alaska and Hawaii the XT 30 shingle carries a 100-mph wind warranty (see actual warranty for details).

Colors: These shingles come in a wide variety of colors. Please refer to the product literature, sample boards or our website (www.certainteed.com) for colors in your area.

Limitations: Use on roofs with slopes greater than 2" per foot. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause a backup of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply a 1" diameter spot of asphalt roofing cement (ASTM D 4586) under each shingle tab corner according to application instructions provided on the shingle package.

Product Composition: These shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. These shingles have self-sealing adhesive. These are 3-tab shingles.

Applicable Standards:

ASTM D 3018, Type I
ASTM D 3462
ASTM E 108 Fire Resistance: Class A
ASTM D 3161-03b, Class "F" Wind Resistance
ASTM D 3161-99a, Wind Resistance (Regional)
ASTM D 7158 Class "H" Wind Resistance
UL 790 Fire Resistance: Class A
UL 997 Wind Resistance
UL 2390/ASTM D6381 Class "H" Wind Resistance
NYC-MEA-120-79-M

ICC-ES Evaluation Report ESR-1389
BOCA & SBCCI Building Codes
CSA Standard A123.5-98 (& -05) (except CT20)
Ontario BMEC Auth. 97-10-219 and 97-12-221
(English-size only)
Miami-Dade Product Control Acceptance (English-size only)
Florida Product Approval # FL5444 (English-size only/Regional)

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Technical Data:	XT 30 - English	XT 30 - Metric
Weight/Square (approx.):	230/240 lb.	230/240 lb.
Dimensions (overall):	12" x 36"	13-1/4" x 39-3/8"
Shingles/Square:	80	65
Weather Exposure:	5"	5-5/8"

	XT 25/Seal King 25 - English	
Weight/Square (approx.):	220 lb.	
Dimensions (overall):	12" x 36"	
Shingles/Square:	80	
Weather Exposure:	5"	

	CT 20 -English	CT 20 -Metric
Weight/Square (approx.):	200 lb.	200 lb.
Dimensions (overall):	12" x 36"	13-1/4" x 39-3/8"
Shingles/Square:	80	65
Weather Exposure:	5"	5-5/8"

INSTALLATION

Detailed installation instructions including diagrams are supplied on each bundle of shingles, or separate application sheets may be obtained from CertainTeed. The following is a general summary of installation methods. NOTE - Refer to application instructions supplied with the shingles for further information and application procedures.

Roof Deck Requirements: Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer (E.g. OSB), or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association.

Ventilation: Provisions for ventilation should meet or exceed current HUD Standards. To insure adequate ventilation, use a combination of continuous ridge ventilation (using Ridge FilterVent or Ridge Filter ShingleVent II, manufactured by Air Vent Inc, or a comparable product with an external baffle) and balanced soffit venting.

Valleys: Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment, or its equivalent, to line the valley prior to being fully covered by the shingles.

Underlayment: At standard slopes (4" per foot or greater) a single layer of Roofers' Select™ High-Performance shingle underlayment (or product meeting ASTM D 4869 or ASTM D 6757) is recommended. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves.

On low slopes (2" to 4" per foot), apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Underlayment or product meeting ASTM D 4869 or ASTM D 6757) lapped 19", over entire deck according to the application instructions provided with the product. When WinterGuard is applied to the rake area, the drip edge may be installed under or over WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge should be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it.

Fastening: Four nails are required per shingle. For English-sized shingles they are to be located 5/8" above the top of each cutout and 1" and 12" in from each side of the shingle. For Metric-sized shingles they are to be located 1" and 13-1/8" in from each side of the shingle. They must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

On steep slopes greater than 21" per foot, apply a 1" diameter spot of asphalt roofing cement (ASTM D 4586) under each shingle tab corner according to application instructions provided on the shingle package.

(15)

Application (English-Sized Shingles): The recommended application method is the Six-Course, 6" Stepped-Off Diagonal Method found on each bundle of shingles. These shingles may also be applied using the 5" Stepped-Off Diagonal Method, or the 6" Offset, Single-Column Vertical-Racking Method, instructions for which may be obtained from CertainTeed. These shingles may be used for new construction or for re-roofing over old shingles.

Application (Metric-sized shingles): The recommended application method is the Seven Course, 5-5/8" Stepped-Off Diagonal Method (Metric) found on each bundle of shingles. These shingles may also be applied using the Eight Course, 5" Stepped-Off Diagonal Method (Metric) or the Half-Tab Diagonal Method (Metric), instructions for which may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over old shingles.

Flashing: Use corrosion-resistant metal flashing.

Hips and Ridges: Use field shingles of a like color for capping hips and ridges. For higher profile hips and ridges use CertainTeed's ContourRidge™ or ElevationRidge™ in a like color.

MAINTENANCE

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

XT 30 (and AR), shingles carry a 30-year limited transferable warranty, XT 25 (and AR) and Seal King 25 both carry a 25-year limited transferable warranty, and CT 20 (and AR), shingles carry a 20 year limited transferable warranty to the consumer against manufacturing defects. All of these shingles carry 5-year SureStart protection except for CT 20 which carries 3-year SureStart protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

See us in Sweets and ARCAT printed and electronic publications

CertainTeed Corporation
Roofing Products Group
P.O. Box 860
Valley Forge, PA 19482

CertainTeed 

Quality made certain. Satisfaction guaranteed.™

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All rights reserved. Updated: 10/2006

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7700 Takoma Avenue



Front (east) elevation.

7700 Takoma Avenue



View of front (East) facade, looking down New York Avenue.

7700 Takoma Park



North elevation.

(19)

7700 Takamu Avenue



North facade -

20

7700 Takoma Avenue



Rear (west) facade.

21

7700 Takoma Avenue



South end rear (west) facade -

22

7700 Takoma Avenue



South facade, facing New York Avenue.

(23)

7700 Takoma Avenue



Detail of South facade roof.



Directly adjacent to 7700 Takoma Avenue, across
New York Avenue.



Directly adjacent to 7700 Takoma Avenue (7702?)
Note asphalt shingle roof.



Neighbor house (7704?) Takoma Avenue. Note
asphalt shingle roof.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: SALLY BRUCKER
Daytime Phone No.: 301 585 6904

Tax Account No.: 337 38 1657

Name of Property Owner: SALLY BRUCKER Daytime Phone No.: 11

Address: 7700 TAKOMA AVE TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: MIKE WIDENER Phone No.: 301 352 7222

Contractor Registration No.: MHC 65386

Agent for Owner: Self Daytime Phone No.: 301 213 2334

LOCATION OF BUILDING/PREMISE

House Number: 7700 Street: TAKOMA AVE

Town/City: TAKOMA PARK Nearest Cross Street: NEW YORK AVE

Lot: 1 Block: 69 Subdivision: TPL + T Co's of Takoma Park

see attached

Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|---|---|--|--|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>Roof</u> | | | | |

1B. Construction cost estimate: \$ 12,200

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

W/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10/23/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 500370 Date Filed: 11/17/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 single family Queen Anne Victorian

wood home w/ cedar shingle roof (25 years old)

ready to be replaced

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New roof will better approximate historic setting than existing cedar shingle

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
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For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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240/777-6370

DPS - #8

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Town/City: TAKOMA PARK Nearest Cross Street: NEW YORK AVE

Lot: 1 Block: 69 Subdivision: TPL + T COS OF TAKOMA PARK

Liber: attached Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Roof

1B. Construction cost estimate: \$ 12,200

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: WSSC 02 Septic 03 Other: _____

2B. Type of water supply: WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10/23/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 500310 Date Filed: 11/12/08 Date Issued: _____

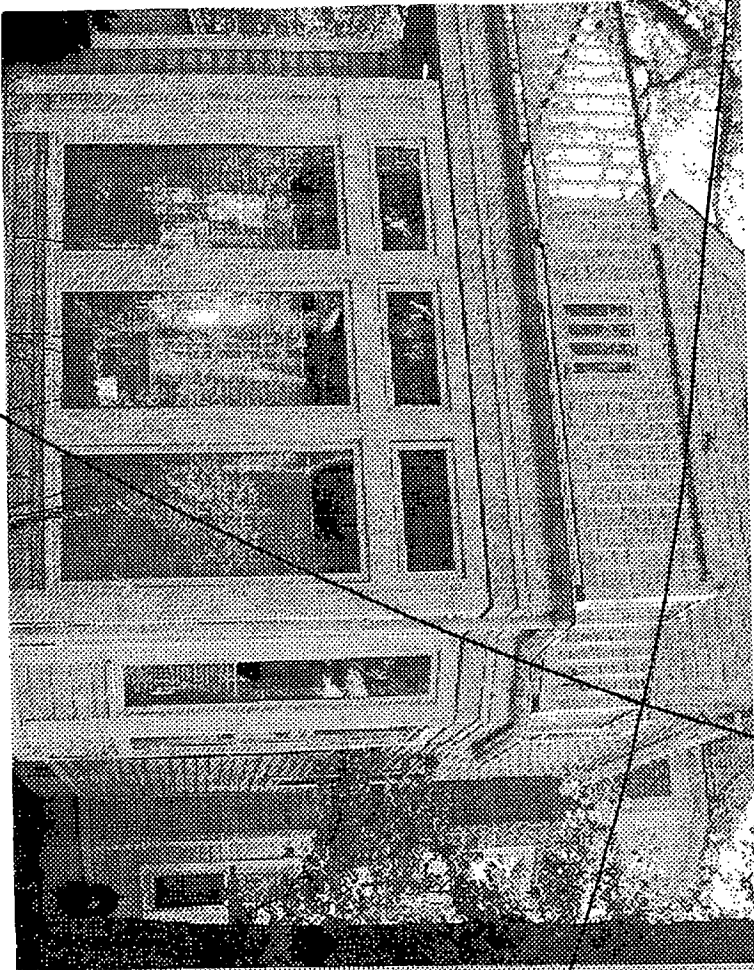


PHOTO 3: REAR ELEVATION APPROACHING
HOUSE FROM WALKWAY

N/A

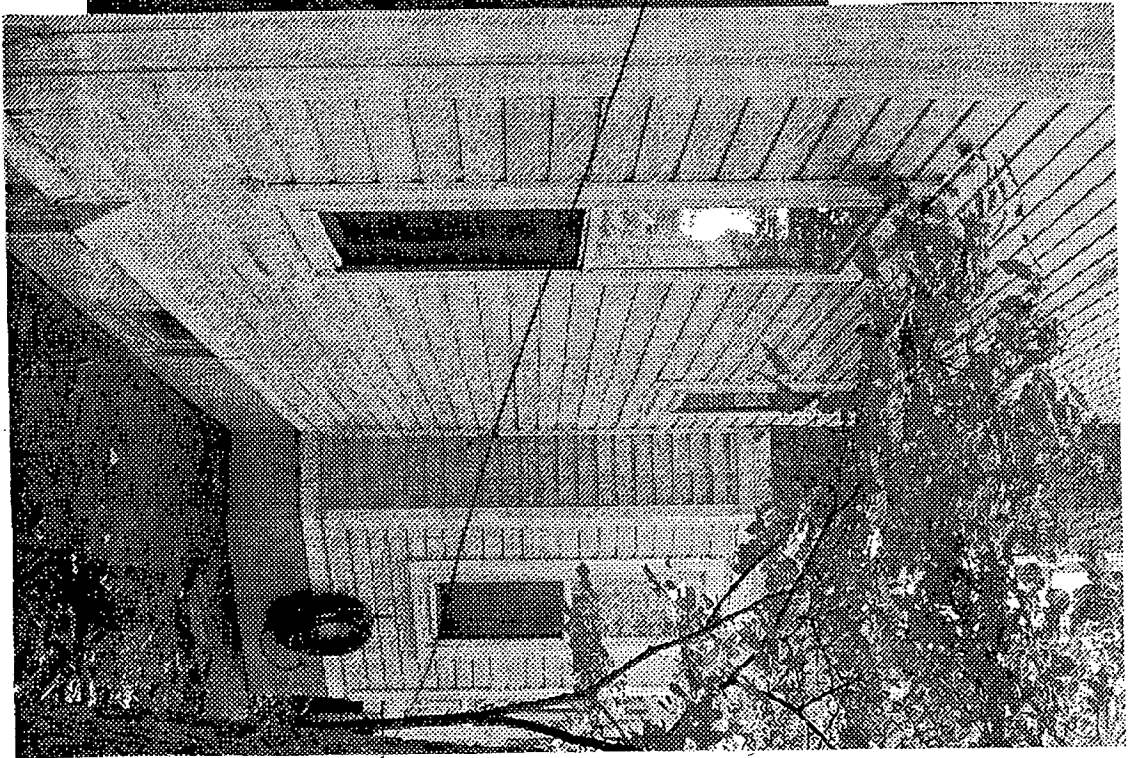


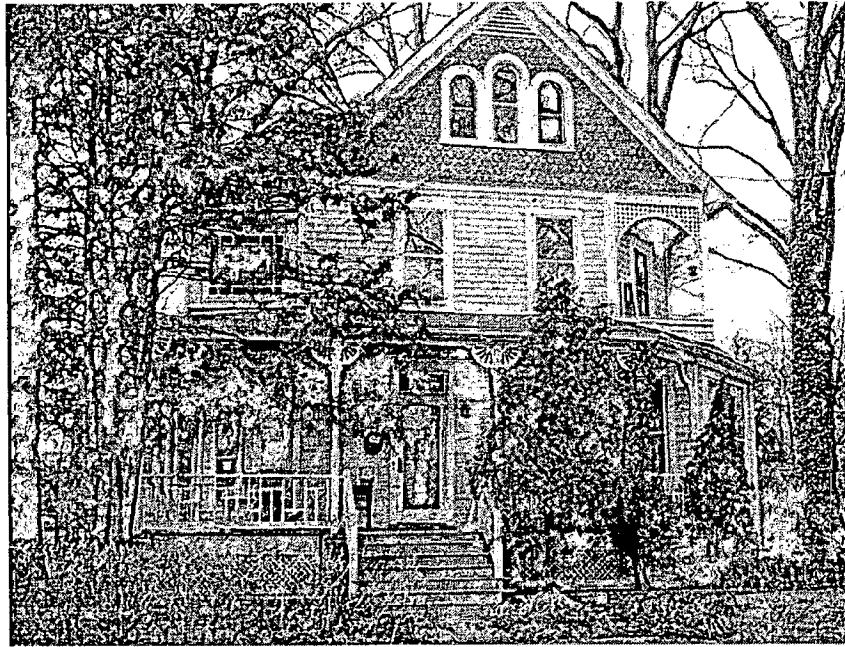
PHOTO 4: EXISTING OF PROPOSED STAIR
LOCATION FROM WALKWAY

FUTUREPROOF
1233 KERLEREC STREET
NEW ORLEANS, LOUISIANA 70116
TELEPHONE: 504 390 7499
FAX: 504 304 2421
EMAIL: priscaweems@juno.com

BRUCKER RESIDENCE
STAIR ADDITION
7700 TAKOMA AVENUE
TAKOMA PARK, MARYLAND 20912

A 7

7700 Takoma front



view from New York Avenue



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Builders and remodelers across America know certain things to be true of CertainTeed. For starters, we've been in the roofing business for over 100 years, and we have thousands of satisfied homeowners. The process of building that satisfaction begins the moment you turn to us.

CertainTeed offers you the broadest range of color and style choices. But you'll see it's not style over substance. You'll get a roof that's made from the highest quality materials and backed by a strong warranty program. It's our promise to you: quality made certain, satisfaction guaranteed.



Not sure which color to pick? Check out CertainTeed's ColorView.

ColorView is our interactive tool to help you visualize product style and color options. Using it is easy (and even a little fun). Just go to certainteed.com/colorview.

You've got questions? For answers, or to find the professional contractor nearest you, call our Consumer Hotline at 800-782-8777.

1. Printed under the following patent: 5,951,809

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Hip & Ridge Cap Shingles



Integrity Roof System.[™]
Give your home the best protection.

WinterGuard[™]

Waterproofing underlayment prevents leaks caused by ice dams and wind-driven rain in vulnerable areas.

Roofers' Select[™]

High-performance underlayment is a secondary barrier against leaks for the entire roof.

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High-quality shingles are covered by one of the best warranties in the business. Accessory products—starter course, and hip and ridge cap shingles—complete your roof from start to finish.

Ventilation

Proper attic ventilation improves air circulation.

NOTE: REPRODUCTION OF COLORS throughout this publication is as accurate as modern printing will permit. Colors are subject to changes by granule manufacturers.

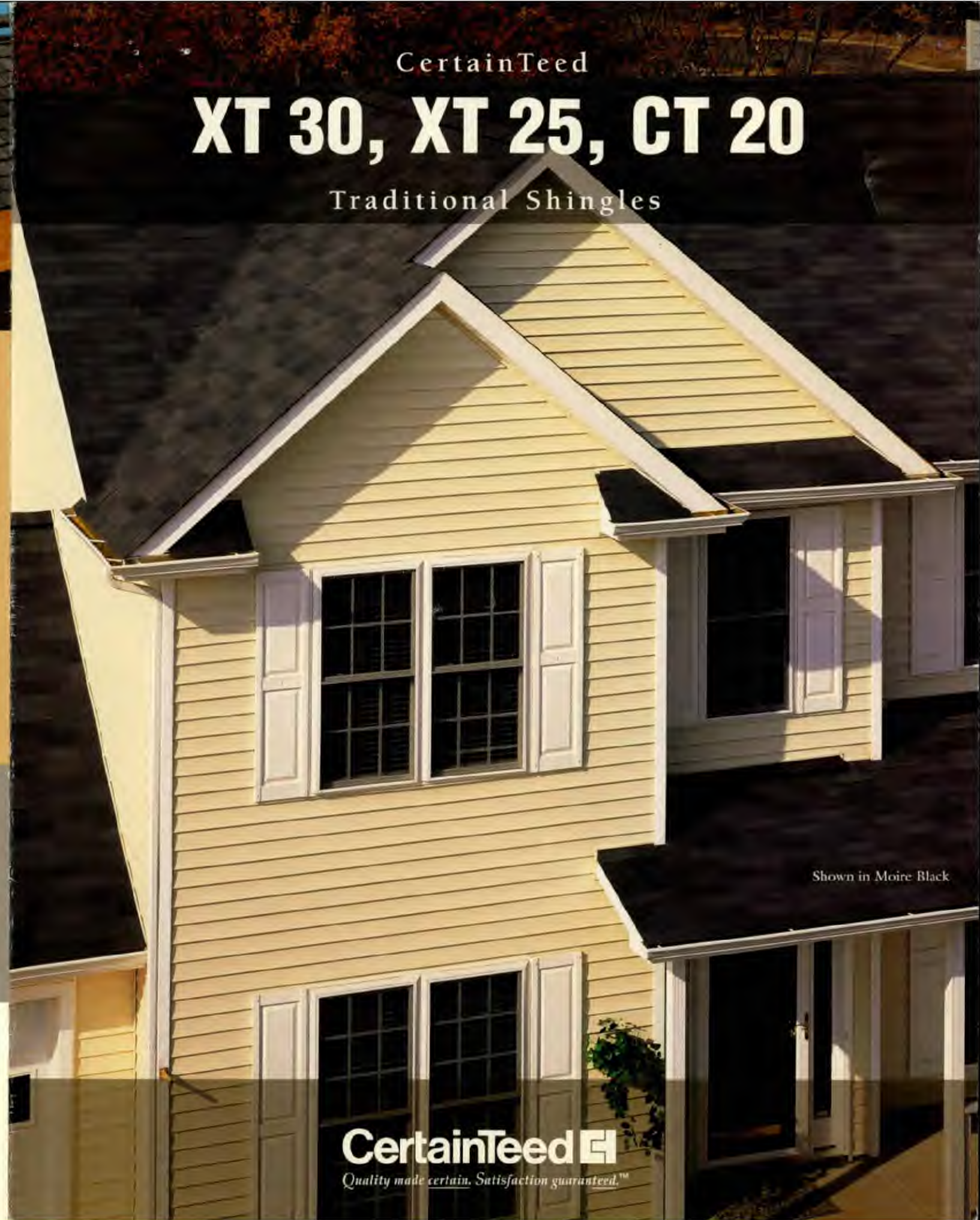


• Southeast Region
• Mid Atlantic Region

CertainTeed

XT 30, XT 25, CT 20

Traditional Shingles



CertainTeed

Quality made certain. Satisfaction guaranteed.[™]

Three Levels of Protection

If you're looking for shingles with staying power, your search stops here. When it comes to weathering the elements, XT™ 30, XT™ 25, and CT™ 20 are at the top of their class. Built on a tough fiber glass base, each shingle is a little heavier than the next with added warranty and wind protection.

All products conform to the following specifications:

- Fiber glass composition
- UL Class A fire resistance
- UL certified to meet ASTM D3462
- UL certified to meet ASTM D3018 Type I
- Conforms to CSA standard A123.5-98

For U.S. building code compliance, see product specification sheets.

Protect yourself

Be sure to ask your roofing contractor for a copy of the CertainTeed product warranty¹ or call the CertainTeed Consumer Hotline at 800-782-8777 to request a copy. We make it easy for you to view our warranties and register your investment online: certainteed.com/warranty.

A beautiful roof makes a beautiful home

In addition to our traditional three-tab shingles, CertainTeed also offers a complete line of luxury and premium shingles that can transform your home into a warm work of art, gracefully and easily. For more information, ask your contractor or visit us on the web at www.certainteed.com.

Limited transferable warranty, including SureStart™ protection, is applicable only in the United States, its territories and Canada. For products sold outside these areas, please refer to the International Warranty for specific details and limitations.



Color Companion Products™

Want it all to match? CertainTeed offers Flintlastic™ SA, a low-slope roofing product that goes perfectly with XT 30, XT 25, and CT 20 shingles. It's available in several colors, giving you the flexibility to coordinate or match areas such as porches, canopies and carports with your main roof.



Cedar Brown



Oakwood



Cinnamon Frost



Silver Lining



Dove Gray



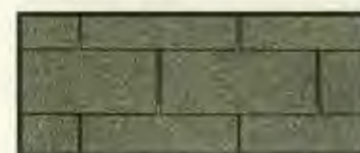
Slate Gray



Evergreen Blend



Star White



Mint Frost



Tile Red Blend



Moire Black



Timber Blend



Nickel Gray



Weathered Wood

XT 30 Product Specifications & Warranty¹

- 230 lb. per square
- 30-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty
- 5-year SureStart™ protection
- 5-year warranty against winds up to 70 mph



Black²



Star White



Nickel Gray



Cedar Brown



Oakwood



Cinnamon Frost



Silver Lining³



Dove Gray²



Slate Gray



Evergreen Blend³



Heather Blend³



Gray Frost²



Tile Red Blend³



Mint Frost



Timber Blend



Moire Black



Weathered Wood

XT 25 Product Specifications & Warranty¹

- 220 lb. per square
- 25-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty (on available colors)
- 5-year SureStart™ protection
- 5-year warranty against winds up to 60 mph

¹ See actual warranty for specific details and limitations.

² Available only in non-StreakFighter™ version.

³ Available only in StreakFighter™ version.



Black²



Moire Black



Cedar Brown²



Silver Lining³



Cinnamon Frost³



Slate Gray²



Dove Gray



Timber Blend



Forest Gray²



Weathered Wood

CT 20 Product Specifications & Warranty¹

- 200 lb. per square
- 20-year limited transferable warranty against manufacturing defects
- 10-year StreakFighter™ warranty (on available colors)
- 3-year SureStart™ protection
- 5-year warranty against winds up to 60 mph

Roofs are big. Color is important. Choose wisely.

1. **Think big**—View a full-sized shingle, not just a swatch or sample.
2. **Be real**—Look at actual houses where the house/roof color combinations are similar to what you're considering.
3. **Watch the light**—As you look, notice how colors appear under changing light conditions and at various times of day.

4. **Consider the pitch**—Look for roofs with a similar pitch to your own. A roof's pitch affects the way you see its color.
5. **Ask your contractor**—They might be able to point you to a home where they've installed a roof of your style and color.