

7106 Poplar Ave, Takoma Park
32/3-070 MHP

ADDITION TO 7106 POPLAR AVE. TAKOMA PARK, MD

**MONTGOMERY COUNTY
DIVISION OF BUILDING CONSTRUCTION**

These plans are conditionally approved in accordance with any correction notes on plans. The building permit is license to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review. Issuance of permit does not prevent field inspectors from conducting corrections to meet codes which issues are noted during inspection.

Approved: *Ard R. Hurdon*
Specialist: *AS7315*

**GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION**

Electrical wiring must conform to the 2002 National Electric Code and County Requirements.

NOTE
THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

Smoke detectors shall be installed in accordance with Section ES-15 of the 2002 IRC One and Two Family Dwelling Code as amended and the MD. Rehab. Code.

**MONTGOMERY COUNTY EXECUTIVE
REGULATION 2002-09**
THE FINAL INSPECTION MUST BE REQUESTED AND APPROVED BEFORE A BUILDING (OR PORTION THEREOF) IS USED OR OCCUPIED.

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

ZONING INFORMATION

B. F. GILBERT'S ADDITION
TO TAKOMA PARK
LOT: 24
BLOCK: 20
MONTGOMERY COUNTY, MD

ADDITIONAL (Adapted Codes 2006 IRC and 2003 NEC as amended by SB 20-07)

- 1. All notes are typical for similar conditions throughout the plans.
- 2. All bearing points must be continuous to the foundation with blocking where necessary or provide tapered and stepped detail for non direct bearing conditions in the Montgomery County field inspector.
- 3. Provide registered shop drawings for all masonry roof and floor systems to the Montgomery County field inspector at the framing inspection.
- 4. National Montgomery County codes refer to Montgomery County Residential Code Notes "RCN" and are attached to the approved set of plans.
- 5. All field connections must be per the adopted code or if engineered products are used provide an ICC-ES report (or equivalent) to the Montgomery County field inspector at the framing inspection. The product must be approved for the correct adopted code.
- 6. All proprietary products must have an ICC-ES report (or equivalent) and shall be installed per the manufacturer.

*By Maryland registered engineer

GENERAL NOTES

- ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY AND THE 2006 IRC BUILDING CODE.
- WIND LOADS: 90 MPH @ 3 SECOND DURATION.
- THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.
- THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DIRT AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DIRT FROM OCCUPIED ROOFS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.
- DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.
- DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.
- ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.
- THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

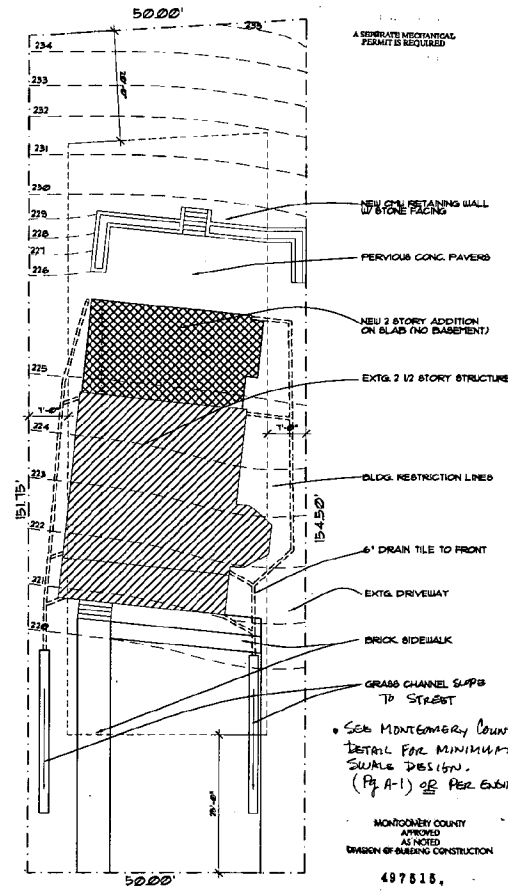
- ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (FLOOR PLATES, SLEEPERS) SHALL BE PRESURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESURE TREATED OR APPROVED FOR EXTERIOR USE.
- FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" FOR INTO UNDISTURBED SOIL AND SHALL BE SUBJECT TO PROTECT ACTION AT LEAST 2'-0" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATION MARGIN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 3,000 PSF.
- ALL ANCHORS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
- USE APPROVED METAL (GALV-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.
- ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.
- INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXIST. AROUND DOORS AND WINDOWS (INTERIOR) WOOD SHALL BE SECURED WITH NAIL FINISH NAILS AND GULLED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.
- GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEMS: SIZE, SHAPE AND COLOR TO MATCH EXISTING.
- INSTALL SPLASH BLOCKS AT EACH DOWNPOUT.
- CAULKING AND SEALANTS: APPLY DAP ACETYLENE LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2".
- ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY CONDUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, MOTORS, AND SWITCHES AS INDICATED.
- INSTALL R-19 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUSS AND THE FIRST FLOOR. INSTALL R-19 BATT INSULATION IN THE 2ND STUD WALL. INSTALL R-19 BATT INSULATION IN THE REST OF THE NEW EXTERIOR 2ND WALLS.
- *MECHANICAL WORK AND DRAINAGE TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
A-1	PLANS
A-2	FLOORS
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	INT. ELEVATIONS
A-6	SECTION
A-7	DETAILS
A-8	DETAILS
FR-1	FRAMING PLANS
FR-2	FRAMING PLANS
FR-3	STRUCTURAL NOTES
FR-4	DRAWINGS (WALL DETAILS)
E-1	ELECTRICAL PLANS

APPROVED FOR CONSTRUCTION
DATE 2.25.08
BY [Signature]

SEE MONTGOMERY
COUNTY NOTES PRIOR
TO CONSTRUCTION



AREA OF LOT: 1686 SQ. FT.
FIRST FLOOR ELEV. 229.66'
BASEMENT LEVEL OF EXIST. 208.4'

THE ADDITION IS 846 SQ. FT.
THE ADDITION IS 2 STORIES.
THERE IS NO BASEMENT. IT IS A
SLAB ON GRADE. THEREFORE NO
BASEMENT CALCULATION IS REQ'D.

1 SITE PLAN
CO SCALE: 1" = 10'-0"

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSED: 27311 EXPIRATION: 2/7/10
THIS PROJECT MAY BE CONSTRUCTED AS SHOWN IN THESE APPROVED PLANS. ANY CHANGES MUST BE APPROVED IN WRITING BY THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.

MONTGOMERY COUNTY
APPROVED
AS NOTED
DIVISION OF BUILDING CONSTRUCTION
487815

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 2-25-08

**ADDITION TO
7106 POPLAR AVE**
Takoma Park, MD

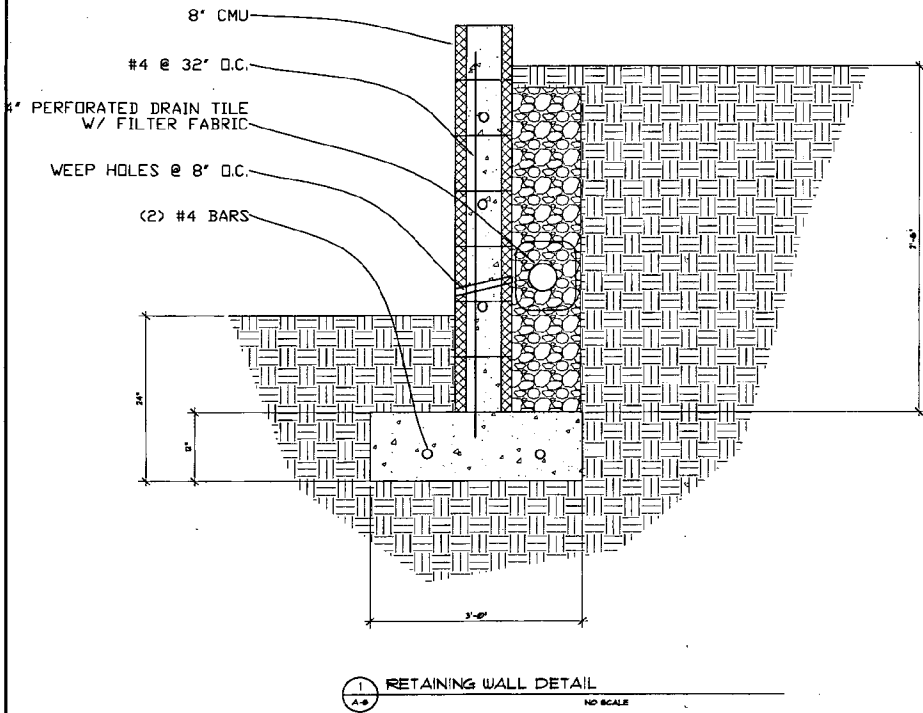
STUDIO D
2000 High Green Parkway
Takoma Park, MD 20912
301-281-0000

DANA ROGERS HADEN, AIA, ARCHITECT

ISSUE:
PERMIT SET, 2/25/08
MONTGOMERY COUNTY
DIVISION OF BUILDING CONSTRUCTION
9-2-08

MONTGOMERY COUNTY
APPROVED
AS NOTED
DIVISION OF BUILDING CONSTRUCTION
487815

SHEET:
ZONING INFORMATION
GENERAL NOTES
LIST OF DRAWINGS
CO



NOTES

1. ALL NOTES ARE FOR SUPPLEMENTING THE PLANS AND SPECIFICATIONS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING ANY ITEMS IN THEM
2. DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2000 IRC AND 2000 IBC (INTERNATIONAL CODES) AND THE PARTICULAR CODES AS REFERENCED IN THEM
3. MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,000 PSI
4. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE REQUIREMENTS OF ACI 318.
5. REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615 AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI
6. BACKFILLING AGAINST REINFORCED CONCRETE RETAINING WALL SHALL NOT BE PERMITTED UNTIL THE CONCRETE HAD REACHED ITS 28-DAY STRENGTH
7. WATER, LOOSE SOIL AND SOIL SOFTENED BY WATER SHALL BE REMOVED FROM THE BOTTOM OF THE FOOTINGS BEFORE PLACING CONCRETE
8. SOIL BEARING PRESSURE ASSUMED 2000 PSI
9. BOTTOM OF FOOTING SHALL BE AT LEAST 24" BELOW FINISHED GRADE.
10. WATERPROOF BACK FACE OF RETAINING WALL WITH 1/2" COATING OF CEMENT PLASTER OR TWO CONTINUOUS COATINGS OF HOT BITUMINOUS MATERIALS APPLIED AT RIGHT ANGLES TO EACH OTHER OVER A SUITABLE PRIME COAT
11. WHERE SOIL UNDER FOOTING CONSISTS OF SOFT CLAY, PLACE MIN: 4 INCHES OF CRUSHED STONE OR GRAVEL

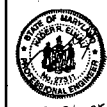
ADDITION TO
1106 POPLAR AVE.
TAKOMA PARK, MD

STUDIO D
ARCHITECTS
1400 ALGER AVENUE, SUITE 100
TAKOMA PARK, MD
301.710-0001

D

DANA ROGERS HADEN, AIA architect

ISSUE:
PERMIT SET: 5/18/08



MONTGOMERY COUNTY
APPROVED
AS NOTED
DIVISION OF BUILDING CONSTRUCTION

497515

DRAWN BY: DRH

SHEET:

DETAILS

A-8

APPROVED
Montgomery County
Hazard Prevention Commission
[Signature]
5/20/08

OK ✓

Staff Item
Anne Fothergill
August 13, 2008

The HPC approved a rear addition at 7106 Poplar Avenue, Takoma Park (Contributing Resource) in December 2007. The applicant is now proposing some minor changes and staff is requesting that the HPC allow them to be approved at the staff level. See attached memo and approved and proposed elevations.

Aug. 3, 2008

Dear Anne,

Enclosed you will find the original drawings that you took to the review board for a revision for the project located at 7106 Poplar Ave.. I have also enclosed the new drawings. The footprint of the building remains the same.

The changes are window locations, they have changed on all three sides. Also, the rear roof at the rear door is larger now and extends over the windows on the right side.

Also, the roof is now going to be sloped and will be done with asphalt shingles to match the main house!

I think that does it!

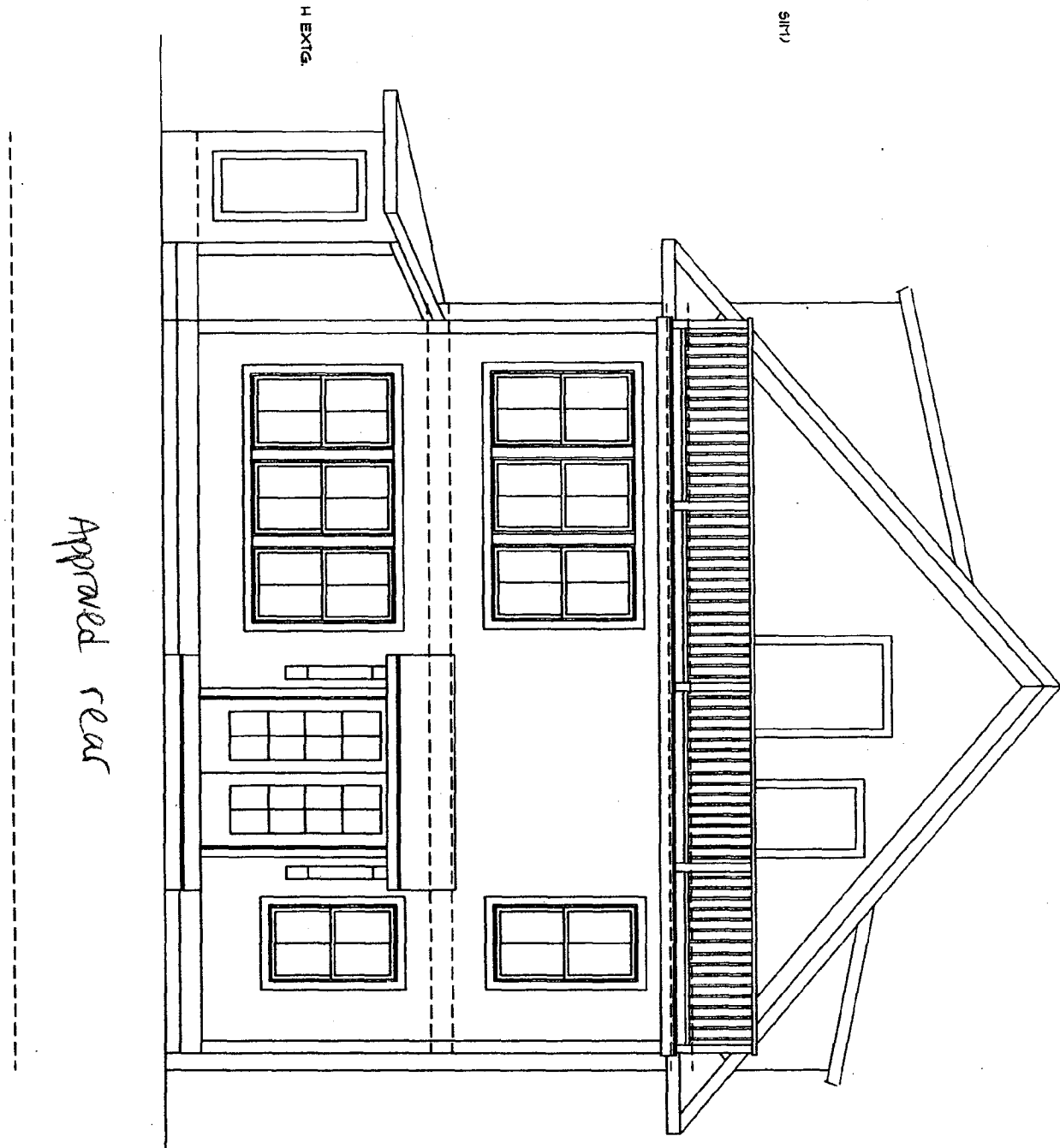
Otherwise all the materials and types of windows remain the same.

I am going to the beach tomorrow and will be back late on Thurs.

You can email any questions or call. I will check email and phone messages!

Thanks so much for your help!

Dana Haden



BY HADEN, AIA architect



STUDIO D

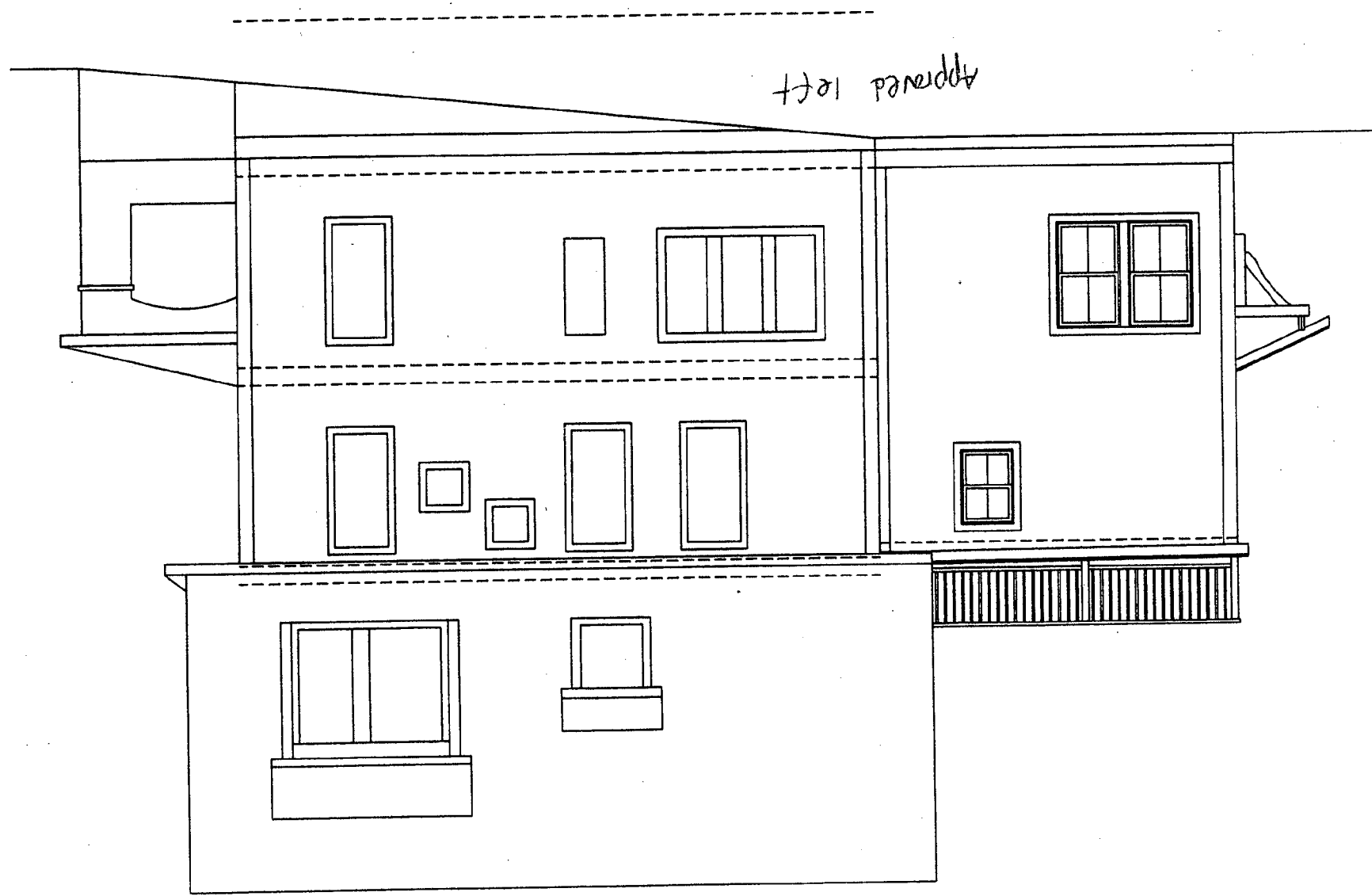
805 silgo creek parkway
 takoma park, md
 301-270-5811

ADDITION TO
 7106 POPLAR AVE.
 TAKOMA PARK, MD

8/1/08
Proposed new rear elev.



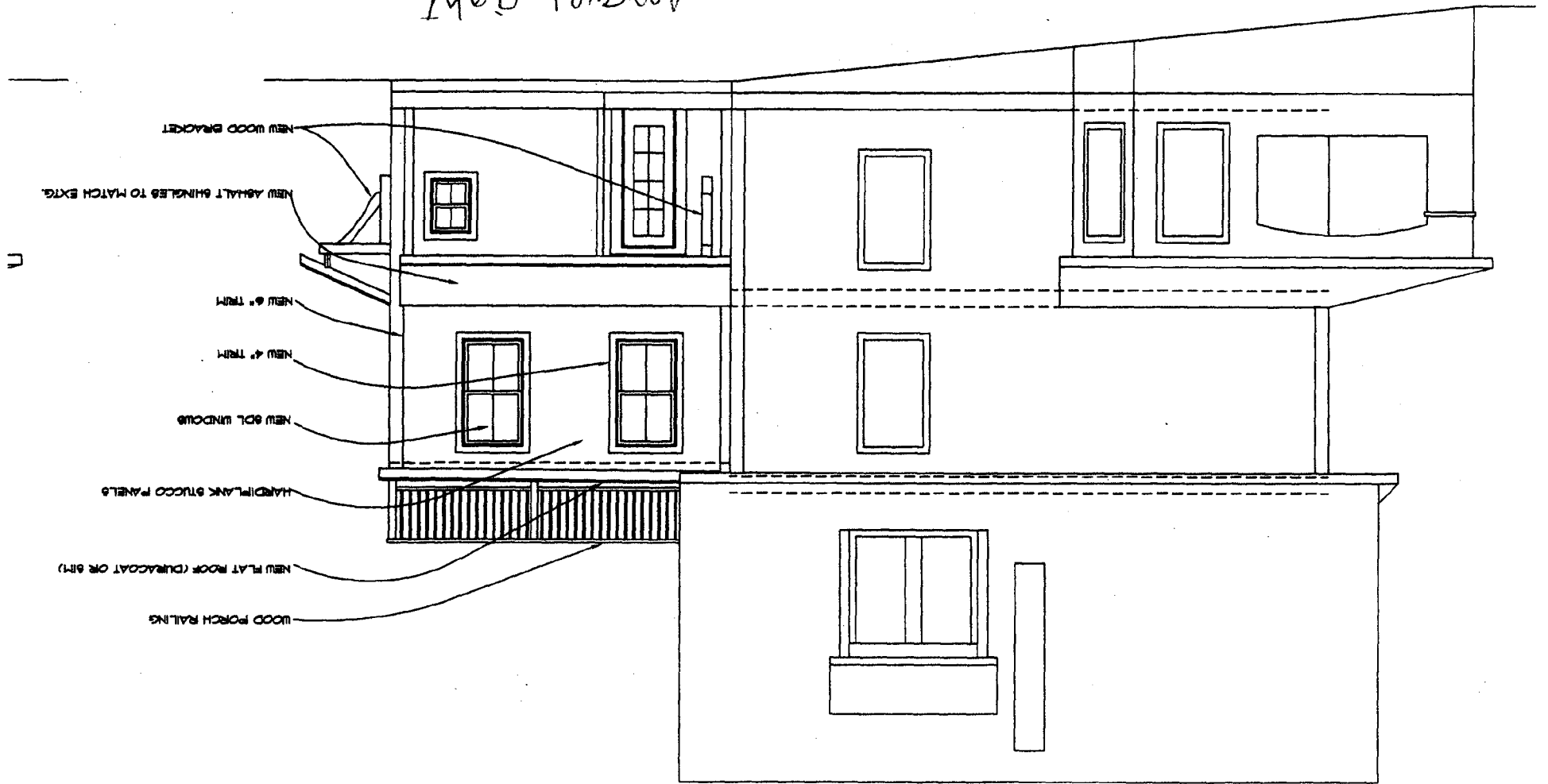
Approved left



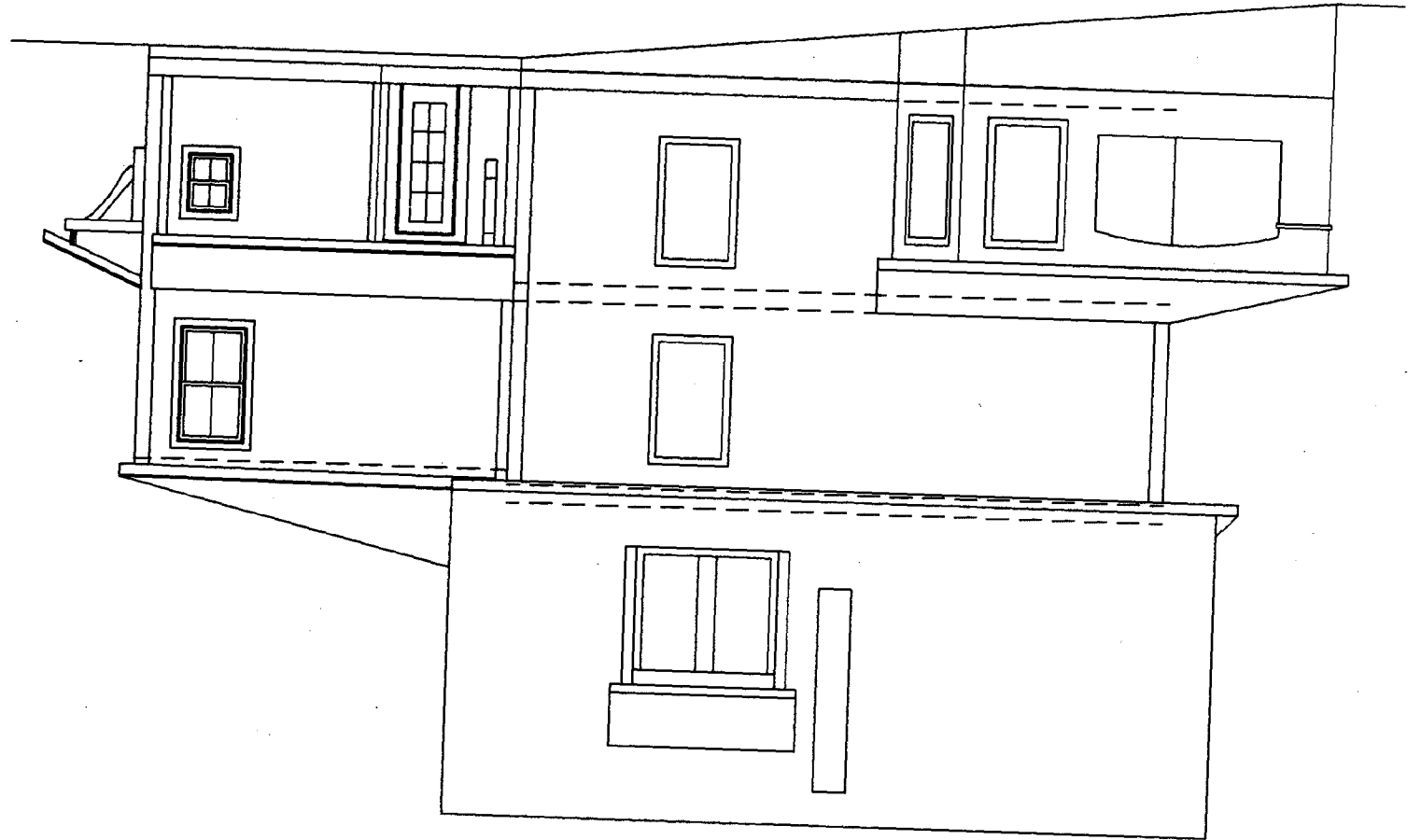
Proposed new left side elev.
8/1/08

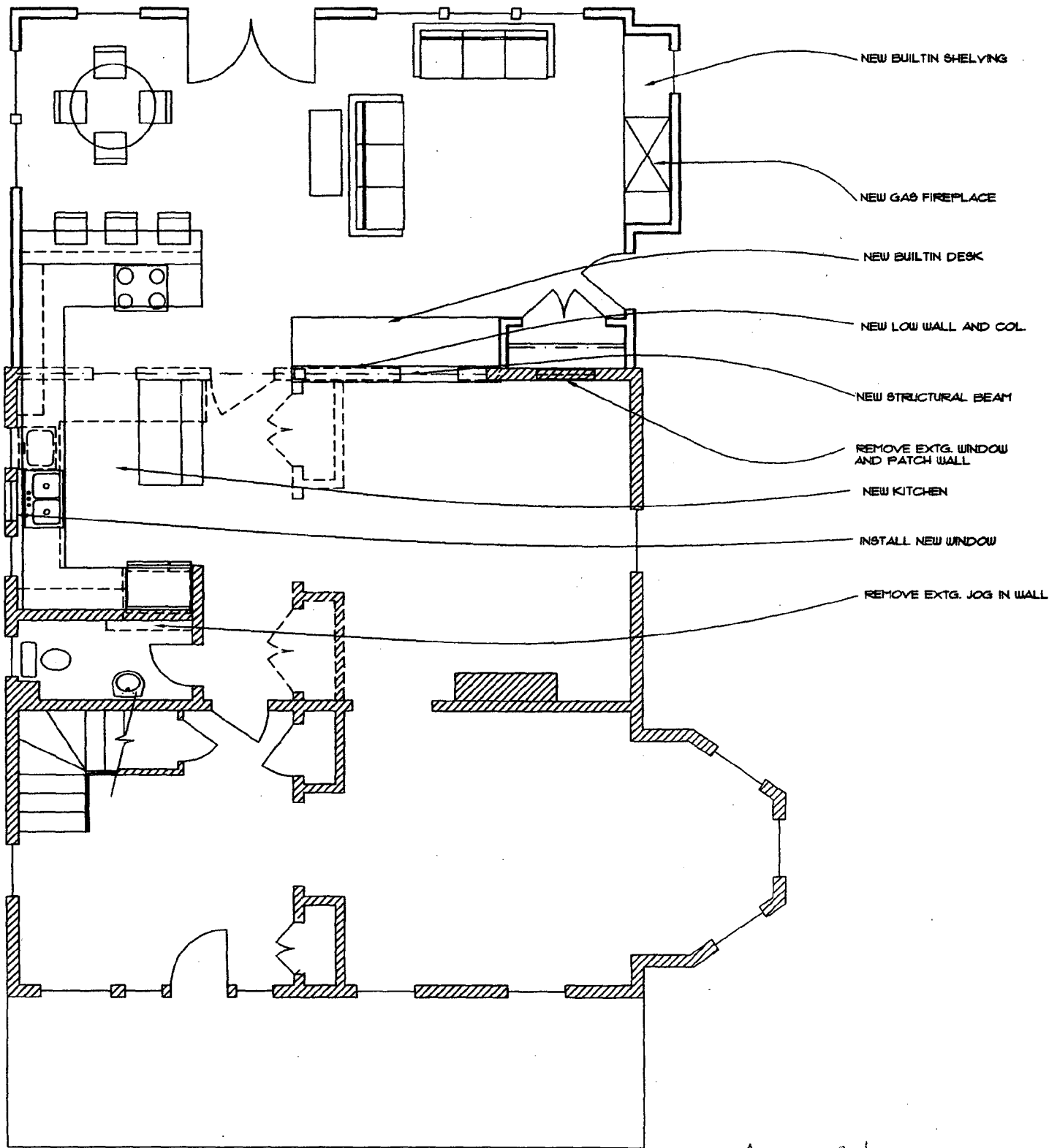


Approved 1/14/14

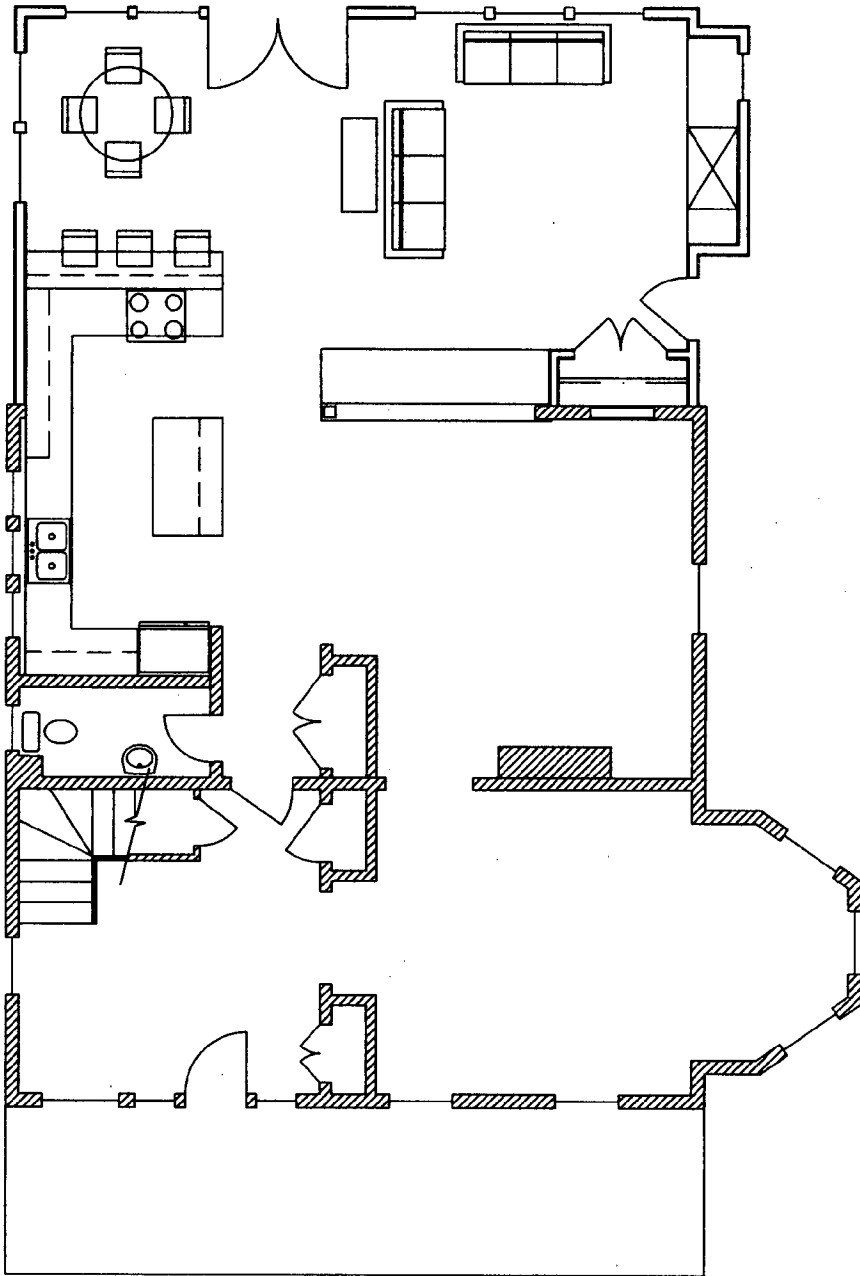


8/1/08
Proposed new night side elev.

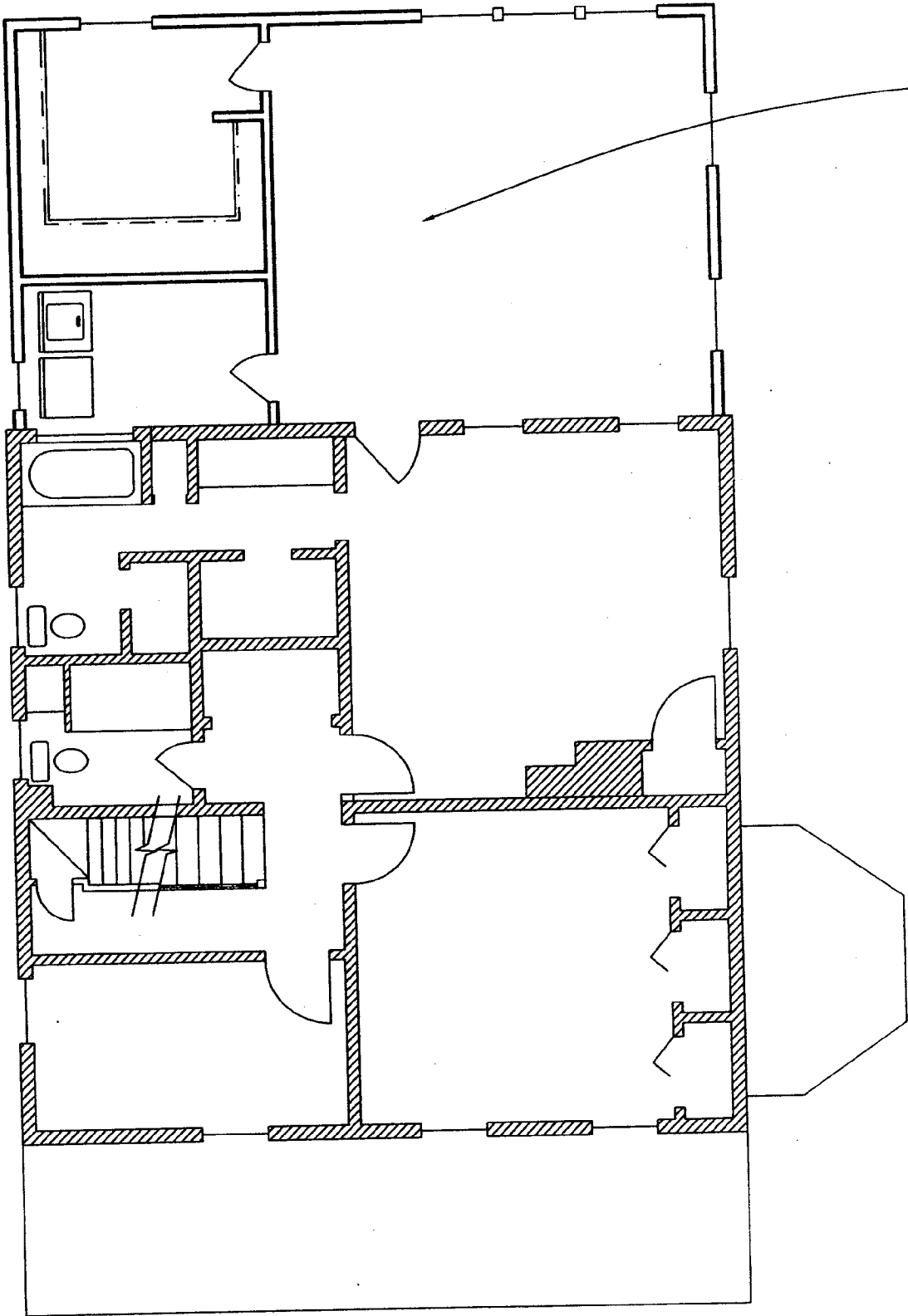




Approved

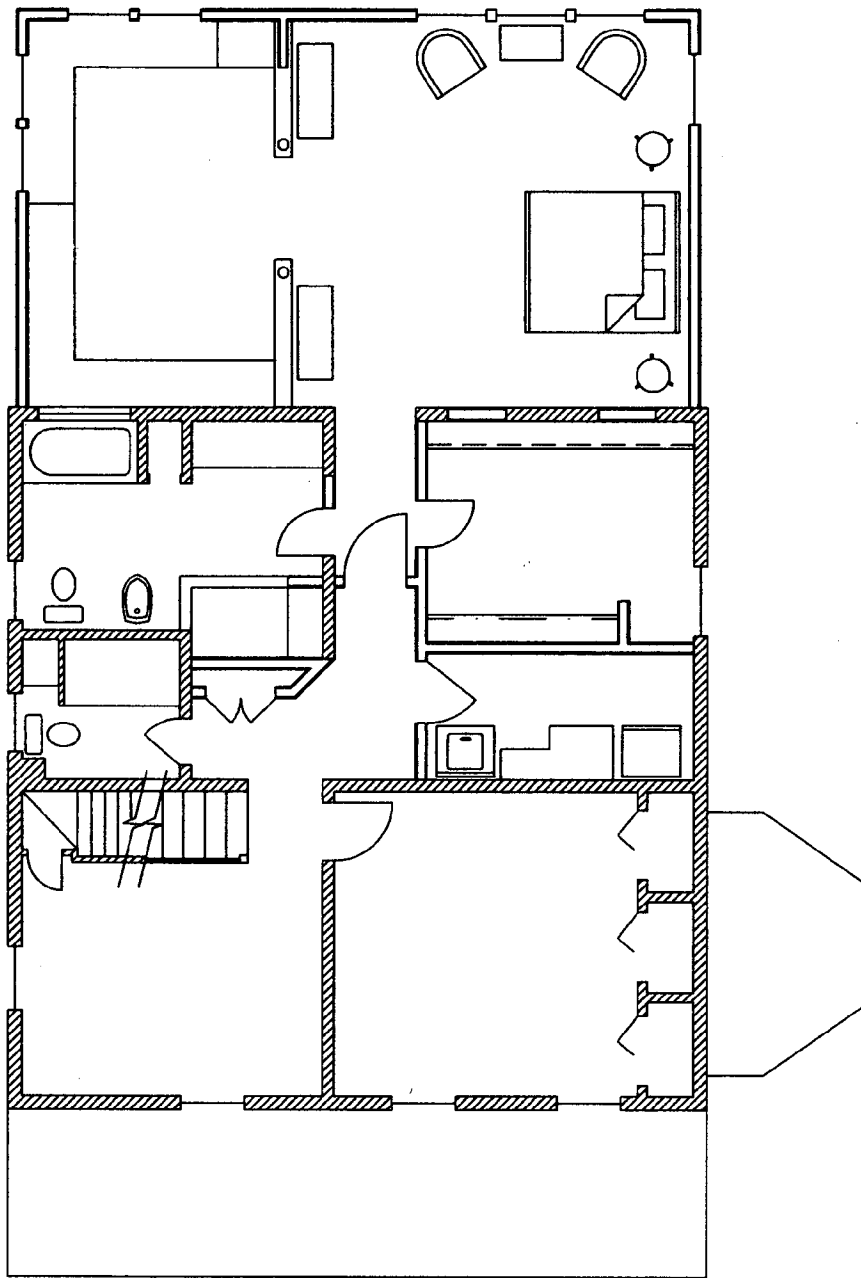


Proposed new 1st Fl.
8/1/08.



NEW M. BEDROOM SUITE

Approved



Proposed new 2nd fl.
8/1/08.

Staff item
(Anne)
HPC approved April
2007

DANA ROGERS HADEN, AIA architect

d STUDIO D

805 sligo creek parkway
takoma park, md 20912
270-5811

December 3, 2007

Dear Anne,

The project located at 7106 Poplar Ave has been revised since the approval we had in the spring. After they got some preliminary estimates and they reconsidered the restraints of the back yard, the clients decided that we needed to scale back a little bit. The previous addition came out from the back of the house 20'. Now we are looking to have the addition come out 17'. With this decrease in depth we could not accommodate the small recessed porch that we originally designed. Now we have a simple addition with a small roof projection over the door at the rear. The projection on the right side is consistent with the original but we now only have one window instead of two. Essentially the rest of the design is the same.

Please let us know the outcome of your meeting!

Thanks so much!

Dana

yes - HPC approved
12-5-07



not approved

EXTG.

NEW

1 NEW RIGHT SIDE ELEVATION
 A-3 SCALE: 1/4" = 1'-0"

Approved



1 NEW RIGHT SIDE ELEVATION
A-3 SCALE: 1/4" = 1'-0"

Proposed



Approved

1 NEW LEFT SIDE ELEVATION
A-4 SCALE: 1/4" = 1'-0"



proposed

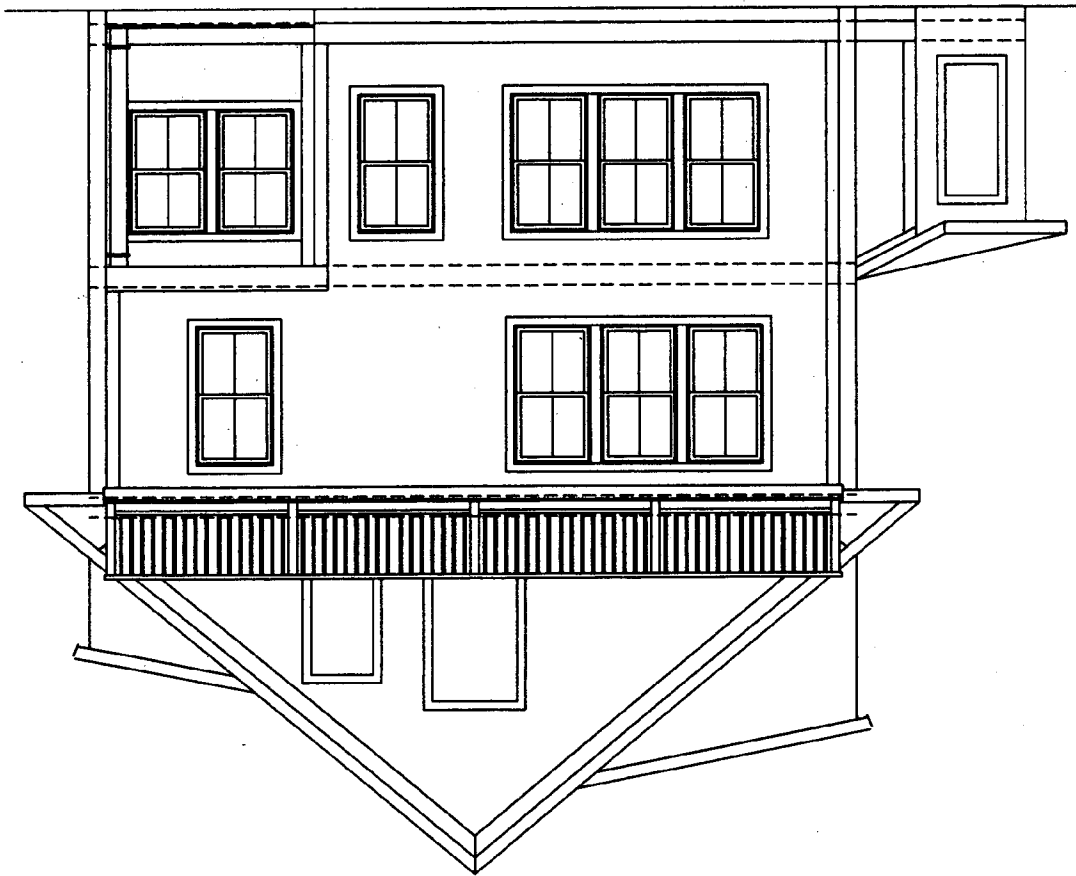
1 NEW LEFT SIDE ELEVATION
A-2
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NEW REAR ELEVATION

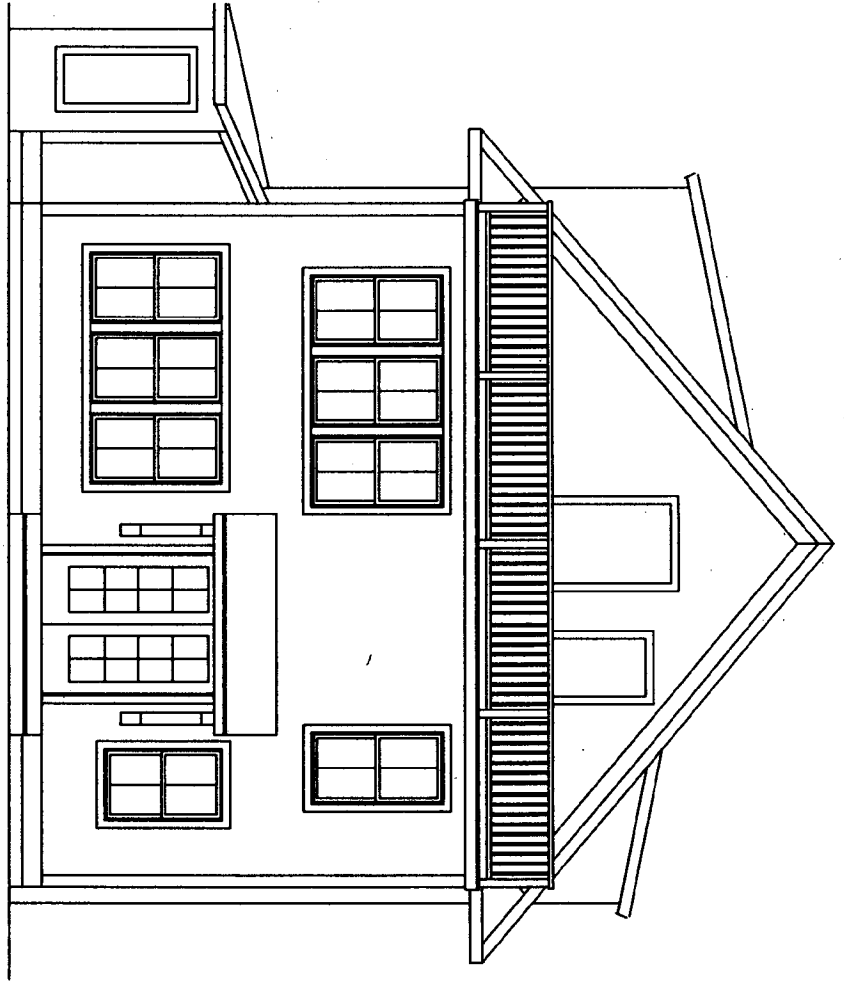
2

Approved



2 NEW REAR ELEVATION
 SCALE: 1/4" = 1'-0"

proposed



DATE: 11/11/11
 DWG: 11111111

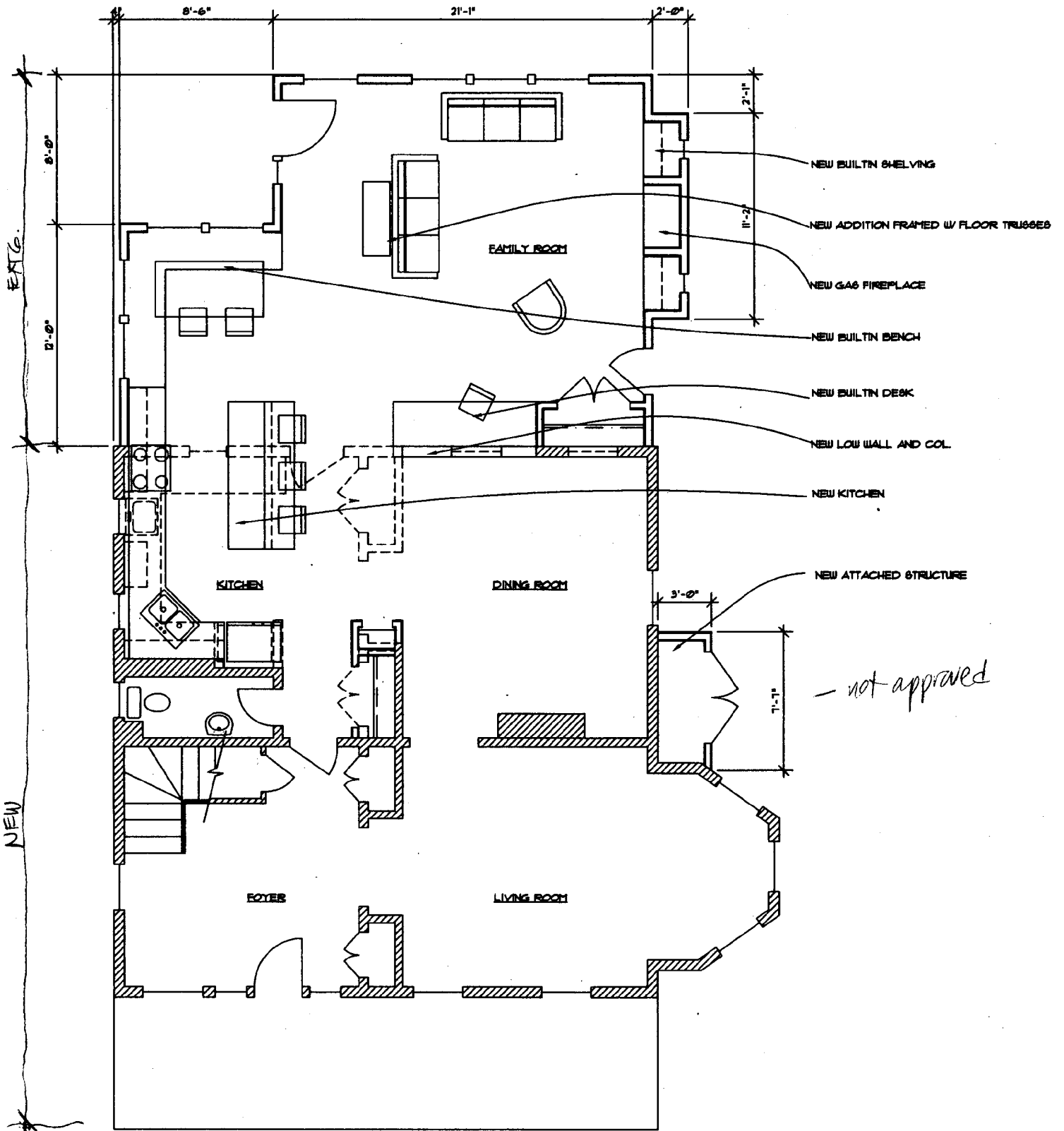
DANA ROGERS HADEN, AIA architect



STUDIO D

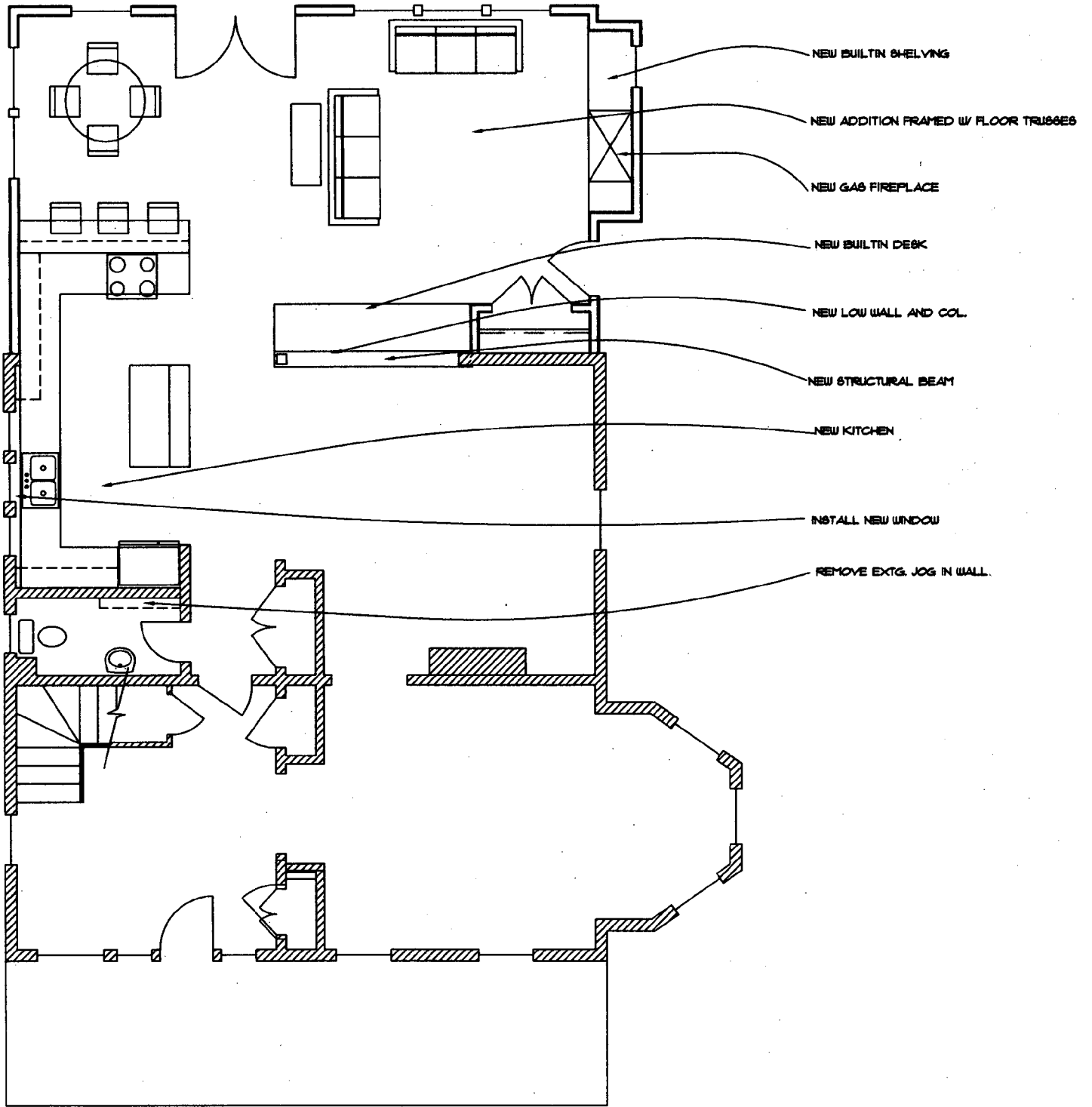
205 aligo creek parkway
 takoma park, md
 301-270-5811

ADDITION TO
 7106 POPLAR AVE.
 TAKOMA PARK, MD



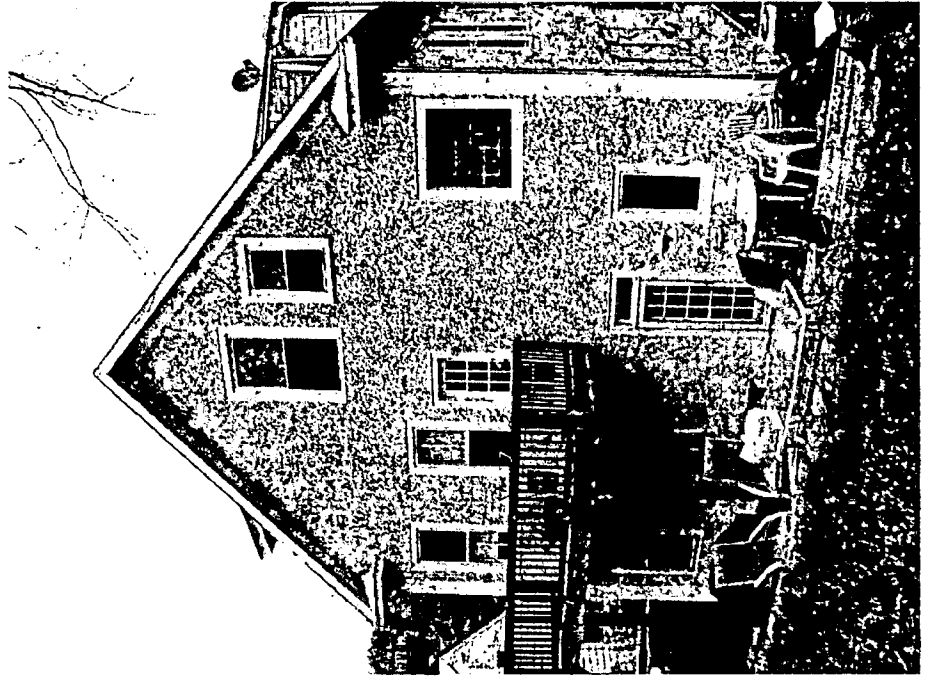
2 NEW FIRST FLOOR PLAN
 A-1 SCALE: 1/4" = 1'-0"

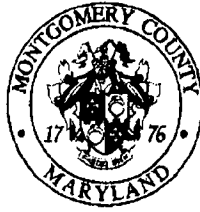
APPROVED



2 NEW FIRST FLOOR PLAN
 A-1 SCALE: 1/4" = 1'-0"

Proposed





HISTORIC PRESERVATION COMMISSION

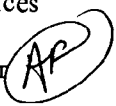
Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: April 26, 2007

MEMORANDUM

TO: Reggie Jetter, Acting Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #448800, Rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the April 25, 2007 meeting.

1. The applicant will work with the City of Takoma Park arborist on a tree protection plan and tree protection measures will be in place prior to any work beginning on the property.
2. Details of the retaining wall will come back to the HPC as a separate HAWP application.
3. The right side shed addition will not be built as proposed.
4. The rear balcony will have an inset picket railing.
5. The two small windows on the first floor of the addition at the rear right side will be enlarged to be more compatible with the house. Final design to be reviewed and approved at the staff level.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Richard Dal Bello

Address: 7106 Poplar Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
355 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20856
240-777-6176

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

Received

APPLICATION FOR HISTORIC AREA WORK PERMIT

MAR 28 2007

Contact Person: Dana Haden Consulting Services
Daytime Phone No.: 301-270-5811

Tax Account No.: 01075864

Name of Property Owner: RICHARD DAL BELLO Daytime Phone No.: 202-255-0891

Address: 7106 Poplar Ave Takoma Park MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7106 Poplar Ave Street: Poplar Ave

Town/City: Takoma Park Nearest Cross Street: Columbia

Lot: 24 Block: 20 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|---|---|---|---|--|-------------------------------|--|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input checked="" type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (completes Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden Signature of owner or authorized agent
3/27/07 Date

Approved: with 5 conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4-26-07

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

448800

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The exist. house is a 2 1/2 story structure w/ basement. It is described as vernacular, c. 1885-1900, contributing resource in the historic district. The structure is frame w/ studs.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed addition is a 2 story addition w/ a flat roof. The addition is to be hardplank studio panels. The flat roof is w/ a roof deck w/ wide porch railing. There is a small addition (1 story) on the side as well.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7106 Poplar Avenue, Takoma Park	Meeting Date:	4/25/2007
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/18/2007
Applicant:	Richard Dal Bello (Dana Haden, Architect)	Public Notice:	4/11/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-070	Staff:	Anne Fothergill
PROPOSAL:	Rear addition and other alterations		
RECOMMENDATION:	Approve with five conditions		

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this HAWP application with the following condition:

1. The applicant will work with the City of Takoma Park arborist on a tree protection plan and tree protection measures will be in place prior to any work beginning on the property.
2. Details of the retaining wall will come back to the HPC as a separate HAWP application.
3. The right side shed addition will not be built as proposed.
4. The rear balcony will have an inset picket railing.
5. The two small windows on the first floor of the addition at the rear right side will be enlarged to be more compatible with the house. Final design to be reviewed and approved at the staff level.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Vernacular
DATE: c. 1885

PROPOSAL

The applicant is proposing a two-story 20' deep (including an 8' porch at the rear left side) x 29' 7" wide addition located at the rear of this house. The addition will be inset six inches on each side and the second floor roof will be flat with a railing around it. A window will be replaced with a door on the third floor to access the new roof deck.

The applicant is also proposing a 7' 7" x 3' shed that will be attached on the right side of the existing house just behind the bay window.

The proposed materials are Hardiplank stucco panels, wood simulated divided light windows, doors and sidelights, wood trim, wood railing on the roof deck, and Hardiplank stucco panels on the new shed extension.

The applicant has met with the City of Takoma Park arborist and will apply for a tree protection permit. Appropriate tree protection measures will be in place prior to construction.

See proposed plans in Circles 7-15 and photos of the house in Circles 16-23.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as “they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.”

The *Guidelines* state that the following factors are to be considered in reviewing Contributing Resources:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed addition is located at the rear, the materials are appropriate for this resource, and the addition does not increase the lot coverage excessively or require any tree removal. Generally the HPC likes to see differentiation in design, and this is achieved with the addition inset from the historic house on the sides, the lower roofline, and the different materials.

The window in the house that is to be replaced with a door is located at the back of the third floor and, while the Commission generally does not support removal of windows, because this is a Contributing Resource there is more leniency allowed in the review of these alterations and staff supports the change.

One area of concern is the rear right side of the new addition where two very small windows are proposed. These seem not to be in keeping with the historic house and even though they are located towards the back of the house, staff would recommend that their design be revised and submitted to staff for approval.

Staff has recommended a condition of approval that the new railing for the roof deck be a wood inset picket railing.

Since a substantial alteration will be made at the back of the house, staff does not support a shed addition to the side of the historic house. Staff has recommended that the shed not be attached to the historic house. The applicant could propose a shed attached to the new addition or a detached shed and most likely that would be recommended for approval.

Staff discussed the retaining wall with the architect and since they do not know the details for that installation at this time, they will return to the HPC with a separate application for the wall.

The applicant has already met with the City arborist and staff is recommending the tree protection condition of approval.

The proposal is compatible with the District's *Guidelines* and the Secretary of the Interior's *Standards for Rehabilitation*. Staff recommends approval with three conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8
Received

HISTORIC PRESERVATION COMMISSION
301/563-3400

MAR 28 2007

APPLICATION FOR HISTORIC AREA WORK PERMIT

Department of Permitting Services

Contact Person: Dana Haden
Daytime Phone No.: 301-270-5811

Tax Account No.: 01075864

Name of Property Owner: RICHARD DAL BELLO Daytime Phone No.: 202-255-0891

Address: 7106 Poplar Ave Takoma Park MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7106 Poplar Ave Street: Poplar Ave

Town/City: Takoma Park Nearest Cross Street: Columbia

Lot: 24 Block: 20 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden
Signature of owner or authorized agent

3/27/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

448800

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The orig. house is a 2 1/2 story structure w/ basement. It is described as vernacular, c. 1885-1900, contributing resource in the historic district. The structure is frame w/ stucco.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed addition is a 2 story addition w/ a flat roof. The addition is to be hardplank stucco panels. The flat roof w/ use a roof deck w/ w/2 porch railing. There is a small addition (1 story) on the side as well.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

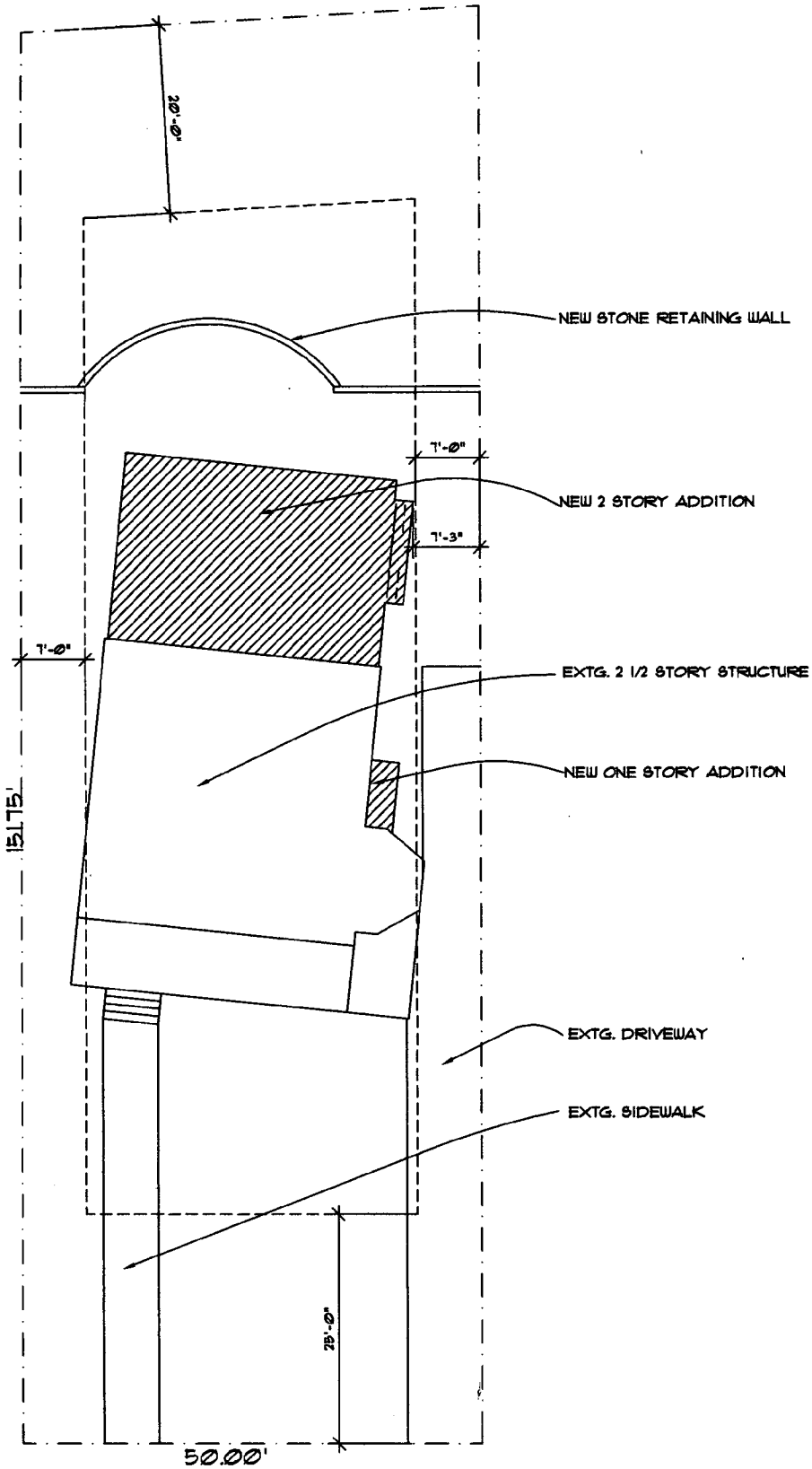
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

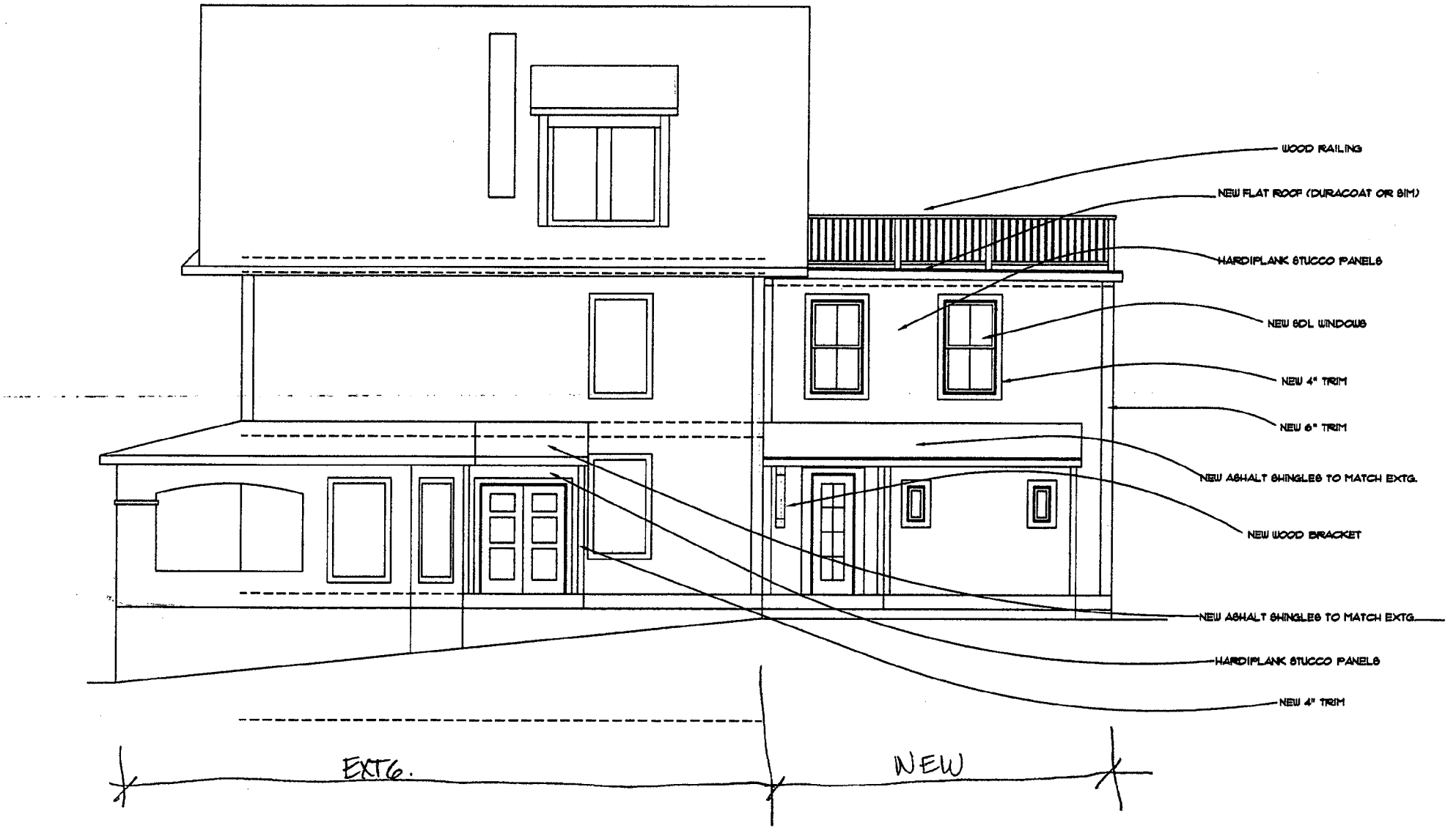
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



1 SITE PLAN
 CO SCALE: 1" = 10'-0"



1 NEW RIGHT SIDE ELEVATION
 A-3 SCALE: 1/4" = 1'-0"

27



1 NEW LEFT SIDE ELEVATION
A-4 SCALE: 1/4" = 1'-0"

6



1
EX-4

EXTG. REAR ELEVATION

SCALE: 1/4" = 1'-0"

10

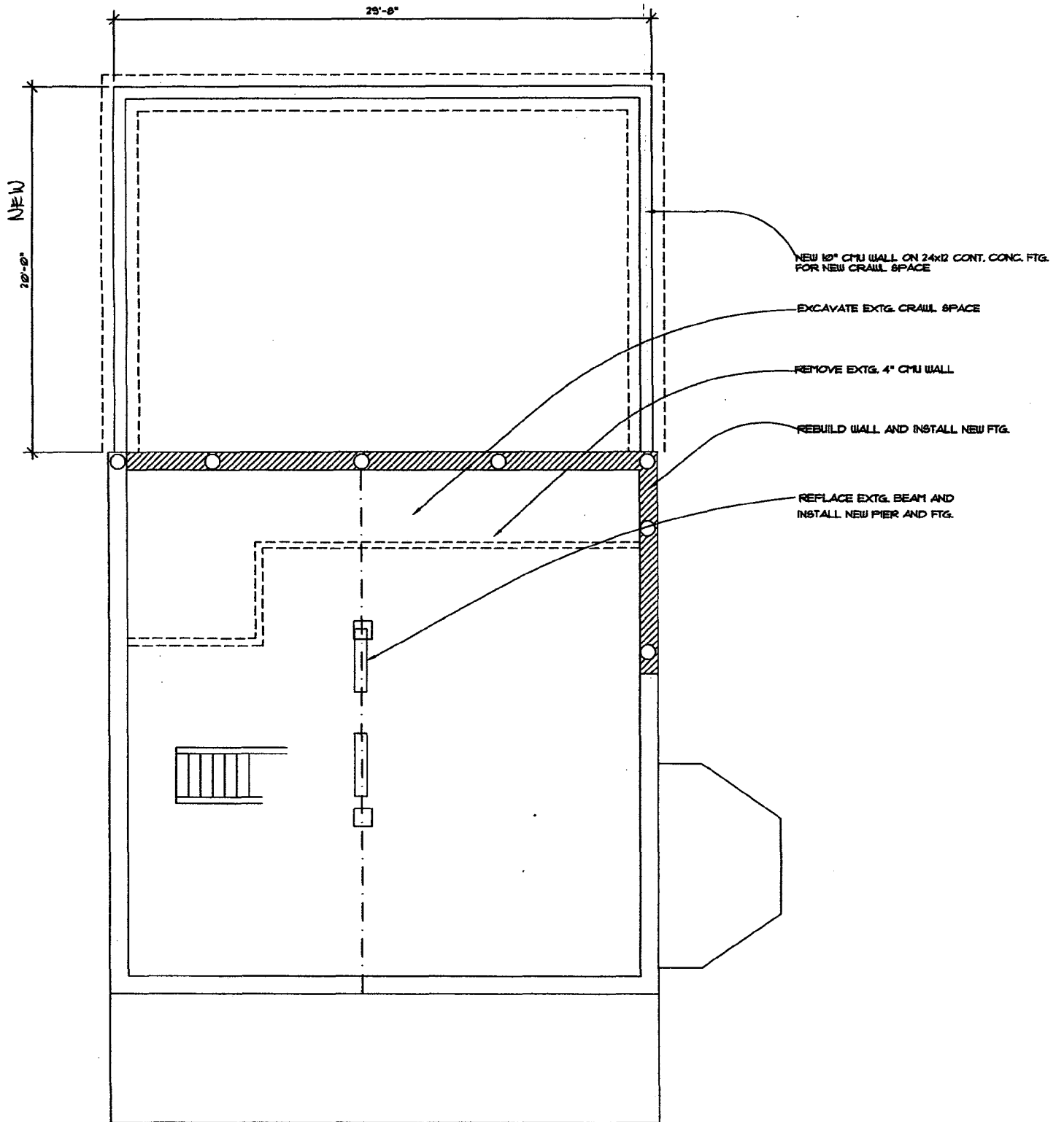


2
A-3

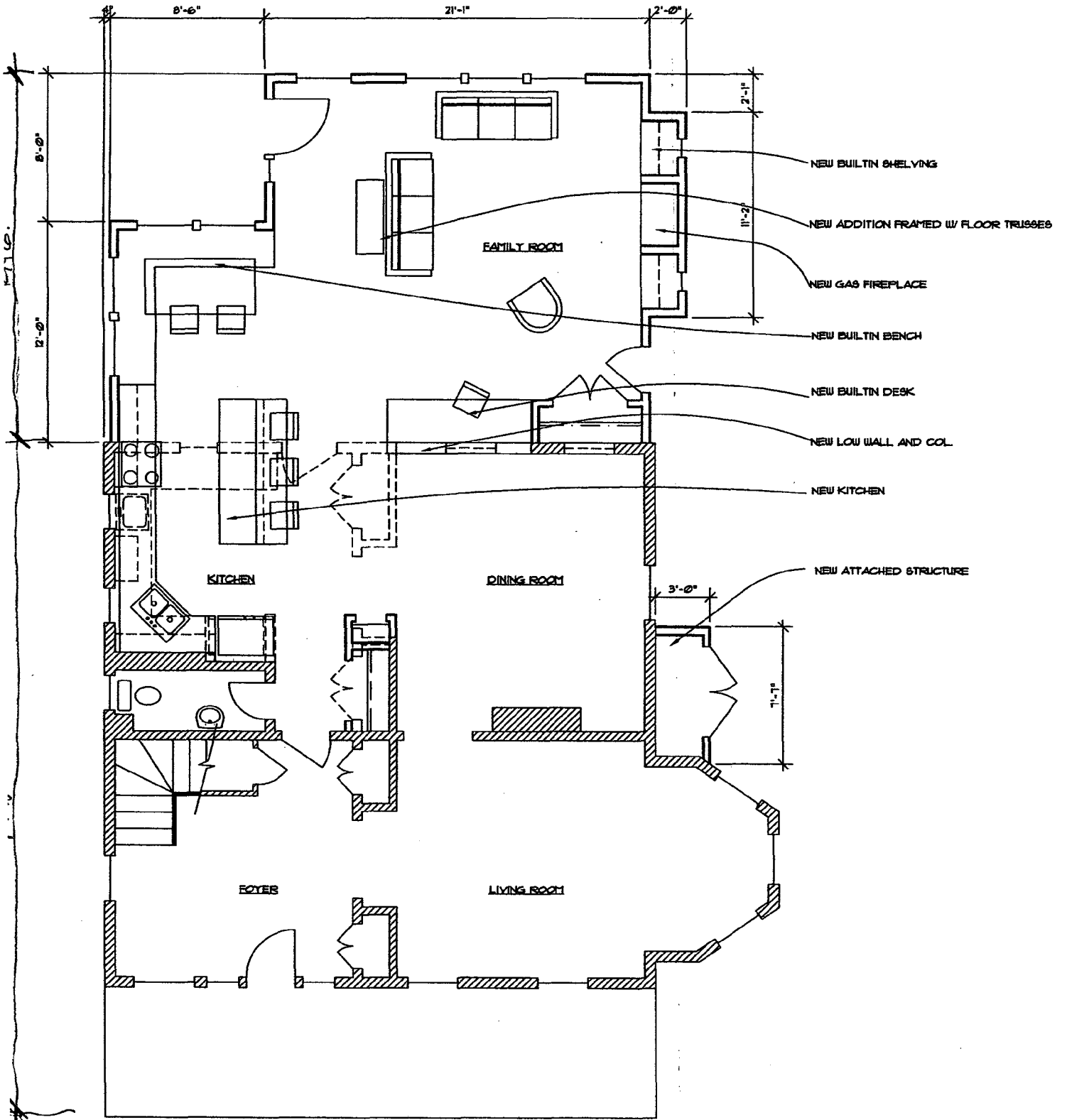
NEW REAR ELEVATION

SCALE: 1/4" = 1'-0"

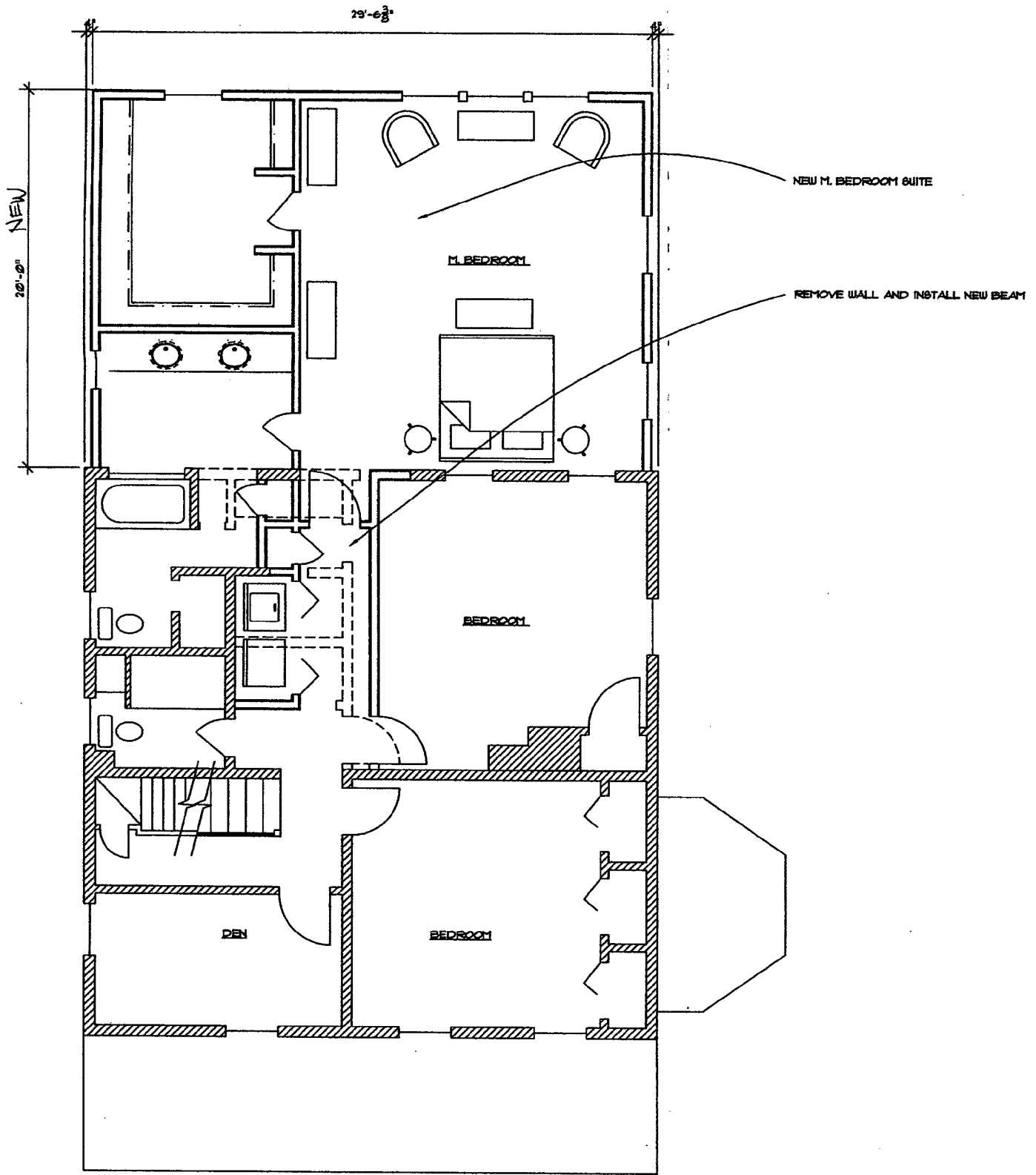
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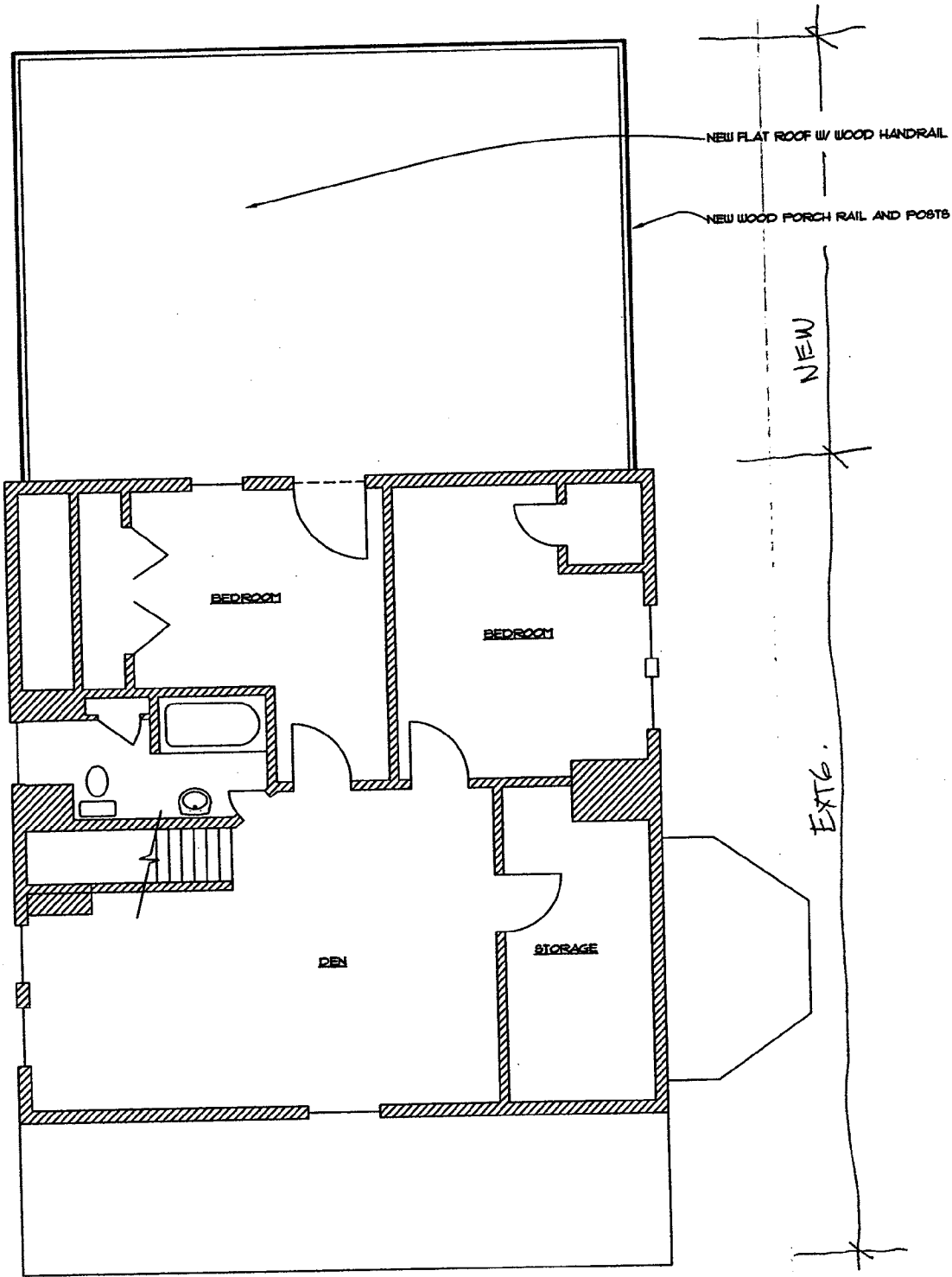
1 NEW BASEMENT PLAN
 A-1 SCALE: 1/4" = 1'-0"



2 NEW FIRST FLOOR PLAN
 A-1 SCALE: 1/4" = 1'-0"



1 NEW SECOND FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"



2 EXTG. THIRD FLOOR PLAN
 EX-2 SCALE: 1/4" = 1'-0"

7106 Poplar

FRONT & RIGHT SIDE ELEVATION



7106 Poplar

REAR ELEVATION



7106 POPLAR

FRONT ELEVATION



7106 POPLAR

REAR ELEV.



7106 POPLAR

~~LEFT~~ SIDE







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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 7106 POPLAR AVE. TAKOMA PARK, MD 20912	Owner's Agent's mailing address 805 SLIGO CREEK PKWY TAKOMA PARK, MD 20912
Adjacent and confronting Property Owners mailing addresses	
ED ETHEL BARILE 10 HICKORY AVE. TAKOMA PARK, MD 20912	KENDALL WRIGHT 7108 POPLAR AVE. TAKOMA PARK, MD 20912
KENNETH NORKIN 14 HICKORY AVE. TAKOMA PARK, MD 20912	THOMAS KENNEY 7107 POPLAR AVE. TAKOMA PARK, MD 20912
RAYMOND HILL 7104 POPLAR AVE. TAKOMA PARK, MD 20912	RUBY WENDALL 7105 POPLAR AVE. TAKOMA PARK, MD. 20912

DAL BELLO RESIDENCE

REAR RETAINING WALL REPLACEMENT

7106 POPLAR AVENUE TAKOMA PARK MD

EMI ENGINEERING
STRUCTURAL ENGINEERING

6133 WESTOVER DRIVE
OAKLAND, CA 94611
TEL 510 482 0485
FAX 510 482 0485

ROSEANN
DAL BELLO
LANDSCAPE
ARCHITECT

PO BOX 973
WOODACRE CALIFORNIA
94973

DAL BELLO
RETAINING
WALLS

7106 POPLAR AVENUE
TAKOMA PARK, MD 20912

Issuances and Revisions

No. Date and Description

APPROVED
Montgomery County
Historic Preservation Commission

Sheet Title

Project Number 10-02

Date 10-29-10

Scale

Sheet Number

GENERAL NOTES

- ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE UNIFORM BUILDING CODE 1997 EDITION, AS AMENDED IN TITLE 24 PART 2 OF THE 2001 CALIFORNIA CODE OF REGULATIONS, INCLUDING APPENDIX CHAPTER 16, DIVISION II, APPENDIX CHAPTER 29, APPENDIX CHAPTER 33 AND APPENDIX CHAPTER 34, DIVISION III.
- PROVIDE ALL MEANS NECESSARY TO PROTECT THE EXISTING STRUCTURE TO REMAIN DURING THE COURSE OF CONSTRUCTION. MEASURES INCLUDE BUT ARE NOT LIMITED TO BRACING, SHORING, OR WEATHERIZING THE EXISTING STRUCTURE ALSO PROVIDE PROTECTION FROM DAMAGE AND SOILING DURING THE SELECTIVE DEMOLITION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES, AND GRADES IN THE FIELD AND SHALL REPORT ANY DISCREPANCIES OR CONFLICTS TO THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH WORK.
- THE CONTRACTOR SHALL EXAMINE THE EXISTING SITE CONDITIONS AND COMPARED THOSE CONDITIONS TO THOSE SHOWN IN THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL BE SATISFIED AS TO THE CONDITIONS WHICH THE WORK SHALL BE PERFORMED. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR FAILURE OF THE CONTRACTOR TO ACQUAINT THEMSELVES WITH THE EXISTING SITE CONDITIONS.
- DO NOT USE SCALED DIMENSIONS, ONLY USE WRITTEN DIMENSIONS OR WHERE NO DIMENSIONS ARE PROVIDED, CONSULT WITH THE ENGINEER FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK.
- WHERE DISCREPANCIES OCCUR BETWEEN THE PLANS AND DETAILS AND THE ADOPTED CODE, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER FOR RESOLUTION PRIOR TO COMMENCING THE WORK.
- CONSTRUCTION WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICES FOR ALL THE TRADES INVOLVED IN THE WORK. CONTRACTORS SHALL PROVIDE ALL ITEMS REGULARLY FURNISHED OR REQUIRED FOR COMPLETION OF THE WORK ACCORDING TO THESE STANDARD PRACTICES.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK.
- 'REMOVE AND SALVAGE' SHALL MEAN THE ITEMS INDICATED TO BE SALVAGED WILL REMAIN ON SITE. THE CONTRACTOR SHALL REMOVE THE ITEMS WITHOUT DAMAGING THEM AND CAREFULLY STACK OR STORE THEM WHERE DESIGNATED BY THE OWNER.
- 'REMOVE AND REINSTALL' SHALL MEAN REMOVE, CLEAN AND PREPARE THE ITEM FOR REUSE, STORE AND PROTECT THE ITEM UNTIL REUSE IN THE PROJECT.
- ALL ITEMS SHOWN ON THE DRAWINGS ARE NEW UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND UNSUITABLE MATERIALS GENERATED BY THE CONSTRUCTION OPERATION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE.

PROJECT DATA

DESCRIPTION

ADDRESS: 7106 POPLAR AVENUE
CITY: TAKOMA PARK, MD
APN: LOT 24 BLOCK 20
LOT AREA: 7656
BLDG FOOTPRINT: 1480
COVERAGE: .19

EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE

OCCUPANCY: R-3

FIRE SPRINKLERS:

ZONE: R-60
FIRE ZONE: NOT APPLICABLE
FLOOD ZONE: NOT APPLICABLE

SETBACKS

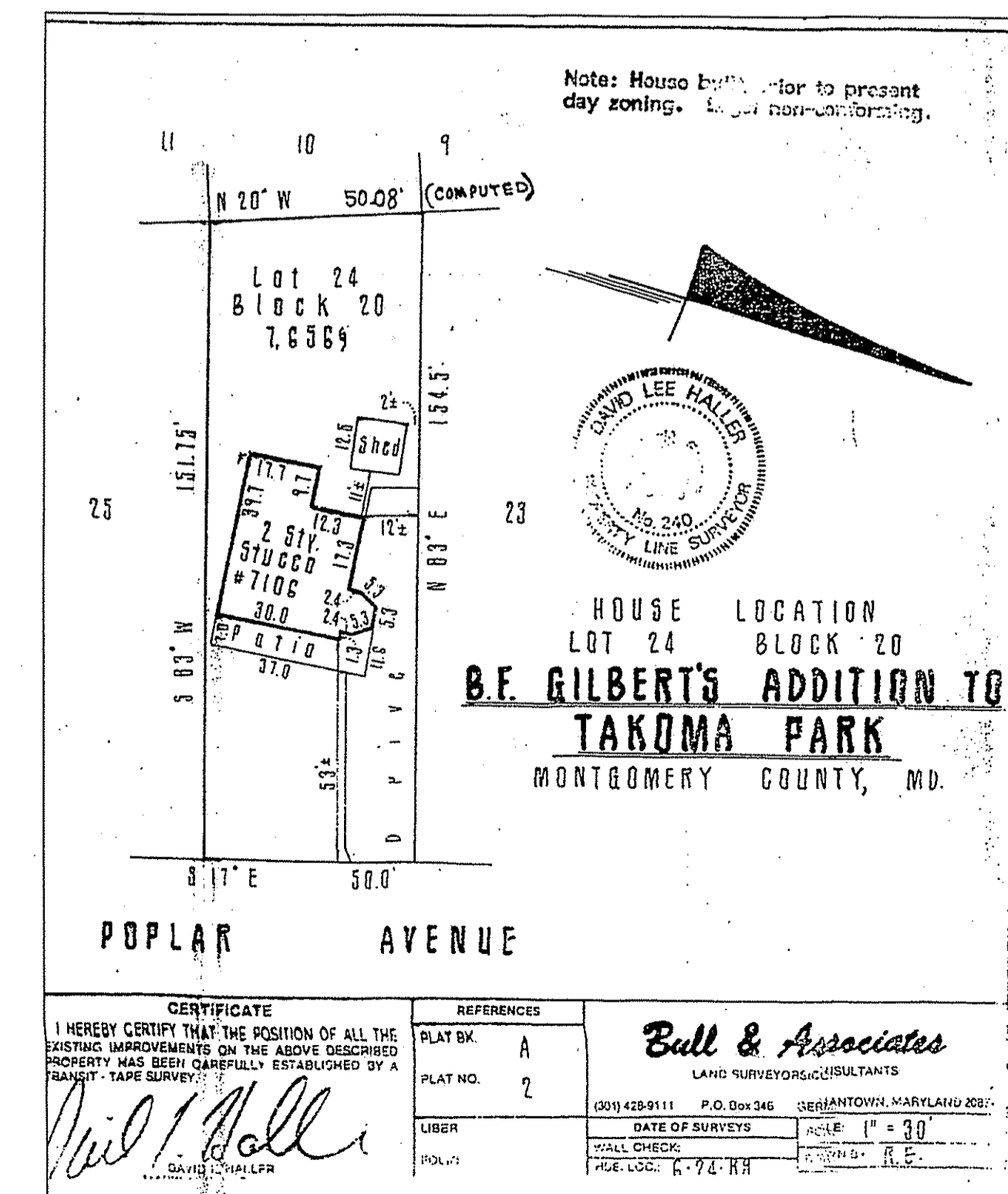
FRONT: NOT APPLICABLE (EX. RESIDENCE NO FLOOR AREA ADDED)
SIDE: NOT APPLICABLE (EX. RESIDENCE NO FLOOR AREA ADDED)
REAR: NOT APPLICABLE (EX. RESIDENCE NO FLOOR AREA ADDED)

ON SITE PARKING: 2 SPACES

ACCESSORY BUILDING: NONE

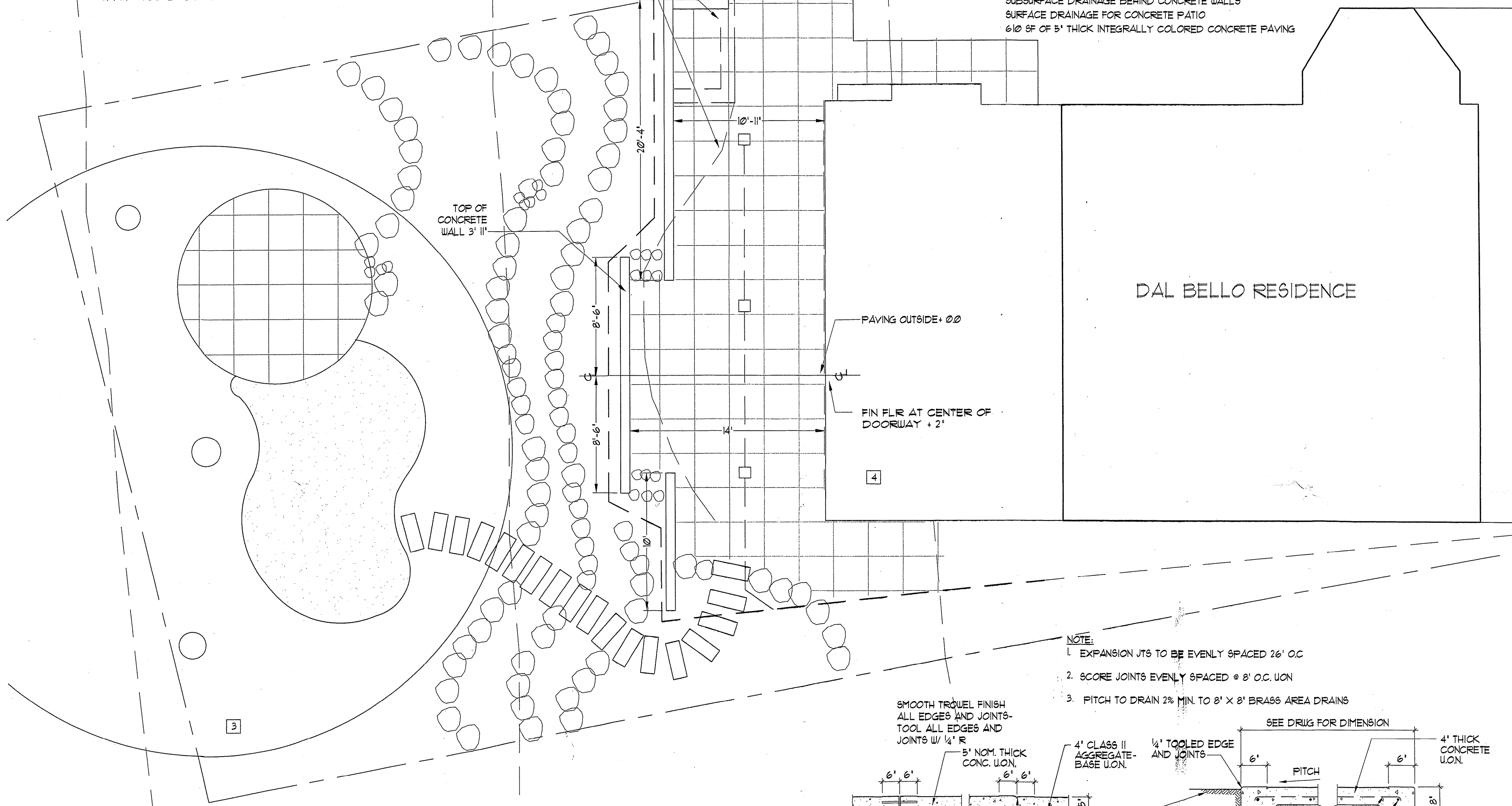
SHEET INDEX

SHEET NUMBER	SHEET TITLE
T-1	TITLE SHEET
L-1	SITE PLAN
S 0	STRUCTURAL NOTES, TYPICAL DETAILS
S 1	RETAINING WALL DETAIL



PHASE 2 N.I.C.
 18' HIGH DRY STACK STONE WALLS
 STONE STEPS TO UPPER YARD
 UPPER YARD LANDSCAPING

PHASE 1
 17 LF 3'-11" HIGH INTEGRALLY COLORED CONCRETE RETAINING WALLS
 32 LF 3'-6" HIGH INTEGRALLY COLORED CONCRETE RETAINING WALLS
 SUBSURFACE DRAINAGE BEHIND CONCRETE WALLS
 SURFACE DRAINAGE FOR CONCRETE PATIO
 610 SF OF 5" THICK INTEGRALLY COLORED CONCRETE PAVING



EMI ENGINEERING
 STRUCTURAL ENGINEERING
 6133 WESTOVER DRIVE
 OAKLAND, CA 94611
 TEL 510 482 0485
 FAX 510 482 0485

ROSEANN
 DAL BELLO
 LANDSCAPE
 ARCHITECT

PO BOX 973
 WOODACRE CALIFORNIA
 94973

**DAL BELLO
 RETAINING
 WALLS**

7106 POPLAR AVENUE
 TAKOMA PARK, MD 20912

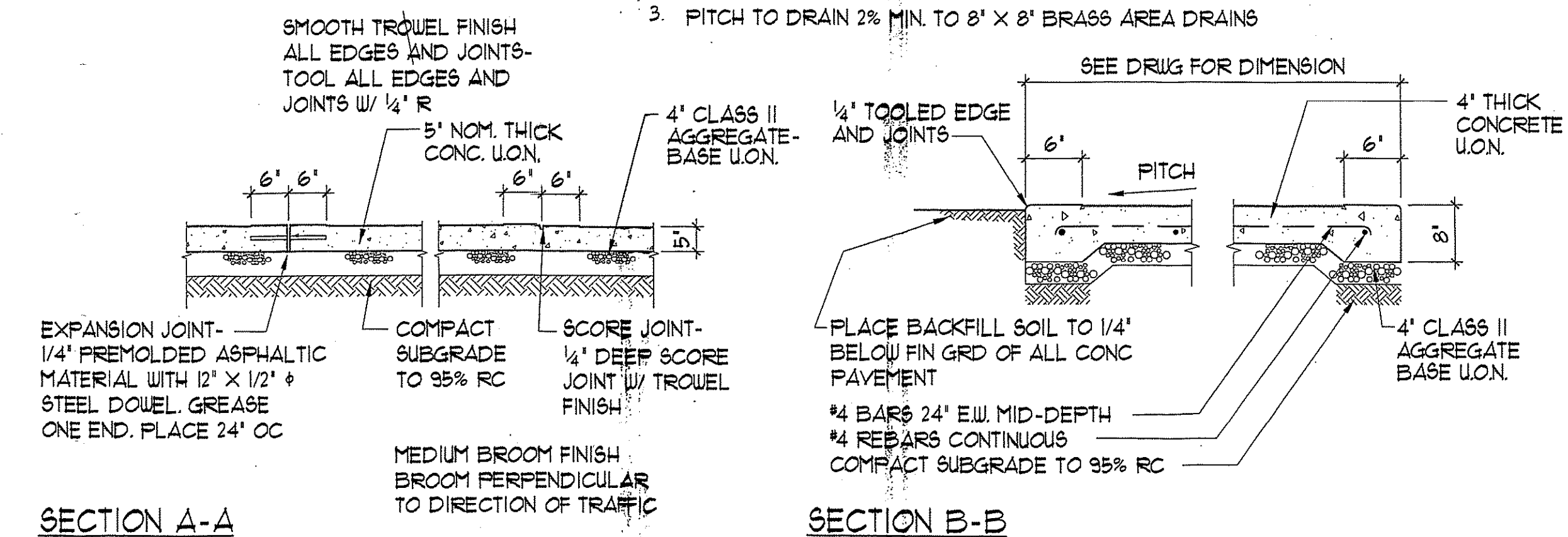
Issuances and Revisions
 No. Date and Description

APPROVED
 Montgomery County
 Historic Preservation Commission

KEYNOTES

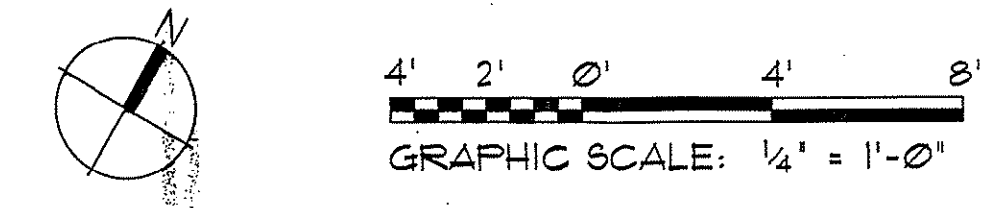
- 1 REMOVE EXISTING CONCRETE RETAINING WALL
- 2 EXCAVATE EXISTING SLOPE AS REQUIRED FOR RETAINING WALL CONSTRUCTION. PROTECT CRITICAL ROOT ZONE OF TREE
- 3 CRITICAL ROOT ZONE - 22' FROM EXISTING TREE
- 4 CONCRETE PAVING - INSTALL AS PER DETAIL 1 SHEET L-1

- NOTE:**
- 1. EXPANSION JTS TO BE EVENLY SPACED 26' O.C.
 - 2. SCORE JOINTS EVENLY SPACED @ 8' O.C. U.O.N.
 - 3. PITCH TO DRAIN 2% MIN. TO 8" X 8" BRASS AREA DRAINS

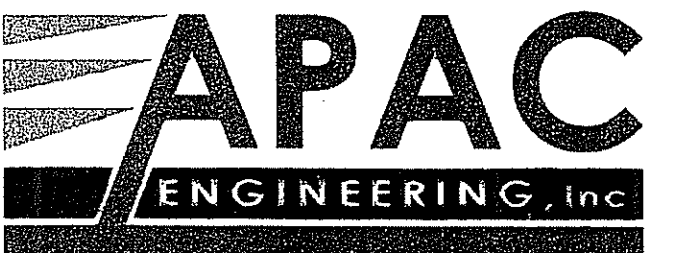


SECTION A-A
CONCRETE PAD AND PAVEMENT DETAIL
 N.T.S.

SECTION B-B
 L669PAVE



Sheet Title
 Project Number 10-02
 Date 10-29-10
 Scale
 Sheet Number

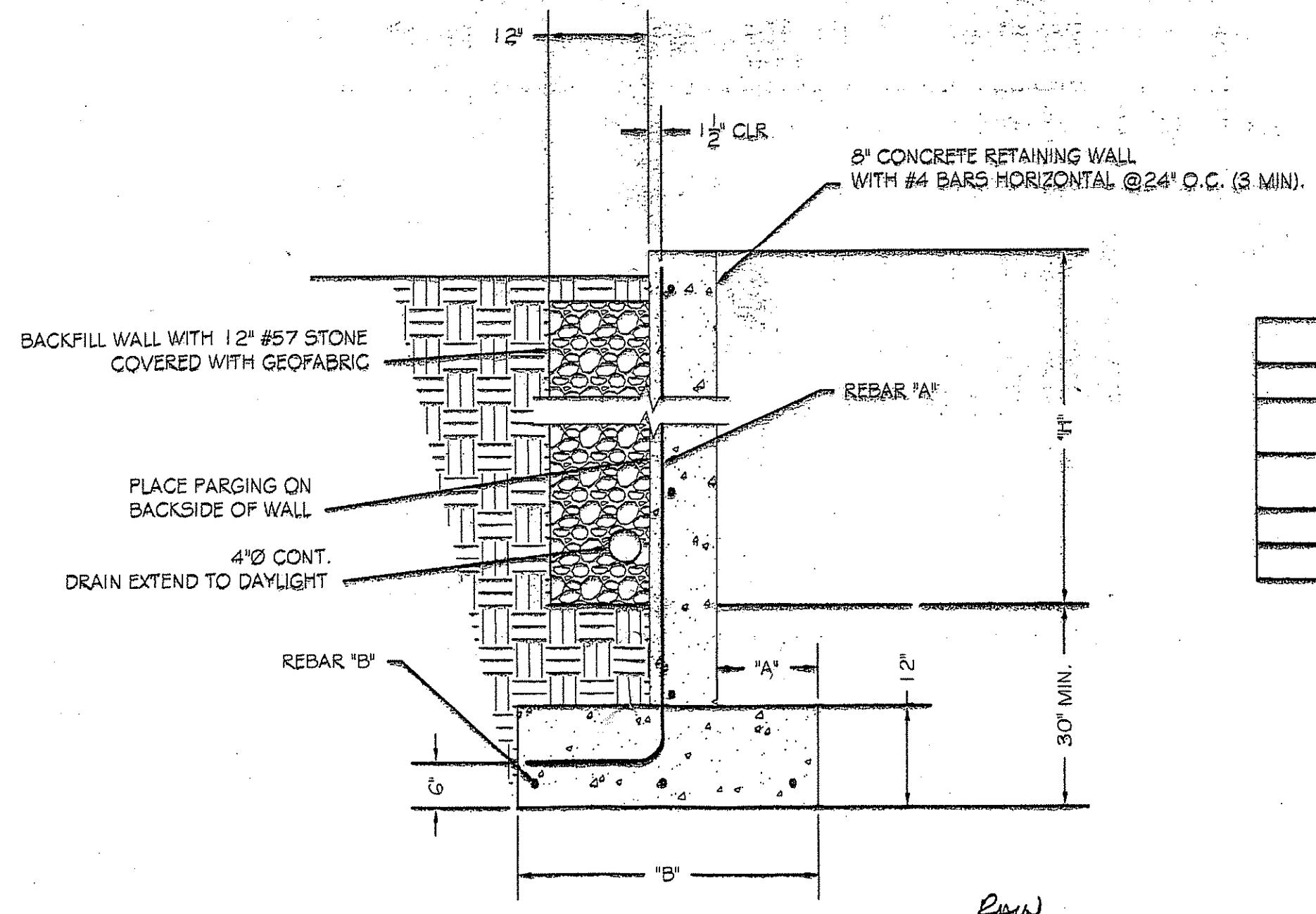
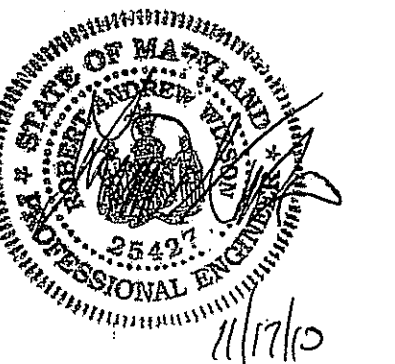


2110 Seminary Road
Silver Spring, MD 20910

301-565-0543
301-565-0849 (fax)

No.	Revision / Issue	Date
01		

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23427, Expiration Date: 7/17/12.

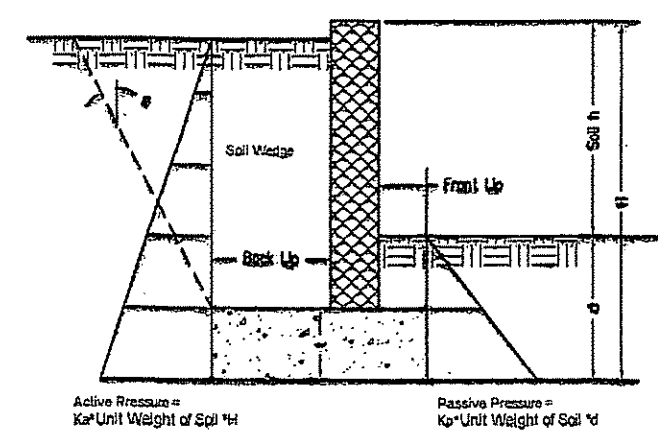


Typical Cons. Retaining Wall Detail
Scale: 1/2" = 1'-0"

RETAINING WALL SCHEDULE				
Ht	A	B	REBAR 'A'	REBAR 'B'
4'-0"	8"	2'-8"	#4 BARS @ 18" O.C.	3-#4 BARS
2'-6"	6"	2'-4"	#4 BARS AT 24" O.C.	3-#4 BARS

Unit Weight of Soil	120 pcf			
Angle of Internal Friction	27 degrees			
Ka (Active Pressure)	0.376			
Kp (Passive Pressure)	2.66			
Overturning		Sliding		
Soil h =	4 Ft	Coefficient of Fric.	0.5	
Active P =	45.1 PCF	Passive P	638 lbs	
Footing d =	2 Ft	Vertical L	2485 lbs	
Footing t =	1 Ft	Friction =	1256 lbs	
w =	270 pcf	Ph =	811 lbs	
Met =	1822 lb-ft	Rt resistance =	1858 lbs	
		F.S. =	2.3	
Resistance		Bearing		
Footing w =	2.67 Ft	Pv	e	M
Front Lip	0.67 Ft	Wall	503	0.33
Back Lip =	1.33 Ft	Footing	400.5	0
Weight of Wall	500 pcf	Soil	1562	-0.67
at	1.0 Ft	Overturning		-1047
Weight of foot	400.5 pcf	Passive		428
at	1.33 Ft	Total	2465	315
Weight of Soil =	1562 lbs	Stress =	1.19 cu/ft/R	
at	2.00 Ft	A =	2.67	
Mres =	4172	Bp =	1189 PSF	
F.S. =	2.67			
		Bp =	1189 PSF	
Wall Design				
Mu =	1596 lb-ft/R			
d =	6.250 in			
PhiR =	45 pcf			
Rho =	0.0011			
Asreq =	0.080 sqin/ft			
Use #4 Bars at 18" O.C.				

Structural Calculations

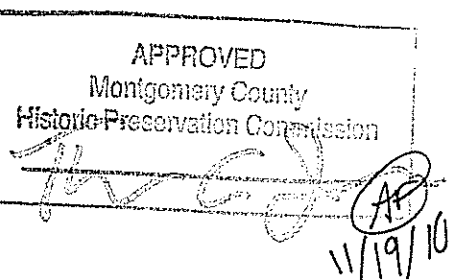


Structural Notes

- All work and materials to comply with the requirements of the 2009 Eds. of IBC and IRC as revised by Montgomery County.
- Codes: the following design standards are applicable by reference: ACI 308-8R/ASCE 5-88 Building Code Requirements for Masonry Structures, AISC - Timber Construction Manual - fifth Ed., ACI 318-05 Building Code Requirements for Reinforced Concrete, AISC - Manual of Steel Construction Ninth Ed.
- Foundations: footings, underpinning and slabs on grades are designed to bear on native soil with an allowable bearing pressure of 2000 pcf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
- Masonry:
 - Masonry construction shall be in conformance with the applicable sections of ACI 308-8R/ASCE-88, "Specifications for Masonry Structures."
 - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000 psi and Fm = 1500 psi.
 - All joints to be filled solid with mortar.
 - Mortar to comply with ASTM C270 (type M or S).
 - Place masonry joints and expansion joints per the IRC Code.
 - Place horizontal brass style reinforcement at 18" O.C. vertically.
- Cast in place concrete:
 - Concrete construction shall be in conformance with the applicable sections of ACI 318-05, "Part 3 - Construction Requirements."
 - Concrete shall have a minimum compressive strength at 28 days of 3000 psi, UNO (unless noted otherwise).
 - All concrete shall be placed with a slump of 4" (± 1").
 - All concrete shall be normal weight, UNO.
 - All concrete shall have 6% ± 1% entrained air.
 - Concrete cover for reinforcement shall be:

Columns and beams	1 1/2"
Slabs	1"
Footings	3"
- Reinforcement:
 - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60 ksi).
 - Welded wire fabric (w/f) shall conform to ASTM A186. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: the contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades.

The Dalbello Residence
7106 Poplar Avenue
Takoma Park, MD 20912



Retaining Wall Detail

Drawn By: RAW
Date: 11-17-10
Scale: As Noted

S1

7106 Poplar

FRONT & RIGHT SIDE ELEVATION



7106 POPLAR

REAR ELEVATION



7106 POPLAR

FRONT ELEVATION



7106 POPLAR

REAR ELEV.



7106 Poplar

~~LEFT~~ SIDE



7106 Poplar

FRONT & RIGHT SIDE ELEVATION





7106 Poplar

REAR ELEVATION

7106 FORAR

FRONT ELEVATION



7106 POPLAR

REAR ELEV.



7106 POPLAR

~~LEFT~~ SIDE

