

7333 Piney Branch Rd.
Takoma Park

HAWP
37/3-08BB



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 06/02/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill *AF*
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #484628 – Fencing installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 28, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Patricia Barth
Address: 733 Piney Branch Road, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Patricia Barth / Ed Scorza
Daytime Phone No.: 301-613-2189 / 301-986-2323

Tax Account No.: 16 13 01066197

Name of Property Owner: Patricia Barth Daytime Phone No.: 301-613-2189 cell 301-585-2189 house

Address: 7333 Piney Br Rd. Takoma Park MD 20912
Street Number City State Zip Code

Contractor: Clinton Fence Phone No.: 301-843-1108 / 301-758-7600

Contractor Registration No.: MHIC # 1705

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7333 Piney Br Rd and adjacent lot Street: Piney Branch Road

Town/City: Takoma Park Nearest Cross Street: Philadelphia Avenue

Lot: 38+39 Block: 12 Subdivision: Brashears 25

Liber: _____ Folio: _____ Parcel: Sub Takoma Parcel K CT 069-73

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 4700

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patricia Barth
Signature of owner or authorized agent

4/15/08
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6-2-08

Application/Permit No.: # 484628 Date Filed: 5/7/08 Date Issued: _____

Man Coy 244788

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

4 Square house built 1922 with addition built 2007 extending back and to the side of the original house. Asbestos siding removed from original house and wood siding and shakes repaired and painted as necessary. All permits obtained - all work complete. House is within Takoma Park Historical District and is an example of 4 square type home.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

5 foot high wood picket fence - pressure treated wood - Contract for fence with specifics attached. Fence is entirely within property. It does extend from the house lot into the empty lot owned by Patricia Barth as well. It is not on a property line. It is entirely adjacent to and attached to the addition - not the original house.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included in your design drawings.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

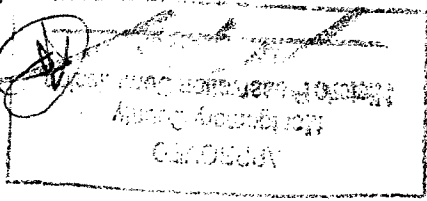
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7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

80-29



Drops down hill
to buried stream bed
and fence top of rd
millside on lot 39

1/4

LOT 39
258'-0"
263'-0"

47'

34

17'

23

12

12

34

22'

19'

DRIVEWAY

HOUSE

ADDITION

PARK

274'-0"

LOT 38

N SITE PLAN

(301) 843-1108

Clinton Fence Co., Inc.

CONTRACT # _____



MHIC #1705
DC 551
VA 021688

2630 Old Washington Road - Waldorf, Maryland 20601
(301) 843-1108 - (301) 843-5001 Fax

Contacted from VP, NP, Int. PB

Other _____

D.L.# _____

BUYER'S NAME: Edwin Sorza

STREET: 7333 Piney Branch Rd.

CITY: Takoma Park MD ST: MD ZIP: 20912

HM PH: 301-585-2189 WK PH/MR: _____ MS: 301-986-2323

CELL PH: 301-641-7340 LEAD# _____

Clinton Fence Company, Inc. (herein called Seller) proposes to furnish materials, labor and equipment to install: _____ Date: 7/15/08

per Attached Drawing

PERMIT COUNTY <u>+100</u>	PERMIT TOWN <u>Customer</u>	UTILITIES	CLEARING <u>Customer</u>	SOURCE	PAGE/GRID	CROSS ST.
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Approximately 210' of 60" high 1X4" Flat Top Oval Mt. Vernon Dip Top

Perm. Lattice Top other Day-eared picket, style fencing. Bracket face nail 1 x 4 Capboard

The vertical boards pickets of the fence sections are to be: flat, dog eared colonial gothic gothic Sawn Point

other _____ . Boards to Face in out. Fence to be stepped yes no

Line posts are 4 x 4 8'. The posts are to be capped with Harbor "H" caps. There are 3ea. 2 x 4 horizontal runners.

The gate posts are 6 x 6 x 0'. The gate posts are capped with Harbor "H" caps

All wood to be ACQ pressure treated Pine with Weather Preserve Plus, unless otherwise specified. _____ other

There is/are to be 2 single gate(s) 48" wide x 60" high. The gate is to have a: Flat Top Solid Arched Top Mt. Vernon

There is/are to be 0 double drive gate(s) _____ wide X _____ high. The gate is to have a: Flat Top

Solid Arched Top Mt. Vernon. All gates are to include hardware.

Gates to be constructed with 2 x 4 cedar horizontal supports. All posts are to be 30" - 36" in the ground set in cement.

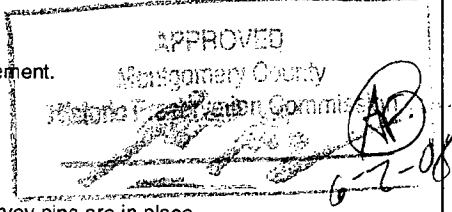
Seller will obtain / will not obtain County City Permits DE County

Seller will take down / will not take down and haul old fence of approximately 0 feet.

buyer to supply Seller with copy of house plat. (For permit use only) Buyer responsible for property lines if no survey pins are in place.

Property pins exposed? yes no Buyer to stake? yes no Order Survey? yes no.

Additional options: _____



APPROXIMATE START/COMPLETION DATE:	CREDIT CARD#	EXP. DATE:	CHECK #:
------------------------------------	--------------	------------	----------

Installation	Material	Tax
--------------	----------	-----

(\$ 1700.00) deposit with order, net balance of (\$ 1700.00) due on date of installation. Please pay our Foreman.

You, the buyer may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Contract subject to management acceptance within 72 hours. Customer has read this contract in its entirety and accepts all terms and conditions stated within. Customer understands they will not receive a bill and the entire balance is due upon completion.

Clinton Fence Co., Inc. By _____ Signature _____

License No. _____ Date _____ Signature _____ Date _____

ESTIMATE GOOD FOR 30 DAYS

Customer Initials

(301) 843-1108

Clinton Fence Co., Inc.

CONTRACT # _____



MHIC #1705
DC 551
VA 021688

2630 Old Washington Road • Waldorf, Maryland 20601
(301) 843-1108 • (301) 843-5001 Fax

Contacted from VP, NP, Int. PB

Other _____

D.L.# _____

BUYER'S NAME: _____

STREET: _____

CITY: _____ ST: _____ ZIP: _____

HM PH: _____ WK PH. MR. _____
MS. _____

CELL PH: _____ LEAD# _____

Clinton Fence Company, Inc. (herein called Seller) proposes to furnish materials, labor and equipment to install:

Date _____

PERMIT COUNTY

PERMIT TOWN

UTILITIES

CLEARING

SOURCE

PAGE/GRID

CROSS ST.

Approximately _____ of _____ high Flat Top Oval Mt. Vernon Dip Top

Perm. Lattice Top other _____, style fencing. Bracket face nail 1 x 4 Capboard

The vertical boards pickets of the fence sections are to be: flat, dog eared colonial gothic gothic Sawn Point

other _____ Boards to Face in out. Fence to be stepped yes no

Line posts are 4 x 4 _____. The posts are to be capped with _____ caps. There are _____ 2 x 4 horizontal runners.

The gate posts are _____ X _____ X _____. The gate posts are capped with _____

All wood to be ACQ pressure treated Pine with Weather Preserve Plus, unless otherwise specified. _____ other

There is/are to be _____ single gate(s) _____ wide x _____ high. The gate is to have a: Flat Top Solid Arched Top Mt. Vernon

There is/are to be _____ double drive gate(s) _____ wide X _____ high. The gate is to have a: Flat Top

Solid Arched Top Mt. Vernon. All gates are to include hardware.

Gates to be constructed with 2 x 4 cedar horizontal supports. All posts are to be 30" - 36" in the ground set in cement.

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CREDIT CARD# _____

EXP. DATE: _____

CHECK # _____

Installation

Material

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(\$ _____)

(\$ _____) deposit with order, net balance of (\$ _____) due on date of installation. Please pay our Foreman.

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Customer Initials

License No. _____ Date _____ Signature _____ Date _____

ESTIMATE GOOD FOR 30 DAYS

~~0287~~
0287

6/21/9
5339

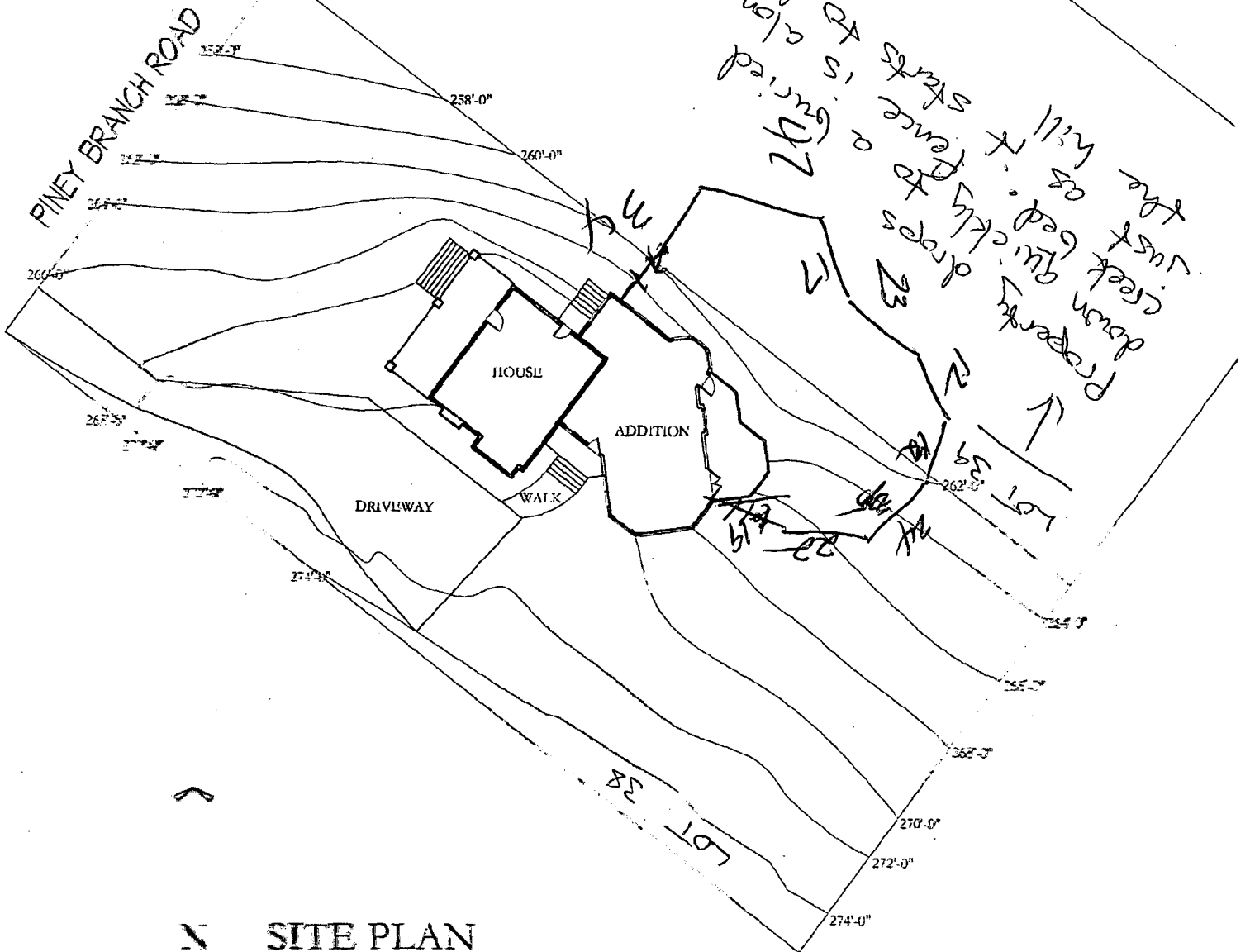
0287

0287

0287

2116 = 4110
2116 = 4110

Property drops a fence to a creek bed. It starts down the hill just as the creek bed starts to drop down the top of the hill.



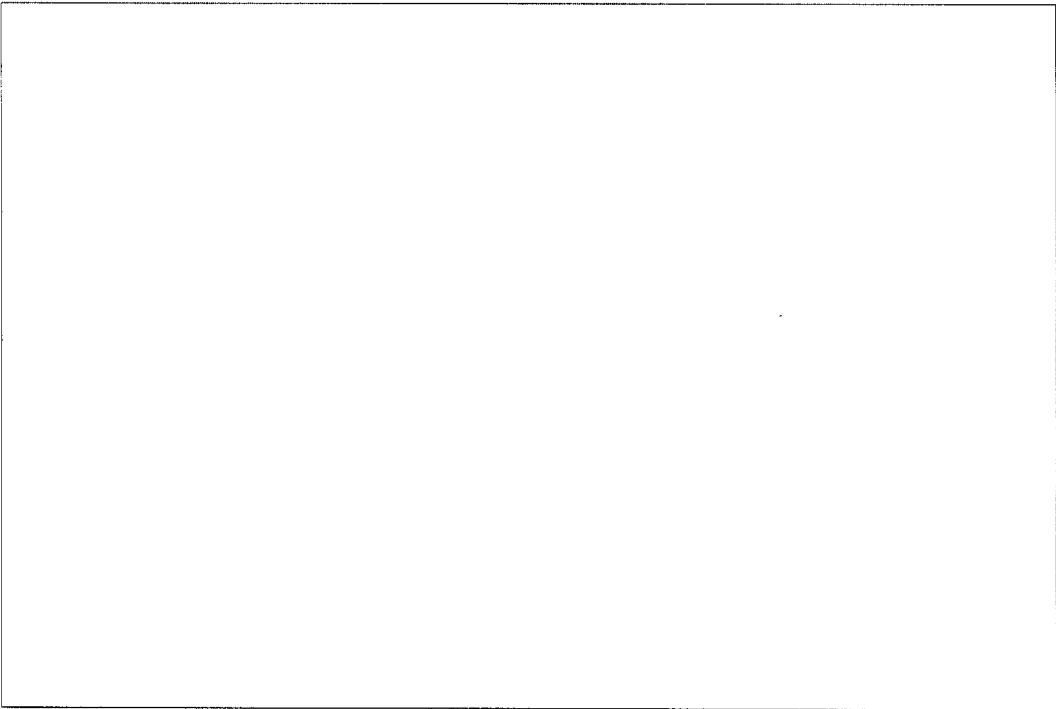
N SITE PLAN



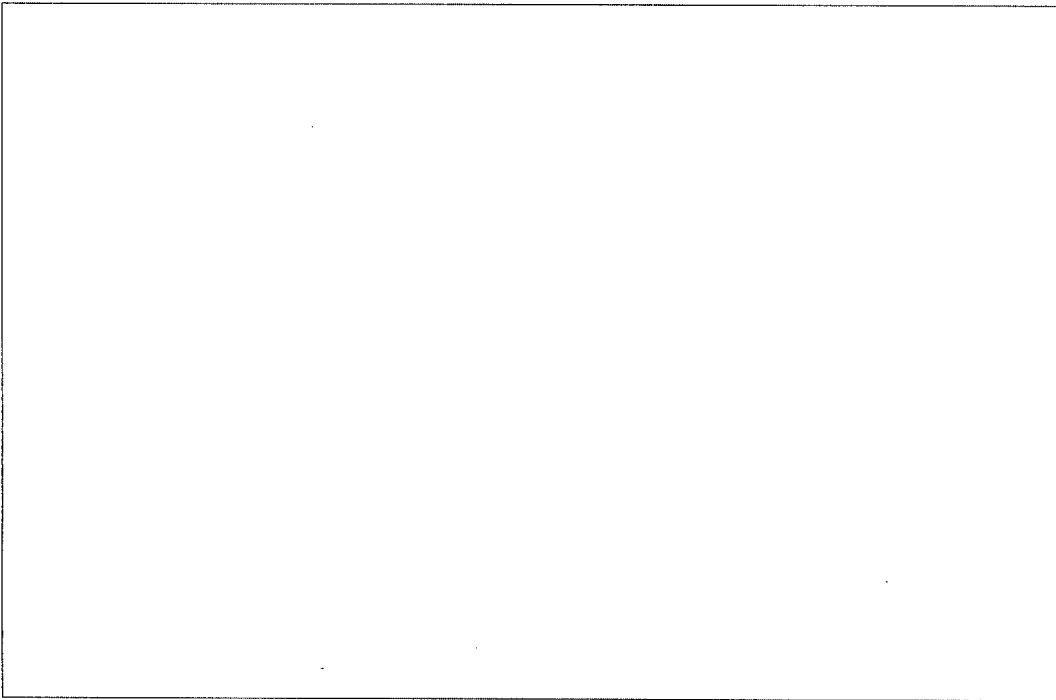




Existing Property Condition Photographs (duplicate as needed)



Detail: _____



Detail: _____

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7333 Piney Branch Road, Takoma Park	Meeting Date:	5/28/08
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/21/08
Applicant:	Patricia Barth	Public Notice:	5/14/08
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08BB	Staff:	Anne Fothergill
Proposal:	Fence installation		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Four Square
DATE: 1918

PROPOSAL

The applicants are proposing to install 5' tall wood picket fence behind the historic house and down the hill to the back and side of the house.

STAFF RECOMMENDATION

Staff recommendation of **approval** is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a

manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240-777-5270

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Patricia Barth / Ed Scorza
Daytime Phone No.: 301-613-2189 / 301-986-2323

Tax Account No.: 16 13 01066197

Name of Property Owner: Patricia Barth Daytime Phone No.: 301-613-2189 cell 301-585-2189 house

Address: 7333 Piney Br Rd. Takoma Park MD 20912
Street Number City Street Zip Code

Contractor: Clinton Fence Phone No.: 301-843-1108 / 301-758-7600

Contractor Registration No.: MHC # 1705

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7333 Piney Br Rd and adjacent lot Street: Piney Branch Road

Town/City: Takoma Park Nearest Cross Street: Philadelphia Avenue

Lot: 38+39 Block: 12 Subdivision: Brashears 25

Liber: _____ Folio: _____ Parcel: Sub Takoma Parcel K CT 069-73

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
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- Repair
- Revocable

CHECK ALL APPLICABLE:

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- Slab
- Room Addition
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- Woodburning Stove
- Single Family
- Fence/Well (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 4700

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet - inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
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- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Patricia Barth

Signature of owner or authorized agent

4/15/08

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: # 484628 Date Filed: 5/2/08 Date Issued: _____

Mane Cod 244782

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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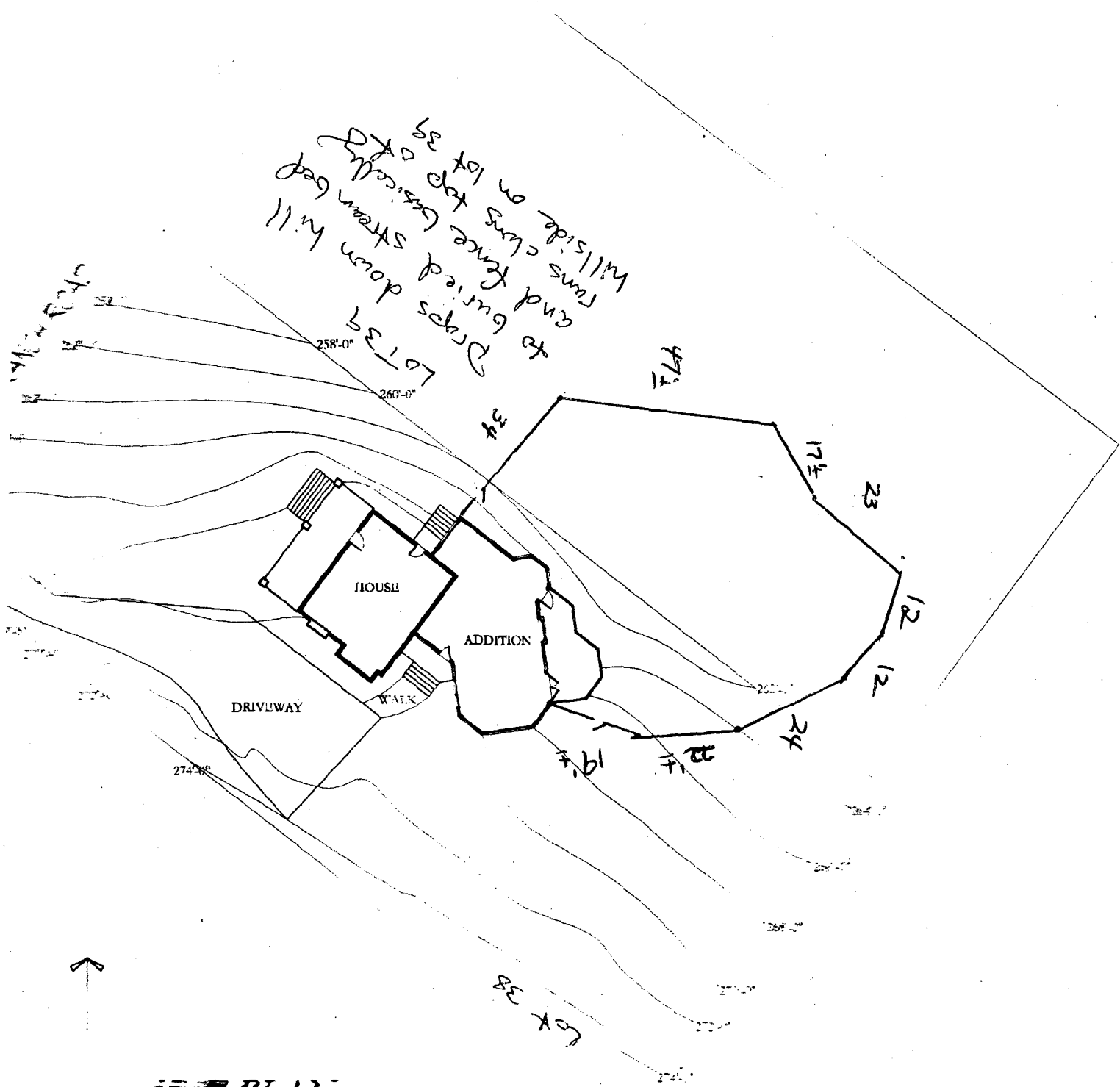
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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address PATRICIA BARTI EDWIN SCORZA 7333 PINEY BRANCH ROAD TAKOMA PARK MARYLAND 20912</p>	<p>Owner's Agent's mailing address JOHN KATINAS, AIA KATINAS BRICKWICK ARCHITECTURE 4931 ST ELMO AVE BETHESDA MD 20814</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>AGNES PATTI 7306 HOLY AVE</p>	<p>DEAN & JOSEPHINE HOGE 7314 HOLLY AVE</p>
<p>HANK & CHERYL COX 7331 PINEY BRANCH</p>	<p>Daniel I Chazan and Ronit Z. Eisenbach 7330 PINEY BRANCH ROAD</p>
<p>Margaret Nelson 7401 Piney Branch</p>	<p>Jan W. Amtrop & Karine Megendoomian 7332</p>

9

Drops down hill to buried stream bed and fence top of rd runs along on lot 39

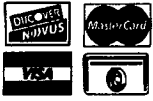


N SITE PLAN

(301) 843-1108

Clinton Fence Co., Inc.

CONTRACT # _____



MHIC #1705
DC 551
VA 021688

2630 Old Washington Road • Waldorf, Maryland 20601
(301) 843-1108 • (301) 843-5001 Fax

Contacted from VP, NP, Int. PB

Other _____

D.L.# _____

BUYER'S NAME: Edwin Scorza

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CITY: Takoma Park MD ST: _____ ZIP: 20912

HM PH: 301-585-2189 WK PH (MR): _____ MS. 301-986-2323

CELL PH: 301-641-7340 LEAD# _____

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per Attached Drawing

PERMIT COUNTY <u>+100</u>	PERMIT TOWN <u>Customer</u>	UTILITIES	CLEARING <u>Customer</u>	SOURCE	PAGE/GRID	CROSS ST.
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Property pins exposed? yes no Buyer to stake? yes no Order Survey? yes no.

Additional options: no

APPROXIMATE START/COMPLETION DATE:	CREDIT CARD#	EXP. DATE:	CHECK #:
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Installation	Material	Tax
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(\$ 4700⁰⁰)

(\$ 1700⁰⁰ ^{1/3} deposit with order, net balance of (\$ 3000⁰⁰) due on date of installation. Please pay our Foreman.

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Clinton Fence Co., Inc. By Chuck Eiring Signature [Signature]

License No. 37897 Date _____ Signature _____ Date _____

ESTIMATE GOOD FOR 30 DAYS

[Signature]
Customer Initials

21.75 7400

(7)

Existing Prop



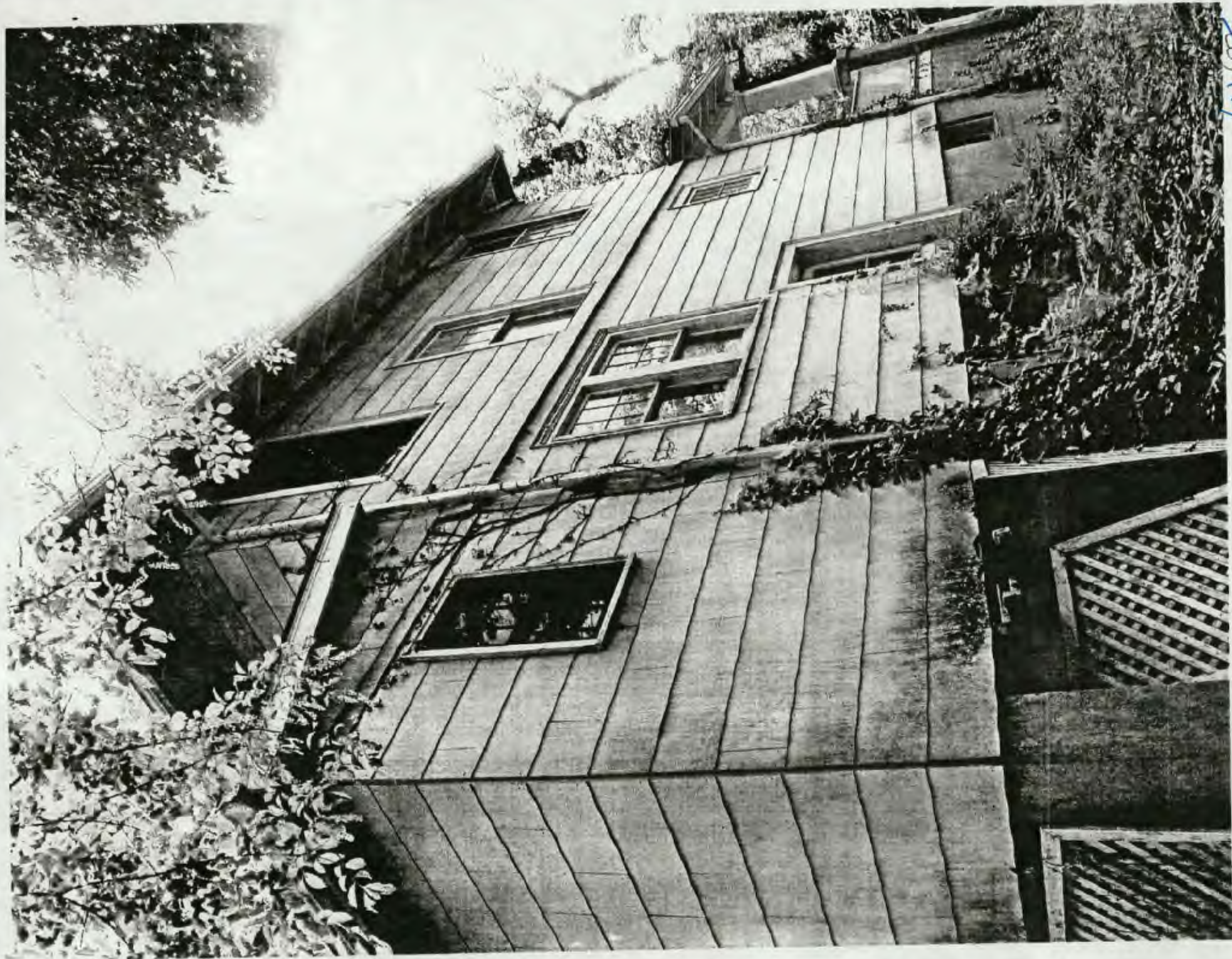
Detail:



Det



Applicant:



57
b

7333 Piney Branch Road

