

7613 takama ave.
takama park

37/3-08 KK

7613 TAKOMA AVENUE

TAKOMA PARK, MD.

ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

ABBREVIATIONS

AC. ACROUSTIC	IN. INCH
ADD. ADDENDUM	I.D. INSIDE DIAMETER
ADDN. ADDITION	INSUL. INSULATION
AGG. AGGREGATE	INT. INTERIOR
A/C AIR CONDITIONING	INV. INVERT
AL. ALUMINUM	JAN. JANITOR
ALT. ALTERNATE	JT. JOINT
A.B. ANCHOR BOLT	JST. JOIST
AND	LAM. LAMINATED
ARCH. ARCHITECT	L.DG. LANDING
ASP. ASPHALT	LTH. LATH
@ AT	L.V. LAVORATORY
BSMT. BASEMENT	LG. LENGTH
BM. BEAM	LT. LIGHT
B.M. BENCHMARK	L.W.C. LIGHT WEIGHT CONCRETE
BLKG. BLOCKING	LVR. LOUVER
BD. BOARD	M.O. MASONRY OPENING
BTM. BOTTOM	MATL. MATERIAL
BLDG. BUILDING	MFR. MANUFACTURER
CABT. CABINET	MAX. MAXIMUM
C.I.P. CAST IN PLACE	MECH. MECHANICAL
C.B. CATCH BASIN	MET. METAL
C.L.G. CEILING	M. METER
C.E.M. CEMENT	MIN. MINIMUM
C.S. CENTIGRAM	M.LDG. MOULDING
CM. CENTIMETER	MULL. MULLION
CL. CENTER LINE	N.G. NATURAL GRADE
CER. CERAMIC	NOM. NOMINAL
C.T. CERAMIC TILE	N.I.C. NOT IN CONTRACT
CHAN. CHANNEL	N.T.S. NOT TO SCALE
CLR. CLEAR	NO. NUMBER
C.O. CLEAN OUT	OB. OBSCURE
CLOS. CLOSET	O.C. ON CENTER
COL. COLUMN	OP. OPENING
CONC. CONCRETE	O.D. OUTSIDE DIAMETER
CONN. CONNECTION	O.A. OVERALL
CONST. CONSTRUCTION	O.F.S. OVERFLOW SCUPPER
C.J. CONTROL JOINT	O.F.D. OVERFLOW DRAIN
CONT. CONTINUOUS	PTD. PAINTED
CONTR. CONTRACTOR	PG. PAGE
CORR. CORRIDOR	PR. PAIR
CTR. COUNTER	PNL. PANEL
CTSK. COUNTERSUNK	PTN. PARTITION
C.M.U. CONC. MAS. UNIT	PL. PLATE
DIAG. DIAGONAL	PLBG. PLUMBING
DIAM. DIAMETER	PLYWD. PLYWOOD
DIM. DIMENSION	PT. PRESSURE TREATED
DISP. DISPENSER	P.L. PROPERTY LINE
DNL. DOWN	PROP. PROPOSED
D.S. DOWNSPOUT	RAD. RADIUS
DWS. DRAINING	REG. REGISTER
EA. EACH	REQD. REQUIRED
EL. ELECTRIC	REV. REVISION
E.L.C. WATER COOLER	R. RISER, RISERS
ELEV. ELEVATION	R.D. ROOF DRAIN
EQ. EQUAL	RFG. ROOFING
EQUIP. EQUIPMENT	RM. ROOM
EXH. EXHAUST	RSH. ROUGH
E.J. EXPANSION JOINT	RD. ROUND
EXIST. EXISTING	SECT. SECTION
EXT. EXTERIOR	SHT. SHEET
FT. FEET	SID. SIDING
FIN. FINISH	SIM. SIMILAR
FIXT. FIXTURE	SLDG. SLIDING
FL. FLASHING	SPEC. SPECIFICATION
FLR. FLOOR	SQ. SQUARE
F.D. FLOOR DRAIN	STD. STANDARD
FLUOR. FLUORESCENT	ST.STL. STAINLESS STEEL
FTB. FOOTING	STRUC. STRUCTURE
FND. FOUNDATION	T.O.P. TOP OF PARAPET
FR. FRAME	TYP. TYPICAL
F.H.C. FIRE HOSE CAB.	V. VENT
GA. GAUGE	VERT. VERTICAL
G.I. GALVANIZED IRON	VEST. VESTIBULE
GL. GLASS	V.C.T. VINYL COMP. TILE
GD. GRADE	VIF. VERIFY IN FIELD
G. GRAM	W.W.M. WELDED WIRE MESH
GR.L. GRILLE	WC. WATER CLOSET
GRD. GRID	WH. WATER HEATER
GND. GROUND	W WITH
GYP. GYPSUM	WO WITHOUT
GWB. GYPSUM BOARD	WD. WOOD
HR. HAND RAIL	WDO. WINDOW
HDN. HARDENER	
HDW. HARDWARE	
HDWD. HARDWOOD	
HTR. HEATER	
HT. HEIGHT	
H.P. HIGH POINT	
H.M. HOLLOW METAL	
HORIZ. HORIZONTAL	
H.B. HOSE BIBB	
H.W. HOT WATER	

BUILDING DATA

PROJECT ADDRESS: 7613 TAKOMA AVENUE
TAKOMA PARK MD.

ZONING: R-60
LOTS: 22 PART OF LOT 21 & 23.

SIDE YARD: 8'-0" ON ONE SIDE 18'-0" TOTAL
LOT SIZE: 7,425 sf
LOT OCCUPANCY: 35 %

BUILDING FOOT PRINT:
EXISTING 1,665 sf 22.4% (INCLUDING DECK)
PROPOSED 1,784 SF 24% (INCLUDING DECK)
USES PERMITTED BY RIGHT: SINGLE FAMILY FULLY DETACHED

BUILDING CODE: 2003 IRC

SHEET INDEX:

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A1.1	EXISTING & PROPOSED, FLOOR PLANS
A2.1	EXISTING & PROPOSED ELEVATIONS
A2.2	EXISTING & PROPOSED ELEVATIONS
A3.1	SECTIONS & DETAILS
A3.2	SECTIONS & DETAILS
SI.1	PROPOSED FRAMING PLANS
EL.1	PROPOSED ELECTRICAL PLAN

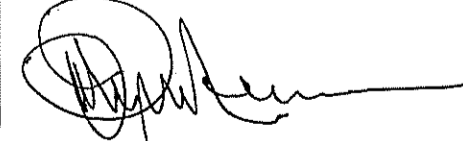
PROJECT DESCRIPTION

MR. ANDREW POTTERFIELD AND MS. SUSAN ALEXANDER HAVE AN EXISTING SINGLE FAMILY FULLY DETACHED HOME LOCATED IN AN HISTORIC DISTRICT. THE POTTERFIELD'S INTEND TO DEMOLISH THEIR EXISTING DECK AND BALCONY AND REPLACE WITH A NEW STRUCTURE. THE NEW DECK WILL BE PARTIALLY COVERED, THE NEW BALCONY IS TO BE INCORPORATED INTO THE STRUCTURE OF THE DECK BELOW. TO ACCESS THE NEW DECK A NEW SET OF DOUBLE DOORS WILL BE INSTALLED WHERE TWO EXISTING WINDOWS ARE NOW LOCATED.


GENERAL NOTES

<p>D1. THESE DOCUMENTS INDICATE THE DESIGN INTENT OF THE CONSTRUCTION PROJECT IN ORDER TO ESTABLISH STANDARDS FOR QUALITY AND/OR PERFORMANCE.</p> <p>D2. NOT USED</p> <p>D3. NOT USED</p> <p>D4. ALL REASONABLY INFERRED CONDITIONS NOT OTHERWISE INDICATED IN THESE CONSTRUCTION DOCUMENTS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELEMENTS WITHIN THESE DOCUMENTS. CONTRACTOR IS TO NOTIFY THE ARCHITECT WHERE CLARIFICATIONS ARE REQUIRED. CONTRACTOR SHALL BE LIABLE IF INAPPROPRIATE INTERPRETATIONS CONFLICT WITH OTHER ELEMENTS OF THE WORK.</p> <p>D5. NOT USED</p> <p>D6. THE CONTRACTOR SHALL ISSUE COMPLETE SETS OF CONTRACT DOCUMENTS TO EACH OF THE SUB-CONTRACTORS FOR COORDINATION OF THEIR WORK AND DESCRIPTION OF SCOPE OF WORK.</p> <p>D7. NOT USED</p> <p>D8. NOT USED</p> <p>D9. THE CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL NOTIFY ARCHITECT WITHIN 5 DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH WOULD DELAY COMPLETION OF CONTRACT.</p> <p>D10. THE ARCHITECT HAS NOT CONDUCTED NOR INTENDS TO CONDUCT ANY INVESTIGATION AS TO THE PRESENCE OF HAZARDOUS MATERIALS WITHIN THE CONFINES OF THIS PROJECT. THE ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION, THE REMOVAL OR ANY EFFECTS FROM THE PRESENCE OF THESE MATERIALS.</p> <p>D11. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.</p> <p>D12. NOT USED</p> <p>D13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.</p> <p>D14. WORK SHALL BE DONE DURING NORMAL WORKING HOURS. CONTRACTOR SHALL SCHEDULE AND PERFORM ALL WORK SO AS NOT TO UNREASONABLY DISTURB OCCUPANT IN THE BUILDING AND SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY. ACTIVITIES SUCH AS DEMOLITION PRODUCING HIGH NOISE LEVELS SHALL BE RESTRICTED TO OFF BUSINESS HOURS AND COORDINATED WITH OWNER AND ARCHITECT.</p>	<p>D15. ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE CONTRACTOR SHALL INCLUDE THE GENERAL CONTRACTOR AND THE SUB-CONTRACTORS.</p> <p>D16. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS.</p> <p>D17. COORDINATE SCHEDULING, PROVISIONS FOR INSTALLATION LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY THE OWNER AND BY OTHERS. FOR THE PURPOSES OF THIS CONTRACT, THE FOLLOWING DEFINITIONS APPLY: CF-01 = OWNER FURNISHED-CONTRACTOR INSTALLED CF-02 = CONTRACTOR FURNISHED-CONTRACTOR INSTALLED CF-03 = CONTRACTOR FURNISHED-OWNER INSTALLED</p> <p>D18. OTHER CONTRACTORS AND THEIR SUB-CONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO IMPEDIE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, EITHER UNION OR NON-UNION.</p> <p>D19. NOT USED</p> <p>D20. UNLESS OTHERWISE NOTED WHEN DRAWINGS ARE IN CONFLICT, ENLARGED PLANS AND DETAILS GOVERN, HOWEVER, THE ARCHITECT SHALL MAKE THE FINAL DETERMINATION IN THESE MATTERS.</p> <p>D21. THE CONTRACTOR ACKNOWLEDGES AND UNDERSTANDS THAT THE CONTRACT DOCUMENTS MAY REPRESENT IMPERFECT DATA AND MAY CONTAIN ERRORS, OMISSIONS, CONFLICTS, INCONSISTENCIES, CODE VIOLATIONS AND IMPROPER USE OF MATERIALS. SUCH DEFICIENCIES WILL BE CORRECTED WHEN IDENTIFIED. THE CONTRACTOR AGREES TO CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE OWNER ANY DEFICIENCIES THE CONTRACTOR MAY DISCOVER. THE CONTRACTOR FURTHER AGREES TO REQUIRE EACH SUB-CONTRACTOR TO LIKEWISE STUDY THE DOCUMENTS AND REPORT AT ONCE ANY DEFICIENCIES DISCOVERED. THE CONTRACTOR SHALL RESOLVE ALL REPORTED DEFICIENCIES WITH THE CONSULTANT PRIOR TO AWARDING ANY SUB-CONTRACTS OR STARTING ANY WORK WITH THE CONTRACTOR'S OWN EMPLOYEES. IF THE CONTRACTOR WITHOUT ADDITIONAL TIME OR ADDITIONAL EXPENSE CANNOT RESOLVE ANY DEFICIENCIES, THE CONTRACTOR SHALL INFORM THE OWNER IN WRITING ANY WORK PERFORMED PRIOR TO RECEIPT OF INSTRUCTIONS FROM THE OWNER WILL BE DONE AT THE CONTRACTOR'S RISK.</p> <p>D22. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD OF WORKMANSHIP.</p> <p>D23. EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIAL. ADVISE ARCHITECT OF ANY EXISTING CONSTRUCTION NOT LEVEL, SMOOTH AND PLUMB WITHIN INDUSTRY STANDARDS PRIOR TO START OF CONSTRUCTION.</p>	<p>D24. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS TOLERANCES OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.</p> <p>D25. EXIT DOORS, EGRESS WINDOWS, AND OTHER OPENINGS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.</p> <p>D26. THE ARCHITECT'S SEAL, AFFIXED TO THESE CONTRACT DOCUMENTS, SHALL CERTIFY TO THE BEST OF OUR KNOWLEDGE THAT THESE DRAWINGS MEET THE APPLICABLE STATE AND LOCAL CODES. IF ANY PORTION OF THESE DOCUMENTS IS FOUND TO BE IN CONFLICT WITH STATE OR LOCAL CODES, THE ARCHITECT SHALL BE NOTIFIED OF CONFLICTS IN WRITING BY THE CONTRACTOR.</p> <p>D27. NOT USED</p> <p>BUILDING CODE COMPLIANCE</p> <p>11. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, LOCAL AUTHORITY REGULATIONS AND LOCAL CODE OFFICIAL'S DIRECTIVES.</p> <p>12. THE CONTRACTOR SHALL APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR IS TO PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. NOTIFY ARCHITECT OF ANY VARIANCE WITH CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REGULATIONS OF ANY AND ALL PUBLIC AUTHORITIES (FEDERAL, STATE, AND LOCAL) HAVING AUTHORITY OVER THE PROJECT.</p> <p>13. ALL PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION SHALL BE PROTECTED WITH APPROPRIATE FIRE DAMPERS, FIRE SAFING OR FIRE DOORS AS REQUIRED BY LOCAL CODE OFFICIALS. THE INTEGRITY OF ALL APPROPRIATE FIRE SEPARATIONS SHALL BE MAINTAINED DURING AND AFTER THE SCOPE OF WORK OF THIS CONTRACT IS COMPLETED.</p> <p>14. HARDWARE SCHEDULED FOR INSTALLATION ON DOORS AND FRAMES WHICH REQUIRE A FIRE-RATED LABEL SHALL COMPLY WITH ALL CODE REQUIREMENTS GOVERNING HARDWARE TYPE AND INSTALLATION METHODS FOR-RATED ASSEMBLIES.</p> <p>PARTITION NOTES</p> <p>21. ALL CLEAR (CLR) DIMENSIONS MUST BE HELD. DIMENSIONS NOTED AS CLEAR OR CRITICAL SHALL BE MEASURED FROM FINISHED FACE TO FINISHED FACE.</p> <p>22. ALL DRAWING DIMENSIONS ARE TO THE FACE OF STUD SURFACE UNLESS NOTED AS CLEAR OR OTHERWISE NOTED.</p> <p>23. CONSTRUCT PARTITIONS AND CEILING PER MANUFACTURER'S RECOMMENDATIONS WITH DEFLECTIONS NOT TO EXCEED 1/240 OF THE SPAN. PROVIDE FIRE-RATINGS AS REQUIRED BY CODE - SEE BOCA AND LOCAL CODE MODIFICATIONS FOR SPECIAL FIRE STOPPING REQUIREMENTS. SEE IBC/A ARTICLE FOR STANDARD FIRE STOPPING REQUIREMENTS.</p> <p>24. PROVIDE FIRE RESISTANCE RATED PARTITION ASSEMBLIES IDENTICAL TO ILL. DESIGNATIONS (UNDERWRITERS LABORATORY) SHOWN IN THE FIRE RESISTANCE DIRECTORY OR LISTED BY OTHER TESTING AGENCIES ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.</p>	<p>25. INSTALL MOISTURE RESISTANT SUBSTRATE (WATER RESISTANT-TYPE GYPSUM BOARD OR WANDERBOARD) IN NET LOCATIONS.</p> <p>26. PROVIDE TILE BACKER FOR ALL NET LOCATIONS WITH CERAMIC WALL TILES.</p> <p>27. INSTALL AND FINISH GYPSUM BOARD TO COMPLY WITH ASTM C-840, GA-216 BY GYPSUM ASSOCIATION AND GYPSUM CONSTRUCTION HANDBOOK, BY U.S. GYPSUM, LATEST EDITION. PREPARE SURFACE AS REQUIRED FOR FINAL SURFACE FINISH AS RECOMMENDED BY GYPSUM CONSTRUCTION HANDBOOK.</p> <p>28. ALL GYPSUM HALLBOARD AND STUD CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY-GYPSUM CONSTRUCTION HANDBOOK, LATEST EDITION. CONTROL JOINTS MUST OCCUR AT A MAXIMUM OF 25 FEET ON CENTER.</p> <p>FINISH NOTES</p> <p>31. INSPECT ALL MATERIALS FOR DEFECTS, FLAWS, SHIPPING DAMAGE, CORRECT COLOR AND PATTERN. INFORM ARCHITECT OF ANY DEFECTIVE MATERIALS AND COORDINATE WITH THE MANUFACTURER FOR AN ACCURATE SHIPPING DATE FOR THE REPLACEMENT MATERIAL.</p>
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"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License NO. 10925, Expiration Date: 04/29/2010



APPROVED
Montgomery County
Historic Preservation Commission



8-11-08

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE: COVER SHEET

CHECKED BY:	J.M.	JOB NUMBER:	MB-0018
SHEET	1 OF 8	SCALE:	AS NOTED

GO!

1/16" = 1'-0"
 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"
 3/4" = 1'-0"
 1" = 1'-0"
 1-1/2" = 1'-0"
 3" = 1'-0"
 1" = 100'

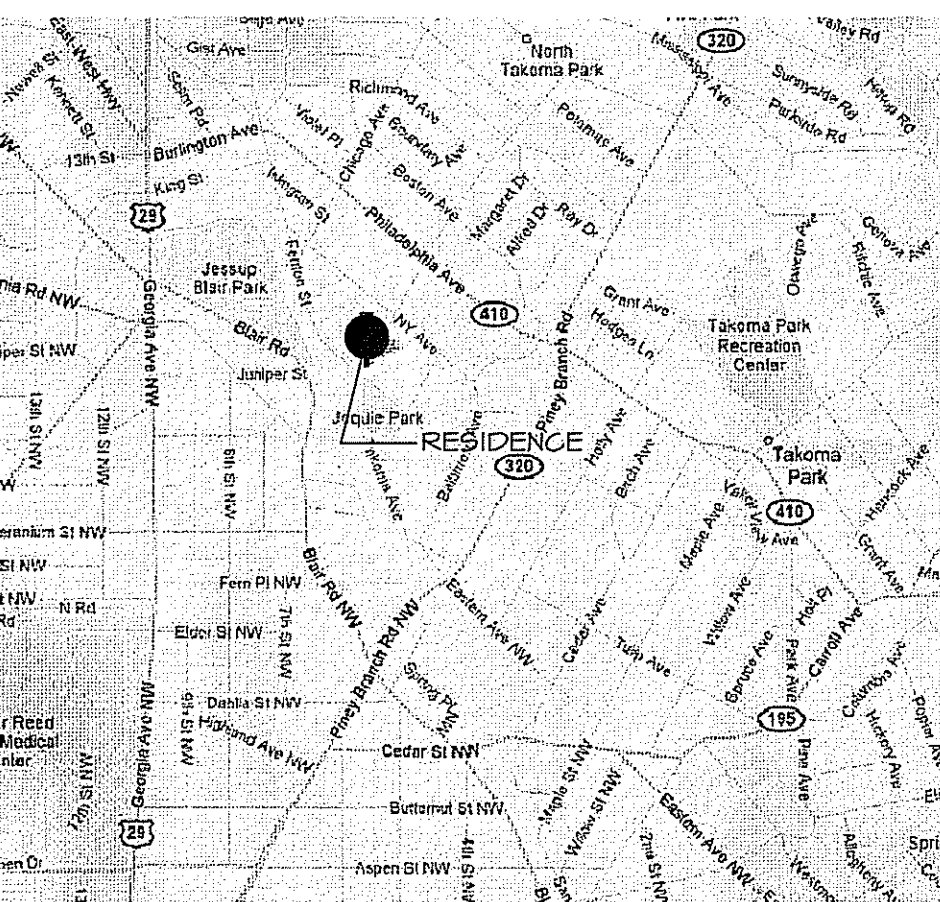
SYMBOLS LEGEND:

- XXX — ROOM NAME
- [X] — PARTITION TYPE
- X — INTERIOR ELEVATION NUMBER
- 1 — SECTION NUMBER
- AXX — SHEET NUMBER
- 1 — DETAIL NUMBER
- AXX — SHEET NUMBER
- 2 — KEY NOTE
- DOOR SYMBOL
- WIDTH FEET & INCHES
- [2068] — HIEGHT FEET & INCHES
- WINDOW SYMBOL
- WIDTH FEET & INCHES
- (2068) — HIEGHT FEET & INCHES

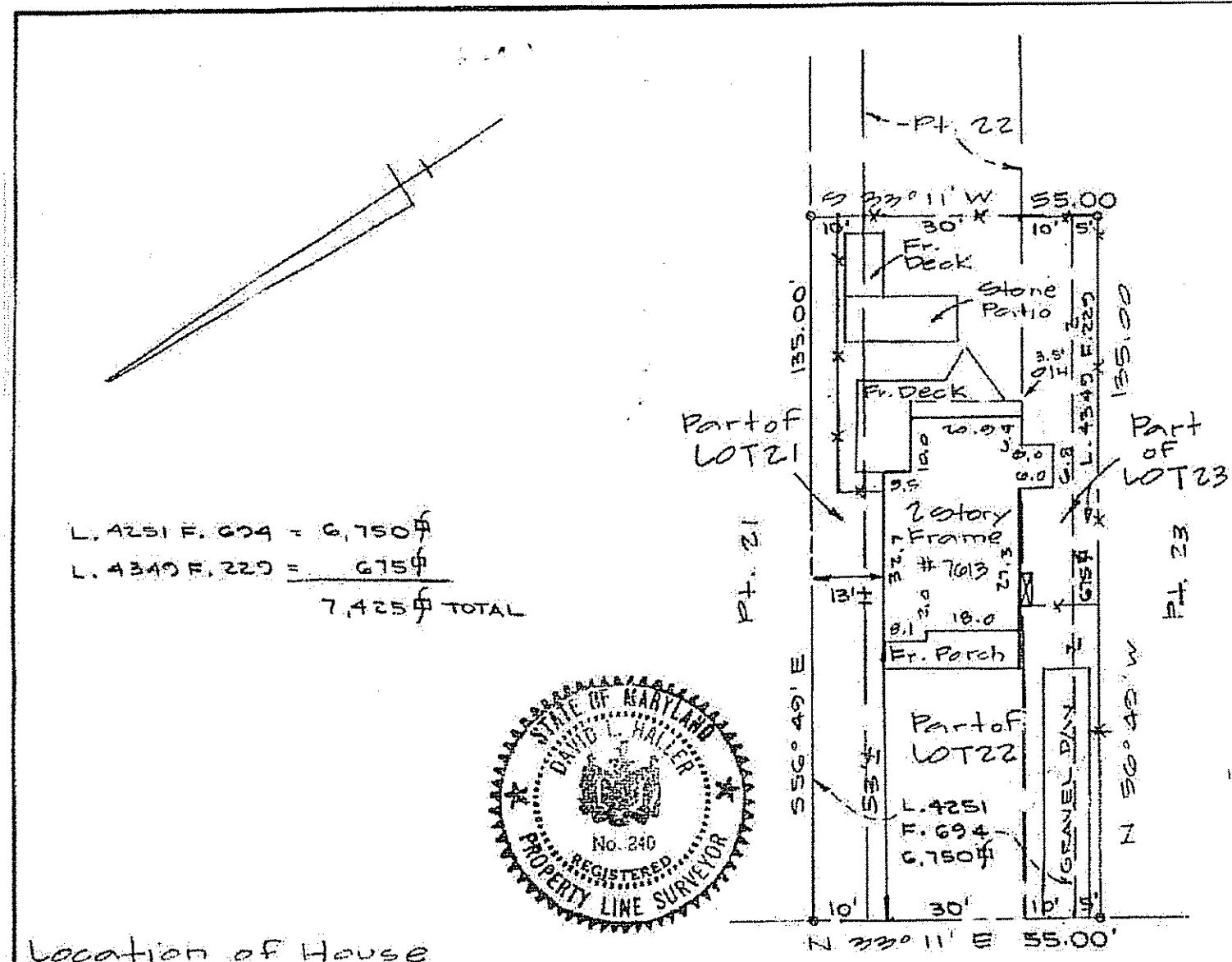
MATERIALS LEGEND

- EARTH
- WOOD FRAMING
- SHIMS/BLOCKING
- CONCRETE
- BRICK
- C.M.U.
- GYPSUM BD.
- SHEATHING
- GLASS
- CERAMIC TILE
- PLYWOOD
- SEALANT
- BACKER ROD
- BATT INSULATION
- RIGID INSULATION

VACINITY MAP



SITE PLAN:



L. 4251 F. 694 = 6,750 \$
 L. 4349 F. 229 = 675 \$
 7,425 \$ TOTAL

Location of House
 Parts of Lots 21, 22 & 23
 Block 74
 NORTH TAKOMA
 Montgomery County, MD

Takoma Avenue
 70' RW

HUD Flood Panel No: (NOT AVAILABLE)

CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS. DAVID L. HALLER MARYLAND R.P.L.S. No. 240	REFERENCES PLAT BK 2 PLAT NO. 103 LIBER 4251, 4349 FOLIO 694, 229	HALLER ASSOCIATES SURVEYING • ENGINEERING • PLANNING (301) 663 1843 522 TRAIL AVENUE, FREDERICK, MARYLAND 21701 DATE OF SURVEY: 4-2-03 WALL CHECK HSE. LOC. 4-2-03 BOUNDARY:	SCALE: 1" = 20' DRAWN BY: BT JOB NO. 03-5873
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ANDREW POTTERFIELD
 SUSAN ALEXANDER
 RESIDENCE

THOMAS ARCHER LLC
 CONTRACTING

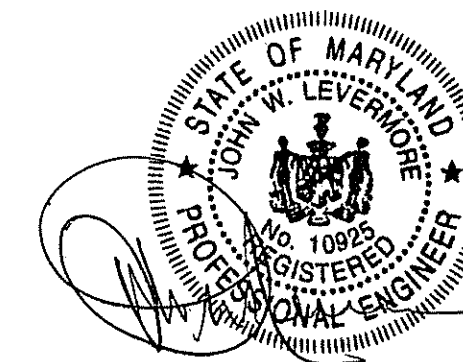
NO.	DESCRIPTION	DATE
2	ISSUE FOR PERMIT	3-19-08
1	ISSUE FOR REVIEW	3-06-08

7613 TAKOMA AVENUE
 TAKOMA PARK, MD.

SHEET TITLE :
 LEGEND, SITE PLAN
 & VACINITY MAP

CHECKED BY: J.M.	JOB NUMBER: MB-0018
SHEET 2 OF 9	SCALE : AS NOTED

GO.2



APPROVED
 Montgomery County
 Historic Preservation Commission

6-26-08

ANDREW POTTERFIELD
 SUSAN ALEXANDER
 RESIDENCE

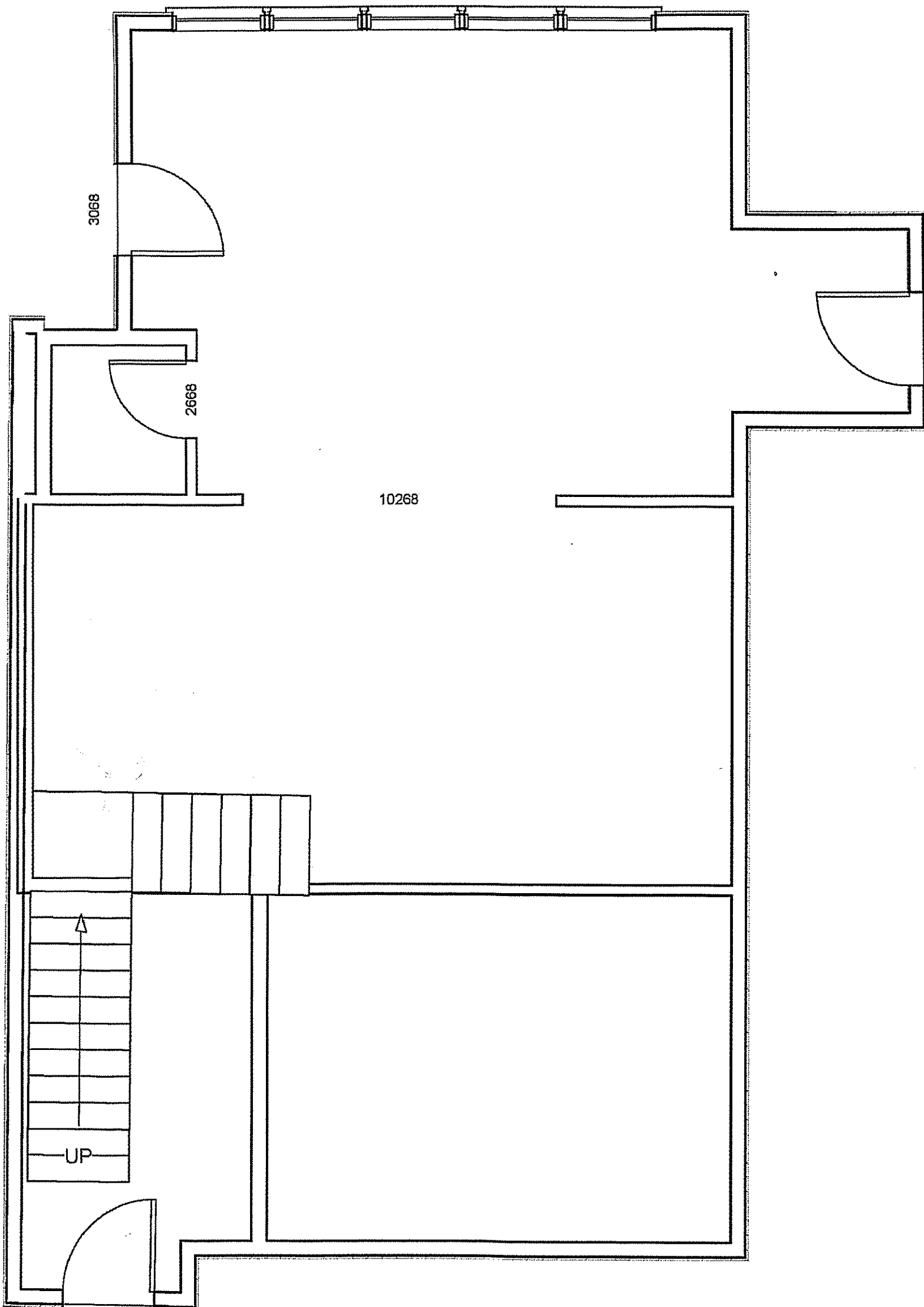
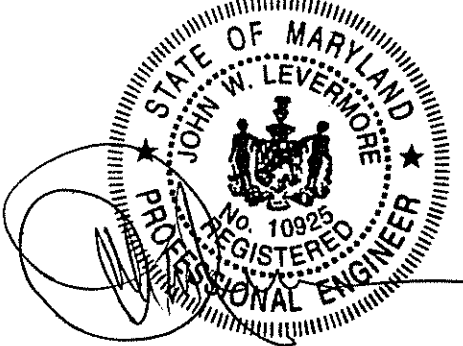
THOMAS ARCHER LLC
 CONTRACTING

NO.	DESCRIPTION	DATE
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2	ISSUE FOR PERMIT	3-19-08
1	ISSUE FOR REVIEW	3-06-08

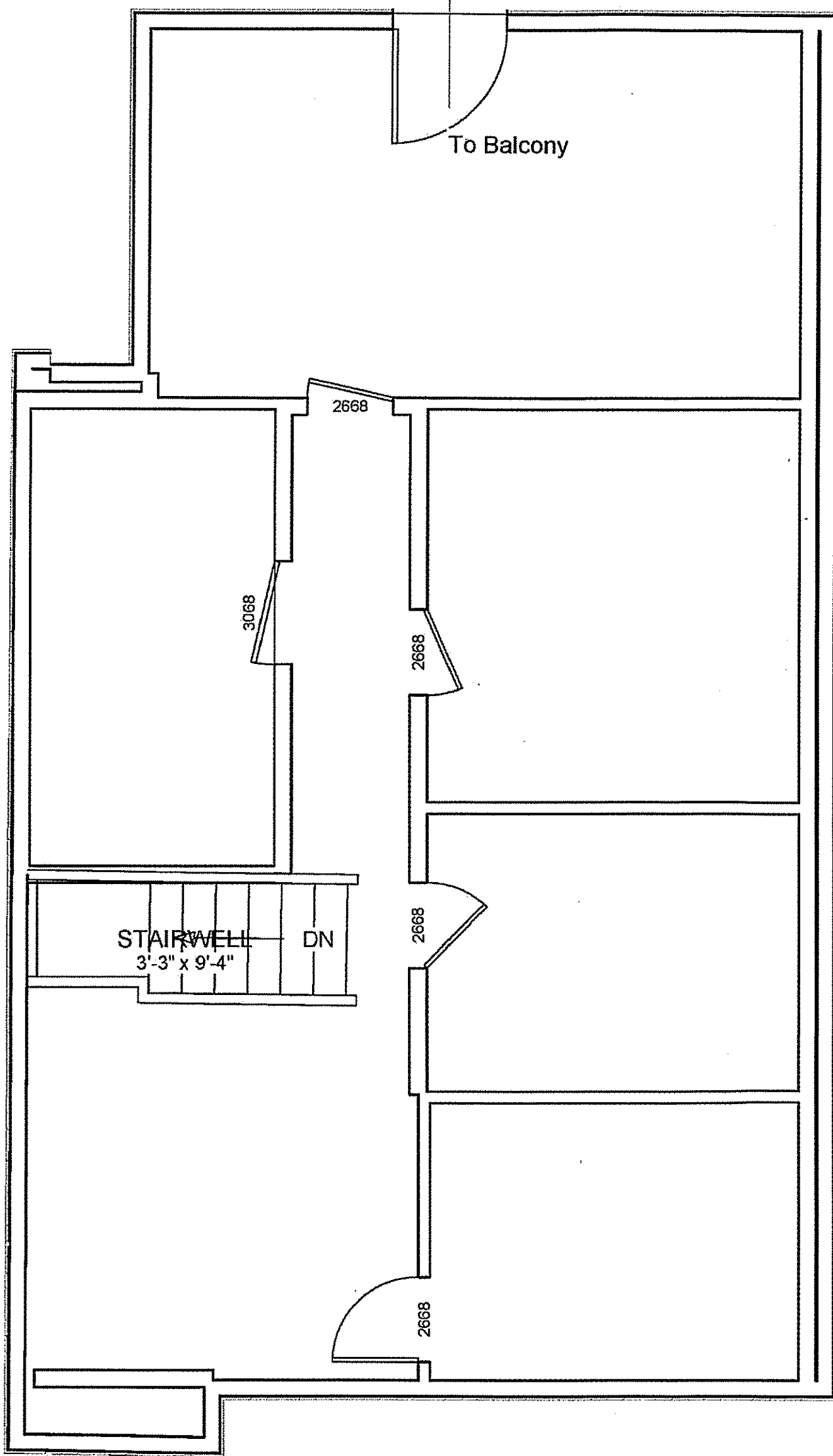
7613 TAKOMA AVENUE
 TAKOMA PARK, MD.

SHEET TITLE :
 EXISTING
 FLOOR PLANS

CHECKED BY: J.M.	JOB NUMBER: MB-0018	A0.1
SHEET 4 OF 8	SCALE : AS NOTED	



1 EXIST. FIRST FLR. PLAN
 SCALE: 1/4"=1'-0"



2 EXIST. SECOND FLR. PLAN
 SCALE: 1/4"=1'-0"



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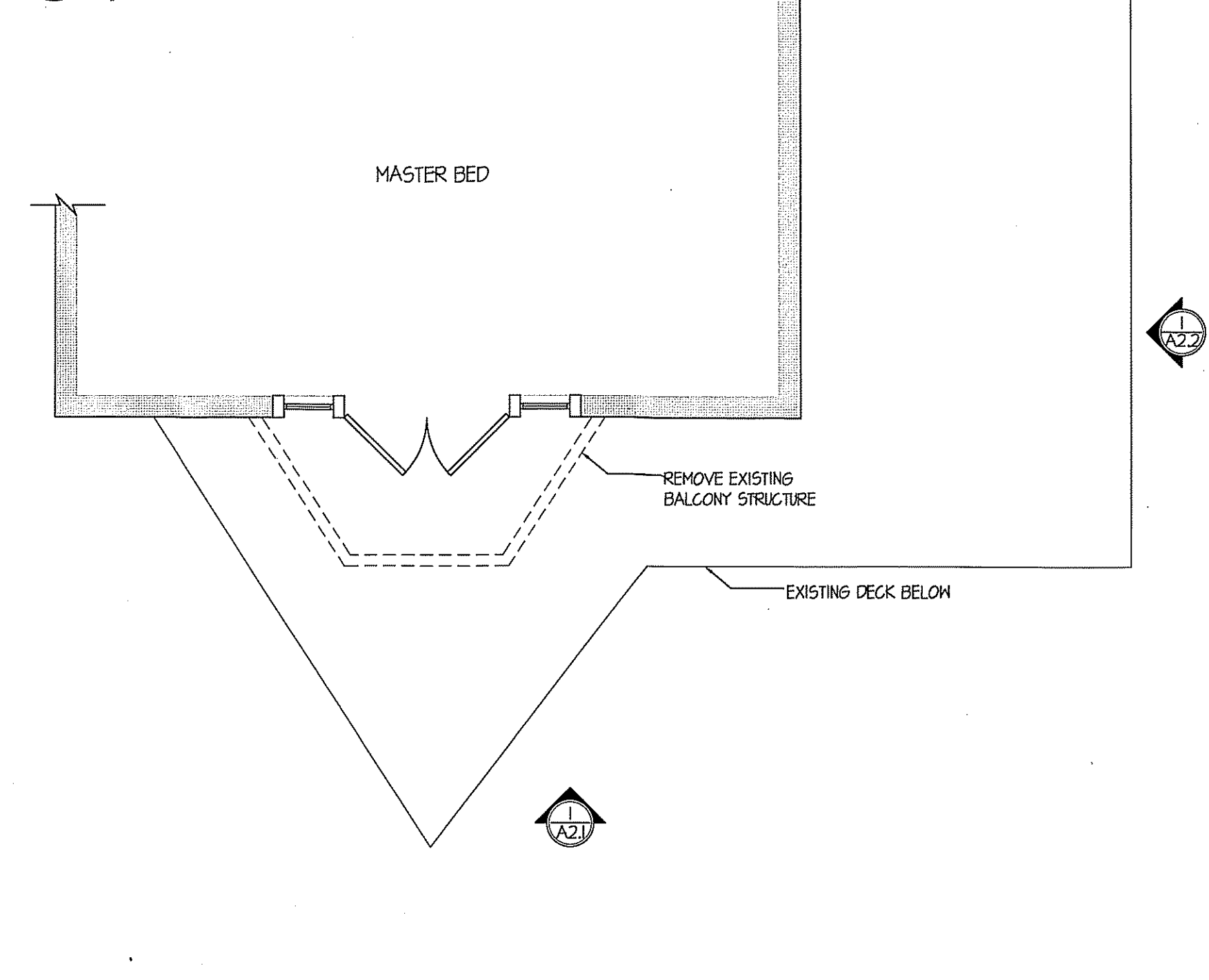
7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
EXISTING & PROPOSED
FLOOR PLANS

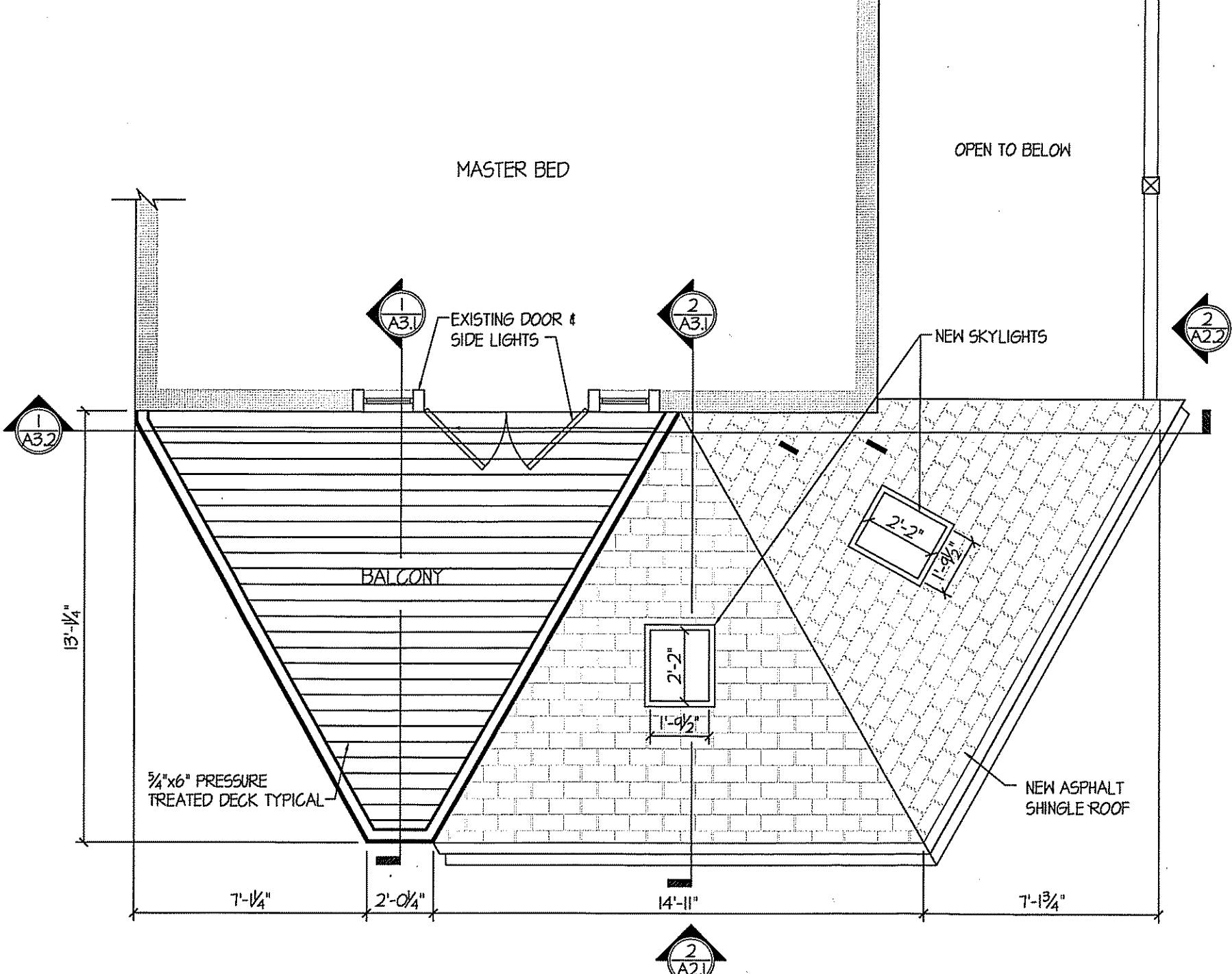
CHECKED BY: J.M.	JOB NUMBER: MB-0018
SHEET 4 OF 8	SCALE: AS NOTED

A.I.I.

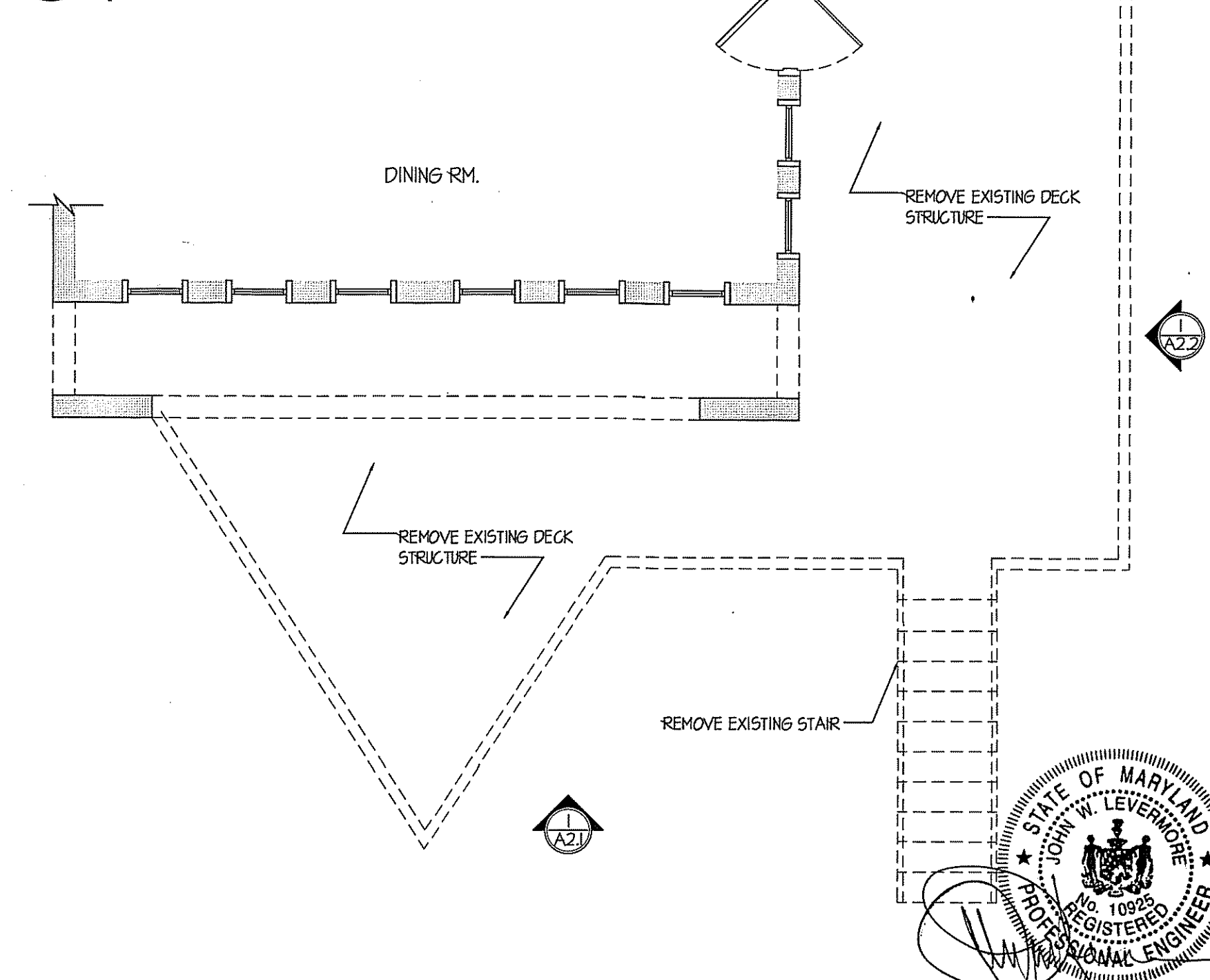
2 EXIST. BALCONY PLAN
SCALE: 1/4"=1'-0"



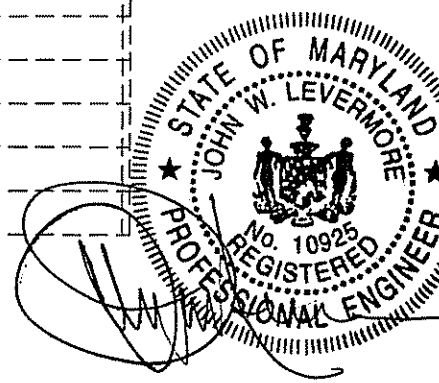
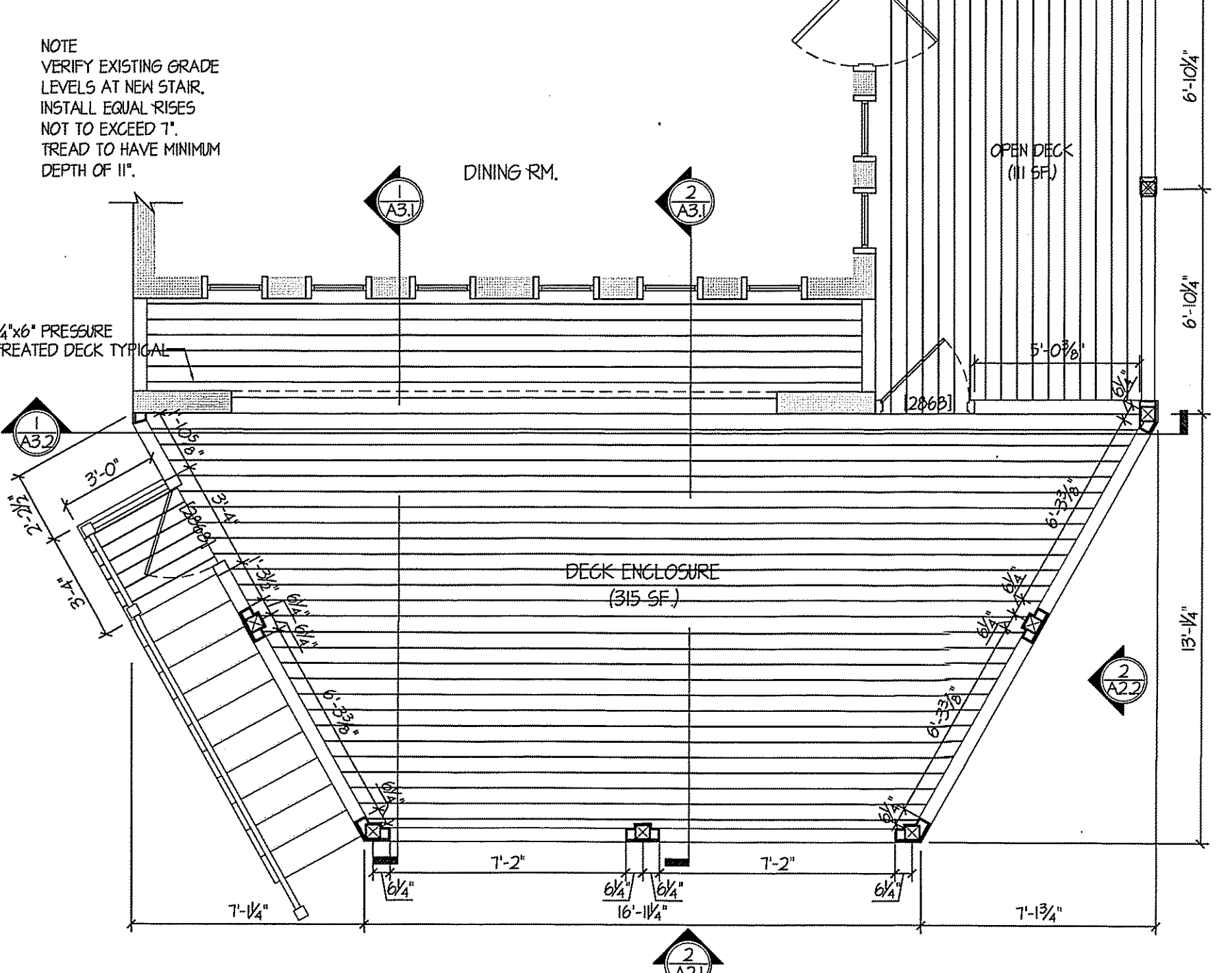
4 PROP. BALCONY PLAN
SCALE: 1/4"=1'-0"



1 EXIST. DECK PLAN
SCALE: 1/4"=1'-0"



3 PROP. DECK PLAN
SCALE: 1/4"=1'-0"

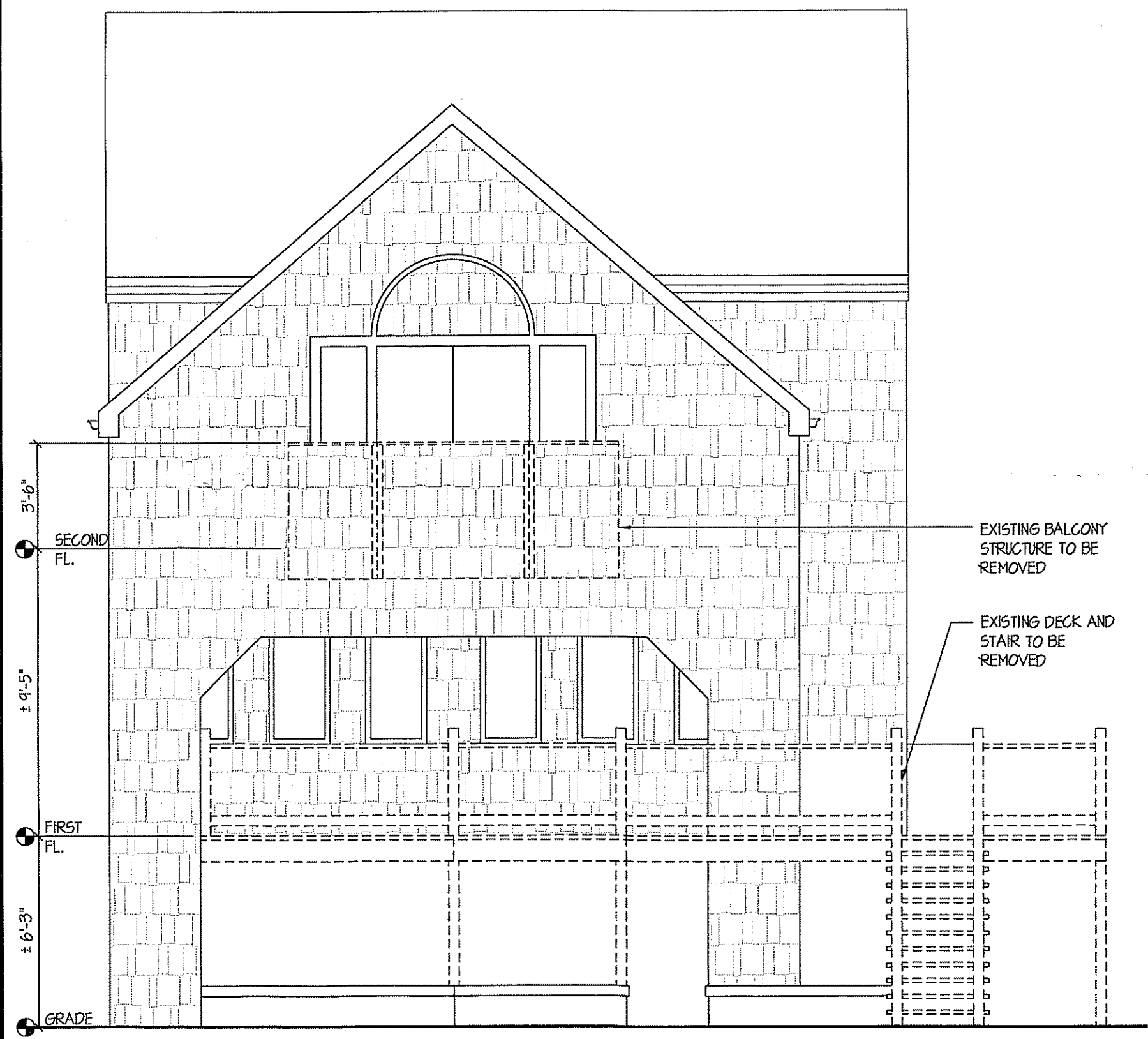
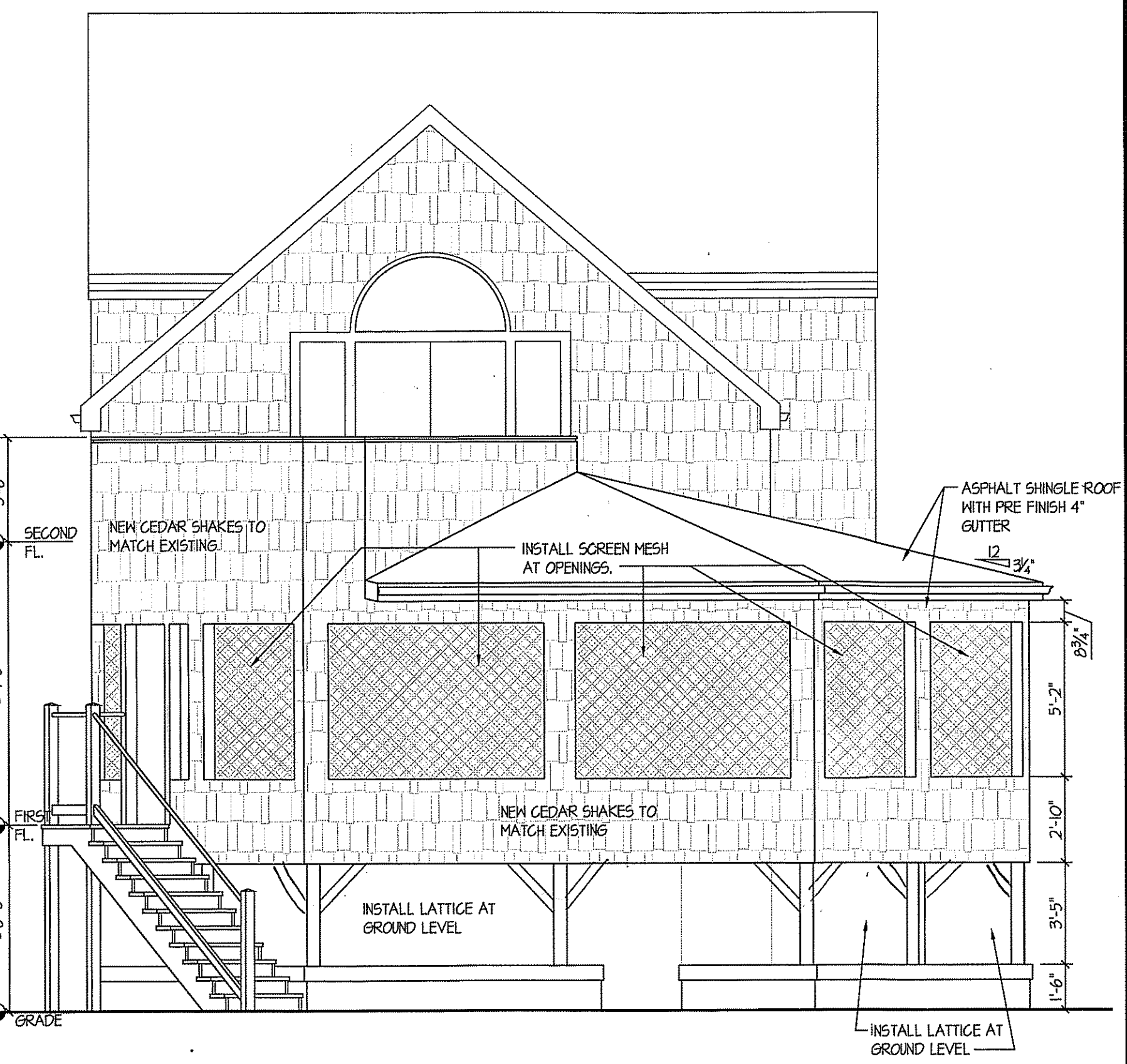
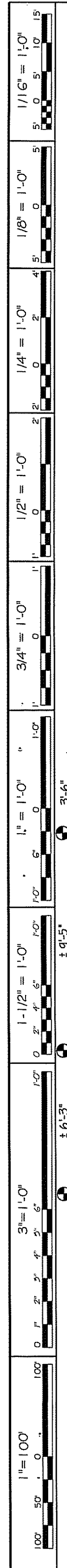


2 PROP. SOUTH ELEVATION
SCALE: 1/4"=1'-0"

1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"

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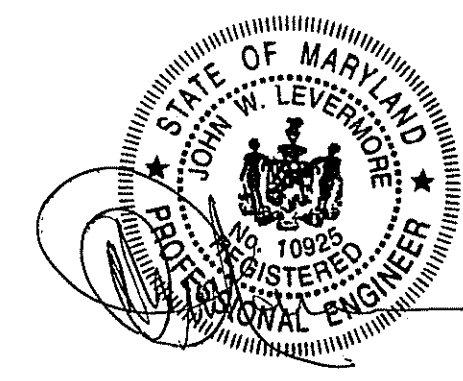


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7613 TAKOMA AVENUE
TAKOMA PARK, MD.

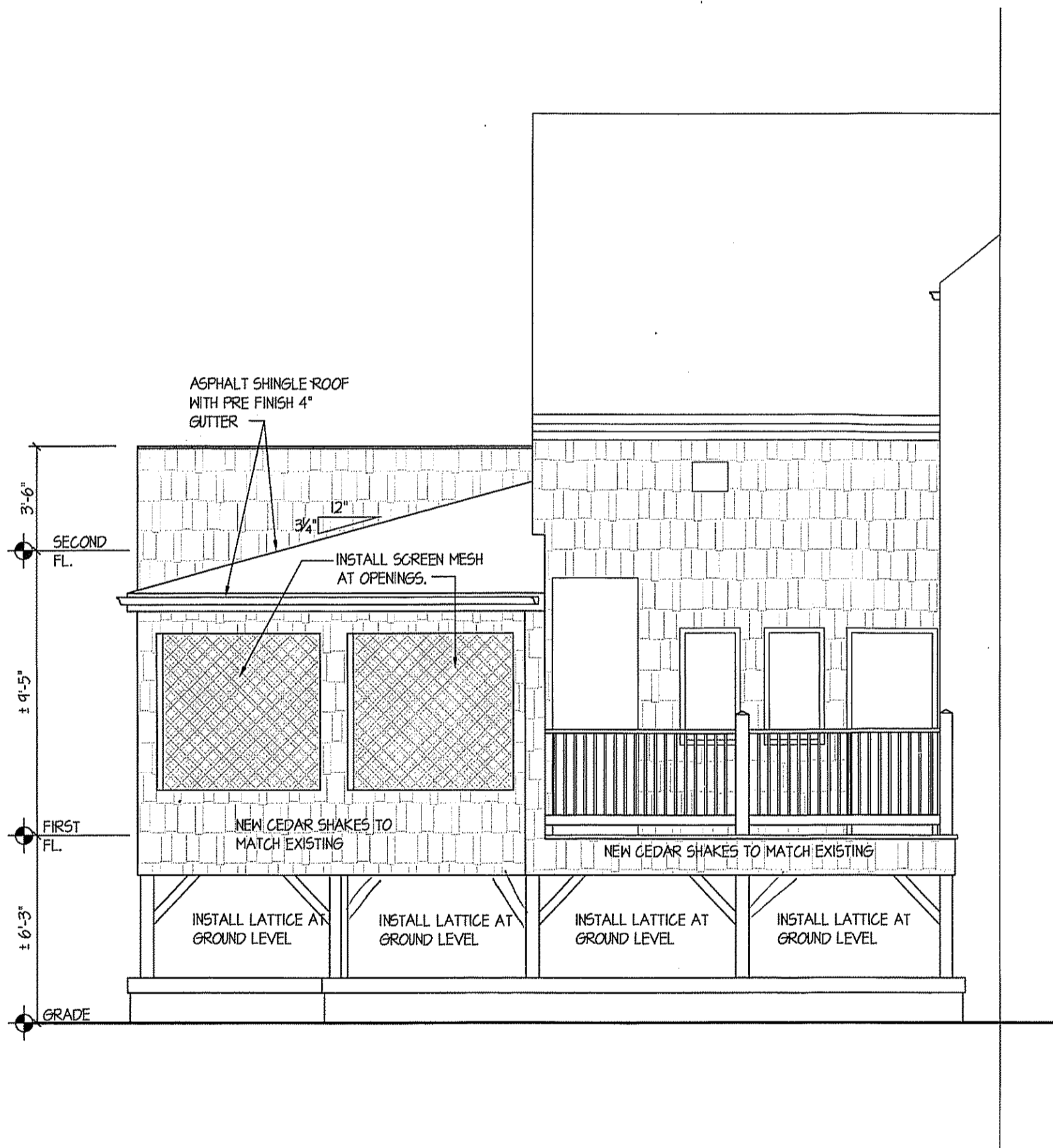
SHEET TITLE :
EXISTING & PROPOSED
SOUTHERN ELEVATIONS

CHECKED BY: J.M.
JOB NUMBER: MB-0018
SHEET: 5 OF 8
SCALE: AS NOTED

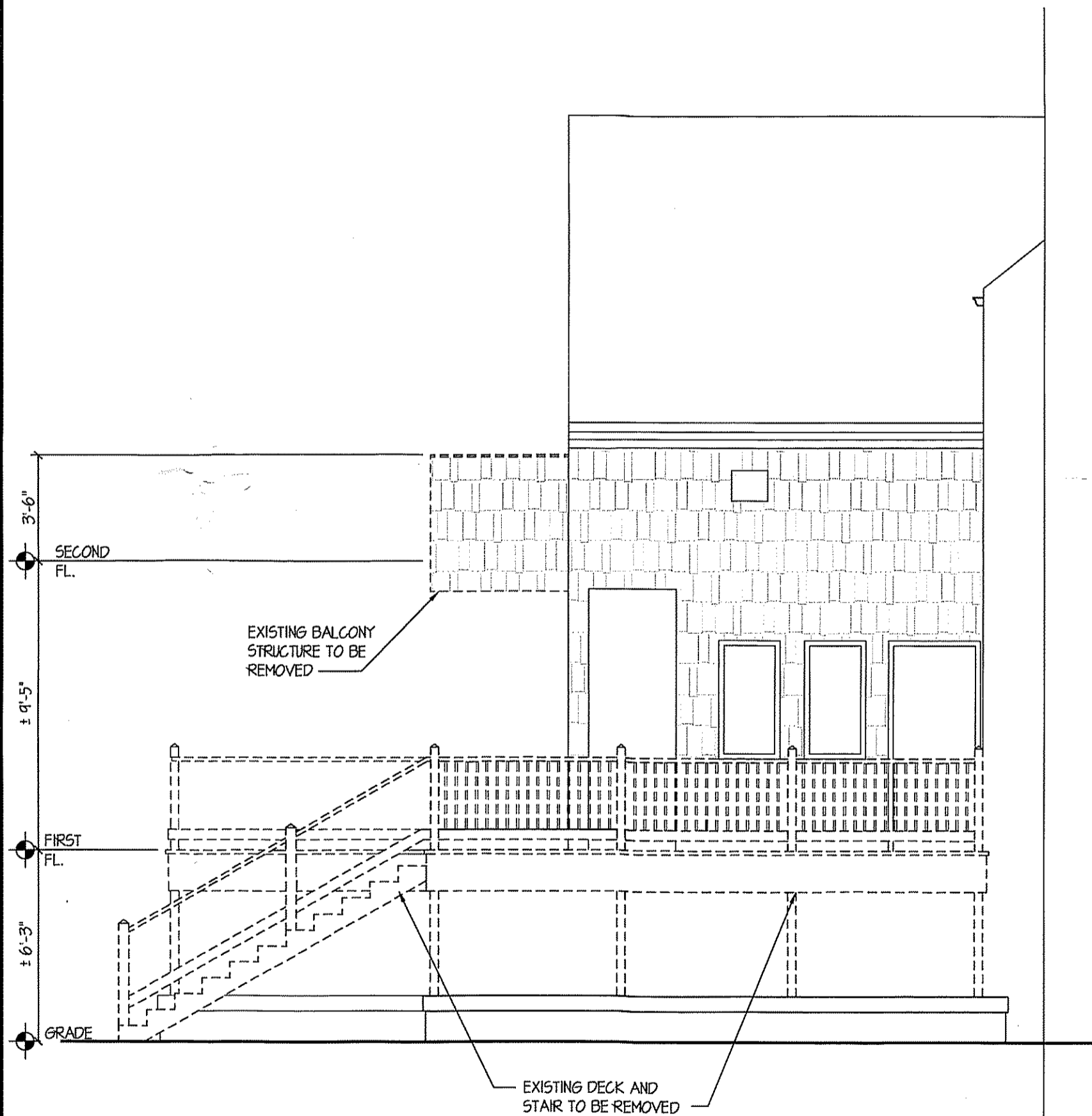


A2.1

2 PROP. EAST ELEVATION
SCALE: 1/4"=1'-0"



1 EXIST. EAST ELEVATION
SCALE: 1/4"=1'-0"



ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

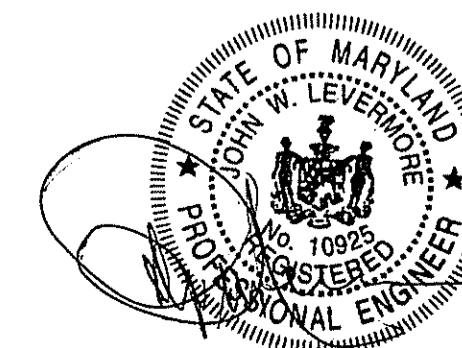
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3	PERMIT REVISION	8-03-08
2	ISSUE FOR PERMIT	3-19-08
1	ISSUE FOR REVIEW	3-06-08

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
EXISTING & PROPOSED
EASTERN ELEVATIONS

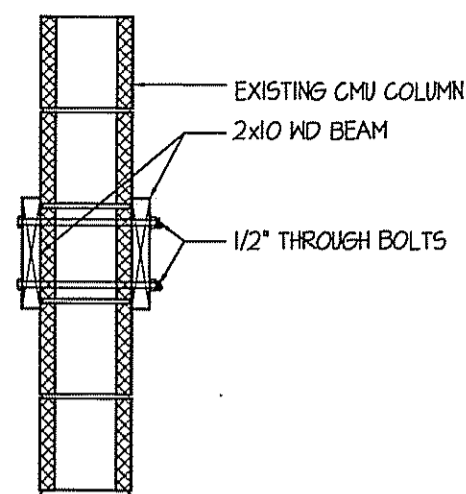
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JOB NUMBER: MB-0018
SHEET: 6 OF 8
SCALE: AS NOTED

A2.2

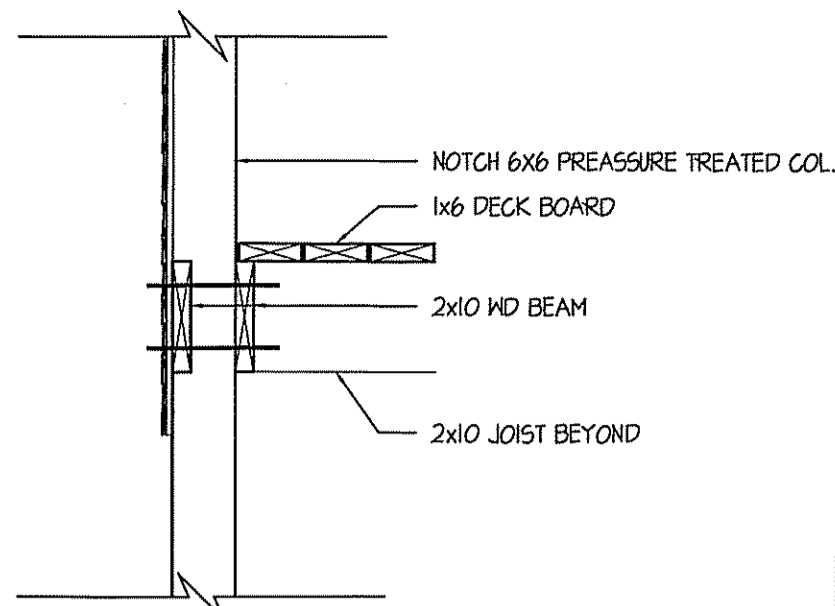


ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

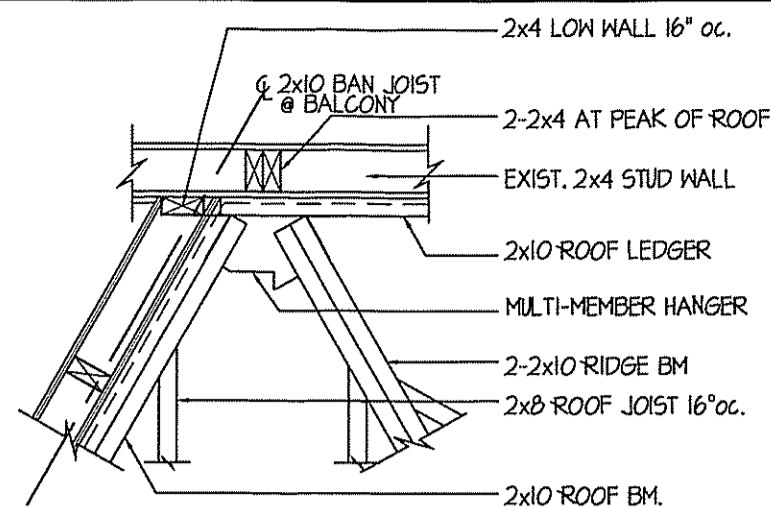
THOMAS ARCHER LLC
CONTRACTING



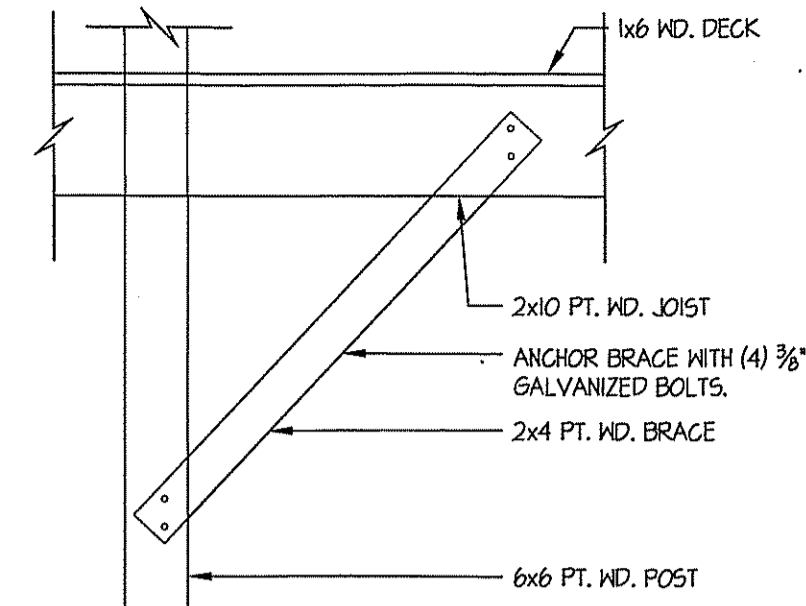
3 DETAIL
SCALE: 3/4"=1'-0"



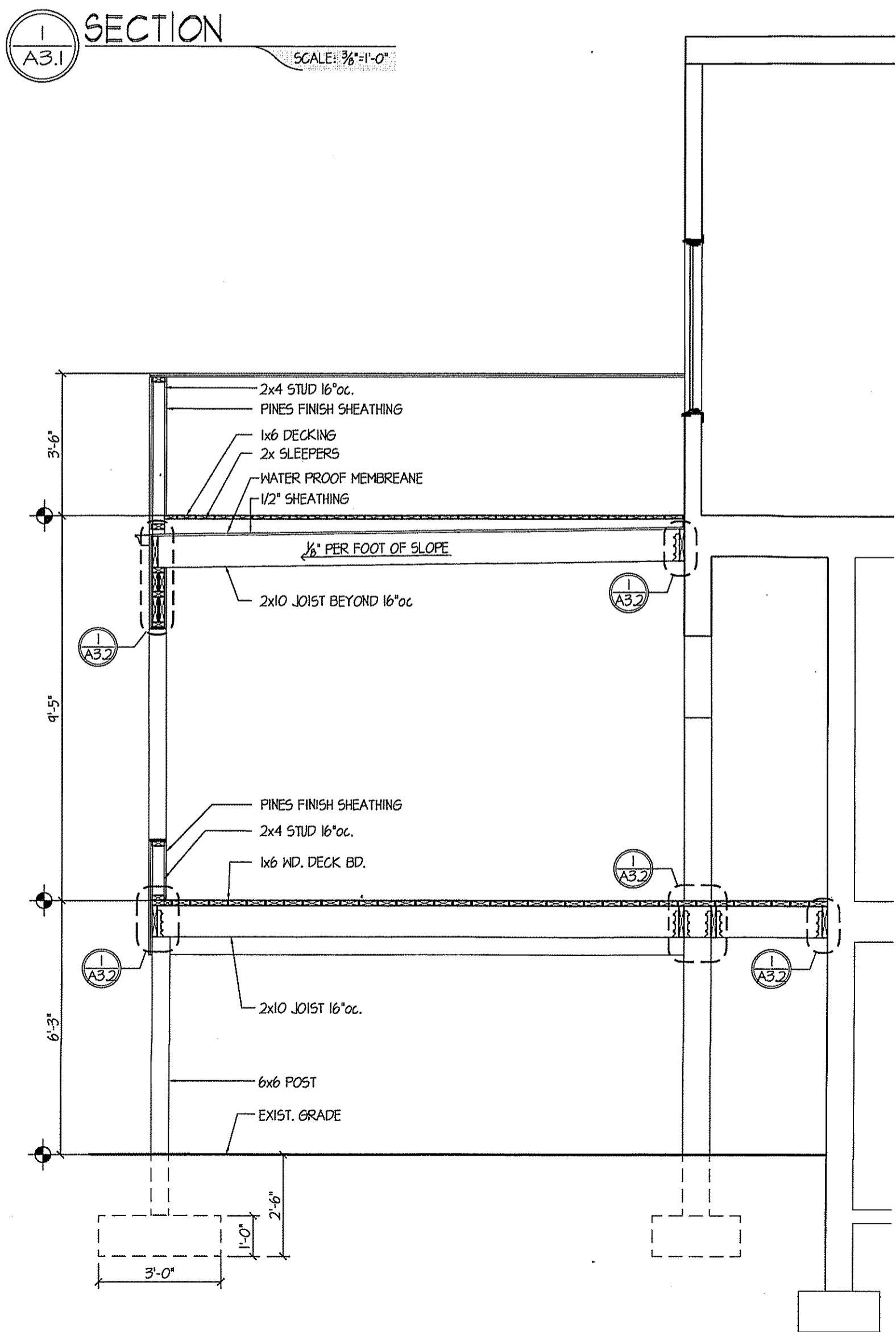
4 DETAIL
SCALE: 3/4"=1'-0"



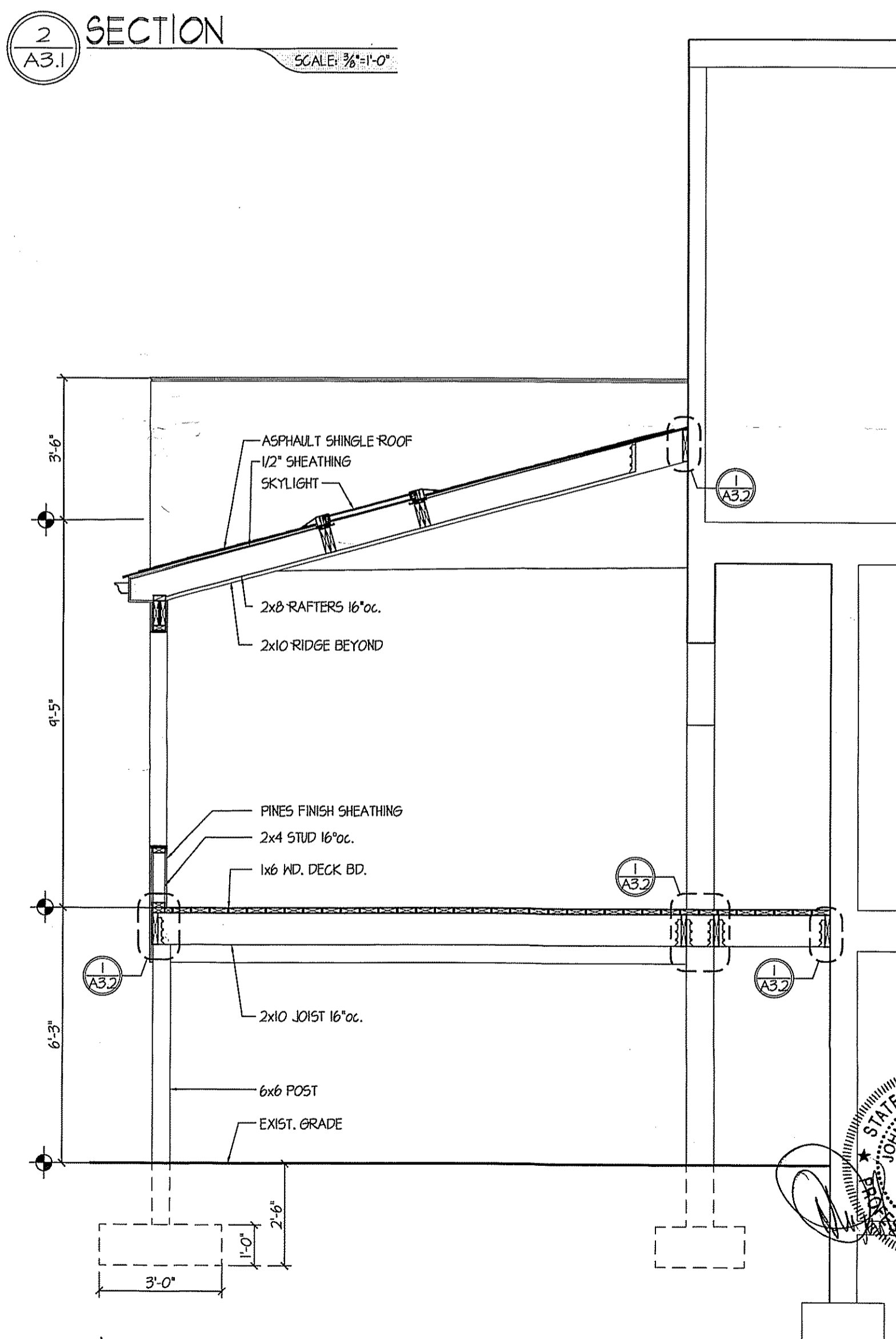
5 DETAIL
SCALE: 3/4"=1'-0"



6 DETAIL
SCALE: 3/4"=1'-0"



1 SECTION
SCALE: 3/8"=1'-0"



2 SECTION
SCALE: 3/8"=1'-0"

NO.	DESCRIPTION	DATE
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TAKOMA PARK, MD.

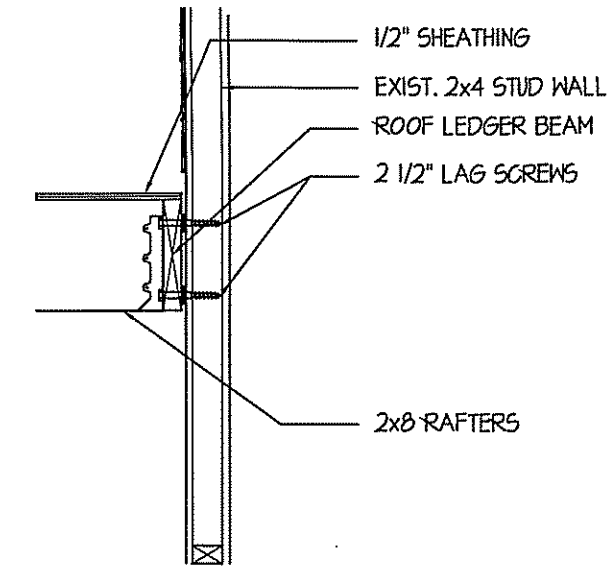
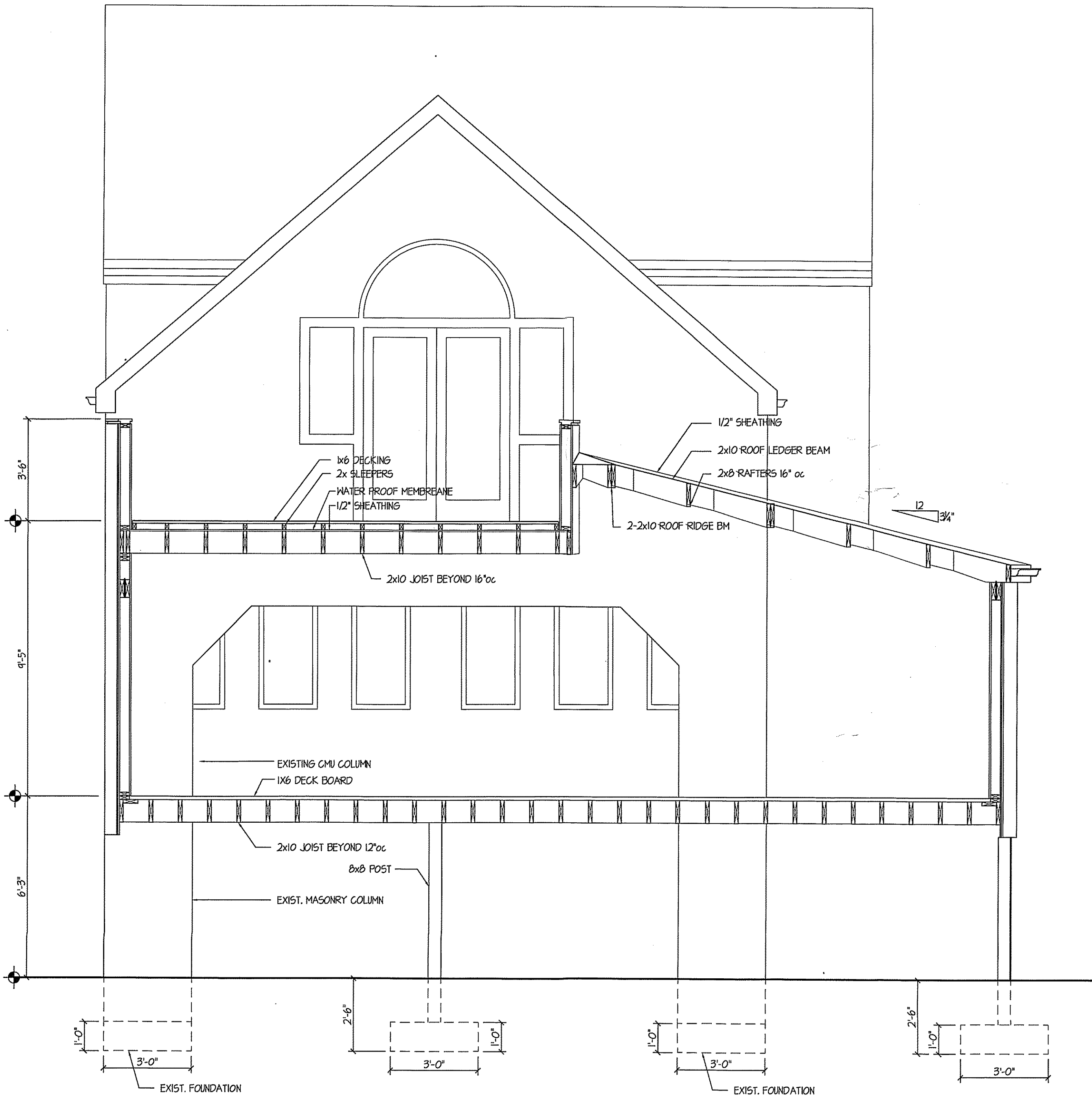


SHEET TITLE: SECTIONS & DETAILS

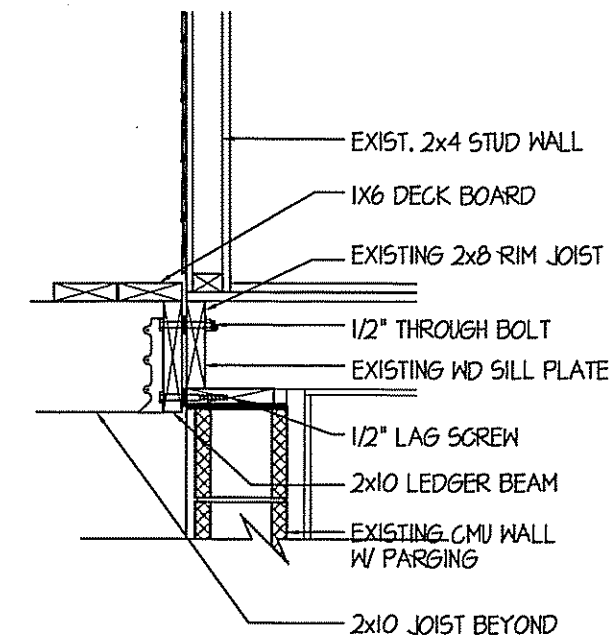
CHECKED BY: J.M.	JOB NUMBER: MB-0018	A3.1
SHEET 7 OF 8	SCALE: AS NOTED	

SECTION
A3.2

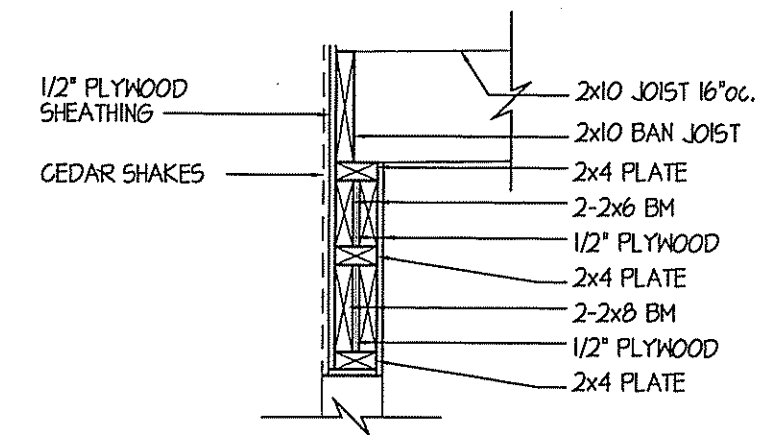
SCALE: 3/8"=1'-0"



2 LEDGER DETAIL
SCALE: 3/4"=1'-0"



3 LEDGER DETAIL
SCALE: 3/4"=1'-0"



4 HEADER DETAIL
SCALE: 3/4"=1'-0"

ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

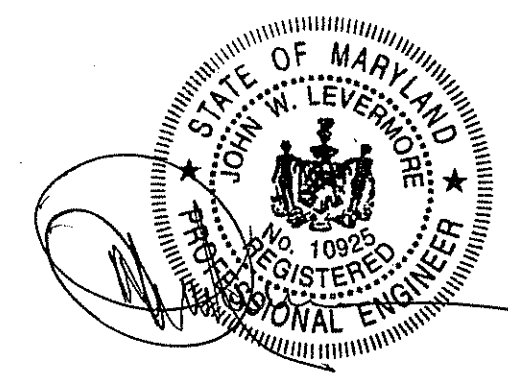
THOMAS ARCHER LLC
CONTRACTING

NO.	DESCRIPTION	DATE
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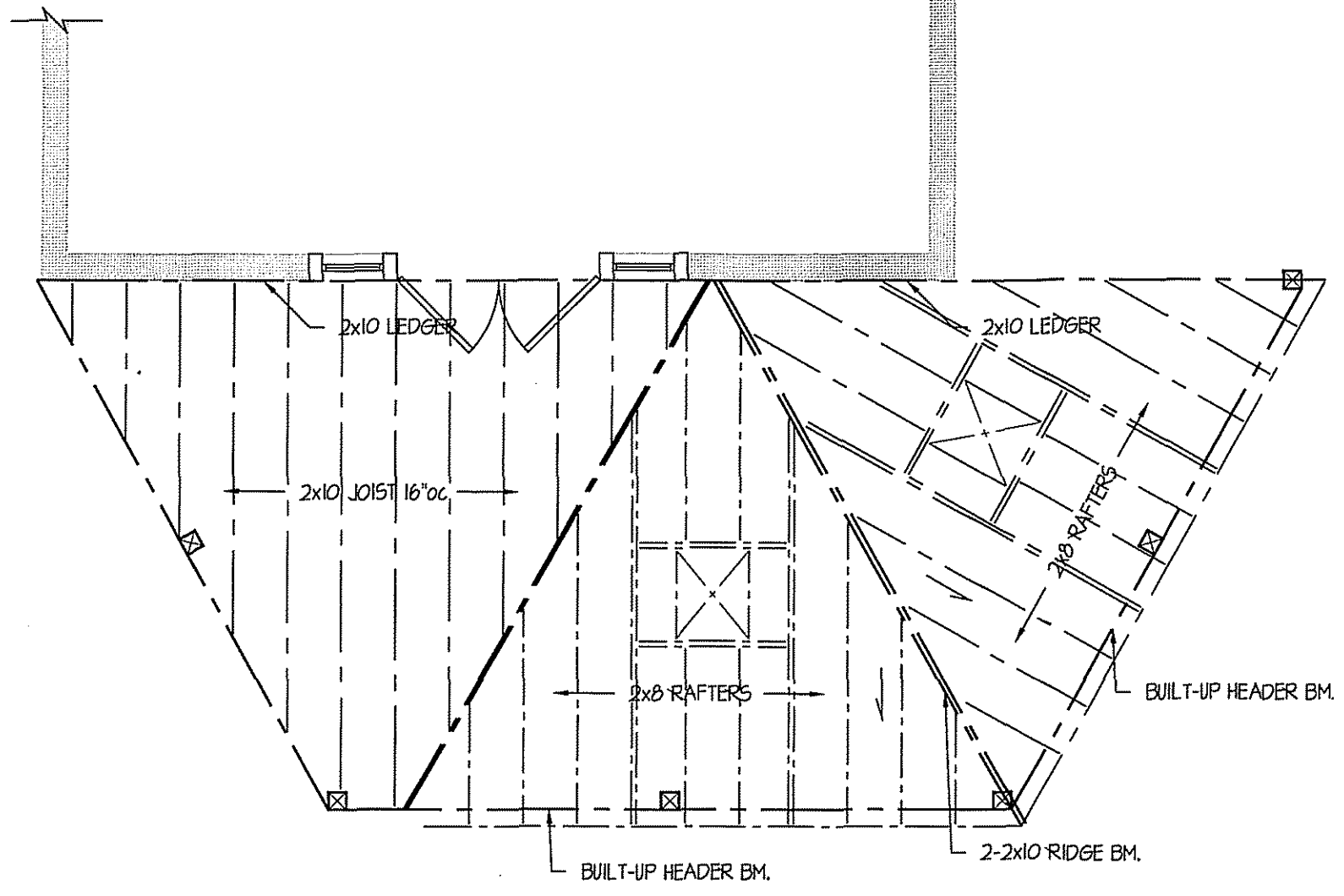
7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE :
SECTIONS & DETAILS

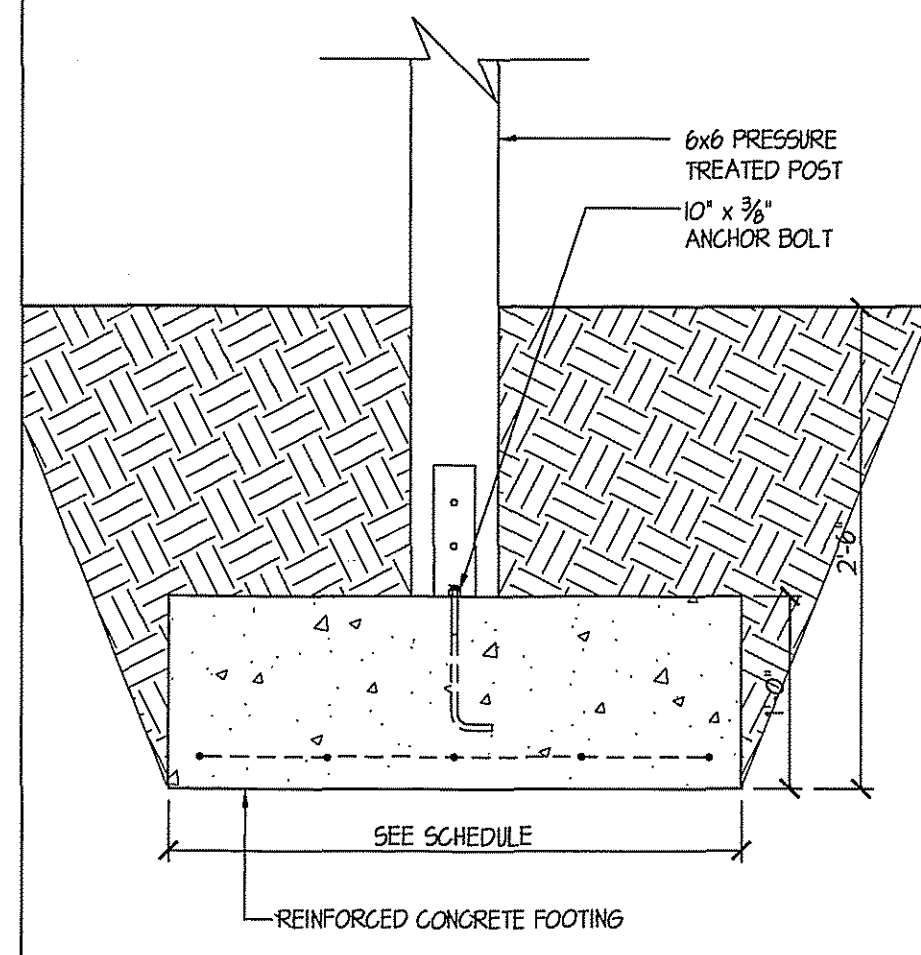
CHECKED BY: J.M.	JOB NUMBER: MB-0018	A3.2
SHEET 7 OF 8	SCALE: AS NOTED	



4 ROOF & BALCONY FRAMING
SCALE: 1/4"=1'-0"



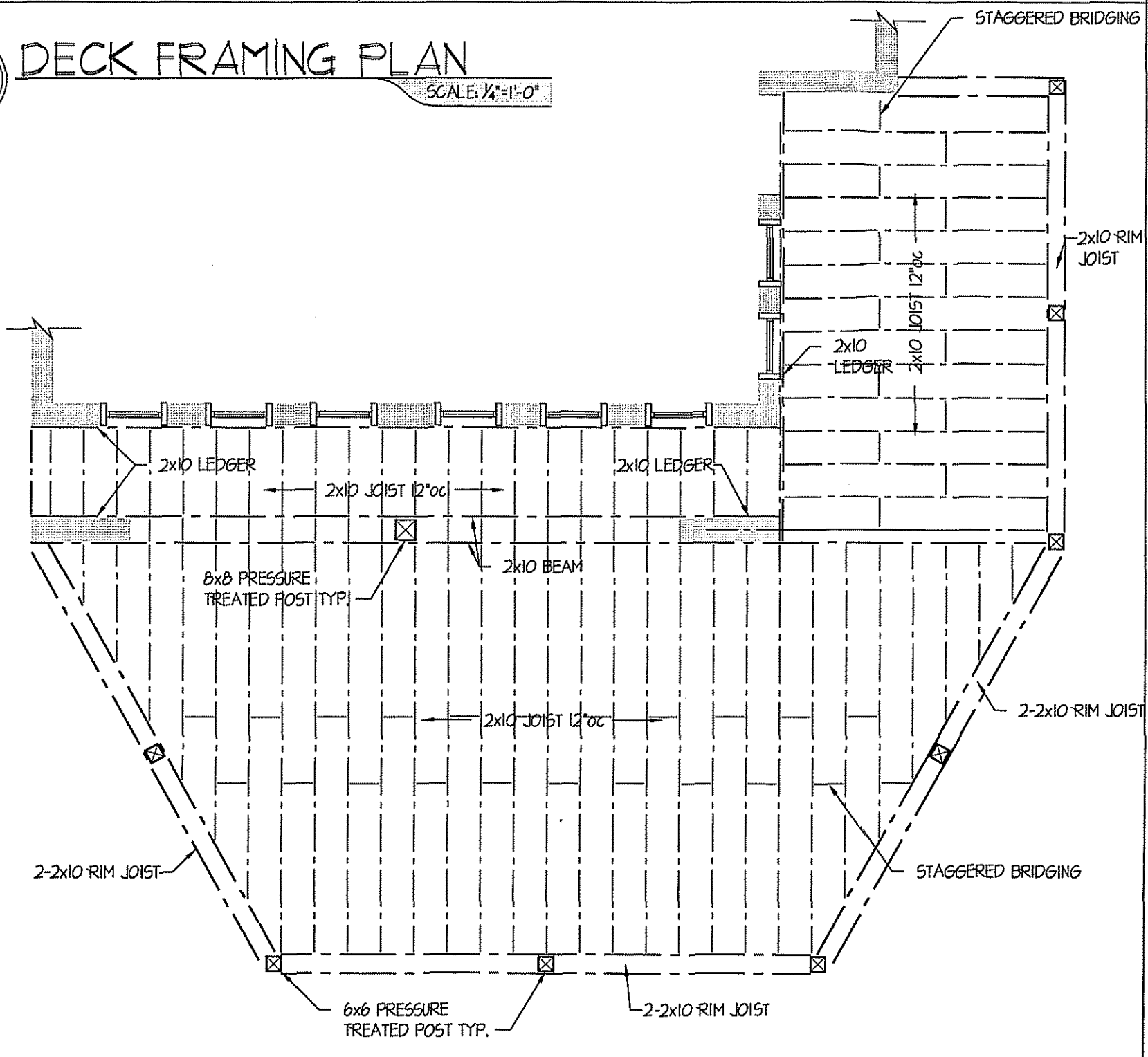
2 TYP. FOOTING DETAIL
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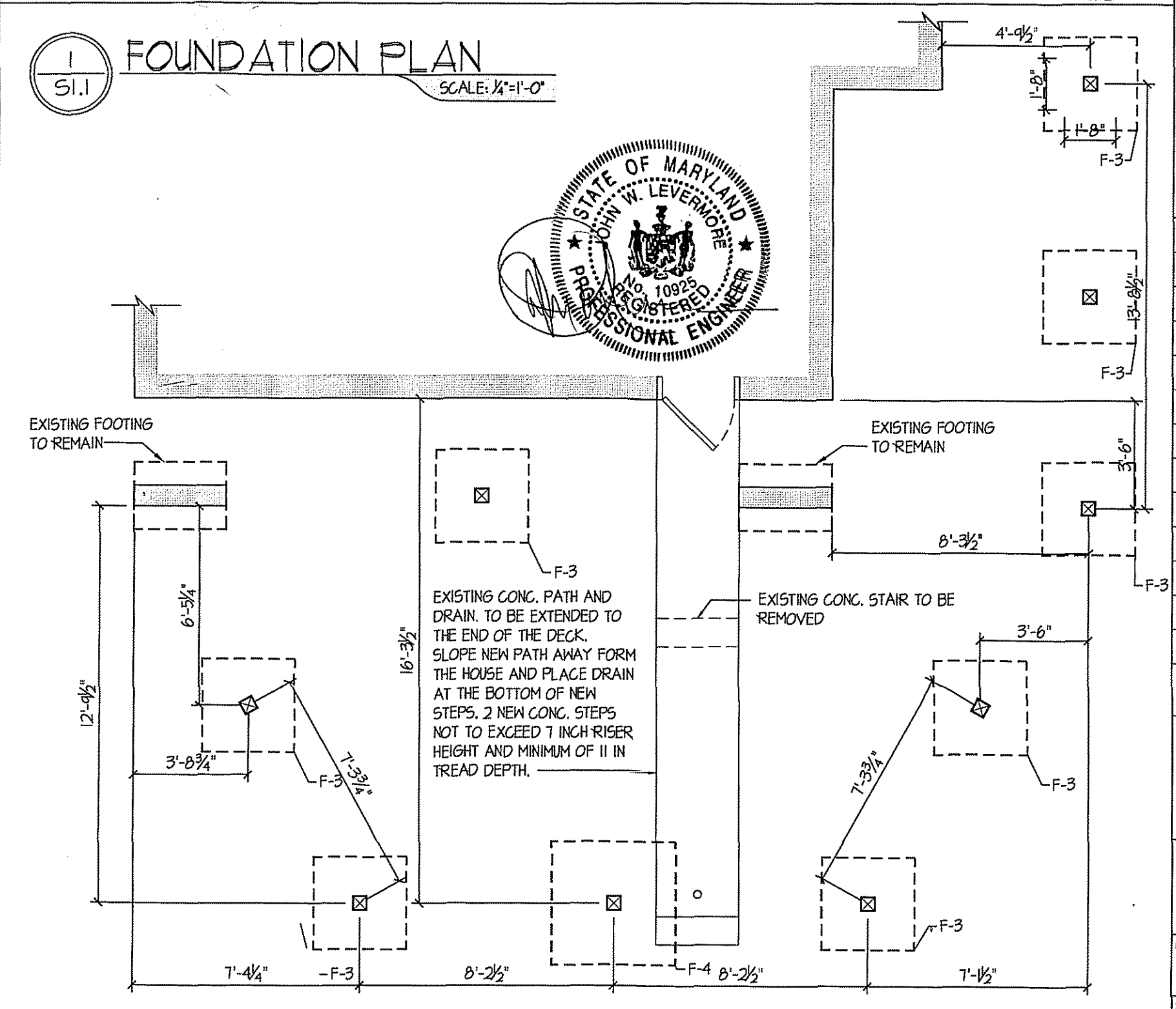
FOOTING SCHEDULE		
NO.	SIZE	REINFORCING
F-3	3'-0"x3'-0"x1'-0"	5 - #5 EW BOTT 4-#4
F-4	4'-0"x4'-0"x1'-0"	4 - #4 EW BOTT 5-#5

ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

3 DECK FRAMING PLAN
SCALE: 1/4"=1'-0"



1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



THOMAS ARCHER LLC
CONTRACTING

NO.	DESCRIPTION	DATE
3	PERMIT REVISION	8-03-08
2	ISSUE FOR PERMIT	3-19-08
1	ISSUE FOR REVIEW	3-06-08

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
PROPOSED FRAMING
PLANS

CHECKED BY: J.M.	JOB NUMBER: MB-0018
SHEET 7 OF 8	SCALE: AS NOTED

SI.1



HISTORIC PRESERVATION COMMISSION

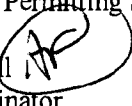
Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 06/26/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #484684 – Deck removal, screened porch, balcony, and deck construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the June 25, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew Potterfield and Susan Alexander
Address: 7613 Takoma Avenue, Takoma Park, MD 20912

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

AIP 486864

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: THOMAS ARCHER LLC (John Moody)

Daytime Phone No.: 202-723-1455

Tax Account No.: 16 13 01061390

Name of Property Owner: Andrew Potterfield & Susan Alexander Daytime Phone No.: 301-787-5530

Address: 7613 TAKOMA AVE NW WASHINGTON DC 20004
Street Number City State Zip Code

Contractor: THOMAS ARCHER LLC Phone No.: 202-723-1455

Contractor Registration No.: 3554228

Agent for Owner: THOMAS ARCHER LLC (JOHN MOODY III) Daytime Phone No.: 202-723-1455

LOCATION OF BUILDING/PREMISE

House Number: 7613 Street: TAKOMA AVE

Town/City: TAKOMA PARK Nearest Cross Street: New York Ave

Lot: parts of lot B Block: 74 Subdivision: 25

Liber: 4251 & 4349 Folio: 694 & 229 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

6/4/08
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6-26-08

Application/Permit No.: 486864 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

OWNERS HAVE AN EXISTING SINGLE FAMILY HOME WITH AN EXISTING
DETERIORATED PARTIALLY COVERED REAR DECK.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

OWNERS INTEND TO REMOVE THE DECK AND BALCONY AND REPLACE IT WITH A
NEW PARTIALLY COVERED DECK AND A NEW BALCONY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7613 Takoma Avenue, Takoma Park	Meeting Date:	6/25/08
Applicant:	Andrew Potterfield and Susan Alexander	Report Date:	6/18/08
Resource:	Contributing Resource Takoma Park Historic District	Public Notice:	6/11/08
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08KK	Staff:	Anne Fothergill

PROPOSAL: Deck removal, construction of rear screened porch, new 2nd floor rear balcony

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this HAWP application.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Bungalow
DATE: 1926

PROPOSAL

The applicants are proposing to:

- Remove existing wood deck at the rear of the house
- Construct an approximately 30' x 15' screened porch at the rear of the house with cedar shakes and asphalt shingle roof; new wood steps to grade and lattice at ground level
- Construct a new approximately 7' x 13' wood deck with inset picket railing at rear left side of the house where there is an existing deck
- Remove existing 2nd floor rear balcony and construct new balcony incorporated into porch structure below

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- All change and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed screened porch and deck are approximately 100' back from the street and are connected to an addition to the house. The removal of an existing rear wood deck/balcony and construction of a new deck and rear screened porch and balcony will not have an adverse impact on this contributing resource or the historic district. Staff recommends approval of this application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

AIP 486864

HISTORIC PRESERVATION COMMISSION
301/563-3400
APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: THOMAS ARCHER LLC (John Moody)

Daytime Phone No.: 202-723-1455

Tax Account No.: 16 13 01061390

Name of Property Owner: Andrew Potterfield & Susan Alexander Daytime Phone No.: 301-787-5530

Address: 7613 TAKOMA AVE NW WASHINGTON DC 20004
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House Number: 7613 Street: TAKOMA AVE

Town/City: TAKOMA PARK Nearest Cross Street: New York Ave

Lot: parts of lot 21 Block: 74 Subdivision: 25

Liber: 4251 & 4349 Folio: 694 & 229 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 6/4/08

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
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NEW PARTIALLY COVERED DECK AND A NEW BALCONY.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
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You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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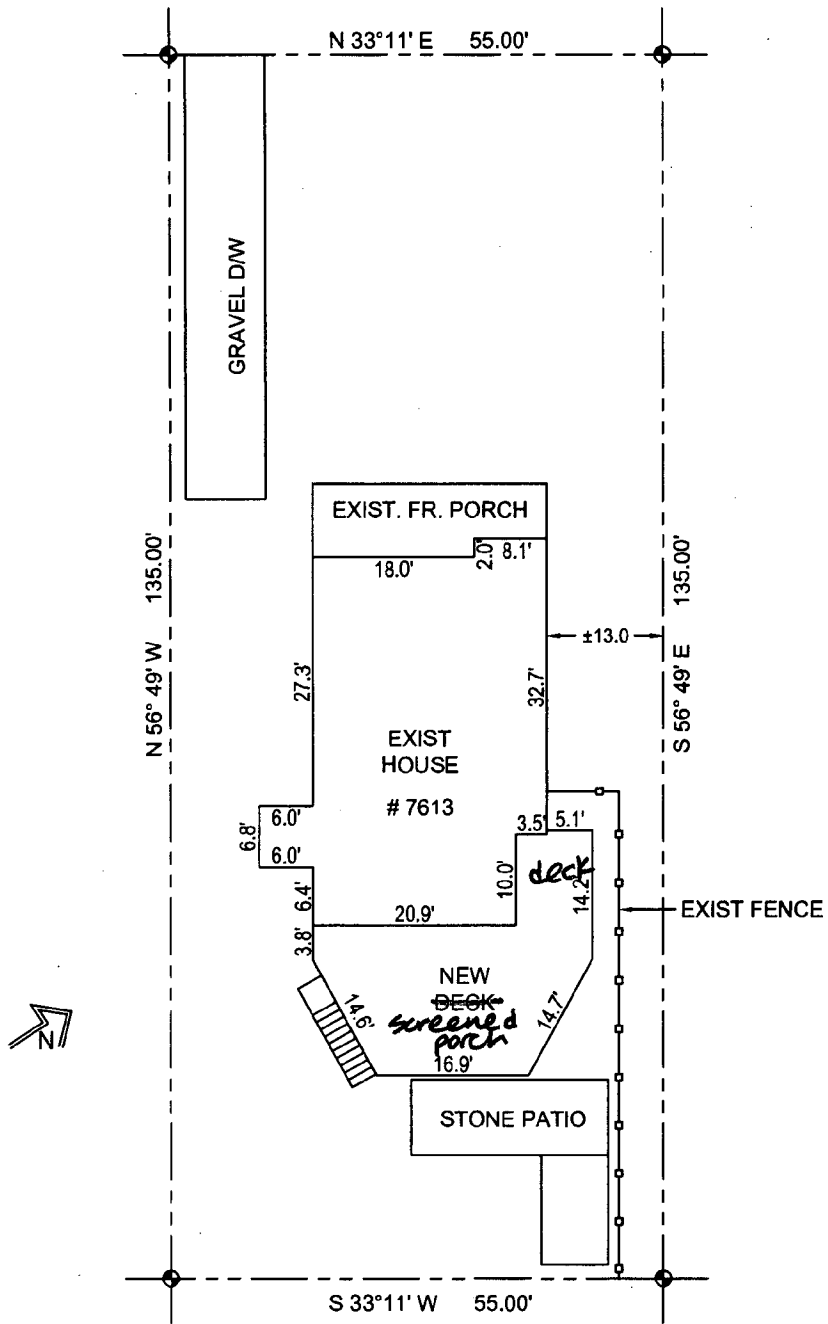
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5

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
ANDREW POTTERFIELD & SUSAN ALEXANDER 7613 TAKOMA AVE TAKOMA PARK, MD	THOMAS ARCHER LLC 1455 PENNSYLVANIA AVE NW SUITE 100 WASHINGTON, DC 20004
Adjacent and confronting Property Owners mailing addresses	
Bernard Aronson 7611 TAKOMA AVE TAKOMA PARK MD	Richard & Sheri Weil 7615 TAKOMA AVE TAKOMA PARK MD
Mitch & Terry Tropin New York Ave TAKOMA PARK, MD	

TAKOMA AVENUE



THOMAS ARCHER
CONTRACTING

PROPOSED SITE PLAN

Scale: 1:20

Date: 6-02-08

SYMBOLS LEGEND:

--- ROOM NAME
 [] PARTITION TYPE
 ▲ INTERIOR ELEVATION NUMBER
 --- SECTION NUMBER
 --- SHEET NUMBER
 --- DETAIL NUMBER
 --- SHEET NUMBER
 --- KEY NOTE
 --- DOOR SYMBOL
 --- WIDTH FEET & INCHES
 --- HEIGHT FEET & INCHES
 --- WINDOW SYMBOL
 --- WIDTH FEET & INCHES
 --- HEIGHT FEET & INCHES

MATERIALS LEGEND

--- EARTH
 --- WOOD FRAMING
 --- SHIP-SHOULDER
 --- CONCRETE
 --- BRICK
 --- C.M.U.
 --- GYPSUM BO.
 --- SHEATHING
 --- GLASS
 --- CERAMIC TILE
 --- PLYWOOD
 --- SEALANT BACKER ROD
 --- BATT INSULATION
 --- RIGID INSULATION

VACINITY MAP

SITE PLAN:

Location of House
 Parts of Lots 21, 22 & 23
 Block 74
 NORTH TAKOMA
 Montgomery County, MD

Takoma Avenue
 10' R/W

HUD Flood Panel No. 1 (NOT AVAILABLE)

CERTIFICATE		HALLER ASSOCIATES	
I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TABLE SURVEY AND UNLESS OTHERWISE SHOWN THERE ARE NO ENCROACHMENTS.		PLAT NO. 2	DATE OF SURVEY
DATE: 4/24/13	BY: D. HALLER	PLAT NO. 103	SCALE: 1" = 10'
LIBER 424, 1, 4540	DIVISION: SURVEYING	DATE LOC. 4.1.13	CREATED BY: B.L.
POLY 094, 1, 220	BOUNDARY	NO. NO. 093-151113	

ANDREW POTTERFIELD
 SUSAN ALEXANDER
 RESIDENCE

THOMAS ARCHER LLC
 10000 WOODBURN DRIVE
 SUITE 100
 WASHINGTON, DC 20014

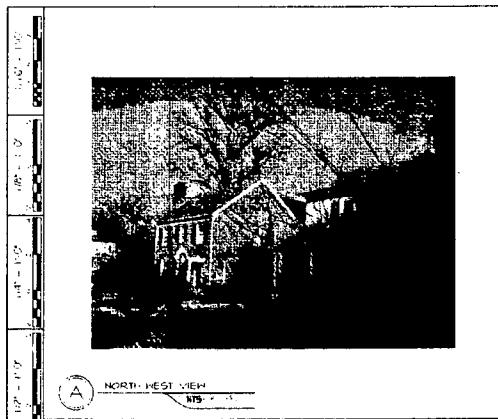
NO.	ISSUE FOR PERMIT	3/19/04
2	ISSUE FOR REVIEW	3/06/07
	DESCRIPTION	DATE

7613 TAKOMA AVENUE
 TAKOMA PARK, MD.

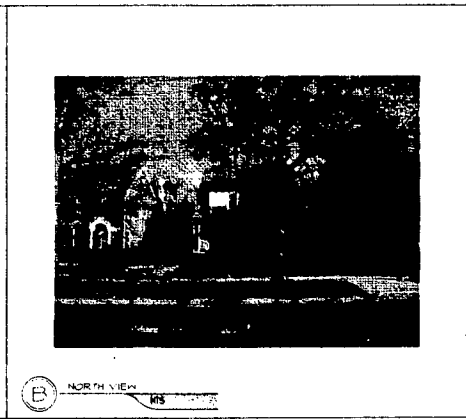
SHEET TITLE:
 LEGEND, SITE PLAN
 & VACINITY MAP

CHECKED BY: M	JOB NUMBER: MB 0712
SHEET: OF 3	SCALE: AS SHOWN

60.2



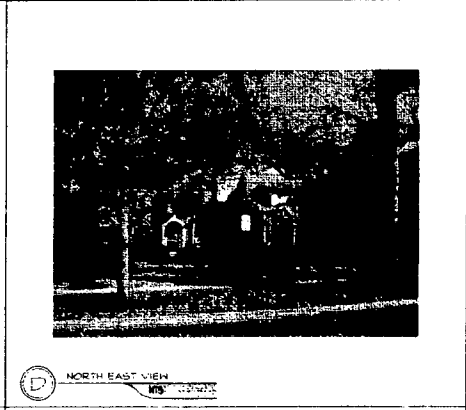
A NORTH WEST VIEW
NWS



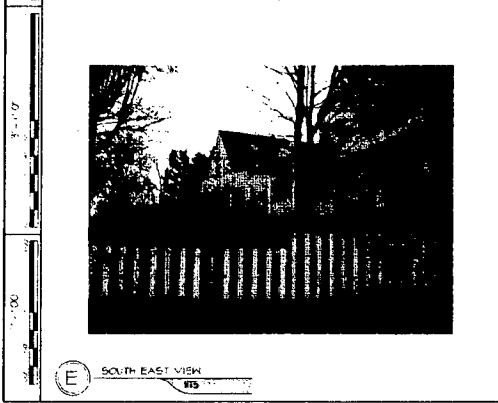
B NORTH VIEW
NWS



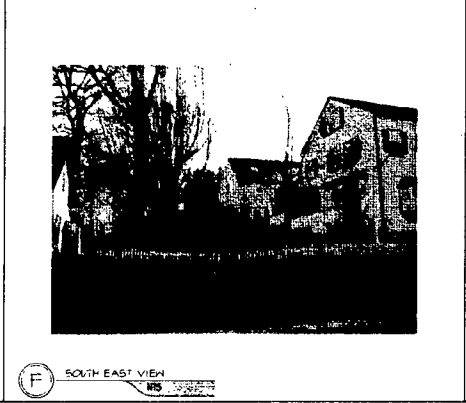
C NORTH EAST VIEW
NWS



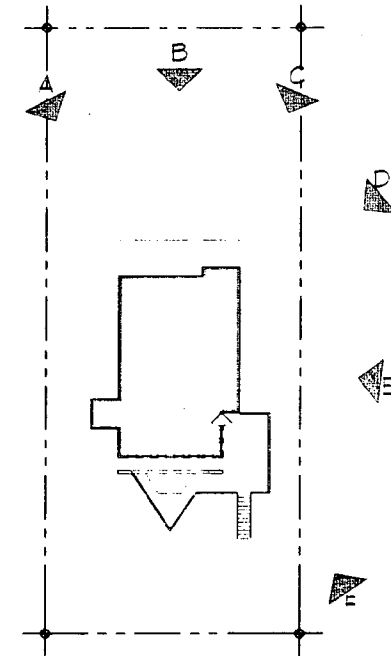
D NORTH EAST VIEW
NWS



E SOUTH EAST VIEW
NWS



F SOUTH EAST VIEW
NWS



SITE PLAN ↑ N

ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
ARCHITECTS

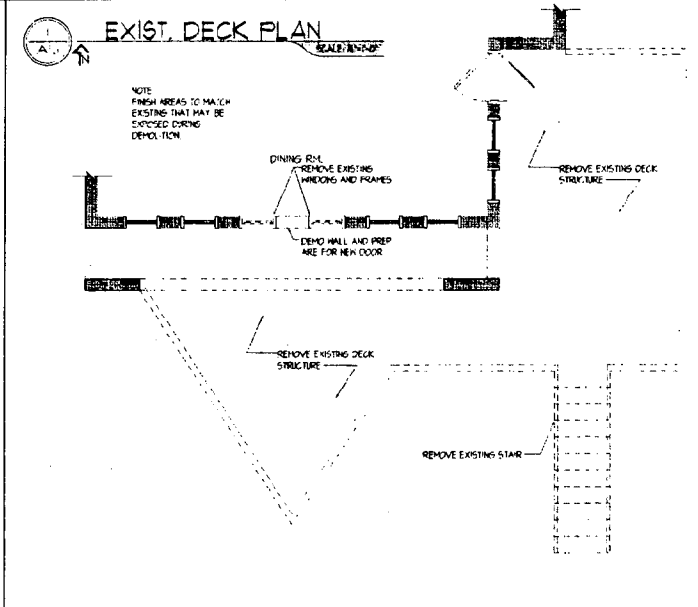
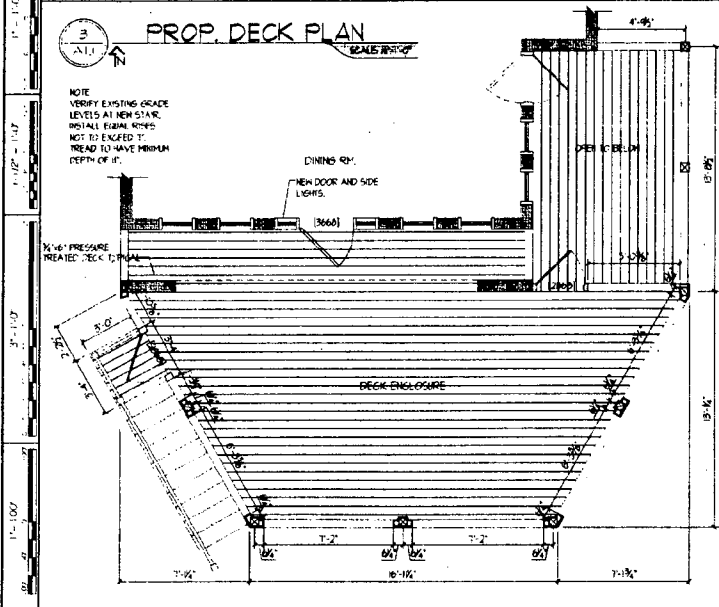
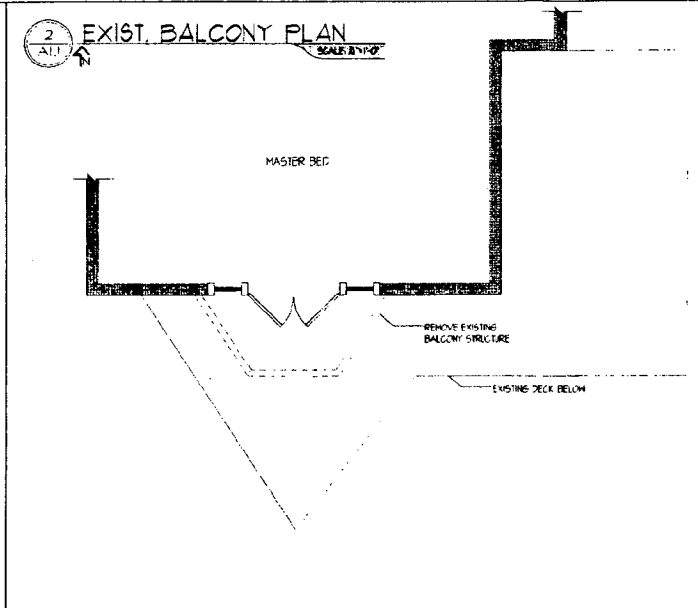
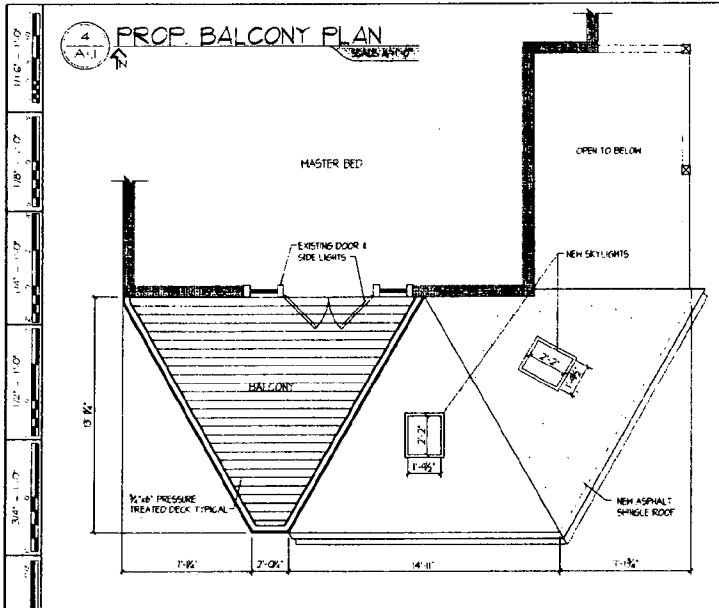
NO.	ISSUE FOR PERMIT OR FOR REVIEW DESCRIPTION	DATE
2		3/19/09
1		3/08/09

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE
EXISTING PHOTOGRAPHS

CHECKED BY: J.M.	JOB NUMBER: 15840-2
SHEET: 2 OF 4	SCALE: AS SHOWN

PH.I



ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

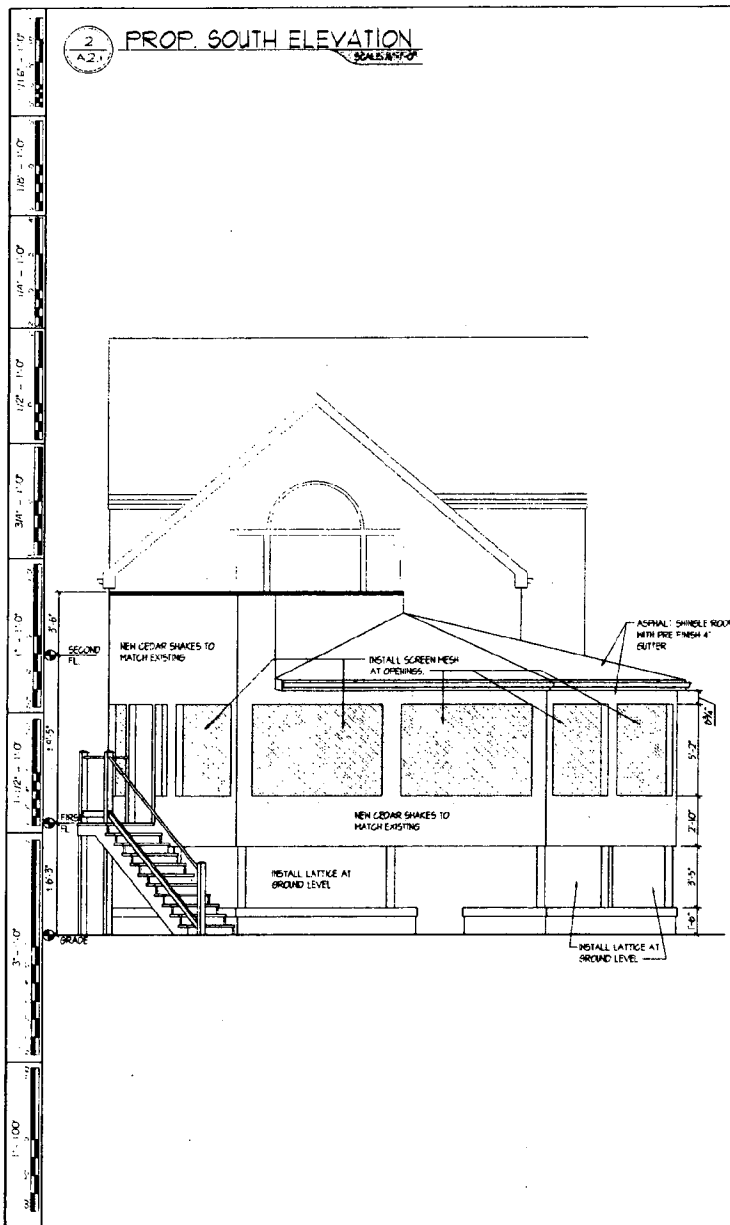
2	ISSUE FOR PERMIT	3-19-08
1	ISSUE FOR REVIEW	3-06-08
NO.	DESCRIPTION	DATE

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

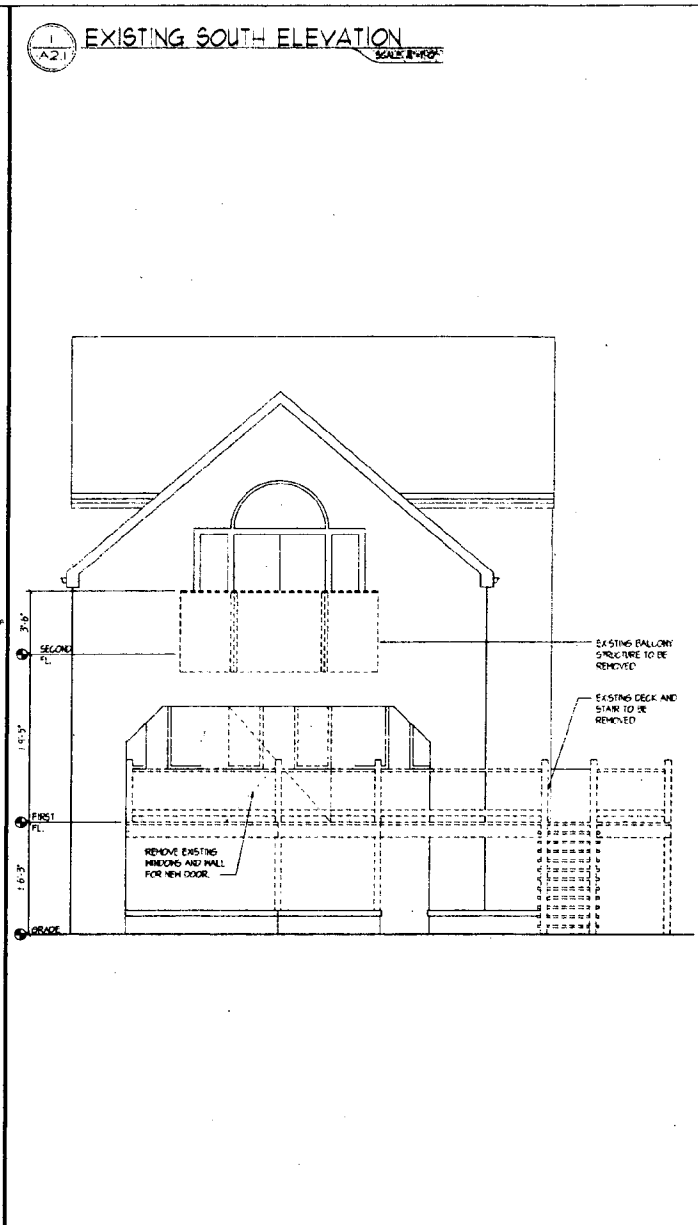
SHEET TITLE:
EXISTING & PROPOSED
FLOOR PLANS

CHECKED BY: J.M.	JOB NUMBER: ME-0012	A.I.I.
SHEET: 4 OF 8	SCALE: AS SHOWN	

11



2 PROP. SOUTH ELEVATION
SCALE: 1/8"=1'-0"



1 EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"

ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

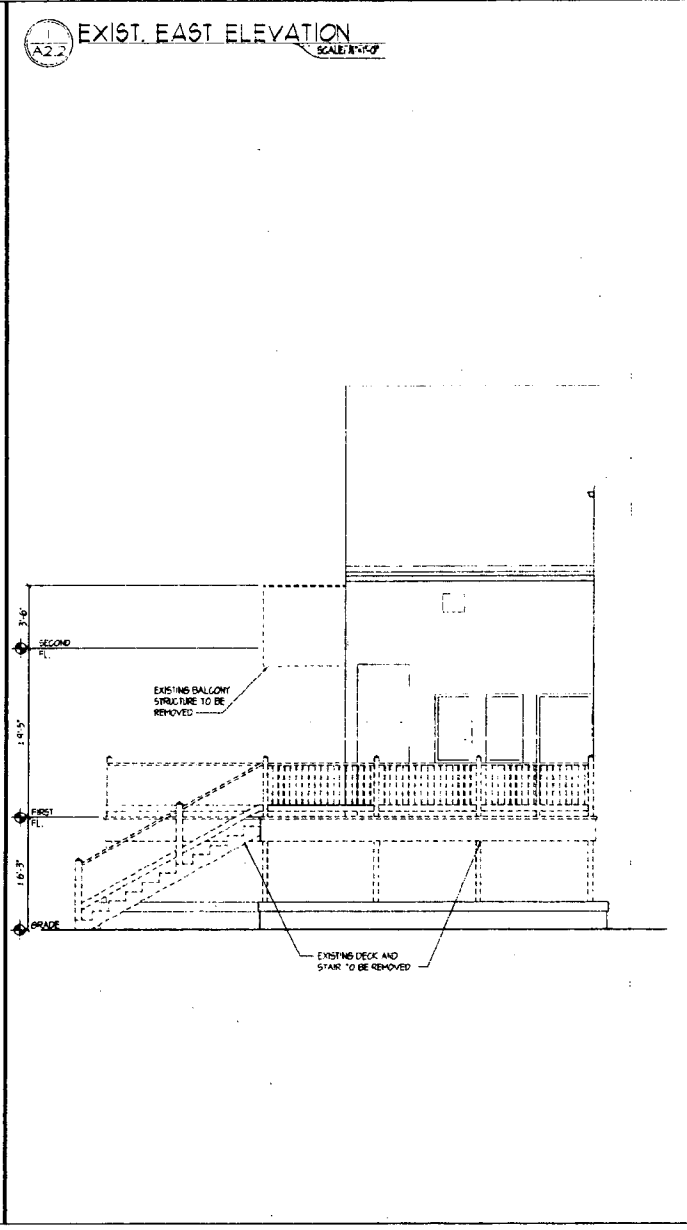
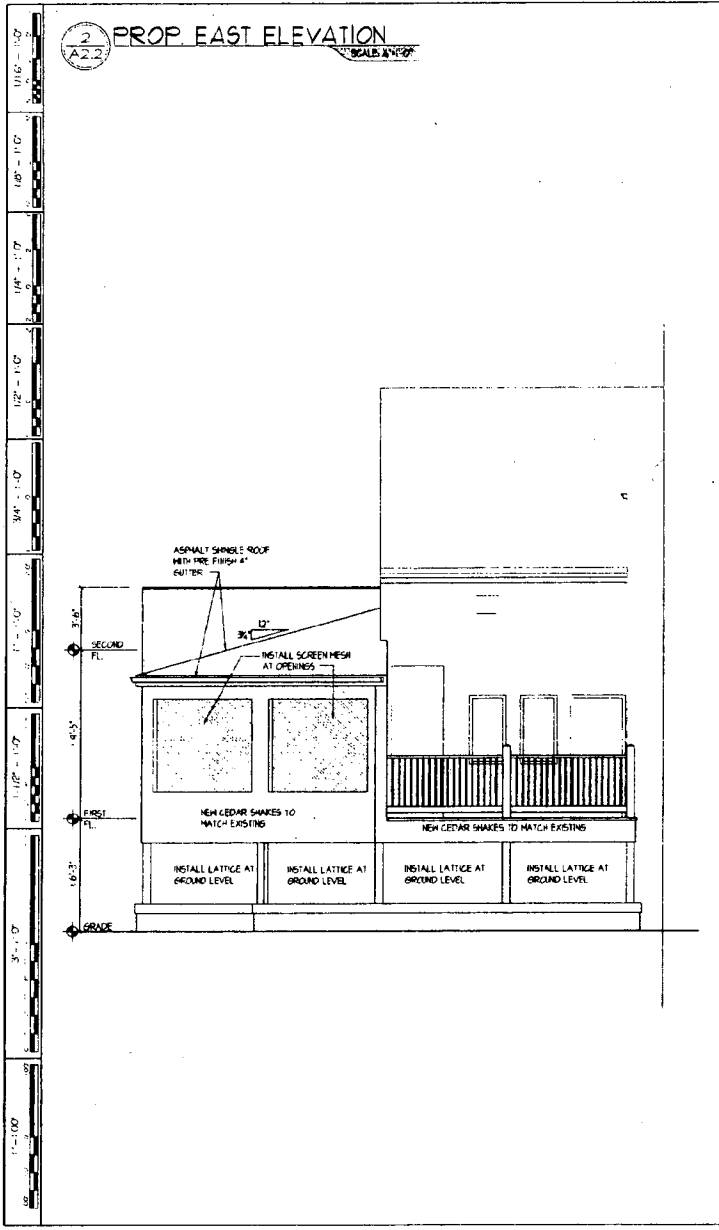
THOMAS ARCHER LLC
CONTRACTING

2	ISSUE FOR PERMIT	3-19-06
1	ISSUE FOR REVIEW	3-06-06
NO	DESCRIPTION	DATE

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
EXISTING & PROPOSED
SOUTHERN ELEVATIONS

CHECKED BY:	JOB NUMBER:	A2.1
AS	16-11-15	
SHEET	SCALE:	
5 OF 8	AS NOTED	



ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

2	SUE FOR PERMIT	3-19-08
1	SUE FOR REVIEW	3-06-08
NO	DESCRIPTION	DATE

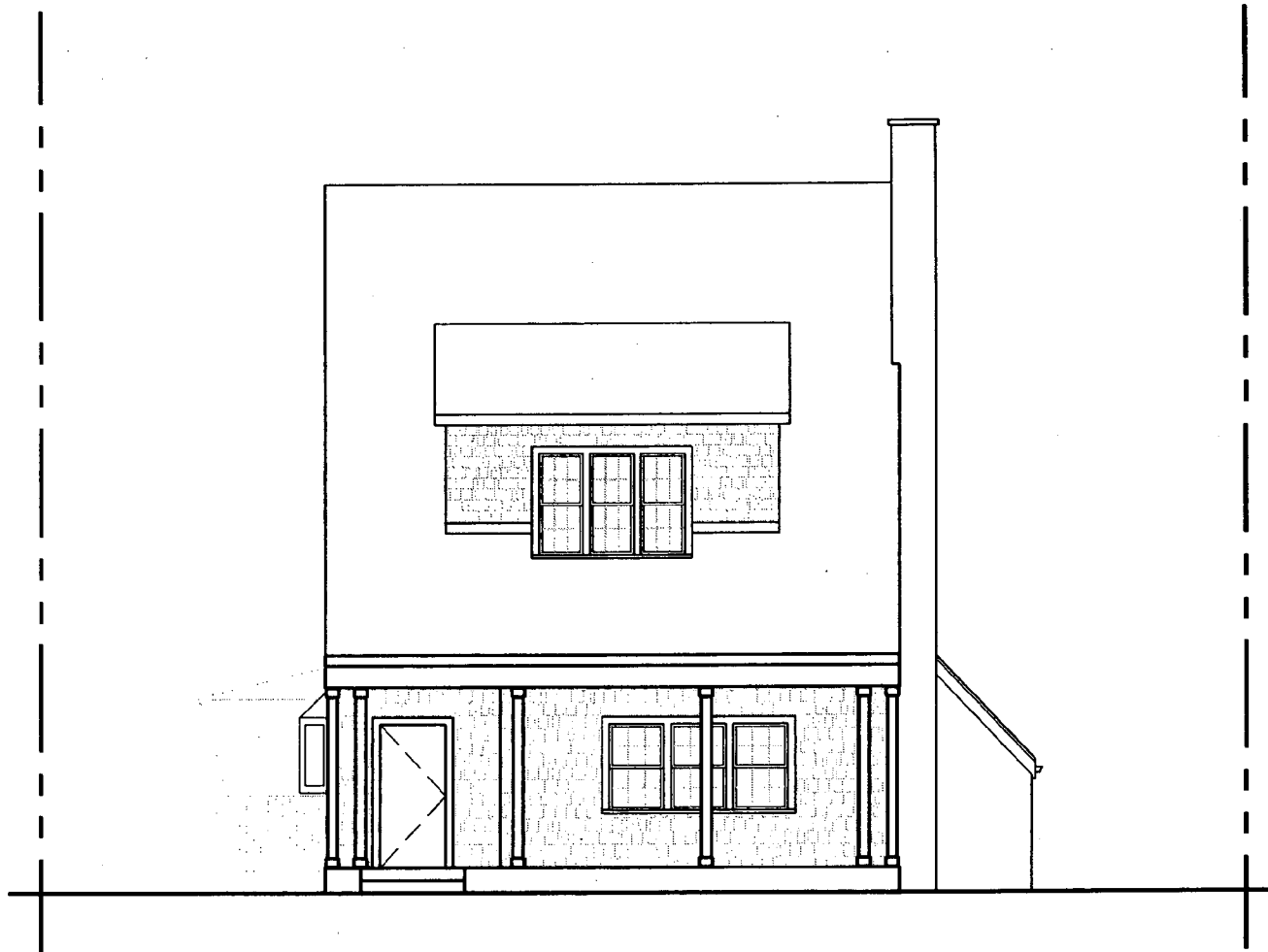
7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
EXISTING & PROPOSED
EASTERN ELEVATIONS

CHECKED BY: JAL	JOB NUMBER MR. POTTERFIELD	A2.2
SHEET: 2 OF 2	SCALE: AS NOTED	

13

THOMAS ARCHER^{LLC}
CONTRACTING



FRONT ELEVATION AT POTTERFIELD RESIDENCE

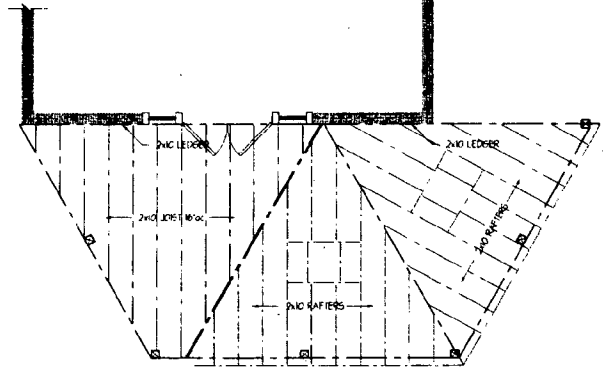
$\frac{1}{8}'' = 1'-0''$

(M)

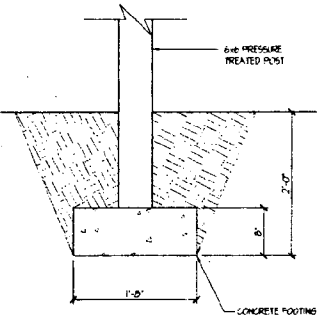
ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

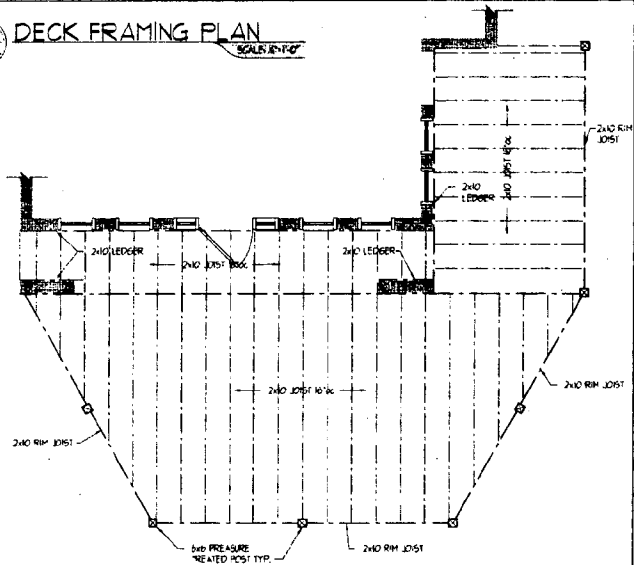
4 ROOF & BALCONY FRAMING
SCALE: 1/4" = 1'-0"



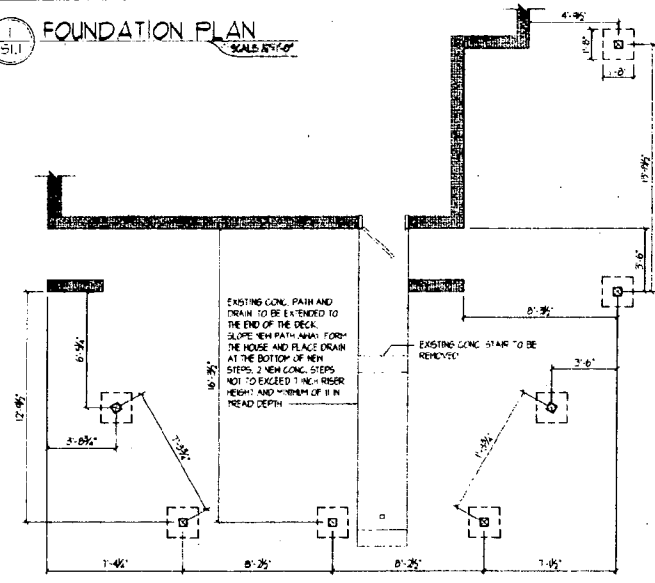
2 TYP. FOOTING DETAIL
SCALE: 1/4" = 1'-0"



3 DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

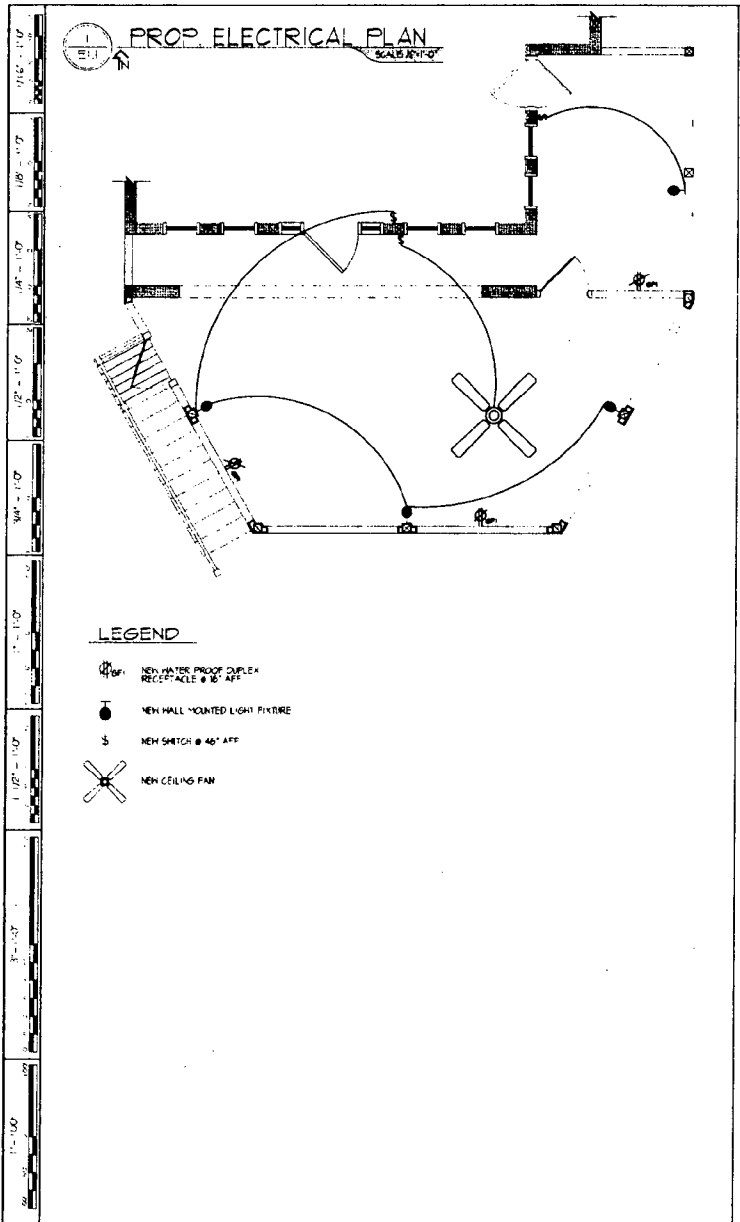


NO.	DESCRIPTION	DATE
2	ISSUE FOR PERMIT	3-19-08
	ISSUE FOR REVIEW	3-26-08

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE:
PROPOSED FRAMING
PLANS

CHECKED BY:	JOB NUMBER:	S1.1
AT	VB0712	
SHEET	SCALE:	
1 OF 2	AS NOTED	



ANDREW POTTERFIELD
SUSAN ALEXANDER
RESIDENCE

THOMAS ARCHER LLC
CONTRACTING

NO.	DESCRIPTION	DATE
2	ISSUE FOR PERMIT	3/19/08
1	ISSUE FOR REVIEW	3/16/08

7613 TAKOMA AVENUE
TAKOMA PARK, MD.

SHEET TITLE: **PROPOSED ELECTRICAL PLAN**

CHECKED BY: JM	JOB NUMBER: 146-001-2	E.I.
SHEET: 1 OF 3	SCALE: AS NOTED	

Existing Property Condition Photographs (duplicate as needed)



Detail: Front



Detail: Rear.

Please. See Construction Documents for more photos

Applicant: Potterfield

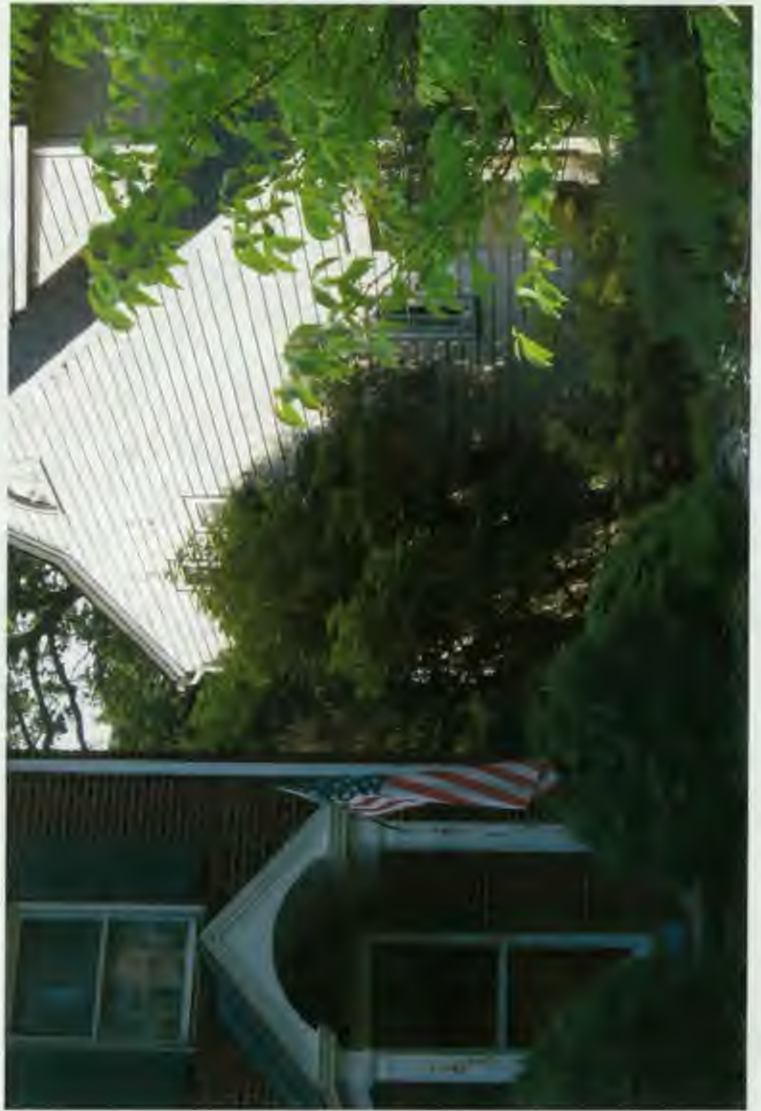
7613 takoma



view from New York ave.



02



7613 Takoma Avenue



7611 Takoma (adjacent property)



Existing Property Condition Photographs (duplicate as needed)



Detail: Front



Detail: Rear.

Please. See Construction Documents for more photos