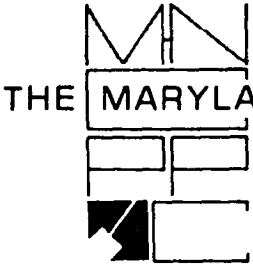


24/29-97A 14800 Seneca Road  
(MP #24/29 - Magruder House) P -



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 9.10-97

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied  
 Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: H Richard Gault & Nancy Stomowick

Address: 14800 Seneca Road Daresstown

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



DEPARTMENT OF PERMITTING SERVICES  
 250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850  
 301/217-6370

DPS - #8

# HISTORIC PRESERVATION COMMISSION

## 301/495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: H. RICHARD GALT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN MD 20874  
Street Number City State Zip Code

Contractor: Owner Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE

Lot: 3 Block: \_\_\_\_\_ Subdivision: RIVER PLANTATION

Liber: 14588 Folio: 273 Parcel: 6-1-3158298

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: GARAGE

1B. Construction cost estimate: \$ 3,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz Signature of owner or authorized agent Date: 8/11/97

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 9/10/97

Application/Permit No.: 9708200097 Date Filed: 8-20-97 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED. THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

e. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Garage/stable*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Renovate garage/stable - add doors*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of wells, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 9-10-97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

## 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

### **Confronting Property Owners:**

Melvin M. And O.H. Gienau  
14821 Seneca Road  
Darnestown, Maryland 20874

George W. And E.P. Van Tassel  
14811 Seneca Road  
Darnestown, Maryland 20874

### **Adjacent Property Owners:**

Nicole L. Kobrine and Paul Garrett  
13513 Magruder Farm Court  
Germantown, MD 20874

Signal Tree Farm, LP  
13517 Magruder Farm Court  
Germantown, MD 20874



H. RICHARD GAULT & NANCY J. SLOMOWITZ

August 15, 1997

Ms. Perry Kephart  
Preservation Planner  
Maryland National Capital Park  
and Planning Commission  
Historic Preservation  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Re: Garage Restoration: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

Things are going well with our new house. The main house is quite comfortable now and we are moving forward with the contract with Dean Fitzgerald to renovate the barn. Our next project is making improvements to the garage/stable building. We have already painted almost all the garage/stable and it is looking much better as a result (see Photo E). As you can see by our proposed plan, we are trying to be cost conscious but still keep the "look and feel" of the original style of the property and neighborhood. Basically, the work involves the following tasks:

- Task 1 Install doors on the front of the garage.
- Task 2 Remove aluminum siding and replace with wooden siding.
- Task 3 Install a new door on the side of the garage/stable.
- Task 4 Install new doors on the back of stable.
- Task 5 Paint garage/stable roof.

**Task 1 - Install doors on the front of the garage**

When we purchased the farm, there was no front door on the garage (Drawing A, Location 1), nor were there any locking doors on the barn or any of the stable stalls. We recently purchased a lawn tractor and mower. However, without doors on the garage, we did not have a secure place to store the tractor, mower and other valuable outside equipment. As a result, we recently installed hinged doors on the front of the garage so that we could safely and securely protect our valuable equipment. Our intent was to do something that would meet the immediate need while we obtained approval from your office for the overall garage/stable plan. We hope that you approve of what we have done so far, and that we can move on with the further changes as outlined below. This is the only external change we have made so far (besides painting).

Page 1 of 3

APPROVED  
Montgomery County  
Historic Preservation Commission

9/24/97



We installed doors on the front of the garage, as shown in Drawing D, Location 1. We do not plan to use this building as a garage at this time. It has more utility to us as a shed/stable. As such, we built a single 8' doorway with 2 - 4' hinged doors (rather than single or dual automatic overhead garage doors).

In the interest of speed and budget, we used T-111 plywood siding (4" between grooves), mounted horizontally on either side of the doors and mounted vertically on the doors. T-111 siding is inexpensive and very easy to install. This approach allowed us to quickly put up very pleasant looking wall/doors that match the current siding. Unless you are standing directly in front of the siding, you cannot tell the difference between the two (See Photo D). We plan to add black criss-cross trim to the doors to match the traditional style of the area. We have not done this yet, as we wanted to get your approval on the door style first.

If you feel that the T-111 plywood treatment is not appropriate, we will replace it with .5"x 6" exterior masonite clapboard that will match the .5" x 6" cedar that is already on the garage. Cedar siding is very expensive and we would prefer not to use it unless absolutely necessary. The masonite siding is already present in some locations on the garage and house and exactly matches the cedar in style and appearance. However, the T-111 siding is close enough that we hope it will be acceptable.

### **Task 2 - Remove aluminum siding and replace with wooden siding**

The previous owners installed aluminum siding on certain locations of the garage walls (Drawing A, Location 2 and Drawing C, Location 1). The type of aluminum siding used is commercial grade intended for a large, metal farm building. We plan to replace this with T-111 siding, mounted horizontally to match the flow of the original siding (Drawing D, Location 3 and Drawing F, Location 1).

At the same time, we plan to replace the horse stall windows on the front of the garage/stable (Drawing D, Location 2) with T-111 plywood with black criss-cross trim to match the doors and walls.

### **Task 3 - Install a new door on the side of the garage/stable**

The side door on the garage (Drawing B, Location 1) has only a half door at this time. We would like to create a full height door covered with T-111 plywood (mounted vertically) and black criss-cross trim (Drawing E, Location 1).

### **Task 4 - Install new doors on the back of stable**

We want to install new doors on the back of the stable, enclosing the 5 rear horse stalls with T-111 siding. We will use the same style as the other doors, covered in T-111 siding (mounted vertically), split so that the top can be opened separately from the bottom. These doors will receive the same trim treatment as the other doors (Drawing F, Locations 2&3).

**Task 5 - Paint garage/stable roof**

We want to paint the metal garage/stable roof with black roofing paint. The cottage is already black and we want to keep the same color scheme throughout.

I hope that you will appreciate our need to secure the garage quickly and that you will agree that what we have done is sufficiently similar in style to retain in the future. I also hope that our plans to make these modifications meet with your approval. If you have any questions, please feel free to call me at work at 202.776.1202. I will call you in several days, after you have had a chance to review our request.

Sincerely,



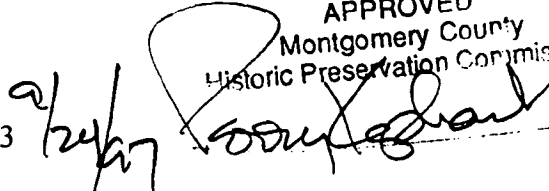
H. Richard Gault

**Drawings:**

- Drawing A - Initial Garage/Stable Front View
- Drawing B - Initial Garage Side View
- Drawing C - Initial Garage/Stable Rear View
- Drawing D - Proposed Garage/Stable Front View
- Drawing E - Proposed Garage Side View
- Drawing F - Proposed Garage/Stable Rear View

**Photos:**

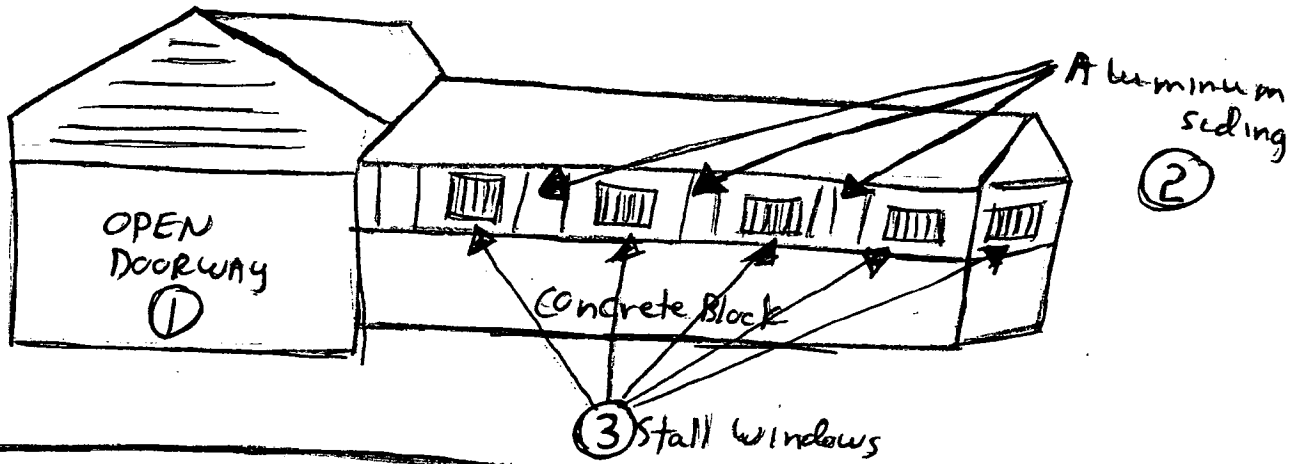
- Photo A-1 - Front view of garage w/o door (corresponds to drawings A and D)
- Photo A-2 - View of front aluminum siding (corresponds to Drawings A and D)
- Photo B - Side view of garage (corresponds to drawings B and E)
- Photo C - Rear view of garage (corresponds to drawings C and F)
- Photo D - View of new front garage doors, painted (corresponds to drawing D)
- Photo E - Side view of garage, painted (corresponds to drawings B and E)

Page 3 of 3  APPROVED  
Montgomery County  
Historic Preservation Commission

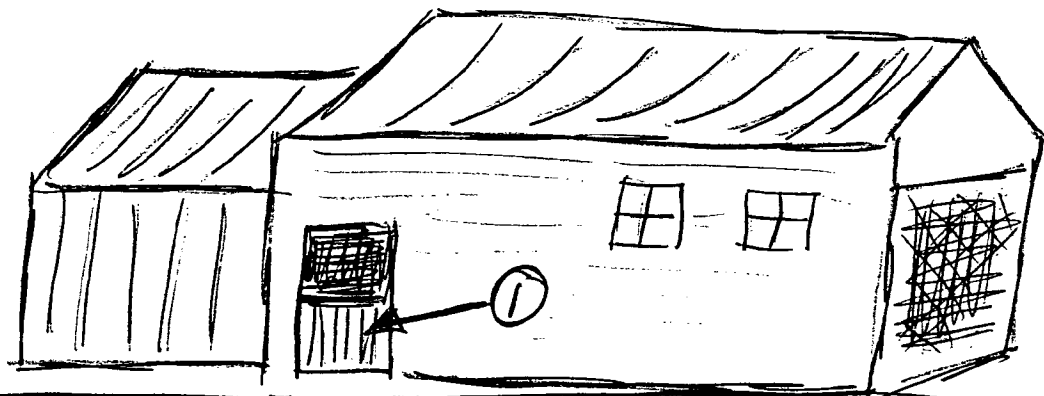
GAULT / S MOWITZ

MAGRUDER FARM, 14800 Seneca Rd, Darnestown, MD 20874

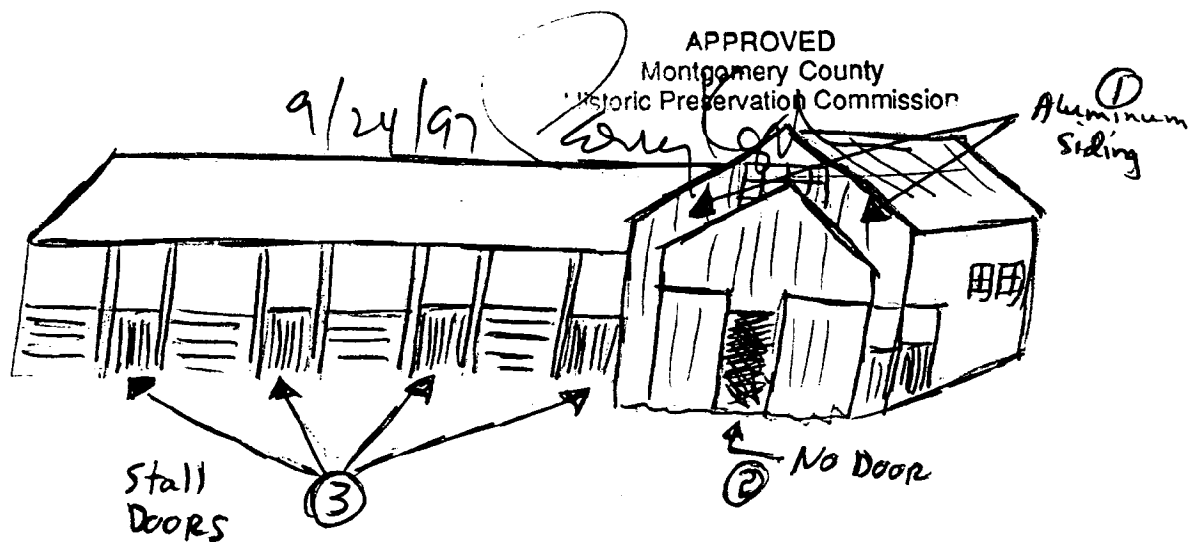
Drawing A - Initial Garage / Stable Front View



Drawing B - Initial Garage Side View

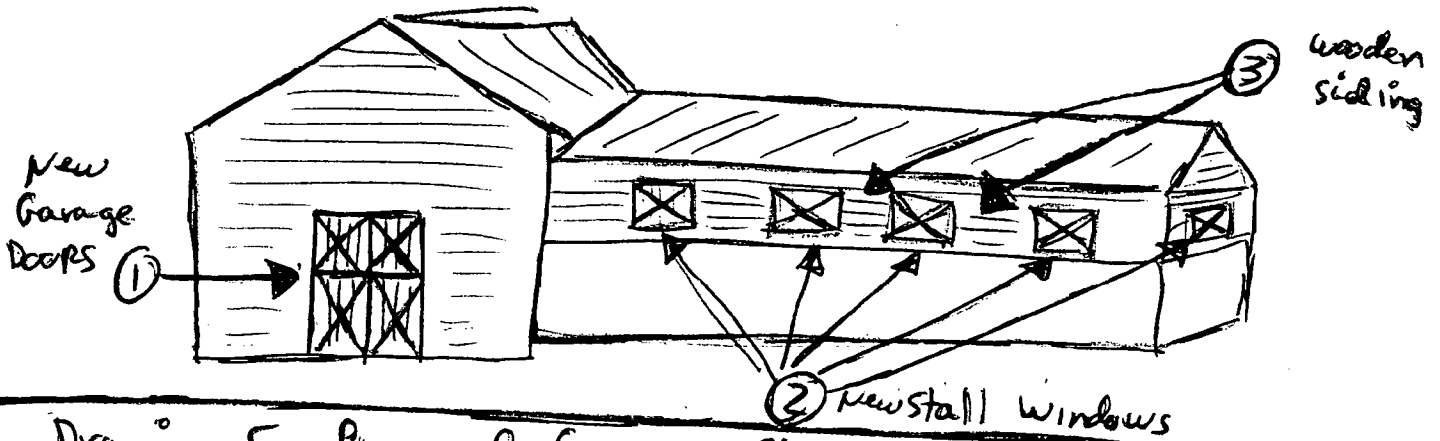


Drawing C - Initial Garage / Stable Rear View

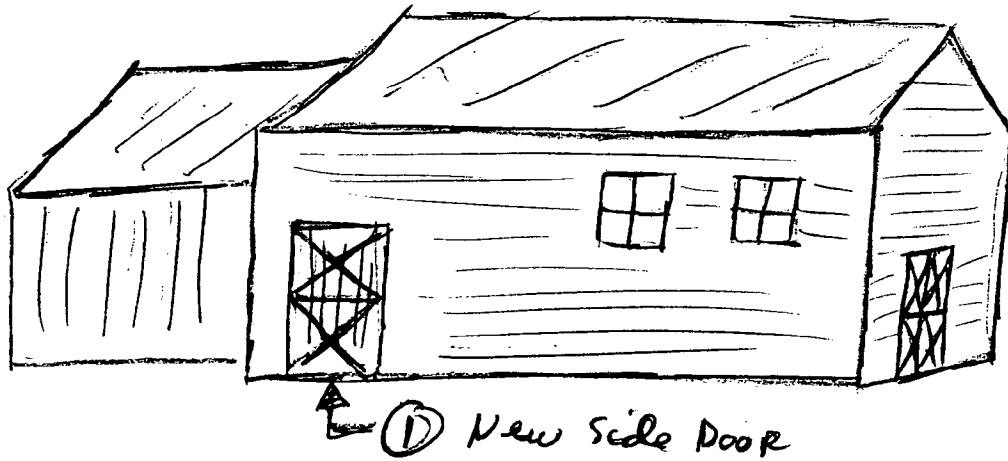


GAULT/SLOMOWITZ  
MAGRUDER FARM, 14800 SENECA RD, Darrestown, MD 20874

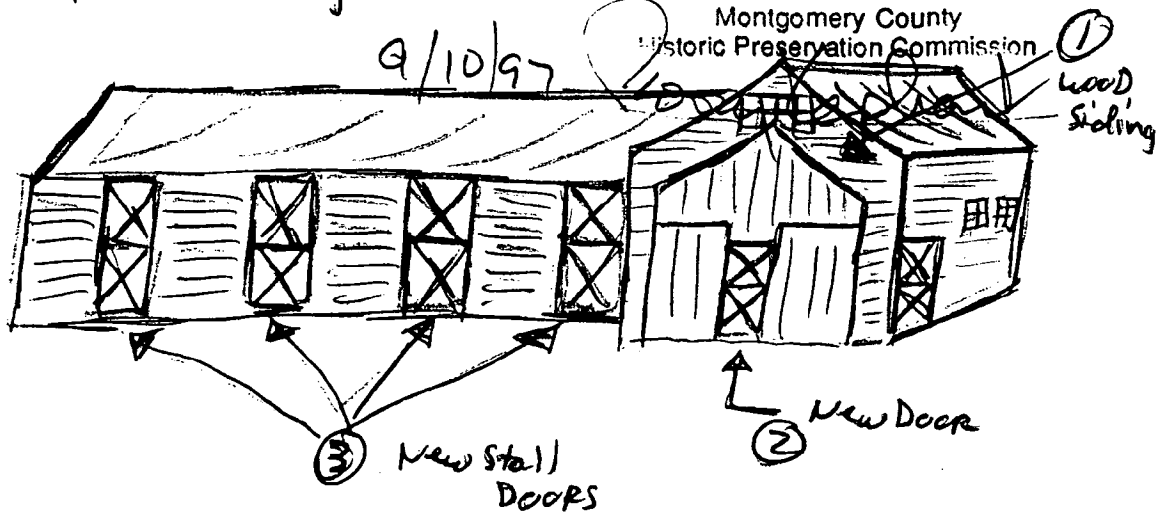
Drawing D - Proposed Garage/Stable Front View



Drawing E - Proposed Garage Side View



Drawing F - Proposed Garage/Stable Rear View



APPROVED  
Montgomery County  
Historic Preservation Commission

9/10/97

**H. RICHARD GAULT & NANCY J. SLOMOWITZ**  
14800 SENECA ROAD  
DARNESTOWN, MARYLAND 20874  
Tel: (301) 330-0769 Fax: (301) 330-2541

August 18, 1997

Department of Permitting Services  
250 Hungerford Drive  
Rockville, MD 20850

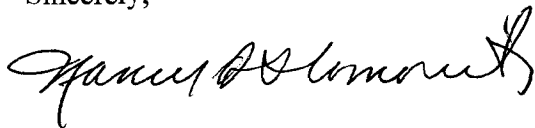
Re: Application for Historic Area Work Permit - Garage/Stable  
14800 Seneca Road, Darnestown, Maryland 20874

To Whom It May Concern:

Enclosed please find our Application for Historic Area Work Permit to renovate and alter the garage/stable located at the above address. The descriptive project information, plan drawings, material specifications and photographs have already been forwarded to Perry Kephart at the Historic Preservation Commission. We are including the application form, site plan and addresses of adjacent and confronting property owners with this letter.

Please let us know if you need any further information.

Sincerely,



Nancy J. Slomowitz

Enclosures

GALT ISCOMOWITZ  
MAGRUDER FARM, 14800 SEVEA RD, Darnestown, MD 20874

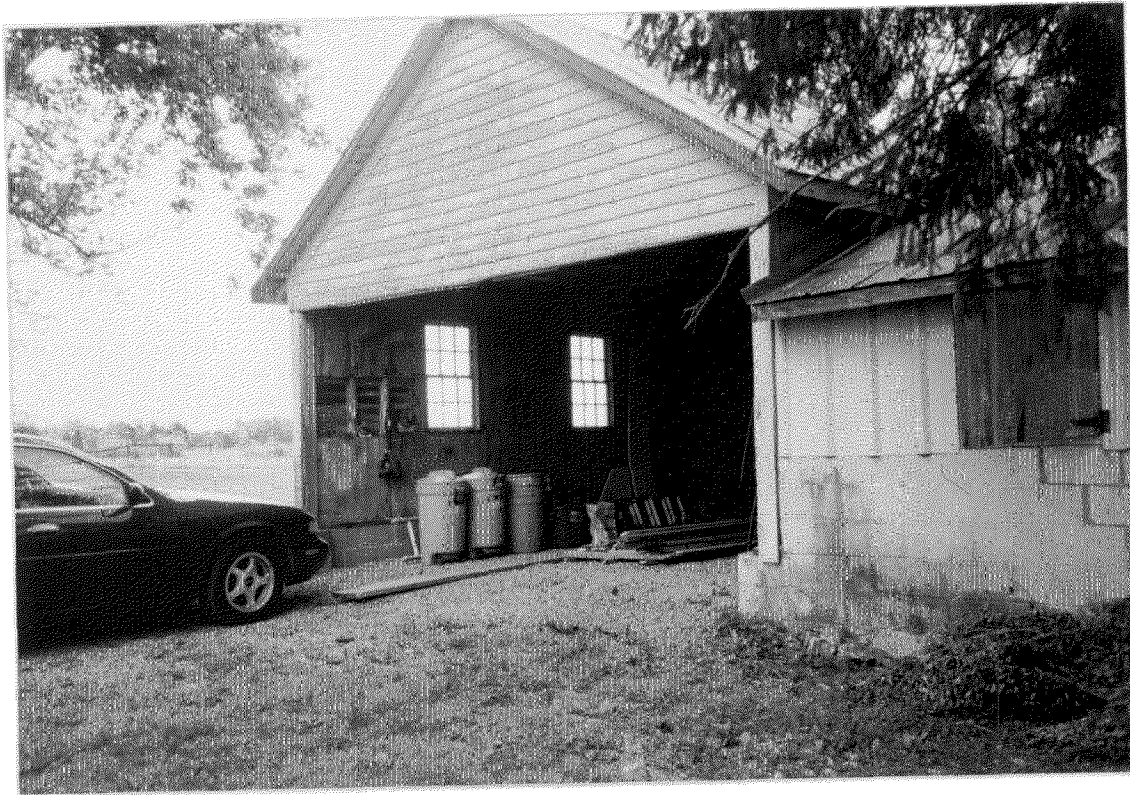


Photo A-1 Front view of garage w/o door

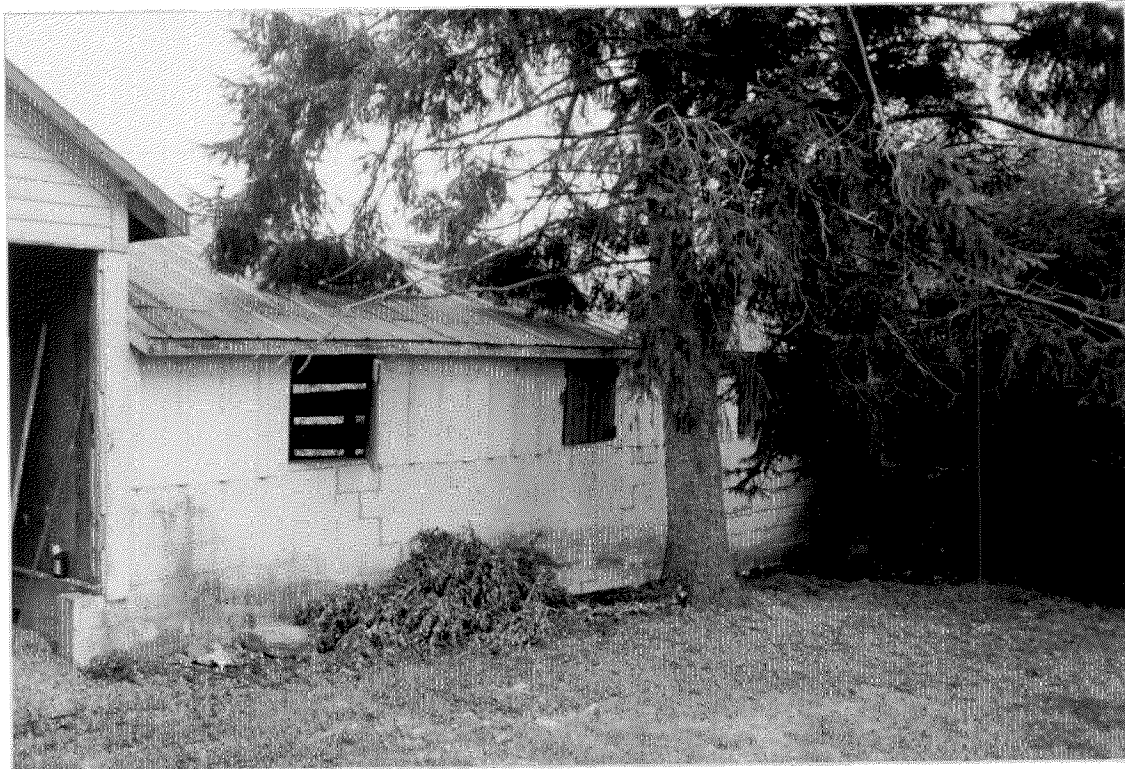


Photo A-2 View of front aluminum siding



Fault Isomowitz

MARGRUDER FARM, 14800 SWEET RD, Darnestown, MD 20874



Photo B Side view of garage



Photo C - Rear view of garage

GALT (SCOMOWITZ)  
MACGRUDER FARM, 14800 SENECA RD, Darnestown, MD 20874



Photo D - view of new front garage doors



Photo E - side view of garage (painted)





## STAFF DISCUSSION

Staff commends the applicant for repairing the garage/horse stall and for their other work to renovate this important historic site. The garage/horse stall is not a significant historic structure and was in very deteriorated condition. Therefore, the use of T-111 is not inappropriate for this particular outbuilding and staff feels that the HPC should approve the applicant's plans to use it.

The applicant did proceed to install the hinged doors without a HAWP; however, staff feels that their reasons for proceeding with the work were valid. The lack of a secure storage area necessitated the installation of garage doors before a HAWP could be obtained. In addition, staff feels the hinged doors are very appropriate for a structure of this type and are preferable to a typical overhead garage door.

## STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the proposed construction as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: H. RICHARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN MD 20874  
Street Number City State Zip Code

Contractor: Owner Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

## LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE

Lot: 3 Block: \_\_\_\_\_ Subdivision: RIVER PLANTATION

Liber: 14588 Folio: 273 Parcel: 6-1-3158298

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: GARAGE

1B. Construction cost estimate: \$ 3,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz  
Signature of owner or authorized agent

8/11/97 3  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETE AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Garage/stable*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Renovate garage/stable - add doors*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
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You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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4



7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

**Confronting Property Owners:**

Melvin M. And O.H. Gienau  
14821 Seneca Road  
Darnestown, Maryland 20874

George W. And E.P. Van Tassel  
14811 Seneca Road  
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**Adjacent Property Owners:**

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13513 Magruder Farm Court  
Germantown, MD 20874

Signal Tree Farm, LP .  
13517 Magruder Farm Court  
Germantown, MD 20874

H. RICHARD GAULT & NANCY J. SLOMOWITZ

August 15, 1997

Ms. Perry Kephart  
Preservation Planner  
Maryland National Capital Park  
and Planning Commission  
Historic Preservation  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Re: Garage Restoration: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

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- Task 1 Install doors on the front of the garage.
- Task 2 Remove aluminum siding and replace with wooden siding.
- Task 3 Install a new door on the side of the garage/stable.
- Task 4 Install new doors on the back of stable.
- Task 5 Paint garage/stable roof.

**Task 1 - Install doors on the front of the garage**

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We installed doors on the front of the garage, as shown in Drawing D, Location 1. We do not plan to use this building as a garage at this time. It has more utility to us as a shed/stable. As such, we built a single 8' doorway with 2 - 4' hinged doors (rather than single or dual automatic overhead garage doors).

In the interest of speed and budget, we used T-111 plywood siding (4" between grooves), mounted horizontally on either side of the doors and mounted vertically on the doors. T-111 siding is inexpensive and very easy to install. This approach allowed us to quickly put up very pleasant looking wall/doors that match the current siding. Unless you are standing directly in front of the siding, you cannot tell the difference between the two (See Photo D). We plan to add black criss-cross trim to the doors to match the traditional style of the area. We have not done this yet, as we wanted to get your approval on the door style first.

If you feel that the T-111 plywood treatment is not appropriate, we will replace it with .5"x 6" exterior masonite clapboard that will match the .5" x 6" cedar that is already on the garage. Cedar siding is very expensive and we would prefer not to use it unless absolutely necessary. The masonite siding is already present in some locations on the garage and house and exactly matches the cedar in style and appearance. However, the T-111 siding is close enough that we hope it will be acceptable.

### **Task 2 - Remove aluminum siding and replace with wooden siding**

The previous owners installed aluminum siding on certain locations of the garage walls (Drawing A, Location 2 and Drawing C, Location 1). The type of aluminum siding used is commercial grade intended for a large, metal farm building. We plan to replace this with T-111 siding, mounted horizontally to match the flow of the original siding (Drawing D, Location 3 and Drawing F, Location 1).

At the same time, we plan to replace the horse stall windows on the front of the garage/stable (Drawing D, Location 2) with T-111 plywood with black criss-cross trim to match the doors and walls.

### **Task 3 - Install a new door on the side of the garage/stable**

The side door on the garage (Drawing B, Location 1) has only a half door at this time. We would like to create a full height door covered with T-111 plywood (mounted vertically) and black criss-cross trim (Drawing E, Location 1).

### **Task 4 - Install new doors on the back of stable**

We want to install new doors on the back of the stable, enclosing the 5 rear horse stalls with T-111 siding. We will use the same style as the other doors, covered in T-111 siding (mounted vertically), split so that the top can be opened separately from the bottom. These doors will receive the same trim treatment as the other doors (Drawing F, Locations 2&3).



### **Task 5 - Paint garage/stable roof**

We want to paint the metal garage/stable roof with black roofing paint. The cottage is already black and we want to keep the same color scheme throughout.

I hope that you will appreciate our need to secure the garage quickly and that you will agree that what we have done is sufficiently similar in style to retain in the future. I also hope that our plans to make these modifications meet with your approval. If you have any questions, please feel free to call me at work at 202.776.1202. I will call you in several days, after you have had a chance to review our request.

Sincerely,



H. Richard Gault

#### **Drawings:**

- Drawing A - Initial Garage/Stable Front View
- Drawing B - Initial Garage Side View
- Drawing C - Initial Garage/Stable Rear View
- Drawing D - Proposed Garage/Stable Front View
- Drawing E - Proposed Garage Side View
- Drawing F - Proposed Garage/Stable Rear View

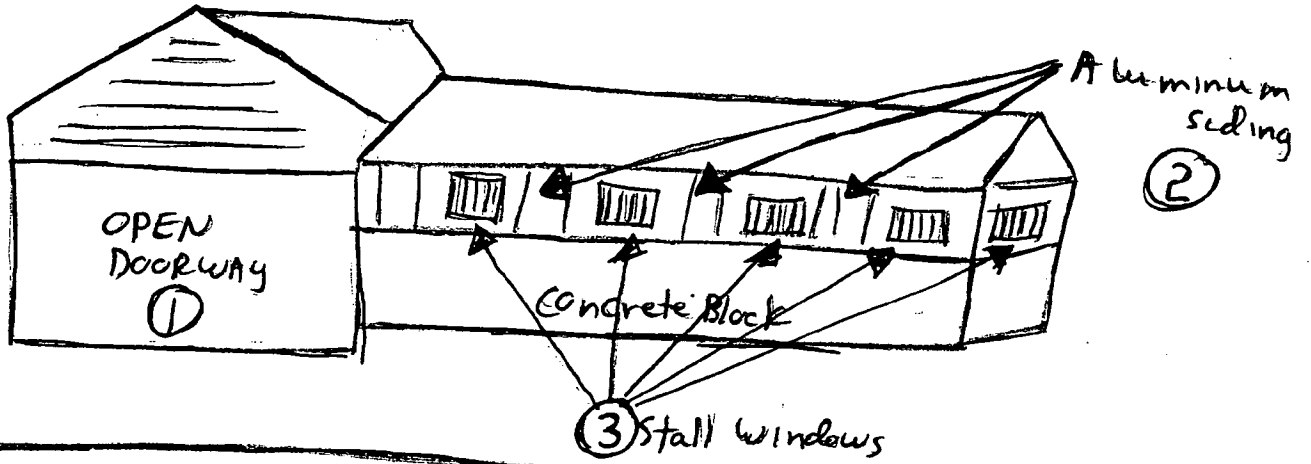
#### **Photos:**

- Photo A-1 - Front view of garage w/o door (corresponds to drawings A and D)
- Photo A-2 - View of front aluminum siding (corresponds to Drawings A and D)
- Photo B - Side view of garage (corresponds to drawings B and E)
- Photo C - Rear view of garage (corresponds to drawings C and F)
- Photo D - View of new front garage doors, painted (corresponds to drawing D)
- Photo E - Side view of garage, painted (corresponds to drawings B and E)

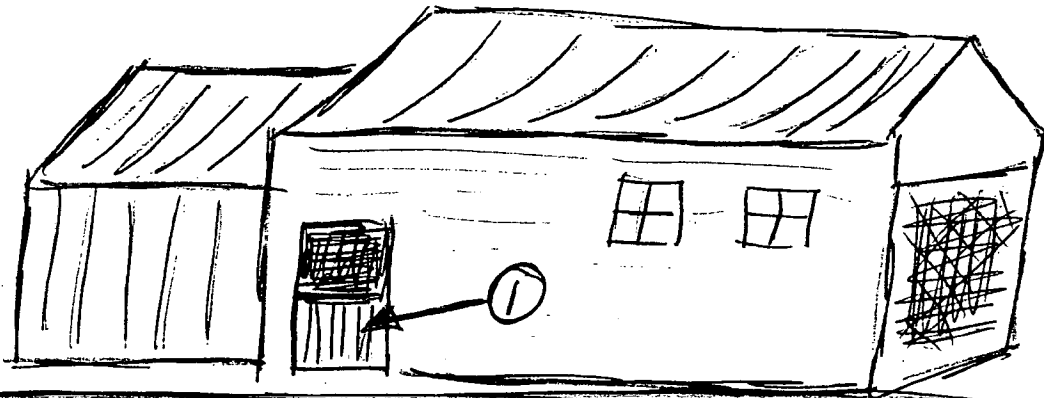
GAULT / SHAWWITZ

MAGRUDER FARM, 14800 Seneca Rd, Darnestown, MD 20874

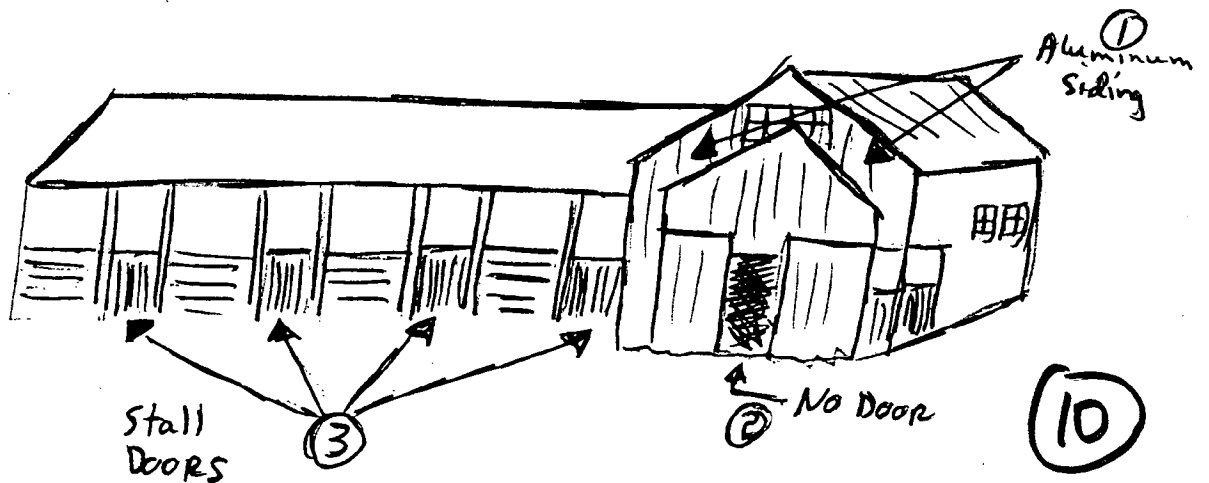
Drawing A - Initial Garage / Stable Front View



Drawing B - Initial Garage Side View

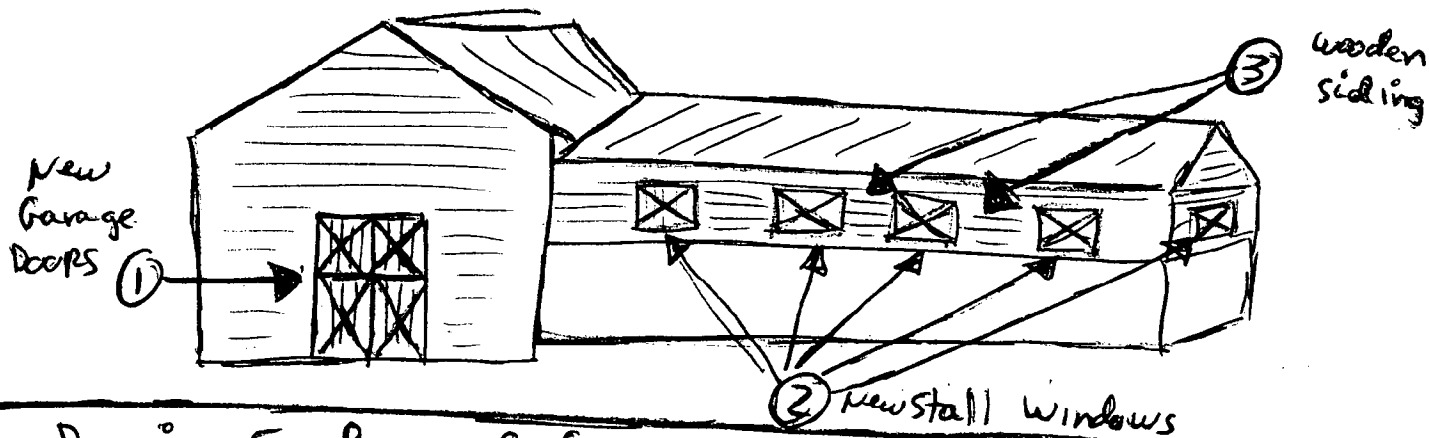


Drawing C - Initial Garage / Stable Rear View

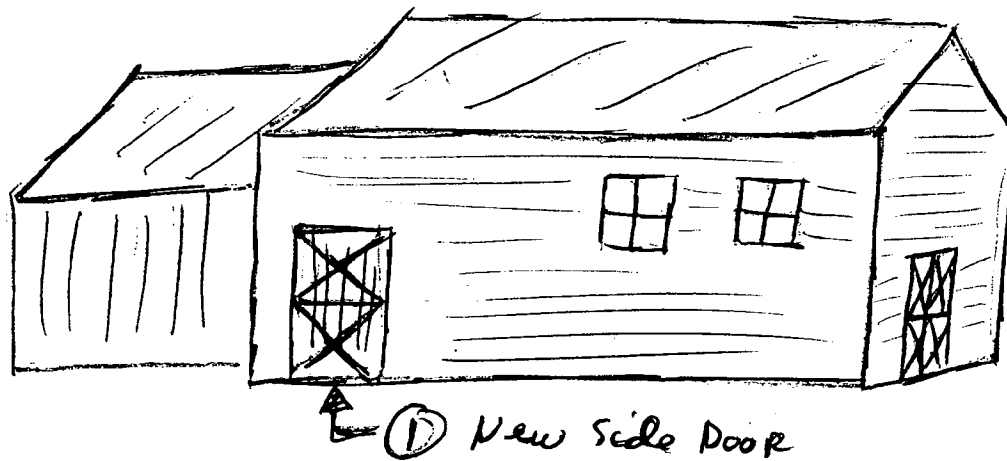


GAULT/SOMOWITZ  
MAGRUDER FARM, 14800 SENECA RD, Darrestown, MD 20874

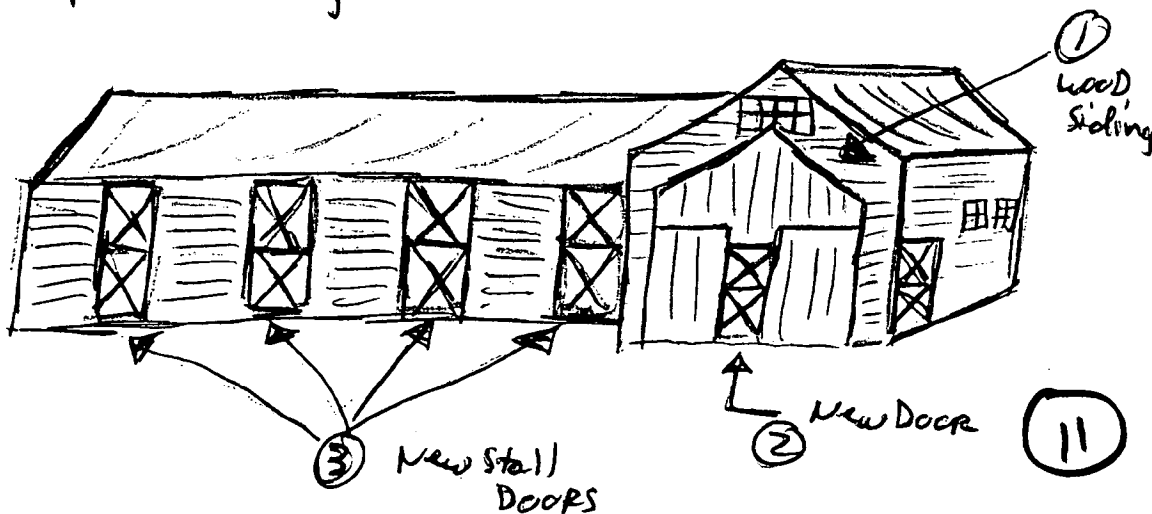
Drawing D - Proposed Garage/Stable Front View



Drawing E - Proposed Garage Side View



Drawing F - Proposed Garage/Stable Rear View



Gault Iscomowitz  
MAGRUDER FARM, 14800 SEVILLA RD, Harnesstown, MD 20874



Photo A-1 Front view of garage w/o door



Photo A-2 view of front aluminum siding

G-AULT / SCOMOWITZ

MARGUERITE FARM, 14800 SWEET RD, DARNESTOWN, MD 20874



Photo B Side view of garage



Photo C - Rear view of garage

GALT ISCOMOWITZ

MARRUDER FARM, 14800 SEWEA RD, DORWESTOWN, MD 20874

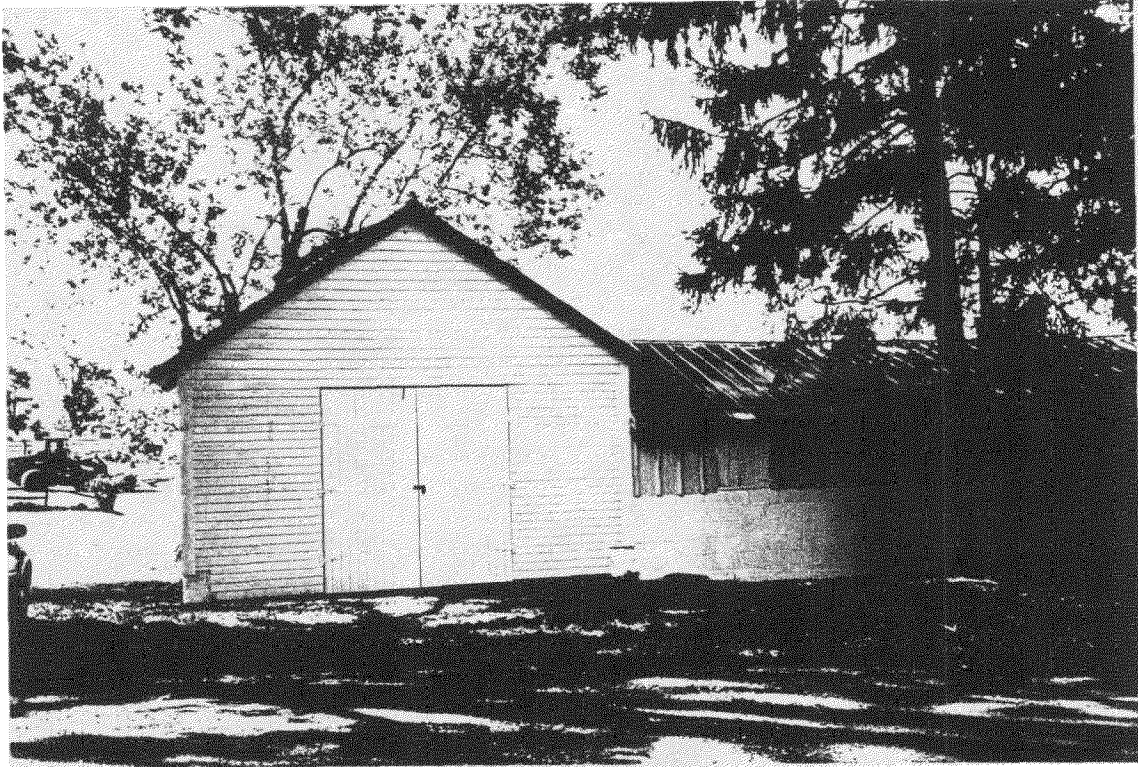


Photo D - view of new front garage doors

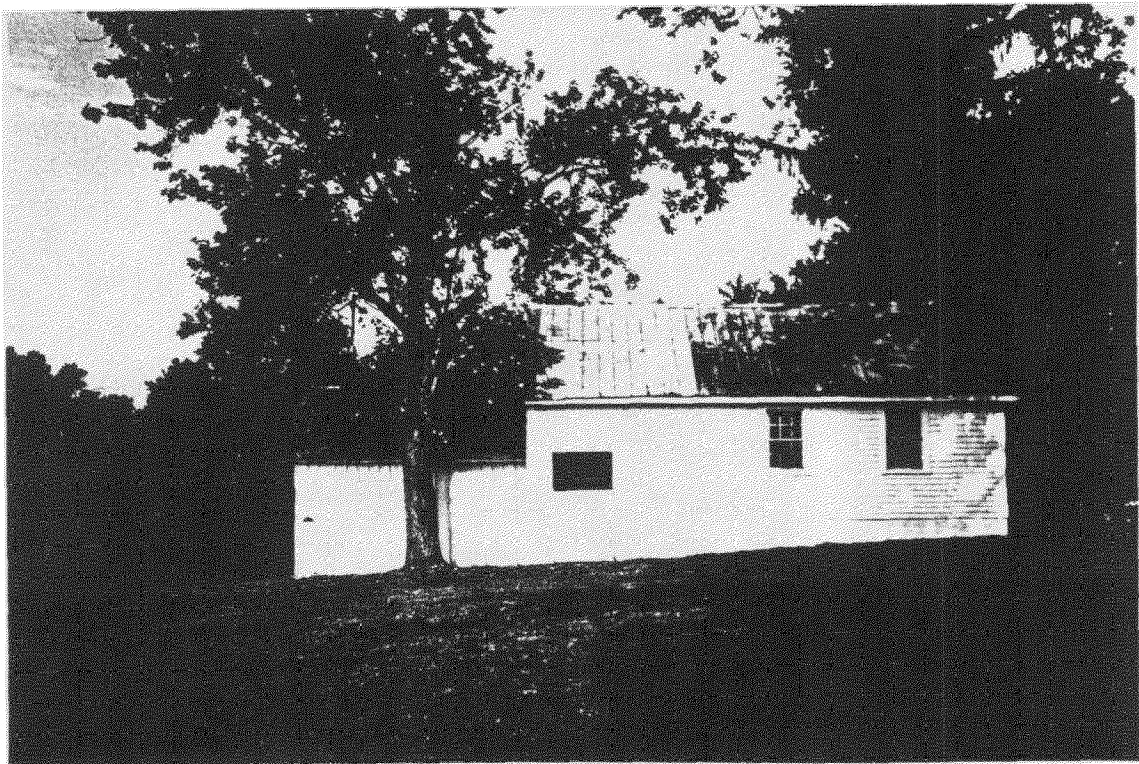


Photo E side view of garage (painted)

H. RICHARD GAULT & NANCY J. SLOMOWITZ

**FAX COVER SHEET**

DATE: JULY 28, 1997

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TO: RANDY LINDQUIST

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COMPANY: ERIE INSURANCE GROUP

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FAX #: (301) 495-1307

---

PAGES INCLUDING COVER SHEET: 2

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FROM: NANCY SLOMOWITZ

---

RE: BARN RESTORATION

---

COMMENTS: FYI

24/29  
Magwuder Farm

H. RICHARD GAULT & NANCY J. SLOMOWITZ

June 13, 1997

Ms. Perry Kephart  
Preservation Planner  
Maryland National Capital Park  
and Planning Commission  
Historic Preservation  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Re: Barn Restoration: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

We have received a proposal from Dean Fitzgerald to restore our barn. The proposed work will be performed as follows:

Repair floor in hay mowe areas	
Repair misc. siding	
Repair vents throughout, replace two	
Reconstruct straw doors	
Replace four girders .....	\$4,500.00
Carriage shed - new roof and framing (store bought).....	\$3,800.00
New barn roof attached with screws - tin at full length.....	\$5,000.00
Stain barn exterior w/oil-base stain/power wash.....	\$3,612.00
Color: Barn Red	
Lightning rods, cables, ground rods and hardware.....	\$1,300.00
<b>Total</b>	<b>\$18,212.00</b>

We intend to sign a contract with Dcan Fitzgerald to perform this work. Please let mc know if we need to provide you with any additional information.

Sincerely,

Nancy J. Slomowitz



H. RICHARD GAULT &amp; NANCY J. SLOMOWITZ

**FAX COVER SHEET**

DATE: AUGUST 11, 1997

TO: PERRY KEPHART

COMPANY: MARYLAND NATIONAL CAPITAL PARK &amp; PLANNING COMMISSION

FAX #: (301) 495-1307

PAGES INCLUDING COVER SHEET: 7

FROM: RICK GAULT/NANCY SLOMOWITZ

RE: MAGRUDER HOUSE BARN RESTORATION

COMMENTS: We signed this contract with Dean Fitzgerald subject to your approval. Please let us know if any special permits will be required. Our intent is to maintain the integrity of the original structure.



PO Box 143 Thurmont, MD 21788 301-271-1843 fax 301-271-1842

August 10, 1997

CONTRACT

THIS CONTRACT is made this 11<sup>th</sup> day of August 1997, between Dean Fitzgerald Heavy Timber Construction ("Fitzgerald" or "Contractor"), a Maryland sole proprietorship and Mr. and Mrs. Gauß/Slomowitz ("Client").

RECITALS

A. WHEREAS, Fitzgerald Heavy Timber Construction is a Maryland company engaging in the business of heavy timber construction, timber frame restoration, and custom milling and planing; and

B. WHEREAS, the Client has recently bought the historic McGruder farm, which is situated at 14800 Seneca Road, in Montgomery County Maryland; and

C. WHEREAS, the Client has asked Fitzgerald to perform certain repairs to the barn, 'run in' and stables; and

NOW, THEREFORE, in consideration of the foregoing and other good and valuable consideration, receipt of which is hereby acknowledged, the parties agree as follows:

AGREEMENT

1. Contract This Agreement contemplates repairs to a barn, 'run in' and stables owned by Mr. & Mrs. Gauß/Slomowitz.

2. Scope of Work

Phase #1

A- Repair the floor in the hay mow areas. Material from on site shall be used wherever possible, any new material needed shall be at contractors expense.

B- Repair misc. siding areas throughout barn. Material from on site shall be used wherever possible, any new material needed shall be at contractors expense.

C- Repair vents throughout barn, replace two vents, one in southern, one in western walls. The old vents stored inside barn may be used after repaired.

D- Reconstruct new straw doors in the southern wall. Provide new hardware similar to the

existing hardware on the barn.

E- Replace four predetermined girders in the southern or western walls

F- Repair several broken panes of glass

\$4,500.00

Phase #2

A- Remove the existing corrugated tin roofing from the barn and 'run in', leaving the purlins of the barn roof for reuse.

B- Remove the existing roof framing from the 'run in'.

C- Replace the top sill of the 'run in' for approximately fifteen feet of its length. The new sill material shall be oak, custom milled to similar dimensions as the original.

D- Reconstruct the framing of the 'run in' roof with store bought materials, the rafters shall be 2" x 8" on 24" centers with 2" x 4" purlins on 18" centers.

E- Install new 3/4 inch corrugated, galvanized metal roofing in the barn and 'run in', fasten with roofing screws.

\$9,600.00

Phase #3

A- Wash the exterior surfaces with water from on site, prepare for staining.

B- Stain exterior surfaces, barn red with white trim.

C- Install two grounding rods, four lightning rods, four roofing bonds, and other necessary small hardware for the lightning protection system.

D- Remove debris created by contractors activity.

\$4,912.00

Phase #4(optional)

A- Lift the header in the stable and place back onto existing posts, with some minor repairs to the posts, and placement of a concrete block for the posts to rest on.

\$1,200.00

Signature here indicates acceptance of Phase #4 \_\_\_\_\_ Date \_\_\_\_\_

Phase #5 (optional)

A- Replace top sill in the southern wall of the barn, with custom milled oak and repair a tenon at the top of a post, near the center of the northern wall with a biscuit.

\$1,500.00

Signature here indicates acceptance of Phase #5 \_\_\_\_\_ Date \_\_\_\_\_

2. Insurance

Contractor shall provide client with a certificate of insurance, which verifies quantities of one million dollars for liability and medical expenses as well as general aggregate of two million dollars. Insurance carrier is Nationwide, who shall notify client if policy is canceled before the

expiration date.

**3. Utilities.**

Contractor shall have available at the existing site, 24 hours per day, provided by client, a source of water for purposes of drinking, washing and preparing structure. The contractor shall provide a temporary privy at the current site. Provisions for electricity shall be made by the client at the service panel, service shall not exceed 240 volts at 30 amps. Temporary connection of services and removal of the temporary services shall be the responsibility of the contractor and at no expense to the client.

**4. Payment Terms** - Near the completion of each of the indicated phases, an invoice shall be submitted according to the payment schedule, the invoice shall then be payable within ten days of its original date. In the event of a discrepancy over on invoice that invoice shall be due within ten days of the settlement of the discrepancy. Payment for materials and labor not included in the "Scope of Work" but quoted in the "Scope of Work" and identified as 'optional' shall be billed to the client upon its installation/completion.

**5. Start of Work** Upon acceptance of the contract by client an invoice will be submitted for the deposit, work shall begin within ten working days from receipt of deposit.

**6. Contract Hold** Contractor will hold this contract for acceptance ten working days, and may choose to honor these terms beyond that time at their discretion.

**7. Payment Schedule**

25%	Payment #1	Deposit	\$4,753.00
25%	Payment #2	Completion of Phase #1	\$4,753.00
25%	Payment #3	Completion of Phase #2	\$4,753.00
25%	Payment #4	Completion of Phase #3	\$4,753.00
		Total payments	\$19,012.00

**8. Express Warranties.** Contractor warrants their workmanship for a period of five (5) years following completion of the repairs to the barn, 'run in', and stables. Contractor makes no warranty regarding the design of the barn, 'run in' or stables nor does Contractor warrant the ability of the barn, 'run in', or stables to withstand any dead loads, live loads, or uses. It is expressly agreed by and between the parties that all warranties contained in this Agreement are a part of the basis of the bargain herein, and any breach by the client of any terms contained in this Agreement shall constitute a material breach of this Agreement.

**9. Right to Inspect Work.** The client shall have the right to inspect the work at any time, and

upon completion of each phase prior to making a progress payment under the schedule stated in the 'Payment Schedule' of this Agreement.

10. Time for Delivery. Delivery of the completed work is anticipated within ~~90~~ <sup>60 sixty</sup> working days from beginning of work. Contractor makes no warranty or representation respecting time for delivery, and delay of delivery beyond the anticipated delivery date shall not constitute a breach of this Agreement by Contractor so long as a reasonable written explanation has been provided..

19 Binding Effect on Successors and Assigns. This Agreement shall be binding on and shall inure to the benefit of the successors and assigns of the parties to this Agreement.

20 Arbitration. Any controversy or claim arising out of or relating to this Agreement or a breach hereof, shall be settled by arbitration in Montgomery County, Maryland, in accordance with the rules of the American Arbitration Association, and judgment on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof.

21 Force Majeure. Fitzgerald shall not be liable under the provisions of this Agreement for damages caused by acts of God, governmental actions, or state of war.

22 Assignment. Neither this Agreement nor any right under it or interest in it may be assigned by either party without the prior written consent of the other party.

23 Non-waiver. The failure of Contractor or Client to insist on the strict performance of any provision of this Agreement or to exercise any right in any one or more instances or circumstances shall not be construed as a waiver or relinquishment of such provision or right, nor shall such failure or refusal be deemed a custom of practice contrary to such provision or right.

24 Severability. In the event any section, paragraph or portion of this Agreement shall be or be deemed to be by any court or arbitrator having lawful jurisdiction of the subject matter of this Agreement void, voidable or invalid for any reason, this Agreement shall be otherwise valid and enforceable as if the void, voidable or invalid section, paragraph or portion of this Agreement had not been a part of it in the first instance

26 Modification. This Agreement cannot be modified in any way except in a writing signed by both the parties to the Agreement.

28. Headings. Headings used within this Agreement are for the convenience of the reader only and do not form part of the Agreement.

30. Merger. THIS CONTRACT CONSTITUTES THE FINAL WRITTEN EXPRESSION OF ALL THE TERMS OF THE PARTIES' AGREEMENT AND IS A COMPLETE AND EXCLUSIVE STATEMENT OF THOSE TERMS. FURTHERMORE, THE PARTIES

EXPRESSLY AGREE THAT THE TERMS OF THIS CONTRACT CANNOT BE CONTRADICTED, SUPPLEMENTED, OR EXPLAINED BY EVIDENCE OF COURSE OF PERFORMANCE, COURSE OF DEALING, USAGE OF TRADE, OR BY PROVISIONS CONTAINED IN OTHER DOCUMENTS USED BY THE PARTIES IN THE ORDINARY COURSE OF BUSINESS.

31. Authority To Bind. Each person executing this Agreement hereby warrants that the person has full and legal authority to execute this Agreement for and on behalf of the respective corporation and to bind such corporation.

32. This contract includes one sheet of shop drawings which indicates the structural members which shall be replaced by 'highlighting' those members.

IN WITNESS WHEREOF, the parties have signed this Agreement below.

Contractor:

*Alan Spivack*

Date:

*Aug 10, 97*

Client:

*James Stomovitz*

Date:

*Aug. 11, 1997*

33. *subject to approval by Maryland National Capital Park & Planning Commission*

