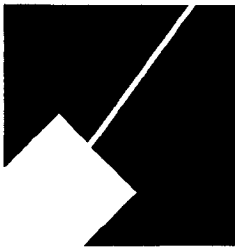


24/29-97B 14800 Seneca Road
Darnestown (MP #24/29) Magruder Hse

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

24/29
Samuel Magruder

January 9, 2002

H. Richard Gault
Nancy J. Slomowitz
14800 Seneca Road
Darnestown, MD 20874

Dear Rick and Nancy,

The changes you propose for the main house – the gutters and storm doors - can be approved at staff level without applying to the Historic Preservation Commission for a HAWP. Since the HPC is meeting this evening, I will take this to their work session to confirm staff approval.

I reviewed the gutters you propose as replacements for the existing gutters. Although either white or another colored gutter can be approved, I would suggest that if you do not want to use larger copper gutters, you might consider aluminum gutters with an aged copper patina rather than plain white. It would mitigate the change from the old gutter style. Gutters would usually not blend with a house the age of yours – assuming it had gutters at all – as they would generally be of unpainted copper or other weathered sheet metal.

As to the window changes on the out-of-period tenant house, I would also approve those at staff level. The building is a non-contributing accessory structure, and you are not enlarging the building or otherwise changing the footprint. I would strongly recommend option 1-b with operable side windows, but without the bay in order to keep the changes to a minimum. Removal of the door can also be approved at staff level.

Good luck with your projects, and please call if you have questions about any of this (301-563-3407)

Sincerely,

A handwritten signature in black ink, appearing to read "Perry Kapsch", written over a white background.

Perry Kapsch
Historic Preservation Planner

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

January 9, 2002

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Nancy J. Blomowitz
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Good luck with your projects, and please call if you have questions about any of this (301-563-3407)

Sincerely,

Perry Kapsch
Historic Preservation Planner

H. Richard Gault & Nancy J. Slomowitz

December 26, 2001

Ms. Perry Kephart Kapsch, Historic Preservation Planner
Maryland National Capital Park and Planning Commission
Historic Preservation
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910
Voice: (301) 563-3400
FAX: (301) 563-3412
E-Mail: mcp-historic@mnppc-mc.org

Re: Main House Improvements: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

We request approval to make several improvements to the main house:

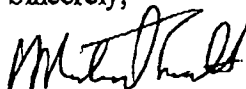
1. Replace the existing [copper] gutters with larger gutters. Most of the current gutter is old and damaged and needs to be replaced. Because the gutters are too small for the building, they are constantly overflowing. We have dampness in the basement at each storm because of run-off and/or gutter leakage.

We plan to reuse any undamaged portions on the cottage and garage/stable buildings (neither of which has any gutters). We would like to use plain white aluminum gutters with the same half-round style of the current gutters, but of a larger size. Our decision to use white aluminum is based on the following:

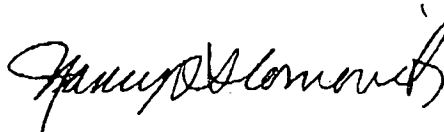
- a. White is about 50% of the cost of copper
 - b. White will blend with the building, will not be as noticeable, and will not draw attention away from the building itself.
2. Add storm doors on the two side doors (the most heavily used). Our proposed doors will be all wood, with full length glass/screen enclosures. We will paint them white to match the existing woodwork. These will match the current style and color and will help protect against the weather.

I hope that these proposed modifications meet with your approval. If you have any questions, please feel free to call me during the day at (202) 366-0465, or Nancy at (202) 366-1259.

Sincerely,



H. Richard Gault



Nancy J. Slomowitz

APPROVED
Montgomery County
Historic Preservation Commission

John D. 01/02/02

FAX COVER SHEET

④

Date: 12/26/2001	Pages (Including cover): 1 2 3 ④
From: Rick and Nancy Gault	
To: Perry Kephart Kapsch	
Phone: 301-563-3400	FAX: 301-563-3412

Comments:

Perry,

Attached is a request for permission to change the gutters and add storm doors on the main house on our property.

Please let us know if you have any questions and if we may proceed with the renovation as outlined in the letter.

Thanks,

Rick

Five attached a quote from our better firm - they do a lot of historical work in DC. They are very good.

Thanks - Rab

PROPOSAL

Submitted to:

Executive Management Associates

14800 Seneca Rd.

Darnestown, MD 20874

330-0769 330-2541 fax

Date: 10/26/01



ROYAL SERVICE COMPANY

RESIDENTIAL • COMMERCIAL

(301) 947-3950 Fax (301) 947-3952

7640-B Airpark Road
Gaithersburg, MD 20879
MHIC 49843

We are pleased to submit the following proposal for your consideration.

Description	Style	Color	Quantity	SLATE NO		
Gutters	T/A	TBD		241321SL		

New gutters and downspouts:

Remove existing gutters, downspouts and hangers. Where hangers are sealed to metal roofing or under slates, existing strap hangers will be cut off and left sealed to roof. Where straps are nailed through slate, we will seal any nail holes as necessary.

Install new 5 and 6 inch half round aluminum or copper gutters - see diagram P2
Gutters will be affixed using #10 fascia brackets on flat fascia boards over side porch, and upper gutters at rear wing of home. At upper front and rear (main house) and front porch gutters will be installed on special #12 crown mould brackets

Install 3 and 4 inch downspouts at all gutters - 6inch gutters will drain through 4 inch spouts, 5 inch gutters will drain through 3 inch spouts. See diagram for layout

New system will be functional, efficient and historically correct.

Color: Gloss white aluminum or mill finish (bright) copper

Aluminum \$ 2818.90

Copper \$6477.00

1/3 deposit to begin, balance due in full upon completion of work. Work can begin within 15 working days of approved contract and receipt of deposit & will be completed as rapidly as possible, weather permitting. Changes or alterations from approved contract will be executed upon written order and billed separately.

Guarantee 5 years, workmanship, 10 years materials.

Work will be completed in a timely manner, weather permitting.

Prices include all labor, materials and disposal of debris, unless noted otherwise.

PAYMENT: Due upon completion of work. Balance unpaid after 30 days from date of invoice is subject to a service charge of 2% per month.

Submitted by Kevin Date 10-26-01

We propose hereby to furnish material and labor - complete in accordance with above specifications.
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or derivations from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Royal Quarter Service is fully licensed, bonded and insured. Top quality work and complete customer satisfaction is our goal.

Approved by _____ Date _____

Prices good for acceptance for 30 days unless extended in writing.

PROPOSAL

Submitted to:

Nancy Stomowitz / Mr. Gault

14800 Seneca Rd.

Darrestown 20874

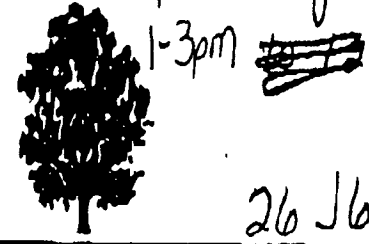
330-0769

Date:

10/12/01

- P. 2 -

Friday 10/26 ~~Friday 10/26~~



26/06

ROYAL SERVICE COMPANY

RESIDENTIAL • COMMERCIAL

(301) 947-3950 Fax (301) 947-3952

7840-B Airpark Road
Gaithersburg, MD 20879
MHIC 49843

We are pleased to submit the following proposal for your consideration.

Description	Style	Color	Quantity			
<p>Gutter leak & have clogs : customer doesn't know if gutters should be replaced * ← 4 inch Spout</p> <p>Gutters can be 5 inch w/ 3 inch downspouts</p> <p>6 inch gutters w/ 4 inch downspouts</p> <p>5 inch gutters w/ 3 inch downspouts</p> <p>Guarantee <u>5</u> years, workmanship, <u>10</u> years materials. Work will be completed in a timely manner, weather permitting. Prices include all labor, materials and disposal of debris, unless noted otherwise.</p>						

PAYMENT: Due upon completion of work. Balance unpaid after 30 days from date of invoice is subject to a service charge of 2% per month.

We propose hereby to furnish material and labor - complete in accordance with above specifications. All work to be completed in a workmanlike manner according to standard practices. Any alterations or derivations from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Royal Gutter Service is fully licensed, bonded and insured. Top quality work and complete customer satisfaction is our goal.

Submitted by Kevin Date 10-26-01

Approved by _____ Date _____

Prices good for acceptance for 30 days unless extended in writing.

FAX COVER SHEET

(11)

Date: 12/26/2001	Pages (including cover): 11
From: Rick and Nancy Gault	
To: Perry Kephart Kapsch	
Phone: 301-563-3400	FAX: 301-563-3412

Comments:

Perry,

Attached is a request for permission to change the windows on the small cottage on our property.

Please let us know if you have any questions and if we may proceed with the renovation as outlined in the letter.

Thanks,


Rick



H. Richard Gault & Nancy J. Slomowitz

December 26, 2001

Ms. Perry Kephart Kapsch
Historic Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910
Voice: (301) 563-3400
FAX: (301) 563-3412
E-Mail: mcp-historic@mncppc-mc.org


APPROVED
Montgomery County
Historic Preservation Commission

*gph*²/09/02

Re: Cottage Improvements: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

We got distracted from the house for a while, but we are about to continue our renovations. We have contracted with David Johnson to begin interior restoration of the existing cottage on our property. We plan to use it as a studio guest cottage by modernizing the interior, but keeping a historical appearance to complement that of the main house.

We do not plan to change the outside structurally. However, some changes may be necessary in order to accommodate new windows, which may not (and probably will not) match the existing windows in size. We request permission to make the following changes:

- 1) The old windows are very inefficient, of poor quality, and/or badly damaged from weather and neglect. We want to replace them with insulated, double-hung windows of the same basic style, but with modern energy saving qualities. All the replacement windows will be wood inside and out, with solid wood muntin bars (window dividers). The replacement windows will probably be different in size than the existing windows. However, the basic exterior appearance will not change – only the size of the windows.
- 2) The two large picture windows, one on the south side and one on the north side, are both very badly damaged and are also huge energy loss problems.
 - a. We want to raise these two large windows, which now end about 1 foot off the floor, to about 30" off the floor, to facilitate placing a couch or table in front of the window. This will make the window slightly higher, slightly smaller, top to bottom, as well as higher off the floor. (Drawings 1a-c, front side; 2a-c, back side)

- b. We are considering several style options for these two windows. We would like to provide fresh air by enabling the replacement windows to open. We have not yet decided on the specific style, but would like permission to use any of the following approaches:
 - i. Large fixed pane window similar to what is already there (i.e., no capability for opening, see drawing 1a, 2a, attached);
 - ii. 3-section flat window, with fixed panes in center and 1 double-hung window on each side (see drawing 1b, 2b, attached); or
 - iii. 3-section bay window, with a fixed window in the middle and a double-hung window on each side (see drawing 1c, 2c). The kitchen in the main house has a bay window opening up to the south, in this same style. I think using this window style, at least for the kitchen (north side) of the cottage, would be in keeping with the style of the main house.
- 3) We want to remove the door from the living room to the outside:
 - a. This door is redundant – for such a small building, there is no need for two doors to the outside. The main door will provide entry to the foyer, from which all rooms are accessible. (see drawing 3)
 - b. In addition, removing this door will open up wall space for furniture, shelves, etc.
 - c. We can use the door (which is new) to replace the main entry door, which is very old and has been damaged by weather and neglect by the previous owner.

I've attached my drawings, for your amusement. Hopefully, they help portray what we want to do.

I thought you also might be interested in what we are planning for the inside of the cottage. We plan to make the cottage into a studio guest cottage:

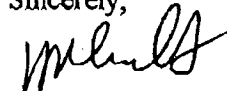
- 1) David has obtained some old variable-width tongue-and-groove pine flooring from a demolition site, and we plan to use it throughout the cottage.
- 2) We plan to turn the [too small for a real bed] bedroom in the back of the cottage into a storage/utility room:
 - a. Add badly needed storage for both kitchen and other supplies.
 - b. Move the washer/dryer from the "basement" (a "space" under the cottage with about 5 feet of headroom) to the upstairs where it will be more usable. We will use a stacked unit to save space.
- 3) We will retain the original full bathroom with the original tub. We'll replace the other fixtures.
- 4) The kitchen will be where it was originally, on the north wall between the bedroom and the storage room. A small space just outside the living room, in front of the north picture window, will be suitable for a small table.
- 5) The living room will be a combined living/sleeping room with a sofa-bed (or perhaps a Murphy bed).
 - a. We are using some old early 1800's oak beams David found to provide a nice period appearance and open up the ceiling in the main room to provide a more spacious feel. It looks really nice.
 - b. When we purchased the property, we saved an old wooden fireplace

mantle we found in the barn. David thinks it's from around 1830-1840 time period. I think it belongs to one of the fireplaces in the main house that was later refinished in stone or marble. The current cottage fireplace has a modern stone front, some of which was broken during the cleanup before we moved in. We plan to cover over the stone with plaster and install the wooden mantle over it.

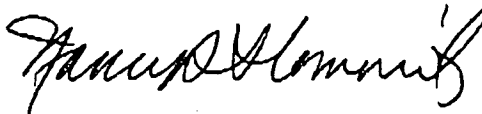
We think that these changes will make the rooms appear larger, will add some historic look and feel, and will open up badly needed space for storage and/or closets. We are recycling as much material as we can from what we saved when we moved in: old doors, cabinet boards, molding, fence boards, etc.

I hope that these proposed modifications meet with your approval. If you have any questions, please feel free to call me during the day at (202) 366-0465, or Nancy at (202) 366-1259.

Sincerely,



H. Richard Gault



Nancy J. Slomowitz

Drawings:

South side of cottage (front, facing the barn):

Drawing 1a – Single, fixed pane picture window.

Drawing 1b – Single, fixed pane picture window in center, with double-hung windows on each side

Drawing 1c –

North side of cottage (facing Seneca Road):

Drawing 2a – Single, fixed pane picture window

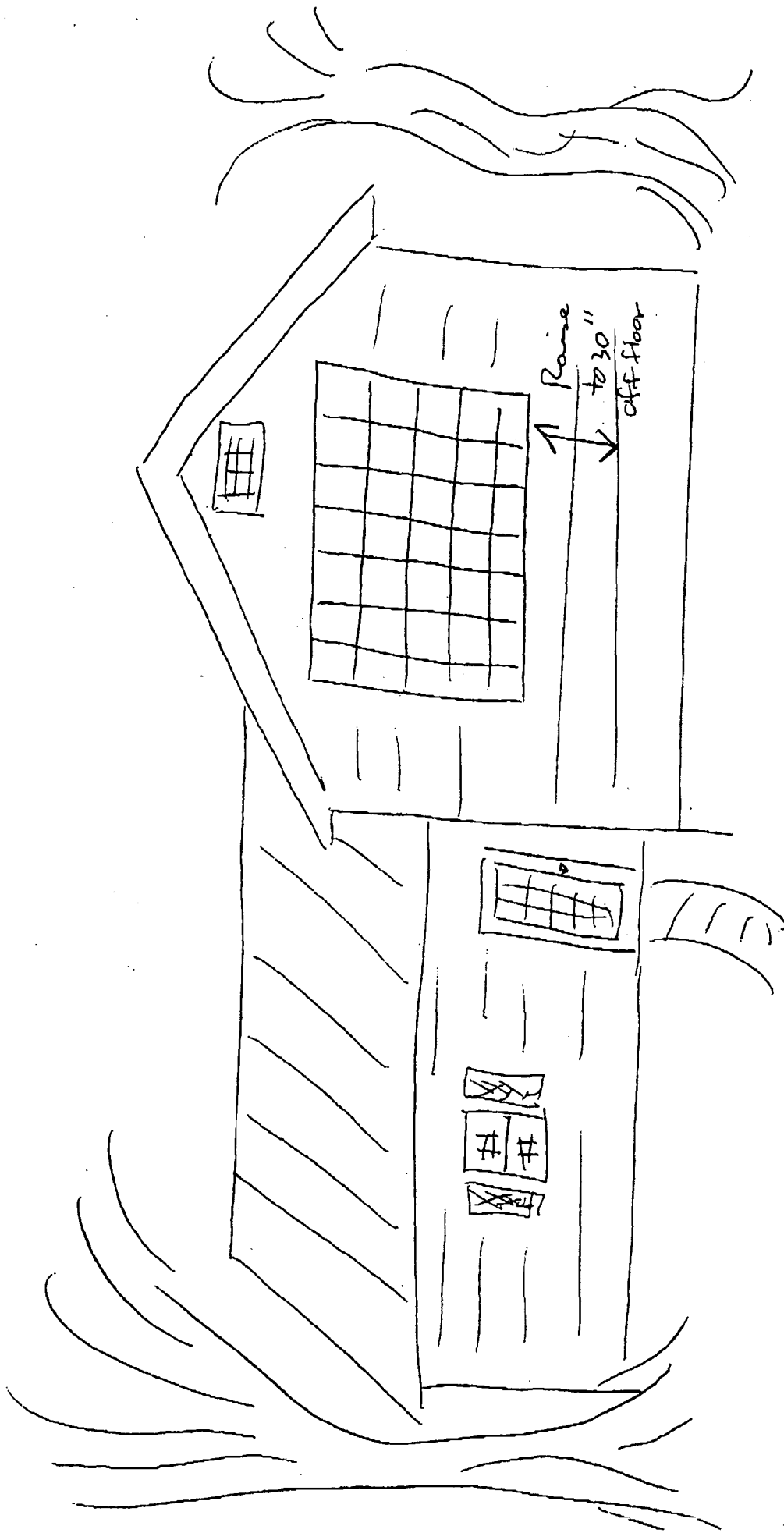
Drawing 2b – Single, fixed pane picture window in center, with double-hung windows on each side

Drawing 2c – Single, fixed pane "bay" picture window in center, with double-hung windows on each side.

Drawing 3 – Door removal

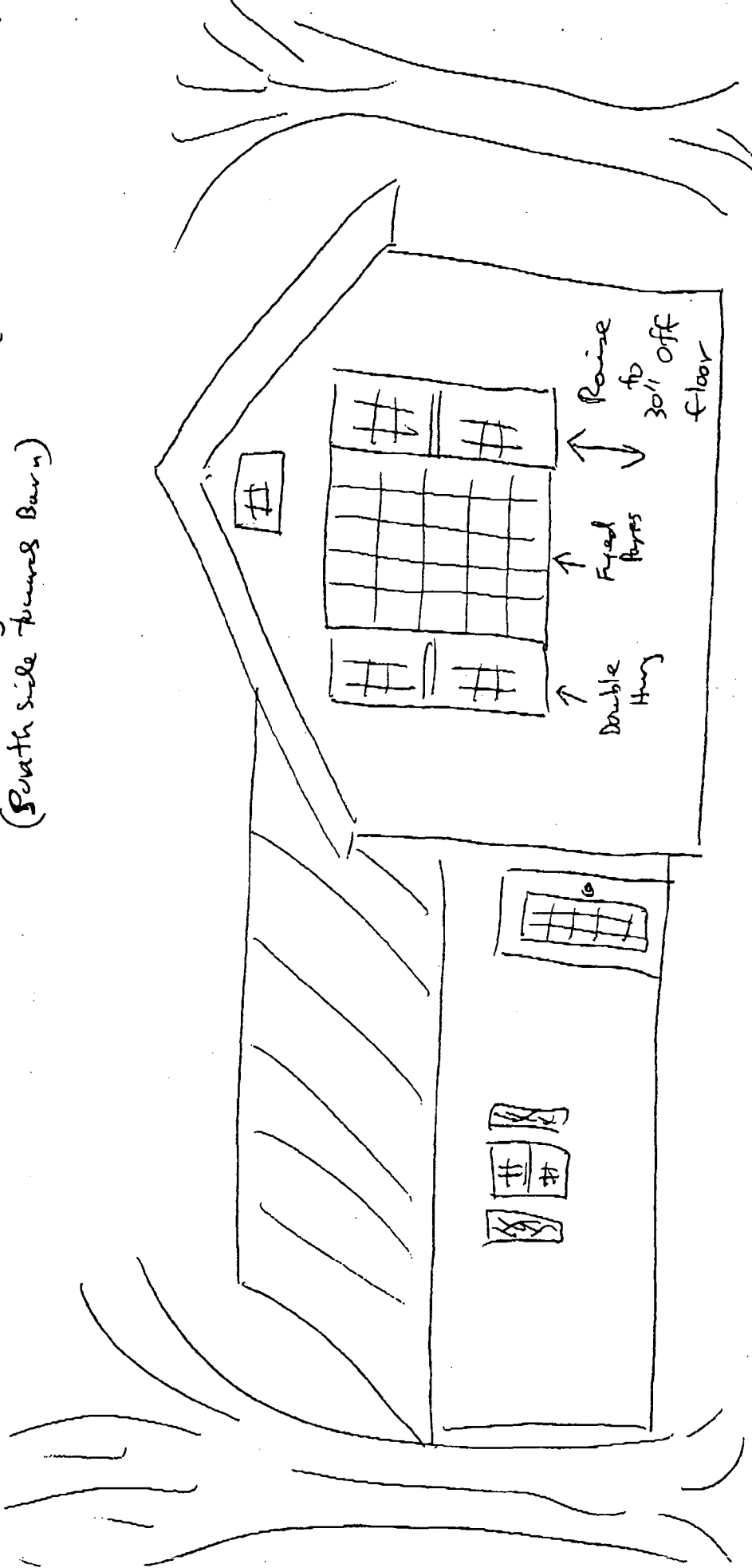
577, Maryland Home
 14800 Sander Rd
 Darnestown, MD
 20874
 12/26/01

1a No Opening - Picture Window
 (South Side - toward barn)



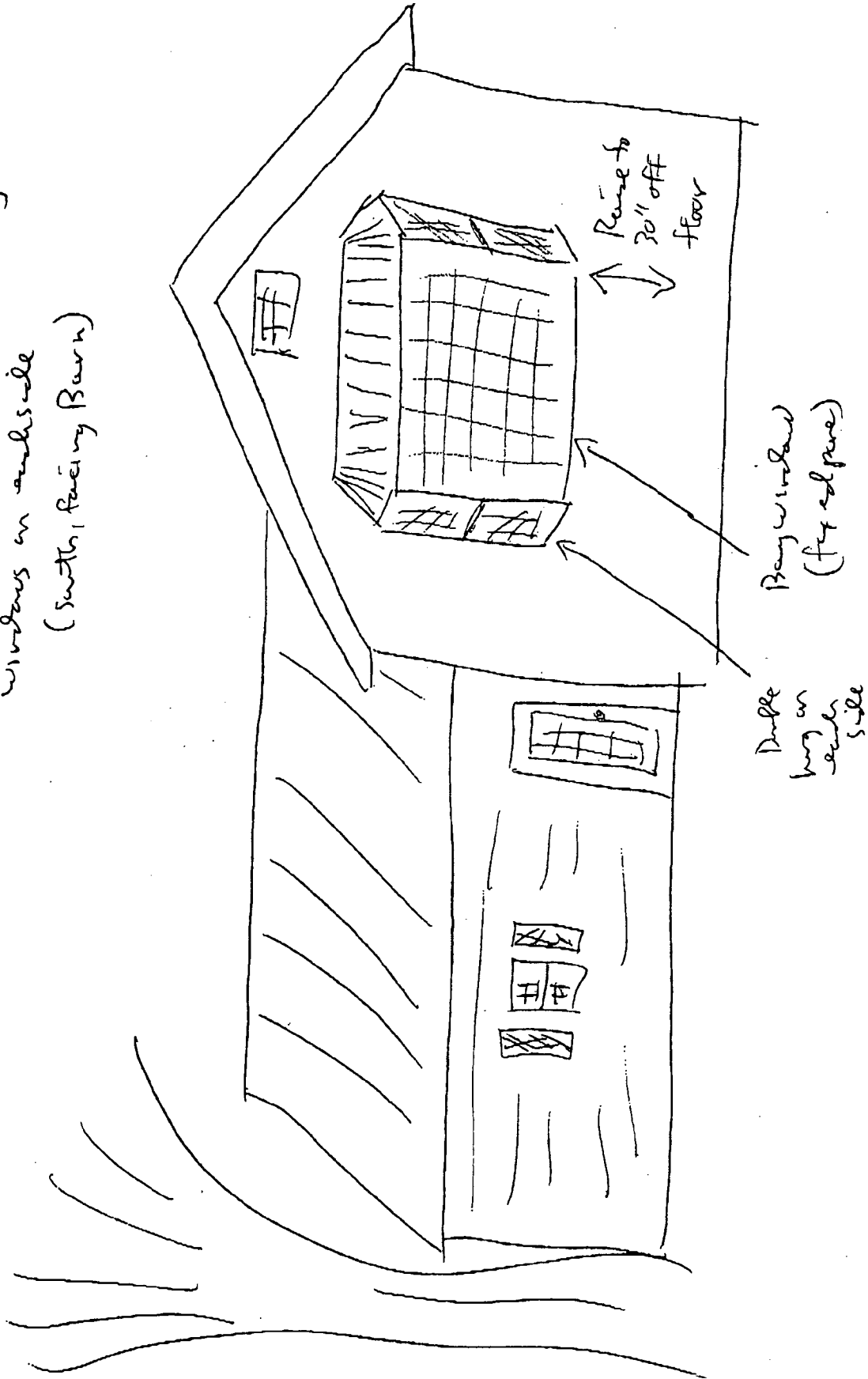
S.T. Magruder House
14800 Saratoga Rd
Dorrestown, MD 20879
12/26/01

1b Fixed Pane Window in Gable
w/ Double hung window on outside
(South side turns Barn)



14800 S. ...
 14800 S. ...
 Dan was born, MD
 20874
 12/26/01

lc Bay Window w / fitted or double hung windows on outside (south, facing Barn)



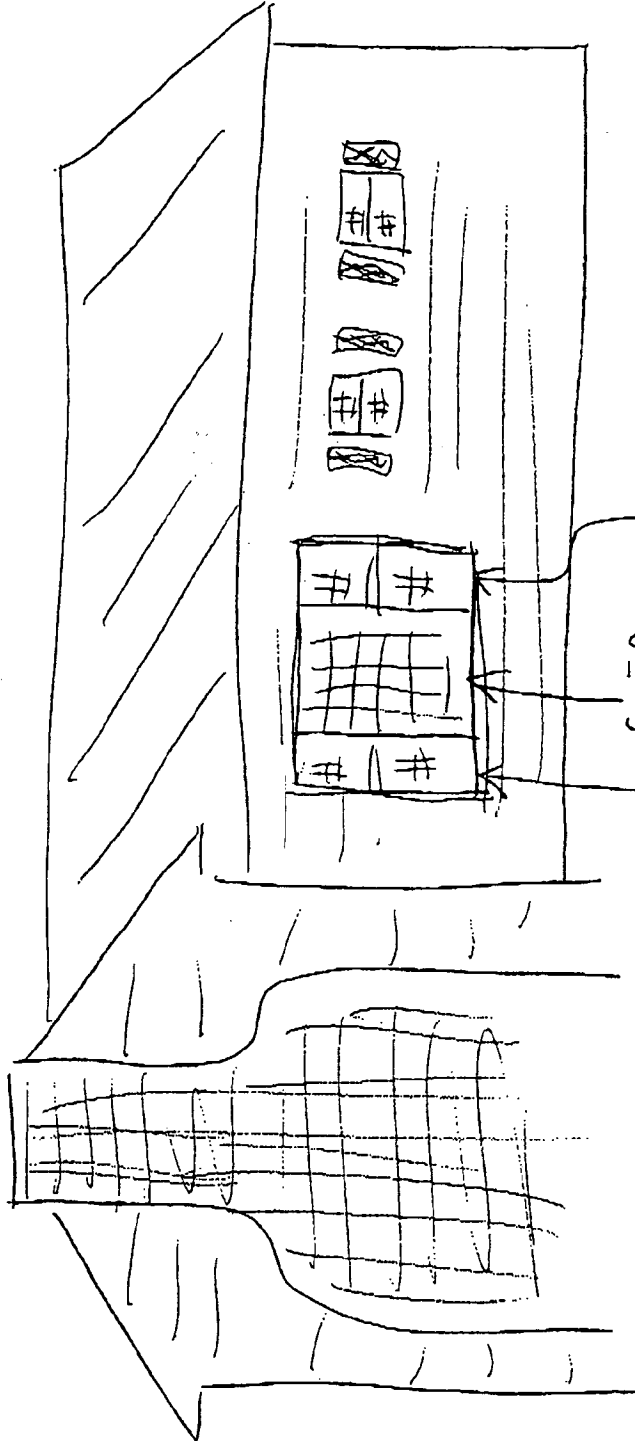
S.T. Magnolia House
14800 Seneca Rd
Dumfries town, MD 20824
12/26/01

2a No Opening - Fixed Pane
Picture window
(south side, facing Seneca Rd)



S.T. Magnolia House
14800 Seneca Rd
Darnestown, MD 20827
12/26/01

26 Fixed Pane
Picture window w/ DBL Hung Windows
on either side
(North side toward Seneca Rd)

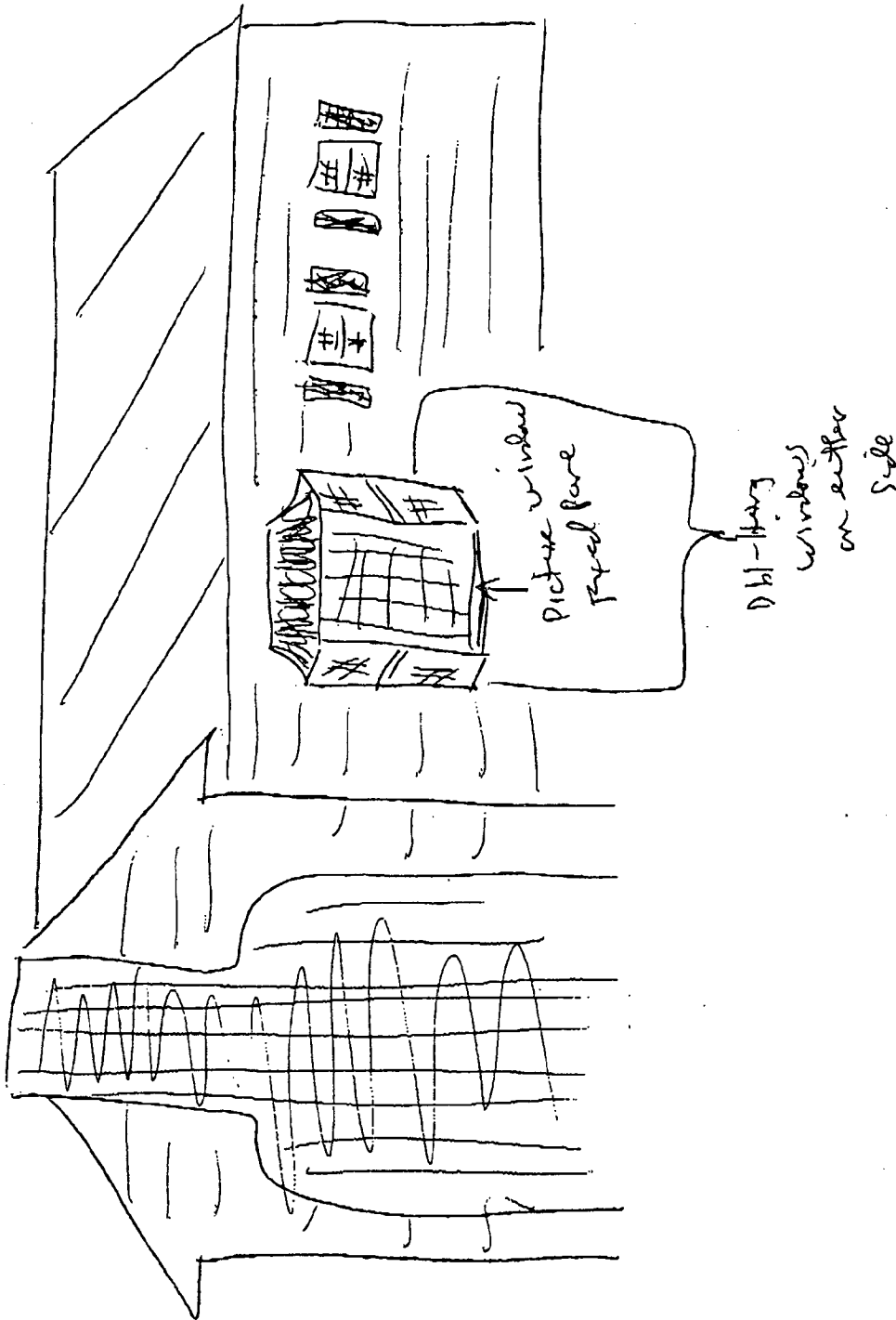


fixed pane window

Double Hung windows on either side

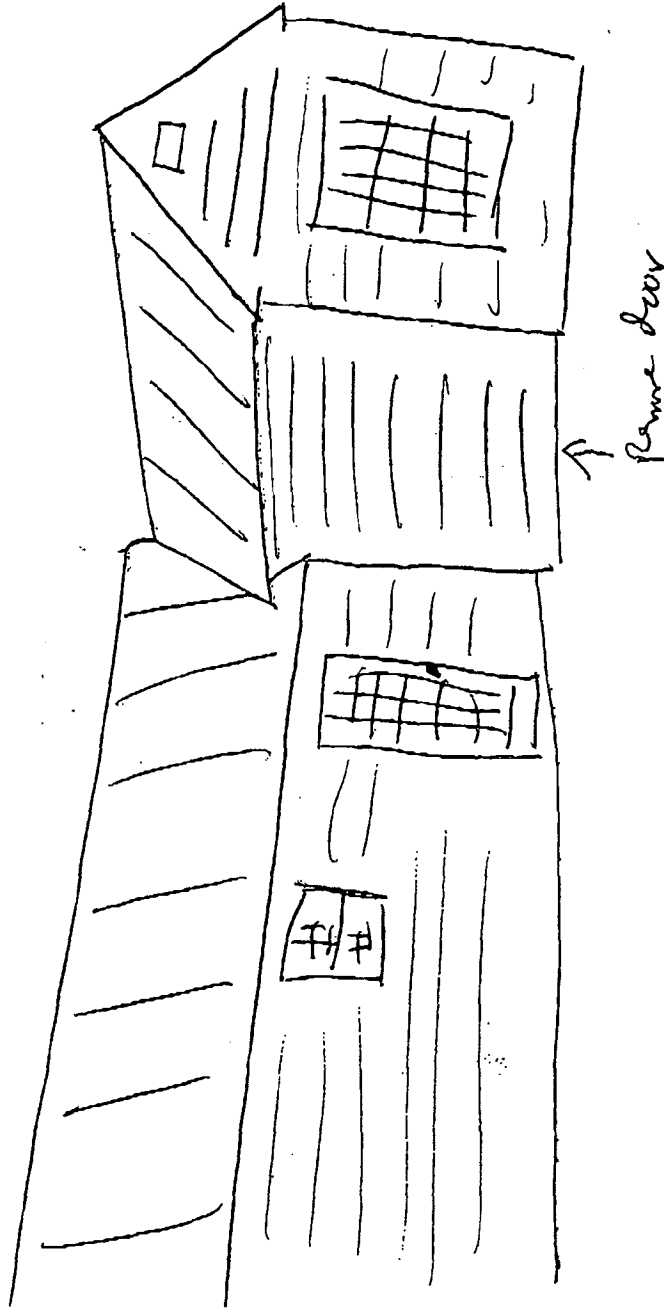
S.T. Mangunder House
14500 Seneca Rd
Purvestown, MD 20686
12/26/01

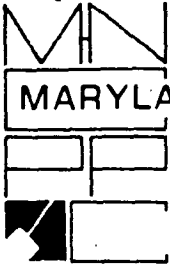
2C Bay window w/ picture in center
& Dbl hung on either side
(North side, towards Seneca Rd)



St. Raymond Home
14600 S. ... Rd.
Dorchester, MD
20674
12/26/01

3) Remove door into
Living Room
from outside





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 11-12-97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator *GM*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

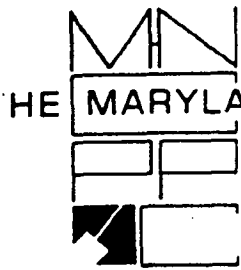
Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Richard Gault & Nancy Spornowitz

Address: 14800 Seneca Rd Derwood MD

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 11-12-97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division *gmc*
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits.

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



TURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: HILKARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN, MD 20874
Street Number City State Zip Code

Contractor: DEAN FITZGERALD Phone No.: 301-271-1843

Contractor Registration No.: 10030922

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE

Lot: 3 Block: _____ Subdivision: _____

Liber: 14588 Folio: 273 Parcel: 6-1-3158298

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: BARN

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz
Signature of owner or authorized agent

10/6/97
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 11-12-97

Application/Permit No.: 9710100013 Date Filed: 10-10-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Barn

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Renovate barn - restore to its original structure
(See Attached)*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: NANCY J. SLOMOWITZ
Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298
Name of Property Owner: H. RICHARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769
Address: 14800 SENECA ROAD DARNESTOWN MD 20874
Street Number City State Zip Code
Contractor: TBD Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD
Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE
Lot: 3 Block: _____ Subdivision: _____
Liber: 14588 Folio: 273 Parcel: 6-1-3158298

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Blaze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 15,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz Signature of owner or authorized agent 10/10/97 Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 11-12-97
Application/Permit No.: 9710100062 Date Filed: 10-10-97 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
NECESSARY DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:
FENCE - See Attached

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
See Attached

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

Confronting Property Owners:

Melvin M. And O.H. Gienau
14821 Seneca Road
Darnestown, Maryland 20874

George W. And E.P. Van Tassel
14811 Seneca Road
Darnestown, Maryland 20874

Adjacent Property Owners:

Nicole L. Kobrine and Paul Garrett
13513 Magruder Farm Court
Germantown, MD 20874

Signal Tree Farm, LP
13517 Magruder Farm Court
Germantown, MD 20874

H. RICHARD GAULT & NANCY J. SLOMOWITZ

October 9, 1997

Ms. Perry Kephart
Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: Barn Renovation: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

Thank you very much for coming last Friday to review the proposed renovation of the lower portion of the Magruder Barn. As you requested, we are writing to request permission to perform two actions:

1) We want to open up the lower portion of the rear (south side) of the barn, which will restore it to its original configuration. Originally, the beams supporting the first floor extended about eight feet beyond the rear wall of the lower level, creating an overhang open to the elements. At some time in the fairly recent past (1950's according to Dean Fitzgerald) this area was enclosed. We believe this to be true because an open style was typical of the barns of the 1800's, the existing wood is too new, and the foundation of the outer wall is composed of cinder block.

We intend to open up the lower area the full width of the barn, adding 4 posts to provide support to the first floor beams at the end of the overhang.

The 4-bay slatted wall at the west side of this area will be extended across the full width of the barn. The east portion of this wall was removed at one time to create a new stall under the overhang. We can tell that this (east) area once held a slatted wall because the ceiling [horizontal] beam runs across this [east] area and contains cut-outs where the slats were once inserted. The lower [horizontal] beam supporting the slats was reused as a vertical post. We will have to cut some new slats and a portion of the supporting beam, but will be able to reuse much of the existing structure.

We plan to add a short wall (about 2 feet high) to support the slats to match the wall on the west portion of this area. We also plan to correct a problem with the west slatted wall, where it has slipped off the foundation due to age and settling.

APPROVED
Montgomery County
Historic Preservation Commission
Perry Kephart 11/2/91

I have attached some drawings and photos to help clarify where the renovation will take place and what we intend to do.

Drawing 1: This is a rendering of Photo 1 to show the area to be restored. The bottom level of the rear of the barn was once open (under the overhanging beams). Drawing 1 also shows where Photos 3 and 4 (which provide closer detail of the area) were taken.

Drawing 2: This shows the same view as Drawing 1, but with the lower area opened up. A beam will run the full width of the barn, supported by 4 new posts, to provide structural support to the joist beams under the upper floor - these joist beams project out beyond the original lower wall to provide the overhang.

Drawing 3 & 4: This shows where the gutters and down spouts will be installed, at the front, rear and side (carriage house) of the barn.

Drawing 5: This provides a [rendering] closeup of the restored lower rear of the barn. It shows (approximately) how the posts will support the beam, which will support the outer edge of the overhang (i.e., the ends of the upper level floor joists).

Photo 1: This photo shows the unrestored south side (rear) of the barn.

Photo 2: This shows the partially restored rear of the barn. Most of the holes and damaged wood have been repaired. All vents have been restored to original condition. The roof has been removed and the repair of the roof beams and structure has almost been completed. The barn has just been repainted.

Photo 3: This shows a detail closeup of the area of the barn to be restored (as indicated in Drawing 1). This is the left (west) side of the covered area of the overhang. You can see the slatted 4-bay wall inside the overhang area through the openings in the wall.

Photo 4: This shows the same view as Photo 3, but the right (east) side of the covered area under the overhang (see Drawing 1). The 4-bay wall and slats can be seen through the doorway at the left side of the photo.

Photo 5: This shows the original 4-bay wall with slats between the foundation and the ceiling beam. This wall once extended across the entire width of the rear of the barn. The right (east) side of this wall was removed to create a new stall under the overhang area. We intend to restore this wall to its original condition.

Photo 6: This shows where the original 4-bay wall has slipped off the foundation due to settling. This photo is taken from the center door frame - the view is of the bottom of the post on the west side of the door frame.

Photo 7: This is the area to be opened up, under the overhang, viewed from the west side of the area, looking east. The beams supporting the upper floor extend out to the [new]

APPROVED
Montgomery County
Historic Preservation Commission
11/12/17

“outer” wall and can be seen at the top, center of the photo. The right “outer” wall will be removed and opened up and replaced with 4 supporting posts located at each end and in the center along the line of this wall. The 4-bay wall on the left will remain. The slope of this wall indicates the “slippage” from its original position due to age and settling, and will be repaired. At the back of this photo is the stall that was created when the east portion of the 4-bay wall was removed. This stall will be removed and the original [east] wall restored.

Photo 8: This is the same area as in Photo 7, but viewed from the east, looking west (viewing the same location where I stood to take Photo 7). The 4-bay wall with slats is located on the right and the [new] “outer” wall is on the left. The overhead beams can be clearly seen extending beyond the 4-bay, slatted wall.

Photo 9: This shows the east side of the area to be opened up (behind the wall in Photo 4). You can see the ceiling beam into which the slats originally fit, as well as the original lower beam which has been mounted vertically as a post. The diamond-shaped cut-outs can be clearly seen on both beams. The stall will be removed, the “post” reset as a lower beam, and a new foundation built using Seneca stone to match the wall on the western 4-bay wall.

Photo 10: This shows a view into the lower area to be opened up. The line separating the original [upper] barn wall from the new siding on the lower area can be clearly seen. This “outer” wall will be removed and replaced with a supporting post structure (see Drawings 3 and 5). The original 4-bay wall, with Seneca stone foundation and slats, can be clearly seen through the doorway. This wall is to the left on Photo 7 and to the right on Photo 8.

2) We want to add gutters and down spouts to the barn. Dean Fitzgerald, while examining the lower rear wall, noticed some foundation damage. It is not serious or extensive, but caused us concern for the potential of future damage. Dean told us that most barn renovations include the installation of gutters to prevent water damage to the foundation. He has recommended that we install white, half-round gutters and full-round down spouts at the front and rear of the main barn, and at the side of the carriage house (See Drawings 3 and 4).

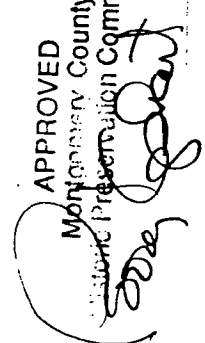
We only recently noticed the water damage and identified the need for gutters. Dean feels that the gutter should be installed before the barn roof is replaced. As a result, there is some urgency to this portion of the request in order to prevent additional cost for equipment rental.

We hope that you will find this plan acceptable. Thank you for all your help.

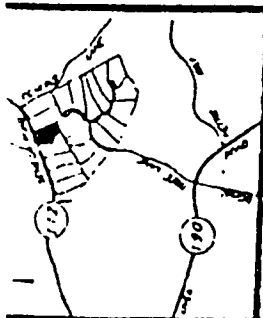
Sincerely,



H. Richard Gault

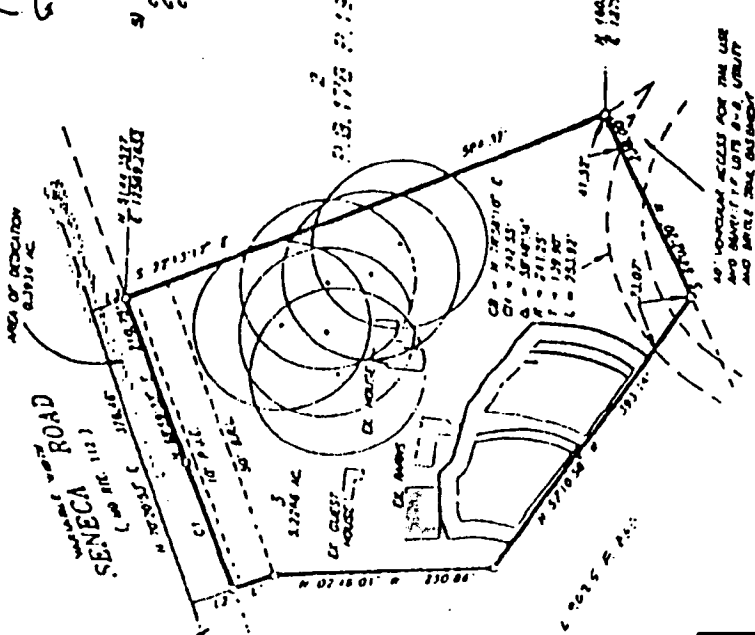
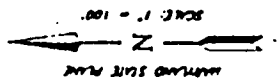
APPROVED
Montgomery County
Historic Preservation Commission
12/11


2. Site Plan



VICINITY MAP
1" = 2,000'

1. The site plan is a preliminary plan for the proposed development. It is subject to the approval of the Planning Board and the Board of Health. The plan shows the location of the building, parking area, and other facilities. The plan is based on the information provided by the applicant and is not intended to be a final plan. The applicant is responsible for obtaining all necessary permits and approvals for the development.



LEGEND

- AREA OF OPERATION
- AREA OF TOTAL UTILITY
- 20' CONC. FIELD AREA
- 20' CONC. ASPHALT
- 20' CONC. FIELD AREA

LINE TABLE

LINE NO.	DESCRIPTION	LENGTH	AREA
1
2
3
4
5

CURVE TABLE

CURVE NO.	LENGTH	AREA
1
2
3
4
5

DATE: 11/14/1955
 DRAWN BY: J. J. ...
 CHECKED BY: ...

MARYLAND NATIONAL CAPITAL
 PLANNING COMMISSION
 MONTGOMERY COUNTY PLANNING BOARD
 APPROVED: JANUARY 4, 1956
 Chairman: ...
 Vice Chairman: ...
 Treasurer: ...

MONTGOMERY COUNTY
 DEPARTMENT OF
 PERMITTING SERVICES
 APPROVED: ...
 Chief: ...

MONTGOMERY COUNTY
 DEPARTMENT OF
 HEALTH
 APPROVED: ...
 Chief: ...



1) STATE FILE RECORD NO. ...
 2) ...
 3) ...
 4) ...
 5) ...
 6) ...
 7) ...
 8) ...
 9) ...
 10) ...

SUBDIVISION RECORD PLAT
 191 J
 RIVER PLANTATION
 ELECTION DISTRICT NO. 8
 MONTGOMERY COUNTY, MARYLAND
 DECEMBER 1955 SCALE: 1" = 100'

MADDOX
 ENGINEERS & SURVEYORS
 1111 ...
 ...

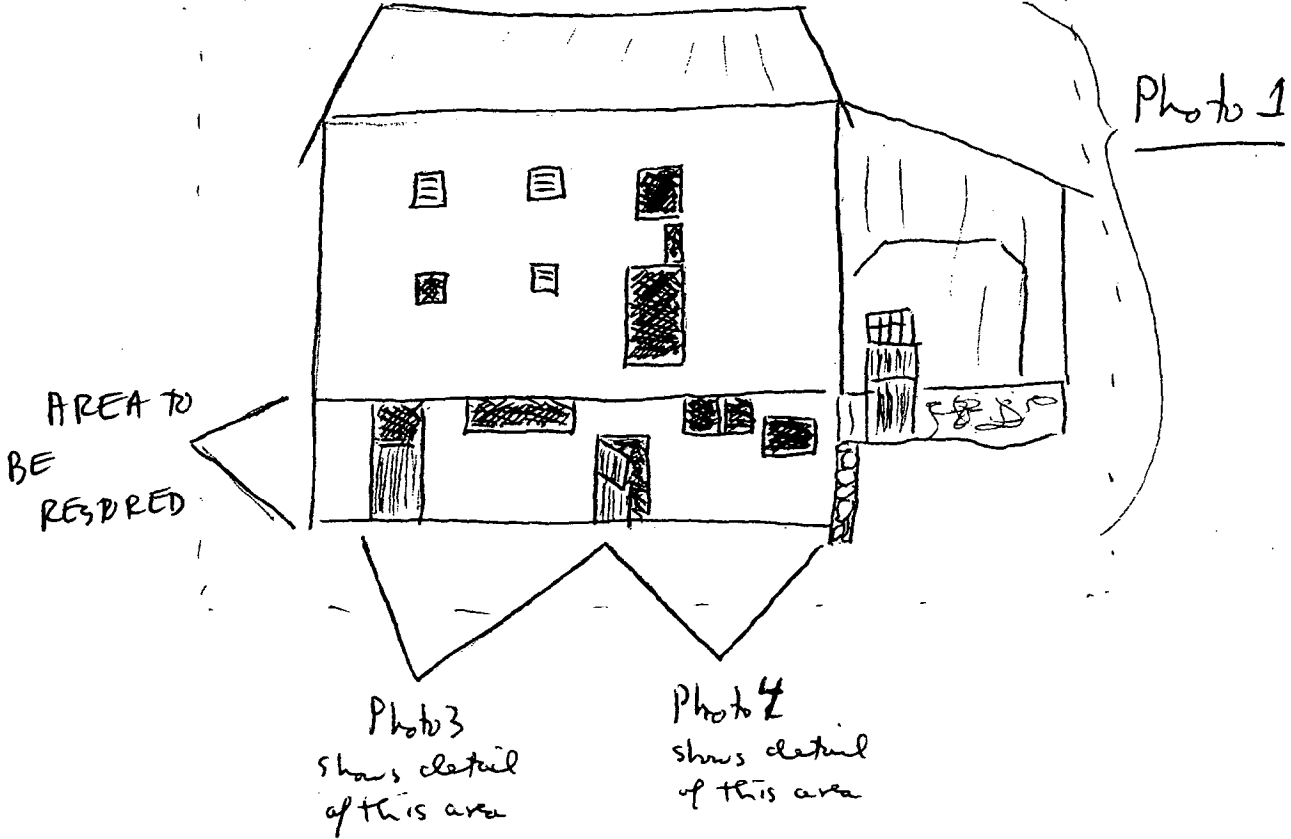
600-53

APPROVED
 Montgomery County
 Historic Preservation Commission
 11/2/55

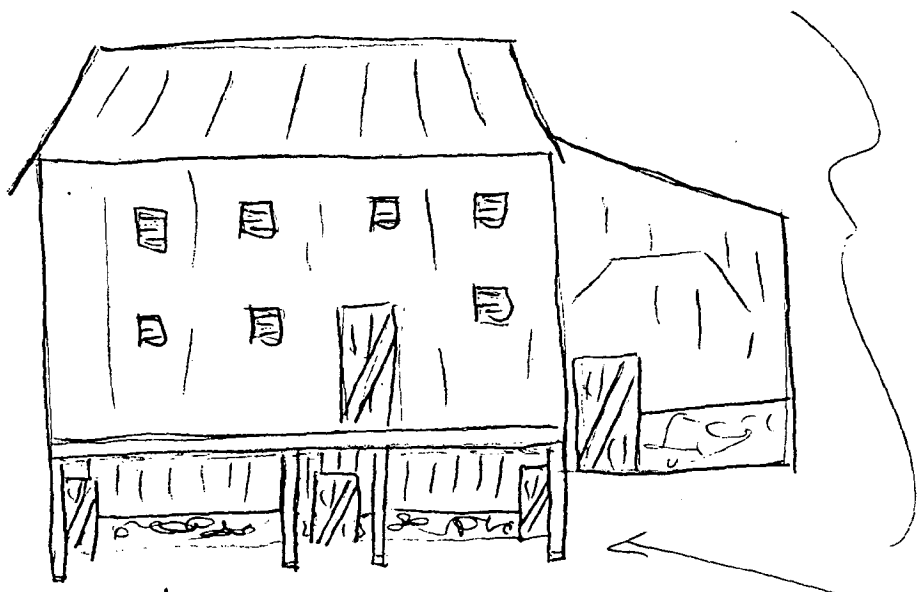
(2) SITE PLAN

H. RICHARD GALET, & NANCY J. SKOROWITZ - Barn Restoration
Magruder Farm, 14000 Seneca Road, Darmestown, MD 20874

(3A)
PLANS
&
ELEVATIONS



Drawing 1 - Area to be restored (rear, bottom of barn)



Drawing 2 - Rear of barn after restoration

Photo

APPROVED
Montgomery County
Historic Preservation Commission
11/12/97

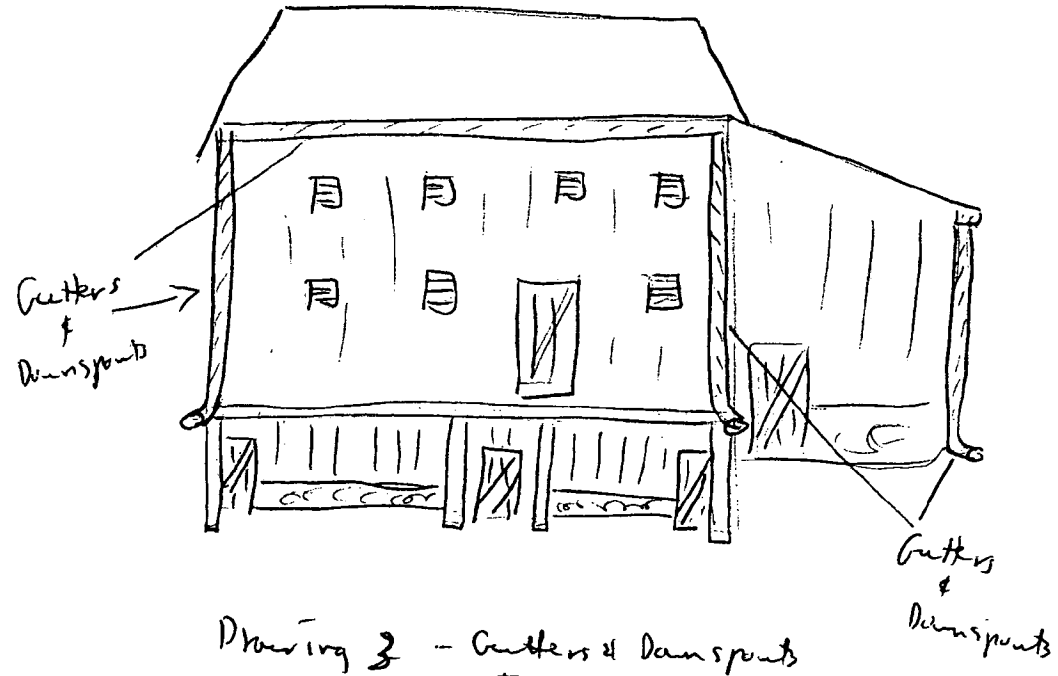
[Signature]

Curse portion of barn to be opened up

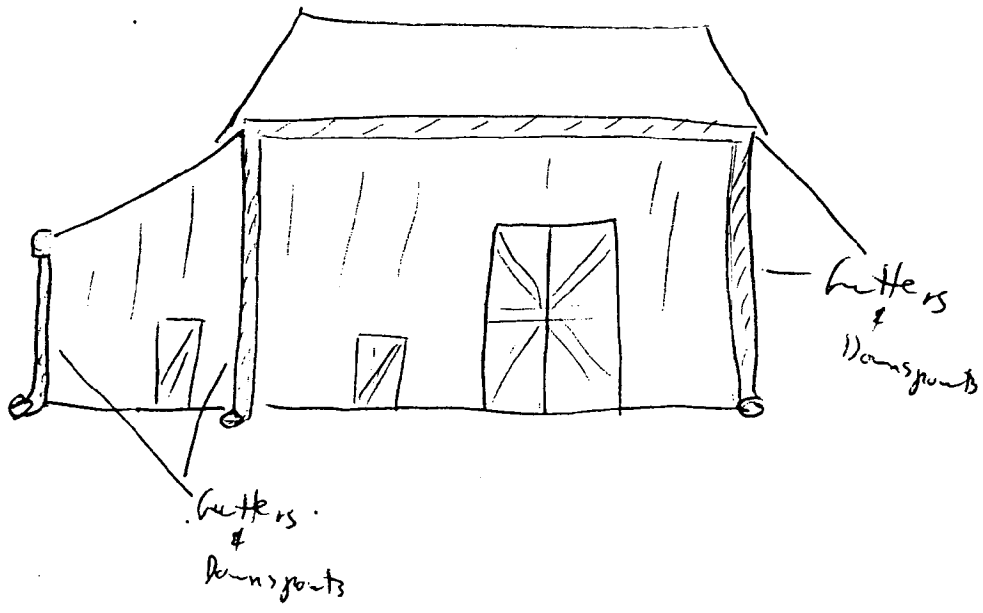
Mr. RICHARD GAULT & MARY J. SLOMOWITZ - Barn Restoration
Magnolia Farm, 14800 Seneca Road, Darnestown, MD 20874

(3B)

PLANS
&
ELEVATIONS



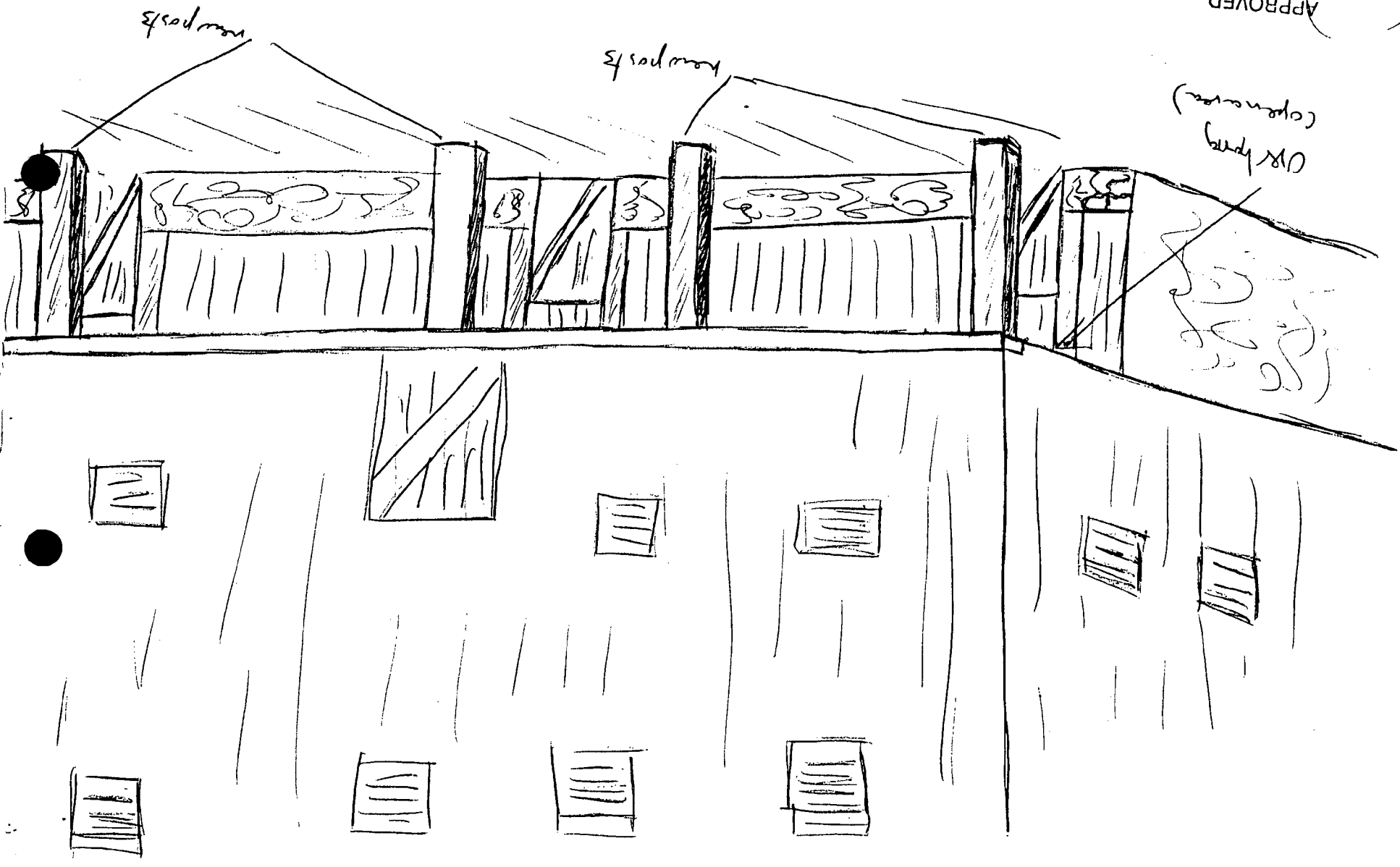
Drawing 3 - Gutters & Downspouts
at rear of barn



Drawing 4 - Gutters & Downspouts
at front of barn

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
11/12/17

(3c)
PLANS &
ELEVATIONS



Drawing 3 - Detail of roof of Barn after Restoration

BARN RESTORATION - Regular Form
14800 Sennett Rd, Newmarket, MD 20874
H. RICHARD FRUIT & RYAN J. SCHWARTZ

APPROVED
Montgomery County
Public Preservation Commission
[Signature]

DR. HARRIS
(open areas)

WILLIAM VANCE & NANCY J. SCORNIOWITZ - Barn Restoration
Magruder Farm, 14000 Seneca Road, Darroestown, MD 20874

(3A)
PLANS
+
ELEVATIONS

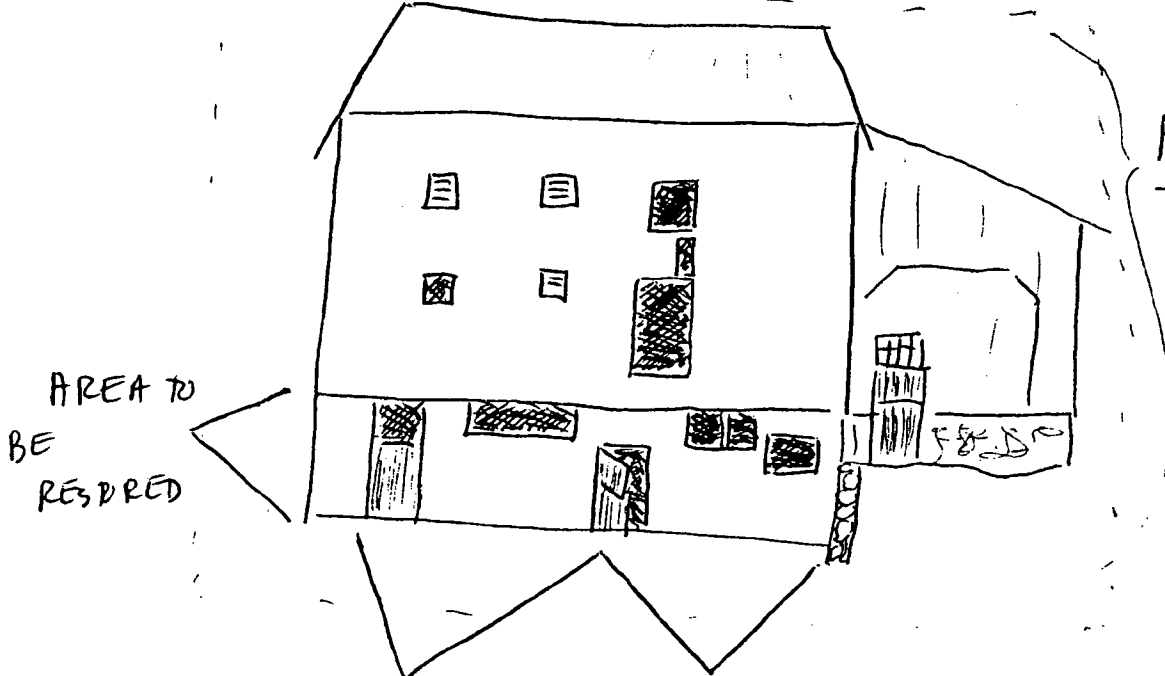


Photo 1

AREA TO
BE
RESTORED

Photo 3
shows detail
of this area

Photo 4
shows detail
of this area

Drawing 1 - Area to be restored (rear, bottom
of barn)

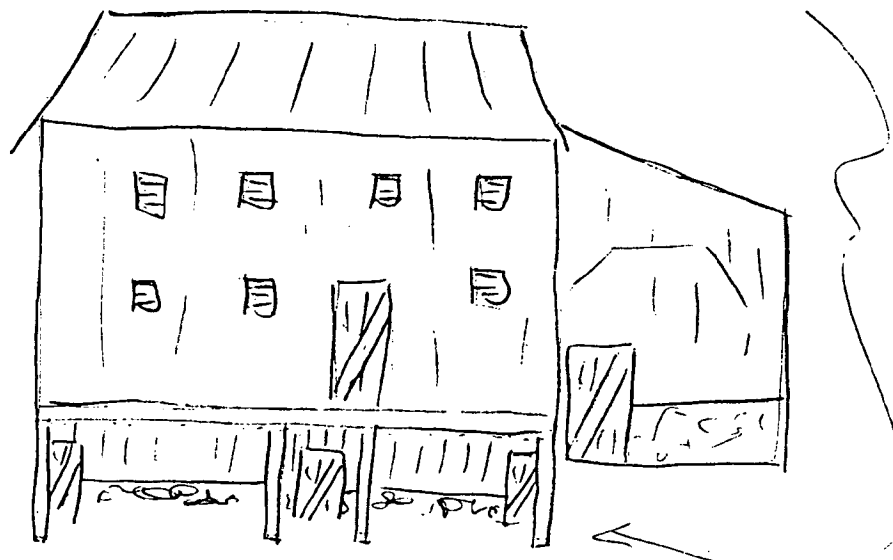
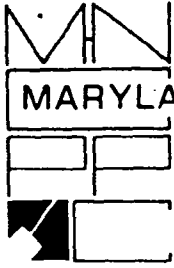


Photo 2
APPROVED
Montgomery County
Historic Preservation Commission
Erin K. [Signature] 11/12/19

Drawing 2 - Rear of barn after
restoration

Carriage portion of
barn to be
opened up



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 11-12-97

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator *GM*
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

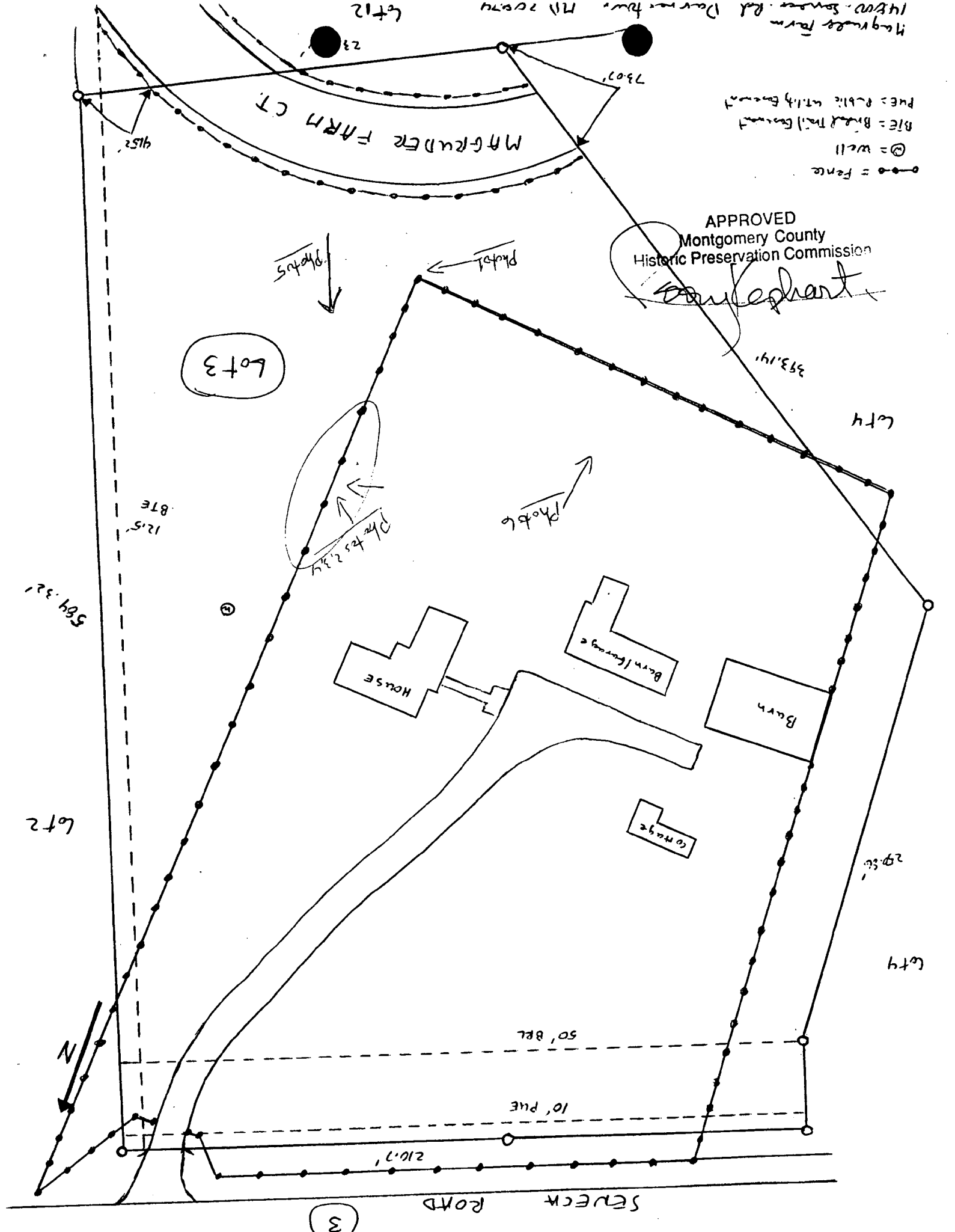
Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: H Richard Gault, Nancy Spornowitz

Address: 14800 Seneca Rd Derresdown MD.

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



● = Fence
 ⊙ = Well
 BTE = Buried Trail Easement
 PUE = Public Utility Easement

APPROVED
 Montgomery County
 Historic Preservation Commission
Confidential

MARGUERITE FARM CT

Lot 3

Lot 4

Lot 2

Lot 4

SEVEN RD

3

Lot 12

Marguerite Farm Rd. Deed Map MH 20074 14800. Survey

73.07'

41.52'

Photos

Photo

393.14'

12.15' BTE

584.32'

⊙

Photos

Photo

House

Barn (long)

Barn

Garage

50' BEL

10' PUE

210.7'

N

① and ④

H. RICHARD GAULT & NANCY J. SLOMOWITZ

October 10, 1997

Ms. Perry Kephart
Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: Fence Replacement: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

For our next project, Nancy and I want to repair the existing fence. This will necessitate some changes to the current fencing. We request permission to a) remove the current, deteriorated fencing and b) install new white, 3-board, split rail fencing along the borders of our lot. The primary reasons for this request are:

- The existing 3-board, split rail fence is rotted and deteriorated beyond repair and must be replaced.
- The existing fence was installed prior to the subdivision of the property and does not reflect the current property lines. The fence crosses the property lines of Signal Tree Estates, Lots 2 and 4. It does not follow the property line of Lot 3 (our property). Other property owners may wish to install fence along their own property boundaries and the existing fence will interfere with that process.
- The developer of Signal Tree Estates has installed new 3-board, split rail fence along the roads within the development. Because our property faces the development on the rear and sides, we want our fence to match the style of this new fencing.

We propose to install new fence according to the following:

- All new fence will be 3-board, split rail fence, painted white in the same style as that of the Signal Tree Estates, which is adjacent to our property in the rear and sides.
- The new fence will honor all easements (i.e., utility and bridle trail)
- The new fence will honor all property lines (i.e., along Signal Tree Estates Lots 2, 4 and 12, all of which border our property.
- The existing fence will be replaced in phases, as our time and budget allow.

APPROVED
Montgomery County
Historic Preservation Commission
Perry Kephart
10/12/97

As a result of the current barn renovation project, there is a large dumpster on our property. We wish to take advantage of this for disposal of any rotted and/or deteriorated wood from the existing fence. That is why we want to start removal of old, deteriorated fence wood at this time. We will install new fence as time and funds allow.

I have attached a map of the property and some photos, which show the location and condition of the existing fence:

Map: the map of our property shows how the existing fence does not follow our property line (Lot 3), and extends across the boundaries of our lot (Lot 3) and into Lot 2 at the NE corner of our property and into Lot 4 at the SW side of our property. We plan to build a new fence the follows the property lines of Lot 3 and a) respects the Bridle Easement along the east side of our property and the Public Utility Easement along the north (front) side of our property, and b) joins the Signal Tree Estates fence along the south side of our property along Magruder Farm Court.

Photo 1: Shows a view of the deteriorated condition of the rails, posts and an old gate at the SE corner of the fence.

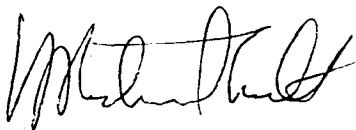
Photo 2, 3 and 4: Show views of the deteriorated condition of the rails and posts on the east side of the fence.

Photo 5: Shows a view of the missing rails and deteriorated condition of the rails and posts at the SE corner of the fence extending along the east side of the fence toward Seneca Road.

Photo 6: Shows a view of the Signal Tree Estates fencing along Magruder Farm Court, its proximity to the existing fence and the missing sections and rails of the existing fence along the south (rear) side of the property).

We hope that you will find this plan acceptable. Thank you for all your help.

Sincerely,



H. Richard Gault

APPROVED
Montgomery County
Historic Preservation Commission
Sharon K. Gault
11/2/99

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 14800 Seneca Road, Darnestown	Meeting Date: 11/12/97
Resource: <u>Master Plan</u> Site #24/29, Magruder House	Review: HAWP
Case Number: 24/29-97B	Tax Credit: Partial
Public Notice: 10/29/97	Report Date: 10/05/97
Applicant: H. Richard Gault & Nancy J. Slomowitz	Staff: Perry Kephart
PROPOSAL: Fence Replacement, Barn Repair	RECOMMEND: Approval

DATE OF CONSTRUCTION: House, circa 1830/1850s; Bank Barn ca. 1875.

SIGNIFICANCE: Individual Master Plan Site.

ARCHITECTURAL DESCRIPTION: Two-story frame residence, in an agricultural area. The frame and log rear section was built about 1830. Perpendicular to it is a five bay frame I house (circa 1850s) with flush siding on the front facade. Greek Revival features of the house include the wide cornice and full pediments on both gable ends. There is a one-story front-gabled portico with paired columns on the front facade.

The environmental setting includes several outbuildings, the most significant and historic of which is a bank barn. The property still contains three board fencing that follows old field boundaries and that is badly deteriorated.

PROPOSAL

The applicant proposes:

1. To replace the white, three board fencing along the current property boundaries that are the limits of the environmental setting. The fencing described in the application as "split rail" is to be standard milled board fencing installed between upright capped wood posts, and painted white. In effect, there is to be no change in materials, only in location.
2. As part of the bank barn restoration, to remove an out-of-period enclosure (built of wood siding with a cinder block foundation) of the feedlot under the barn forebay. Applicant also proposes to remove stall siding and replace and repair the original animal pen bars and framing.
3. To install gutters and downspouts on the bank barn.

STAFF DISCUSSION

Staff commends the applicant for repairing the bank barn and for their other work to renovate this important historic site. The work items currently proposed are all appropriate and consistent with the preservation of this site.

It is clear from the original materials still in place on the bank barn, and from examining those that have been inappropriately reused in 20th century modifications of the barn, that the siding and foundation blocks that are proposed to be removed are not original to the barn. It is also clearly indicated that the heavy, diagonal bars that are missing from the east end of the feed lot are the same as those that are extant at the west end.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the proposed construction as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #6:

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: H. RICHARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN MD 20874
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE

Lot: 3 Block: _____ Subdivision: _____

Liber: 14588 Folio: 273 Parcel: 6-1-3158298

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 15,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz
Signature of owner or authorized agent

10/10/97 Date **(3)**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

FENCE - See Attached

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See Attached

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

① and ④

H. RICHARD GAULT & NANCY J. SLOMOWITZ

October 10, 1997

Ms. Perry Kephart
Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: Fence Replacement: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

For our next project, Nancy and I want to repair the existing fence. This will necessitate some changes to the current fencing. We request permission to a) remove the current, deteriorated fencing and b) install new white, 3-board, split rail fencing along the borders of our lot. The primary reasons for this request are:

- The existing 3-board, split rail fence is rotted and deteriorated beyond repair and must be replaced.
- The existing fence was installed prior to the subdivision of the property and does not reflect the current property lines. The fence crosses the property lines of Signal Tree Estates, Lots 2 and 4. It does not follow the property line of Lot 3 (our property). Other property owners may wish to install fence along their own property boundaries and the existing fence will interfere with that process.
- The developer of Signal Tree Estates has installed new 3-board, split rail fence along the roads within the development. Because our property faces the development on the rear and sides, we want our fence to match the style of this new fencing.

We propose to install new fence according to the following:

- All new fence will be 3-board, split rail fence, painted white in the same style as that of the Signal Tree Estates, which is adjacent to our property in the rear and sides.
- The new fence will honor all easements (i.e., utility and bridle trail)
- The new fence will honor all property lines (i.e., along Signal Tree Estates Lots 2, 4 and 12, all of which border our property.
- The existing fence will be replaced in phases, as our time and budget allow.

As a result of the current barn renovation project, there is a large dumpster on our property. We wish to take advantage of this for disposal of any rotted and/or deteriorated wood from the existing fence. That is why we want to start removal of old, deteriorated fence wood at this time. We will install new fence as time and funds allow.

I have attached a map of the property and some photos, which show the location and condition of the existing fence:

Map: the map of our property shows how the existing fence does not follow our property line (Lot 3), and extends across the boundaries of our lot (Lot 3) and into Lot 2 at the NE corner of our property and into Lot 4 at the SW side of our property. We plan to build a new fence that follows the property lines of Lot 3 and a) respects the Bridle Easement along the east side of our property and the Public Utility Easement along the north (front) side of our property, and b) joins the Signal Tree Estates fence along the south side of our property along Magruder Farm Court.

Photo 1: Shows a view of the deteriorated condition of the rails, posts and an old gate at the SE corner of the fence.

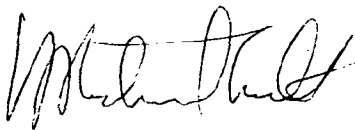
Photo 2, 3 and 4: Show views of the deteriorated condition of the rails and posts on the east side of the fence.

Photo 5: Shows a view of the missing rails and deteriorated condition of the rails and posts at the SE corner of the fence extending along the east side of the fence toward Seneca Road.

Photo 6: Shows a view of the Signal Tree Estates fencing along Magruder Farm Court, its proximity to the existing fence and the missing sections and rails of the existing fence along the south (rear) side of the property).

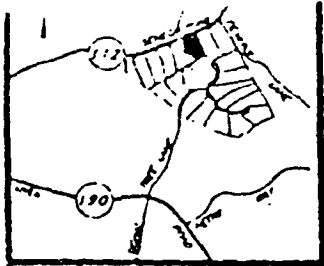
We hope that you will find this plan acceptable. Thank you for all your help.

Sincerely,



H. Richard Gault

2. Site Plan



VICINITY MAP
1" = 2,000'

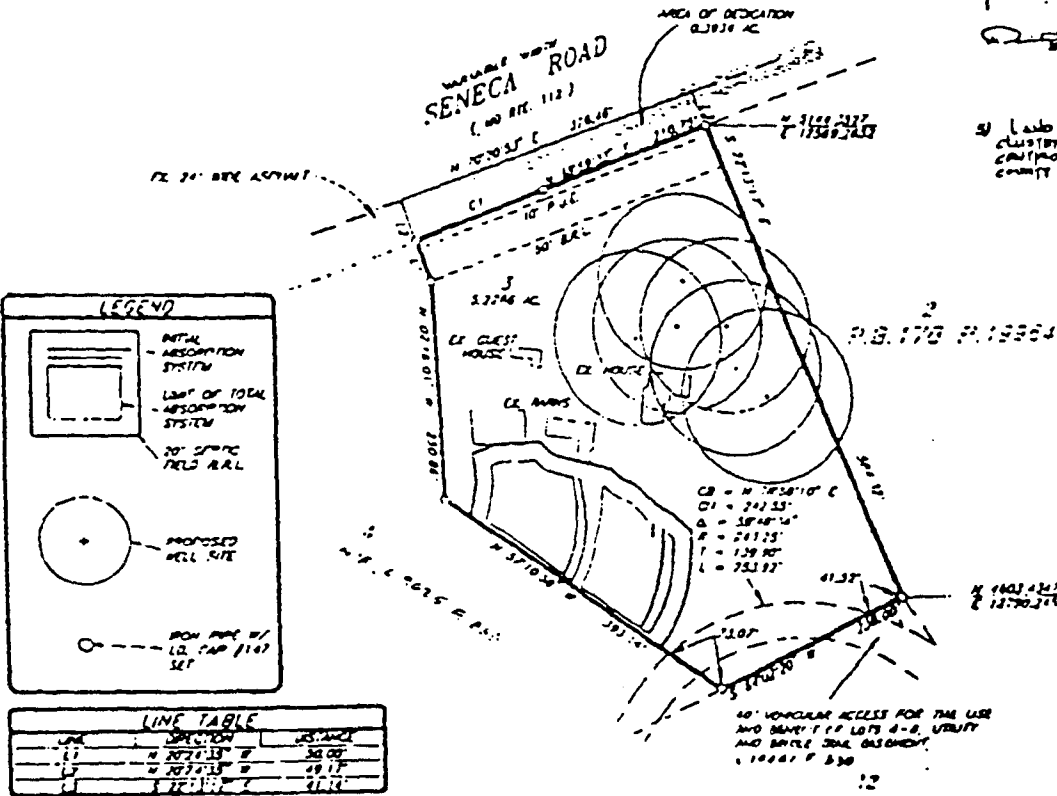
THIS SITE PLAN IS THE RESULT OF A PRELIMINARY SURVEY AND MEASUREMENT OF THE PROPERTY DESCRIBED IN THE PLAN SHOWING THE LOCATION OF THE PROPERTY AND THE LOCATION OF THE PROPERTY TO BE DEVELOPED. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY PLANNING BOARD AND THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF HEALTH. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC UTILITIES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC SAFETY. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC UTILITIES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC SAFETY.

SCALE: 1" = 100'

THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY PLANNING BOARD AND THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF HEALTH. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC UTILITIES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC SAFETY.

APPROVED BY: [Signatures]

1) LAND SHOWN HEREON WITHIN THE RURAL CLUSTER ZONE. RESURFACING SHALL BE STRICTLY CONTROLLED IN ACCORDANCE WITH MONTGOMERY COUNTY SUBDIVISION AND ZONING REGULATIONS.



LEGEND

- INITIAL ABSORPTION SYSTEM
- LOT OF TOTAL ABSORPTION SYSTEM
- 20' STAFF FIELD R.R.L.
- PROPOSED WELL SITE
- IRON PIPE W/ 1/2" CAP 11/2" SET

LINE TABLE

LINE	DESCRIPTION	BEARING	DISTANCE
1	W. SENECA RD	N 70° 35' E	37.45'
2	W. SENECA RD	N 70° 35' E	37.45'
3	W. SENECA RD	N 70° 35' E	37.45'
4	W. SENECA RD	N 70° 35' E	37.45'

CURVE TABLE

CURVE	STATION	LENGTH	CHORD	ANGLE	DELTA
1	1177.27	17.30	17.30	187.28	9.72

DATE: 11/26/94
PLAT BOOK: 182
PAGE: 89 & 98

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MONTGOMERY COUNTY PLANNING BOARD
APPROVED: JANUARY 4, 1994

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES
APPROVED: [Signature]

MONTGOMERY COUNTY DEPARTMENT OF HEALTH
APPROVED: [Signature]

NOTES

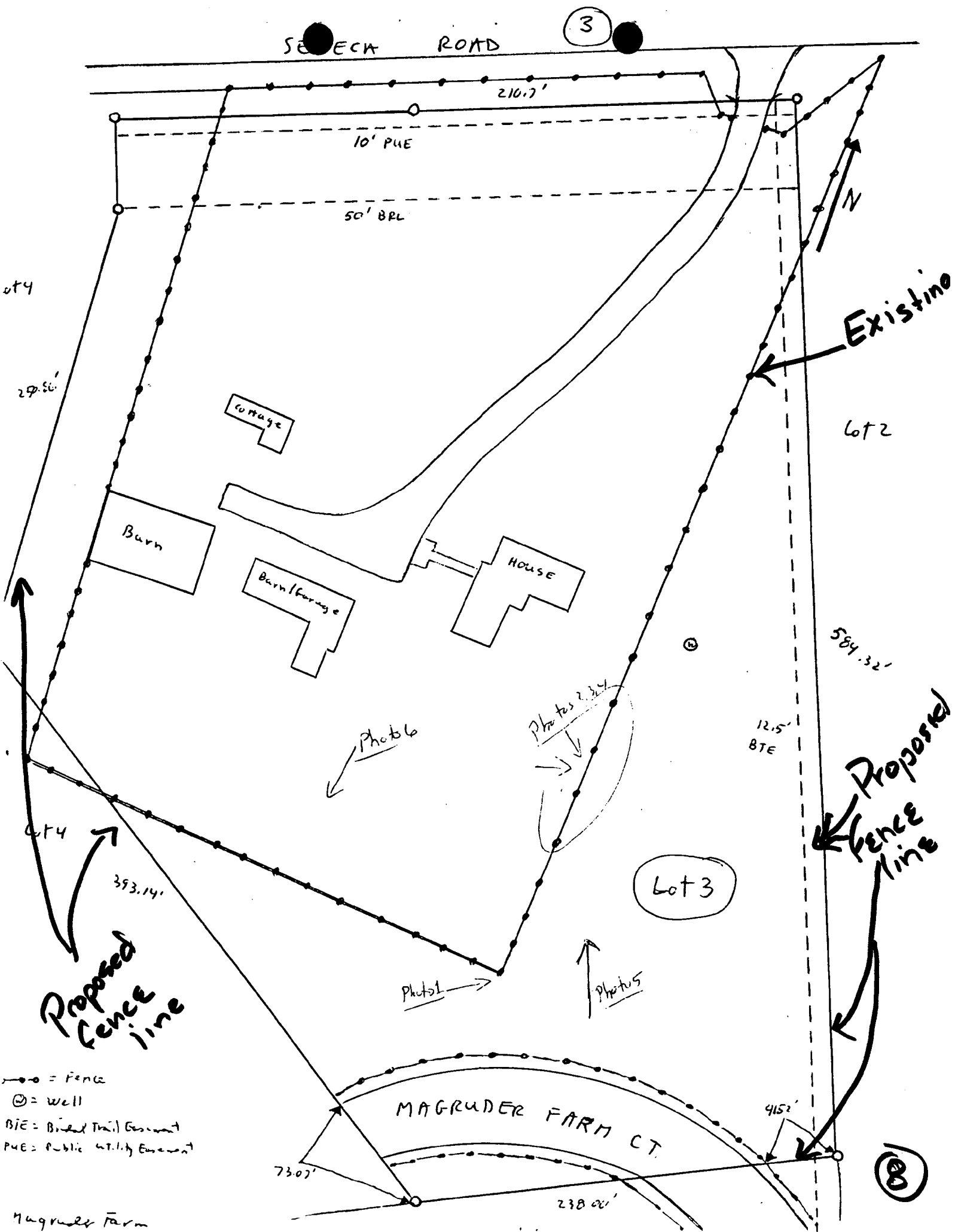
- 1) SITE FIELD RECORDS TO BE TAKEN SUBJECT TO CHANGE FOR APPROVAL BY THE LOCAL GOVERNMENT.
- 2) OF APPROVED FOR 1 AND 2, APPROVED FOR 1 AND 2.
- 3) ALL ZONING REGULATIONS, LIMITATIONS AND REQUIREMENTS ASSOCIATED WITH ANY REGULATORY PLAN SHALL BE STRICTLY ENFORCED. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY PLANNING BOARD AND THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF HEALTH. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC UTILITIES. THE PLAN IS SUBJECT TO THE APPROVAL OF THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC SAFETY.

SUBDIVISION RECORD PLAT
LOT 5
RIVER PLANTATION
SECTION DISTRICT 46.6
MONTGOMERY COUNTY, MARYLAND
DECEMBER, 1995 SCALE: 1" = 100'

MADDOX
ENGINEERS & SURVEYORS

2) SITE PLAN

5



SEBECK ROAD

3

210.7'

10' PUE

50' BRL

Existing

Lot 2

584.32'

Proposed
fence
line

12.5'
BTE

Lot 3

MAGRUDER FARM CT

415'

8

73.07'

238.00'

674
27.56'

Barn

Cottage

Barn/Storage

HOUSE

Photo 6

Photo 2, 2, 2, 4

Photo 1

Photo 5

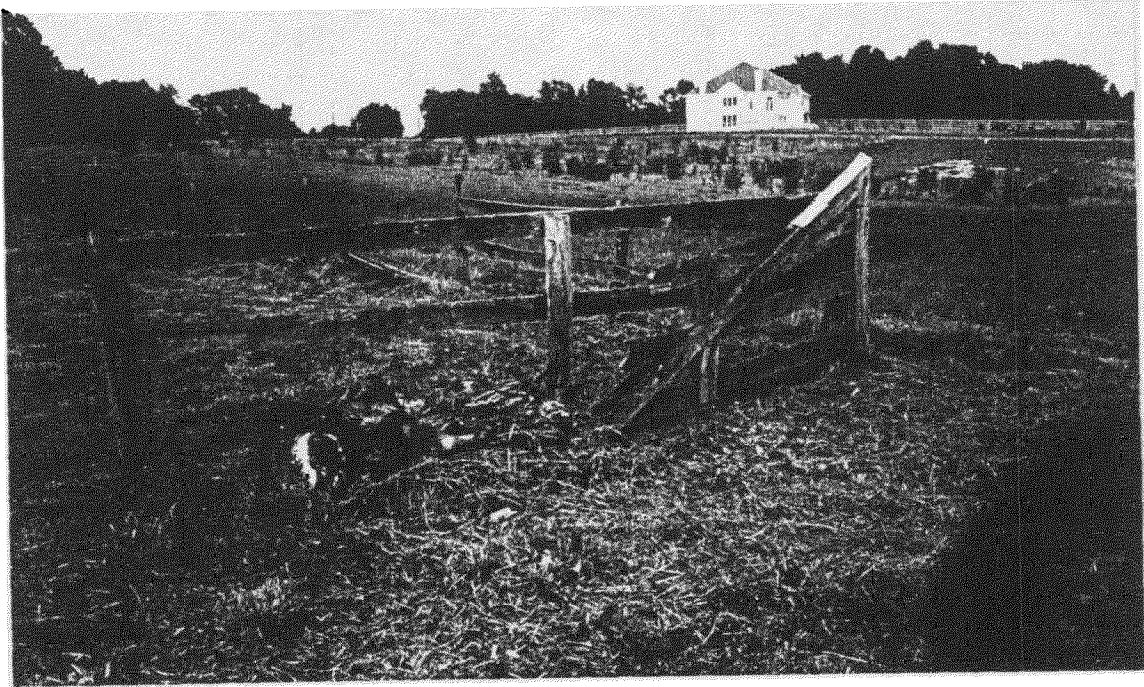
Proposed
fence
line

393.14'

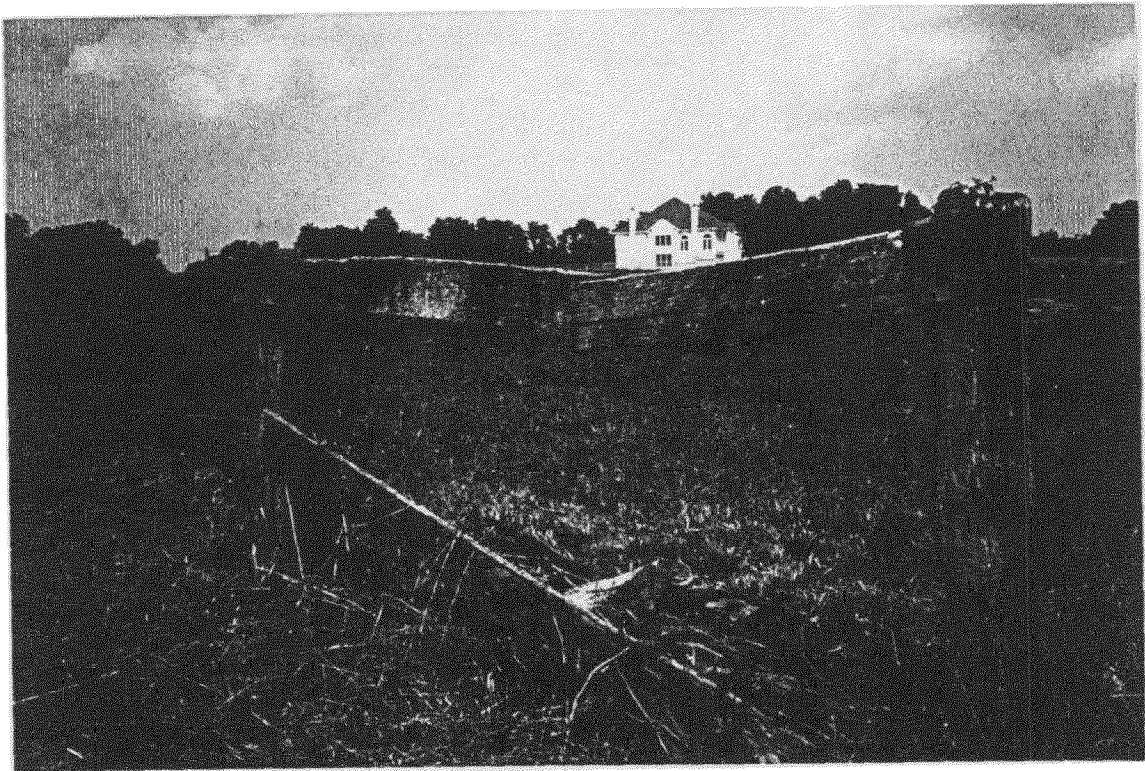
- = Fence
- ⊙ = Well
- BTE = Bird Trail Easement
- PUE = Public Utility Easement

Magruder Farm

5A



1

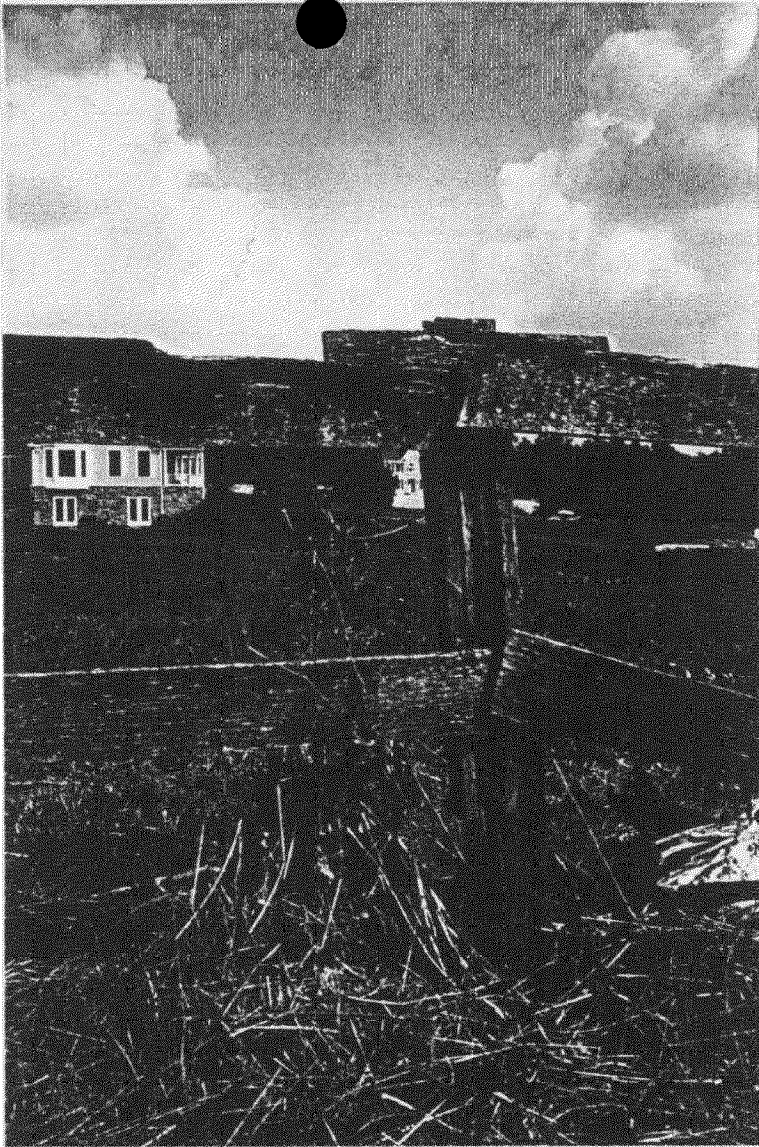


2

Magruder Farm Renovation - Fence 14800 Seneca Rd
Darnestown, MD 20874
Nancy Stomewitz & H. Richard Gault

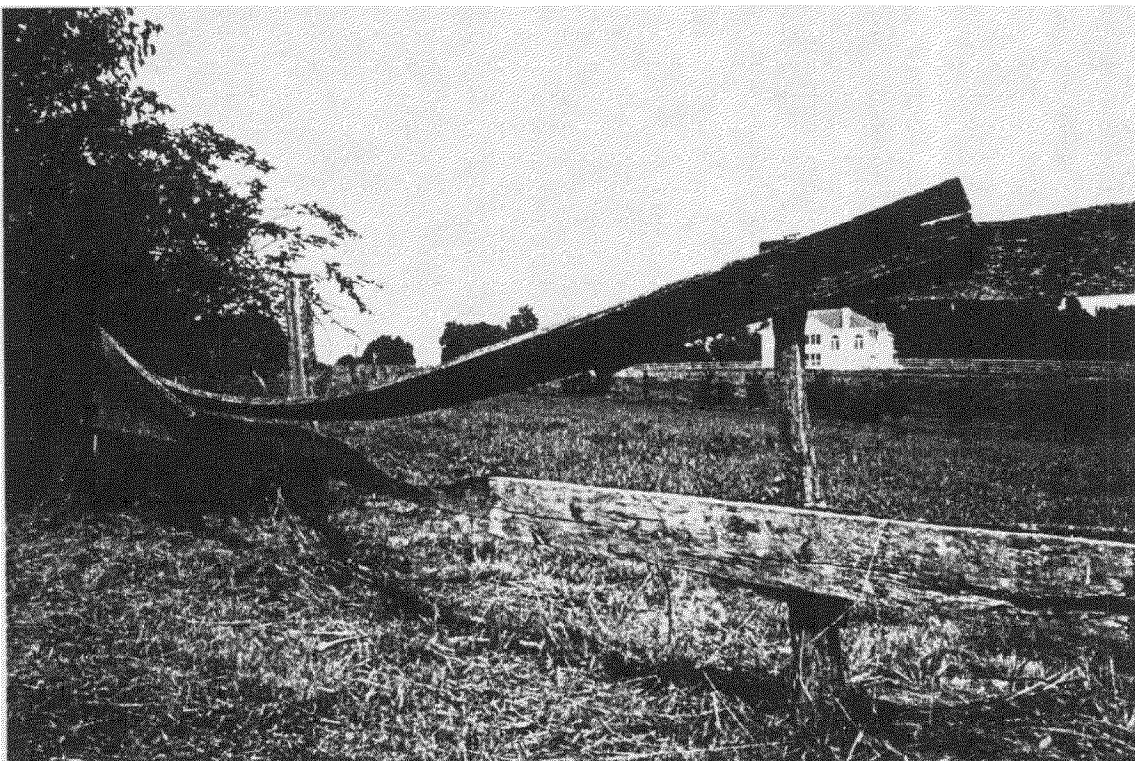
9

(5B)



3

Magnider Farm
Renovation - Fence
Manny Schwartz &
H. Richard Finkelt
148.00 Seneca Rd
Darnestown, MD 20879



4

10

5C



5



6

Magnolia Farm Renovation - Fence
Kathy Slemmons & H. Richard Gault
14800 Seneca Rd.
Dumfries town, MD 20874

11

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

Confronting Property Owners:

Melvin M. And O.H. Gienau
14821 Seneca Road
Darnestown, Maryland 20874

George W. And E.P. Van Tassel
14811 Seneca Road
Darnestown, Maryland 20874

Adjacent Property Owners:

Nicole L. Kobrine and Paul Garrett
13513 Magruder Farm Court
Germantown, MD 20874

Signal Tree Farm, LP
13517 Magruder Farm Court
Germantown, MD 20874

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: H. RICHARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN, MD 20874
Street Number City State Zip Code

Contractor: DEAN FITZGERALD Phone No.: 301-271-1843

Contractor Registration No.: 10030922

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LAKE

Lot: 3 Block: _____ Subdivision: _____

Liber: 14588 Folio: 273 Parcel: 6-1-3158298

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: BARN

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz
Signature of owner or authorized agent

10/6/97

Date

13

Approved: _____ For Chairperson, Historic Preservation Commission

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THE APPLICATION.



HISTORIC PRESERVATION COMMISSION

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Barn

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Renovate barn - restore to its original structure
(See Attached)*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations' drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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① AND ④

H. RICHARD GAULT & NANCY J. SLOMOWITZ

October 9, 1997

Ms. Perry Kephart
Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: Barn Renovation: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

Thank you very much for coming last Friday to review the proposed renovation of the lower portion of the Magruder Barn. As you requested, we are writing to request permission to perform two actions:

1) We want to open up the lower portion of the rear (south side) of the barn, which will restore it to its original configuration. Originally, the beams supporting the first floor extended about eight feet beyond the rear wall of the lower level, creating an overhang open to the elements. At some time in the fairly recent past (1950's according to Dean Fitzgerald) this area was enclosed. We believe this to be true because an open style was typical of the barns of the 1800's, the existing wood is too new, and the foundation of the outer wall is composed of cinder block.

We intend to open up the lower area the full width of the barn, adding 4 posts to provide support to the first floor beams at the end of the overhang.

The 4-bay slatted wall at the west side of this area will be extended across the full width of the barn. The east portion of this wall was removed at one time to create a new stall under the overhang. We can tell that this (east) area once held a slatted wall because the ceiling [horizontal] beam runs across this [east] area and contains cut-outs where the slats were once inserted. The lower [horizontal] beam supporting the slats was reused as a vertical post. We will have to cut some new slats and a portion of the supporting beam, but will be able to reuse much of the existing structure.

We plan to add a short wall (about 2 feet high) to support the slats to match the wall on the west portion of this area. We also plan to correct a problem with the west slatted wall, where it has slipped off the foundation due to age and settling.

I have attached some drawings and photos to help clarify where the renovation will take place and what we intend to do.

Drawing 1: This is a rendering of Photo 1 to show the area to be restored. The bottom level of the rear of the barn was once open (under the overhanging beams). Drawing 1 also shows where Photos 3 and 4 (which provide closer detail of the area) were taken.

Drawing 2: This shows the same view as Drawing 1, but with the lower area opened up. A beam will run the full width of the barn, supported by 4 new posts, to provide structural support to the joist beams under the upper floor - these joist beams project out beyond the original lower wall to provide the overhang.

Drawing 3 & 4: This shows where the gutters and down spouts will be installed, at the front, rear and side (carriage house) of the barn.

Drawing 5: This provides a [rendering] closeup of the restored lower rear of the barn. It shows (approximately) how the posts will support the beam, which will support the outer edge of the overhang (i.e., the ends of the upper level floor joists).

Photo 1: This photo shows the unrestored south side (rear) of the barn.

Photo 2: This shows the partially restored rear of the barn. Most of the holes and damaged wood have been repaired. All vents have been restored to original condition. The roof has been removed and the repair of the roof beams and structure has almost been completed. The barn has just been repainted.

Photo 3: This shows a detail closeup of the area of the barn to be restored (as indicated in Drawing 1). This is the left (west) side of the covered area of the overhang. You can see the slatted 4-bay wall inside the overhang area through the openings in the wall.

Photo 4: This shows the same view as Photo 3, but the right (east) side of the covered area under the overhang (see Drawing 1). The 4-bay wall and slats can be seen through the doorway at the left side of the photo.

Photo 5: This shows the original 4-bay wall with slats between the foundation and the ceiling beam. This wall once extended across the entire width of the rear of the barn. The right (east) side of this wall was removed to create a new stall under the overhang area. We intend to restore this wall to its original condition.

Photo 6: This shows where the original 4-bay wall has slipped off the foundation due to settling. This photo is taken from the center door frame - the view is of the bottom of the post on the west side of the door frame.

Photo 7: This is the area to be opened up, under the overhang, viewed from the west side of the area, looking east. The beams supporting the upper floor extend out to the [new]

“outer” wall and can be seen at the top, center of the photo. The right “outer” wall will be removed and opened up and replaced with 4 supporting posts located at each end and in the center along the line of this wall. The 4-bay wall on the left will remain. The slope of this wall indicates the “slippage” from its original position due to age and settling, and will be repaired. At the back of this photo is the stall that was created when the east portion of the 4-bay wall was removed. This stall will be removed and the original [east] wall restored.

Photo 8: This is the same area as in Photo 7, but viewed from the east, looking west (viewing the same location where I stood to take Photo 7). The 4-bay wall with slats is located on the right and the [new] “outer” wall is on the left. The overhead beams can be clearly seen extending beyond the 4-bay, slatted wall.

Photo 9: This shows the east side of the area to be opened up (behind the wall in Photo 4). You can see the ceiling beam into which the slats originally fit, as well as the original lower beam which has been mounted vertically as a post. The diamond-shaped cut-outs can be clearly seen on both beams. The stall will be removed, the “post” reset as a lower beam, and a new foundation built using Seneca stone to match the wall on the western 4-bay wall.

Photo 10: This shows a view into the lower area to be opened up. The line separating the original [upper] barn wall from the new siding on the lower area can be clearly seen. This “outer” wall will be removed and replaced with a supporting post structure (see Drawings 3 and 5). The original 4-bay wall, with Seneca stone foundation and slats, can be clearly seen through the doorway. This wall is to the left on Photo 7 and to the right on Photo 8.

2) We want to add gutters and down spouts to the barn. Dean Fitzgerald, while examining the lower rear wall, noticed some foundation damage. It is not serious or extensive, but caused us concern for the potential of future damage. Dean told us that most barn renovations include the installation of gutters to prevent water damage to the foundation. He has recommended that we install white, half-round gutters and full-round down spouts at the front and rear of the main barn, and at the side of the carriage house (See Drawings 3 and 4).

We only recently noticed the water damage and identified the need for gutters. Dean feels that the gutter should be installed before the barn roof is replaced. As a result, there is some urgency to this portion of the request in order to prevent additional cost for equipment rental.

We hope that you will find this plan acceptable. Thank you for all your help.

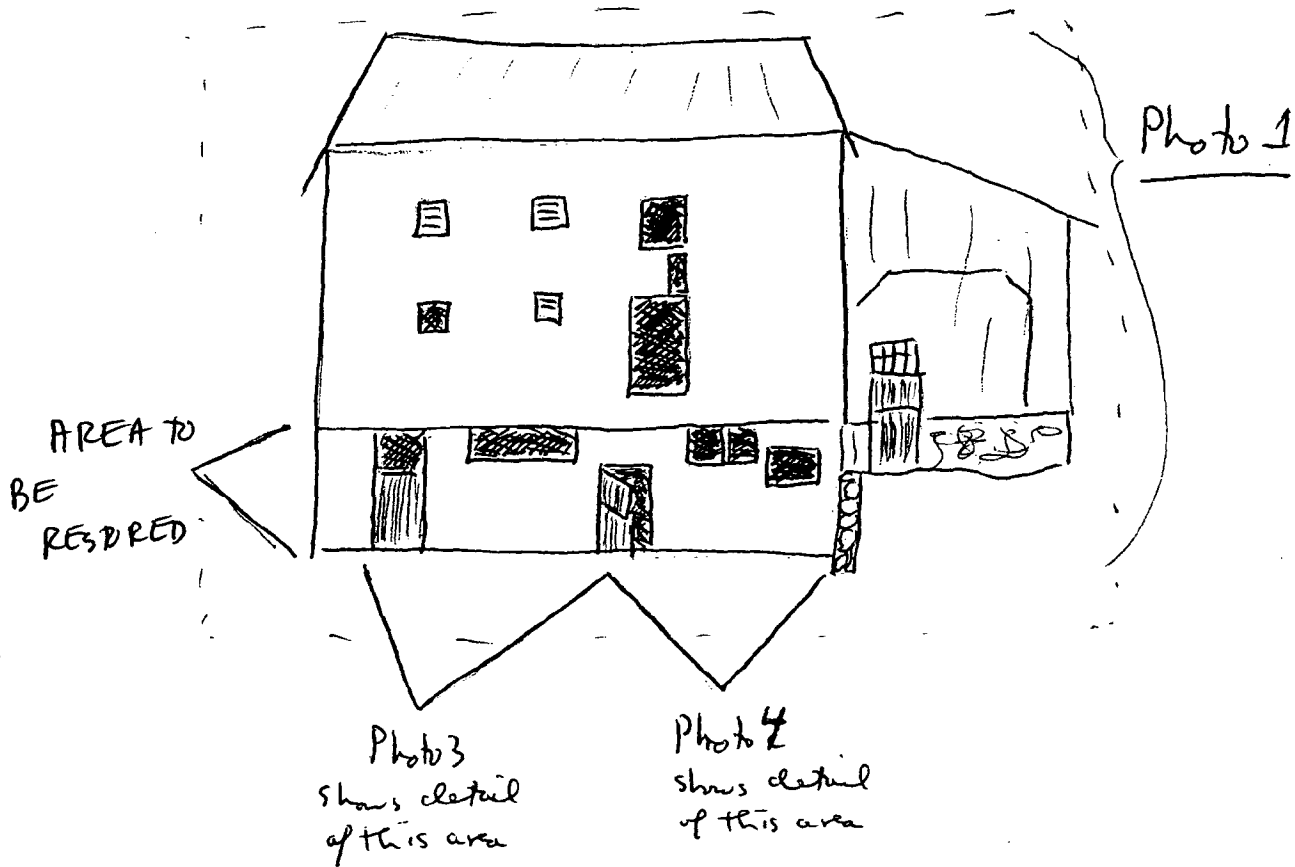
Sincerely,



H. Richard Gault

H. RICHARD GAULT, & NANCY J. SCARICATE - Barn Restoration
Maguire Farm, 14000 Seneca Road, Darmestown, MD 20874

(3A)
PLANS
+
ELEVATIONS



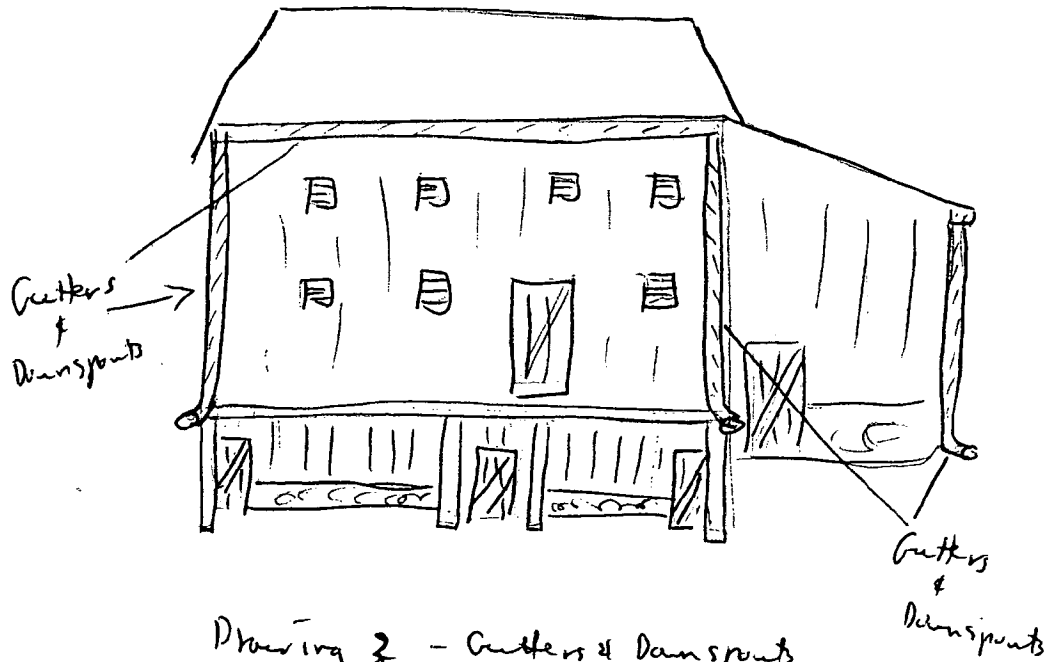
Drawing 1 - Area to be restored (corner, bottom of barn)



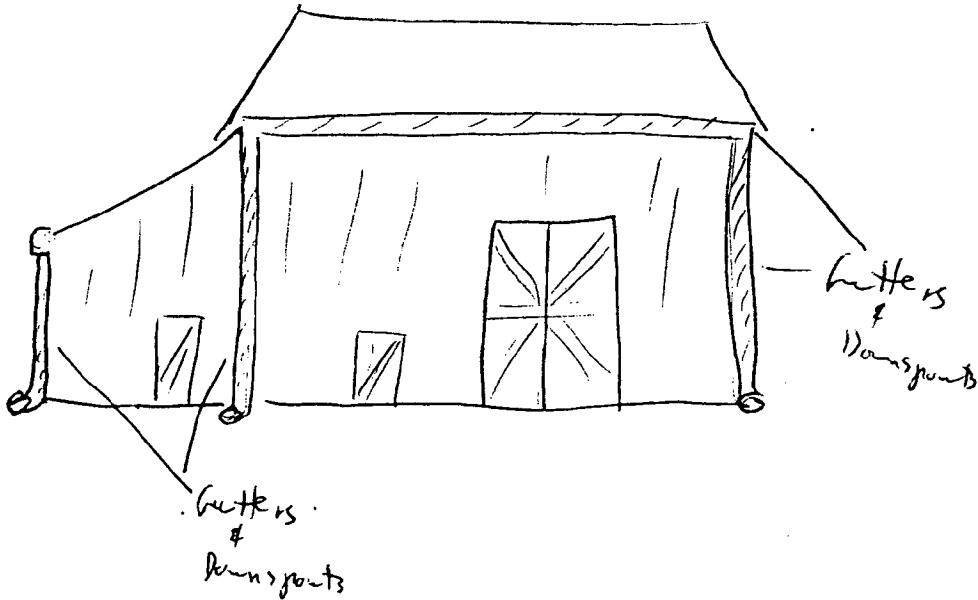
18

By RICHARD GAULT & NANCY J. SLOMOWITZ - Barn Restoration
Magnolia Farm, 14800 Seneca Road, Darnestown, MD 20874

(3B)
PLANS
&
ELEVATIONS



Drawing 3 - Gutters & Downspouts
at rear of barn

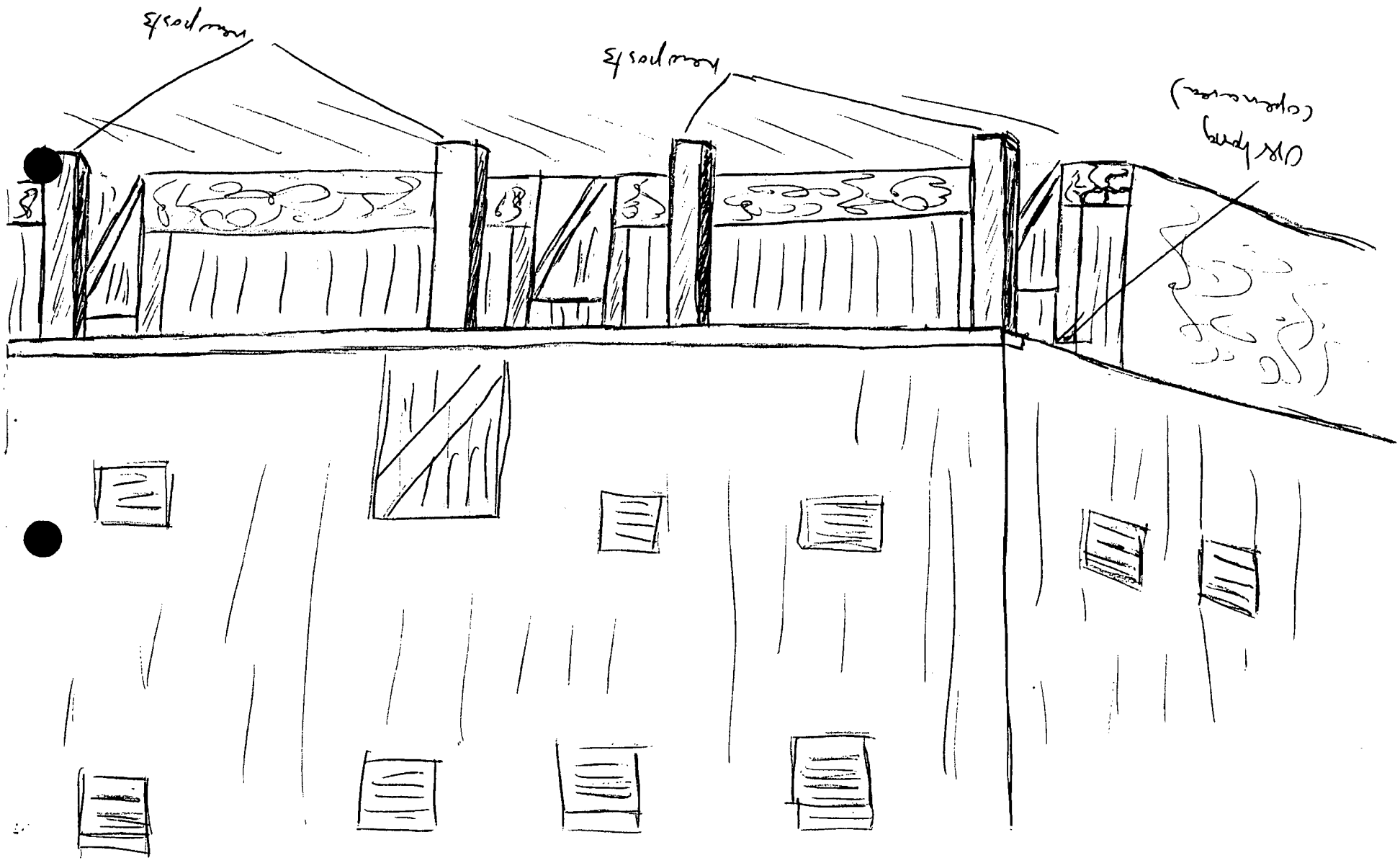


Drawing 4 - Gutters & Downspouts
at front of barn

H. RICHMAN, FULT & WYLLIENSON - 14800 Seneca Rd, Baltimore, MD 20874
BARKER BREWERY - Regular Form

(3c) PLANS & ELEVATIONS

Drawing 5 - Detail of Rear of Room after Restoration



(Or heavy coplanar)

new posts

new posts

W. KILMICK OFFICE & Nancy J. KILMICK
Magnuder Farm, 14500 Seneca Rd, Parnassus, MD 20874

(5A)



Photo 1 - UNRESTORED SOUTH SIDE OF
BARN

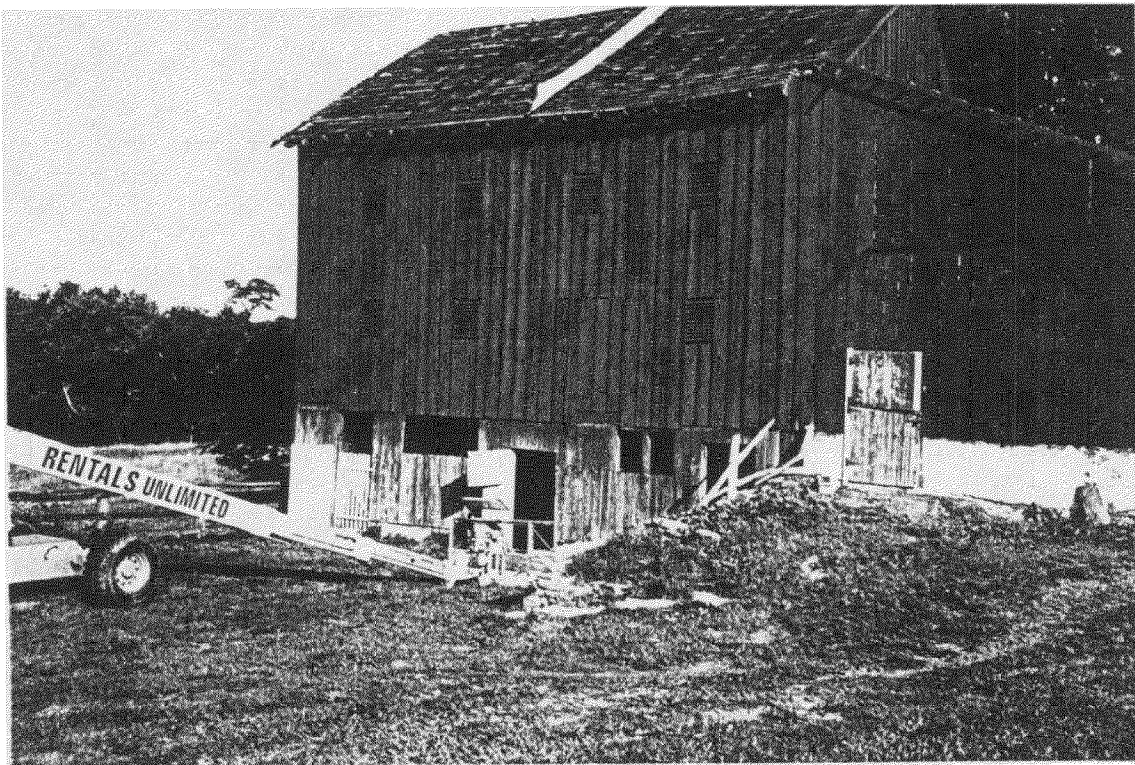


Photo 2 - Partially restored & painted south
side of Barn

(21)

H. RICHARD FAULT & NANCY SCOMOWITZ - BARN RESTORATION
MAGRUDER FARM, 14800 Seneca Rd, Parnassus, MD 20874

5B

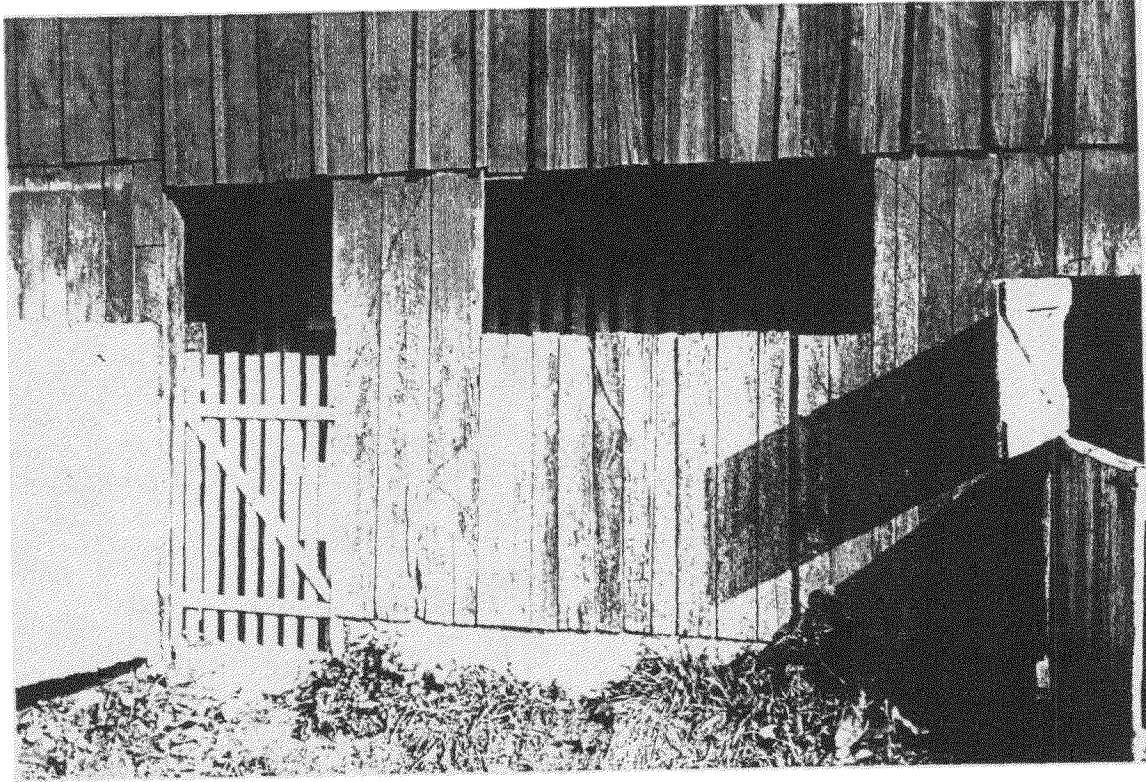


Photo 3 - Detail of area to be restored

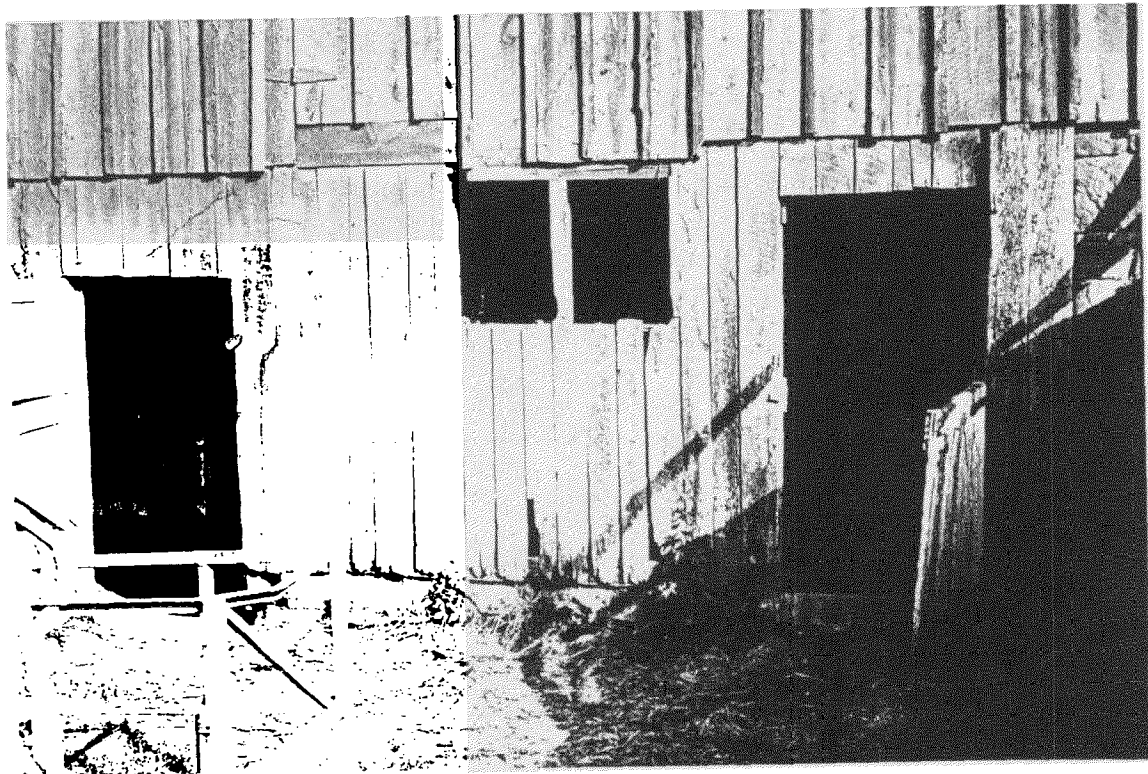


Photo 4 - Detail of area to be restored

22

H. RICHARD GAULT & NANCY J. SCIMOWITZ - BARN RESTORATION
Magnolia Farm, 1800 Seneca Rd, Darnestown, MD 20874

50

Photo 5 - 4 Bay wall with slats



Photo 6 - shows how interior wall has slipped off



23

H. RICHARD GAULT & MARY J. SCOMOLFE - BATH RESTORATION
Magnolia Farm, 14800 Seneca Rd, Dorrestown, MD 20874

(5D)

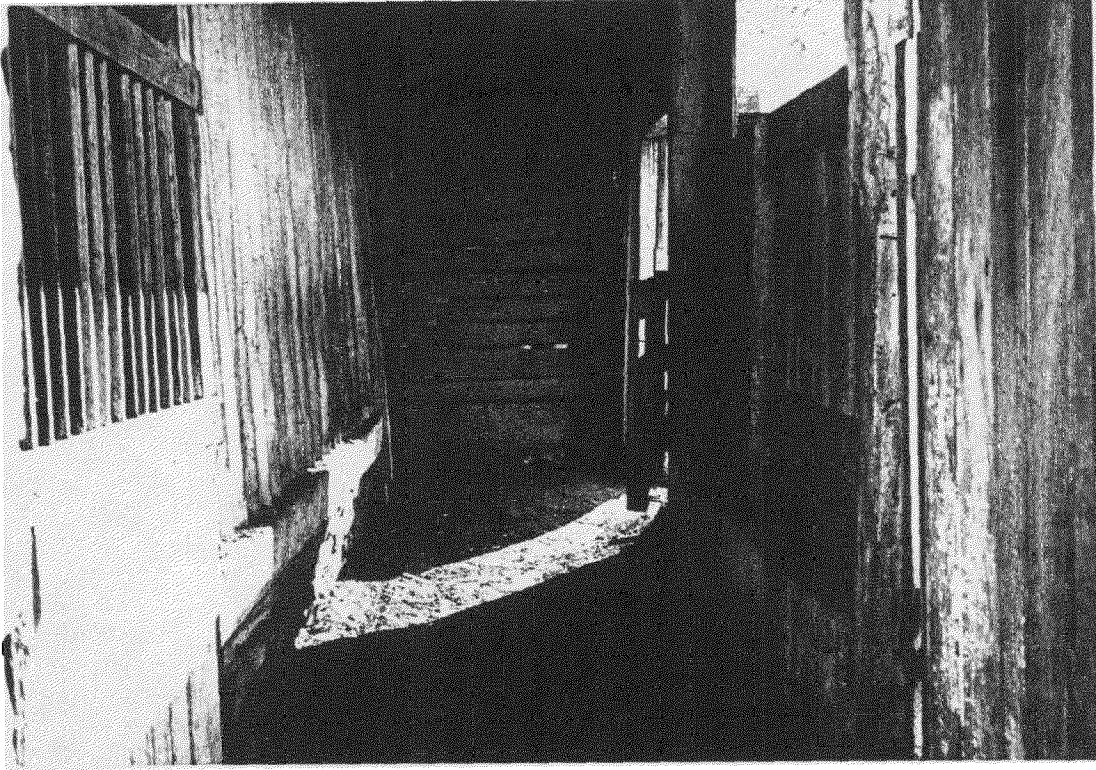


Photo 7 - shows area to be restored (from west view). Right wall to be removed & area opened up. (View turns East side)

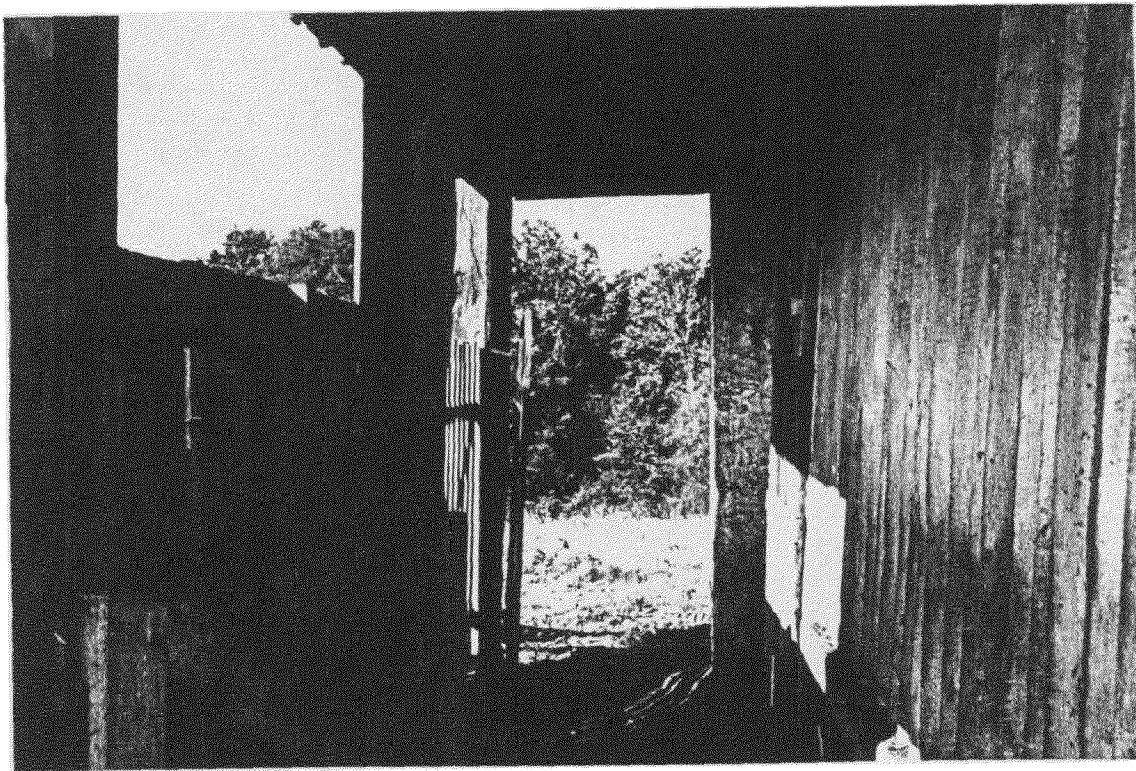
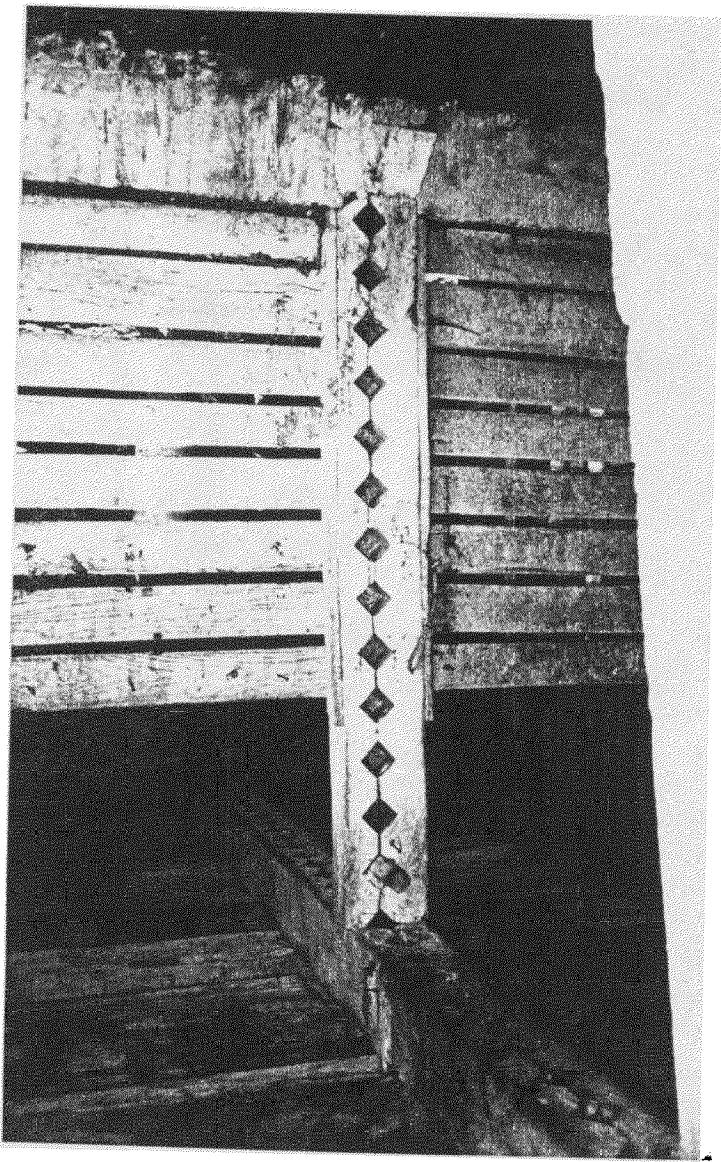


Photo 8 - Same as above, from East towards west side. wall to left is to be removed & opened up

(24)

25

Photo 9 shows east side of area to be opened up. Stake will be removed & sets installed frontally to stone wall (to be sealed). The Diamond shaped holes cutting beam will wear "spots", vertical beam will be reinforced with original beam on top of stone wall. New stone wall will be bonded to support settled wall (in same manner as west wall, which can be seen to the left of Photo 7 & the right of Photo 8)



H. RICHARD GALT & L. MARY J. SCAMARITZ - Barron Restoration
Raymond Farm, 10000 S. 20th St., Barron, WI 54003

5E

H. RICHARD GALT & NANCY J. SCONOWITZ - Barn Restoration
Magnolia Farm, 14800 Seneca Rd, Darnestown, MD 20874

5F

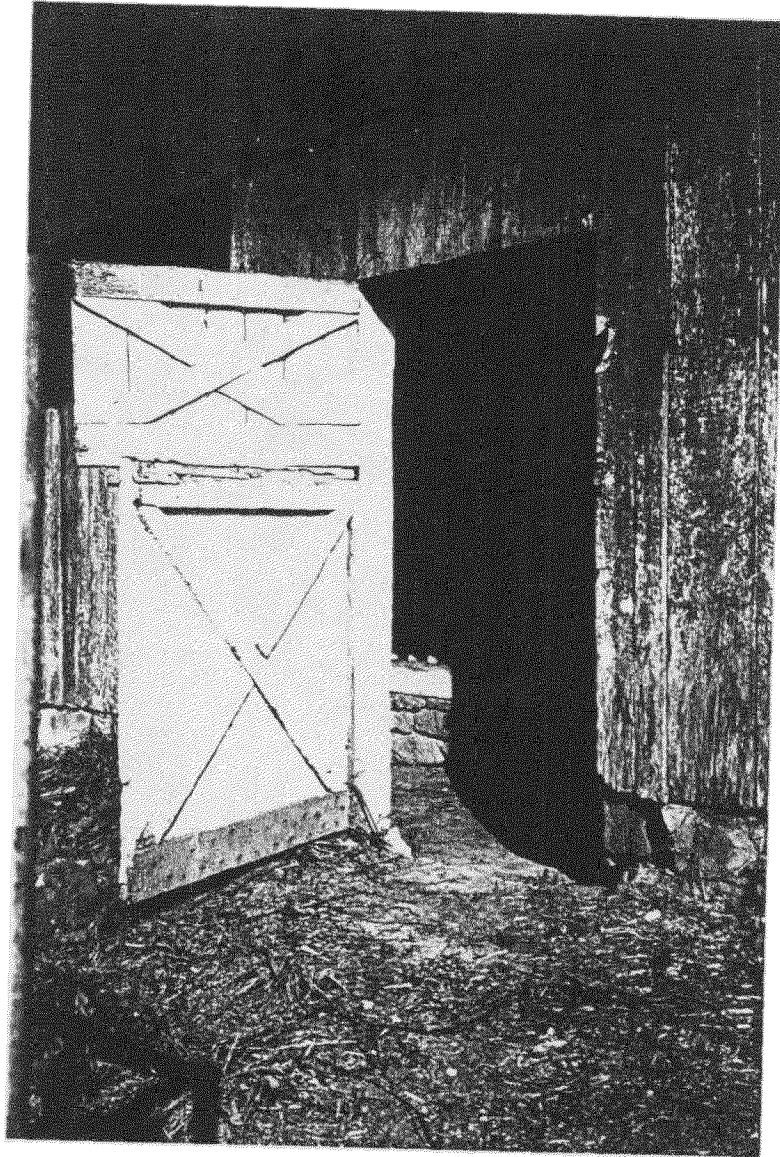


Photo 10 - Shows view of 4-bay wall w/ slats and
Seneca Stone foundation inside working area.
(Can be seen through doorway)

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APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NANCY J. SLOMOWITZ

Daytime Phone No.: 301-330-0769

Tax Account No.: 03158298

Name of Property Owner: H. RICHARD GAULT + NANCY J. SLOMOWITZ Daytime Phone No.: 301-330-0769

Address: 14800 SENECA ROAD DARNESTOWN, MD 20874
Street Number City State Zip Code

Contractor: DEAN FITZGERALD Phone No.: 301-271-1843

Contractor Registration No.: 10030922

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 14800 Street: SENECA ROAD

Town/City: DARNESTOWN Nearest Cross Street: DEAKINS LANE

Lot: 3 Block: _____ Subdivision: _____

Block: 14588 Folio: 273 Parcel: 6-1-3158298

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: BARN

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: N/A

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy J. Slomowitz
Signature of owner or authorized agent

10/6/97

Date

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HISTORIC PRESERVATION COMMISSION

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Barn

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Renovate barn - restore to its original structure
(See Attached)*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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6. TREE SURVEY

① AND ④

H. RICHARD GAULT & NANCY J. SLOMOWITZ

October 9, 1997

Ms. Perry Kephart
Preservation Planner
Maryland National Capital Park
and Planning Commission
Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Re: Barn Renovation: 14800 Seneca Road, Darnestown, MD 20874

Dear Perry:

Thank you very much for coming last Friday to review the proposed renovation of the lower portion of the Magruder Barn. As you requested, we are writing to request permission to perform two actions:

1) We want to open up the lower portion of the rear (south side) of the barn, which will restore it to its original configuration. Originally, the beams supporting the first floor extended about eight feet beyond the rear wall of the lower level, creating an overhang open to the elements. At some time in the fairly recent past (1950's according to Dean Fitzgerald) this area was enclosed. We believe this to be true because an open style was typical of the barns of the 1800's, the existing wood is too new, and the foundation of the outer wall is composed of cinder block.

We intend to open up the lower area the full width of the barn, adding 4 posts to provide support to the first floor beams at the end of the overhang.

The 4-bay slatted wall at the west side of this area will be extended across the full width of the barn. The east portion of this wall was removed at one time to create a new stall under the overhang. We can tell that this (east) area once held a slatted wall because the ceiling [horizontal] beam runs across this [east] area and contains cut-outs where the slats were once inserted. The lower [horizontal] beam supporting the slats was reused as a vertical post. We will have to cut some new slats and a portion of the supporting beam, but will be able to reuse much of the existing structure.

We plan to add a short wall (about 2 feet high) to support the slats to match the wall on the west portion of this area. We also plan to correct a problem with the west slatted wall, where it has slipped off the foundation due to age and settling.

①5

I have attached some drawings and photos to help clarify where the renovation will take place and what we intend to do.

Drawing 1: This is a rendering of Photo 1 to show the area to be restored. The bottom level of the rear of the barn was once open (under the overhanging beams). Drawing 1 also shows where Photos 3 and 4 (which provide closer detail of the area) were taken.

Drawing 2: This shows the same view as Drawing 1, but with the lower area opened up. A beam will run the full width of the barn, supported by 4 new posts, to provide structural support to the joist beams under the upper floor - these joist beams project out beyond the original lower wall to provide the overhang.

Drawing 3 & 4: This shows where the gutters and down spouts will be installed, at the front, rear and side (carriage house) of the barn.

Drawing 5: This provides a [rendering] closeup of the restored lower rear of the barn. It shows (approximately) how the posts will support the beam, which will support the outer edge of the overhang (i.e., the ends of the upper level floor joists).

Photo 1: This photo shows the unrestored south side (rear) of the barn.

Photo 2: This shows the partially restored rear of the barn. Most of the holes and damaged wood have been repaired. All vents have been restored to original condition. The roof has been removed and the repair of the roof beams and structure has almost been completed. The barn has just been repainted.

Photo 3: This shows a detail closeup of the area of the barn to be restored (as indicated in Drawing 1). This is the left (west) side of the covered area of the overhang. You can see the slatted 4-bay wall inside the overhang area through the openings in the wall.

Photo 4: This shows the same view as Photo 3, but the right (east) side of the covered area under the overhang (see Drawing 1). The 4-bay wall and slats can be seen through the doorway at the left side of the photo.

Photo 5: This shows the original 4-bay wall with slats between the foundation and the ceiling beam. This wall once extended across the entire width of the rear of the barn. The right (east) side of this wall was removed to create a new stall under the overhang area. We intend to restore this wall to its original condition.

Photo 6: This shows where the original 4-bay wall has slipped off the foundation due to settling. This photo is taken from the center door frame - the view is of the bottom of the post on the west side of the door frame.

Photo 7: This is the area to be opened up, under the overhang, viewed from the west side of the area, looking east. The beams supporting the upper floor extend out to the [new]

"outer" wall and can be seen at the top, center of the photo. The right "outer" wall will be removed and opened up and replaced with 4 supporting posts located at each end and in the center along the line of this wall. The 4-bay wall on the left will remain. The slope of this wall indicates the "slippage" from its original position due to age and settling, and will be repaired. At the back of this photo is the stall that was created when the east portion of the 4-bay wall was removed. This stall will be removed and the original [east] wall restored.

Photo 8: This is the same area as in Photo 7, but viewed from the east, looking west (viewing the same location where I stood to take Photo 7). The 4-bay wall with slats is located on the right and the [new] "outer" wall is on the left. The overhead beams can be clearly seen extending beyond the 4-bay, slatted wall.

Photo 9: This shows the east side of the area to be opened up (behind the wall in Photo 4). You can see the ceiling beam into which the slats originally fit, as well as the original lower beam which has been mounted vertically as a post. The diamond-shaped cut-outs can be clearly seen on both beams. The stall will be removed, the "post" reset as a lower beam, and a new foundation built using Seneca stone to match the wall on the western 4-bay wall.


Photo 10: This shows a view into the lower area to be opened up. The line separating the original [upper] barn wall from the new siding on the lower area can be clearly seen. This "outer" wall will be removed and replaced with a supporting post structure (see Drawings 3 and 5). The original 4-bay wall, with Seneca stone foundation and slats, can be clearly seen through the doorway. This wall is to the left on Photo 7 and to the right on Photo 8.

2) We want to add gutters and down spouts to the barn. Dean Fitzgerald, while examining the lower rear wall, noticed some foundation damage. It is not serious or extensive, but caused us concern for the potential of future damage. Dean told us that most barn renovations include the installation of gutters to prevent water damage to the foundation. He has recommended that we install white, half-round gutters and full-round down spouts at the front and rear of the main barn, and at the side of the carriage house (See Drawings 3 and 4).

We only recently noticed the water damage and identified the need for gutters. Dean feels that the gutter should be installed before the barn roof is replaced. As a result, there is some urgency to this portion of the request in order to prevent additional cost for equipment rental.

We hope that you will find this plan acceptable. Thank you for all your help.

Sincerely,



H. Richard Gault

H. RICHARD GAULT, & MARY J. SENIOWITZ - Barn Restoration
Maguire Farm, 14800 Seneca Road, Darmstadt, MD 20874

(3A)
PLANS
&
ELEVATIONS

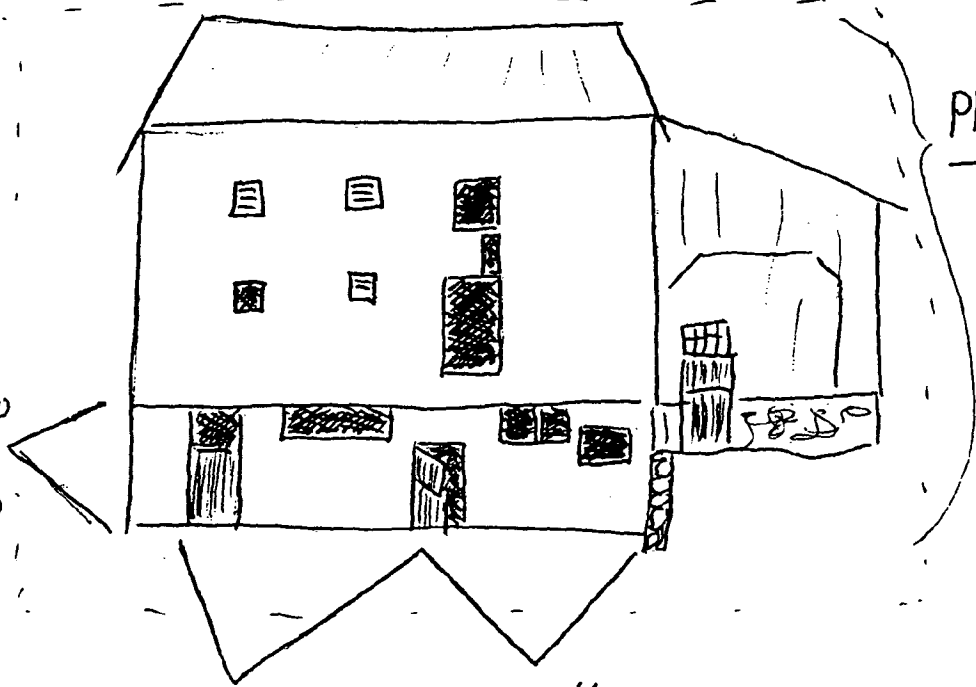


Photo 1

AREA TO
BE
RESTORED

Photo 3
shows detail
of this area

Photo 4
shows detail
of this area

Drawing 1 - Area to be restored (rear, bottom
of barn)

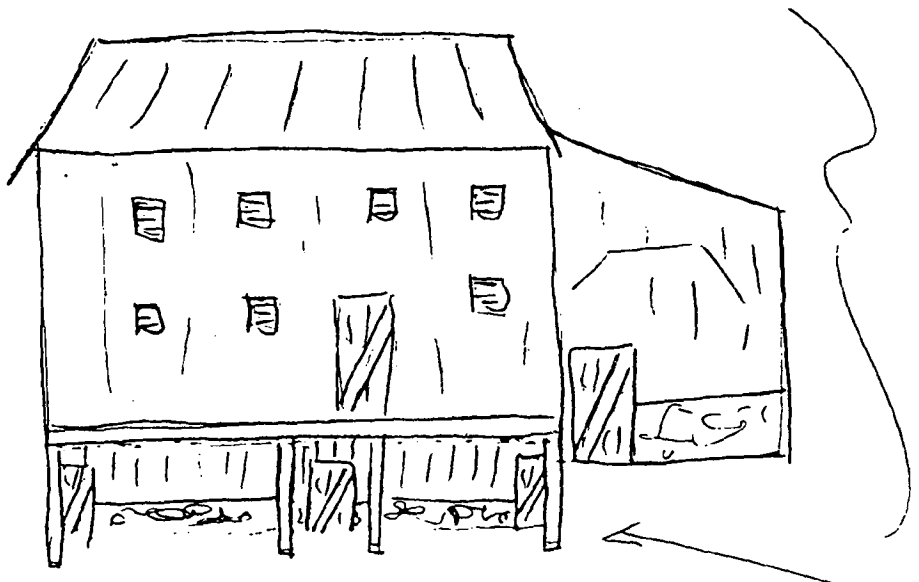


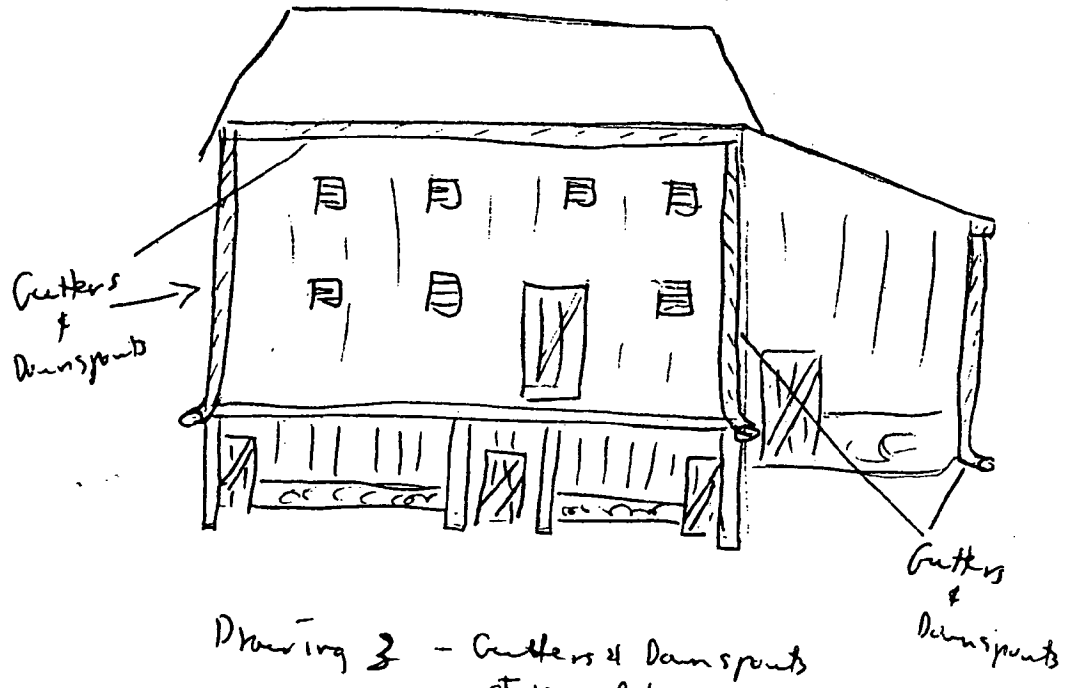
Photo 2

Drawing 2 - Rear of barn after
restoration

Current portion of
barn to be
opened up

H. RICHARD GAULT & ANCY J. SLOMOWITZ - Barn Restoration
Magnum Farm, 14800 Seneca Road, Darnestown, MD 20874

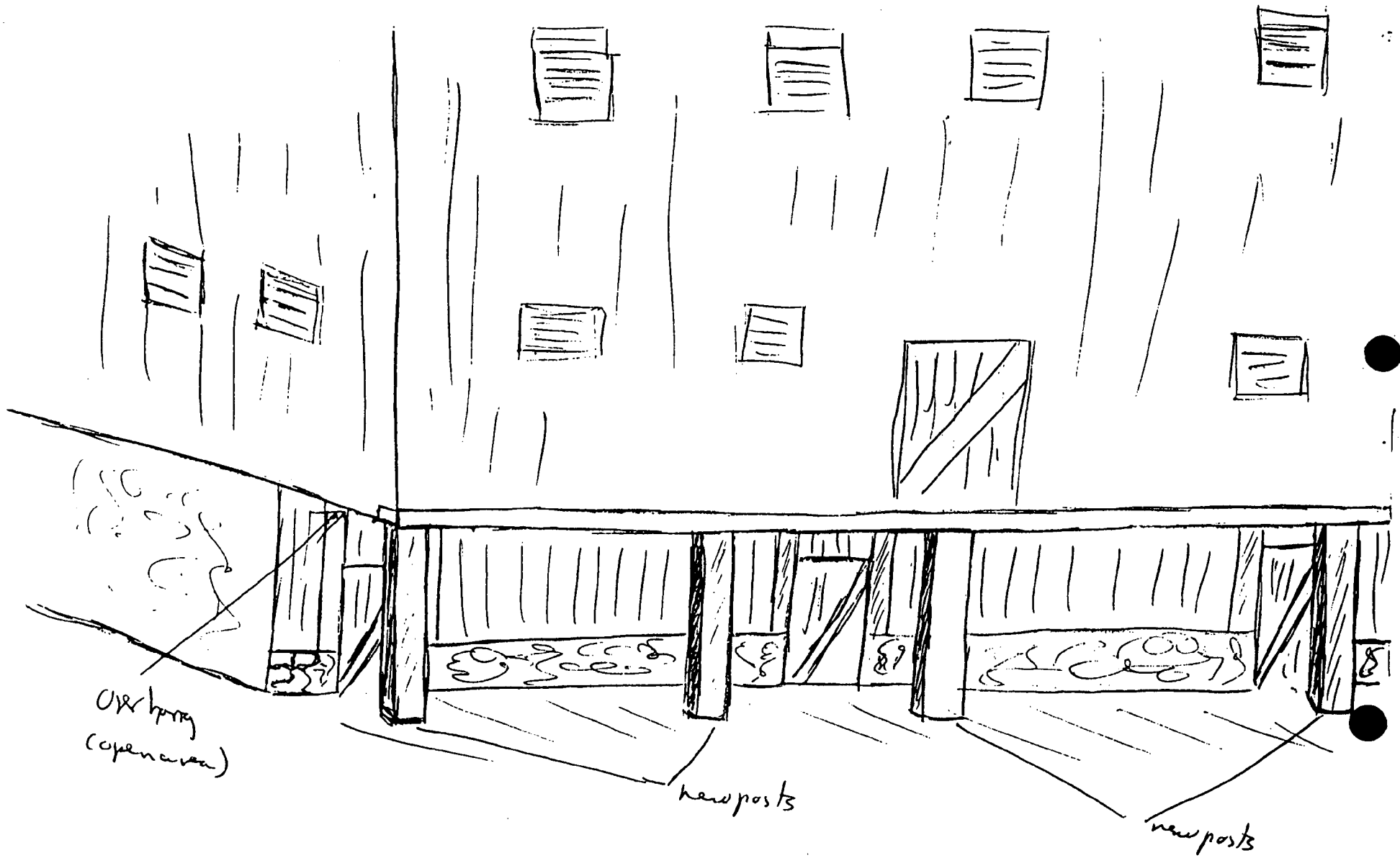
(3B)
PLANS
&
ELEVATIONS



Drawing 3 - Gutters & Downspouts
at rear of barn



Drawing 4 - Gutters & Downspouts
at front of barn



Drawing 5 - Detail of Rear of Barn after Restoration

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H. RICHARD FAULT & MARY J. SCHWARTZ -

BARN RESTORATION - Magruder Farm
 14800 Sinnera Rd, Derwood, MD 20874

3C
 PLANS
 ELEVATIONS

H. RICHARD GAULT & Nancy SLOMOWITZ - Barn Restoration
Magnolia Farm, 14 Seneca Rd., Parkers town, MD 20874

5A



Photo 1 - UNRESERVED SOUTH SIDE OF
BARN



Photo 2 - Barn nearly completed & painted south
side of barn

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H. RICHARD FAULT VANCEY SCOROWITZ - BROWN RESTORATION
MAGRUDER FARM, 14800 Seneca Rd, Darnestown, MD 20874

5B

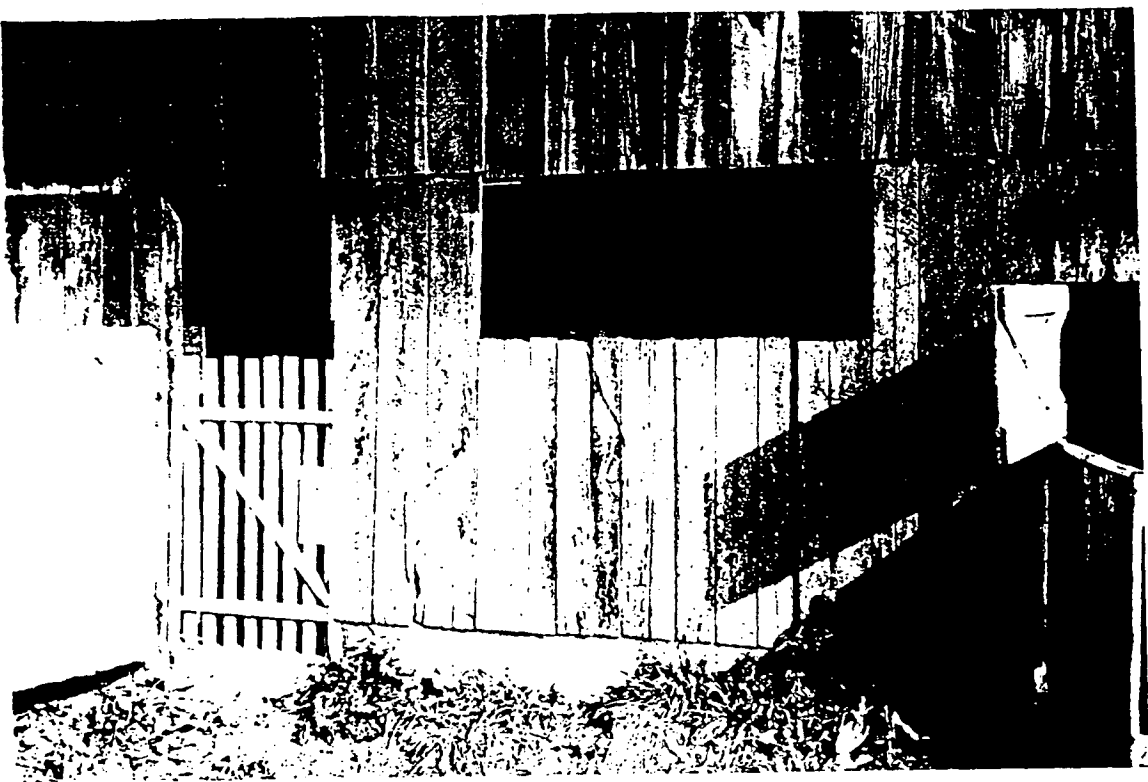


Photo 3 - Detail of area to be restored



Photo 4 - Detail of area to be restored

22

H. RICHARD GAULT & NANCY J. SCIMOWITZ - FARM RESTORATION
Magnolia Farm, 14800 Seneca Rd, Darnestown, MD 20874

(5C)

Photo 5 - 4 Bay wall with slats

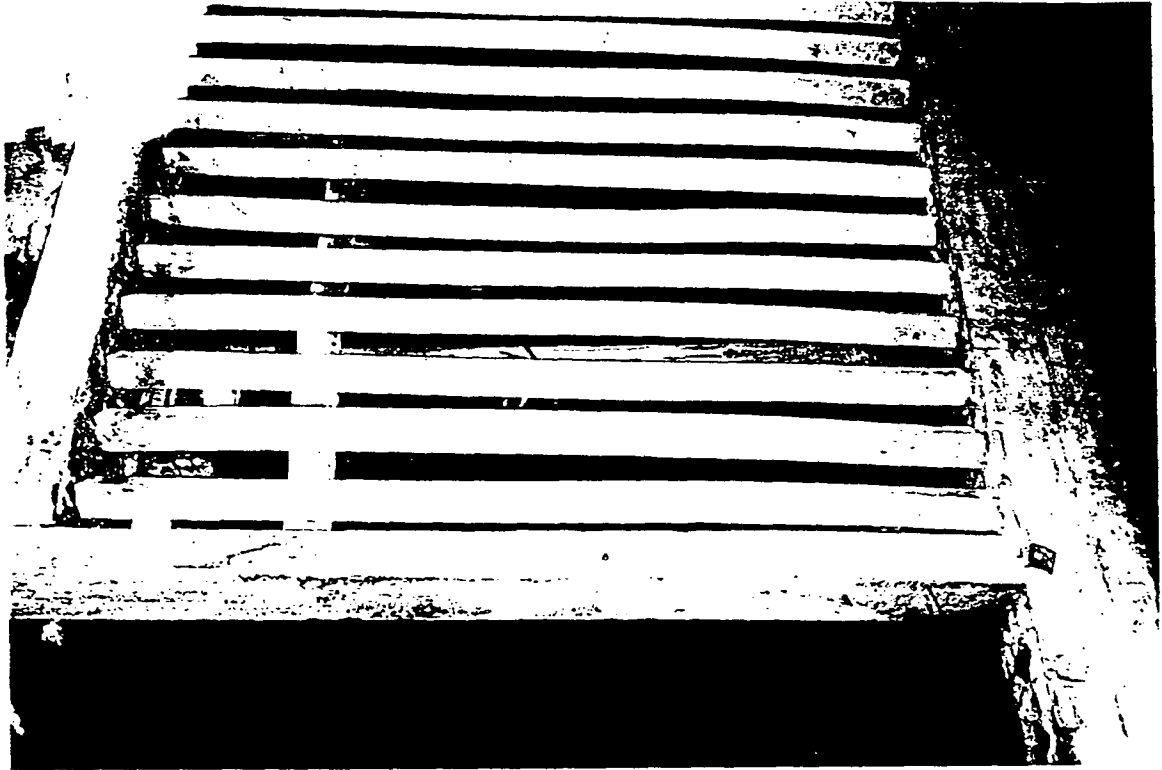
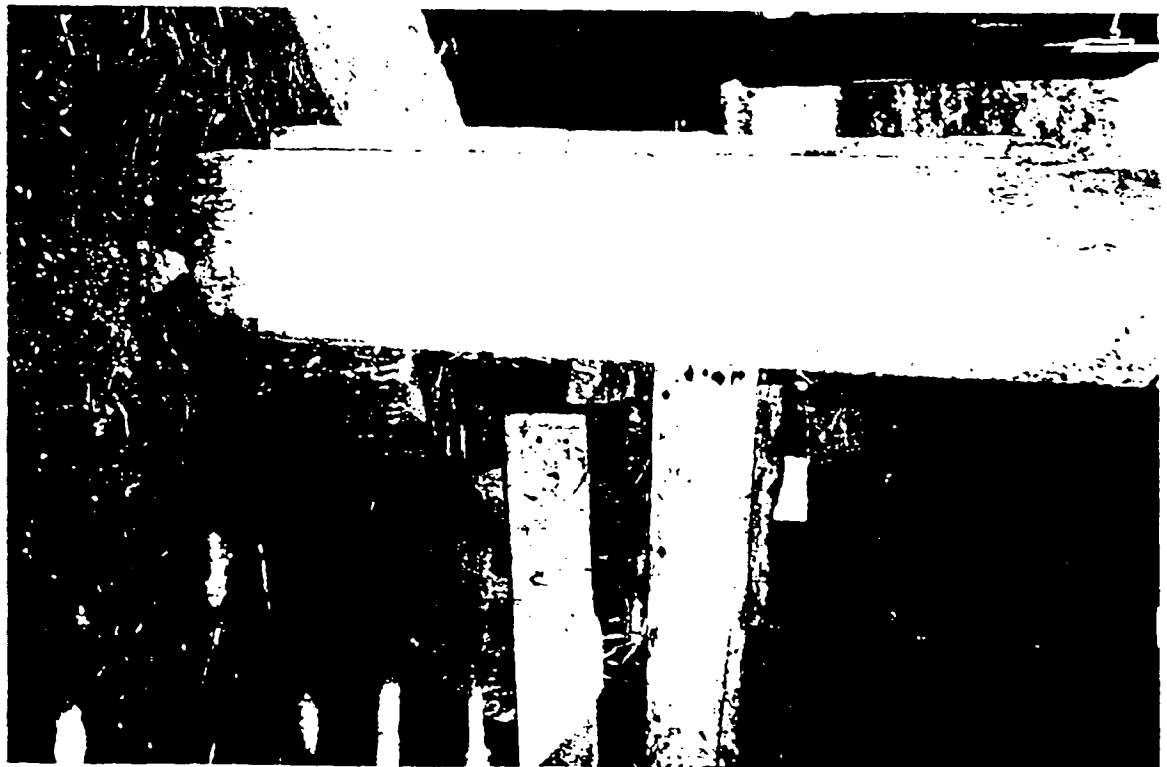


Photo 6 - shows how interior
wall has slipped off



(23)

H. RICHARD GAULT • MARY J. SCHOWITZ • B • RESTORATION
Meynolds Farm, 14800 Seneca Rd, Darnestown, MD 20874

5D

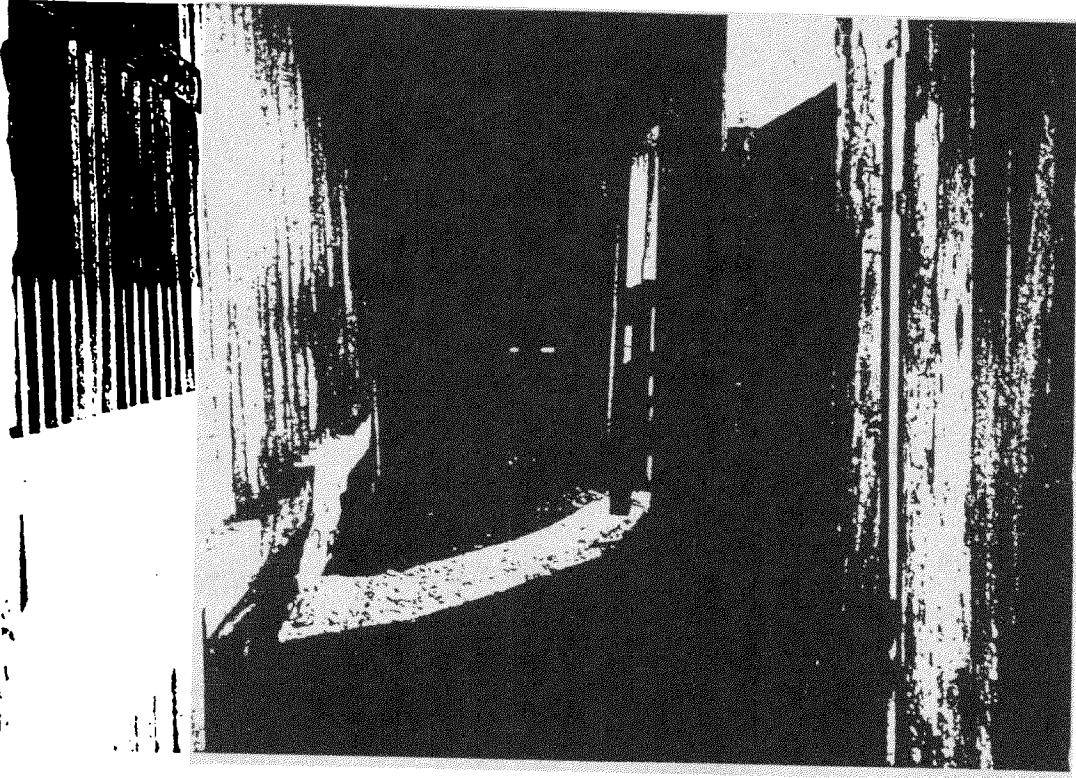


Photo 7 - shows area to be restored (from west view). Right wall to be removed & area graded up. (View toward east side)



Photo 8 - shows area to be restored (from west view) will be graded up & restored.

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H RICHARD GAULT & ANCY J SCARLETT - Barn Restoration
: Maynard Farm, 14500 Seneca Rd, Danvers town, MD 20874

(5E)

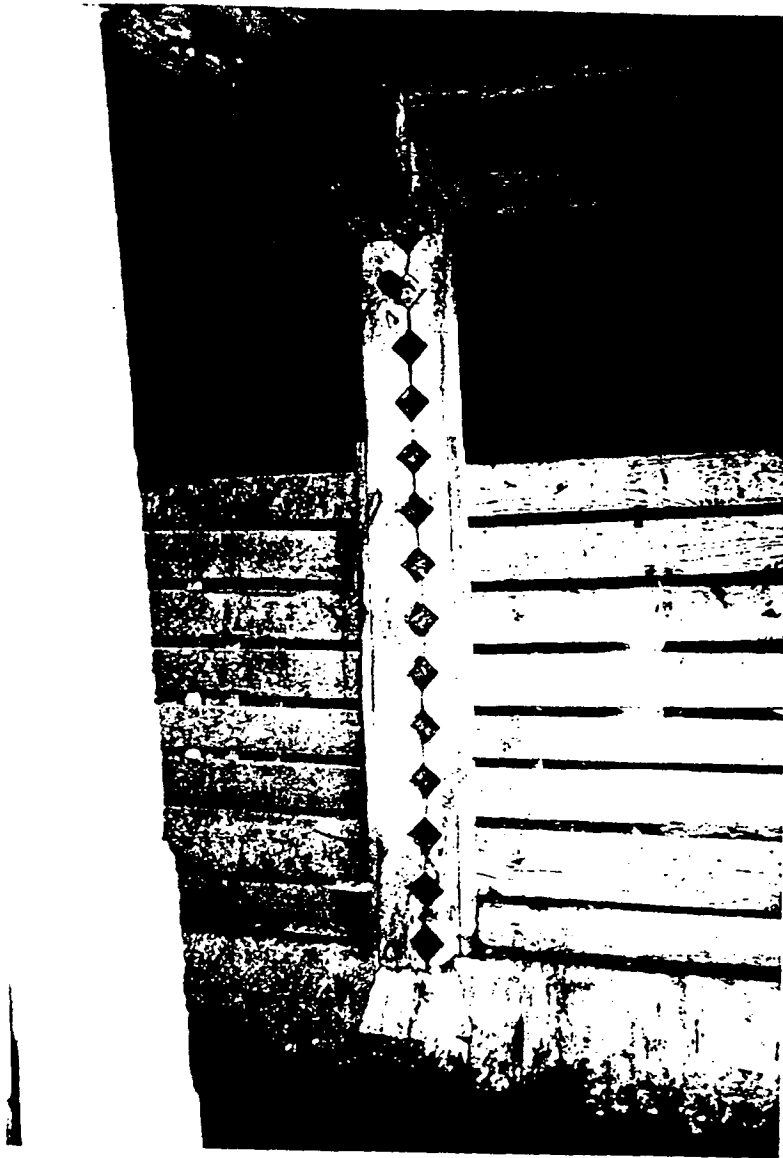


Photo 9: Shows west side of area to be opened up. Still will be removed & a plate installed connecting to stone wall (to be added). A horizontal chisel beam cutting beam will receive "stays". Horizontal beam will be vertical to its original location on top of stone wall. New stone wall will be added to support chisel wall (in same manner as west wall, which was done before left of Photo 7 & the right of Photo 8)

(29)

H. RICHARD GAULT & MARY S. SCHWARTZ - Barn Restoration
Magnolia Farm, 14800 Seneca Rd, Darnestown, MD 20874

(5F)



Plate 10 - Shows view of 4-bay stall w/ slats and
some stone foundation inside stall area.
(See to view through doorway)

(26)