


31/06-03E 10213 Montgomery Ave  
(Kensington Historic District)



Free Estimates

**B&D Developers of MD, Inc.**  
Licensed • General Contractor

**DOUGLAS BALE**      Bus: (410) 439-4694  
Owner                      Fax: (410) 439-0907



Free Estimates

**D&D Developers of MD, Inc.**

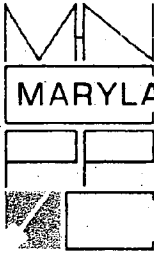
Licensed • General Contractor

**DOUGLAS BALE**  
Owner

**Bus: (410) 439-4694**  
**Fax: (410) 439-0907**

301-704-7366

Cell



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

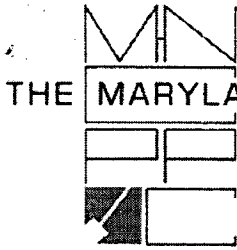
Fax Number: (301)-563-3412

TO: Alan FAX NUMBER: 410-741-5097  
FROM: Nichele Nance phone# 410 353 1432  
DATE: 2/19/04

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 4

NOTE:

Alan, These approvals were sent  
to DPL on Oct 9, 2003 -  
Here is a copy for your use -  
Please Have the DPL people  
Call me if there still is  
a problem -  
Thanks!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FILE

August 5, 2004

**Reggie Jetter**

Department of Permitting Services  
255 Rockville Pike  
Rockville, Maryland 20850

RE: Revision to approved HAWP application  
10213 Montgomery Avenue, Kensington Historic District

Mr. Jetter:

I am writing you this letter in response to a conversation I had today with Mrs. Patricia McPherson, owner of abovementioned property. As the attached correspondence indicates, the owners of the house would like to alter their approved driveway design by changing the brick border to a Belgian block border.

Please utilize this letter as the Commission's support for the issuance of the revised building permit for this change. If you have any additional questions, please do not hesitate to contact me at 301-563-3400. Thank you so much for your continued support of our program and your assistance in this matter.

Sincerely,

Michele Naru, Senior Planner  
M-NCPPC - Historic Preservation Office

Cc: Mrs. Patricia McPherson, Owner

**Naru, Michele**

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**From:** McPhersonints@cs.com  
**Sent:** Wednesday, August 04, 2004 11:16 AM  
**To:** Naru, Michele  
**Subject:** Driveway at I0213 Montgomery Ave/. Kensington

Dear Michele: Following our conversation of this morning, I want to advise that following a meeting at the working session of the Kensington Town Council and Mayor and attended by our landscape designer, Katherine Kehoe, we were given approval by the town to do the following work on creating a driveway in front of the new carriage house: to provide a concrete apron pursuant to town regulations but eliminating a sidewalk cut. As described in an earlier message to you by architect Don Little, the driveway will be composed of gravel on an asphalt stabilizing base which will extend to the concrete apron. Katherine Kehoe recommended using Belgian Block for the edging instead of brick because we have not used brick elsewhere in the immediate area and the Belgian Block would complement the stone work in the walls and steps. I hope this information is helpful. Please do not hesitate to call me if you have any questions at 301-942-4395. With thanks. Trisha McPherson

8/5/2004



July 19, 2004

**Mayor Lynn Raufaste**  
Town of Kensington  
710 Mitchell Street  
Kensington, MD 20895

RE: Driveway  
10213 Montgomery Avenue, Kensington Historic District


Mayor Raufaste:

I am writing you this letter in response to a telephone conversation my staff had with Mr. Don Little, architect for the abovementioned property. The residence at 10213 Montgomery Avenue in Kensington, Maryland is an early 1890's, Outstanding Resource within the Kensington Historic District. The owners have recently completed the construction of a carriage house to be accessed by a driveway on the north side of Kent Street, where there are no sidewalks. The intent of the current, HPC-approved driveway design is to reduce its impact on the public streetscape. The proposed driveway, which will enter off of Kent, will be gravel surfacing on an asphalt stabilizing base which extends all the way to a curb cut. The edge of the drive will have a brick paver border. The plan as approved is intended to match the drive to other similar resources in the district where the gravel drives extend directly to a curb cut at the street. In the Kensington Historic District, concrete aprons are not constructed for residential driveways where there is no sidewalk. Additionally, due to the slope of Kent Street, a concrete apron would be overly large and highly visible. It is the Commission's opinion that the current driveway plan will have a very minimal impact on the existing streetscape. The overall garden-setting will be soft and informal in keeping with the existing turn of the century environment.

The Commission requests that the Town support the Commission's approved gravel surface drive extending from the front of the carriage house façade to the Kent Street curb and that no concrete apron be required.

If you have any additional questions, please do not hesitate to contact my staff at 301-563-3400. Thank you so much for your continued support of our program and your assistance in this matter.

Sincerely,

  
Julia O'Malley, Chair  
Historic Preservation Commission

Cc: Tricia McPherson, owner  
Don Little, architect





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10/9/03

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit  
HPC# 31/06-03E DPS# 307972

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

       Approved

X Approved with Conditions: FIVE DECIDUOUS TREES FROM  
MOCO. NATIVE SPECIES LIST W/A MINIMUM  
CAULK OF 2" BE PLANTED SOMEWHERE ON  
THE PROPERTY.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MR. AND MRS. MCPHERSON

Address: 10213 MONTGOMERY AVE; KENSINGTON.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



307972

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DON LITTLE  
Daytime Phone No.: 703-583-8500

Tax Account No.: 01022786

Name of Property Owner: MCPHERSON Daytime Phone No.: 301-942-4395  
Address: 10213 KENSINGTON MONTGOMERY AVE 20895  
Street Number City Street Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: LITTLE + ARCHITECTS, DON LITTLE Daytime Phone No.: 703-583-8500  
Address: 15518 ROYAL CRESCENT COURT MONTCLAIR, VA 22026  
LOCATION OF BUILDING/PREMISE

House Number: 10213 Street: MONTGOMERY AVE.  
Town/City: KENSINGTON Nearest Cross Street: KENT STREET  
Lot: 17, 18, 19 Block: 3 Subdivision: KENSINGTON PARK  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  MC  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 50K  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02 ( ) Septic 03 ( ) Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02 ( ) Well 03 ( ) Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

LITTLE + ARCHITECTS  
Don N. Little 6.3.03  
Signature of owner or authorized agent Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Juan C Velazquez  
Application/Permit No.: 307972 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

4

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SINGLE FAMILY HOME ON 3 LOTS  
MASTER PLAN RESOURCE IN KENSINGTON HISTORIC DISTRICT.  
BUILT 1892-94. TWO-STORY WOOD FRAME, VICTORIAN.  
EXTERIOR MATERIALS ORIGINAL OR SAME.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT CARRIAGE HOUSE & SWIMMING POOL  
ON EAST (REAR) SIDE. BUILDING MATCHES  
STYLE & MATERIALS OF EXISTING STRUCTURE.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

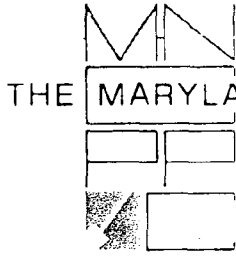
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1335.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10/9/03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MEMORANDUM**

DATE: 10/9/03

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Michele Naru, Historic Preservation Planner  
Anne Fothergill, Historic Preservation Planner  
Corri Jimenez, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Applications - HPC Decision

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The Historic Preservation Commission reviewed this project on 10/29/03.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC.. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301)563-3400.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b> 10213 Montgomery Avenue, Kensington	<b>Meeting Date:</b> 06/25/03
<b>Resource:</b> Kensington Historic District	<b>Report Date:</b> 06/18/03
<b>Review:</b> HAWP	<b>Public Notice:</b> 06/11/03
<b>Case Number:</b> 31/06-03E	<b>Tax Credit:</b> None
<b>Applicant:</b> Mr. and Mrs. McPherson	<b>Staff:</b> Michele Naru
<b>PROPOSAL:</b> Carriage House and Pool Construction	<b>RECOMMEND:</b> Approve w/ cond.

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**STAFF RECOMMENDATION:** Staff is recommending that the Commission approve this HAWP application with the condition that:

Five deciduous trees from the Montgomery County Native Species list with a minimum caliper of 2" be planted somewhere on the property.

**SITE DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource in Kensington Historic District.  
**STYLE:** Colonial Revival  
**DATE:** c1892

This 2-1/2 story, five-bay frame dwelling is an outstanding resource located within the Kensington Historic District. The house has a hipped roof ornamented with gable roof dormers on each elevation and a prominent brick chimney. The walls are clad in clapboard. A one-story, wrap-around porch extends around the side and rear elevations of the house. The porch is ornamented with a balustrade fashioning simple square spindles and thin, Doric columns for the porch supports. The front entry is surrounded with a broken pediment detailed with quarreled sidelights and transoms. The windows are 6/6 double hung flanked by two-paneled louvered shutters.

The current property contains a tennis court that occupies a substantial part of the rear yard. The tennis court is placed on a lower elevation of the property with an existing retaining wall separating the existing house and the tennis court.

**PROPOSAL:**

The applicant proposes to:

1. Remove the existing tennis court.
2. Install a concrete swimming pool and whirlpool in the existing location of the tennis court. The coping and decking will be stone.

3. Surround the pool area with a decorative wooden fence as shown in detail "c" on Circle 10. The fence will also be constructed on top of the existing retaining wall.
4. Install a wood, 6' high, board on board privacy fence along the north and east property lines as shown in detail "a" and "b" on Circle 10.
5. Construct a two-story carriage house at the rear of the existing house. The Carriage house will be constructed of wood clapboard siding with wood detailing, wood, true-divided light windows and doors (including "garage doors") and an asphalt shingle roof.
6. Alter the existing wooden, two-board fence along the Kent Street elevation to accommodate gates in front of the proposed carriage house.
7. Remove 5, fire damaged pine trees at the southeast corner of the property.
8. Install a concrete drive in front of the proposed carriage house.

### **STAFF DISCUSSION**

Proposed alterations to Outstanding Resources within the Kensington Historic District are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Commission generally supports the construction of detached buildings to gain needed square footage on a property instead of additions to the historic massing. The Commission favors new construction that is compatible with the existing house in terms of size, scale and massing and are sympathetic to the original building materials.

Staff applauds the care and thought that has been put into the architectural design of this proposed carriage house. Staff feels that the building's location is respectful of the historic house with its siting in the rear yard and not projecting it beyond the current side elevation of the existing house, thus minimizing the building's visibility from the principal elevation of the main house. The building's design is sympathetic with the period of the historic house and complements it though the use of compatible building materials.

Staff commends the applicants proposed material specification list, which includes painted wood clapboard siding and detailing, painted wood true-divided light, single pane windows and an asphalt shingle roof to match the historic house.

The applicant is also proposing alterations to the landscape including the installation of a concrete driveway and the removal of five pine trees. The driveway's location minimizes its size and thus its need for a substantial amount of impermeable surface. Additionally, the location of the driveway off of Kent Street eliminates the need for access from the Montgomery Avenue, which contains the principal elevation of the house. The removal of the Pine Trees along Kent Street will alter the landscape of the rear side yard of this property. Staff does note that Pine trees are generally viewed by the Commission as less important trees in the landscape due to their quick growth. Staff is recommending that as mitigation for the tree removal the applicant be required to replant five trees from the Montgomery County Native Species List.

Additionally, the site plan delineates three different proposed fencing locations. The proposed locations for all of the fencing are to the rear of the historic house. The Commission's policy has been that 6' high fencing will not be located front of the principal elevation of the existing historic house. All of the proposed fencing is to be located in the rear yard and thus is consistent with this policy.

The **Kensington LAP** has not responded to the HAWP application at the time this report was prepared.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and the condition that:

Five deciduous trees from the Montgomery County Native Species list with a minimum caliper of 2" be planted somewhere on the property.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Mr + Mrs H. McPherson 10213 Montgomery Ave Kensington MD 20895	Owner's Agent's mailing address DON LITTLE LITTLE + ARCHITECTS 15510 ROYAL CRESCENT COURT MONTCLAIR, VA. 22026
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Adjacent and confronting Property Owners mailing addresses

Mrs. Elene Shulman Goldman 10221 Montgomery Ave Kensington MD 20895	Mr and Mrs Mike Koselnik 3602 Kent St. Kensington MD 20895
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Ms. Elizabeth Koontz 10200 Kensington Parkway Kensington MD 20895	Mr and Mrs Mathew Merz 10115 Kensington Parkway Kensington MD 20895
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The Stewarts 10211 Montgomery Ave Kensington MD 20895	Ms. Courtney Thornton 10204 Kensington Pkwy Kensington MD 20895
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Mr and Mrs. Lewis Price 10206 Kensington Parkway Kensington MD 20895	Administrator, MannerHealth Circle Manor Nursing Home 10231 Carroll Place Kensington MD 20895
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# **LITTLE +**

## **ARCHITECTS, P C**

15518 Royal Crescent Court  
Montclair, Virginia 22026  
Telephone 703.583.8500  
Facsimile 703.583.9933  
E-mail Little.Arch@att.net

### **MCPHERSON CARRIAGE HOUSE**

The residence at 10213 Montgomery Avenue in Kensington, Maryland is a early 1890,s Master Plan resource in the Kensington Historic District. It is the intent of the owners to construct a two story Carriage House and a Swimming Pool at the east side of the existing house. The existing Tennis Court will be removed to accommodate these improvements as they will be located within the area of the existing court. Five storm damaged pine trees will also be removed at the southeast corner of the property to accommodate the Carriage House driveway.

The Carriage house will have a two car garage on the ground level and a loft/ game room on the upper level. The garage level will be at the same elevation as the existing tennis courts and the driveway entrance will be off of Kent Street. The game room will be ten feet above and entered from the existing higher grade on the west side. The structure will be wood frame and the exterior siding, corner boards, window and door trim, and cornice will be painted wood to match the primary residence. The roof will be a steeply pitched hip roof with asphalt shingles, also to match the existing house. Windows and doors will be painted wood, true divided lite, single pane to match existing. The garage doors will be overhead doors as manufactured by Designer Doors which will replicate hinged out swinging doors. The north trellis will also be painted wood.

The Swimming pool will be a concrete in ground pool with a whirlpool at the south end. The coping and decking will be stone. The decking will be minimized to allow for maximum grass area as fits the garden setting of the property.

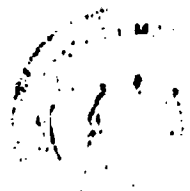
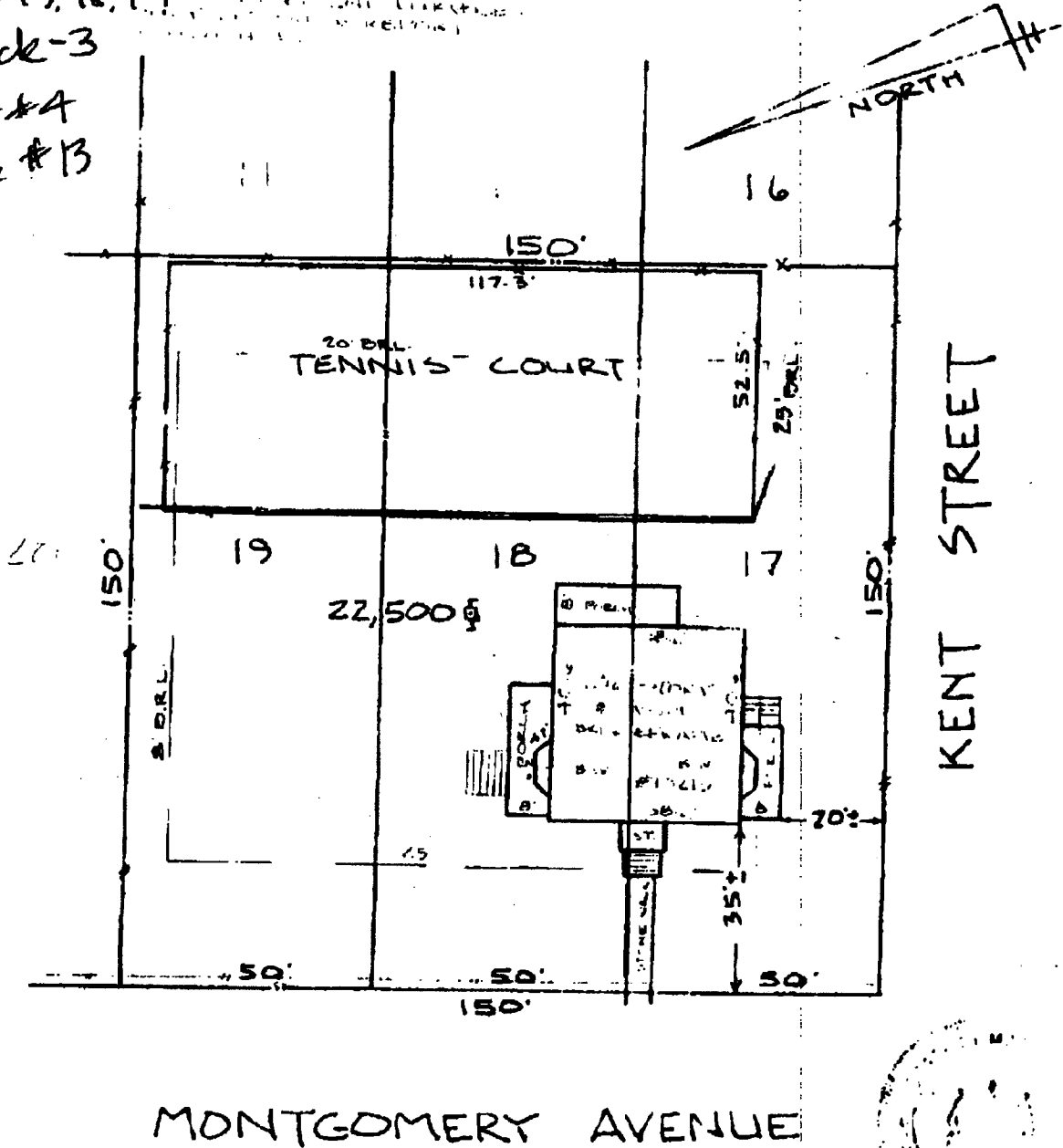
Fencing for the pool area will be wood as shown with a decorative, painted wood fence atop the existing wood retaining wall at the house/garden side; and a wood board on board privacy fence at the north and east property lines.

Landscaping will be open and informal in keeping with the existing turn of the century setting.

**ANDTECH ASSOCIATES, .C.**  
7307 BALTIMORE AVENUE SUITE 214  
COLLEGE PARK, MARYLAND 20740

NOTE: THIS PROPERTY LIES  
IN FLOOD ZONE C, AN AREA  
OF MINIMAL FLOODING, AS  
DELINATED ON THE MAPS  
OF THE NATIONAL FLOOD  
INSURANCE PROGRAM

Lot 17, 18, 19  
Block-3  
Plot #4  
Book #13



NO TITLE REPORT FURNISH

111 = 30' - 6 1/2

MCPHERSON RESIDENCE  
10213 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

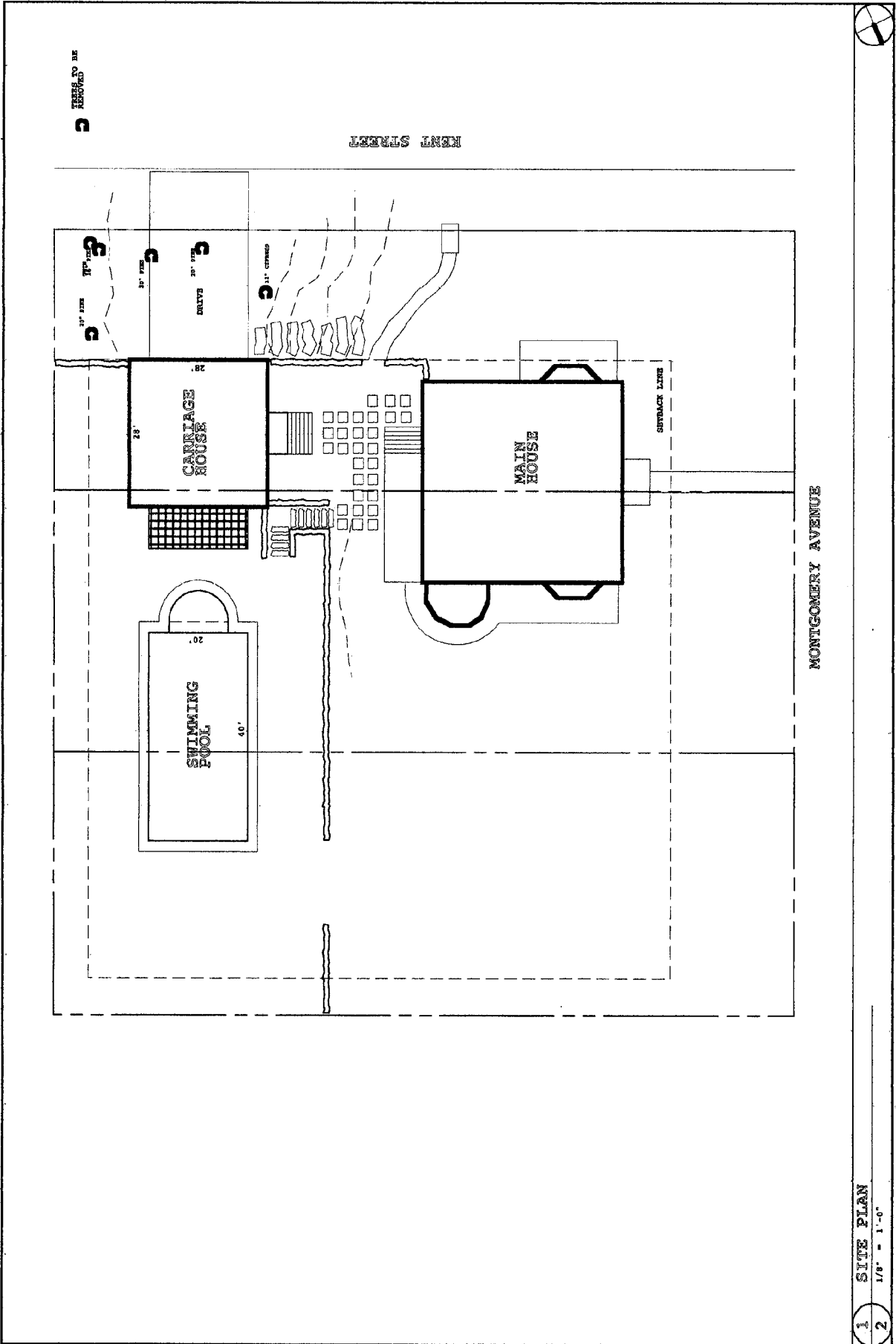
ARCHITECTS  
11411 OPEN COMMONS DRIVE  
KENSINGTON, MARYLAND 20895  
PHONE: 301 424 2000  
FACSIMILE: 301 424 2001

LITTLE +

SITE PLAN

3-29-03  
3-21-03

2

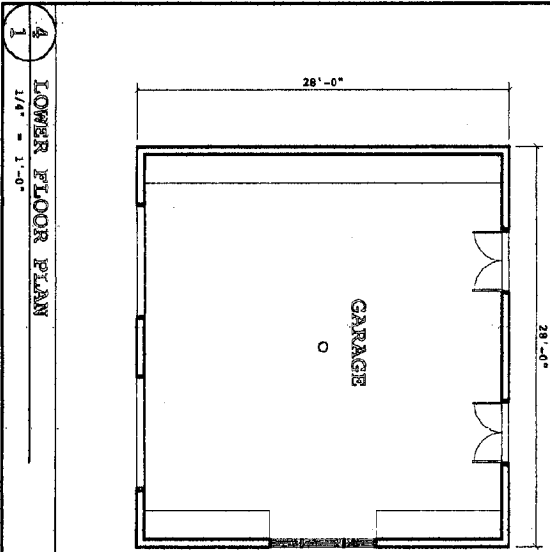


1 SITE PLAN  
2 1/8" = 1'-0"

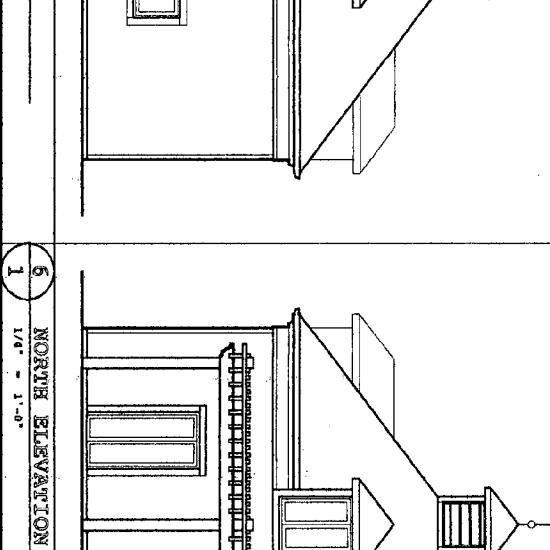
2

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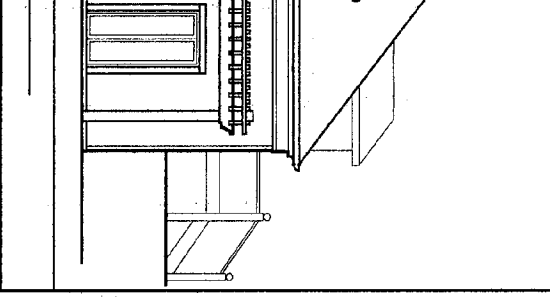
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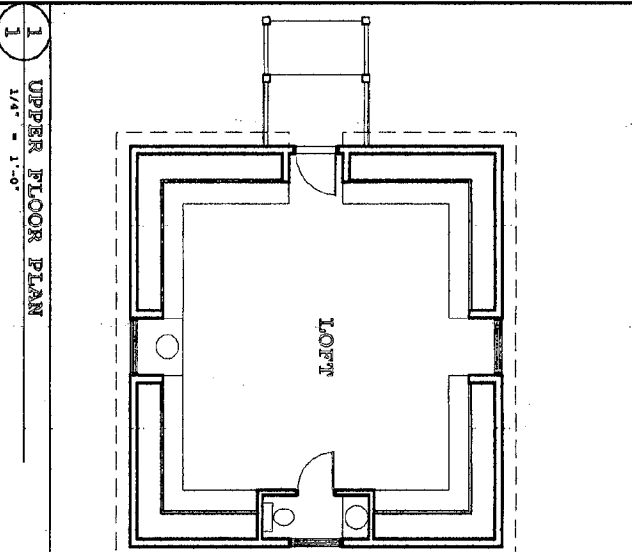
4 LOWER FLOOR PLAN  
1  
1/4" = 1'-0"



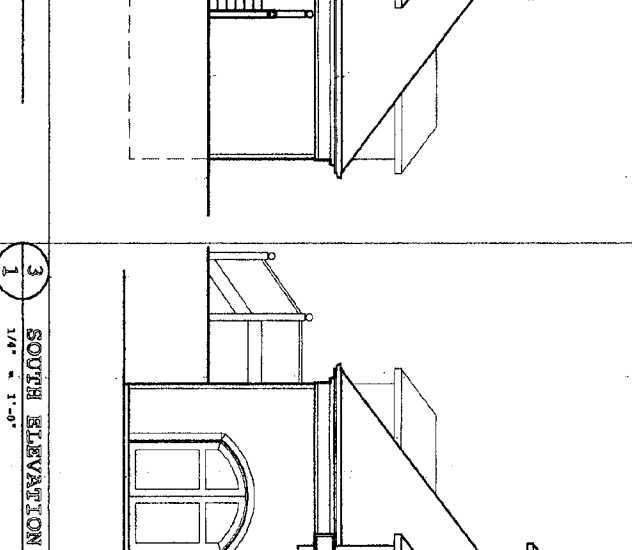
5 EAST ELEVATION  
1  
1/4" = 1'-0"



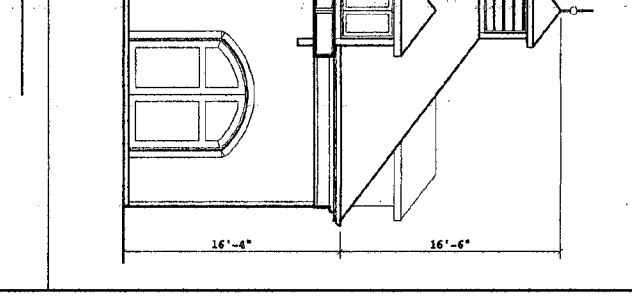
6 NORTH ELEVATION  
1  
1/4" = 1'-0"



1 UPPER FLOOR PLAN  
1  
1/4" = 1'-0"



2 WEST ELEVATION  
1  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1  
1/4" = 1'-0"

1

FLOOR PLANS,  
ELEVATIONS

LITTLE + ARCHITECTS

MCPHERSON RESIDENCE  
10213 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

1000 Regal Center Court  
Montreal, Florida 33408  
Telephone 761 200 0200  
Facsimile 761 200 1000



Photo 3: SOUTH SIDE @ CORNER



Photo 4: EAST SIDE @ TENNIS COURT



Photo 5: KENT STREET TOWARD WEST



Photo 6: KENT STREET TOWARD NORTH



Photo 7: KENT STREET TOWARD NORTH @ NEW DRIVE



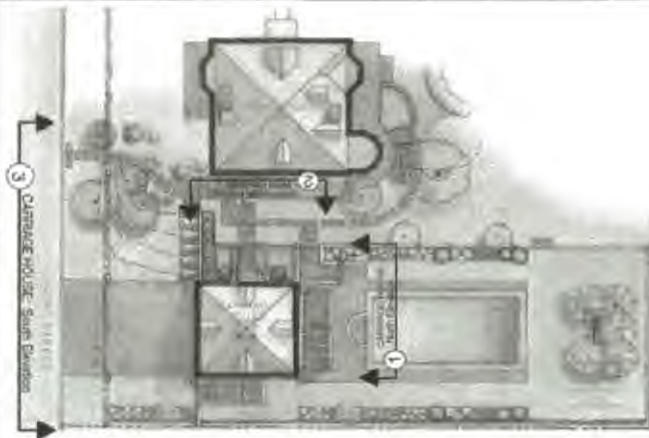
Photo 8: KENT STREET FROM SOUTHEAST





MAIN HOUSE AND CARRIAGE HOUSE: KENT STREET ELEVATION

(NTS) TREES NOT SHOWN



**SITE PLAN: Carriage House and Main House**

Scale: 1/16"=1'-0"



**1 CARRIAGE HOUSE: North Elevation**

Scale: 1/4"=1'-0"



**2 CARRIAGE HOUSE: West Elevation**

Scale: 1/4"=1'-0"



**3 CARRIAGE HOUSE: South Elevation from Kent Street**

Scale: 1/4"=1'-0"

**McPherson Residence**  
 10213 Montgomery Avenue  
 Kensington, Maryland 20895

**ARCHITECTS**  
 1818 BRAD CHURCHILL DRIVE  
 MOUNTAIN VIEW, VIRGINIA 22088  
 Telephone 703 444 9800  
 Fax 703 444 9800

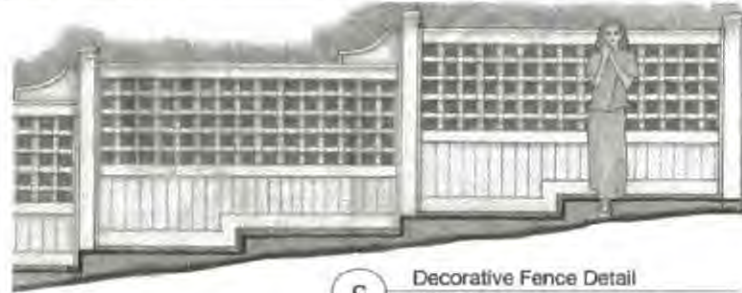
**LITTLE +**  
**graphicarts**  
 A Service-Now  
 Company



**A** Gate at Lower Wall  
3/4" = 1'-0"

**B** Gate at Upper Wall  
3/4" = 1'-0"

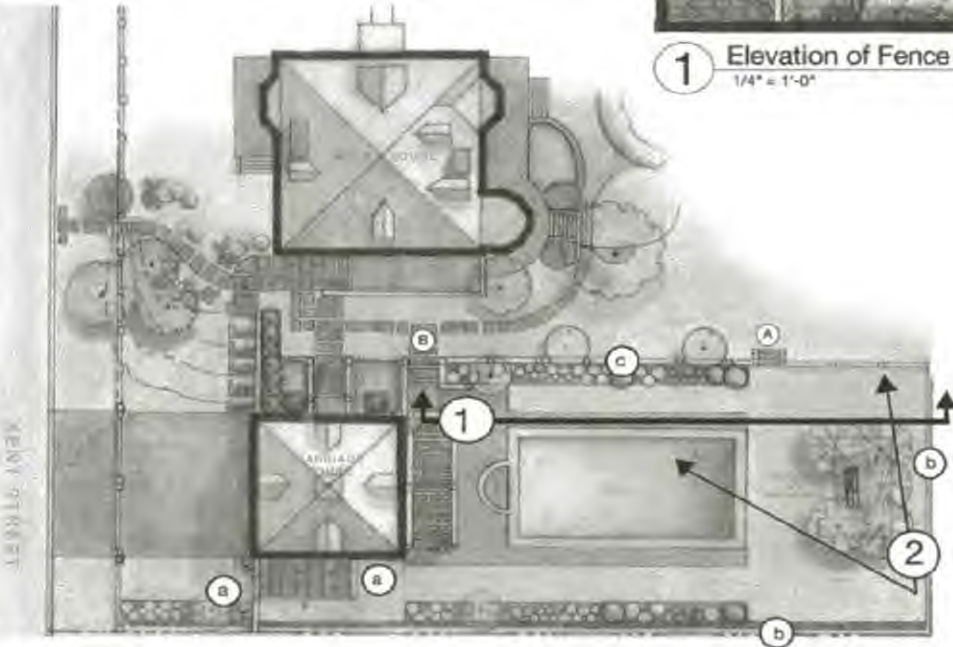
**1** Elevation of Fence Along Retaining Wall  
1/4" = 1'-0"



**C** Decorative Fence Detail  
3/4" = 1'-0"



**2** Perspective from Tree Bosque Towards Main House



**a** 6' Screen Fence Detail  
NTS



**b** 6' Barrier Fence Detail or  
NTS

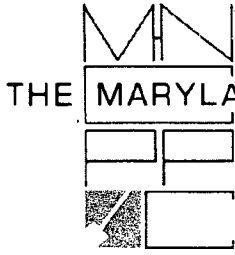


(Alternate to Barrier Fence)  
Existing Tennis Fence with Ivy

**McPherson Residence**  
10213 Montgomery Avenue  
Kensington, Maryland 20995

**ARCHITECTS**  
1818 Royal driveway Court  
Baltimore, Virginia 21088  
Telephone 703 545 8500  
Facsimile 703 545 9958

**LITTLE +**  
**graphicarts**  
A Little-Brown  
Illustration Studio  
for Architects



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

**FAX TRANSMITTAL SHEET**

**Historic Preservation Office  
Department of Park & Planning**

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Eileen Shulman FAX NUMBER: 301.949.0395

FROM: Abi Thompson

DATE: \_\_\_\_\_

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 17

NOTE:

Per your request.

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Matthew & Cynthia Merz  
10116 Kensington Parkway  
Kensington, Maryland 20895  
(301) 962-6883

June 25, 2003

Historic Preservation Commission  
Attn: Michele Naru (via fax 301-563-3412)  
Re: HAWP for Montgomery Ave., Kensington

To whom it may concern:

This letter is to offer both support and comment regarding the carriage house and pool renovation proposal submitted by the McPhersons on Montgomery Ave. in Kensington.

As a neighbor with close proximity to the McPherson's (our house is on the corner of Kensington Parkway and Kent Street), I recently had an opportunity to review one of the renderings of the proposed renovations. Based on the drawings, the project seems very attractive and in keeping with the historic nature of the main house and surrounding community. I am confident that it will be built and maintained beautifully.

My only concerns are with regard to the loss of trees along Kent Street (to accommodate the driveway) and the apparent size of the garage structure. Although it is hard to tell by looking at only a rendering, I am hoping that it will not make other houses on Kent Street look noticeably small by comparison.

Thank you for your consideration of these comments.

Sincerely,

  
Cynthia Merz

## Naru, Michele

---

**From:** Jim Engel & Maureen Conley [jimmye@erols.com]  
**Sent:** Tuesday, June 24, 2003 1:46 PM  
**To:** Naru, Michele  
**Subject:** HAWP 31/06-03E

The HAWP was provided to LAP members on or about June 17, 2003 and members were contacted by me by phone on Thursday June 19th and notified that they should review the HAWP and provide comment. Responses were received from Barry Peoples and Frank O'Donnell. In general we felt that the design of the proposed garage/game room and pool gardens was thoughtful and attractive and made good use of the foot print of the existing tennis court. The renderings provided by Ms. Hanks-Henn provided a good sense of what the project would look like in its final execution.

We also felt, however, that the size of the garage/game room was excessive, especially given the proximity of the proposed structure to Kent Street. Reducing the size of the structure, in our opinion, would help to preserve the rhythm and spacing along Kent Street, between the main house and the Koontz house on Kensington Parkway. We observed that a typical free standing garage would have a frontage of 22 feet, whereas this proposal was 28 feet. The height, also being a full 35 feet including the cupola and approximately 28 feet at roof peak, was also felt to be excessive and would tend to overwhelm the Koontz house and the other houses on Kent Street. Overall, we felt that dimensions of no more than 24 feet wide by 24 feet deep by 24 feet high would fulfill the needs of the applicant while still preserving the rhythm and spacing of structures on Kent Street.

Barry Peoples and I communicated our concerns and opinion to the agent for the applicant, architect Don Little on Friday June 20, 2003 over the phone. Mr. Little was provided an opportunity to defend his position.

Please forward these comments to the Commissioners.

Jim Engel  
Chair  
Kensington LAP

## Naru, Michele

---

**From:** WATSTEW@aol.com  
**Sent:** Wednesday, June 25, 2003 2:26 PM  
**To:** Naru, Michele; Peoplesbarry@aol.com; ACARR@aol.com; jimmye@erols.com; ratherlj@pipeline.com; mayor.klr@tok.org; omalley10@msn.com  
**Subject:** HPC case #31/06-03E McPherson carriage house

From: Kensington Historical Society  
Wat Stewart, Vice President

June 25, 2003

The executive Committee of KHS met and considered this application. We reached consensus on the following evaluation and recommendation. Our vote was unanimous.

1) The concept and overall plan is sensitive to the spirit of the vision of Kensington.

Owners are thoughtful supporters of all efforts to sustain the "look" of this historic town and neighborhoods.

2) Our key concern is the size, placement, and dominance of this secondary building on

Kent Street. We are aware that the original placement was to the rear of lot #19,

but owners recognized the consequent extent of the driveway required, and green space lost. Thus the present location.

3) In the present siting, carriage house assumes a dominant presence, and in fact, will

overshadow the single family homes on the block. It is constructed directly on the setback line. The overall dimensions (28'x28') are only approx. 8' less than both the main house and the side of the adjacent home to the east. Together with the loss of large trees (understandable), and slope of the ground, the carriage house stands higher and is more prominent compared to street level.

This committee wishes to preserve the overall plan prepared by the owners, but strongly recommends the following modifications:

A) Reduce side dimensions of the structure to 24'x24'.

B) Move the front garage wall to the North by 8' making the wall next to the pool 4' closer and the setback 8' wider.

Result: the setback and size modifications will reduce substantially the "bigness" and

dominance, but still retain the utility and charm of the plan. The pool placement

and landscaping would be accommodated.

For the Committee,

Wat Stewart  
10211 Montgomery Ave  
Kensington

**LOT COVERAGE - MCPHERSON**

	<b>Exist</b>	<b>Area - SF</b>	
1	House	1688	
2	Porches & Stoop	653	
3	Tennis Court	4899	
4	Sidewalk	117	
	<b>Subtotal</b>	<b>7357</b>	
	<b>Lot Coverage</b>	<b>33%</b>	<b>22,500 SF Lot</b>

	<b>Proposed</b>		
1	House	1688	
2	Porches & Stoop	653	
3	Sidewalk	117	
4	Swimming Pool	1113	
5	Carriage House	784	
6	Driveway	724	
	<b>Subtotal</b>	<b>5079</b>	
	<b>Lot Coverage</b>	<b>23%</b>	<b>22,500 SF Lot</b>



**Naru, Michele**

---

**From:** Jim Engel & Maureen Conley [jimmye@erols.com]  
**Sent:** Tuesday, June 24, 2003 1:46 PM  
**To:** Naru, Michele  
**Subject:** HAWP 31/06-03E

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Barry Peoples and I communicated our concerns and opinion to the agent for the applicant, architect Don Little on Friday June 20, 2003 over the phone. Mr. Little was provided an opportunity to defend his position.

Please forward these comments to the Commissioners.

Jim Engel  
Chair  
Kensington LAP

Post-it® Fax Note	7671	Date	6/24/03	# of pages	▶
To	Eileen Shulman				
From	Michele Naru				
Co./Dept.	Co.				
Phone #	Phone #				
Fax #	301-949-0395				

# FAX

**LITTLE + Architects**  
15518 Royal Crescent Court  
Montclair, Virginia 22026

Date 6-25-03

Number of pages including cover sheet 2

To: Michele Naru

HPC

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone 301-563-3400

Fax Phone 301-563-3412

CC: \_\_\_\_\_

From: Don Little

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Phone 703-583-8500

Fax 703-583-9933

**REMARKS:**

- Urgent
- For your review
- Reply ASAP
- Please comment

RE: McPherson Residence

Michele,

Enclosed are the lot coverage calculations for the McPherson residence. Please also note, the new driveway will be either gravel or asphalt, not concrete.

Please call me for any questions, see you this evening.

Don

# FAX

**LITTLE + Architects**  
15518 Royal Crescent Court  
Montclair, Virginia 22026

Date 6-17-03

Number of pages including cover sheet 2

To:

**Michele Naru**

**HPC**

From:

**Don Little**

Phone 301-563-3400

Fax Phone 301-563-3412

CC: \_\_\_\_\_

Phone 703-583-8500

Fax 703-583-9933

**REMARKS:**

- Urgent
- For your review
- Reply ASAP
- Please comment

RE: McPherson Residence

Michele,

Enclosed is the old plat for the McPherson residence. I will bring an updated survey to the HPC meeting.

Please call me for any questions.

Don

asked Don average  
boran 15%<sup>13</sup> =  
Lot cov.  
"existing" site  
EXISTING plan  
& a PROPOSED ~~lot~~ ~~cover~~

# **LITTLE +**

---

## **ARCHITECTS, P C**

15518 Royal Crescent Court  
Montclair, Virginia 22026  
Telephone 703.583.8500  
Facsimile 703.583.9933  
E-mail Little.Arch@att.net

### **MCPHERSON CARRIAGE HOUSE**

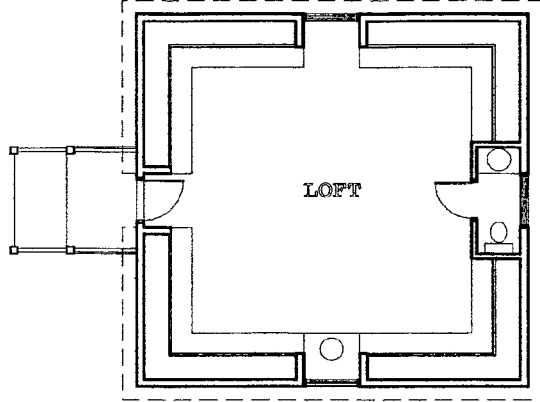
The residence at 10213 Montgomery Avenue in Kensington, Maryland is a early 1890,s Master Plan resource in the Kensington Historic District. It is the intent of the owners to construct a two story Carriage House and a Swimming Pool at the east side of the existing house. The existing Tennis Court will be removed to accommodate these improvements as they will be located within the area of the existing court. Five storm damaged pine trees will also be removed at the southeast corner of the property to accommodate the Carriage House driveway.

The Carriage house will have a two car garage on the ground level and a loft/ game room on the upper level. The garage level will be at the same elevation as the existing tennis courts and the driveway entrance will be off of Kent Street. The game room will be ten feet above and entered from the existing higher grade on the west side. The structure will be wood frame and the exterior siding, corner boards, window and door trim, and cornice will be painted wood to match the primary residence. The roof will be a steeply pitched hip roof with asphalt shingles, also to match the existing house. Windows and doors will be painted wood, true divided lite, single pane to match existing. The garage doors will be overhead doors as manufactured by Designer Doors which will replicate hinged out swinging doors. The north trellis will also be painted wood.

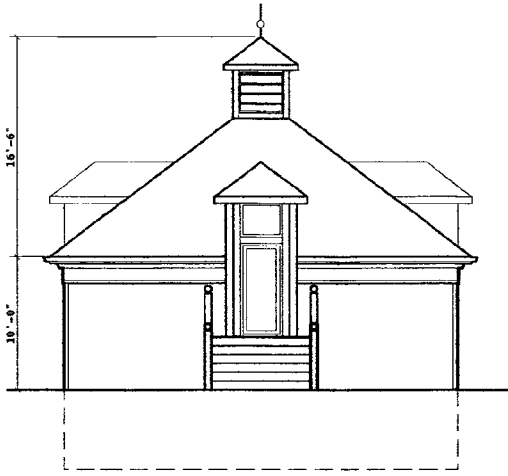
The Swimming pool will be a concrete in ground pool with a whirlpool at the south end. The coping and decking will be stone. The decking will be minimized to allow for maximum grass area as fits the garden setting of the property.

Fencing for the pool area will be wood as shown with a decorative, painted wood fence atop the existing wood retaining wall at the house/garden side; and a wood board on board privacy fence at the north and east property lines.

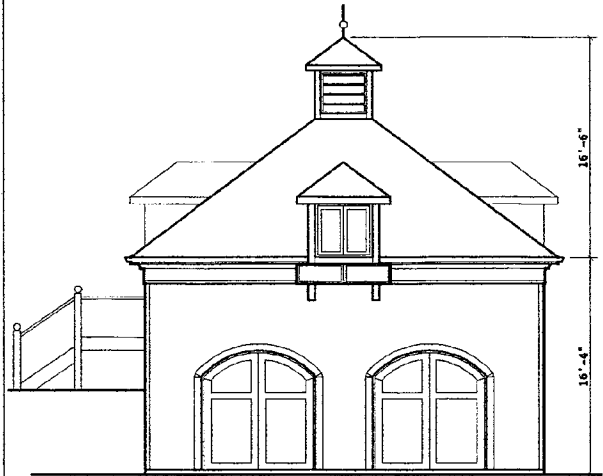
Landscaping will be open and informal in keeping with the existing turn of the century setting.



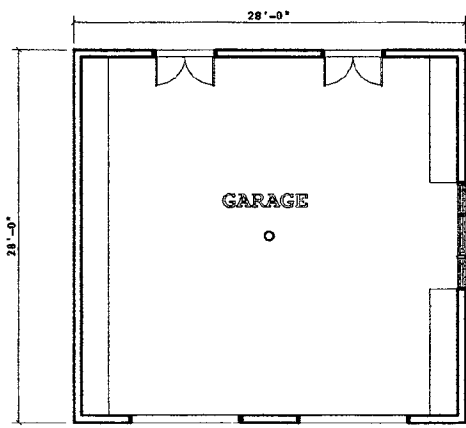
1 UPPER FLOOR PLAN  
1 1/4" = 1'-0"



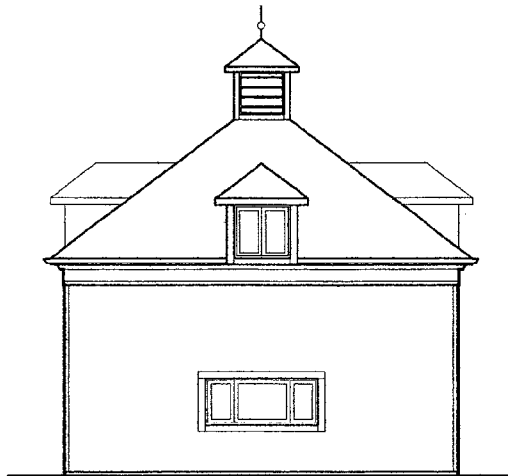
2 WEST ELEVATION  
1 1/4" = 1'-0"



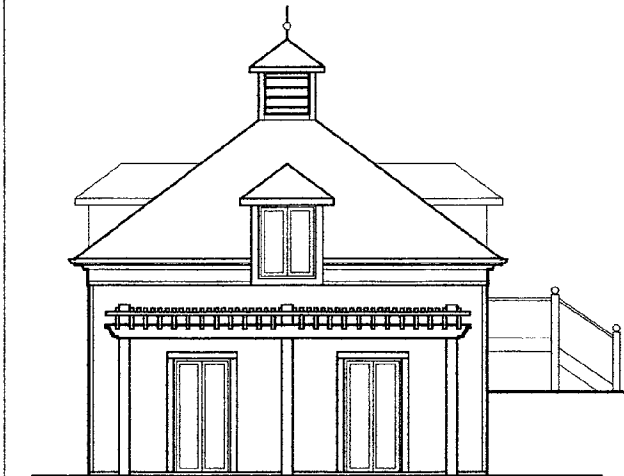
3 SOUTH ELEVATION  
1 1/4" = 1'-0"



4 LOWER FLOOR PLAN  
1 1/4" = 1'-0"



5 EAST ELEVATION  
1 1/4" = 1'-0"



6 NORTH ELEVATION  
1 1/4" = 1'-0"

LITTLE + ARCHITECTS  
 10213 MONTGOMERY AVENUE  
 KESSINGTON, MARYLAND 20895  
 5-28-03  
 4-10-03  
 1

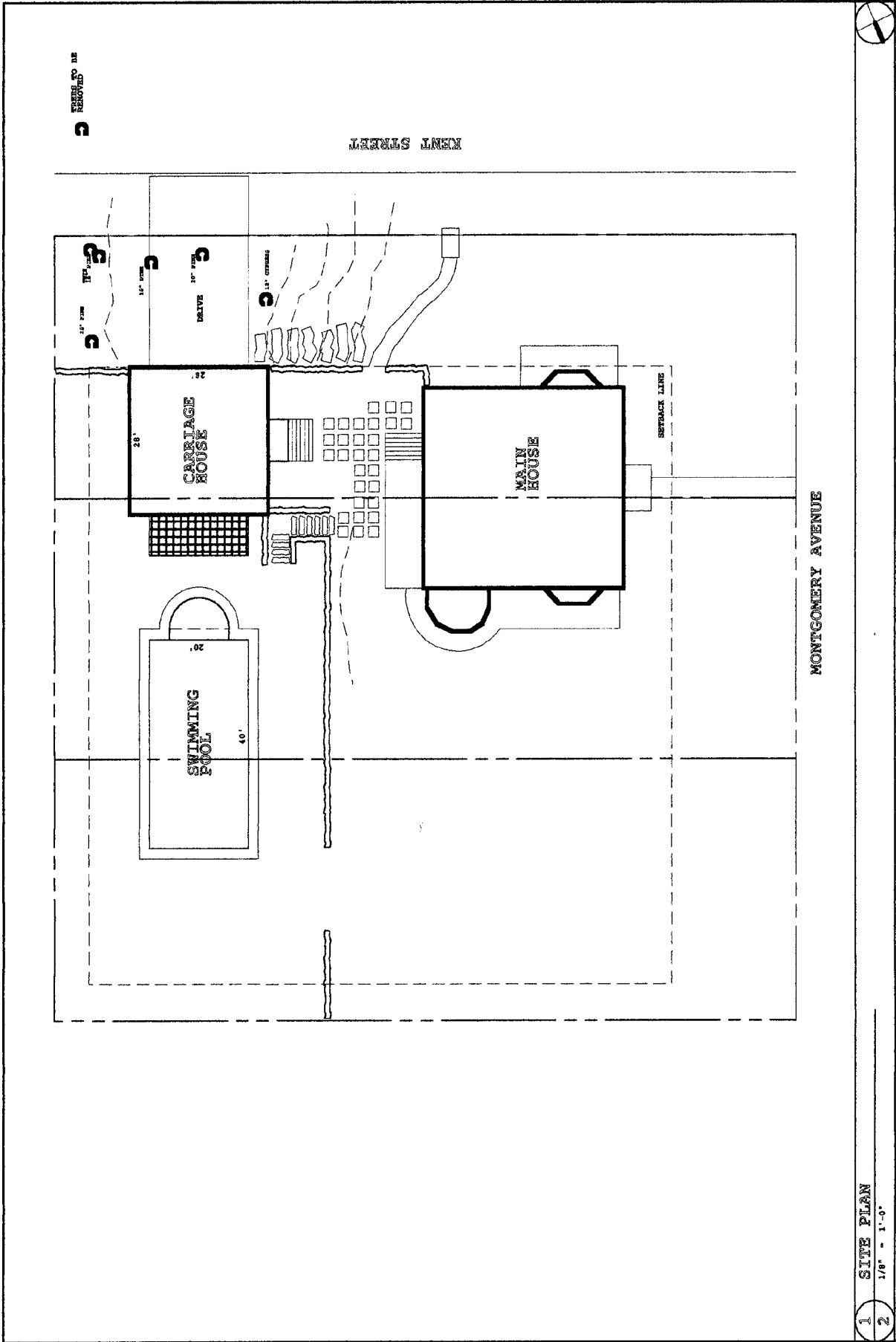
MCPHERSON RESIDENCE  
 10213 MONTGOMERY AVENUE  
 KENSINGTON, MARYLAND 20895

ARCHITECTS  
 1010 NORTH CALHOUN STREET  
 BALTIMORE, MARYLAND 21201  
 PHONE: 783-8000  
 FAX: 783-8000

SITE PLAN

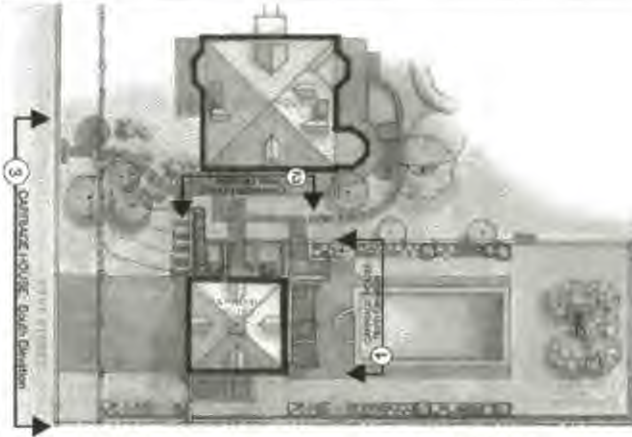
5-29-03  
 3-21-03

2



1 SITE PLAN  
 2 1/8" = 1'-0"

2



**SITE PLAN: Carriage House and Main House**  
Scale: 1/16"=1'-0"



**1 CARRIAGE HOUSE: North Elevation**  
Scale: 1/4"=1'-0"



**2 CARRIAGE HOUSE: West Elevation**  
Scale: 1/4"=1'-0"



**3 CARRIAGE HOUSE: South Elevation from Kent Street**  
Scale: 1/4"=1'-0"

**McPherson Residence**  
10213 Montgomery Avenue  
Kensington, Maryland 20895

**ARCHITECTS**  
10018 Royal Crestway Court  
Montgomery, Virginia 22028  
Telephone: 703 565 8800  
Fax: 703 565 0902

**LITTLE +**  
**graphic arts**  
J. Kenner House  
Interior Architecture  
Graphic Arts





**A** Gate at Lower Wall  
3/4" = 1'-0"



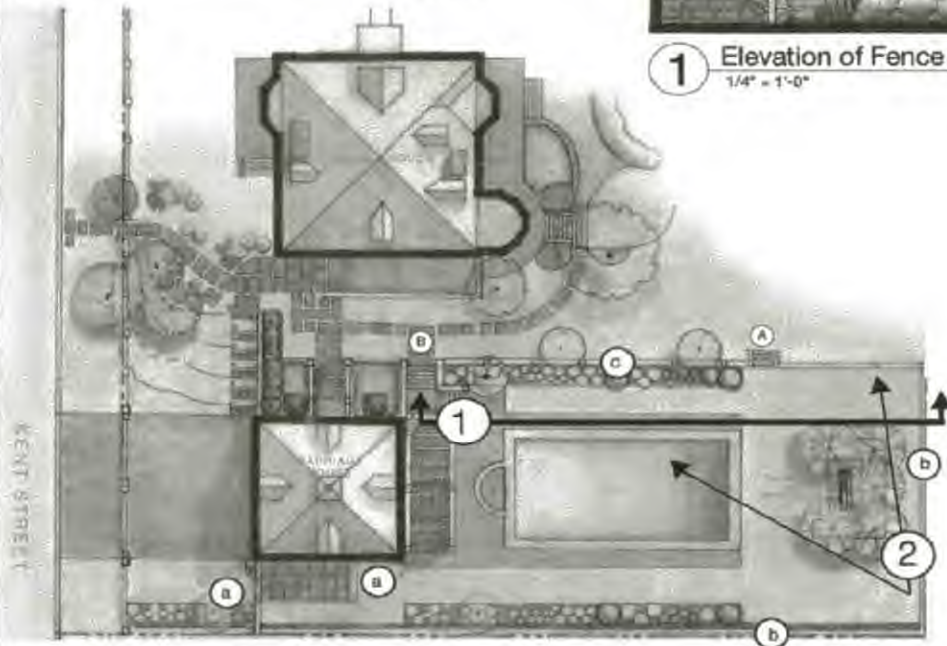
**B** Gate at Upper Wall  
3/4" = 1'-0"



**1** Elevation of Fence Along Retaining Wall  
1/4" = 1'-0"



**C** Decorative Fence Detail  
3/4" = 1'-0"



**a** 6' Screen Fence Detail  
NTS



**b** 6' Barrier Fence Detail or  
NTS



(Alternate to Barrier Fence)  
Existing Tennis Fence with Ivy

Ivy planting to cover fence.  
Control ivy growth and prevent  
from leaf edge.  
3" x 2" mesh bar  
with steel edge trimmer



**2** Perspective from Tree Bosque Towards Main House

**McPherson Residence**  
10213 Montgomery Avenue  
Kensington, Maryland, 20895

**ARCHITECTS**  
18818 Royal Overlook Court  
Manassas, Virginia 20108  
Telephone 703 683 8800  
Facsimile 703 683 8808

**LITTLE +**  
**graphicarts**  
4, Hanks Drive  
Arlington, Virginia 22204  
703 528 1100



MAIN HOUSE AND CARRIAGE HOUSE: KENT STREET ELEVATION

(NTS) TREES NOT SHOWN

**MCPHERSON RESIDENCE PHOTOGRAPHS**



**Photo 1: WEST SIDE @ MONTGOMERY AVENUE**



**Photo 2: NORTH SIDE @ GARDEN**



Photo 3: SOUTH SIDE @ CORNER



Photo 4: EAST SIDE @ TENNIS COURT



Photo 5: KENT STREET TOWARD WEST



Photo 6: KENT STREET TOWARD NORTH



Photo 7: KENT STREET TOWARD NORTH @ NEW DRIVE



Photo 8: KENT STREET FROM SOUTHEAST

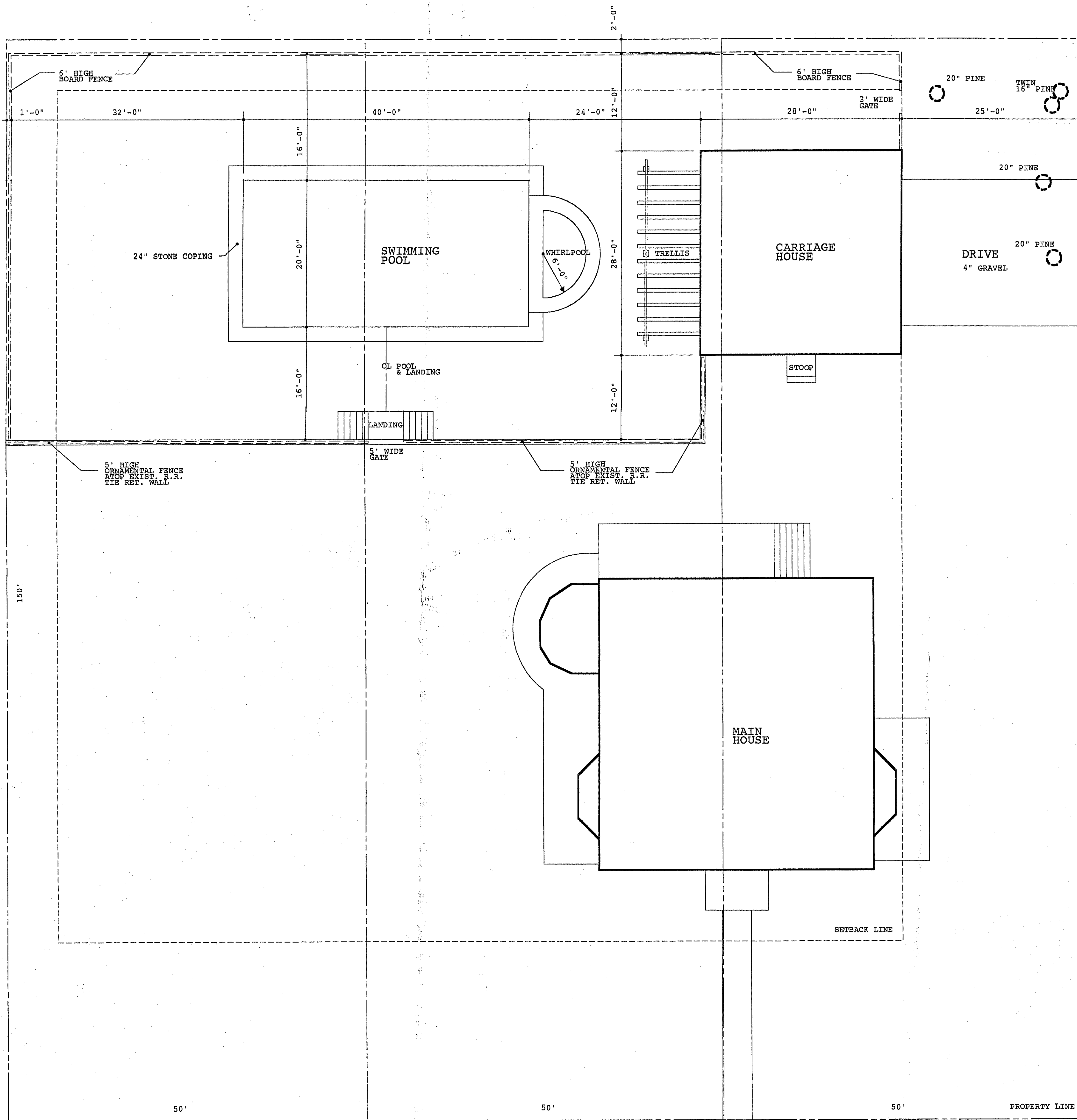
**MCPHERSON RESIDENCE PHOTOGRAPHS**



**Photo 1: WEST SIDE @ MONTGOMERY AVENUE**



**Photo 2: NORTH SIDE @ GARDEN**



# MCPHERSON RESIDENCE

10231 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

DESIGN CODE: BOCA 1996  
ZONE: RESIDENTIAL, R-60  
USE GROUP: R-2  
SITE AREA: 22,500 SF  
LOT COVERAGE: 23%  
CONSTRUCTION TYPE: 5B  
BUILDING HEIGHT: 2 STORY  
RESIDENCE AREA: 3,200 SF  
CARRIAGE HOUSE AREA: 1,568 SF

## 2 PROJECT DATA

1

### GENERAL NOTES

1. Project Scope - It is the intent of the Owner to build a Carriage House, Driveway, Swimming Pool, and Fencing at the east side of the existing home on Montgomery Avenue, Kensington, Maryland.
2. Provide alternate price for the following area of work:  
A. Prefabricated roof trusses in lieu of conventional "stick" hip roof framing.
3. Contract form shall be AIA Document A107 ABBREVIATED FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
4. All work shall conform to the Montgomery County, Maryland Building Code (BOCA 1996) and all other applicable codes. The contractor shall notify the architect if the drawings are in variance therewith.
5. Allowances for lighting, hardware, etc., to be clearly identified. All respective labor amounts to be included in base number. Lighting allowance to be a minimum 1 1/2% of the construction cost. Owner to select fixtures and determine location.
6. Upon unforeseen job conditions the contractor shall stop all work and request additional information from the owner or architect.
7. The site shall be maintained in a clean and orderly manner during construction. The contractor shall perform a complete exterior yard cleaning and broom clean all interior spaces at project completion.
8. Protect all existing trees and vegetation.
9. Provide positive drainage away from Carriage House and Swimming Pool.
10. Soil at new construction to be protected against termite infestation. All treatment shall conform to all County, State, and other applicable codes.
11. All footings to be 12" x 24" reinforced concrete with 2#5 bars at bottom. Footings to be minimum 2'-6" below grade. Unless otherwise noted. Provide 4" perforated footing drain with felt cover in coarse gravel bed. Drain to daylight.
12. Exterior concrete compressive strength to be 4,000 psi, air entrained. Interior concrete compressive strength to be 3,000 psi. Unless otherwise noted.
13. All foundation / crawl space walls to be CMU. Provide truss type horizontal joint reinforcing at 16" o.c. vertically in all masonry walls.
14. Parging to be two layers of 1/4" cement. Allow first layer to completely dry prior to application of second coat.
15. All exterior walls to have sill seal insulation and P.T. wood 2 x sill plate with 1/2" diameter x 12" anchor bolts with 2" hooks at 4'-0" o.c. Minimum 2 per board.
16. All new exterior walls to be 2 x 6 wood studs @ 16" o.c. with 1/2" OSB sheathing with air infiltration barrier (Tyvek or equal) with painted wood clapboard siding. Siding to match existing in size, texture.
17. Floor joists to be 20" prefabricated open web wood floor trusses at 19.2" o.c. Subfloor to be 3/4" OSB T&G. Screwed and glued.
18. Provide minimum one jack and one king stud on each side of all window and door headers.
19. New roof rafters to be 2x10's @ 24" o.c. at main hip and 2x8's @ 24" o.c. at dormers. Roof sheathing to be 5/8" OSB T&G sheathing.
20. Alternate roof structure at Office to be prefabricated wood trusses.
21. All new windows to be M & W awning or fixed. See elevations for sizes. Exterior finish to be painted. Hardware and screens selected by Owner. Windows to be single glazed, true divided lite to match existing house. Temper glazing as required by code.
22. Roof to be asphalt shingles to match existing.
23. Provide flashing at all windows and doors and caulk.
24. Fascia, soffit, cornice and all exterior trim to match existing in size and color.
25. Incidental framing, blocking, furring, shimming, nailing, and bolting not noted on the drawings, but necessary to complete the work as per the intent of the drawings and to maintain the structural integrity of the building, shall be assumed in the Contractor's bid price.
26. Insulation at walls and roof to be foil faced batt. Provide R-19 at exterior walls, and R-30 at roof. Provide Air Infiltration Barrier over all exterior sheathing. Tyvek or equal. Provide 6 mil polyethylene vapor barrier directly over grade at slab.
27. Provide new prefinished aluminum gutters and downspouts to match existing at all new roofs.
28. All new interior partitions to be 2 x 4 wood studs @ 16" o.c. Unless otherwise noted.
29. Interior walls and ceiling to be 1/2" gypsum wall board at Loft and 5/8" gypsum board at Garage. Painted.
30. All new doors, door finish, and hardware to be reviewed and approved by Owner.
45. Provide New electrical outlets per code.
47. Provide telephone, cable TV, and/or security system in accordance with Owner's requirements.

*Revised plans*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Steven E. Wilson*  
*8/11/03*

SITE PLAN, PROJECT DATA  
GENERAL NOTES

1-14-04  
10-3-03

1

1 SITE PLAN  
1 1/8" = 1'-0"

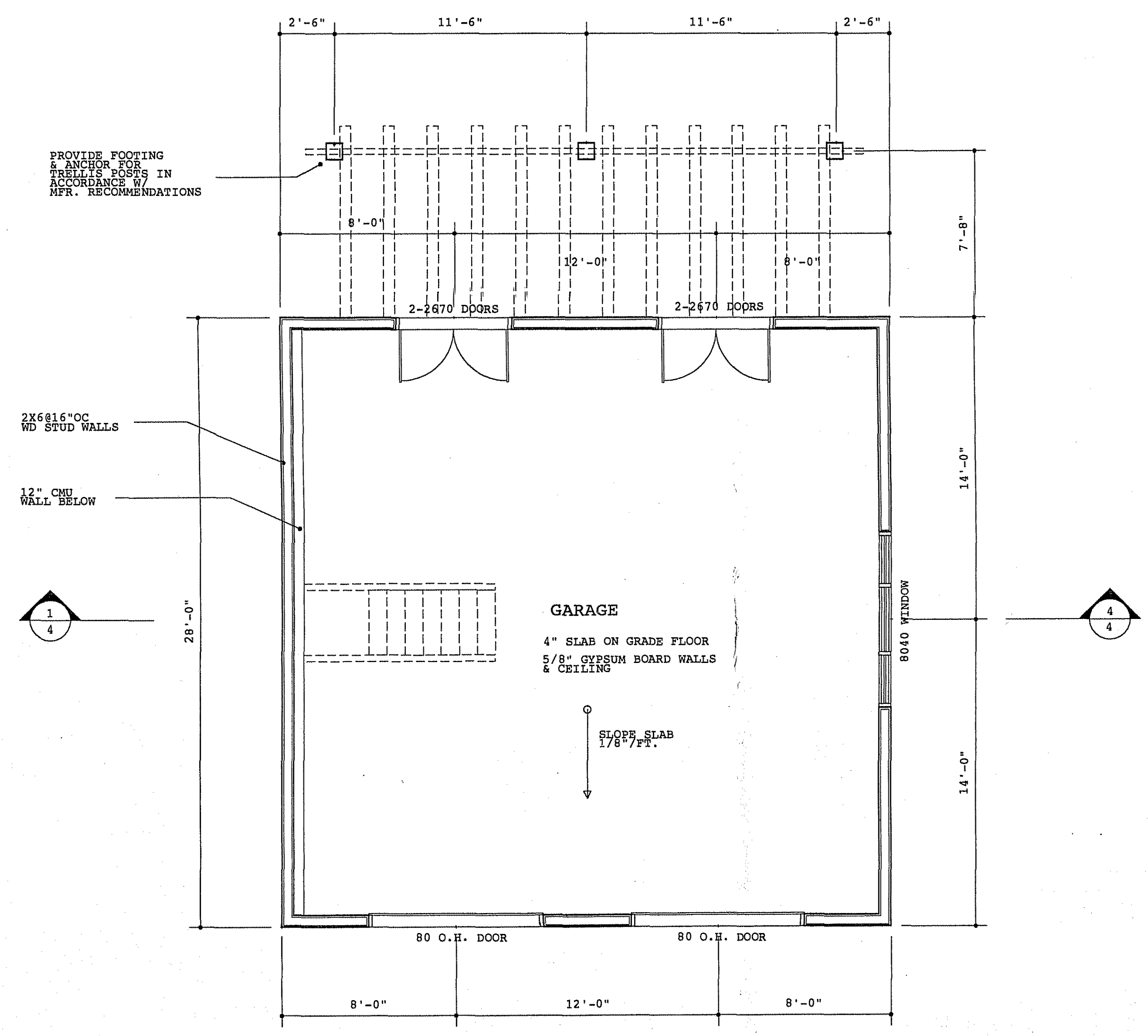
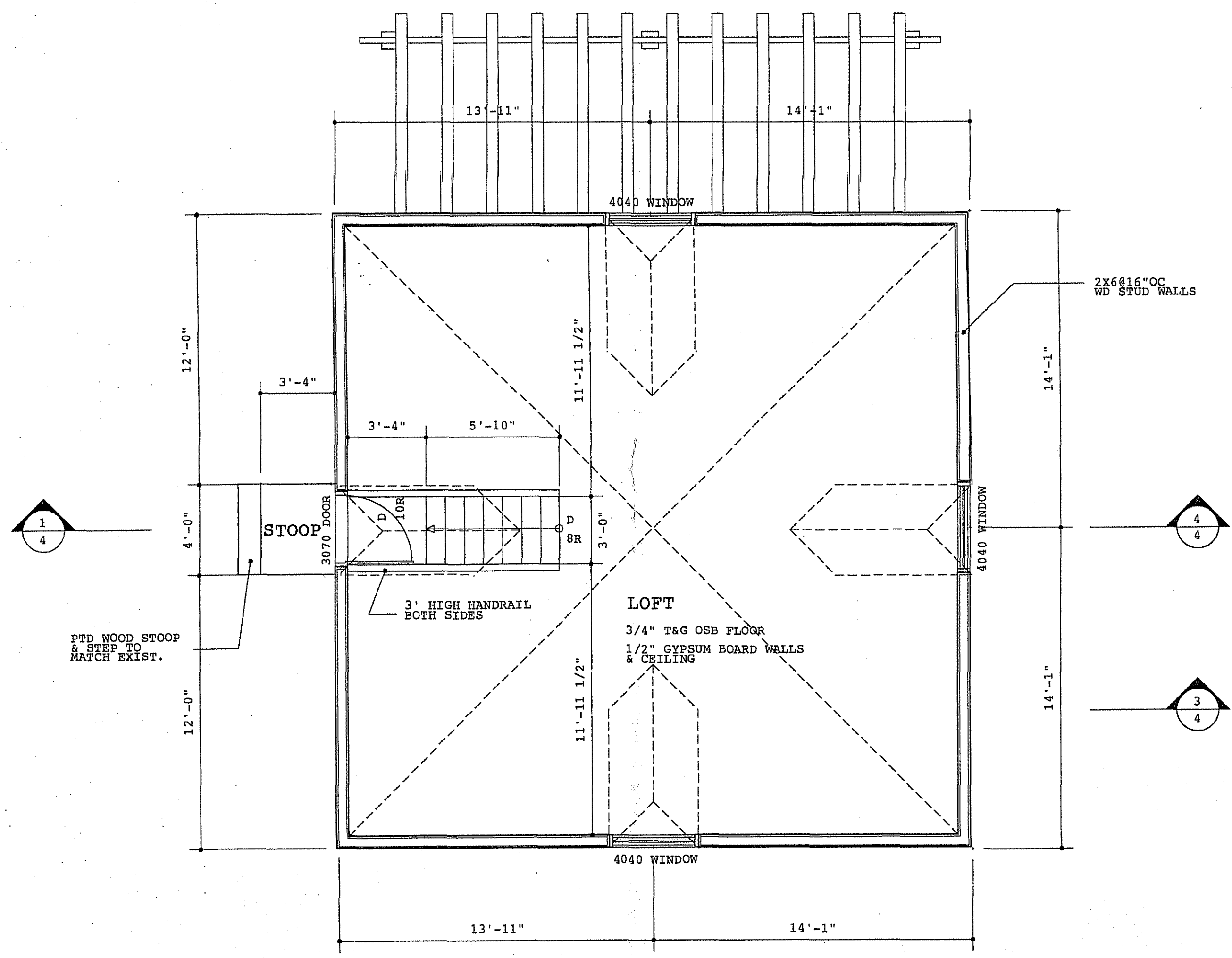
3 GENERAL NOTES  
1

MCPHERSON RESIDENCE  
10213 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

ARCHITECTS  
15518 Royal Crescent Court  
Montclair, Virginia 22066  
Telephone 703 543 8500  
Facsimile 703 543 8933

LITTLE





1 SECOND FLOOR PLAN  
2 1/4" = 1'-0"

2 FIRST FLOOR PLAN  
2 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sharon E. Delaney*  
01/16/03

1-14-04  
10-3-03

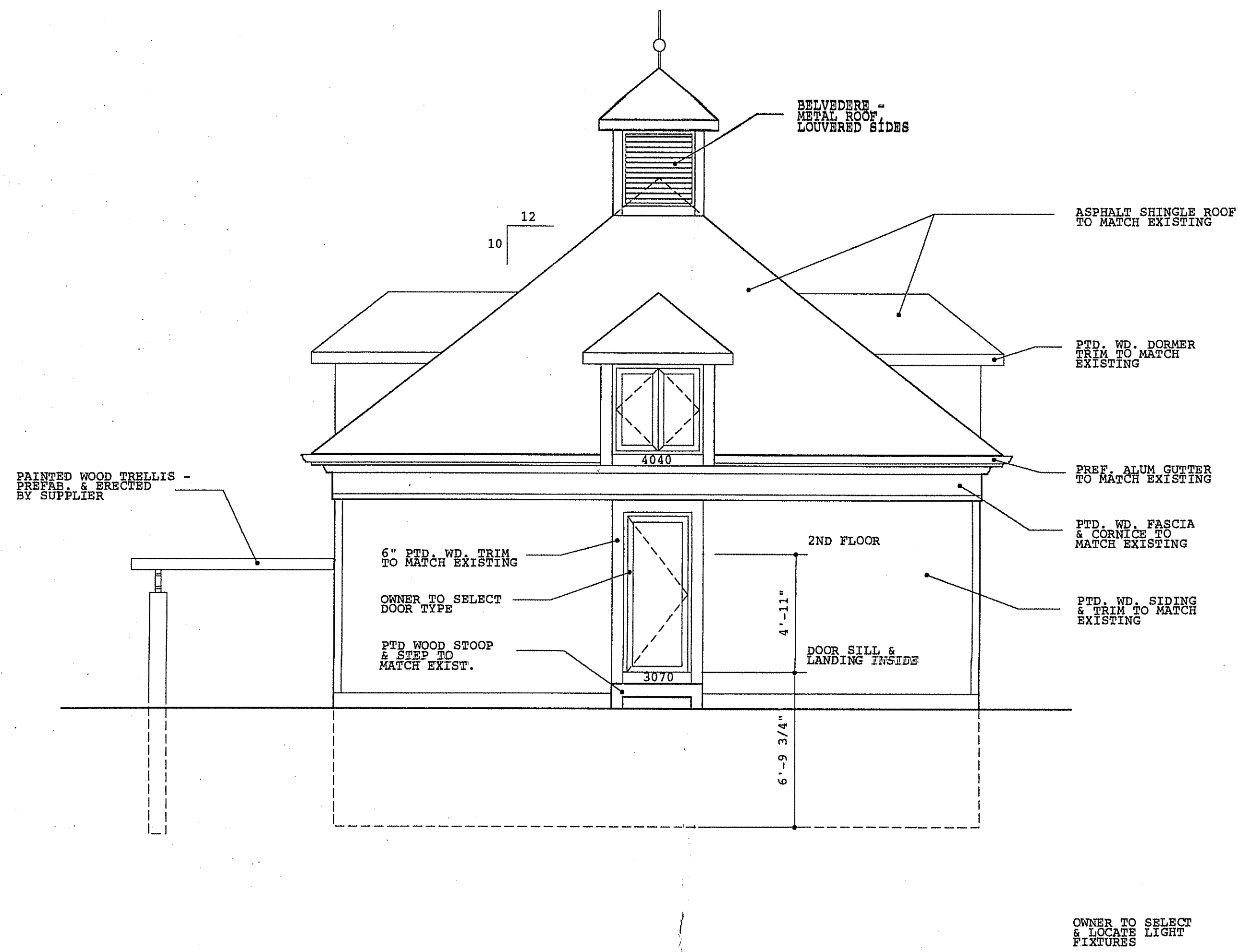
FLOOR PLANS

LITTLE

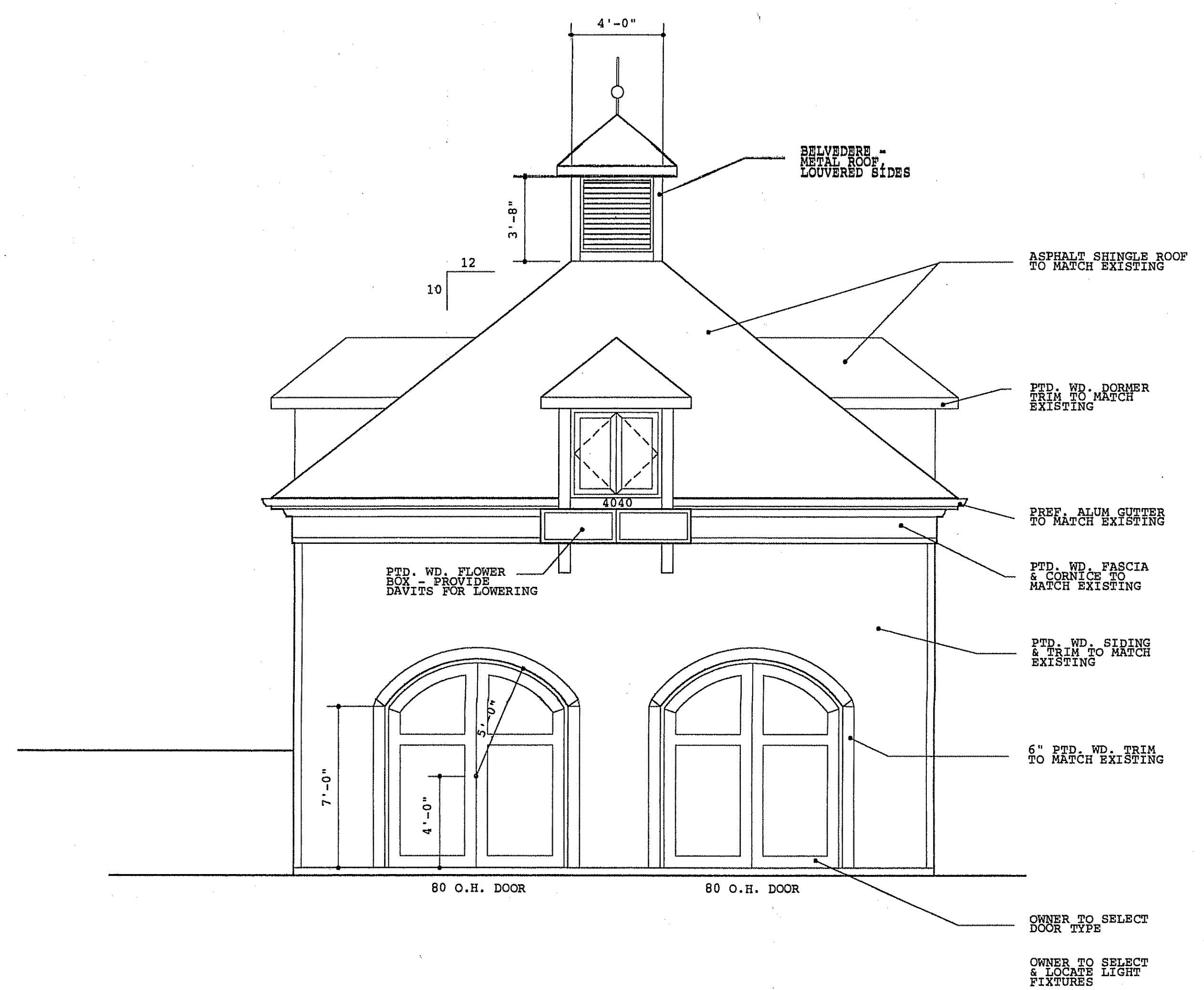
ARCHITECTS

MCPHERSON RESIDENCE  
10213 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

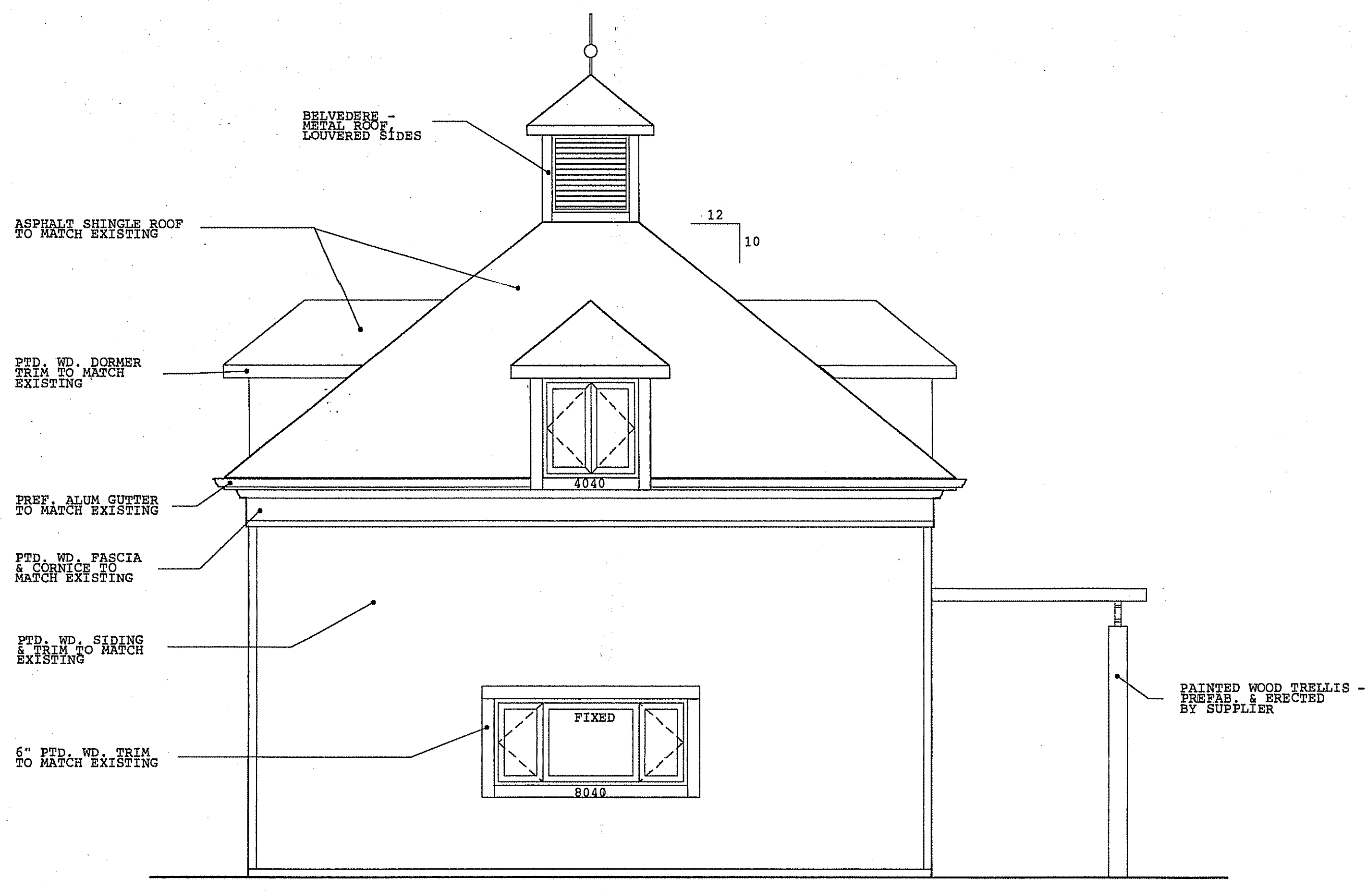
15518 Royal Crestmont Court  
Montclair, Virginia 22026  
Telephone 703 583 8500  
Facsimile 703 583 9933



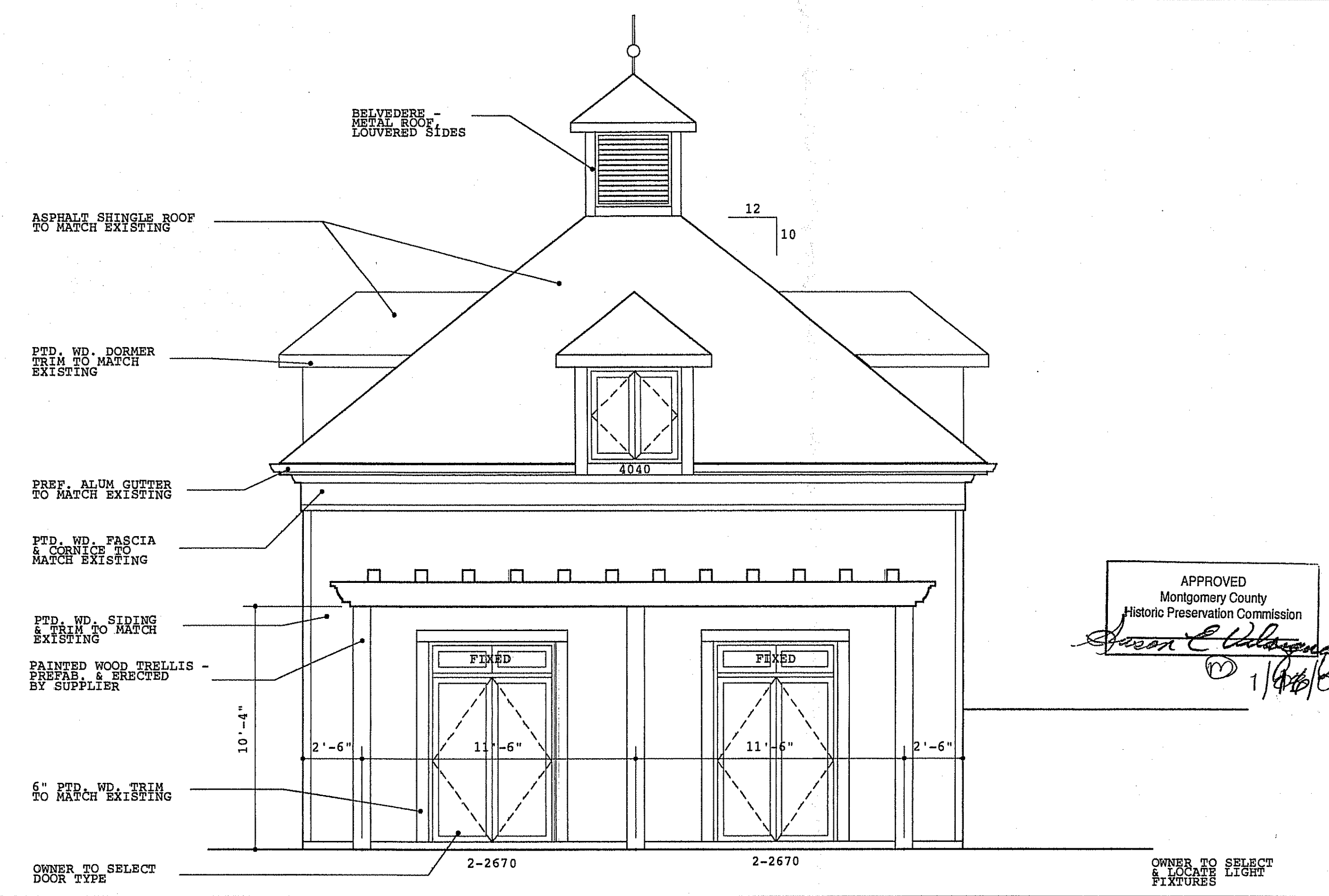
1 WEST ELEVATION  
3 1/4" = 1'-0"



2 SOUTH ELEVATION  
3 1/4" = 1'-0"

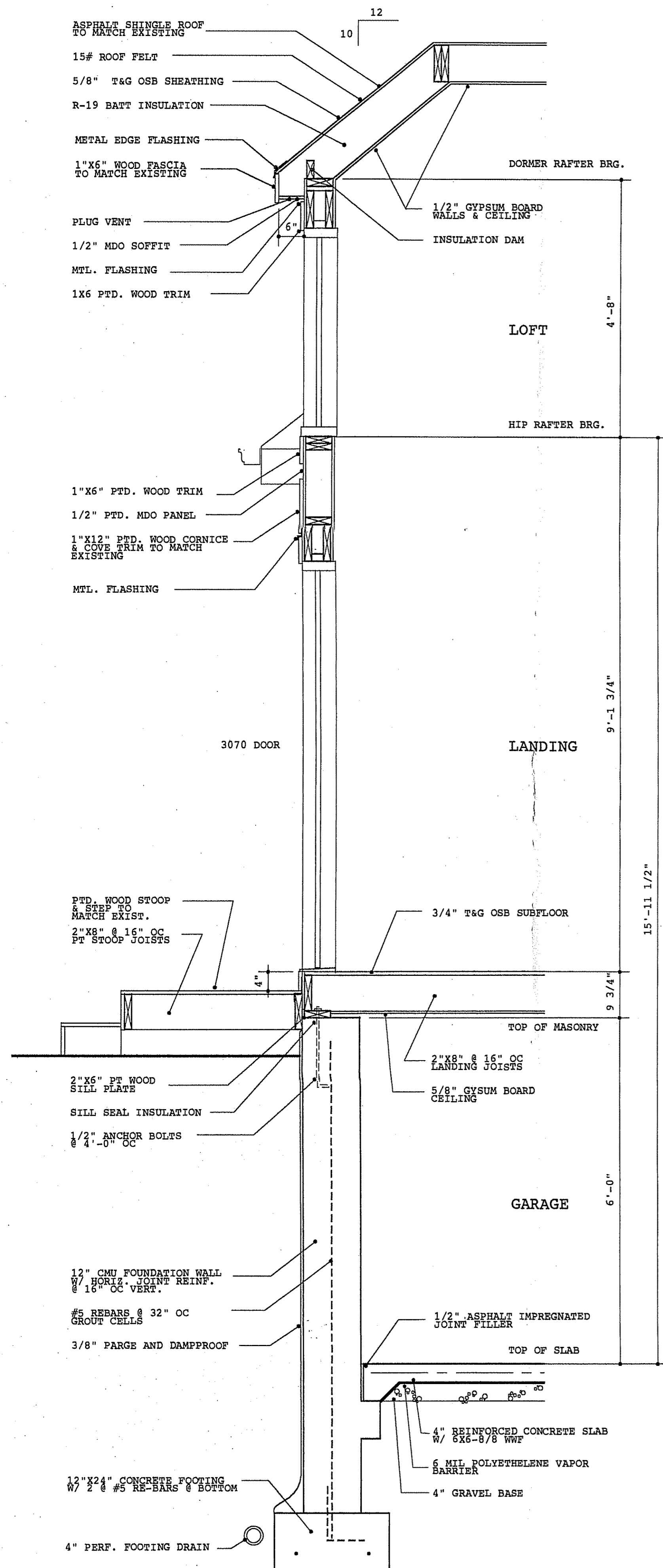


3 EAST ELEVATION  
3 1/4" = 1'-0"

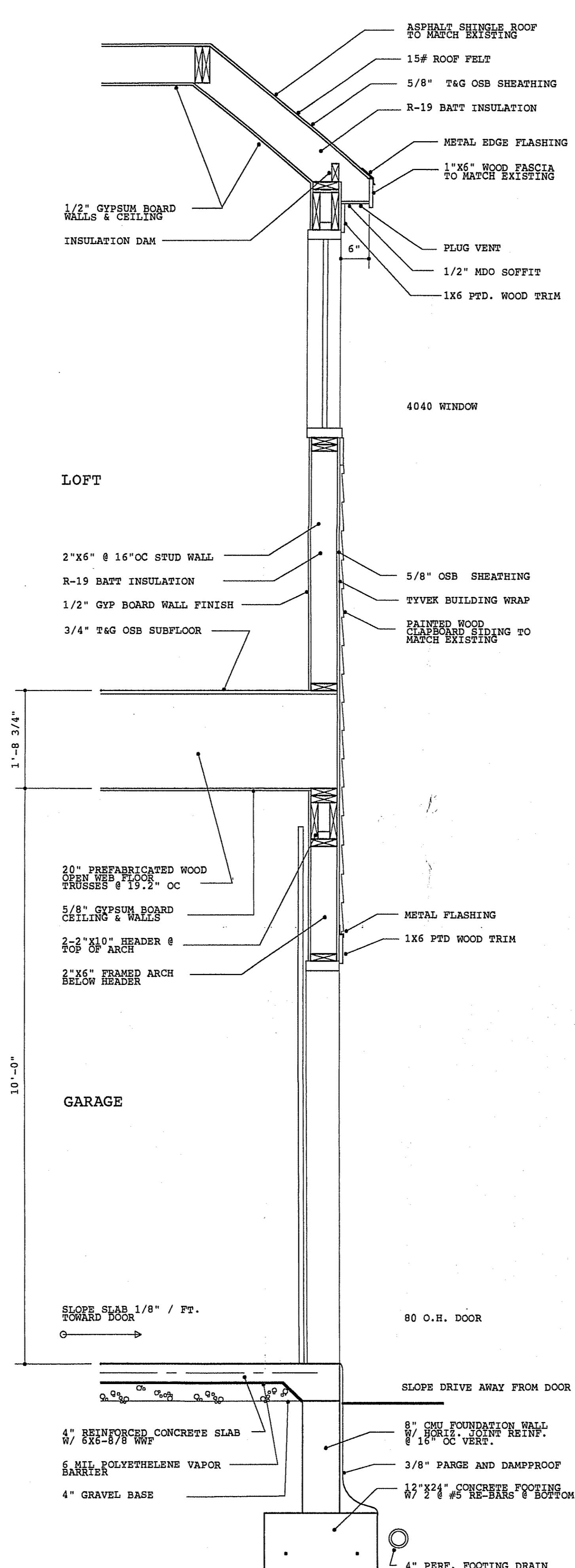


4 NORTH ELEVATION  
3 1/4" = 1'-0"

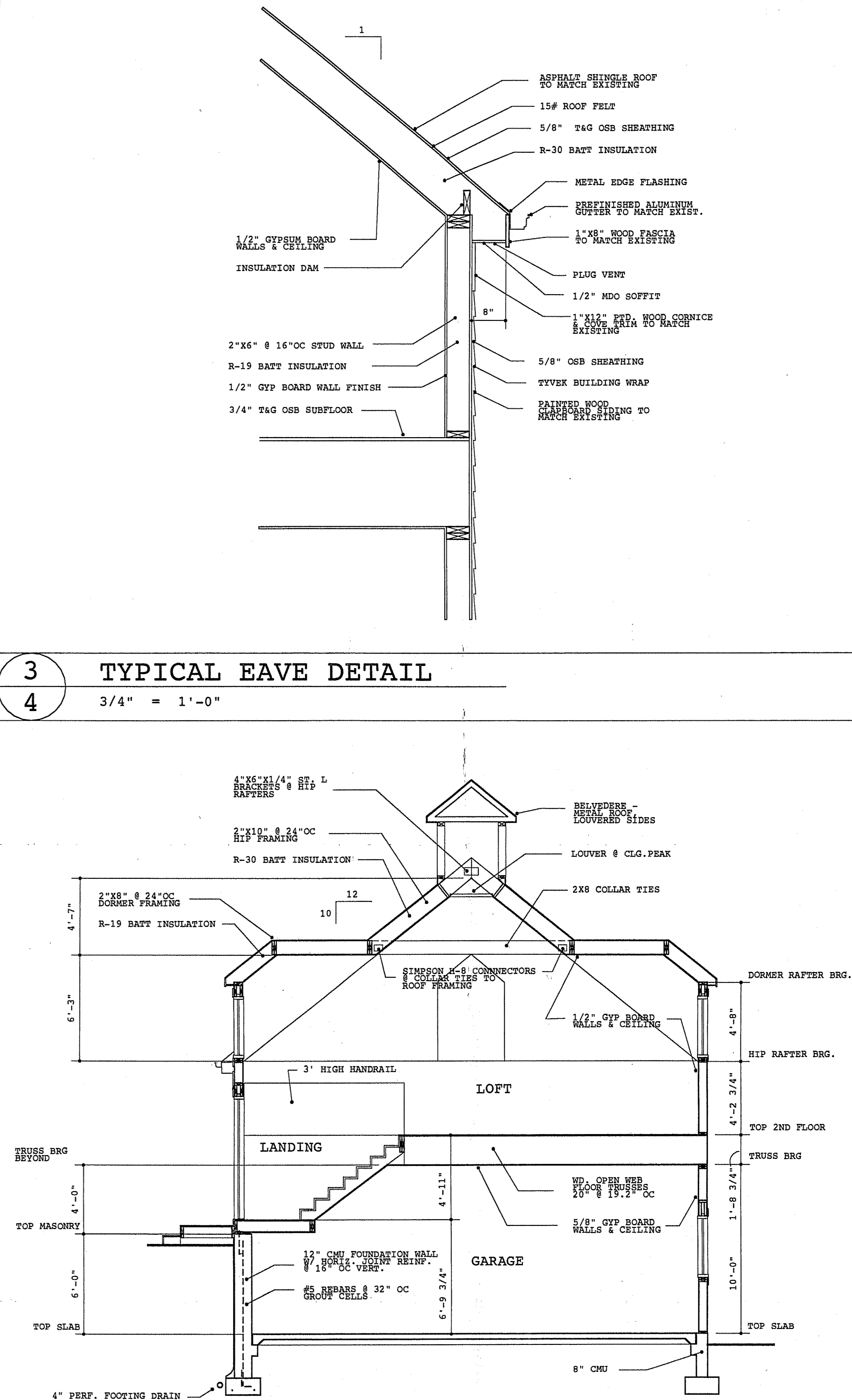
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Deborah E. Callahan*  
1/14/04



1 SECTION @ PORCH  
3/4" = 1'-0"



2 SECTION @ ENTRY DOORS  
3/4" = 1'-0"



3 4 TYPICAL EAVE DETAIL  
3/4" = 1'-0"

4 BUILDING SECTION  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sharon E. Williams*

BUILDING SECTION,  
WALL SECTIONS

1-14-04  
11-6-03  
10-3-03

4

LITTLE + ARCHITECTS  
13518 Royal Clement Court  
Montclair, Virginia 22061  
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MCPHERSON RESIDENCE  
10213 MONTGOMERY AVENUE  
KENSINGTON, MARYLAND 20895

21/10/03 (M)

**STRUCTURAL NOTES**

LIVE LOADS: Floor 40 p.s.f., roof 30 p.s.f., deck 60 p.s.f.

CONSTRUCTION SAFETY: Loads greater than the applicable design loads shall not be placed on the structure. Provisions shall be made for adequate bracing and support of adjacent construction, utilities and excavations. Job site safety and construction procedures are the responsibility of the contractor.

FOUNDATION BEARINGS: Assumed at 2,400 p.s.f. field verification to be made by a qualified Soils Engineer prior to placing foundations. If excavation shows soil to be other than assumed, foundations will be subject to redesign.

FOUNDATIONS: All foundations are to be placed on undisturbed soil not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finished exterior grade. Utility lines shall not be placed through, or below foundation without the Structural Engineer's approval. Maintain 1:2 slope from bottom edge of footing to the bottom of any adjacent excavation. All excavations to be approved by proper authorities prior to the placing of foundations.

BACKFILL: All backfill shall be accomplished using material consisting of bank run gravel, crushed stone and/or material approved by the Soils Engineer, from site excavation with optimum moisture content for compacting and shall be free of any debris. The backfill shall be compacted to 95% of maximum density as determined by A.S.T.M. D698 Standard Proctor Test. No backfill material shall be placed against walls without provisions for adequate bracing of these walls.

CONCRETE: To be mixed and placed in accordance with the current "American Concrete Institute (A.C.I.) Building Code Requirements for "Reinforced Concrete". A copy of this code shall be available on the project at all times. All concrete to have a compressive strength (f'c) of 3,000 p.s.i., unless otherwise noted. All concrete exposed to the weather to have a compressive strength of f'c=4,000 p.s.i. (air entrained).

REINFORCING STEEL: Shall conform to ASTM Specification A615, Grade 60 for bars and ASTM Specification A185 for welded wire mesh (W.W.M.). Fabrication, including accessories, allowance for concrete protection and minimum area of steel required, to be in accordance with the A.C.I. Building Code and Manual of Standard Practice.

MASONRY: All masonry construction to be in accordance with 1972 "Specifications for Design and Construction of Load-Bearing Concrete Masonry" by the National Concrete Masonry Association, "The American Standard Building Code for Masonry" as approved by the American National Standards Institute (A.N.S.I.) and recommended "Building Code Requirements for Engineered Brick Masonry" by Brick Institute of America (BIA) 1969. Bearing walls, partitions and piers to consist entirely of load bearing units conforming to ASTM C90, C145, C55, C62 or C216. Provide a minimum of 24" depth and 16" length of 100% solid masonry below bearing ends of beams, and a minimum of 8" depth and 4" continuous length of 100% solid masonry at joist, slab or deck bearing. Except as required above or unless noted "100% solid" on plans, solid masonry may be load bearing units having a net cross-sectional area of 75% or more of its cross-sectional area (ASTM C-145), all masonry to be laid in Type S mortar (1800 p.s.i. on the job) with full head, collar and bed joints. Fill collar joint solid. Wall sections and piers less than 4 square feet in cross-sectional area to be of solid masonry. All piers and partitions to be bonded to adjacent masonry walls. All bonding to be in accordance with A.N.S.I. Specifications. Contractor to provide required bracing and support for all masonry work until permanent construction is in place. See specifications and details for general control joint requirements. Provide truss type horizontal joint reinforcing at 16" on center vertically in all walls.

WOOD BEARING WALLS- EXTERIOR AND INTERIOR: 2 x 6 "s @ 16" o.c. typical with double top plate.

WOOD NON BEARING WALLS - INTERIOR: 2 x 4"s @ 16" o.c. typical.

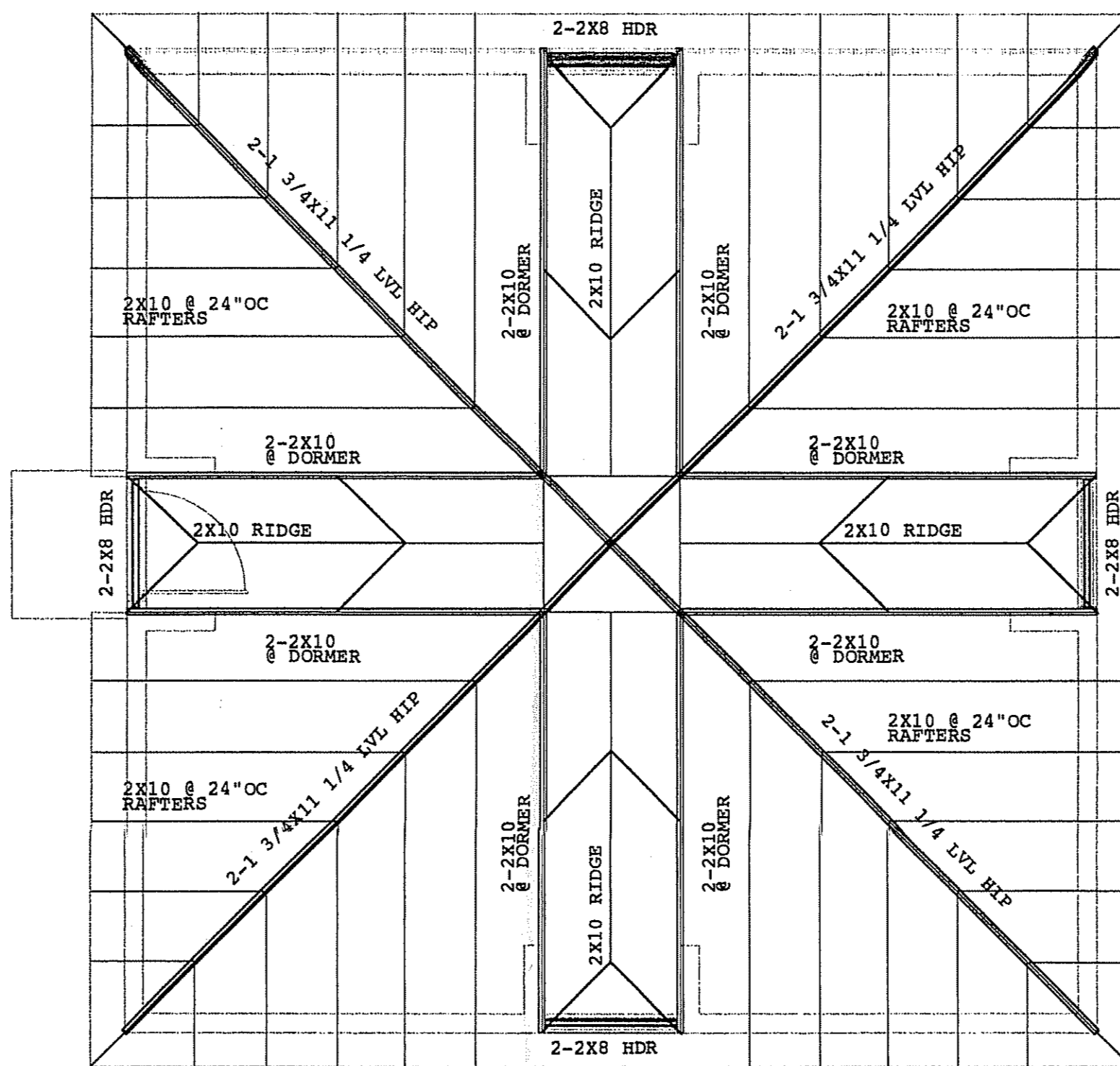
FRAMING LUMBER: All framing, including floor and roof sheathing, to be in accordance with the standards and specifications of the American Institute of Timber Construction (A.I.T.C.). Framing lumber shall be as follows: Studs: SPF stud grade; Joist and Headers: Hem fir #2 or better. Laminated Veneer Headers: Fb 2900 or better. All lumber shall be graded in accordance with the applicable grading rules and shall be surfaced on four sides. Members shall be set with crown up and have a minimum of 4" bearing on masonry. Member framing to beams, headers, etc., shall be secured with approved framing anchors, unless otherwise noted or shown. All joists and rafters shall be rigidly bridged at intervals not exceeding 8 feet with metal bridging. Unless otherwise noted, all studs, in bearing wall, to be bridged (with solid members) at mid height.

**FLOOR CONSTRUCTION:**

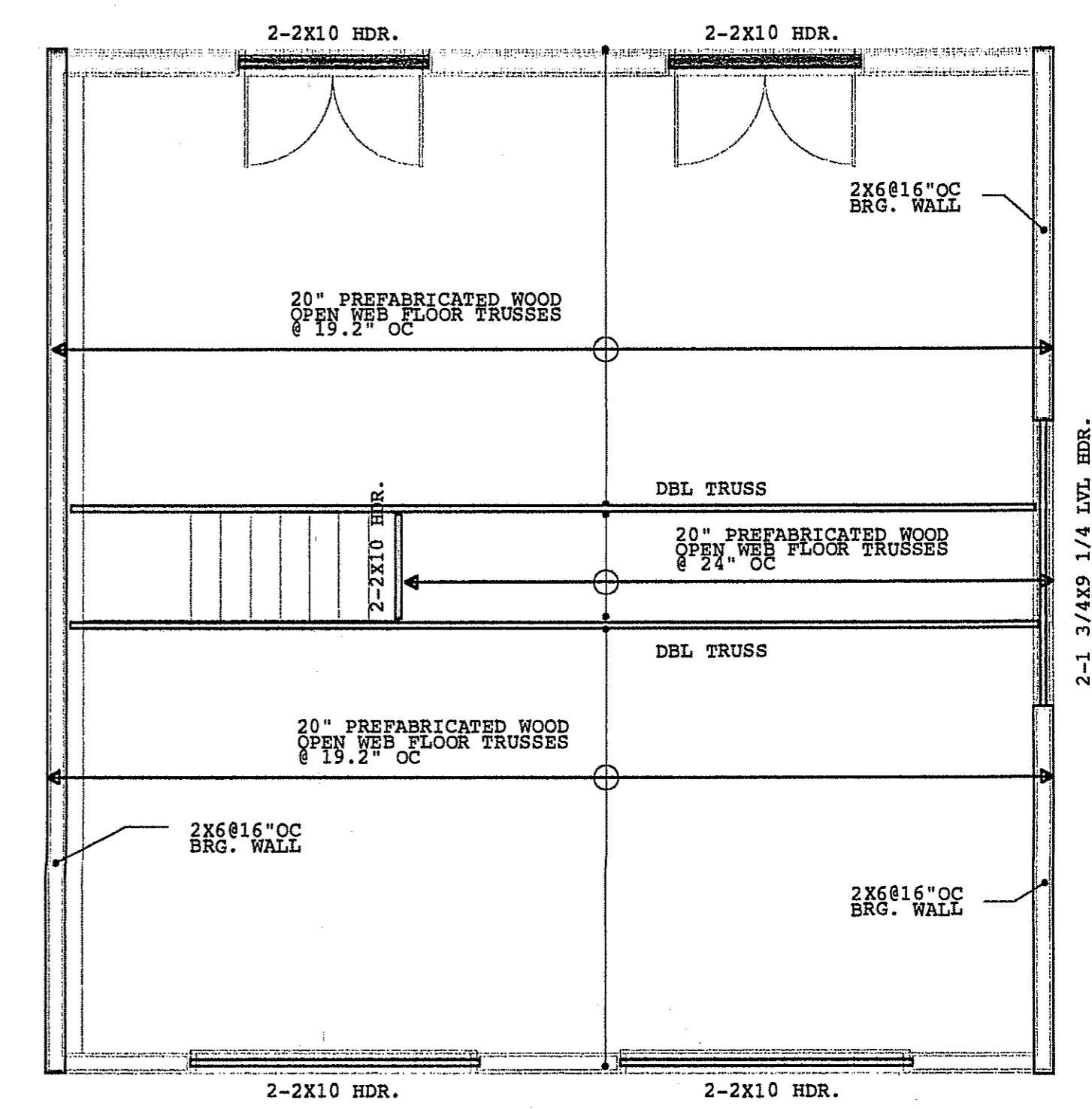
1. Floor trusses to be 20" prefabricated wood open web trusses @ 19.2" OC. Install and brace in accordance with manufacturer's recommendations.
2. OSB subfloor to be 3/4" thick with APA grade trademark, identification index of 48/24.
3. All OSB subfloor to have tongue and groove edges.
4. Apply OSB to floor joist with 6d deformed shank or coated 8d box nails at 12" on center. Site applied glue (conforming to APA Specification AFG-01)\* to be placed at both joist and tongue and groove joint \*Example - B. F. Goodrich General Products PL-400.
5. Leave 1/16" space at all end joints and 3/32" at edge joints.
6. Provide bridging, maximum spacing of 8'-0" on center, shall be installed between joist.
7. Provide a double joist (D.J.) under partition walls extending 1/2 or more of the joist span.

**ROOF CONSTRUCTION:**

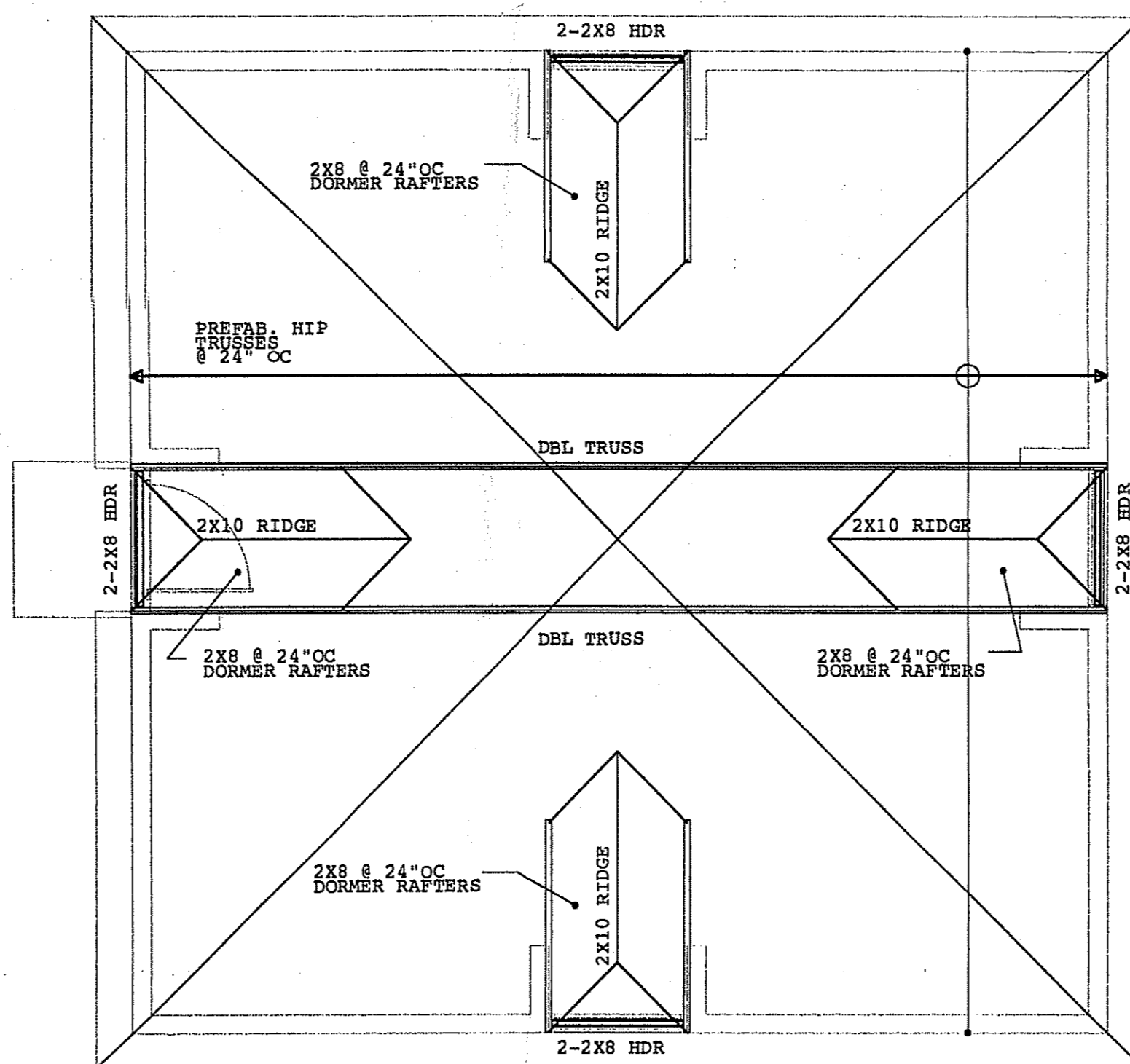
1. Roof joists to be 2 x 10"s @ 24" OC. Alternate roof framing to be prefabricated wood hip trusses @ 24" OC.
2. OSB roof sheathing to be 5/8" thick T&G with APA grade trademark identification index of 20/0 and T&G.
3. OSB shall be fastened to structural members with 6d common or better at 6" on center at panel points and 12" on center at intermediate points. Site applied glue (conforming to APA Specification AFG-01)\* to be placed at both truss and tongue and groove joint \*Example - B. F. Goodrich General Products PL-400.
4. Blocking of unsupported edges of roof sheathing shall be by means of special corrosion resistant metal "H" clips designed for this purpose.



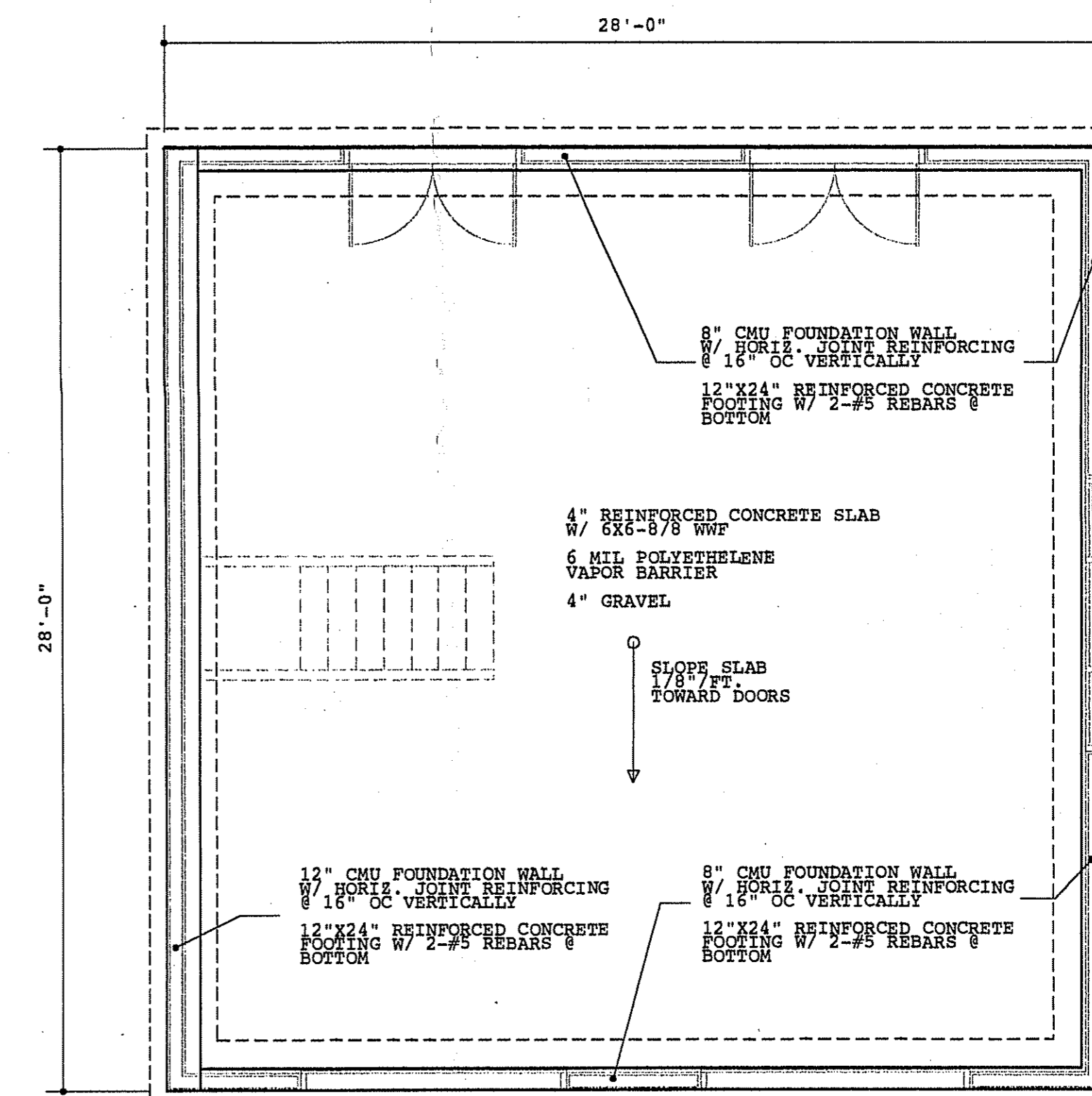
**2 ROOF FRAMING PLAN**  
1/4" = 1'-0"



**3 FLOOR FRAMING PLAN**  
1/4" = 1'-0"



**4 ALT. ROOF FRAMING PLAN**  
1/4" = 1'-0"



**5 FOUNDATION PLAN**  
1/4" = 1'-0"

**1 STRUCTURAL NOTES**

**MCPHERSON RESIDENCE**  
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Facsimile 703 893 9933

**LITTLE**

**FRAMING PLANS**

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
01/10/03

1-14-04  
10-3-03

**5**