

HPC #31/06-03I 10312 Kensington Pkwy
(Kensington Historic District)



Date: 11/07/03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application – Approval

Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: October 23, 2003

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit # 316364

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Bruce Caswell and Lauren Deichman

Address: 10312 Kensington Parkway, Kensington Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



DEPARTMENT OF PERMITTING SERVICES
555 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-4370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Lauren Deichman
Daytime Phone No.: 301 942 5225

Tax Account No.: _____
Name of Property Owner: Bruce Caswell & Lauren Deichman Daytime Phone No.: 301 942 5225
Address: 10312 Kensington Pkwy Kensington MD 20895
Street Number City Street Zip Code
Contractor: Dennis LeJeune Phone No.: 301 421 1006
Contractor Registration No.: 67838
Agent for Owner: _____ Daytime Phone No.: _____
Address: _____

LOCATION OF BUILDING/PREMISE
House Number: 10312 Street: Kensington Parkway
Town/City: Kensington Nearest Cross Street: Howard Ave/Montgomery Ave
Lot: 1 Block: 3 Subdivision: _____
Liber: 8805 Folio: 533 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Kitchen wall / windows

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lauren Deichman
Signature of owner or authorized agent

Aug. 18, 2003
Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Jason C. Delaney Date: 10/7/03
Application/Permit No.: 316364 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Area involved is the west side of the kitchen, in the rear of our home. Relocating our basement staircase has left the previous stairwell behind the kitchen wall available for kitchen expansion. None of the impacted areas, including much of the exterior wall, is original to the house. We would like to add a bay window to the west kitchen wall both for aesthetic reasons and to gain more livable space.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would entail removal of portions of the exterior wall and one window (neither original features), construction of bay framework, and installation of new wood windows in styling consistent with the rest of the house. Existing siding would be removed and reinstalled. New bay window structure would echo existing bay in livingroom with minimal disruption of historical materials.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

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4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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6. TREE SURVEY

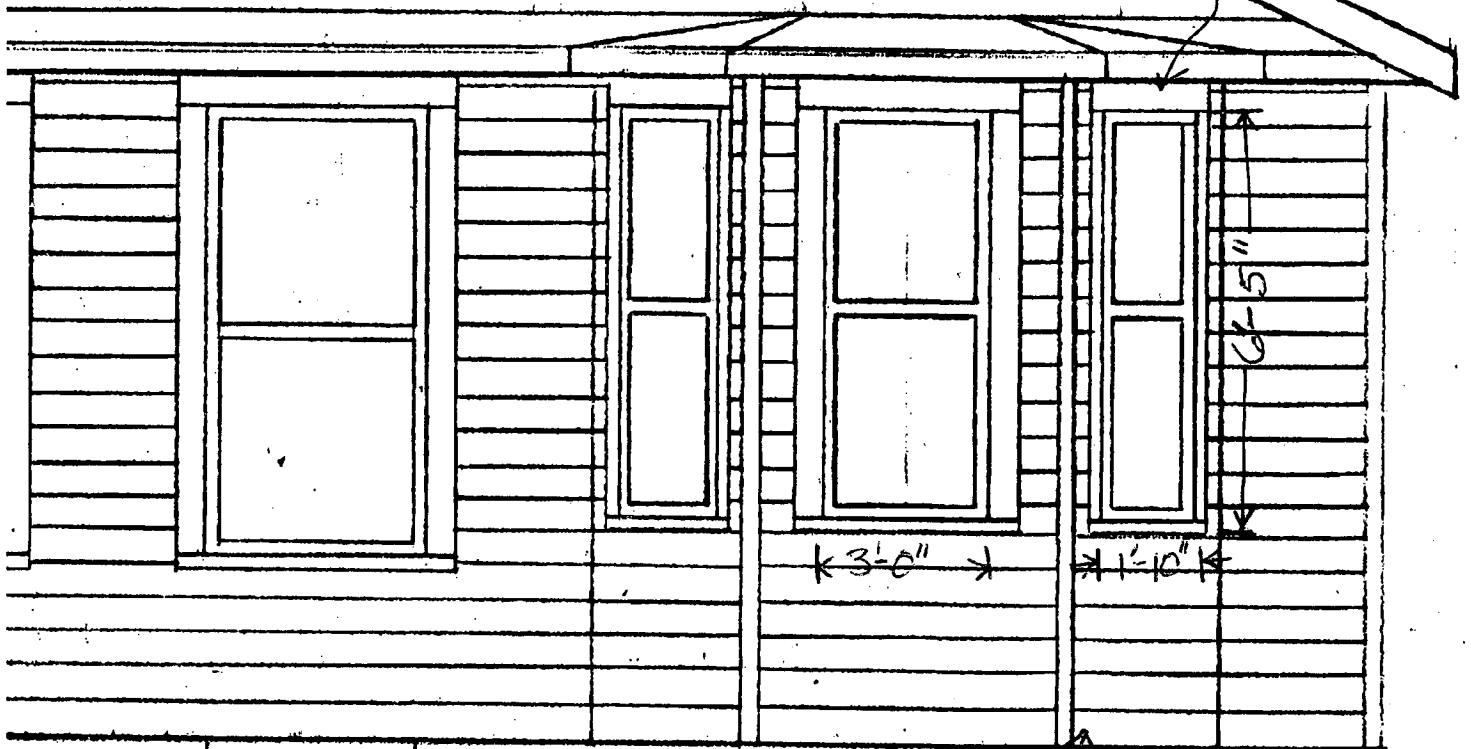
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

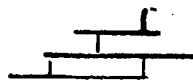
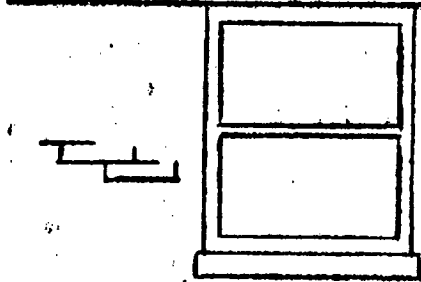
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

DBL 2x4 HEADERS ABOVE ALL OPENINGS



DBL. 2X10 BAND BOARD

NEW WINDOW BAY

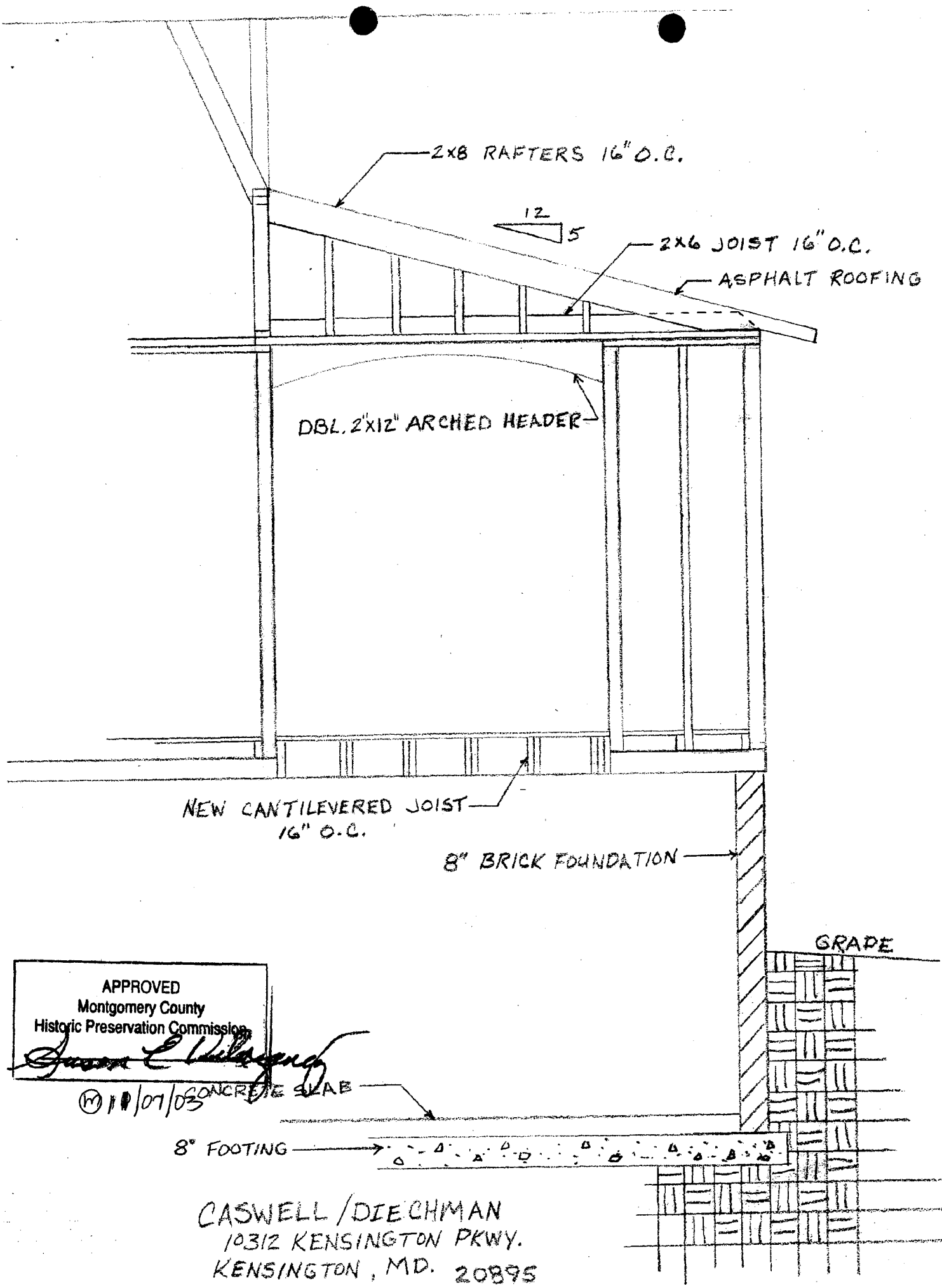


APPROVED
Montgomery County
Historic Preservation Commission

CASWELL/DIECHMAN
10312 KENSINGTON PKWY.
KENSINGTON, MARYLAND

11/07/03

20895



DBL. 2'x12" ARCHED HEADER

NEW CANTILEVERED JOIST
16" O.C.

8" BRICK FOUNDATION

GRADE

APPROVED
Montgomery County
Historic Preservation Commission

Juan C. Delgado

© 11/07/03

CONCRETE SLAB

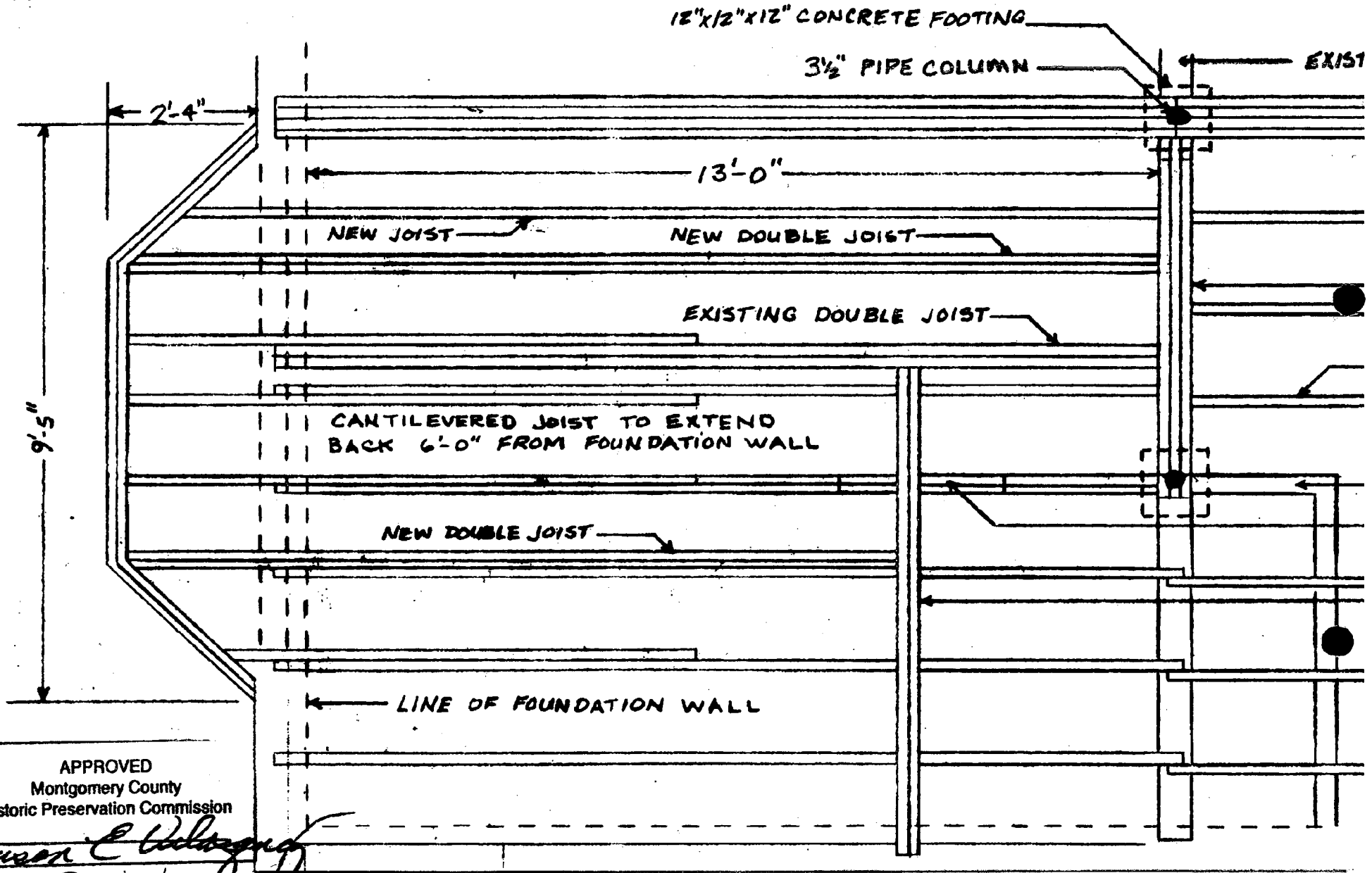
8" FOOTING

CASWELL/DIECHMAN
10312 KENSINGTON PKWY.
KENSINGTON, MD. 20895

CASWELL/DIECHMAN
10312 KENSINGTON PKWY.
KENSINGTON MD. 20895

FLOOR FRAME DETAIL

SCALE 1/2" = 1'



APPROVED
Montgomery County
Historic Preservation Commission

Juan C. Rodriguez
11/07/03



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
555 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

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Street Number City State Zip Code
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lauren Deichman Signature of owner or authorized agent Aug. 18, 2003 Date

Approved: X For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Juan C. Valenzuela Date: 10/7/03
Application/Permit No.: 316364 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10312 Kensington Pkwy, Kensington	Meeting Date: 09/10/03
Resource: Kensington Historic District	Report Date: 09/03/03
Review: HAWP	Public Notice: 08/27/03
Case Number: 31/06-03I	Tax Credit: None
Applicant: Bruce Caswell and Lauren Deichman	Staff: Michele Naru
PROPOSAL: Bay Window Installation	RECOMMEND: Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Outstanding Resource in Kensington Historic District.
STYLE: Dutch Colonial Revival
DATE: 1880-1910

This 1-1/2 story, three-bay frame dwelling is an outstanding resource located within the Kensington Historic District. The house is sited on a triangular lot at the intersection of Montgomery Avenue and Kensington Parkway. The house has a gambrel roof ornamented with a central brick chimney. The walls are clad in clapboard covered with vinyl siding. The front façade is detailed with a full-width front porch supported by Doric columns set upon brick piers. The side elevation, which faces Montgomery Avenue, is detailed with a projecting bay. Alterations to the original main block of the house include reconfigurations of the rear and west elevations.

PROPOSAL:

The applicant is proposing to install a projecting bay window on the west, side elevation of the house. The proposed bay is designed to be proportionate, not replicative of the existing bay window located on the front portion of the west, side elevation (see west elevation drawing on Circle 7)

The material specifications for this project include the re-use of the existing vinyl siding and the installation of new; wood single-light, double hung windows.

STAFF DISCUSSION

Proposed alterations to Outstanding Resources within the Kensington Historic District are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed changes to the building are to be located at the rear of the existing west, side elevation. It has been established that there have been several modifications to this section of the building – possibly even an expansion. Since alterations have occurred in this location, staff feels that the proposed alteration would not negatively impact the historic integrity of the building. The proposed design is respectful of the original structure and is in keeping with the style and design intent of the original house.

The **Kensington LAP** has not responded to the HAWP application at the time this report was prepared.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #9 and #10:

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New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
553 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240777-6370

DPS - #8 *IE*

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Signature of owner or authorized agent

Aug. 18, 2003
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
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4

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Lauren Deichman
Bruce Caswell
10312 Kensington Parkway
Kensington MD 20895

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Lucia & John Rather
10308 Montgomery Ave.
Kensington MD 20895

Doug & Mary Donatelli
10400 Montgomery Ave.

Connie & Ed Kelly
10304 Kensington Parkway

Jeff & Gloria Capron
10304 Montgomery Ave.

Lorraine Kennedy
10303 Montgomery Ave

g:addresses' noticing table.

5

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

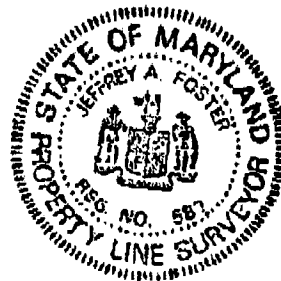
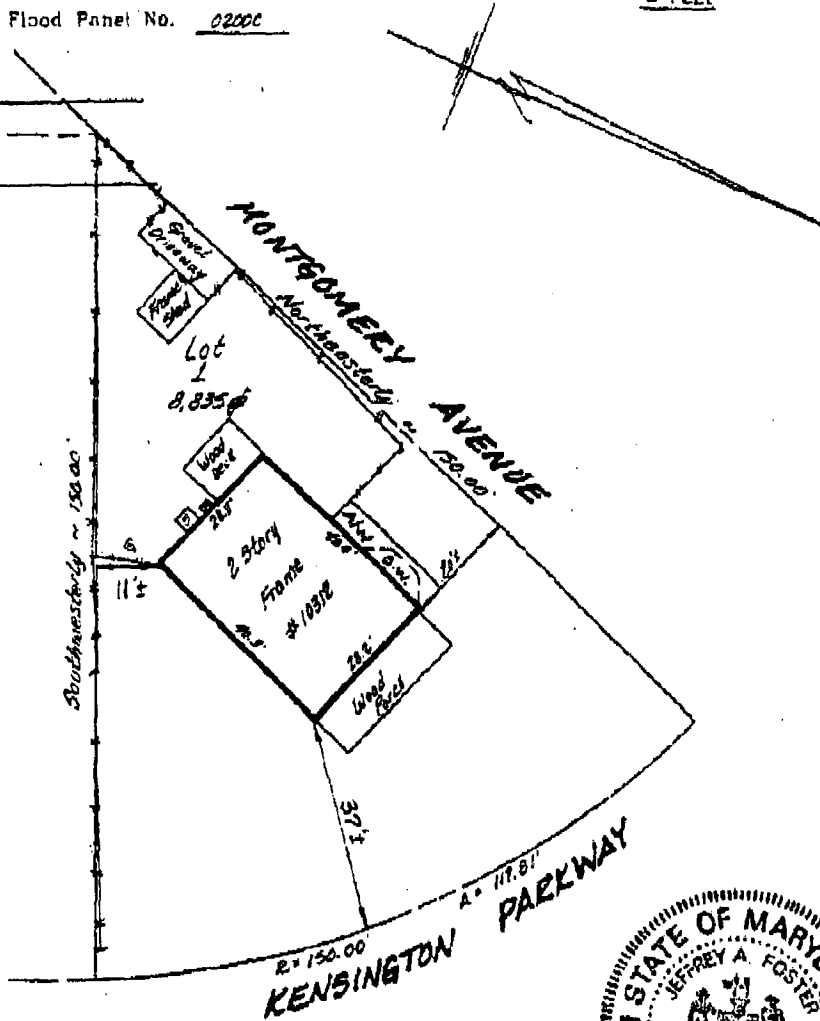
Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus **2 FEET**

Flood Zone "C" per H.U.D. Flood Panel No. 0200C


BRUCE L. CASWELL

LAUREN C. DEICHMAN
June 26, 1996

Lot
e



LOCATION DRAWING
LOT 1 BLOCK 3
KENSINGTON PARK
MONTGOMERY COUNTY, MARYLAND

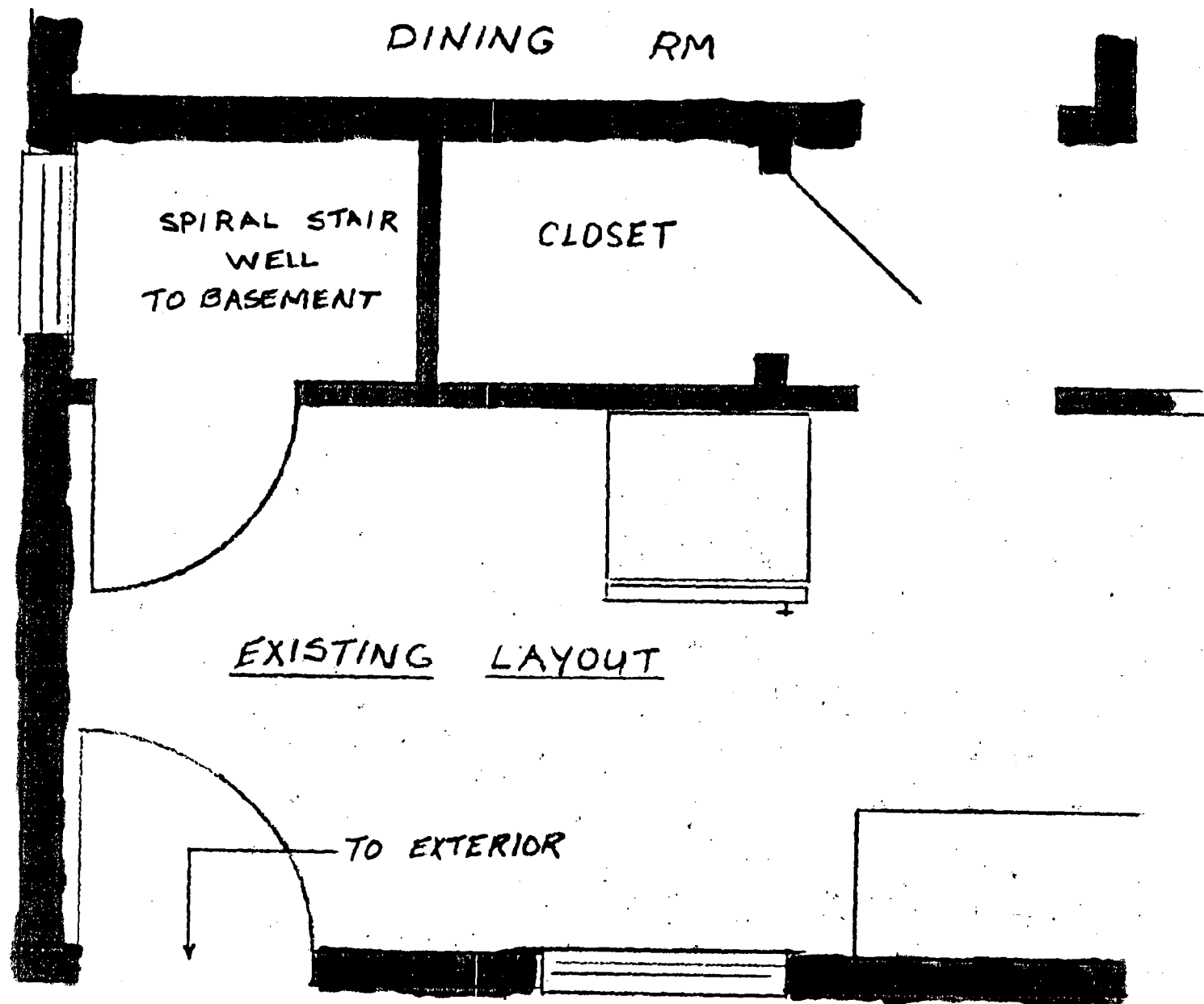
SURVEYOR'S CERTIFICATE	REFERENCES	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 210 Gaithersburg, Maryland 20878 301/948-8100. Fax 301/948-1388	
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."	PLAT BK. 0 PLAT NO. 4	DATE OF LOCATIONS	SCALE: 1"=50'
Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 567	LIBER 8805 FOLIO 538	WALL CHECK:	DRAWN BY: PDB
		HSE. LOC.: 6-3-96	JOB NO.: 96-1690

6



NEW WINDOW BAY

7



(8)

CANTILEVERED
WINDOW BAY

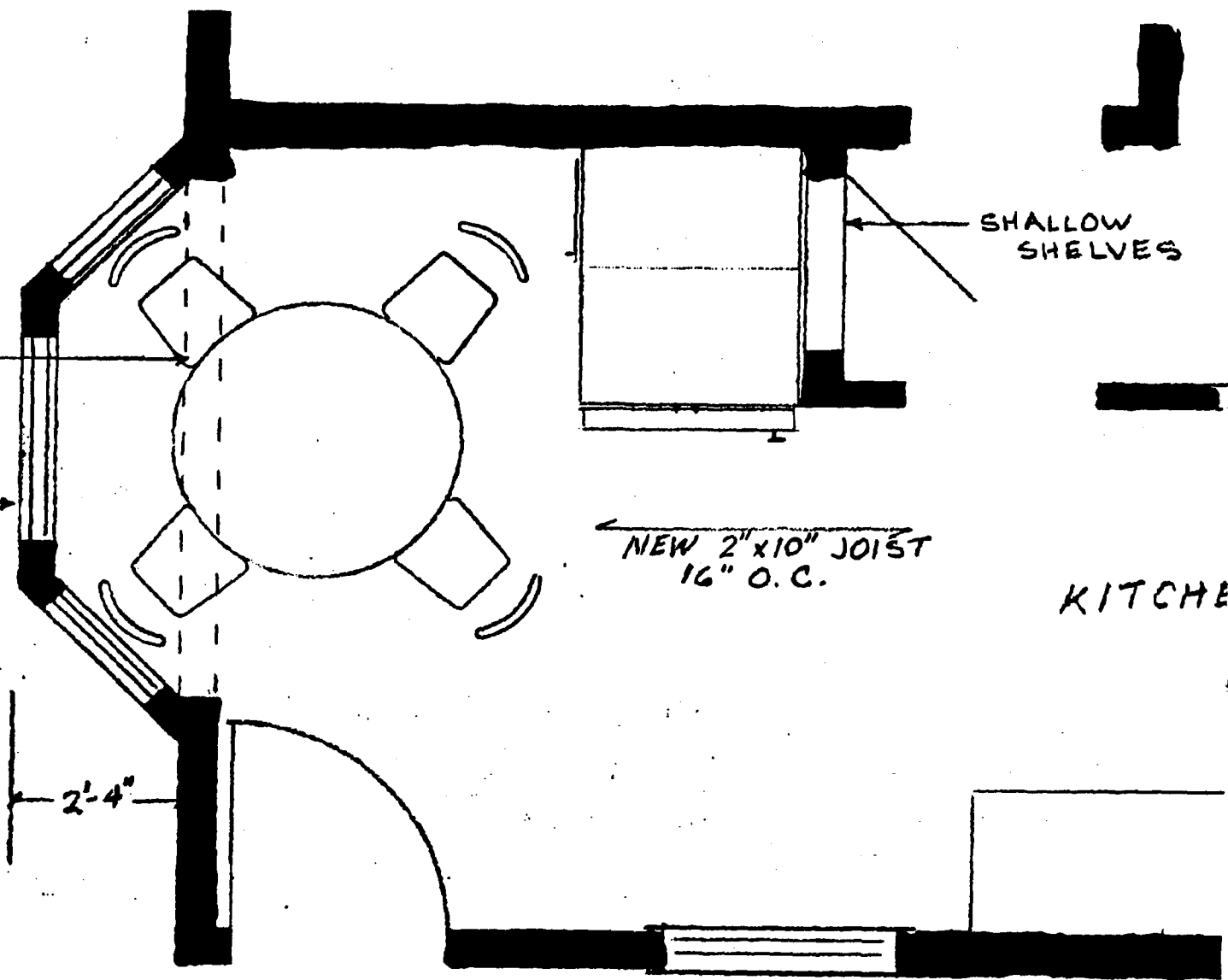
DBL. 2x8 HEADER

ANDERSEN
3656
400 series,
double hung

SHALLOW
SHELVES

NEW 2"x10" JOIST
16" O.C.

KITCHEN



2'-4"

9

CANTILEVERED
WINDOW BAY

DBL. 2x8 HEADER

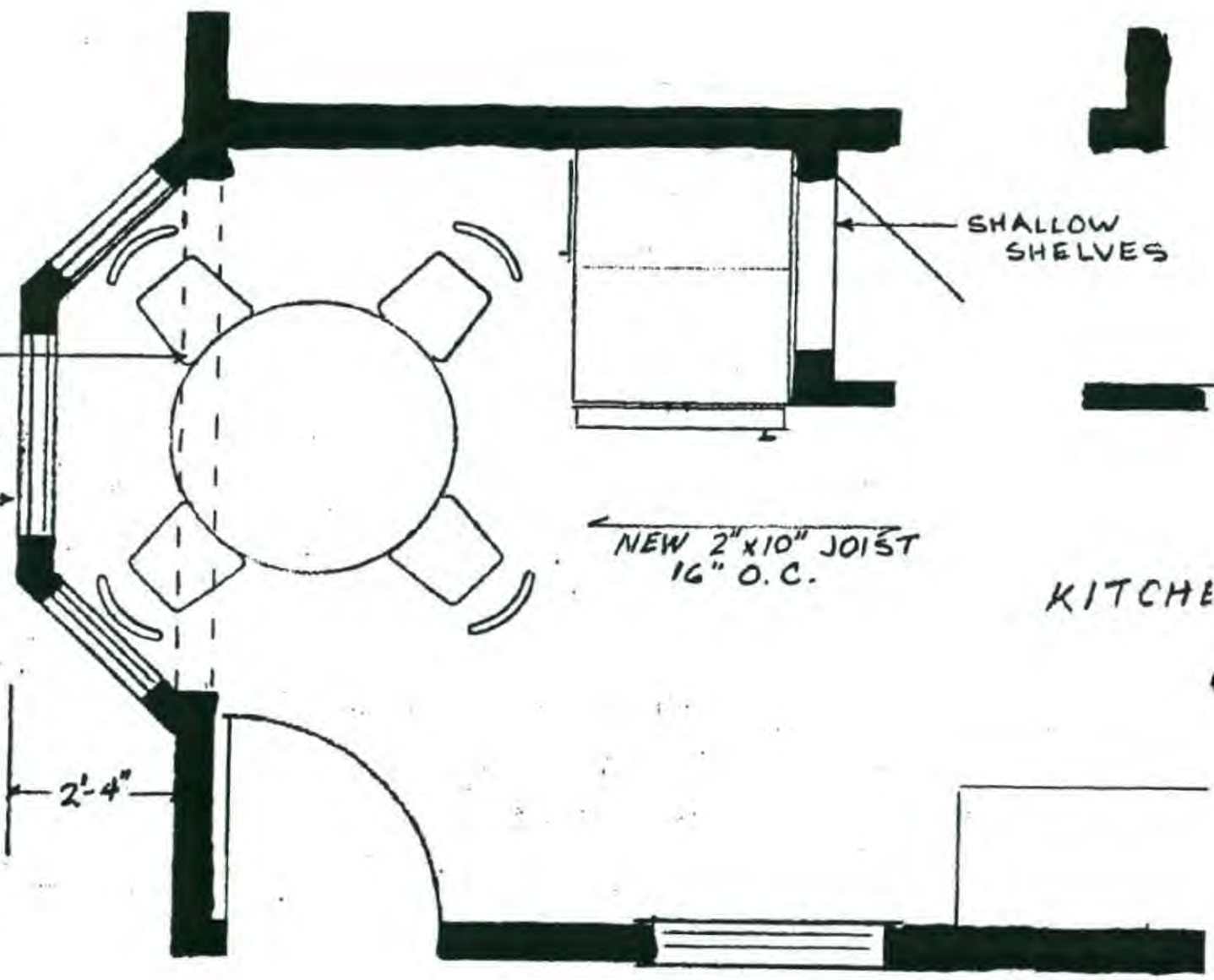
ANDERSEN
3656

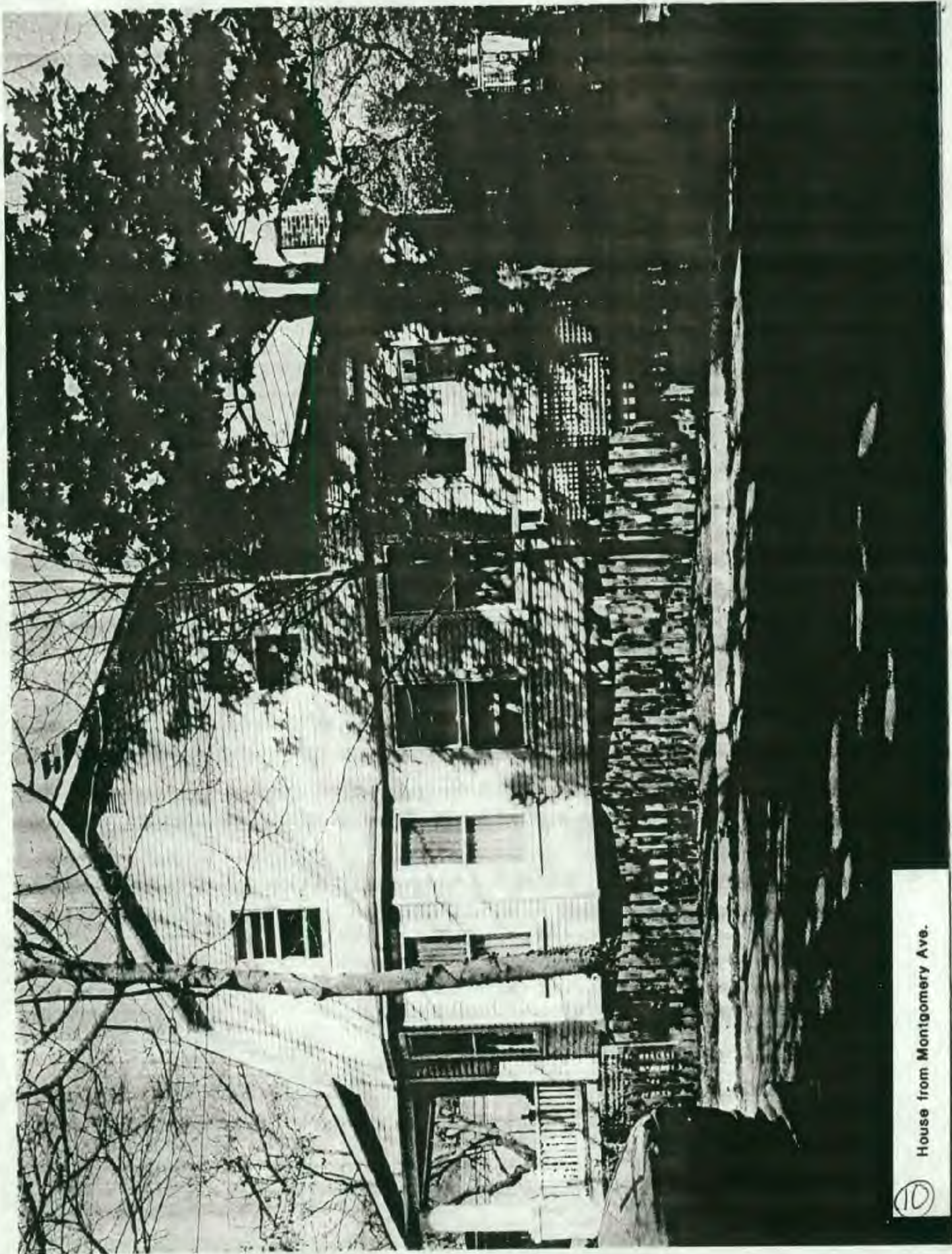
400 series,
double hung

SHALLOW
SHELVES

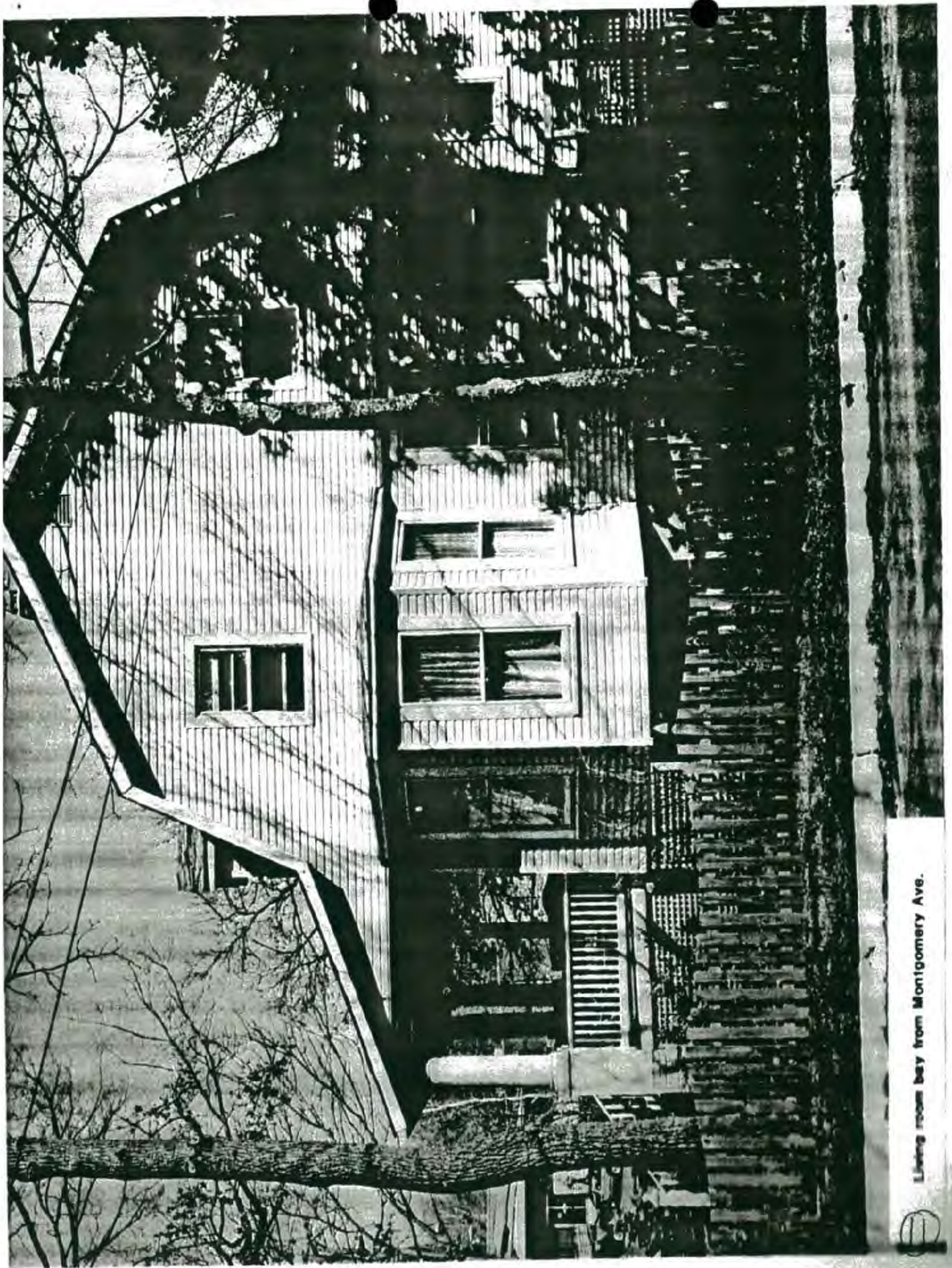
NEW 2"x10" JOIST
16" O.C.

KITCHEN





House from Montgomery Ave.



Living room bay from Montgomery Ave.



Exterior kitchen wall from Montgomery Ave.

(12)



CANTILEVERED
WINDOW BAY

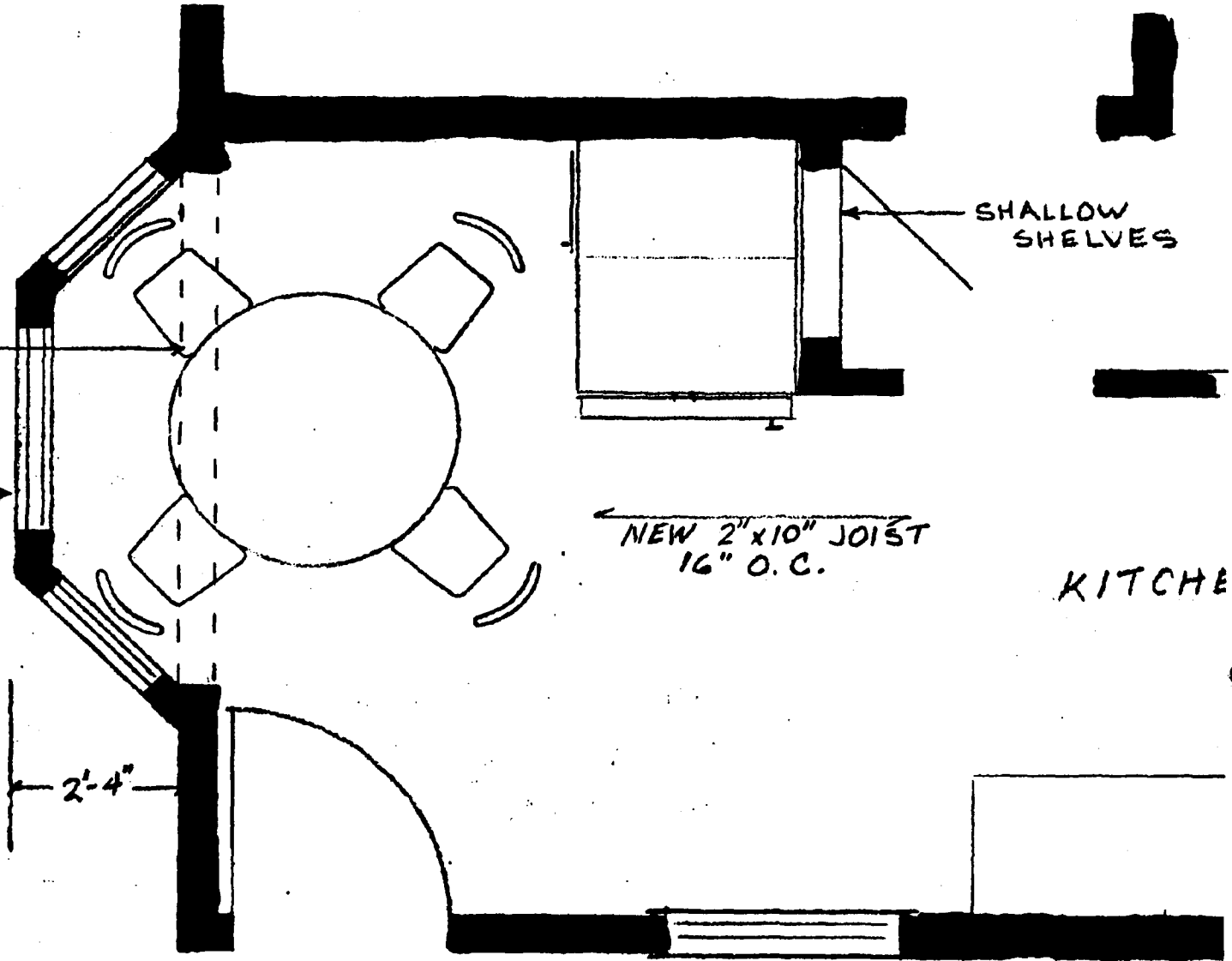
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SHALLOW
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KITCHEN



2'-4"

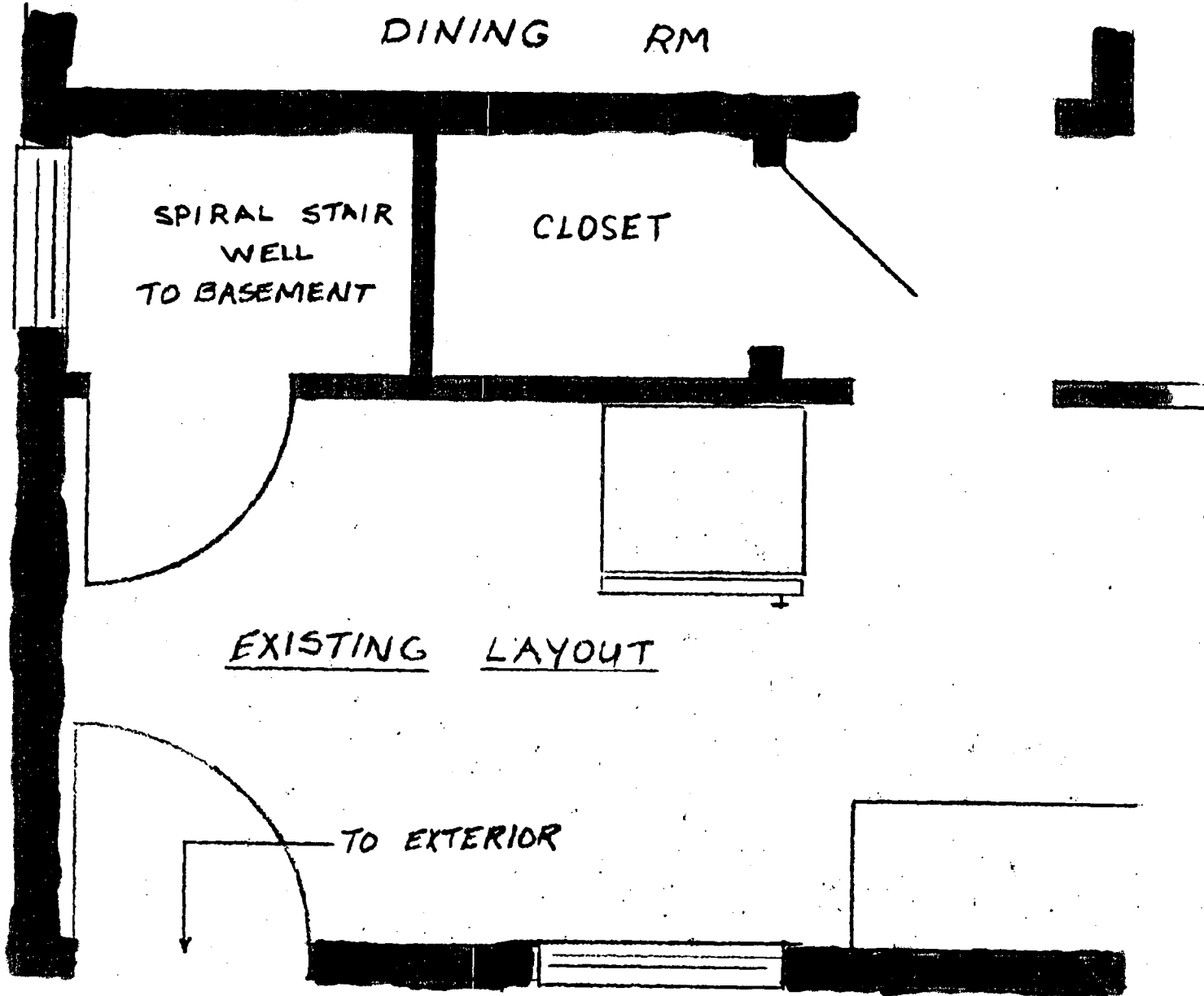
DINING RM

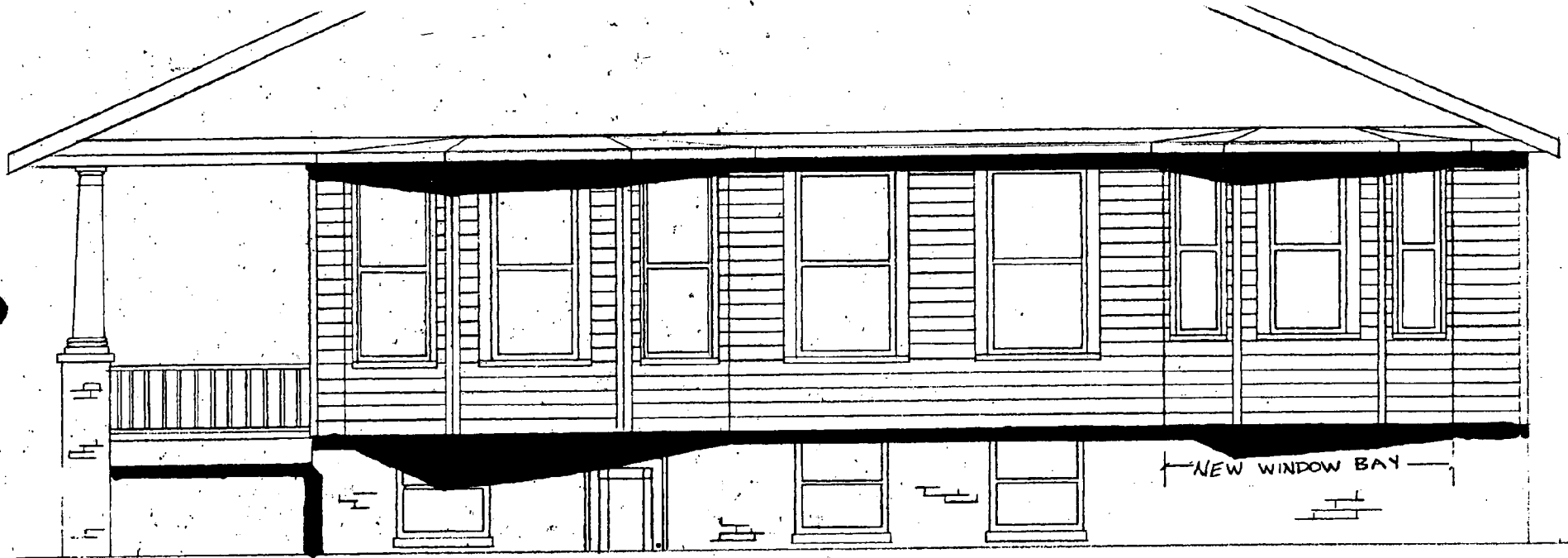
SPIRAL STAIR
WELL
TO BASEMENT

CLOSET

EXISTING LAYOUT

TO EXTERIOR





NEW WINDOW BAY

INSTRUCTIONS FOR FILING A HISTORIC AREA WORK PERMIT APPLICATION

All applications for proposed exterior work involving properties listed on the Montgomery County Master Plan for Historic Preservation, either as individual historic sites or as properties within a historic district, require the approval of the Montgomery County Historic Preservation Commission (HPC).

The HPC, staffed by Historic Preservation Planners who work at M-NCPPC, reviews proposals for new construction, demolition, and exterior alterations through the mechanism of the Historic Area Work Permit (HAWP) process. You are encouraged to discuss proposals for major work with the staff in advance of filing a HAWP. For information or to make an appointment, call the HPC staff at M-NCPPC: (301) 563-3400.

The HAWP Application Process

***** HAWP applications are obtained from and returned to the Department of Permitting Services (DPS), 255 Rockville Pike, Rockville, (240) 777-6370. The application requirements depend on the nature of the proposed project and are listed on the attached checklist. Your application must be complete before it will be accepted by DPS staff. DO NOT FILE YOUR APPLICATION AT M-NCPPC!

Typically, HPC public meetings are held on the second and fourth Wednesdays of each month. The firm deadline for filing a HAWP is the Wednesday three weeks prior to each meeting. You are notified by mail of the scheduled meeting date, time, and location, and are normally expected to attend.

Some historic districts have Local Advisory Panels (LAPs), groups of volunteer citizens which assist the HPC by reviewing HAWP applications and forwarding comments for the public record. Further information on Local Advisory Panels and their role in the HAWP review can be provided by the HPC staff. In addition, adjacent and confronting property owners, whose names and addresses are provided by you on the application, are notified by mail that you have filed a HAWP application.

Actions After HAWP Review Hearing

If the HPC approves the HAWP application, it is returned to DPS for issuance of the HAWP. Subsequently, a copy of the approved HAWP and the stamped plans are mailed to the property owner and must be presented to DPS officials in order to obtain a Building Permit.

If you are not satisfied with the decision of the HPC, you can submit a revised application or appeal the decision to the County Board of Appeals, which will hear the original application de novo (that is, starting fresh with a new hearing) and render its own decision.

Division of
Casework Management

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*			*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*		*
Driveway/Parking Area	*	*		*	*	*	*
Major Landscaping/Grading	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

PLEASE SEE ATTACHED INSTRUCTIONS FOR FURTHER DETAILS REGARDING THESE APPLICATION REQUIREMENTS.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs. All replacement materials must be match the original exactly and be of the same dimensions.

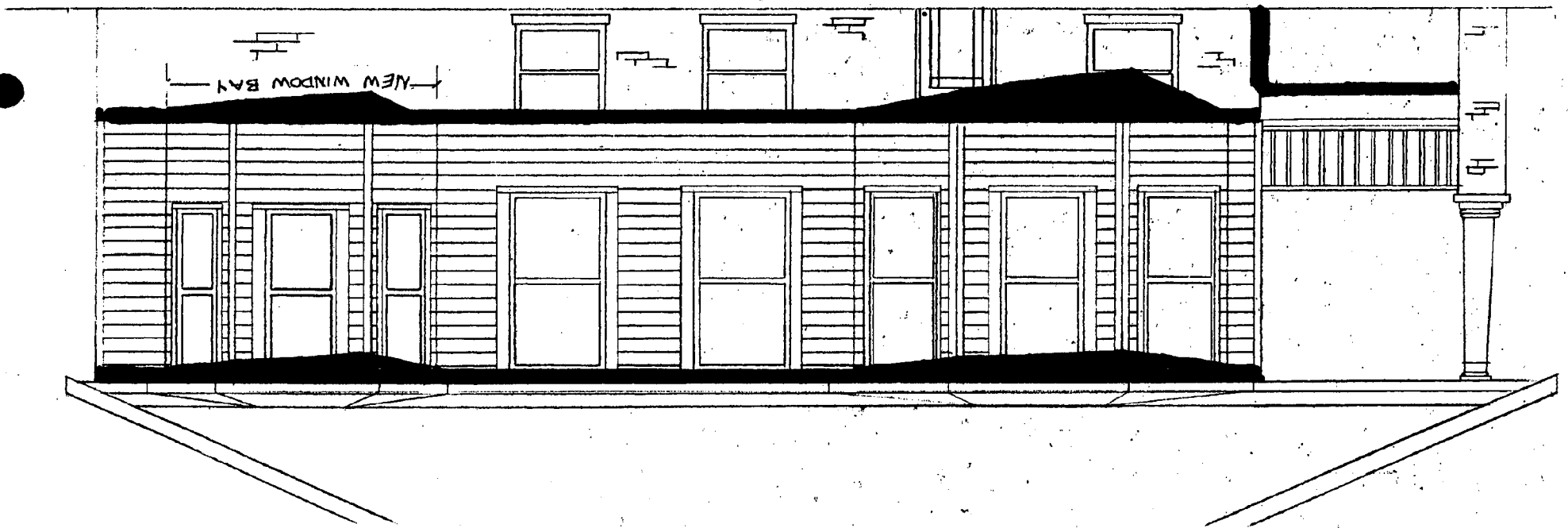
**ALL HAWPS MUST BE FILED AT DPS, 255 ROCKVILLE PIKE,
ROCKVILLE, MARYLAND, 20850.**

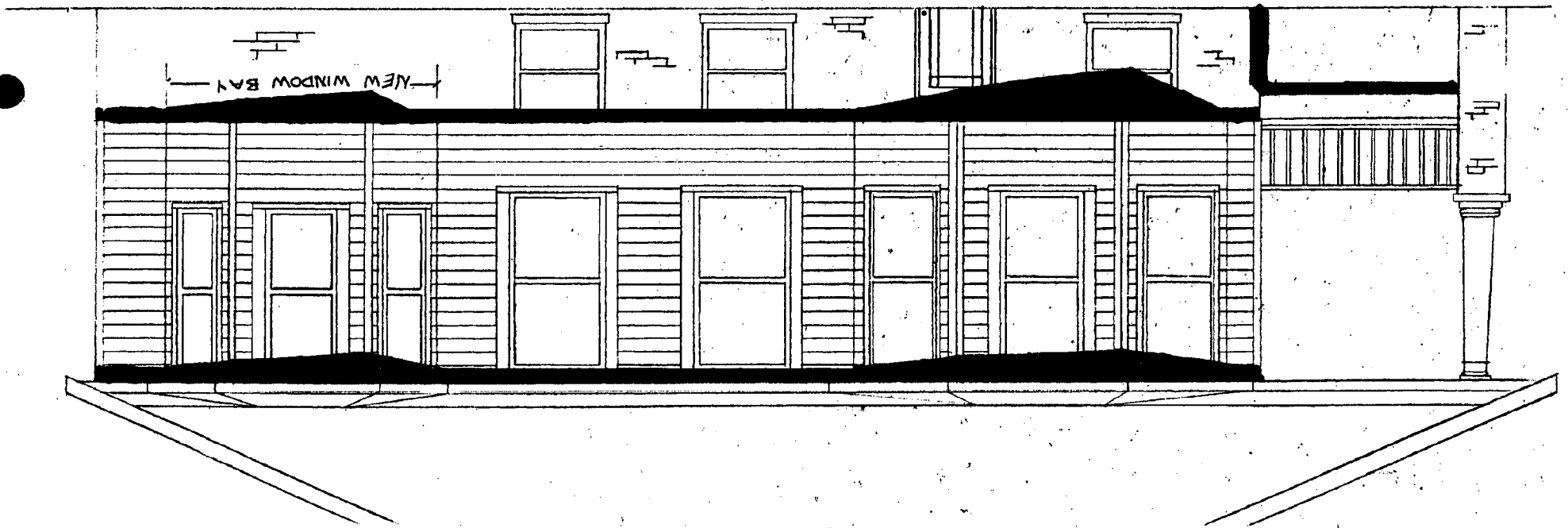
HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Lauren Deichman Bruce Caswell 10312 Kensington Parkway Kensington MD 20895	
Adjacent and confronting Property Owners mailing addresses	
Lucia & John Rather 10308 Montgomery Ave. Kensington MD 20895	Doug & Mary Donatelli 10400 Montgomery Ave.
Connie & Ed Kelly 10304 Kensington Parkway	
Jeff & Gloria Capron 10304 Montgomery Ave.	
Lorraine Kennedy 10303 Montgomery Ave	

g:\addresses\ noticing table





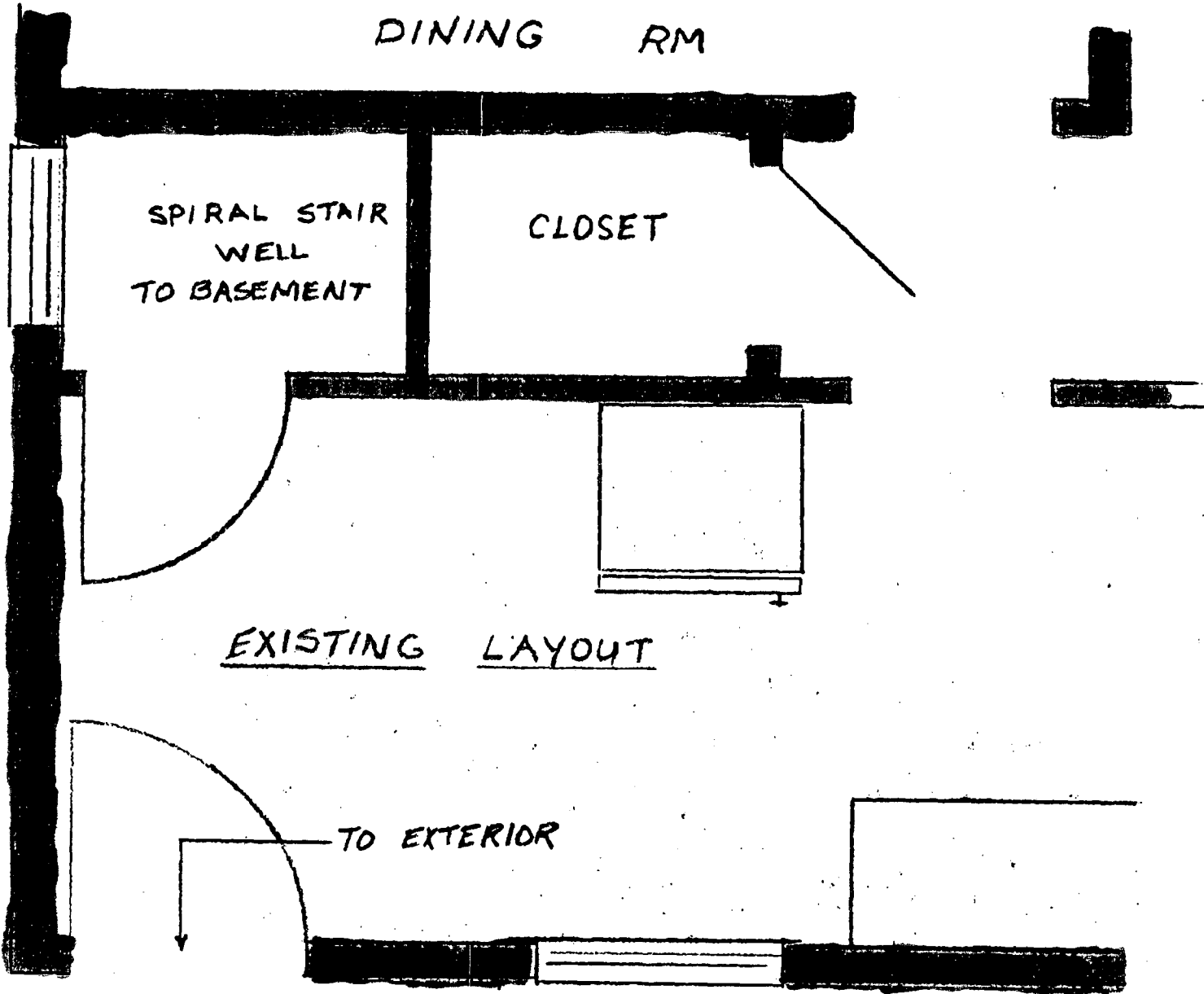
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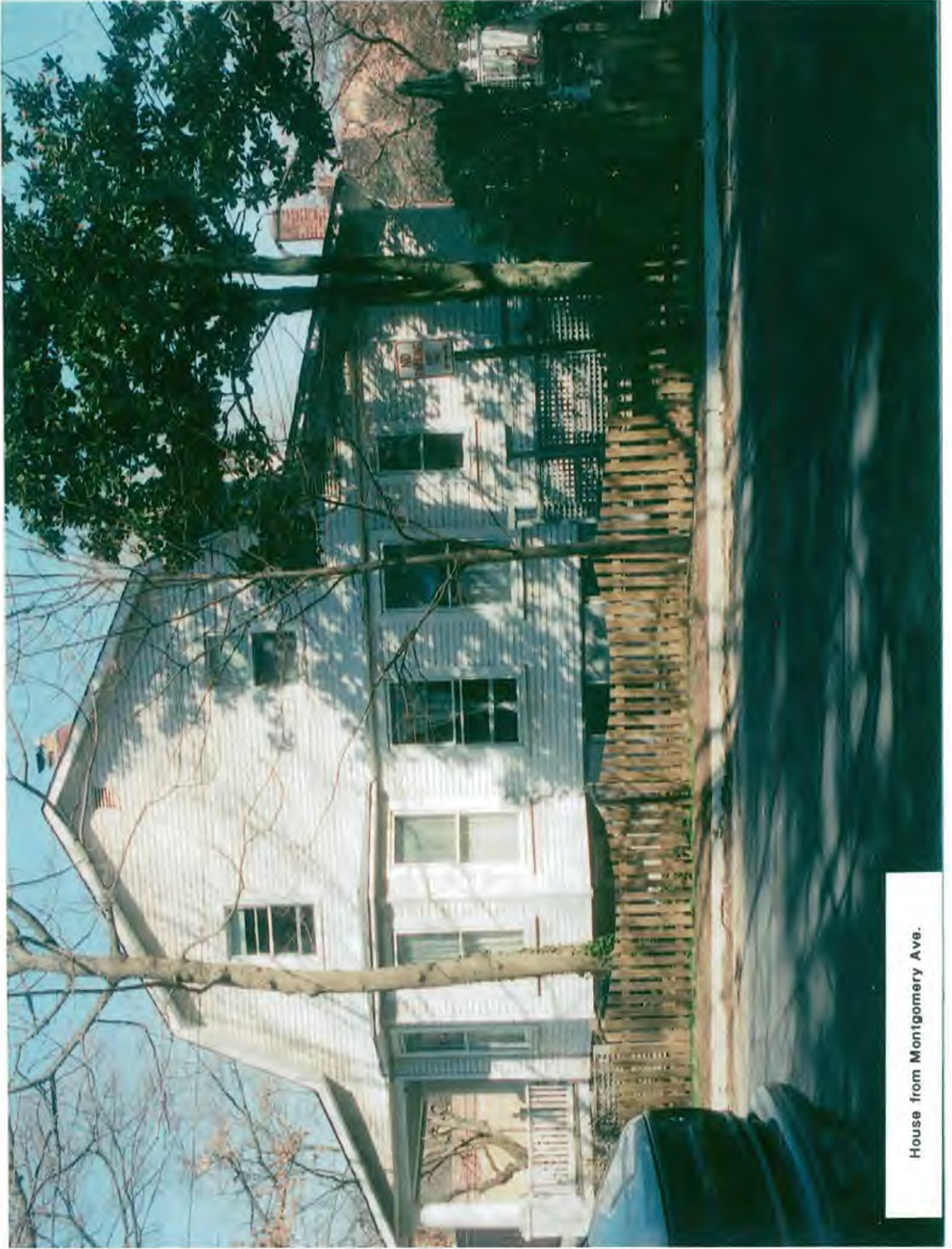
SPIRAL STAIR
WELL
TO BASEMENT

CLOSET

EXISTING LAYOUT

TO EXTERIOR





House from Montgomery Ave.



Living room bay from Montgomery Ave.



Exterior kitchen wall from Montgomery Ave.



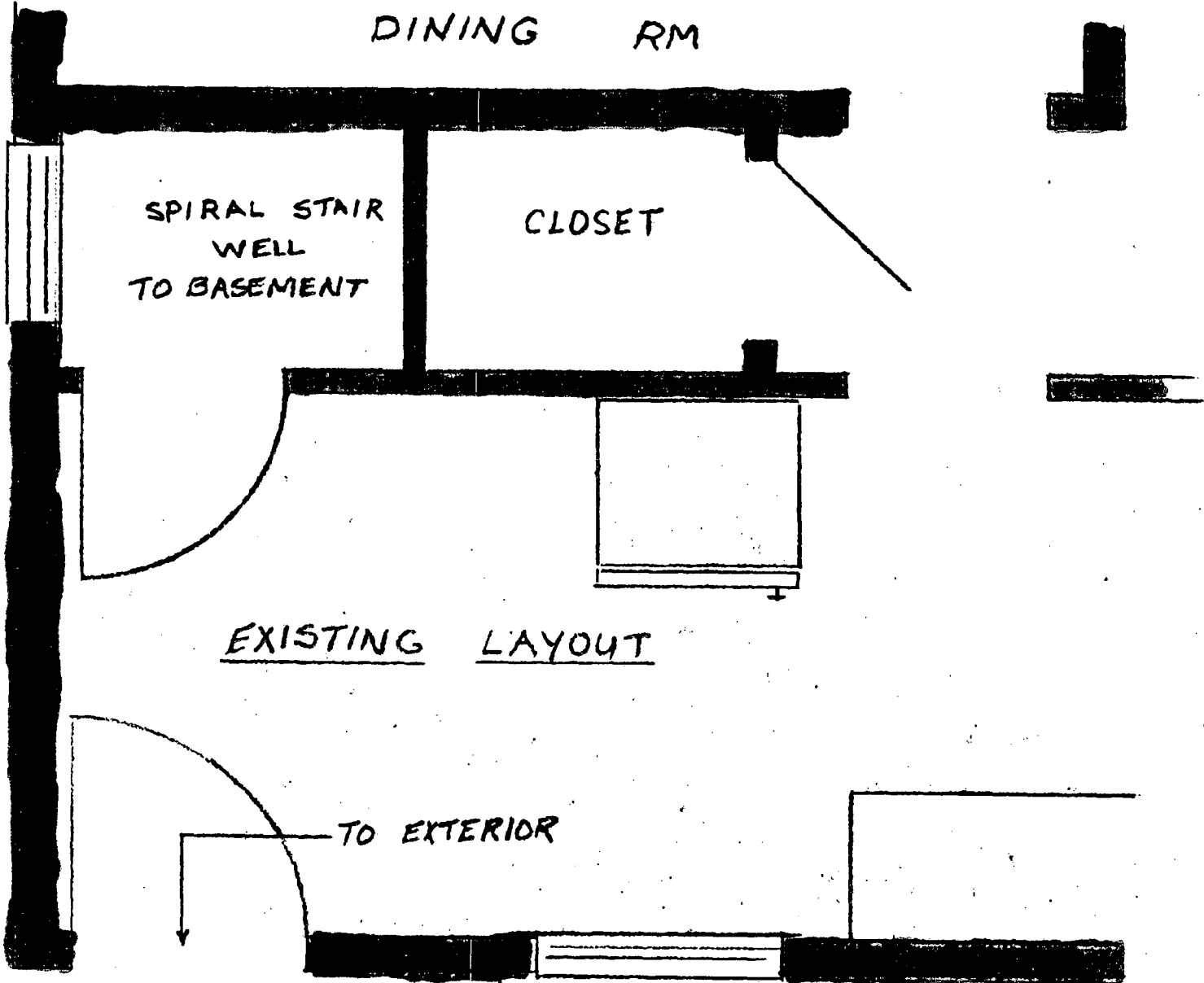
DINING RM

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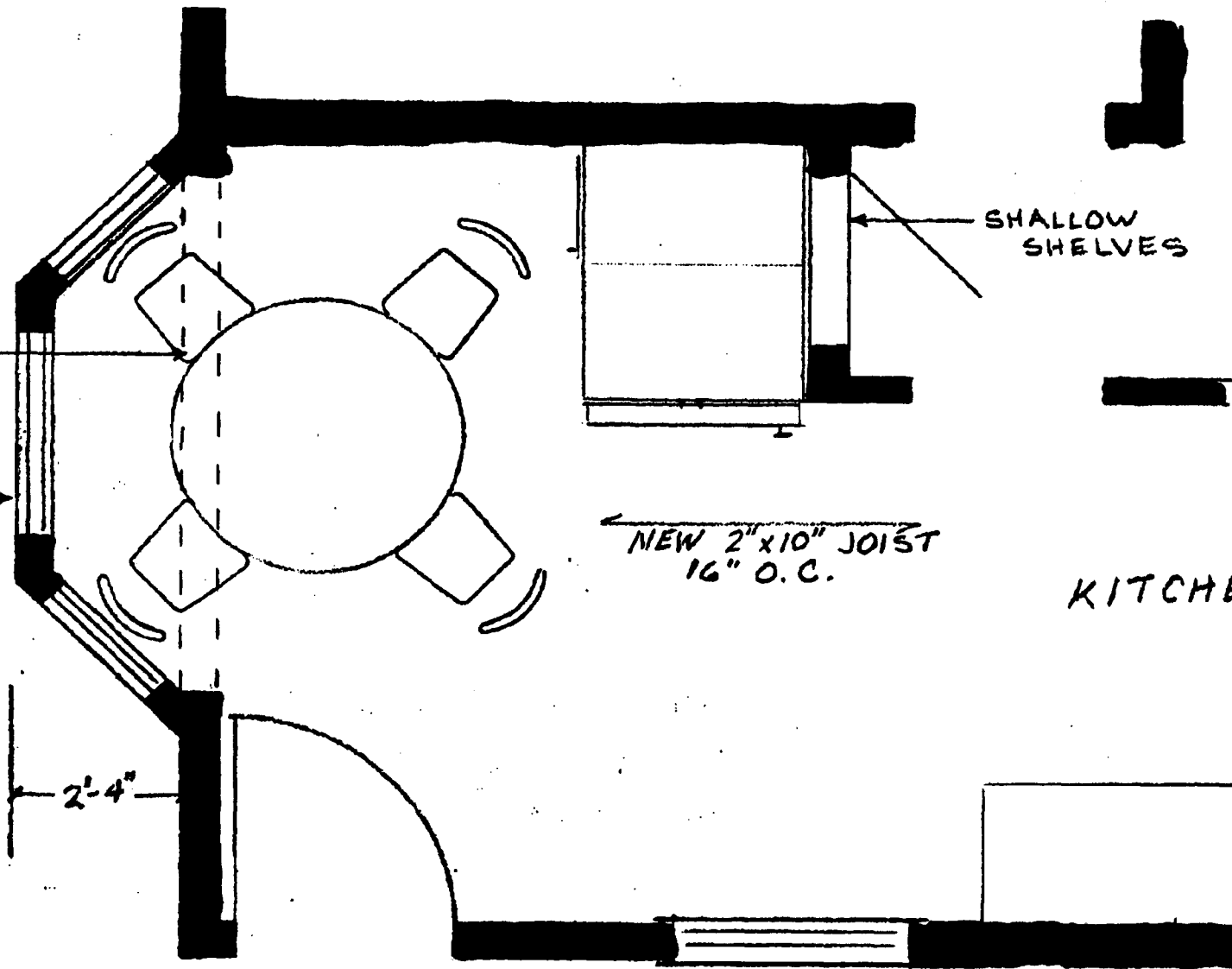


CANTILEVERED
WINDOW BAY

DBL. 2x8 HEADER

ANDERSEN
3656

400 series,
double hung



SHALLOW
SHELVES

NEW 2"x10" JOIST
16" O.C.

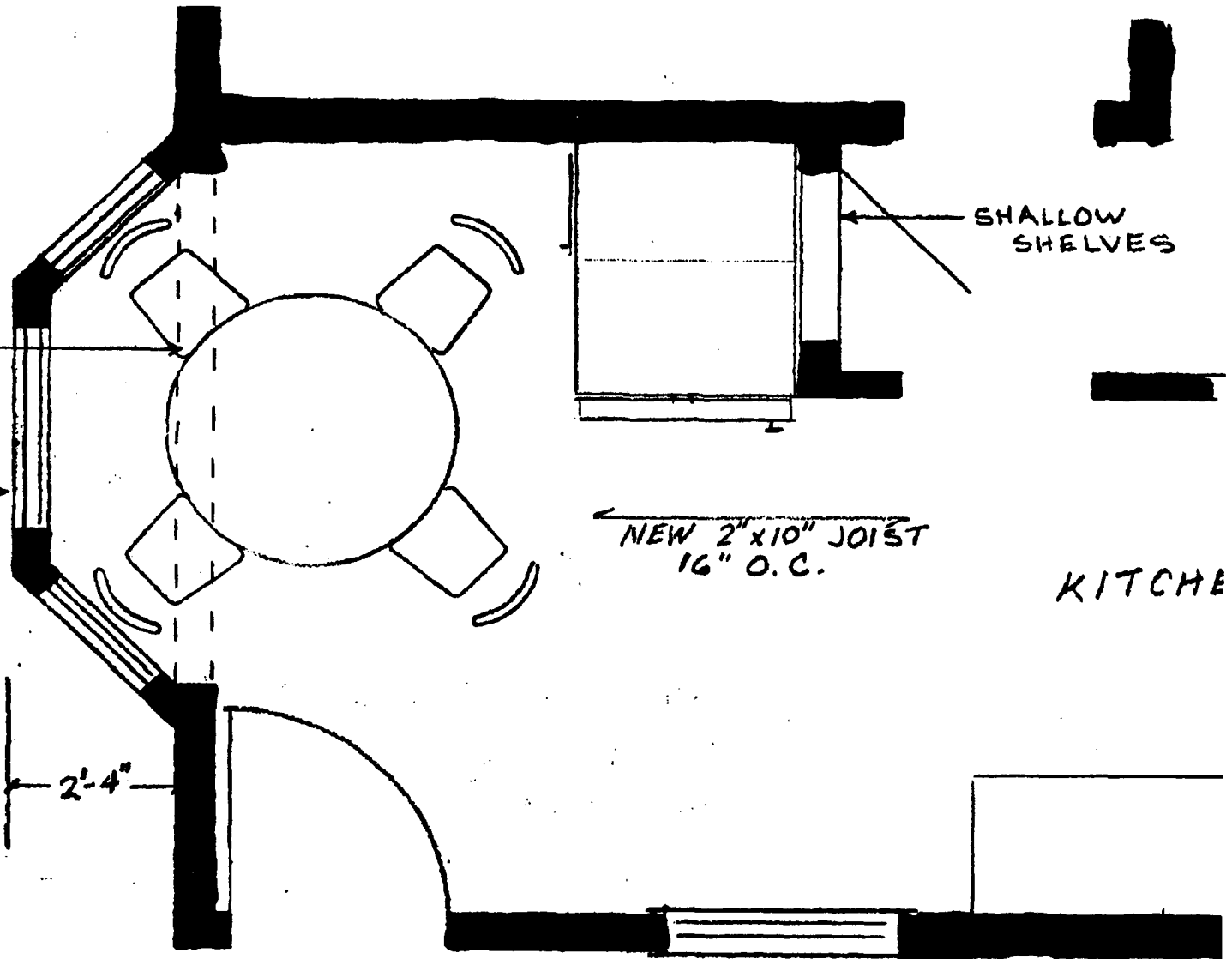
KITCHEN

2'-4"

CANTILEVERED
WINDOW BAY

DBL. 2x8 HEADER

ANDERSEN
3656
400 Series,
double hung



SHALLOW
SHELVES

NEW 2"x10" JOIST
16" O.C.

KITCHEN

2'-4"

CONSUMER INFORMATION NOTES:

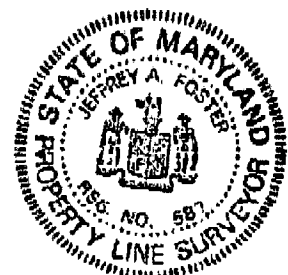
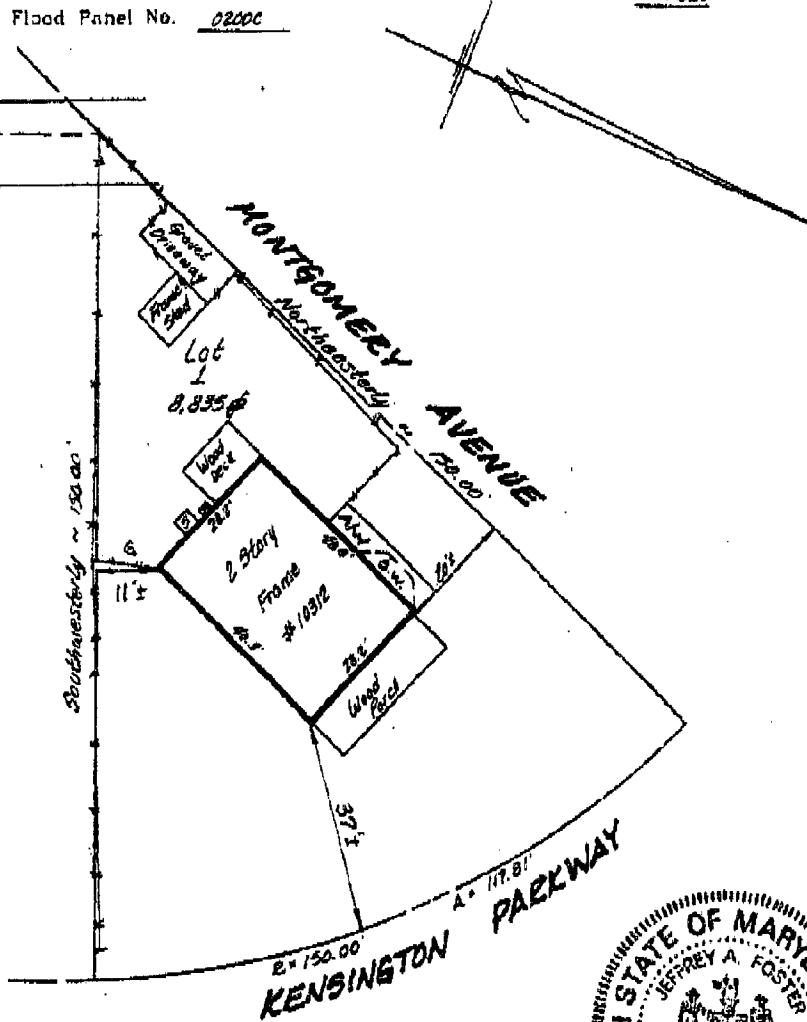
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus **2 FEET**
 Flood Zone "C" per H.U.D. Flood Panel No. 02000

BRUCE L. CASWELL

LAUREN C. DEICHMAN
 June 26, 1996


Lot 2



LOCATION DRAWING
 LOT 1 BLOCK 3

KENSINGTON PARK

MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE	REFERENCES	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 210 Gaithersburg, Maryland 20878 301/948-5100 Fax 301/948-1286	
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION URSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND R FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."	PLAT BK. 0 PLAT NO. 4	DATE OF LOCATIONS	SCALE: 1"=50'
Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587	LIBER 8805 FOLIO 532	WALL CHECK:	DRAWN BY: P08
		HSE. LOC.: 6-3-96	JOB NO.: 96-1690