

10216 Kensington Parkway Kensington
(HPC Case # 31106-08-J)
Kensington Historic District



F

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: October 23, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner (JDS)
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493015, rear addition and new garage

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with the following conditions** at the October 22, 2008 meeting.

1. The applicant will include a window and door schedule on the permit set of plans.
2. The proposed rear addition will be inset 6" on either side of the historic massing.
3. The applicant will include a materials specifications sheet on the permit set of plans.
4. The applicant will submit additional construction documentation for the garage to HPC staff for review prior reviewing permit set of plans.
5. The applicant will contact a certified arborist to determine if a tree protection plan is required. If required, the tree protection plan must be implemented prior to beginning any work at the property.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stephen and Alesia Peterson

Address: 10216 Kensington Parkway, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is complete the applicant will contact the staff person assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: JONATHAN BINDER
 Daytime Phone No.: 301-252-6312

Tax Account No.: _____
 Name of Property Owner: Stephen & Alesia Peterson Daytime Phone No.: 202 408 4003 (Steve-work)
301 275 3325 (Alesia-cell)
 Address: 10216 Kensington Pky Kensington MD 20895
Street Number City State Zip Code
 Contractor: Marywood Design Build Phone No.: 301-365-3803
 Contractor Registration No.: MHC 20584
 Agent for Owner: JONATHAN BINDER Daytime Phone No.: 301-252-6312

LOCATION OF BUILDING/PREMISE

House Number: 10216 Kensington Street: Kensington Pky
 Town/City: Kensington Nearest Cross Street: Howard Ave
 Lot: 89(Comb) Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ 229,000
 1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alesia Peterson

Signature of owner or authorized agent _____
Date

Approved: X
 Disapproved: _____ Signature: [Signature] For Chairperson, Historic Preservation Commission Date: 1/7/09
 Application/Permit No.: 493015 Date Filed: 8/12/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing house in designated historic district. House on one lot, second lot to south (merged) and two additional lots to north of house.
DETACHED 2 STORY GARAGE 2 CAR GARAGE MATCHING MAIN HOUSE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Renovation and expansion of house - west and south facing portions. No impact on environmental setting or historic district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- ✓ a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

- ✓ If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10216 Kensington Parkway, Kensington	Meeting Date:	10/22/2008
Resource:	Primary-1 Resource Kensington Historic District	Report Date:	10/15/2008
Applicant:	Stephen and Alesia Peterson	Public Notice:	10/8/2008
Review:	HAWP	Tax Credit:	None
Case Number:	31/06-08J	Staff:	Josh Silver
PROPOSAL:	Rear addition and new garage		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application **with the following conditions:**

1. The applicant will include a window and door schedule on the permit set of plans.
2. The proposed rear addition will be inset 6" on either side of the historic massing.
3. The applicant will include a materials specifications sheet on the permit set of plans.
4. The applicant will contact a certified arborist to determine if a tree protection plan is required. If required, the tree protection plan must be implemented prior to beginning any work at the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary-1 Resource Within The Kensington Historic District
STYLE: Quenn Anne
DATE: 1892

HISTORIC CONTEXT

The Kensington Historic District is a well-preserved, turn-of-the-century garden suburb with Victorian era residences, curvilinear streets, and a vital commercial district. The community has its origins in a railroad stop known as Knowles Station, named after the major land holding family in the area. Beginning in 1890, Washington developer Brainard Warner purchased and subdivided property along the Metropolitan Branch, transforming the community from a small passenger stop to a park-like suburban community. He named his subdivision Kensington Park, after a London suburb, and established a library, town hall, and Presbyterian church. Under Warner's persuasion, the Knowles Station depot and post office eventually changed to the Kensington moniker.

Inviting friends to join him in the country, away from the heat and congestion of Washington, Warner established his own summer residence on a large, circular parcel of land at the heart of the community. The *Warner Residence*, now a nursing home, is sited at the southern end of the historic district, at 10231

Carroll Place. Kensington residences are designed in a variety of architectural styles popular during the Victorian period, including Queen Anne, Shingle, and Colonial Revival. These houses, built in the late 1800s and early 1900s, are clustered in a 10-block area south of the railroad.

Residents of the growing community incorporated the Town of Kensington in 1894, with its own governing body. The suburb's appeal strengthened when Warner and others organized a trolley line along Kensington Parkway to Chevy Chase, to connect with the Capital Traction Line to Washington. Supplementing train service, the streetcar, operating from 1895-1933, made Kensington even more accessible in the pre-automobile era.

PROPOSAL:

The applicants are proposing to remove a one-story, enclosed non-historic sunroom from the rear elevation and construct a two-story, approximately 22' x 17' rear addition that will contain wooden doors, windows and siding and an asphalt shingle roof to match the historic massing. An 8' x 8' patio will be installed at the north corner of the proposed rear addition.

The applicants are also proposing to remove a post-1963 one-car garage from the rear of the property and construct a 24' x 26', two-car, two-story garage in the same approximate location. The proposed garage will contain wooden windows, doors and siding and a standing seam metal roof. The proposal also includes the installation of a 20' x 20' gravel turnaround to provide additional access to the second garage bay. The proposed turnaround will connect to the existing gravel driveway on the property that will remain unchanged.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection

of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed rear addition and construction of the two-story, two-car garage at the subject property. The subject proposal was originally submitted as a Historic Area Work Permit (HAWP) that staff could not recommend for approval because it was a large side addition that included an attached two-car garage. Since the original submittal staff has worked closely with the applicant and design team on explaining the merits of designing a sympathetic addition. The revised design for the rear addition responds to the comments and feedback staff has provided throughout their review of this application. The plans submitted with the original HAWP application are included in this staff packet in order to demonstrate to the HPC the considerable progress that has been made with the development of a more sympathetic and appropriate rear addition since the applicant's original submission. (See Circle 20).

Rear Addition

The design of the proposed rear addition is in keeping with the design of the primary structure and is confined to the rear elevation of the house. The proposed design maintains a lower ridge height than the historic massing and will not affect the perceived character of the building. The use of wooden windows, doors and siding are appropriate material treatments for a rear addition to a Primary-1 (Outstanding) Resource. Although the proposed addition is inset slightly staff is recommending increasing the inset to 6" on either side of the historic massing. Since receipt of the HAWP application the applicants have agreed to increase the inset to 6" on either side of the historic massing and will reflect this change on the permit set of plans.

Garage

The HPC has only rarely approved the construction of two-story, two-car garages, but staff is recommending that the HPC approve the proposed garage because of the specifics of this property.

The subject property is an atypical Kensington lot that contains the house and existing one-car, one-story garage on a double-lot and two vacant lots immediately adjacent to the north that are owned by the applicant. The subject property in total includes four lots. The expansiveness of the property coupled with the existing mature trees and proposed garage location at the far rear corner of the property mitigate any possible impact a two-story, two-car garage would have on the streetscape of the historic district if approved. The proposed garage design is also compatible with the primary structure in terms of its massing, scale, style and materials. The use of wood windows, doors and siding and a standing seam metal roof are appropriate materials for a new accessory structure on a Primary-1 Resource property.

Cumulatively the proposed work will not alter the integrity of the property or its environment and does not substantially alter the character of this resource. The proposed work is consistent with *Vision and Standards* for exterior alterations to a Primary-1 Resource property within the Kensington Historic District.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application with the conditions specified on Circle 1 as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or joshua.silver@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240 777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: JONATHAN BINDER
 Daytime Phone No.: 301-252-6312

Tax Account No.: _____
 Name of Property Owner: Stephen & Alesia Peterson Daytime Phone No.: 202 408 4003 (Steve-work)
301 275 3325 (Alesia-cell)
 Address: 10216 Kensington Pky Kensington MD 20895
Street Number City State Zip Code
 Contractor: Marywood Design Build Phone No.: 301-365-3808
 Contractor Registration No.: MHC 20584
 Agent for Owner: JONATHAN BINDER Daytime Phone No.: 301-252-6312

LOCATION OF BUILDING/PREMISE

House Number: 10216 Kensington Pky Street: Kensington Pky
 Town/City: Kensington Nearest Cross Street: Howard Ave
 Lot: 849(Comb) Block: _____ Subdivision: _____
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ 229 000
 1C. If this is a revision of a previously approved active permit, see Permit # N/A

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2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alesia Peterson

 Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 493015 Date Filed: 8/12/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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on one lot, second lot to south (mexud) and two additional
lots to north of house
DETACHED 2 STORY GARAGE 2 CAR GARAGE MATCHING MAIN HOUSE

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Renovation and expansion of house - rear and south
facing portions. No impact on environmental setting or
historic district.

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- ✓ a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

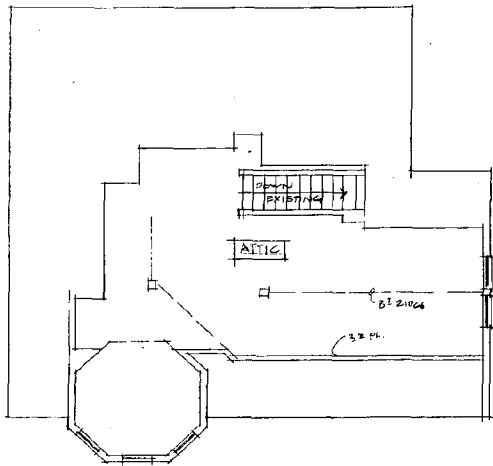
- ✓ If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

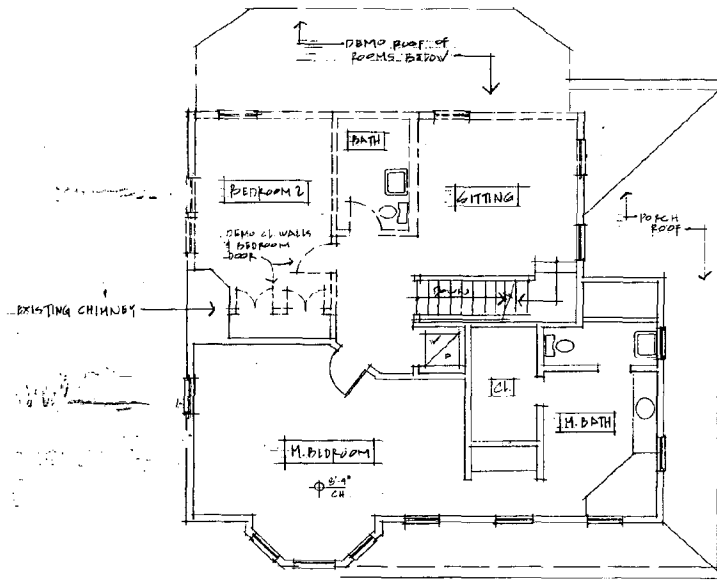
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6



EXIST/DEMO THIRD FLOOR PLAN
 1/4" = 1'-0"



EXIST/DEMO SECOND FLOOR PLAN
 1/4" = 1'-0"

6

Marywood Design Build, Inc.
 6601 Marywood Road
 Bethesda, MD 20817

PRINTING DATES:
 Preliminary Design
 Schematic Design
 Permitting
 Revisions
 Most Current

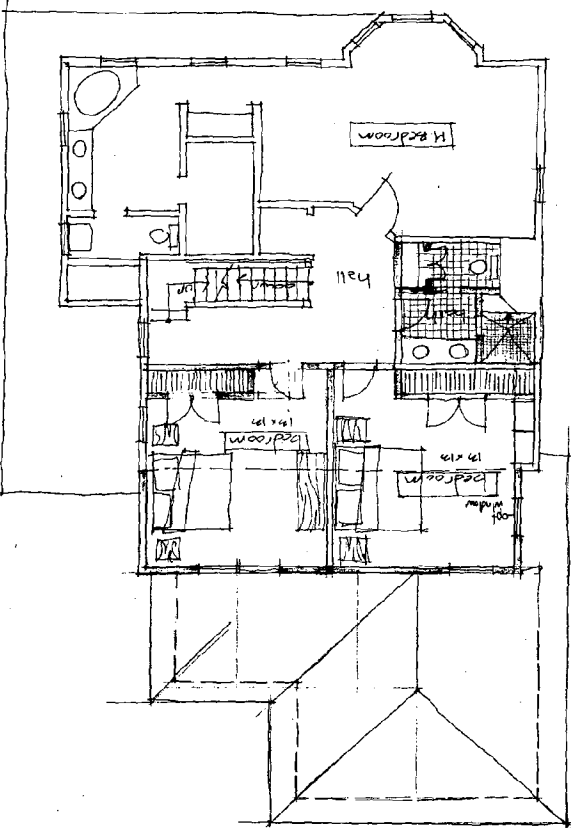
PROPOSED RENOVATIONS FOR:
 PETERSON RESIDENCE
 10216 Kensington Drive
 Kensington, MD 20895

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Sheet No.
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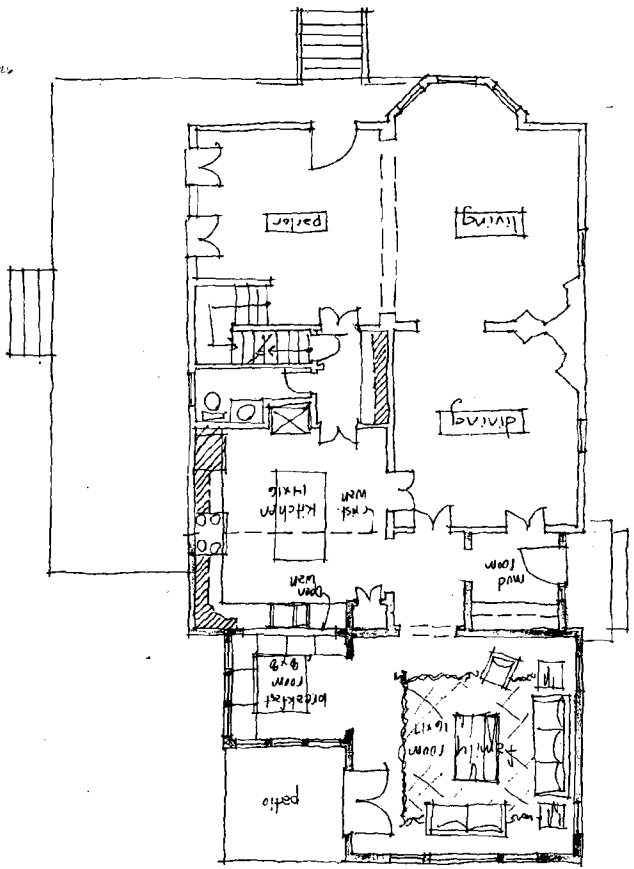
2

Proposed Second Floor



224' 0" NW
14' 0" SW

Proposed First Floor Plan



60' NW + 92' SW (REMAINING) = 152' TOTAL
14' 0" SW
2 = 28' TOTAL GARAGE MEASUREMENTS

Sheet No. A-1

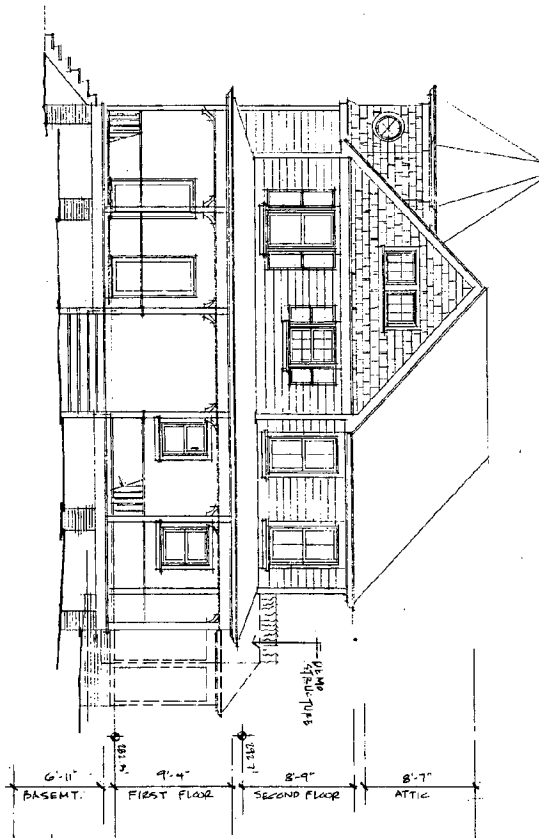
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PROPOSED RENOVATIONS FOR:
 PETERSON RESIDENCE, LLC
 10210 Kensington Parkway
 Kensington, MD 20895

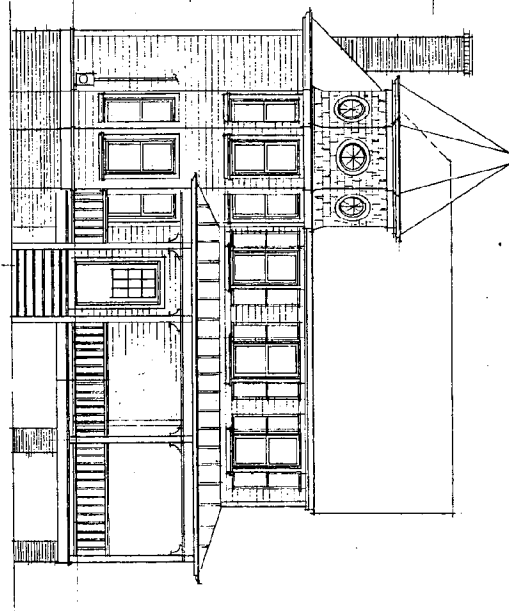
PRINTING DATES:
 Preliminary Design
 Building Permits
 Resubmissions
 Most Current

Marywood Design Build, Inc.
 6601 Marywood Road
 Bethesda, MD 20817

EXISTING / DEMO. RIGHT SIDE ELEVATION



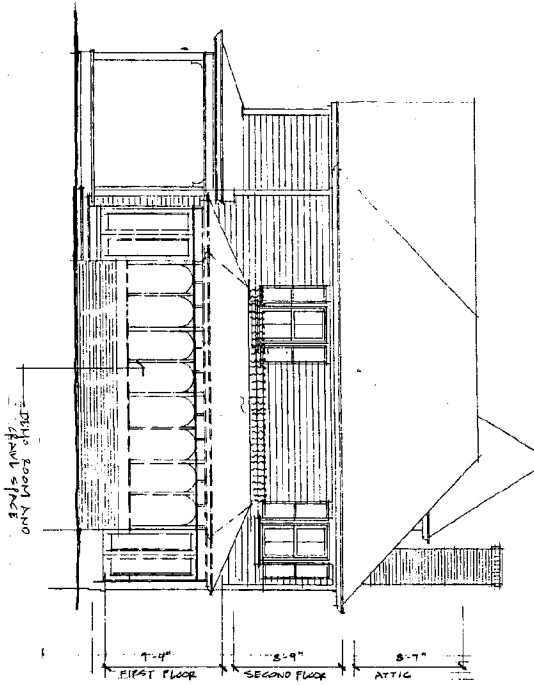
EXIST / DEMO. FRONT ELEVATION



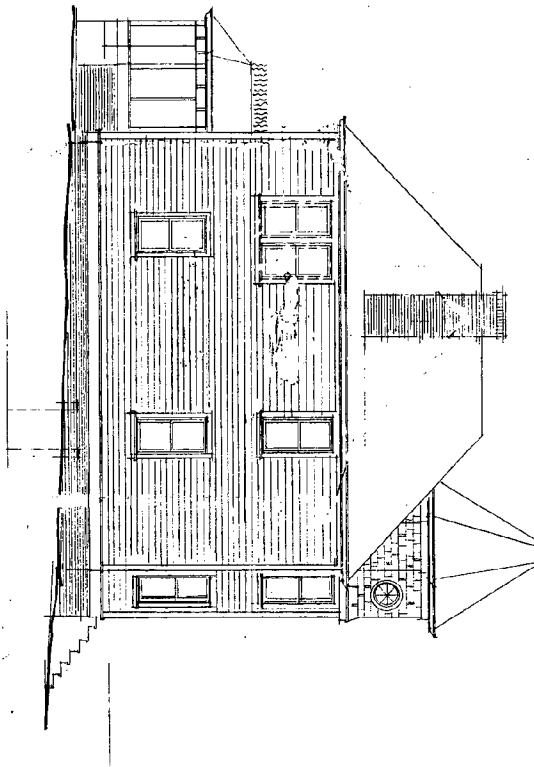
6'-11" BASEMT.
9'-4" FIRST FLOOR
8'-9" SECOND FLOOR
8'-7" ATTIC

(12)

EXISTING/DEMO. REAR ELEVATION



EXIST./DEMO. LEFT SIDE ELEVATION



9 - V
SHEET NO.

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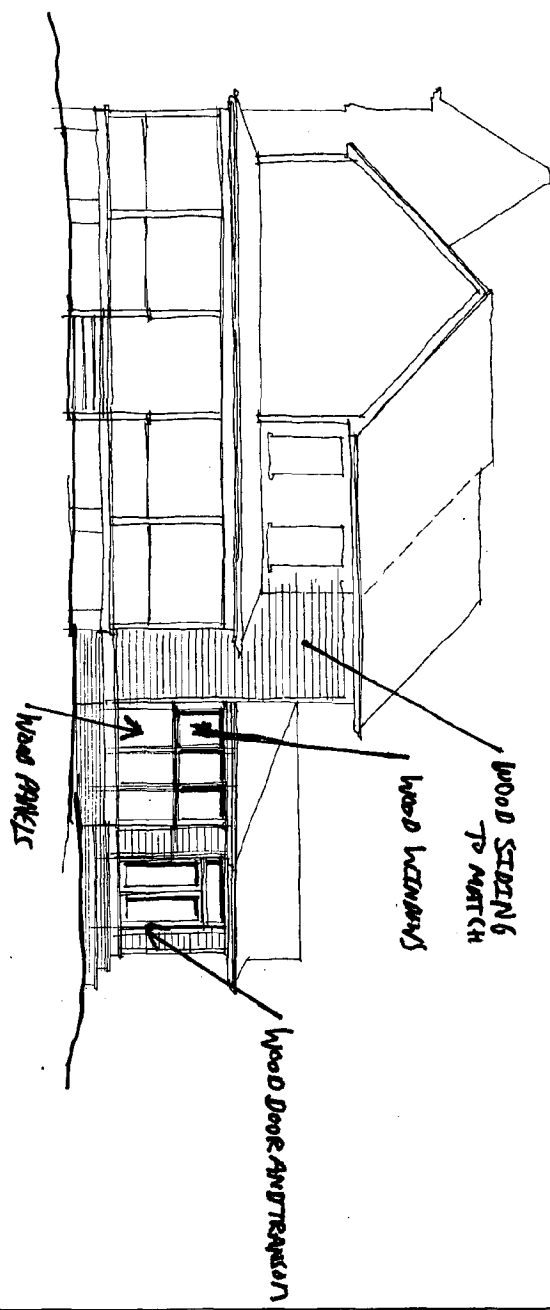
PROPOSED RENOVATIONS FOR:
PETERSON RESIDENCE
10216 Kensington Parkway
Kensington, MD 20895

PRINTING DATES:
Preliminary Design _____
Bidding _____
Permits _____
Revisions _____
Most Current _____

Marywood Design Build, Inc.
6601 Marywood Road
Bethesda, MD 20817

13

Proposed Right Side Elevation
1/4" = 1'-0"



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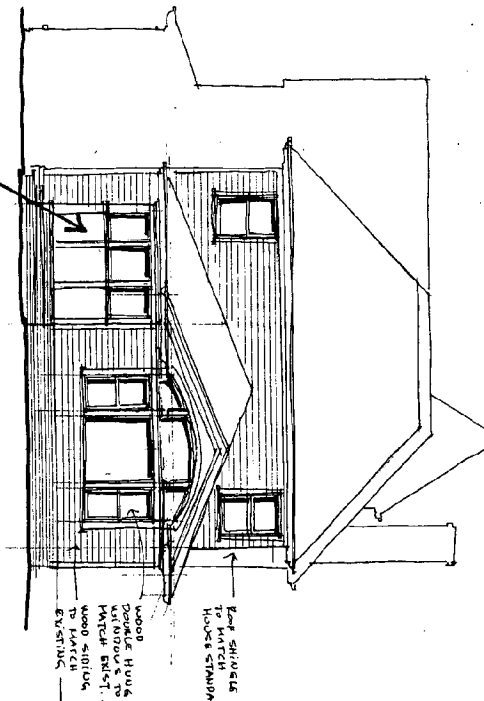
PRINTING DATES:
 Preliminary Design _____
 Bidding _____
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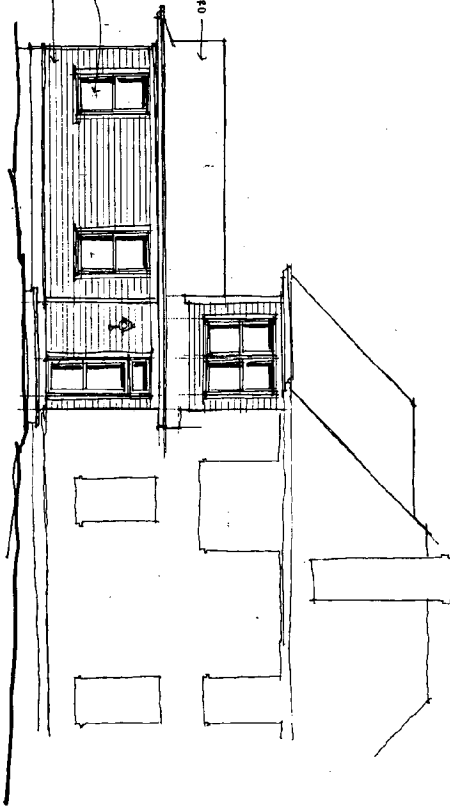
14

Proposed Rear Elevation
1/4" = 1'-0"

WOOD PANELS



Proposed Left Side Elevation
1/4" = 1'-0"



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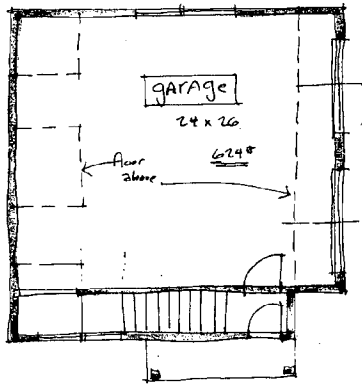
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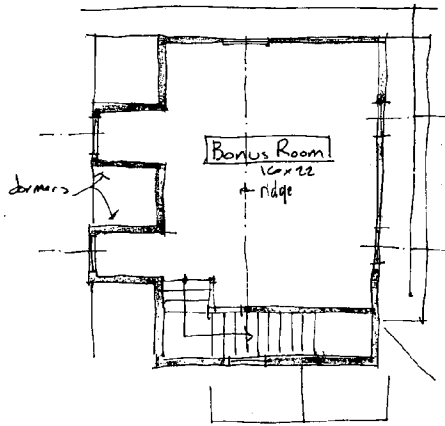
PRINTING DATES:

Preliminary Design _____
 Bidding _____
 Permits _____
 Revisions _____
 Most Current _____

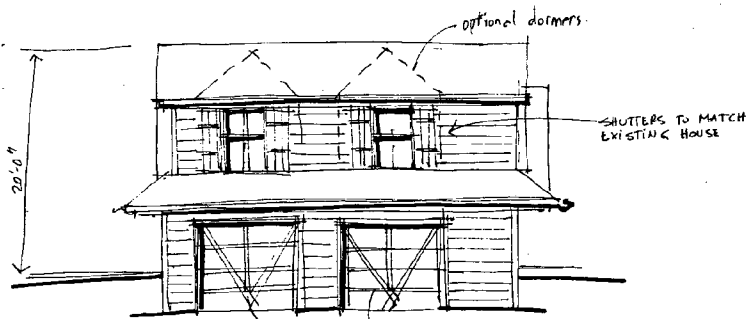
Marywood Design Build,
 Inc.
 6601 Marywood Road
 Bethesda, MD 20817



○ First Floor Plan
1/4" = 1'-0"



○ Second Floor Plan
1/4" = 1'-0"



○ Proposed Elevation.
1/4" = 1'-0"



○ Proposed Elevation
1/4" = 1'-0"

10216 Kensington Parkway, Kensington
Kensington Historic District





N.E. ELEVATION



FRONT FACADE (STREET VIEW) SE. ELEVATION
(NEW WORK TO LEFT SIDE)



S.W. ELEVATION



(7) N.W. ELEVATION REAR FACADE
(NEW WORK)

FACING REAR
HOUSE



FACING DRIVEWAY
REAR



REAR LEFT SIDE
← FACING BACK



LEFT SIDE

FACING LEFT SIDE

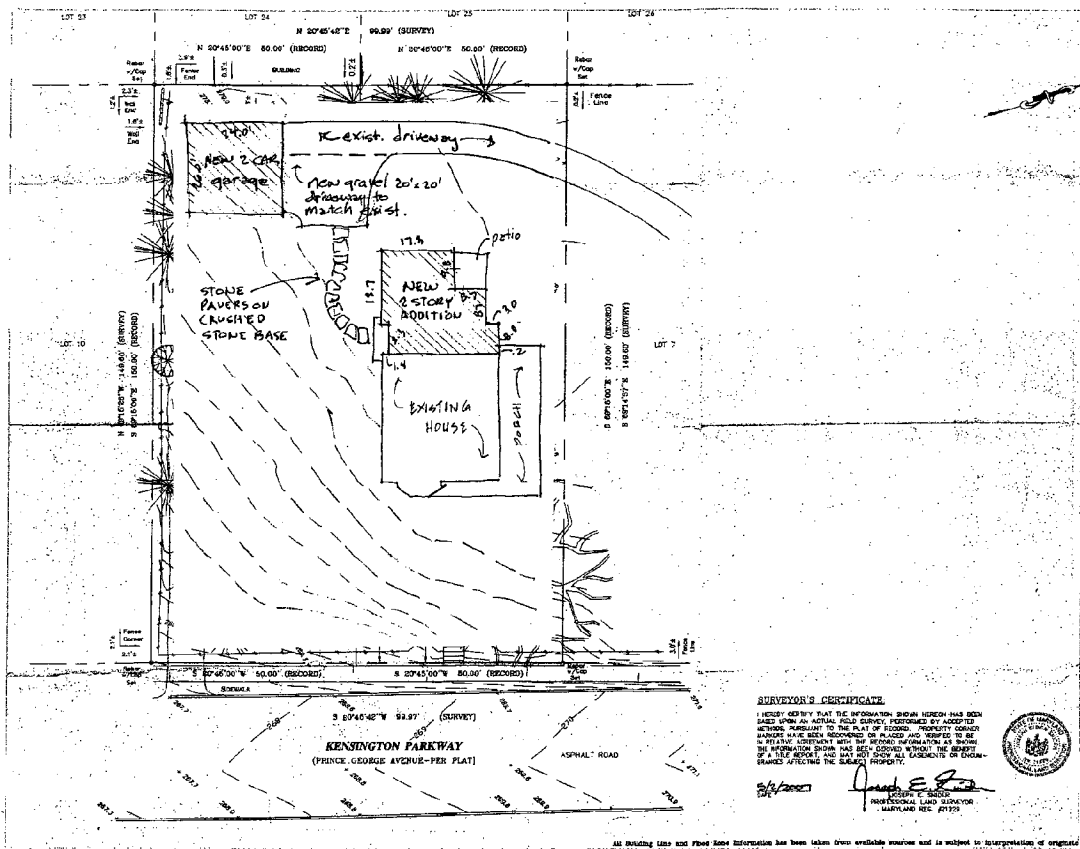


Original Plans Submitted with HAWP Application

PETERSON RESIDENCE

10216 Kensington Pkwy

Kensington, Maryland



SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN WAS OBTAINED BY ME OR AN ASSISTANT OR A LICENSED SURVEYOR OR BY MEASUREMENT AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 DATE: 10/20/07
 SURVEYOR: JAMES E. SNIDER
 MONTGOMERY COUNTY, MARYLAND
 LICENSE NO. 21709

SITE PLAN
 1" = 20'-0"

GENERAL NOTES
 1. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 13. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 14. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 15. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 16. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

PLAT OF SURVEY
 WITH
 TOPOGRAPHIC WORKSHEET
 10216 KENSINGTON PARKWAY
 LOTS 8 and 9, BLOCK 3
 KENSINGTON PARK
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 10' MAT: 8097

SNIDER & ASSOCIATES
 LAND SURVEYORS
 10310 Rockwood Lane, Suite 110
 Germantown, Maryland 20876
 301/448-8100 Fax 301/448-1888

CALL "MISS UTILITY" AT 1-800-277-1777
 FOR UTILITY LOCATION AT LEAST 48
 HOURS PRIOR TO BEGINNING CONSTRUCTION

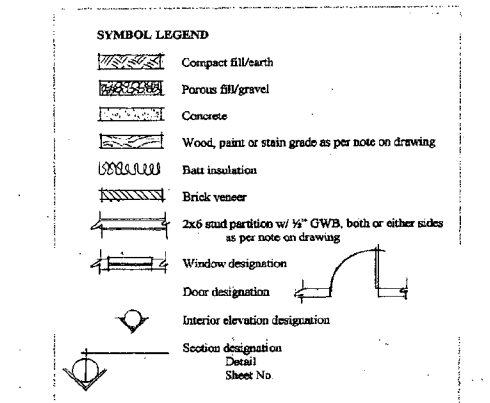
- GENERAL NOTES**
- All work shall comply with the 2003 International Residential Code, and all other local codes having authority over this project, and with generally accepted methods of construction consistent with first class workmanship.
 - The contractor shall fully acquaint themselves with the existing conditions and the proposed work. The contractor shall verify any special requirements for all equipment to be installed as part of this contract, whether supplied by themselves, the owner or the Designer.
 - Plans shall be not sealed for construction purpose. Dimension lines and notes supercede. Dimensioned notes noted "verify" shall be verified in the field. Notify the Designer of any conflicts before proceeding.
 - Unless otherwise noted, all new work shall correspond to that which it connects to or to existing similar conditions in material, workmanship, and finish.
 - All materials shall be as specified in these drawings. Any substitutions must be approved, in writing prior, by the designer or the owner.
 - Contractor shall verify that no conflicts exist in locations of any mechanical, plumbing, or electrical equipment and that all required clearances for installation and maintenance of the equipment provided.
 - Contractor shall coordinate the installation of any items supplied.
 - Dimensions over 2" are not adjustable without the review of the designer.
 - All areas, except slabs on grade, that are to receive marble, granite, or ceramic shall first be cleaned of all debris, then two layers of 5/8" glued and screwed plywood shall be laid over slabs in an overlapping pattern for rigidity. Plywood shall be recommended by National Tile Setters Association and Standards.
 - Exterior wall construction shall have a complete cover of Tyvek building wrap. All seams are to taped with Tyvek tape. Roofs shall be completely covered with (2 layers of 15# building felt or 1 layer of 30# felt).
 - New aluminum gutters and downspouts shall match existing, where applicable, and shall be of 26 gauge material.
 - The contractor shall provide all materials, labor, equipment, and tools for the proper execution of all work as outlined in these documents.
 - The general building permit shall be secured by the General Contractor unless otherwise notified. All other permits shall be obtained from the subcontractors specific to their field.
 - All railings shall be installed to withstand the lateral force of 50 lbs per linear foot.
 - All glazing shall comply with safety glazing and code standards of the local authority.
 - Chimney flues shall extend at least 2 feet higher than any portion of the building within 10 feet and not less than 3 feet above the point of penetrating through the roof.

BUILDING CODE SCHEDULE

Lot			
Block		3	
Zone		R-60	
Subdivision		Kensington Park	
Lot Size	6,000 sf	15,000 sf	N/A
Maximum Lot Coverage	35% incl. accessory buildings	12.8 %	
Front yard setback	25' or established	43.7'	43.7'
Right side yard setback	10'	16.0'	16.0'
Left side yard setback	8'	55.0'	
Rear yard setback	20'	61.3'	
Max. Building Ht.	35' or 2 1/2 stories	38.7'	
SQUARE FOOTAGE			
	Proposed	Existing	Total
Footprint		1,480 sf	440 sf
porch		440 sf	
Total lot coverage		1,920 sf	

LIST OF ABBREVIATIONS

AC	Air Conditioning	Fl.	Floor
A.F.F.	Above Finished Floor	Gal.	Gallon
Alum.	Aluminum	Gr.	Grade
Approx.	Approximate	GrB	Gypsum wallboard
Bldg.	Building	HC	Hollow core
BTU	British thermal unit	HL	Height
Conc.	Concrete	HP	Horsepower
C.L.	Centerline	Hrdwd	Hardwood
Cig.	Ceiling	HVAC	Heating/Ventilation & Air Conditioning
CMU	Concrete masonry unit	Incl.	Include
Conc.	Concrete	Int.	Interior
C.O.	Cased opening	Max.	Maximum
C-Top	Countertop	Min.	Minimum
C.T.	Ceramic Tile	Mech.	Mechanical
C.R.	Ceiling Register	Manuf.	Manufacturer
Dem.	Demolition	NIC	Not in contract
DH	Double hung	NTS	Not to scale
DL	Details	O.A.	Outside Air
D.W.	Dishwasher	O.C.	On center
Dwg.	Drawing	PVC	Polyvinyl chloride
Ex.	Exterior	Pl.	Planned
E.W.	Electrical	R.A.	Return Air
Elect.	Elevations	Ref.	Refrigerator
Elev.	Elevations	R.G.	Return Grille
Exst.	Existing	Req.	Required
Ext.	Exterior	S.A.	Supply Air
Fin.	Finish	Typ.	Typical
		V.I.F.	Verify in field
		WC	Watercloset



Index of Drawings

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	Exist./Demo. First Floor Plan
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	Exist./Demo. Attic Floor Plan
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	Exist./Demo. Exterior Elevations
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A-7	Proposed First Floor Plan
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S-1	First Floor Framing Plan
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S-3	Ceiling Framing Plan
S-4	Roof Framing Plan
S-5	Roof Plan
S-6	Sections
S-7	Sections, Structural Calculations

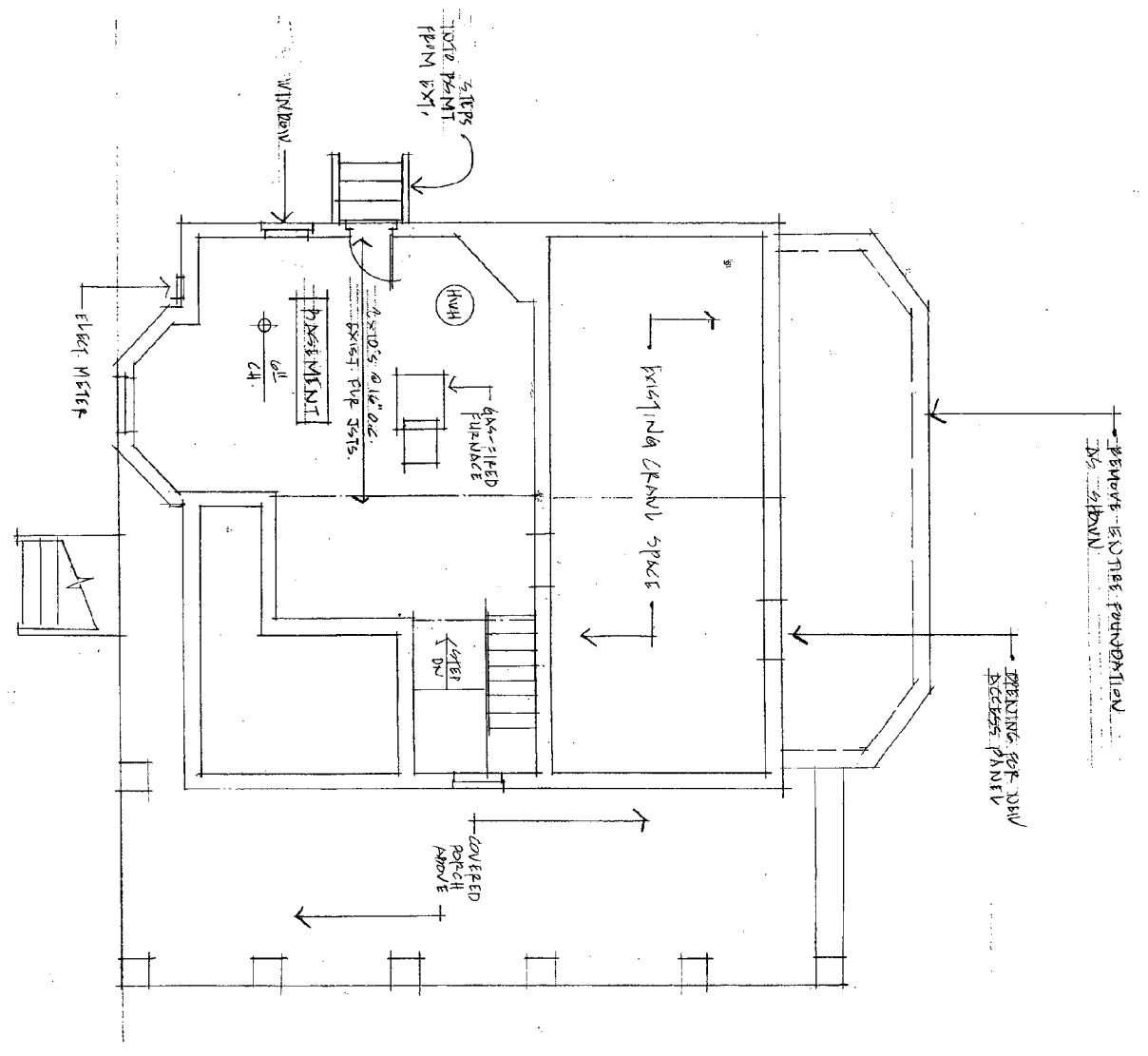
Contractor:
Marywood Design Build, Inc.
 6601 Marywood Road
 Bethesda, MD 20817
 MHC # 20584 DC # 65002422

PRINTING DATES:
 Preliminary Design
 Bidding
 Permits
 Revisions
 Most Current

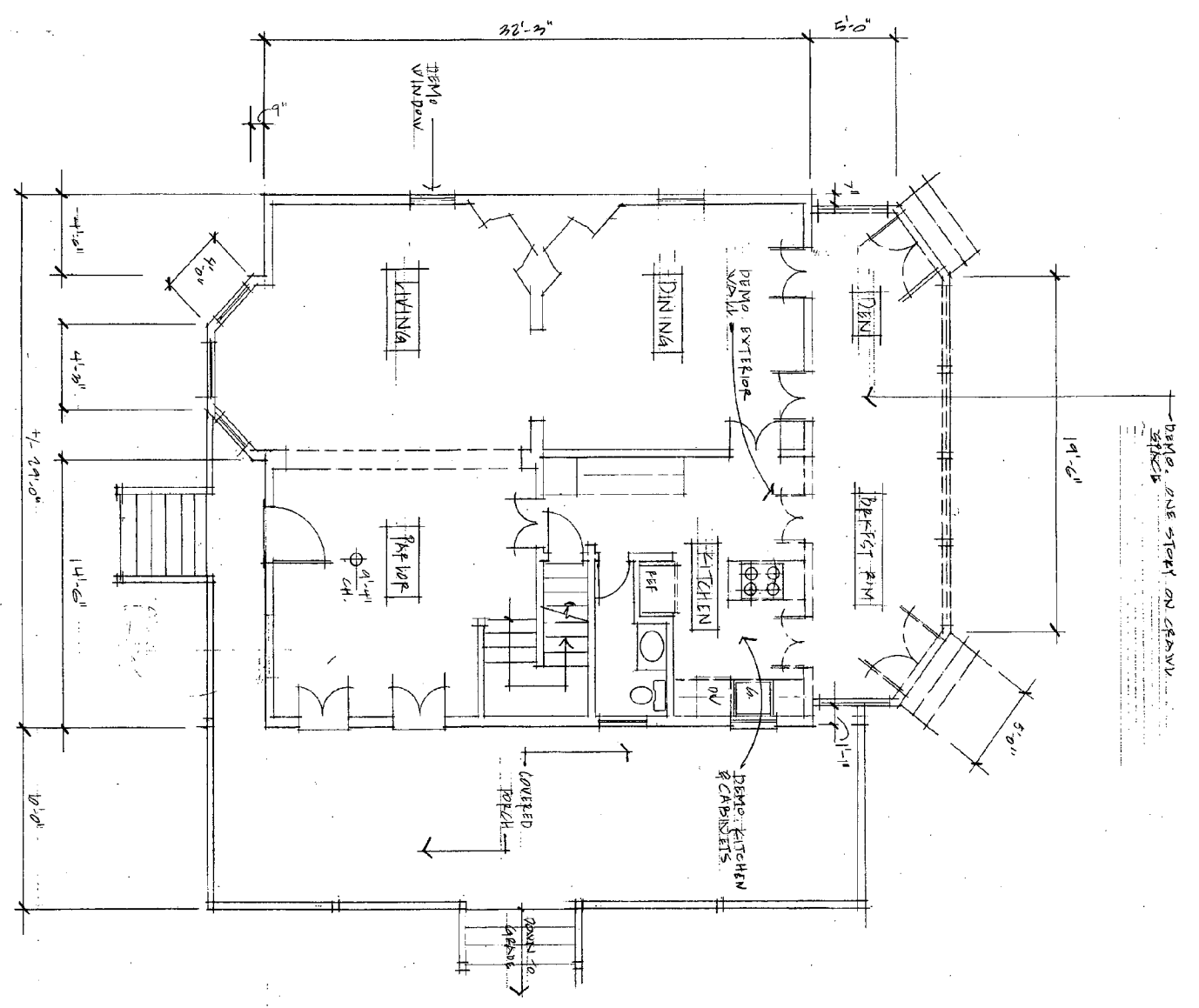
PROPOSED RENOVATIONS FOR:
 PETERSON RESIDENCE
 10216 Kensington Parkway
 Kensington, MD 20895

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EXIST/ DEMO. BASEMENT PLAN



EXIST/ DEMO FIRST FLOOR PLAN



132'-6" OF LINEAR EXTERIOR WALL
 1480' OF FOOTPRINT OF MAIN HOUSE
 440' OF COVERED PORCH

Sheet No.
 A - 3

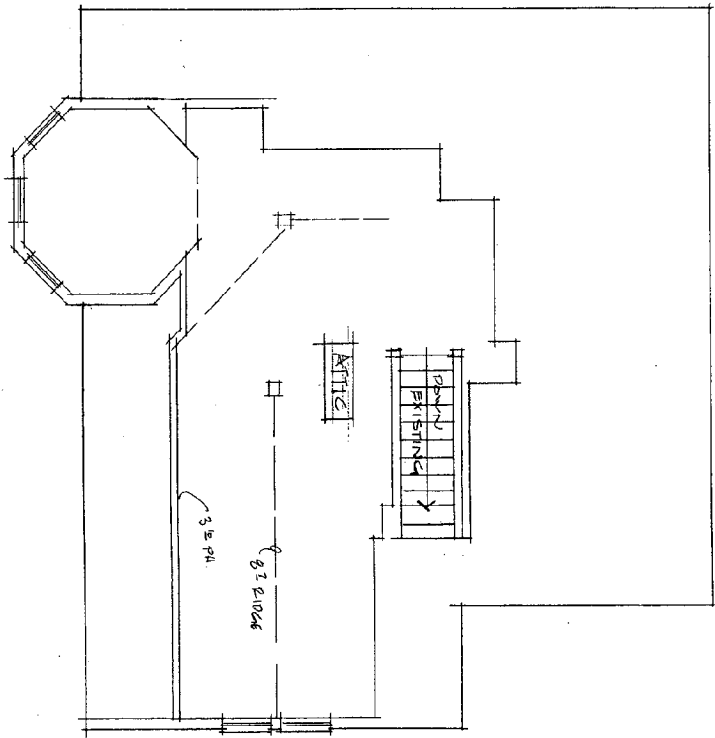
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PROPOSED RENOVATIONS FOR:
 PETERSON RESIDENCE
 10216 Kensington Parkway
 Kensington, MD 20895

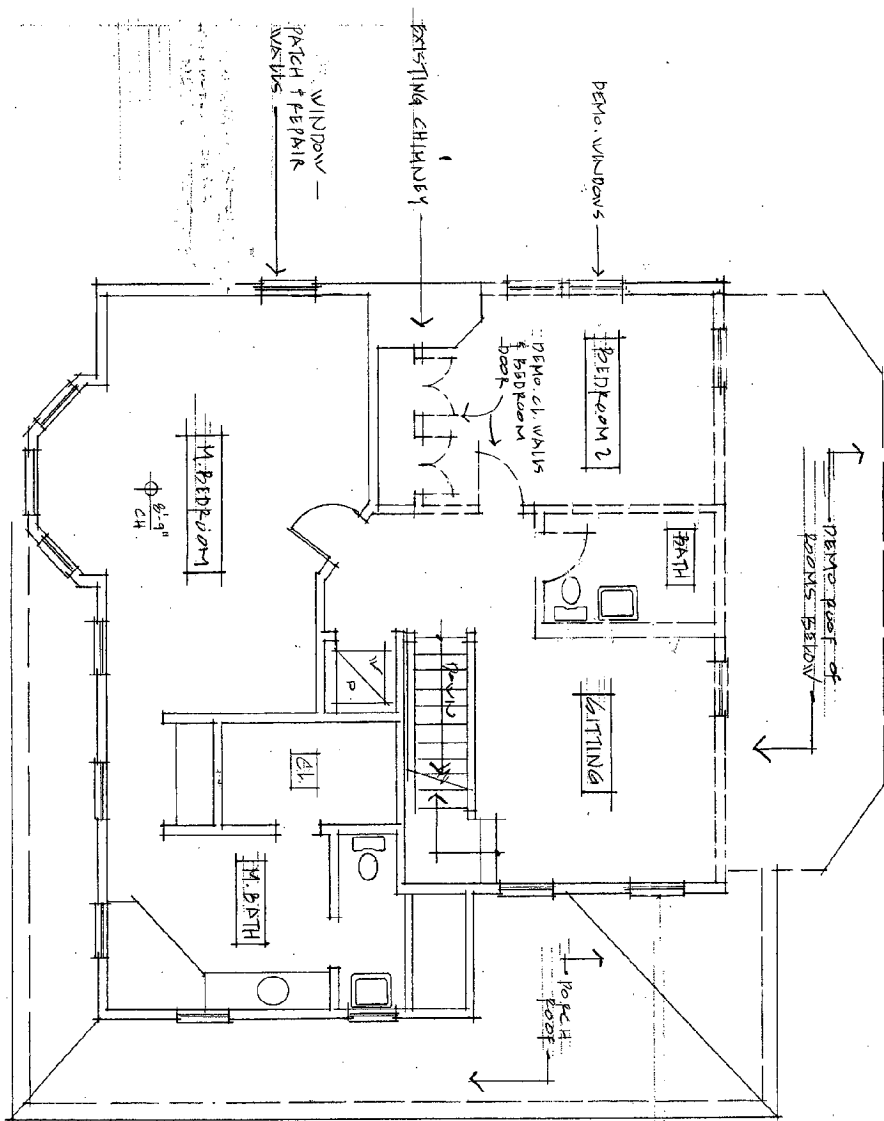
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 6601 Marywood Road
 Bethesda, MD 20817

EXIST DEMO THIRD FLOOR PLAN
1/4" = 1'-0"



EXIST DEMO SECOND FLOOR PLAN
1/4" = 1'-0"



Sheet No.
A - 4
of

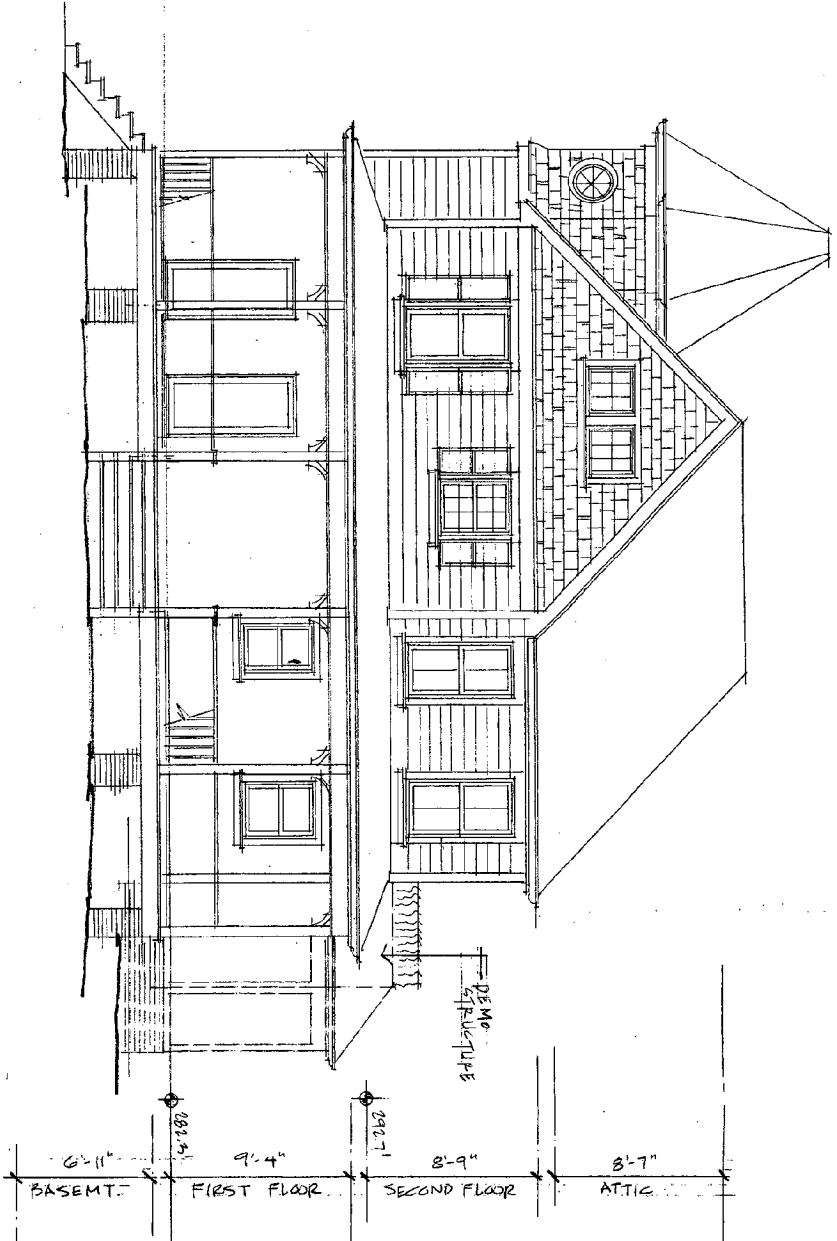
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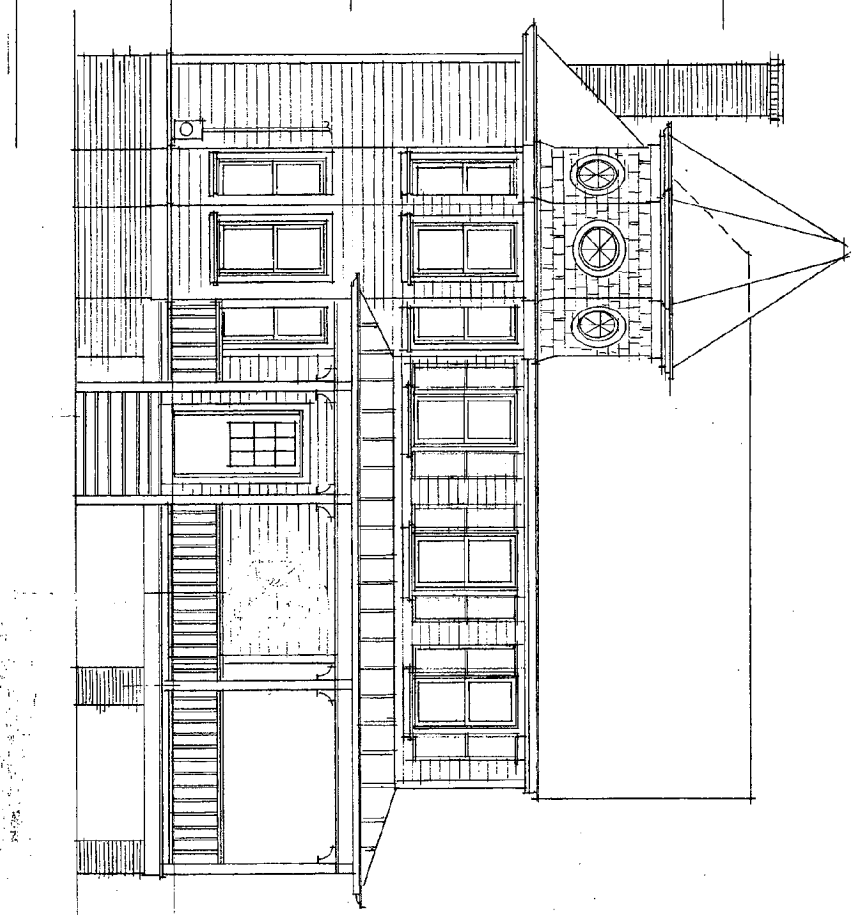
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EXISTING / DEMO RIGHT SIDE ELEV.



EXIST / DEMO FRONT ELEVATION



Sheet No.
A - 5

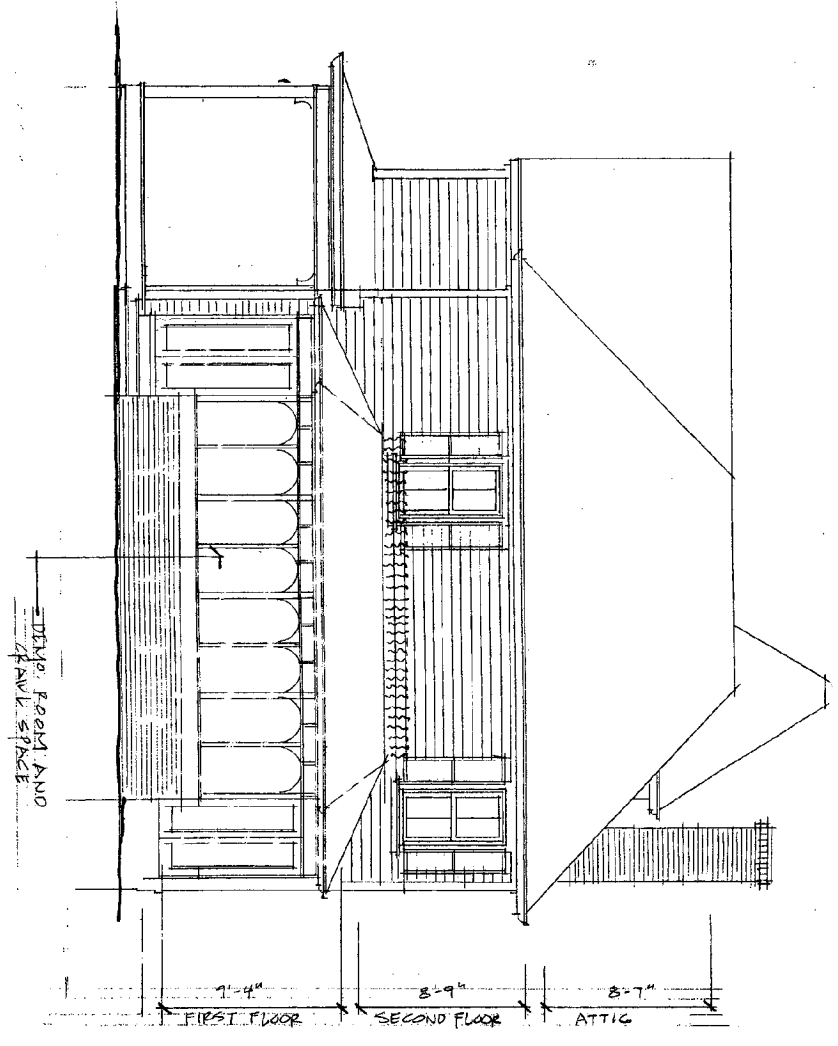
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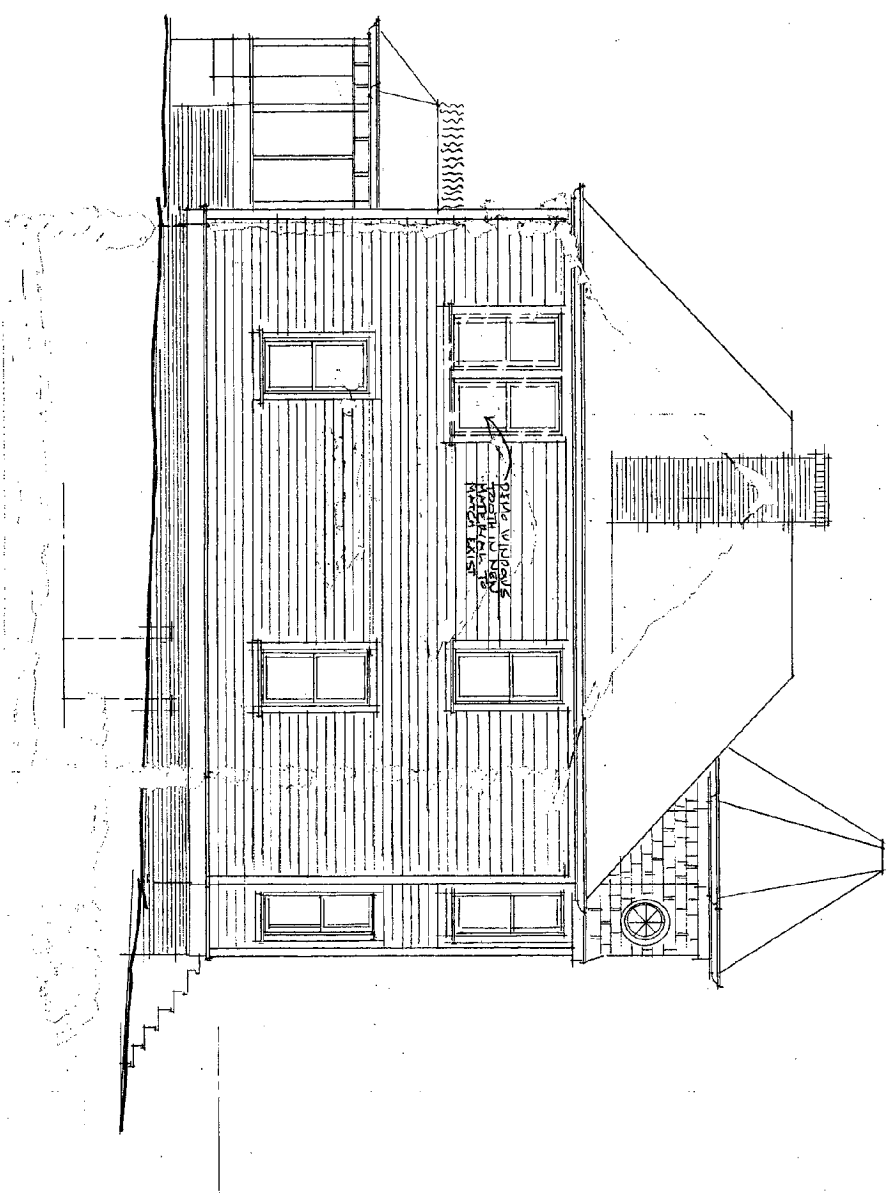
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Bidding _____
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Most Current _____

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Bethesda, MD 20817

EXISTING/DEMO. REAR ELEVATION
1/4" = 1'-0"



EXIST/DEMO. LEFT SIDE ELEVATION
1/4" = 1'-0"



Sheet No.
A - 6

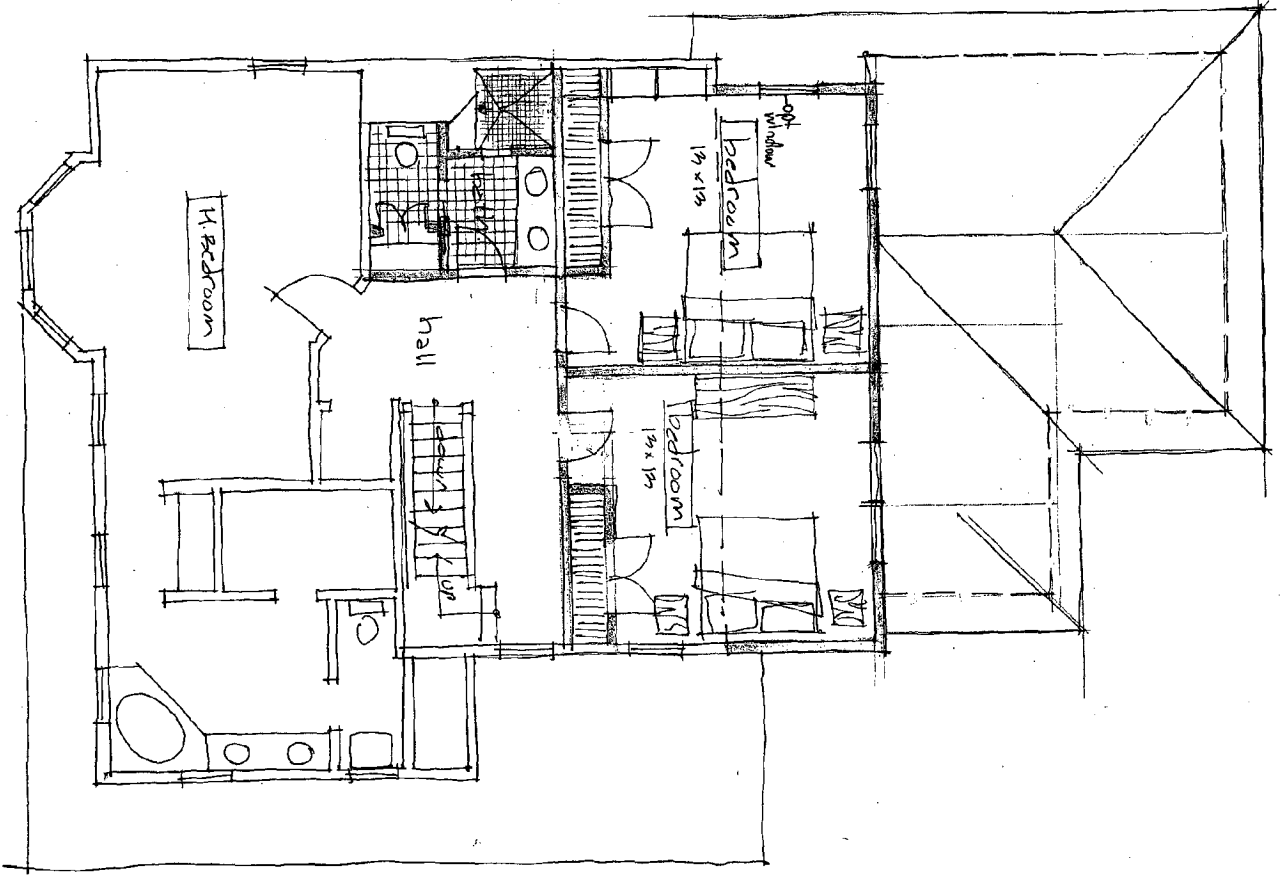
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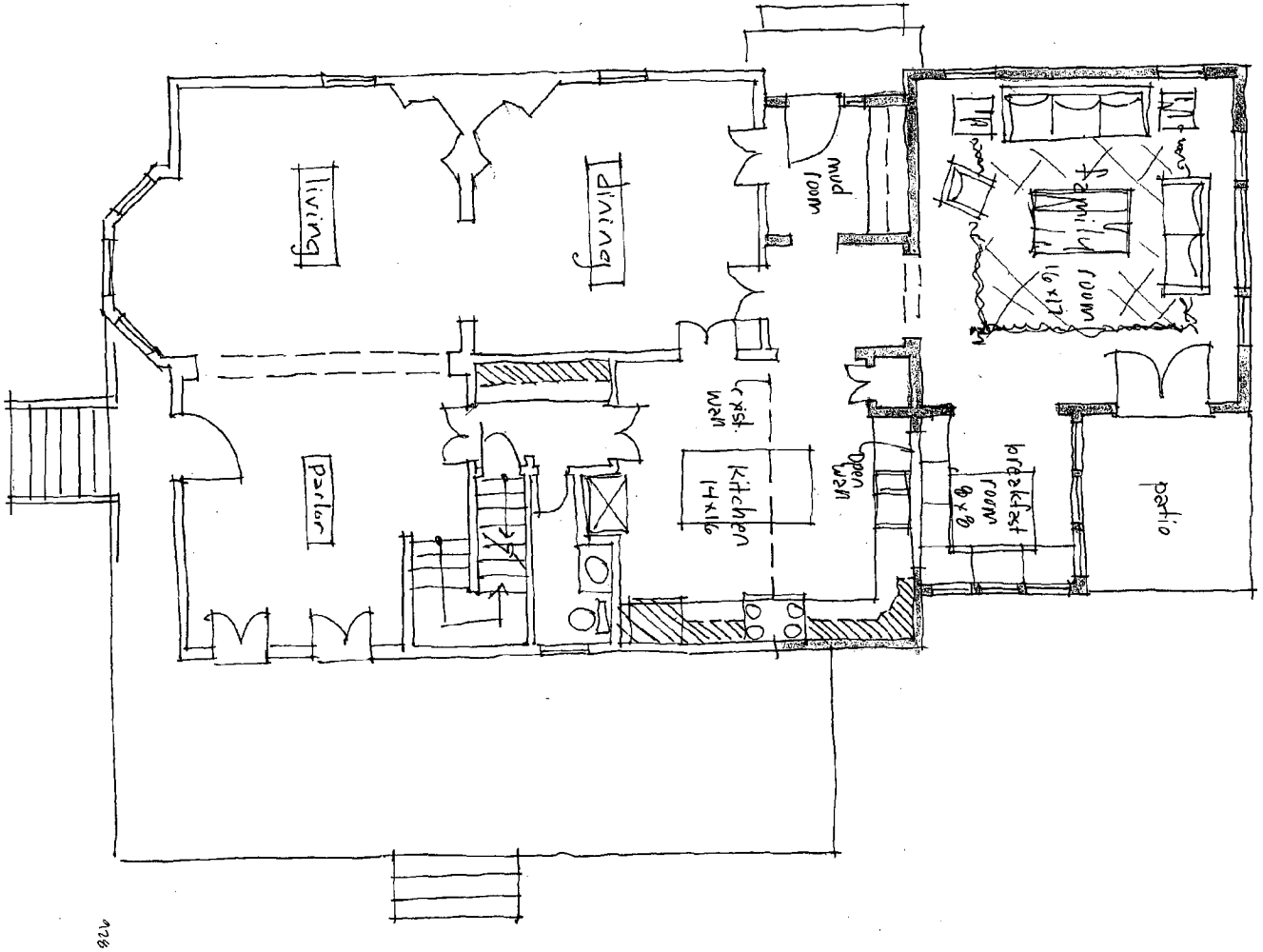
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Proposed Second Floor
 1/4" = 1'-0"
 2048 New



118

Proposed First Floor Plan
 1/4" = 1'-0"
 609' New + 958' EX (REMAINING) = 1567' TOTAL
 + 2 = 785' GARAGE PLACEMENT



118

Sheet No.
 A -
 of

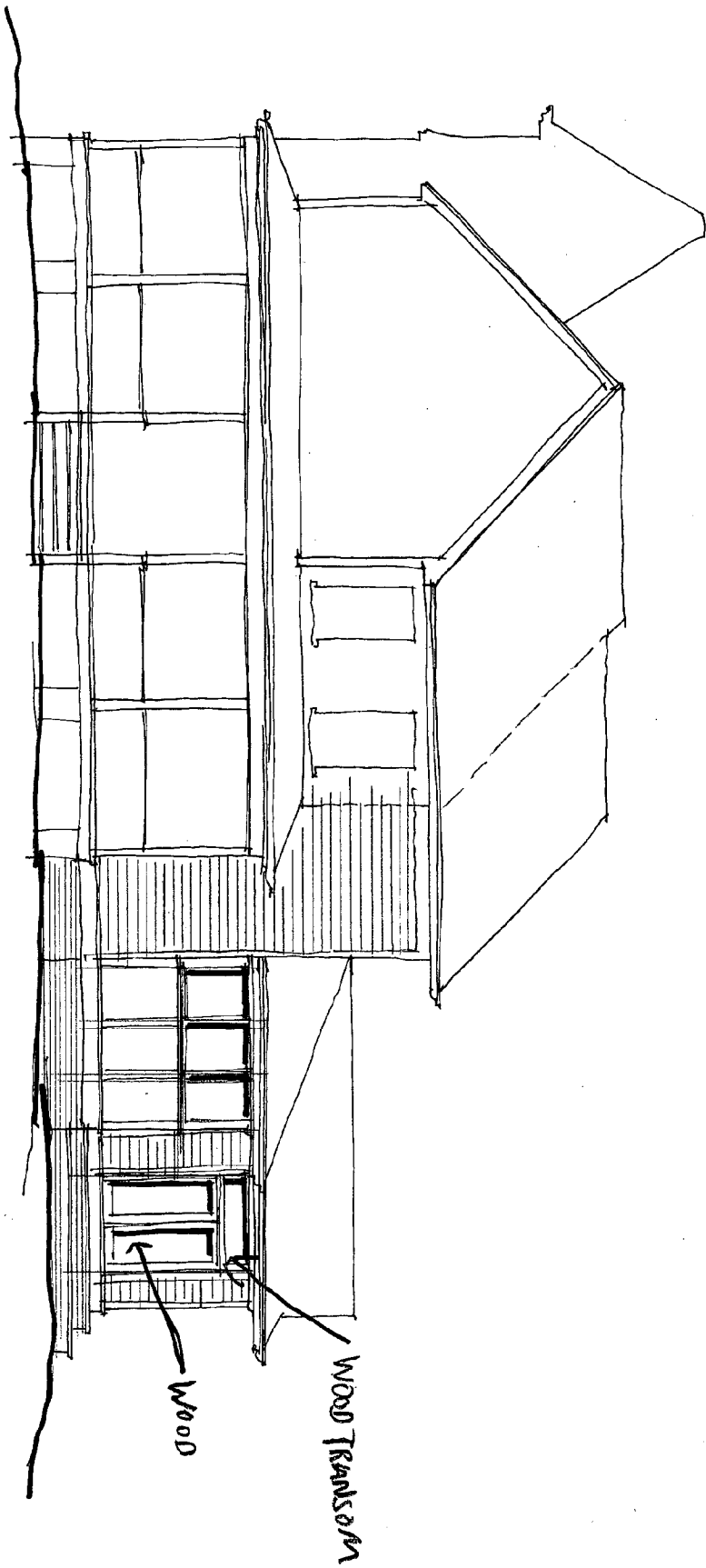
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 Kensington, MD 20895

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 6601 Marywood Road
 Bethesda, MD 20817

○
1/4" = 1'-0"
Proposed Right Side Elevation



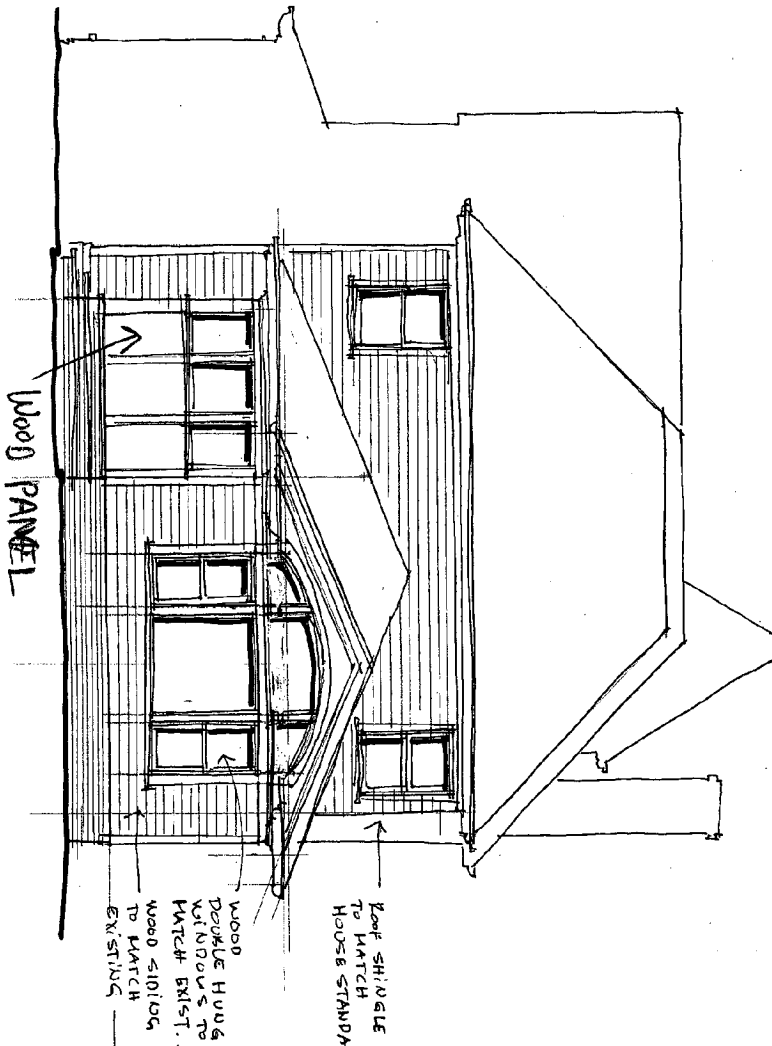
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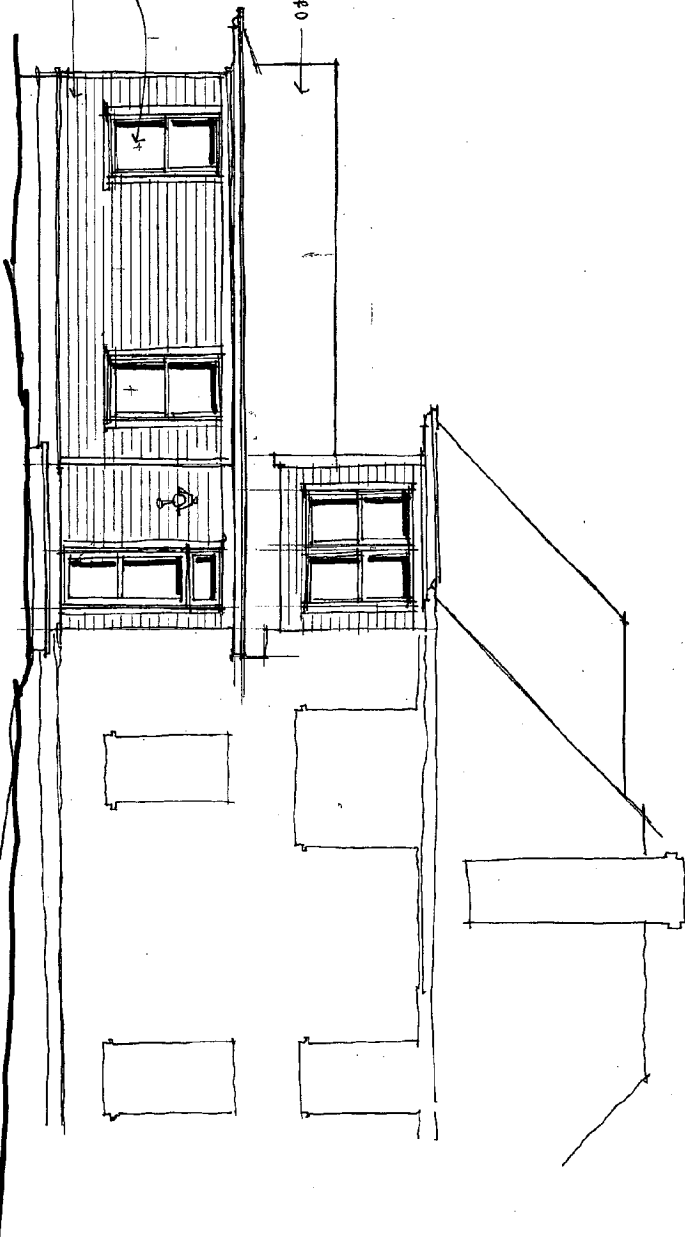
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Bethesda, MD 20817

○ Proposed Rear Elevation
1/4" = 1'-0"



○ Proposed Left Side Elevation
1/4" = 1'-0"



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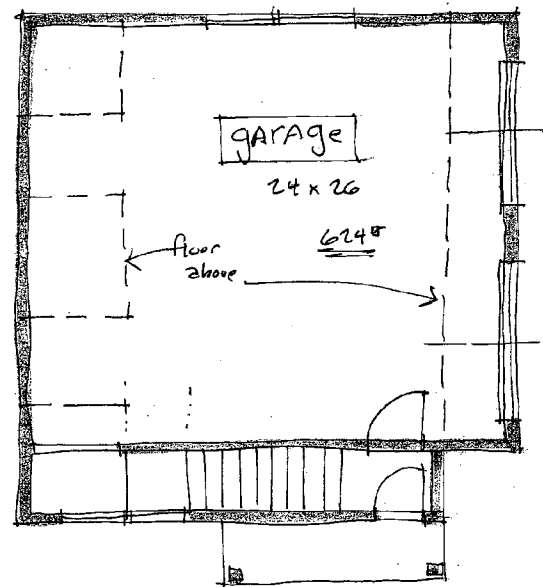
PROPOSED RENOVATIONS FOR:

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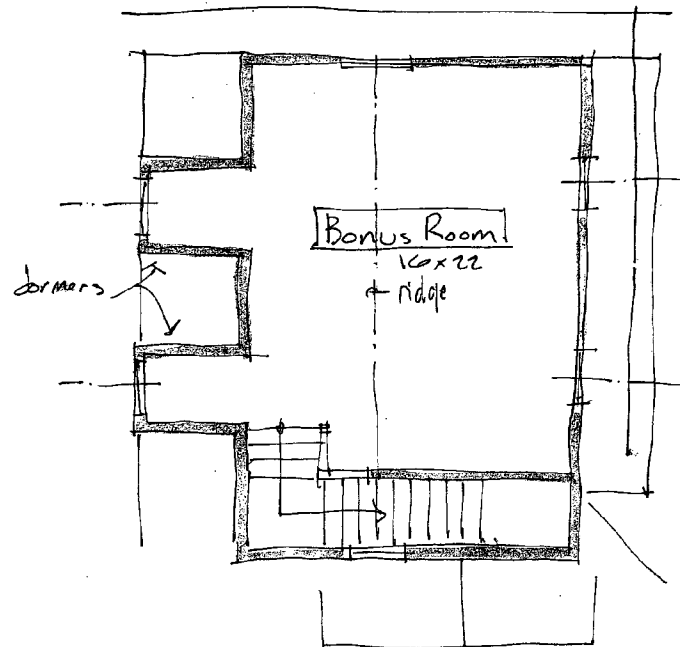
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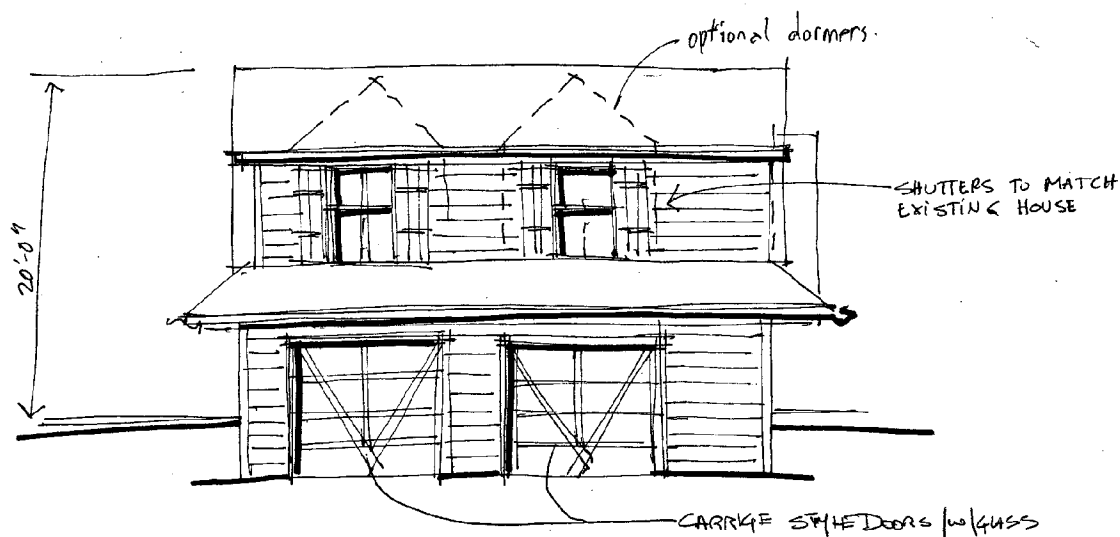
Marywood Design Build,
Inc.
6601 Marywood Road
Bethesda, MD 20817



○ First Floor Plan
1/4" = 1'-0"



○ Second Floor Plan
1/4" = 1'-0"



○ Proposed Elevation.
1/4" = 1'-0"



○ Proposed Elevation
1/4" = 1'-0"

FACING REAR
HOUSE



FACING DRIVEWAY
REAR





N.E. ELEVATION



FRONT FACADE (STREET VIEW) RE. ELEVATION
(NEW WORK TO LEFT SIDE)



S.W. ELEVATION



N.W. ELEVATION REAR FACADE
(NEW WORK)

REAR LEFT SIDE
← FACING BACK



LEFT SIDE

FACING LEFT SIDE



31533 143

31/6
10216 Kensington
PKwy

Parcel I.D. Nos. 13-15-1019573; 13-15-1019584; 13-15-1019595; and 13-15-1019607

DEED OF EASEMENT

THIS DEED OF EASEMENT (the "Deed") is granted as of this 20th day of December 2005, by STEPHEN L. PETERSON and ALESIA W. PETERSON (individually, a "Grantor"; and jointly, the "Grantors") to and for the benefit of MONTGOMERY COUNTY, MARYLAND, a body corporate and politic (the "Grantee").

WITNESSETH:

WHEREAS, the Grantors are the owners of certain real property known as ~~10216 Kensington Parkway, Kensington, Maryland 20895, consisting of Lot 6, Lot 7, Lot 8 and Lot 9~~ (individually, a "Lot"; and collectively, the "Lots") in Block 3 in the Subdivision known as Kensington Park, Montgomery County, State of Maryland and as more particularly described in Exhibit A attached hereto and incorporated herein by reference and which consists of land containing approximately 31,375 square feet in size (the "Property") and upon which certain improvements have been developed (the "Improvements"); and

WHEREAS, the single-family home currently on the Property is situated on Lot 8; and

WHEREAS, the Property is located in an historic district listed in the National Register which historic district has been acknowledged and accepted by the Grantee and the Maryland-National Capital Park and Planning Commission and incorporated into the Grantee's master plan for historic preservation; and

WHEREAS, Grantee is a body corporate and politic and has established laws whose purpose is generally to protect, preserve and enhance sites, structures with their appurtenances and environmental settings, and districts of historic, archeological, architectural or cultural value, all as is more particularly provided for by law; and

WHEREAS, this Deed will promote the conservation and preservation of the substantial historic, architectural, cultural and scenic character of the Property; and

WHEREAS, the Grantors hereby express their desire to limit and otherwise restrict the use, enjoyment and the nature of the improvements which may be made to certain of the lots as set forth herein; and

WHEREAS, Grantee is possessed with the power and duty to accept and hold this Deed; and

WHEREAS, the Historic Preservation Commission of Montgomery County, Maryland (the "Historic Preservation Commission") is possessed with the power and duty to administer this Deed; and

WHEREAS, Grantee has determined that this Deed is exclusively for conservation and preservation purposes.

NO FEE - MONTG. CO. MD.
2005 DEC 29 A 9 08

FILED
MOLLY D. TRUHL
CLERK OF THE CLERK'S OFFICE
MONTGOMERY CO. MD.

TOTAL 0.00
Res#008 Rec#093999
MQR: EC 81143684
Dec 27 2005 09:08 am

NOW, THEREFORE, in consideration of the foregoing recitals, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Grantors hereby grant and convey to Grantee with Special Warranty of Title certain easement(s) (individually, an "Easement"; collectively, the "Easements") with respect to certain of the lots comprising the Property known as 10216 Kensington Parkway, Kensington, Maryland 20895, together with all of the rights and interests thereto belonging to said lots, which is situate, lying and being in Montgomery County, State of Maryland, and which is more particularly set forth in Exhibit A.

2. The definitions of the words "Property" and "Improvements" set forth in the Recitals are incorporated herein by reference.

3. The terms of the Easement are as follows:

(A) Duration and Nature of the Easement. Each Easement shall be perpetual in duration. The parties agree that each Easement is and shall be considered an easement in gross and as such is inheritable and assignable and runs with the land as an incorporeal property interest in the lot on which said Easement is granted enforceable by Grantee and its successors, transferees and assigns with respect to each said lot and against Grantors and Grantors' heirs, successors, transferees and assigns. Each Easement is subject to any and all presently existing valid encumbrances, easements and rights-of-way upon the lot on which said Easement is granted. Notwithstanding the immediately preceding sentence, the Property and the Improvements are currently encumbered by (i) a Deed of Trust recorded in the land records of Montgomery County, Maryland securing a loan payable to Chase Manhattan Mortgage Corporation ("Lender One"); and (ii) a Deed of Trust recorded in the land records of Montgomery County, Maryland securing a loan payable to SunTrust Bank ("Lender Two"). Lender One and Lender Two each hereby subordinates its rights in the Property and to the right of the Grantee, its successors or assigns, to enforce the conservation purposes of the Easements in perpetuity, and joins in the execution of this Deed of Easement for the sole and limited purpose of so subordinating its interest.

(B) Description of Easement. The Easements which the Grantors grant and the rights reserved to the Grantors pursuant to this Deed are described as follows:

(i) With respect to Lot 6 and Lot 7 of the Property the Grantors hereby prohibit any development improvements to both Lot 6 and Lot 7 other than the maintenance and/or improvement (x) to any fence, barrier or other form of separation currently on or subsequent to the date hereof constructed on Lot 6 or Lot 7 which shall separate Lot 6 from Lot 7 or separate Lot 6, Lot 7 or both from any adjacent or contiguous property or (y) to any driveway currently on, or subsequent to the date hereof, constructed on Lot 6 or Lot 7 or Lot 6 and Lot 7.

(ii) With respect to Lot 8 on which the Grantor's home is currently located there shall be no easement granted which limits and otherwise restricts the development, renovation or alteration of or the nature of the improvements which may be made to said Lot in any manner and, accordingly, the Grantors reserve the right to construct on or otherwise develop, renovate or alter Lot 8 with any improvement; provided, however, that in all events any such construction, development, renovation, alteration or improvement, shall be developed, planned and implemented in accordance with the applicable rules and regulations of and approved by the Historic Preservation Commission and any other governmental or quasi-governmental agency having authority over the development of Lot 8.

(iii) With respect to Lot 9 the Grantors prohibit the construction of a single-family or multi-family home or townhouse or any other improvement which may be used as a residence on Lot 9. However, notwithstanding the immediately preceding sentence, the Grantors reserve the right to construct on or otherwise develop, renovate or alter Lot 9 with any improvement including, but not limited to, (a) an addition to, upgrade to, or change in the use and purpose of any existing structure currently on or subsequent to the date hereof constructed on Lot 9, (b) a garage, (c) a swimming pool, (d) tennis court, (e) an accessory apartment, or (f) a fence or other barrier separating Lot 9 from any adjacent or contiguous property; provided, however, that in all events any such construction, development, renovation, alteration or improvement, shall be developed, planned and implemented in accordance with the applicable rules and regulations of and approved by the Historic Preservation Commission and any other governmental or quasi-governmental agency having authority over the development of Lot 9.

(C) Subdivision Prohibited. Grantors hereby acknowledge that the Property consists of four (4) lots. The Grantors hereby memorialize their desire to treat and preserve all of the Property as a single unitary parcel in furtherance of their wishes to permit only one single-family home on the Property and to prohibit the construction of an additional single-family home on the Property except as otherwise provided for herein and, accordingly, the Grantors hereby covenant and agree that there shall exist only one single-family home on the Property and they shall not cause, permit or suffer the construction of an additional single-family home on the Property.

(D) Public Access. Grantors hereby agree to make the Property open to the public on two days per year, from 10:00 A.M. until 4:00 P.M., by prearrangement and appointment through the Grantee for inspection and viewing of the grounds and exterior structure; and to further permit the Grantee access to the grounds on such days or at other times by appointment as may be determined by the Grantor, to (i) photograph the grounds and exterior structure and to distribute such photographs to magazines, newsletters, or other publicly available publications, and (ii) to arrange for educational organizations, professional architectural associations, and historic societies to study the Property and the exterior of the structure.

(E) Inspection. Grantee shall have the right to enter the Property on reasonable notice to the Grantors for the purpose of inspecting the Property to determine whether there is compliance by the Grantors with the terms of this Deed. Grantors and Grantee agree that

they shall be governed by Chapter 24A of the Montgomery County Code and that all renovations and alterations made to the structure shall be reviewed and approved by the Historic Preservation Commission.

(F) Enforcement. Upon any breach by the Grantors of any of the material terms, conditions or restrictions contained in any Easement granted hereby, the Grantee may exercise any or all of the following remedies, but only after fifteen (15) days prior written notice and opportunity to cure such breach:

- (i) institute a suit to enjoin any breach or enforce any covenant by ex parte, temporary and/or permanent injunction;
- (ii) demand that any Lot and/or Property be restored promptly to the condition required by said Easement or Easements; and
- (iii) correct any breach, and hold Grantors responsible for the resulting cost.

Grantee's remedies shall be cumulative and shall be in addition to any other rights and remedies available to Grantee at law or equity. If the Grantors are found to have breached any of their obligations under any Easement granted hereby, Grantors shall jointly or severally reimburse Grantee for any reasonable costs or expenses incurred by Grantee, including, but not limited to, court costs and reasonable attorneys' fees.

(G) Waiver. No failure on the part of Grantee to enforce any covenant or provision herein nor the waiver of any right hereunder by Grantee shall discharge or invalidate such covenant or provision or any other covenant, condition, or provision hereof, or affect the right of Grantee to enforce the same in the event of a subsequent breach or default.

(H) Notice. Any notice required to be given hereunder shall be in writing and shall be given by certified or registered mail, with postage prepaid and return receipt requested and, if to the Grantors, addressed to the Grantors as follows:

Stephen and Alesia Peterson
(or the then current owner of the Real Estate)
10216 Kensington Parkway
Kensington, Maryland 20895

or to the Grantors at such other address as the Grantors may from time to time designate by notice to the Historic Preservation Commission, or, if to the Grantee, addressed to the Grantee as follows:

Chairperson
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

or to the Grantee at such other address as the Chairperson of the Historic Preservation Commission may from time to time designate by notice to the Grantors. Any notice given in the foregoing manner shall be deemed to have been given upon receipt thereof, which shall be presumed to be two (2) days after the day notice has been deposited with the United States Post Office.

(I) Construction. The Easements are for the purpose of promoting and shall be construed to promote the purposes of Chapter 24A of the Montgomery County Code and of Section 2-118 of the Real Property Article of the Annotated Code of Maryland, and to preserve the historic, architectural, cultural and scenic character of the Property.

(J) Subsequent Conveyance. Grantors agree that the restrictions set forth in this Deed will be inserted, verbatim or by express reference, in any subsequent deed or other legal instrument by which the Grantors' fee simple title to any applicable portion of the Property or any other possessory interest in the Property, or any part thereof, is divested or conveyed.

(K) Transfer of Ownership. The Grantors agree to notify the Grantee in writing of the names and addresses of any party to whom the Property, or any part thereof, is being transferred before or within thirty (30) days of the time the transfer is consummated.

(L) Conservation Purposes. Grantee agrees that it will hold this Deed exclusively for conservation purposes, i.e., that it will not transfer this Deed whether or not for consideration. However, subject to the provisions of any applicable federal law, Grantee may assign or transfer its interest in this Deed to a governmental unit or organization which qualifies at the time of the transfer as an eligible donee of this Deed under any pertinent provisions of federal law including, but not limited to, the Maryland Historical Trust, which will continue to hold this Deed exclusively for conservation purposes.

(M) Property Right. Grantors agree that the donation of this Deed gives rise to a property right, immediately vested in the Grantee, with a fair market value equal to the proportionate value that this Deed at the time of the donation bears to the value of the Property as a whole.

(N) Extinguishment. Each Easement may be extinguished by a judicial proceeding if an unexpected change in the conditions applicable to the Lot upon which said Easement is granted occurs including, but not limited to, a casualty which substantially destroys the structure or makes it impossible or impractical to continue the use of said Easement for conservation purposes. In the event of such judicial extinguishment of an Easement granted hereby, and upon a subsequent sale, exchange or involuntary conversion of the Lot upon which said Easement is granted, or any portion thereof, Grantee shall be entitled to a portion of the proceeds of the sale, exchange or involuntary conversion which are allocated to said Lot (as

defined herein and which does not include the value of any improvements) equal to the proportionate value that said Easement, at the time of its donation, bore to the value of the applicable Lot as a whole at that time, but which in no event shall be less than five percent (5%) of the value allocated to said Lot at the time of such sale, exchange or involuntary conversion, and any and all compensation so received by the Grantee shall be used by the Grantee in a manner for conservation purposes consistent with the Easement.

(O) Interpretation. This Deed shall be interpreted under the laws of the State of Maryland and Montgomery County, Maryland resolving any ambiguities and questions of the validity of specific provisions so as to give maximum effect to its historic preservation purpose.

(P) Perpetual Duration. The Easements created by this Deed shall be a servitude running with the land in perpetuity. Every provision of the Easements that applies to the Grantors or Grantee shall also apply to their respective agents, heirs, executors, administrators, assigns, and all other successors in interest.

(Q) Responsibilities of Grantors Not Affected. Other than as specified herein, the Easements are not intended to impose any legal or other responsibility on the Grantee, or in any existing obligation of the Grantors as owners of the Property.

To have and To Hold, this Deed of Easement unto the Grantee, its successors and assigns, forever.

IN WITNESS WHEREOF, the Grantors and Grantee intending to legally bind themselves have set their hands and seals on the date first written above.

Witness:

Patience Gaskill

By: Stephen L. Peterson
Stephen L. Peterson

Patience Gaskill

By: Alesia W. Peterson
Alesia W. Peterson

Sophia Teng

Bruce Romer
Bruce Romer, Chief Administrative Officer,
Montgomery County, Maryland

APPROVED AS TO FORM AND LEGALITY

Vickie L. Gaul, Miss. County Atty.
Vickie L. Gaul
Office of the County Attorney 12/22/05

Lender One Acknowledgment – Deed of Easement

IN WITNESS WHEREOF, Chase Home Finance LLC, successor by merger to Chase Manhattan Mortgage Corporation has on this 20th day of December, 2005, caused these presents to be signed by Tamara Aziz, its Asst. Vice President, and attested by its Asst. Secretary and its corporate seal to be affixed and hereby appoints Tamara Aziz its true and lawful Asst. Vice President to acknowledge and deliver these presents as its act and deed.

Chase Home Finance LLC, successor by merger to Chase Manhattan Mortgage Corporation

Attest:

(Corporate Seal)



Charita Raganas, Asst. Secretary

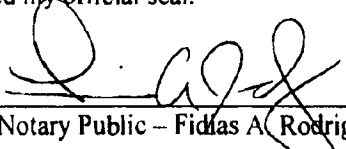
By: 
Tamara Aziz, Asst. Vice President

Notary Form For Lender One

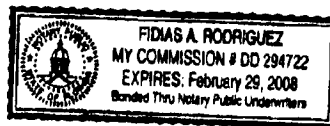
FLORIDA)
) SS:
HILLSBOROUGH)

I hereby certify that on this 20th day of December, 2005, before the subscriber, a Notary Public in and for the state and county aforesaid, personally appeared before me Tamara Aziz who is personally well known to me as the person named as the Asst. Vice President in the foregoing and annexed deed of easement as the executive officer as aforesaid, and by virtue of the power vested in him/her by said deed, acknowledged the same to be the act and deed of Chase Home Finance LLC, successor by merger to Chase Manhattan Mortgage Corporation.

IN TESTIMONY WHEREOF, I have affixed my official seal.


Notary Public – Fidias A. Rodriguez

My Commission expires: 02/29/2008

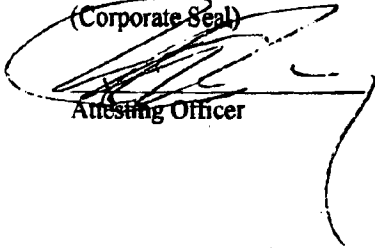


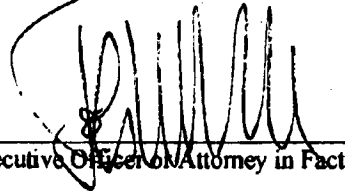
Lender Two Acknowledgment - Deed of Easement

IN WITNESS WHEREOF, SUNTRUST BANK [lender name] has on this 12th day of DECEMBER, 2005, caused these presents to be signed by JOHN K. CRAWFORD [print name], its V. P. [title of executive officer], and attested by its AVP [title of attesting officer e.g., corporate secretary] and its corporate seal to be affixed and hereby appoints ROSS G. PERRY its true and lawful attorney in fact to acknowledge and deliver these presents as its act and deed.

SUNTRUST BANK
Name of Lending Institution

Attest:

(Corporate Seal)

Attesting Officer

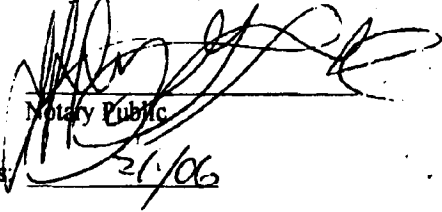
By: 
Executive Officer or Attorney in Fact

Notary Form For Lender Two

State of Maryland)
) SS:
Maryland)

I hereby certify that on this 12 day of December, 2005, before the subscriber, a Notary Public in and for the state and county aforesaid, personally appeared before me John K. Crawford who is personally well known to me as the person named as the attorney in fact in the foregoing and annexed deed of easement as the executive officer or attorney in fact (circle one) as aforesaid, and by virtue of the power vested in him/her by said deed, acknowledged the same to be the act and deed of _____

IN TESTIMONY WHEREOF, I have affixed my official seal.


Notary Public
My Commission expires 2/1/06

ACKNOWLEDGMENTS

STATE OF MARYLAND)
) SS:
COUNTY OF MONTGOMERY)

I hereby certify that on this 17th day of December, 2005, before the subscriber, a Notary Public of the State of Maryland, personally appeared before me STEPHEN L. PETERSON and acknowledged the foregoing instrument to be his act and deed and that he executed the same for the purposes therein contained.

IN TESTIMONY WHEREOF, I have affixed my official seal.

Patience Gaskill
Notary Public

My Commission expires:

PATIENCE GASKILL
NOTARY PUBLIC
MONTGOMERY COUNTY
MARYLAND
MY COMMISSION EXPIRES AUG. 1, 2008

STATE OF MARYLAND)
) SS:
COUNTY OF MONTGOMERY)

I hereby certify that on this 17th day of December, 2005, before the subscriber, a Notary Public of the State of Maryland, personally appeared before me ALESIA W. PETERSON and acknowledged the foregoing instrument to be her act and deed and that she executed the same for the purposes therein contained.

IN TESTIMONY WHEREOF, I have affixed my official seal.

Patience Gaskill
Notary Public

My Commission expires:

PATIENCE GASKILL
NOTARY PUBLIC
MONTGOMERY COUNTY
MARYLAND
MY COMMISSION EXPIRES AUG. 1, 2008

STATE OF MARYLAND)
) SS:
COUNTY OF MONTGOMERY)

I hereby certify that on this 28 day of December, 2005, before the subscriber, a Notary Public of the State of Maryland, personally appeared before me Bruce Romer and acknowledged that he is the Chief Administrative Officer of Montgomery County, Maryland and that the execution of the foregoing instrument is his free act as Chief Administrative Officer on behalf of Montgomery County, Maryland.

IN TESTIMONY WHEREOF, I have affixed my official seal.

Deborah A Richards
Notary Public
Deborah A Richards

My Commission expires: 3-1-08

THE UNDERSIGNED, a member in good standing of the Bar of the Court of Appeals of Maryland, hereby certifies that the within instrument was prepared by him.

Daniel P. Hodin
Daniel P. Hodin, Esquire

This instrument is insured by: No title insurance.

Grantor's and property address:

10216 Kensington Parkway, Kensington, MD 20895

Grantee's address:

Montgomery County, MD
101 Monroe Street, 3rd Floor
Rockville, MD 20850

AFTER RECORDING, PLEASE RETURN TO:
Office of the County Attorney
101 Monroe St., 3rd Fl., Rockville, MD 20850

Attn: Vickie Gaul

31533 154

EXHIBIT A

Legal Description

Lots numbered Six (6) , Seven (7), Eight (8), and Nine (9), in Block Three (3) in the subdivision known as "Kensington Park" duly recorded among the Land Records of Montgomery County, Maryland in Liber JA-23, Folio 3 and Plat Book B, Plat 4.



OFFICE OF THE COUNTY ATTORNEY

Douglas M. Duncan
County Executive

Charles W. Thompson, Jr.
County Attorney

December 29, 2005

Molly Ruhl
Circuit Court for Montgomery
County, Maryland
Courthouse
Rockville, Maryland 20850

RE: Historic Preservation Easement for the Benefit of Montgomery County, Maryland
on 10216 Kensington Parkway, Kensington, Maryland

Dear Ms. Ruhl:

Please record the attached document on behalf of Montgomery County, Maryland, and
waive the usual recording fee.

Thank you for your attention to this matter.

Very truly yours,

Vickie L. Gaul
Associate County Attorney

91533 1561

State of Maryland Land Instrument Intake Sheet
Baltimore City & County: Montgomery

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office only.

(Type or Print in Black Ink Only—All Copies Must Be Legible)

Check Box if Addendum Intake Form is Attached.

1 Type(s) of Instruments: Deed Deed of Trust Improved Sale Arms-Length (1) Mortgage Lease Easement Other _____

2 Conveyance Type Check Box: Arms-Length (1) Arms-Length (2) Arms-Length (3) Multiple Accounts Not an Arms-Length Sale (9)

3 Tax Exemptions (if Applicable): Recordation State Transfer County Transfer **NO TAX - FOR MONT. CITY**

4 Consideration and Tax Calculations

Consideration Amount		Finance Office Use Only	
		Transfer and Recordation Tax Consideration	
Purchase Price/Consideration	\$	Transfer Tax Consideration	\$
Any New Mortgage	\$	X () % =	\$
Balance of Existing Mortgage	\$	Less Exemption Amount	\$
Other:	\$	Total Transfer Tax	= \$
Other:	\$	Recordation Tax Consideration	\$
Full Cash Value	\$	X () per \$500 =	\$
		TOTAL DUE	\$

5 Fees

Amount of Fees	Doc. 1	Doc. 2	Agent:
Recording Charge	\$	\$	
Surcharge	\$	\$	Tax Bill:
State Recordation Tax	\$	\$	
State Transfer Tax	\$	\$	C.B. Credit:
County Transfer Tax	\$	\$	
Other	\$	\$	Ag. Tax/Other:
Other	\$	\$	

6 Description of Property

SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).

District: 13-15-01 9573 Grantor Liber/Folio: 13-15-101 9584 Map: 13-15-101 9595 Parcel No.: 13-15-101 9607 Var. LOG: (9)

Subdivision Name: Kensington Park Lot (3a): 6, 7, 8, 9 Block (3b): 3 Plat Ref.: Sq/Ft/Acreage (4):

Location/Address of Property Being Conveyed (2): 10216 Kensington Pkwy, Kensington, MD 20895

Other Property Identifiers (if applicable): Water Meter Account No.:

Residential or Non-Residential Fee Simple or Ground Rent Amount:

Partial Conveyance? Yes No Description/Amt. of Sq/Ft/Acreage Transferred:

If Partial Conveyance, List Improvements Conveyed:

7 Transferred From

Doc. 1 - Grantor(s) Name(s): N/A Doc. 2 - Grantor(s) Name(s):

Doc. 1 - Owner(s) of Record, if Different from Grantor(s): Doc. 2 - Owner(s) of Record, if Different from Grantor(s):

8 Transferred To

Doc. 1 - Grantee(s) Name(s): N/A Doc. 2 - Grantee(s) Name(s):

New Owner's (Grantee) Mailing Address:

9 Other Names to Be Indexed

Doc. 1 - Additional Names to be Indexed (Optional): Doc. 2 - Additional Names to be Indexed (Optional):

10 Contact/Mail Information

Instrument Submitted By or Contact Person: Return to Contact Person Hold for Pickup Return Address Provided

Name: VICKIE GILL
Firm: Office of County Attorney
Address: 111 Monroe St, 3rd Fl, Rockville, MD 20850 Phone: 301-240-777-6718

11 IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER

Assessment Information: Yes No Will the property being conveyed be the grantee's principal residence?
 Yes No Does transfer include personal property? If yes, identify:
 Yes No Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).

Assessment Use Only - Do Not Write Below This Line

Terminal Verification Ancillary Verification Whole Part Tran. Process Verification

Transfer Number:	Date Received:	Deed Reference:	Assigned Property No.:
Year: 19	19	Geo. Map	Sub Block
Land	Zoning	Grid	Plat
Buildings	Use	Parcel	Section
Total	Town Cd.	Ex. St.	Occ. Cd.

REMARKS:

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
2 HISTORIC PRESERVATION COMMISSION

3 - - - - - X
4 HISTORIC AREA WORK PERMIT - : HPC Case No.
5 10216 Kensington Parkway :
6 - - - - - X
7 PRELIMINARY CONSULTATION - :
8 David Fairchild Estate :
9 - - - - - X

10 A meeting in the above-entitled matter was held on
11 October 22, 2008, commencing at 7:25 p.m., in the MRO
12 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
13 20910, before:

14 COMMITTEE CHAIRMAN

15 Jeff Fuller

16 COMMITTEE MEMBERS

17 David Rotenstein
18 Warren Fleming
19 Nuray Anahtar
20 Leslie Miles
21 Thomas Jester
22 Lee Burstyn

ALSO PRESENT:

Joshua Silver
Anne Fothergill, Staff

APPEARANCES

STATEMENT OF:

PAGE

Jonathan Binder

9

Stuart Barr, Esq.
John Tschiderer

21

1 10216 Kensington Parkway. Staff.

2 MR. SILVER: Certainly. 10216 Kensington Parkway
3 is a primary one or an outstanding resource located within
4 the Kensington historic district. The proposal is to remove
5 a one-story enclosed sunroom from the rear elevation and
6 construct a two-story rear addition that will contain wooden
7 doors, windows and siding, and an asphalt shingle roof to
8 match the historic massing. It also includes the eight-foot
9 by eight-foot patio installation on the north corner of the
10 proposed rear addition.

11 The applicants are also proposing to remove a 1963
12 one-car garage from the rear of the property, construct a
13 20-foot by 26 two-car two-story garage in the same
14 approximate location. The proposed garage will contain
15 wooden windows, doors and siding, and a standing seam metal
16 roof. The proposal also includes the installation of a
17 20-foot by 20-foot driveway turn around area that is part of
18 an extension of the existing driveway that will provide
19 additional access to the second garage bay.

20 The staff supports the proposed rear addition and
21 construction of both the garage as well as the addition.
22 The proposal was originally submitted as a historic area
23 work permit, and staff did not recommend approval because it
24 was a large side addition that included an attached two-car
25 garage.

1 Since the original submittal, staff has worked
2 with the applicant and design team in explaining the merits
3 of a sympathetic addition. The revised design for the
4 addition responds to the comments and feedback staff has
5 provided throughout the review of this application, and
6 those plans have been included in circle 20 of the staff
7 packet.

8 The design and proposed rear addition is in
9 keeping with the design of the primary structure and is
10 confined to the rear elevation of the house. The proposed
11 design maintains a lower ridge height than the historic
12 massing and will not affect the perceived character of the
13 building. The use of wooden windows and doors and siding
14 are appropriate material treatments for a rear addition to a
15 primary, outstanding resource.

16 The plans do not show any significant inset of the
17 rear addition of the historic massing, but the applicants
18 have since agreed to inset that six inches on either side,
19 and will reflect this change in their final plans.

20 With regard to the garage, the HPC has only rarely
21 approved the construction of garages similar to this, on a
22 case-by-case basis, but is recommending that the Commission
23 approve this garage because of the specifics of this
24 property.

25 Most notably, this is an atypical Kensington lot

1 that contains the house and existing one-car one-story
2 garage on a double lot, and also has two vacant lots
3 immediately adjacent to the north that are owned by the
4 applicant. Also, Montgomery County has an easement for the
5 preservation of the open space of those two adjacent lots.
6 So the proposed work is on the existing lot with the house,
7 as well as the adjacent lot that is in the deed of easement.
8 It allows for construction of something like the garage or
9 other sort of ancillary structure.

10 Staff can support this garage at this location
11 because of the expansiveness of the property, coupled with
12 the existing landscaping which includes having mature trees
13 in the location on the far right corner of the property. So
14 not only is the actual garage in keeping with the style, the
15 character of the property, but its location is also ideal.

16 The use of windows and doors and siding are
17 similar to the historic massing, as well as the addition and
18 the standing seam metal roof. These definitely are
19 appropriate materials for an accessory structure.

20 So cumulatively, the proposed work will not alter
21 the integrity of the property, as the environment does not
22 substantially alter the character of this resource. The
23 work is consistent with the vision and standards for
24 exterior alterations to a primary one resource property
25 within the district, and staff is recommending approval with

1 the conditions specified on circle one. And I do know the
2 applicants have agreed to those conditions.

3 MR. FULLER: Are there any questions for staff?

4 MR. SILVER: I have some slides, if you'd like to
5 see them, I can flip through them.

6 MR. ROTENSTEIN: I think that helps us.

7 MR. SILVER: There is also a letter that was
8 submitted from a community member regarding the addition, as
9 well as the garage. There was support for the addition with
10 some additional refinement to the details which I think can
11 be resolved on the permanent set of plans. There was a
12 question with regard to the garage. I felt that it was in
13 keeping with the scale and the character of the property,
14 but also required some, possible additional refinements.

15 MR. GROSSMAN: Would people like to see the slides
16 or would you like to hear from the applicant?

17 MS. MILES: Could we see the slides quickly.

18 MR. SILVER: So the sort of orangish, yellowish
19 color, I guess on the big screen, more of an orange on your
20 screen that makes up the lot--the double lot with the house.
21 The existing garage, if you look at the big screen, it's
22 sort of in that area right there. It doesn't show up in the
23 GIS, but that's where the proposed new garage is going to be
24 located. And then the vacant lots, working the way toward
25 the north.

1 And these are the same aerials that were in your
2 staff packet, but of course, a little bit clearer. And I've
3 noted on there, the square, colored square, just to give you
4 a sense of the garage location. You can see how far back it
5 is located, not only because of those double lots, but the
6 adjacent lot that is part of this property, but also looking
7 at it from head on.

8 And this would be standing on the streetscape, or
9 on the street, excuse me, in Kensington, looking down the
10 driveway from the front area of the sidewalk. And you can
11 see it's the existing garage that is hard to discern. And
12 then, of course, just another sort of side elevation from
13 the streetscape, looking at the house. And that's all I
14 have for slides.

15 MR. FULLER: Thank you. Again, any questions for
16 staff? Would the applicant like to come forward. State
17 your name for the record, if you would like to make a
18 presentation or if you have any questions about the staff
19 report.

20 MR. BINDER: My name is Jonathan Binder.

21 MR. SILVER: John, will you have a seat and just
22 hit one of the buttons there so they can hear you.

23 MR. BINDER: Sure. My name is Jonathan Binder. I
24 don't have any questions. I think we've worked all of our
25 conflicts out. We have nothing further to add.

1 MR. FULLER: Great. Are there any questions for
2 the applicant? This is unusual. Okay. Let us move into
3 deliberations.

4 MS. ANAHTAR: Well, actually, I have a comment,
5 not a question.

6 MR. FULLER: Sure.

7 MS. ANAHTAR: First of all, I don't think that
8 six-inches is going to make a big difference.

9 MR. SILVER: We've been raising that.

10 MS. ANAHTAR: So I would suggest that be a little
11 bit bigger. But my only comment is, on that small gable
12 here in your addition, the arched window, that facade is a
13 little bit different than the real style of this house.
14 Maybe a hip roof in there would have been better. I can't
15 see that there is another gabled roof, but much steeper
16 roof, roof pitch. This is too shallow for that. It just
17 looks different in style. Realistically, it still looks
18 different than the rest of the house. That's all.

19 MR. FULLER: Any other questions?

20 MR. ROTENSTEIN: Could the applicant respond to
21 that? I don't know whether this is a suggestion or --

22 MR. BINDER: I'll be glad to look at that as a
23 consideration, if it would work with the purpose of the
24 space to see if we can accommodate you. I think we have
25 tried to accommodate every single issue that has been

1 raised, and we would be glad to look at that further, and
2 study that.

3 MR. FULLER: This is not a preliminary. This is
4 an application, so we are either asking for something, as of
5 right now. The way the HAWP is written we are approving it
6 as submitted. So if we want that as a condition of
7 approval, then as part of the motion, we want to include it
8 that way.

9 MR. ROTENSTEIN: I would just want to point out
10 that it's located on a rear elevation, and I don't think it
11 would be subject to a review at this point.

12 MR. FULLER: Is there any other discussion?

13 MS. MILES: The garage is really kind of a sketch,
14 and it's hard to tell. Are you proposing to put shutters on
15 the windows and the dormers in the garage?

16 MR. BINDER: We are bringing back the shutters of
17 the existing house.

18 MS. MILES: Okay. And the garage doors that you
19 are showing?

20 MR. BINDER: They are going to be in keeping with
21 the style of the house, with glass. I think we have written
22 on there -- right? We're trying to keep everything in
23 character and keeping with the style. So we are looking for
24 a carriage garage door, a wood carriage garage door.

25 MS. MILES: There are now some really very nice,

1 very appropriate garage doors.

2 MR. BINDER: I know. We're excited about that
3 part.

4 MS. MILES: Okay. That's all my comments.

5 MR. BURSTYN: Mr. Chair, we're recommending that
6 the applicant submit plans for this roof that Commissioner
7 Anahtar suggested, the staff could go either way, and it
8 could be approved at staff level if that's amenable to the
9 other members of the Commission.

10 MR. BINDER: I prefer keeping our option open on
11 that. I don't have a specific answer to that right now.
12 The elevation faces to the rear of the property. It's
13 really private seen just from their property. I would be
14 glad to look at that.

15 MR. FULLER: Your report right now is not asking
16 for additional detail on the garage, although the community
17 representative is asking for that.

18 MR. SILVER: That is correct, yes. And so if you
19 want it, I mean, I think the applicant will state, obviously
20 will need to have additional details in order to get a
21 building permit, of course. But if that's something that
22 the Commission would like to see before that, or at the
23 staff level, certainly I would be glad to work with them on
24 that.

25 MR. FULLER: All right. Are we looking for a

1 motion.

2 MS. MILES: I move that we adopt the
3 recommendation of the staff to approve this HAWP with the
4 four attached conditions.

5 MR. FULLER: Is there a second?

6 MR. FLEMMING: I second.

7 MR. FULLER: Any further discussion?

8 MR. ROTENSTEIN: I think we should probably add
9 that condition about staff level review of the additional
10 details for the garage.

11 MR. FULLER: And the roof.

12 MR. ROTENSTEIN: I'll leave the roof to you.

13 MR. FULLER: Can we -- let us restate what we
14 think we are adding as a fifth condition.

15 MS. MILES: I'd like Nuray to state it, because --

16 MR. FULLER: Well, I think there are different
17 opinions, so let us --

18 MR. BURSTYN: Wait a minute.

19 MR. FULLER: We are voting at this point, so let
20 us finish the --

21 MR. JESTER: Let Commissioner Anahtar state the
22 motion, because it's her condition she'd like to add.

23 MS. MILES: We do have a second and motion, but
24 you can make a friendly amendment to the existing motion
25 that's on the floor.

1 MS. ANAHTAR: So my friendly amendment would be to
2 explore the option of a hip roof.

3 MR. FULLER: Well, again, it is not an
4 exploration. It is either we are asking him to look at
5 something for staff level approval --

6 MS. ANAHTAR: Yes, staff level.

7 MR. BINDER: My understanding then is, if we
8 present an additional alternate roof, we can work this out
9 to decide which works with our --

10 MS. ANAHTAR: Yes.

11 MR. BINDER: Okay.

12 MS. ANAHTAR: And we would approve your case
13 tonight.

14 MR. BINDER: Okay. I have no problem.

15 MS. ANAHTAR: That would be subject to staff
16 approval.

17 MR. BINDER: Okay, only that the hip roof changes
18 the interior space, what they are trying to get. So we want
19 to look at that and present a couple of ideas.

20 MS. ANAHTAR: So you have a cathedral ceiling?

21 MR. BINDER: Yes, it was a cathedral ceiling that
22 we really wanted to get on this house.

23 MS. MILES: So if I can just restate what I
24 understand the friendly amendment to be, which of course I
25 would accept, would be to permit the applicant to submit

1 alternative plans with a hip roof for the rear addition
2 which could be approved at staff level, or the plans, as
3 submitted, could be approved.

4 MS. ANAHTAR: Yes, maybe a narrower but taller
5 window in there could change the proportions. I don't know.

6 I think the roof slope is too shallow, and the window is
7 too wide and that somehow looks too contemporary for this
8 house, is my opinion.

9 MR. SILVER: Staff will work with the applicant to
10 find a resolution.

11 MR. ANAHTAR: Thank you.

12 MR. FULLER: I think we also need to be careful.
13 This is not a design review committee. It is a historic
14 preservation commission, so let us make sure that we are
15 reviewing it from the perspective of what is appropriate or
16 not. This is not a design review.

17 MS. ANAHTAR: Yes, but style should go with the
18 traditional style of a historic house.

19 MR. FULLER: All right. So we have a motion that
20 has been seconded. We have a fifth condition that has been
21 added that addresses the roof of the addition that is going
22 to allow it to be reviewed and approved at staff level. All
23 in favor? I am sorry, there was no discussion of the
24 amendment that was written about the garage. It was
25 discussed in your amendment, but I have not heard a motion

1 included.

2 MS. MILES: Does anyone have a friendly amendment
3 to the pending motion regarding the garage?

4 MR. ROTENSTEIN: I would except I don't find
5 myself in the position of being able to vote for the
6 amendment that requires the applicant to submit an alternate
7 design for the rear roof.

8 MS. MILES: Why don't we do this. I'm going to
9 withdraw my motion, and let's have some further discussion
10 of Commissioner Anahtar's proposal, and see if that can be
11 submitted as a freestanding matter.

12 MR. FULLER: Okay. That closes down. There is no
13 motion on the floor. Let us go back to deliberations.
14 There is obviously some misgivings about whether the roof of
15 the addition should be reviewed. I think there is a general
16 consensus that there need to be additional documents
17 submitted to the staff for final approval.

18 The other matter is the garage configuration and
19 detailing, as well as the rear of the addition. And there
20 seems to be a disagreement as to whether the applicant
21 should be asked to explore the reconfiguration of the roof.

22 Can we try to draw that to a head? Do we want to go onto a
23 vote? Do you want to just go on to a vote asking for -- do
24 you want to have a motion on simply the staff conditions
25 with an amendment regarding the additional details to be

1 resubmitted, and see if that gets support, or see if we need
2 to wait for it.

3 MR. BURSTYN: What conditional details, the garage
4 alone or the garage and the roof?

5 MR. FULLER: The garage is really --

6 MS. MILES: I think we should ask Commissioner
7 Anahtar to move that the roof be submitted in two ways.

8 MR. FULLER: One or the other needs to come up
9 first. I will go for either motion. Let us move forward.

10 MR. BINDER: Can I ask a question?

11 MR. FULLER: Yes.

12 MR. BINDER: When we submitted these drawings, the
13 historic staff had no problem with configuration of the
14 design.

15 MR. FULLER: And I think you are hearing that at
16 least a number of the Commissioners are okay with it as
17 well.

18 MR. BINDER: Are okay with it?

19 MR. FULLER: Yes.

20 MR. BINDER: So I'd like to just submit it and
21 keep it as it is without having to do that. But we'll be
22 glad to work with them as a side issue to see if we can --

23 MR. FULLER: I think we are moving towards
24 approving you, but let us try to resolve this.

25 MR. BINDER: Okay.

1 MR. FULLER: Can we have a motion either about the
2 one or the other, please?

3 MR. ROTENSTEIN: I move that we approve the
4 historic area work permit for this property with the
5 condition stated that the addition of an additional
6 condition that requires the applicant to submit additional
7 details regarding the proposed garage.

8 MR. FULLER: Is there a second?

9 MS. MILES: I second.

10 MR. FULLER: Is there any additional discussion?
11 All right. Let us vote on the motion with the addition of
12 the fifth condition which is for the additional details for
13 the garage to be submitted and approved at the staff level.
14 All in favor? It passes unanimously. Okay.

15 MR. BINDER: Thank you.

16 MR. FULLER: Okay. It took a bit longer than it
17 should have. Next on the agenda this evening is a
18 preliminary consultation, Chevy Chase Rec Association. Is
19 there a staff report, a brief staff report?

20 MS. FOTHERGILL: There is a brief staff report.
21 This is a master plan site, 3538, known as, in the woods.
22 It's also known as the David Fairchild Estate. It was built
23 in 1910 as the home of horticulturalist David Fairchild and
24 his wife Marian Bell, who was the daughter of Alexander
25 Graham Bell.

FOOTING AND FOUNDATION NOTES

- 1. Allowable bearing pressure on natural soil = 2,000 psf (unless otherwise noted on plan)
2. All footings shall project at least 1'-0" into undisturbed soil having a bearing value at least equal to that specified above.
3. The bottom of all footings shall be at least 3" below finished grade.
4. New concrete footings are to be placed on existing footings or foundations walls where possible with 4" rebar embedded 4" into existing foundation, grout shall be placed in voids between new and old concrete.
5. Foundation anchor bolts shall be provided at maximum 6'-0" o.c. in concrete and placed 12" from the end of each section with a minimum of two anchor bolts per section of wall.
6. All drilled earth under footings shall be removed and replaced with properly compacted fill to 95% of maximum dry density. Consult with soil engineer for further information.
7. In the event that the natural soil does not provide the required soil bearing capacity, field tests shall be performed. Any material not suitable shall be removed and replaced with compacted fill.
8. Provide 1" rigid insulation 24" wide at perimeter of all slabs on grade.
9. All basement walls shall have a 4" precast concrete rim joist surrounded with rigid foam insulation.
10. Waterproof all basement walls with 1 coat of bituminous or 2 coats of 5/8" cement masonry waterproofing membrane.
11. Backfill shall not be placed against basement wall concrete and reinforcing steel in a piece and pour operation. Backfill shall be placed in 6" lifts and compacted.
12. Install cast-in-place or precast concrete pad for any additional or new air conditioning condenser. Condenser location shall be approved by mechanical engineer.

CONCRETE NOTES

- 1. Concrete shall comply with the following ASTM standards:
A. Portland cement - ASTM C-150
B. Ready-mix concrete - ASTM C-94
C. Welded wire fabric - ASTM A-185
D. Coarse aggregate - clean crushed stone or natural gravel conforming to ASTM specification C-33 and not larger than 3/4"
E. Fine aggregate - clean natural sand or stone, sharp particles, without clay content
F. Water - Clean, potable. Generally suitable for domestic consumption
G. Admixtures - Generally suitable for domestic consumption
2. The concrete shall be used in a degree of plasticity which would produce the specified slump as follows:
A. Concrete walls Max. 11" Min. 7"
B. Footings 8" 4"
C. Slabs 6" 3"
If mechanical vibrations are used, reduce slump by one-third.
3. No concrete mix with less compressive strength than 2,500 psi shall be used for concrete work.
4. Provide all necessary formwork to produce finished concrete work of required dimensions and finishes. Forms shall be of sufficient strength and sufficiently tight to prevent distortion and leakage.
5. Treatable for borings may be excavated to the dimension of concrete if the nature of the soil will permit.
6. Joints of slabs on grade or joints that affect vertical surfaces or other locations shall have asphalt saturated fiber type filter fabric, one-half inch thick, by full thickness of slab.
7. Provide reinforcing steel shall comply exactly with the design. Remove loose sand and debris from all reinforcement before placing concrete.
8. Do not pour concrete in cold weather when the initial temperature of concrete is less than 45 F or against frozen or frost covered surfaces. Remove all damaged concrete at once.

FLASHING NOTES

- 1. Provide flashing at the head and joints of windows and doors in accordance with manufacturer's instructions. Install flashing at intersections of cladding with roof and walls, at wood and metal walls at roof and wall intersections, in all roof valleys and around roof openings. Provide drip flashing at all roof eaves and rakes.
2. The waterproofing system on all materials should follow grade to prevent electrical deterioration. Provide female shingles where required.
3. All horizontal and vertical joints in flashing shall be applied with the same material as the flashing.
4. Counter flashing shall be finished with 26 GA. Copper and counter finished with 26 GA. GALV. Sheet metal. Metals shall be separated or primed to prevent galvanic reactions.
5. All flashing shall be concealed as much as possible. Where they are exposed, they shall be of copper. (Including roof valleys)

CARPENTRY NOTES

- 1. Do not cut, nail, cut, block-out or otherwise any structural member without prior written approval from the designer except as follows:
a. Joist cut for window or door opening.
b. Joist cut for roof and wall.
c. Joist cut for roof and wall.
d. Joist cut for roof and wall.
2. All framing shall project at least 1'-0" into undisturbed soil having a bearing value at least equal to that specified above.
3. The bottom of all footings shall be at least 3" below finished grade.
4. New concrete footings are to be placed on existing footings or foundations walls where possible with 4" rebar embedded 4" into existing foundation, grout shall be placed in voids between new and old concrete.
5. Foundation anchor bolts shall be provided at maximum 6'-0" o.c. in concrete and placed 12" from the end of each section with a minimum of two anchor bolts per section of wall.
6. All drilled earth under footings shall be removed and replaced with properly compacted fill to 95% of maximum dry density. Consult with soil engineer for further information.
7. In the event that the natural soil does not provide the required soil bearing capacity, field tests shall be performed. Any material not suitable shall be removed and replaced with compacted fill.
8. Provide 1" rigid insulation 24" wide at perimeter of all slabs on grade.
9. All basement walls shall have a 4" precast concrete rim joist surrounded with rigid foam insulation.
10. Waterproof all basement walls with 1 coat of bituminous or 2 coats of 5/8" cement masonry waterproofing membrane.
11. Backfill shall not be placed against basement wall concrete and reinforcing steel in a piece and pour operation. Backfill shall be placed in 6" lifts and compacted.
12. Install cast-in-place or precast concrete pad for any additional or new air conditioning condenser. Condenser location shall be approved by mechanical engineer.

ROOF FRAMING NOTES

- 1. All common dimensional lumber shall be No. 2 grade/pressure treated or better.
2. Trusses shall be designed by the TRUSS manufacturer to support the design load shown.
3. All common dimensional lumber shall be No. 2 grade/pressure treated or better.
4. Trusses shall be designed by the TRUSS manufacturer to support the design load shown.
5. All common dimensional lumber shall be No. 2 grade/pressure treated or better.
6. Trusses shall be designed by the TRUSS manufacturer to support the design load shown.

FLOOR FRAMING NOTES

- 1. All common dimensional lumber shall be No. 2 grade/pressure treated or better.
2. Trusses shall be designed by the TRUSS manufacturer to support the design load shown.
3. All common dimensional lumber shall be No. 2 grade/pressure treated or better.
4. Trusses shall be designed by the TRUSS manufacturer to support the design load shown.

ELECTRICAL NOTES

- 1. All work to be done in strict accordance with all local, state and national codes, rules and regulations.
2. Electrical contractor shall provide all power wiring from electrical panel to all equipment and fixtures throughout.
3. All electrical shall conform with specifications of the UL and the National Manufacturers Association.
4. The drawings are intended only to indicate dimensions and location of the work. The electrical contractor must examine the entire contract documents including architectural, structural, mechanical and plumbing drawings to verify conditions and the location of all equipment and fixtures.
5. The subcontractor is responsible for protecting work of other trades from damage. Only authorized personnel of the other trades shall be permitted on the work area.
6. Electrical contractor shall install all lighting fixtures noted on electrical plans, including but not limited to switches, dimmers, outlets, fixtures (either corner supplied or recessed fixtures).
7. All wall mounted switches to be mounted same height of existing throughout unless otherwise noted.
8. Any and all outlets and switches specified over bathroom vanity counter top shall be recessed 4/8" AFR and set to GFI.
9. Switches shall be installed only to indicate dimensions and location of the work. The electrical contractor must examine the entire contract documents including architectural, structural, mechanical and plumbing drawings to verify conditions and the location of all equipment and fixtures.
10. The contractor will also provide all special purpose wiring for equipment. If any such equipment is indicated on drawings, items included, but not limited to are: telephone data, whole-house fan, intercoms and GFI's.
11. Conductors shall be spliced with approved wire connectors.
12. Switches and outlets shall be as follows:
A. Single pole, 15 amp, 125 volt, grounding type.
B. Ground fault interrupter outlets - 15 amp, 125 volt, with indicator.
C. Appliance outlets - 20 amp, 125 volt, grounding type.
D. All other outlets - 15 amp, 125 volt, grounding type.
E. Devices to be of the white vinyl clad 1400 series.
13. The contractor must verify availability of service and determine actual details pertaining to exact location and requirements. The electrical subcontractor must verify power and voltage supply conditions of the premises before work shall be started.
14. All service conductors for electricity and all lines in connection therewith will be made by the contractor.
15. All electrical outlets to be mounted even with outlets. Contractor is to provide two lines for each outlet location.
16. All electrical outlets to be mounted even with outlets. Contractor is to provide two lines for each outlet location.
17. Outlet plates and covers to match visible style and color.
18. The contractor shall coordinate installation of television antenna or cable system including audio/speaker wiring. This work will be under a separately negotiated contract and will be performed by the contractor or others as negotiated.
19. The electrical contractor shall assume full responsibility for adequate service to the panel and any increases to existing service as necessary to accommodate load electrical load of all equipment to be installed or indicated on drawings.
20. Panel shall be located as shown on the drawings and shall be of the load-front type, square "D" or "E" type. All panel shall be mounted in a cabinet of a code grade finish steel cabinet. A comprehensive directory of details, with metal name and their protective cover shall be provided on the inside of the door of each cabinet.

TRIM NOTES

- 1. All paint grade material shall be of Finger Joint smooth quality. All corners and seams to be mitered and finished. All nail holes shall be sanded, filled and sanded smooth, and finished.
2. Trim shall be finished with "Semi-Gloss" or "Semi-Matte" finish.
3. All trim and paint grade trim shall be free of knots, dents, holes, splinters and splits prior to and after installation.
4. Install new trim with newly finished joints. Miter external corners and splines. Copy internal corners.
5. Any and all door mold shall be sanded and poly-urethane to match hardwood floor finish.
6. Existing window and door trim is to remain unless noted otherwise. New windows and doors to have trim to match existing, unless noted otherwise.
7. All new exterior trim shall be grade or redwood.
8. Any and all paint grade plywood sheathing shall be a minimum 1/2" R, G, Birch veneer plywood.
9. Interior finishwork shall be finished with 1/2" paint grade birch veneer finish plywood in walls and ceilings as required for all doors and windows.
10. Under trim shall include a wood backfill with a matching trim species below.

PLUMBING NOTES

- 1. All work to be done in strict accordance with all local, state and national codes, rules and regulations.
2. Plumbing contractor shall provide all water supply and sewer service.
3. Plumbing contractor shall provide all water supply and sewer service.
4. The location of the equipment, piping and other plumbing work is indicated on drawings and shall be in strict accordance with the drawings.
5. The subcontractor is responsible for protecting work of other trades from damage. Only authorized personnel of the other trades shall be permitted on the work area.
6. Plumbing contractor shall install all plumbing fixtures noted on plumbing drawings, including but not limited to sinks, showers, toilets, fixtures (either corner supplied or recessed fixtures).
7. All wall mounted switches to be mounted same height of existing throughout unless otherwise noted.
8. Any and all outlets and switches specified over bathroom vanity counter top shall be recessed 4/8" AFR and set to GFI.
9. Switches shall be installed only to indicate dimensions and location of the work. The electrical contractor must examine the entire contract documents including architectural, structural, mechanical and plumbing drawings to verify conditions and the location of all equipment and fixtures.
10. The contractor will also provide all special purpose wiring for equipment. If any such equipment is indicated on drawings, items included, but not limited to are: telephone data, whole-house fan, intercoms and GFI's.
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D. All other outlets - 15 amp, 125 volt, grounding type.
E. Devices to be of the white vinyl clad 1400 series.
13. The contractor must verify availability of service and determine actual details pertaining to exact location and requirements. The electrical subcontractor must verify power and voltage supply conditions of the premises before work shall be started.
14. All service conductors for electricity and all lines in connection therewith will be made by the contractor.
15. All electrical outlets to be mounted even with outlets. Contractor is to provide two lines for each outlet location.
16. All electrical outlets to be mounted even with outlets. Contractor is to provide two lines for each outlet location.
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18. The contractor shall coordinate installation of television antenna or cable system including audio/speaker wiring. This work will be under a separately negotiated contract and will be performed by the contractor or others as negotiated.
19. The electrical contractor shall assume full responsibility for adequate service to the panel and any increases to existing service as necessary to accommodate load electrical load of all equipment to be installed or indicated on drawings.
20. Panel shall be located as shown on the drawings and shall be of the load-front type, square "D" or "E" type. All panel shall be mounted in a cabinet of a code grade finish steel cabinet. A comprehensive directory of details, with metal name and their protective cover shall be provided on the inside of the door of each cabinet.

FLASHING NOTES

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2. The waterproofing system on all materials should follow grade to prevent electrical deterioration. Provide female shingles where required.
3. All horizontal and vertical joints in flashing shall be applied with the same material as the flashing.
4. Counter flashing shall be finished with 26 GA. Copper and counter finished with 26 GA. GALV. Sheet metal. Metals shall be separated or primed to prevent galvanic reactions.
5. All flashing shall be concealed as much as possible. Where they are exposed, they shall be of copper. (Including roof valleys)

PORTA-JON FACILITY NOTE

The contractor shall provide a porta-jon or 'equivalent' at the job site and shall maintain the facility throughout the duration of the project.

MISS UTILITY NOTE

Miss utility shall be contacted prior to any construction to verify the location of all utilities located within the front yard and shall coordinate the excavation of existing utilities with any proposed.

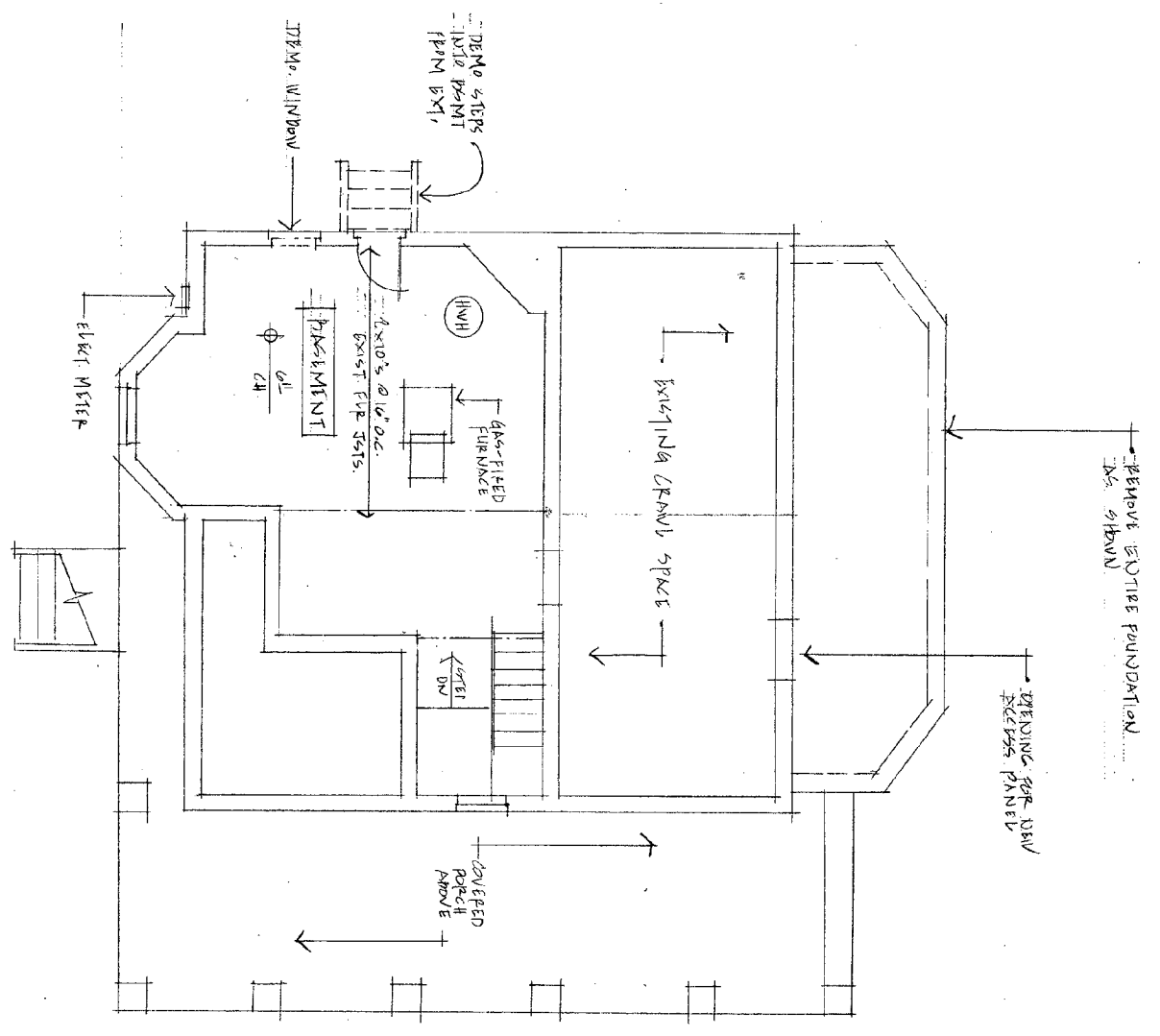
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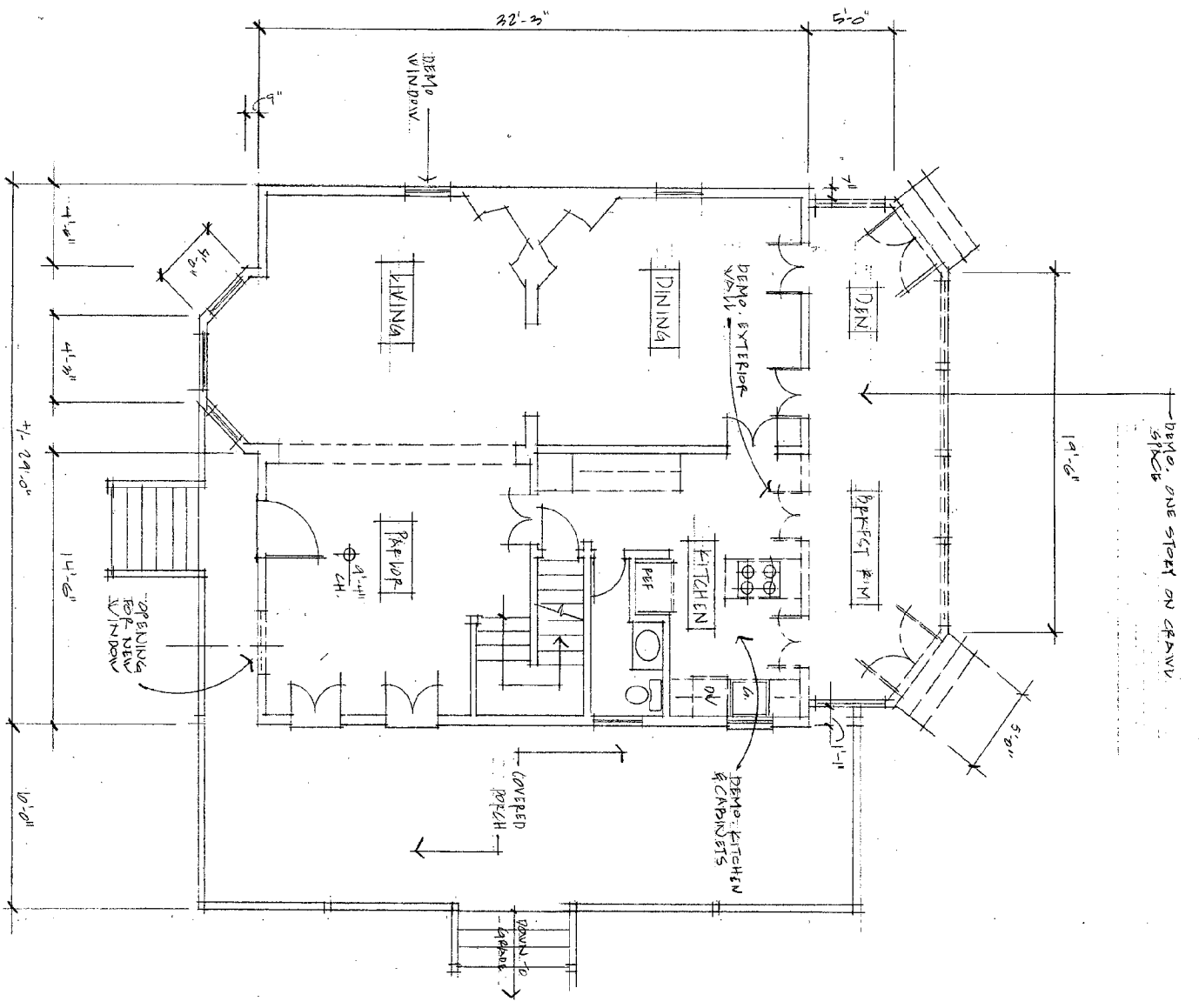
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EXIST / DEMO. BASEMENT PLAN



EXIST / DEMO. FIRST FLOOR PLAN



1189'-4" OF LINEAR EXTERIOR WALL
 1450'± FOOTPRINT OF MAIN HOUSE
 4750'± COVERED PORCH

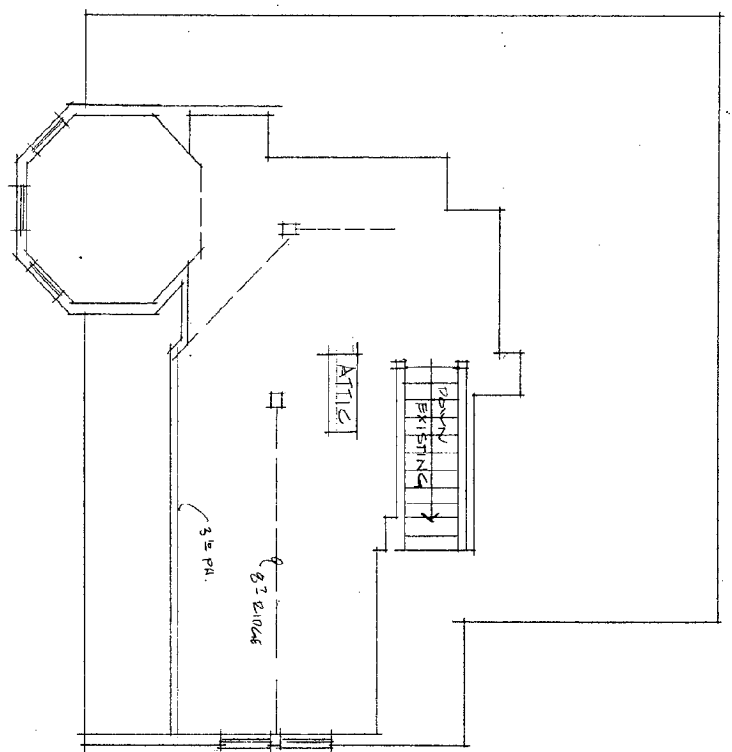
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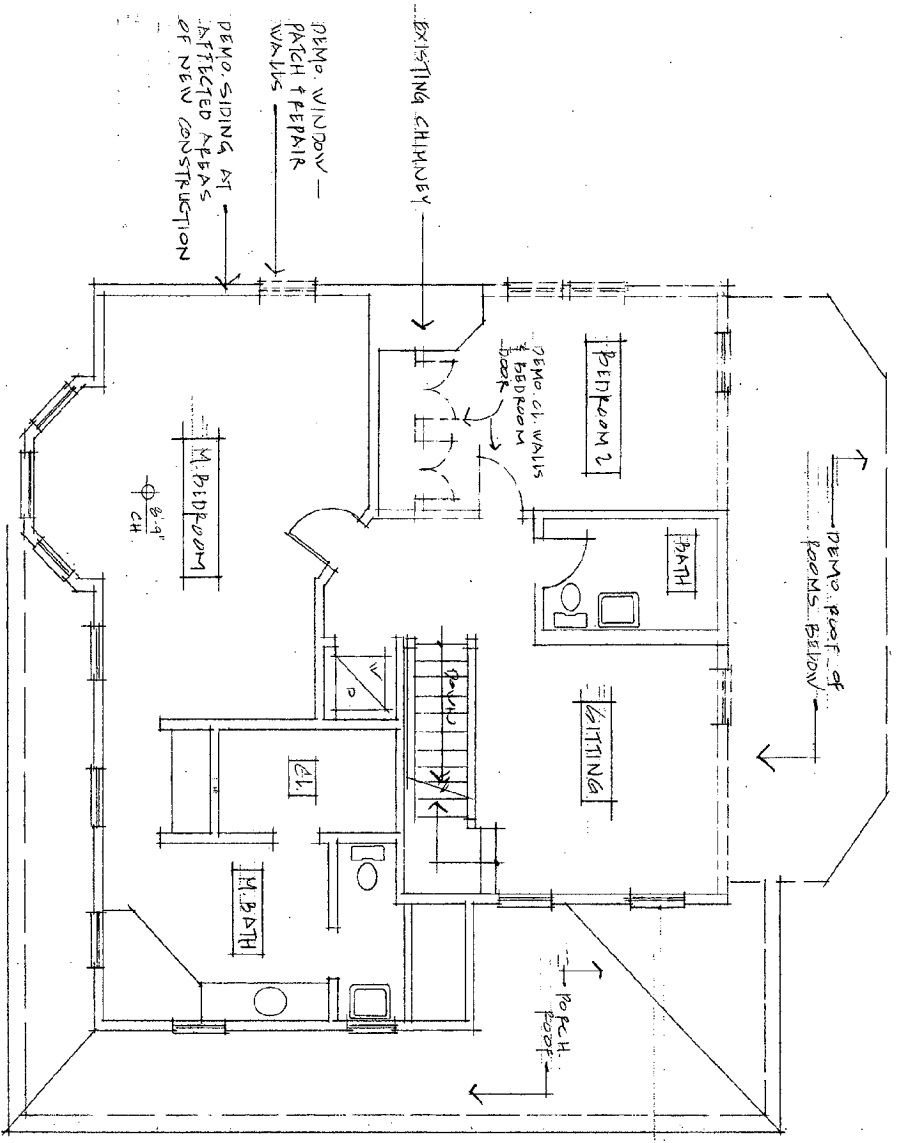
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 Most Current _____

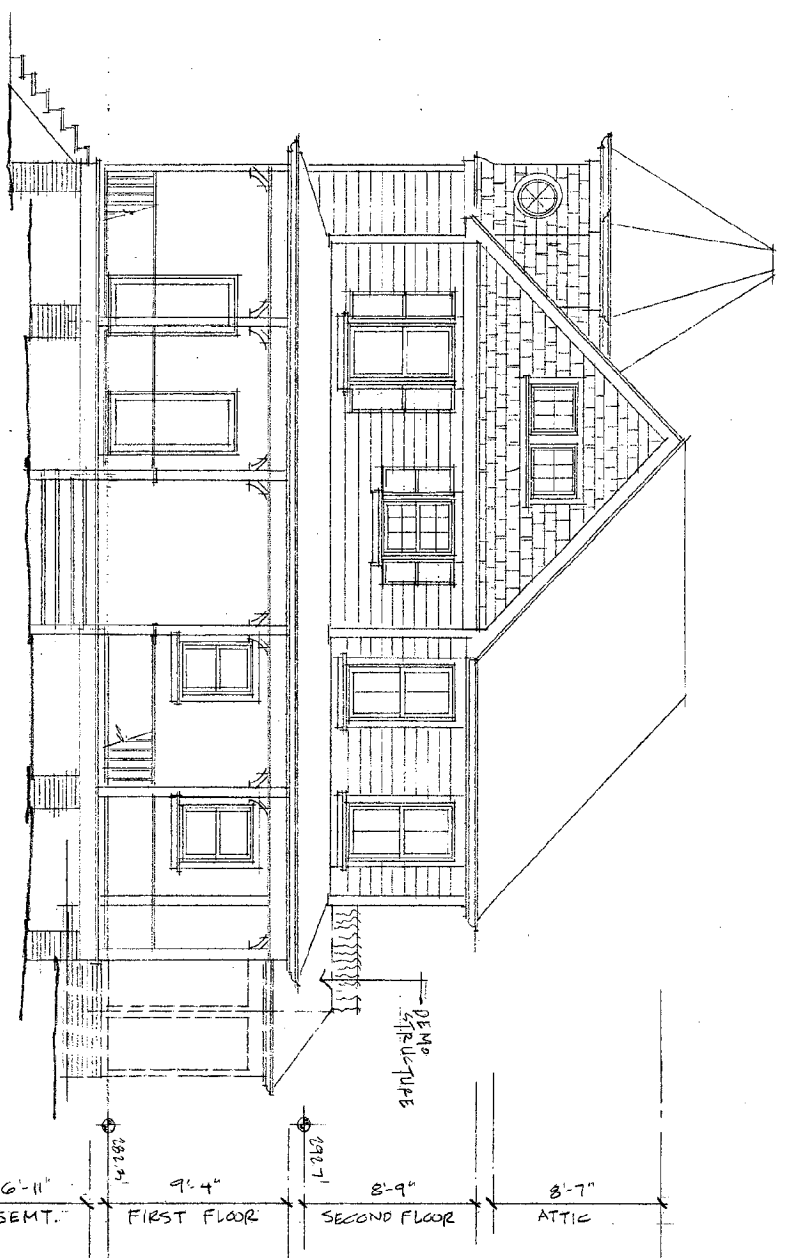
Marywood Design Build, Inc.
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 Bethesda, MD 20817

EXIST./ DEMO THIRD FLOOR PLAN
1/4" = 1'-0"

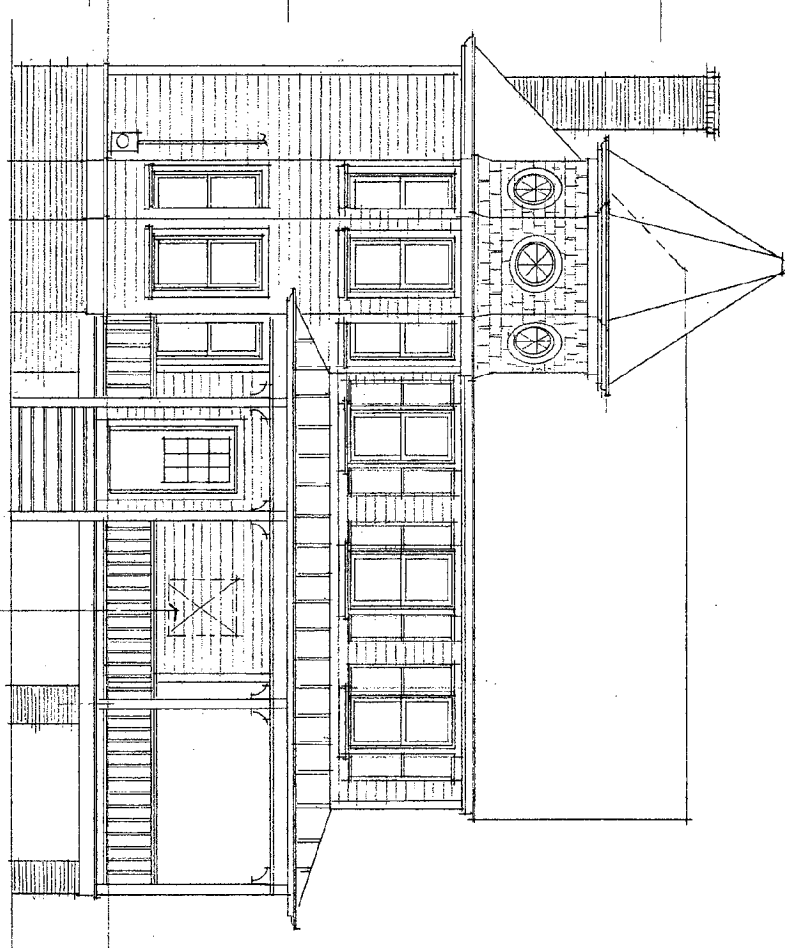


EXIST./ DEMO SECOND FLOOR PLAN
1/4" = 1'-0"





EXISTING/DEMO. RIGHT SIDE ELEV.
 1/4" = 1'-0"

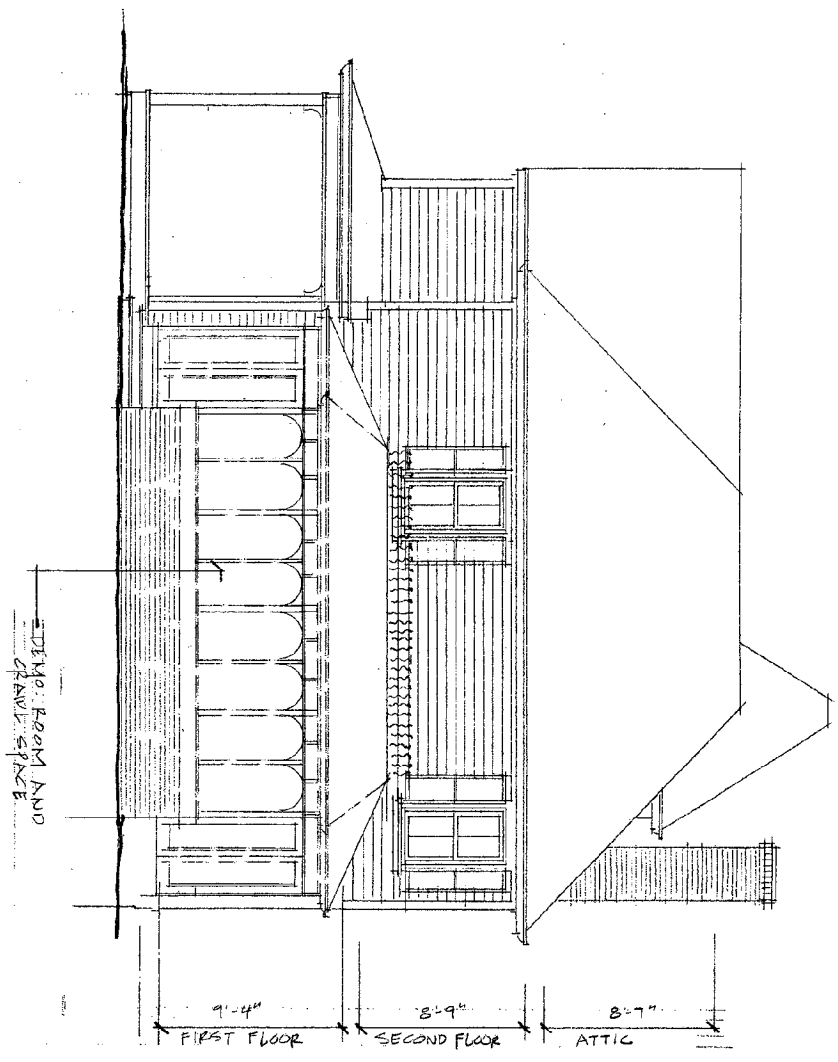


EXIST. DEMO. FRONT ELEVATION
 1/4" = 1'-0"

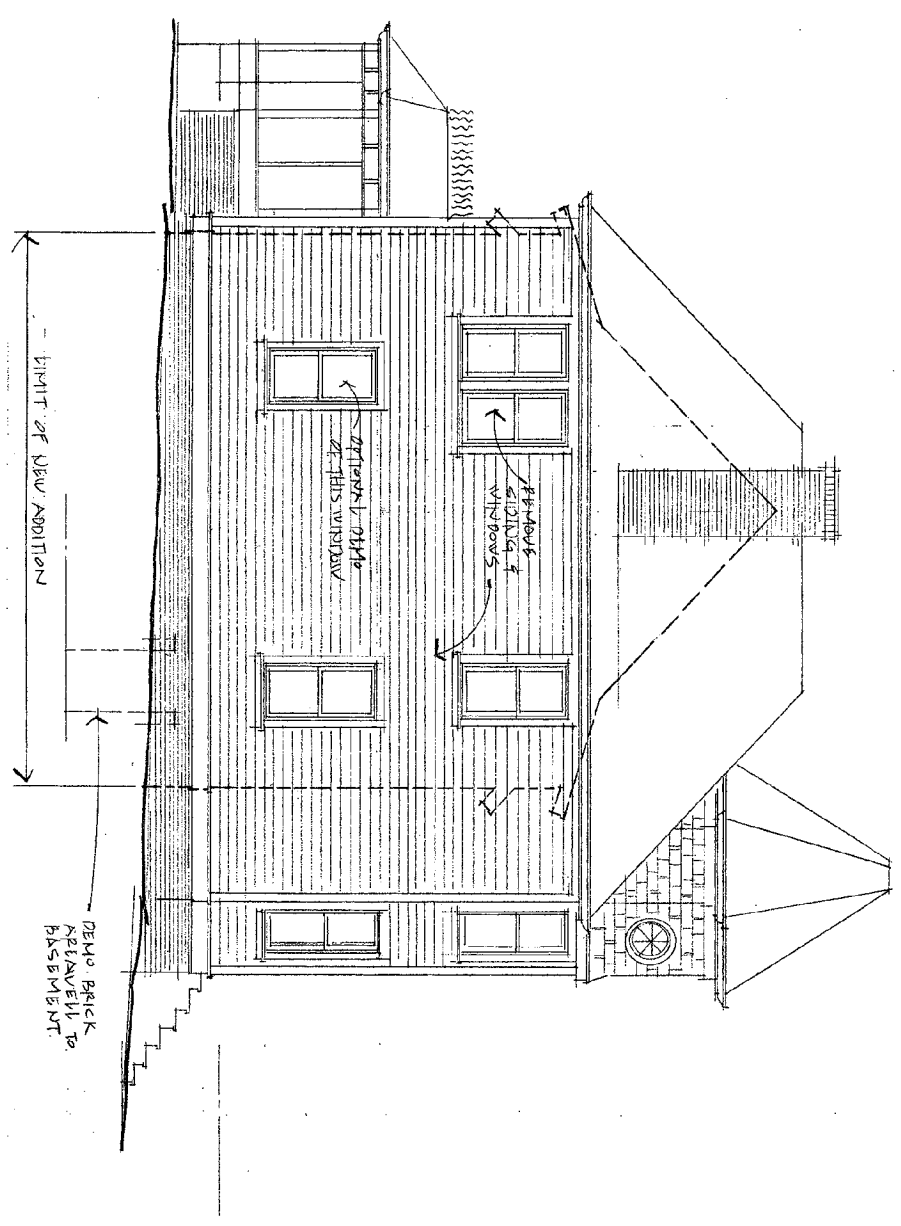
PREVIOUS OPENING FOR
NEW WINDOW UNIT

6'-11" 9'-4" 8'-9" 8'-7"
BASEMENT FIRST FLOOR SECOND FLOOR ATTIC

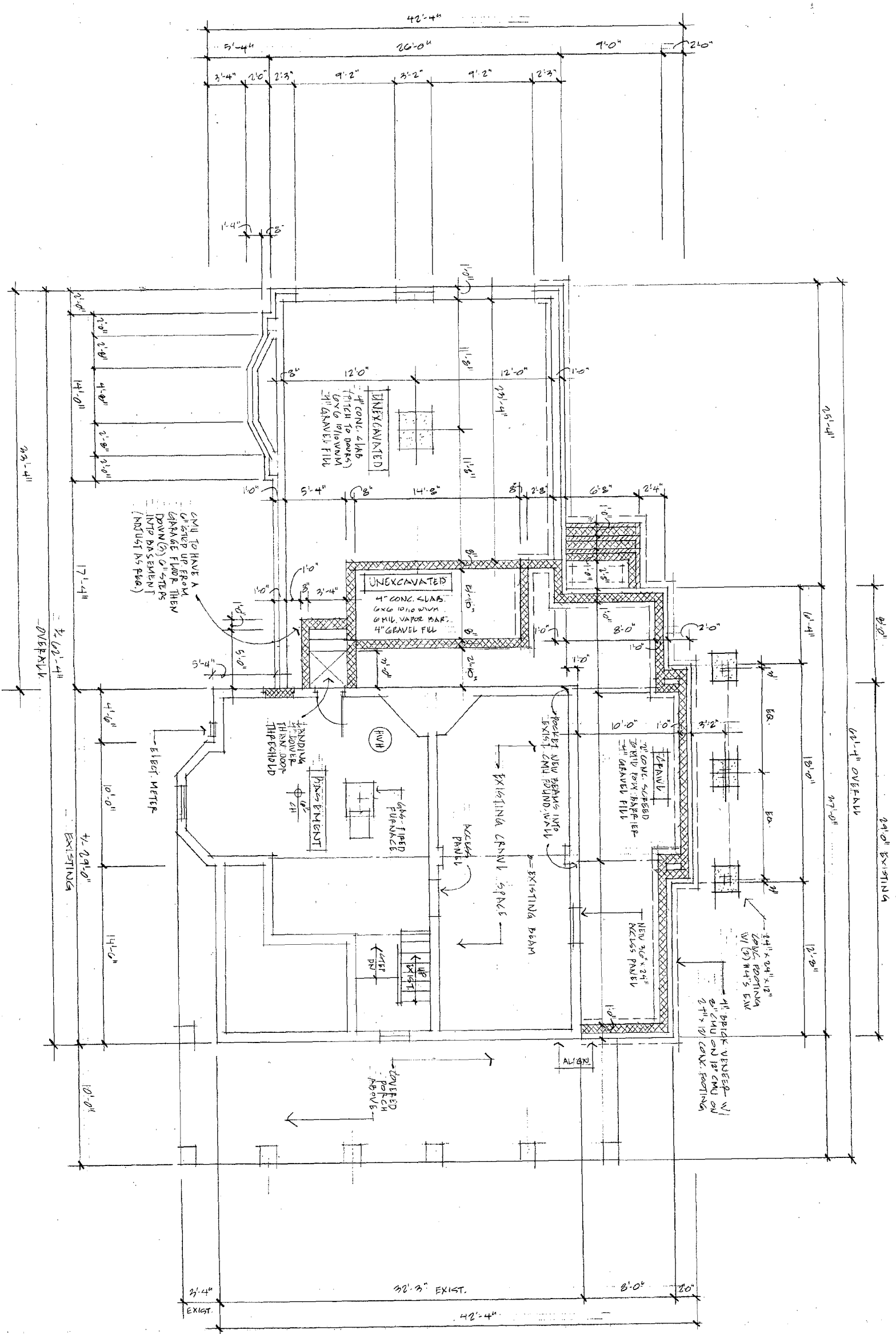
EXISTING/DEMO. REAR ELEVATION
1/4" = 1'-0"



EXIST. DEMO. LEFT SIDE ELEVATION
1/4" = 1'-0"



PROPOSED FOUNDATION PLAN
 1/4" = 1'-0"



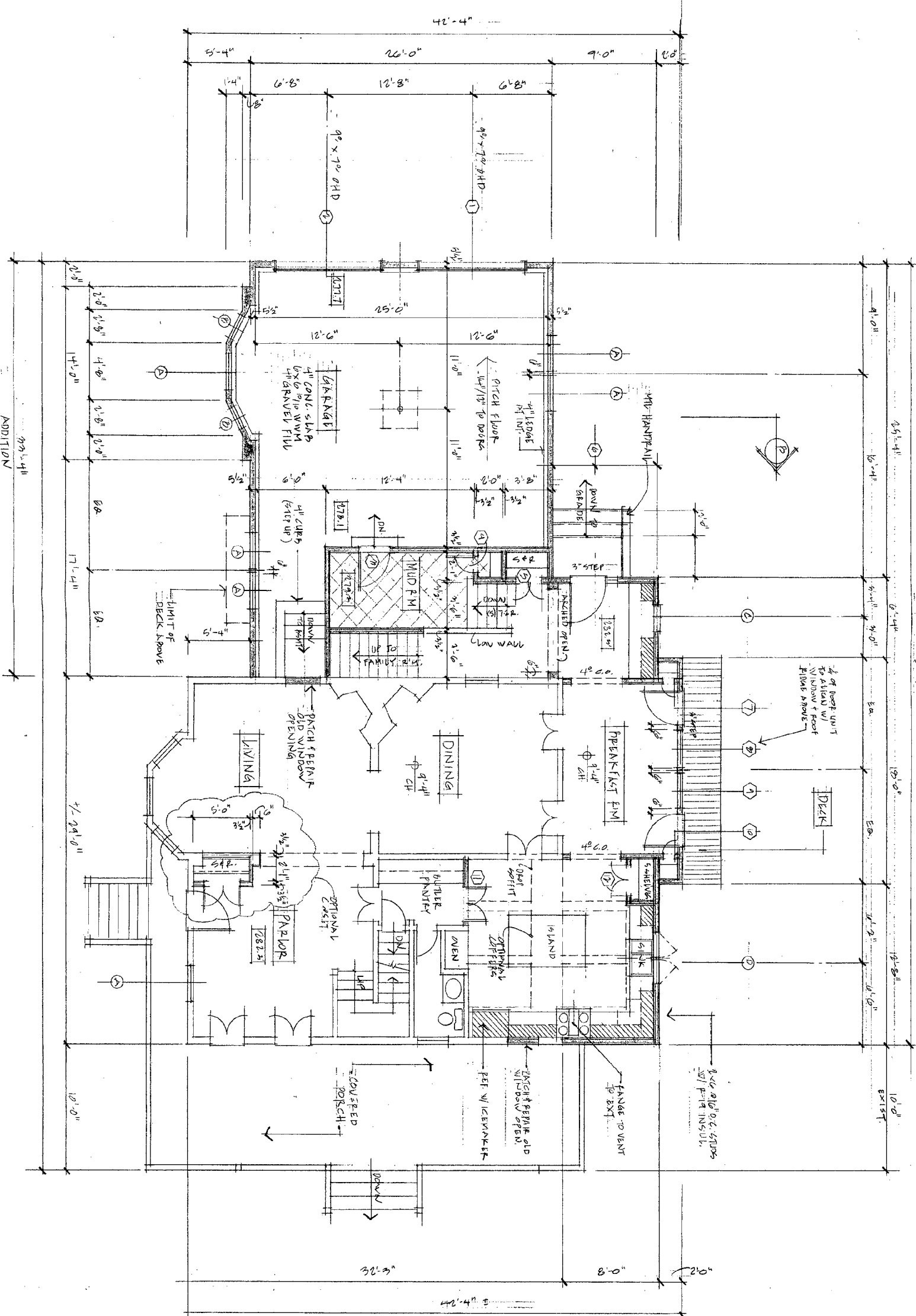
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A - 7

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PROPOSED RENOVATIONS FOR:
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 10216 Kensington Parkway
 Kensington, MD 20895

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PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"
ADDITION

Sheet No.
A - 8

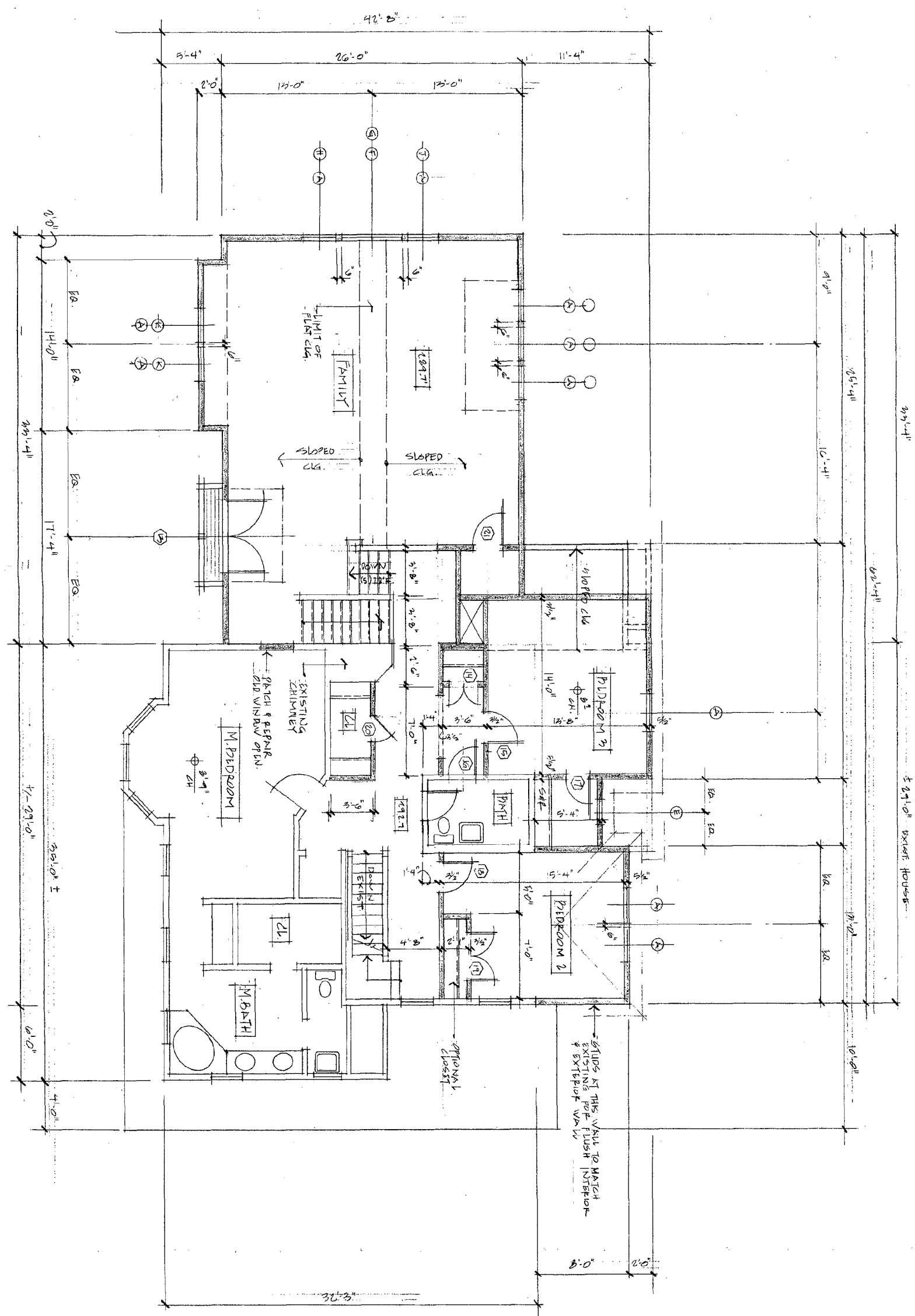
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Kensington, MD 20895

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PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



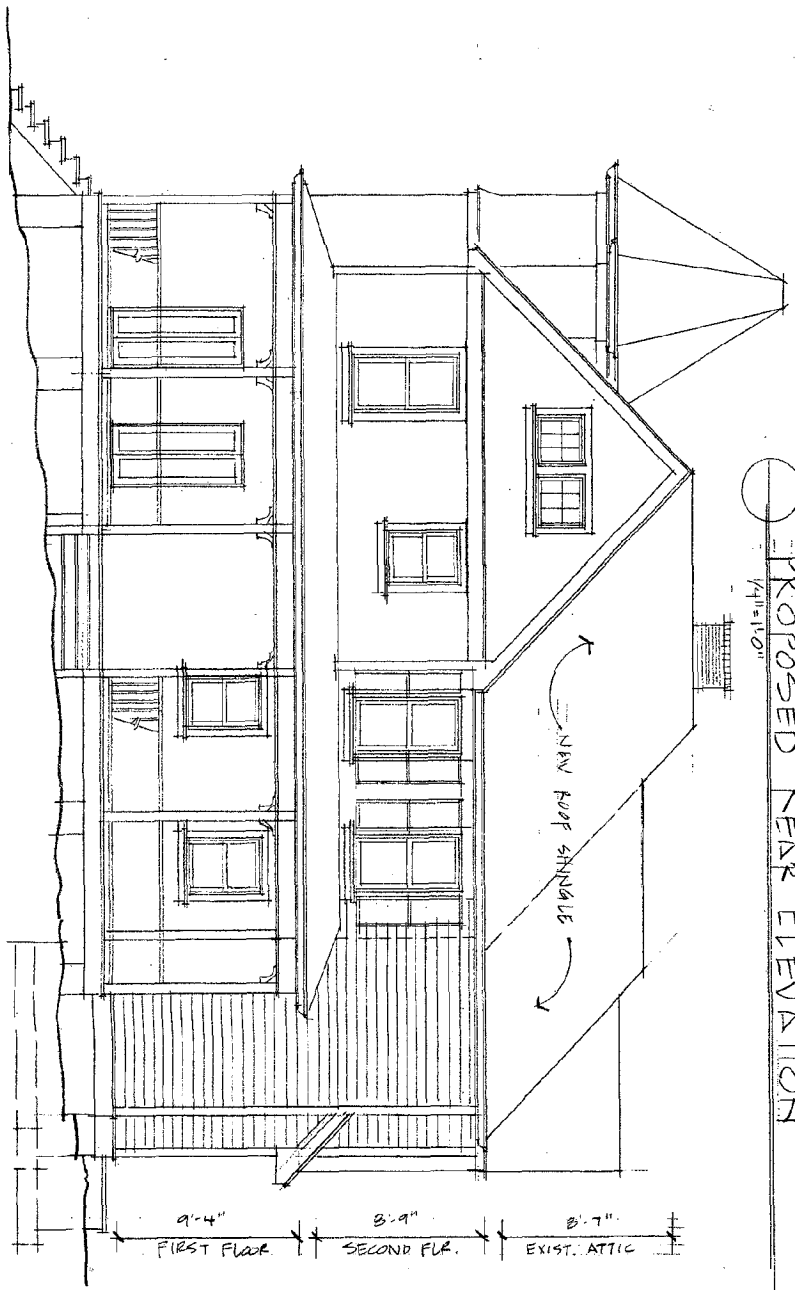
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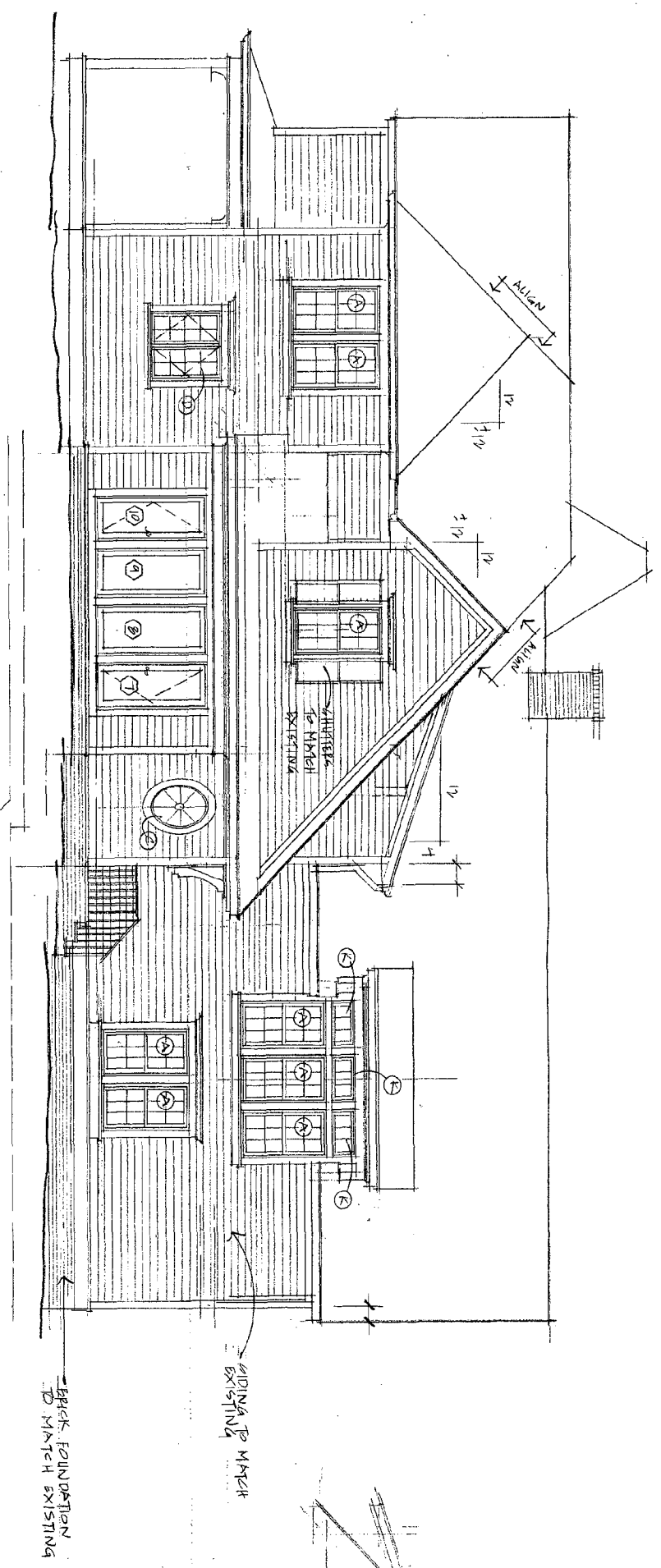
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PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (Case 31/06-08J), for rear addition and new garage at 10216 Kensington Parkway, Kensington Historic District

DATE: February 11, 2009

BACKGROUND: On October 22, 2008 the HPC reviewed and approved the construction of a two-story addition and a detached two-car, two-story garage at the rear of the subject property. The approved garage plan included a side yard setback of 12' and 5' [south and west]. Since receiving approval from the HPC it was determined by DPS the proposed side yard setbacks do not comply with the county setback regulations for an accessory structure at this property.

REVISED PROPOSAL: The applicant is requesting approval to construct the HPC approved garage design with a south and west side yard setback of 11'4" in order to comply with the county side yard setback requirements at the property.

Garage Setback Measurements

LOCATION	APPROVED LOCATION	REVISED LOCATION
South	12'	11'4"
West	5'	11'4"

STAFF RECOMMENDATION: Staff is recommending that the HPC allow this change to be approved at the staff level.

HPC DECISION:

Approved

Silver, Joshua

From: Silver, Joshua
Sent: Friday, August 22, 2008 9:41 AM
To: 'marywood.design.build@comcast.net'
Subject: RE: Peterson residence

Thanks, Jonathan. See you on Wednesday August 27th at 11:00 a.m.

Regards,
Josh

Joshua Silver, Senior Planner
Countywide Planning Division, Historic Preservation Section The Maryland-National Capital
Park and Planning Commission
(301) 563-3400 (phone)
(301) 563-3412 (fax)
1109 Spring Street, Suite 801
Silver Spring, MD 20910
www.MontgomeryPlanning.org

-----Original Message-----

From: marywood.design.build@comcast.net [mailto:marywood.design.build@comcast.net]
Sent: Friday, August 22, 2008 9:38 AM
To: Silver, Joshua
Subject: Peterson residence

Hi Joshua,

Could you please withdraw our application for consideration on September 10 2008 and reschedule for the 24th of September.
We look forward to meeting with you next week at your office.
Jonathan Binder

Application will require a new HAWP #

Silver, Joshua

From: Lucas, Gail [Gail.Lucas@montgomerycountymd.gov]
Sent: Wednesday, August 27, 2008 12:10 PM
To: Manarolla, Kevin
Cc: Silver, Joshua; Fothergill, Anne; Kennedy, Rachel
Subject: RE: HAWP to void please

Done.

Gail M. Lucas

Permitting Services Manager
Casework Management Division
255 Rockville Pike, 2nd floor
Rockville, MD 20850
240-777-6267 - office
240-777-6262 - fax
Gail.Lucas@montgomerycountymd.gov

-----Original Message-----

From: Manarolla, Kevin [mailto:Kevin.Manarolla@mncppc-mc.org]
Sent: Wednesday, August 27, 2008 12:06 PM
To: Lucas, Gail
Cc: Silver, Joshua; Fothergill, Anne; Kennedy, Rachel
Subject: HAWP to void please

Gail,

Can you please void the HAWP P# 493015 for 10216 Kensington Parkway, Kensington MD. Thank you.

Kevin Manarolla, Senior Administrative Assistant
Countywide Planning | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
1109 Spring Street, Suite 801
Silver Spring, MD 20910
kevin.manarolla@mncppc-mc.org | <http://www.mc-mncppc.org/historic/>
Mailing Address:
8787 Georgia Avenue
Silver Spring, MD 20910

Silver, Joshua

From: john ryan [ryanassociates@verizon.net]
Sent: Saturday, October 11, 2008 1:48 PM
To: Silver, Joshua
Subject: Re: Peterson residence

Josh,

We will move the right side proposed wall in by 6" from the 2" that it is already showing. we will also keep the second floor windows on the existing left side 'as is'. we will simply redesign the bathroom layout to accomodate leaving them in place. keep this e-mail for your records and we will rectify these changes on the hard-lines after the board reaches a decision.

john ryan

----- Original Message -----

From: "Silver, Joshua" <Joshua.Silver@mncppc-mc.org>
To: <marywood.design.build@comcast.net>
Cc: "John Ryan" <ryanassociates@verizon.net>
Sent: Thursday, October 09, 2008 9:19 AM
Subject: RE: Peterson residence

Hi Jon & John,

Thanks for getting back to me. When looking at the proposed 1st floor plan it appears there is no inset on the right side. When looking at the site plan it appears the left inset is 1.4 and the right .2? Thanks for the clarification. As I mentioned an approvable addition needs to be inset at least 6" on either side of the historic massing. Could you please resubmit a site plan and floor plan drawing showing a 6" inset on either side of the historic massing. Alternatively I can recommend a conditional approval stating the rear addition is inset 6" on either side of the historic massing and these changes can be noted on the permit set of plans. Please let me know how you would like to proceed. Thanks.

It is understood constructing a rear addition will require the removal of some windows. Again, my concern is with the proposed removal of the two 2nd story, left elevation windows and infill, and removal of the single, double-hung window on the 2nd story where you propose to patch and repair the wall. Are you proposing to remove the single double-hung window and infill the wall with wood siding in this location too? Please elaborate. Could you please send me a close-up or more direct photo of the paired windows you intend to remove. I need to be absolutely certain these windows are replacements and not originals. It is not inconceivable that just one window (lined up over the 1st story window) was there originally. Perhaps Mr. Peterson knows more detail about these particular windows? Also, the Kensington Historical Society may have some old photos that show the original fenestration pattern of the house.

The receipt of this supplementary information/material needs to be expeditious my staff reports are due next Tuesday 10/14 by COB. Please

contact me with any questions. Thanks again for your assistance.

Josh

-----Original Message-----

From: marywood.design.build@comcast.net
[mailto:marywood.design.build@comcast.net]
Sent: Wednesday, October 08, 2008 3:18 PM
To: Silver, Joshua
Cc: John Ryan
Subject: RE: Peterson residence

Hi Josh,

Thank you for the quick response. John and I were under the impression that the existing house and the new addition should not be at the same plane and in fact we have in our design offset it by two inches. If we need to we can offset it by six but it would compromise the kitchen design. The window in question is a replacement window and not an original window, at least I was told so. any addition on the rear with an attached roof would compromise windows on the rear of the existing house, we however were sensitive to the site conditions and tried to minimize those concerns.

Jon

----- Original message -----

From: "Silver, Joshua" <Joshua.Silver@mncppc-mc.org>

> Hi Jon,

>

> We received your plans for the construction of a rear addition, carriage

> house and other alterations at 10216 Kensington Parkway. Let me first
> say it is my intention to present an approvable application to the HPC
> on October 22nd. The following comments are targeted at a few
concerns

> I have identified in my review of the plans submitted with the
> application.

>

> First, the schematic plans we reviewed during our last meeting showed
> the proposed rear addition inset on both sides of the historic
massing.

> The plans submitted with the application show only the left side (when
> looking at the front of the house) with an inset. It appears the
design

> extends the rear wall of the existing kitchen to accommodate the new
> kitchen. As we discussed in great detail at our first meeting an
> approvable addition needs to be inset approximately 6" on either side
of

> the historic massing. Perhaps a simple dogleg where the new addition
> meets the historic massing on the right side would allow for a modest
> inset.

>

> Second, I don't recall any discussion about wanting to remove any
> windows. The HPC does not generally approve original window
replacement

> and certainly does not allow the infill of existing window openings
> (i.e., 2nd story, left elevation). I do recall you mentioning the
> house contains some original and replacement windows. The replacement
> of non-original/historic windows is something the HPC would approve.

> Could you please elaborate more on the intended window replacement
> program.
>
> Thanks for your continued cooperation. Please contact me with any
> questions.
>
> Thanks,
> Josh
>
>
>
> -----Original Message-----
> From: marywood.design.build@comcast.net
> [mailto:marywood.design.build@comcast.net]
> Sent: Friday, September 05, 2008 3:14 PM
> To: Silver, Joshua
> Subject: RE: Peterson residence
>
> Hi Josh
> We are redesigning the project so please do not submit the Peterson
> project. I hope to meet with you next week to review the new design.
> Jon
> ----- Original message -----
> From: "Silver, Joshua" <Joshua.Silver@mncppc-mc.org>
> > Hi Jonathan,
> >
> > Just checking in to see if you plan to submit the Peterson's project
> > for
> > a preliminary consultation at the September 24th HPC Meeting?
> >
> > Have a good weekend!
> > Josh
> >
> > -----Original Message-----
> > From: Silver, Joshua
> > Sent: Monday, August 25, 2008 9:29 AM
> > To: 'marywood.design.build@comcast.net'
> > Subject: RE: Peterson residence
> >
> > Good morning Jonathan,
> >
> > Have either you or the homeowner contacted the Kensington Local
> > Advisory
> > Panel (LAP) to discuss your proposal?
> >
> > An LAP is defined as - "a group of individuals appointed by the
> > (Historic Preservation) Commission to assist and advise the
> > Commission in the performance of its functions."
> >
> > As I will explain in more detail on Wednesday all Historic Area Work
> > Permit applications are forwarded to a respective LAP for review and
> > comment. Any comments are then forwarded to the Historic
> > Preservation
> > Commission to assist them in their decision making process. Here
> > are
> > two LAP members you might consider contacting in advance of our
> > meeting

> > to discuss the project.
> >
> > Jim Engel 301.529.9062 or j_engel01@yahoo.com
> > Julia O'Malley omalley10@msn.com
> >
> > I look forward to meeting with you on Wednesday.
> >
> > Regards,
> > Josh
> >
> >
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> > Jonathan Binder
> >
> >
> >
> >
> >

Silver, Joshua

From: Silver, Joshua
Sent: Monday, October 06, 2008 1:29 PM
To: 'marywood.design.build@comcast.net'
Subject: RE: Peterson residence

Hi Jon,

We received your plans for the construction of a rear addition, carriage house and other alterations at 10216 Kensington Parkway. Let me first say it is my intention to present an approvable application to the HPC on October 22nd. The following comments are targeted at a few concerns I have identified in my review of the plans submitted with the application.

First, the schematic plans we reviewed during our last meeting showed the proposed rear addition inset on both sides of the historic massing. The plans submitted with the application show only the left side (when looking at the front of the house) with an inset. It appears the design extends the rear wall of the existing kitchen to accommodate the new kitchen. As we discussed in great detail at our first meeting an approvable addition needs to be inset approximately 6" on either side of the historic massing. Perhaps a simple dogleg where the new addition meets the historic massing on the right side would allow for a modest inset.

Second, I don't recall any discussion about wanting to remove any windows. The HPC does not generally approve original window replacement and certainly does not allow the infill of existing window openings (i.e., 2nd story, left elevation). I do recall you mentioning the house contains some original and replacement windows. The replacement of non-original/historic windows is something the HPC would approve. Could you please elaborate more on the intended window replacement program.

Thanks for your continued cooperation. Please contact me with any questions.

Thanks,
Josh

-----Original Message-----

From: marywood.design.build@comcast.net [mailto:marywood.design.build@comcast.net]
Sent: Friday, September 05, 2008 3:14 PM
To: Silver, Joshua
Subject: RE: Peterson residence

Hi Josh

We are redesigning the project so please do not submit the Peterson project. I hope to meet with you next week to review the new design.

Jon

----- Original message -----

From: "Silver, Joshua" <Joshua.Silver@mncppc-mc.org>

> Hi Jonathan,

>

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> a preliminary consultation at the September 24th HPC Meeting?

>

> Have a good weekend!

> Josh

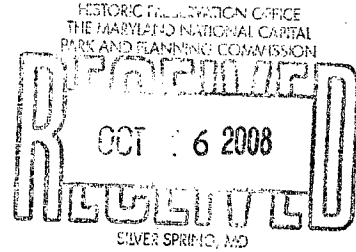
>
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> two LAP members you might consider contacting in advance of our meeting
> to discuss the project.
>
> Jim Engel 301.529.9062 or j_engel01@yahoo.com
> Julia O'Malley omalley10@msn.com
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> I look forward to meeting with you on Wednesday.
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> Regards,
> Josh
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> September 10 2008 and reschedule for the 24th of September.
> We look forward to meeting with you next week at your office.
> Jonathan Binder
>
>

JOHN ANDERSON

ARCHITECT

October 15, 2008

Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910



Ref. HAWP application for Peterson, 10216 Kensington Pkwy, Kensington, MD

Dear Sir/Madame,

The following comments on the above referenced project are provided by the LAP of Kensington.

General

1. Applicant should provide summary of both existing and proposed square footages and lot coverage (considering only the lot upon which the building sit, not the vacant lots).

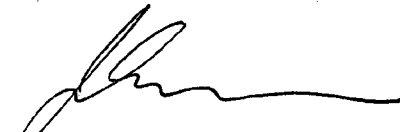
House Addition: The massing and scale of the addition seems appropriate and should be approved, subject to more "hard lined" development of the scheme (I gather they will be submitting more finished drawings?). Minor points on the house:

2. Proposed second floor plan: The low roof shown does not match the elevations; the gable end portion of the roof is missing from the plan.
3. Elevations: with regard to the treatment of the gable end, the side elevations to not match the rear. Revise to make them agree.
4. Right side elevation: there is no break in the wall plane between existing and new. How will this be treated? will there be new siding over all or a joint between the new and old. How will the joint be treated?

Garage

5. Subject to lot coverage review the garage seems to be an appropriate scale. However due to lack of detail it is not approvable or reviewable in its present state. Need all four elevations. The presented elevations do not appear to match the plan e.g. passage door shown on plan but not on the elevation, garage doors appear to be centered on the wall in plan but not on the elevation, one elevation shows an unlabeled material (brick?) while the other does not show it. In addition to more refined elevations, a three dimensional view would help. We prefer the individual dormers rather than the continuous shed dormer.

Please call if you have any questions.



John R. Anderson

Silver, Joshua

Subject: RE: Peterson Res 10216 Kensington Pkwy

From: John Anderson [mailto:j.anderson126@verizon.net]
Sent: Friday, October 10, 2008 8:49 AM
To: 'Jim Engel'; Kennedy, Rachel; 'Julia OMalley'
Cc: peoplesbarry@aol.com; cleanairfrank@hotmail.com; jrcooper_99@yahoo.com
Subject: RE: Peterson Res 10216 Kensington Pkwy

The house looks approvable, however there is not enough information provided to evaluate the two car garage. Is it appropriate to ask the applicant to develop the drawings a little more and re-submit? .

House

The massing and scale of the addition seems appropriate and should be approved, subject to more "hard lined" development of the scheme (I gather they will be submitting more finished drawings?).

Minor points on the house:

Proposed second floor plan The low roof shown does not match the elevations, the gable end portion of the roof is missing from the plan.

Elevations: with regard to the treatment of the gable end, the side elevations do not match the rear. Revise to make them agree.

Right side elevation: there is no break in the wall plane between existing and new. How will this be treated? will there be new siding over all or a joint between the new and old. How will the joint be treated?

Garage

Not approvable or reviewable in its present state due to lack of detail. Need all four elevations. The presented elevations do not appear to match the plan e.g. passage door shown on plan but not on the elevation, garage doors appear to be centered on the wall in plan but not on the elevation, one elevation shows an unlabeled material (brick?) while the other does not show it.

The massing and the arrangement of the side elevations could be simplified some and the headroom for the stairway be worked out a little more.

-----Original Message-----

From: Jim Engel [mailto:j_engel01@yahoo.com]
Sent: Friday, October 10, 2008 6:20 AM
To: j.anderson126@verizon.net; Kennedy, Rachel; Julia OMalley
Cc: peoplesbarry@aol.com; cleanairfrank@hotmail.com; jrcooper_99@yahoo.com
Subject: Re: Peterson Res 10216 Kensington Pkwy

We need the before and after site plans and estimated lot coverage.

----- Original Message -----

From: John Anderson <j.anderson126@verizon.net>
To: "Kennedy, Rachel" <Rachel.Kennedy@mncppc-mc.org>; Julia OMalley <omalley10@msn.com>
Cc: j_engel01@yahoo.com; peoplesbarry@aol.com; cleanairfrank@hotmail.com; jrcooper_99@yahoo.com
Sent: Thursday, October 9, 2008 9:13:21 PM
Subject: Peterson Res 10216 Kensington Pkwy

You should have received the plans for 10216 Kensington Parkway. Since this project involves a primary resource in Kensington it would be good for us to comment.

Any reaction?

John

Silver, Joshua

To: Kennedy, Rachel
Subject: RE: Peterson Res 10216 Kensington Pkwy

From: Peoplesbarry@aol.com [mailto:Peoplesbarry@aol.com]
Sent: Monday, October 13, 2008 8:44 AM
To: omalley10@msn.com; j.anderson126@verizon.net; j_engel01@yahoo.com; Kennedy, Rachel; PfautzL@staff.abanet.org
Cc: cleanairfrank@hotmail.com; jrcooper_99@yahoo.com
Subject: Re: Peterson Res 10216 Kensington Pkwy

Peterson's property - They have 5 lots with a easement on several of them.

It would be very helpful to post existing and proposed lot coverage after requested construction including easement lots but not including non easement lots because non easement lots could be sold off at sometime in the future. Lot coverage is a very import part of the "Vision of Kensington" document.

John - Thanks for your detailed response, suggestions and request with your architect's eye which are very helpful, informative and which I too support.

Because of my incorrect email address I may not have seen others input/suggestions so yes if all could please make sure you have my email address correct which is peoplesbarry@aol.com with 2 rr's and not 3 rr's.

Thanks to all!

Barry Peoples
Kensington Parkway
301-942-4820

In a message dated 10/10/2008 3:44:47 P.M. Eastern Daylight Time, omalley10@msn.com writes:

Please correct your email address: Barry should only have two "r's" in his name.

>From: "John Anderson" <j.anderson126@verizon.net>
>Reply-To: <j.anderson126@verizon.net>
>To: "Jim Engel" <j_engel01@yahoo.com>, "Kennedy, Rachel"
><Rachel.Kennedy@mncppc-mc.org>, "Julia OMalley" <omalley10@msn.com>
>CC:
><peoplesbarry@aol.com>, <cleanairfrank@hotmail.com>, <jrcooper_99@yahoo.com>
>Subject: RE: Peterson Res 10216 Kensington Pkwy
>Date: Fri, 10 Oct 2008 08:48:32 -0400
>
>The house looks approvable, however there is not enough infomation
>provided to evaluate the two car garage. Is it appropriate to ask the
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>
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>Cc: peoplesbarry@aol.com; cleanairfrank@hotmail.com;
>jrcooper_99@yahoo.com
>Subject: Re: Peterson Res 10216 Kensington Pkwy
>
>

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>
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>----- Original Message -----

>From: John Anderson <j.anderson126@verizon.net>
>To: "Kennedy, Rachel" <Rachel.Kennedy@mncppc-mc.org>; Julia OMalley
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>this project involves a primary resource in Kensington it would be good
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>

>Any reaction?
>

>John
>
>
>
>
>

>_____ Information from ESET NOD32 Antivirus, version of virus
>signature database 3509 (20081009) _____
>

>The message was checked by ESET NOD32 Antivirus.
>

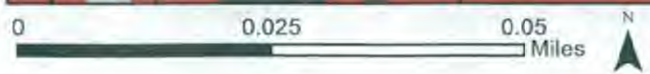
><http://www.eset.com>
>
>

10216 KENSINGTON PARKWAY KENSINGTON HISTORIC DISTRICT



- Building Footprints
- Parking Lots & other Transportation (close up)
- Parcel Boundaries
- Master Plan Historic District Boundaries

October 22, 2008
Sources: M-NCPPC, 2007

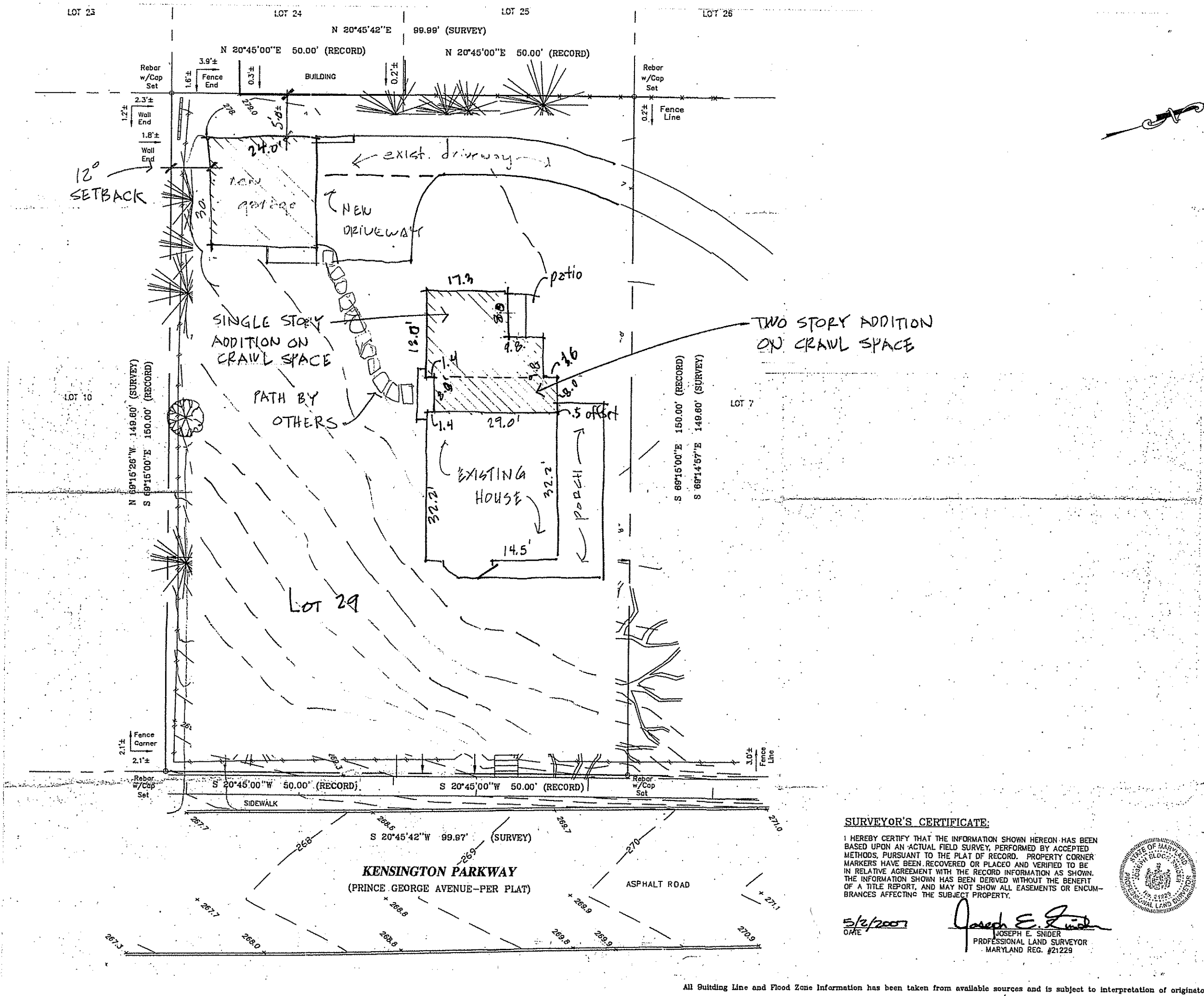


PETERSON RESIDENCE

10216 Kensington Pkwy

Kensington, Maryland

Contractor:
Marywood Design Build, Inc.
6601 Maryland Road
Bethesda, MD 20817
MEHC # 20584 DC # 650002422



CITE PLAN
1" = 20'-0"

SITE NOTES:

- Before the execution of work, notify all local utility companies owning poles, conduits or pipe on the site and arrange for removal of the items which may be in the way.
- Protect streets, roads and adjacent property as required by local laws and ordinances. Also, protect trees, shrubs or bushes to remain within the limits of clearing by fencing, barricading or wrapping.
- Trees designated for removal due to proposed construction site limits shall be removed by the homeowner or a company hired by the homeowner.
- Limits of grubbing shall be all areas within three (3) feet outside the below-grade construction lines.
- Extend the excavation sufficient distance from walls and footings to allow for installation of forms and services.
- Grades shall be uniform levels or slopes between design elevation points or between elevation points and existing grades.
- All existing and new downspouts shall be connected to new 4" dia. drain pipe running the perimeter of the house and daylighted to front yard.
- In the event of a 'heavy up' to the existing electrical supply to the house, the contractor shall be responsible for all work from the outside meter to the interior of the house. The contractor shall not be responsible for any work or costs related to a heavy up including, (but not limited to), a new pole, relocation of a pole or providing underground utilities or any other request made to the homeowner from the local power company, i.e. PEPCO.
- All new work is indicated as 'proposed' and represented in a shading pattern. Information on the site plan shall not be used to layout the proposed foundation of the new addition or for any other action involving dimensions. Reference the Construction Documents for the entire scope of work to be performed.

- GENERAL NOTES:**
- FLOOD ZONE "X" PER FIELD FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NUMBER 02000.
 - ALL PROPERTY CORNERS HAVE BEEN RECOVERED OR SET AND VERIFIED PER FIELD SURVEY PERFORMED APRIL 05, 2007.
 - SPOT ELEVATIONS DENOTED AS 225.7 ARE BASED ON N.E.L.C. VERTICAL INFORMATION OBTAINED FROM N.E.L.C. INTERNET GIS DATED MARCH 6, 2007 CONTRACT #915 AND 2007 SHEET #230003.
 - MONTGOMERY COUNTY TAX ASSESSMENT MAP #P53.

OWNER INFORMATION:
NAME: ALEXA PETERSON
MARKING: 10216 KENSINGTON PARKWAY
ADDRESS: KENSINGTON, MD 20895
PLAT BOOK 8, PLAT 4
LIBER 1100A, FOLD #8

- TOPOGRAPHIC INFORMATION NOTES:**
- THE ELEVATIONS SHOWN HEREON HAVE BEEN ESTABLISHED BASED UPON VIDEO VERTICAL CONTROL. THE BENCH MARK SHOWN FOR THIS DATUM HAS BEEN ASSIGNED THE FOLLOWING ELEVATION: FINISHED FLOOR AT FRONT ENTRANCE 225.1.
 - THE TYPE AND NATURE OF ALL UTILITIES SHOWN HEREON HAS BEEN ESTABLISHED BY ON SITE OBSERVATION AND FIELD LOCATION. ANY UTILITIES SHOWN SHOULD BE CONSIDERED INCOMPLETE AND HAVE NOT BEEN RECOVERED OR NOTED WITH ANY UTILITY COMPANY AS-BUILT PLANS OR RECORDS.
 - 1" TOPOGRAPHY BY SNIDER & ASSOCIATES

PLAT OF SURVEY
WITH
TOPOGRAPHIC WORKSHEET
10216 KENSINGTON PARKWAY
LOTS 8 and 29, BLOCK 3
KENSINGTON PARK
MONTGOMERY COUNTY, MARYLAND
SCALE: 1" = 10' MAY 2007

SNIDER & ASSOCIATES
LAND SURVEYORS
29270 Colchester Lane, Suite 110
Crownsville, Maryland 21039
301/948-5500 • Fax 301/948-1288

DRAWING: A.L.S./E.L.C. DATE: 07-25-07
PROJECT: 07-25-07
DESIGNER: J.E.S.
APPROVAL: J.E.S.

CALL "MSS UTILITY" AT 1-800-257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

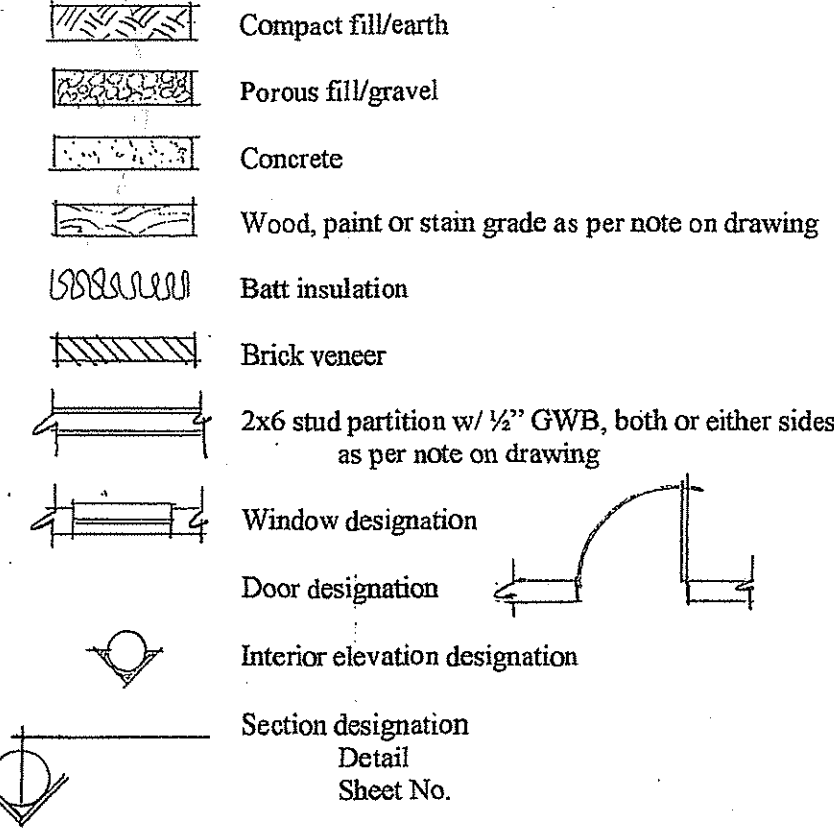
- All work shall comply with the 2006 International Residential Code, and all other local codes having authority over this project and with generally accepted methods of construction consistent with first class workmanship.
- The contractor shall fully acquaint themselves with the existing conditions and the proposed work. The contractor shall verify any special requirements for all equipment to be installed as part of this contract, whether supplied by themselves, the owner or the Designer.
- Plans shall be not scaled for construction purpose. Dimension lines and notes supersede. Dimensioned notes noted "verify" shall be verified in the field. Notify the Designer of any conflicts before proceeding.
- Unless otherwise noted, all new work shall correspond to that which it connects to or to existing similar conditions in material, workmanship, and finish.
- All materials shall be as specified in these drawings. Any substitutions must be approved, in writing prior, by the designer or the owner.
- Contractor shall verify that no conflicts exist in locations of any mechanical, plumbing, or electrical equipment and that all required clearances for installation and maintenance of the equipment provided.
- Contractor shall coordinate the installation of any items supplied.
- Dimensions over 2" are not adjustable without the review of the designer.
- All areas, except slabs on grade, that are to receive marble, granite, or ceramic tile shall first be cleaned of all debris, then two layers of 5/8" glued and screwed plywood shall be laid over joists in an overlapping pattern for rigidity. Plywood shall be recommended by National Tile Setters Association and Standards.
- Exterior wall construction shall have a complete cover of 'Tyvek' building wrap. All seams are to be taped with 'Tyvek' tape. Roofs shall be completely covered with (2 layers of 15# building felt or 1 layer of 30# felt).
- New aluminum gutters and downspouts shall match existing, where applicable, and shall be of 26 gauge material.
- The contractor shall provide all materials, labor, equipment, and tools for the proper execution of all work as outlined in these documents.
- The general building permit shall be secured by the General Contractor unless otherwise notified. All other permits shall be obtained from the subcontractors specific to their field.
- All railings shall be installed to withstand the lateral force of 50 lbs per linear foot.
- All glazing shall comply with safety glazing and code standards of the local authority.
- Chimney flues shall extend at least 2 feet higher than any portion of the building within 10 feet and not less than 3 feet above the point of penetration through the roof.

BUILDING CODE SCHEDULE			
Lot	29		
Block	3		
Zone	R-60		
Subdivision	Kensington Park		
MAIN RESIDENCE	Required	Existing	Proposed (min)
Lot Size	6,000 sf	15,000 sf	N/A
Front yard setback	25' or established	43.2'	43.2'
Right side yard setback	10'	16.0'	16.0'
Left side yard setback	8'	55.0'	55.0'
Rear yard setback	20'	61.3'	35.3'
Max. Building Ht.	35' or 2 1/2 stories	38.7'	38.7'
GARAGE - ACCESSORY STRUCTURE			
Front yard setback	60.0'		113.0'
Left side yard setback	5.0'		12.0'
Rear yard setback	5.0'		5.0'
Max. Building Ht.	20', 2 stories		20.0', 2 stories
SQUARE FOOTAGE			
	PROPOSED	EXIST.	TOTAL
Footprint	main house 637 sf porch 720 s.p. garage 720 sf	1,480 sf 440 sf	2,117 sf 440 sf 720 sf
Totals	1887	1,920 sf	3,277 sf
Maximum Lot Coverage	35% incl. accessory buildings	12.8 %	18 %
Rear yard square footage = 3,580 sf / 7300 garage sf = 20% rear yard occupancy			

LIST OF ABBREVIATIONS

AC	Air Conditioning	Flr.	Floor
A.F.F.	Above Finished Floor	Gal.	Gallon
Alum.	Aluminum	Gr.	Grade
Approx.	Approximate	GWB	Gypsum wallboard
Bldg.	Building	HC	Hollow core
BTU	British thermal unit	Ht.	Height
Conc.	Concrete	HP	Horsepower
C.L.	Centerline	Hrdwd	Hardwood
Cg.	Ceiling	HVAC	Heating/Ventilation & Air Conditioning
CMU	Concrete masonry unit	Incl.	Include
Conc.	Concrete	Int.	Interior
C.O.	Cased opening	Max.	Maximum
C-Top	Countertop	Min.	Minimum
C.T.	Ceramic Tile	Mach.	Mechanical
C.R.	Ceiling Register	Manuf.	Manufacturer
Dem.	Demolition	NIC	Not in contract
DH	Double hung	NTS	Not to scale
Dtl.	Details	O.A.	Outside Air
D.W.	Dishwasher	O.C.	On center
Dwg.	Drawing	PVC	Polyvinyl chloride
Ea.	Each	Prtd.	Painted
E.W.	Each Way	R.A.	Return Air
Elect.	Electrical	Ref.	Refrigerator
Elev.	Elevations	R.G.	Return Grille
Exist.	Existing	Req.	Required
Ext.	Exterior	S.A.	Supply Air
Fin.	Finish	Typ.	Typical
		V.I.F.	Verify in field
		WC	Watercloset

SYMBOL LEGEND



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- A-16 Garage Framing Plans and Section

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

PROPOSED RENOVATIONS FOR:
PETERSON RESIDENCE
10216 Kensington Parkway
Kensington, MD 20895

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FOOTING AND FOUNDATION NOTES

- Allowable bearing pressure on natural soil = 2,000 psi, (unless otherwise noted on plans). Allowable bearing pressure on compacted fill = 2,000 psi. Concrete strength to be minimum 500 psi for footings, and 4,000 psi for exterior slabs.
- All footings shall project at 1'-0" into undisturbed soil having a bearing value at least equal to that specified above.
- The bottoms of all footings shall be at least 30" below finished grade.
- New concrete footings are to be pinned to existing footings or foundation walls where possible with #4 re-bars embedded 4" min. into existing foundation, grout solid.
- Foundation anchor bolts shall be provided at maximum 6'-0" o.c. intervals and placed 12" from the end of each section with a minimum of two anchor bolts per section of wall. Anchor bolts shall be a minimum 1/2" diameter. Anchor bolts can substituted with metal straps per manufacturer's specifications.
- All disturbed earth under footings shall be removed and replaced with properly compacted fill to 95% of maximum dry density. Consult with soil engineer for further information.
- In the event that the natural soil does not provide the required soil bearing capacity, field tests shall be performed. Any material not suitable shall be removed and replaced with compacted fill.
- Provide 1" rigid insulation 24" wide at perimeter of all slabs on grade.
- All basement walls shall have a 4" perforated drain tile surrounded with washed gravel along base of footing and sloped to drain towards daylight.
- Waterproof all basement walls with 1 coat of bituminous tar and 2 coats of 1/4" cement parging. Parging is not required if brick or stone is used below grade.
- Backfill shall not be placed against basement until concrete and reinforcing steel is in place and floor deck is installed to achieve stabilization.
- Install cast-in-place or pre-cast concrete pad for any additional or new air conditioning condenser is specified. Coordinate location with mechanical engineer.

CONCRETE NOTES:

- Concrete tests shall comply with the following ASTM standards:
 - A. Portland cement - ASTM C-150
 - B. Transit-mixed concrete - ASTM C-94
 - C. Steel Bars - ASTM A-314
 - D. Welded wire fabric - ASTM A-185
 - E. Coarse aggregate - clean crushed stone or natural gravel conforming to ASTM specification C-33 and not larger than 3/4" for slabs or 1 1/2" for footings.
 - F. Fine aggregate - clean natural sand or strong, sharp particles, without clay content.
 - G. Water - clean, potable. Generally suitable for domestic consumption.
- The concrete shall be used at a degree of plasticity which would produce the specified slump as follows:

	Max.	Min.
A. Concrete walks	4"	1"
B. Footings	5"	2"
C. Slabs	6"	3"

If mechanical vibrators are used, reduce slump by one-third.

- No concrete mix with less compressive strength than 2,500 psi shall be used for concrete work.
- Provide all necessary form-work to produce finished concrete work of required dimensions and finishes. Forms shall be of sufficient strength and sufficiently tight to prevent distortion and leakage.
- Trenches for footings may be excavated to the dimensions of concrete if the nature of the soil will permit.
- Joints of slabs on grade or joints that abut against vertical surfaces at other locations shall have asphalt saturated fiber type filler strips, one-half inch thick, by full thickness of slab.
- Placing reinforcing steel shall comply exactly with the design. Remove loose scale and excessive rust before placing reinforcing steel. Place and secure accurately using metal spacers to hold steel in place. Use welded wire fabric in maximum practical lengths. Lap joints at least one full mesh.
- Do not place concrete in cold weather when the initial temperature of concrete is less than 45 F or against frozen or frost covered surfaces. Remove all damaged concrete at once.

FLASHING NOTES

- Provide flashing at the head and jamba of windows and doors in accordance with manufacturer's instructions. Install similar flashing at intersection of chimneys with roof and walls, at wood and metal sills at roof and wall intersections, in all roof valleys and around roof openings. Provide drip flashing at all roof eaves and rakes.
- Use pigmented asphalt paint on all material situated below grade to prevent chemical deterioration. Provide termite shields where required.
- All horizontal and vertical joints in flashing shall be spliced with the same material which extends 12" to each side of the joint and is fastened and sealed with sealant at each end.
- Counter flashing shall fit into a REGLET which interlocks and is sealed with sealant.
- Roof valleys shall be flashed with 26 GA. Copper and counter flashed with 26 GA. GALV. Sheet metal. Metals shall be separated or primed to prevent galvanic reaction.
- All flashing shall be concealed as much as possible. Where they are exposed, they shall be of copper. (including roof valleys).

CARPENTRY NOTES:

- Do not omit, notch, cut, block-out or relocate any structural member without prior written approval from the designer except as follows: limit cutting of wood beams, joists and rafters to cut and bored holes not deeper than one-sixth of the depth of the member. Do not bore holes with diameter exceeding one-third of joist depth nor within 2" of either the top or the bottom of the member.
- Limit cutting of studs in bearing walls to one-third of studs depth unless reinforced to equal bearing capacity of a stud notched to one-third its' depth.
- Typical bearing wall framing shall be 2x4@12"o.c. or 2x6@16"o.c. And typical non bearing wall framing is 2x6@16"o.c. Unless otherwise noted. Provide double 2x4 or 2x6 top plate with minimum 48" lap splice and 2x6 blocking at mid level.
- All nailing shall be as recommended by IBC or IRC unless otherwise indicated.
- Interconnect built-up beams or joists formed by a multiple of 2x members as follows: members 9 1/2" and less in depth - internal with two rows 10d nails at 32"o.c. staggered, members greater than 9 1/2" in depth or multiple 3x's inter bolt with 1 1/2" dia. MB at 24"o.c. staggered.
- Posts, caps and anchors, and its/truss hangers shall be minimum of 16 gauge steel, sized and nailed according to manufacturers specifications.
- All bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers. Bolt holes shall be drilled 1/16" larger than the diameter of the bolt.
- Lag screws shall be square headed and made from structural grade steel. Place washers under head of lag screws bearing on wood. Do not drive lag screws in to place. Lead hole for shank shall be same diameter as shank.
- Do not use lumber with moisture content greater than 19% when lumber is 6" or more in depth. Kiln Drying must be slow and regular to minimize checking and warping.
- All non load-bearing studs, plates, sills, cripples, blocking, and fire stopping are 'utility' grade or better.
- All load bearing studs are no. 3 grade or better.
- All beams, bearing headers, 4x4 posts, structural joists, rafters and trusses are no. 2 grade or better with fiber stress not less than 1,150 psi and modulus of elasticity not less than 1,400,000.
- The tension side of beams, joists and rafters of four inches or greater nominal thickness shall not be notched, except at ends of members.
- The contractor shall seal with construction adhesive the plates at floor and ceiling. Caulk all window and door flanges, jams, and all panel butt joints prior to and during erection.
- Prefabricated timber shall be installed and braced per manufacturers specifications. Timber members shall not be cut or drilled unless so authorized by the manufacturer.
- Mechanically fasten double members in a manner such that both members share the super-imposed loads, including loads from headers.
- Trusses, truss joists and floor joists shall align directly over studs with an offset of no more than one inch, install additional studs as required.

ROOF FRAMING NOTES

Design Loads:	Snow load 30 PSF
	Dead load 10 PSF
	Uplift 10 PSF
Design Strengths Common Lumber	FB = 1250 PSI
	E = 1,400,000 PSI

- All common dimensional lumber shall be No2 spruce/pine/fir or better.
- Trusses shall be designed by the TRUSS manufacturer to support the design loads stated.

ROOFING NOTES

- The substrate for the work should be repaired as required or replaced if seriously damaged by leaking and should allow for a first class, watertight installation and structurally sound roof.
- Roofs shall be composed of the following: 15# asphalt roofing felt and fiberglass shingles by 'Certainteed', or equal; style and color to be verified with owner; all roof valleys to be exposed flashing. Do not overlap shingles.
- Install watertight, without waves, warps, buckles, fastening distresses, or distortion. Hem exposed edges and angle bottom edges of exposed vertical surfaces to form drips. Securely anchor all items in place.

FLOOR FRAMING NOTES

Design loads:	Live load 40 PSF (100 PSF total load in office area)
	Dead load 10 PSF
Design strengths Common lumber	FB = 1250 PSI
	E = 1,400,000 PSI
Laminated veneer lumber	FB = 2900 PSI
	E = 2,000,000 PSI

- All common dimensional lumber shall be No. 2 spruce/pine/fir or better. Laminated veneer lumber specified is PARALLAM Parallel strand lumber. Substitutions may be used if they meet the design strengths listed above.
- Sill plates shall be pressure treated 2 x 6 (unless otherwise indicated) set on a compressible sill sealer.
- Provide metal cross bridging or wood blocking at joist mid-span.
- All lumber in contact with concrete or masonry shall be pressure treated.
- Provide 4 x 4 columns at all beam ends unless otherwise specified and continue bearing blocking to foundation.

ELECTRICAL NOTES

- All work to be done in strict accordance with all local, state and national codes, rules and regulations.
- Electrical contractor shall provide all power wiring from electrical panel to all equipment and fixtures throughout.
- All materials shall conform with specifications of the UL and the National Manufacturers Association.
- The drawings are intended only to indicate diagrammatically the extent of the work. The subcontractor must examine the entire contract documents including architectural, structural, plumbing and electrical drawings to avoid conflicts with other trades. He will coordinate the work of this division with other subcontractor's work and the contractor.
- The subcontractor is responsible for protecting work of other trades from damage. Only skilled mechanics of the trade involved will cut, drill and channel.
- Electrical contractor shall install all lighting fixtures noted on electrical plans, including but not limited to switches, dimmers, outlets, fixtures (either owner supplied or selected fixtures).
- All wall mounted switches to be mounted same height of existing throughout unless otherwise noted.
- Any and all outlets and switches specified over bathroom vanity counter tops shall be mounted 40" AFF and are to be GFI.
- Smoke alarms to be Simplex NO 709 self contained units, or equal, direct wired. Contractor shall coordinate for the wiring of security systems and its connections for smoke alarms. New smoke detectors are to be located in all bedrooms and hallways, regardless of new or existing conditions.
- The contractor will also provide all special purpose wiring for equipment, if any such equipment is indicated on drawings. Items included, but not limited to are: whirlpool tubs, whole-house fans, microwaves and dryers.
- Conductors shall be spliced with approved wire connectors.
- Switches and outlets shall be as follows:
 - A. Duplex convenience outlets - 15 amps, 125 volts, grounding type.
 - B. Ground fault interrupter outlets - 15 amps, 125 volts, with indicator.
 - C. Appliance outlets - 20 amps (or as required), 125 volts grounding type.
 - D. Wall switches, rocker type 15 amp rating.
 - E. Dimmers to be solid state with vertical slide knobs.
- The contractor must verify availability of services and determine actual details pertaining to exact locations and requirements. The electrical subcontractor must notify power and telephone utility companies of the estimated date when service will be desired.
- All service connections for electricity and all fees in connection therewith will be made by the contractor.
- All telephone outlets to be mounted even with outlets. Contractor is to provide two lines for each outlet location.
- Outlet plates and covers to match switch style and color.
- The contractor shall coordinate installation of television antenna or cable systems including audio/speaker wiring. This work will be under a separately negotiated contract and will be performed by the contractor or others as negotiated.
- The electrical contractor shall assume full responsibility for adequate service to the panel and any increases to existing service as necessary to accommodate total electrical load of all equipment as herein specified or indicated on drawings.
- Panel shall be located as shown on the drawings and shall be of the dead-front type, square "D" or equal. All panels shall be mounted in enclosing cabinets consisting of a code gauge, sheet steel box with trim and door. The box shall be manufactured from one piece of full finish sheet steel. A typewritten directory of circuits, with metal frame and clear protective cover, shall be provided on the inside of the door of each cabinet.

TRIM NOTES

- All paint grade material shall be of finger joint smooth quality. All corners and seams to be mitered caulked and filled. All nail holes shall be spackled, filled and sanded smooth, and finished.
- Trim shall be obtained from 'Smoot's' catalog of Alexandria, VA or 'T.W. Perry's' in Bethesda, MD. Any substitutions of moldings must be approved by designer. Refer to finish schedule on drawings.
- All stain and paint grade trim shall be free of knots, dents holes, splinters and splits prior to and after installation.
- Install new trim with nearly invisible joints; Miter external corners and splices; cope internal corners.
- Any and all shoe mold shall be stained and poly-urethane to match hardwood floor finish.
- Existing window and door trim is to remain unless noted otherwise. New windows and doors to have trim to match existing, unless noted otherwise.
- All new exterior trim shall be grade A cedar or redwood.
- Any and all paint grade plywood shelving shall be a minimum 3/4" Pt. Gr. Birch veneer plywood.
- Interior miscellaneous shelving for closets shall be 3/4" paint grade birch veneer finish plywood in widths and lengths as required for all closets and miscellaneous storage shelving. Closet poles shall be stain grade wood with center support brackets for lengths over 4', stained to match wood floor finishes throughout. 2 finish coats of polyurethane.
- Note: Contractor and carpenters to note that if any Pt. Gr. lattice is called for in project, the lattice is to be 1" wide with alternating grid of 1" and 1" open space all at 90 degrees to grade and decking. Use 'SMOOT' AA-3811 or equal.
- Under no circumstances will 'picture framing' of window trim be acceptable. All window trim shall include a wood stool/sill with a matching trim apron below.

PLUMBING NOTES

- All work to be done in strict accordance with all local, state and national codes, rules and regulations.
 - Plumbing contractor to secure and pay for all permits necessary for the proper completion of work as illustrated in the construction documents, however, the homeowner is responsible for any tap fees associated with the upgrading of the existing main water line from the street to the house. The contractor shall include all material and labor for the installation of such lines in his/her contract price.
 - Plumbing contractor shall make an on site inspection to fully understand the existing conditions and those alterations and additions to the existing conditions.
 - The location of the equipment, piping and other plumbing work is indicated on drawings either diagrammatically or by location of fixtures. Exact locations to be determined on job site, subject to changes in framing, cabinetry, etc...
 - No changes are to be made in location, materials, etc. without written permission prior to installation. All substitutions must first be submitted for approval, and must be of equal quality.
 - The plumbing contractor shall guarantee all materials, labor and equipment for a period no less than one year dated from the time of completion. Guarantee to include free warranty maintenance for the first year in service of system and operation.
 - All hot and cold water piping inside the building and above grade, shall be hard drawn type M copper tubing with solder fittings.
 - Air chambers, set vertically, shall be installed at highest point on all hot and cold water supplies to fixtures. All water branch pipes shall be separately valved at the foot of risers.
 - All new soil and waste piping shall be PVC plastic pipe schedule 40 and fittings by the same material with solvent joints as per manufacturer's recommendations.
 - When specified and indicated on drawings, supply and install 3/4" hose bib, frost proof wall hydrants with wrought chromium finish, loose keys, etc.
 - All piping shall be rigidly supported from the building structure, by means of approved hangers and supports. Piping shall be supported to maintain required grading and pitching of lines to prevent vibration and to secure piping in place and shall be so arranged as to provide for expansion and contraction.
 - Vertical lines shall be adequately supported at their bases either by a suitable hanger placed in the horizontal line near the riser or by a base fitting set on a pedestal or foundation. Hangers for pipe 2 inches or smaller shall be the split cast ring type with fastening device. Hangers for piping larger than 2 inches shall be of the adjustable device hanger type. Hanger rods shall have machine threads.
 - No plumbing fixtures, devices, equipment or pipe connections shall be installed that will provide a cross connection or interconnection between a potable water supply and any source of non potable water.
 - The contractor shall have complete responsibility for connecting existing and new supply, soil and waste house lines to existing street services. The contractor shall also be responsible for verifying all new and existing lines are free and clear of blockage.
 - At all fixtures, provide water cutoff valves on supply hot and cold water lines, unless otherwise specified.
- with enough pipe to e

FLASHING NOTES

- Provide flashing at the head and jamba of windows and doors in accordance with manufacturer's instructions. Install similar flashing at intersection of chimneys with roof and walls, at wood and metal sills at roof and wall intersections, in all roof valleys and around roof openings. Provide drip flashing at all roof eaves and rakes.
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- All flashing shall be concealed as much as possible. Where they are exposed, they shall be of copper. (including roof valleys).

MISS UTILITY NOTE

Miss utility shall be contacted prior to any construction to verify the location of all utilities located within the front yard and shall coordinate the excavation of existing utilities with any proposed.

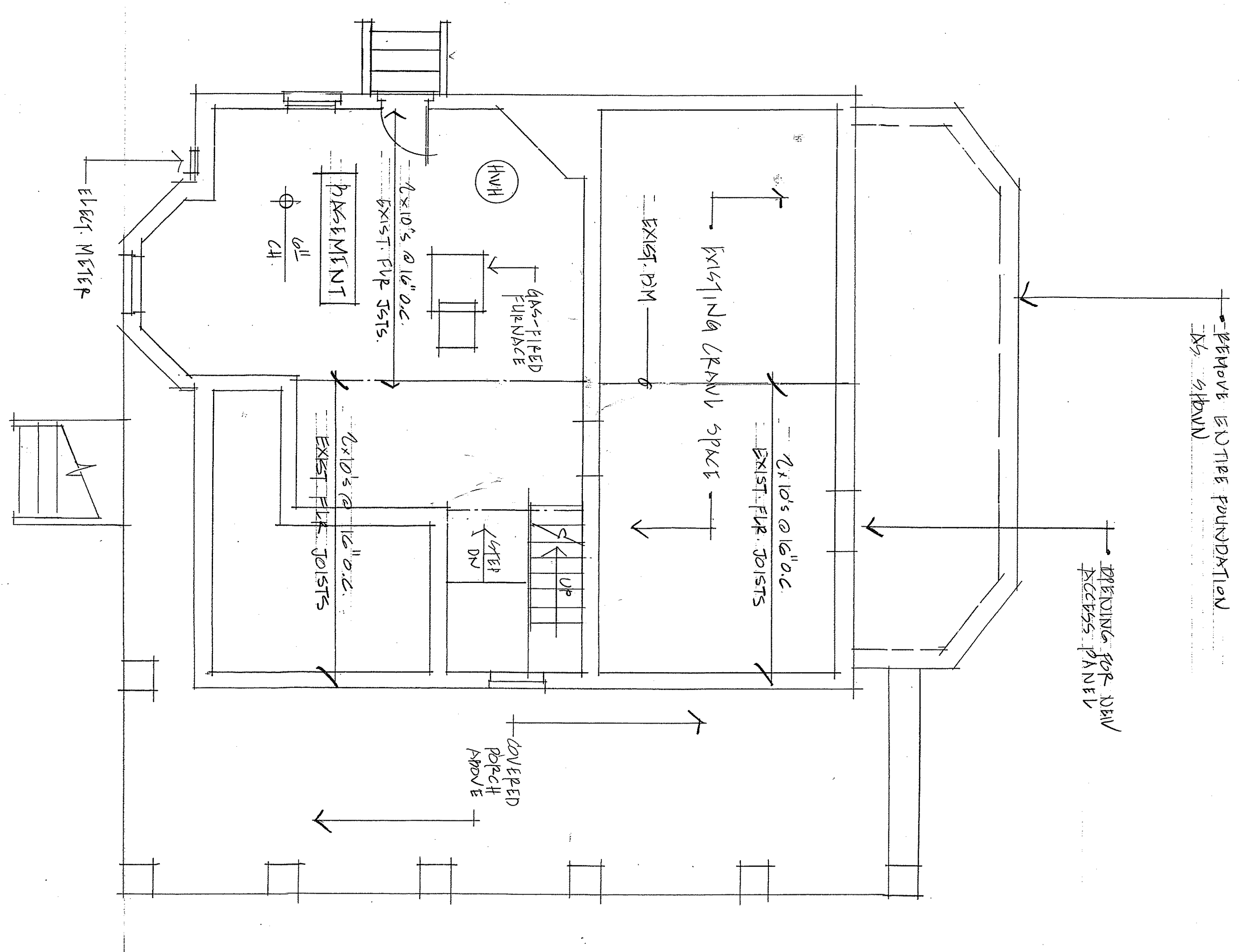
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Montgomery County
Historic Preservation Commission
[Signature]

Contractor:
Marywood Design Build, Inc.
6601 Marywood Road
Bethesda, MD 20817
DC # 65002422
MHC # 20584

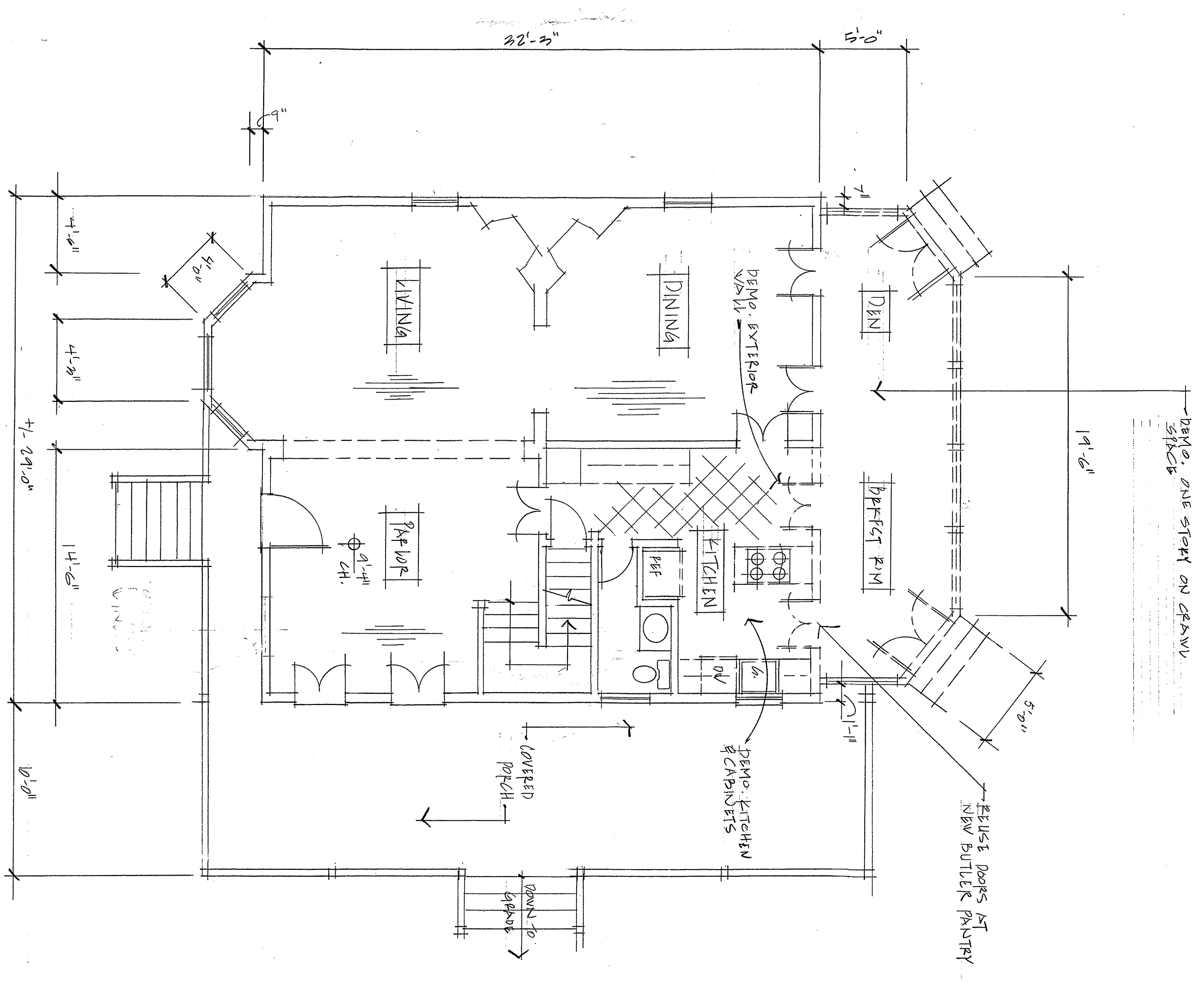
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Bidding
Permits
Revisions
Most Current

PROPOSED RENOVATIONS FOR:
PETERSON RESIDENCE
10216 Kensington Parkway
Kensington, MD 20895

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EXIST/ DEMO. BASEMENT PLAN
1/4" = 1'-0"



EXIST/ DEMO. FIRST FLOOR PLAN
1/4" = 1'-0"

138'-6" OF LINEAR EXTERIOR WALL
1480 sq FT FOOTPRINT OF MAIN HOUSE
440 sq COVERED PORCH

APPROVED
Hagerston County
Hydrographical Commission
1/11/07

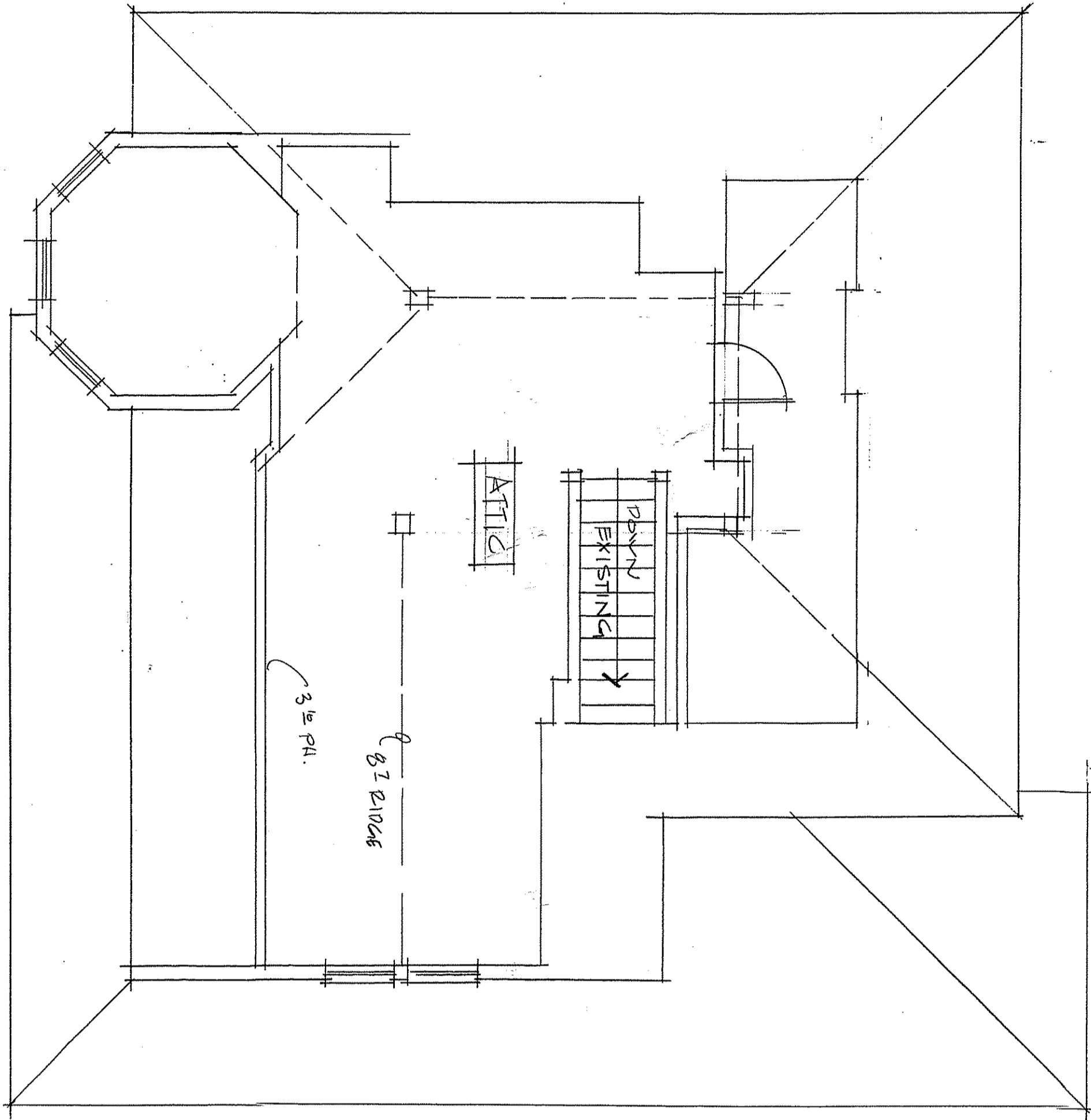
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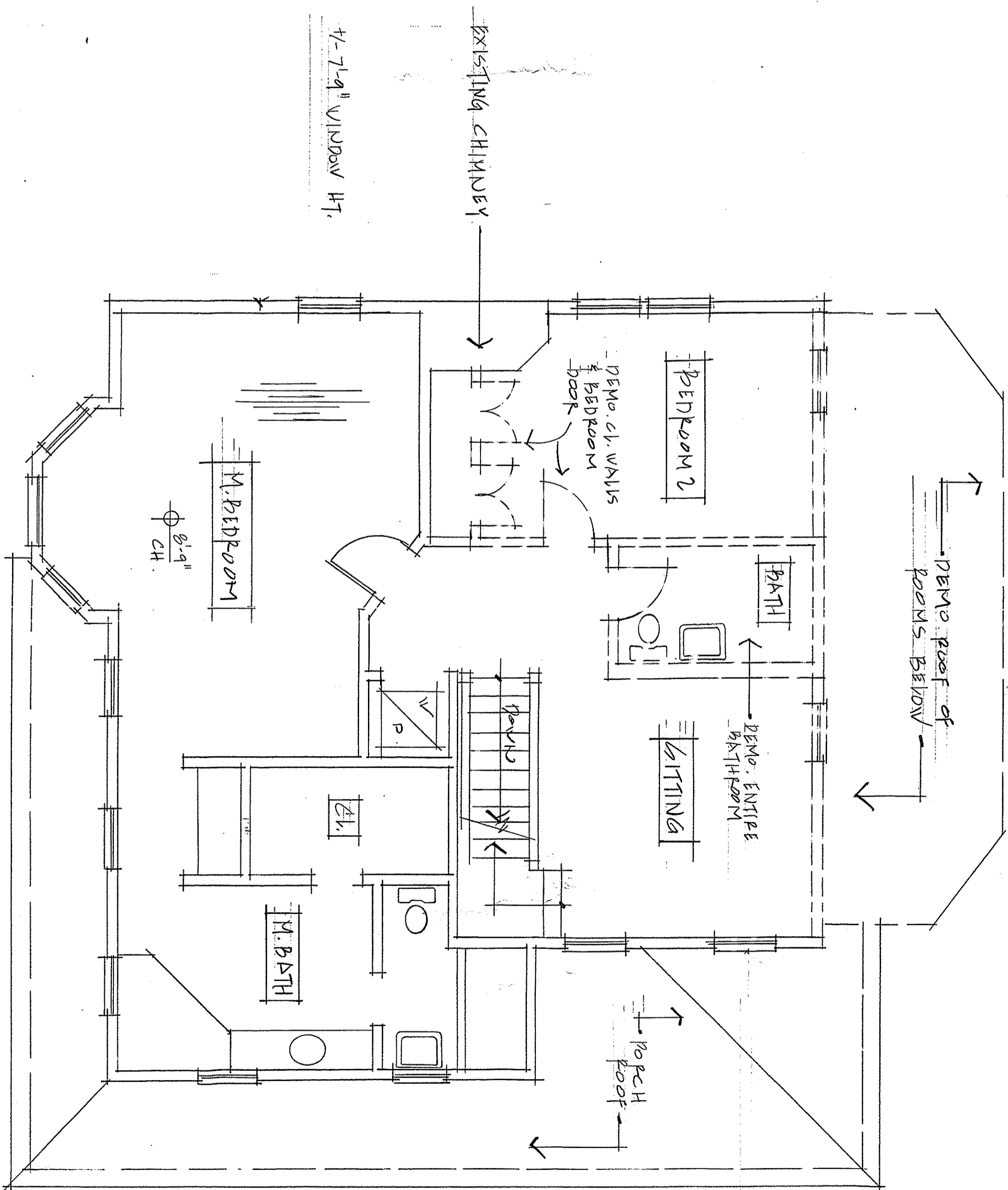
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6601 Marywood Road
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NOTE:
 CLEARANCE AREAS OF EXISTING ATTIC SPACE
 WERE UNACCESSIBLE FOR PROPERLY
 MEASURING.



EXIST./DEMO THIRD FLOOR PLAN
 1/4" = 1'-0"



EXIST./DEMO SECOND FLOOR PLAN
 1/4" = 1'-0"

APPROVED
 Maryland County
 Department of Planning
 and Zoning
 1/19/09

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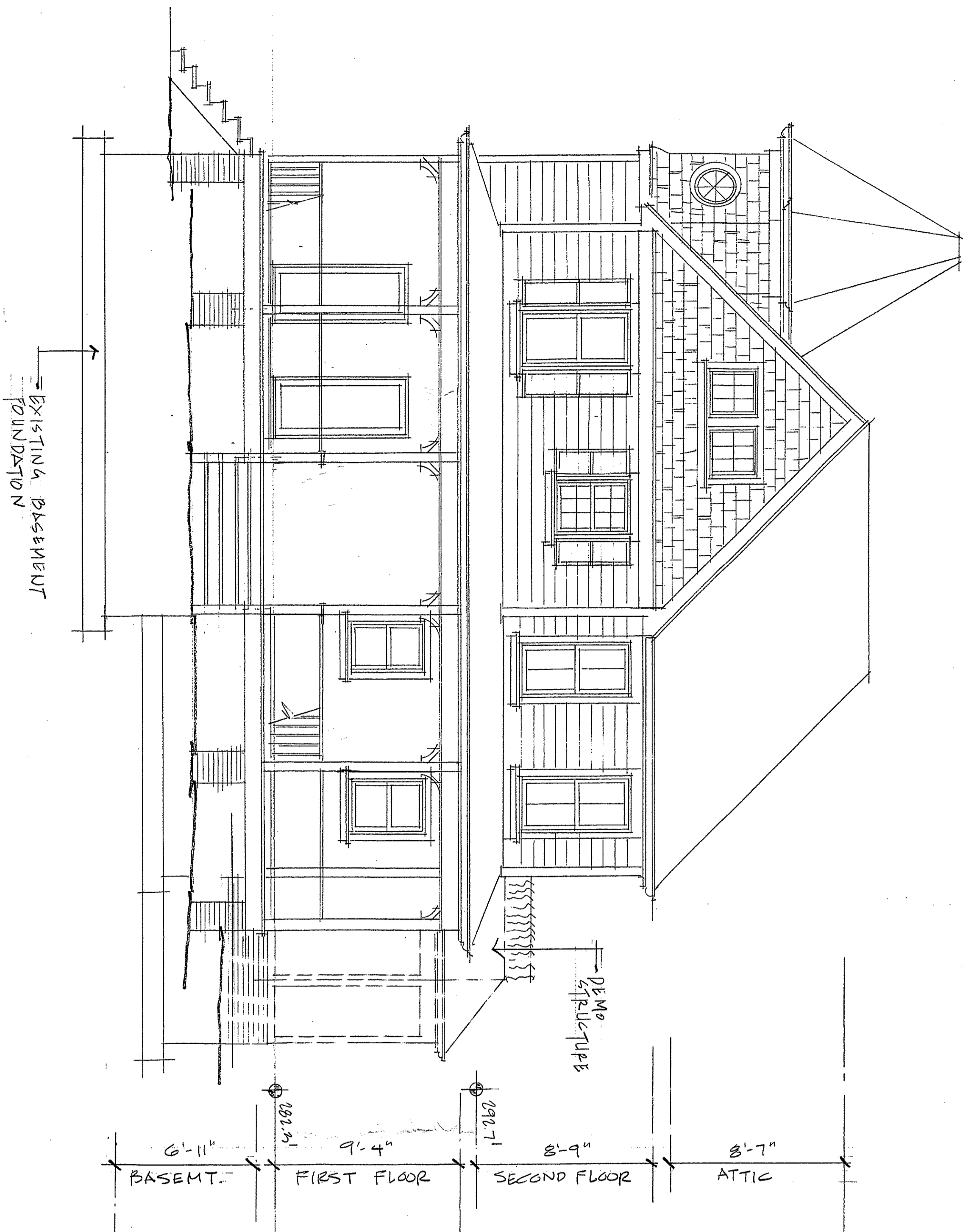
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 Kensington, MD 20895

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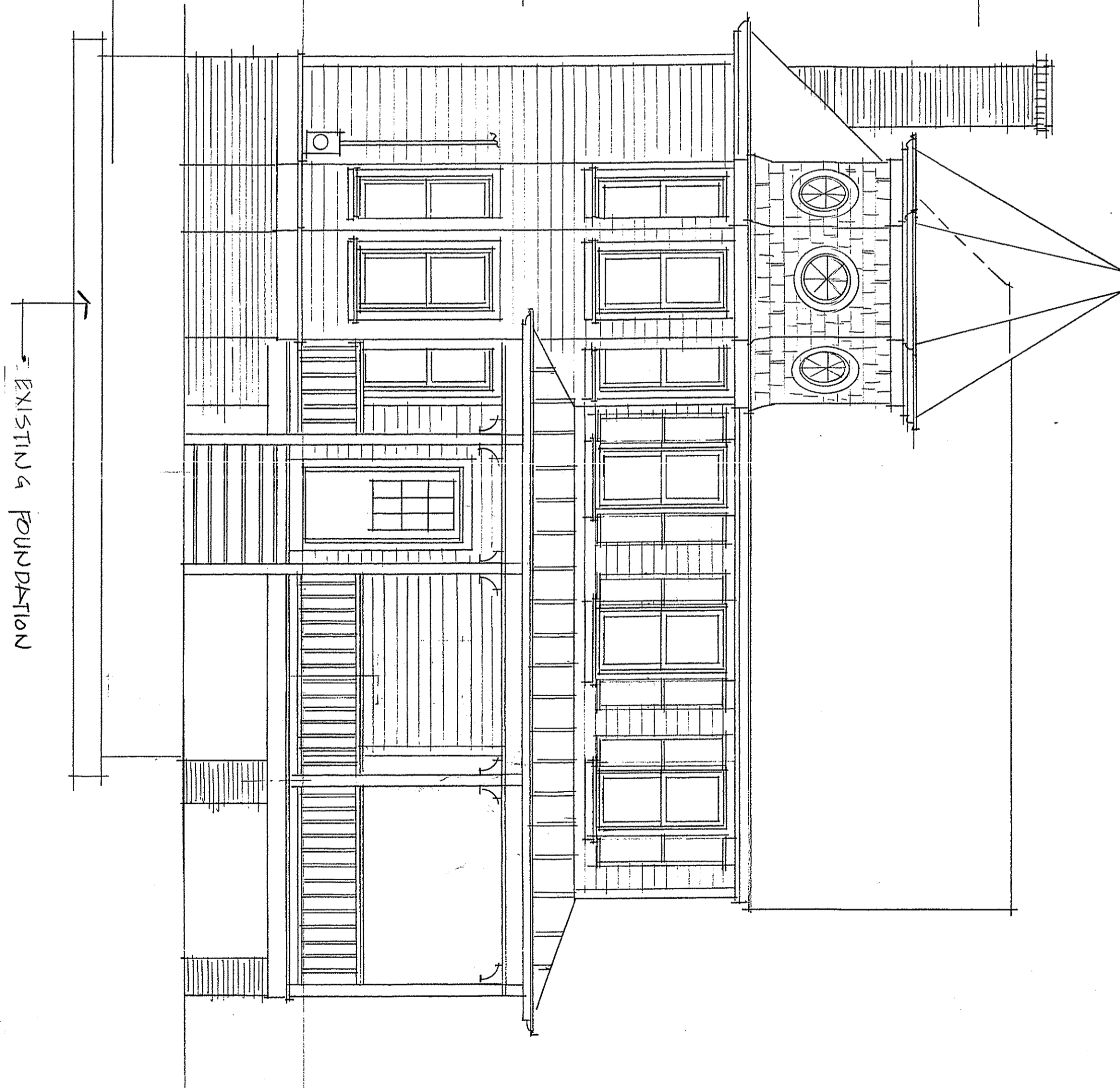
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 Bethesda, MD 20817

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EXISTING / DEMO. RIGHT SIDE ELEV.
1/4" = 1'-0"



EXIST. / DEMO. FRONT ELEVATION
1/4" = 1'-0"



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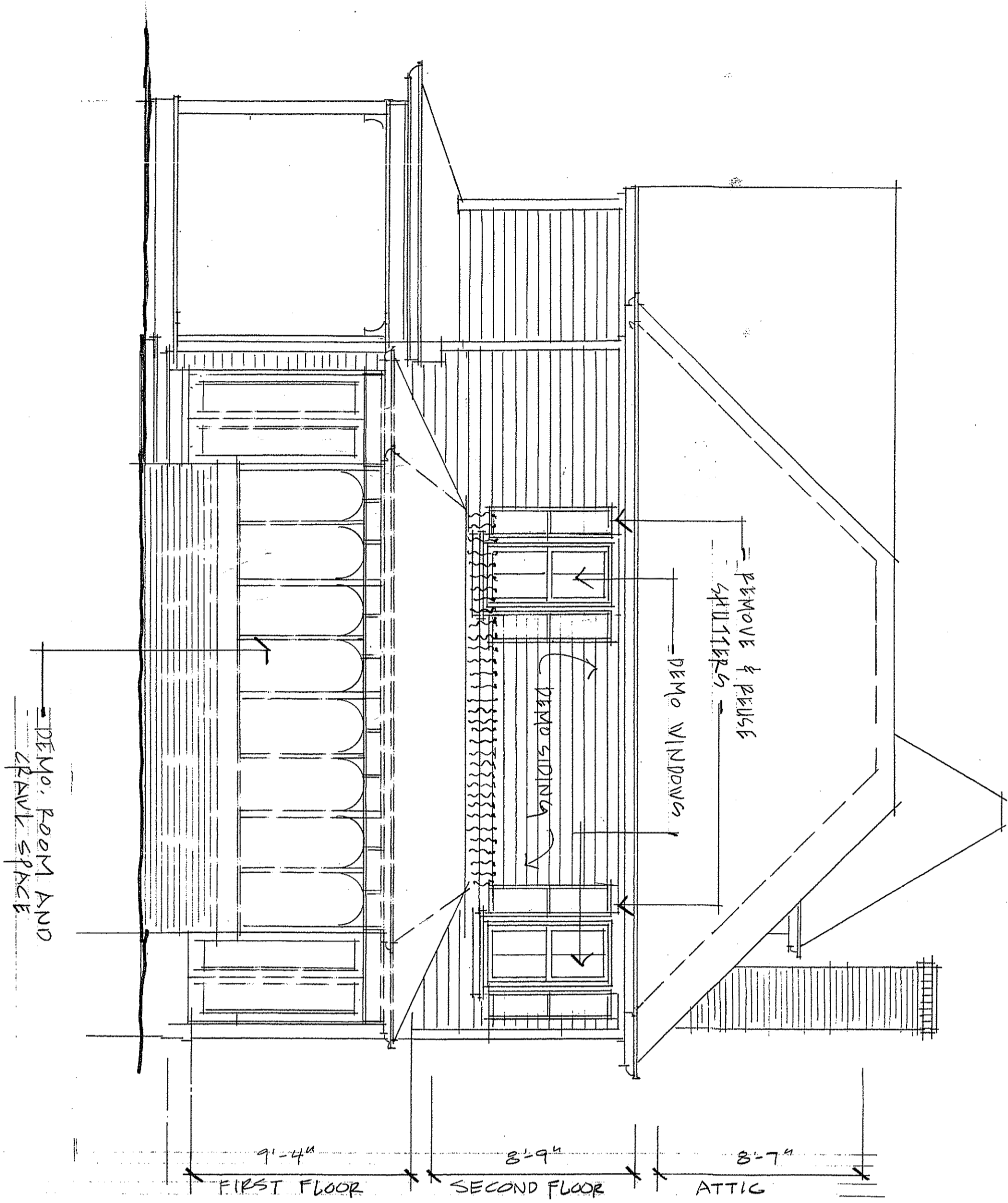
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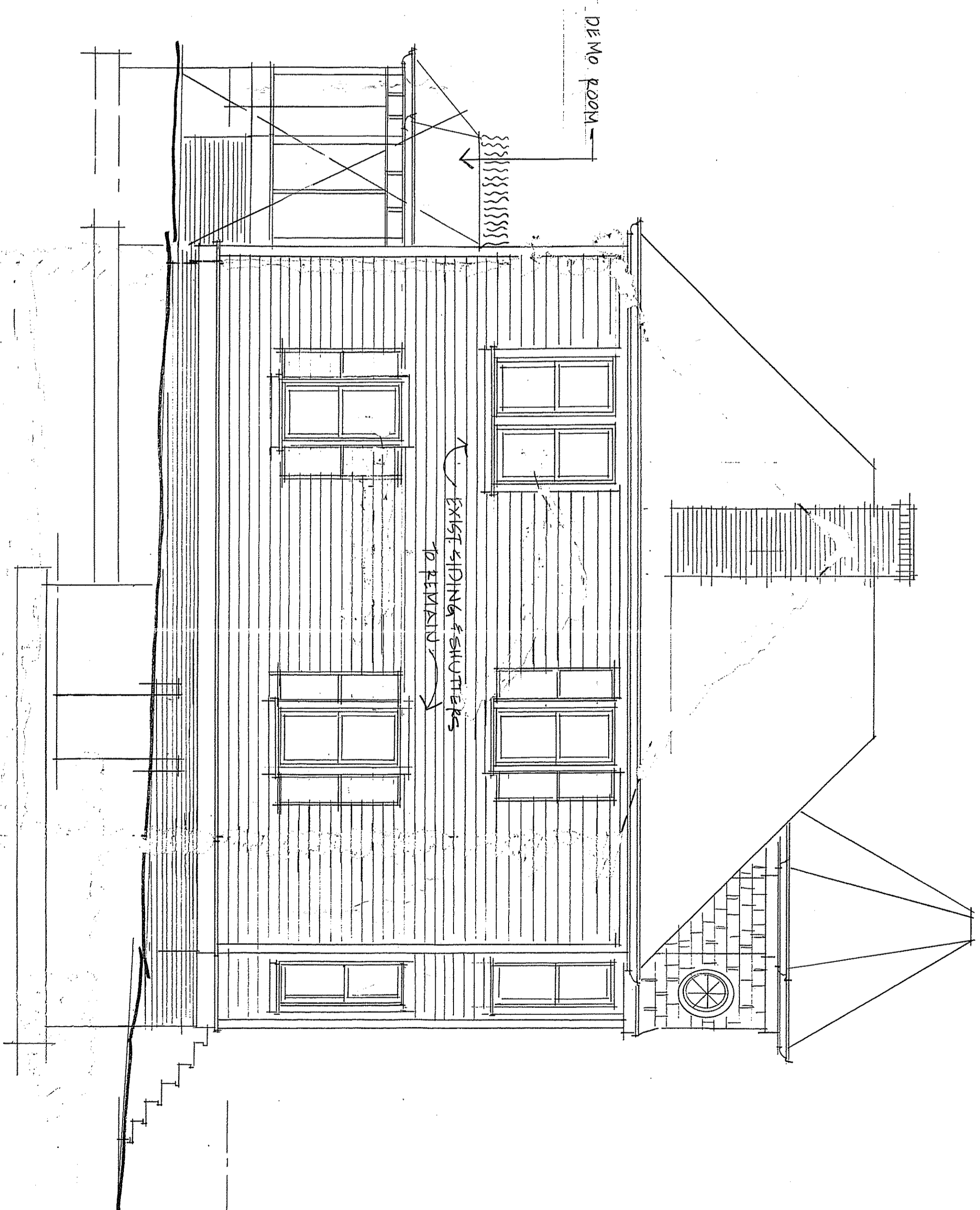
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EXISTING/DEMO. REAR ELEVATION
1/4" = 1'-0"



EXIST./DEMO. LEFT SIDE ELEVATION
1/4" = 1'-0"



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1/11/09

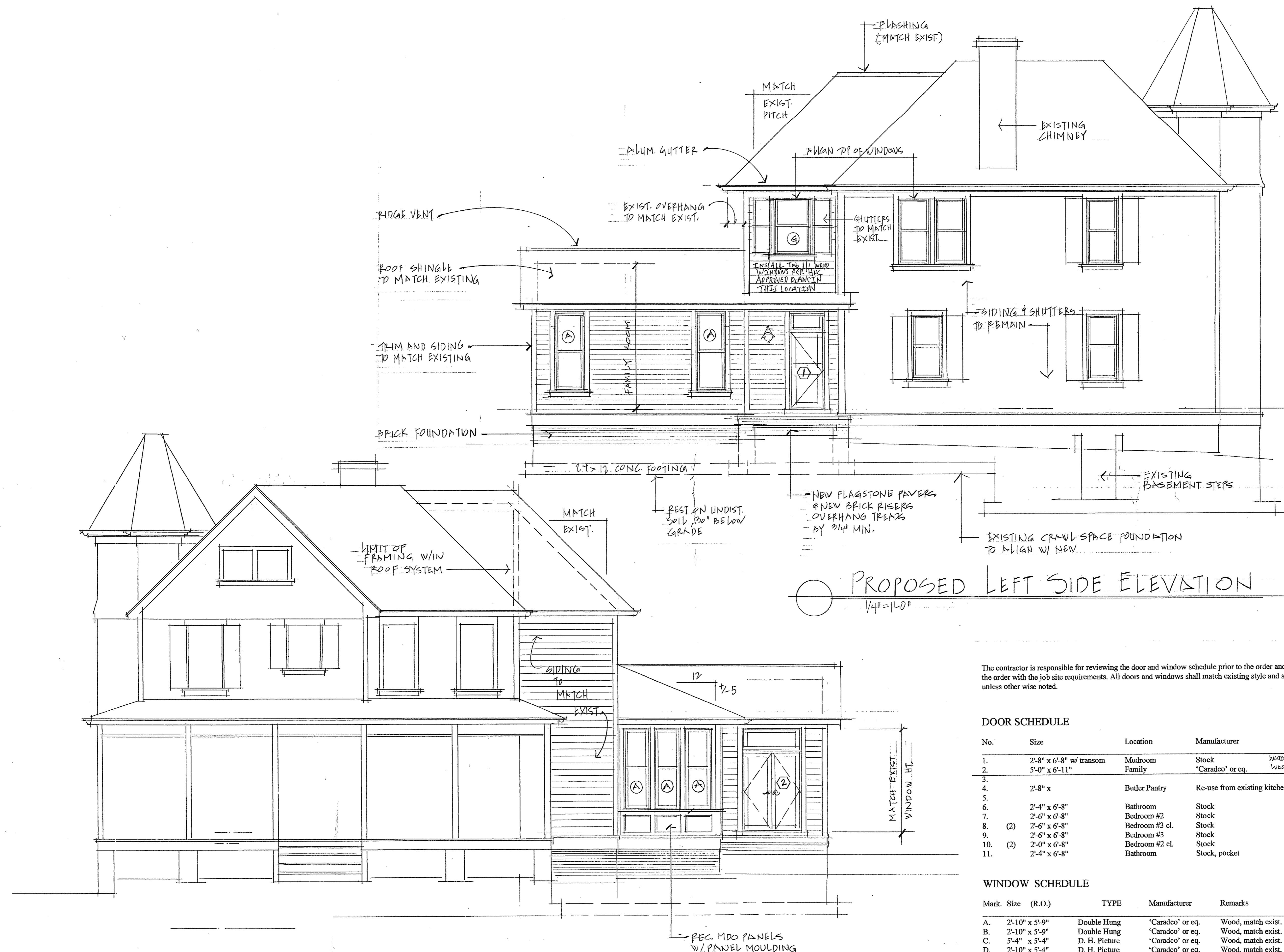
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Marywood Design Build, Inc.
6601 Marywood Road
Bethesda, MD 20817



PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

PROPOSED RIGHT SIDE ELEV.
1/4" = 1'-0"

The contractor is responsible for reviewing the door and window schedule prior to the order and coordinating the order with the job site requirements. All doors and windows shall match existing style and specifications unless other wise noted.

DOOR SCHEDULE

No.	Size	Location	Manufacturer	Remarks
1.	2'-8" x 6'-8" w/ transom	Mudroom	Stock	WOOD DOOR
2.	5'-0" x 6'-11"	Family	'Caradco' or eq.	WOOD DOOR
3.				
4.	2'-8" x	Butler Pantry	Re-use from existing kitchen	
5.				
6.	2'-4" x 6'-8"	Bathroom	Stock	
7.	2'-6" x 6'-8"	Bedroom #2	Stock	
8.	(2) 2'-6" x 6'-8"	Bedroom #3 cl.	Stock	
9.	2'-6" x 6'-8"	Bedroom #3	Stock	
10.	(2) 2'-0" x 6'-8"	Bedroom #2 cl.	Stock	
11.	2'-4" x 6'-8"	Bathroom	Stock, pocket	

WINDOW SCHEDULE

Mark	Size (R.O.)	TYPE	Manufacturer	Remarks
A.	2'-10" x 5'-9"	Double Hung	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
B.	2'-10" x 5'-9"	Double Hung	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
C.	5'-4" x 5'-4"	D. H. Picture	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
D.	2'-10" x 5'-4"	D. H. Picture	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
E.	5'-4" x custom	Segmented Arch	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
F.	2'-10" x custom	Segmented Arch	'Caradco' or eq.	Wood, match exist. style, 6 9/16" j.
G.	3'-2" x 4'-8"	DOUBLE HUNG	"	"

EGRESS UNIT REF.

APPROVED
Montgomery County
Historic Preservation Commission
CAMILA DUBOIS 11/11/09

Marywood Design Build, Inc.
6601 Marywood Road
Bethesda, MD 20817

PRINTING DATES:
Preliminary Design
Bidding
Permits
Revisions
Most Current

PROPOSED RENOVATIONS FOR:
PETERSON RESIDENCE
10216 Kensington Parkway
Kensington, MD 20895

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ROOF FINISH
 $L = 12.5$
 $W = 24.0$
 $A_{MAX} = 180$
 $A_{MIN} = 180$

BASEMENT FINISH
 $W = 24.0$
 $H_{MAX} = 5.0$
 $H_{MIN} = 5.0$

FINISH SUBSTITUTION
 $R_1 = 1.5$
 $R_2 = 1.5$

FINISH AREA
 $A_{MAX} = 180$
 $A_{MIN} = 180$

ROOF FINISH
 $L = 12.5$
 $W = 24.0$
 $A_{MAX} = 180$
 $A_{MIN} = 180$

BASEMENT FINISH
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 $H_{MIN} = 5.0$

FINISH SUBSTITUTION
 $R_1 = 1.5$
 $R_2 = 1.5$

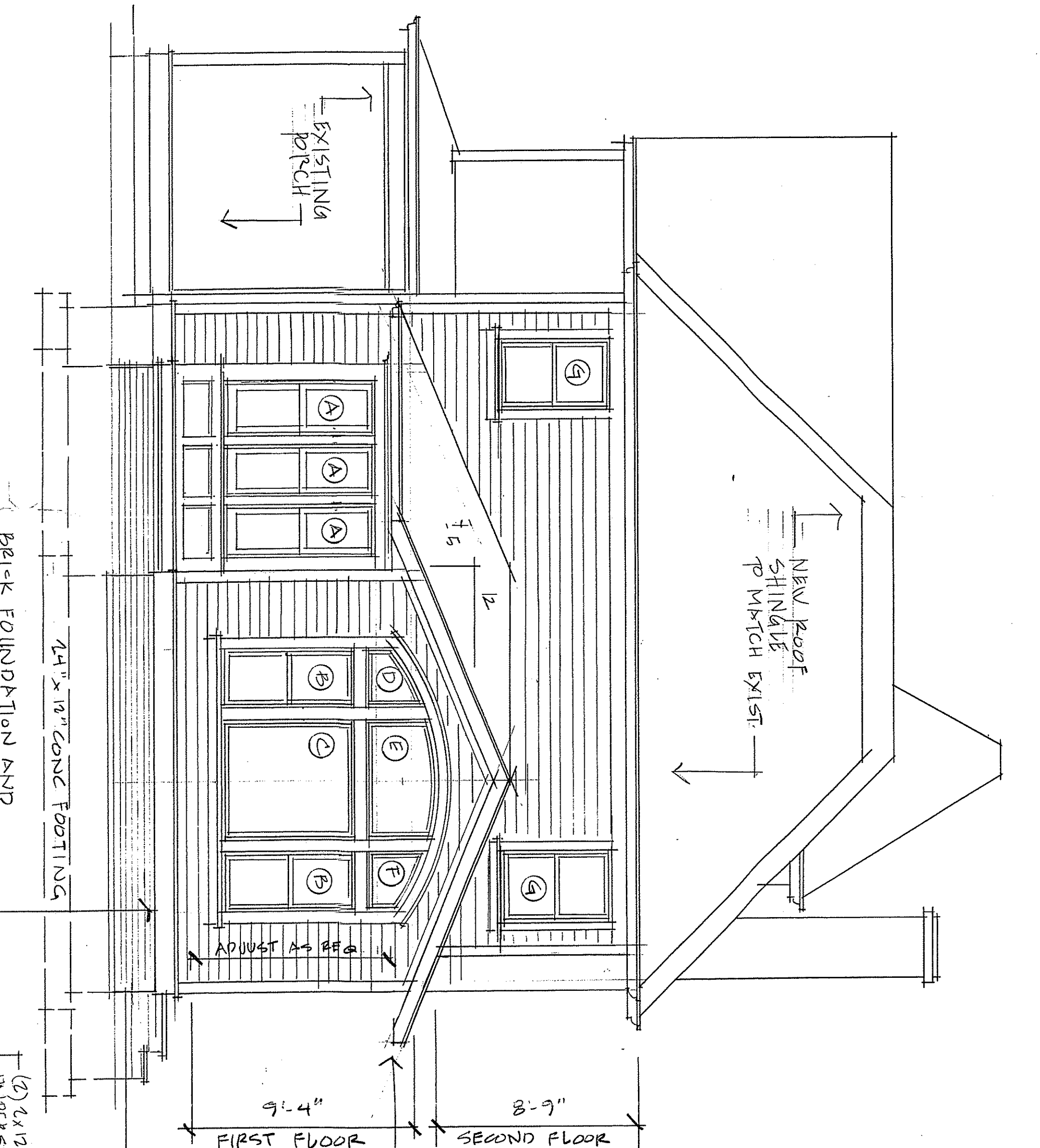
FINISH AREA
 $A_{MAX} = 180$
 $A_{MIN} = 180$

ROOF FINISH
 $L = 12.5$
 $W = 24.0$
 $A_{MAX} = 180$
 $A_{MIN} = 180$

BASEMENT FINISH
 $W = 24.0$
 $H_{MAX} = 5.0$
 $H_{MIN} = 5.0$

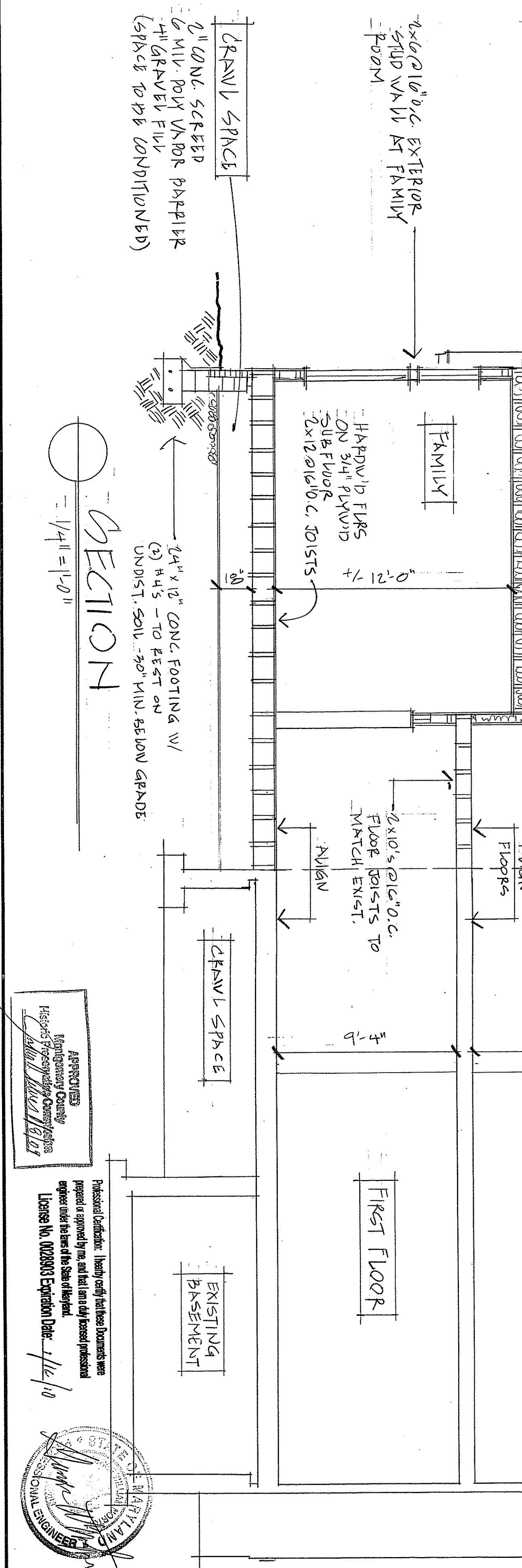
FINISH SUBSTITUTION
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FINISH AREA
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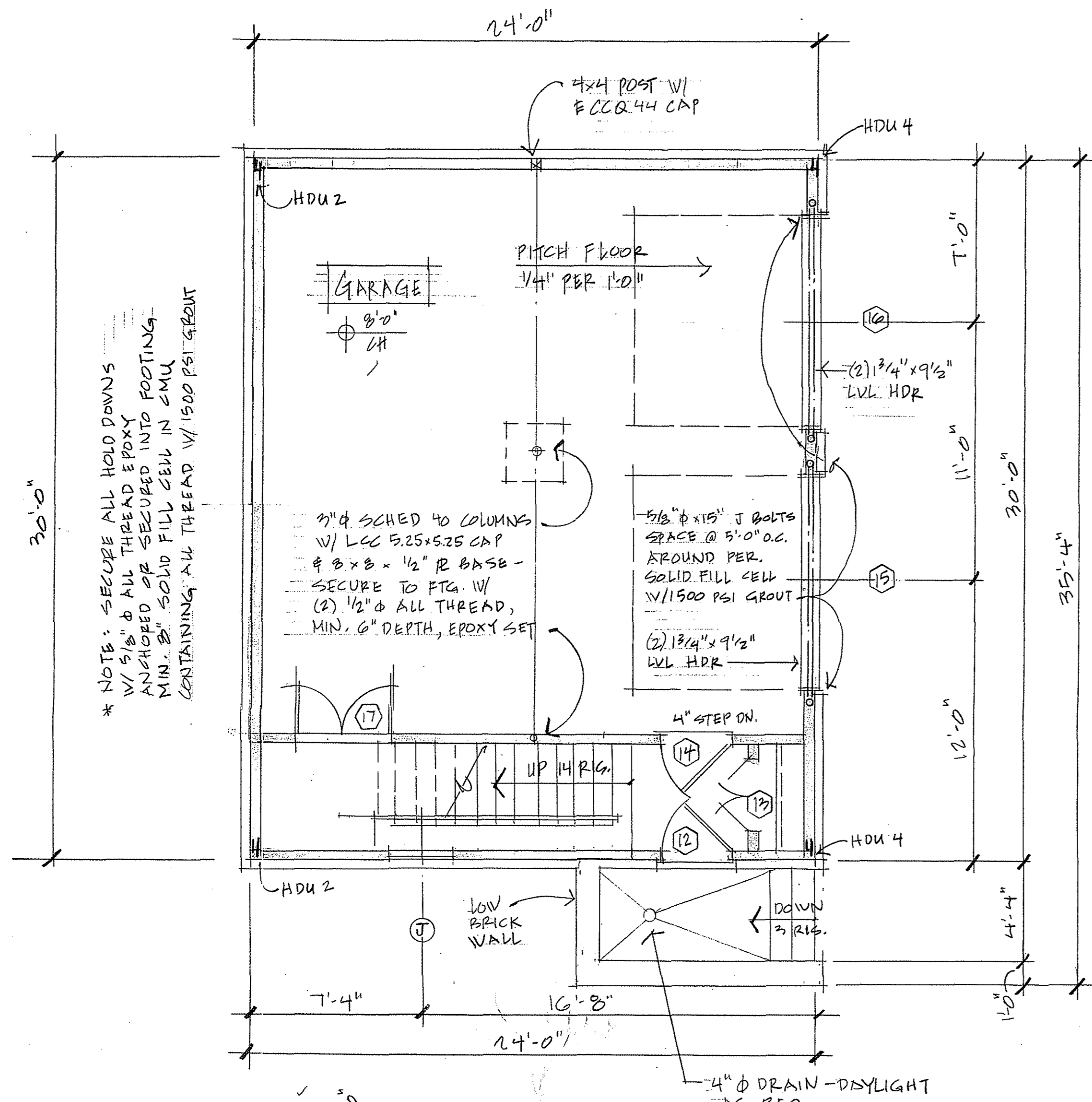
PROPOSED REAR ELEV.

POOF SHINGLES TO MATCH EXISTING
 20# BUILDING FELT
 1/2\"/>

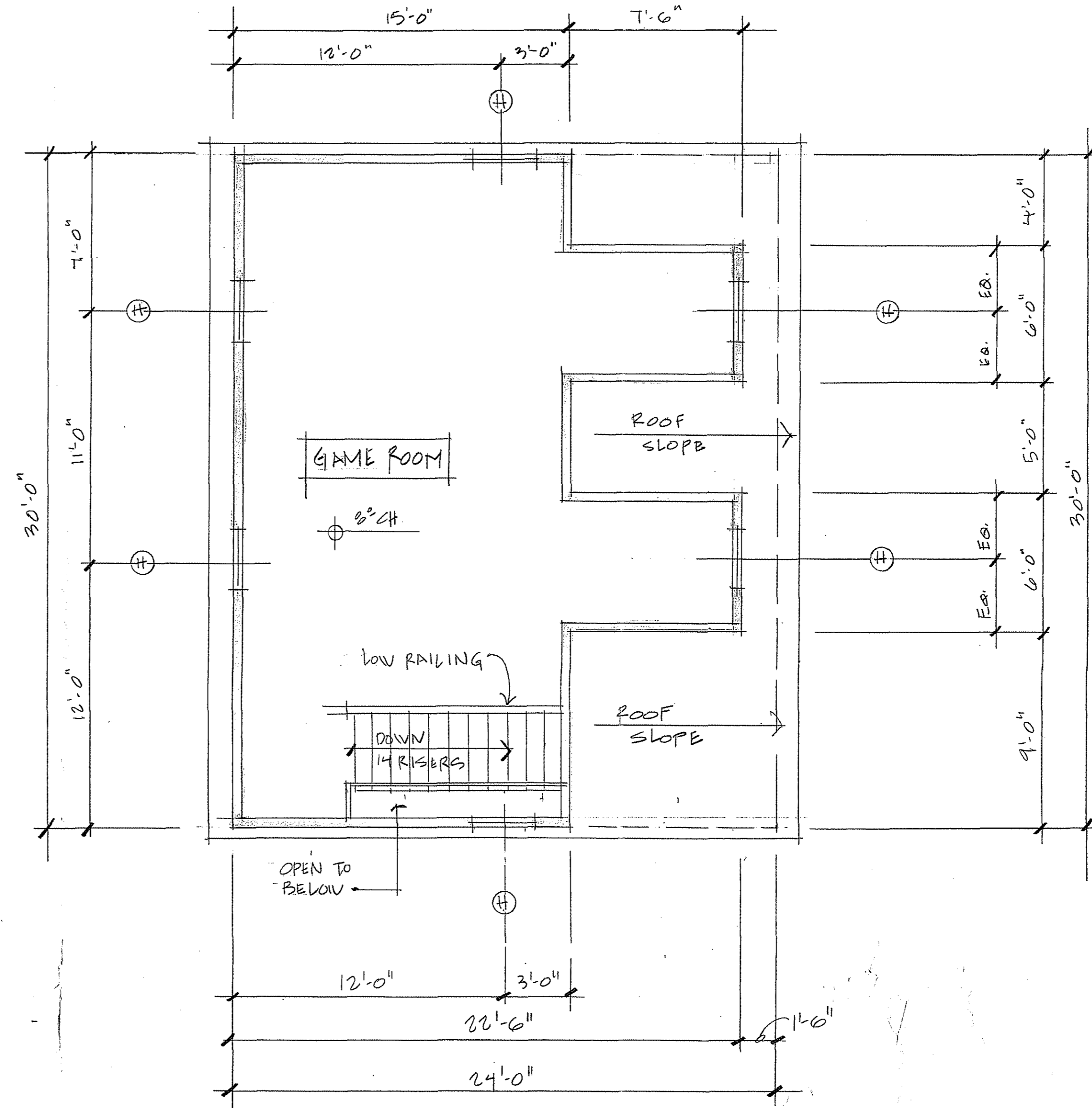


SECTION

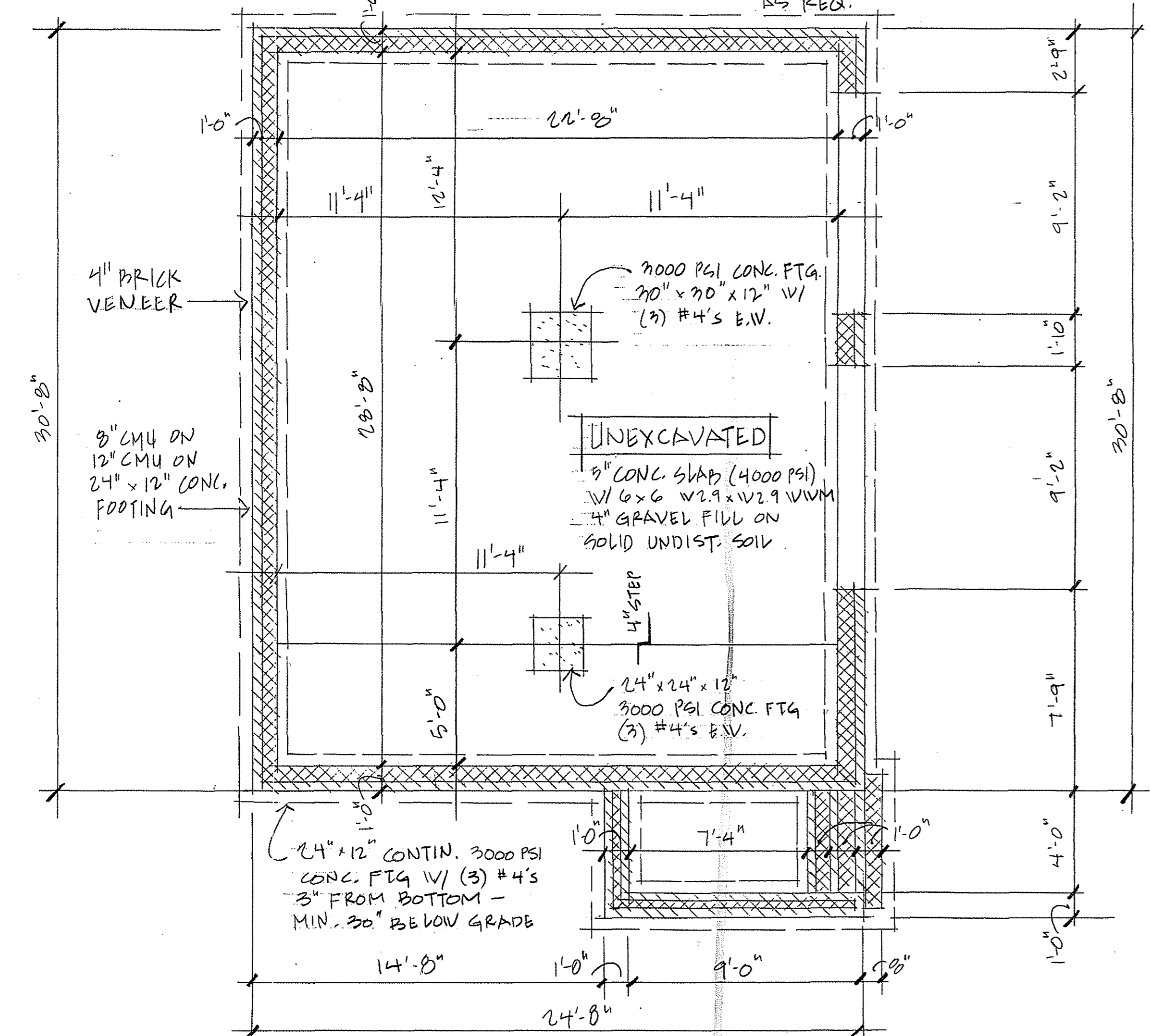
Professional Engineer
 License No. 111111



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

The contractor is responsible for reviewing the door and window schedule prior to placing the order and coordinating the order with the job site requirements. All doors and windows shall match existing style and specifications unless other wise noted.

DOOR SCHEDULE

No.	Size	Location	Manufacturer
12.	3'-0" x 6'-8"	Entry	Stock
13.	(2) 2'-0" x 6'-8"	Entry Closet	Stock
14.	3'-0" x 6'-8"	Entry	Stock
15.	9'-0" x 7'-0"	Garage	Stock
16.	9'-0" x 7'-0"	Garage	Stock
17.	(2) 2'-0" x 6'-8"	Closet	Stock

WINDOW SCHEDULE

Mark.	Size (R.O.)	TYPE	Manufacturer	Remarks
H.	2'-10" x 4'-9"	Double Hung	'Caradco' or eq.	Wood, match exist. style, 4 9/16" j.
J.	2'-10" x 4'-0"	Double Hung	'Caradco' or eq.	Wood, match exist. style, 4 9/16" j.

Professional Certification: I hereby certify that these Documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 0028903 Expiration Date: 1/12/10



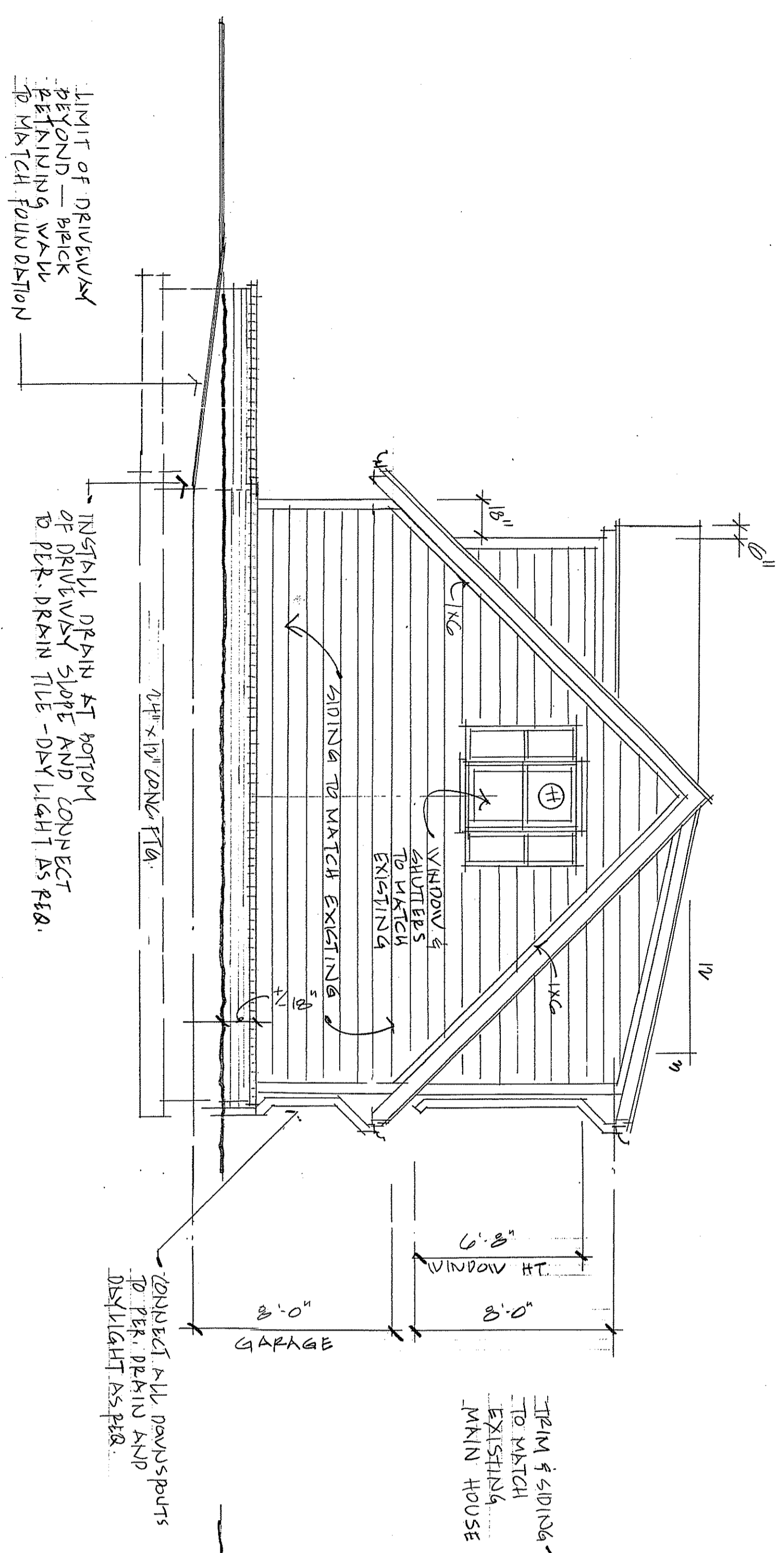
APPROVED
Montgomery County
Historic Preservation Commission
Catharine Allen 1/9/10

Contractor:
Marywood Design Build, Inc.
6601 Marywood Road
Bethesda, MD 20817
DC # 65002422
MHIC # 20584

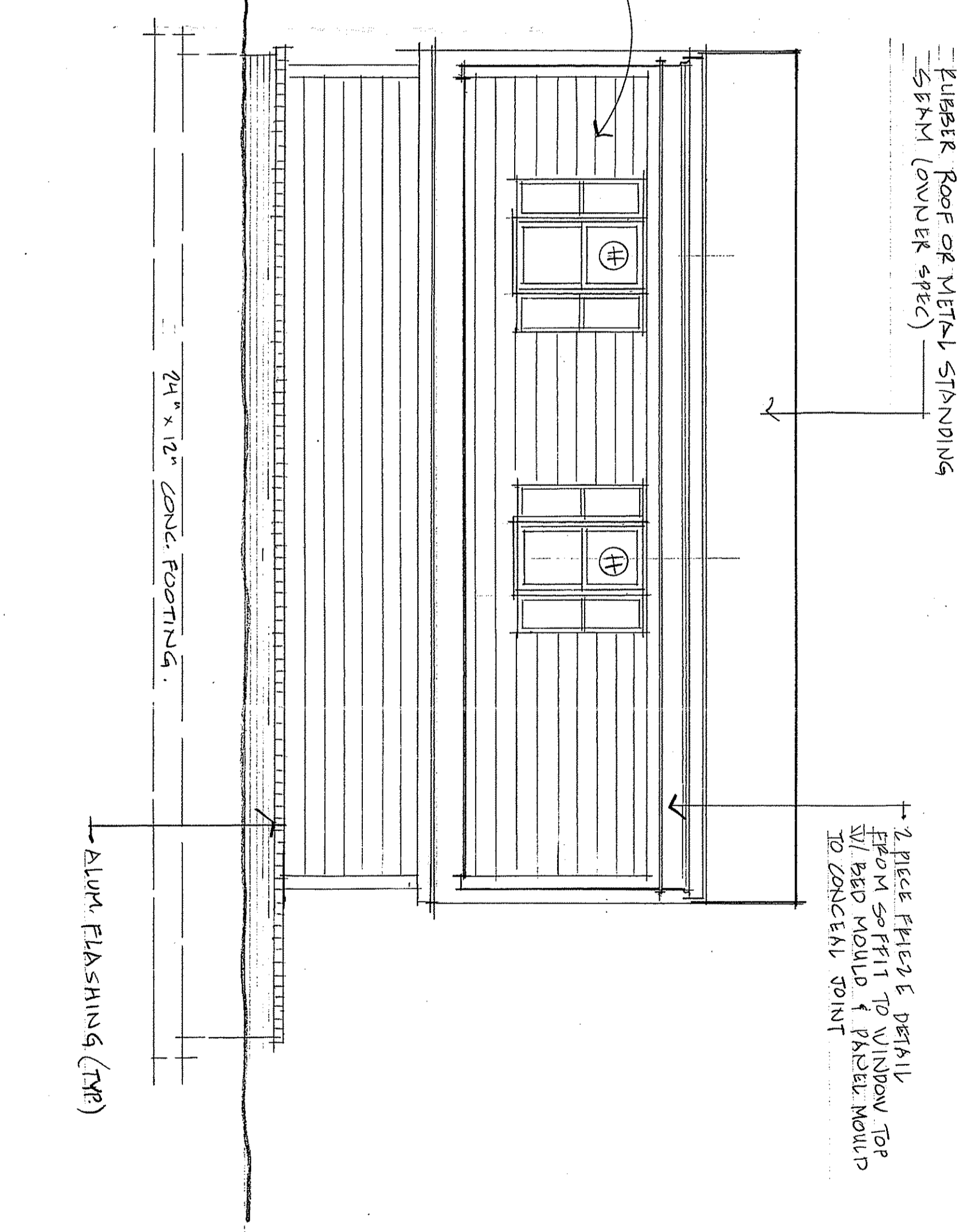
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PROPOSED RENOVATIONS FOR:
PETERSON RESIDENCE
10216 Kensington Parkway
Kensington, MD 20895

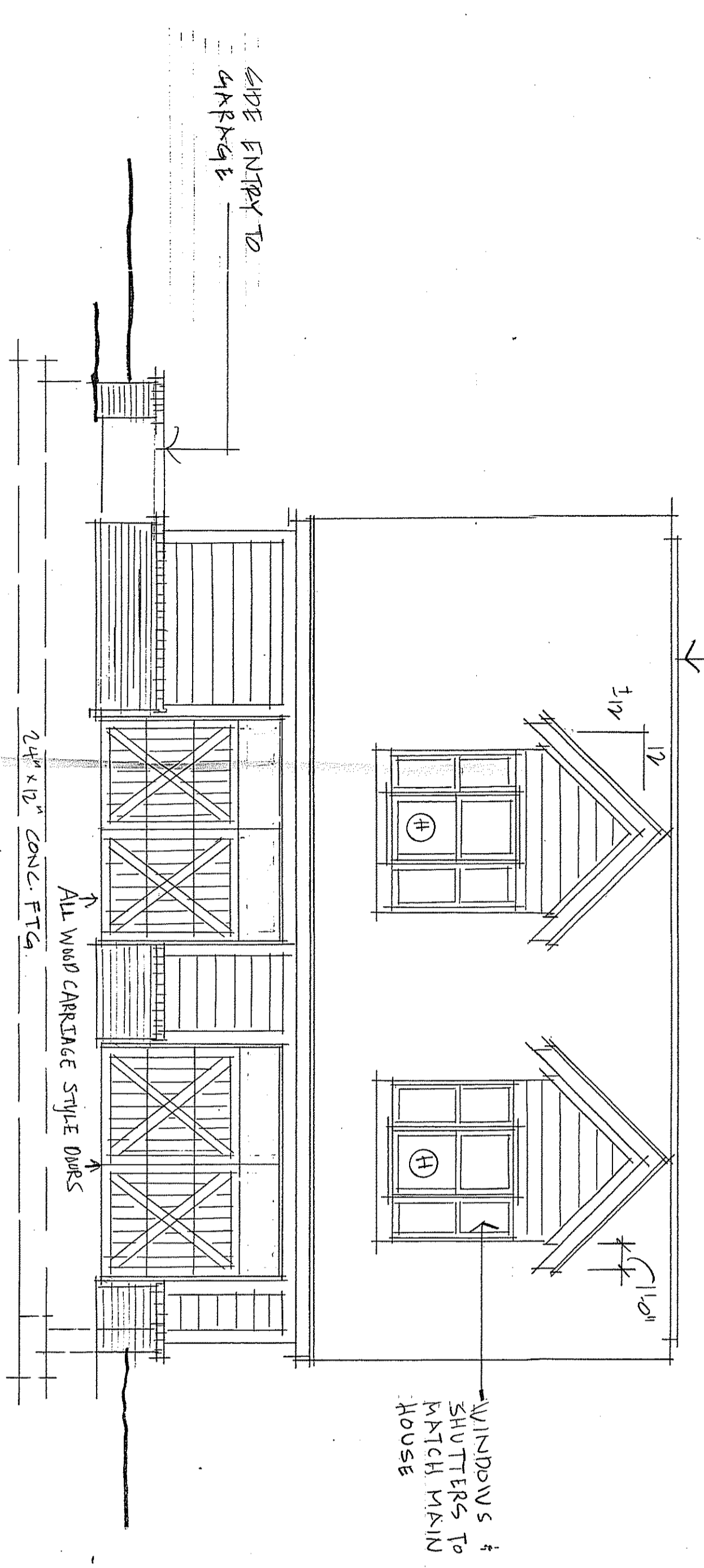
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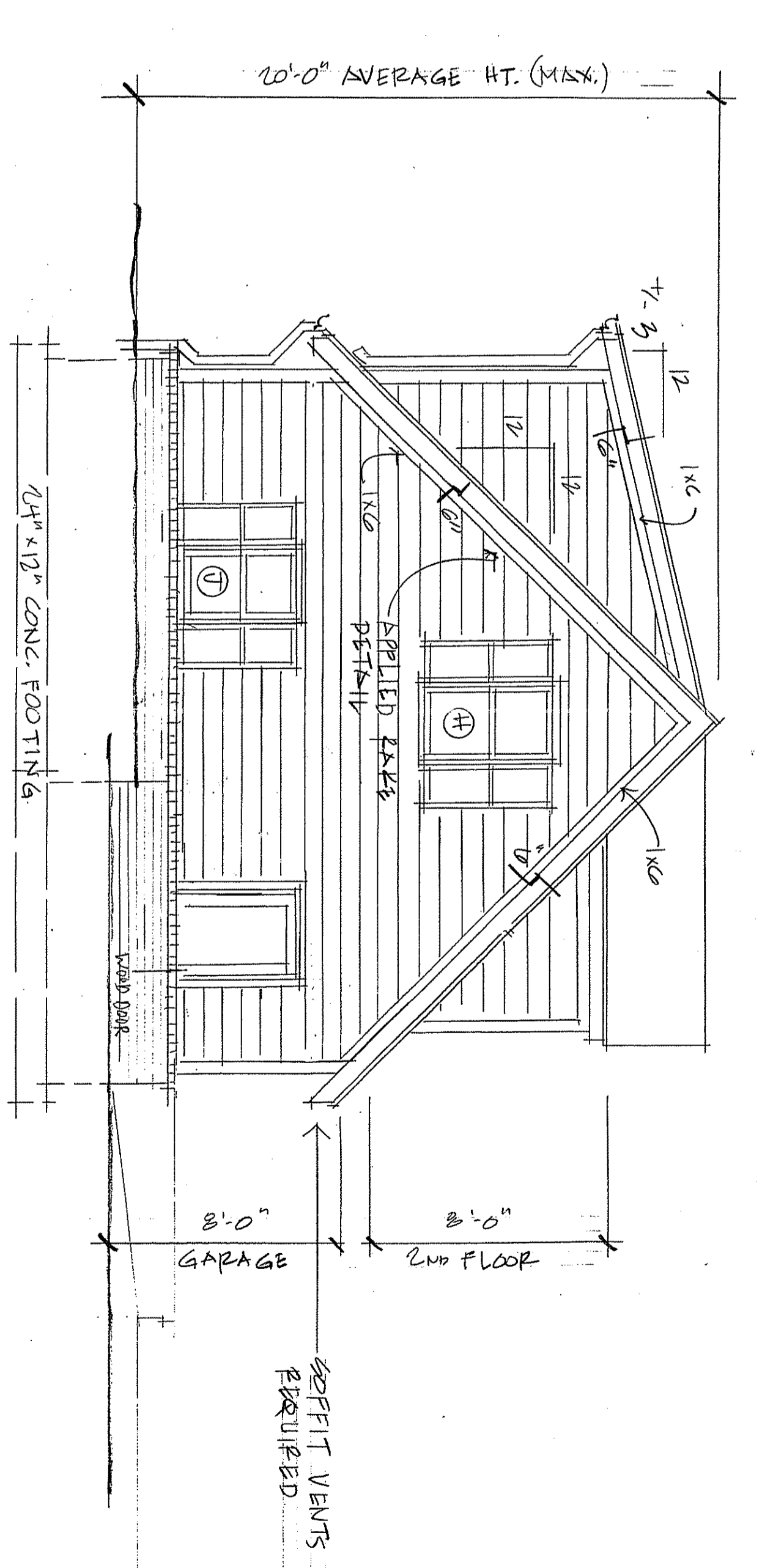
REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

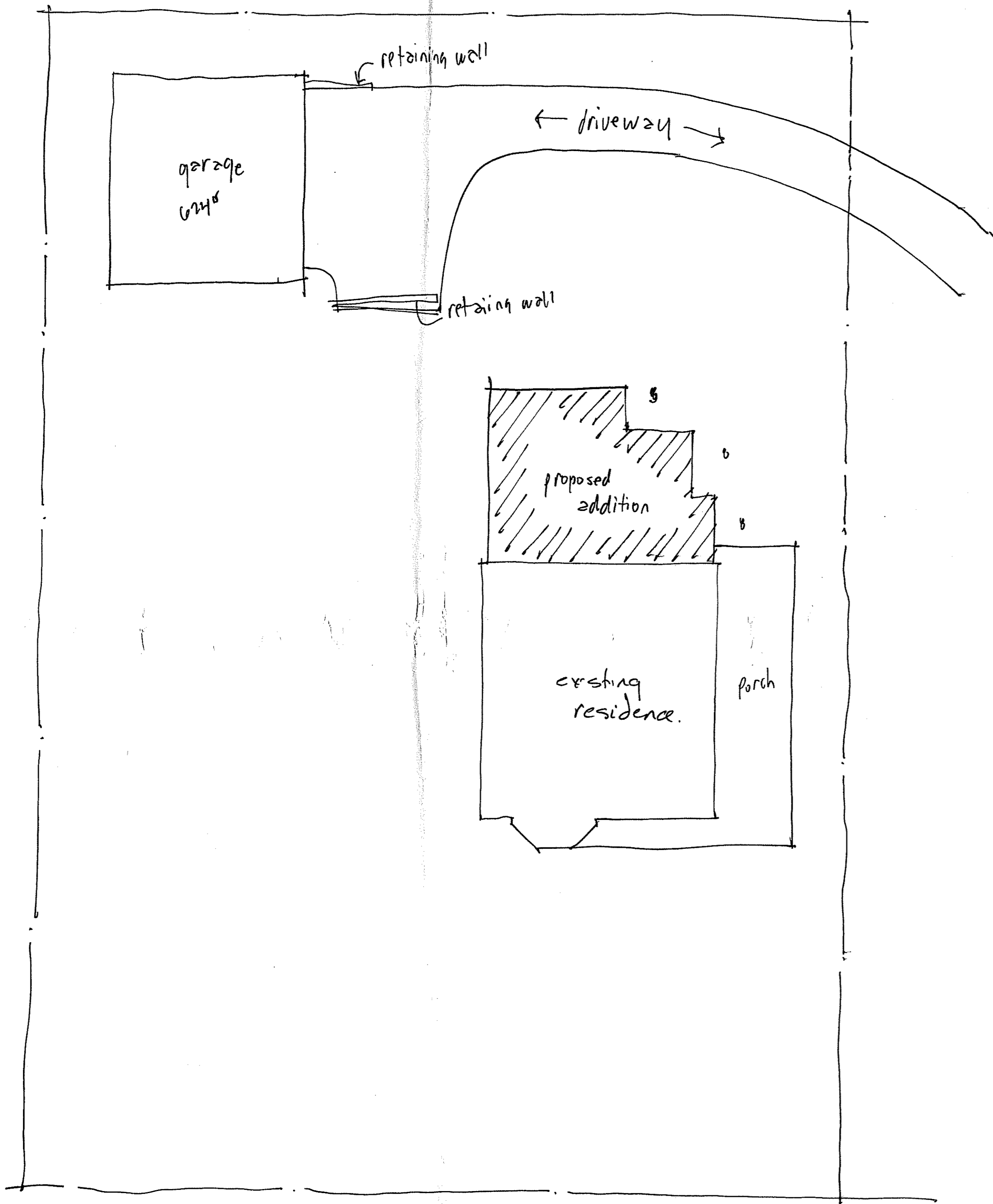


RIGHT SIDE ELEVATION
1/4" = 1'-0"

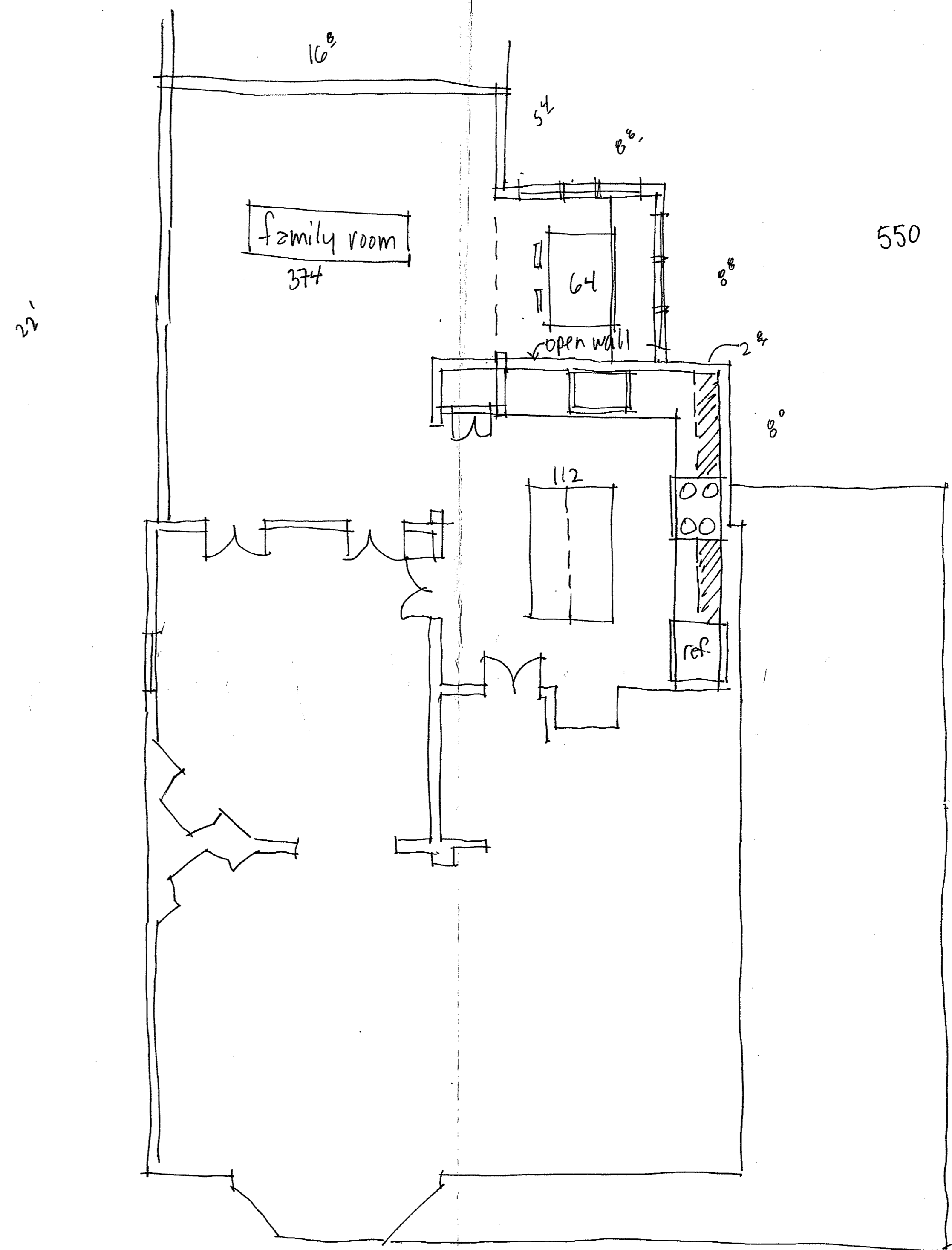


FRONT ELEVATION
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
1/18/09



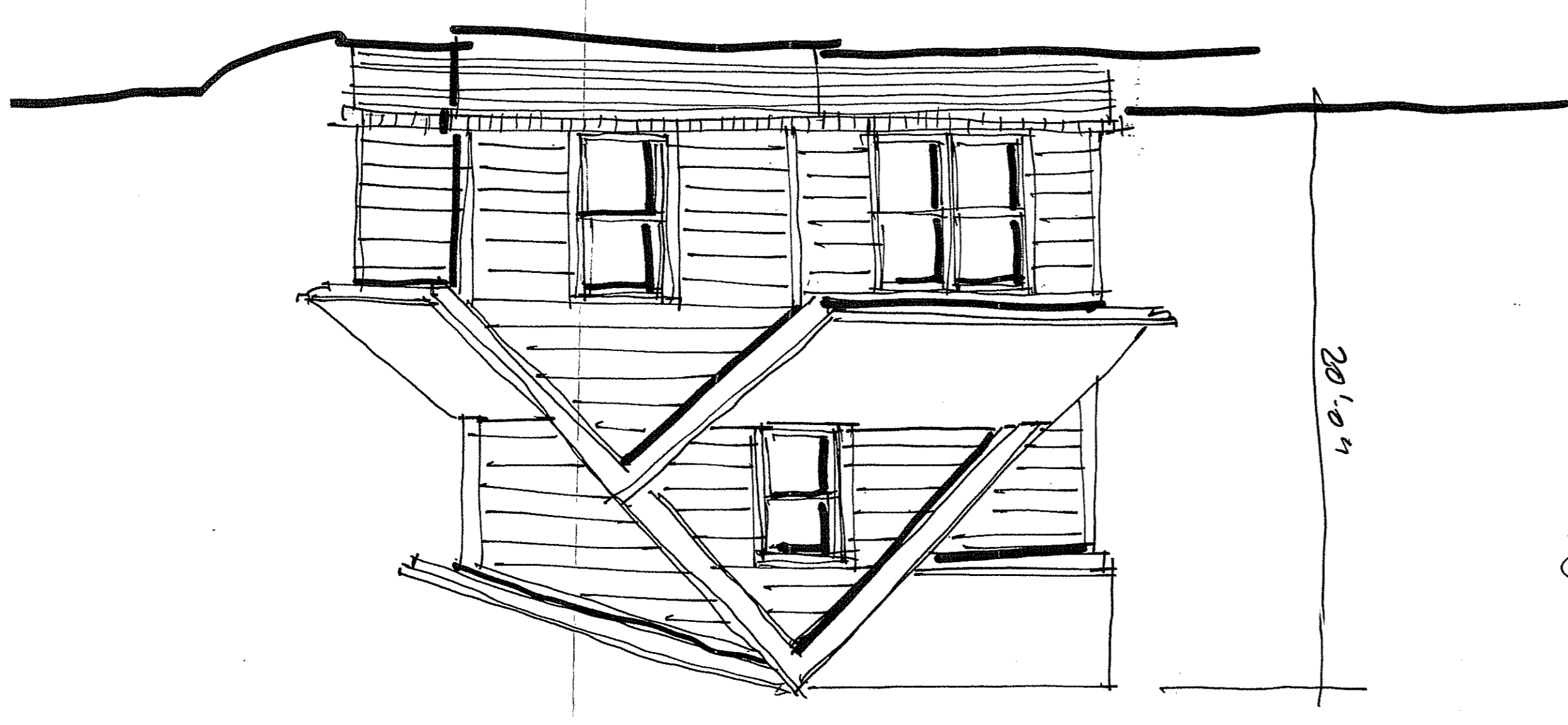
○ Proposed Site Plan



○ Proposed First Floor Plan
1/4" = 1'-0"

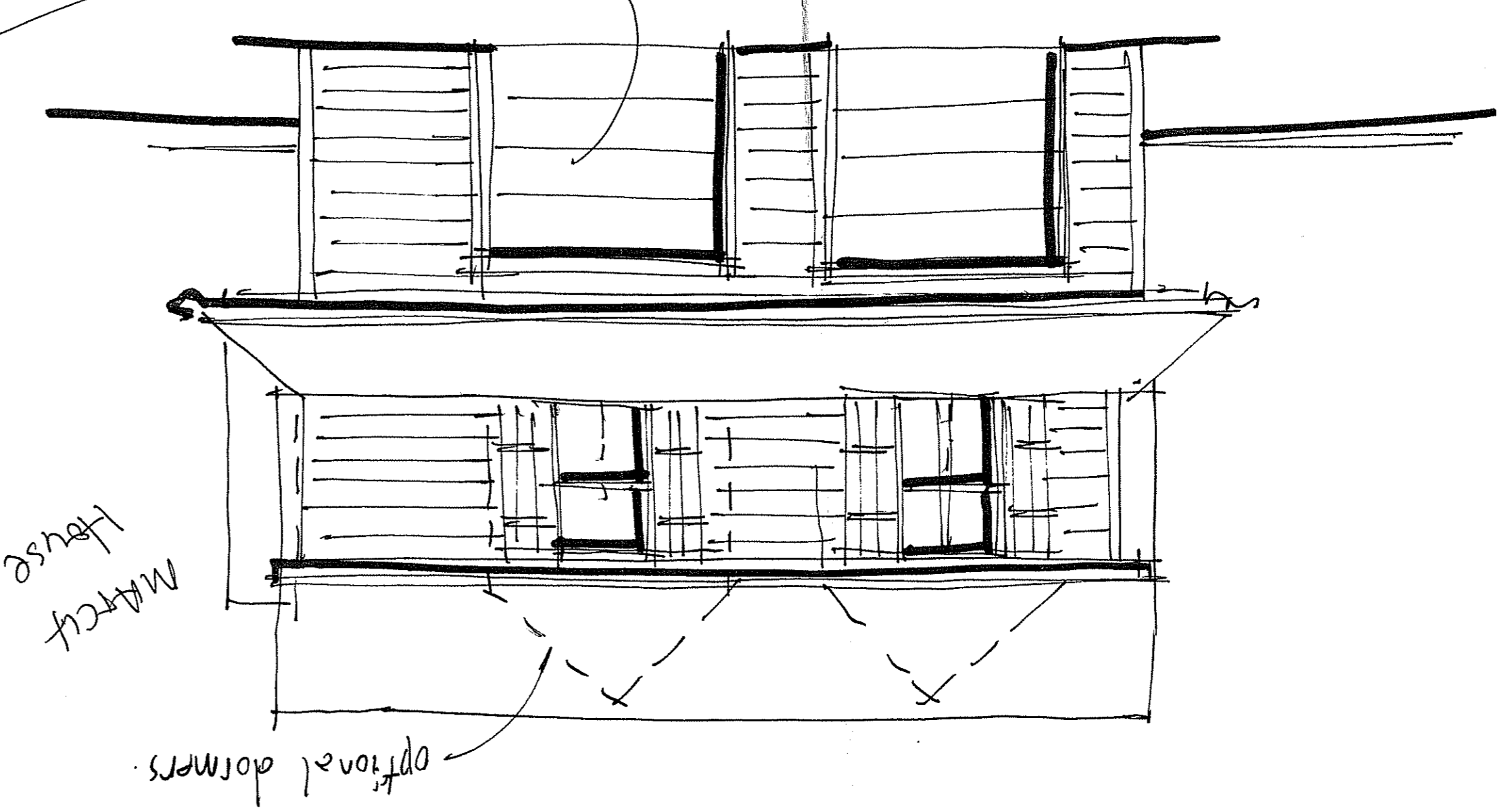
*Preliminary Meeting
w/ staff*

Proposed Elevation
1/4" = 1'-0"



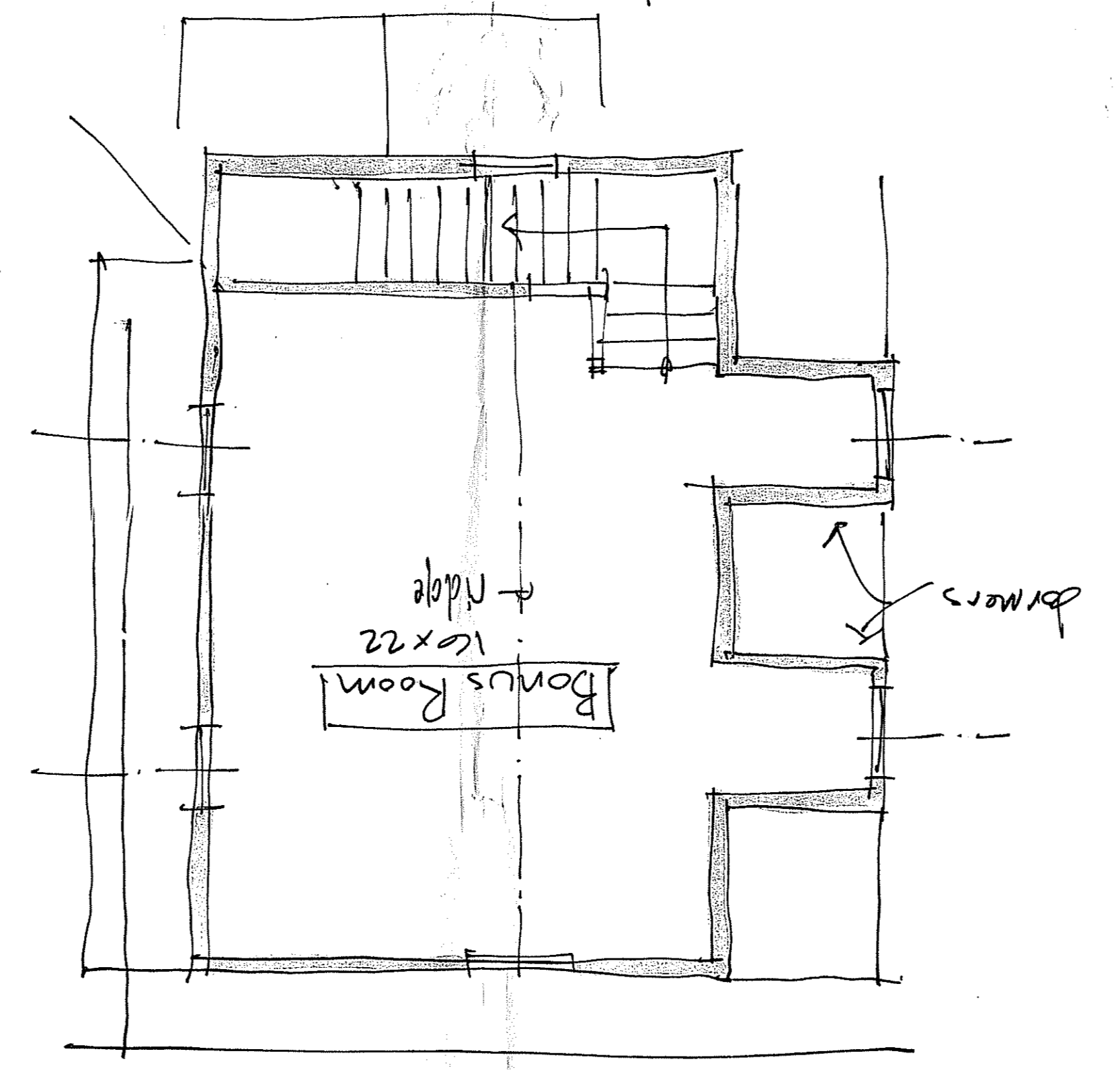
Side Elevation

Proposed Elevation
1/4" = 1'-0"



Match House

Second Floor Plan
1/4" = 1'-0"



First Floor Plan
1/4" = 1'-0"

