

10408 Westborough Ave. 2nd Floor
Westborough, MA 01581
H 80-9/12

GENERAL NOTES:

- The Contractor shall investigate the jobsite and compare the Contract Documents with the existing conditions. The Contractor shall include in the cost of work all work described in the Contract Documents and that is required or reasonably implied to achieve the design intent of the Contract Documents. The Contractor shall notify the Architect of any omissions or conflicts in the Drawings and any restrictions related to the execution of the work including the coordination with structural and MEP related work.
- All reasonably inferred conditions not otherwise indicated in these Construction Documents shall be interpreted as having the same meaning as those most similarly detailed and more fully defined elsewhere within these documents. The Contractor is to notify the Architect if clarifications are required. The Contractor shall be liable if inappropriate interpretations conflict with other elements of the work.
- The Contractor shall field verify all conditions and dimensions with the Contract Documents and shall notify the Architect of any variation prior to the purchasing of materials, fabrication or construction. The Contractor shall be liable for restocking charges, replacement costs and for delays if he fails to comply with this provision.
- The Contractor shall obtain and pay for all permits, fees and inspections required by the governing jurisdiction for the work, unless otherwise specified. The Owner will obtain the general building permit. All other permits are to be obtained by the General Contractor.
- Modifications to the base building structure, core areas and utility systems are not in this Contract, except as noted on these drawings or as required to complete the work indicated on these drawings.
- The contract work shall include but not be limited to all demolition, construction, electrical, plumbing and associated work to provide for the tenant fit-out as indicated on the drawings.
- Site work is not included in the contract.
- Work shall be performed during normal working hours. Contractor shall schedule and perform all work so as not to unreasonably disturb any tenant in the building and shall be responsible for any overtime costs incurred thereby.
- The Contractor shall coordinate and work with the Building Owner regarding heat, water, electricity, deliveries, access, elevator availability, staging noise control, trash and debris removal hoisting, and any other utilities or owner's rules and regulations concerning the project site. The Contractor shall coordinate use of restroom facilities for his employees with the Owner here applicable.
- The Contractor shall coordinate and work with all trades on the project not under contract to the contractor (i.e. telephone, data line, etc.) Any change or delays arising from conflicts between such trades shall be the responsibility of the Contractor at no additional expense to the owner.
- Any substitutions proposed by the Contractor shall be submitted to the Architect for approval prior to implementation. It is the Contractor's responsibility to research and qualify that the performance and construction specifications meet those of the originally specified item prior to submission for approval. The Contractor shall be liable for materials that are not available due to untimely ordering and for the coordination of all substitutions with other trades and disciplines.
- Shop drawings, one reproducible and one blue line print as required, shall be submitted for review prior to fabrication or purchase, shop drawings or samples for all millwork, custom metal work, custom case goods, toilet partitions and all other items as requested by the Architect for all above building standard items.
- Verify all keying requirements of all locks with Architect and Owner.
- All doors to be keyless in the direction of egress.
- 24 hours prior to occupancy thoroughly clean all surfaces of dust, debris, loose construction material and equipment, vacuum or mop all floors and clean window. The Contractor, at the completion of the project, shall clean the entire space and leave it in acceptable condition.
- The Architect has made best efforts to comply with the Americans with Disability Act (ADA) of 1991. The Contractor shall notify if any portion of this work is found to be in conflict with ADA compliance the Architect of conflicts in writing immediately.
- Any wall construction facing lunchroom work areas and toilet room to utilize water resistant gypsum board (green board).
- The Contractor shall be responsible for providing the owner a complete set of as built or record documents.
- All dimensions are taken from the face of finished material unless otherwise indicated. Do not scale the drawings. Verify all dimensions in the field prior to construction. Notify Architect of any discrepancies in the documents from actual field conditions.
- The Contractor shall notify the Architect of discrepancies in the Contract Documents.
- The Contractor shall provide adequate blocking of the support of all wall hung fixtures, accessories and casework.
- These drawings are based on information provided to the Architect by the Owner and are assumed accurate.

Building Code Compliance:

- The Contractor shall perform all work in accordance with all applicable codes, ordinance, regulations, local authority regulations and local code officials directives in the State of Maryland, Montgomery County and the Town of Kensington.

Telephone/Data/Electrical/Illumination Notes:

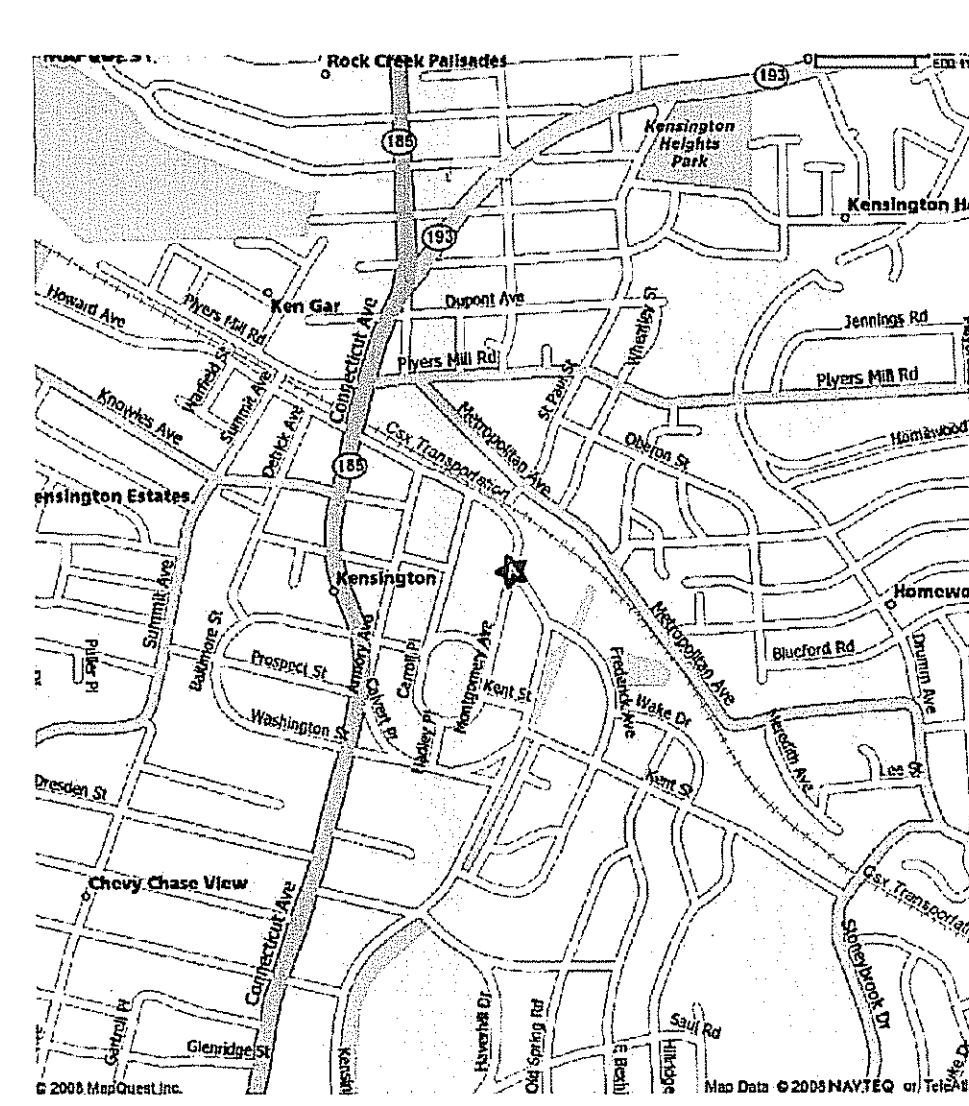
- All work shall be done in accordance with all applicable national and local codes.
- Any discrepancy between the architectural, mechanical, electrical and plumbing engineers or other consultant drawings shall be brought to the attention of the Architect for clarification. Work installed in conflict with the Architects drawings or creating conflicts because of lack of coordination of the work shall be corrected by the Contractor at the Contractor's expense and shall not impact schedule.
- Install light switches at 48" A.F.F. and within 8" of the door frame unless otherwise noted. Follow ADA regulations in all instances.
- Thermostats shall be installed at 60" a.f.f. unless otherwise noted.
- All electrical devices and cover plates to be white (not almond).
- Data and Telephone installation to be by the Owners own forces. The Contractor shall coordinate work with the Owners contractors for timely completion of the project.

Finish Notes

- Floor coverings and subflooring shall be repaired in renovation work to match adjacent surfaces. Floor coverings in closets shall match adjacent room unless otherwise noted.
- Direct glue carpets unless otherwise noted. The Contractor shall be responsible for providing an appropriately level and smooth concrete or other substrate to meet the carpet industry's standards prior to installation.
- Mainstain uniformity of carpet direction and lay of pile.
- At doorways, center seams under door in closed position.
- Bind or seal cut edges as recommended by carpet manufacturer.
- All thresholds and transitions between floor material types shall be ADA compliant.
- Suspended Acoustical Panel Ceiling to be direct hung heavy duty. Ceiling suspension system to comply with ASTM C 636.
- Regular ceiling panels to be kerfed.
- All interior finishes to be Class II or better.

Painted Surfaces:

- All painted finish metal and wood trim shall be semi-gloss alkyd enamel. Enamel color to match adjacent wall color unless otherwise noted. All painted wall surfaces shall be latex flat finish. All painted finishes within the bathrooms and kitchenettes shall be semi-gloss. All wood doors to be natural finish birch-three coats polyurethane.
- Prepare for and apply all paint and clear finish in accordance with the manufacturers specifications for the particular surface, one coat prime and two coats finish minimum. Follow industry standards for surface preparation and application environment (temperature and humidity).



1
SP-1
Location Map
Scale: n.t.s.

CODE ANALYSIS

Use Group/Mixed Use (IBC)	Existing Building Business Use	Proposed Alterations Business Use
Type of Construction (IBC)	2C	2C
Height/No. of Stories	27ft/2 Stories	No Change
High Rise	No	No
Covered Mall	No	No
Fully Suppressed (Sprinklered)	No	No
Floor Area of Tenant Space Or Area of Renovation		1,851 sq.ft.

OCCUPANCY CALCULATIONS

IBC Occupancy
Business Use: 1 person per 100 sq.ft.
Renovated tenant area: 1,851 sq.ft. (net)
1851/100 = 18 persons

WSSX Fixture Count Calculations

First Floor 5,256sq.ft.
Tenant 1&2 = 2,625 sq.ft.
Second Floor 3,293 sq.ft.
Tenant 3 (Owner) = 5,293 sq.ft.

Business use at 1 person per 100 sq. ft. (gross)

Fixture calculations Tenant 1&2 (Fixtures provided on 1st floor)
2,625 sq.ft./100 sq.ft. = 26 persons total

Water Closets required:
First 50 occupants: 1 per 25 occupants = 1 water closets
1 per 50 occupants = 1 water closets (after first 50)
total water closets required = 2water closets
provided: female-1 water closets
male-1 water closets
1 urinals

Lavatories required:
First 50 occupants: 1 per 40 occupants = 1 lav
1 per 80 occupants = 1 lav (remainder exceeding 50)

total lavatory required = 1 lav
provided: female-1 lav
male-1 lav

total provided = 2 lav

1 Slop Sinks provided
Bottled water supplied on first floor

Fixture calculations Tenant 3 (Owner) (Fixtures provided on 2nd floor)
5,293 sq.ft. + 2625 sq.ft./100 sq.ft. = 7,918 sq.ft./100sq.ft. = 79 persons total

Water Closets required:
First 50 occupants: 1 per 25 occupants = 2 water closets
1 per 50 occupants = 1 water closets (after first 50)
total water closets required = 3 water closets
provided: female-2 water closets
male-1 water closets
1 urinals

Lavatories required:
First 50 occupants: 1 per 40 occupants = 1 lav
1 per 80 occupants = 1 lav (remainder exceeding 50)

total lavatory required = 2 lav
provided: female-1 lav
male-1 lav

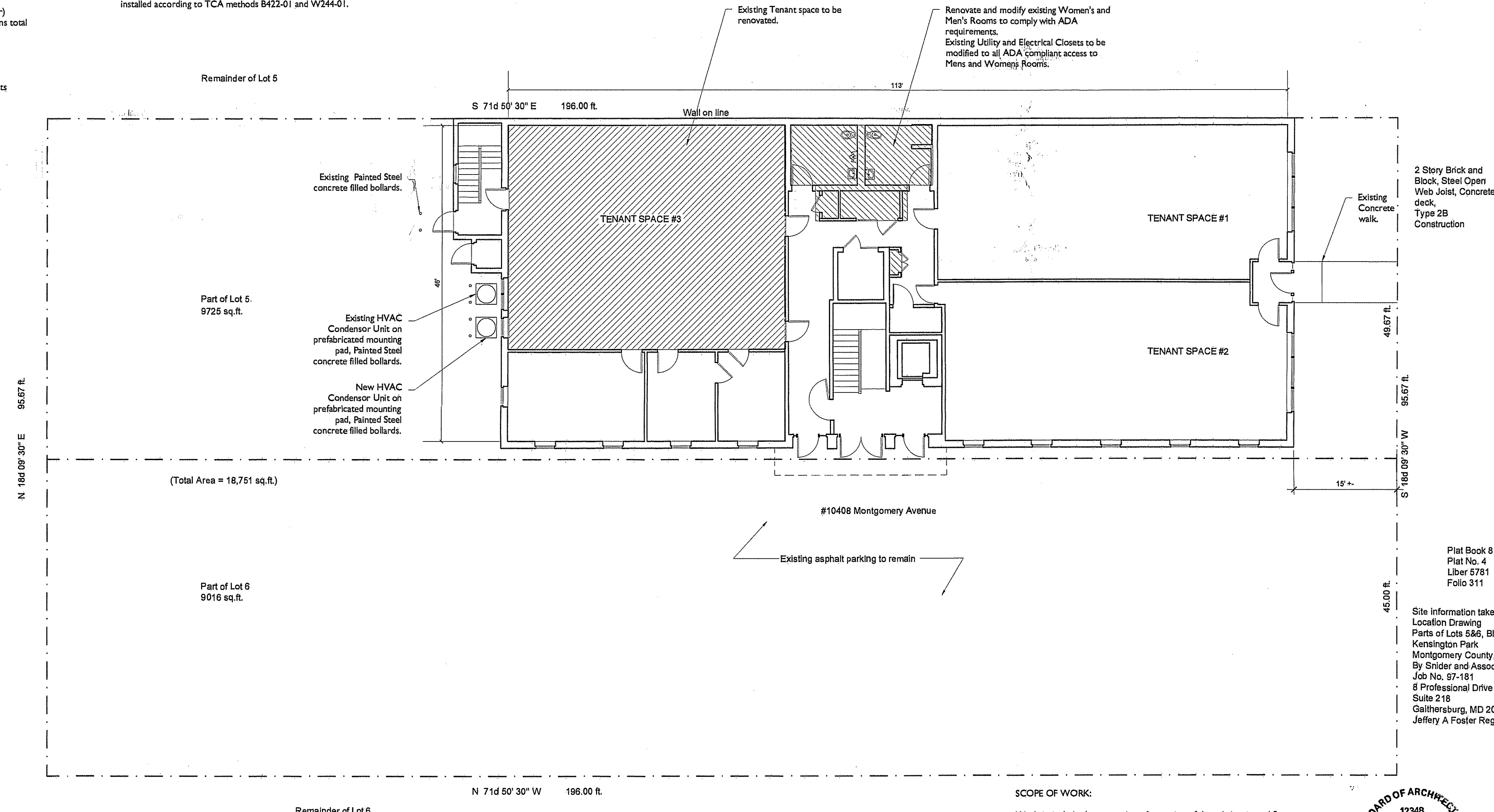
total provided = 2 lav

1 Slop Sinks provided
Bottled water supplied on second floor

SPECIFICATION NOTES:

- All walls including exterior walls to be finished with painted gypsum wall board. Wall framing to be standard 3-5/8 metal stud framing. Unless otherwise noted walls to end at the ceiling grid. Verify clearances in the field. Owner and Architect to select paint colors.
- Floors to be carpeted unless otherwise indicated. Carpet to be selected by tenant. Allowance of \$20 per yard material only. VCT where indicated to be Armstrong Standard Excelon or approved equal. 4" vinyl base Roppe or approved equal.
- Ceilings to be suspended 2' x 2' grid with reveal edged 3/4" thick ceiling tiles Armstrong Cirrus series or approved equal. Tiles: Armstrong Cirrus #534 or approved equal. Suspension: Pralude ML 151/6 Exposed Tee HD white, or approved equal.
- Light fixtures to be 2' x 2' drop-in recessed fixtures with 3 inch 16 cell parabolic louvers as manufactured by Columbia or approved equal. Recessed light fixtures to be compact fluorescent as manufactured by Prescolite. See Electrical Drawings for additional fixtures, exit signs and other information.
- Doors to be hardwood veneer solid core 1-3/4" thick x 70" high. Hardware to be polished chrome finish, keyed with a master key system, Schlage A series, lever style Levon. Hardware function to be approved by the owner. See Door Schedule for additional information.
- New lunchroom cabinets to be plastic laminate, full overlay construction Merrilat or approved equal. Aluminum wire pulls. Countertop to be plastic laminate.
- Electrical devices and wall plates to be white. See Electrical Drawings for additional information.
- Data cable to be Category 5E. Terminate data cable at flush mount jacks. Data panel to be 110 style patch panel. Voice panel to be 66 style block. Owner will coordinate cable plant implementation with vendor to be chosen by Owner. The general contractor will be responsible for working with Owner to schedule cable plant implementation at the optimal time during construction.
- HVAC diffusers and return air grilles to be Titus or approved equal. All finishes to be baked enamel white. See Mechanical Drawings for additional information.
- See Mechanical, Electrical and Plumbing Drawings for additional specification information.
- Ceramic tile allowance of \$5 per sq. ft. for new ceramic tile, material only. Installation of ceramic tile to be included in the base bid. Install ceramic tile per the requirements and recommendations of the Tile Council of America 2001 Handbook. Floor ceramic tile to be installed according to TCA method F113-01. (Dry-Set Mortar or Latex-Portland Cement Mortar) Dry area wall ceramic tile to be installed according to TCA W242-01. Shower ceramic tile to be installed according to TCA methods B422-01 and W244-01.

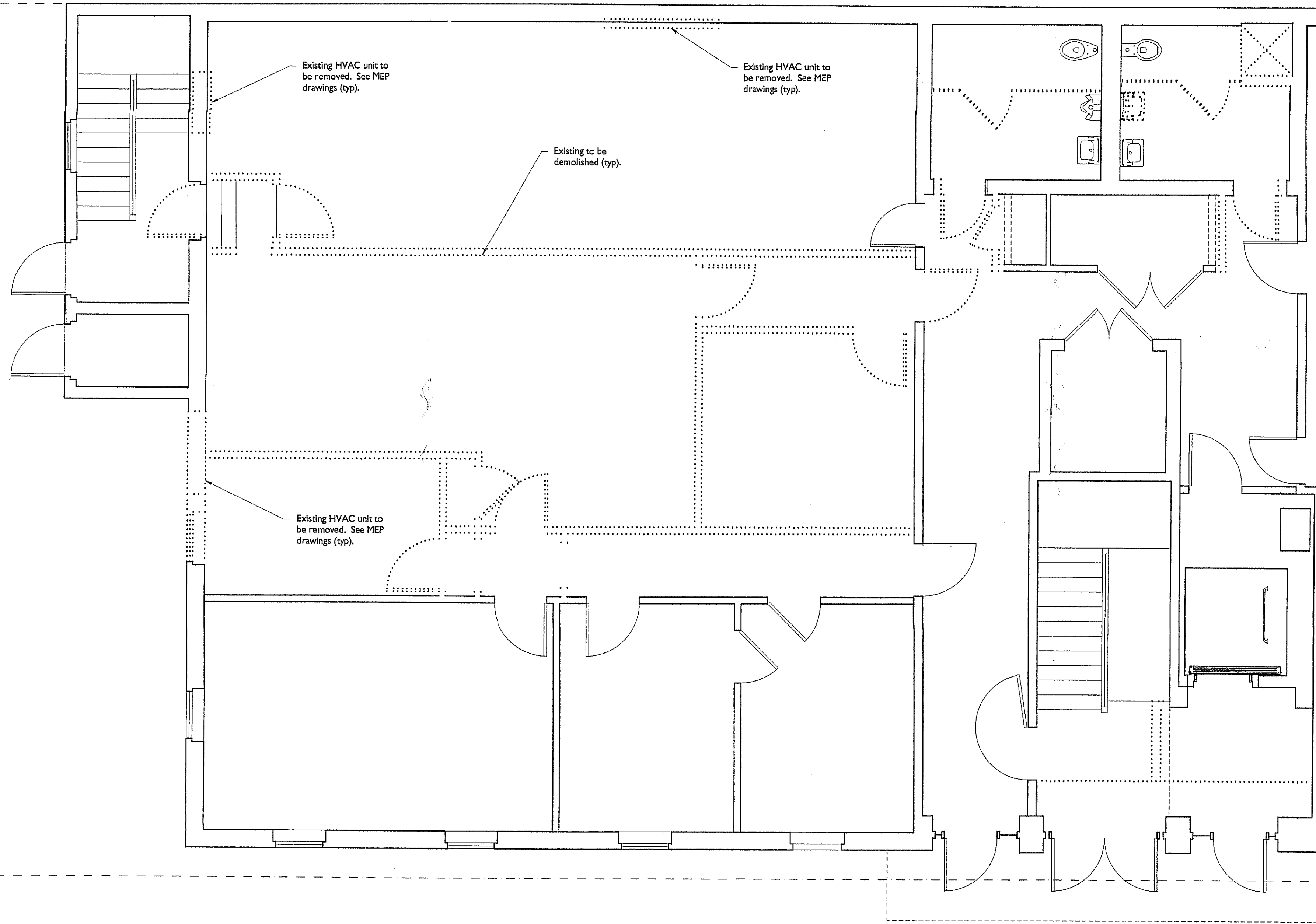
2
SP-1
Existing Second Floor Plan---no change to existing plan
Scale: 1" = 10'



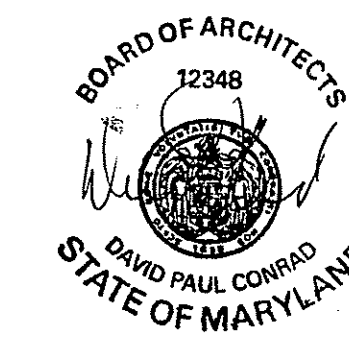
APPROVED
Montgomery County
Historic Preservation Commission
9-18-08

SCOPE OF WORK:
Work to include the renovation of a portion of the existing ground floor tenant space, alterations to existing bathrooms to provide ADA accessibility, upgrading of existing electrical panels on first and second floors, alterations to HVAC system including new first floor HVAC unit w/ exterior condenser unit and new HVAC unit for second floor server room w/ roof top condenser unit.





Demolition Plan
 Scale: 1/8" = 1'-0"



1st Floor Demolition Plan
 Scale: 1/8" = 1'

D-1

Jubilee Association
 10408 Montgomery Avenue
 Kensington, MD 20895

Date:
 issued for
 Bid only
 30 June 08

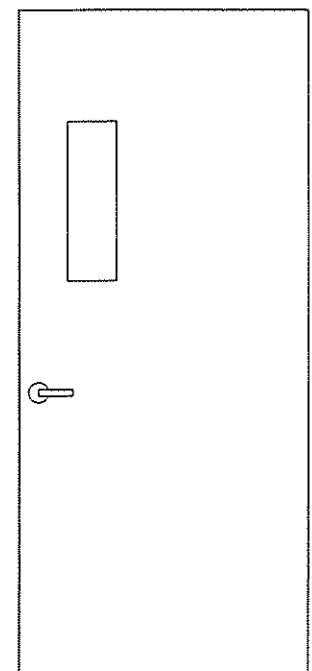
DPConrad, Architect
 1216 Uppshur Street NE
 Washington D.C. 20017
 202 226 2295 DPConrad@aol.com

Door Schedule Jubilee Association May 08

Door #	Size	Description	Hardware Set
1	3'0" x 7'0"	Flush Solid Core 60 minute Stain grade birch clear finish	Entrance Set, ADA Threshold, weather stripping
2	3'0" x 7'0"	Flush Solid Core Stain grade birch clear finish	Office Function
3	3'0" x 7'0"	Flush Solid Core Stain grade birch clear finish	Office Function
4	3'0" x 7'0"	Flush Solid Core 60 minute painted w/5 x 20 vision glass	Entrance Set
5	3'0" x 7'0"	Flush Solid Core 60 minute painted w/5 x 20 vision glass	Entrance Set
6	3'0" x 7'0"	Flush Solid Core Paint grade	Keyed Privacy
7	3'0" x 7'0"	Flush Solid Core Paint grade	Keyed Privacy

All interior doors stained grade. Finish to match existing second floor.
 Note: All Interior Hardware to be FactorySchage N Series Quantum Lever Satin Chrome finish (to be confirmed by owner)
 Note: All Interior Hardware including hinges, strike plates and thresholds to be Satin Chrome US to match existing.

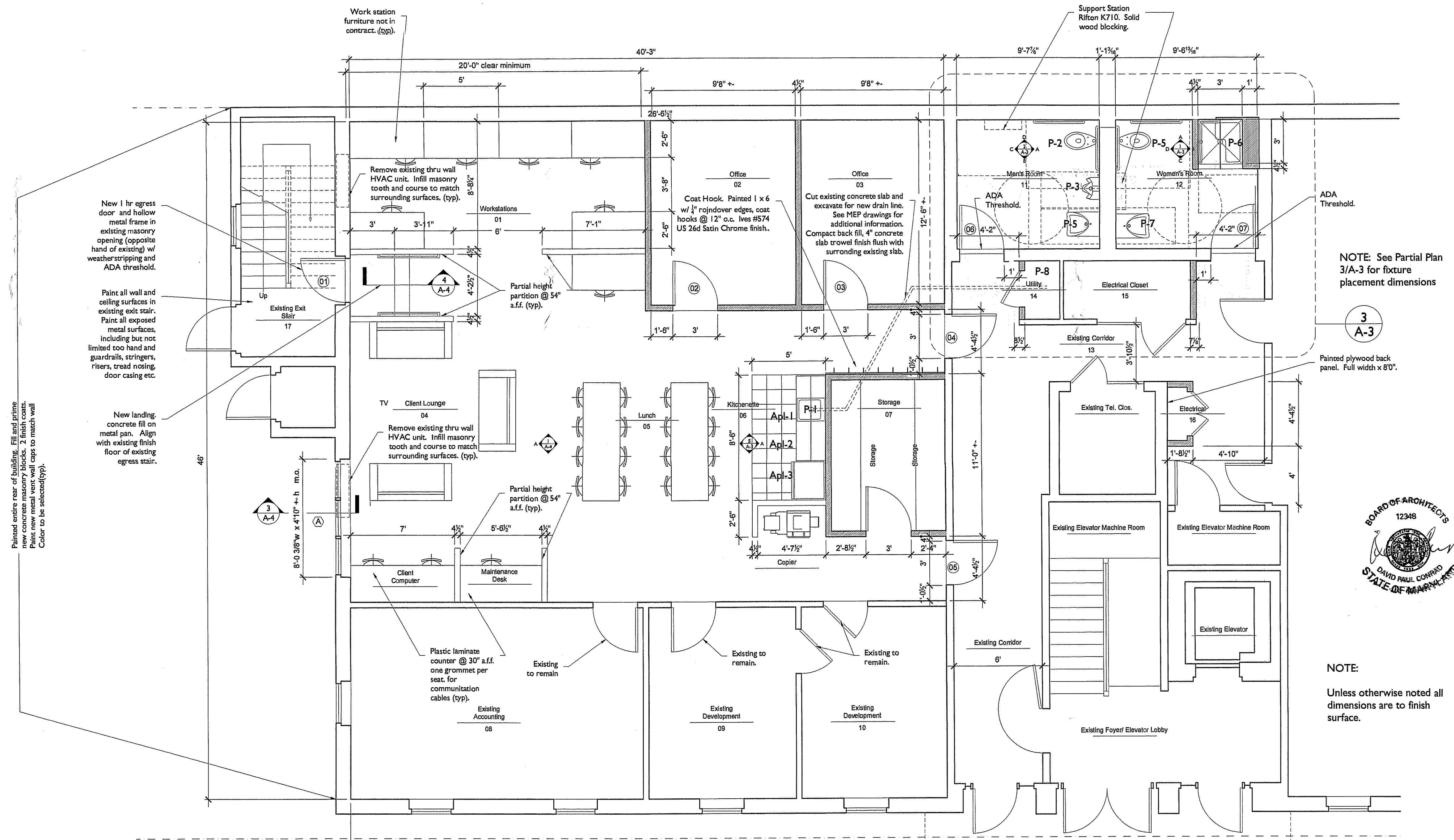
Elevation Door # 04, 05



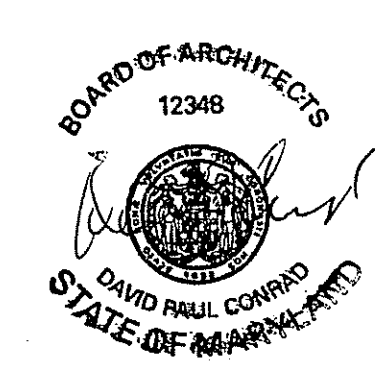
Finish Schedule

Room #	Room	Flooring	Wall Base	Wall	Trim	Ceiling	Ceiling Ht.
1	Work Stations	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	ceyp
2	Office	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
3	Office	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
4	Client Lounge	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
5	Lunch & Meeting Space	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
6	Kitchenette	ceramic tile #2	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
7	Storage	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
8	Existing Accounting	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
9	Existing Development	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
10	Existing Development	Carpet #1 [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
11	Men's Room	ceramic tile #1	ceramic tile #1	ptd gwb/cer.tile #1	ptd metal	acoustic tile [R]	8'0" ±
12	Women's Room	ceramic tile #1	ceramic tile #1	ptd gwb/cer.tile #2	ptd metal	acoustic tile [R]	8'0" ±
13	Corridor	v.c.t. [R]	Resilient [R]	ptd gwb	ptd metal	acoustic tile [R]	9'10" ±
14	Utility	Existing Conc.	none	c.m.u.	joist/deck	joist/deck	12±
15	Electrical Closet	Existing Conc.	none	c.m.u.	ptd metal	joist/deck	12±
16	Electrical Closet	Existing Conc.	none	c.m.u.	ptd metal	joist/deck	12±
17	Existing Exit Stair	Existing Conc.	none	ptd c.m.u.	ptd metal	painted joist/deck	varies

[R] Patch existing floor, wall and ceiling surfaces as required to repair existing and construction damage. Restore finish of patched areas and extend finish restoration into adjoining surfaces.
 [1] Carpet to match existing on second floor.
 [2] Resilient to match existing on second floor.
 [3] v.c.t. to match existing first floor corridor.
 [4] Resilient to match existing on second floor.
 [5] Acoustic tile to match existing on second floor.



NOTE: See Partial Plan 3/A-3 for fixture placement dimensions

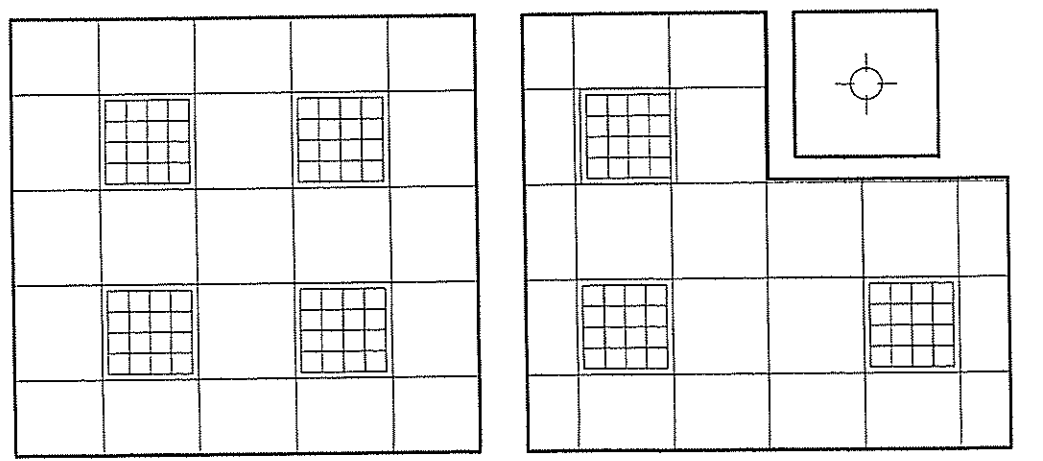
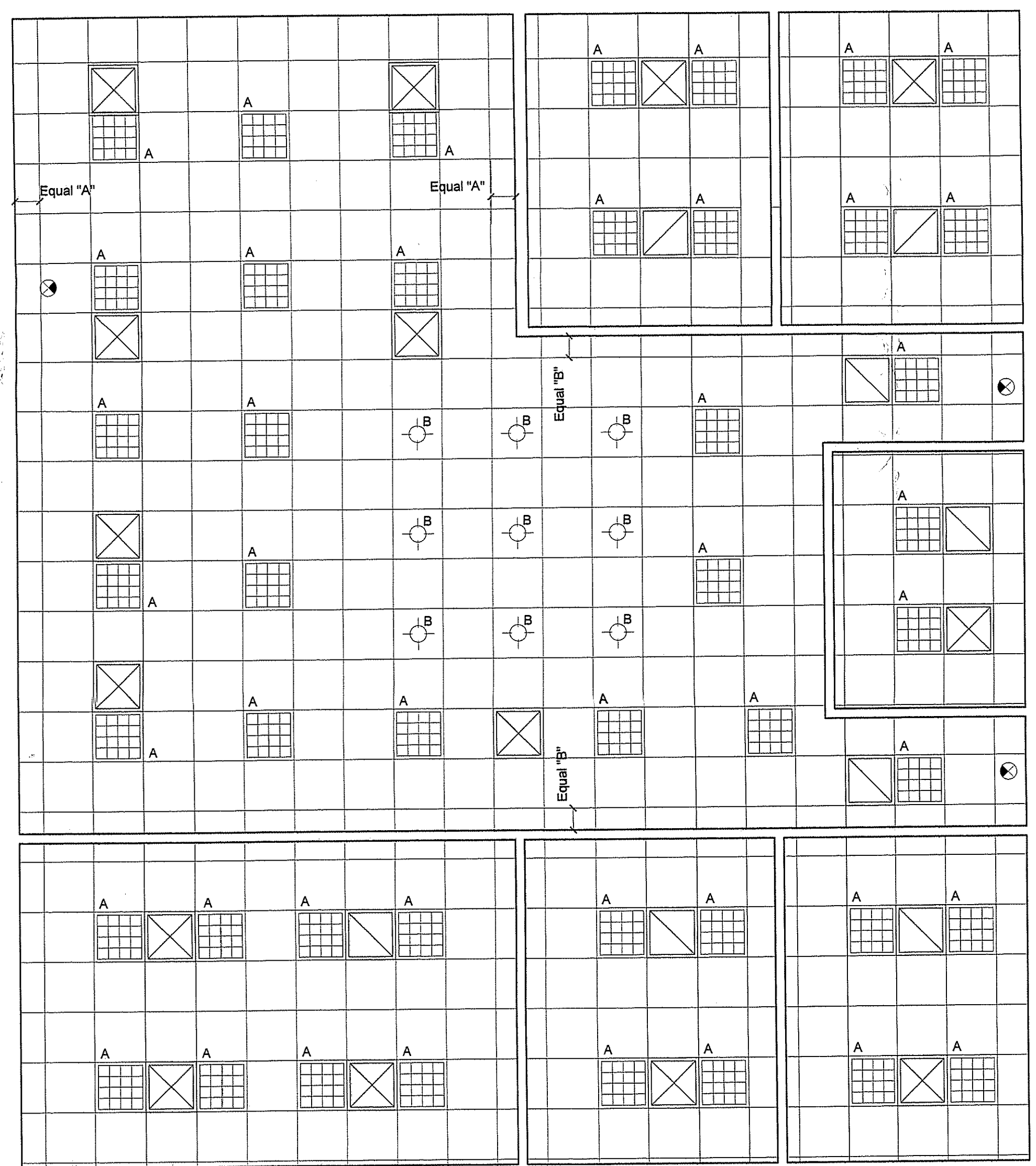


NOTE: Unless otherwise noted all dimensions are to finish surface.

Floor Plan
 Scale: 1/4" = 1'-0"

Electrical Fixture Schedule

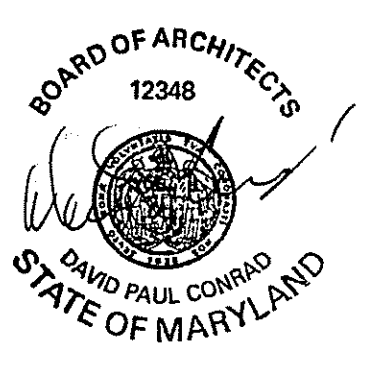
	Fixture	Finish	Lens	Lamping
Fixture A	2 x 2 parabolic fluorescent	See E-2		
Fixture B	Recessed Ceiling	See E-2		
Fixture C	Recessed Shower	See E-2		

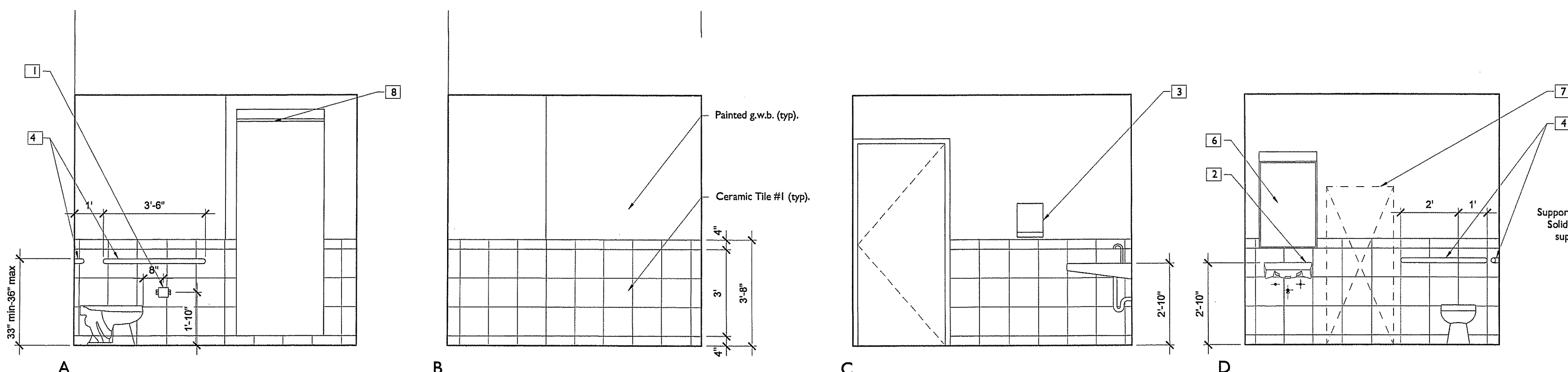


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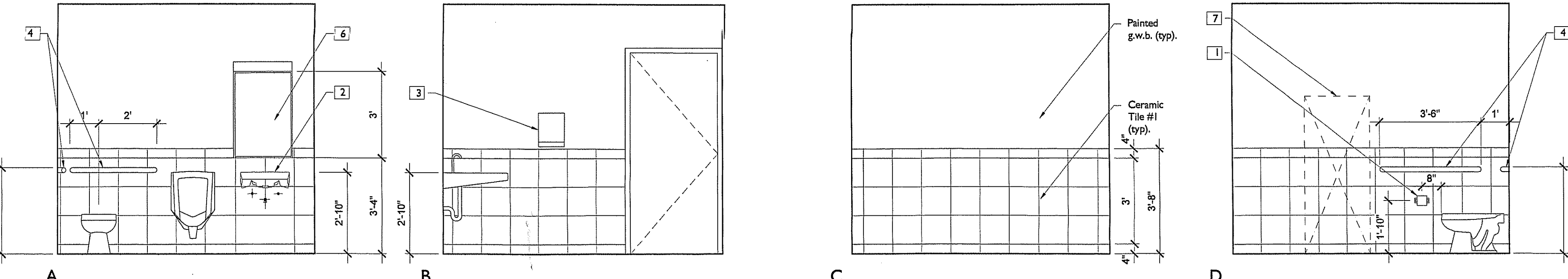
- Existing Outlet
- Duplex Receptacle Outlet
- Duplex Receptacle Outlet
- Counter Height Outlet
- Ground Fault Interrupt Counter Height Outlet
- Waterproof Receptacle Outlet
- Quad Receptacle Outlet
- Duplex Floor Outlet
- Phone
- Dual Data Outlet
- Data Outlet
- Special Purpose Connection
- Recessed Ceiling Fixture
- Wall Sconce Fixture
- Under Cabinet Fixture
- Smoke Detector
- Exhaust Fan
- Switch
- Three way switch
- Jamb switch
- Dimmer Switch
- Door Bell
- Door Chime
- Fire Alarm-Bell & Strobe
- Fire Alarm-Horn
- Fire Alarm-Pull Station
- Exit Light (shading indicates lighted face)
- Fire Extinguisher
- 2 x 2 parabolic fluorescent light fixture
- 2 x 2 supply diffuser
- 2 x 2 return grille

1
A-2 Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

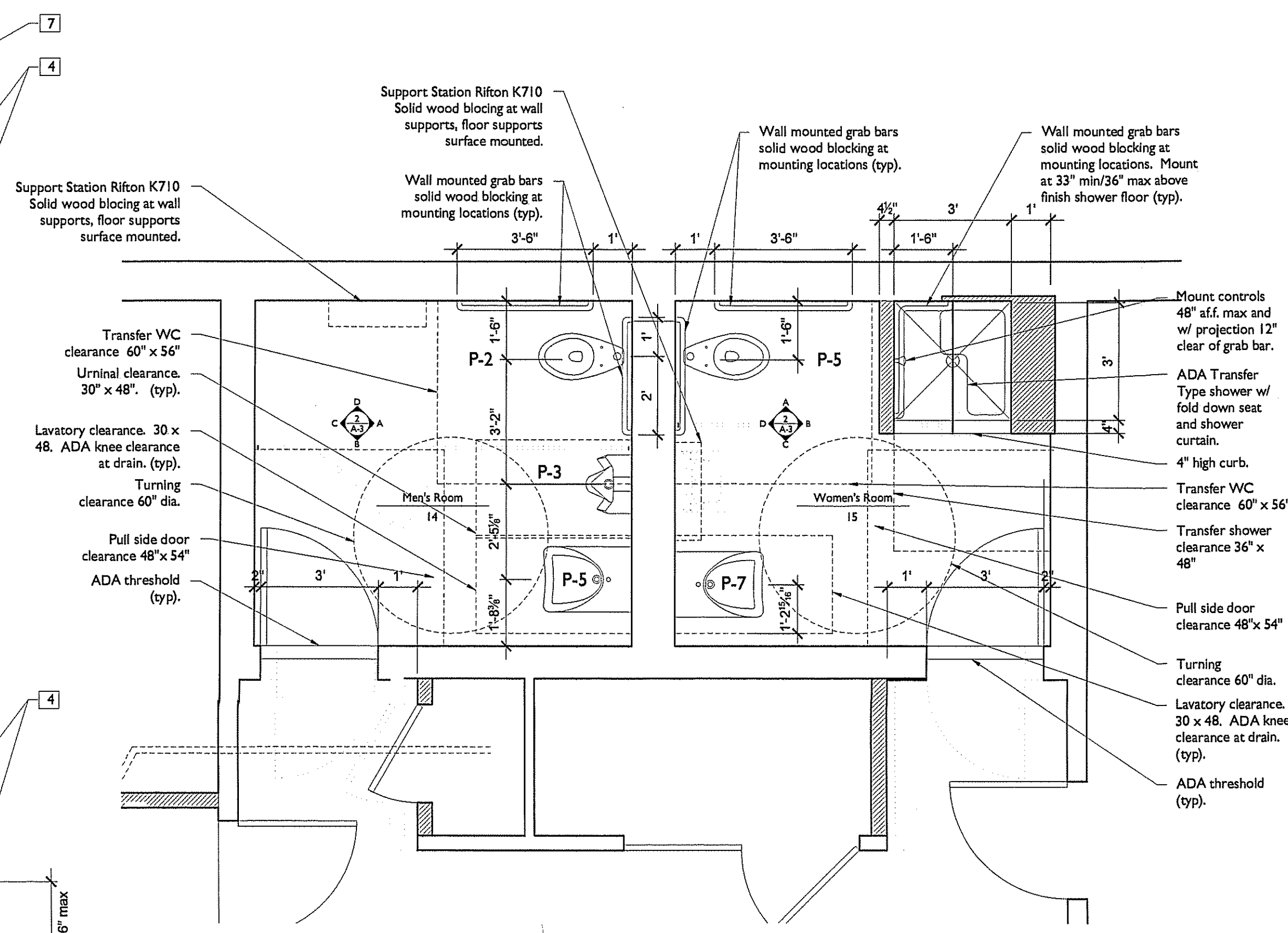




1 Interior Elevation--Womens Room
 Scale: 3/8" = 1'-0"



2 Interior Elevation--Mens Room
 Scale: 3/8" = 1'-0"

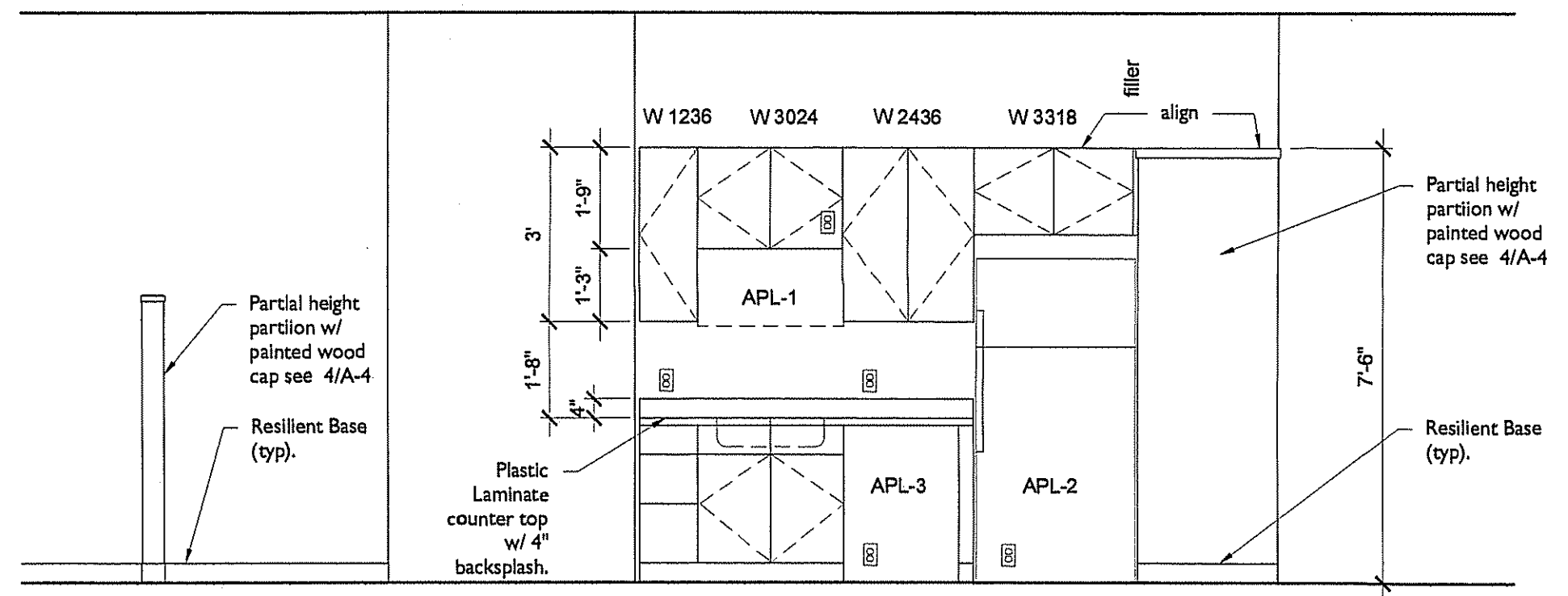


3 Partial Plan -- Men's and Women's Room
 Scale: 3/8" = 1'-0"

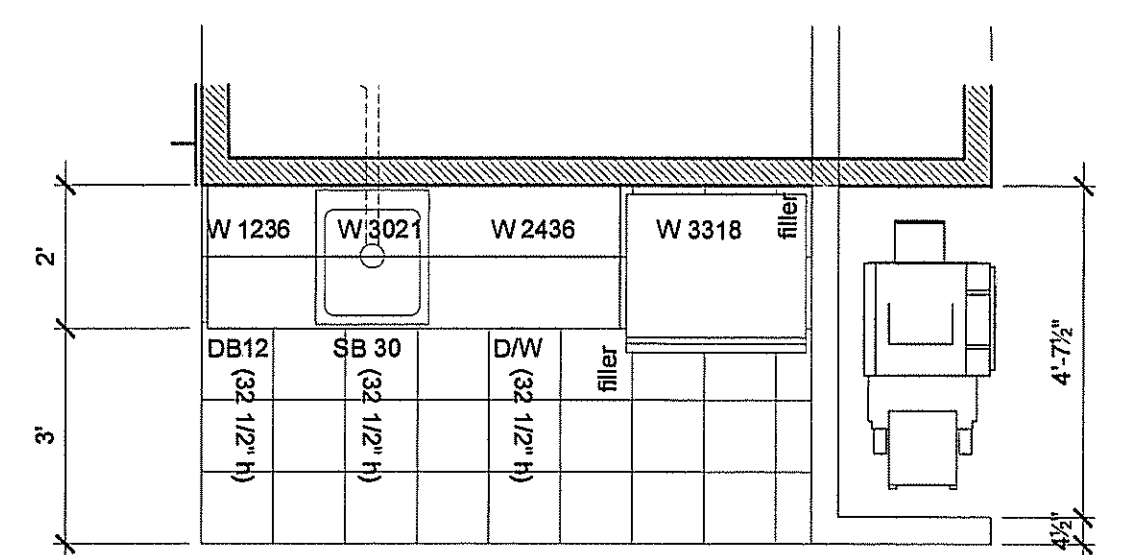
Plumbing Fixture Schedule			
Fixture #	Fixture	Description	Fittings
Men's Room			
P-1	Toilet	See Schedule P-1	See Schedule P-1
P-2	Urinal	See Schedule P-1	See Schedule P-1
P-3	Lavatory	See Schedule P-1	See Schedule P-1
Women's Room			
P-4	Toilet	See Schedule P-1	See Schedule P-1
P-5	Lavatory	See Schedule P-1	See Schedule P-1
P-6	Shower	See Schedule P-1	See Schedule P-1
Utility Closet			
P-7	Utility Sink	See Schedule P-1	See Schedule P-1
Kitchenette			
P-8	Kitchenette Sink		\$550.00

Bath Accessory Schedule		
#	Fixture	Description
1	Tissue Dispenser	Bobrick Classic Series B-7685
2	Soap Dispenser	Bobrick Lavatory-mounted Soap Dispenser B-82216
3	Paper Towel Dispenser	Bobrick Classic Series B-262
4	Grab Bars	Bobrick Concealed Mounting w/ snap flange 1-1/4" dia. B-5806 series
5	Shower Seat	Bobrick Reversible Flodign Shower Seat B-5181
6	Mirror	Bobrick Tempered Glass Channel Frame Mirror B-1658 2436
7	Support Station	Rifon K-710
8	Shower Rod & Curtain	Bobrick B-207, 240-2

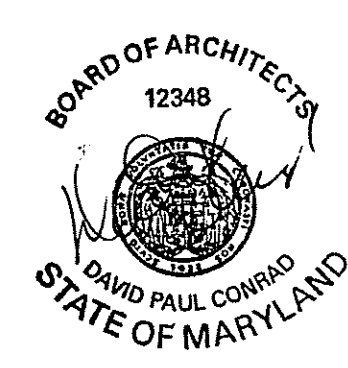
Appliance Schedule			
Appliance #	Appliance	Description	Allowance
Ap-1	Microwave	ADA-to be selected	\$550
Ap-2	Refrigerator	ADA-to be selected	\$850
Ap-3	Dishwasher	ADA-to be selected	\$600

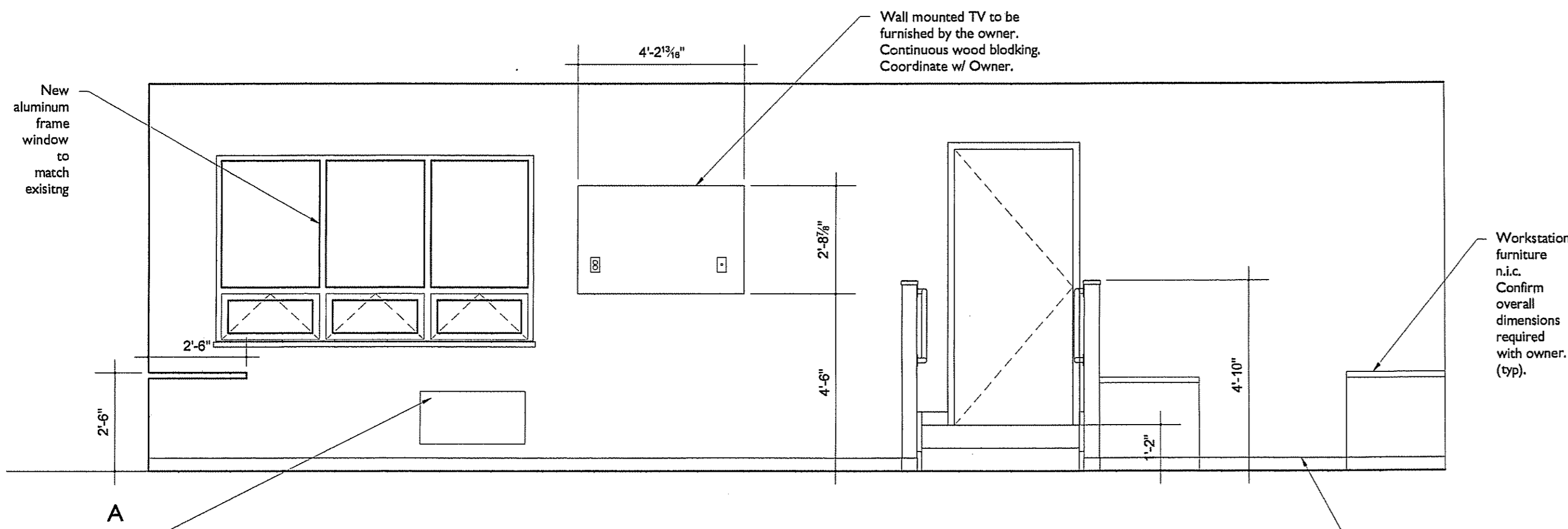


5 Interior Elevation--Kitchenette
 Scale: 3/8" = 1'-0"

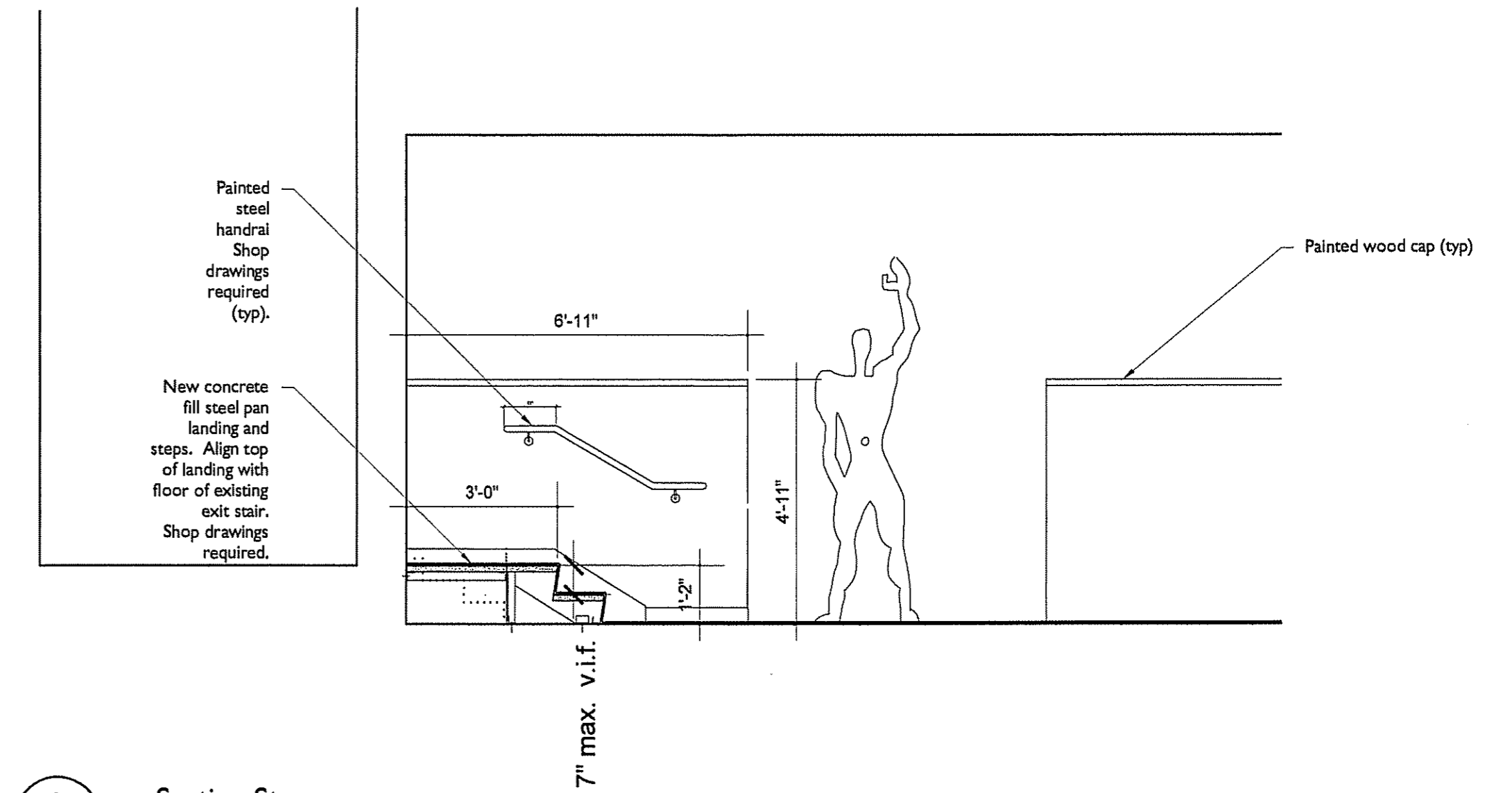


6 Partial Plan--Kitchenette
 Scale: 3/8" = 1'-0"

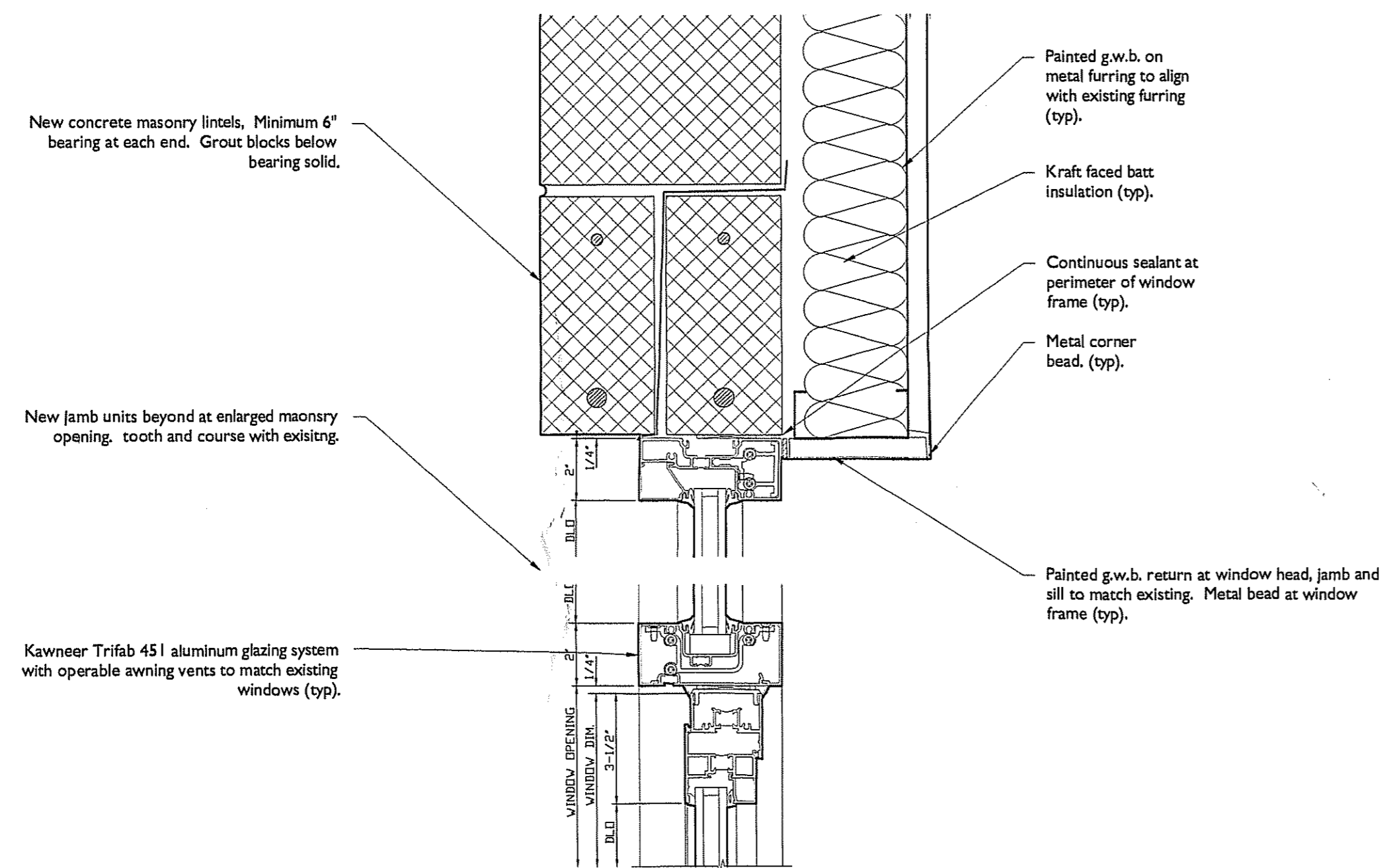




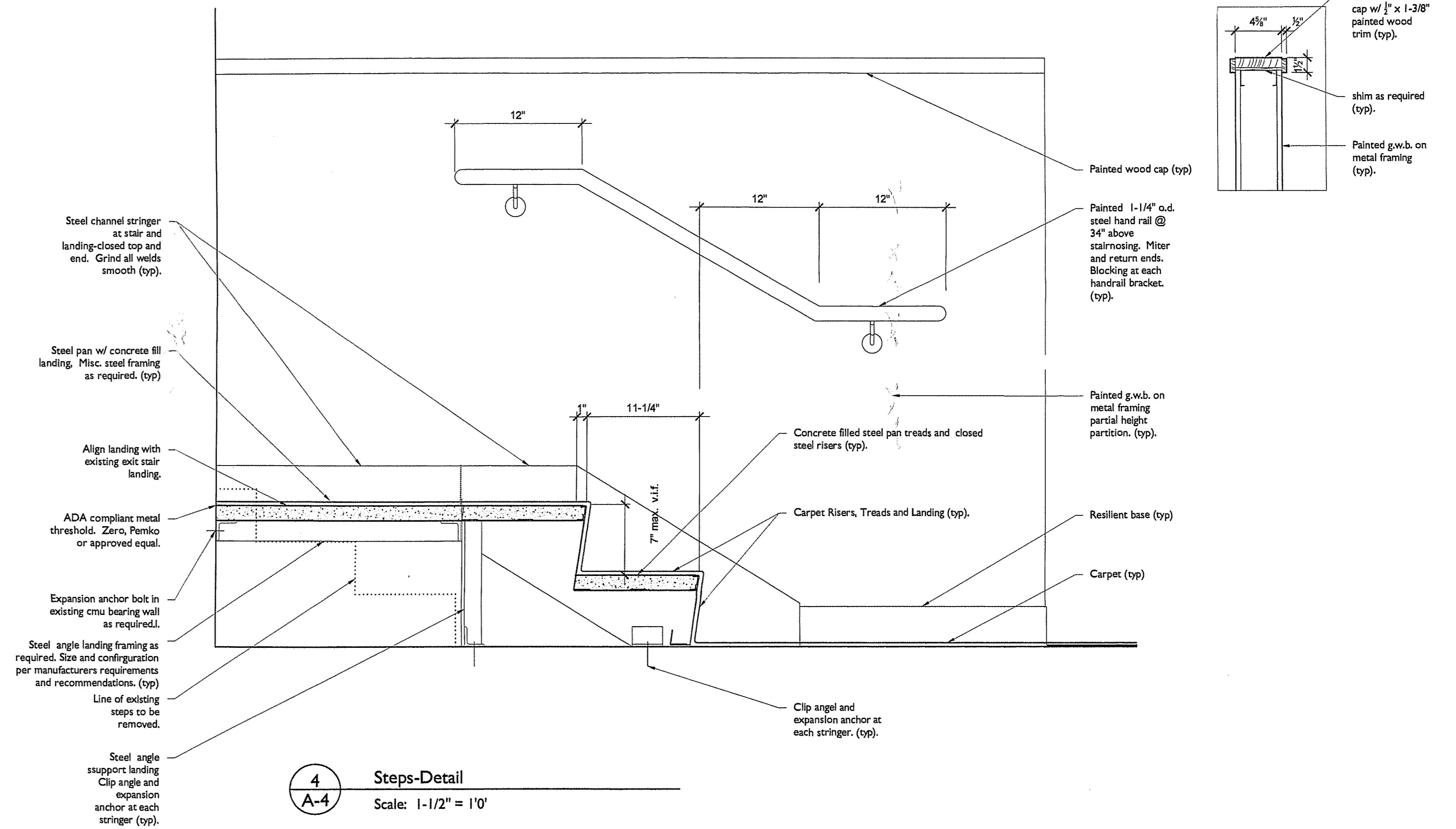
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A-4 Section Steps
Scale: 3/8" = 1'-0"



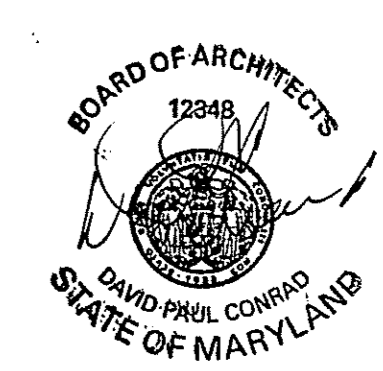
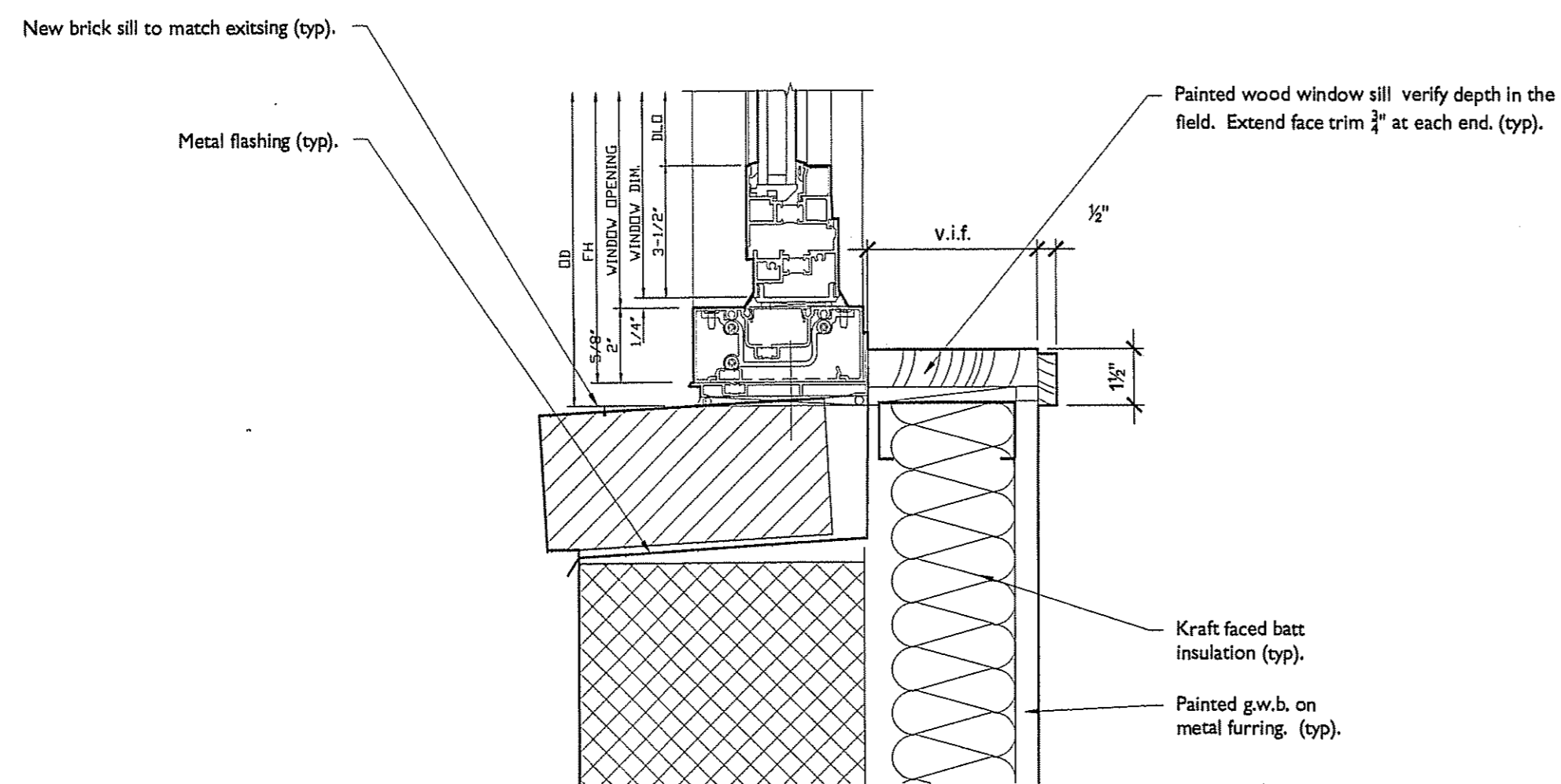
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A-4 Section Steps
Scale: 3/8" = 1'-0"

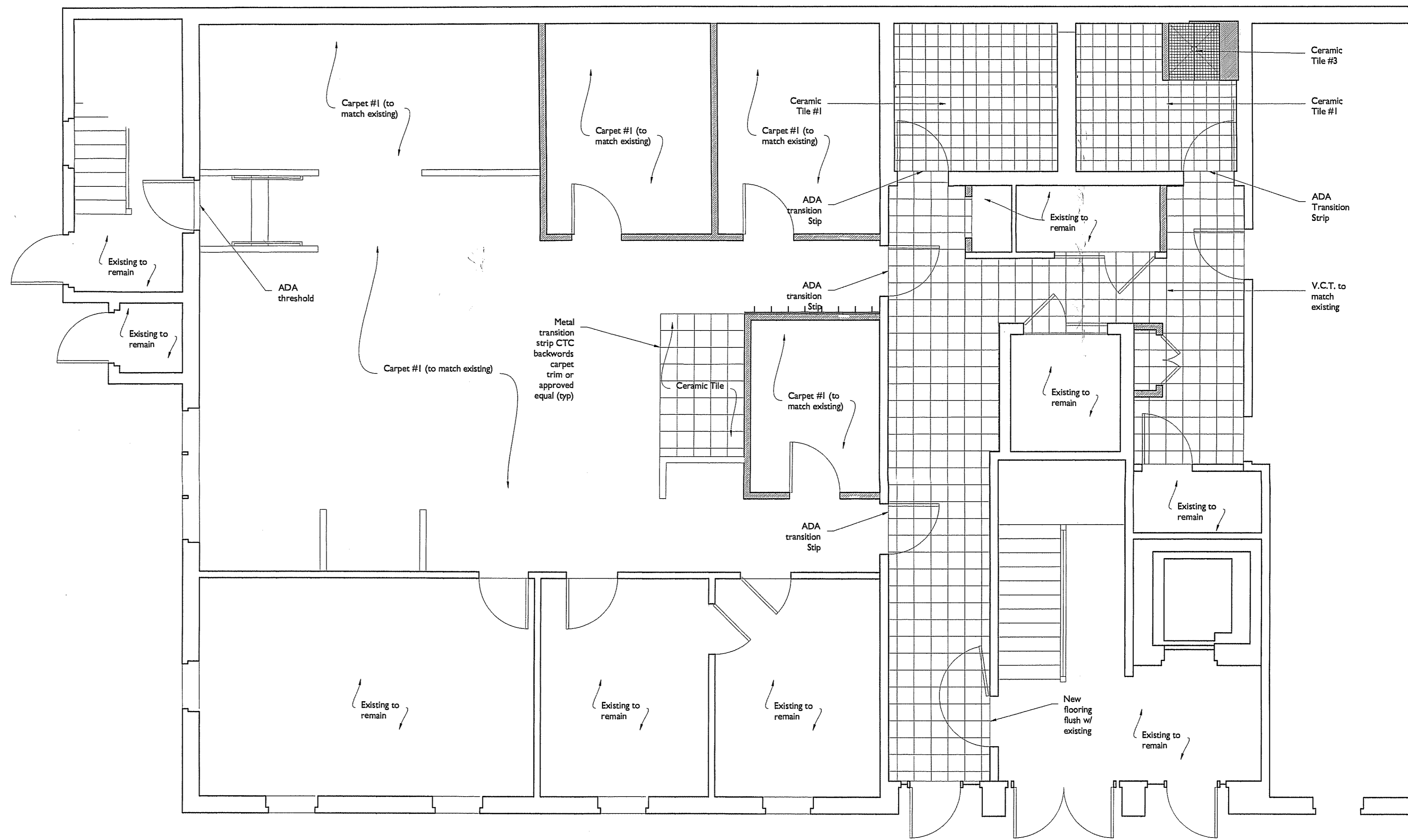


3
A-4 Section Steps
Scale: 3/8" = 1'-0"



4
A-4 Steps-Detail
Scale: 1-1/2" = 1'0"

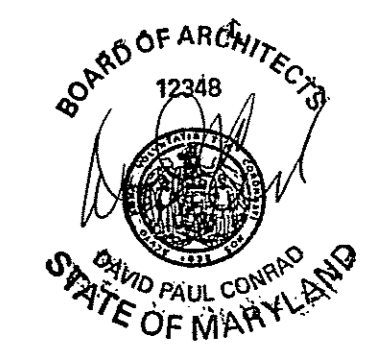




1
A-5

Floor Finish Plan
Scale: 1/4" = 1'-0"

NOTE: See Finish schedule/Sheet A-1 and specification for additional information.



Floor Finishes Plan
Scale: 1/4" = 1'-0"

A-5

DPC Conrad, Architect
1216 Upshur Street NE
Washington, D.C. 20017
202.526.2928 DPConArch@aol.com

Jubilee Association
10408 Montgomery Avenue
Kensington, MD 20895

Date:
issued for Bid only
30 June 08

GENERAL NOTES:

- BEFORE SUBMITTING HIS BID, THE CONTRACTOR SHALL VISIT THE JOB SITE AND EXAMINE AND FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS RELATING TO THE SERVICES, SYSTEMS, SITE AND BUILDING, PAYING PARTICULAR ATTENTION TO THE LOCATION OF EXISTING WATER MAINS, TRANSFORMERS, ETC.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTS, HANGERS, BOXES, DUCTWORK, PIPING, WRING, PANELS, ETC. AS REQUIRED BY TRADE, AND SHALL PERFORM DEMOLITION AND MODIFICATION WORK, AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM WITHOUT ADDITIONAL COST TO THE OWNER.
- REQUIREMENTS OF THE ARCHITECTURAL "GENERAL CONDITIONS" SHALL APPLY TO ALL WORK UNDER THESE TRADES.
- CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, ETC. AND PAY FOR ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK DONE UNDER THIS CONTRACT.
- WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, ETC. OF ANY GOVERNING BODY HAVING JURISDICTION. ALL APPLICABLE ITEMS SHALL BEAR THE UNDERWRITERS LABORATORIES (UL) LABEL AND SHALL BE FACTORY MUTUAL APPROVED. ALL EQUIPMENT SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER, LEFT CLEAN AND FREE FROM DEFECTS, AND COMPLETELY OPERABLE. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AS SCHEDULED ON THE DRAWINGS. ALL MATERIAL SHALL BE NEW AND ALL WORK AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
- WORK SHALL BE CAREFULLY COORDINATED WITH ALL TRADES INVOLVED, AND THE CONTRACTOR SHALL PROVIDE PROPER CONNECTIONS, FITTINGS, VALVES, PIPING, ETC. FOR ALL EQUIPMENT FURNISHED BY THE OWNER OR THE TRADES INVOLVED IN THIS CONTRACT.
- DRAWINGS ARE DIAGRAMMATIC AND DO NOT NECESSARILY INDICATE THE ACTUAL LOCATION OR ROUTING OF EQUIPMENT, PIPING, OR DUCTWORK. DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS CONDITIONS ALLOW TO COMPLETE THE INTENT OF THE CONTRACT. CONTRACTOR SHALL MAKE ANY NECESSARY MINOR OFFSETS, ADJUSTMENTS, ELBOWS OR TRANSITION AS MAY BE NECESSARY DUE TO FIELD CONDITIONS. THE RIGHT IS RESERVED BY THE ENGINEER TO MAKE MINOR CHANGES IN LOCATIONS AND ARRANGEMENTS WHEN REQUIRED BY JOB DEVELOPMENT WITHOUT ADDITIONAL COMPENSATION TO THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. A MINIMUM OF 8 COPIES SHALL BE SUBMITTED. SHEET METAL SHOP DRAWINGS SHALL BE SUBMITTED AT A MINIMUM 1/4" SCALE. SHEET METAL SHOP DRAWINGS SHALL INCLUDE ONE TRANSPARENT COPY AND TWO PRINTS. THE ENGINEER'S APPROVAL OF SHOP OR SETTING DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO GENERAL LAYOUT AND CONFORMANCE TO THE DESIGN CONCEPT OF THE PROJECT AND FOR COMPLIANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY OF ANY DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS MUST REMAIN THE CONTRACTOR'S UNLESS HE HAS, IN WRITING, SPECIFICALLY CALLED TO THE ENGINEER'S ATTENTION SUCH DEVIATIONS AT THE TIME OF SUBMISSION AND HAS RECEIVED THE ENGINEER'S WRITTEN APPROVAL OF SUCH DEVIATIONS.
- PROVIDE REQUIRED TEMPORARY UTILITIES AND PAY ASSOCIATED FEES AND OPERATING COSTS.
- HVAC CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING AS REQUIRED FOR HIS WORK, EXCEPT THAT STRUCTURALLY FRAMED OPENINGS SHALL BE CUT & FRAMED BY GENERAL CONTRACTOR. ALL HOLES IN MASONRY, FLOORS, AND WALLS SHALL BE CORE DRILLED. EDGES OF TRENCHES IN CONCRETE FLOORS SHALL BE SAW CUT. MAINTAIN FIRE RATING OF FLOORS AND WALLS.
- MANUFACTURER NAMES GIVEN FOR EQUIPMENT ARE USED AS BASIS FOR SELECTION, NOT WITH INTENT TO LIMIT COMPETITION. EQUIVALENT EQUIPMENT OF OTHER MANUFACTURERS WILL BE CONSIDERED FOR ACCEPTANCE AND INSTALLATION.
- LOCATE AND IDENTIFY ALL CONCEALED BUILDING SYSTEMS PRIOR TO EXECUTION OF THIS WORK INCLUDING CUTTING, EXCAVATING, OR REMOVING ANY PART OF THE BUILDING CONSTRUCTION OF SYSTEM COMPONENTS. CAREFULLY PERFORM ALL WORK TO PREVENT DAMAGE TO THE CONCEALED SYSTEMS OR STRUCTURE. ANY SUCH DAMAGE, BUILDING SYSTEM OUTAGES OR INJURIES RESULTING FROM PERFORMANCE OF THE WORK OF THIS CONTRACT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- INSTALL ACCESS PANELS WHERE REQUIRED. COORDINATE LOCATIONS WITH ARCHITECT.
- MAINTAIN PROPER CLEARANCES AROUND HEAT GENERATING EQUIPMENT AND EQUIPMENT REQUIRING ACCESS REQUIRED BY CODE OR FOR MAINTENANCE AND SAFETY. ALL WORK SHALL BE PERFORMED BY QUALIFIED MECHANICS, EXPERIENCED IN THEIR PARTICULAR TRADE, UTILIZING PROPER TOOLS AND TECHNIQUES. ALL WORK JUDGED BY ARCHITECT TO BE SUBSTANDARD SHALL BE REMOVED & REMADE AT CONTRACTOR'S EXPENSE.

HVAC NOTES:

HEATING, VENTILATING AND AIR CONDITIONING SPECIFICATIONS:

- GENERAL
 - MECHANICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION EQUIPMENT, SERVICES AND FACILITIES REQUIRED FOR THE COMPLETE, PROPER AND SUBSTANTIAL INSTALLATION OF ALL MECHANICAL WORK. ALL FIXTURES, DEVICES, AND EQUIPMENT SHOWN, NOTED, OR REQUIRED ON THE DRAWINGS, AND/OR CONTAINED HEREIN SHALL BE FURNISHED, INSTALLED, TESTED AND MADE READY FOR SATISFACTORY OPERATION.

- MECHANICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AND OWNER FOR EQUIPMENT LOCATIONS AND CLEARANCES REQUIRED FOR EQUIPMENT. CONTRACTOR TO COORDINATE AND MODIFY LAYOUT ACCORDINGLY.
- CONTROL WIRING IS TO BE DONE BY THE MECHANICAL CONTRACTOR. THE MECHANICAL CONTRACTOR SHALL PROVIDE STARTERS, ETC. FOR ALL EQUIPMENT HE FURNISHES, UNLESS SPECIFICALLY INDICATED ON THE ELECTRICAL DRAWINGS.
- SUBMITTALS:
 - SUBMIT CONTROL WIRING DIAGRAMS FOR ALL EQUIPMENT INCLUDING INTERLOCKS WITH OTHER DEVICES AS DESCRIBED IN CONTROL SEQUENCES OR AS OTHERWISE INDICATED.
 - SUBMIT DRAWINGS OF ALL SLAB PENETRATIONS FOR LANDLORD / OWNER/ARCHITECT/ENGINEER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE PENETRATION INSTALLATION.
 - SUBMIT A LIST OF ANY PRODUCT SUBSTITUTIONS, SUBSTITUTED EQUIPMENT DATA, AND THE ASSOCIATED COST SAVINGS AT THE TIME OF BID SUBMISSION. SUBSTITUTIONS AFTER THE CONTRACT IS AWARDED WILL NOT BE ACCEPTED.
 - PREPARE AND SUBMIT "AS-BUILT" DRAWINGS IMMEDIATELY UPON PROJECT COMPLETION, IN THE FORM OF MARKED-UP CONSTRUCTION DOCUMENTS DETAILING THE AS-BUILT CONDITIONS AND ANY FIELD DEVIATIONS FROM THE CONTRACT DOCUMENTS. INCLUDE ALL EQUIPMENT SUBSTITUTIONS AND MODIFICATIONS REQUIRED TO ACCOMMODATE THE SUBSTITUTIONS.
 - A MINIMUM OF TWO WEEKS TIME WILL BE REQUIRED FOR A REVIEW OF EACH SUBMITTAL BY THE ARCHITECT AND ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALLOCATING SUFFICIENT TIME IN THE CONSTRUCTION SCHEDULE TO OBTAIN FINAL APPROVAL OF SUBMITTALS, INCLUDING TIME FOR SUBSEQUENT REVIEWS OF SUBMITTALS NOT INITIALLY APPROVED. ANY CLAIMS FOR DELAYS RELATED TO SUBMITTAL REVIEW WILL NOT BE ACCEPTED.
- DUCTWORK:
 - ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL UNLESS OTHERWISE NOTED. ALL DUCTWORK SHALL BE IN ACCORDANCE WITH THE LATEST PUBLICATION OF THE ASHRAE GUIDE, SMACNA AND PRESSURE CLASSES SPECIFIED BELOW.

DUCTWORK	PRESSURE CLASS ("W.G.") /SEAL CLASS
CONSTANT VOLUME SYSTEM SUPPLY AIR DUCT	2.0/B
RETURN AIR, EXHAUST AIR	2.0/B
 - PROVIDE NON-ASBESTOS TYPE FLEXIBLE CONNECTIONS BETWEEN DUCTS AND FANS AND ALSO IN DUCTS CROSSING BUILDING EXPANSION JOINTS. FLEXIBLE CONNECTIONS SHALL BE OF 30 OZ. GLASS FABRIC VENTIFABRICS, INC. "VENTGLASS" OR APPROVED EQUAL.
 - PROVIDE VOLUME DAMPERS AT BRANCH DUCTWORK CONNECTIONS TO MAIN TRUNK DUCT AND DIFFUSER RUN OUTS.
 - SEAL AND/OR REPAIR ANY DUCTWORK WITH VISUAL OR AUDIBLE SIGNS OF AIR LEAKAGE.
 - DUCTWORK SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS. SOUND LINE ALL SUPPLY AND RETURN DUCTWORK WITH 1" 2-POUND DENSITY ACOUSTICAL DUCT LINER AS INDICATED ON DRAWINGS.
 - INSTALL DUCTWORK TIGHT TO THE UNDERSIDE OF THE BUILDING STRUCTURE. ADJUST THE DUCT ELEVATIONS AS REQUIRED TO MAINTAIN DUCT TIGHT TO BOTTOM OF STRUCTURE WHERE STRUCTURE ELEVATIONS CHANGE.
 - PROVIDE ALL NECESSARY TRANSITIONS IN DUCTWORK FOR CONNECTION TO EQUIPMENT AND ACCESSORIES. REDUCE DUCTWORK SIZES AS NEEDED AT THE POINT OF CONNECTION TO THE EQUIPMENT.
 - SUSPEND DUCTWORK FROM BUILDING STRUCTURE IN ACCORDANCE WITH THE SMACNA DUCT CONSTRUCTION STANDARDS. SECURELY ATTACH DUCTWORK SUPPORTS TO THE BUILDING STRUCTURE.
 - COORDINATE INSTALLATION OF DUCTWORK WITH BUILDING STRUCTURE AND WORK OF OTHER CONTRACTORS. ADJUST DUCTWORK SIZES, LOCATION AND CONFIGURATION, AS REQUIRED TO COORDINATE WITH WORK OF THIS AND OTHER TRADES. WHERE NECESSARY TO AVOID OBSTRUCTIONS, RE-SIZE, OFFSET, RAISE OR LOWER DUCTWORK. DO NOT EXCEED DESIGN VELOCITIES IN ANY DUCT SECTIONS REQUIRING DESIGN REVISIONS. INDICATE COORDINATION ISSUES ON SHOP DRAWINGS.
 - PROVIDE TURNING VANES IN ALL 90 DEG. RECTANGULAR ELBOWS AND SPLITTER VANES IN ALL 90 DEG. RECTANGULAR RADIUS ELBOWS.
 - ELBOWS CONSTRUCTED USING A SHARP 90 DEG. ANGLE ON INSIDE OF ELBOW AND A RADIUS BEND ON OUTSIDE OF ELBOW ("SELED-BOOT FITTING") WILL NOT BE ACCEPTED.
 - FOLD FLAT ALL STANDING SEAMS ON TOP & BOTTOM OF DUCT. HOLD DUCT HIGH AS POSSIBLE.
 - PROVIDE FIRE DAMPERS AT PENETRATIONS THROUGH FIRE RATED STRUCTURES. USE ONLY U.L. APPROVED FIRE DAMPERS DISPLAYING THE U.L. LABEL. INSTALL RUSKIN TYPE 1BD2, STYLE B, FIRE DAMPERS WITH A 165 DEG. F. FUSIBLE LINK IN ACCORDANCE WITH U.L. INSTALLATION REQUIREMENTS WHERE SHOWN ON PLANS AND AS REQUIRED BY THE BUILDING CONSTRUCTION. MOUNT FIRE DAMPER IN SLEEVE IN ACCORDANCE WITH UL 555 AND NFPA-90A. FIRE DAMPER BLADES SHALL BE SET OUT OF AIR STREAM.
- CLEANING AIR SYSTEMS:

ALL DUCT OPENINGS SHALL BE COVERED TEMPORARILY DURING CONSTRUCTION. BEFORE FINAL ADJUSTMENT AND BALANCING, CHEESE CLOTH SHALL BE PLACED OVER EACH DUCT OPENING FOR ENTRAINING PARTICLES DURING THE CLEANING OPERATION. OPERATE ALL SYSTEMS FOR A MINIMUM OF FOUR (4) HOURS. AFTER THIS PERIOD, REMOVE ALL FILTERS. CLEAN ALL SUPPLY DUCTS, GRILLES, AND REGISTERS, IN ALL UNITS, USING A VACUUM CLEANER AND BRUSH. REPLACE FILTERS WITH NEW.

- BALANCING THE AIR SYSTEMS:

OPERATE SYSTEMS AS LONG AS NECESSARY TO TEST AIR FLOW AT CONNECTIONS TO EQUIPMENT. ADJUST DAMPERS, VALVES, FANS & SHEAVES UNTIL EVEN DISTRIBUTION AND REQUIRED DELIVERY OF AIR IS OBTAINED THROUGHOUT. SUBMIT FOR APPROVAL, SEVEN (7) TEST REPORTS SHOWING PERTINENT OPERATING DATA SUCH AS CFM, AND FPM AT EACH OUTLET. FAN RPM, MOTOR CURRENT, ETC., SHALL BE SUBMITTED FOR PERMANENT RECORD. MAKE NECESSARY SETTINGS AND ADJUSTMENTS OF TEMPERATURE REGULATING EQUIPMENT. TEST REPORTS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER WHO SHALL BE A MEMBER OF A NEBB OR AABC LISTED BALANCING FIRM.
- AC CONDENSATE DRAIN:

AIR CONDITIONING CONDENSATE DRAIN PIPING AND FITTINGS SHALL BE HARD COPPER TYPE L. MINIMUM PITCH 1" IN 8 FT. LINES SHALL BE SUPPORTED MINIMUM 3 FT. ON CENTER WITHOUT "SAG".
- INSULATION:
 - GENERAL

INSULATION SHALL BE FIBER GLASS. ALL MATERIAL SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. EXTERNAL INSULATION SHALL BE APPLIED AFTER REQUIRED TEST AND APPROVALS HAVE BEEN COMPLETED.
 - SURFACE BURNING CHARACTERISTICS

ALL INSULATION AND ACOUSTICAL LINING SHALL HAVE SURFACE BURNING CHARACTERISTIC RATINGS AS TESTED BY ASTM E-84. UL 723, NFPA 255 NOT EXCEEDING.

FLAME SPREAD: 25
SMOKE DEVELOPED: 50

COMPOSITE RATING SHALL INCLUDE INSULATION, JACKETING AND ADHESIVE USED TO SECURE JACKETING OR FACING. ALL ACCESSORY ITEMS SUCH AS JACKETING AND FITTINGS, ADHESIVE, MASTIC, CEMENT, TAPE AND CLOTH SHALL HAVE THE SAME RATING AS SPECIFIED ABOVE.
- SUPPLY AND RETURN DUCTWORK SHALL BE EXTERNALLY INSULATED.
 - APPLY 1 1/2" THICK DUCT WRAP, .75 LB./CU.FT. WITH FSK. FACING SHALL HAVE A MAXIMUM VAPOR TRANSMISSION RATE OF .04 PERMS.
 - FOR RECTANGULAR DUCTS OVER 18" WIDE, DUCT WRAP SHALL BE ADDITIONALLY SECURED TO THE BOTTOM OF THE DUCTWORK WITH MECHANICAL FASTENERS AND WASHERS ON 18" CENTERS TO REDUCE SAGGING.
- PIPE INSULATION:
 - INSULATE PIPE WITH PREFORMED FIBERGLASS PIPE INSULATION WITH FACTORY APPLIED ALL SERVICE JACKET (ASJ) WITH CONDUCTIVITY OF 0.25 @ 75 DEG. F. MEAN TEMPERATURE. THE MINIMUM INSULATION THICKNESS FOR VARIOUS ITEMS SHALL BE:
 - CONDENSATE DRAIN PIPING: 1" THICK
 - REFRIGERANT LIQUID PIPING: 1" THICK
- AUTOMATIC TEMPERATURE CONTROLS:
 - HVAC UNITS SHALL BE CONTROLLED BY A LOW VOLTAGE PROGRAMMABLE THERMOSTAT AS SPECIFIED ON THE DRAWINGS. ALL OTHER CONTROL DEVICES ARE SPECIFIED ON THE PLANS AND/OR EQUIPMENT SCHEDULES. REFER TO SEQUENCE OF OPERATION ON DRAWINGS. FURNISH AND INSTALL ALL ADDITIONAL MISCELLANEOUS ITEMS & ACCESSORIES IN ORDER TO PROVIDE A COMPLETE, FUNCTIONING ELECTRIC/ELECTRONIC ATC SYSTEM.
- HANGERS AND SUPPORTS:
 - PROVIDE HANGERS AND SUPPORTS AND STEEL FRAMEWORK REQUIRED FOR THE SUPPORT OF VARIOUS SYSTEMS. PIPING SHALL BE SUPPORTED FROM BUILDING STRUCTURE BY MEANS OF APPROVED HANGERS.
 - HANG HORIZONTAL PIPING WITH ADJUSTABLE WROUGHT IRON OR MALLEABLE IRON HANGERS, SPACED AS RECOMMENDED BY ASHRAE. BANDS OR RINGS SUPPORTING COPPER TUBING SHALL BE HEAVILY PLATED COPPER.
 - PROVIDE PIPE SLEEVES AT POINTS OF SUPPORT TO PREVENT DAMAGE TO PIPING INSULATION.
- VIBRATION ISOLATION:

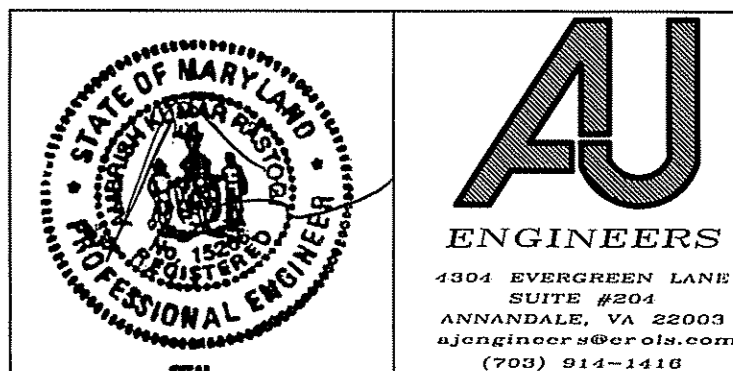
INSTALL MOTOR DRIVEN EQUIPMENT WITH VIBRATION ISOLATORS. UNLESS OTHERWISE NOTED, SUSPENDED EQUIPMENT SHALL HAVE SPRING ISOLATOR HANGERS AND BASE MOUNTED EQUIPMENT SHALL HAVE DOUBLE DEFLECTION ISOLATORS. PIPING CONNECTED TO VIBRATING EQUIPMENT SHALL BE ISOLATED BY RESILIENT HANGERS OR FLEXIBLE CONNECTORS.
- FLEXIBLE DUCT:
 - FLEXIBLE DUCT SHALL BE TYPE WCK BY WIREMOLD COMPANY, OR EQUAL WITH FIRE RETARDANT FIBERGLASS INSULATION BLANKET, AND ALUMINIZED REINFORCED VAPOR BARRIER. FLEXIBLE DUCT SHALL CONFORM TO NFPA 90A & 90B AND UL STANDARD 723 FOR CLASS 1 AIR DUCT.
 - FLEXIBLE DUCT SHALL BE INSTALLED & SUPPORTED IN ACCORDANCE WITH LATEST SMACNA HVAC DUCT CONSTRUCTION STANDARDS.
 - FLEXIBLE DUCT SHALL BE SUPPORTED AT INTERVALS NO GREATER THAN FOUR FEET. HANGER OR SADDLE MATERIAL IN CONTACT WITH THE FLEXIBLE DUCT SHALL BE A MINIMUM OF ONE INCH WIDE.

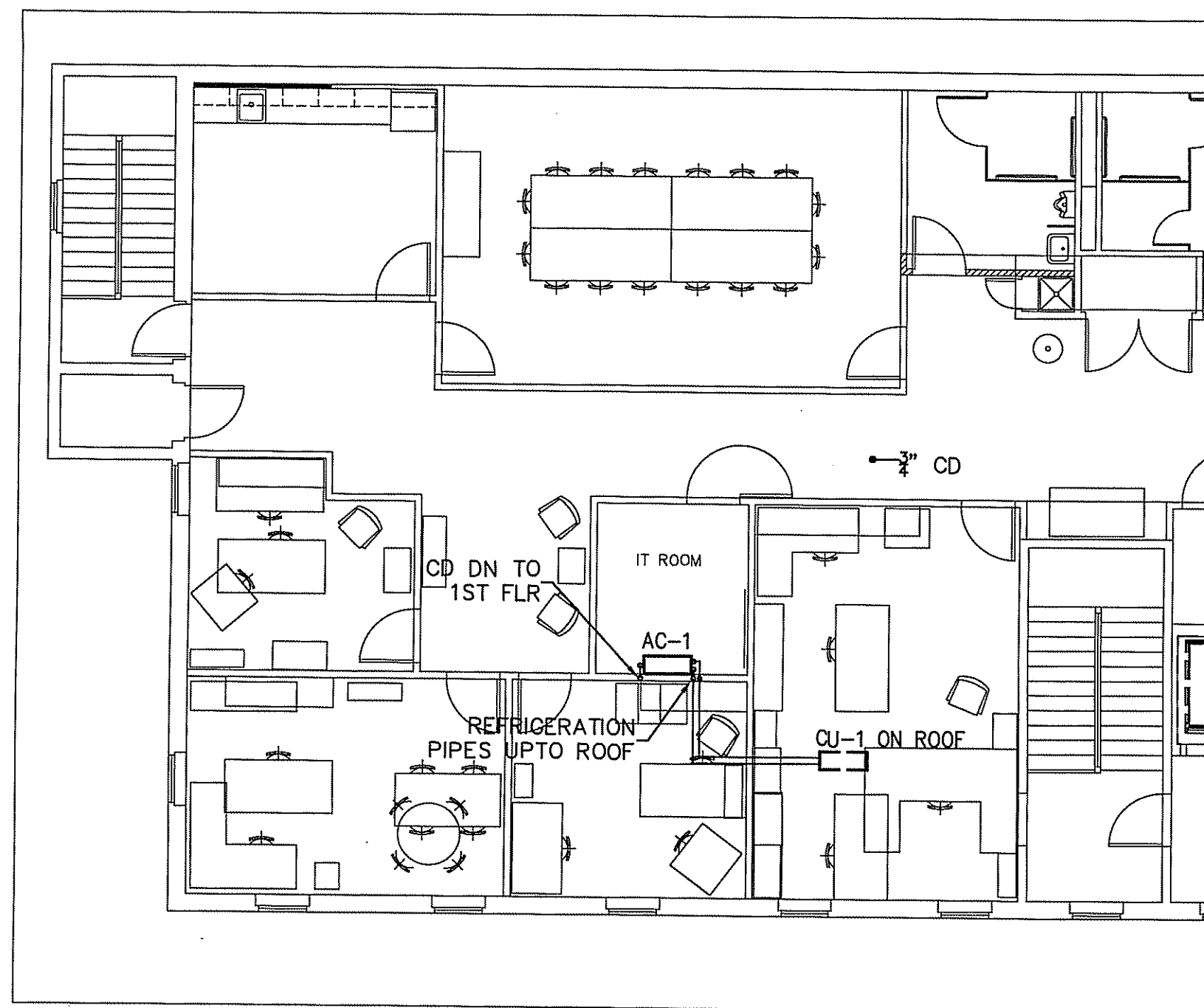
- FLEXIBLE DUCT SHALL ONLY BE USED AS A BRANCH TAKE-OFF FROM MAIN TRUNK DUCT TO A SINGLE DIFFUSER. MAXIMUM LENGTH OF RUN SHALL BE 8 LINEAR FEET. VOLUME DAMPERS SHALL BE INSTALLED AT ALL BRANCH TAKE-OFFS FROM TRUNK DUCT.
 - NO FLEXIBLE DUCT SHALL BE VISIBLE FROM THE OCCUPIED SPACES.
 - DO NOT ROUTE FLEXIBLE DUCT THROUGH FULL HEIGHT PARTITIONS. PROVIDE ROUND RIGID DUCT WHERE FLEXIBLE DUCTS ARE SHOWN TO PASS THROUGH FULL HEIGHT PARTITIONS. PROVIDE TRANSITIONS AND ACCESSORIES AS REQUIRED TO CONNECT FLEXIBLE DUCT TO RIGID DUCT. REFER TO THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF FULL HEIGHT PARTITIONS.
- SEQUENCE OF OPERATION:
 - SPLIT SYSTEM AHU-2/HP-2 SHALL BE CONTROLLED BY WALL MOUNTED PROGRAMMABLE THERMOSTAT.
 - WHEN INDEXED TO OCCUPIED MODE:
 - OUTSIDE AIR INTAKE DAMPER (MOTORIZED) SHALL OPEN AND SUPPLY FAN SHALL RUN CONTINUOUSLY.
 - WHEN ROOM TEMPERATURE RISES ABOVE COOLING SETPOINT (75F, ADJ.), COMPRESSOR IN THE HEAT PUMP SHALL ENERGIZE AND RUN UNTIL THE SETPOINT IS SATISFIED.
 - WHEN ROOM TEMPERATURE FALLS BELOW HEATING SETPOINT (72F, ADJ.), HEAT PUMP SHALL RUN IN REVERSE CYCLE UNTIL SETPOINT IS SATISFIED. WHEN TEMPERATURE CONTINUES TO DROP, THE HEATER SHALL ENERGIZE TO SATISFY THE SETPOINT.
 - WHEN INDEXED TO UNOCCUPIED MODE:
 - OUTSIDE AIR INTAKE DAMPER (MOTORIZED) SHALL GO TO FULL CLOSED POSITION AND SUPPLY FAN SHALL DE-ENERGIZE.
 - WHEN ROOM TEMPERATURE FALLS BELOW NIGHT SETBACK TEMPERATURE (55F, ADJ.), SUPPLY FAN SHALL ENERGIZE, HEAT PUMP SHALL RUN IN REVERSE CYCLE UNTIL NIGHT SETBACK TEMPERATURE IS SATISFIED. IF THE TEMPERATURE CONTINUES TO DROP, THE HEATER SHALL ENERGIZE TO SATISFY THE SETPOINT. OUTSIDE AIR INTAKE DAMPER SHALL REMAIN CLOSED.
 - SPLIT SYSTEM AC-1/CU-1 SHALL BE CONTROLLED BY WALL MOUNTED PROGRAMMABLE THERMOSTAT.
 - WHEN ROOM TEMPERATURE RISES ABOVE COOLING SETPOINT (65F, ADJ.), COMPRESSOR IN THE CONDENSING UNIT SHALL ENERGIZE AND RUN UNTIL THE SETPOINT IS SATISFIED.
 - WALL HEATER:

WALL HEATER WH-3 TO BE CONTROLLED BY BUILT-IN THERMOSTAT.

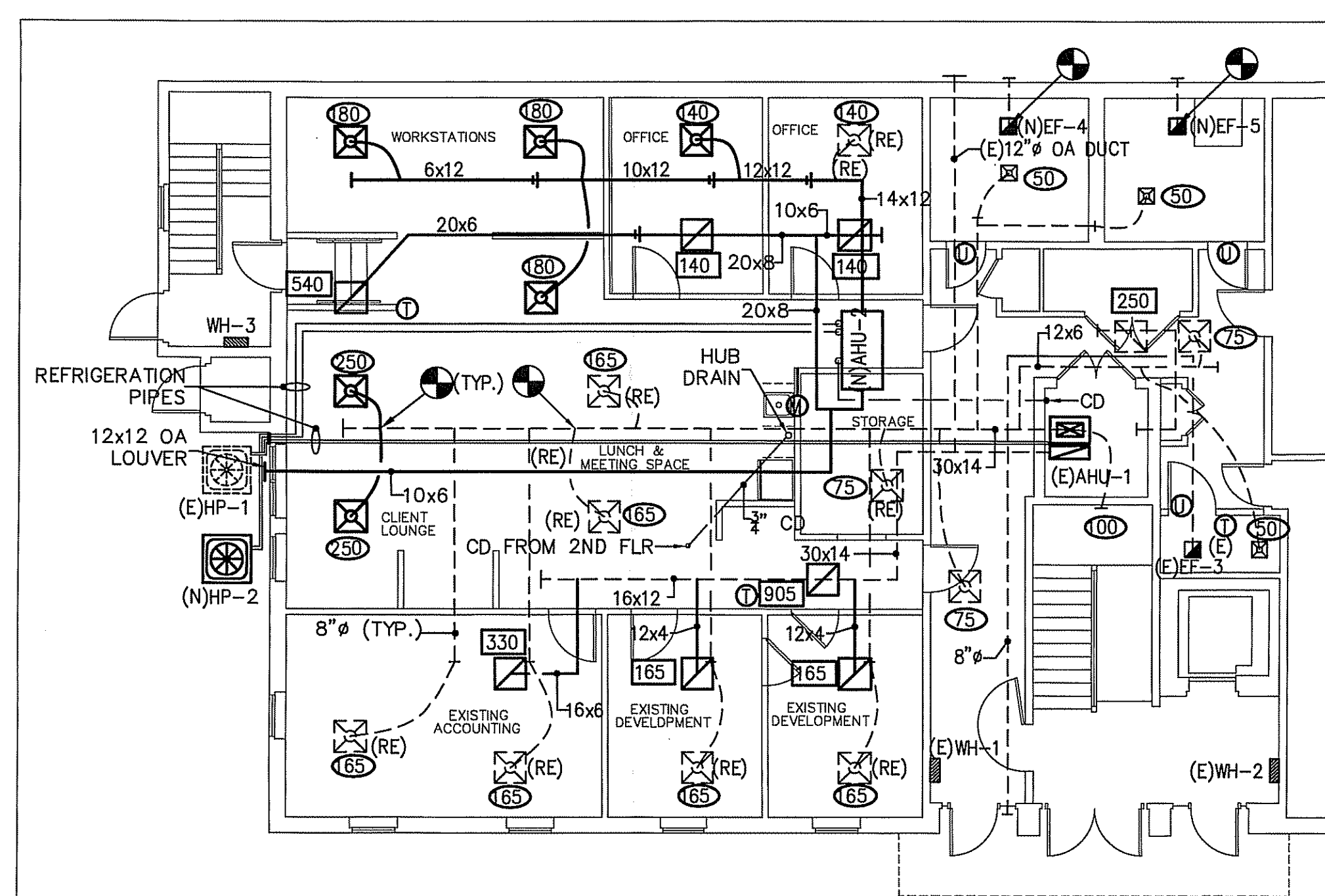
SYMBOLS		ABBREVIATIONS	
SYMBOL	DESCRIPTION	ABBREVIATION	DEFINITION
	THERMOSTAT	AFF	ABOVE FINISHED FLOOR
	S.A. CFM QUANTITY	AHU	AIR HANDLING UNIT
	R.A. / E.A. CFM QUANTITY	APD	AIR PRESSURE DROP.
	DIFFUSER	BHP	BRAKE HORSE POWER
	CEILING RETURN GRILLE	BJ	BETWEEN JOISTS
	EXHAUST FAN	BTUH	BRITISH THERMAL UNIT PER HOUR
	SPIN-IN FITTING WITH INTEGRAL VOLUME DAMPER	CD	CONDENSATE DRAIN
	FLEXIBLE DUCTWORK	CFM	CUBIC FOOT PER MINUTE
	EXISTING DUCTWORK	CU	CONDENSING UNIT
	NEW DUCTWORK	DB	DRY BULB
	MANUAL VOLUME DAMPER	DEG.	DEGREE
	DUCTWORK WITH SOUNDLINING	DN	DOWN
	ELBOW W/ TURNING VANES	(E)	EXISTING
	3/4" DOOR UNDERCUT	EA	EXHAUST AIR
	SMOKE DETECTOR, DUCT-MOUNTED, PROVIDE (2) SETS OF FORM C CONTACTS.	EAT	ENTERING AIR TEMPERATURE EXHAUST FAN
	FIRE DAMPER	EG	EXHAUST GRILLE
	MOTORIZED DAMPER	EDH	ELECTRIC DUCT HEATER.
	PIPE TURNING UP, DOWN	ER	EXISTING TO BE RELOCATED
	PIPE UNION	ESP	EXTERNAL STATIC PRESSURE
	DUCT TRANSITION	EWT	ENTERING WATER TEMPERATURE
		EXH.	EXHAUST
		F	FARENHEIT
		FCU	FAN COIL UNIT
		FD	FIRE DAMPER
		FLA	FULL LOAD AMPS
		FFM	FEET PER MINUTE
		FSK	FIBER SCRM KRAFT
		GA	GAUGE
		GF	GAS FURNACE
		GPM	GALLONS PER MINUTE
		HP	HORSE POWER
		LAT	LEAVING AIR TEMPERATURE
		LB	POUND
		LRA	LOCKED ROTOR AMPS
		LWT	LEAVING WATER TEMPERATURE
		MBH	1000 BTU
		MOD	MOTORIZED DAMPER
		N	NEW
		NC	NOISE CRITERIA
		NTS	NOT TO SCALE
		OA	OUTSIDE AIR
		O.E.D.	OPEN END DUCT
		PD	PRESSURE DROP
		PH, ϕ	PHASE
		PSI	POUNDS PER SQUARE INCH
		RA	RETURN AIR
		RAG	RETURN AIR GRILLE
		RE	RELOCATED EXISTING
		RH	RELATIVE HUMIDITY
		RLA	RUNNING LOAD AMPS
		RPM	REVOLUTION PER MINUTE
		SA	SUPPLY AIR
		SP	STATIC PRESSURE
		SR	SUPPLY AIR REGISTER
		TYP	TYPICAL
		V	VOLT
		W	WATTS
		WB	WET BULB
		W.G.	WATER GAUGE
		WMS	WIRE MESH SCREEN

"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, license No. 15266, Expiration Date: 02-11-2009."

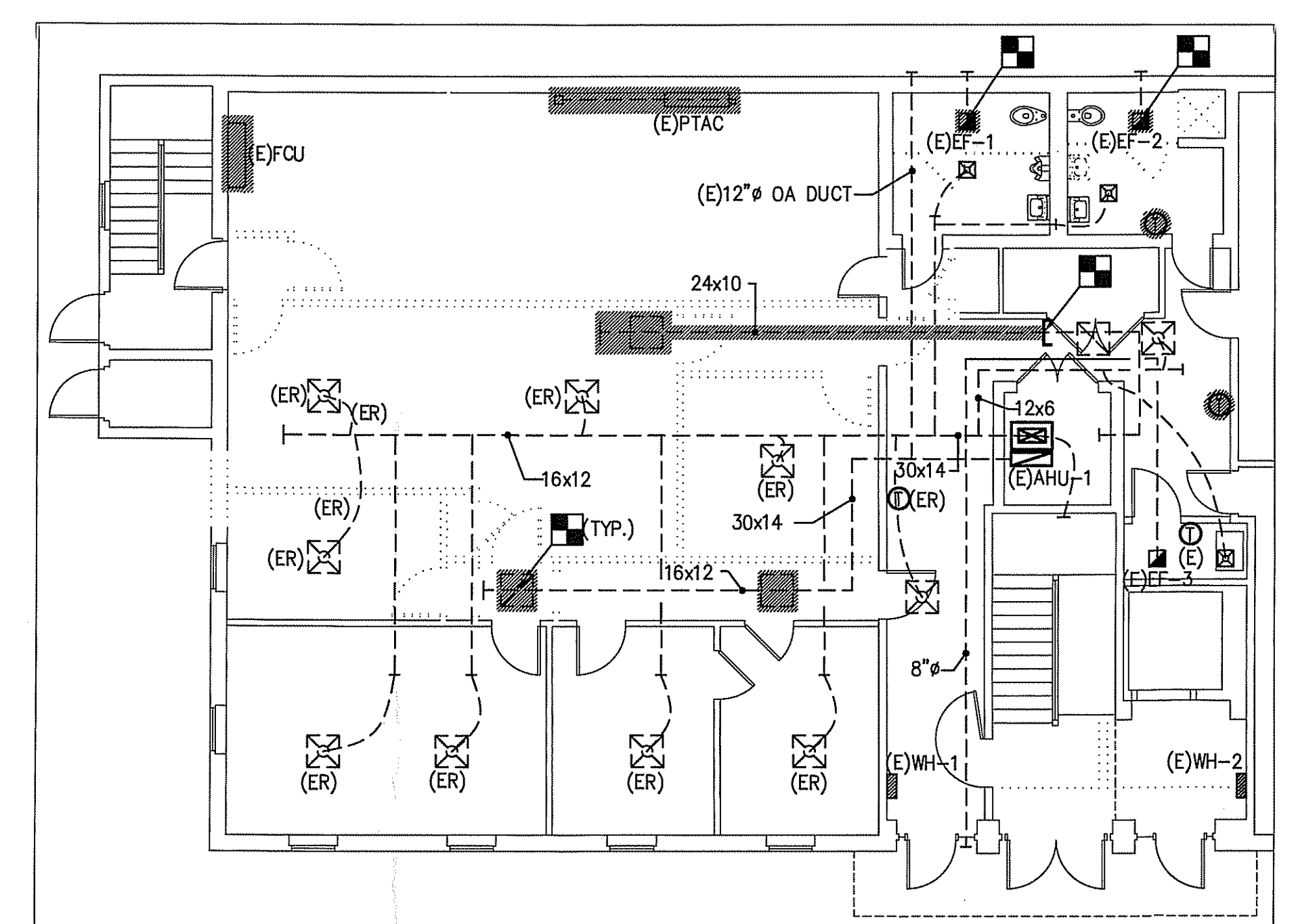




PARTIAL NEW SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



PARTIAL NEW FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



PARTIAL DEMO FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NEW WORK GENERAL NOTES:

- EXISTING AHU-1 TO REMAIN. REFURBISH AND RECALIBRATE IT ACCORDING TO THE CFMS SHOWN TO WORK PROPERLY.
- SIZE AND INSTALL THE REFRIGERATION PIPES AS PER MANUFACTURER'S RECOMMENDATIONS.
- CONDENSATE DRAIN OF (N)AHU-2 TO BE ROUTED TO MECHANICAL ROOM AND BE SPILLED INTO FLOOR DRAIN.
- CONDENSATE DRAIN OF AC-1 TO BE ROUTED TO 1ST AND SPILLED INTO HUB DRAIN. SEE PLUMBING DRAWINGS FOR DETAILS.
- COORDINATE THE EXACT LOCATION OF CU-1 ON ROOF WITH THE BUILDING ENGINEER.
- EXISTING EF-3 TO REMAIN.
- EXISTING HVAC SYSTEM IN ALL ROOMS OF SECOND FLOOR TO REMAIN.
- PROVIDE NEW REFRIGERATION PIPES FROM (E)AHU-1 TP (E)HP-1.

DEMOLITION GENERAL NOTES:

- REMOVE EXISTING FCU AND ALL ITS ASSOCIATED ITEMS.
- REMOVE EXISTING PTAC AND ALL ITS ASSOCIATED ITEMS.
- REMOVE ALL UNUSED/ABANDONED DUCTWORK, PIPES, LIGHTS, INSULATION MATERIALS, ETC. FROM THE CEILING SPACE.
- REMOVE EXISTING EF-1&2.
- REMOVE EXISTING REFRIGERATION PIPES OF AHU-1.

OUTSIDE AIR CALCULATIONS:

- WORK STATIONS:**
ROOM SIZE: 264 SQ.FT.
NO. OF PEOPLE BASED ON CHAIRS = 7
OA REQUIRED BY CODE: 20 CFM/PERSON
OA CFM = 7 x 20 = 140 CFM
(N)AHU-2: SA = 820 CFM, OA = 215 CFM
SA = 540 CFM
OA SUPPLIED = 540 x 0.26 = 140 CFM MEETS CODE.
- CLIENT LOUNGE:**
ROOM SIZE: 245 SQ.FT.
NO. OF PEOPLE BASED ON CHAIRS = 6
OA REQUIRED BY CODE: 20 CFM/PERSON
OA CFM = 6 x 20 = 120 CFM
(E)AHU-1: SA = 1980 CFM, OA = 600 CFM
SA = 500 CFM
OA SUPPLIED = 500 x 0.3 = 150 CFM MEETS CODE.
- LUNCH & MEETING SPACE:**
ROOM SIZE: 250 SQ.FT.
NO. OF PEOPLE BASED ON CHAIRS = 16
OA REQUIRED BY CODE: 20 CFM/PERSON
OA CFM = 16 x 20 = 320 CFM
(E)AHU-2: SA = 1980 CFM, OA = 600 CFM
SA = 330 + 500 = 880 CFM
OA SUPPLIED = 880 x 0.3 = 265 CFM
(E)AHU-1: SA = 820 CFM, OA = 215 CFM
SA = 180 CFM
OA SUPPLIED = 180 x 0.26 = 45 CFM
TOTAL OA SUPPLIED = 265 + 45 = 310 CFM
ADDITIONAL 10 CFM OA CAN BE AVAILABLE FROM THE ADJACENT WORKSTATIONS.
HENCE TOTAL OA SUPPLIED = 320 CFM MEETS CODE.

UNIT NO.	ARRANGEMENT	O.A.	CFM	E.S.P. IN WC	HEATING		ELECTRICAL DATA				PROTOTYPE CARRIER	
					KW	MOTOR HP	MCA	MOCP	VOLTS	PHASE		HERTZ
AHU-2	HORIZONTAL	215	820	0.5	7.5	1/2	53.8	60	208	1	60	FE4ANF003

GENERAL NOTES:

- PROVIDE 7 DAY PROGRAMMABLE THERMOSTATS FOR SPLITS SYSTEMS.
- PROVIDE 1" DISPOSABLE FILTER.

UNIT NO.	O.A.T.(F)	COOLING CAPACITY		MCA	MOCP	ELECTRICAL DATA		PROTOTYPE CARRIER	REMARKS
		TOTAL (MBH)	SENSIBLE (MBH)			CONNECTION VOLTS	PHASE CYCLE		
HP-2	95	26.9	19.8	14.0	20	208	3	60	25HBR3-30 PROVIDE LOW AMBIENT CONTROL

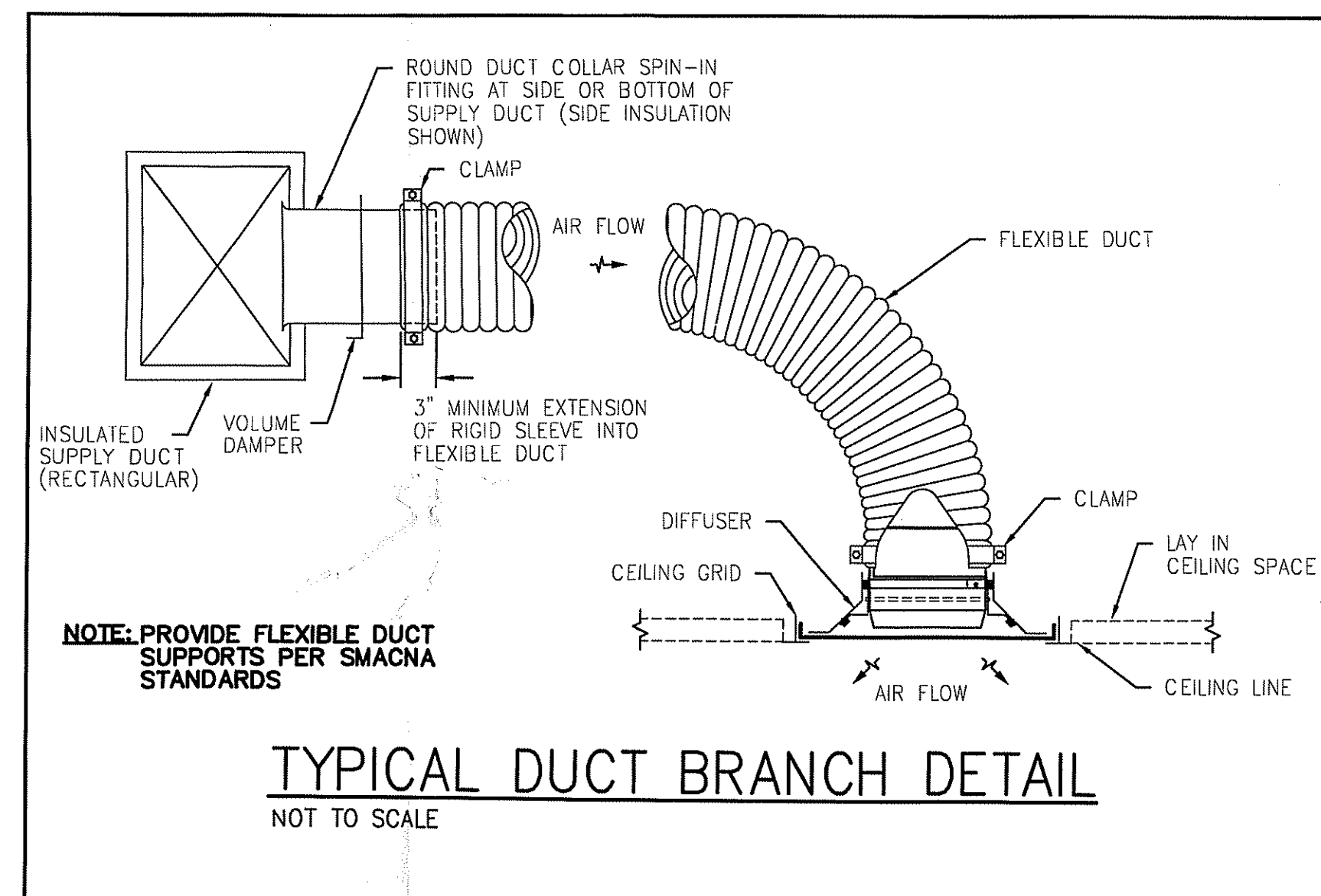
GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE DISCONNECT SWITCH AND ALL ACCESSORIES AS RECOMMENDED BY MANUFACTURER.
- PROVIDE CONCRETE PAD.

MARK	COOLING MBH	CFM	SEER	ARRANGEMENT	INDOOR UNIT			OUTDOOR UNIT			MITSUBISHI MODEL#
					V/PH/HZ	MCA	MOCP	V/PH/HZ	MCA	MOCP	
AC-1/ CU-1	16.2	330	16.0	WALL MOUNTED	208/1/60	1	15	208/1/60	14	15	MSY-A17NA/ MUY-A17NA

NOTES:

- PROVIDE DISCONNECTS ON INDOOR AND OUTDOOR UNITS.
- PROVIDE LOW AMBIENT CONTROLS.
- PROVIDE PRE-FABRICATED PAD FOR INSTALLATION ABOVE ROOF.



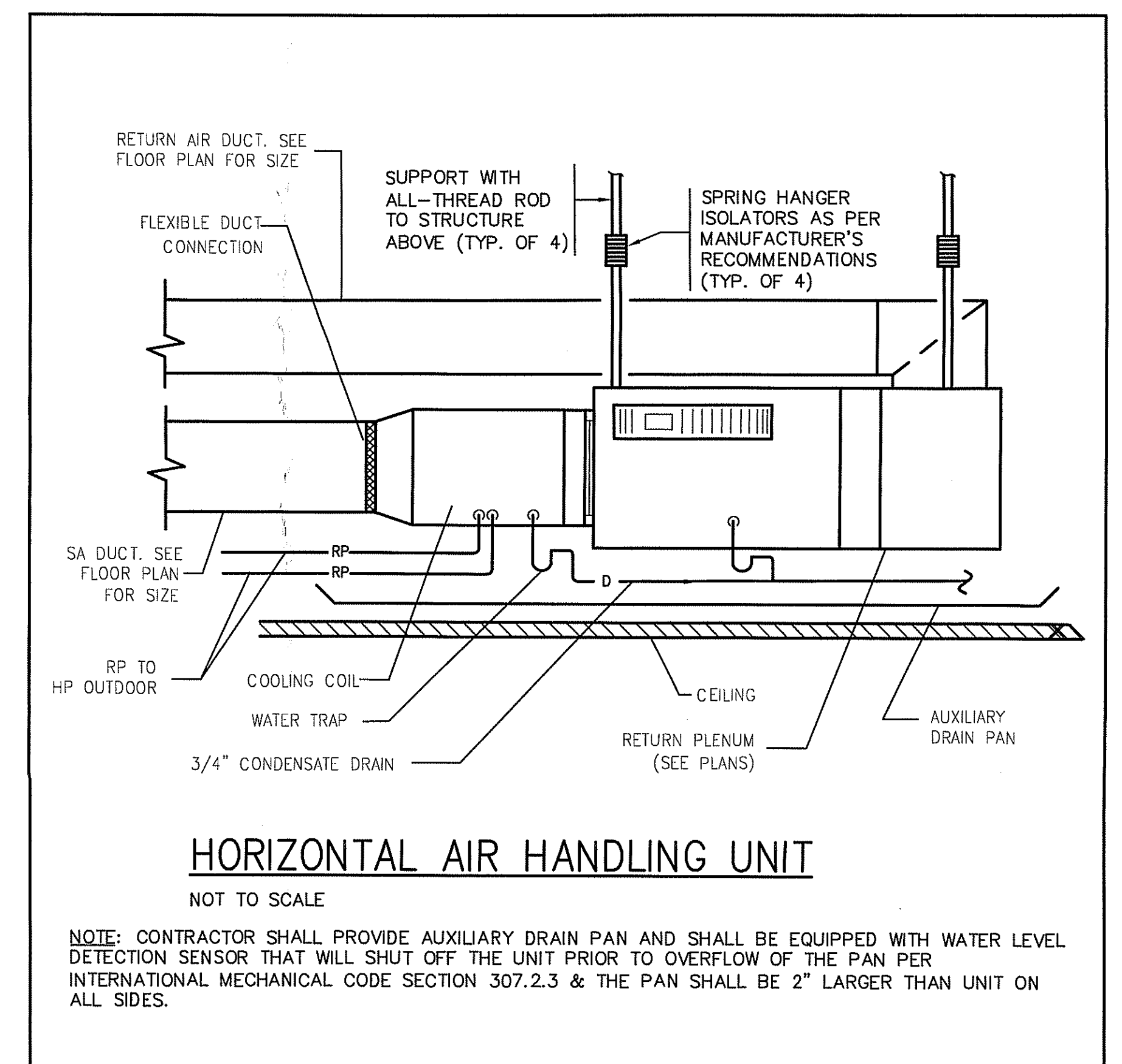
DESIGNATION	TYPE	AIR FLOW (CFM) RANGE	FACE SIZE	NECK SIZE	P.D. IN. WC	NC	BASIS OF DESIGN
☒	CEILING DIFF.	0-100	24x24	6"	0.044	-	MATCH EXIST
☒	CEILING DIFF.	101-170	24x24	8"	0.049	16	MATCH EXIST
☒	CEILING DIFF.	171-270	24x24	10"	0.056	21	MATCH EXIST
☒	R.A. GRILLE	0-80	24x24	6"	0.01	-	MATCH EXIST
☒	R.A. GRILLE	81-140	24x24	8"	0.01	-	MATCH EXIST
☒	R.A. GRILLE	141-220	24x24	10"	0.01	-	MATCH EXIST
☒	R.A. GRILLE	221-315	24x24	12"	0.01	12	MATCH EXIST
☒	R.A. GRILLE	316-425	24x24	14"	0.01	15	MATCH EXIST
☒	R.A. GRILLE	426-560	24x24	16"	0.01	18	MATCH EXIST
☒	R.A. GRILLE	561-900	24x24	18x18	0.01	18	MATCH EXIST

NOTES:

- FLEX DUCT TO DIFFUSERS SHALL BE SAME SIZE AS DIFFUSER NECK DIAMETER.
- ALL FINISH SELECTIONS SHALL BE BY ARCHITECT.
- PROVIDE BORDER/FRADE AS REQUIRED FOR INTENDED CEILING INSTALLATION.
- PROVIDE VOLUME DAMPER ON ALL AIR DEVICES

UNIT NO.	CFM	TOTAL SP (IN WC)	FAN TYPE	DRIVE	RPM	ELECTRICAL DATA			MANUFACTURER'S NAME & MODEL	
						MOTOR WATTS	VOLTS	PHASE CYCLE		
EF-4&5	75	0.375	CABINET	DIRECT	1400	113	115	1	60	GREENHECK SP-A190

NOTE: ☉ INTERLOCK EF-1 FAN WITH THE APPROPRIATE LIGHT SWITCH.

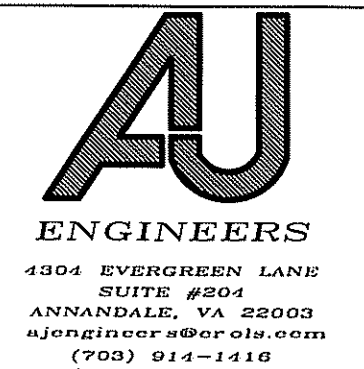
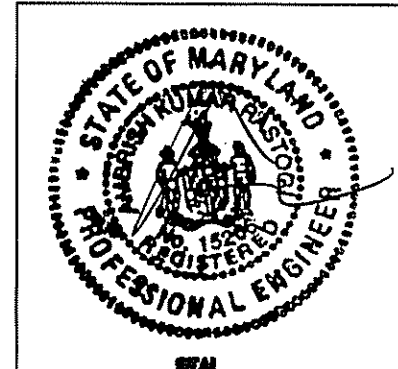


DESIGNATION	HEATER TYPE	KW	VOLTAGE	BASIS OF DESIGN	REMARKS
WH-3	RECESSED WALL HEATER	2	208V, 1Ø	MARKEL MODEL #3450	WITH INTEGRAL THERMOSTAT, HEAVY DUTY CONSTRUCTION

NOTES:

- INSTALLATION SHALL NOT COMPROMISE ANY RATED PARTITION.
- MOUNT LOW ON WALL, BOTTOM OF THE HEATER 18 AFF

"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15266, Expiration Date: 02-11-2009."



PLUMBING NOTES:

- THE INTENT OF THESE DRAWINGS IS TO PROVIDE COMPLETE AND PROPERLY FUNCTIONING PLUMBING SYSTEMS. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACHIEVE SUCH ENDS. CONTRACTOR IS OBLIGATED TO EXAMINE PLANS AND VISIT THE SITE BEFORE THE BID. ANY OBSERVED FAULTS OR AMBIGUITY IN THIS PLAN SET SHALL BE CALLED TO THE ENGINEER IMMEDIATELY, SO THAT THE MATTER MAY BE RESOLVED PRIOR TO THE SUBMISSION OF THE BIDS. BY SUBMISSION OF BIDS, THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THIS PLAN SET AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK, AND EXTRA COST CLAIMS BASED ON INADEQUACY OF PLANS WILL NOT BE CONSIDERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF DRAWINGS AND TO PROVIDE THE COMPLETE AND FUNCTIONING SYSTEM.
- ALL WORK ON THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. ALL EQUIPMENT SHALL BE UL LISTED.
- THESE DRAWINGS ARE SCHEMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF PLUMBING SYSTEM COMPONENTS. CONSULT ARCHITECTURAL PLANS FOR PROPER DIMENSIONS AND LOCATION OF EQUIPMENT.
- CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS AND ARRANGE FOR INSPECTIONS BY LOCAL AUTHORITIES HAVING JURISDICTION.
- PLUMBING CONTRACTOR SHALL THOROUGHLY CLEAN HIS WORK AREA DAILY OR AS REQUESTED BY THE GENERAL CONTRACTOR. PLUMBING CONTRACTOR SHALL ALSO REMOVE HIS TRASH AND DEBRIS AFTER THE COMPLETION OF THE WORK.
- THE PLUMBING WORK SHALL BE PERFORMED IN A WORKMANLIKE FASHION. WORK SHALL BE REJECTED IF, IN OPINION OF THE OWNER'S REPRESENTATIVE, IT IS NOT INSTALLED IN A PROPER MANNER.
- COORDINATE ALL PLUMBING WORK THAT REQUIRES ELECTRICAL POWER WITH THE BUILDING POWER TYPE AND AVAILABILITY.
- VERIFY THE LOCATION, INVERT ELEVATION AND DIRECTION OF FLOW OF ALL PLUMBING PIPING BEFORE THE INSTALLATION OF NEW WORK.
- DOMESTIC WATER PIPING SHALL BE COPPER TUBING, TYPE-L HARD TEMPER, WITH WROUGHT COPPER SOLDER JOINT FITTINGS AND 95-5 SOLDER.
- SANITARY SEWER DRAINAGE PIPING SHALL BE HUBLESS CAST IRON, SERVICE WEIGHT OR PVC TYPE DWV WITH SOLVENT CEMENTED, DWV SOCKET TYPE FITTINGS. PVC SHALL NOT BE USED IN PLENUM CEILINGS. INTERIOR SANITARY WASTE PIPING SHALL NOT SLOPE LESS THAN 1/4" PER FOOT, UNLESS AS NOTED ELSEWHERE. MINIMUM SANITARY LINE BELOW GRADE SHALL BE 2" IN DIAMETER.
- ALL SERVICE VALVES ON THIS PROJECT SHALL BE GATE TYPE.
- TEST AND DISINFECT DOMESTIC WATER SYSTEMS IN ACCORDANCE WITH APPLICABLE CODES.
- INSULATION:
PIPE INSULATION SHALL BE MOLDED GLASS FIBER, APPROXIMATELY 3-1/2 POUND DENSITY, WITH A K FACTOR OF .023 AT 75° F EQUAL TO JOHN-MANVILLE "FLAME SAFE AP-T". WATER HEATER JACKET SHALL BE KRAFT BONDED TO ALUMINUM FOIL, REINFORCED WITH FIBERGLASS YARN AND HAVING A PRESSURE SENSITIVE FITTING & VALVES SHALL BE COVERED WITH FIBERGLASS INSERT & WITH FIBER PRE-MOLDED PVC COVERS SIMILAR TO JOHN-MANVILLE "ZESTON".
INSULATION SHALL BE APPLIED IN THE FOLLOWING THICKNESSES:
DOMESTIC COLD WATER 1" THICK
DOMESTIC HOT WATER 1" THICK
- IDENTIFY ALL THE PLUMBING PIPING.
- HANGERS AND SUPPORTS, SHALL BE PER MSS-58 FOR ACCEPTABLE TYPES, MSS-69 FOR INSTALLATION AND SPACING.
- PIPING PENETRATIONS: ALL MASONRY PENETRATIONS SHALL BE CORE-DRILLED, WET WHERE POSSIBLE. OBTAIN OWNER'S PERMISSION PRIOR TO DRILLING. X-RAY FLOOR SLAB PRIOR TO DRILLING FOR ALL CABLE TENSIONED SLABS. DO NOT CUT STRUCTURAL MEMBERS.
- PROVIDE PIPE SLEEVES FOR ALL FLOOR AND MASONRY WALL PENETRATIONS. PACK VOID SPACE WITH APPROVED FLEXIBLE FIREPROOF SEALANT.
- PROVIDE DIELECTRIC FITTING BETWEEN CONNECTION OF DISSIMILAR MATERIALS.
- VALVES:
A. PIPING 2" AND SMALLER SHALL BE BALL-TYPE SHUT-OFF VALVES, 2-PIECE.
- SUBMITTALS
A. SUBMIT CONTROL WIRING DIAGRAMS FOR ALL EQUIPMENT INCLUDING INTERLOCKS WITH OTHER DEVICES AS DESCRIBED IN CONTROL SEQUENCES OR AS OTHERWISE INDICATED.
B. SUBMIT DRAWINGS OF ALL SLAB PENETRATIONS FOR OWNER/ARCHITECT/ENGINEER REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH THE PENETRATION INSTALLATION. ALL FLOOR PENETRATIONS SHALL BE CORE-DRILLED AND X-RAYED PRIOR TO WORK.
C. SUBMIT A LIST OF ANY PRODUCT SUBSTITUTIONS, SUBSTITUTED EQUIPMENT DATA, AND THE ASSOCIATED COST SAVINGS AT THE TIME OF BID SUBMISSION. SUBSTITUTIONS AFTER THE CONTRACT IS AWARDED WILL NOT BE ACCEPTED.
D. IMMEDIATELY UPON PROJECT COMPLETION, PREPARE AND SUBMIT AS-BUILT DRAWINGS IN THE FORM OF MARKED-UP CONSTRUCTION DOCUMENTS DETAILING THE AS-BUILT CONDITIONS AND ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS. INCLUDE ALL EQUIPMENT SUBSTITUTIONS AND MODIFICATIONS REQUIRED TO ACCOMMODATE THE ACCOMMODATE THE SUBSTITUTIONS.
E. A MINIMUM OF TWO WEEKS TIME WILL BE REQUIRED FOR A REVIEW OF EACH SUBMITTAL BY THE ARCHITECT AND ENGINEER. INVOLVED SUBMITTALS SUCH AS CONTROLS MAY REQUIRE ADDITIONAL TIME TO REVIEW. CONTRACTOR IS RESPONSIBLE FOR ALLOCATING SUFFICIENT TIME IN THE CONSTRUCTION SCHEDULE TO OBTAIN FINAL APPROVAL OF SUBMITTALS, INCLUDING TIME FOR SUBSEQUENT REVIEWS OF SUBMITTALS NOT INITIALLY APPROVED. ANY CLAIMS FOR DELAYS RELATED TO SUBMITTAL REVIEW WILL NOT BE ACCEPTED.
- PROJECT CLOSEOUT:
A. FURNISH "AS-BUILT" DRAWINGS.
B. PROVIDE DOMESTIC WATER STERILIZATION CERTIFICATES.
C. PROVIDE OPERATING AND MAINTENANCE MANUALS FOR ALL EQUIPMENT.
D. PROVIDE WARRANTY CERTIFICATES FOR ALL EQUIPMENT.
E. PROVIDE REQUIRED SPARE PARTS.
F. PROVIDE SYSTEM DEMONSTRATION.
G. PROVIDE INSTRUCTION TO OWNER AND DESIGNATED PERSONNEL, DEMONSTRATING TYPICAL MAINTENANCE AND REPAIR PROCEDURES.

GENERAL PLUMBING NOTES:

- PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS WHICH PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS. THESE SPECIFICATIONS AND NOTES INsofar AS THEY APPLY SHALL GOVERN THE WORK AS INDICATED ON THESE DRAWINGS UNLESS OTHERWISE NOTED.
- ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH DISTRICT OF COLUMBIA PLUMBING CODES, CURRENT IBC SUPPLEMENTS AND AMENDMENTS AND ALL APPLICABLE CODES HAVING JURISDICTION OVER THE WORK. ALL EQUIPMENT SHALL BE UL LISTED.
- PLUMBING CONTRACTOR SHALL VERIFY THAT EXISTING INVERT'S AND THAT FINAL CONNECTIONS CAN BE MADE BEFORE COMMENCING WORK.
- INSTALL PIPE, TUBE, AND FITTINGS IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES WHICH WILL ACHIEVE PERMANENTLY-LEAKPROOF PIPING SYSTEMS, CAPABLE OF PERFORMING WITHOUT LEAKAGE. INSTALL EACH RUN WITH MINIMUM JOINTS OR COUPLINGS, BUT WITH ADEQUATE AND ACCESSIBLE UNIONS FOR DISASSEMBLY AND MAINTENANCE/REPLACEMENT OF VALVES AND EQUIPMENT, REDUCE SIZED (WHERE INDICATED) BY USE OF REDUCING FITTINGS, ALIGN PIPING ACCURATELY WITH CONNECTION. PIPING TO HAVE A PSI RATING AS PER BOCA CODE.
- CONTRACTOR SHALL SUPPLY AND INSTALL VALVES METERS AND GAUGES AS SHOWN ON THE DRAWINGS OR AS NEEDED FOR PROPER MAINTENANCE AND/OR MONITORING OF EQUIPMENT INSTALLED BY CONTRACTOR.
- SEE PLUMBING FIXTURE SCHEDULE FOR FIXTURE TYPES.

PLUMBING EQUIPMENT:

ELECTRIC WATER HEATER (WH): A. O. SMITH MODEL DEL-20, 20 GAL. TANK, 2KW, 208V, 1A. WATER HEATER SHALL BE MOUNTED ON PLATFORM, SPILL DRAIN INTO HD. PROVIDE 5 YEARS WARRANTY FROM THE DATE OF ACCEPTANCE OF THE PROJECT. RECOVERY RATE SHALL BE 8 GPH OF 140 DEG. F WATER AT 100 DEG. F RISE. PROVIDE EXPANSION TANK AS RECOMMENDED BY MANUFACTURER.

THERMOSTATIC MIXING VALVE (TMV): LAWLER SERIES 310-SC1, UNIT #72246; 1/2" STOP & CHECK VALVE INLETS, 3/4" OUTLET, 10 GPM @ 30 PSI DROP.

TEMPERING VALVE (TV): LAWLER MODEL TMM-1000, UNIT #66800; POINT OF USE, INTEGRAL BACK FLOW CHECKS, 3/8" CONNECTIONS, 1.5 GPM @ 40 PSI DROP.

WATER HAMMER ARRESTOR: WATER HAMMER ARRESTOR SHALL BE IN TOILET ROOM CHASE, MANUFACTURED BY J.R. SMITH OR APPROVED EQUAL.

FLOOR CLEANOUTS: CLEANOUTS SHALL BE J.R. SMITH # 4020 FLUSH FLOOR CLEANOUTS WITH BRONZE TOP. PROVIDE SQUARE TOP FOR CERAMIC TILE FLOORS, CARPET CAP FOR CARPETED AREAS.

WALL CLEANOUTS: CLEANOUTS SHALL BE J.R. SMITH # 4530 TEE WITH COUNTERSUNK PLUG WITH ROUND ACCESS COVER AND SCREW.

ESCUTCHEONS: PROVIDE NICKELBRASS OR CHROME PLATED ESCUTCHEONS ON ALL EXPOSED PIPING WHEN THEY PASS THROUGH WALLS.

TRAP PRIMER VALVE: WATTS SERIES #A200, WATER SAVING DESIGN, ACTUATED BY WATER FLOW, BUILT-IN VACUUM BREAKER, 1/2" CONNECTIONS.

DEMOLITION NOTES:

- UNDER NO CIRCUMSTANCE SHALL THE WORK PERFORMED UNDER THIS CONTRACT ADVERSELY AFFECT ADJACENT AREAS NOT PART OF THIS WORK.
- IF, IN THE COURSE OF THE DEMOLITION, SUSPECTED ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK WITH SUSPECT MATERIALS AND REQUEST DIRECTION FROM THE PROJECT OFFICER OR ARCHITECT.
- REMOVE, TRANSPORT AND DISPOSE OF DEMOLISHED EQUIPMENT, RUBBISH AND WASTE IN A LAWFUL AND RESPONSIBLE MANNER.

SPECIAL NOTES:

- DOMESTIC WATER SYSTEM SHALL INCLUDE PIPING, FITTINGS, PIPING ACCESSORIES, VALVES, VALVE BOXES, HANGERS, SUPPORTS, BACKFLOW PREVENTERS, VACUUM BREAKERS, WATER HEATER, ETC.
- SANITARY SYSTEM SHALL INCLUDE PIPING, FIXTURES, FITTINGS, PIPING ACCESSORIES, HANGERS, SUPPORTS, ETC.
- ALL EQUIPMENT & THE SYSTEMS SHALL BE PROVIDED IN CONFORMANCE WITH IBC, IPC, AGA, PDI, MANUFACTURER'S RECOMMENDATIONS, STATE, LOCAL CODES AND ORDINANCES.
- ALL EXPOSED PIPING SHALL BE CHROME-PLATED.
- FIXTURES INTENDED FOR USE BY HANDICAPPED SHALL BE IN COMPLIANCE WITH ADA REQUIREMENTS.

PLUMBING FIXTURE CONNECTION SCHEDULE							
FIXTURE	MARK	MINIMUM CONNECTIONS				PROTOTYPE	REMARKS
		WASTE	VENT	CW	HW		
KITCHEN SINK	KS	1-1/2"	1-1/2"	1/2"	1/2"	ELKAY #PSR-2522 SINK #LK-232-S-BH-5 FAUCET HANDICAPPED SWING SPOUT, WRIST BLADE HANDLES.	7-1/2" DEEP BOWL, 25" X 22" OVERALL TOP, 4" CENTERS, 3 HOLE.
RESIDENTIAL DISPOSER	DS	1-1/2"	-	-	-	IN-SINK-ERATOR MODEL #BADGER 1 OR EQUAL CAPACITY 1/3 HP AND STAINLESS STEEL CONSTRUCTION	
RESIDENTIAL DISHWASHER	DW	1"	1-1/2"	NA	1/2"	REFER TO ARCHITECTURAL PLANS	WASTE TO DISPOSER CONN. VA AIR BREAK, BFP ON INLET
REFRIGERATOR ICE MAKER	REF	NA	NA	1/4"	NA	REFER TO ARCHITECTURAL PLANS	BFP ON CW INLET
HUB DRAIN	HD	2"	1-1/2"	-	-	FIELD CONSTRUCTED WITH P-TRAP	RECEIVES DRAIN FROM WATER HEATER
SERVICE SINK	SS	2"	1-1/2"	1/2"	1/2"	FIAT MODEL SF-1F WITH FAUCET A-1 WITH THREADED DECK SPOUT.	20" x 24" LEG MOUNTED
HANDICAPPED WATER CLOSET	WC	4"	2"	1"	NA	AMERICAN STANDARD # 2305.100, 1-1/2" TOP SPUD WITH SLOAN ROYAL # 111 FLUSH VALVE, WITH OLSONITE # 95 SEAT	FLUSH VALVE TYPE FLOOR MOUNTED
HANDICAPPED LAVATORY	LAV	1-1/2"	1-1/2"	1/2"	1/2"	AMERICAN STANDARD # 9141.011 BOWL WITH MONTEREY # 7502.170 GOOSE NECK FAUCET W/ WRIST BLADE HANDLES AND GRID STRAINER	WALL MOUNTED, TEMPER VALVE, 4" CENTERS, OFFSET DRAIN
HANDICAPPED URINAL	UR	2"	1-1/2"	3/4"	NA	AMERICAN STANDARD # 6501.010, 3/4" TOP SPUD WITH SLOAN ROYAL # 186-1 FLUSH VALVE	FLUSH VALVE TYPE WALL MOUNTED
SHOWER	SH	2"	1-1/2"	1/2"	1/2"	FIAT MODEL SF-1F WITH FAUCET A-1 WITH THREADED DECK SPOUT.	(E) BASIN AND DRAIN

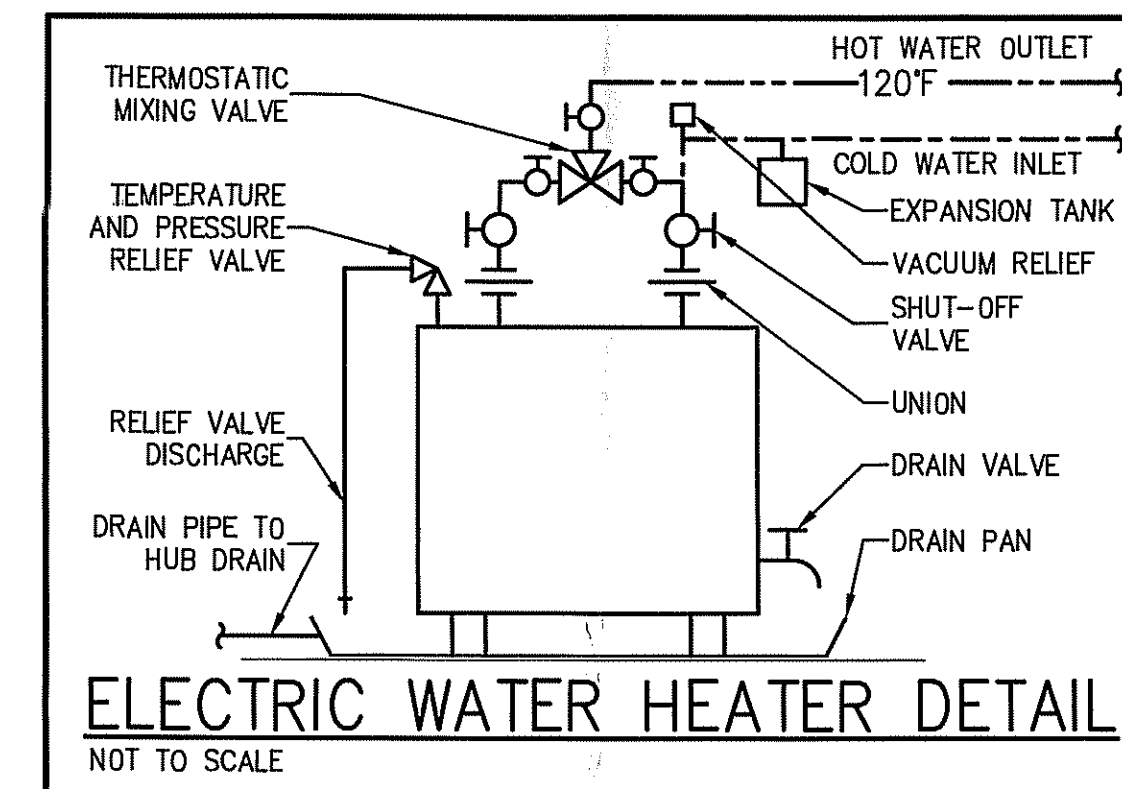
PLUMBING LEGEND

PLUMBING SYMBOLS

- SANITARY PIPE
- VENT PIPE
- DOMESTIC COLD WATER PIPE
- DOMESTIC HOT WATER PIPE
- EXISTING PIPING
- (E) CLEAN OUT
- WATER HAMMER ARRESTOR (P.D.I)
- PIPE UP, PIPE DOWN
- SHUT-OFF GATE VALVE, VALVE IN VERTICAL
- PIPE UNION
- FLOOR DRAIN
- POINT OF CONNECTION NEW TO EXISTING WORK
- END POINT OF DEMOLITION WORK

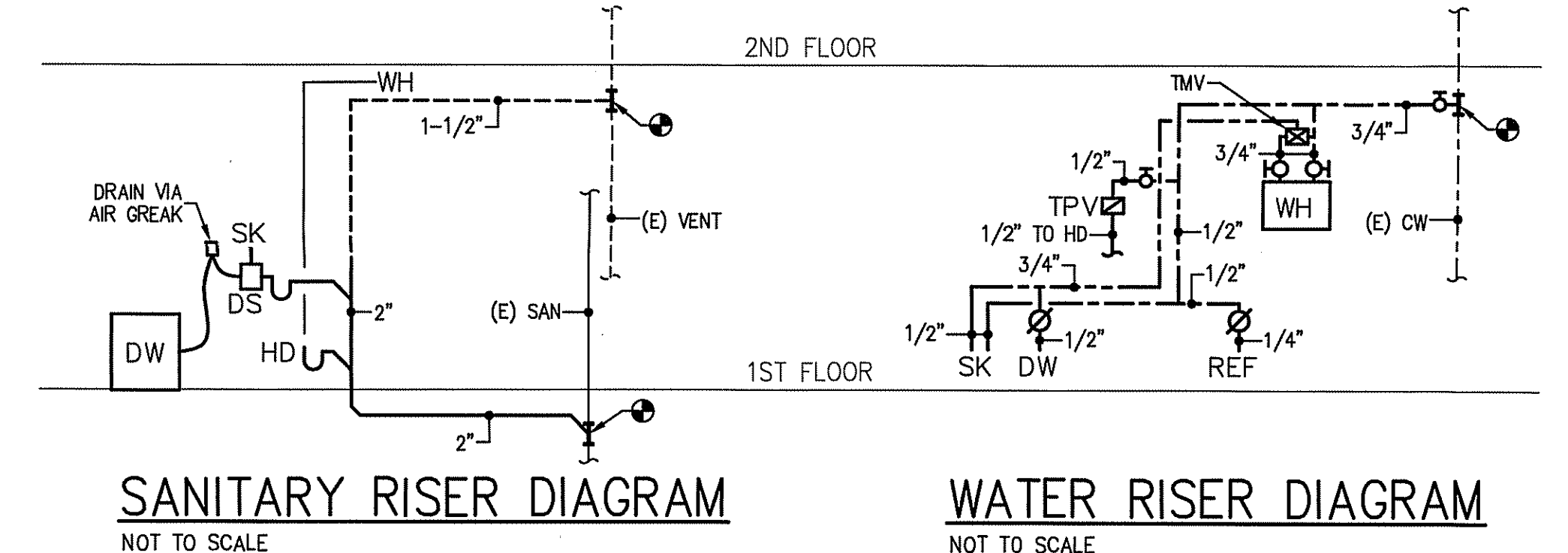
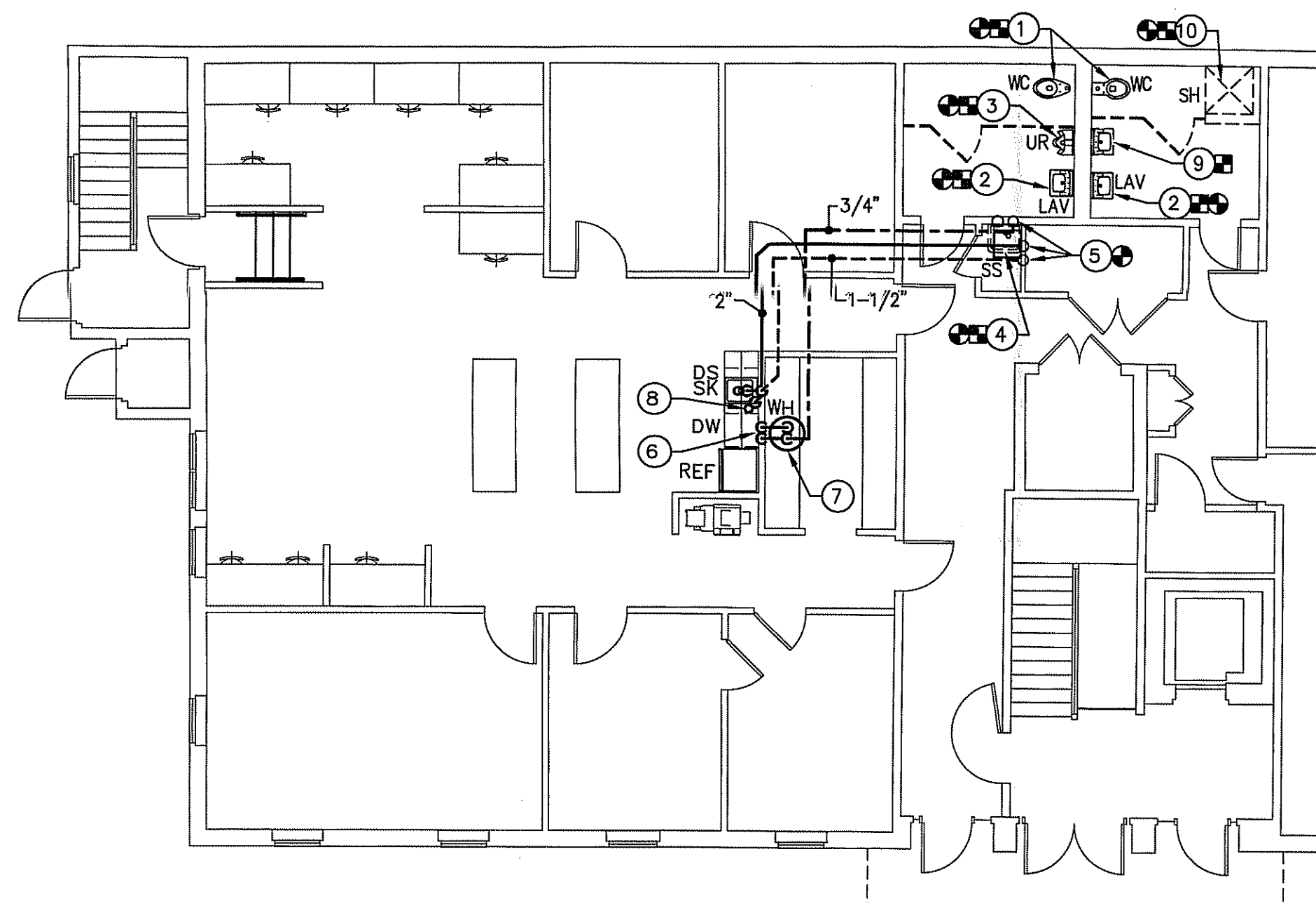
PLUMBING ABBREVIATIONS

- AC ABOVE CEILING
- AD AREA DRAIN
- BF BELOW FLOOR
- BFP BACKFLOW PREVENTER
- BG BELOW GRADE
- BS BELOW SLAB
- CAP CAPACITY
- CONN CONNECTION
- CO CLEANOUT
- CW COLD WATER
- DF DRINKING FOUNTAIN
- DFU DRAINAGE FIXTURE UNIT
- DN DOWN
- DS DISPOSER
- DW DISHWASHER
- (E) EXISTING TO REMAIN
- EWC ELECTRIC WATER COOLER
- FD FLOOR DRAIN
- FM FORCED MAIN
- FS FLOOR SINK
- GAL GALLONS
- GF GAS FURNACE
- G.I. GREASE INTERCEPTOR
- GPH GALLONS PER HOUR
- GPM GALLONS PER MINUTE
- HS HAND SINK
- HW HOT WATER
- KS KITCHEN SINK
- LAV LAVATORY
- OSD OPEN SITE DRAIN
- PSI POUNDS PER SQUARE INCH
- RD ROOF DRAIN
- SAN SANITARY
- SF SQUARE FEET
- SFU SUPPLY FIXTURE UNIT
- SK SINK
- SS SERVICE SINK
- ST STORM
- TMV THERMOSTATIC MIXING VALVE
- TV TEMPERING VALVE
- TYP TYPICAL
- V VENT
- VTR VENT THRU ROOF
- WH WATER HEATER
- WHA WATER HAMMER ARRESTOR
- WC WATER CLOSET



EXPANSION TANK SCHEDULE

DESIGNATION	TANK GALLON	ACCEPTANCE VOLUME	TYPE	PROTOTYPE
EXP-1	4.4	2.4	DIAPHRAGM	AMTROL MODEL EXTRLO. NO. 30



PLAN KEY NOTES:

- REMOVE EXISTING WATER CLOSET. PROVIDE NEW ADA WATER CLOSET. CONNECT TO EXISTING PIPING.
- REMOVE EXISTING LAVATORY. PROVIDE NEW ADA LAVATORY. CONNECT TO EXISTING PIPING.
- REMOVE EXISTING URINAL. PROVIDE NEW ADA URINAL. CONNECT TO EXISTING PIPING.
- REMOVE EXISTING SERVICE SINK. PROVIDE NEW SERVICE SINK. CONNECT TO EXISTING PIPING.
- EXISTING PIPING FROM SERVICE SINK: 3" SAN, 2" VENT & 3/4" CW. CONNECT 2" SAN, 1-1/2" VENT & 3/4" CW TO EXISTING PIPING.
- 1/2" CW & 3/4" HW DN IN WALL TO SINK AND DISHWASHER.
- 3/4" CW & 3/4" HW ON TO WATER HEATER. WATER HEATER MOUNTED ABOVE CEILING.
- HUB DRAIN BELOW COUNTER FOR WATER HEATER DRAIN PAN.
- REMOVE EXISTING LAVATORY. CAP EXISTING PIPING IN WALL.
- REMOVE EXISTING SHOWER HEAD AND MIXING VALVE. EXISTING BASIN AND DRAIN SHALL REMAIN. PROVIDE NEW HEAD AND VALVE. CONNECT TO EXISTING PIPING IN WALL.

"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15266, Expiration Date: 02-11-2009."

STATE OF MARYLAND PROFESSIONAL ENGINEER

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ELECTRICAL NOTES

- IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TESTS, AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PRODUCT. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES ON THE PLANS WILL NOT BE CONSIDERED.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES HAVING JURISDICTION. ALL EQUIPMENT, DEVICES, AND MATERIAL SHALL BE LISTED WITH UNDERWRITERS LABORATORIES FOR ITS APPLICATION AS INSTALLED AND SHALL BEAR THE UL LABEL.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES WHICH ARE REQUIRED FOR THE COMPLETION OF HIS WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO SUBMISSION OF BIDS. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE BIDDING.
- ELECTRICAL PLANS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS.
- CONSULT PLANS OF ALL OTHER TRADES FOR COORDINATION AND FOR RELATED AND ADJOINING WORK.
- CONSULT ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR CONSTRUCTION HEADROOM, ROOM FINISHES, CEILINGS, ETC.
- SEE REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
- CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY SPACING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
- SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE DELIVERY TO THE JOB SITE. EQUIPMENT, FIXTURES, DEVICES, AND MATERIAL DELIVERED TO THE JOB SITE OR INSTALLED PRIOR TO APPROVAL OF THE SHOP DRAWINGS, AND FOR WHICH THE SHOP DRAWINGS ARE SUBSEQUENTLY REJECTED, SHALL BE REPLACED WITH AN APPROVED ITEM AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY WIRE SIZES, C/B AND FUSE RATINGS FOR ALL HVAC EQUIPMENT, AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES AFFECTING THE WORK PRIOR TO PROCEEDING.
- ALL WORK SHALL BE DONE AT SUCH TIMES AND IN SUCH A MANNER AS WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF ALL RELATED OR AFFECTED SYSTEMS. ALL POWER OUTAGES, FIRE ALARM SHUT DOWNS, ETC SHALL BE COORDINATED WITH OWNER.
- CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE BEING INSTALLED.
- HORSEPOWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON DRAWINGS, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- CONTRACTOR SHALL NOTE U.L. LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF U.L. LABEL ON MECHANICAL EQUIPMENT TO ACTUALLY BE INSTALLED CALLS FOR THE OVER CURRENT PROTECTIVE DEVICE TO BE FUSES, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DWGS AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR OR CEILING CONTRACTOR TO INSURE THAT ALL RECESSED LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- LIGHTING FIXTURES INSTALLED IN SUSPENDED CEILINGS SHALL BE SUPPORTED DIRECTLY FROM THE BUILDING STRUCTURE.
- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DWGS OR NOT.
- ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FT. SHALL BE PROVIDED WITH A PULL WIRE OF FISH TAPE/CORD.
- ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN CEILING OR WALL UNLESS INDICATED OTHERWISE.
- OPENINGS IN EXISTING BUILDING STRUCTURE FOR PASSAGE OF CONDUITS/CABLES SHALL NOT BE CUT UNTIL THE CONTRACTOR HAS ASKED FOR AND RECEIVED WRITTEN APPROVAL FROM THE ARCHITECT.
- THE LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL ACCESSORIES (INCLUDING LAMPS) BY THE ELECTRICAL CONTRACTOR.
- SYMBOLS SHOWN ON THIS SHEET ARE STANDARD SYMBOLS AND MAY NOT NECESSARILY ALL BE APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
- ALL PENETRATIONS OF FLOOR AND WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH BOCA, NEC AND NFPA.
- CONDUCTORS SHALL BE INSTALLED CONTINUOUS BETWEEN DEVICES, WITH SPLICES LOCATED ONLY IN JUNCTION BOXES OR IN CABINETS. CONDUCTORS SHALL BE OF SUFFICIENT LENGTH TO REACH THE FARTHEST TERMINAL IN PANELS. A MINIMUM OF 6" LOOPS SHALL REMAIN WHERE CONNECTIONS OR TAPS ARE TO BE MADE IN BRANCH CIRCUIT WIRING.
- PROVIDE AN UPDATED TYPED WRITTEN PANEL DIRECTORY IN EACH PANEL AFTER COMPLETION OF WORK.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AS BUILT DRAWINGS AND ALL MANUFACTURERS DATA AND WARRANTY LITERATURE AT THE COMPLETION OF THE CONTRACT.
- IF CEILING SPACE IS USED AS PLENUM, APPROPRIATE WIRING SHALL BE USED.

EQUIPMENT SPECIFICATIONS

LIGHT FIXTURES:

- BALLAST FOR LIGHTING FIXTURES SHALL OPERATE THE SPECIFIED LAMPS. ELECTRONIC BALLAST SHALL HAVE A POWER FACTOR GREATER THAN .95, LESS THAN 10% HARMONIC DISTORTION, AND 32 WATTS PER LAMP OR LESS INPUT POWER.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE SPARE LAMPS EQUAL TO 15% OF THE TOTAL OF ALL LIGHTING FIXTURES INSTALLED ON THE PROJECT.

RACEWAY

- MINIMUM SIZE OF THE CONDUIT SHALL BE 3/4".
- PROVIDE FLEXIBLE CONDUIT FOR MOTOR CONNECTIONS, AND FOR OTHER ELECTRICAL EQUIPMENT CONDITIONS, WHERE SUBJECT TO MOVEMENT AND VIBRATION. 18" MAXIMUM LENGTH.
- PROVIDE LIQUID TIGHT FLEXIBLE CONDUIT FOR CONNECTION OF MOTOR AND FOR OTHER ELECTRICAL EQUIPMENT WHERE SUBJECT TO MOVEMENT AND VIBRATION, AND ALSO WHERE SUBJECT TO ONE OR MORE OF THE FOLLOWING CONDITIONS, UNLESS NOTED OTHERWISE:
 - MOIST AND HUMID ATMOSPHERE WHERE CONDENSATE CAN BE EXPECTED TO ACCUMULATE.
 - CORROSIVE ATMOSPHERE.
 - SUBJECT TO DRIPPING OIL, GREASE OR WATER.
- ALL CONDUITS SHALL BE GROUNDED PER NEC. CONDUITS ENTERING THE OUTLET BOXES, PANEL CABINETS ETC. MUST BE FITTED WITH A DOUBLE LOCKNUT AND BUSHING.
- PROVIDE RIGID STEEL, THREADED, THICK WALL CONDUIT, GALVANIZED OR EMT FOR ALL PANEL FEEDERS, AND ALL EXPOSED WIRING IN UNFINISHED AREAS.
- ALL WIRE RACEWAYS IN OR PASSING THROUGH CONCRETE WALLS, SLABS, OR UNDERGROUND SHALL BE GALVANIZED RIGID STEEL THREADED CONDUIT.

WIRES AND CABLES

- ALL WIRE AND CABLE SHALL BE COPPER WITH THHN/THWN INSULATION AND ALL WIRE SIZES ARE BASED ON COPPER CONDUCTORS WITH 75°C INSULATION UNLESS INDICATED OTHERWISE. ALL CONNECTORS, LUGS, ETC. SHALL BE LISTED FOR 75°C.
- PROVIDE WIRING NOT SMALLER THAN #12 AWG FOR THE POWER DISTRIBUTION, AND NOT SMALLER THAN #14 AWG FOR THE FIRE ALARM SYSTEM.
- ALL CIRCUITS 120/208 VOLT OVER 100 FEET AND ALL 277/480 VOLT CIRCUITS OVER 200 FEET FROM PANEL TO FIRST OUTLET SHALL HAVE CONDUCTORS ONE SIZE LARGER THAN NORMALLY REQUIRED WHETHER INDICATED ON PANEL SCHEDULE OR NOT.
- CONDUCTORS INSTALLED UNDERGROUND OR IN THE WET LOCATIONS SHALL BE U.L. LISTED PER NEC, AND SHALL BE SUITABLE FOR WET LOCATIONS.
- ALL BRANCH CIRCUIT WIRING SHALL BE PROVIDED WITH AN INSULATED GROUND CONDUCTOR FOR ANY DEVICE ACCESSIBLE BY A PATIENT AS PER NEC 517.13 (A) & (B).

ELECTRICAL BOXES AND FITTINGS

- ALL BOXES AND FITTINGS SHALL BE OF CODE-GAUGE STEEL.
- JUNCTION AND PULL BOXES: PROVIDE GALVANIZED CODE-GAUGE SHEET STEEL. JUNCTION AND PULL BOXES WITH SCREW-ON COVER OF TYPES, SHAPES AND SIZES TO SUIT EACH RESPECTIVE LOCATION AND INSTALLATION, WITH WELDED SEAMS AND EQUIPPED WITH STAINLESS STEEL NUTS, SCREWS, AND WASHERS.
- PROVIDE WEATHERPROOF OUTLETS FOR INTERIOR AND EXTERIOR LOCATIONS EXPOSED TO WEATHER OR MOISTURE.
- ALL PULL BOXES SHALL BE FABRICATED FROM #12 OR HEAVIER GAUGE GALVANIZED STEEL AS ROD BY THE NEC, AND SHALL BE EQUIPPED WITH SCREW FASTENED COVER.

WIRING DEVICES

- PROVIDE DUPLEX, HOSPITAL GRADE RECEPTACLES 2 POLE, 3 WIRE GROUNDING WITH GREEN HEXAGONAL EQUIPMENT GROUND SCREWS, GROUND TERMINALS AND POLES INTERNALLY CONNECTED TO MOUNTING YOKE. 20 AMPERES, 125 VOLTS, WITH METAL PLASTER EARS, SIDE WIRING, NEMA CONFIGURATION 5-20R. HUBBELL CAT. NO. HBL5362 OR EQUAL.
- ISOLATED GROUND RECEPTACLE, QUAD, HUBBELL CAT. NO. HBL5362 OR EQUAL.
- SWITCHES, 20 AMPS, 120/277 VOLTS, WITH MOUNTING YOKE INSULATED FROM MECHANISM, EQUIPPED WITH PLASTER EARS, SWITCH HANDLE, AND SIDE WIRED SCREW TERMINALS.
- ALL SWITCHES AND RECEPTACLES SHALL BE OF IVORY COLOR.
- ALL DEVICES INSTALLED IN THE LOCATION EXPOSED TO AMBIENT CONDITIONS SHALL BE WEATHERPROOFED.

PANELBOARDS:

- PANELBOARD BUSBARS SHALL BE COPPER.
- PANELBOARD ENCLOSURES: PROVIDE GALVANIZED SHEET STEEL CABINET, CODE-GAUGE, GUTTERS. PROVIDE FRONTS WITH ADJUSTABLE TRIM CLAMPS, AND DOORS WITH CONCEALED PIANO DOOR HINGES AND DOOR SWINGS AS INDICATED. EQUIPMENT WITH INTERIOR CIRCUIT-DIRECTORY FRAME AND CARD WITH CLEAR PLASTIC COVERING. PROVIDE BAKED GRAY ENAMEL FINISH OVER A RUST INHIBITOR COATING. DESIGN ENCLOSURES FOR RECESSED MOUNTING. PROVIDE ENCLOSURES WHICH ARE FABRICATED BY SAME MANUFACTURERS AS PANELBOARDS WHICH MATE AND MATCH PROPERLY WITH PANELBOARD TO BE ENCLOSED.
- CABINETS FOR DISTRIBUTION PANELS SHALL HAVE 6 INCHES OF GUTTER SPACE ON ALL SIDES AROUND PANELBOARDS AND LIGHTING PANELS HAVE A MINIMUM OF 5" ON ALL SIDES AROUND PANELBOARD.
- ALL PANELBOARDS SHALL BE EQUIPPED WITH COMMON KEYED LOCKS. PROVIDE MINIMUM OF ONE KEY PER PANEL PLUS (6) SPARES.
- NEW PANELBOARDS SHALL BE AS INDICATED ON THE DRAWINGS, WITH BOLT-ON MOLDED CASE CIRCUIT BREAKERS AND COPPER BUS BARS. CIRCUIT BREAKERS AND INTERIORS SHALL BE OF THE SAME MANUFACTURER AND UL LISTED. THE PANEL BOARD SHALL COMPLY WITH ALL APPLICABLE STANDARDS.

FIRE ALARM NOTES

- PROVIDE FIRE ALARM SYSTEM ON DESIGN-BUILD BASIS. PROVIDE ADDITIONAL DEVICES, IF REQUIRED, BY THE FIRE MARSHALL EITHER DURING SHOP DRAWINGS REVIEW PHASE, OR DURING CONSTRUCTION PHASE WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- ALL DEVICES AND EQUIPMENT FOR THIS SYSTEM SHALL BE LISTED BY THE UNDERWRITER'S LABORATORIES, INC. (U.L.), BEAR THE U.L. LABEL AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 AND 90A.
- THE INSTALLATION SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS OF NFPA 72, THE NATIONAL ELECTRICAL CODE (NEC), ALL STATE AND LOCAL CODES AND ADA REQUIREMENTS.
- UPON COMPLETION, THE SYSTEM SHALL BE THOROUGHLY TESTED BY THE CONTRACTOR TO ASSURE PROPER INTERFACING OF ALL COMPONENTS.
- ALL WIRING FOR THE FIRE DETECTION AND ALARM SYSTEM SHALL BE RUN IN CONDUIT BY THE CONTRACTOR. ALL FIRE ALARM JUNCTION BOX COVERS SHALL BE PAINTED RED BY THE CONTRACTOR OR STENCILED FOR DISTINCT IDENTIFICATION. ALL CONDUIT, DEVICE MOUNTING BOXES, JUNCTION BOXES, AND PANELS SHALL BE SECURELY FASTENED BY THE CONTRACTOR WITH APPROPRIATE FITTINGS TO INSURE A POSITIVE GROUND THROUGHOUT THE ENTIRE SYSTEM.
- ALL CONNECTIONS TO PANELS, DEVICES, AND DETECTORS SHALL BE MADE WITH CRIMP TYPE SPADE TERMINAL CONNECTORS. SPLICES IN STATION CIRCUITS SHALL BE MADE ONLY IN JUNCTION BOXES AND SHALL BE CRIMP CONNECTED.
- ALL WIRING SHALL BE CHECKED AND TESTED BY THE CONTRACTOR TO INSURE THE SYSTEM IS FIRE FROM GROUNDS, OPENS, AND SHORTS.
- THE INSTALLATION AND FINAL CONNECTIONS BY THE CONTRACTOR OF ALL COMPONENTS AND DEVICES SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE SYSTEM MANUFACTURER'S TECHNICAL STAFF.
- CONNECT FIRE ALARM CONTROL PANEL TO A 24 HOURS MONITORING SYSTEM VIA AN AUTOMATIC DIALER.
- SYSTEM SHALL BE NON-CODED, ADDRESSABLE, MULTIPLEXED SIGNAL TRANSMISSION DEDICATED TO FIRE ALARM SERVICE ONLY. SYSTEM SHALL BE MANUFACTURED BY SIMPLEX OR EQUAL.

ELECTRICAL DEMOLITION NOTES:

- CONTRACTOR SHALL REMOVE ALL EXISTING WORK THAT WILL NOT BE REUSED DURING NEW CONSTRUCTION. LEAVING THE BUILDING FREE AND CLEAN OF OLD SYSTEMS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FIRE RATING, AND WATERPROOFING INTEGRITY IN ALL CASES.
- ALL REMOVED ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR DISPOSAL UNLESS OTHERWISE DIRECTED. CONTRACTOR SHALL COORDINATE FOR ITEMS THAT SHALL BE RETURNED TO OWNER. OTHER ITEMS THAT ARE NOT REQUIRED TO BE TURNED IN SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR DISPOSAL.
- DEMOLITION SHALL BE WELL COORDINATED TO MINIMIZE DOWN TIME OF SYSTEMS THAT WILL REMAIN IN OPERATION.
- PROVIDE CAP OFF CONNECTIONS FOR ALL REMOVED OR CUT OFF WORK THAT WILL NOT BE RECONNECTED DURING THE NEW WORK PHASE AND WILL BE REQUIRED TO REMAIN IN OPERATION.
- REMOVE ALL EXPOSED, ELECTRICAL SERVICES THAT ARE NOT GOING TO BE REUSED IN NEW WORK BACK TO SOURCE.
- WHEN DEMOLITION WORK IS AFFECTING EXISTING UTILITIES SERVING BASE BUILDING, CONTRACTOR SHALL RELOCATE, REROUTE, OFFSET IN CEILING SPACE, OR UNDER FLOOR SLAB (SAW CUT SLAB WHEN REQUIRED) AND RELOCATE ALL SERVICES IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND GOOD PRACTICE OF TRADES. COORDINATE WITH BUILDING OWNER REPRESENTATIVE, AND MAKE PROVISIONS FOR TEMPORARY SERVICES AS REQUIRED. CONTRACTOR SHALL COORDINATE AND GIVE ADEQUATE NOTICE TO BUILDING OWNER OR ITS REPRESENTATIVE PRIOR TO WORK IN ANY BASE BUILDING UTILITIES.
- ALL ELECTRICAL DEVICES IN WALLS TO BE DEMOLISHED SHALL BE REMOVED UNLESS OTHERWISE NOTED. MAINTAIN CIRCUIT CONTINUITY FOR DEVICES THAT REMAIN.
- SUPPORT ALL CEILING MOUNTED DEVICES INDEPENDENT OF CEILING GRIDS & TILES, WHICH WILL BE REMOVED & REINSTALLED WHEN NEW WALLS ARE CONSTRUCTED.

ELECTRICAL SYMBOLS:

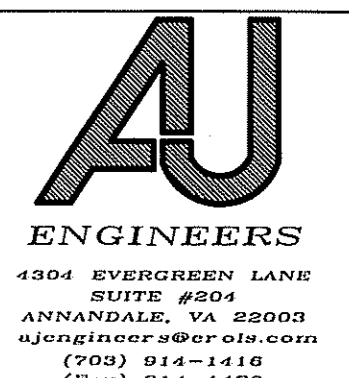
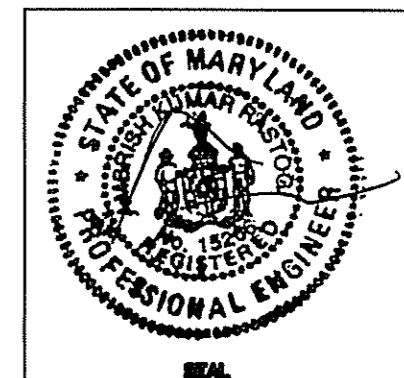
NOTE: THESE SYMBOLS ARE STANDARD AND ALL MAY NOT BE APPLICABLE TO THIS JOB. ALL MOUNTING HEIGHTS ARE STANDARD UNLESS NOTED OTHERWISE ON THE DRAWINGS.

- | | |
|--|--|
| | FLUORESCENT LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE. |
| | LIGHTING FIXTURE ON EMERGENCY CIRCUIT. |
| | CEILING MOUNTED LIGHTING FIXTURE. |
| | WALL MOUNTED LIGHTING FIXTURE. |
| | EXIT SIGN. CONNECT TO UNSWITCHED HOT-LEG OF CIRCUIT INDICATED. |
| | BATTERY PACK. CONNECT TO UNSWITCHED HOT-LEG OF CIRCUIT INDICATED. |
| | BRANCH CIRCUIT WIRING CONCEALED IN WALLS OR CEILING. NUMBER OF HASHES INDICATES NUMBER OF WIRES AND SHOWN ONLY WHERE REQUIRED FOR CLARITY. |
| | BRANCH CIRCUIT WIRING RUN UNDER GROUND OR UNDER SLAB. |
| | HOME RUN TO PANELBOARD. NUMBER OF ARROWS INDICATE NUMBER OF CIRCUITS IN HOME RUN. |
| | INDICATES A SEPARATE GROUND WIRE SHALL BE PROVIDED. |
| | FLUSH MOUNTED SWITCH, 48" AFF. |
| | FLUSH MOUNTED SWITCH WITH OCCUPANCY SENSOR, 48" AFF. |
| | FLUSH MOUNTED DIMMER SWITCH, 48" AFF. LUTRON NOVA SERIES OR EQUAL. SIZE AS REQUIRED. |
| | 3 WAY OR 4 WAY FLUSH MOUNTED SWITCH, 48" AFF. |
| | MOTOR RATED SWITCH WITH THERMAL OVERLOAD PROTECTION. JUNCTION BOX. |
| | DUPLEX RECEPTACLE, NEMA 5-20R, 18" AFF, U.O.N. |
| | DUPLEX RECEPTACLE, NEMA 5-20R, GROUND FAULT INTERRUPT, 44" AFF, U.O.N. |
| | DOUBLE DUPLEX (QUAD) RECEPTACLE, NEMA 5-20R, 18" AFF. |
| | SINGLE RECEPTACLE, NEMA CONFIGURATION AS NOTED, 18" AFF. |
| | DUPLEX RECEPTACLE WITH ISOLATED GROUND, NEMA 5-20R, 18" AFF, U.O.N. |
| | DUPLEX RECEPTACLE, NEMA 5-20R, 18" AFF, U.O.N. SPLIT-WIRED WITH TOP HALF ON SWITCH LEG. |
| | DUPLEX RECEPTACLE, NEMA 5-20R, FLOOR MOUNTED. |
| | COMBINATION TV OUTLET AND DUPLEX RECEPTACLE, NEMA 5-20R, +18" A.F.F. TV OUTLET WITH 1" EC TO ACCESSIBLE CEILING SPACE. |
| | TELEPHONE/DATA OUTLET, 18" AFF. PROVIDE 1" EC TO CEILING SPACE. |
| | TELEPHONE/DATA OUTLET. FLOOR MTD. PROVIDE 1" EC TO CLG SPACE. |
| | PHOTO-CELL, WALL MOUNT +10'0" A.F.F. |
| | 120/208 VOLT PANELBOARD. (A) INDICATES PANELBOARD IDENTIFICATION. |
| | 277/480 VOLT PANELBOARD. (B) INDICATES PANELBOARD IDENTIFICATION. |
| | MOTOR CONNECTION |
| | DISCONNECT SWITCH. 600V, POLES, AMPS, AND FUSING TO MATCH CIRCUIT BREAKER. |
| | MOTOR STARTER. |
| | ENCLOSED CIRCUIT BREAKER |
| | FIRE ALARM MANUAL PULL STATION, 48" AFF. |
| | FIRE ALARM AUDIO/VISUAL INDICATING DEVICE, 80" AFF. CANDELA RATING AS NOTED. |
| | FIRE ALARM VISUAL ONLY INDICATING DEVICE, 80" AFF. CANDELA RATING AS NOTED. |
| | SMOKE DETECTOR. |
| | SMOKE DETECTOR FOR ACTIVATION OF PRE-ACTION SPRINKLER SYSTEM. |
| | DUCT MOUNTED SMOKE DETECTOR. |
| | DUCT MOUNTED SMOKE DETECTOR ALARM INDICATING DEVICE. |
| | MAGNETIC DOOR HOLD OPEN DEVICE. |
| | HEAT DETECTOR. |
| | CONNECTION TO SPRINKLER FLOW SWITCH. |
| | CONNECTION TO SPRINKLER TAMPER SWITCH. |
| | CEILING SPEAKER, FLUSH MOUNTED. |

ELECTRICAL ABBREVIATIONS:

A	AMP	NEC	NATIONAL ELECTRICAL CODE
AFF	ABOVE FINISHED FLOOR	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
AIC	AMPS INTERRUPTING CAPACITY	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ATS	AUTOMATIC TRANSFER SWITCH	NFSS	NONE FUSED SAFETY SWITCH
CB	CIRCUIT BREAKER	P	POLE
CKT	CIRCUIT	PH	PHASE
CU	COPPER	UL	UNDERWRITERS LABORATORY
DN	DOWN	V	VOLT
EC	EMPTY CONDUIT	VA	VOLT AMPS
FSS	FUSED SAFETY SWITCH	W	WATTS
GFI	GROUND FAULT INTERRUPTER	WP	WEATHERPROOF
GND	GROUND	XFMR	TRANSFORMER
HP	HORSE POWER		
IG	ISOLATED GROUND		
KVA	KILOVOLT AMPS		
KW	KILOWATTS		

"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15266, Expiration Date: 02-11-2009."



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ELECTRICAL COVER SHEET

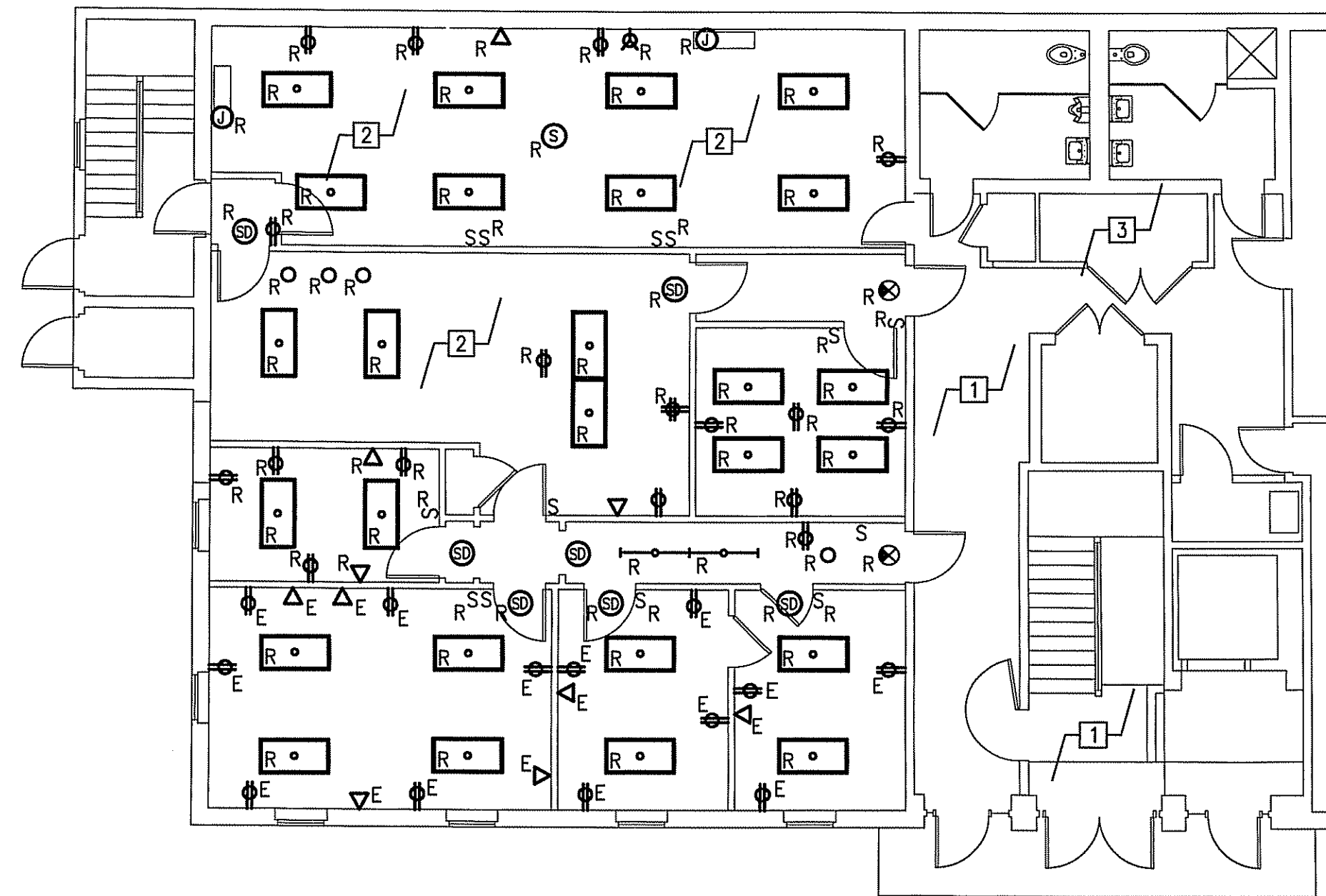
E-1

DEMOLITION/NEW WORK LEGEND:

- E DENOTES EXISTING TO REMAIN.
- R DENOTES EXISTING TO BE REMOVED.
- RE DENOTES EXISTING TO BE RELOCATED.*
- ER DENOTES NEW LOCATION OF EXISTING RELOCATED.*
- N DENOTES NEW TO MATCH EXISTING.
- * EXTEND (E) BRANCH CIRCUIT AS REQUIRED.

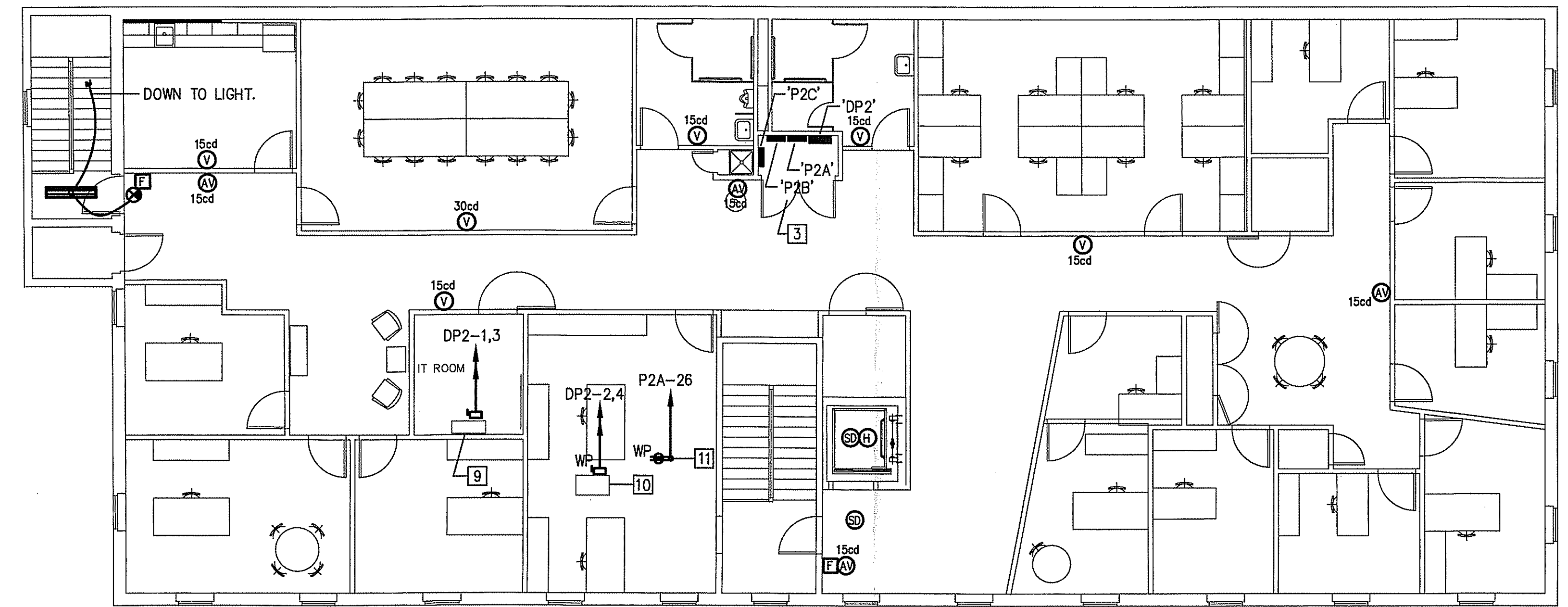
DEMO PLAN KEYED NOTES:

- 1 EXISTING ELECTRICAL IN THIS AREA, LIGHTING, EGRESS LIGHTING, WIRING DEVICES, FIRE ALARM DEVICES, ETC. TO REMAIN, UNLESS OTHERWISE NOTED.
- 2 ALL EXISTING ELECTRICAL THIS AREA TO BE REMOVED COMPLETE, UNLESS OTHERWISE NOTED.
- 3 EXISTING ELECTRIC EQUIPMENT. SEE DEMOLITION RISER ON DRAWING E-3.



FIRST FLOOR PLAN-DEMOLITION

SCALE: 1/8" = 1'-0"

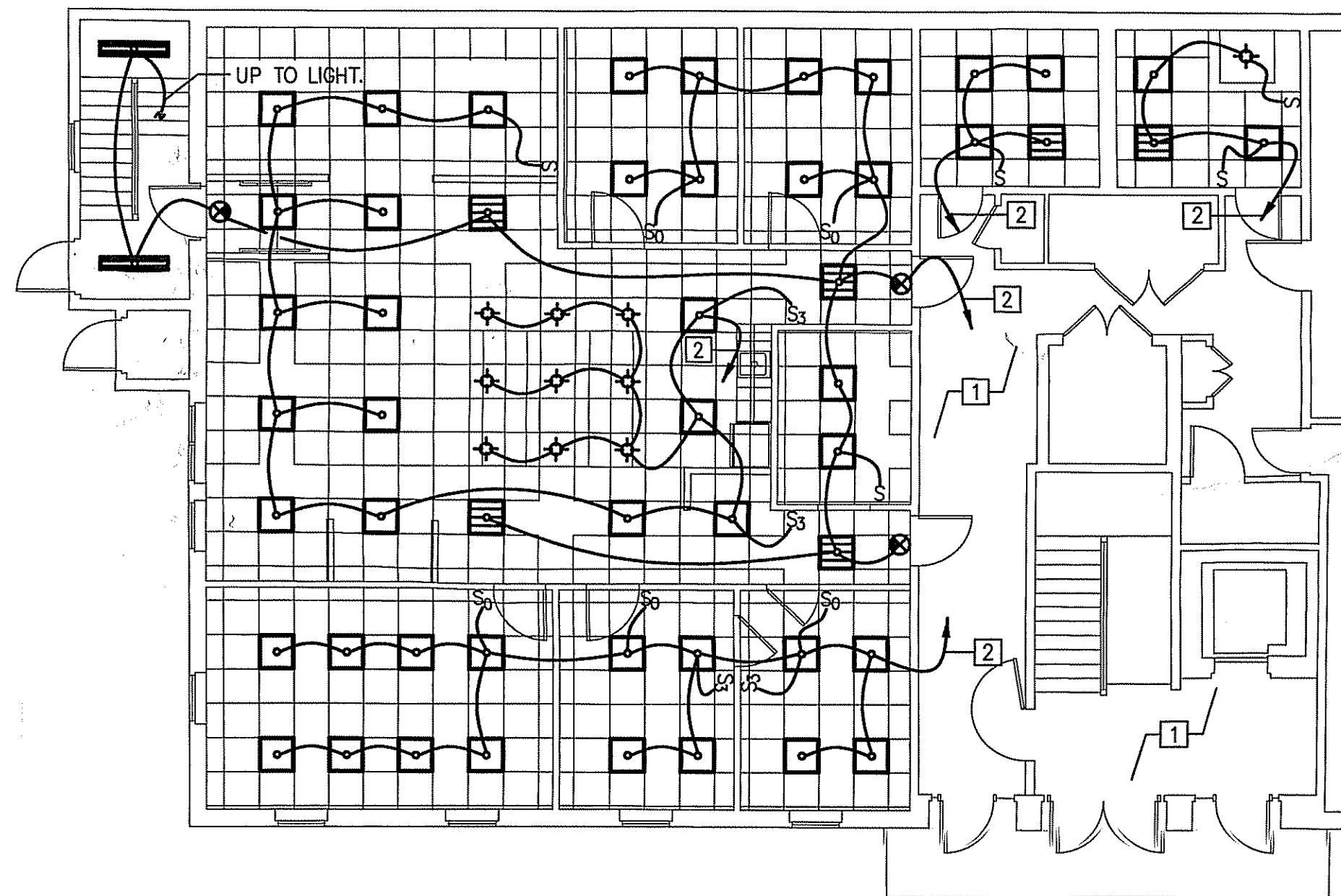


SECOND FLOOR PLAN-POWER

SCALE: 1/8" = 1'-0"

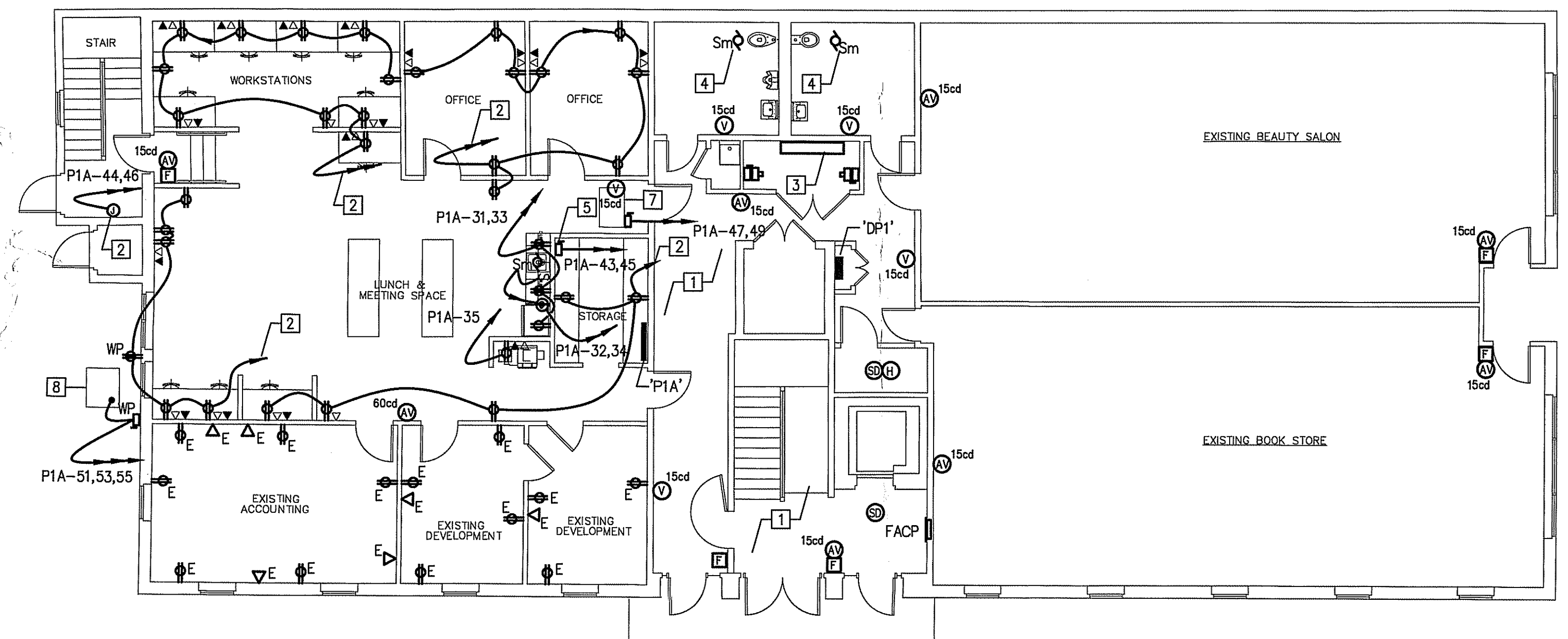
NEW WORK LIGHTING PLAN NOTES:

- 1 EXISTING LIGHTING, EMERGENCY LIGHTING, AND EXIT LIGHTING THIS AREA TO REMAIN, UNLESS OTHERWISE NOTED.
- 2 CONNECT TO EXISTING NORMAL 120V LIGHTING CIRCUIT PREVIOUSLY SERVING THIS AREA. CIRCUIT NOT TO EXCEED 16A, 3#12 IN 3/4" CONDUIT.



FIRST FLOOR PLAN-LIGHTING

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN-POWER

SCALE: 1/8" = 1'-0"

NEW WORK POWER PLAN NOTES:

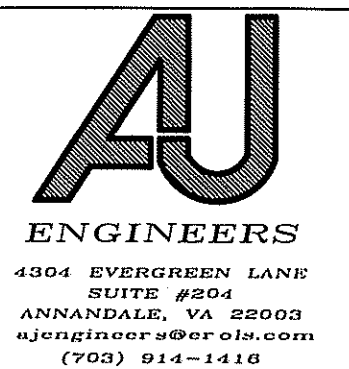
- 1 EXISTING WIRING DEVICES, SPEAKERS, FIRE ALARM DEVICES, ETC. THIS AREA TO REMAIN, UNLESS OTHERWISE NOTED.
- 2 CONNECT TO EXISTING NORMAL 120V BRANCH CIRCUIT PREVIOUSLY SERVING THIS AREA. CIRCUIT NOT TO EXCEED 16A, 3#12 IN 3/4" CONDUIT.
- 3 NEW ELECTRIC EQUIPMENT. SEE RISER DIAGRAM ON DRAWING E-3.
- 4 NEW EXHAUST FAN TO REPLACE EXISTING. CONNECT TO EXISTING BRANCH CIRCUIT. 113W, 120V, 1Ø.
- 5 NEW WATER HEATER, 2KW, 208V, 1Ø.
- 6 NEW WALL HEATER, 2KW, 208V, 1Ø.
- 7 NEW AHU-2, 1/2HP, 7.5KW, 208V, 1Ø.
- 8 NEW HP-2, 14.0MCA, 20MOCP, 208V, 3Ø.
- 9 NEW AC-1, 1.0MCA, 15MOCP, 208V, 1Ø.
- 10 NEW CU-1 ON ROOF, 14.0MCA, 15MOCP, 208V, 1Ø.
- 11 NEW GFI, WP, DUPLEX RECEPTACLE ON ROOF. MOUNT ON 12" CONDUIT STUB-UP.
- 12 NEW COMBINATION FIRE ALARM CONTROL AND ANNUNCIATOR PANEL. SEE RISER DIAGRAM ON DRAWING E-3.

LIGHTING & POWER PLANS NOTE:

CONTRACTOR SHALL IDENTIFY EXISTING BRANCH CIRCUITS AND PANELBOARDS PREVIOUSLY SERVING THIS AREA, AND TRACE EXISTING CIRCUITS TO VERIFY SOURCE, UPDATE PANEL DIRECTORY, AND PANEL SCHEDULES ON THE AS BUILT DRAWINGS.

LIGHTING FIXTURE SCHEDULE								
FIXTURE DESIGNATION	FIXTURE TYPE	MANUFACTURER	CATALOG NO.	LAMP		VOLTS	MOUNTING	REMARKS
				NO.	TYPE			
□	2 X 2 FLUORESCENT LIGHT	LITHONIA	2PM3N-G-B-317-9-LD-GEB10IS	3	17W/T8/35	120	RECESS	
□	2 X 2 FLUORESCENT LIGHT	LITHONIA	2PM3N-G-B-317-9-LD-GEB10IS-EL	3	17W/T8/35	120	RECESS	WITH EMER BATTERY BACK-UP
□	1 X 4 FLUORESCENT LIGHT	LITHONIA	AW-232-AR-GEB10IS-EL	2	32W/T8/35	120	SURFACE	WITH EMER BATTERY BACK-UP
⊕	6" FLUORESCENT DN LIGHT	LITHONIA	AF-2/26DTT-6-AR-GEB10	2	26W/DTT	120	RECESS	
⊕	LED EXIT LIGHT	LITHONIA	LQM-S-W-1-R-ELN		INCLUDED	120	SURFACE	WITH EMER BATTERY BACK-UP

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PANEL 'DP2' 208/120 VOLTS 3 PHASE 4 WIRE 600 AMPS (NEW) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 42K STD. FRAME YES LOCATION: ELECTRIC CLOSET (2nd FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
(N) AC-1	0.4	2	1	1	2	2	1	20	2.3	(N) CU-1	
EXISTING	2.0	2	15	3	4	2	15	5.0		EXISTING	
SPARE	0.0	2	20	7	6	2	50	0.0		SPARE	
(E) ELEVATOR	3.8	3	13	1	10	2	20	10.0		(E) COND UNIT	
(N) PANEL 'P2C'	8.2	3	17	1	18	3	40	0.0		SPARE	
(N) PANEL 'P2A'	14.4	3	19	1	20	3	40	14.4		(N) PANEL 'P2B'	
(E) RTU-1	50.4	3	31	1	32	3	175	50.4		(E) RTU-2	
SPACE	0.0	3	37	1	38	3	40	0.0		SPACE	
* PROVIDE SHUNT TRIP CIRCUIT BREAKER AND TIE INTO ELEVATOR CONTROLLER. TOTAL LOAD: 161.3 KVA = 448.1 AMP.											

PANEL 'P2A' 208/120 VOLTS 3 PHASE 4 WIRE 100 AMPS (NEW) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 10K STD. FRAME YES LOCATION: ELECTRIC CLOSET (2nd FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
EXISTING	0.6	1	20	1	2	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	3	4	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	5	6	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	7	8	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	9	10	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	11	12	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	13	14	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	15	16	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	17	18	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	19	20	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	21	22	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	23	24	1	20	0.6		EXISTING	
SPARE	0.0	1	20	25	26	1	20	0.2		(N) RECEPT ON ROOF	
SPARE	0.0	1	20	27	28	1	20	0.0		SPARE	
SPARE	0.0	1	20	29	30	1	20	0.0		SPARE	
TOTAL LOAD: 14.4 KVA = 40.0 AMP.											

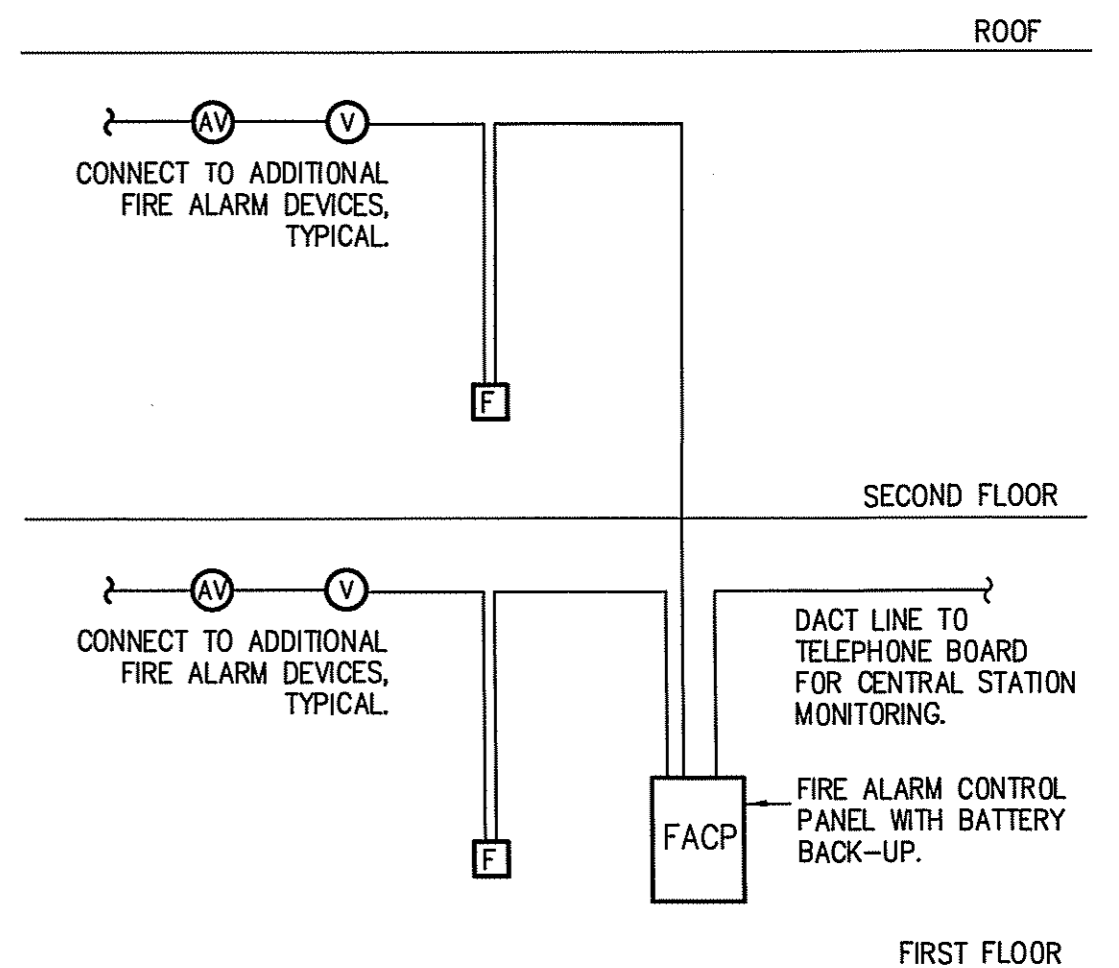
PANEL 'P2B' 208/120 VOLTS 3 PHASE 4 WIRE 100 AMPS (NEW) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 10K STD. FRAME YES LOCATION: ELECTRIC CLOSET (2nd FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
EXISTING	0.6	1	20	1	2	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	3	4	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	5	6	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	7	8	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	9	10	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	11	12	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	13	14	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	15	16	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	17	18	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	19	20	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	21	22	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	23	24	1	20	0.6		EXISTING	
SPARE	0.0	1	20	25	26	1	20	0.0		SPARE	
SPARE	0.0	1	20	27	28	1	20	0.0		SPARE	
SPARE	0.0	1	20	29	30	1	20	0.0		SPARE	
TOTAL LOAD: 14.4 KVA = 40.0 AMP.											

PANEL 'P2C' 208/120 VOLTS 3 PHASE 4 WIRE 100 AMPS (NEW) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 10K STD. FRAME YES LOCATION: ELECTRIC CLOSET (2nd FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
EXISTING	0.6	1	20	1	2	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	3	4	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	5	6	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	7	8	1	20	0.0		SPARE	
SPARE	0.0	1	20	9	10	1	20	0.0		SPARE	
SPARE	0.0	1	20	11	12	1	20	0.0		SPARE	
EXISTING	2.0	2	13	1	14	2	20	2.0		EXISTING	
SPACE	0.0	1	17	1	18	1	20	0.0		SPACE	
SPACE	0.0	1	19	1	20	1	20	0.0		SPACE	
SPACE	0.0	1	21	1	22	1	20	0.0		SPACE	
SPACE	0.0	1	23	1	24	1	20	0.0		SPACE	
TOTAL LOAD: 8.2 KVA = 22.8 AMP.											

PANEL 'DP1' 208/120 VOLTS 3 PHASE 4 WIRE 400 AMPS (NEW) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 42K STD. FRAME YES LOCATION: ELECTRIC CLOSET (1st FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
EXISTING	2.0	2	1	1	2	2	20	2.0		EXISTING	
EXISTING	2.0	2	5	1	6	2	20	2.0		EXISTING	
EXISTING	2.0	2	7	1	8	2	20	2.0		EXISTING	
EXISTING	2.0	2	9	1	10	2	20	2.0		EXISTING	
EXISTING	2.0	2	11	1	12	2	20	2.0		EXISTING	
EXISTING	2.0	2	13	1	14	2	20	2.0		EXISTING	
EXISTING	3.0	2	17	1	18	2	30	3.0		EXISTING	
EXISTING	3.0	2	19	1	20	2	30	3.0		EXISTING	
EXISTING	7.5	2	25	1	26	2	60	10.0		EXISTING	
EXISTING	10.0	2	27	1	28	2	60	10.0		EXISTING	
SPARE	0.0	2	31	1	32	3	30	0.0		SPACE	
(N) PANEL 'P1A'	41.0	3	37	1	38	3	40	10.0		EXISTING	
TOTAL LOAD: 109.5 KVA = 304.2 AMP.											

PANEL 'P1A' 208/120 VOLTS 3 PHASE 4 WIRE 225 AMPS (SECTION 1) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 10K STD. FRAME YES LOCATION: ELECTRIC CLOSET (1st FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
EXISTING	0.6	1	20	1	2	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	3	4	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	5	6	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	7	8	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	9	10	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	11	12	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	13	14	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	15	16	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	17	18	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	19	20	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	21	22	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	23	24	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	25	26	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	27	28	1	20	0.6		EXISTING	
EXISTING	0.6	1	20	29	30	1	20	0.6		EXISTING	
(N) RECEPTACLES	1.5	1	20	31	32	1	20	0.8		(N) DISPOSER	
(N) RECEPTACLES	1.5	1	20	33	34	1	20	1.2		(N) DISHWASHER	
(N) RECEPTACLES	1.2	1	20	35	36	1	20	0.0		(N) FACP	
SPARE	0.0	1	20	37	38	1	20	0.0		SPARE	
SPARE	0.0	1	20	39	40	1	20	0.0		SPARE	
SPARE	0.0	1	20	41	42	1	20	0.0		SPARE	
TOTAL LOAD: 41.0 KVA = 113.9 AMP.											

PANEL 'P1A' 208/120 VOLTS 3 PHASE 4 WIRE 225 AMPS (SECTION 2) SOLID NEUTRAL: YES NEMA TYPE: 1 MCB(MLO) GROUND BUS: YES A.I.C. SYM 10K STD. FRAME YES LOCATION: ELECTRIC CLOSET (1st FL) MOUNTING SURFACE											
REMARKS: (N) PANEL TO REPLACE (E), EXTEND AND RECONNECT (E) BRANCH CIRCUITS AS REQUIRED.											
DESCRIPTION	CONNECTED KVA	C.B. AMPS	NO.	TRIP	NO.	C.B. AMPS	NO.	TRIP	CONNECTED KVA	DESCRIPTION	
(N) WATER HEATER	2.0	2	43	1	44	2	20	2.0		(N) WALL HEATER	
(N) AHJ-2	8.7	2	47	1	48	2	60	0.0		SPARE	
SPARE	0.0	2	51	1	52	2	20	0.0		SPARE	
(N) HP-2	4.1	3	55	1	56	3	20	0.0		SPARE	
SPACE	0.0	1	59	1	60	1	20	0.0		SPACE	
SPACE	0.0	1	61	1	62	1	20	0.0		SPACE	
SPACE	0.0	1	63	1	64	1	20	0.0		SPACE	
SPACE	0.0	1	65	1	66	1	20	0.0		SPACE	
SPACE	0.0	1	67	1	68	1	20	0.0		SPACE	
SPACE	0.0	1	69	1	70	1	20	0.0		SPACE	
SPACE	0.0	1	71	1	72	1	20	0.0		SPACE	
SPACE	0.0	1	73	1	74	1	20	0.0		SPACE	
SPACE	0.0	1	75	1	76	1	20	0.0		SPACE	
SPACE	0.0	1	77	1	78	1	20	0.0		SPACE	
SPACE	0.0	1	79	1	80	1	20	0.0		SPACE	
SPACE	0.0	1	81	1	82	1	20	0.0		SPACE	
SPACE	0.0	1	83	1	84	1	20	0.0		SPACE	
TOTAL LOAD: 41.0 KVA = 113.9 AMP.											



FIRE ALARM RISER DIAGRAM
SCALE: NONE

- FIRE ALARM GENERAL NOTES:
- THIS FIRE ALARM RISER SHOWS THE INTENT OF THE WORK. REFER TO FLOOR PLAN DRAWINGS FOR MORE DEVICES. SUBMIT SHOP DRAWINGS FOR APPROVAL OF FIRE MARSHALL. PROVIDE ADDITIONAL DEVICES AS REQUIRED BY FIRE MARSHALL EITHER DURING PLAN REVIEW PHASE OR DURING INSPECTIONS, AS PART OF THIS CONTRACT.
 - ALL AUDIO / VISUAL DEVICES SHALL BE INSTALLED PER AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. ALL SMOKE DETECTORS SHALL BE INSTALLED PER NFPA 72E/1999 EDITION.
 - THE FIRE ALARM SYSTEM SHALL BE MANUFACTURED BY SIMPLEX OR EQUAL.

NOTE:
ALL WORK SHALL BE DONE WITH THE LEAST INTERRUPTION TO JUBILEE AND THE OTHER TENANTS. ELECTRIC SERVICE DOWN TIME SHALL BE DONE IN OFF HOURS. COORDINATE ALL WORK AND REQUIREMENTS WITH JUBILEE, TENANTS, AND PEPCO.

CONDUIT & WIRE SIZE SCHEDULE (UNLESS OTHERWISE SHOWN)					
CIRCUIT BREAKER	GROUND WIRE SIZE	1 OR 2 POLE		3 POLE	
		CONDUIT SIZE	WIRE SIZE	CONDUIT SIZE	WIRE SIZE
20A	#12	3/4"	#12	3/4"	#12
30A	#10	3/4"	#10	3/4"	#10
40A	#10	3/4"	#10	3/4"	#10
50A	#10	1"	#8	1"	#8
60A					



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 09/11/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493246 – Window and HVAC installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the September 10, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jubilee Association
Address: 10408 Montgomery Avenue, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

A

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID P. CONRAD AIA

Daytime Phone No.: 202 526 8855

Tax Account No.: 01018625

Name of Property Owner: JUBILEE ASSOCIATION Daytime Phone No.: 301 949 8628

Address: 10408 MONTGOMERY AVE. KENSINGTON MD 20895
Street Number City State Zip Code

Contractor: TO BE DETERMINED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____

Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10408 Street: MONTGOMERY AVE

Town/City: KENSINGTON Nearest Cross Street: KENSINGTON PARKWAY

Lot: 264P5 Block: 2 Subdivision: KENSINGTON PARK

Liber: 5281 Folio: 311 Parcel: PLAT BK B, PLAT No. 4

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> AAC | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Blaze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 250,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David P. Conrad
Signature of owner or authorized agent

14 AUGUST 08
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 9-11-08

Application/Permit No.: 493096 Date Filed: 8/14/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

10408 MONTGOMERY AVE IS A 2-STORY MASONRY
& STEEL JOIST STRUCTURE AT THE END OF A ROW OF
COMMERCIAL/MERCANTILE BUILDINGS IN KENSINGTON.
IT WAS INITIALLY CONSTRUCTED AS A ONE STORY
BUILDING IN 1975. A FEW YEARS LATER A SECOND
STORY WAS ADDED. IT IS A SIMPLE BACKGROUND
BUILDING.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED PROJECT IS LARGELY AN INTERIOR RENOVATION
OF OFFICE SPACE, TOILET ROOMS & ELECTRICAL SERVICE
PANELS. THE PROJECT INCLUDES INSTALLATION OF AN ADDITIONAL
HVAC UNIT & THE ENLARGEMENT OF AN EXISTING WINDOW.
BOTH THE HVAC UNIT & WINDOW ALTERATION ARE ON THE REAR
OF THE BUILDING & HAVE MINIMAL IMPACT ON THE HISTORIC DISTRICT

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10408 Montgomery Avenue, Kensington	Meeting Date:	9/10/08
Resource:	Secondary Resource Kensington Historic District	Report Date:	9/03/08
Applicant:	Jubilee Association	Public Notice:	8/27/08
Review:	HAWP	Tax Credit:	None
Case Number:	31/6-08H	Staff:	Anne Fothergill
Proposal:	Window and HVAC installation at rear of building		

STAFF RECOMMENDATION

- Approval**
 Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Secondary Resource within the Kensington Historic District
STYLE: Commercial
DATE: 1975

PROPOSAL

The applicants are proposing two alterations at the rear of the non-historic building: installation of a new aluminum window to match existing windows and installation of a second HVAC unit adjacent to the existing unit.

STAFF RECOMMENDATION

Staff recommendation of **approval** is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private

utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: DAVID P. CONRAD AIA
Daytime Phone No.: 202 526 8855

Tax Account No.: 01018625
Name of Property Owner: JUBILEE ASSOCIATION Daytime Phone No.: 301 949 8628
Address: 10408 MONTGOMERY AVE. KENSINGTON MD 20895
Street Number City State Zip Code
Contractor: TO BE DETERMINED Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10408 Street: MONTGOMERY AVE
Town/City: KENSINGTON Nearest Cross Street: KENSINGTON PARKWAY
Lot: 26495 Block: 2 Subdivision: KENSINGTON PARK
Liber: 5781 Folio: 311 Parcel: PLAT BK B, PLAT No. 4

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 250,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Conrad
Signature of owner or authorized agent

14 August 08
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

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- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

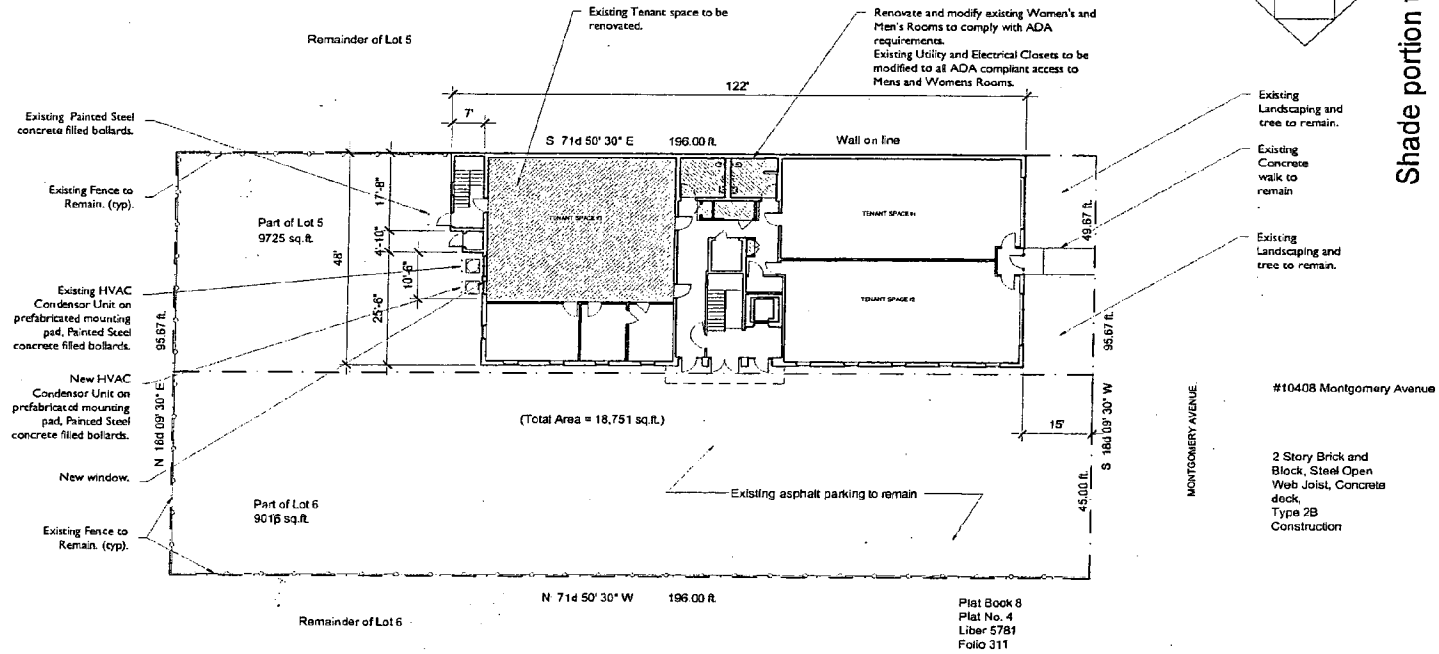
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address BARBARA SCHMIDT JUBILEE ASSOCIATION 10408 MONTGOMERY AVE KENSINGTON, MD 20895</p>	<p>Owner's Agent's mailing address DP Conrad, Architect 1216 UPSHUR ST NE WASHINGTON DC 20017</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>FIRST NATIONAL BANK OF MD c/o MAT BANK/CORP SERV FSU 1 MAT PLAZA SUITE 10 BUFFALO, NY 14203-2301</p>	<p>KENSINGTON ST. INT. VENTURE 10405 MONTGOMERY AVE. KENSINGTON, MD 20895</p>
<p>DOUGLAS J. DONATELLI MARY C. DONATELLI 10400 MONTGOMERY AVE KENSINGTON, MD 20895</p>	<p>CARL MAHANY, et al 10410 MONTGOMERY AVE KENSINGTON, MD 20895</p>
<p>BRIAN G KAHIN JULIA C ROYALL 10405 FAWCETT ST KENSINGTON, MD 20895</p>	<p>FRANCIS J & M N ODDNELL 10407 FAWCETT ST KENSINGTON, MD 20895</p>
<p>H. BRUCE & SUSAN C ABBOTT 10409 FAWCETT ST KENSINGTON, MD 20895</p>	

2
SP-1

Site Plan

Scale: 1" = 40'

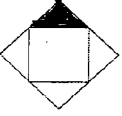
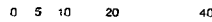


Plat Book 8
Plat No. 4
Liber 5781
Folio 311

Site information taken from:
Location Drawing
Parts of Lots 5&6, Block 2
Kensington Park
Montgomery County, ME
By Snider and Associates
Job No. 97-181
8 Professional Drive
Suite 218
Gaithersburg, MD 20879
Jeffery A Foster Reg #587

SCOPE OF WORK:

Work to include the renovation of a portion of the existing ground floor tenant space, alterations to existing bathrooms to provide ADA accessibility, upgrading of existing electrical panels on first and second floors, alterations to HVAC system including new first floor HVAC unit w/ exterior condenser unit and new HVAC unit for second floor server room w/ roof top condenser unit.



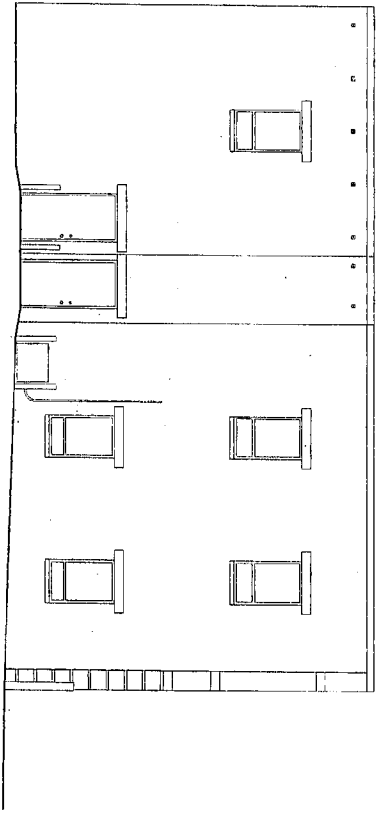
Shade portion to indicate North

- Existing Landscaping and tree to remain.
- Existing Concrete walk to remain
- Existing Landscaping and tree to remain.

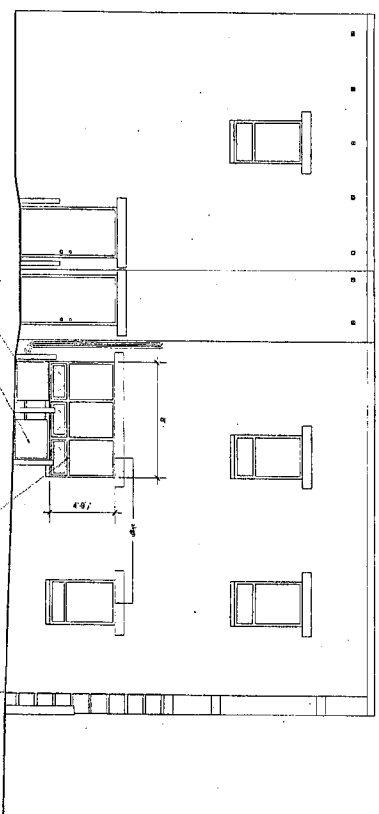
#10408 Montgomery Avenue
2 Story Brick and Block, Steel Open Web Joist, Concrete deck, Type 2B Construction

6

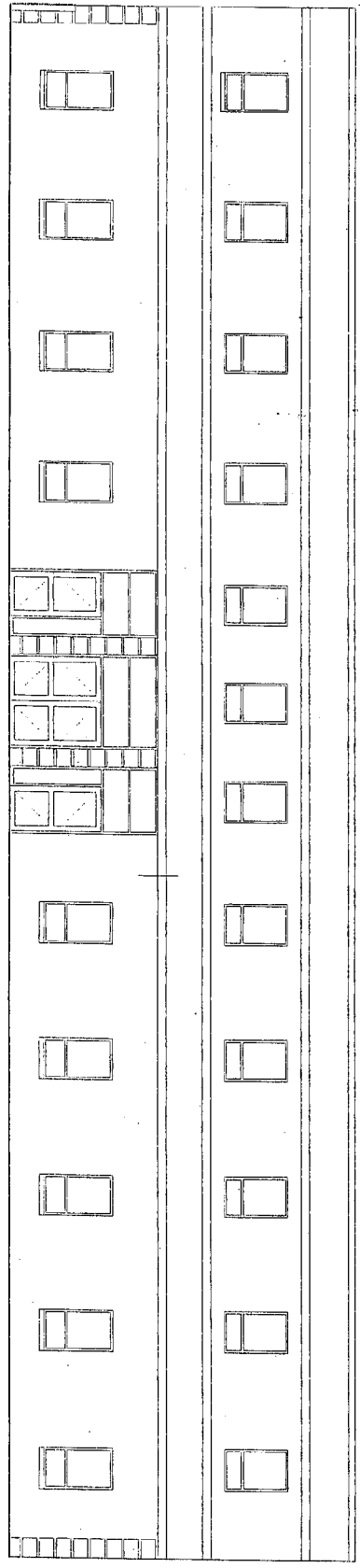
Applicant: DAVID P. CONRAD A.A. FOR
JUBILEE ASSOCIATION.



1
A-21
Existing West Elevation
Scale: 1/8" = 1'-0"



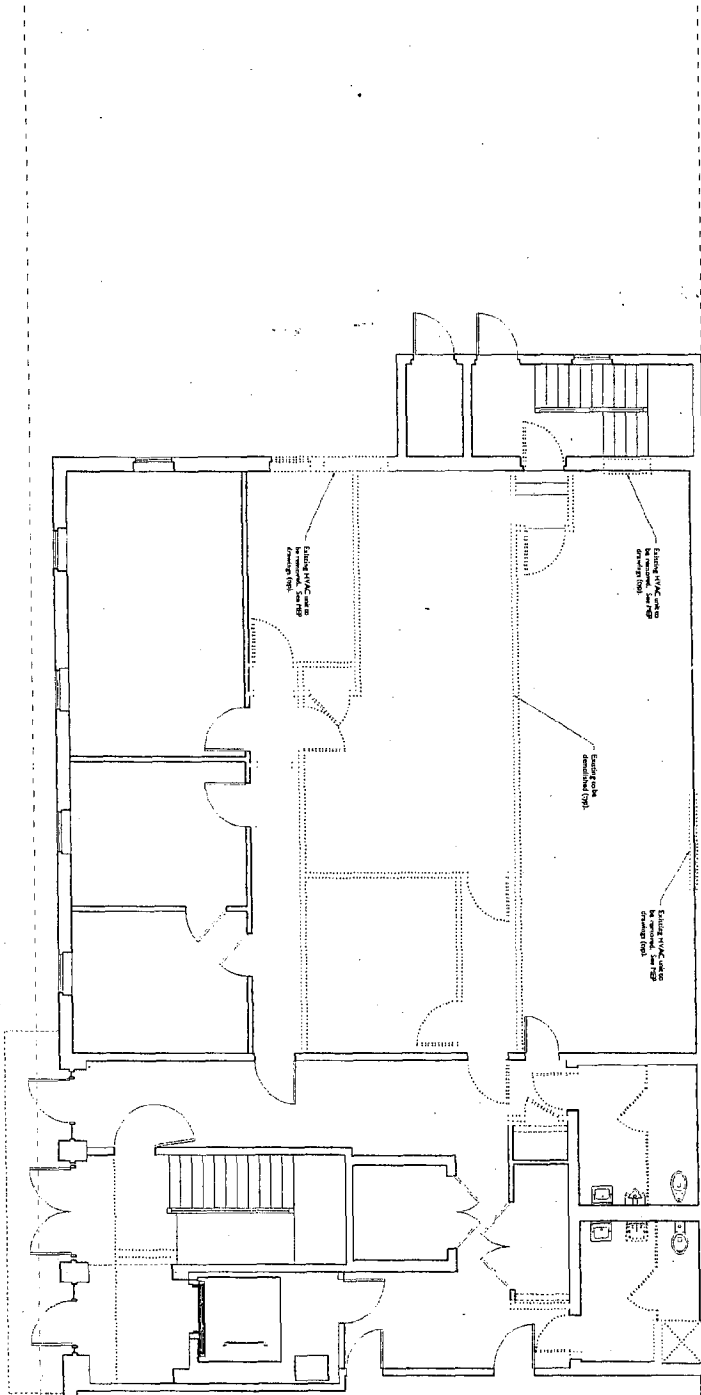
1
A-21
Proposed West Elevation
Scale: 1/8" = 1'-0"



1
A-21
Existing South Elevation
Scale: 1/8" = 1'-0"

9

Demolition Plan
 Scale: 1/8" = 1'-0"



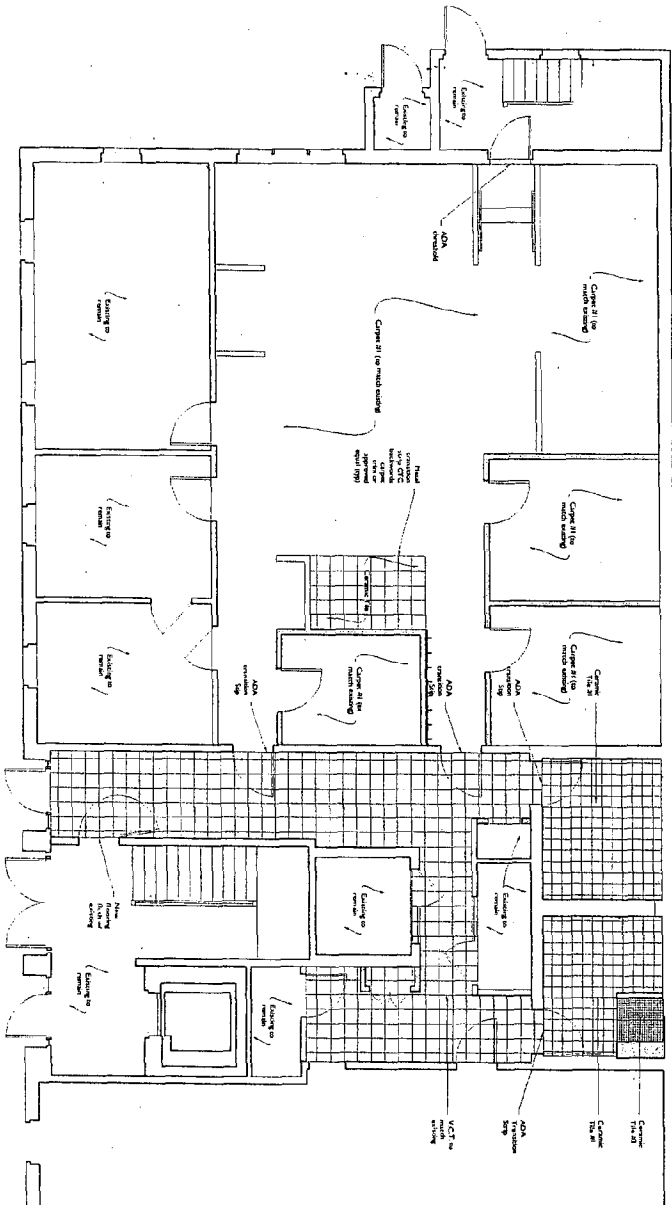
D-1
 1st Floor Demolition Plan
 Scale: 1/8" = 1'-0"

Date:
 Drawn by:
 Checked by:
 3/20/2017

Jubilee Association
 10408 Montgomery Avenue
 Kensington, MD 20895

DPC Conrad, Architect
 1216 Upshur Street NE
 Washington D.C. 20017
 202.739.5293 DPC@architect.com

10



1
AS
Floor Finish Plan
Scale: 1/4" = 1'-0"

10/11/11, See Finish Schedule for all specifications for additional information.

AS

Floor Finishes Plan
Scale: 1/4" = 1'-0"

Drawn by
MJC/11/11

Checked by
MJC/11/11

Date:

Jubilee Association
10408 Montgomery Avenue
Kensington, MD 20895

DPConrad, Architect
1216 Upshur Street NE
Washington D.C. 20017
202.526.1520 DPConrad@aol.com

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Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM STREET



Detail: VIEW OF REAR ELEVATION