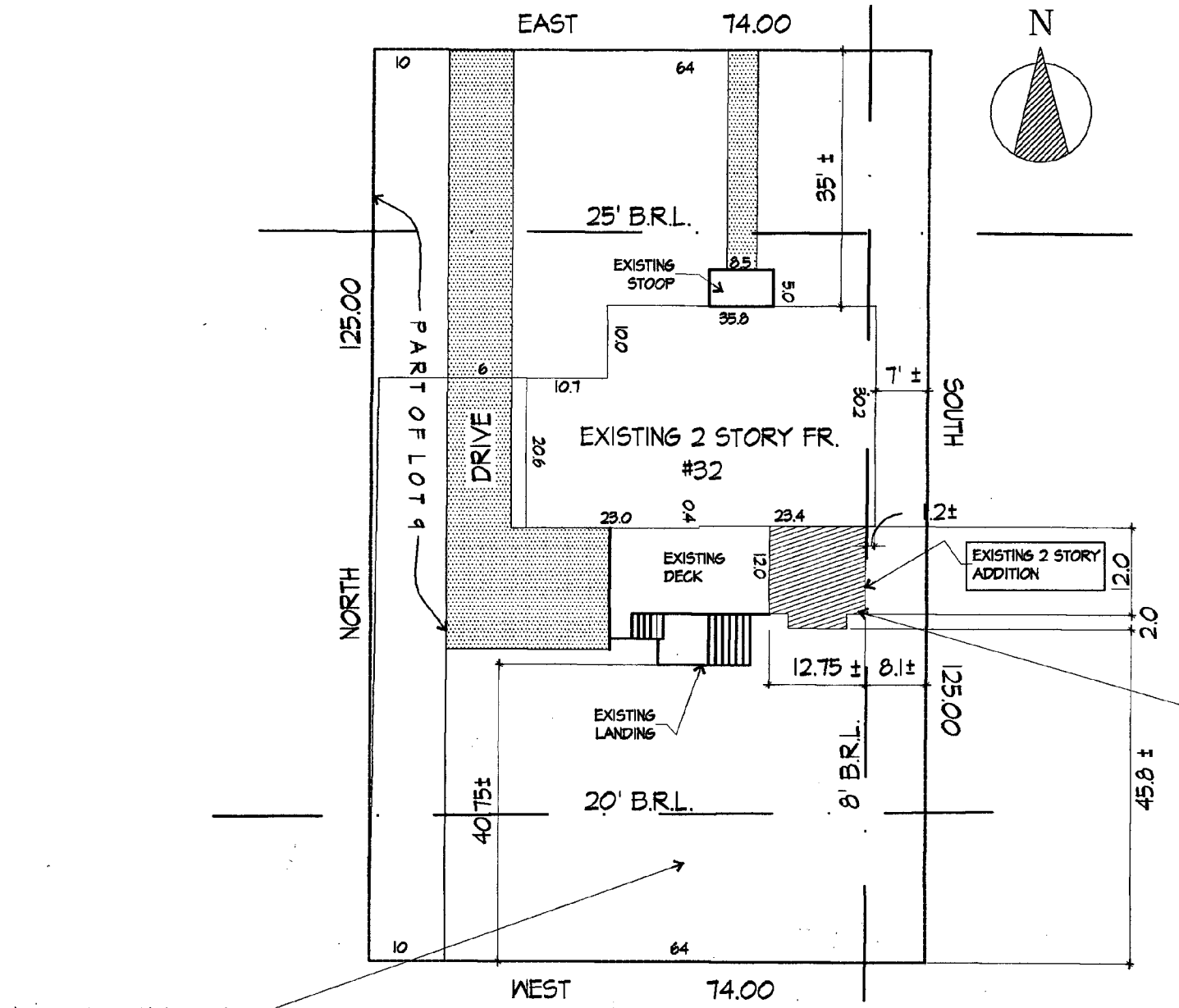


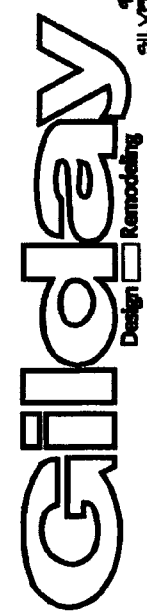
35/13-02K 32 West Irving Street C
(Chevy Chase Village Historic Dist.)



LOT 20 - BLOCK 29
 32 WEST IRVING ST
 CHEVY CHASE, MD

LOT 20 BLK 29
 9250 sf

1 SITE PLAN
 SCALE: 1"=20'

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME
	PROPOSED	6/6/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEVY CHASE, MD. 20815			
SCALE:			
 4162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-999-4600			

CONTENTS OF DRAWINGS

CS	COVER SHEET
A-1	BASEMENT DEMO PLAN
A-2	FIRST FLR. DEMO PLAN
A-3	NEW BASEMENT PLAN
A-4	NEW FIRST FLR. PLAN
A-5	FOUNDATION PLAN/WALL SECTION
A-6	CROSS SECTION
A-7	SOUTH ELEVATION
A-8	EAST ELEVATION
A-9	WEST ELEVATION
A-10	BASEMENT ELECTRICAL PLAN
A-11	FIRST FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

PROJECT LEADER: KEVIN GILDAY
OFFICE- 301-565-4600 x 11

ARCHITECTURAL DESIGN:

ARCHITECT: ROBERT BROOKS, R.A.
OFFICE- 301-565-4600 x 26

INTERIOR DESIGNER: LESLIE ROOSEVELT
OFFICE- 301-565-4600 x 14

REQUIRED BUILDING INSPECTIONS: (NOT INCLUDING SUBCONTRACTOR'S)
CALL 24 HOURS PRIOR - 240 777-6244

1. FRAMING
2. FINAL

GENERAL INFORMATION:

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CABO ONE & TWO
FAMILY DWELLING MODEL CODE, 1996 EDITION
USE GROUP R-4, RESIDENTIAL

INFORMATION SHOWN ON THIS DOCUMENT
INCORPORATES PROPRIETARY RIGHTS
AND IS NOT TO BE DUPLICATED
WHOLLY OR IN PART WITHOUT THE
EXPRESS PERMISSION OF GILDAY DESIGN COMPANY.

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE
APPROXIMATE. ALL TRADES PERSONS INVOLVED WITH THE
WORK MUST FIELD VERIFY ALL PERTINENT INFORMATION,
CONDITIONS AND DIMENSIONS. SEVERE DIFFERENCES SHALL
BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

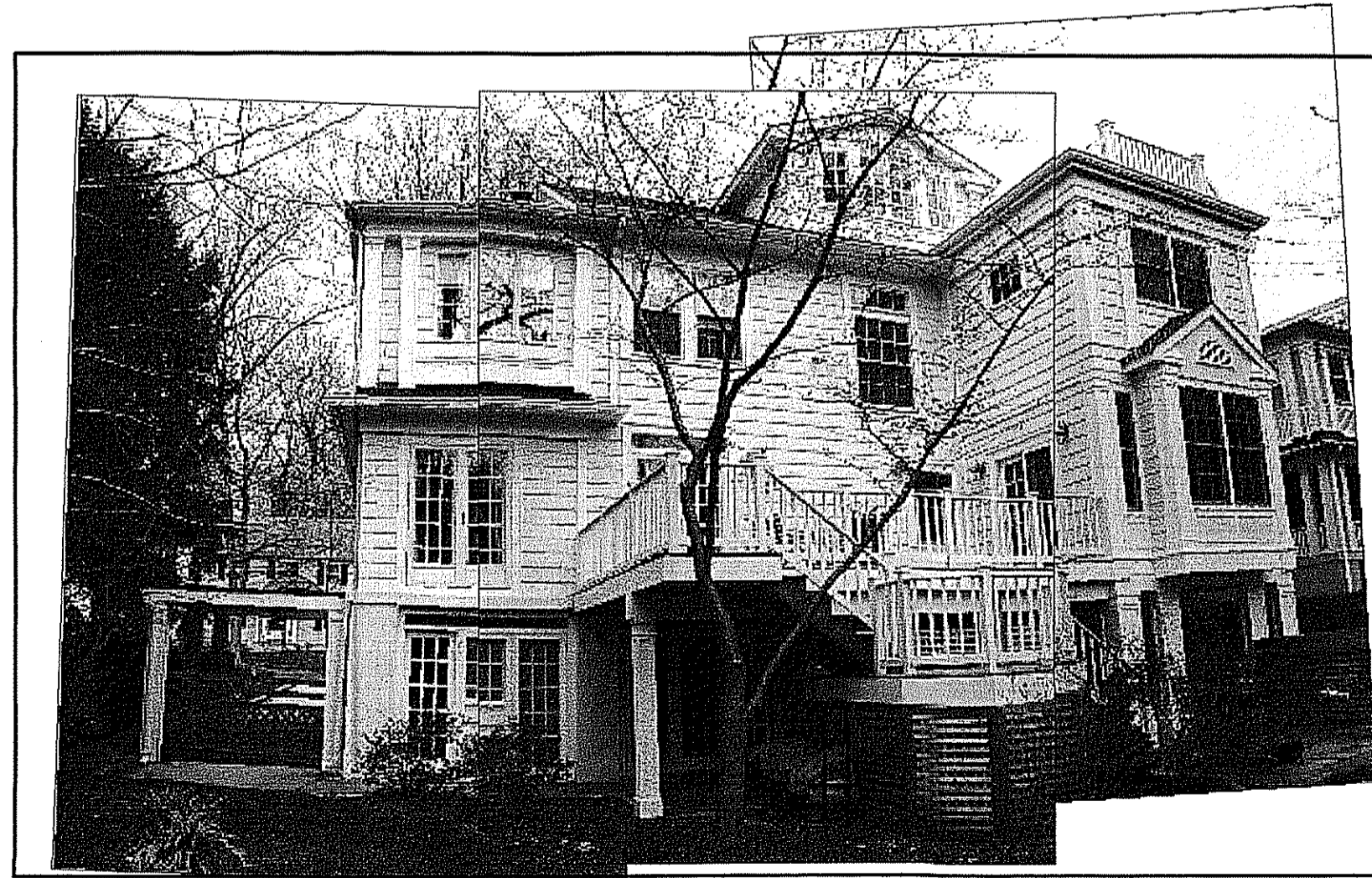
DO NOT SCALE DRAWINGS

CALL MISS UTILITY
BEFORE YOU DIG

KNIGHT RESIDENCE

32 WEST IRVING STREET
CHEVY CHASE, MD. 20815

LOWER LEVEL ADDITION & INTERIOR REMODELING



KNIGHT RESIDENCE-REAR ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission

APPROVED
Montgomery County
Historic Preservation Commission

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES

REVISIONS

DATE

FILE NAME:

PERMIT SET

THE KNIGHT RESIDENCE

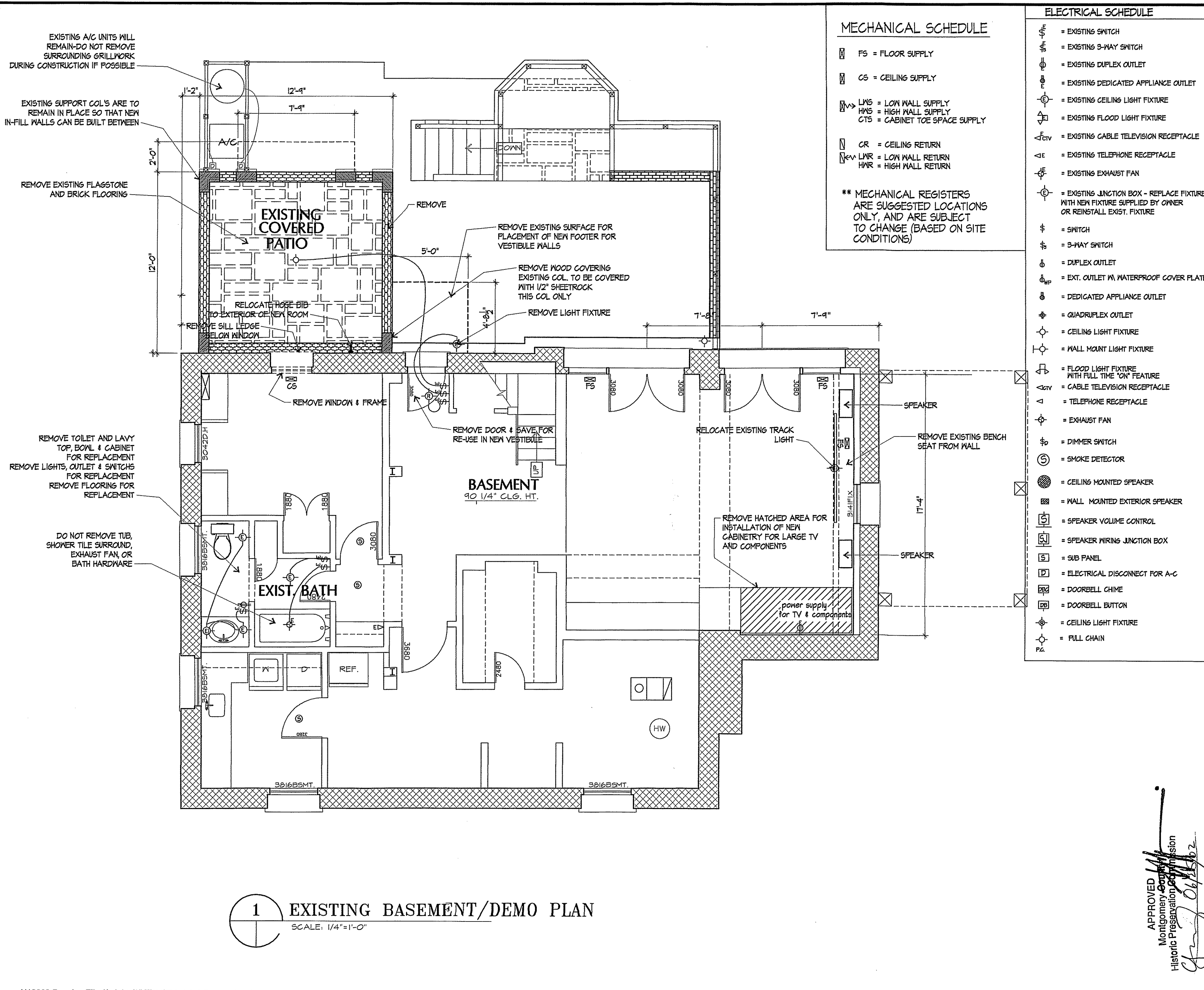
32 WEST IRVING STREET
CHEVY CHASE, MD. 20815

COVER SHEET

CS

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Design Remodeling

1162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600



MECHANICAL SCHEDULE

- FS = FLOOR SUPPLY
- CS = CEILING SUPPLY
- LWS = LOW WALL SUPPLY
- HWS = HIGH WALL SUPPLY
- CTS = CABINET TOE SPACE SUPPLY
- CR = CEILING RETURN
- LWR = LOW WALL RETURN
- HWR = HIGH WALL RETURN

** MECHANICAL REGISTERS ARE SUGGESTED LOCATIONS ONLY, AND ARE SUBJECT TO CHANGE (BASED ON SITE CONDITIONS)

ELECTRICAL SCHEDULE

- SW = EXISTING SWITCH
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- DAO = EXISTING DEDICATED APPLIANCE OUTLET
- CLF = EXISTING CEILING LIGHT FIXTURE
- FLOF = EXISTING FLOOD LIGHT FIXTURE
- CTV = EXISTING CABLE TELEVISION RECEPTACLE
- TE = EXISTING TELEPHONE RECEPTACLE
- EF = EXISTING EXHAUST FAN
- JB = EXISTING JUNCTION BOX - REPLACE FIXTURE WITH NEW FIXTURE SUPPLIED BY OWNER OR REINSTALL EXIST. FIXTURE
- S = SWITCH
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- EXT. DO = EXT. OUTLET W/ WATERPROOF COVER PLATE
- DAO = DEDICATED APPLIANCE OUTLET
- QDO = QUADRUPLUX OUTLET
- CLF = CEILING LIGHT FIXTURE
- WMLF = WALL MOUNT LIGHT FIXTURE
- FLOF = FLOOD LIGHT FIXTURE WITH FULL TIME 'ON' FEATURE
- CTV = CABLE TELEVISION RECEPTACLE
- TE = TELEPHONE RECEPTACLE
- EF = EXHAUST FAN
- S = DIMMER SWITCH
- SD = SMOKE DETECTOR
- CSM = CEILING MOUNTED SPEAKER
- WMS = WALL MOUNTED EXTERIOR SPEAKER
- SV = SPEAKER VOLUME CONTROL
- SMJB = SPEAKER WIRING JUNCTION BOX
- SP = SUB PANEL
- ED = ELECTRICAL DISCONNECT FOR A-C
- DC = DOORBELL CHIME
- DB = DOORBELL BUTTON
- CLF = CEILING LIGHT FIXTURE
- PC = PULL CHAIN

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES

KNIGHT RESIDENCE
32 WEST IRVING ST
CHEVY CHASE, MD.

REVISIONS DATE FILE NAME:

A-1

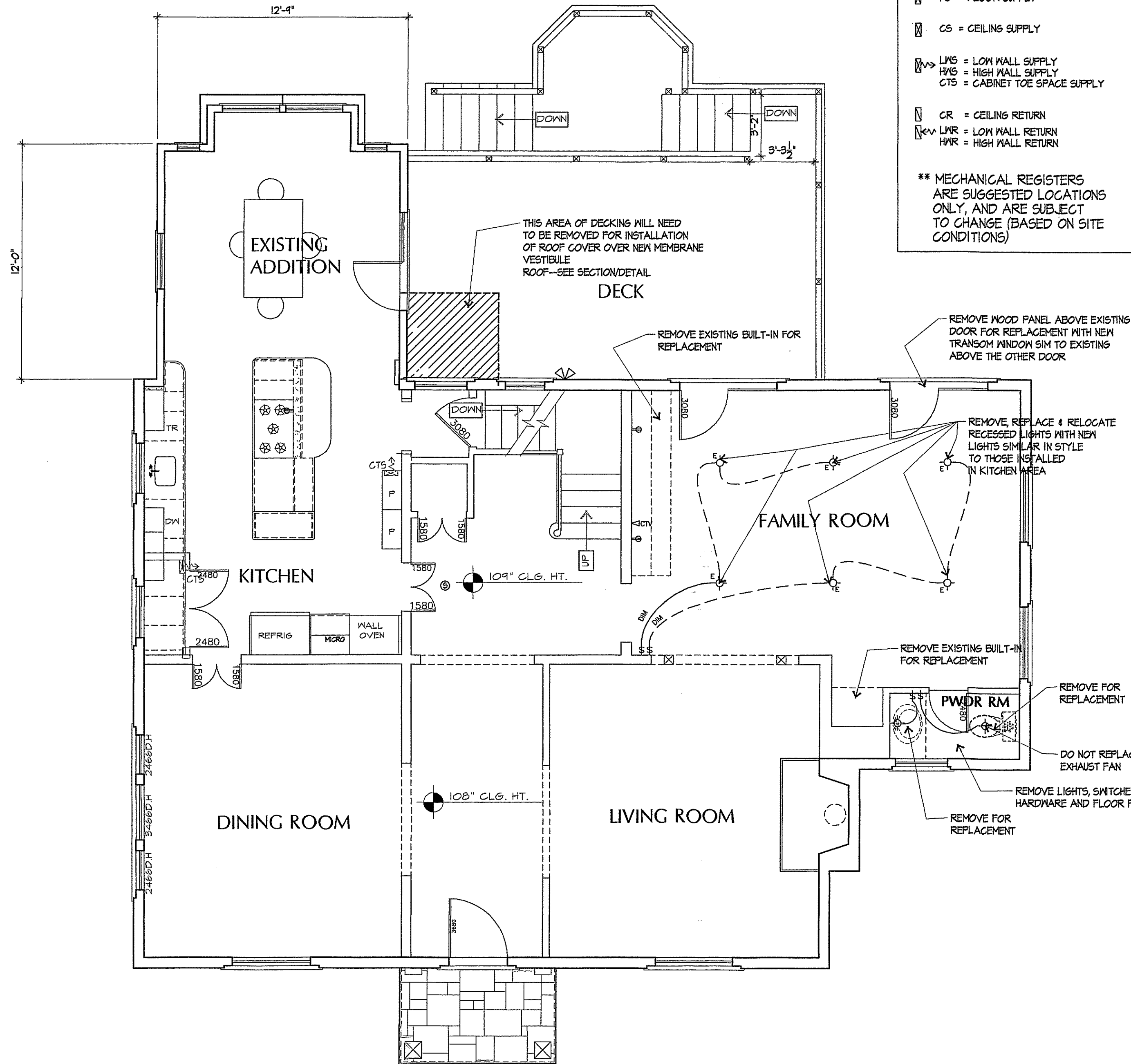
162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

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APPROVED
Montgomery County
Historic Preservation Commission
06/24/2002

SCALE: 1/4" = 1'-0"

1 EXISTING BASEMENT/DEMO PLAN
SCALE: 1/4" = 1'-0"



MECHANICAL SCHEDULE

- FS = FLOOR SUPPLY
- CS = CEILING SUPPLY
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- FLO = EXISTING FLOOD LIGHT FIXTURE
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- TR = EXISTING TELEPHONE RECEPTACLE
- E = EXISTING EXHAUST FAN
- JB = EXISTING JUNCTION BOX - REPLACE FIXTURE WITH NEW FIXTURE SUPPLIED BY OWNER OR REINSTALL EXIST. FIXTURE
- S = SWITCH
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- DO = DUPLEX OUTLET
- EXT. DO = EXT. OUTLET IN WATERPROOF COVER PLATE
- DAO = DEDICATED APPLIANCE OUTLET
- QDO = QUADRUPLUX OUTLET
- CLF = CEILING LIGHT FIXTURE
- MMLF = WALL MOUNT LIGHT FIXTURE
- FLO = FLOOD LIGHT FIXTURE WITH FULL TIME "ON" FEATURE
- CTV = CABLE TELEVISION RECEPTACLE
- TR = TELEPHONE RECEPTACLE
- E = EXHAUST FAN
- DS = DIMMER SWITCH
- SD = SMOKE DETECTOR
- CSM = CEILING MOUNTED SPEAKER
- MMS = WALL MOUNTED EXTERIOR SPEAKER
- SV = SPEAKER VOLUME CONTROL
- SMJ = SPEAKER WIRING JUNCTION BOX
- SP = SUB PANEL
- ED = ELECTRICAL DISCONNECT FOR A-C
- DBCH = DOORBELL CHIME
- DBB = DOORBELL BUTTON
- CLF = CEILING LIGHT FIXTURE
- PC = PULL CHAIN

1 EXISTING FIRST FLOOR
SCALE: 1/4"=1'-0"

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KNIGHT RESIDENCE
32 WEST IRVING ST
CHEY CHASE, MD.

REVISIONS DATE FILE NAME:

A-2

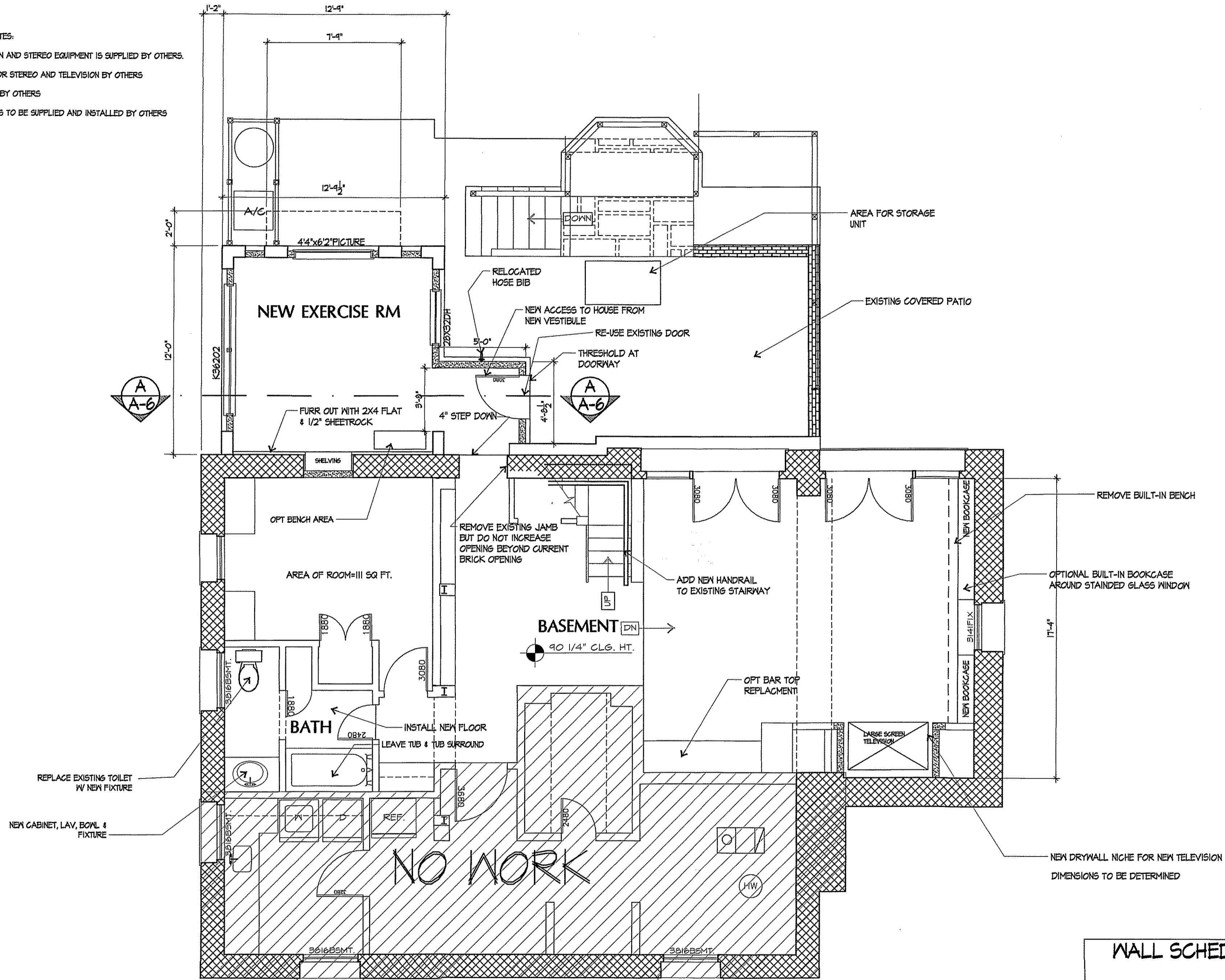
SCALE: 1/4" = 1'-0"

4162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

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APPROVED
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Historic Preservation Commission
06/25/02

- GENERAL NOTES:
1. TELEVISION AND STEREO EQUIPMENT IS SUPPLIED BY OTHERS.
 2. WIRING FOR STEREO AND TELEVISION BY OTHERS
 3. PAINTING BY OTHERS
 4. CARPET IS TO BE SUPPLIED AND INSTALLED BY OTHERS



1 PROPOSED LOWER LEVEL
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

WALL SCHEDULE

- [Dashed line] = EXISTING TO BE DEMOLISHED
- [Solid line] = EXISTING FRAME WALL
- [Cross-hatch] = EXISTING MASONRY WALL
- [Diagonal lines /] = EXISTING BRICK VENEER
- [Diagonal lines \] = NEW BRICK VENEER
- [Stippled] = NEW CMU WALL
- [Dotted] = NEW FRAME WALL

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES

KNIGHT RESIDENCE
32 WEST IRVING ST
CHEY CHASE, MD.

REVISIONS DATE FILE NAME:

1162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

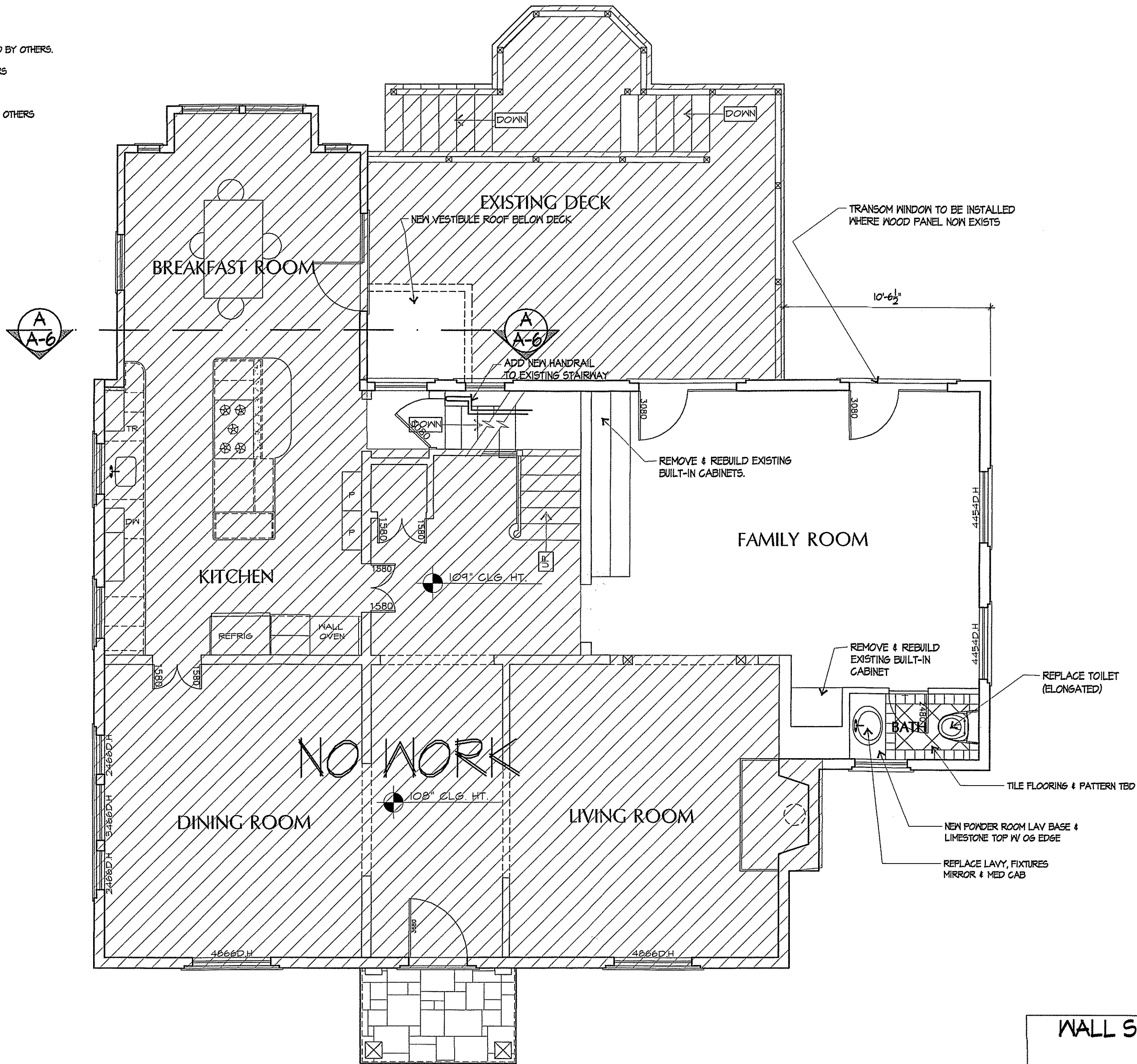
Gilday Design Remodeling

NEW BASEMENT PLAN
SCALE: 1/4" = 1'-0"

A-3

GENERAL NOTES:

1. TELEVISION AND STEREO EQUIPMENT IS SUPPLIED BY OTHERS.
2. WIRING FOR STEREO AND TELEVISION BY OTHERS
3. PAINTING BY OTHERS
4. CARPET IS TO BE SUPPLIED AND INSTALLED BY OTHERS



1 PROPOSED FIRST FLOOR
SCALE: 1/4"=1'-0"

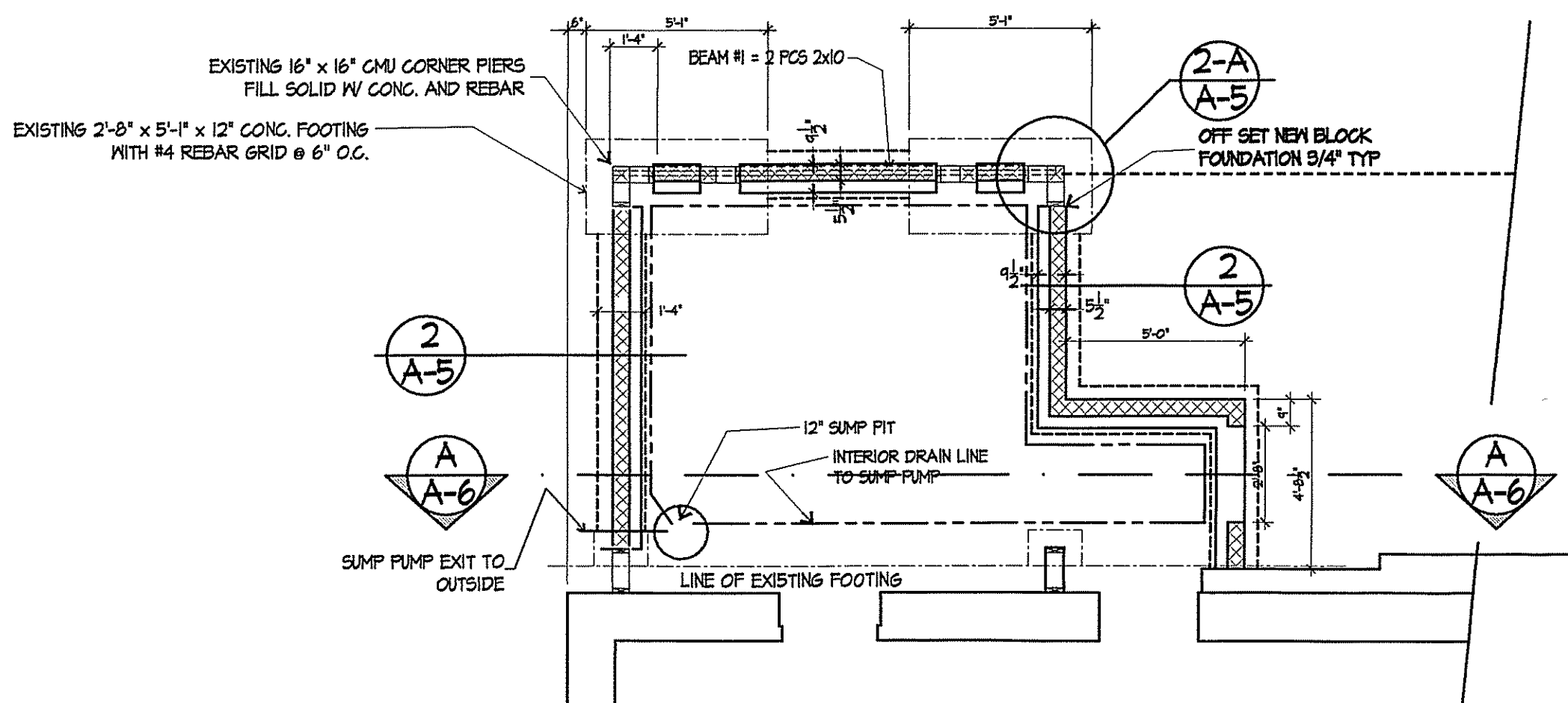
WALL SCHEDULE

	= EXISTING TO BE DEMOLISHED
	= EXISTING FRAME WALL
	= EXISTING MASONRY WALL
	= EXISTING BRICK VENEER
	= NEW BRICK VENEER
	= NEW CMU WALL
	= NEW FRAME WALL

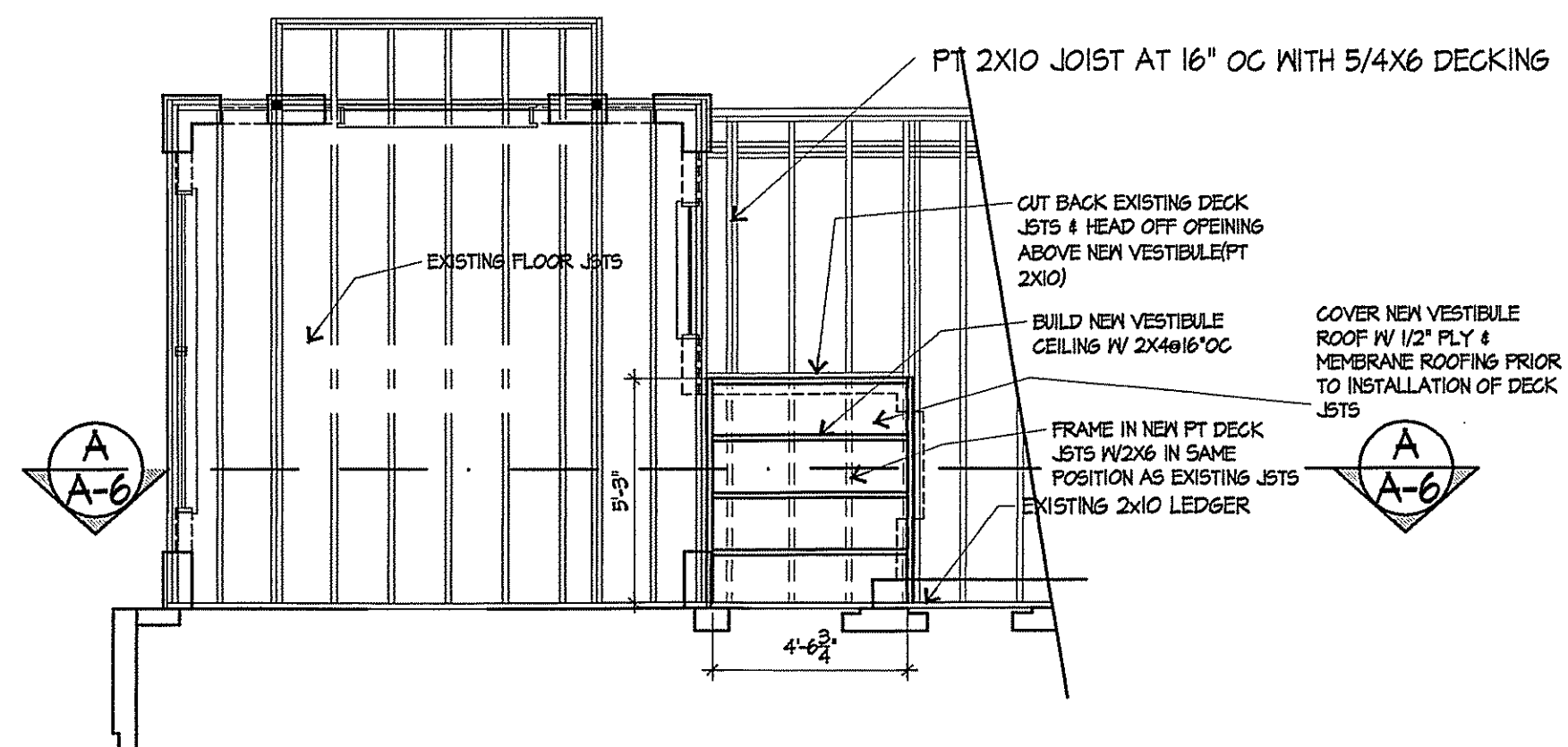
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Montgomery County
Historic Preservation Commission
[Signature] 06/25/02

REVISIONS	DATE	FILE NAME:
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES		
KNIGHT RESIDENCE		
32 WEST IRVING ST		
CHEY CHASE, MD.		
NEW FIRST FLOOR PLAN		
SCALE: 1/4" = 1'-0"		
A-4		

9162 BROOKVILLE ROAD
 SILVER SPRING, MARYLAND 20910
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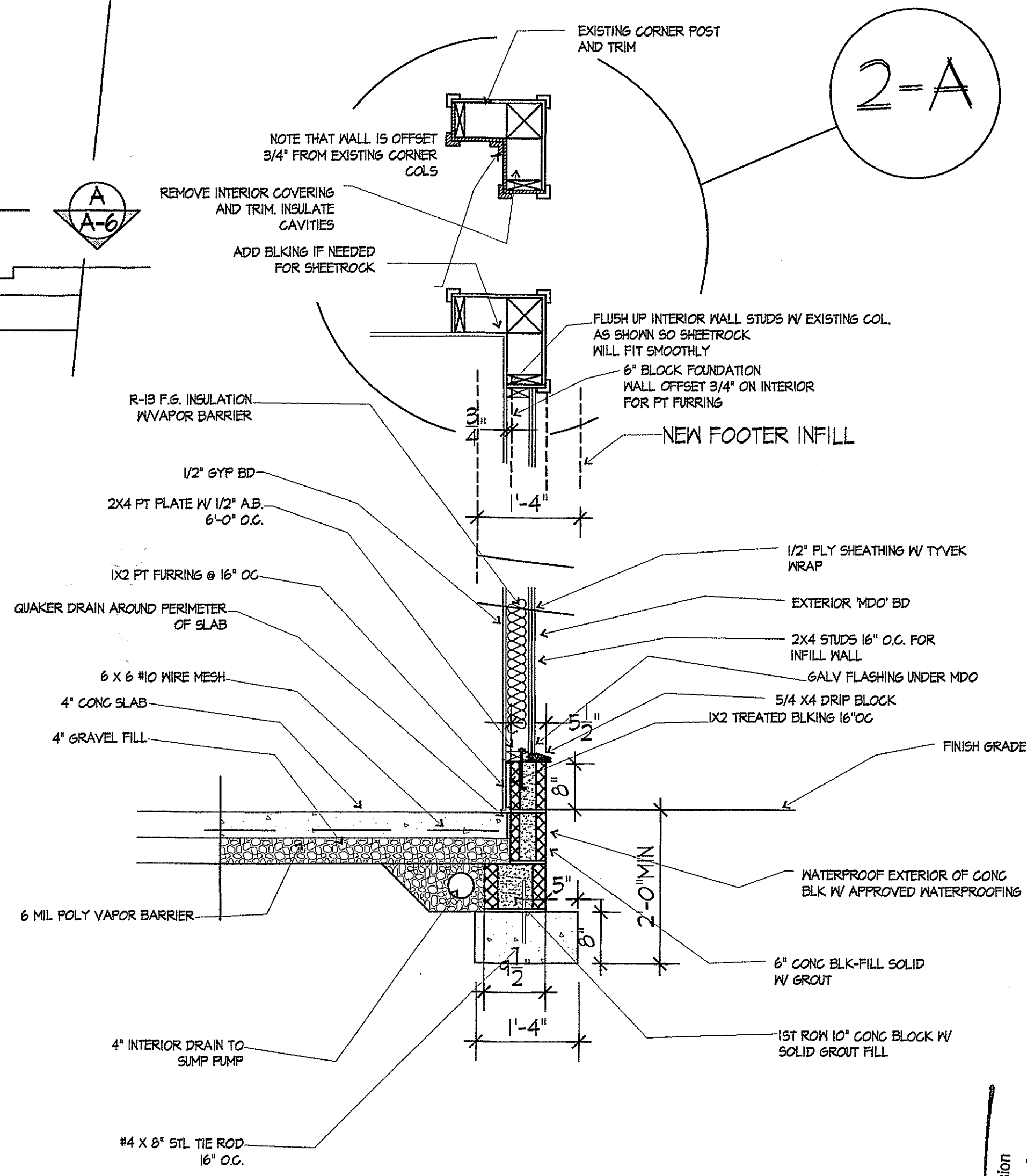


1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



3 VESTIBULE CEILING FRAMING
SCALE 1/4"=1'-0"

NOTE: LEVEL OF DECKING WILL NOT CHANGE



2 FOUNDATION/WALL SECTION
SCALE: 3/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
11/25/02

REVISIONS	DATE	FILE NAME:

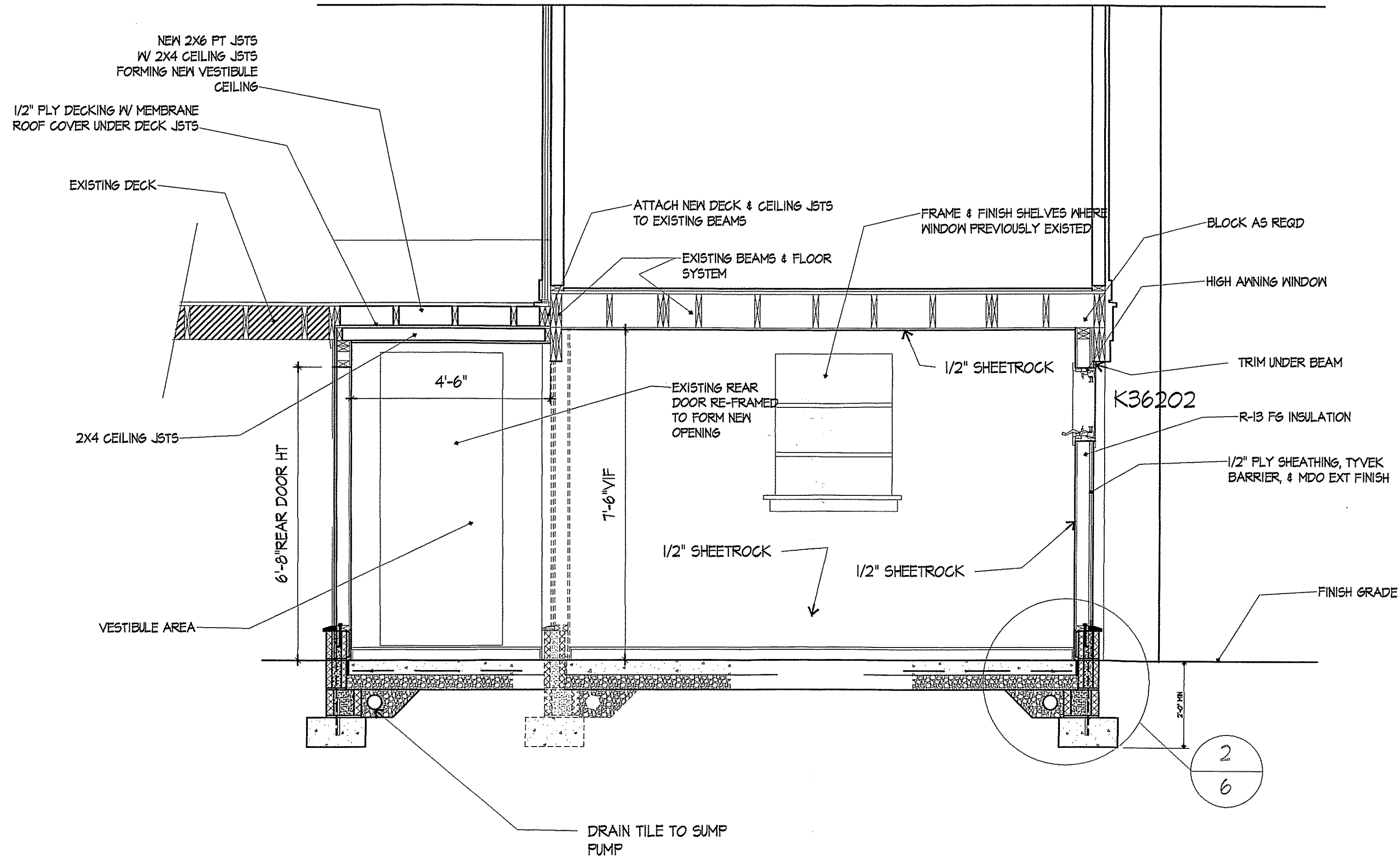
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SILVER SPRING, MARYLAND 20910
301-565-4600

A-5

SCALE:



1 SECTION
SCALE: 1/2" = 1'-0"

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Montgomery County
Historic Preservation Commission
[Signature]

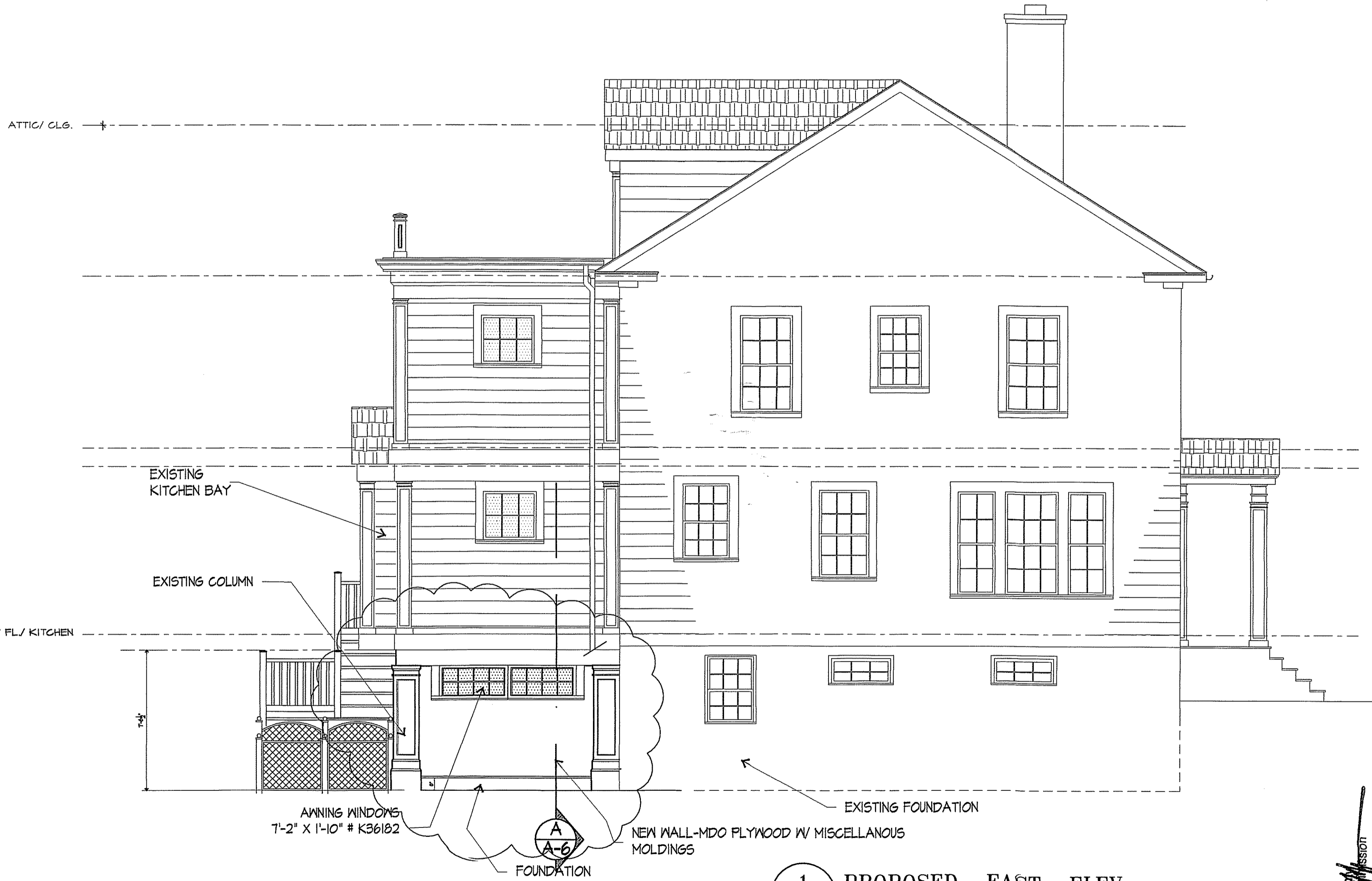
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES		REVISIONS	DATE	FILE NAME:
KNIGHT RESIDENCE		-	-	-
32 WEST IRVING ST				
CHEY CHASE, MD.				
CROSS SECTION				
SCALE: 1/4" = 1'-0"				
Gilday Design & Remodeling 9162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-4600		A-6		



1 PROPOSED SOUTH ELEV.
SCALE: 1/4"=1'-0"

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Montgomery County
Historic Preservation Commission
[Signature] 6/25/02

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES		REVISIONS	DATE	FILE NAME:
KNIGHT RESIDENCE				
32 WEST IRVING ST				
CHEVY CHASE, MD.				
SOUTH ELEVATIONS		A-7		
SCALE: 1/4" = 1'-0"				
1162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-4600				



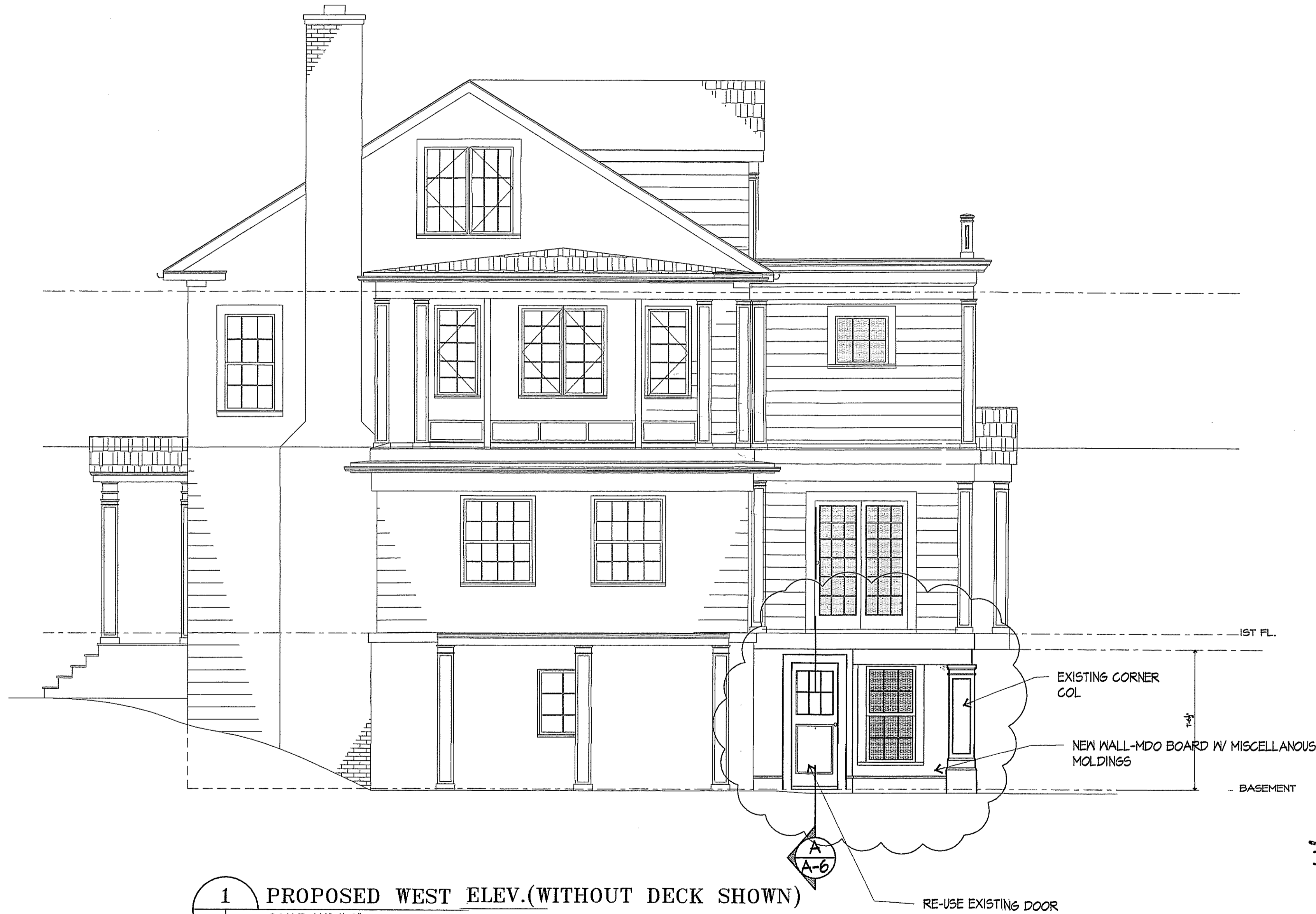
1 PROPOSED EAST ELEV.
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVISIONS	DATE	FILE NAME:
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES		
KNIGHT RESIDENCE		
32 WEST IRVING ST		
CHEY CHASE, MD.		
EAST ELEVATION		
SCALE: 1/4" = 1'-0"		
A-8		

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Design Remodeling

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SILVER SPRING, MARYLAND 20910
301-565-4600



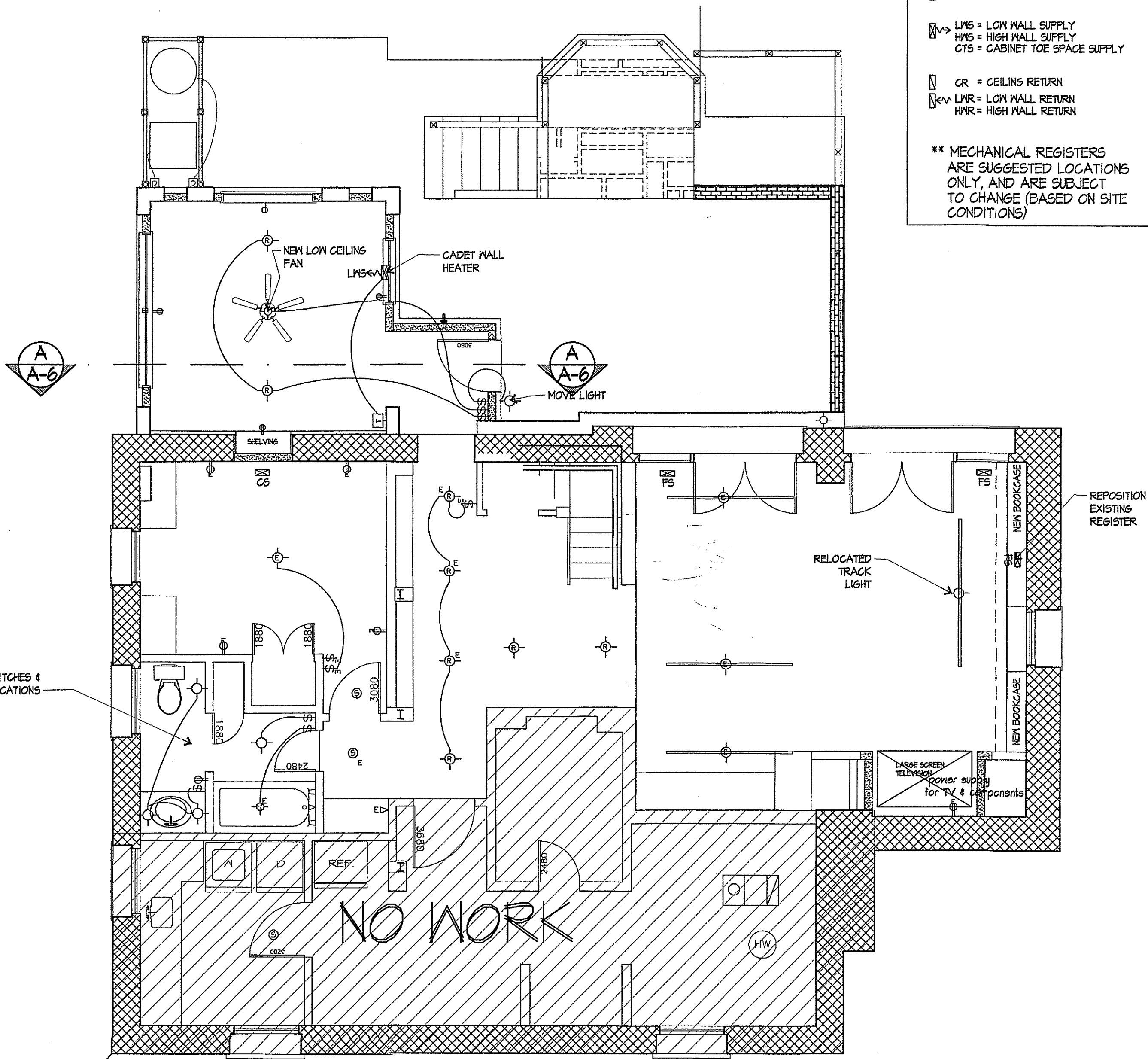
1 PROPOSED WEST ELEV.(WITHOUT DECK SHOWN)
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVISIONS	DATE	FILE NAME:
KNIGHT RESIDENCE		
32 WEST IRVING ST		
CHEVY CHASE, MD.		
WEST ELEVATION		
SCALE: 1/4" = 1'-0"		
A-9		

Gilgley
Design & Remodeling

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SILVER SPRING, MARYLAND 20910
301-565-4600



MECHANICAL SCHEDULE

- FS = FLOOR SUPPLY
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- CLF = CEILING LIGHT FIXTURE
- MML = WALL MOUNT LIGHT FIXTURE
- FLF = FLOOD LIGHT FIXTURE WITH FULL TIME 'ON' FEATURE
- T = NEW THERMOSTAT
- CTV = CABLE TELEVISION RECEPTACLE
- TE = TELEPHONE RECEPTACLE
- EF = EXHAUST FAN
- S = DIMMER SWITCH
- SD = SMOKE DETECTOR
- CS = CEILING MOUNTED SPEAKER
- MS = WALL MOUNTED EXTERIOR SPEAKER
- SV = SPEAKER VOLUME CONTROL
- SMJ = SPEAKER WIRING JUNCTION BOX
- SP = SUB PANEL
- ED = ELECTRICAL DISCONNECT FOR A-C
- DC = DOORBELL CHIME
- DB = DOORBELL BUTTON
- CLF = CEILING LIGHT FIXTURE
- FC = FULL CHAIN

WALL SCHEDULE

- = EXISTING TO BE DEMOLISHED
- = EXISTING FRAME WALL
- XXXX = EXISTING MASONRY WALL
- //// = EXISTING BRICK VENEER
- /// = NEW BRICK VENEER
- XXXX = NEW CMU WALL
- = NEW FRAME WALL

1 BASEMENT ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 06/25/02

REVISIONS	DATE	FILE NAME:

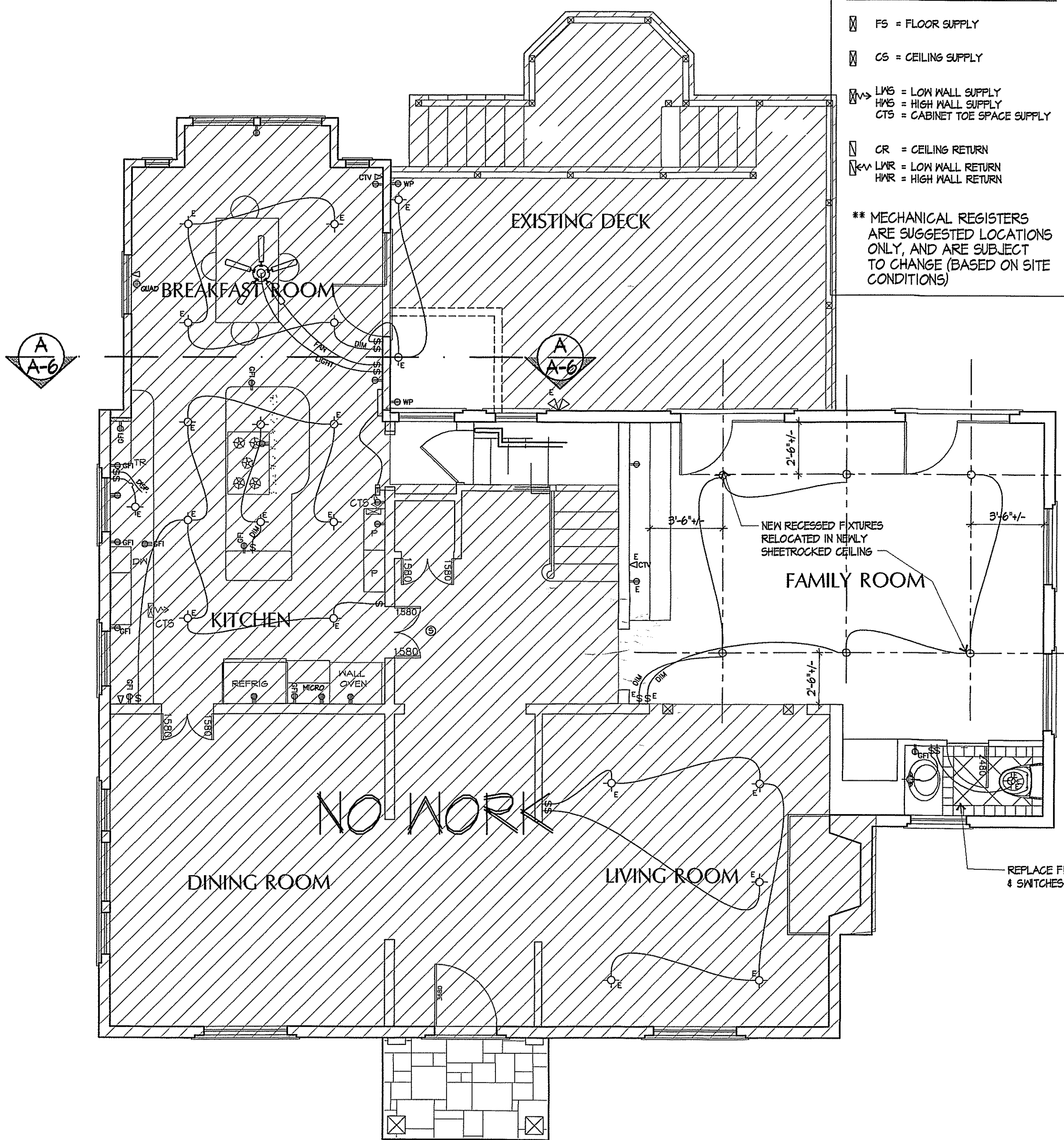
KNIGHT RESIDENCE
32 WEST IRVING ST
CHEVY CHASE, MD.

BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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Design Remodeling

4162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

A-10



MECHANICAL SCHEDULE

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- ⊖ = EXISTING CEILING LIGHT FIXTURE
- ⊖ = EXISTING FLOOD LIGHT FIXTURE
- ⊖ = EXISTING CABLE TELEVISION RECEPTACLE
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- ⊖ = EXISTING EXHAUST FAN
- ⊖ = EXISTING JUNCTION BOX - REPLACE FIXTURE WITH NEW FIXTURE SUPPLIED BY OWNER OR REINSTALL EXIST. FIXTURE
- ⊖ = SWITCH
- ⊖ = 3-WAY SWITCH
- ⊖ = DUPLEX OUTLET
- ⊖ = EXT. OUTLET W/ WATERPROOF COVER PLATE
- ⊖ = DEDICATED APPLIANCE OUTLET
- ⊖ = QUADRUPLIX OUTLET
- ⊖ = CEILING LIGHT FIXTURE
- ⊖ = WALL MOUNT LIGHT FIXTURE
- ⊖ = FLOOD LIGHT FIXTURE WITH FULL TIME 'ON' FEATURE
- ⊖ = CABLE TELEVISION RECEPTACLE
- ⊖ = TELEPHONE RECEPTACLE
- ⊖ = EXHAUST FAN
- ⊖ = DIMMER SWITCH
- ⊖ = SMOKE DETECTOR
- ⊖ = CEILING MOUNTED SPEAKER
- ⊖ = WALL MOUNTED EXTERIOR SPEAKER
- ⊖ = SPEAKER VOLUME CONTROL
- ⊖ = SPEAKER WIRING JUNCTION BOX
- ⊖ = SUB PANEL
- ⊖ = ELECTRICAL DISCONNECT FOR A-C
- ⊖ = DOORBELL CHIME
- ⊖ = DOORBELL BUTTON
- ⊖ = CEILING LIGHT FIXTURE
- ⊖ = FULL CHAIN

WALL SCHEDULE

- ⊖ = EXISTING TO BE DEMOLISHED
- ⊖ = EXISTING FRAME WALL
- ⊖ = EXISTING MASONRY WALL
- ⊖ = EXISTING BRICK VENEER
- ⊖ = NEW BRICK VENEER
- ⊖ = NEW CMU WALL
- ⊖ = NEW FRAME WALL

1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
06/25/02

REVISIONS	DATE	FILE NAME

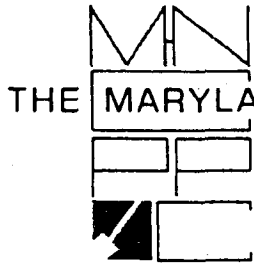
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES

KNIGHT RESIDENCE
32 WEST IRVING ST
CHEVY CHASE, MD.

GILDAY
Design Remodeling
1162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

A-11

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/12/02

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

 Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Edward S. & Amy S. Knight

Address: 32 West Irving Street, Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MEMORANDUM

DATE: 6/12/02

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC
Robin D. Ziek, Historic Preservation Planner
Perry Kapsch, Historic Preservation Planner
Corri Jimenez, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 32 West Irving St
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Robert Brooks

Daytime Phone No.: 301-565-4600 x26

Tax Account No.: _____

Name of Property Owner: _____ Daytime Phone No.: _____

Address: 32 West Irving St. Chevy Chase, Md 20815
Street Number City State Zip Code

Contractor: Gilday Co. Phone No.: 301-565-4600

Contractor Registration No.: _____

Agent for Owner: Robert Brooks Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 32 West Irving St Street: _____

Town/City: Chevy Chase Village Nearest Cross Street: Cedar Parkway

Lot: 20 Block: 29 Subdivision: 9

Lib: _____ Folio: _____ Parcel: PT LOT 9 Chevy Chase Sec. 2

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Flaze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Enclose lower space

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

Signature of owner or authorized agent

5/20/02
Date

Approved: ✓ For Chief of Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6/12/02

Application/Permit No.: 278215 Date Issued: 5/22/02

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*owner wants to enclose a grade level covered patio and
create an exercise room. No modification to existing
visible structure to take place*

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 3 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 5" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Edward S. & Amy S. Knight
32 West Irving Street
Chevy Chase, Md. 20815

Owner's Agent's mailing address

Gilday Design & Const.
9162 Brookville Rd.
Silver Spring, Md 20910

Adjacent and confronting Property Owners mailing addresses

Helga Colby
5815 Cedar Pkwy
Chevy Chase, Md 20815-4249

Grace Spring
27 Hosketh
Chevy Chase, Md 20815

Mark Kovey
30 W. Irving St.
Chevy Chase, Md. 20815

John Corrigan 3rd.
33 W. Irving St.
Chevy Chase, Md. 20815



hist me

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 6/20/2002

Permit No: 278215
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT: ROBERT BROOKS
32 WEST IRVING STREET
CHEVY CHASE MD 20815

HAS PERMISSION TO: ALTER

PERMIT CONDITIONS: ENCLOSE LOWER SPACE

PREMISE ADDRESS 32 WEST IRVING ST
CHEVY CHASE MD 20815-

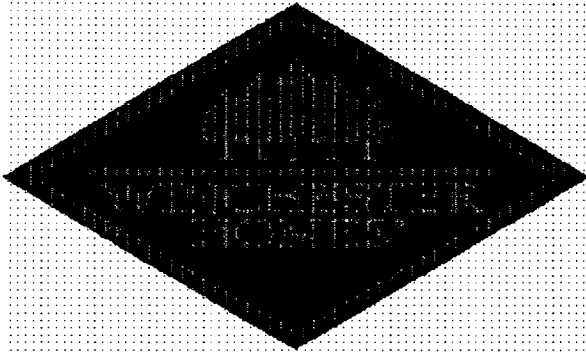
LOT	BLOCK	PARCEL	ZONE
LIBER	ELECTION DISTRICT	PLATE	GRID
FOLIO	SUBDIVISION		
PERMIT FEE: \$0.00	TAX ACCOUNT NO.:		

HISTORIC MASTER:
HISTORIC ATLAS:

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services

Please note that time displayed on cover is PST



Facsimile Cover

To: HPC Staff (for next

From: Bourke, Tom

Fax Number: +1 (301) 563-3412

Subject: Chevy Chase

Date: June 25, 2002

Pages: 1

Note: The following are the comments of the Chevy Chase Village Local Advisory Panel for June 26, 2002:

12 West Irving St.
Fistere residence
Contributing Resource
Application to alter rear windows

The LAP recommends approval without conditions.
We noted that the applicant did not specify his choice of windows, and it may be that he is agreeable to the conditions recommended by the Staff. We further recognize that "simulated divided light" windows are reasonably priced. However based on our guidelines, the LAP believes that since the windows are on the rear of the house and not able to be seen from the public right of way, they should be subject to the most lenient of scrutiny and no conditions should be applied to them. One of the panel members further noted that the rear of 12 W Irving faces the back of their house and is completely hidden from view by a fence and evergreen plantings.

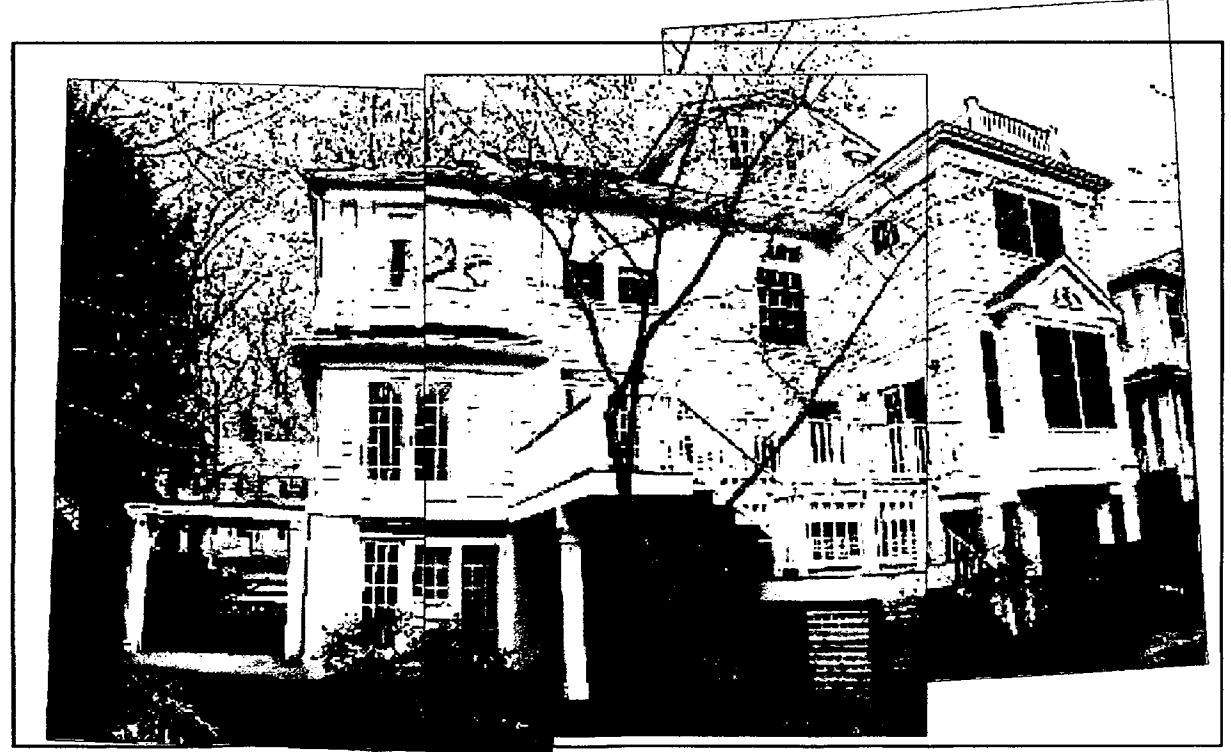
Submitted for the Chevy Chase Village Local Advisory Panel by
Tom Bourke
Chair

KNIGHT RESIDENCE

32 WEST IRVING STREET
CHEVY CHASE, MD. 20815

LOWER LEVEL
ADDITION &
INTERIOR REMODELING

PROJECT INFORMATION
PROJECT LEADER: KEVIN GILDAY OFFICE- 301-565-4600 x 11
ARCHITECTURAL DESIGN: ARCHITECT: ROBERT BROOKS, R.A. OFFICE- 301-565-4600 x 26 INTERIOR DESIGNER: LESLIE ROOSEVELT OFFICE- 301-565-4600 x 14
GENERAL INFORMATION: ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CABO ONE & TWO FAMILY DWELLING MODEL CODE, 1996 EDITION USE GROUP R-4, RESIDENTIAL
INFORMATION SHOWN ON THIS DOCUMENT INCORPORATES PROPRIETARY RIGHTS AND IS NOT TO BE DUPLICATED WHOLLY OR IN PART WITHOUT THE EXPRESS PERMISSION OF GILDAY DESIGN COMPANY.
ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL TRADES PERSONS INVOLVED WITH THE WORK MUST FIELD VERIFY ALL PERTINENT INFORMATION, CONDITIONS AND DIMENSIONS. SEVERE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
DO NOT SCALE DRAWINGS



KNIGHT RESIDENCE-REAR ELEVATION

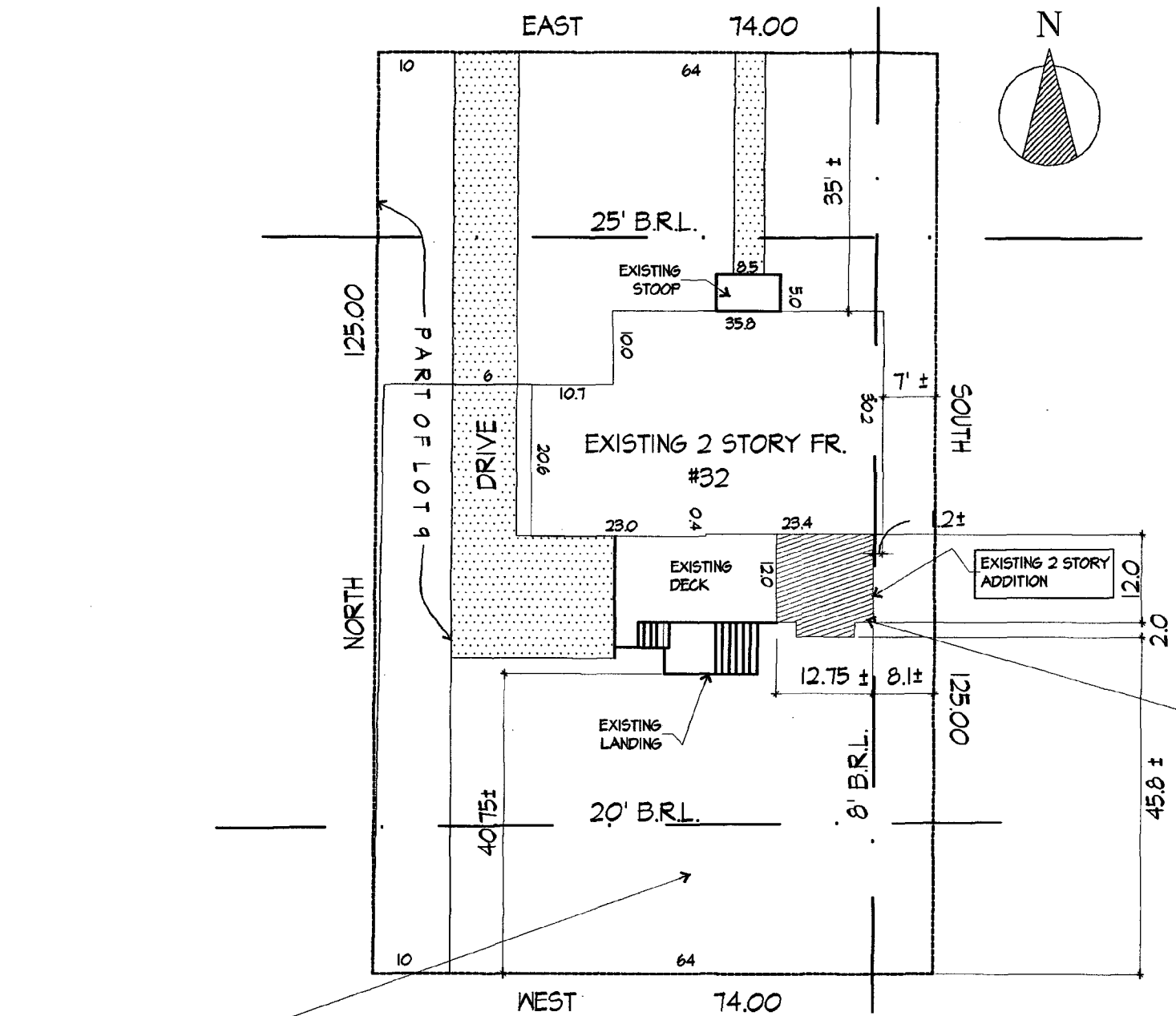
REVISIONS	DATE	FILE NAME
PROPOSED	6/16/01	
KNIGHT RESIDENCE		
32 WEST IRVING STREET		
CHEVY CHASE, MD. 20815		
SCALE:		

1162 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
301-565-4600

Gilday
Design Remodeling

APPROVED
Montgomery County
Historic Preservation Commission
James 6/12/02

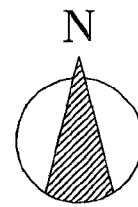
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELEAED UPON BY OTHER PARTIES



LOT 20 - BLOCK 29
 32 WEST IRVING ST
 CHEVY CHASE, MD

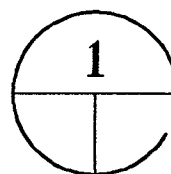
LOT 20 BLK 29
 9250 sf

1 SITE PLAN
 SCALE: 1"=20'



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME
	PROPOSED	6/6/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEVY CHASE, MD. 20815			
SCALE:			A-
Gilday Design Remodeling 1102 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-4600			

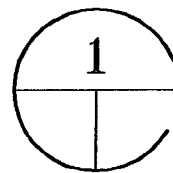


1 EXISTING FRONT ELEV.

SCALE: 1/8"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
G. James 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME:
	PROPOSED	6/8/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEY CHASE, MD. 20815			
SCALE:			A-
Gilday Design Remodeling 9162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600			

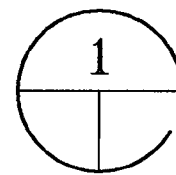


EXISTING RIGHT SIDE ELEV.

SCALE: 1/8"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
James J. [Signature] 10/1/02

REVISIONS	DATE	FILE NAME
	PROPOSED	6/6/01
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES		
KNIGHT RESIDENCE 32 WEST IRVING STREET CHEVY CHASE, MD. 20815		
SCALE:		
GILDAY Design Remodeling 4162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-265-4600		



1 EXISTING LEFT SIDE ELEV.

SCALE: 1/8"=1'-0"


APPROVED
 Montgomery County
 Historic Preservation Commission
Jimmy 6/12/02

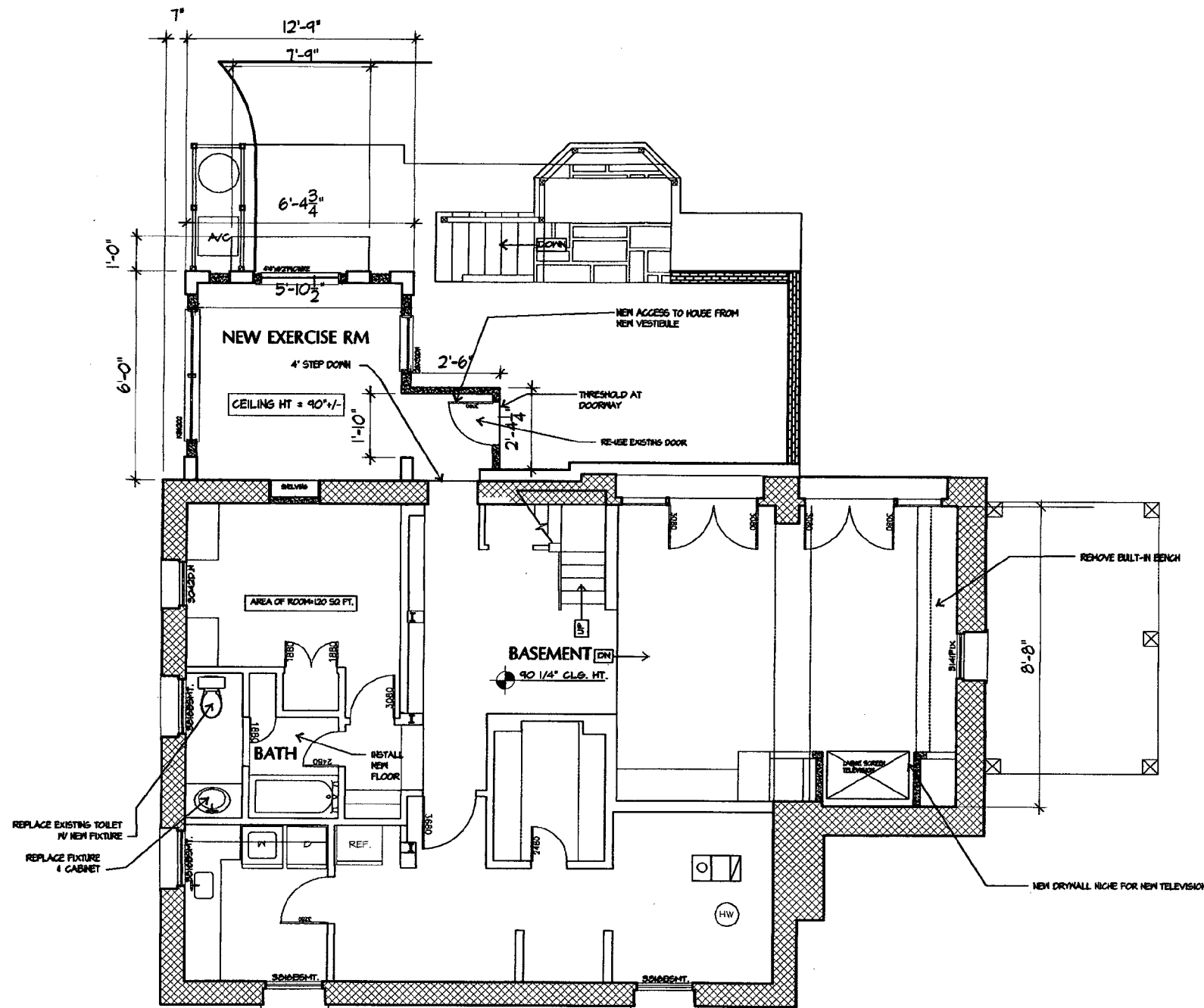
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS PROPOSED	DATE 6/8/01	FILE NAME:
	KNIGHT RESIDENCE 32 WEST IRVING STREET CHEY CHASE, MD. 20815		
SCALE:			
GILDAY Design Remodeling 4162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600			



1 EXISTING REAR ELEV.
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Gimney 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME:
	PROPOSED	6/6/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEY CHASE, MD. 20815			
SCALE:			
			
<small>4162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600</small>			



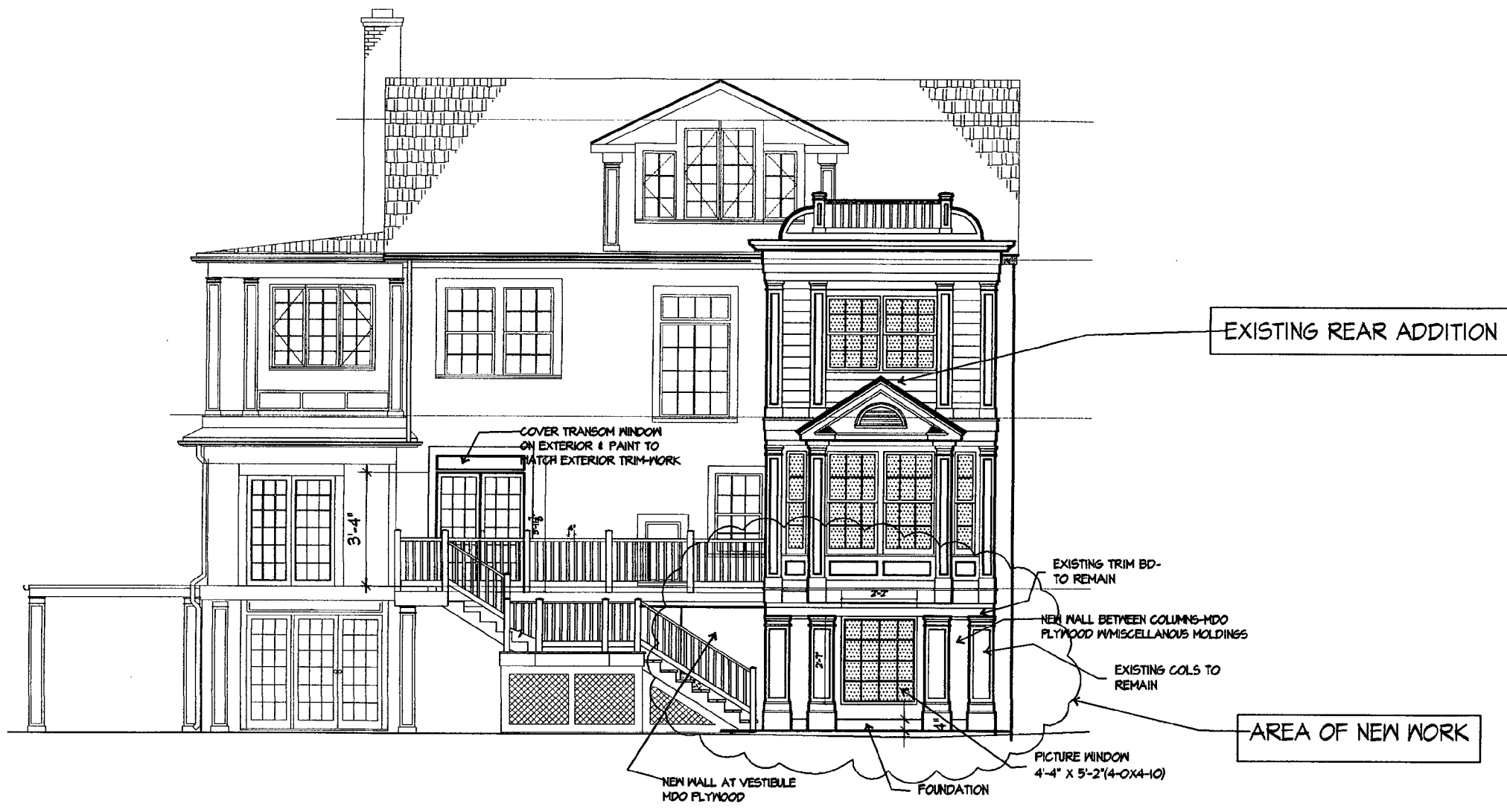
1 PROPOSED LOWER LEVEL
SCALE: 1/8" = 1'-0"

WALL SCHEDULE

- = EXISTING TO BE DEMOLISHED
- = EXISTING FRAME WALL
- = EXISTING MASONRY WALL
- = EXISTING BRICK VENEER
- = NEW BRICK VENEER
- = NEW CMU WALL
- = NEW FRAME WALL

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 6/12/02

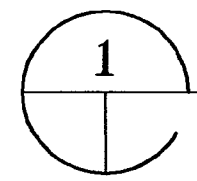
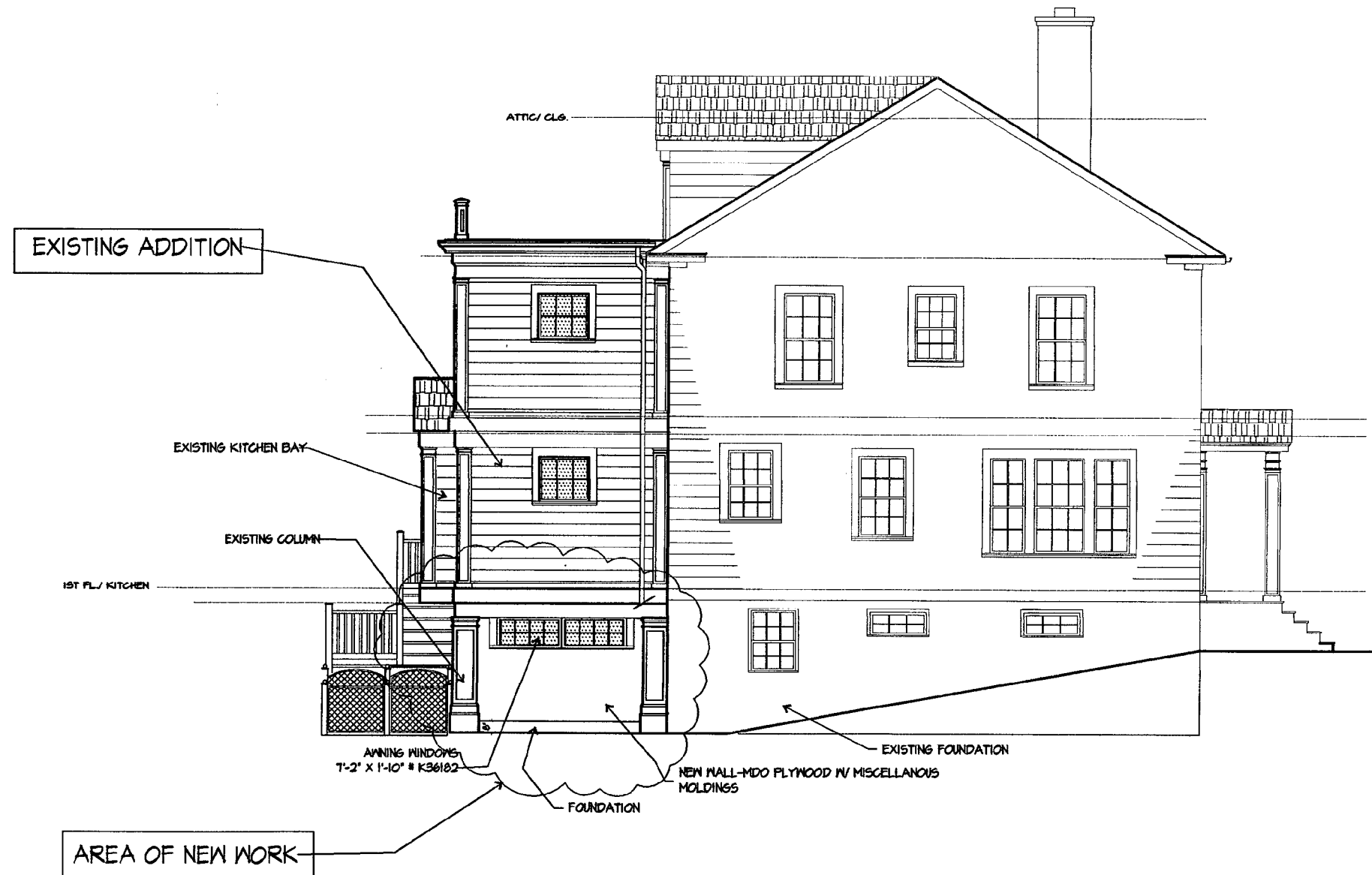
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME
	PROPOSED	6/8/01	
KNIGHT RESIDENCE			
92 WEST IRVING STREET			
CHEY CHASE, MD. 20815			
SCALE:			
 9142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600			



1 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
James 6/12/02

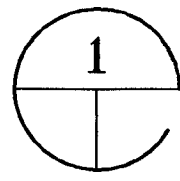
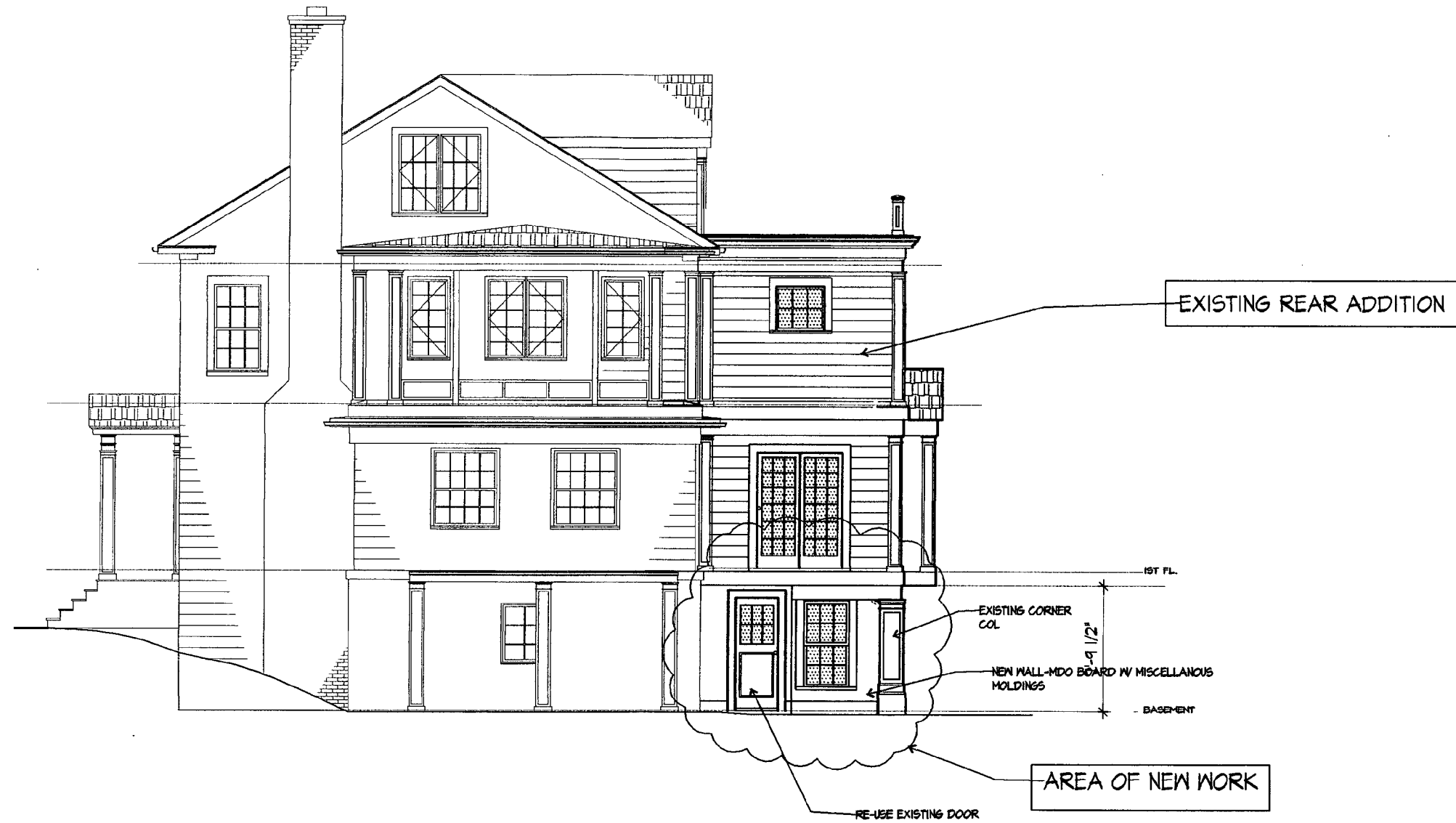
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME
	PROPOSED	6/16/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEVY CHASE, MD. 20815			
SCALE:			A-
GILDAY Design Remodeling 4162 BROCKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600			



1 PROPOSED LEFT SIDE ELEV.
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES	REVISIONS	DATE	FILE NAME:
	PROPOSED	6/16/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEVY CHASE, MD. 20815			
SCALE:			A-
Gilday Design Remodeling 6162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-4600			



PROPOSED RIGHT SIDE ELEV.(WITHOUT DECK SHOWN)

SCALE: 1/4"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 6/12/02

REVISIONS		DATE	FILE NAME
PROPOSED		6/6/01	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEY CHASE, MD. 20815			
SCALE:			A-
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES Gilday Design <input type="checkbox"/> Remodeling 9142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-565-1600			



EXISTING REAR OF HOUSE



VIEW OF AREA TO BECOME EXCERSISE ROOM



EXISTING REAR OF HOUSE

- GENERAL NOTES:
1. NO WORK WILL BE VISIBLE FROM THE FRONT OF THE HOME.
 2. NO TREES WILL BE REMOVED

REVISIONS	DATE	FILE NAME
PROPOSED	6/6/01	
THESE PLANS HAVE BEEN PREPARED BY GLDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES		
KNIGHT RESIDENCE 92 WEST IRVING STREET CHEVY CHASE, MD. 20815		
		SCALE: A-
9162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 501-265-4600		

APPROVED
 Montgomery County
 Historic Preservation Commission

James 6/12/02

Gilday
 Design Remodeling

KNIGHT RESIDENCE

32 WEST IRVING STREET
CHEVY CHASE, MD. 20815

LOWER LEVEL
ADDITION &
INTERIOR REMODELING

PROJECT INFORMATION

PROJECT LEADER: KEVIN GILDAY
OFFICE- 301-565-4600 x 11

ARCHITECTURAL DESIGN:

ARCHITECT: ROBERT BROOKS, R.A.
OFFICE- 301-565-4600 x 26
INTERIOR DESIGNER: LESLIE ROOSEVELT
OFFICE- 301-565-4600 x 14

GENERAL INFORMATION:

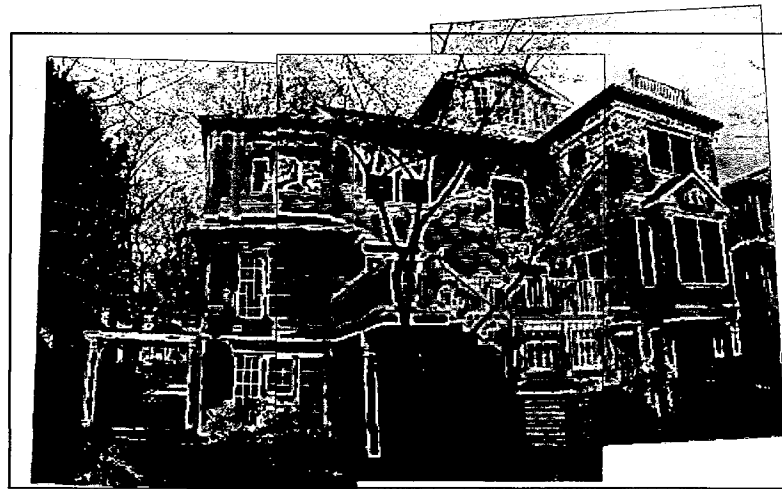
ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CABO ONE & TWO
FAMILY DWELLINGS MODEL CODE, 1996 EDITION
USE GROUP R-4, RESIDENTIAL

INFORMATION SHOWN ON THIS DOCUMENT
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BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DO NOT SCALE DRAWINGS

N:\2002 Drawing Files\knight-2\Historic Preserv. Submittal\A-01\CoverSheet.dwg, 05/20/02 11:25:51 AM, HP DesignJet 500 24 by HP.pc3, REB



KNIGHT RESIDENCE-REAR ELEVATION

THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES

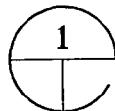
REVISIONS	DATE	FILE NAME
PROPOSED	04/01	

KNIGHT RESIDENCE
32 WEST IRVING STREET
CHEVY CHASE, MD. 20815

SCALE:

Gilday
Design Remodeling
1163 BROOKVILLE ROAD
SILVER SPRING, MARYLAND 20910
801-963-4600

APPROVED
Montgomery County
Historic Preservation Commission
Ginene E 7/12/02



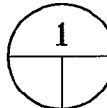
EXISTING FRONT ELEV.

SCALE: 1/8"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

G. J. J. J. 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GLENN BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES KNIGHT RESIDENCE 32 WEST IRVING STREET CHEVY CHASE, MD. 20815	REVISIONS PROPOSED	DATE 6/10/02	FILE NAME 6/10/02
	A-		
SCALE:		1162 BRACKSVILLE ROAD SILVER SPRING, MD 20910 301-588-1600	
Gilley Design Remodeling			



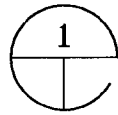
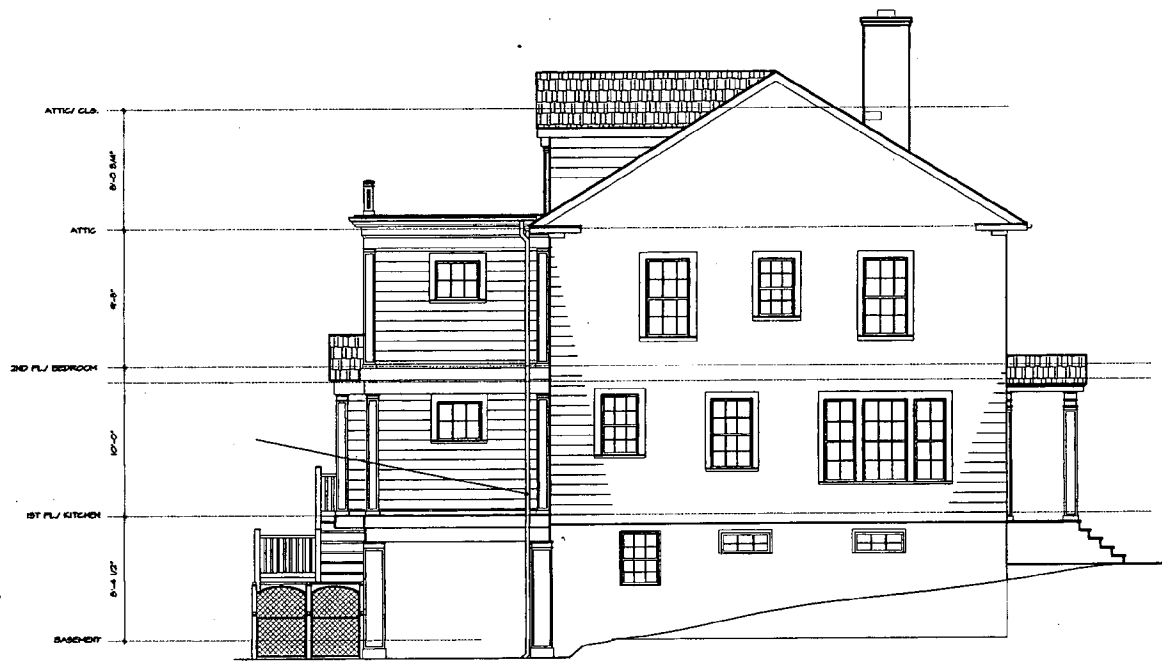
EXISTING RIGHT SIDE ELEV.

SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Gimenez 6/17/02

REVISIONS		DATE	FILE NAME
PROPOSED		6/16/02	
KNIGHT RESIDENCE			
32 WEST IRVING STREET			
CHEY CHASE, MD. 20815			
SCALE:			A-
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES 4142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-265-4600			
Gilday			Design Remodeling



1 EXISTING LEFT SIDE ELEV.
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Gimenez 6/12/02

THESE PLANS HAVE BEEN PREPARED BY GUDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES KNIGHT RESIDENCE 92 WEST IRVING STREET CHEVY CHASE, MD. 20815	REVISIONS PROPOSED	DATE 6/12/02	FILE NAME
	A-		
SCALE:		4142 BROOKVILLE ROAD SILVER SPRING, MD 20910 301-988-4600	
GUDAY Design Remodeling			



1 EXISTING REAR ELEV.
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Spencer 6/12/02

REVISIONS	DATE	FILE NAME
	PROPOSED	6/12/02
KNIGHT RESIDENCE		
92 WEST IRVING STREET		
CHEY CHASE, MD. 20815		
SCALE:		A-
THESE PLANS HAVE BEEN PREPARED BY GUNY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES 4142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-585-1600		
GUNY Design Remodeling		

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 32 West Irving St. **Meeting Date:** 06/12/02
Applicant: Edward S. & Amy S. Knight **Report Date:** 06/05/02
 Robert Brooks, Gilday Design & Const. (agent)
Resource: Chevy Chase Village **Public Notice:** 05/29/02
Review: HAWP **Tax Credit:** None
Case Number: 35/13-02K **Staff:** Corri Jimenez
PROPOSAL: Enclose lower space on a newer rear addition
RECOMMEND: Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1916-27

PROPOSAL

The applicant proposes to:

1. Enclose a lower area underneath an existing addition for the construction of an exercise space.
2. No modifications will occur to the historic structure.
3. No historic trees will be removed or endangered.
4. Existing trim and columns will stay intact.
5. Modifications, such as windows and doors, are in-kind with the period of the house. The windows installed are going to be simulated true divided lights and the designs appear to match the muntin patterns of the historic building.
6. The existing backyard door will be incorporated and re-used on this new enclosure.
7. The wall covering on the building is MDO plywood, which will be painted the historic colors to match the house.

STAFF DISCUSSION

The historic resource at 32 West Irving Street, located in the Chevy Chase Village Historic District, is a contributing resource within the local designated district. The house represents a 2 ½ story Colonial Revival, constructed between 1916-1927. On the rear of the house is an addition that was constructed in the past 2 years by Gilday Design and Construction. The vacant area at the basement level of this newer addition is being proposed to be infilled as an exercise room by the property owners, Edward & Amy Knight.

Staff recommends approval of the proposal. The windows that will be installed will be simulated true divided lights, which will match muntin patterns on the historic windows of the main house. A 6-lite door will be re-used from the main house on this infill. The exterior wall covering will be MDO plywood, which when painted, will match the color of the historic walls.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 25A-8(b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

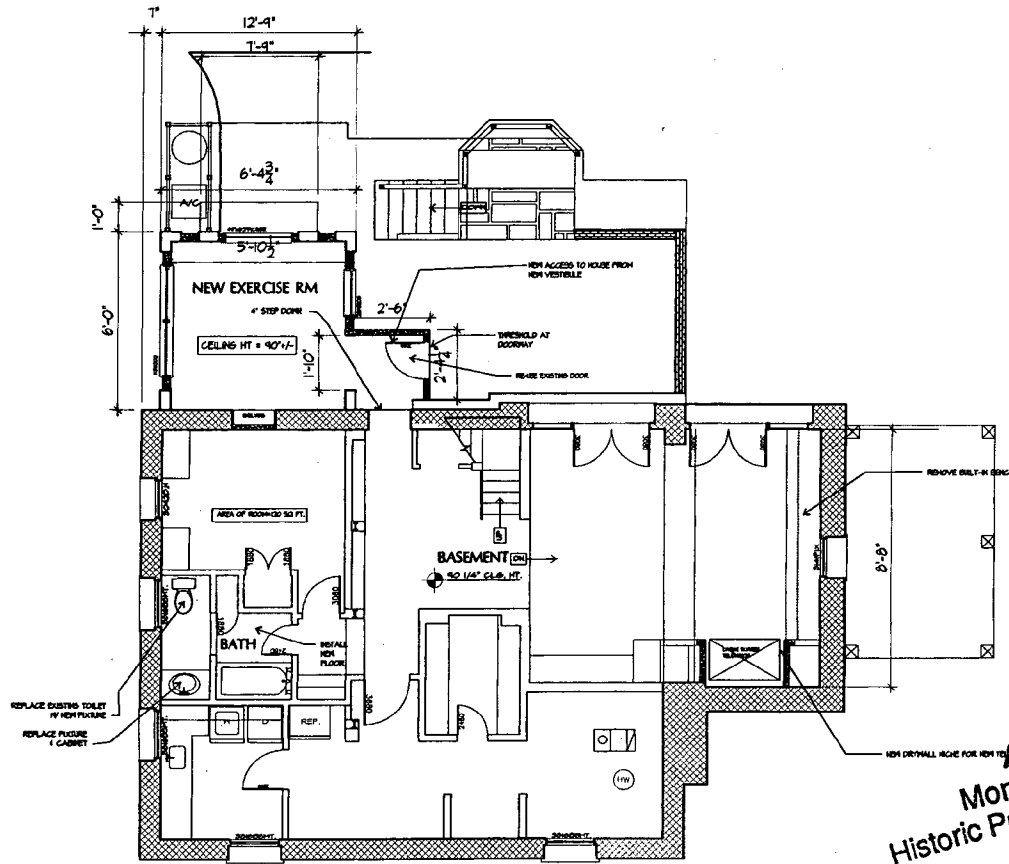
and with the Secretary of the Interior's *Guidelines #9 & #10*:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.

13

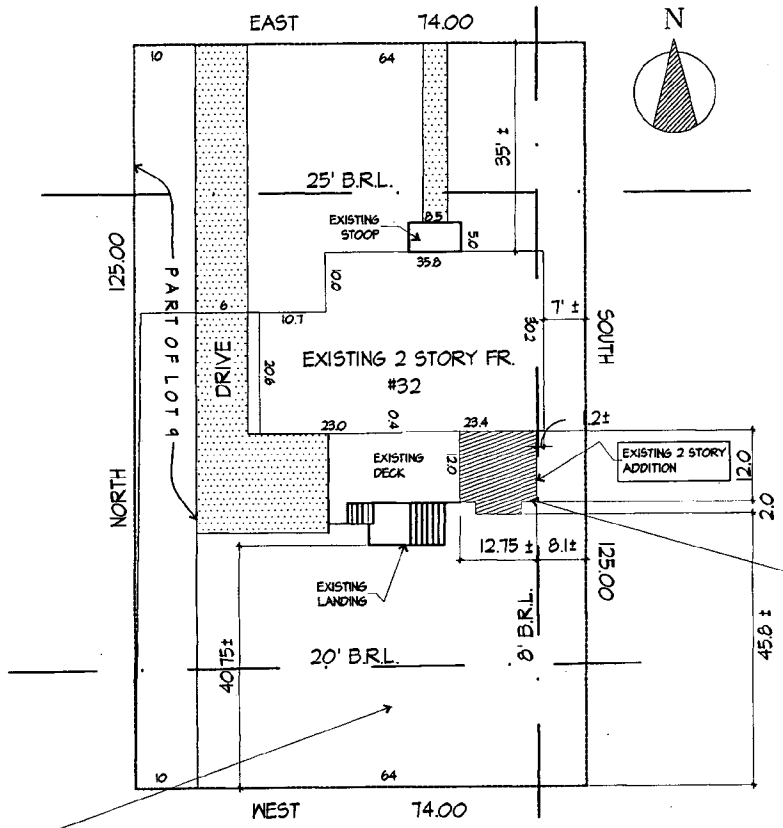


1 PROPOSED LOWER LEVEL
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Spencer 6/12/02

- WALL SCHEDULE
- [Dashed line] = EXISTING TO BE DEMOLISHED
 - [Thin solid line] = EXISTING FRAME WALL
 - [Cross-hatch pattern] = EXISTING MASONRY WALL
 - [Diagonal hatch pattern] = EXISTING BRICK VENEER
 - [Horizontal hatch pattern] = NEW BRICK VENEER
 - [Vertical hatch pattern] = NEW CMU WALL
 - [Stippled pattern] = NEW FRAME WALL

THESE PLANS HAVE BEEN PREPARED BY QUINN BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES		REVISIONS	DATE	FILE NAME
KNIGHT RESIDENCE		PROPOSED	6/12/02	
32 WEST IRVING STREET				
CHEY CHASE, MD. 20815				
4142 BRIDGEVILLE ROAD SILVER SPRING, MARYLAND 20910 301-588-4600		SCALE: A-		
		Quinn Builders Design & Remodeling		



LOT 20 - BLOCK 29
 32 WEST IRVING ST
 CHEVY CHASE, MD

LOT 20 BLK 29
 9250 sf

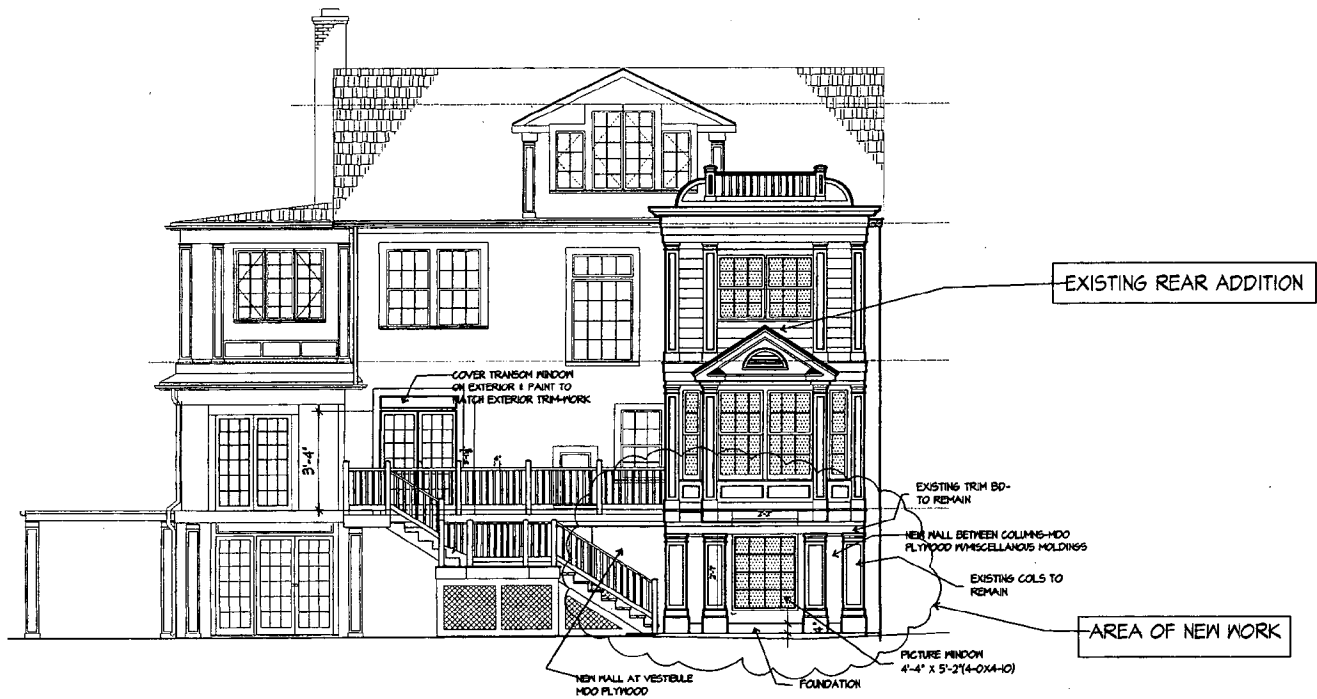
1 SITE PLAN
 SCALE: 1"=20'

APPROVED
 Montgomery County
 Historic Preservation Commission

Gimenez 6/12/02

NEW WORK AREA UNDER
 EXISTING ADDITION @
 BASEMENT LEVEL

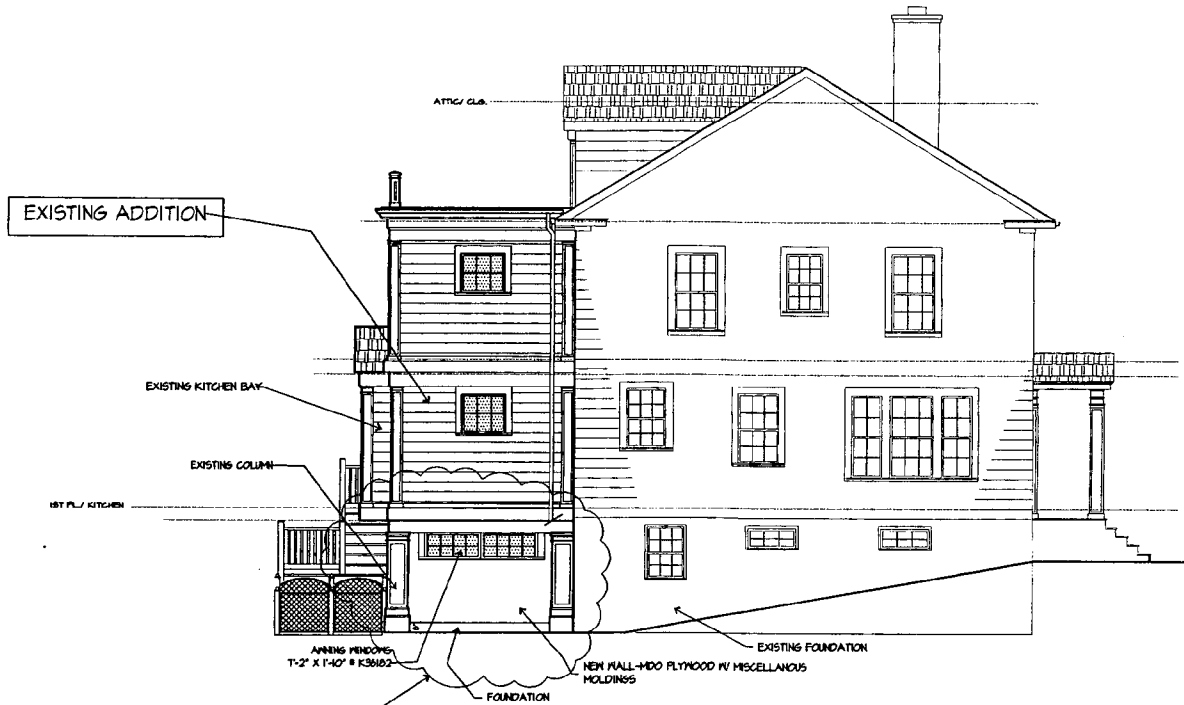
REVISIONS	DATE	FILE NAME
PROPOSED	6/8/02	
THESE PLANS HAVE BEEN PREPARED BY GILDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES KNIGHT RESIDENCE 32 WEST IRVING STREET CHEVY CHASE, MD, 20815		
SCALE:		A-
GILDAY Design Remodeling 4162 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-588-6666		



1 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Gimenez 6/12/02

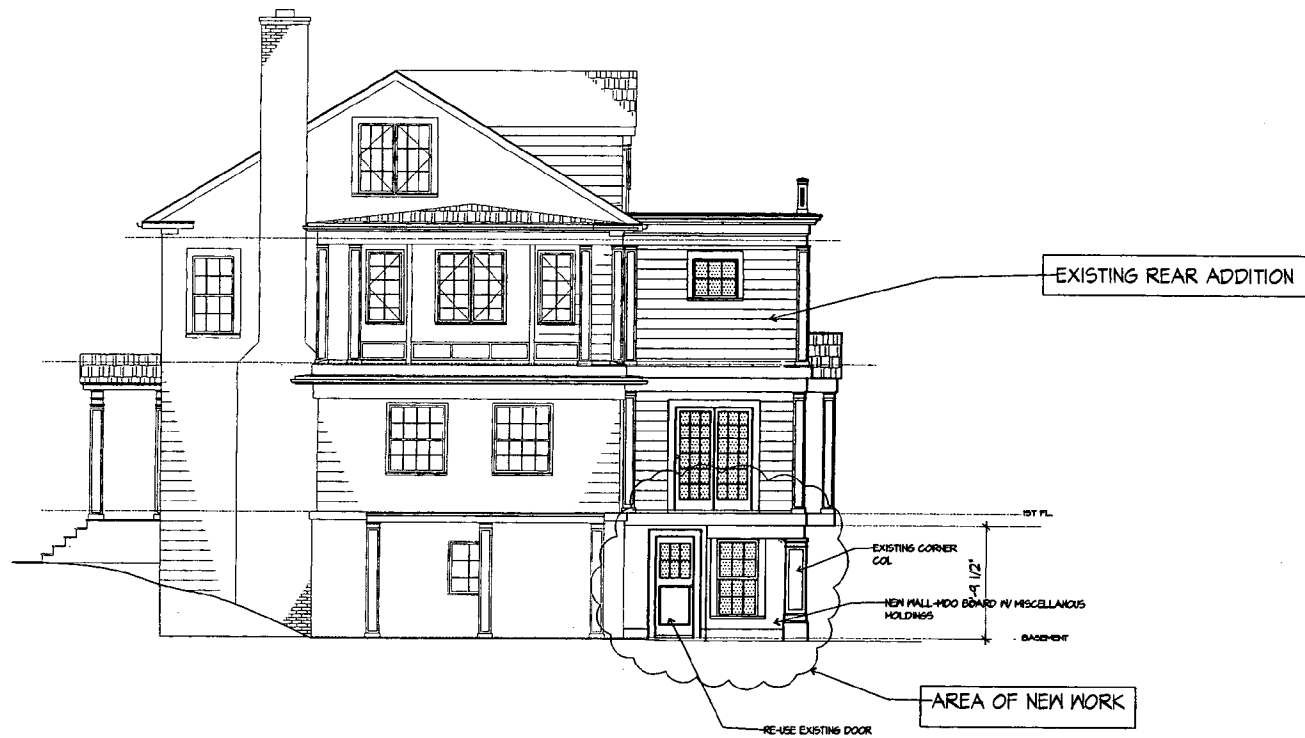
REVISIONS	DATE	FILE NAME
	PROPOSED	0/0/01
A-		
KNIGHT RESIDENCE		
92 WEST IRVING STREET		
CHEVY CHASE, MD. 20815		
SCALE:		
<small>1445 ROCKVILLE ROAD SILVER SPRING, MD 20910 301-588-4800</small>		



1 PROPOSED LEFT SIDE ELEV.
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
James J. [Signature] 6/12/02

REVISIONS		DATE	FILE NAME
PROPOSED		6/12/02	
THESE PLANS HAVE BEEN PREPARED BY GILROY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES KNIGHT RESIDENCE 32 WEST IRVING STREET CHEY CHASE, MD. 20815			
SCALE:			A-
GILROY Design Remodeling 4143 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-963-4600			



1

PROPOSED RIGHT SIDE ELEV.(WITHOUT DECK SHOWN)

SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Spencer 6/12/02

REVISIONS	DATE	FILE NAME
PROPOSED	6/11/02	
KNIGHT RESIDENCE 32 WEST IRVING STREET CHEVY CHASE, MD. 20815		
SCALE:		
A-		
THESE PLANS HAVE BEEN PREPARED BY GIDDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES 4142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 301-566-1800		



EXISTING REAR OF HOUSE



VIEW OF AREA TO BECOME EXERCISE ROOM



EXISTING REAR OF HOUSE

GENERAL NOTES:

- 1. NO WORK WILL BE VISIBLE FROM THE FRONT OF THE HOME.
- 2. NO TREES WILL BE REMOVED

REVISIONS	DATE	FILE NAME
	PROPOSED	6/10/02
THESE PLANS HAVE BEEN PREPARED BY CALDAY BUILDERS INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELED UPON BY OTHER PARTIES KNIGHT RESIDENCE 32 NEST IRVING STREET CHEVY CHASE, MD. 20815		
SCALE:		A-
4142 BROOKVILLE ROAD SILVER SPRING, MARYLAND 20910 801-566-1800		

APPROVED
 Montgomery County
 Historic Preservation Commission

Jimenez 6/12/02

Chevy Chase Village Historic District

