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HAWP. For June 12

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Fax Memorandum

To Fax No.: 301-563-3412

Date: May 9, 2002

To: Perry Kapsch

From: Kevin Day

Project: Toch Residence

Project No.: 00014-Toch

Subject: Historic Pre-review

Additional pages transmitted with this fax memorandum: 6

Mrs. Kapsch:

I am working with Tracy Standard on a residential project at 19 West Kirke, Chevy Chase, MD. She asked me to send elevations of the project for a historic pre-review, per a conversation she had with you. Please note that the deck shown may slightly change to incorporate a swimming pool in the back yard. Will the deck and other elements in the back yard have an impact on the historic review that may hold up permitting the house? If this were the case, would it be possible to look at the deck, pool, etc. separately so that we may proceed with permitting the house?

Please contact me if you need additional information regarding the drawings. Otherwise, please continue speaking with Tracy (202-244-3846) about all review related issues.

Thank you, Kevin Day

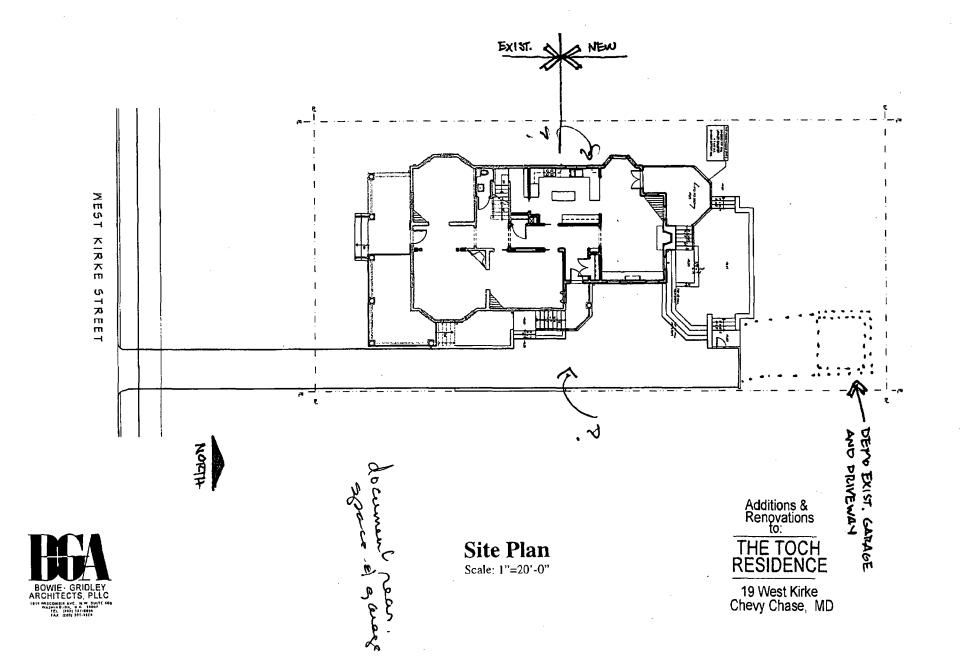
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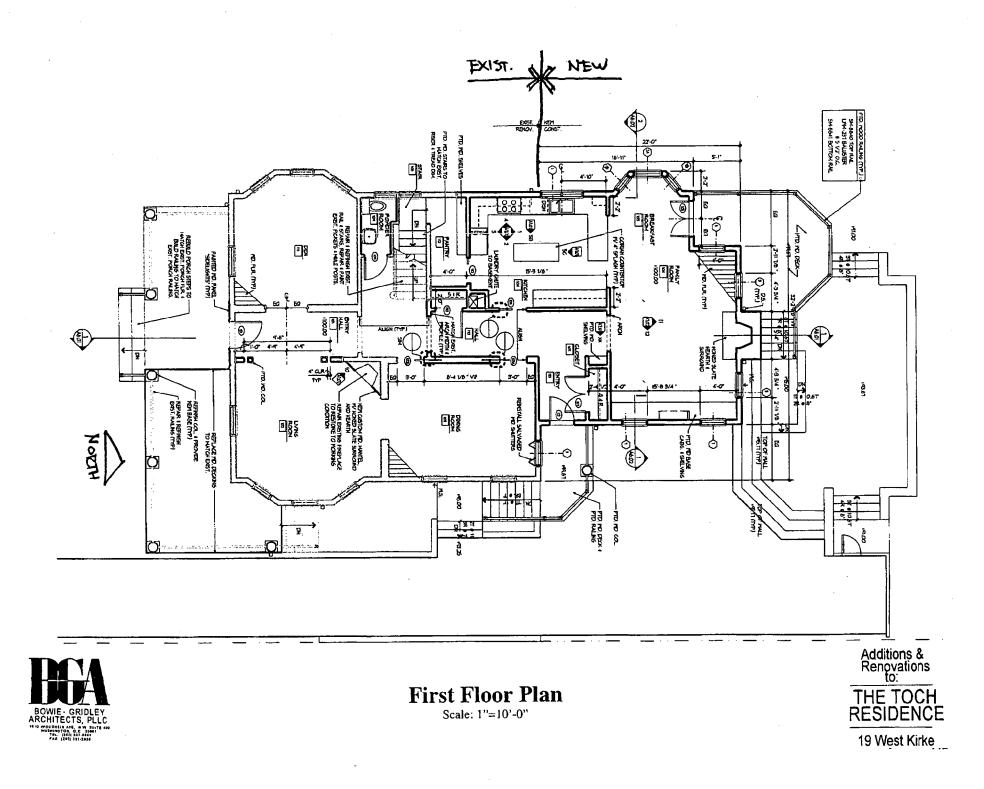
Cc: Tracy Standard, fax 202-244-3846

Bowie Gridley Architects, P.L.L.C. 1010 Wisconsin Avenue, N.W. Washington, D.C. 20007 Tel: 202-337-0888 Fax: 202-337-2626 bga@bowie-gridley.com

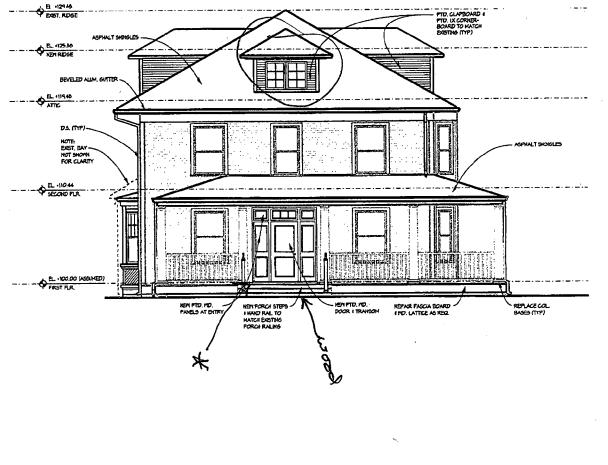
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South Elevation

Scale: 1"=10'-0"

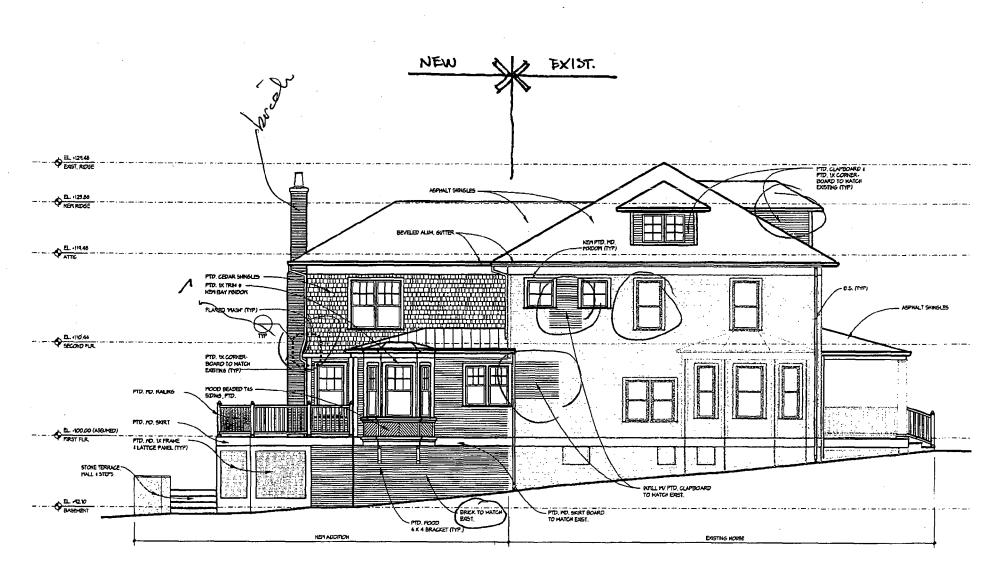
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2004

Additions & Renovations to:

THE TOCH RESIDENCE

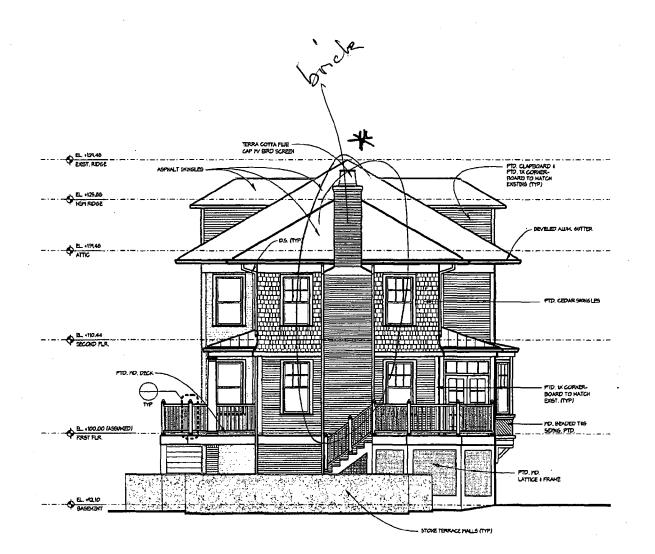
19 West Kirke Chevy Chase, MD



BOWIE · GRIDLEY ARCHITECTS, PLLC CONTROLOGY IN CONTECTOR CONTROL OF ALCONT

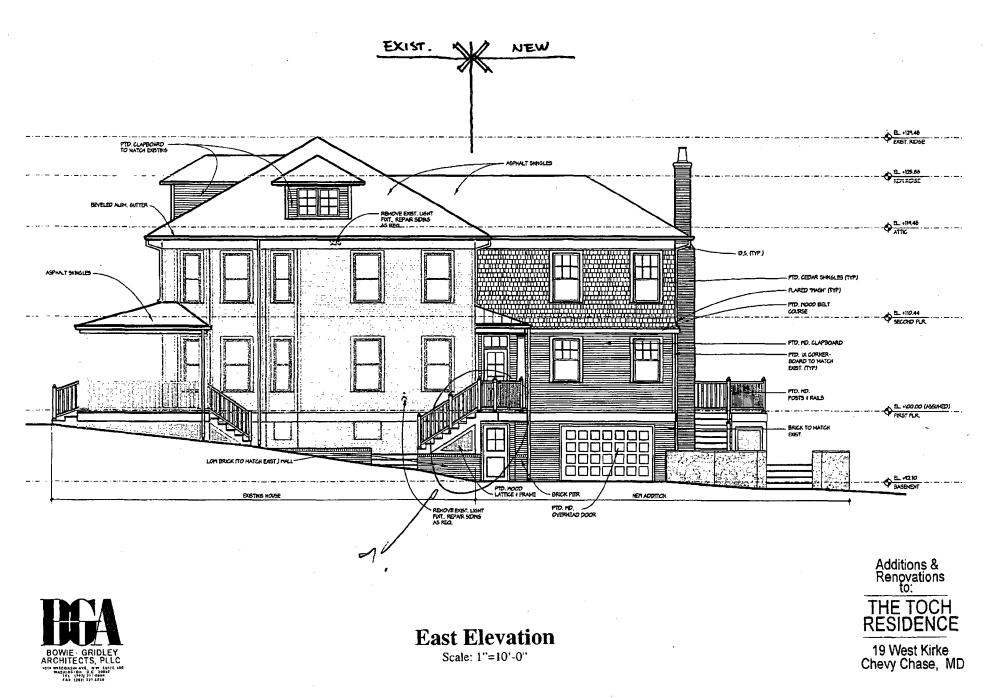
West Elevation Scale: 1"=10'-0" Additions & Renovations to: THE TOCH RESIDENCE 19 West Kirke Chevy Chase, MD

2005





North Elevation Scale: 1"=10'-0" Additions & Renovations to: THE TOCH RESIDENCE 19 West Kirke Chevy Chase, MD



05/09/2002 11:53 FAX

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MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

September 12, 2003

Thomas Toch 19 West Kirke Street Chevy Chase, Maryland 20815

Dear Mr. Toch:

Thank you for soliciting my advice and opinion on the interior rehabilitation work that you have undertaken at your house at 19 West Kirke Street, which is a contributing resource in the locally-designated Chevy Chase Village Historic District.

Based on the photographic documentation and the written description that you have provided to me, it appears to me that your work to change the previously-altered opening between the entrance hallway and the livingroom of your house is entirely appropriate.

Turn-of-the-century (and earlier) houses are characterized by having a floor plan with separate and distinct rooms. During the middle part of the 20th century, open floor plans – with one living space flowing into another – become very popular. Often older houses were altered to create more open floor plans. When you purchased 19 West Kirke Street, there was a steel beam spanning the wide opening to the livingroom. This would not have been typical of 1911 Four Square house. I believe that this was a later change to open up the livingroom space and create a more open floor plan.

I feel it is completely appropriate to reverse the change described above and to restore a more authentic floor plan to your house. Obviously, it would be ideal if you had historic photos of the interior of your house to guide your restoration work. However, those types of resources are not always available. When you don't have historic photos, I generally recommend that it is important to examine similar buildings and to see if there are architectural details that appear to be typical to the area and the period. It is my understanding that you have looked at other houses in Chevy Chase Village that date from the same period and that your changes to reverse the previously alterations are predicated on that study.

From my experience with historic houses in Montgomery County – and specifically in Chevy Chase Village – that are similar to yours in age and design, I feel that the half-walls with columns that you have added are absolutely typical and appropriate.

In conclusion, I feel that your work to reverse a previous, historically-inappropriate change to the floor plan of your house is appropriate. Retaining the wide opening to the livingroom would have perpetuated a mistake that diminishes the historic character of your house. Your work – although somewhat conjectural – restores the floor plan of the house to a form that I believe is much closer to the original.

Historic Preservation Supervisor

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



FAX TRANSMITTAL SHEET

Historic Preservation Office Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: TOM TOCH FAX NUMBER:	
FROM: GWEN WRIGHT	
DATE: <u>9/12</u>	
I NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET:	2
NOTE:	

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Ms. Gwen Wright Historic Preservation Coordinator The Maryland-National Capital Park and Planning Commission 8787 Georgia Ave. Silver Spring, MD 20910

Dear Gwen.

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Thanks again for taking so much time and offering so much helpful information regarding my historic preservation tax credit appeal on Sept. 18.

As your recommendation, I contacted Traceries and I'm working with Laura Hughes there to develop my historic preservation tax credit appeal.

I would be very grateful if I could take you up on your offer to write a letter on my behalf regarding the half wall that we added near the front entrance to our house, which, as we've discussed is a 1911 Four Square. As you can see from the enclosed photographs, a substantial steel beam spanned the opening between the entrance hallway and the living room. And a floorto-ceiling wall of about a foot extended from the fireplace into the hallway-living room opening. We lowered the ceiling from the beam to match the height of the top of the opening to the library that it faces across the hallway. We added an 18-inch half wall and column to the floor-toceiling near the fireplace. And we added a matching floor-to-ceiling wall and half wall with a column at the front of the house, to make the opening to the living room symmetrical.

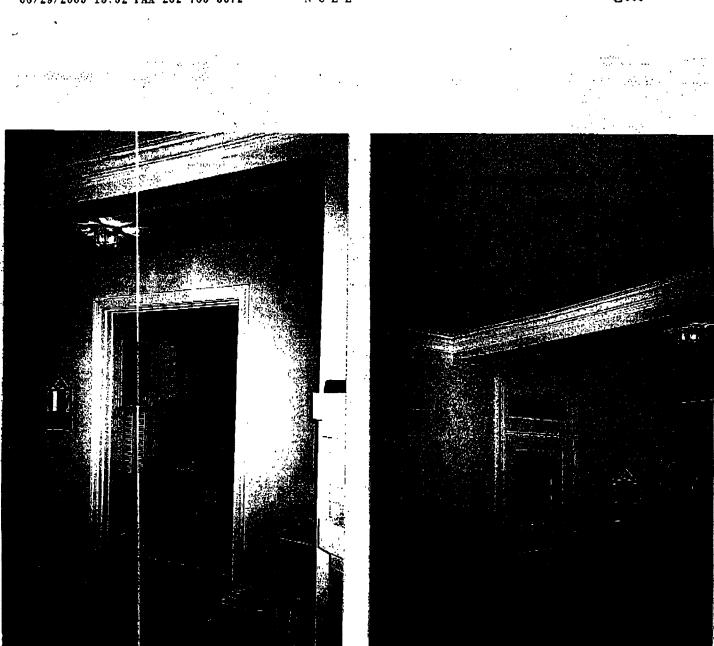
Your argument that the new entrance to the living room is "absolutely typical" of Four Square houses such as ours would be very compelling to the board of the Maryland Historic Trust, as would be your contention that steel beams were installed in houses such as ours only after loadbearing walls were removed. Both these points respond to the MHT staff's concern that there's no physical or photographic evidence to substantiate the design of the new half wall between the entry hall and the living room.

Do you think you could get the letter to me (it should probably be addressed to me, don't you think) by Suptember 8, so Laura and I can incorporate it into our presentation?

Thanks a lot. Please call me with any questions.

Sincerely,

Thomas Toch 19 West Kirke St. Chevy Chase, MD 20815 Ph: 202/378-2121 Fax: 202/783-3672



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Bowie Gridley Architects, P.L.L.C.

1010 Wisconsin Avenue, N.W. Washington, D.C. 20007 Tel: 202-337-0888 Fax: 202-337-2626

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Toch Residence 19 West Kirke Chevy Chase, MD

Photos of existing conditions.

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	19 West Kirk	e Street, Chevy Chase	e: 06/12/02				
Applicant:	Tom Toch (K	Foch (Kevin Day, Architect)Report Date:					
Resource:	Chevy Chase	vy Chase Village Historic District Public Notice:					
Review:	HAWP		Tax Credit:	Partial			
Case Numbe	r: 35/13	-02M	Staff:	Perry Kapsch			
BROBOGAL	. D	front door modify front ato	na/front norch/	ide windows/hogom			

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE:	Contributing Resource
STYLE:	Colonial Revival/Four-Square
DATE:	1882-1916

PROPOSAL

The applicant proposes to:

- 1. Demolish the rear two-story porch and pantry and replace them with a 2story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
- 2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

- 3. Replace the dormer windows with wood trimmed, true light windows in the same 6-light configuration. Replace the asphalt shingle cladding on the dormers with clapboard siding.
- 4. Replace all aluminum screens with painted wood frame screens.
- 5. Replace the existing glass paneled front door with a solid door with panels on either side.
- 6. Replace the wooden front steps with slate steps. Install a painted wood hand rail to match the existing rail on the front porch.
- 7. Replace the existing concrete front walk with a brick front walk.
- 8. Remove windows on two levels at the rear of the left façade.
- 9. Install a 4-light and 1/1 window on the second level at the rear of the left façade.

STAFF DISCUSSION

With the exception of the changes proposed for the front door and front steps, the modifications proposed to this property are within the guidelines for changes to a Contributing Resource in the Chevy Chase Village Historic District. They are also in keeping with the Secretary of Interior's Guidelines for Rehabilitation. Demolition of the rear sleeping porch and back porch constitute removal of original materials and staff has recommended that they be carefully photographed before they are removed. The garage is not listed in the historic district designation as a contributing feature, but is included in the documentation as its age has not been conclusively determined.

Changes to the front façade of a Contributing Resource are subject to moderate scrutiny. Replacement of an original front door, the addition of out-of-period paneling, and the replacement of original steps, all changes clearly visible from the right-of-way, should be discouraged. As stated in the historic district guidelines, "A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations." In this case, the resource is an intact example of a common architectural style, not an outstanding resource that has been altered. To maintain its contribution to the streetscape of the historic district, it is important that the structure maintain a high degree of integrity. On a simply styled house such as this, the glasspaneled front door represents one of its most distinctive architectural features.

Replacement of the front steps is also problematic as they are an important aspect of the wood porch that has often been removed and replaced with concrete rather than being rebuilt. Where the wooden steps have been preserved, every effort should be made to continue to protect them. Use of slate is particularly inappropriate as it is both out-of-period and too formal for the simple style of the house. The need for slate as an all-weather surface is not evident given the choice of a painted wood railing to be installed on the steps.

The basic policies in the Chevy Chase Village Guidelines include preserving the integrity of the district in order to perpetuate the ability to perceive the sense of time and place portrayed by the district. The proposed front door design would detract significantly from the property's contribution to the portrayal of the time (turn of the century) and place of significance of the district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for "preserving the integrity of contributing structures in the district." Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

with the general condition applicable to all Historic Area Work Permits that <u>the applicant shall</u> also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR. ROCKVILLE. MD 20850 240/777-6370

DPS - #8

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HISTORIC PRESERVATION COMMISSION 301/563-3400 APPLICATION FOR

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Disapproved: _____

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Date Filed: 25/05/02

Date

Date issued:

Signature:

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Edit 6/21/99

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WRITTEN DESCRIPTION OF PROJECT

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Description of existing structure(s) and environmental setting, including their historical features and significance: Ъ.

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General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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(2.) SITE PLAN

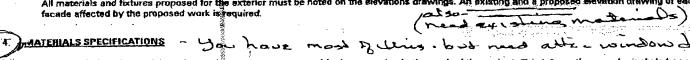
Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpstars, mechanical equipment, and landscaping

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and oth fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of eac facade affected by the proposed work is required.



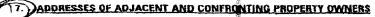
General description of materials and menufactured items proposed for incorporation in the work of the project. This information may be included on y design drawings. - cut sheats -

PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the a. front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be place the front of photographs.

6 " are affected and that states Shea 6) TREE SURVEY - 0% nova

If you are proposing construction adjacent toor within the dripline of any tree 6' or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension. · •



For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. Thi should include the owners of all lots or parcets which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly acri the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Stree Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDER OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS

PAGE 1/2

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SENT BY: M-UPPC HISTORIC PRESERVATION OFF;301 563 3412 ;

Toch Residence 19 West Kirke Chevy Chase, MD

A. The existing 2-story wood frame house has clapboard siding with a brick basement level, which becomes more prevalent as the site slopes towards the back of the house. A wood porch at the front covers the entire width of the house; a 2-story sleeping porch covers the width of the rear. All windows on the house are double hung with the exception of dormers on the south, east, & west, which have casement windows. All windows, with the exception of the dormers have aluminum frame screens. Both porch roofs and the pyramidal house roof are asphalt shingles. Shrubs line the concrete front walk and cypress trees line the east edge of the asphalt driveway. A detached garage with clapboard siding and asphalt roof lies at the northeast corner of the lot.

B. The existing sleeping porch at the rear of the house will be removed and a 2-story wood frame addition with asphalt shingle hip roof will be added in its place. The addition will have a brick basement level and clapboard first level to match existing conditions. The second story of the addition will have cedar shingle siding. Clapboard siding will replace the existing shingle siding on the sides of all dormers and trim that coincides with existing window detailing will be added as well. New true light wood windows matching the existing size and light pattern will be installed in all dormers for increased energy efficiency. All aluminum frame screens will be replaced by wood counterparts. A solid wood front door with wood paneling that mimics the proportions of side lights will replace the existing door; the existing conditions and a handrail will be added to match the porch rail. Slate steps to the porch will be added to mimic those found within the neighborhood and the existing concrete walk will be replaced with brick. The detached garage will be removed and a painted wood deck & flagstone patio with landscaping will be installed in the back yard

002 NCEE 2002 09:05 FAX 202 783 3672 301 931 1352 P.03 11:58A Capitol Surveys Inc. 7 15 5-14 \frown 60 -0.55'LY(=") 0.65い(き) ヨリー 6 34.54(5) Fran مد LORTI Gazaco 2.0.0 15 >**∳** いて d 07 9 ł 20.2 ПП DODADE 5.52 10(=1) छाद 2.STORY FRAME β β 1)Benie 021 'n ģ 25'B.E.1 25 22 32.2 ON. PORCH \underline{N} 2 Ē 15 5 KIRKE -67 Э. NOTES: Plat is of benefit to a consumer only insofar as it is required by a Capilol Surveys, Inc. lender or a tille insurance company or its agent in connection with contom-plated transfer, financing or re-financing, the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other 10762 Rhode Island Avenue existing of future improvements; and the plat does not provide for the accurate identification of property boundary lincs. but such identification may not be required for the transfer of title or securing financing or **Beltsville**, Maryland 20705 Phone 301 931-1350 refinancing. This property lies within Zone C. (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise Fax 3()1-931-1352 shawn. LOCATION DRAWING I hereby certify this location drawing was prepared in LOT O BLOCK 38 accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my ballef of what can be visually and accessibly Section N 5.0L 70SE observed r =1 MONTGOMERY COUNTY, MARYLAND 50010 1- - 20 106 ~ Clas 1653.00 Edward L. Lopez CASE: 650 FILE: 29 >C Maryland Property Line Su 622 DATE: SEPTEMBER 20 2000 SEP 27 '00 13:23 301 931 1352 PAGE.03 79/29.4

10 505 SV6144

SEP 27 '00 14:12 FR PARADON ROTHON SUITION

SPECIFICATIONS

Frame: Interior: Clear pine or finger jointed core with clear pine veneers. Exterior: Edge-glued or finger jointed pine. Wood parts kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1-3/16 inches (30 mm). Frame Width: 4-9/16 inches (116 mm). Subsill thickness: 15/16 inch (24 mm).

Sash: Clear pine or finger jointed core with clear pine veneers kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDAI.S.4. Sash Thickness: 1–3/4 inches (44 mm) for operating units; 1–3/4 inches (44 mm) or 1–29/32 inches (48 mm) for picture units. Corners slot and tenoned.

Finish:

A. Exterior: [Treated bare wood] [Latex prime coat, White]

B. Interior: [Treated bare wood] [Latex prime coat, White].

Hardware: Factory installed operating hardware. Roto-gear with high-pressure die-cast zinc operator base. Hardened steel drive worm and gear arms. ABS operator base cover. High-pressure die-cast zinc [crank] [circle] [flip] handle. [Coastal hardware].

- A. Locks: Lever. One concealed lock on units smaller than series 32 height; two concealed tandem sequential locks on series 32 height and taller units.
- B. Hardware Finish: [Electrostatically painted [bronze] [white] baked enamel.] [Plated brass.]

Weatherstripping: Frame weatherstripped on four sides with flexible gaskets. Sash weatherstripped on four sides with combination bulb and leaf-type weatherstrip. Color: Beige.

Jamb Extensions: Available for various wall thicknesses. Factory installed.

Screens: Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bronze].

Removable Grilles: [Diamond: 5/8 inch by 15/32 inch (16 mm by 12 mm)] [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Authentic Divided Lites (ADL): [7/8 inch (22 mm) single glaze pine muntin] [1-11/16 inches (43 mm) insulating glaze pine muntin].

A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Simulated Divided Lites (SDL): [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [*Internal Spacer].

A. Pattern: [Rectangular] [Custom lite layout].

Glazing: Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

A. Glazing Method:

- 1. Single Glazed
- 2. Single Glazed with Energy Panel
- 3. Single Glazed with Authentic Divided Lites
- 4. Single Glazed with Authentic Divided Lites and Energy Panel
- 5. Insulating Glass [Altitude Adjusted]
- 6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
- 7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]
- B. Glass Type:
 - 1. Clear
 - 2. Bronze
 - 3. Gray
 - 4. Solarcool Bronze
 - 5. Low Ell
 - 6. Hardcoat Low II (Energy Panels only)
 - 7. Low E II with Argon
 - 8. Tempered 9. Laminated
 - 9. Laminated 10. Obscure

STANDARD GRILLE, AUTHENTIC AND SIMULATED DIVIDED LITES -**OPERATING / STATIONARY UNITS**



NOT TO SCALE

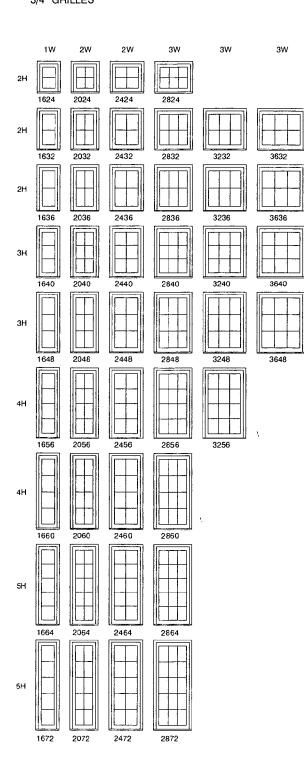
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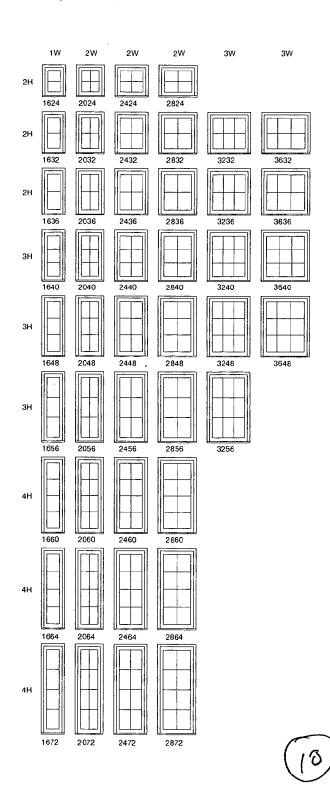
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7/8" SINGLE GLAZE AUTHENTIC DIVIDED LITES 7/8" SIMULATED DIVIDED LITES 3/4" GRILLES

1 11/16" INSULATING GLASS AUTHENTIC DIVIDED LITES 1 1/8" SIMULATED DIVIDED LITES 1 1/8" GRILLES

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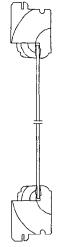


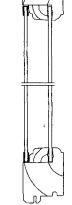


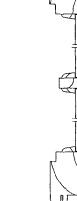
GLAZING OPTIONS SCALE: 3" = 1' 0"

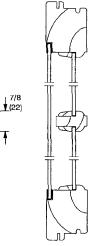
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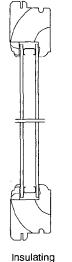


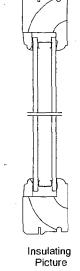


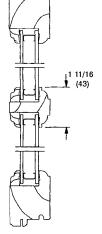








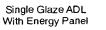




Single Glaze

Single Glaze with Energy Panel

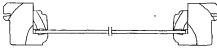
Single Glaze ADL





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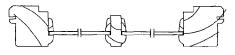
Insulating ADL



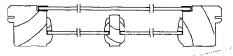
Single Glaze



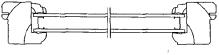
Single Glaze with Energy Panel



Single Glaze ADL



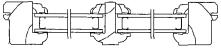
Single Glaze ADL With Energy Panel



Insulating



Insulating Picture

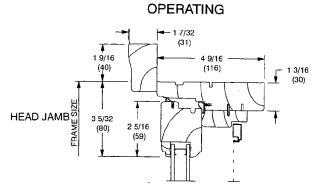


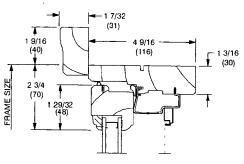
Insulating ADL

SECTION DETAILS

SCALE: 3" = 1' 0"

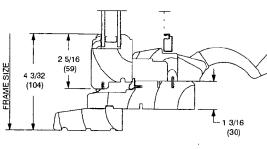
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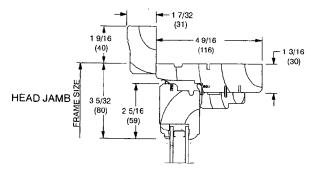


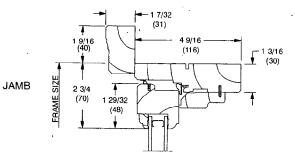


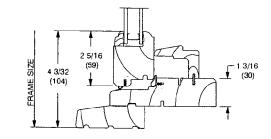


JAMB





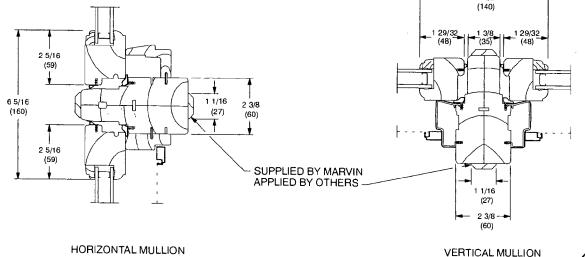




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SILL



17.6



VERTICAL MULLION

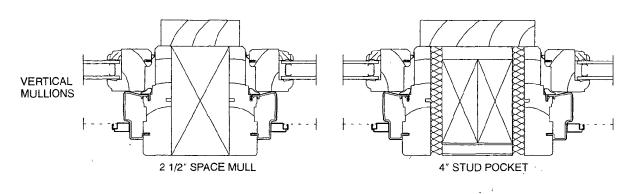


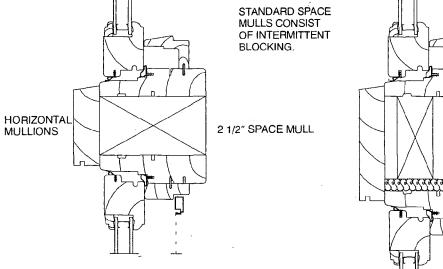
SECTION DETAILS SCALE: 3" = 1' 0"

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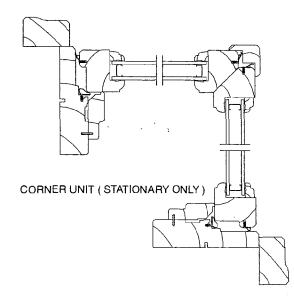


MULLIONS





4" STUD POCKET



When two or more units are mulled together with a space between and the jamb extension surrounds the entire unit, it is a space mull.

When two or more units are mulled together with a space between and the jamb extension surrounds each unit separately, providing space for a support member between the units, it is a stud pocket.

Chevy Chase Village

28 W INVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	8/8	SIDE GABLE	ASPHALT	1	RESIDENCE	;	+ ()
25 W INVING ST	SUTCH COLONIAL/REGENCY	1892 1916	2	2 WODD CLAPBOAND		GAMUREL	SLATE	1	RESIDENCE		0
JO W INVING ST	CRAFISMAN	•	· ·	3 WOOD SHINGLE	6/6	1	:	1	•		
		1916 27	•	•	•	FRONT GABLE	SLATE	c1920	RESIDENCE		BOSS & PHELPS HOUSE
It w IRVING ST	CHAFISMANBUNGALOW	1892 1916	2.	3 STUCCD	12/1	SIDE GABLE	ASPIALI	BY 1909	RESIDENCE	H WILSON	
12 W INVING ST	COLONIAL REVIVAL	1916 27	2.	2 WODD-CLAPBOARD	, 5/B	SIDE GABLE	SLATE	C1920	RESIDENCE	HHEDGES	
11 W INVING ST	CRAFTSMANIA SQ	1092-1916	2	3 WOOD SHINGLE	CASEMENI	PYRAMIDAL	ASPHALI	BY 1912	RESIDENCE	H HENKLE (LIEUT)	
15 W TRVING ST	COLONIAL REVIVAL	1916 27	2	Z WOOD-CLAPBOARD	6/8	SIDE GABLE	SLATE	•	RESIDENCE		
H W INVING ST	COLUNIAL REVIVAL	1916 27	2	3 STUCCO	6/6	GAMBREL	SLATE		RESIDENCE	H PRETTYMAN	
I E KINKE ST	DUTCH COLUNIAL	1916 27	-	S WOOD CLAPHOAND		GAMBREL	SLATE	. 1920	•	1	
				•		•	•		RESIDENCE	A WARDMAN	ISTAK 1920
JE NIKKESI	COLONIAL REVIVAL	1627 41	NC	J BRICK	8/8	SIDE GABLE	SLATE		RESIDENCE	•	
JE NINKE ST	MEDITERREAN REVIVAL	1892 1916	2	3 STUCCO	9/1	SIMPLE HIP	PANTILE		RESIDENCE	1	4 SQ FDRM
AL NIRNE ST	COLONIAL REVIVAL	1927 41	NC	3 BRICK	6/8	SIDE GABLE	SLATE		RESIDENCE	!	OUTBGINC
SE NINKE ST	COLOHIAL REVIVAL	1692-1916	2	J WOOD SHUNGLE	6/1	SIDE GABLE	ASPHALT	BY 1912	RESIDENCE	A CLARK? H: HAMLIN/HDDGES	OUTBG-C; SIMILAR TO 3 E IRVING
SE KINKE SI	CRAFISMAN	1692 1916	2 '	3 STUCCO	16/1	SIDE GABLE	SLATE	c1911	RESIDENCE	A: HEATON; H CORBY, ROBERT	ROBERT CORBY HOUSE
TE KIRKEST	COLONIAL REVIVAL	1941 96	NC	3 WOOD CLAPBOARD	6/9	SIDE GAULE	ASPHALT	1	RESIDENCE		ROBERTCORBENOUSE
		• •		1	•	1	1	1	1	1	
9 E NIRKE ST	COLONIAL REVIVAL	1092 1916	4.	J WOOD CLAPHOARD	2/1	PYRAMIDAL	SLATE	1 1893	RESIDENCE	A DESSEZ H BIRNEY	BIRNEY HOUSE
IDE KIRKE ST	COLONIAL REVIVAL	1 892 1916	· .	3 WODD CLAPBOARD	6/1	SIMPLE HIP	SLATE	c1894	RESIDENCE	H MCCUBBIN	ROBERTSON MEMOIR
IT E NIRKE ST	MODERN	1941 96	NC .	2.BRICK	6/6	FRONTGABLE	ASPHALI		RESIDENCE	1	
IDI E MIRNE SI	COLONIAL NEVIVAL	1892-1916	1	J WOOD-CLAPBOARD	6/6	SIDE GABLE	ASPHALT	1499	RESIDENCE	A HEATON, H. WEAVER	JOHN L. WEAVER HOUSE
102 E NIRNE ST	CLASSICAL REVIVAL	1692-1916	1	3 ⁱ stucco	3/1	SIDE GABLE	ASPHALT	BY 1910	RESIDENCE	H KINGAN	OU TBG-C/GATE
W NINKE SI	I UDOR REVIVAL	1892-1916	2	3 STONE	CASEMENI	FRONT GABLE	ASPHALT	c 1895	RESIDENCE	H DE LACY	
SW NIRAE ST	IUDOR NEVIVAL	1892-1916	, '	3 STONE	1/1	FRONT GABLE	WOOD SHINGLE	c 1895	RESIDENCE	H MURHENRY	
	COLONIAL REVIVAL	•	•	J WOOD CLAPBOARD		•	•	•	•	1	
W NINKE SI		1692 1916		•		CROSS GABLE	SLATE	PA 1915	RESIDENCE	H. COLT	FREE CLASSIC ECLECTIC
WW AINAE ST	COLONIAL REVIVAL	1892 1916	,	2 ALUMINUM/VINYL	1/1	SIMPLE HIP	ASPHALT	RA 1815	RESIDENCE	H YELLOTT (HEAL ESTATE)	
10 W NINKE ST	COLONIAL REVIVAL	1892 1916	NC	J WOOD CLAPBOARD	ы	PTHAMIDAL	ASPHALI		RESIDENCE	H HENRY	
H W NINKE ST	COLONIAL REVIVAL	1092 1910	۱.	3 WOOD CLAPBOARD	6/6	SIMPLE HIP	SLATE	C1924.	RESIDENCE	11. MACKRILLE JUSTORY BUILT BY 1916	OUTEG CIGATE, ROBERTSON, REMODELED CIDIS
12 W KINKE ST	COLONIAL REVIVAL/ECLECTIC	1892 1916	1	1 WOOD CLAPBDARD	1/1	CHOSS GABLE	SLATE	c1896	RESIDENCE	H. VAN DYNE	DEEDS
IN W MIKE ST	QUEEN ANNE	1892 1916	1	J-WOOD CLAPBOARD	1/1	CHOSS GABLE	ASPHALI	c1894	RESIDENCE	A: DESSEZ, H COZZENS	OUTBG-C: COTTAGE Z, OFFUTT, ROBERTSON
IS W NIKNE ST	OUTCH COLONIAL	1692 1916	, '	STUCCO	CASE DOOR	GAMBHEL	ASPHALT	BY 1912	RESIDENCE	H EVANS (USMC)	
IN W NIKKE ST	CLASSICAL REVIVAL	1892-1916	2	1 STUCCO	6/2	SIMPLE HIP	SLATE	1			CCHS#384
		• •	•	1		•	i i	c1895	RESIDENCE	H: ORD FAMILY	WRAP PORCH REMOVED
IT W NIRKE ST	CRAFTSMAN	1892-1916	2,	3. WOOD SHINGLE	6/1	SIDE GABLE	ASPHALT	c1915	RESIDENCE		
14 W NIRAE ST	MODERN NEO COLONIAL	1941-96	NC .) BRICK	0/0	SIDE GABLE	ASPHALT	c1963	RESIDENCE		
ISW AIRAE ST	COLONIAL REVIVAL	1892-1916	2	3 WOOD CLAPBOARD	1/1	PYRAMIDAL	ASPHALT	1913	RESIDENCE	A WRE	OUTBGINC; ORIGINAL CONTRACT
20 W NIRKE SI	BUNGALOW	1916 27	2	2 WOOD CLAPBOARD	6/6	SIDE GABLE	ASPHALI	ļ	RESIDENCE		OUTBG-C
21 W NIRNE ST	COLUNIAL REVIVAL	1941-96	NC .	2 WOOD CLAPHOARD	I BAY	SIDE GABLE	SLATE	1	RESIDENCE		
24 W NIRKE SI	CRAFTSMAN	1892 1916	2	2 WOOD SHINGLE	8/8	FRONTGABLE	ASPHALT	i	RESIDENCE		
	IUDOR REVIVAL	•	•		•	1	i i	i	1		
25 W KIRKE ST		1916 27		1 STONE	9/9	CROSS GABLE	SLATE	ì	RESIDENCE	JA: RODIERAKUNDZIN	
20 W KIRKE ST	CRAFISMAN	1892-1916	2.	s siucco	9/1	FRONTGABLE	SLATE	1	RESIDENCE	1921 SLEEPING PORCH BY HEATON; H SLEMAN	OUTEG C, PAUESLEMAN HOUSE
21 W NIHNE ST	CI ASSICAL REVIVAL	1916 27	2.	2 WOOD CLAPBUAND	, b/b	SIDE GABLE	SLATE	c1313	KESIDENCE	H GARDNER	FORMER LAB CONVERTED
28 W RINKE SI	COLONIAL/4 SQ .	1092 1916	NC	3 ALUMININYL	ALL MOD	PYRAMIDAL	ASPHALT	1	RESIDENCE		LOST INTEGRITY
28 W AINAE ST	CHAFTSMANNA SQ	1892-1916	1	stucco	I/1 PATTER	SIMPLE HIP	ASPHALT	ł	RESIDENCE		HIGH ARCHITECTURAL INTEGRITY
JU W AINKE SI	COLUNIAL REVIVAL	1927-41	2	3-ALUM/VINYL	12/12	SIDE GABLE	ASPHALT	1	RESIDENCE		DUTBGC
JEW NINKE ST	CHAFISMAN	1892 1916	2	3'STUCCO	9/1	SIDE GABLE	SLATE	1	RESIDENCE	H INGERSOLL	1
12 W NIMME ST	COLUNIAL REVIVAL/CRAFTSMAN	1692 1916	- ·	3;STUCCO	6/1	SIDE GABLE	SIATE	i	RESIDENCE	I DICENSOLL	EAST ADO W/ BASE GAR
		• •	•	,	•				i		OUTBG-C
IS W MIRKE SI	COLONIAL REVIVAL	1916 27	f .	•	6/6	SIDE GABLE	SLATE	i	RESIDENCE	H TAYLOR (INSTRUMENTS)	ATTACHED GARAGE
14 W AIRAE ST	BUNGALDW	1892-1916	2,	2 BRICK	FILED	SIDE GABLE	ASPHAL T	c1915	RESIDENCE	H. HARTMAN, LAWRENCE (WRITER)	OUTBG-C
4 LAUREL PRWP	CRAFISMAN	1092 1915	1 . ·	1 STONE	, MI	SIMPLE HP	ASPHAL I	c 1896	RESIDENCE	A MELINE; H. LEMLY (LIEUT)	S ADD PORCH ALTER
IS LAUREL PRWY	MODERN SPLIT LEVEL	1941-96	NC	1;WOOD CLAPBOARD	a/a	CHOSS GABLE	ASPHAL I	ļ	RESIDENCE		GARAGE BUILT IN BASEMENT
I E LENOA SI	DUTCH COLONIAL	1916 27	2	2 WOOD CLAPBOARD	6:6	GAMBREL	SLATE	İ	RESIDENCE	1	OUTBG-C
JE LENDASI	CLASSICAL REVIVAL	1892-1916	,	2 WOOD CLAPHOARD	616	CROSS GABLE	ASPHAL I		RESIDENCE	A DESSEZ: H: BUHRMEISTERIMCCAMON (ARMY)	CCHS#360 C1894
4 E LENGA SI	MUDERN NED COLONIAL		NC	•	8/8	SIDE GABLE	SLATE	1	RESIDENCE	COLOSCE, IL DOMINIELSTERIMECOMOR (ARMIT	
			•	:		SIMPLE HIP	ASPHALT	í i			OUIBGINC
SE LENOA SI	SHINGLE	•	2.	3 WOOD CLAPBDARD			· -) 1	RESIDENCE	A: HARDING	OUTBG-C
OE LENUA SI	SHINGLE		2.	J WOOD CLAPBOARD		FRONT GABLE	ASPHALT		RESIDENCE	H: WEAVER/HEATON	OUTBG-C
YE LENGA SI	CRAFISMAN	1892-1916	1 ;	3 WOOD CLAPBOARD	2/2	SIMPLE IBP	SLATE	c1894	RESIDENCE	A. DESSEZ; H. HITZ (LAWYER)	D S PORTER HOUSE
IDE LENDA SI	COLONIAL REVIVAL	1905 1916	1 <u> </u>	J.WOOD CLAPBOARD	6/1	SIDE GABLE	SLATE		RESIDENCE	H. BROWNE (LAWYER)	CCH5#703 C1904
ILE LENGA SI		1892 1916	2	3 ALUMINUMWINYL	6/1	SIDE GABLE	ASPHALT		RESIDENCE	H BRAINARD (REAL ESTATE)	
ILE LENUA SI	CULONIAL REVIVAL					SHAPLE HIP	ASPHALT		RESIDENCE	H: GALAND	CCH5#1492 C1915
		•	•) WOOD CLAPHOAHD							CC1081436 C1313
IZE LENOA SI	COLONIAL REVIVAL	1892 1916	2	J WOOD CLAPHOARD		19055140	SLATE	HY ICO.			
IZE LENOA SI ISE LENOA SI	COLONIAL REVIVAL COLONIAL REVIVAL/ECLECTIC	1892 1916 1892 1916	2	3 WOOD SHINGLE	1/1	CROSS HIP	l (EY 1904	RESIDENCE	H NORTHROP'(LAWYER)	OUTBG C CCrtSee3 #793
IZE LENOA SI ISE LENOA SI IOOE LENOA SI	COLONIAL REVIVAL COLONIAL REVIVAL/ECLECTIC MUDERN CAPE COD	1892 1916 1892 1916 1541 96	2	3 WOOD-SHINGLE 2 BRICK/ALUMVIN	1/1 2-6	SIDE GABLE	SLATE		RESIDENCE		FENCE
IZE LENGA SI ISE LENGA SI IODE LENGA SI INTE LENGA SI	COLONIAL REVIVAL COLONIAL REVIVAL/ECLECTIC MUDERN CAPE COD COLONAL REVIVAL	1892 1916 1892 1916 1941 96 1882 1916	2) WOOD-STHINGLE 2 BRICKALUMVIN 2 STLECO	1/1	SIDE GABLE SICE GABLE	SLATE			H NORTHROP (LAWYER)	
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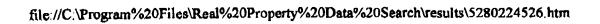
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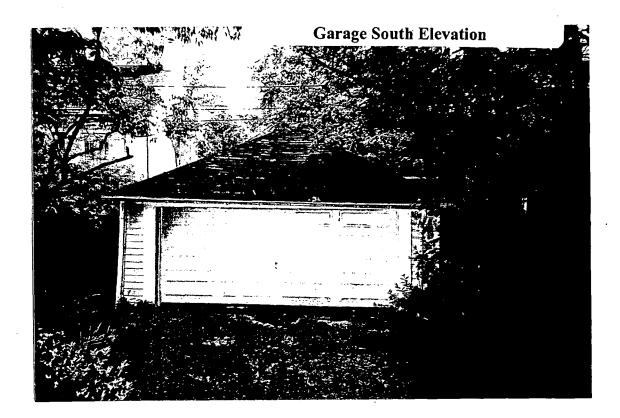
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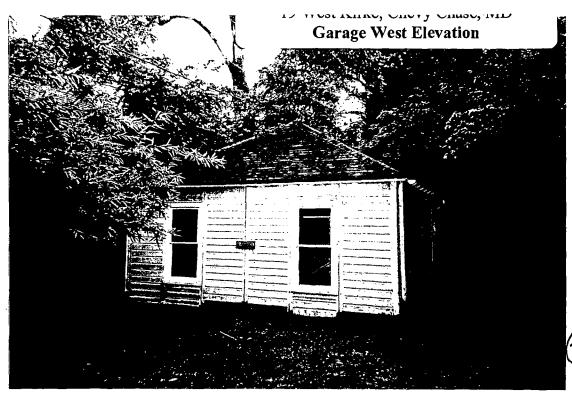
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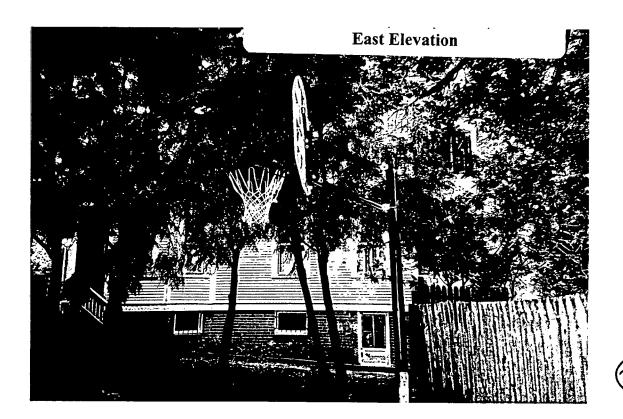
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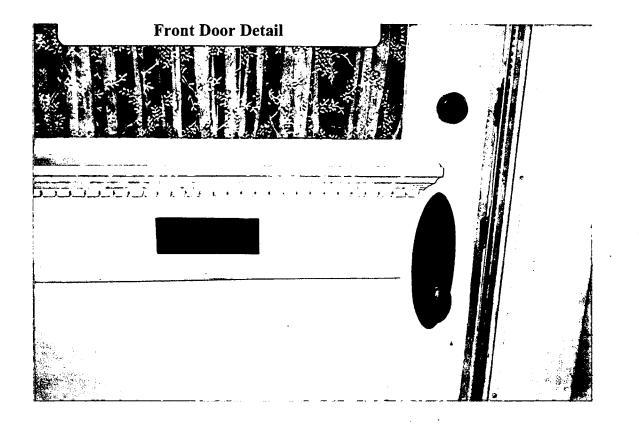
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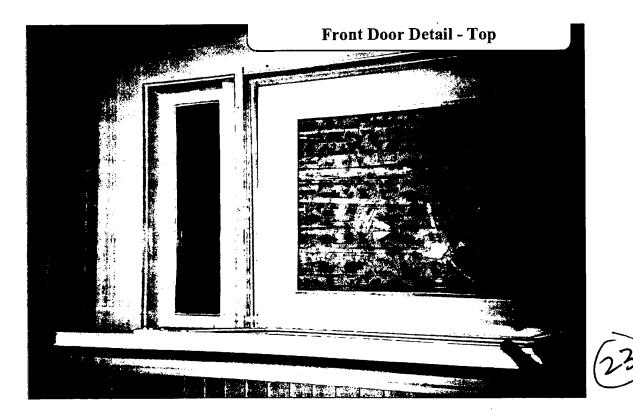


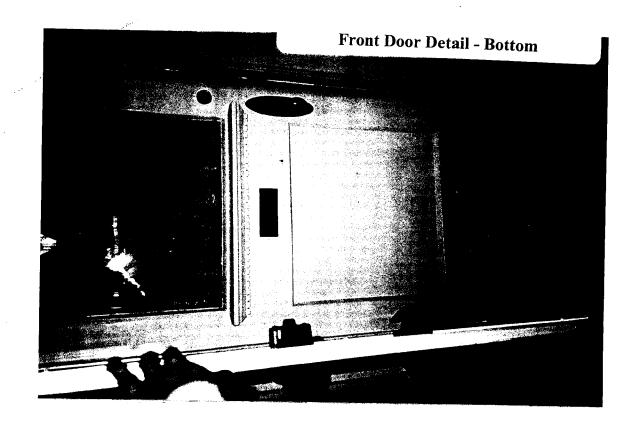




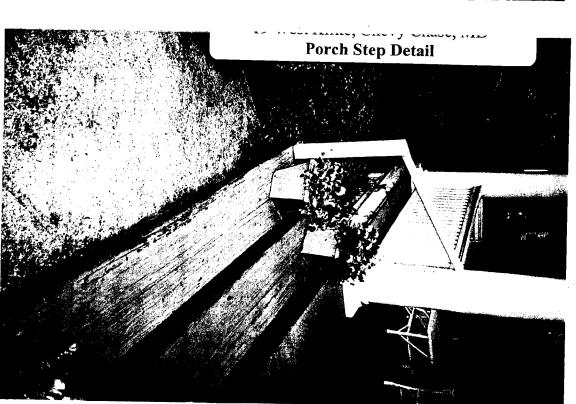






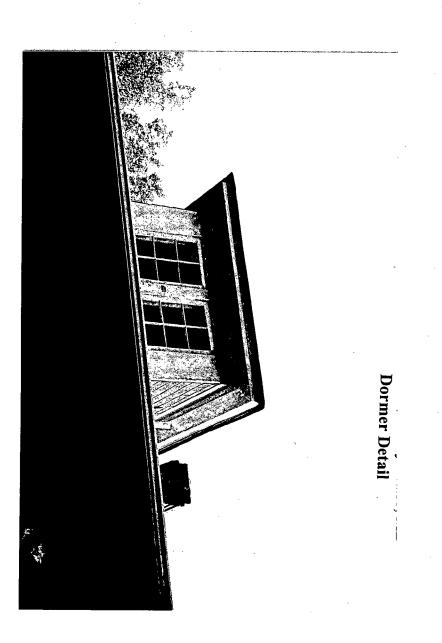


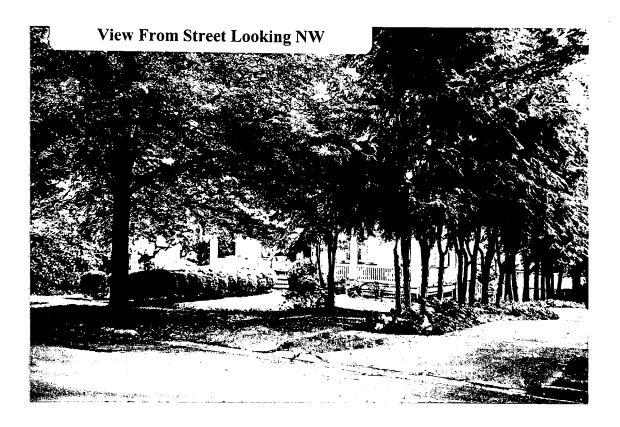
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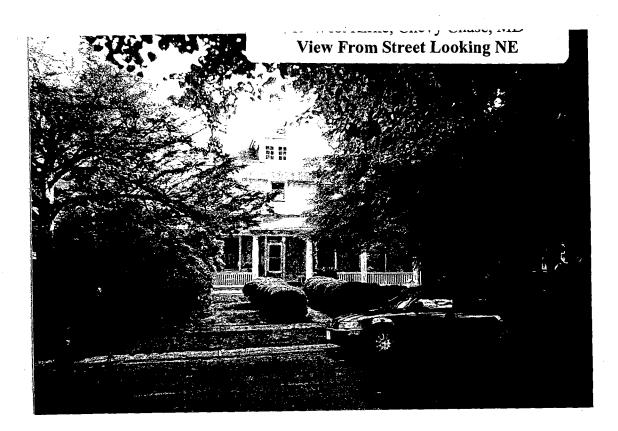


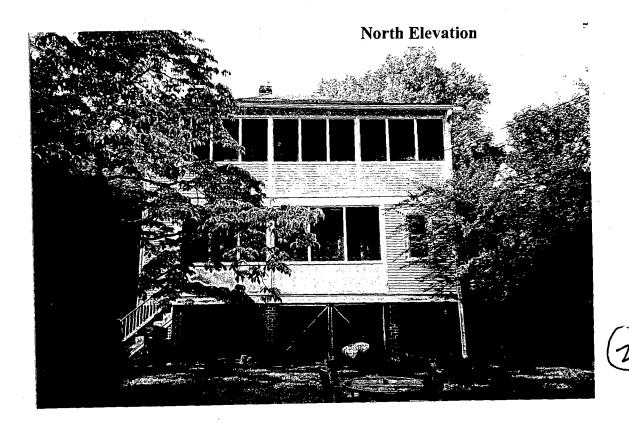












THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

June 12, 2002

MEMORANDUM

TO:	Robert Hubbard, Dire Department of Permit			
FROM:	Gwen Wright, Coordi Historic Preservation	nator		
SUBJECT:	Historic Area Work P HPC Case No:	ermit 35/13-02M	DPS No.:	278284

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

APPROVED

_____ APPROVED WITH CONDITIONS:

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: Tom Toch (Kevin Day, Architect)

Address: 19 West Kirke Street, Chevy Chase

subject to the general conditions pertinent to all Historic Area Work Permits that:

- 1. HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.
- 2. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant should arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to
 - commencement of work and not more than two weeks following completion of work.

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			Daytime Phone No.: 202	- 491-7415
Tax Account No.:				
Name of Property Owner: 10	mloch	Cinc	Daytime Phone No.:	20015
Address: 19 VV P	rirke Ur	City Chase	Staet	Zip Code
Contractorr: Mauck	Zantzinger	- 4 Assoc.	MD Steer Phone No.: _202_	- 36 3-8501
Contractor Registration No :	5			
Agent for Owner: Tracy	Stannord		Daytime Phone No.:	491-7415
LOCATION OF BUILDING/PRE	MISE	<u>_</u>	<u> </u>	
House Number: 19		Street.	W. Kirke Chase Villac	Street
Town/City: Chevy	Chase	Nearest Cross Street:		
Lot: Block:	Subdivisio	n: <u>Chevy</u>	Chase Villac	e
Liber: Folio:	Parc	el:	· · · · · · · · · · · · · · · · · · ·	
PART ONE: TYPE OF PERMIT	ACTION AND LISE			
1A. CHECK ALL APPLICABLE:	ACTION AND USE	CHECK ALL		
Construct X Extend			Slab X Room Addition	Parch M Dack
	Wreck/Raze		Fireplace 🔲 Woodburning Stov	
Revision Repair			all (complete Section 4)	-
				ier
1B. Construction cost estimate:				
IC. If this is a revision of a previou	usiy approved active permi	, see reimit #		
PART TWO: COMPLETE FOR	NEW CONSTRUCTION	AND EXTEND/ADDITIO	INS	
2A. Type of sewage disposal:	01 🗶 WSSC	02 🗌 Septic	03 🛄 Other:	
2B. Type of water supply:	01 💢 WSSC	02 🗌 Well	03 🛄 Other:	
PART THREE: COMPLETE ON	LY FOR FENCE/RETAINI	NG WALL		
3A. Height feet			llowing locations:	
3A. Heightfeet 3B. Indicate whether the fence of	r retaining wall is to be co	nstructed on one of the fo		
3B. Indicate whether the fence of	-		On public right of way/easem	ent
	-	nstructed on one of the fol n land of owner	On public right of way/easem	ent
3B. Indicate whether the fence o	e Entirely of	n land of owner	plication is correct, and that the co	nstruction will comply v
3B. Indicate whether the fence o	e Entirely of	n land of owner		nstruction will comply v
3B. Indicate whether the fence o	e Entirely of	n land of owner	plication is correct, and that the co	nstruction will comply v
3B. Indicate whether the fence o On party line/property line I hereby certify that I have the aut approved by all agencies listed ar Amug CEAA	e Entirely of thority to make the foregoi ad I hereby acknowledge a	n land of owner	plication is correct, and that the co	nstruction will comply w
3B. Indicate whether the fence o	e Entirely of	n land of owner	plication is correct, and that the co	nstruction will comply w

SEE REVERSE SIDE FOR INSTRUCTIONS

Tracy Stannard <u>THE FOLLOWING ITEMS MUS</u> <u>REQUIRED DOCUMENTS MUST A</u>	A all this by These 2.5.
1. WRITTEN DESCRIPTION OF PROJECT	2 337 2626
(a. Description of existing structure(s) and environmental setting, including	their historical fastures and significance.
	and method reactions and significance.
	·
General description of project and its effect on the historic resource(s), th	ne environmental setting, and, where applicable, the historic district:
(2) SITE PLAN	
Site and environmental setting, drawn to scale. You may use your plat. Your s	site plan must include:
a. the scale, north arrow, and date;	
b. dimensions of all existing and proposed structures; and	
c. site features such as walkways, driveways, fences, ponds, streams, trash	n dumpsters, mechanical equipment, and landscaping.
3) PLANS AND ELEVATIONS	
You must submit 2 copies of plans and elevations in a format no larger than 1.	1° x 17" Plans on 8 1/2° x 11" paper are preferred
 a. Schematic construction plans and entrypers and remain to instant many of the second se	·
fixed features of both the existing resource(s) and the proposed work.	
b. Elevations (facades), with marked dimensions, clearly indicating proposed All materials and fixtures proposed for the exterior must be noted on the e facade affected by the proposed work is required.	d work in relation to existing construction and, when appropriate, context. elevations drawings. An existing and a proposed elevation drawing of each (also- need existing and a proposed elevation drawing of each
(4.) MATERIALS SPECIFICATIONS - You have most P	guis. but need atte window detail
General description of materials and manufactured items proposed for incorpo design drawings Cut sheets	oration in the work of the project. This information may be included on your
5. PHOTOGRAPHS	
 Clearly labeled photographic prints of each facade of existing resource, inc front of photographs. 	cluding details of the affected portions. All labels should be placed on the
b. Clearly label photographic prints of the resource as viewed from the public the front of photographs.	
(6) TREE SURVEY - or statement that no	hear over 6 " are affected
If yet: are proposing construction adjacent to or within the dripline of any tree must file an accurate tree survey identifying the size, location, and species of e	6" or larger in diameter (at approximately 4 feet above the ground), you
77 DADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS	
For ALL projects, provide an accurate list of adjacent and confronting property should include the owners of all lots or parcels which adjoin the parcel in quest the street/highway from the parcel in question. You can obtain this information Rockville, (301/279-1355).	tion, as well as the owner(s) of lot(s) or parcel(s) which lie directly across

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

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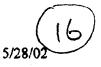
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Maryland Department of Assessments and Yaxation Go Back Nontgomery County **Real Property Data Search** New Search Account Identifier: District - 07 Account Number - 00456480 **Owner Information Owner Name** MACDONALD, ALASTER & J R RESIDENTIAL Une: Principal Residence: YES 21 WEST KIRKE ST Nulling Address: **Deed Reference:** 1) / 4438/ 38 CHEVY CHASE MD 20815 2) **Location & Structure Information** Legal Description **Premises Address** Zoning 21 W KIRKE ST **R60** SEC 2 CHEVY CHASE CHEVY CHASE 20815 Map Grid Parcel Subdivision Section Block Lot Group Plat No: **HN41** 9 38 9 Plat Ref. 81 Town CHEVY CHASE VILLAGE Special Tax Areas Ad Valorem Tex Close Enclosed Area **Primary Structure Bullt Property Land Area** County Use 1928 2,900 SF 7,500.00 SF 111 Туре Storles Basement Exterior YES STANDARD UNIT 2 BRICK Value Information Value Phase-In Assessments Buse As Of Value As Of As Of 01/01/2002 07/01/2001 07/01/2002 Land: 279,000 369,000 Improvements: 977,350 416,740 785,740 656,350 Total: 656,350 699,480 Preferential Land: O 0 n 0 **Transfer Information** Date: 09/18/1973 Price: \$105,000 Seller: Dead1: / 4438/ 38 IMPROVED ARMS-LENGTH Dead21 Type: Date: Price: Seller: Deed1: Deed21 Type: Seller: Data: Price: Deed1: Deed2: Type: Exemption Information Code 07/01/2001 07/01/2002 Partiel Exempt Assessments 000 0 0 County 000 0 0 State 000 0 â Hunicipal NO **Special Tax Recepture: Tex Exempt:** Exempt Class: * NONE *

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Real Property Search - Individual Report

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Real Property Search - Individual Report

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION





June 12, 2002

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator Historic Preservation Section

SUBJECT: Historic Area Work Permit Application Approval of Application /Release of Other Required Permits

HPC Case No. 35/13-02M

DPS #: 278284

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2nd Floor, Rockville. <u>Before applying, please be sure that any permit sets</u> of construction drawings have been reviewed and stamped by HPC Staff. We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	19 We	est Kirke Street, Chevy Chase	Meeting Dat	06/12/02	
Applicant:	Tom 7	Foch (Kevin Day, Architect)	Report Date	•	06/05/02
Resource:	Chevy	Chase Village Historic District	Public Notic	e:	05/29/02
Review:	HAW	Р	Tax Credit:		Partial
Case Numbe	r:	35/13-02M	Staff:	Perry	Kapsch
PROPOSAL	:	Replace front door, modify front ste entry, demolish rear porches/garage, replace dormer windows, modify do	construct rear	addition	n/deck/patio,

RECOMMEND: Approve with conditions.

CONDITIONS

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

screens, replace front walk.

PROJECT DESCRIPTION

SIGNIFICANCE:	Contributing Resource
STYLE:	Colonial Revival/Four-Square
DATE:	1882-1916

PROPOSAL

The applicant proposes to:

- 1. Demolish the rear two-story porch and pantry and replace them with a 2story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
- 2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

- 3. Replace the dormer windows with wood trimmed, true light windows in the same 6-light configuration. Replace the asphalt shingle cladding on the dormers with clapboard siding.
- 4. Replace all aluminum screens with painted wood frame screens.
- 5. Replace the existing glass paneled front door with a solid door with panels on either side.
- 6. Replace the wooden front steps with slate steps. Install a painted wood hand rail to match the existing rail on the front porch.
- 7. Replace the existing concrete front walk with a brick front walk.
- 8. Remove windows on two levels at the rear of the left façade.
- 9. Install a 4-light and 1/1 window on the second level at the rear of the left façade.

STAFF DISCUSSION

With the exception of the changes proposed for the front door and front steps, the modifications proposed to this property are within the guidelines for changes to a Contributing Resource in the Chevy Chase Village Historic District. They are also in keeping with the Secretary of Interior's Guidelines for Rehabilitation. Demolition of the rear sleeping porch and back porch constitute removal of original materials and staff has recommended that they be carefully photographed before they are removed. The garage is not listed in the historic district designation as a contributing feature, but is included in the documentation as its age has not been conclusively determined.

Changes to the front façade of a Contributing Resource are subject to moderate scrutiny. Replacement of an original front door, the addition of out-of-period paneling, and the replacement of original steps, all changes clearly visible from the right-of-way, should be discouraged. As stated in the historic district guidelines, "A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations." In this case, the resource is an intact example of a common architectural style, not an outstanding resource that has been altered.

To maintain its contribution to the streetscape of the historic district, it is important that the structure maintain a high degree of integrity. On a simply styled house such as this, the glass-paneled front door represents one of its most distinctive architectural features.

Replacement of the front steps is also problematic as they are an important aspect of the wood porch that has often been removed and replaced with concrete rather than being rebuilt. Where the wooden steps have been preserved, every effort should be made to continue to protect them. Use of slate is particularly inappropriate as it is both out-of-period and too formal for the simple style of the house. The need for slate as an all-weather surface is not evident given the choice of a painted wood railing to be installed on the steps.

The basic policies in the Chevy Chase Village Guidelines include preserving the integrity of the district in order to perpetuate the ability to perceive the sense of time and place portrayed by the district. The proposed front door design would detract significantly from the property's

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contribution to the portrayal of the time (turn of the century) and place of significance of the district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for "preserving the integrity of contributing structures in the district." Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

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Case Numbe	r:	35/13-02M	Staff:	Perry	Kapsch	
PROPOSAL	:	Replace front door, modify front ste	ps/front porch/	side wi	ndows/basemer	

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

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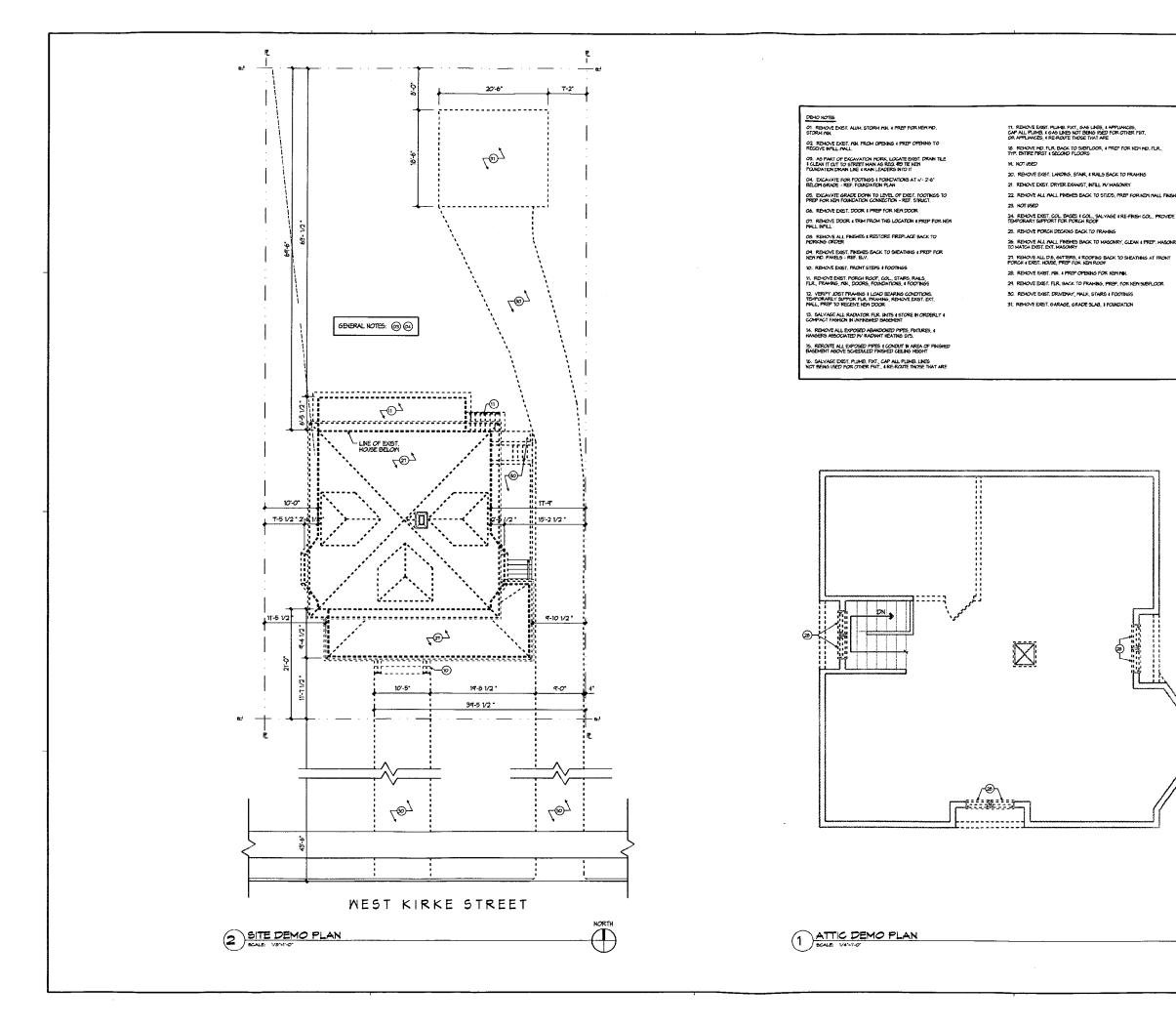
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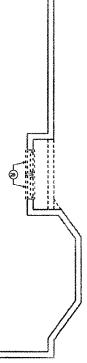
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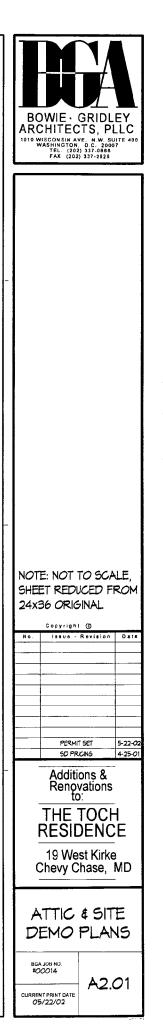
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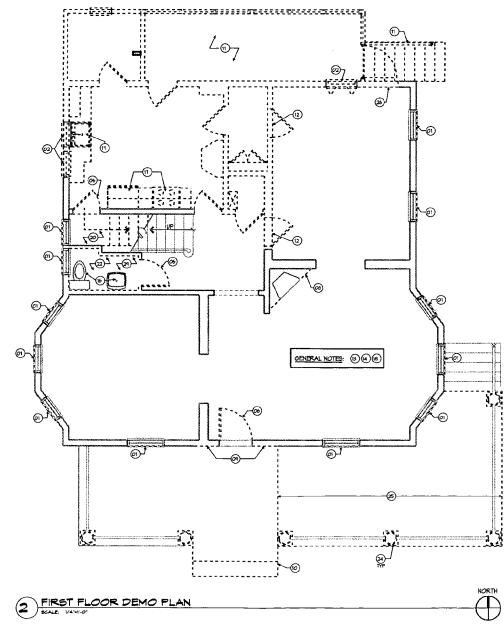
ADDITIONS AND RENOVATIONS TO: THE TOCH SIDENCE BSIDENCE	BOWIE · GRIDLEY ARCHITECTS, PLLC 1010 WISCONSIN AVE, N.W., SUITE 400 WASHINGTON, D.C. 20007 TEL. (202) 337-0828
ГТЕАМ	
Tom and Ann Toch 19 West Kirke St. Chevy Chase, MD (301) 718-2908 Bowie Gridley Architects William Gridley, FAIA 1010 Wisconsin Avenue Washington, DC 20007 (202) 337-0888	
ONTRACTOR: Mauck, Zantzinger & Associates Richard Zantzinger 5141 MacArthur Blvd, NW Washington, DC 20016 (202) 363-8501	
ERADLEY LA BRADLEY LA CIECTOR COLUMBIA BRADLEY LA BRADLEY LA	NOTE: NOT TO SCALE, SHEET REDUCED FROM 24x36 ORIGINAL COPYTICN © No. 10000 Revision Bate PERMIT SCT 5-22-02 SD FRICING 4-25-01 Additions & Renovations to: THE TOCH RESIDENCE 19 West Kirke Chevy Chase, MD COVER SHEET BGAJOB NO. FOCOTA BGAJOB NO. FOCOTA A-O.OO

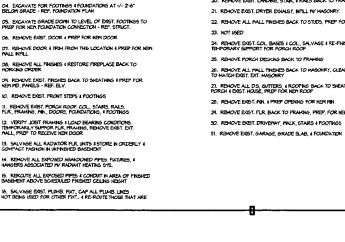




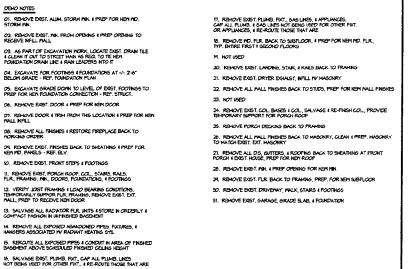


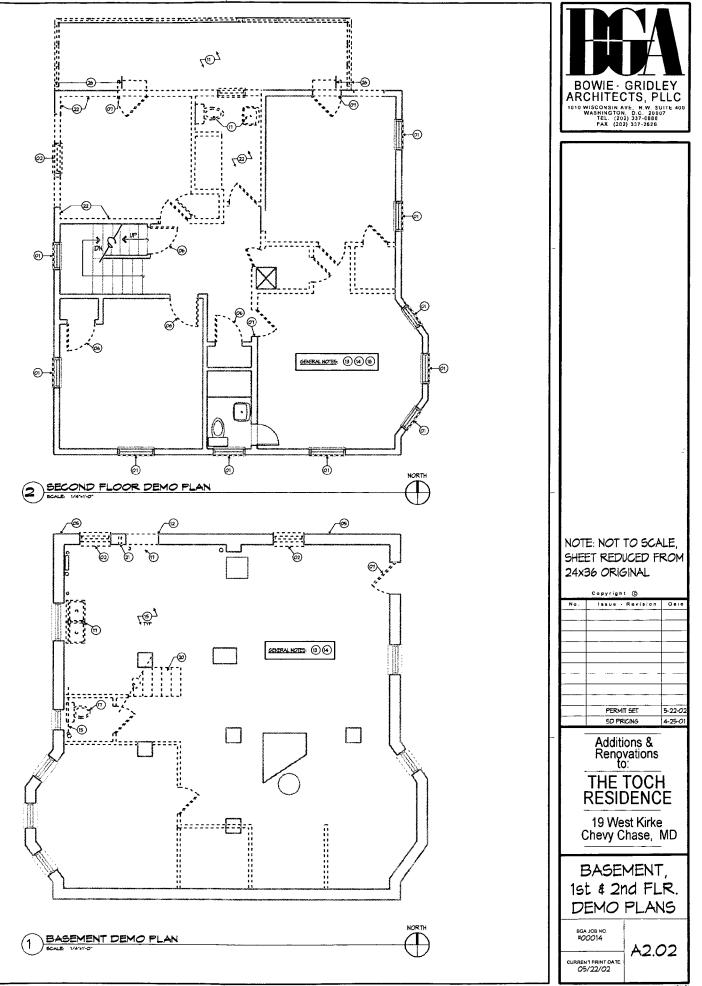


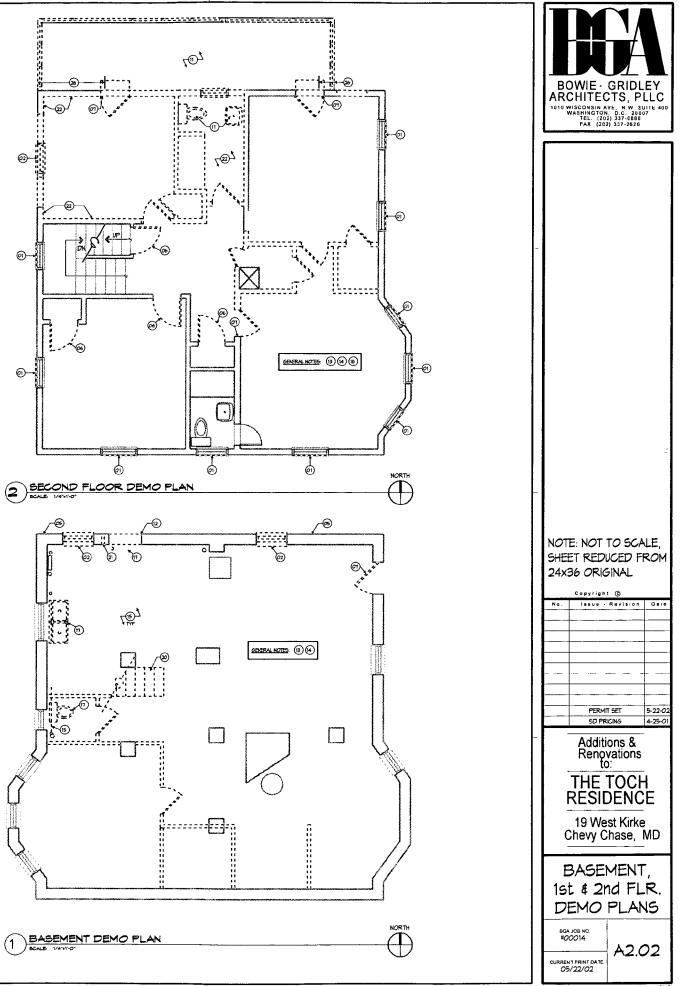


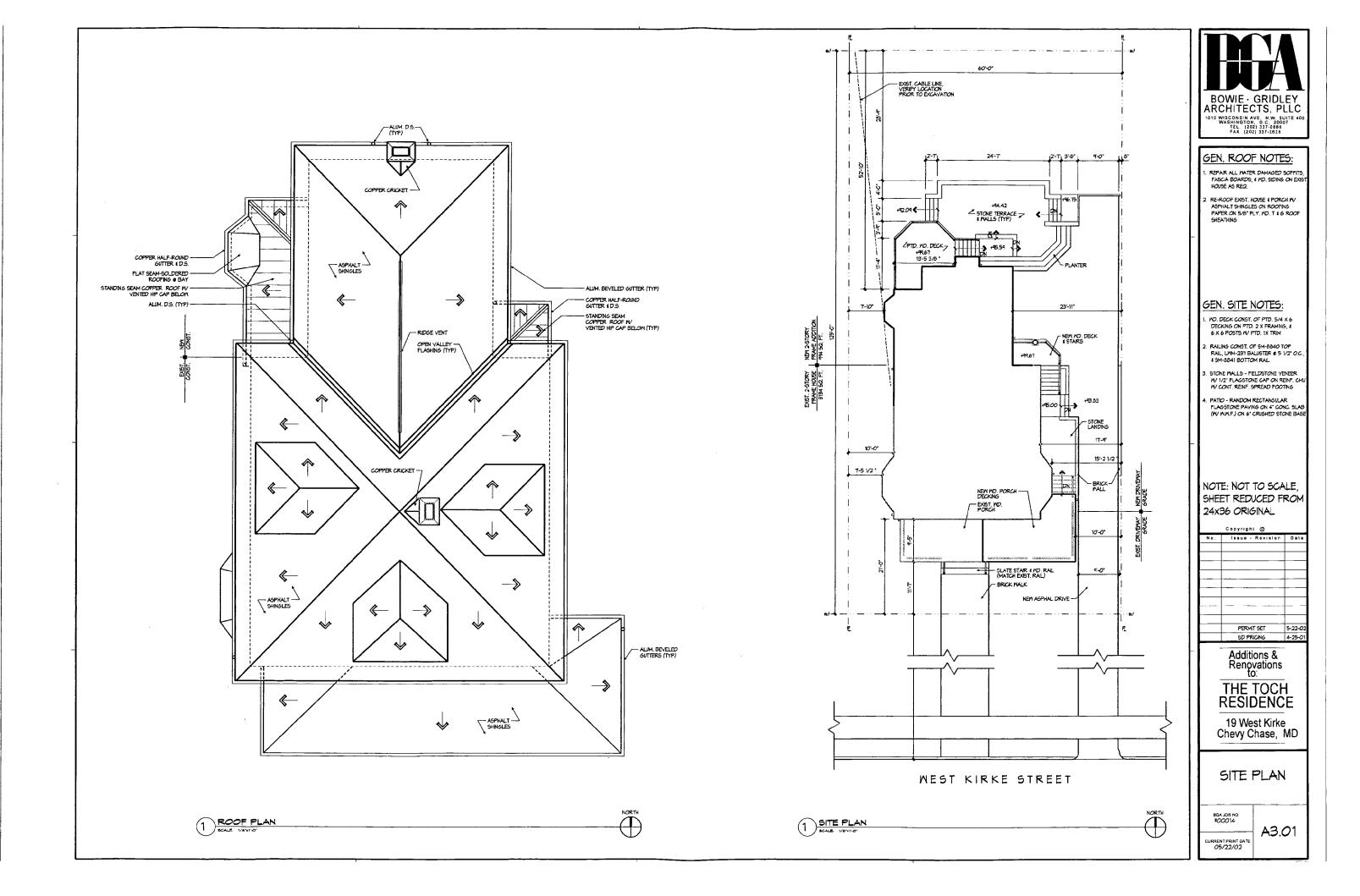


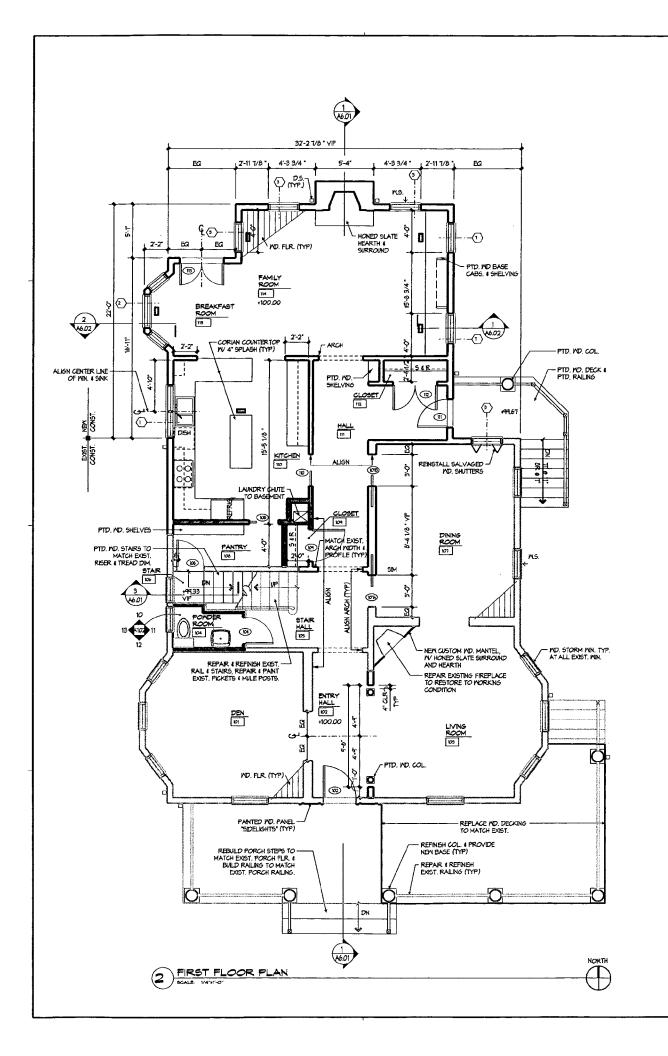
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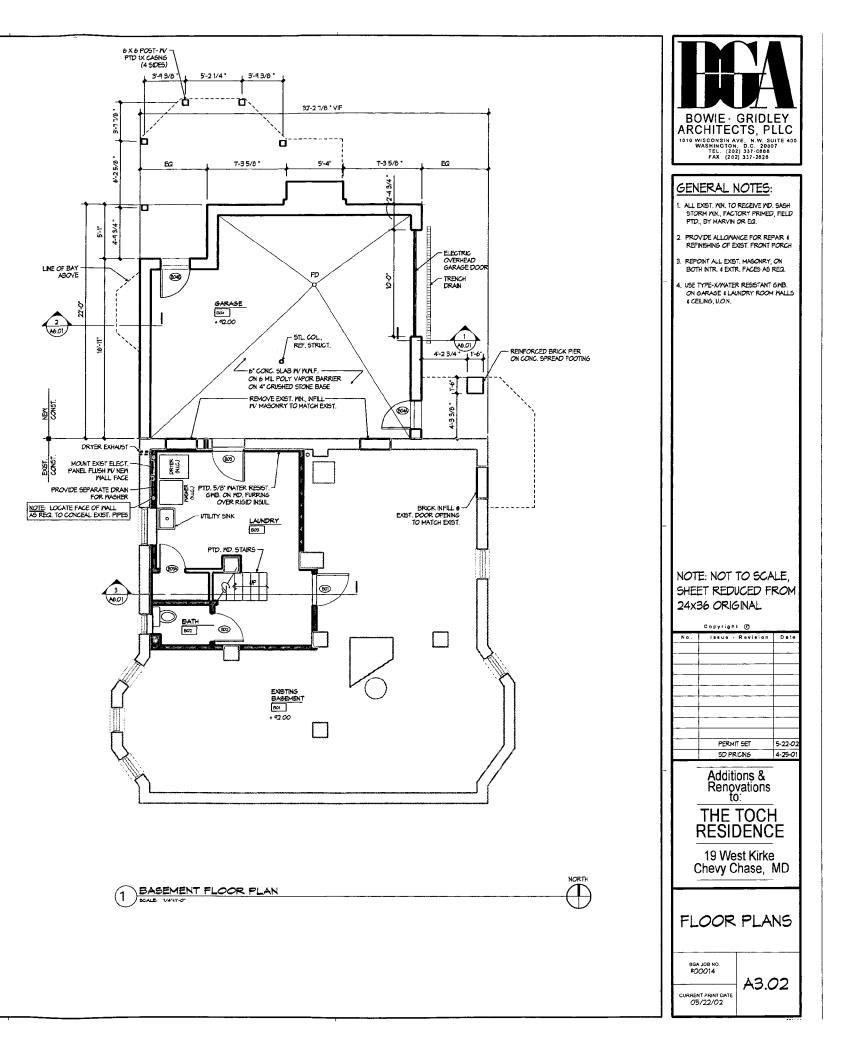


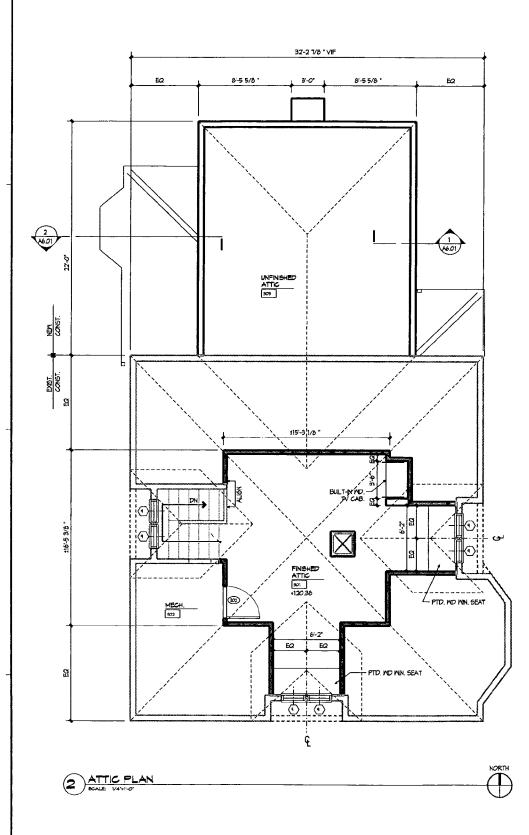


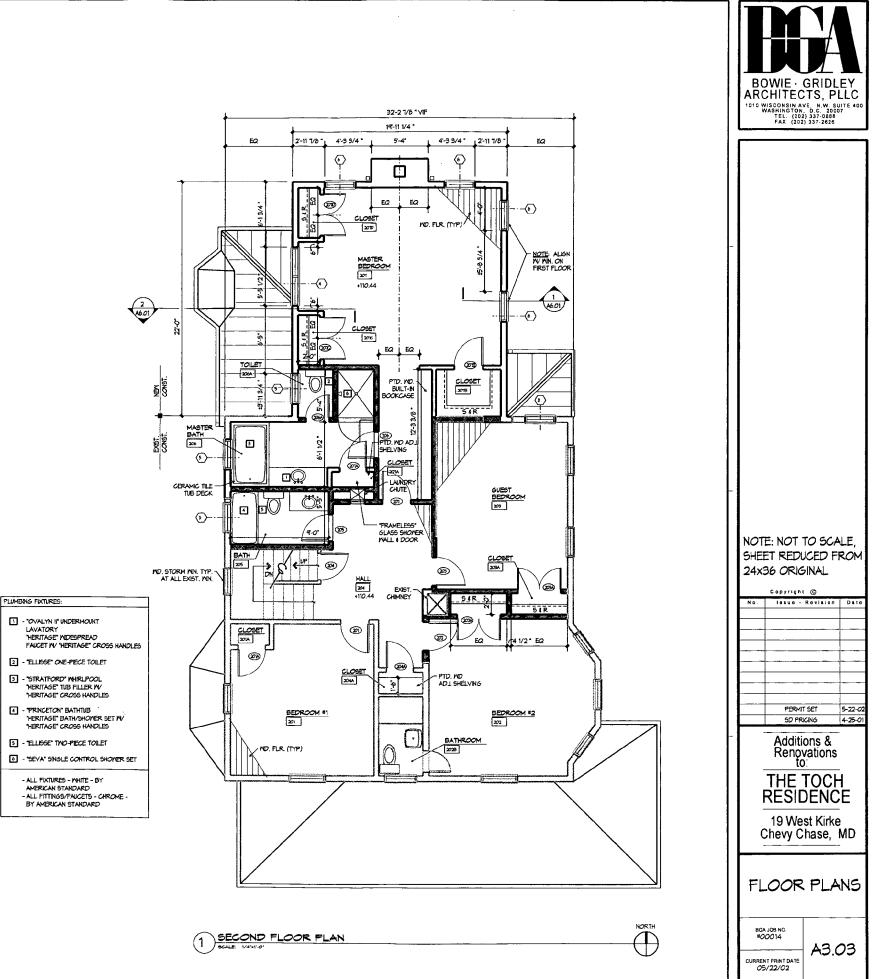




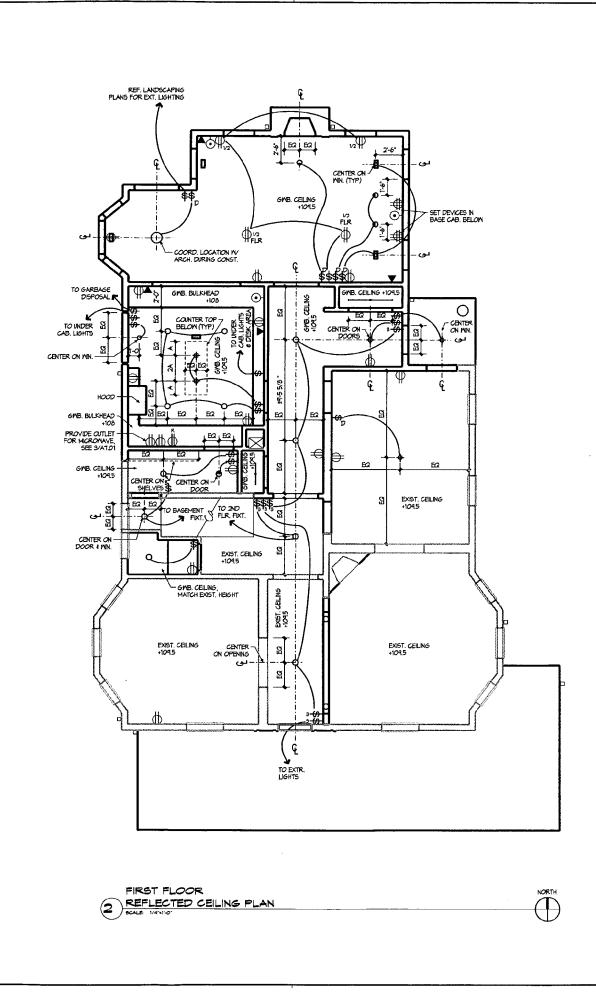


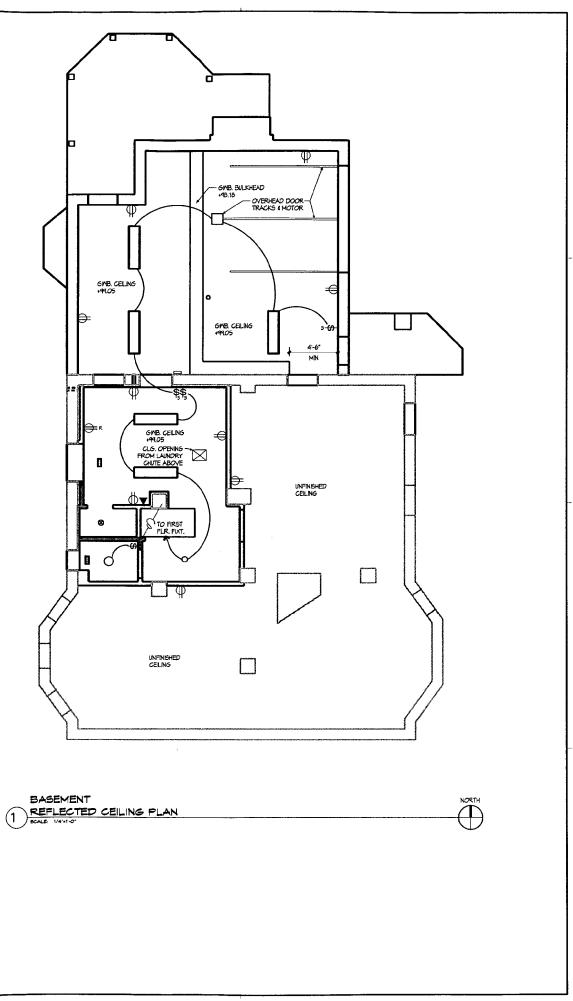






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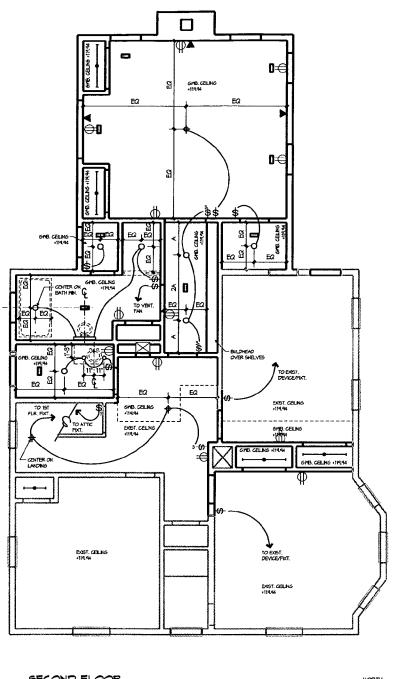


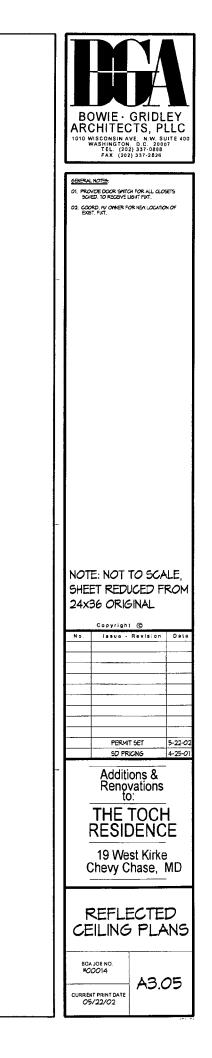
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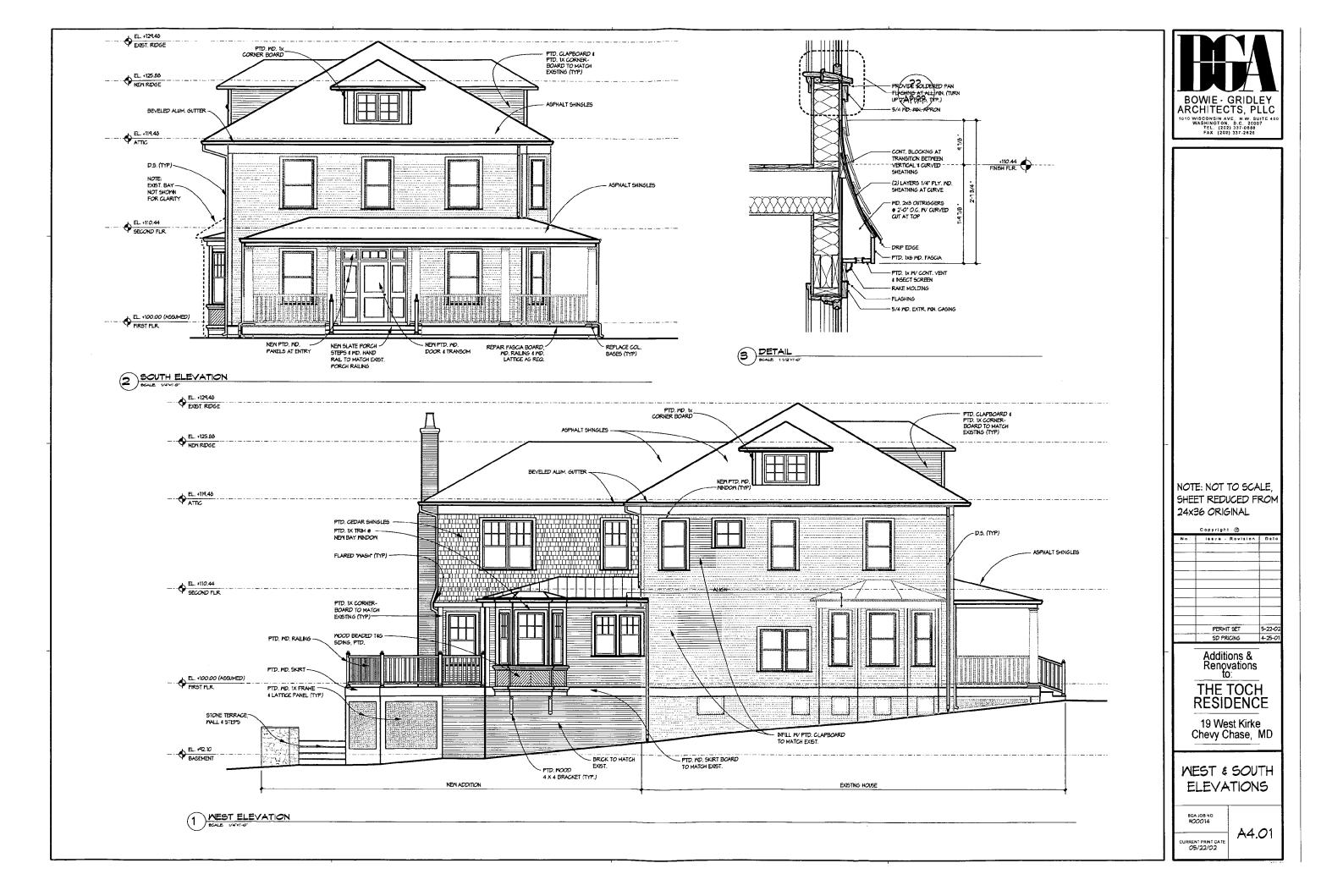
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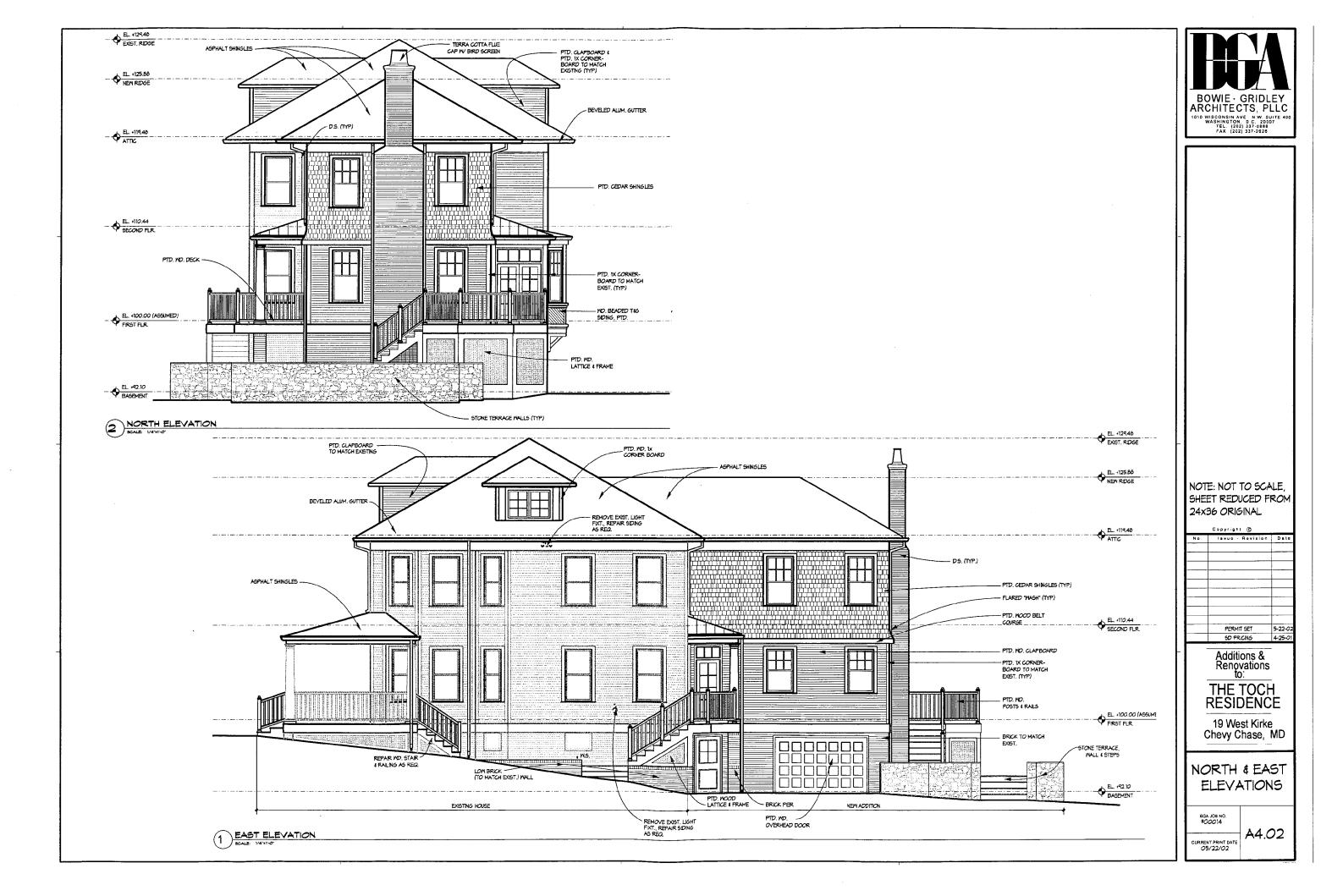


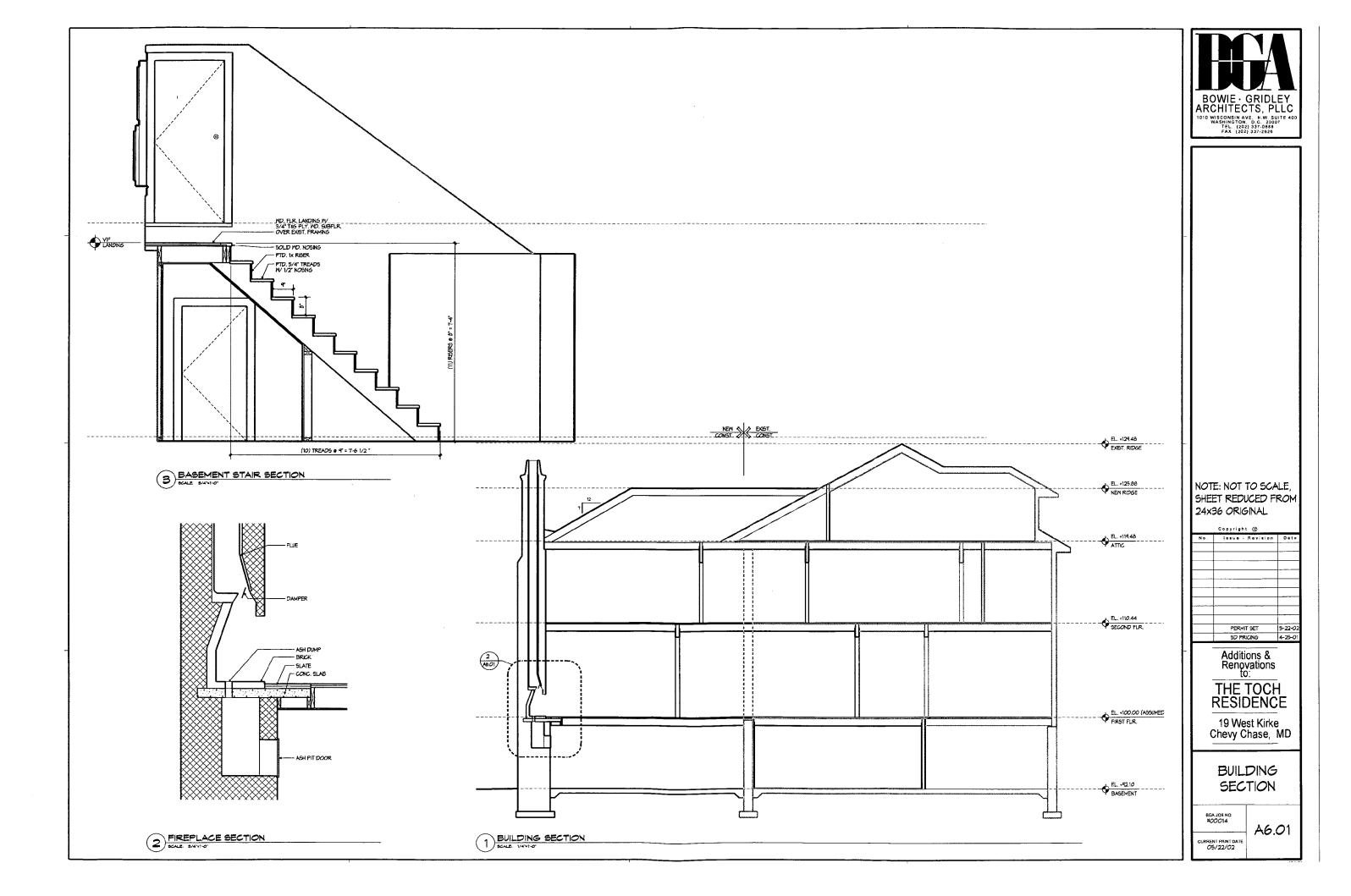


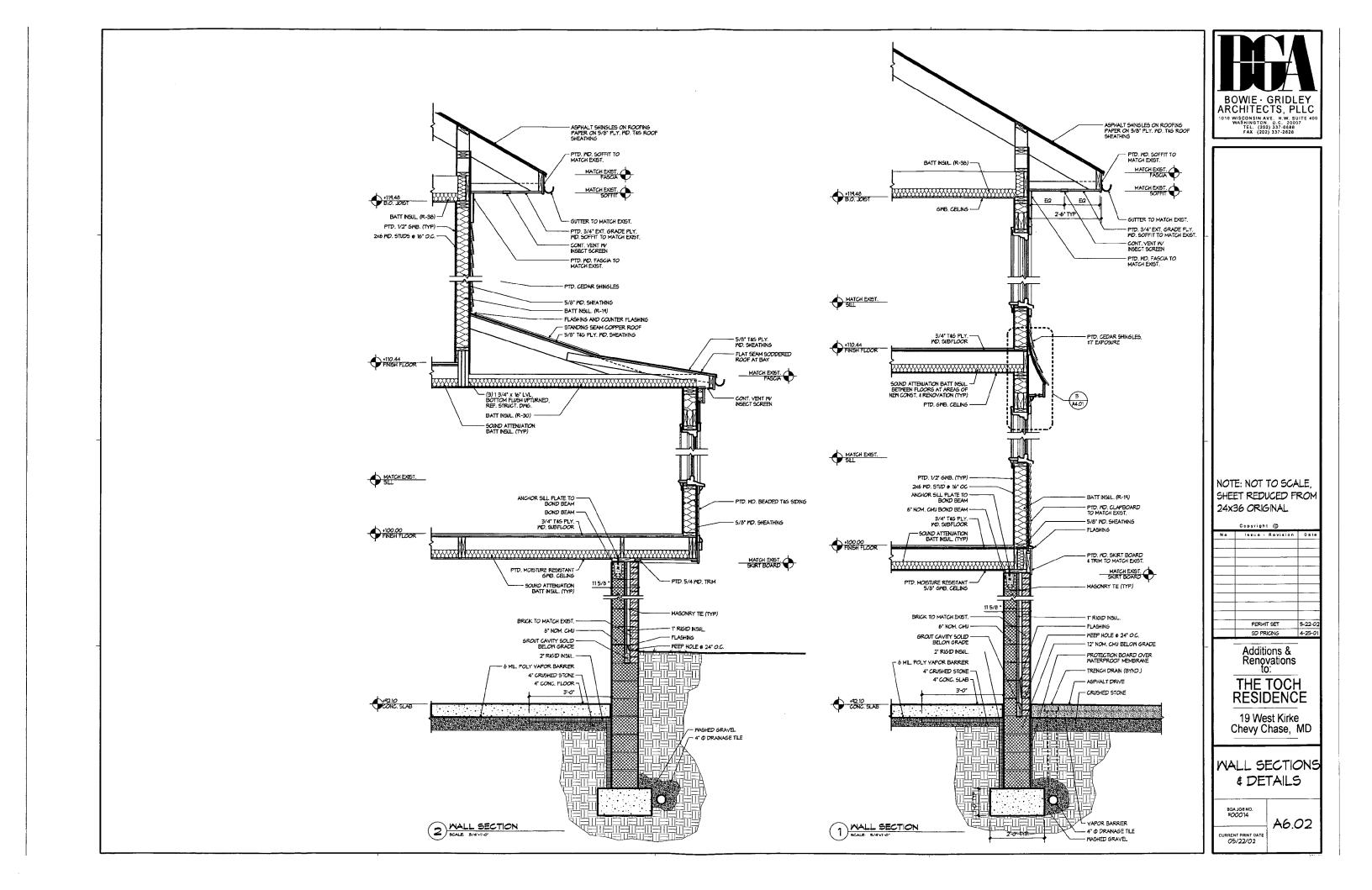






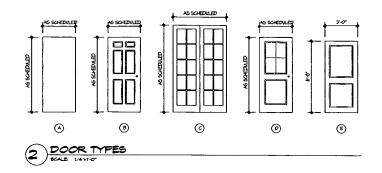


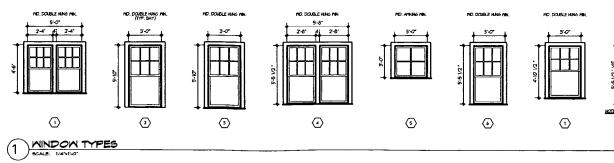


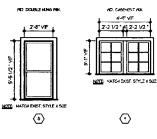


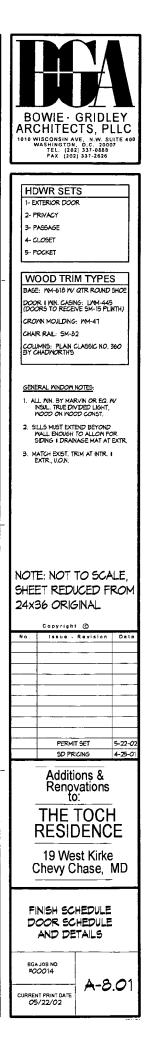
		DC	OR					FR	AME				NOTES
NO.	TYPE	WIDTH	HEIGHT	THICK'S	MAT/FIN	TYPE	HEAD	JAMB	THRSH	MAT/FIN	DEPTH	HDWR	REMARKS
	BA	SEMEN	T	!									
BØ1	A	3'-0"	6-0	1 3/B*	PTD. ND.							3	SOLID CORE
B02	*	2'-8"	6'-8"	1 3/8"	PTD. ND.							2	SOLID CORE
B <i>0</i> 3	*	3-0	6-8"	1 3/4'	PTD. ND.							1	SOLID CORE
303A	•	2-4	5-0	1 3/8*	PTD. ND.							4	SOLD CORE
304A	Ð	2-8'	6'-8"	1 3/4"	PTD. ND.							1	SOLID WOOD STILE & RAIL GLASS/FLAT PANEL
304B	D	2'-8'	6-8"	1 3/4"	PTD. ND.							1	SOLD WOOD STILE & RAIL FLAT PANEL
	FIR	ST FLOC	DR					1					
102	E	3-0"	6'-8"	13/4	PTD. ND.							1	SOLID WOOD STILE & RAIL PANEL DOORS
104	В	2-6'	6-8	1 3/8"	PTD. ND.							2	POCKET DOOR
106	В	2-6	6'-8'	13/8'	PTD. ND.							3	POCKET DOOR
107A	В	2'-8'	6'-8"	1 3/8"	PTD. ND.							5	
107B	в	2'-8*	6'-8"	13/8*	PTD. ND.							5	SOLD WOOD POCKET DOOR
108	в	2'-B'	6.9.	13/8*	PTD. ND.							3	SOLID WOOD
109	B	2'-8'	6'-8"	13/8	PTD. ND.							4	SOLD WOOD
110	в	2'-8'	6'-8"	1 3/8"	PTD. ND.							3	SOLID WOOD
111	D	2-8	6'-B*	1 3/4"	PTD. ND.							1	SOLLD WOOD
112	в	PR 2-0"	6'-8"	13/6	PTD. ND.							4	SOLID CORE
113	د	PR 2-0"	6'-8"	13/4	PTD. ND.							1	SOLID WOOD STILE & RAIL GLASS/FLAT PANEL
	SEC	OND FLC	OR										
201	В	V.I.F.	VIF.	13/8	PTD. ND.							2	SOLID WOOD
201A	в	V.I.F.	V.1.F.	1 3/8*	PTD, ND,							4	SOLID WOOD
202	В	2-8'	6'-8"	13/B'	PTD. ND.							2	SOLID WOOD
202A	в	PR. 2-0"	√1F .	13/8'	PTD. ND.			_				4	SOLID WOOD
203	в	2-в	V.1.F.	13/8	PTD. ND.							2	SOLID WOOD
203A	в	PR. 2-0"	6'-8"	13/8'	PTD. ND.							4	SOLID WOOD
204	B	V.I.F.	V.1.F.	13/8'	PTD. ND.							з	SOLID WOOD
204A	B	V.I.F.	VJF.	13/8	PTD. ND.							4	SOLID NOOD
205	B	2-6	6'-8"	13/8'	PTD, ND.							2	SOLID WOOD
206	В	2'-6'	6'-8"	1 3/8'	PTD.ND.							2	SOLID NOOD
206A	B	2-6	6'-8*	1 3/8"	PTD. ND.							2	SOLID WOOD
201	В	2-8	6'-8*	1 3/8'	PTD, ND,							2	SOLID WOOD
201A	B	2'-8"	6'-8"	1 3/8	PTD. ND.							4	SOLID NOOD
207B	B	2'-ð'	6'-8"	13/8'	PTD. ND.							4	SOLID WOOD
2076	B	PR 2-0*	6'-8"	13/8'	PTD. ND.							4	SOLID WOOD
2070	B	PR 2-0*	6'-8"	13/8'	PTD. ND.							4	SOLID WOOD
	ATTI			·							ļ		
302A 302B		3'-0" 3'-0"	: 4-6 : 4-6	1 3/4' 1 3/4'	PTD. ND. PTD. ND.							4	FLUSH FRAME, SOLID CORE, GASKET

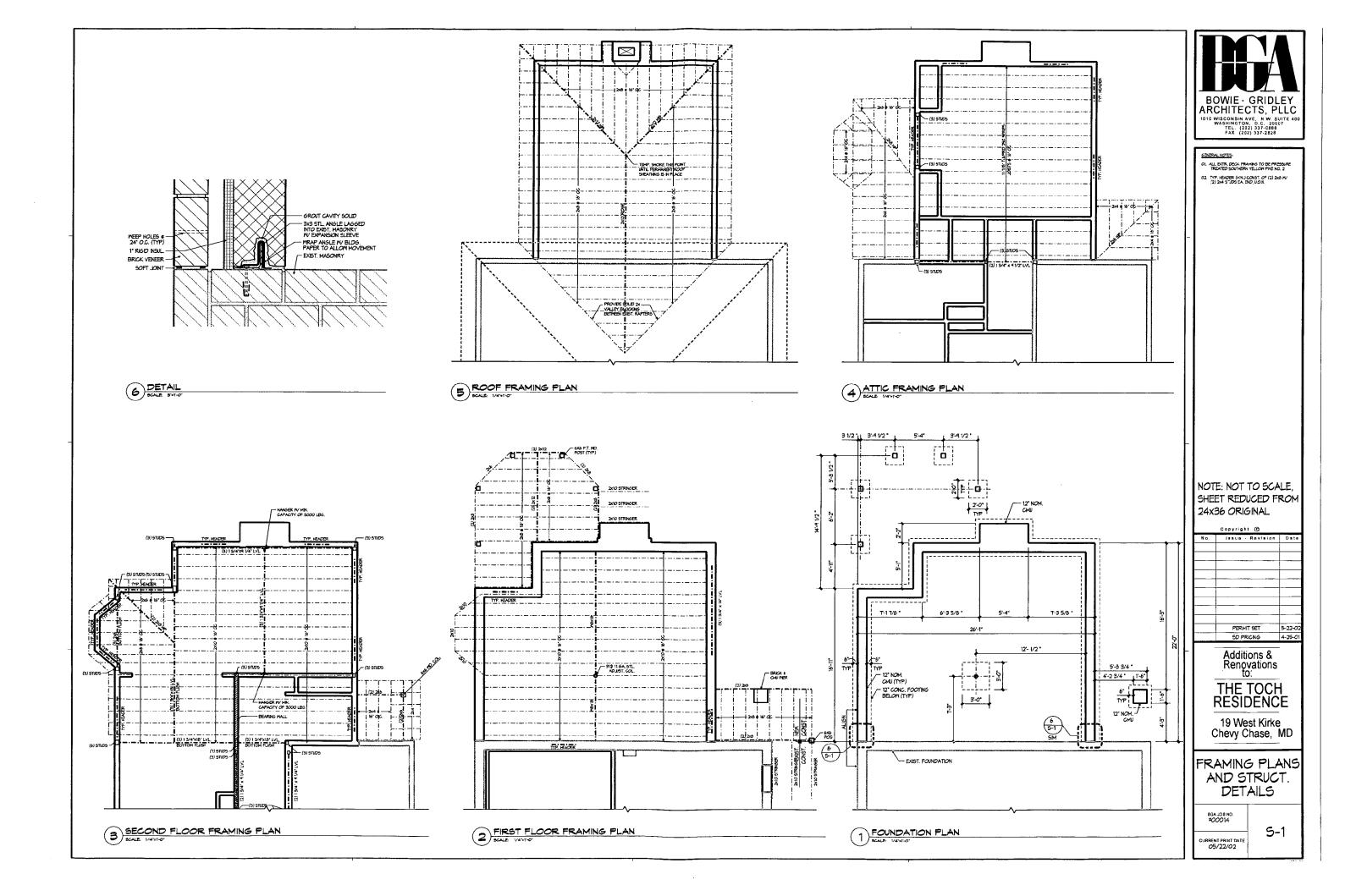
	<u>FIN</u>		<u> </u>	СН	<u>E D</u>	ULE			
NO.	NAME	FLOOR	BASE	WALL	CL'G.	NOTES			
	BASEMENT								
BØ1	EXISTING BASEMENT								
B02	GARAGE	CONCRETE		PTD. GNB	PTD. GNB	TYPE X GMB			
B03	LAUNDRY	SHEET VINYL	RUBBER	PTD. GNB	PTD. GNB	PROVIDE 6" SOUND BATTS IN CLG.			
	FIRST FLOOR - NOTE: REMOVE EXIST. NO. FLOORING IN ALL RMS. SCHEDULED TO RECEIVE STRIP OAK								
101	ENTRY HALL	STRIP OAK	PTD. ND.	PTD. GMB/ EXIST.	PTD. GMB	PTD. CROWN MOULD			
102	LIVING ROOM	STRIP OAK	PTD. ND.	PTD. GNB	PTD. GMB	PTD. CROWN MOULD			
103	DINING ROOM	STRIF OAK	PTD, ND.	PTD. GNB/ EXIST.	PTD. GNB/ EXIST.	PTD. CROWN MOULD AND CHAIR RAIL			
104	FAMILY ROOM	STRIF OAK	PTD. ND.	PTD. GNB	PTD. GNB	PTD. CROWN MOULD			
105	BREAKFAST ROOM	STRIF OAK	PTD. ND.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD			
106	KITCHEN	STRIP OAK	PTD. ND.	PTD. GNB	PTD. GMB	PTD. CROWN MOULD			
107	CLOSET	STRIP OAK	PTD. ND.	PTD. GNB	PTD. GMB	FTD. SHELF AND ROD			
108	STAR	STRIP OAK	FTD. ND.	PTD. EXIST.	PTD. EXIST.	PTD. CROWN MOULD; NEW OAK TREADS (IST TO ATTIC LE			
109	PONDER ROOM	STRIP OAK	PTD. ND.	PTD. GMB	PTD. GMB	REPANT WALLS, CEILING, TRIM AND DOOR			
110	HALL	STRIF OAK	PTD. ND.	PTD. GNB/ EXIST.	PTD. GNB/ EXIST.	PTD. CROWN MOULD			
111	DEN	STRIP OAK	PTD. ND.	PTD. GNB/ EXIST.	PTD. GNB/ EXIST.	PTD. CROWN MOULD			
112	PANTRY	5TRIF OAK	PTD. KD.	PTD. GNB/ EXIST.	PTD. GMB/ EXIST.	PTD. CROWN MOULD			
113	HALL.	STRIF OAK	PTD, KD.	PTD. GMB	PTD. GMB	PTD. CROWN MOULD			
5	SECOND FLOOR	NOTE: REMOVE EXE	T. ND. FLOORING IN	ALL RMS. SCHEDU	ED TO RECEIVE "ST	RIP OAK"			
201	BEDROOM #1	STRIF OAK	PTD, ND.	PTD. EXIST.	PTD. EXIST.				
201A	CLOSET	STRIP OAK	PTD. ND.	PTD. GMB	PTD. GMB				
202	BEDROOM #2	STRIP OAK	PTD. ND.	PTD. GMB/ EXIST.	PTD. GMB/ EXIST.				
202A	CLOSET	STRIP OAK	PTD. KD.	PTD. GMB	PTD. GMB				
203	GUEST BEDROOM	STRIP OAK	PTD. ND.	PTD. GMB/ EXIST.	PTD. GMB/ EXIST.				
203A	CLOSET	STRIP OAK	PTD. ND.	PTD. GMB/ EXIST.	PTD. GMB/ EXIST.				
204	HALL	STRIP OAK	PTD. ND.	PTD. GMB/ EXIST.	PTD. GNB/ EXIST.				
205	BATHROOM	C.T.	C.T.	C.T./PTD. GNB	PTD. GMB	C.T. TO +4-0" A.F.F.			
206	MASTER BATHROOM	C.T.	C.T.	C.T./PTD. GMB	PTD. GNB	C.T. TO +4-0" A.F.F.			
201	MASTER BEDROOM	STRIF OAK	PTD. ND.	PTD. GMB	PTD. GNB				
201A	CL05ET	STRIP OAK	PTD. ND.	PTD. GMB	PTD. GNB				
207B	CLOSET	STRIP OAK	PTD. ND.	PTD. GMB	PTD. GMB				
2070	CLOSET	STRIF OAK	PTD. ND.	PTD. GNB	PTD. GMB				
2017	CLOSET	STRIF OAK	PTD ND.	PTD. GMB	PTD. GNB				
	THIRD FLOOR								
301	FINISHED ATTIC	STRIP OAK	PTD ND.	PTD. GNB	PTD. GMB	· · · · · · · · · · · · · · · · · · ·			
302	UNFINISHED ATTIC	PLTNOOD							
303	MECHANICAL ROOM	PLYNDOD							
304	UNFINISHED ATTIC	PLYNOOD							











HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	19 West Kirke Street, Chevy Chase	Meeting Date:	06/12/02
Applicant:	Tom Toch (Kevin Day, Architect)	Report Date:	06/05/02
Resource:	Chevy Chase Village Historic District	Public Notice:	05/29/02
Review:	HAWP	Tax Credit:	Partial
Case Numbe	r: 35/13-02M	Staff: Perry	Kapsch

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE:	Contributing Resource
STYLE:	Colonial Revival/Four-Square
DATE:	1882-1916

PROPOSAL

The applicant proposes to:

- 1. Demolish the rear two-story porch and pantry and replace them with a 2story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
- 2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for "preserving the integrity of contributing structures in the district." Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
- 2. The front steps are to be replaced in-kind.
- 3. The front door is to be rehabilitated and not replaced.

with the general condition applicable to all Historic Area Work Permits that <u>the applicant shall</u> also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.

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DPS - #8	

HISTORIC PRESERVATION COMMISSION 301/563-3400 APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contect Person: Tracy Starmarci
	Daytime Phone No .: 202 - 441. 7415
Tax Account No.:	·
Name of Property Owner: TUring Torch	Daytime Phone No.:
Address: 19 W. Kirke Chevy Che	Uaytime Phone No.: ase MD 20815
Address: 19 W. Kirke ChevyChe Street Number City Contractor: Mauck Zantzinger & Ass	Start Zip Code
•	Phone No.: 2000 Job J Color
Agent for Owner: Tracy Standard	
Agent for Owner:	Daytime Phone No.:
LOCATION OF BUILDING/PREMISE	
House Number:	Street W Kirke Street
	• · · · · · · · · · · · · · · · · · · ·
Town/City:	havy Chase Villager
Liber: Folio: Parcel:	
RART ONE: TYPE OF PERMIT ACTION AND USE	
······································	HECK ALL APPLICABLE:
	A/C Slab Boom Addition C Forch Deck Shed
	Solar 🗆 Fireplace 🔲 Woodburning Stove 🛛 Single Family
	Fence/Wall (complete Section 4)
1B. Construction cost estimate: \$	
1C. If this is a revision of a previously approved active permit, see Permit #	13. ·····
	ц.
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND 2A. Type of sewage disposal: 01 WSSC 02 C Se	
2B. Type of water supply: 01, 🔍 WSSC 02 🗆 W	ell 03 🗆 Other:
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightfeetinches	· · · · · · · · · · · · · · · · · · ·
3B. Indicate whether the fence or retaining wall is to be constructed on or	ne of the following locations:
On party line/property_line Entirely on land of owner	r On public right of way/easement
approved by all agencies listed and I hereby acknowledge and accept this	
Signature of owner or authorized agent	5/22/02 Dete
Approved:	For Chairperson, Historic Preservation Commission
Disapproved:Signature: Application/Permit No.:278 284	

Edit 6/21/99

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SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

202 337 2626

WRITTEN DESCRIPTION OF PROJECT

Stannard

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHE	SHEER	
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	<u> </u>	

D. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

			<u> </u>	 			
SEE ATTACHED SHEET				 · · ·	· · · ·		<u>.</u>
				 		•	
	· · · · · · · · · · · · · · · · · · ·	<u>.</u>		 <u> </u>		<u></u>	
				 ;			
				• •			•

2 SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landaceping 💥 🔅

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schemetic construction pleas, with marked dimensions, indicating location, size and general type of walls, window and door openings, and oth fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of eac facade affected by the proposed work is equired.

(nead exis MATERIALS SPECIFICATIONS You have most of this. but need atter

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on y design drawings.

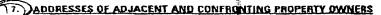
5. PHOTOGRAPHS

4

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the measures as viewed from the public right-of-way and of the adjoining properties. All labels should be place the front of photographs.

DIALE SURVEY - or statement that no hear one to "have affected

If your are proposing construction adjacent toor within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.



19 M

For <u>ALL</u> projects, provide an accurate list of edjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly acru the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Stree Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDER OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS

PAGE 1/2

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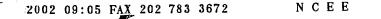
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Toch Residence 19 West Kirke Chevy Chase, MD

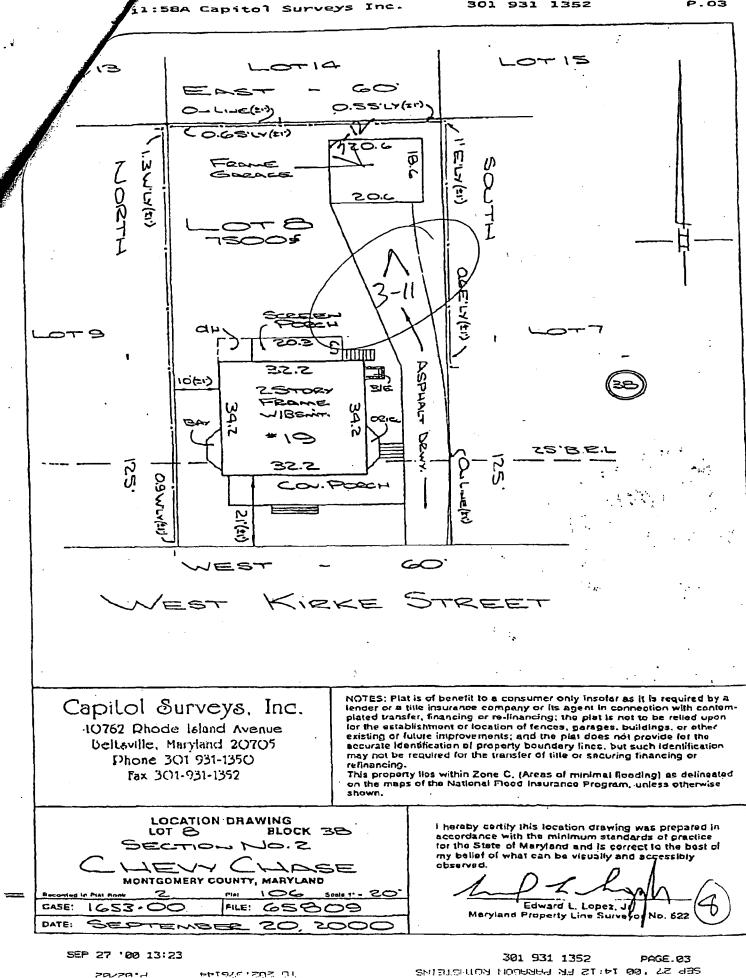
A. The existing 2-story wood frame house has clapboard siding with a brick basement level, which becomes more prevalent as the site slopes towards the back of the house. A wood porch at the front covers the entire width of the house; a 2-story sleeping porch covers the width of the rear. All windows on the house are double hung with the exception of dormers on the south, east, & west, which have casement windows. All windows, with the exception of the dormers have aluminum frame screens. Both porch roofs and the pyramidal house roof are asphalt shingles. Shrubs line the concrete front walk and cypress trees line the east edge of the asphalt driveway. A detached garage with clapboard siding and asphalt roof lies at the northeast corner of the lot.

B. The existing sleeping porch at the rear of the house will be removed and a 2-story wood frame addition with asphalt shingle hip roof will be added in its place. The addition will have a brick basement level and clapboard first level to match existing conditions. The second story of the addition will have cedar shingle siding. Clapboard siding will replace the existing shingle siding on the sides of all dormers and trim that coincides with existing window detailing will be added as well. New true light wood windows matching the existing size and light pattern will be installed in all dormers for increased energy efficiency. All aluminum frame screens will be replaced by wood counterparts. A solid wood front door with wood paneling that mimics the proportions of side lights will replace the existing door; the existing conditions and a handrail will be added to match the porch rail. Slate steps to the porch will be added to mimic those found within the neighborhood and the existing concrete walk will be replaced with brick. The detached garage will be removed and a painted wood deck & flagstone patio with landscaping will be installed in the back yard





P.03



SPECIFICATIONS



Frame: Interior: Clear pine or finger jointed core with clear pine veneers. Exterior: Edge-glued or finger jointed pine. Wood parts kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA1.S.4. Frame Thickness: 1-3/16 inches (30 mm). Frame Width: 4-9/16 inches (116 mm). Subsill thickness: 15/16 inch (24 mm).

Sash: Clear pine or finger jointed core with clear pine veneers kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA1.S.4. Sash Thickness: 1–3/4 inches (44 mm) for operating units; 1–3/4 inches (44 mm) or 1–29/32 inches (48 mm) for picture units. Corners slot and tenoned.

Finish:

- A. Exterior: [Treated bare wood] [Latex prime coat, White]
- B. Interior: [Treated bare wood] [Latex prime coat, White].

Hardware: Factory installed operating hardware. Roto-gear with high-pressure die-cast zinc operator base. Hardened steel drive worm and gear arms. ABS operator base cover. High-pressure die-cast zinc [crank] [circle] [flip] handle. [Coastal hardware].

- A. Locks: Lever. One concealed lock on units smaller than series 32 height; two concealed tandem sequential locks on series 32 height and taller units.
- B. Hardware Finish: [Electrostatically painted [bronze] [white] baked enamel.] [Plated brass.]

Weatherstripping: Frame weatherstripped on four sides with flexible gaskets. Sash weatherstripped on four sides with combination bulb and leaf-type weatherstrip. Color: Beige

Jamb Extensions: Available for various wall thicknesses. Factory installed.

Screens: Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bronze].

Removable Grilles: [Diamond: 5/8 inch by 15/32 inch (16 mm by 12 mm)] [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Authentic Divided Lites (ADL): [7/8 inch (22 mm) single glaze pine muntin] [1-11/16 inches (43 mm) insulating glaze pine muntin].

A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Simulated Divided Lites (SDL): [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [*Internal Spacer].

A. Pattern: [Rectangular] [Custom lite layout].

Glazing: Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

A. Glazing Method:

- 1. Single Glazed
- 2. Single Glazed with Energy Panel
- 3. Single Glazed with Authentic Divided Lites
- 4. Single Glazed with Authentic Divided Lites and Energy Panel
- 5. Insulating Glass [Altitude Adjusted]
- 6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
- 7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]
- B. Glass Type:
 - 1. Clear
 - 2. Bronze
 - 3. Gray
 - 4. Solarcool Bronze
 - 5. Low E II
 - 6. Hardcoat Low II (Energy Panels only)
 - 7. Low E II with Argon
 - 8. Tempered
 - 9. Laminated
 - 10. Obscure

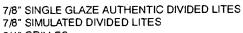
STANDARD GRILLE, AUTHENTIC AND SIMULATED DIVIDED LITES - OPERATING / STATIONARY UNITS



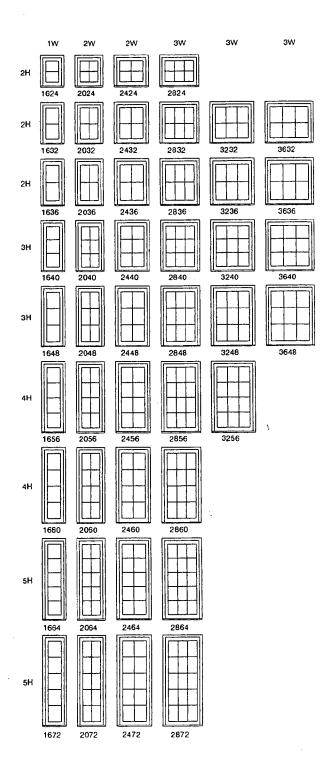
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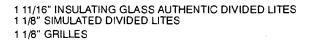
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3/4" GRILLES



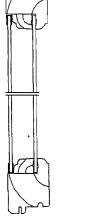


GLAZING OPTIONS SCALE: 3" = 1'0"



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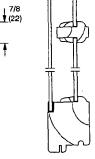






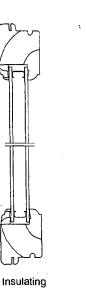
Single Glaze with Energy Panel

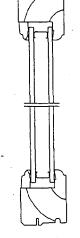
Single Glaze ADL



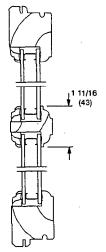
Single Glaze ADL With Energy Panel

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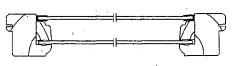
Insulating Picture



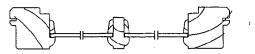
Insulating ADL



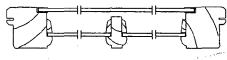
Single Glaze



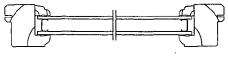
Single Glaze with Energy Panel



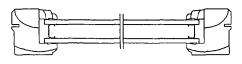
Single Glaze ADL



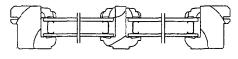
Single Glaze ADL With Energy Panel



Insulating



Insulating Picture



Insulating ADL

SECTION DETAILS SCALE: 3" = 1' 0"

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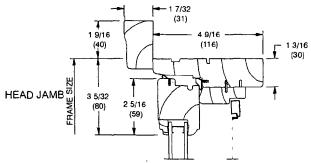
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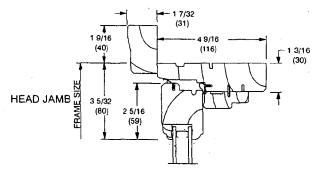
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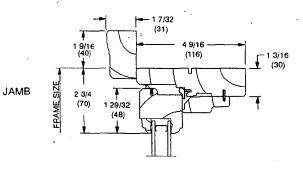


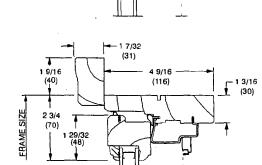


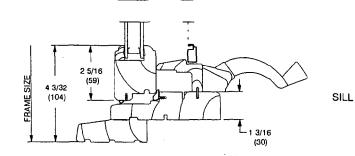


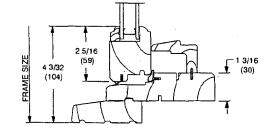








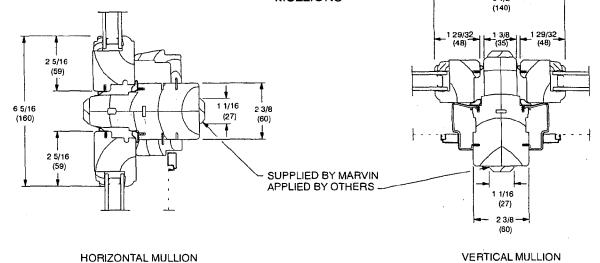




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MULLIONS

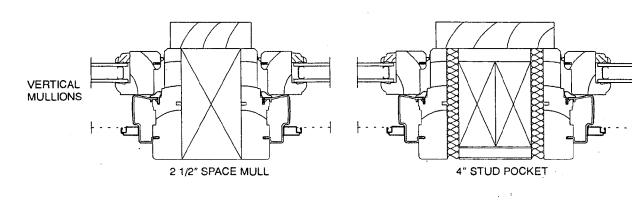
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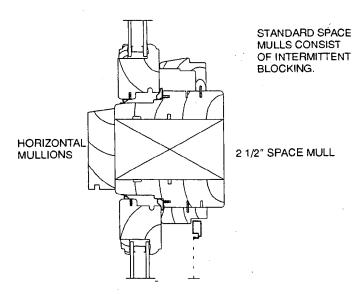


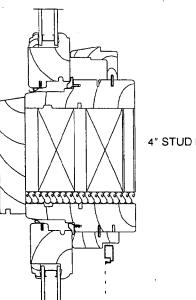
SECTION DETAILS SCALE: 3" = 1' 0"



MULLIONS



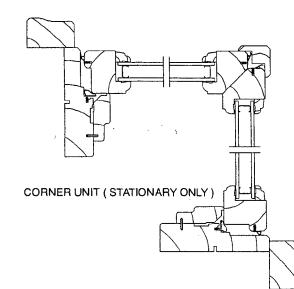




4" STUD POCKET

When two or more units are mulled together with a space between and the jamb extension surrounds the entire unit, it is a space mull.

When two or more units are mulled together with a space between and the jamb extension surrounds each unit separately, providing space for a support member between the units, it is a stud pocket.



28 W IRVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	A.A	SIDE GABLE	ASPHALT		RESIDENCE	:	
29 W INVING ST	LUTCH COLONIAL/REGENCY		2	2 WODD CLAPBOARD		GAMBREL	SLATE	!	RESIDENCE		
10 W INVING ST	CHAFTSMAN	1916 27	2	3 WOOD SHINGLE	6/6	FRONT GABLE	SLATE	L1920	RESIDENCE		BOSS & PHELPS HOUSE
31 W IRVING ST	CRAFISMAN/BUNGALOW	1892 1916	2	stucco	12/1	SIDE GABLE	ASPHALT	8Y 1909	RESIDENCE	H WISDN	
32 W IKVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	4/6	SIDE GABLE	SLATE	c1920	RESIDENCE	H FIEDGES	
33 W IRVING ST	CRAFISMANN SQ	1892-1916	2) WODD SHINGLE	CASEMENI	PYRAMIDAL	ASPHALT	84 1915	RESIDENCE	H HENKLE (LIEUT)	1
35 W HIVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	818	SIDE GABLE	SLATE		RESIDENCE		
37 W INVING ST	COLONIAL REVIVAL	1916 27	2	3 STUCCO	6/6	GAMBREL	SLATE	:	RESIDENCE	H PRETTYMAN	
I E RIMKE ST	OUTCH COLONIAL	1916 27	1	3 WOOD CLAPBOARD		GAMBREL	SLATE	r1a50	HESIDENCE	A' WARUMAN	ISTAN 1920
2 E KINKEST	COLONIAL REVIVAL		NC) BRICK	8/8	SIDE GABLE	SLATE		HESIDENCE		
JE NINKE ST	MEDITERREAN REVIVAL		2	3 STUCCO	9/1	SIMPLE HIP	PANTILE		RESIDENCE	:	4 SQ FORM
4 E NIRNE ST	COLOHIAL REVIVAL		NC .	3 BRICK	8/8	SIDE GABLE	SLATE		RESIDENCE	·	OUTBGINC
SE NIHKE ST	COLOHIAL REVIVAL	1692-1916	2	3 WOOD SHINGLE	6/1	SIDE GABLE	ASPHAL I	81 1915	RESIDENCE	A CLARK?; H: HAMLINHODGES	OUTBG-C; SIMILAR TO JE IRVING
6E KIRKEST 7E AIRNEST	CRAFTSMAN COLONIAL REVIVAL	1692 1916	2	3 STUCCO 3 WODD CLAPBOARO	16/1	SIDE GABLE	SLATE	51911	RESIDENCE	A: HEATON; H. CORBY, ROBERT	ROBERT CORBY HOUSE
DE NIRREST	COLONIAL REVIVAL	1941-96 1892 1916	NC .	3 WOOD CLAPBOARD	•	PYRAMIDAL	SLATE	L1893	RESIDENCE	A DESSEZ H BIRNEY	
IOE NINNE ST		1692 1916	• •	3 WOOD CLAPBOARD		SIMPLE THP	SLATE	c1894	RESIDENCE		BIRNEY HOUSE ROBERTSON MEMOIR
ILE NIRNE ST	MODERN	• •	NC	2.BRICK	6/6	FRONT GABLE	ASPHAL I	!	RESIDENCE		
TOTE NIMME SI	COLONIAL REVIVAL	1892-1916	۰. ۱	WODD CLAPBOARD	•	SIDE GAULE	ASPHALT	1899	RESIDENCE	A HEATON, H. WEAVER	JOHN L. WEAVER HOUSE
102 E MIRKE ST	CLASSICAL REVIVAL	1692 1916	1	stucco	3/1	SIDE GABLE	ASPHALT	BY 1910	RESIDENCE	H KINGAN	OUTBG-C/GATE
4 W NIMME ST	TUDOR REVIVAL	1892 1916	2	3 STONE	CASEMENT	FRONTGABLE	ASPHALT	c1895	RESIDENCE	H DE LACY	
SW AIRAE ST	TUDOR REVIVAL	1892-1916	2 _	STONE	1/1	FRONTGABLE	WOOD Shingi E	c1895	HESIDENCE	H MURNENRY	
/ W NIRKE ST	CDLONIAL REVIVAL	1892 1916	2	J WOOD CLAPBUARD	10	CHOSS GABLE	SLATE	BA 1915	RESIDENCE	H. COLT	FREE CLASSIC ECLECTIC
WW NINKE ST	COLONIAL HEVIVAL	1893 1916	•	2 ALUMINUM/VINYL	1/1	SIMPLETOP	ASPITAL	PA 1915	RESIDENCE	H YELLOTT (REAL ESTATE)	
IOW NINNE ST	COLONIAL REVIVAL	1892 1916	NC	J WOOD CLAPBOARD		PYRAMIDAL	ASPHALL		RESIDENCE	H HENRY	
11 W NIRKE ST	CDI ONIAL REVIVAL	1652-1916	1 .	J WOOD CLAPBOARD		SIMPLEINP	SLATE	c1894'	HESIDENCE	H. MACKRILLE JIJ STORY BUILT BY 1916	IOUTEG CIGATE, ROBERTSON, REMODELED CITTE
12 W NINKE ST	COLONIAL REVIVAL/ECLECTIC	1892 1916	1	3 WOOD CLAPBOARD		CHDSS GABLE	SLATE	c1898	RESIDENCE	H. VAN DYNE	DEEDS
IAW NIMMEST ISW NIMMEST	QUEER ANNE DUTCH COLONIAL	1892 1916	1	3 WOOD CLAPBOARU	CASE DOOR	CHOSS GABLE	ASPHALT	C1894 BY 1912	RESIDENCE	A; DESSEZ, H COZZENS	DUTBG C: COTTAGE Z, OFFUTT, ROBERTSON
18 W RINKE ST	CLASSICAL REVIVAL	1892-1916 1892-1916	÷	3 STUCCD	6/2	SIMPLE HIP	SLATE	c1495	RESIDENCE	H' EVANS (USMC)	CCHS#384 WRAP PORCH REMOVED
TZ W NIRKE ST	CHAFTSMAN	• •	2	3 WOOD SHINGLE	6/1	SIDE GABLE	ASPHALT	c1915	RESIDENCE	jn. ORD FRANCT	WHAP FORCH REMOVED
INW NIRKE ST	MDDEAN NEO COLDNIAL	• •	NC	BRICK	8/8	SIDE GABLE	ASPHALT	c1963	RESIDENCE		
IN W AINAE ST	COLONIAL REVIVAL	• •	2	3 WOOD CLAPBOARD	•	PYRAMIDAL	ASPHALT	1913	RESIDENCE	A: WRE	OUTBG NC; ORIGINAL CONTRACT
20 W KIRKE ST	: BUNGALOW	• •	2 :	2 WODD CLAPBOARD	•	SIDE GABLE	ASPHALT	1	RESIDENCE		OUTBG C
21 W NIRRE ST	COLOHIAL REVIVAL	•	NC	2 WOOD CLAPBOARD	I BAT	SIDE GABLE	SLATE	1	RESIDENCE		
24 W NIRKE ST	CRAFISMAN	1892 1916	2	2 WOOD SHINGLE	8/8	FRONT GABLE	ASPHAL T		RESIDENCE		
25 W KIRNE ST	TUDOR REVIVAL	1916 27	•	JSTONE	9/9	CROSS GABLE	SLATE		RESIDENCE	A: RODIER&KUNDZIN	
20 W AIRAE ST	CRAFISMAN	1692-1916	2	3 STUCCO	9/1	FRONT GABLE	SLATE	1	RESIDENCE	1921 SLEEPING PORCH BY HEATON; H SLEMAN	DUTEG C, PAUE SLEMAN HOUSE
27 W KIHKE ST	CLASSICAL REVIVAL	1916 27	2	:	6/6	SIDE GABLE	SLATE	c1919	RESIDENCE	H GARDNER	FORMER LAB CONVERTED
28 W RINKE ST	COLONIALA SO		NC .	3'ALUM/VINYL	8/1 MOD	PYRAMIDAL	ASPHALT		RESIDENCE		LOST INTEGRITY
28 W KINKE ST	CHAFTSMAN/4 SO	1892-1916	1.	3 STUCCO	I/I PATTER	SIMPLE HIP	ASPHALT		RESIDENCE		
NW ANAL ST			2	3 ALUM/VIRYL 3 STUCCO	15/15	SIDE GABLE	ASPHALT	i	RESIDENCE	H INGERSOLL	DUTBG-C EAST ADD W/ BASE GAR
JI W RINKE ST	CRAFTSMAN COLONIAL REVIVAL/CHAFTSMAN	• • •	2	SIUCCD	6/1	SIDE GABLE	SLATE	i	RESIDENCE	1 INGENSOLL	OUTBG-C
12 W NIARE ST		1916 27	· ·	•	6/6	SIDE GABLE	SLATE		RESIDENCE	H TAYLOR INSTRUMENTS	ATTACHED GARAGE
SA WY MINNE SI	BUNGALOW	•	2		FIRED	SIDE GABLE	ASPHALT	1915	RESIDENCE	H. HARTMAN, LAWRENCE (WRITEH)	OUTBG C
LAUREL PAWY	CRAFISMAN	1892 1916	•	STONE		SIMPLEHIP	ASPHALT	c1895	RESIDENCE	A MELINE; H. LEMLY (LIEUT)	S ADD PORCH ALTER
10 LAUNEL PRWY	MODERN SPLIT LEVEL	1941 96	NC	3 WOOD CLAPHOARD	8/8	CHOSS GABLE	ASPHALT	į	RESIDENCE		GARAGE BUILT IN BASEMENT
LE LENDA ST	DUTCH COLONIAL	1916 27	2	2 WOOD CLAPBOAND	6:6	GAMBREL	SLATE	1	RESIDENCE		OUTBG-C
E LENOA ST	CLASSICAL REVIVAL	1892-1916	1 j	2 WOOD CLAPHOARD	6/6	CHOSS GABLE	ASPHALT	8¥ 1894	RESIDENCE	A DESSEZ; H: BUHRMEISTER/McCAMON (ARMY	CCHS#380 C1094
IE LENDA ST	MODERN NED COLONIAL	1941 96	NC	3 BRICK	\$/8	SIDE GABLE	SLATE	· ·	RESIDENCE		OUTBGINC
BE LENOA ST	SHINGLE	•	2	J WOOD CLAPBOARD		SIMPLE HIP	ASPHALT	c1896	RESIDENCE	A: HARDING	OUTBG-C
#E LENOA ST	SHINGLE	1892-1916	? .	3 WOOD CLAPHOARD		FRONTGABLE	ASPHALT	BY 1912	RESIDENCE	H: WEAVER/HEATON	OUTBG-C
VE LENDA SI	CHAFISMAN	1892-1916	1	3 WOOD CLAPBDARD		SHAPLETRP	SLATE	c1894	RESIDENCE	A. DESSEZ; H: HITZ (LAWYER)	D S.PORTER HOUSE
IDE LENDA SI	COLONIAL REVIVAL	1892 1916	1	J.WODD CLAPBOARD		SIDE GABLE	SLATE	1	RESIDENCE	H: BROWNE (LAWYER)	CCH5#703 C 1904
INE LENDA ST	COLONIAL REVIVAL		2	3 ALUMINUMVINYL	6/1 1/1 CUSTOM	SIDE GABLE	ASPHALT	c 1 899	RESIDENCE)1. BRAINARD (REAL ESTATE) H: GAILAND	CCH5#1492 C1915
ISE LENOA ST	COLONIAL REVIVAL COLONIAL REVIVALECLECTIC	• _ •	2 :	· ·	1/1 CUSTOM	SIMPLE HIP CHOSS HIP	•	1	RESIDENCE	H NORTHROP(LAWYER)	OUTBG C.CCHS41 #701
IDE LENDAST	MUUERN CAPE COD	•	HC -	•	1/1 6-6	SIDE GABLE	SLATE		RESIDENCE		Pénce
INTE LENDASH PI	COLOMAL REVIVAL	1941 90 1	2	1	B'Y 0-0	SILE GARE	MAIE	1987 - 1984 - 1	MEMORY	jan. Cir, multing - Nayanan Santara	
	with manufacture and the second se	1414 20	2		-					a 1. – Energia Statest, statest fra en	
			🕷 Lane	A	and the second second second second	Yes and the second s			STRATE BOARD		
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Real Property Search - Individual Report

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	CHEVY CHASE MD 2	0815							
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Premises Address 17 W KIRKE ST CHEVY CHASE 20815		Zoning R60			CHEVY CHA				
Map Grid HN41	Parcel 5	ubdivision 9	Section	Block 38	Lot P5	Group 81	Plat No; Plat Raf:		
Special Tax Areas	Å	wn i Valorem 1x Cisse	CHEVY CH	ASE VILLAGE					
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Maryland Department of Assessments and Taxation Montgomery County	Go.Beck
Real Property Data Search	New Search

Account Identifier: District - 07 Account Number - 00458546

Owner Information								
Owner Name:	WEST, MILLARD F ET AL TR	Use; Principal Rasidenca:	RESIDENTIAL YES					
Mailing Address:	18 WEST KIRKE ST CHEVY CHASE MD 20815	Deed Reference;	1) /13647/ 29 2)					

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		Location I	Structure In	ormatio	n	·····	·····		
Promises Address 18 W KIRKE ST 24EVY CHASE 20815		Zoning R60		Legal Description SEC 2 CHEVY CHASE					
Map Grid Para HN41	el Subc	livision 9	Section	Block 33	Lot 23	Group 81	Plat No: Plat Ref:	6574	
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Land: Improvements:	290,750 913,460	380,750 984,180	0//01/2001	07701	/2002				
Total: Preferential Land:	1,204,210 0	1,364,930 0	1,204,210 0	1,25	7,783 0				
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Seller: Millard F West Type: Not Arms-Leng					2/29/199 3847/ 2		Price: \$ Deed2:	0	

Type:		Deed1:	/13847/ 29	Deed2:		
Seller:	MILLARD F JR & D T WEST		02/10/1995	Price:		* 3 * . * ********
Type:	NOT ARMS-LENGTH	Deed1:	/13252/ 300	Deed2:		
Seller:		Date:	12/10/1968	Price	\$175,000	
Type:	IMPROVED ARMS-LENGTH	Deed1:	/ 3815/ 475	Deed2:		

Exemption Information								
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State	000	0	0					
Municipal	000	. 0	0					
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Tax Exempt: NO Exempt Class:

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Real Property Search - Individual Report

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Real Property Search - Individual Report

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ccount Identifier:	District - 0	Account Nu	m ber - 0313	6430				
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Total:	308,620 1,657,360	398,620 1,787,200					
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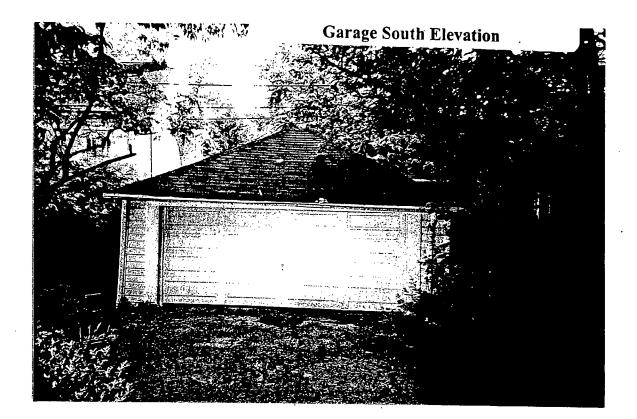
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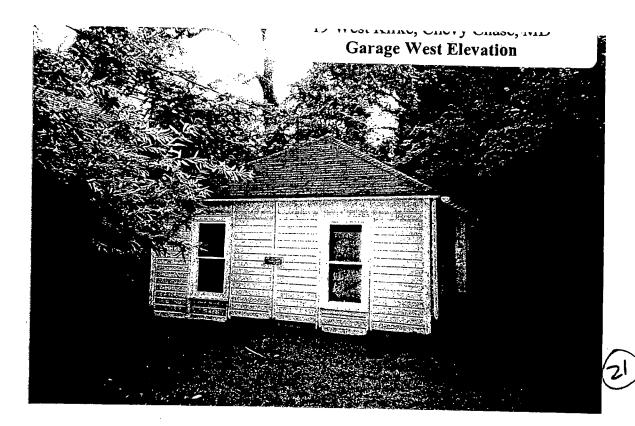
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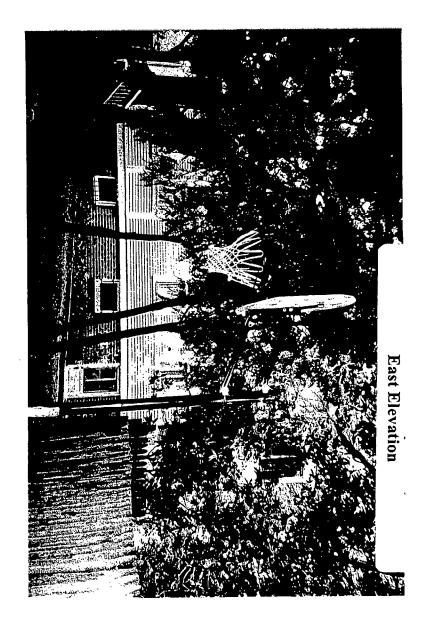
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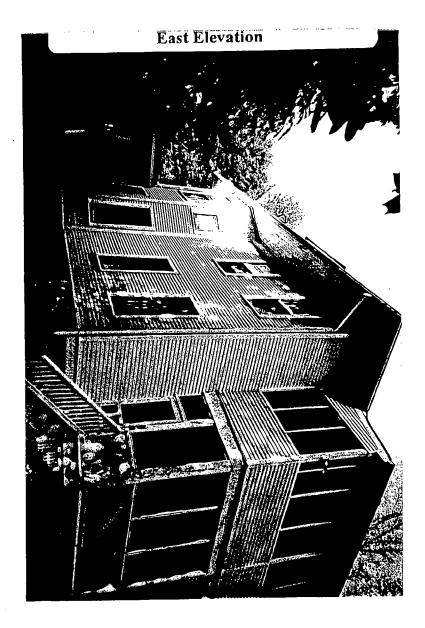
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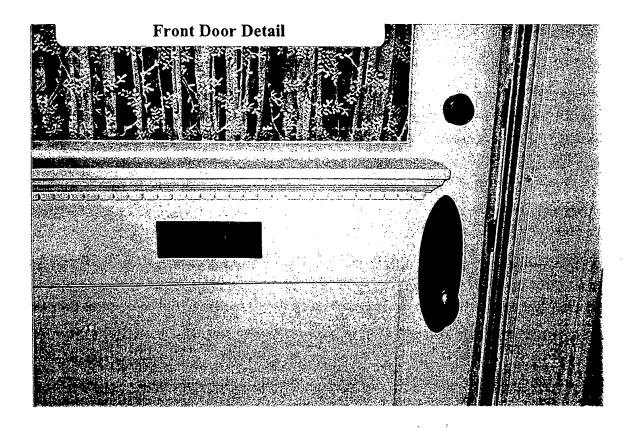


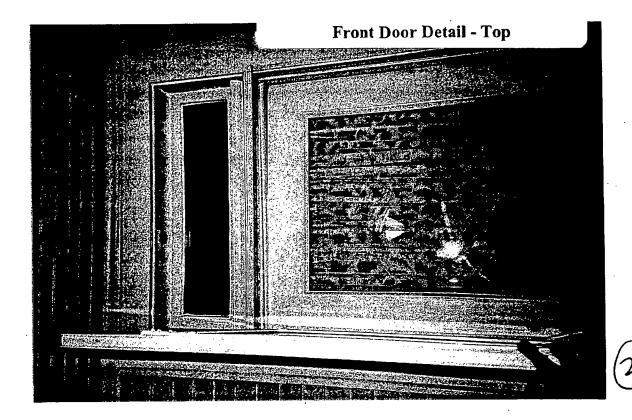


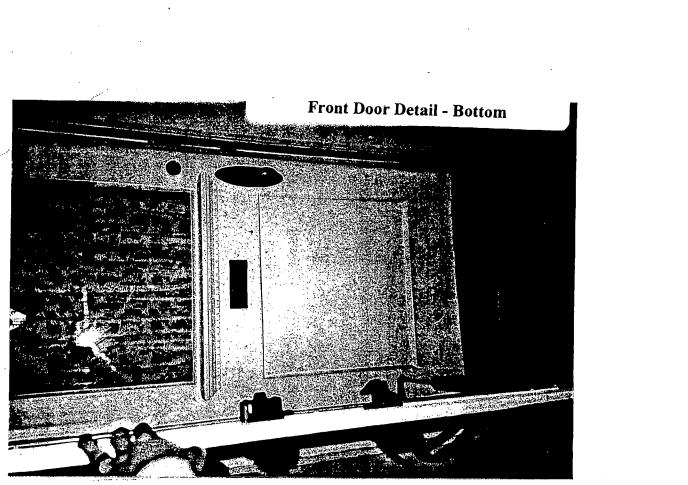




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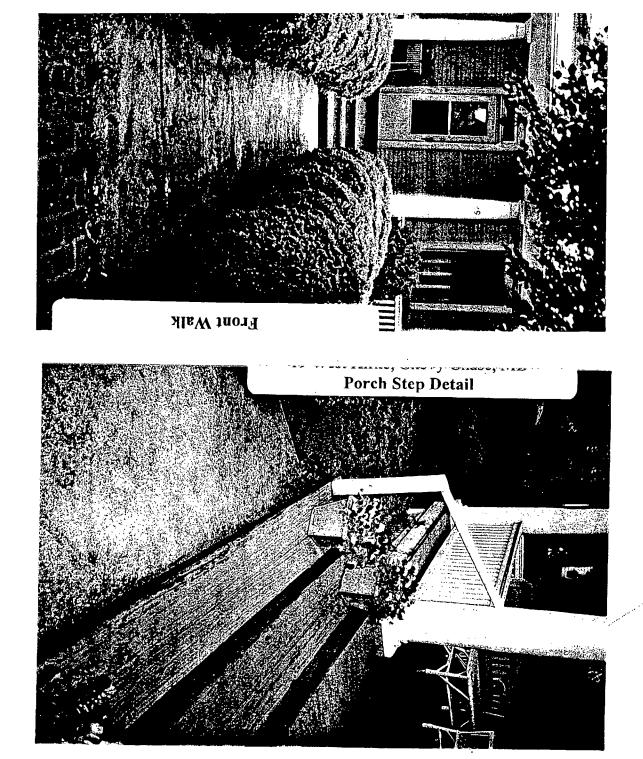






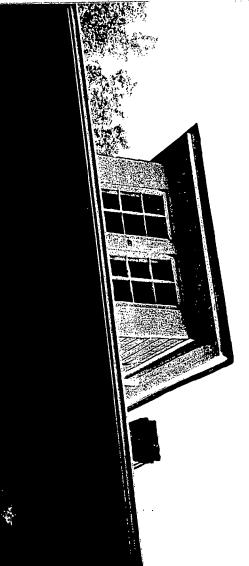
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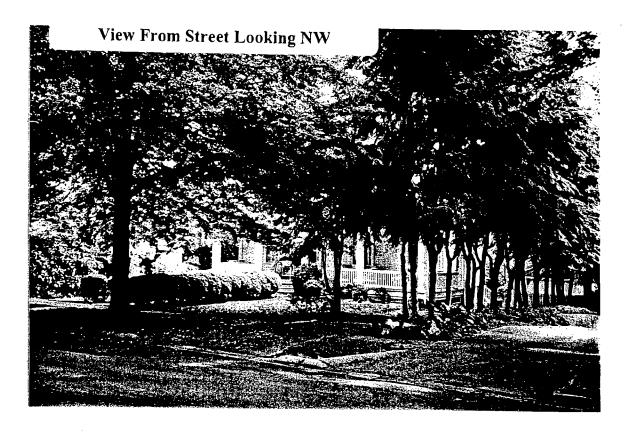
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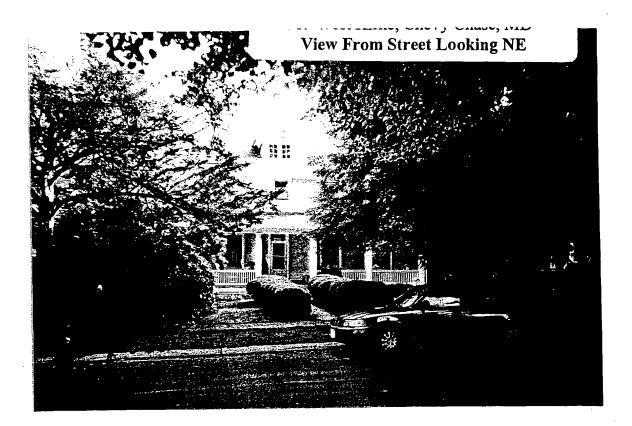
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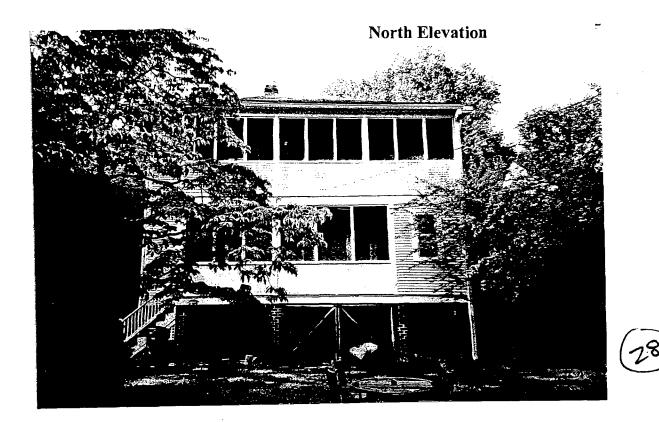


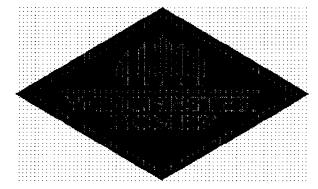


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Facsimile Cover

То:	HPC Staff (for next	From:	Bourke, Tom						
Fax Number:	+1 (301) 563-3412	Subject:	Comments						
Date:	June 12, 2002	Pages:	1						
Note:	The following are the comments from the Chevy (items on the HPC agenda for June 12, 2002:	Chase Village	e Local Advisory Panel for						
	32 W Irving Knight Residence Contributing Resource Proposal to enclose lower space on newer rear ac Staff Recommendation: Approval, no conditions LAP: We concur with this recommendation for a	listed	ut conditions						
	 31 W Kirke Blakey – Dooley Residence Contributing Resource Proposal to replace concrete drive and lead walk with concrete cobblestone design. Staff Recommendation: Approval without conditions LAP: We concur with this recommendation for approval without conditions. LAP would have also supported this as a candidate for an Expedited Review. 								
	 19 W Kirke Toch Residence Contributing Resource Proposal for rear addition, deck, various interior alterations Staff Recommendation: Approval with conditions re photography, front steps, front door. LAP believes the project can be approved without conditions other than the photographic record. The architectural firm of BGA is extremely experienced in renovation/restorations and we respect their judgment. The presentation for the property indicates that the process has been studied extensively and well-documented. 								



Letter of Transmittal

To: Attention:	1109 Sprin Suite 801 Silver Spri Perry Kap	ng Stree ing, ME sch	20910	•	Project: Toch Residence Project No.: 00014-Toch			
we are se	nding you a	ttached	I the following items :					
Addendum/Change Order			Copy of letter Shop drawings	⊠ Pla □ Spe	ns ecifications	PrintsOther: photos		
If enclosures not as indicated, kindly notify us at once.								
CopiesDateNo.Description1responses to back half of H.P. application2set of existing plans & elevations, (10) pages ea.2reduced set of permit drawings, (14) pages ea.1Sept. 20, 2000 site survey1cut sheets for attic wood casement window, (5) pages1(15) photos of existing house								
For app For you As requ	proval ur use		 Accepted as submitted Accepted as noted Returned for revisions For bid due 		Resubmit Submit Return revise Prints returne	copies for review copies for distribution ed prints ed after loan to us		
Remarks: none. Signed: K	Levin Day		copie	s to: 🛛	Chronologica Project file Other:	al file		

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Tracy Stannard - need all this by Toria 5/30/02 Kavin Day THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:



General description of project and its effect on the historic resource(s), the environmental setting, and, whera applicabla, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3) PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

) MATERIALS SPECIFICATIONS - You have most of using . but need atter window detail

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6)

THEE SURVEY - or statement that no hear over 6 "ane affected

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

17.)ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Fax Memorandum

To Fax No.: 301-563-3412

Date: June 11, 2002

To: Perry Kapsch

From: Kevin Day

Project: Toch Residence

Project No.: 00014-Toch

Subject: Revised Front Elevation

Additional pages transmitted with this fax memorandum: 4

Perry-

After reviewing your preliminary historic preservation results and speaking with the Owner, we would like to revise the front elevation to include wood louvered shutters for all windows on the front elevation as well as by the front door. This design change comes in response to your comments concerning the wood panels next to the front door and personal preferences of the Owner. During one of our phone conversations, you mentioned that the wood panels were out of style and stated that something akin to shutters would be more in kind with the style of the house. If at all possible, we would like to submit this new design for review at the June 12, 2002 HPC meeting. The following pages represent the proposed addendum sheet for A4.01 of the architectural permit set.

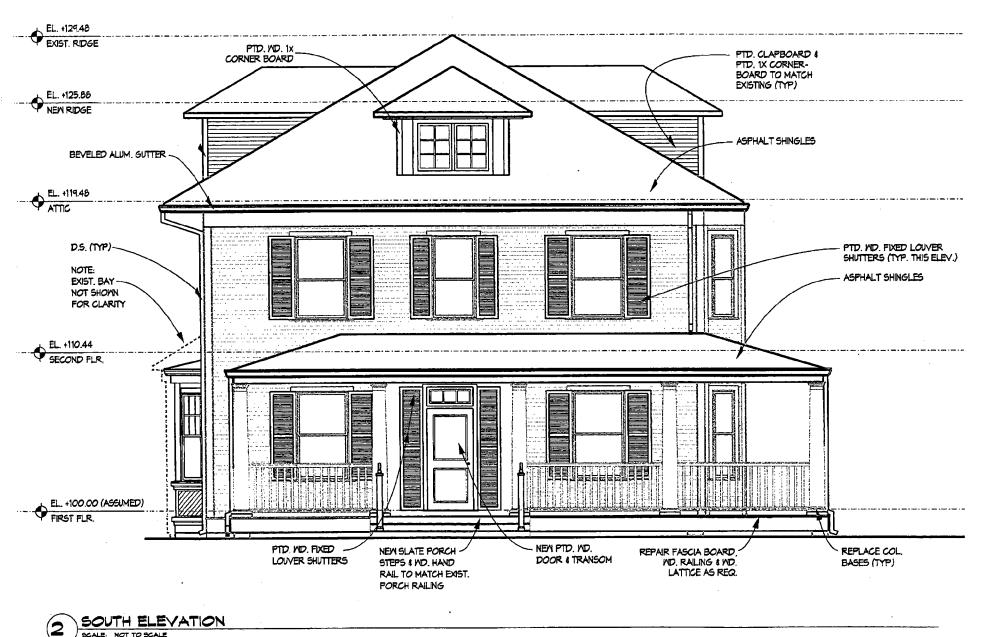
I will be out of the office for the remainder of the week. If this redesign is not possible to review at the June 12, 2002 meeting, please proceed with the design you currently have. We will submit the attached redesigned elevation as an addition to the project after the meeting. As mentioned in prior phone conversations, time is critical for this job, so if it is possible to approve the project pending a redesign of the front façade, please do so that the project can immediately proceed to the County Building Department following the HPC meeting.

Thank you,

Kevin Day

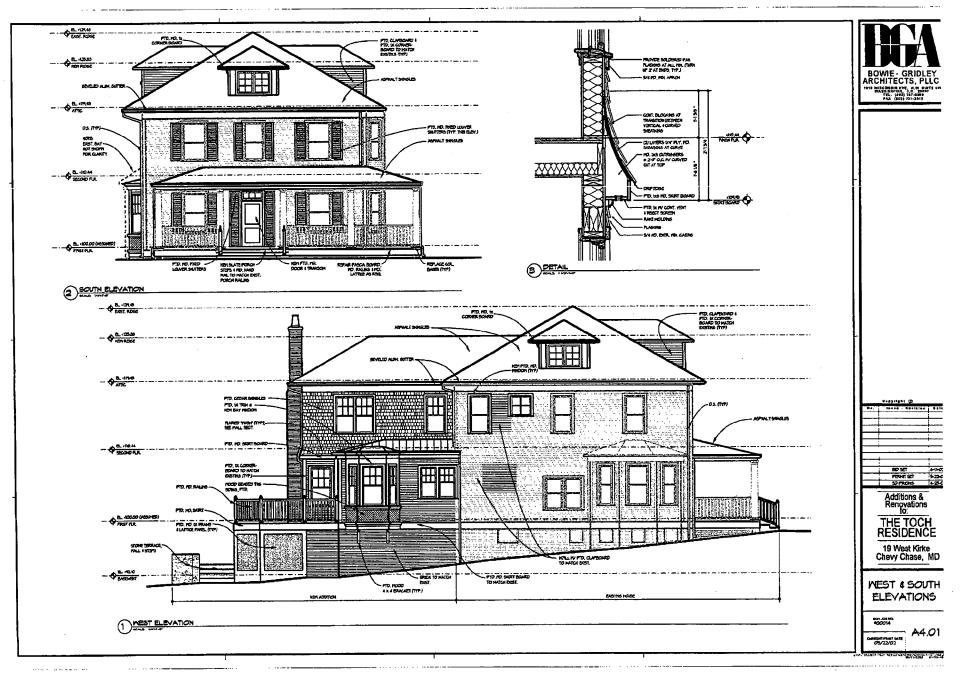
copies to: A Chronological file Project File Cc: Tracy Standard, fax 202-244-3846

Bowie Gridley Architects, P.L.L.C. 1010 Wisconsin Avenue, N.W. Washington, D.C. 20007 Tel: 202-337-0888 Fax: 202-337-2626 bga@bowie-gridley.com s:\u00014-toch residence\correspondence\0014-pkapsch-020611-faxmemo-updated front elv.doc



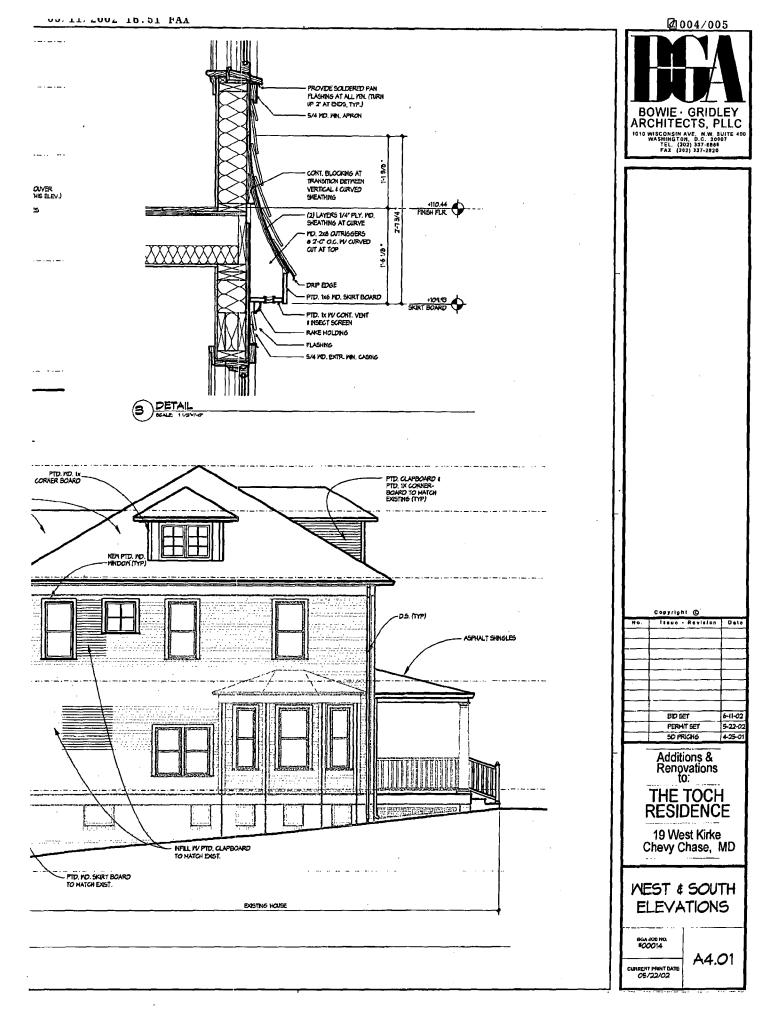
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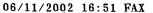


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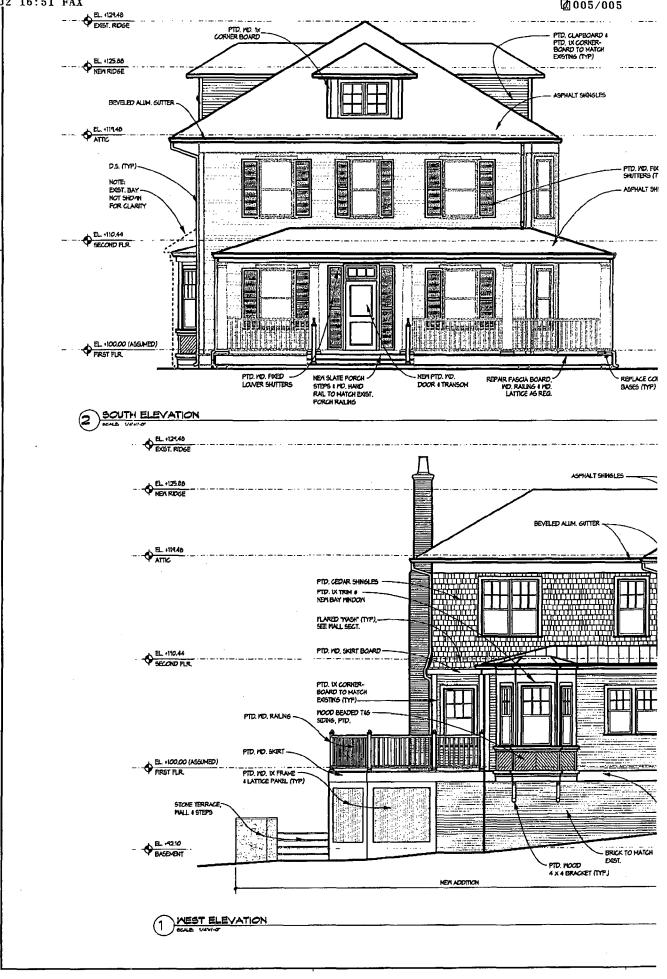
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Permit Girl



GTO: Perry Kapsch

FROM: Tracy Stannard

1 Date: May 28 2002

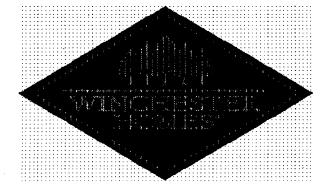
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For the Toch permit – the neighbors addresses. Let me know that you can read this. If not, I will drop it at your office. Thanks.

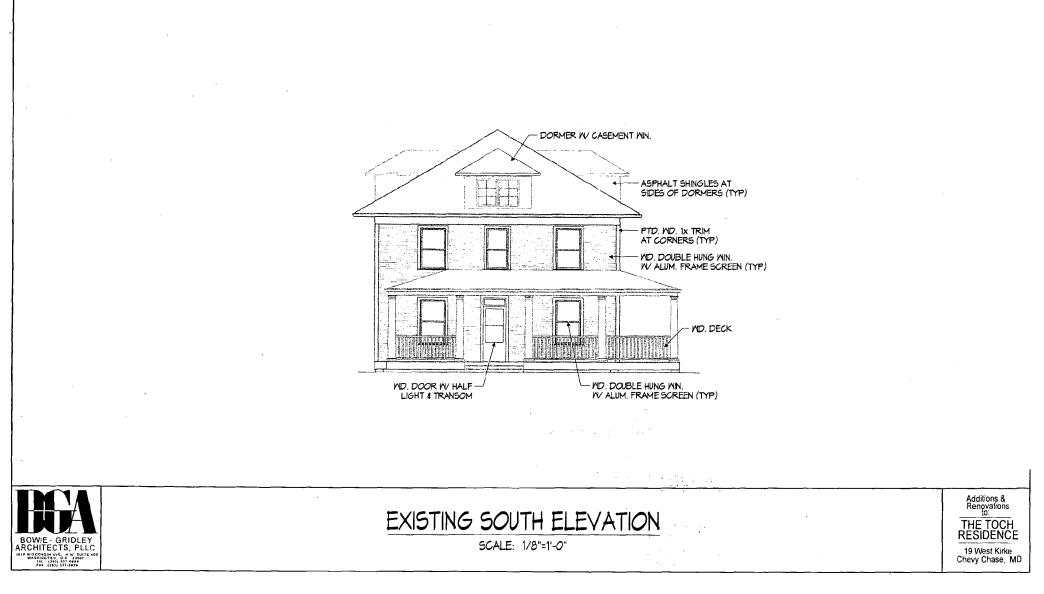
3908 Northampton Street, NW WDC 20015

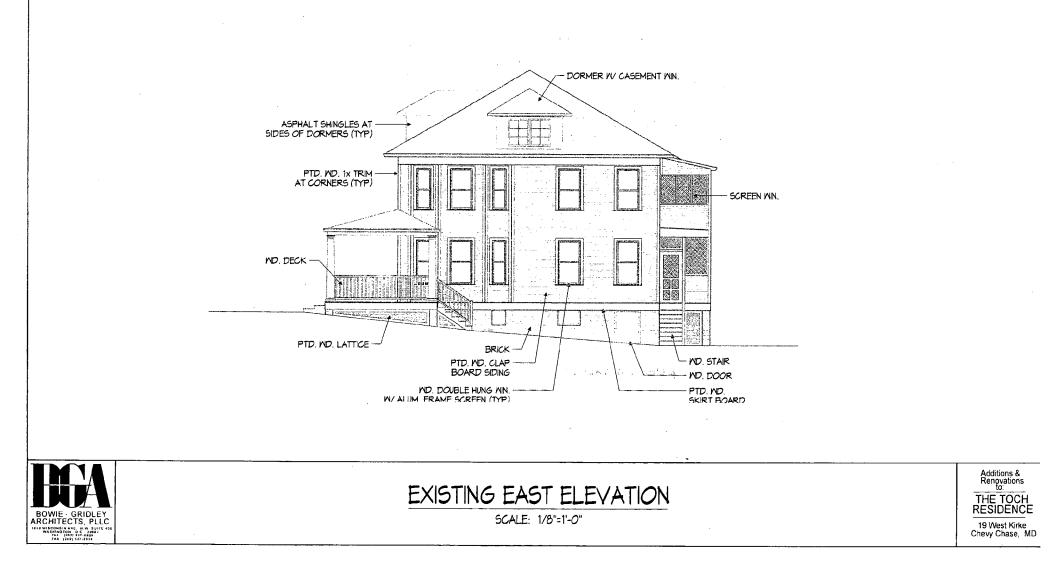




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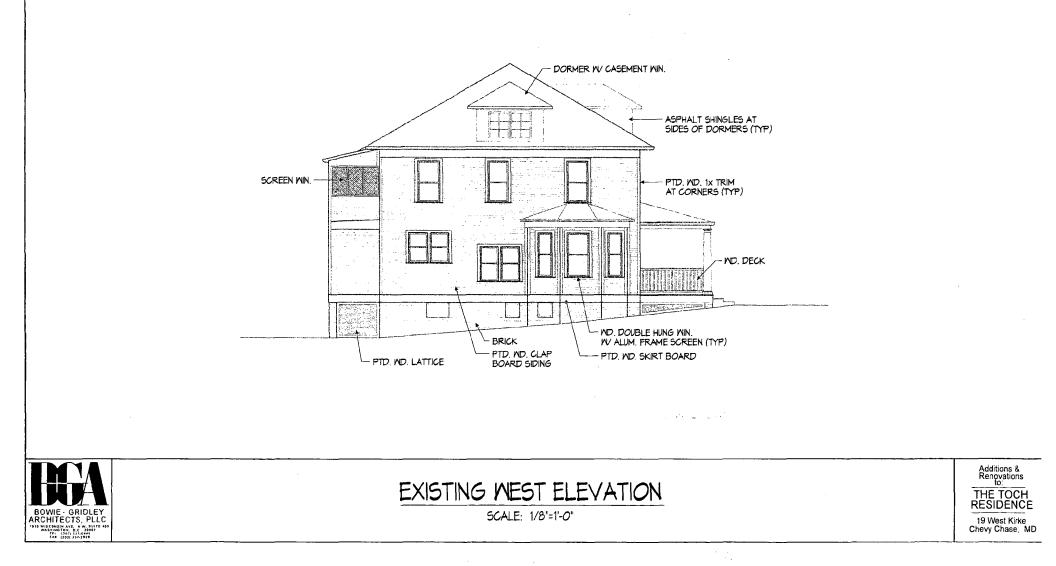
To: HPC Staff (for next From: Bourke, Tom Fax Number: +1 (301) 563-3412 Subject: Comments Date: June 12, 2002 Pages: The following are the comments from the Chevy Chase Village Local Advisory Panel for Note: items on the HPC agenda for June 12, 2002: 32 W Irving Knight Residence **Contributing Resource** Proposal to enclose lower space on newer rear addition Staff Recommendation: Approval, no conditions listed LAP: We concur with this recommendation for approval without conditions 31 W Kirke Blakey - Dooley Residence **Contributing Resource** Proposal to replace concrete drive and lead walk with concrete cobblestone design. Staff Recommendation: Approval without conditions LAP: We concur with this recommendation for approval without conditions. LAP would have also supported this as a candidate for an Expedited Review. 19 W Kirke **Toch Residence Contributing Resource** Proposal for rear addition, deck, various interior alterations Staff Recommendation: Approval with conditions re photography, front steps, front door. LAP believes the project can be approved without conditions other than the photographic record. The architectural firm of BGA is extremely experienced in renovation/restorations and we respect their judgment. The presentation for the property indicates that the process has been studied extensively and well-documented.

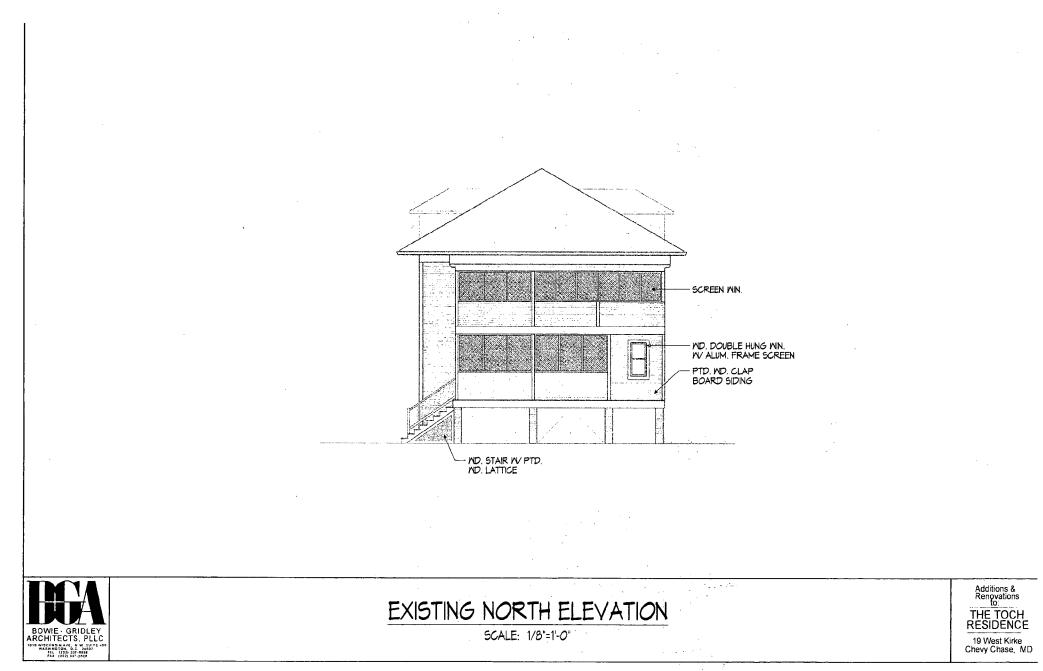


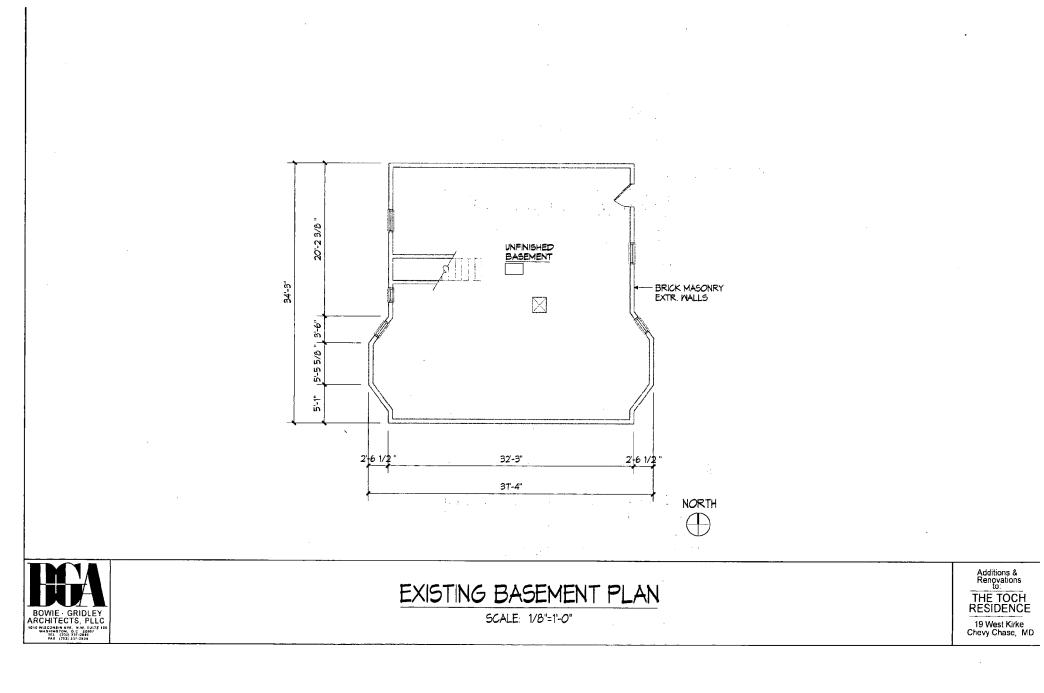


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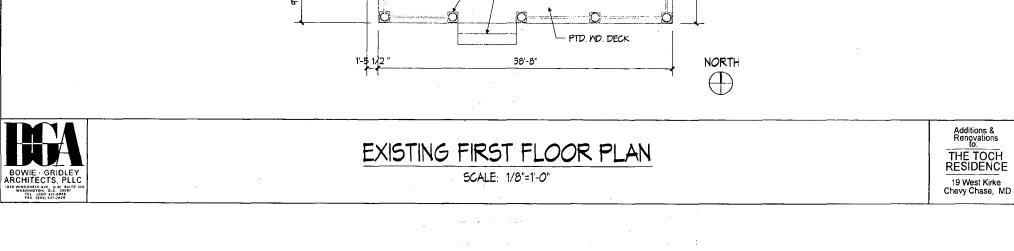
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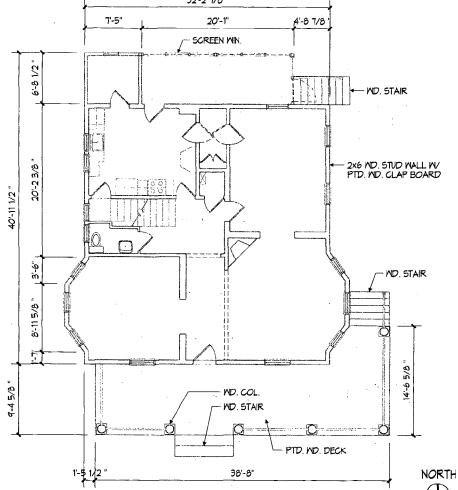


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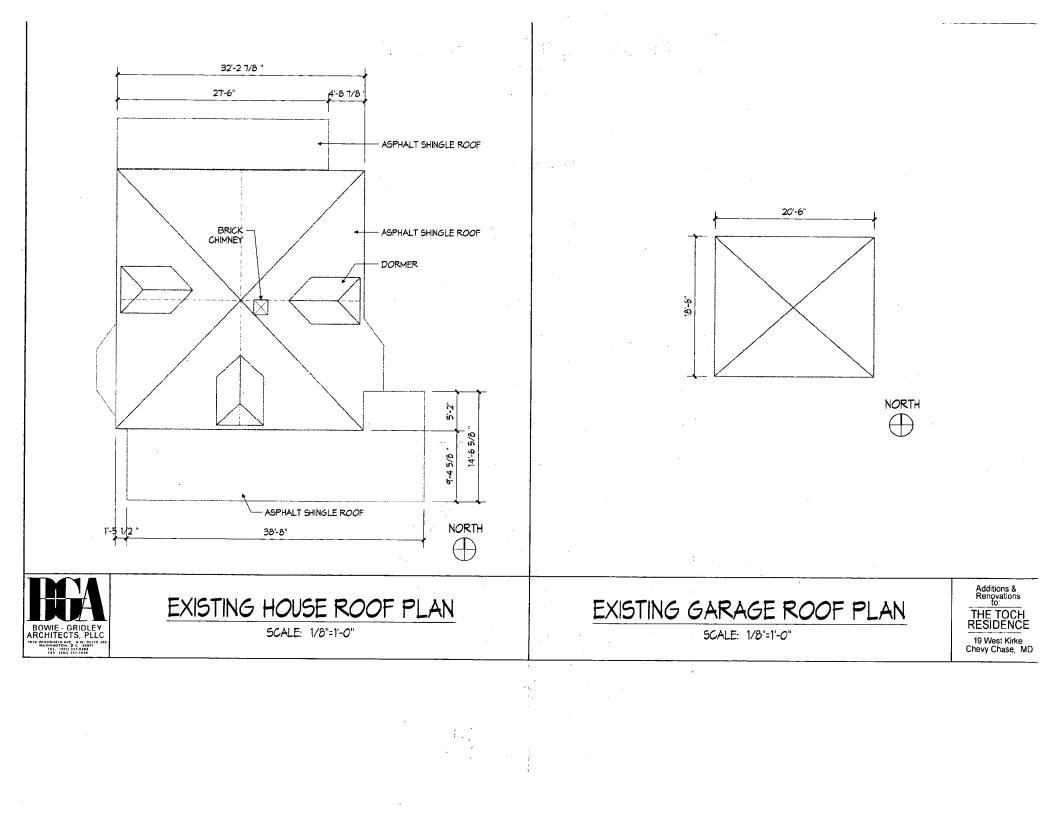


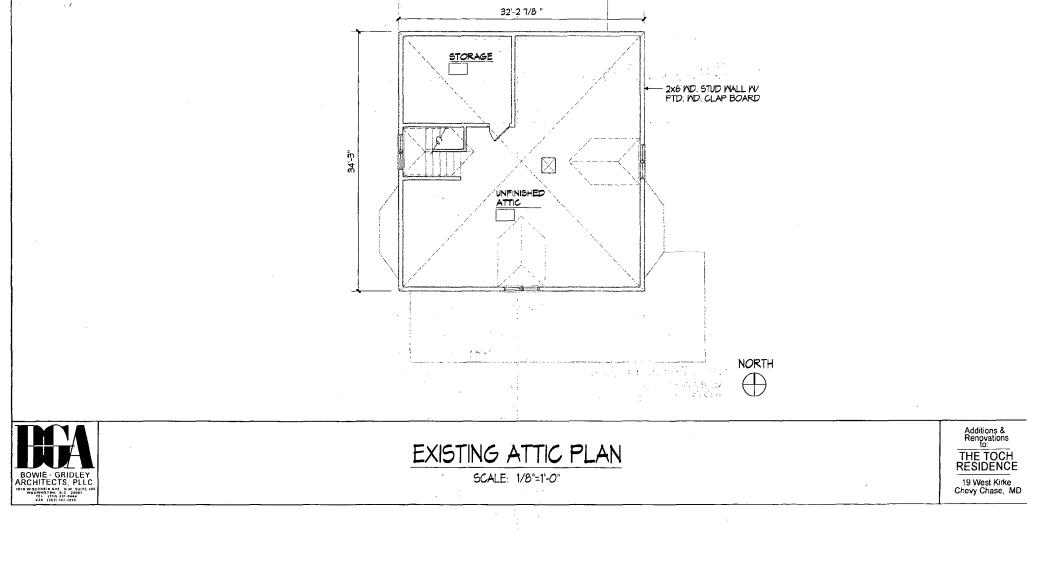
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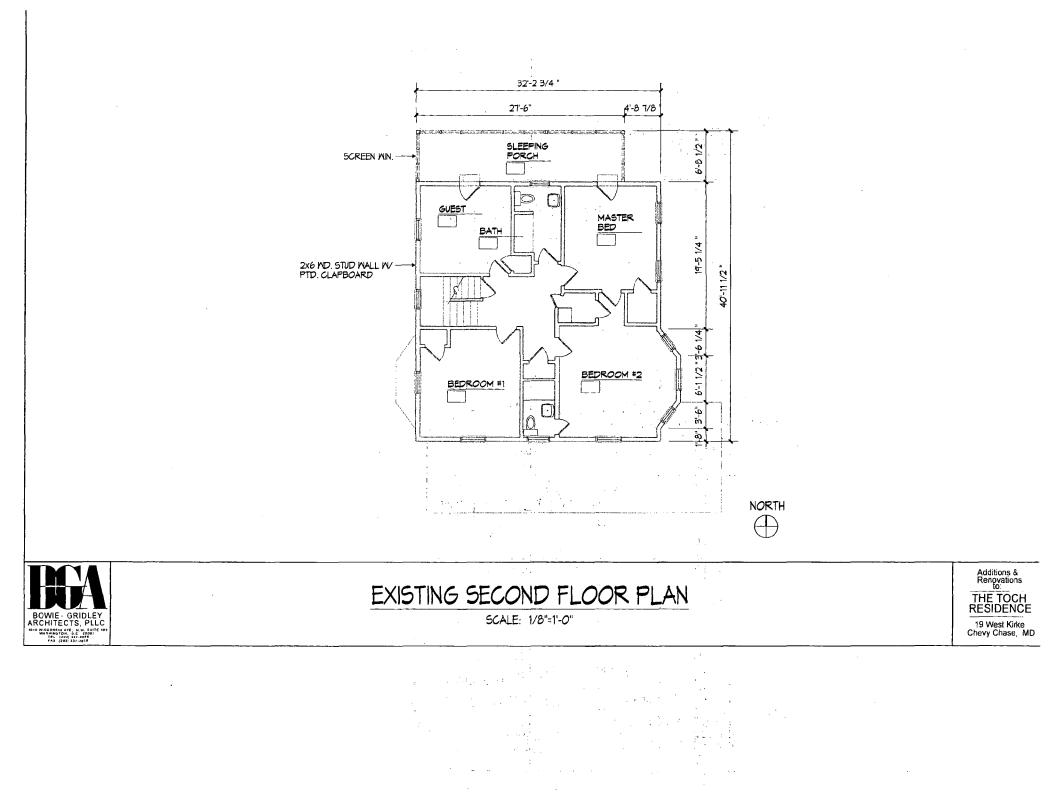
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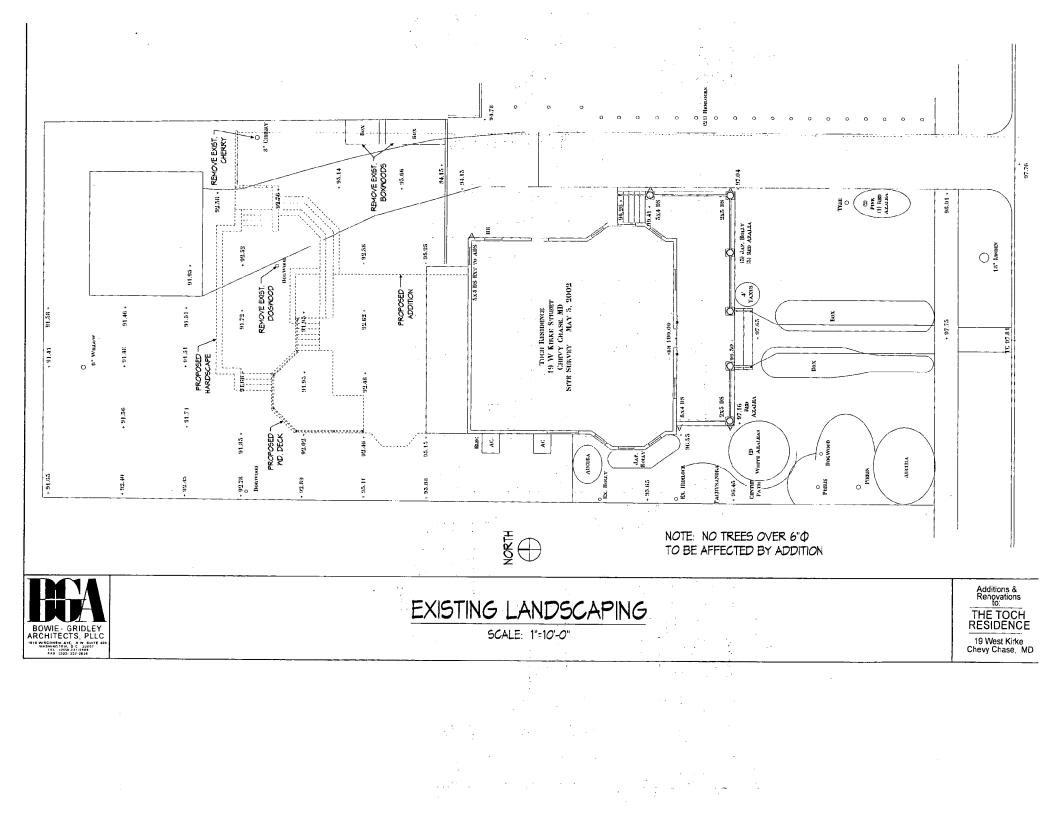


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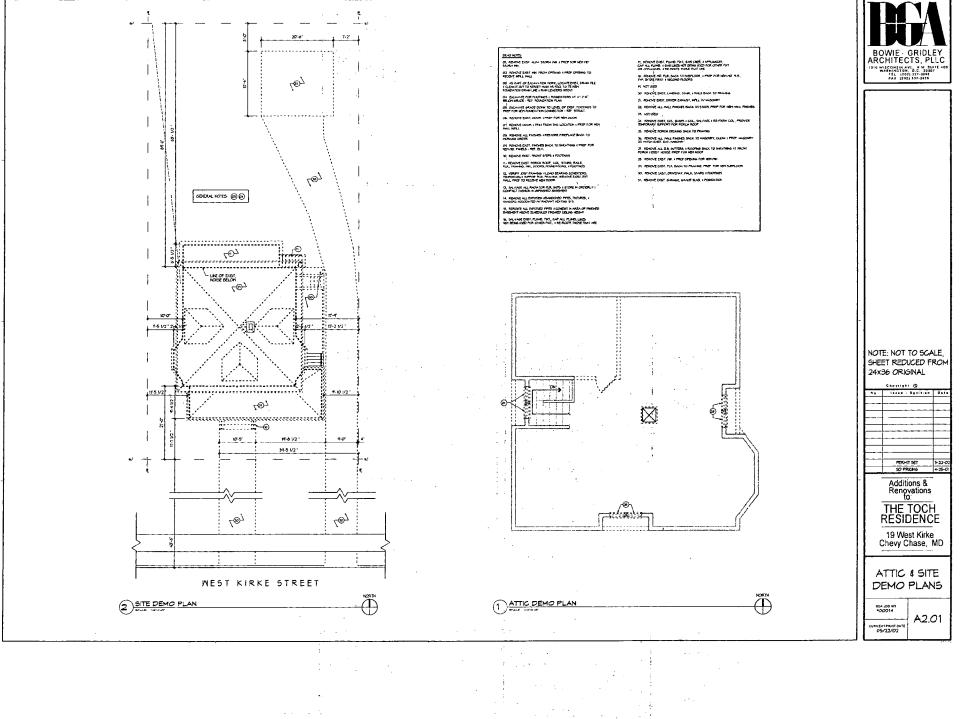


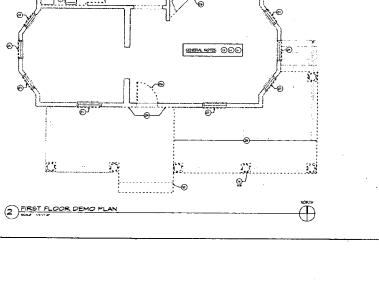






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T. REMOVE CAST, FUND, FINT, GAB LINES & ATTUMACES CAP AL FUNDER & GAS LINES HOT SENSE USED HOR OTHER FAIL OR ATTUMACES, EVER AND THOSE HAR ARE

30 REMOVE BADT, LANSING, STAR + RALS BACK 10 PRAVING

REMOVE SHET SHITTE SHOWST, NELL IN HAROWS

22 REMOVE ALL MALL PHEMES BACK TO STARS PREP 10

24. REMOVE EAST GOL BASES I COL, SALVAGE I RE-

25 REMOVE N.L. INLL, PREMES BACK TO HARDWIT, C TO HATCH EXIST, EXT, HARDWAY

21. REHOVE ALL 0.5, CATERIS, I ROOTING BACK TO SH PORCH I (2007, HOLDS, HERP TOR HON ADOP

10 RD-10-15 E-101 / IN 117527 of Detro for all the

24 REMOVE EXEL FLA. BACK TO PRAMINE PREP FOR HER

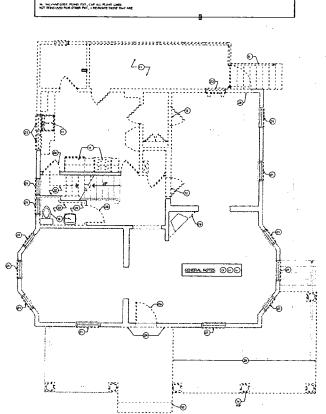
REMOVE BUST DRIVENMY, MUS, STARS (FOOTNES N. RONOVE EXST. GARAGE, GRADE SLAB, I ROMONTON

25 RENOVE FORCE DECLING THICK TO FEMALING

N NOTICED

23. NOT VIED

LE REDOVE TO THE BACK TO SAFLY A FREE TOR HER HO THAT



00-0-0725 OF REACHE

02. REHAVE LIST, NY, FROM OF DIRG + FROM OF DIG 10 RECOVE MILL AND

23 AS PART OF EACAYATION NORK, LOCATE LUB?, DRAW THE A CLEAR & DRI TO STREET WAR AS REA TO TO THE YER FORDATION DRAW LIKE I RAW LEADERS NOT IT

04 EXCAVATE FOR FOOTHOS I FOUNDATIONS AT 4- 24"

ON REMOVE EVENT DOOR I PROP HOR KEN DOOR

O REMOVE ENDT. INCHT \$70% > 700TH65

11 ROHOVE LIGT, FORCH ROOF, GOL, STARS, UNLS, FLR, FRANKS, FRI, DOCKS, FORDATIONS, 1700TH05

D. YORRY 2051 PRAVIES & LOAD DRAMES CONTROLS. TOMORIAL & SUPPORTUR, REMAINS, REMAINE COST, EXT. INV.L. PROP. TO RECEIVE NEW DOOR.

5. NEROVE ALL EXTERN PARTS & CONDUCT IN AREA OF 1983 BASS-BAT ABOVE SCHEDULED PRESEND CALLING HEIGHT

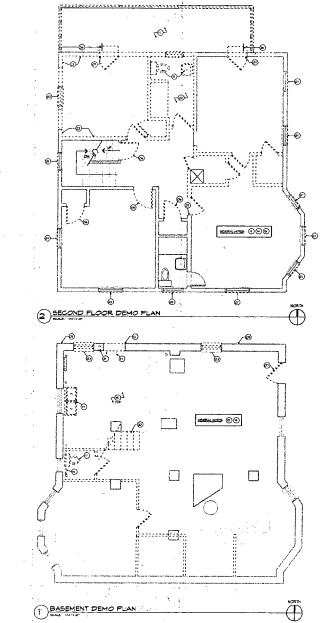
13. MENARE ALL RADIATOR PLR. INTO 1 STORE IN OR COMPACT PARADOR IN INFORMED BASEMENT n, RINGVE ALL EXPOSED ABANDONED PIPES, PARKES, A NANGERS ASSOCIATED BY RADARD HEADING STS

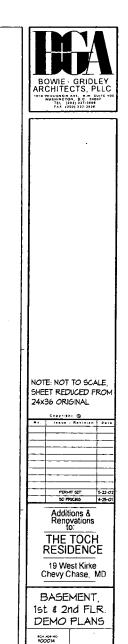
OT. REMOVE BOOK & BUT THOM THE LOCATED & FRUIT

20. REMONE ALL FRENCHS (RESTORE PROPLACE BACK 10) HORKING DROUP

OR REMOVE EXEL FREMES BACK TO SHEATHING I FREE FOR RETING FAMILS - REF BLY,

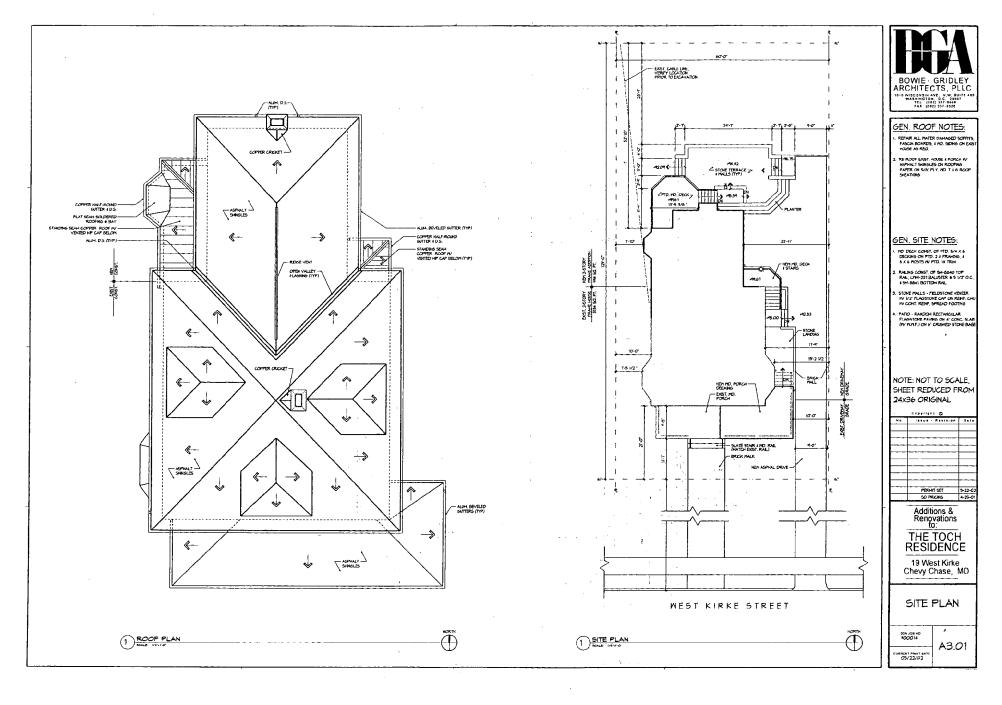
05 EXCAVATE GRADE DON'N TO LEVEL OF EXET POOTINGS TO HERE FOR NON REDUCTION CONSECTION - REP. STRUCT.



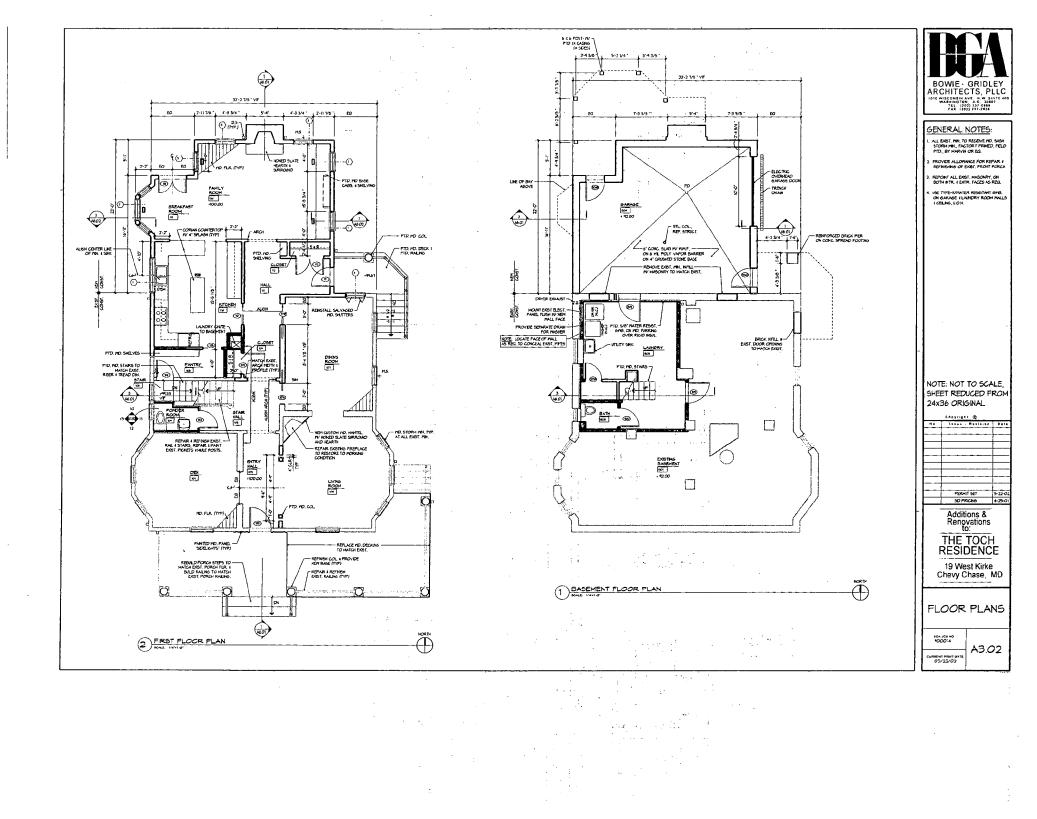


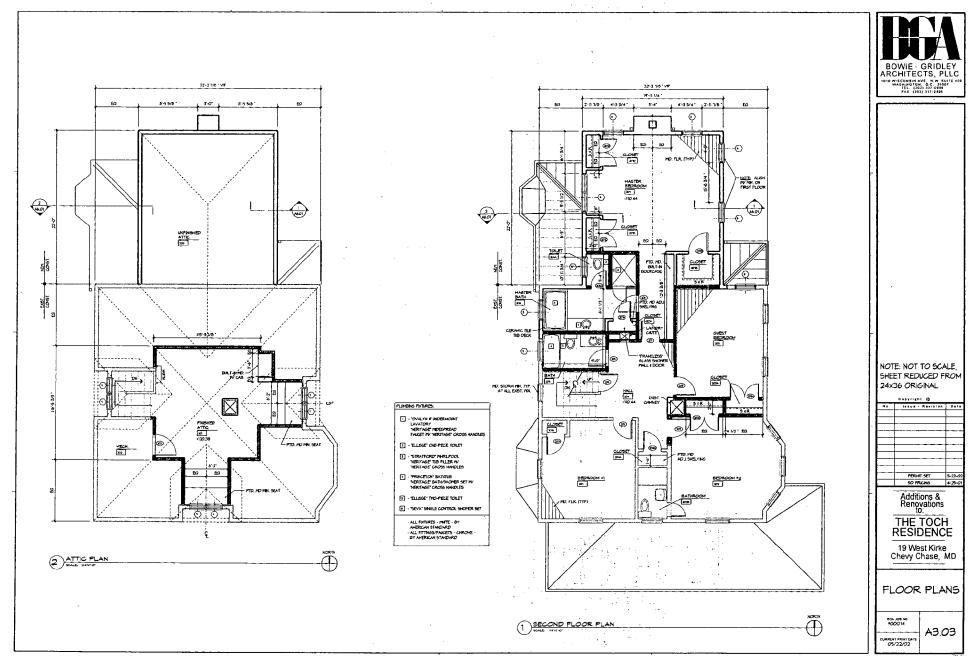
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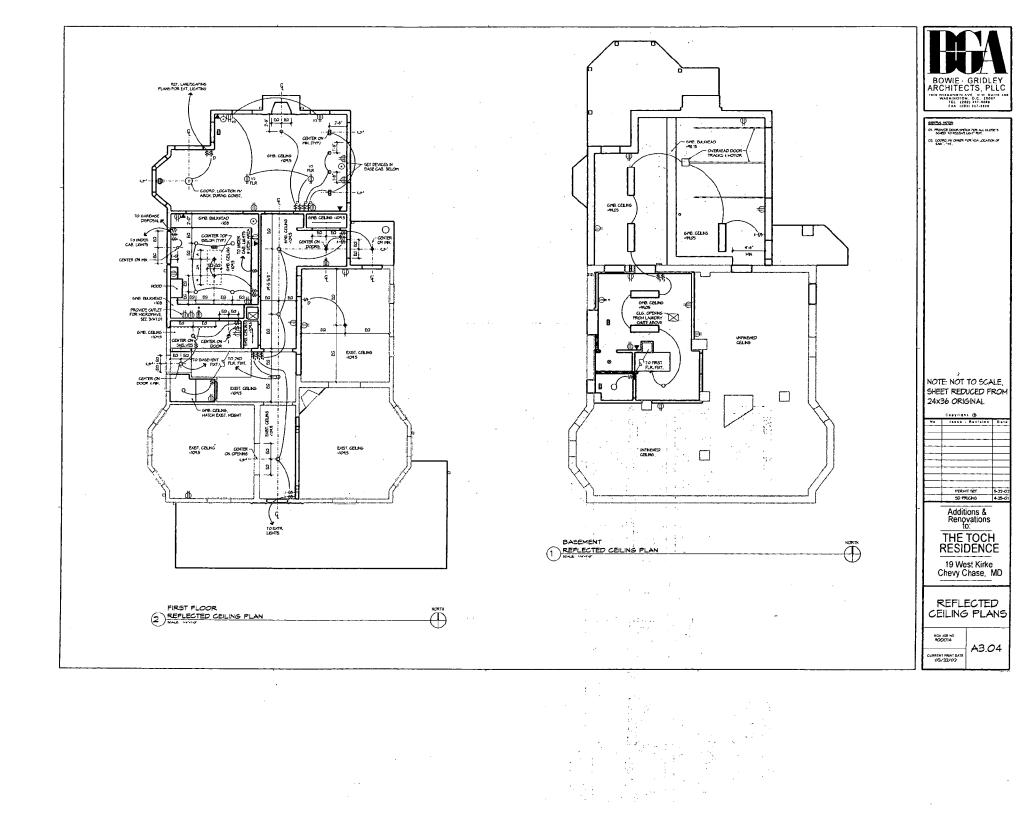
CURRENT PRINT CAT 05/22/02

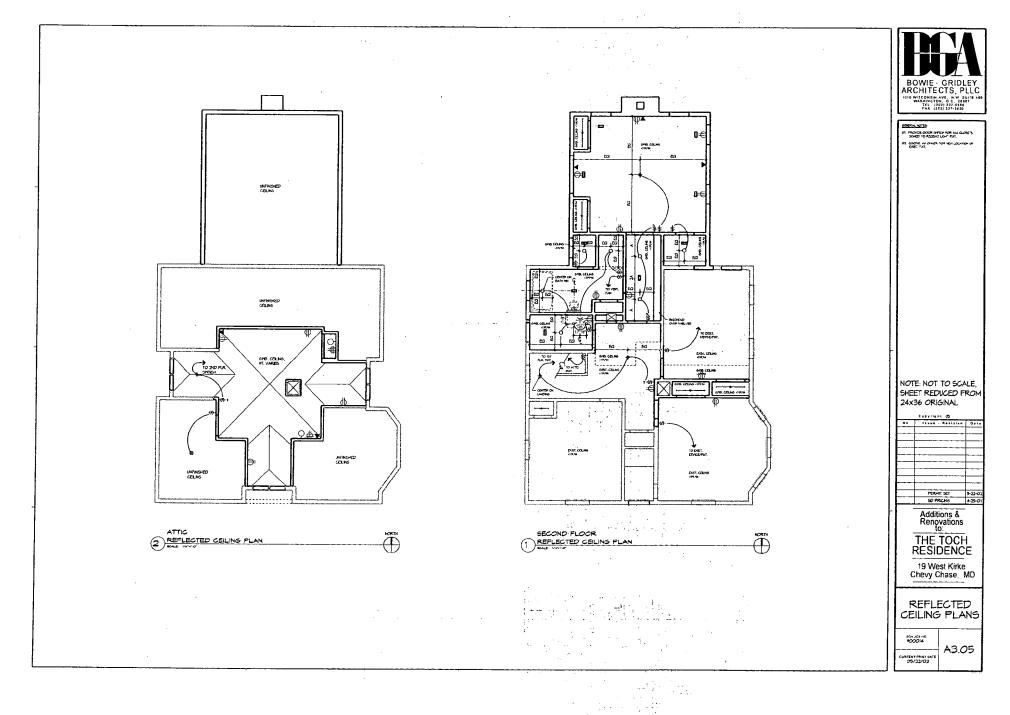


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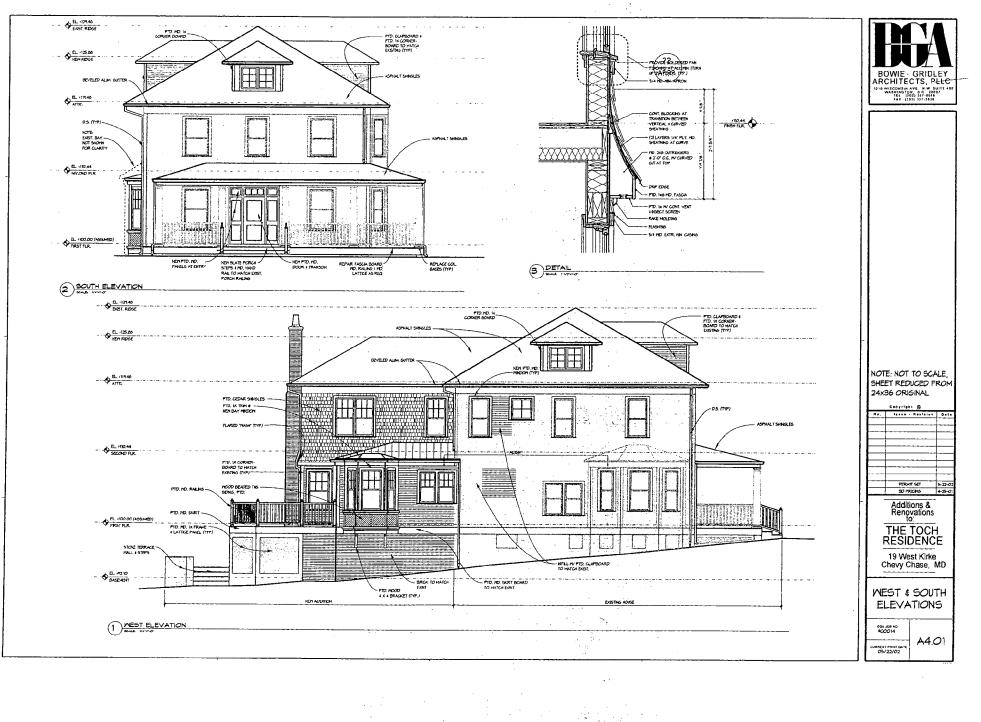


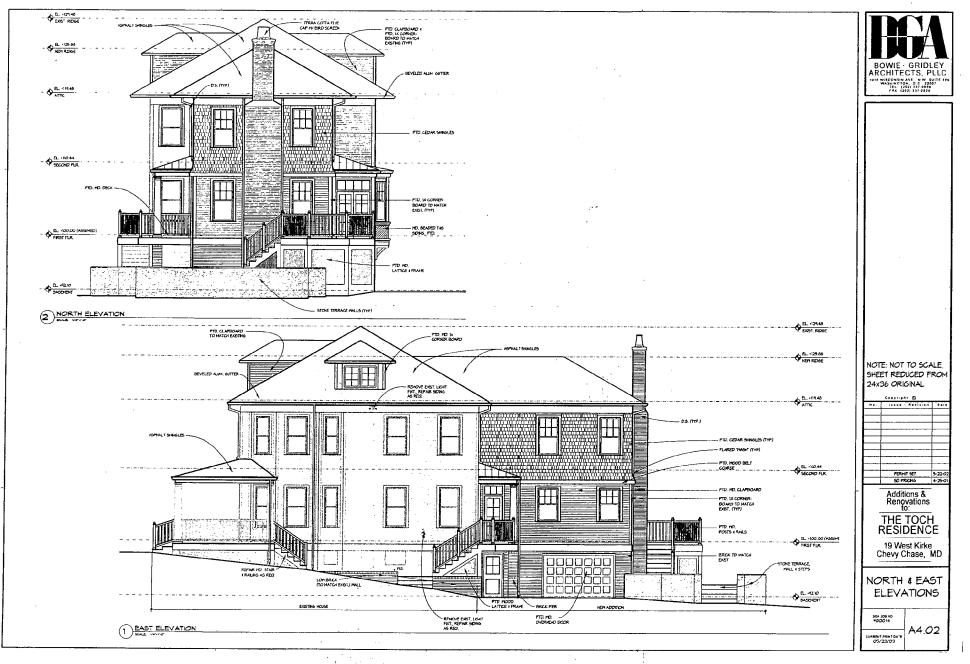


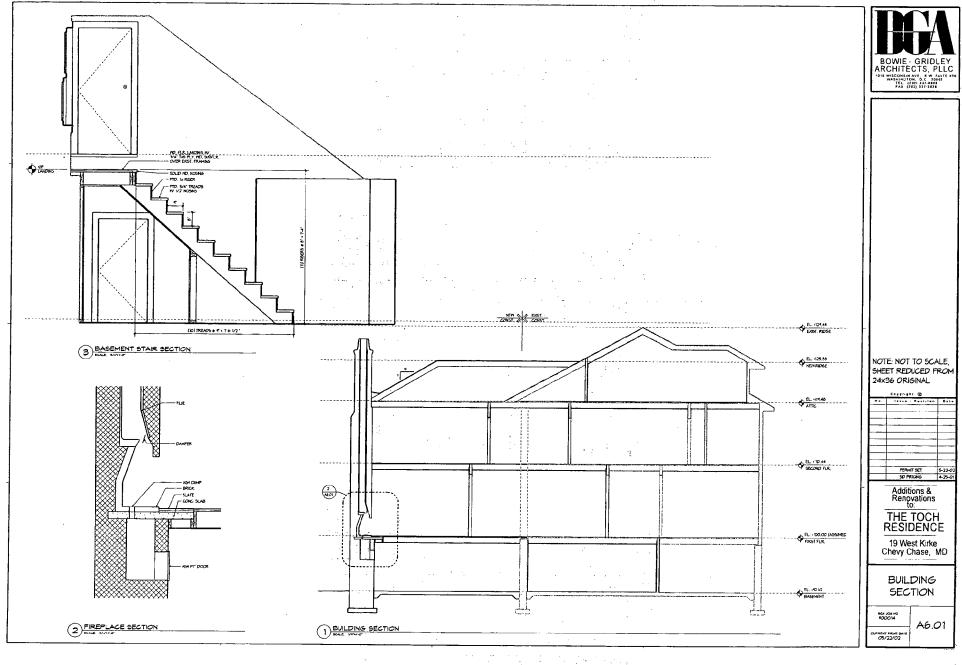


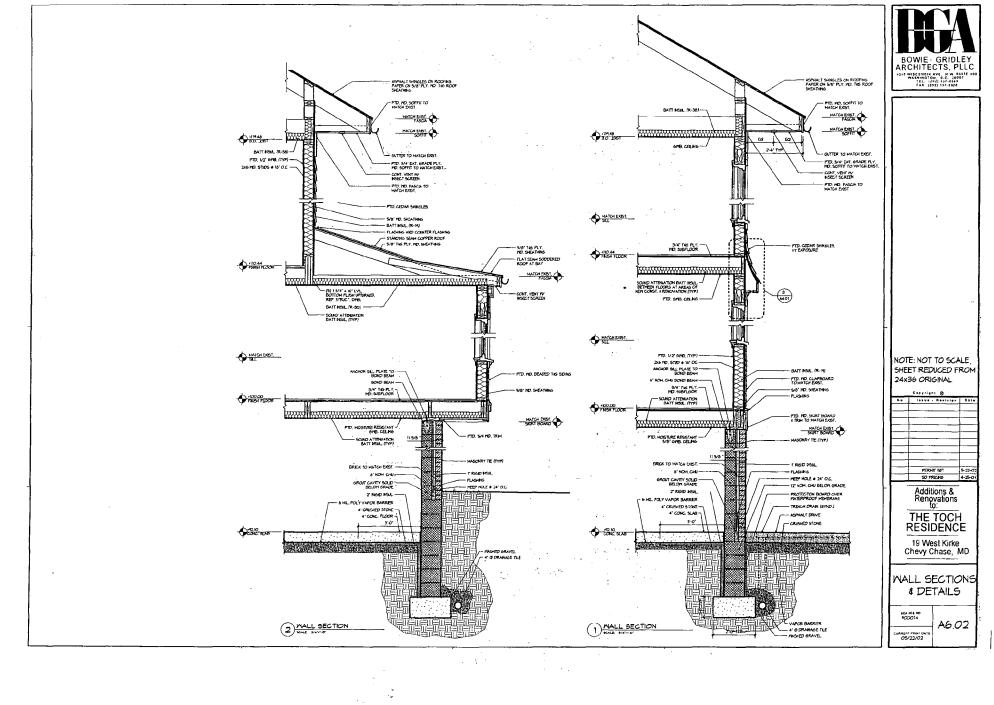


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				POCKEI DOOK	108				~~~			
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	13 G PR 2-0' 6-8' 13/4' PTD, ND.											
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