

35/13-02M 19 West Kirke Street
(Chevy Chase Village Historic Dist.)

rest of permit
here on
Thurs 5/30

Sent to CCV LAP

Mon. June 3
✓ Rec'd & sent

S.

Tom Tracy Stannard

202 491

- neighbors 7415

- Back of form Not filled out

- Copy of proposed drawings

- photographs of block

Note: wire made - 6/1

Nice chimney

- removing existing wires

- storm on all wires
design

Visit 19
w/ Kircho on
✓ Mon. 5/13

HAWP.
for June 12



Fax Memorandum

To Fax No.: 301-563-3412

Date: May 9, 2002

To: Perry Kapsch

From: Kevin Day

Project: Toch Residence

Project No.: 00014-Toch

Subject: Historic Pre-review

Additional pages transmitted with this fax memorandum: 6

Mrs. Kapsch:

I am working with Tracy Standard on a residential project at 19 West Kirke, Chevy Chase, MD. She asked me to send elevations of the project for a historic pre-review, per a conversation she had with you. Please note that the deck shown may slightly change to incorporate a swimming pool in the back yard. Will the deck and other elements in the back yard have an impact on the historic review that may hold up permitting the house? If this were the case, would it be possible to look at the deck, pool, etc. separately so that we may proceed with permitting the house?

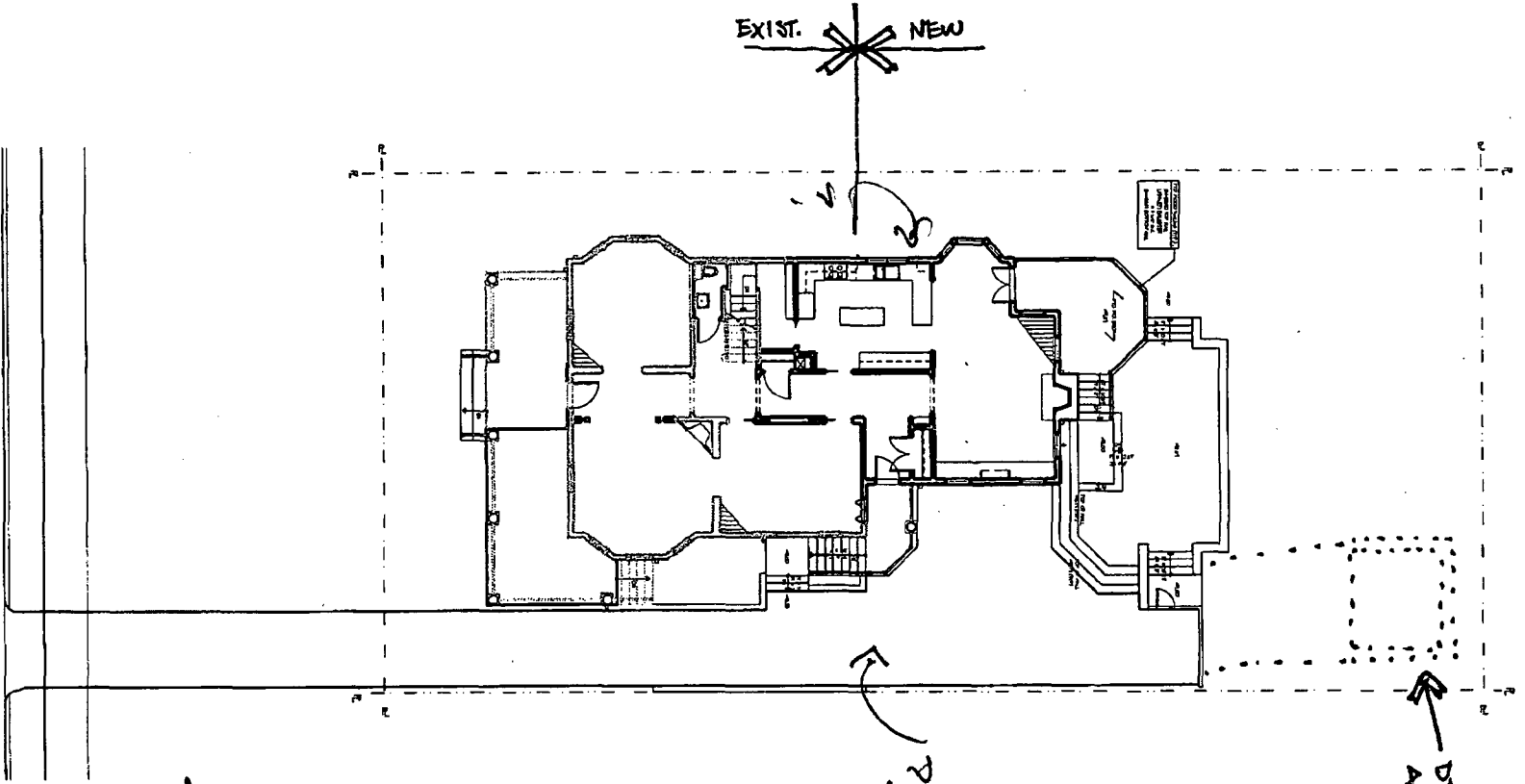
Please contact me if you need additional information regarding the drawings. Otherwise, please continue speaking with Tracy (202-244-3846) about all review related issues.

Thank you,
Kevin Day

sh. concrete walk to bridge in front
front door is main issue

Handwritten signature

- Chronological file
- Project File
- Cc: Tracy Standard, fax 202-244-3846



WEST KIRKE STREET



document near space of garage

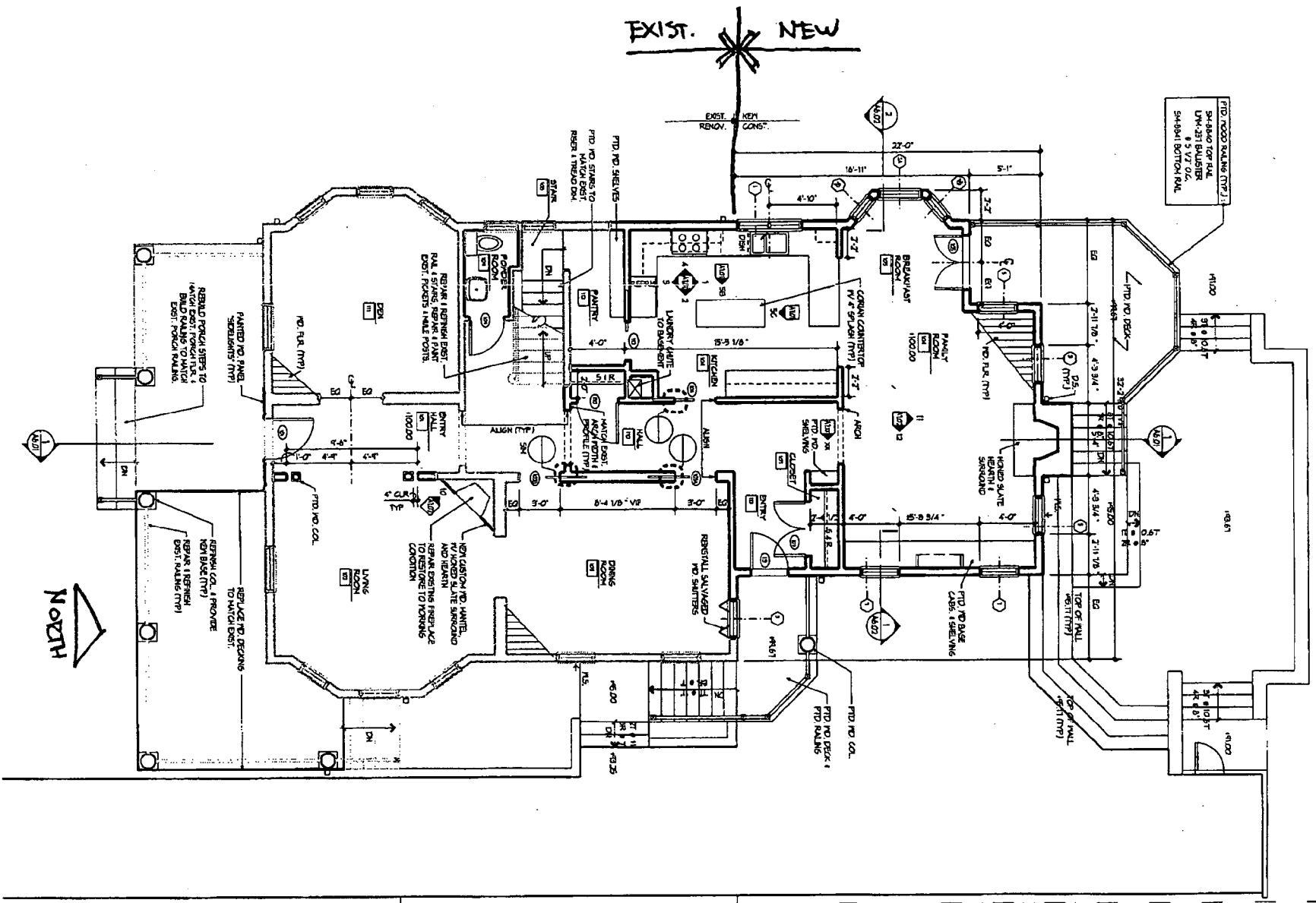
Site Plan

Scale: 1"=20'-0"

Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

DEVELOP EXIST. GARAGE AND DRIVEWAY

BGA
 BOWIE-GRIDLEY ARCHITECTS, PLLC
 1818 WASHINGTON AVE. N.W. SUITE 400
 WASHINGTON, D.C. 20007
 TEL: (202) 527-0824
 FAX: (202) 527-1225

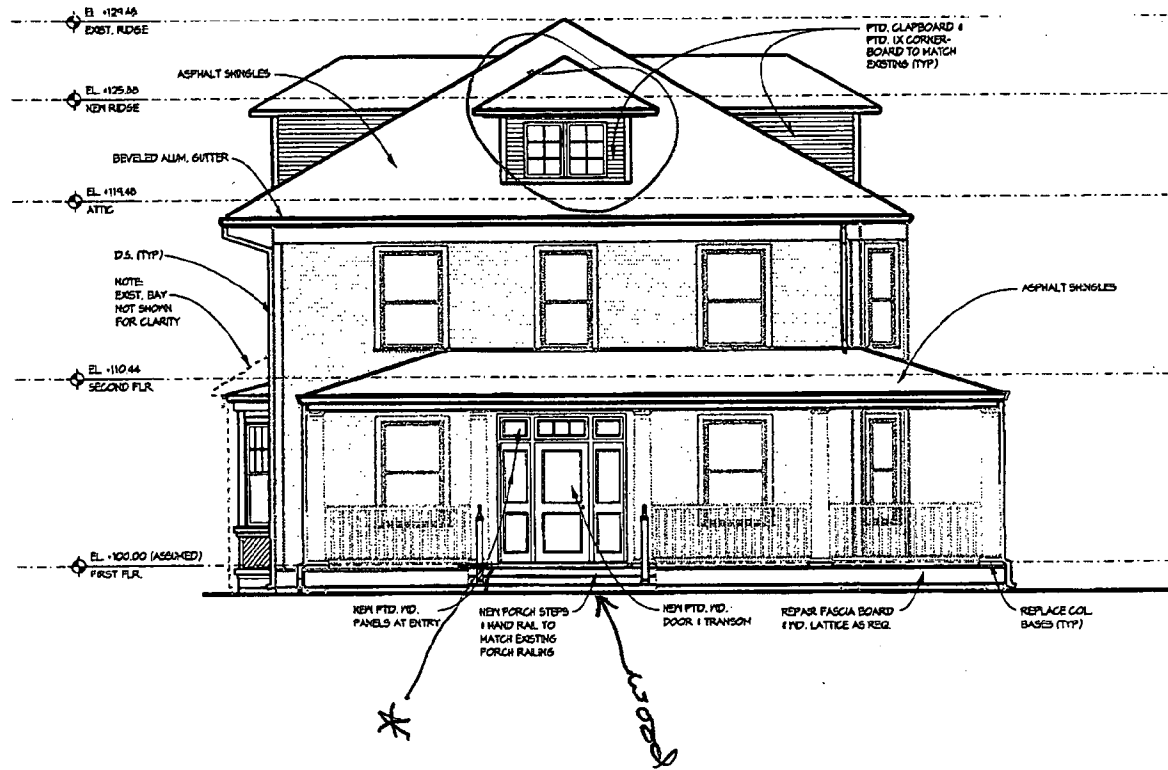


First Floor Plan

Scale: 1"=10'-0"

Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke

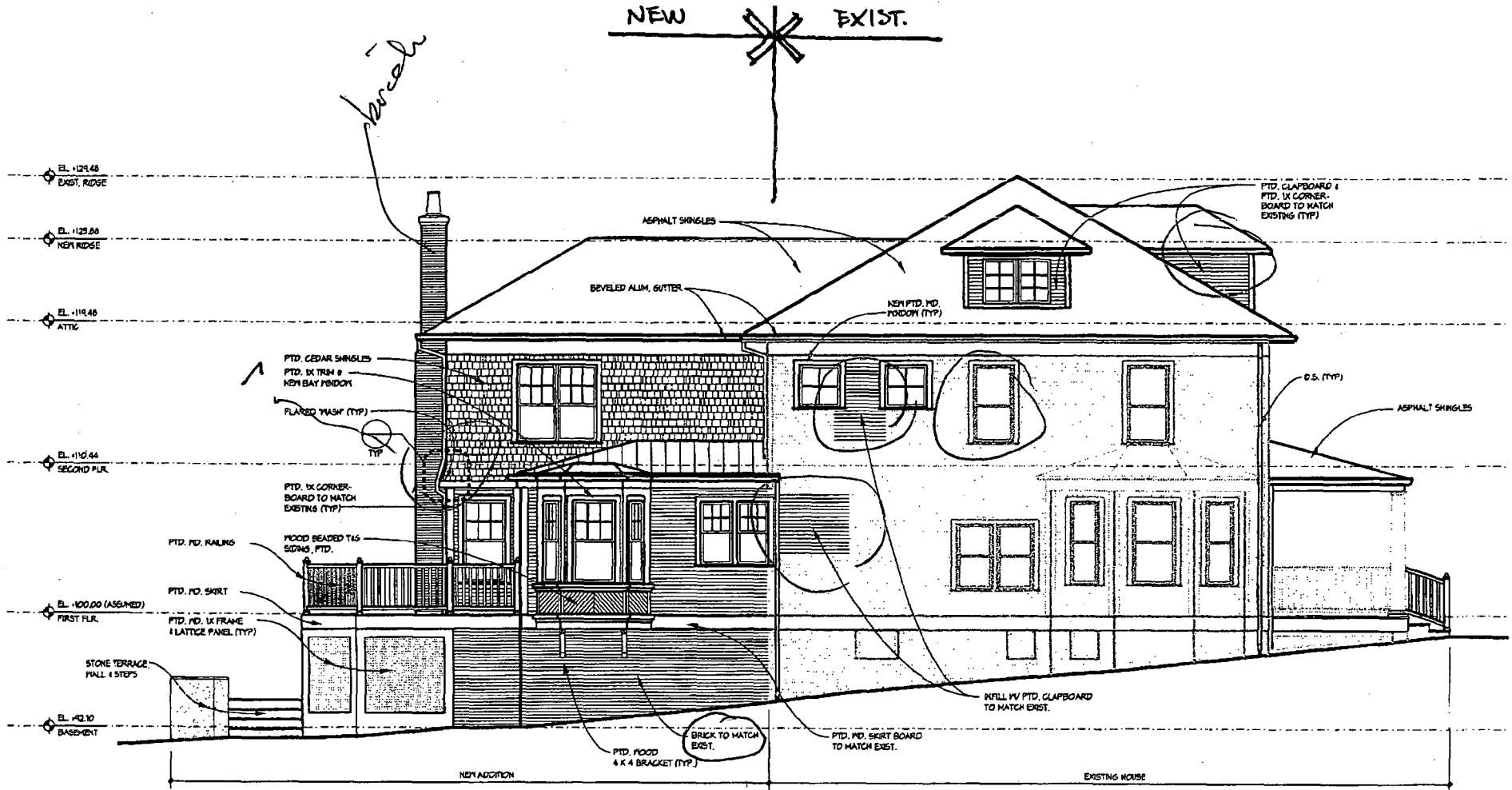




South Elevation
Scale: 1"=10'-0"

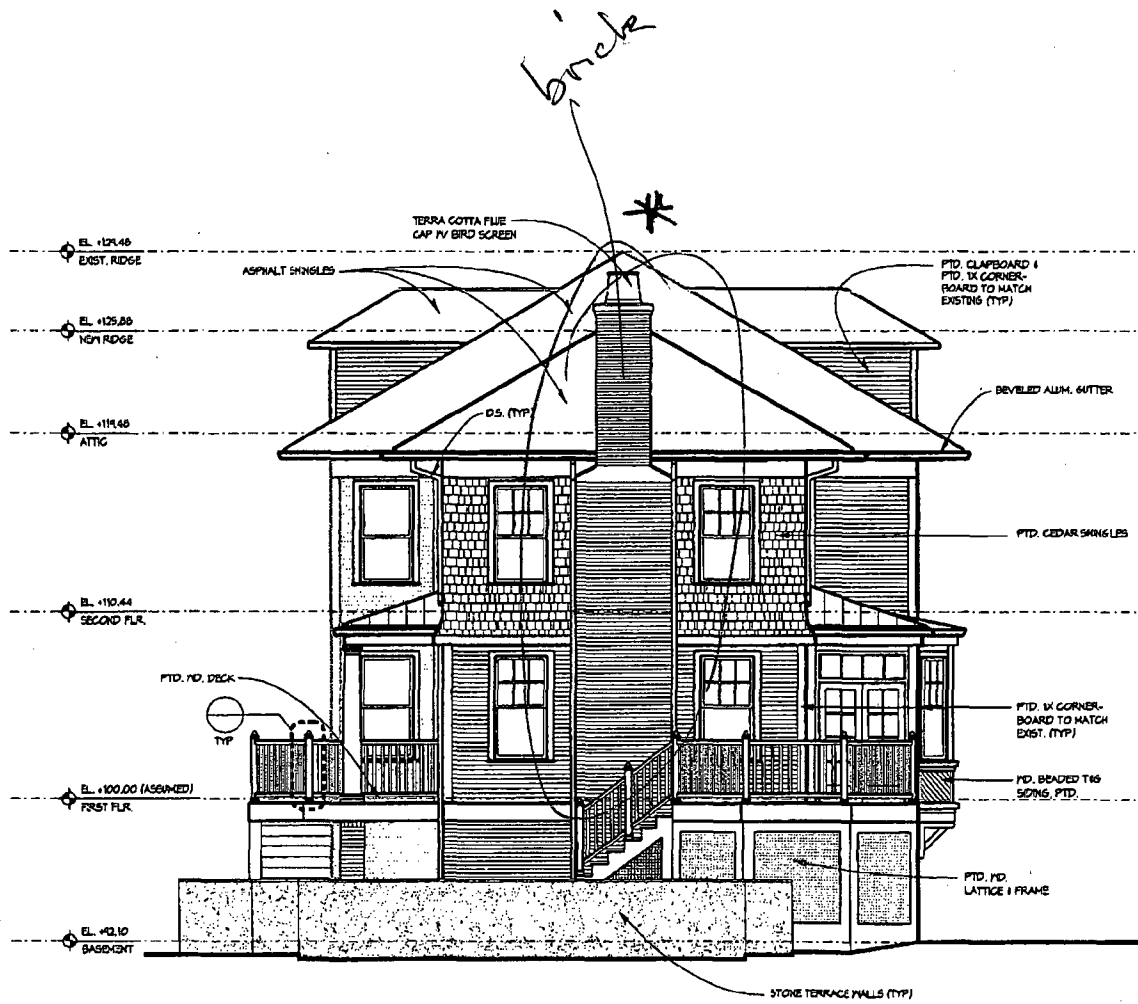
BGA
BOWIE · GRIDLEY
ARCHITECTS, PLLC
1018 WILSONS AVE., N.W. SUITE 400
WASHINGTON, D.C. 20037
TEL. (202) 391-6800
FAX (202) 227-1420

Additions &
Renovations
to:
**THE TOCH
RESIDENCE**
19 West Kirke
Chevy Chase, MD



West Elevation
 Scale: 1"=10'-0"

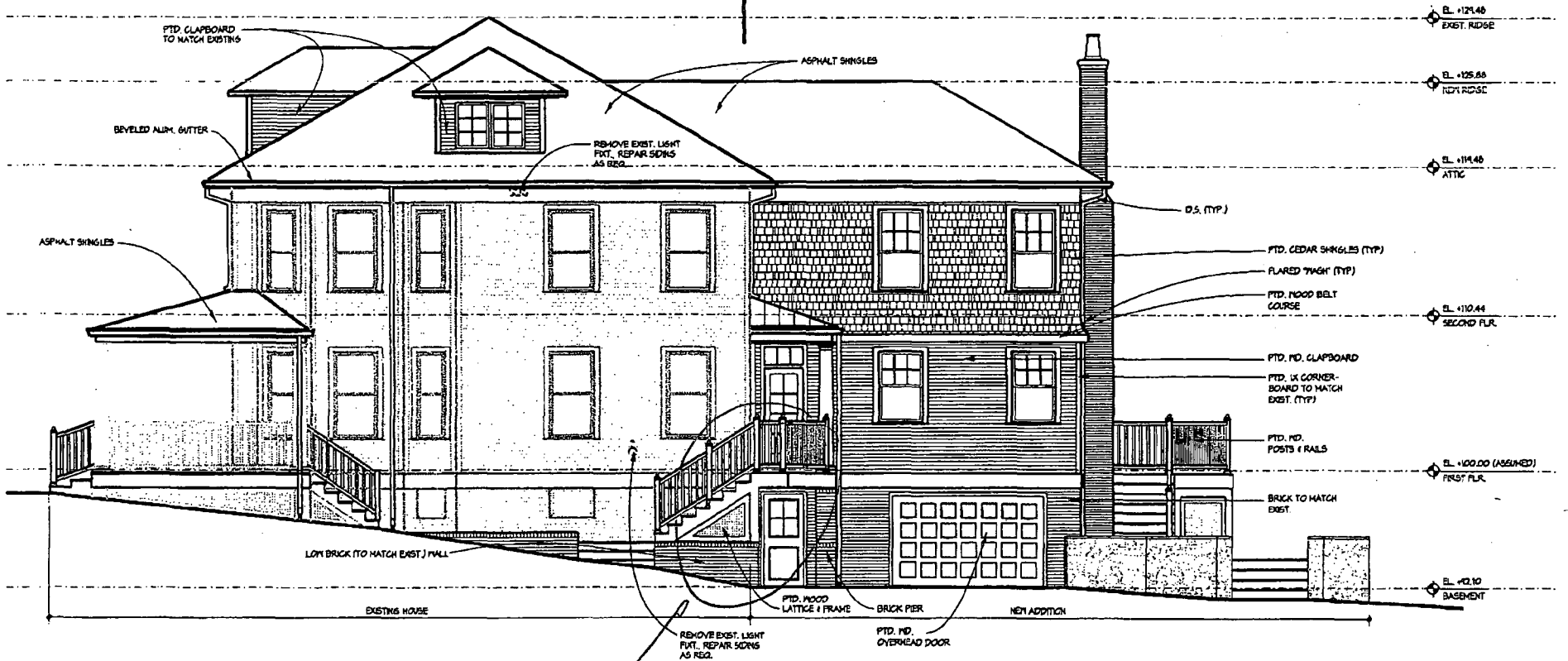
Additions &
 Renovations
 to:
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD



North Elevation

Scale: 1"=10'-0"

EXIST. NEW



BGA
 BOWIE GRIDLEY
 ARCHITECTS, PLLC
 101 WISCONSIN AVE., 2ND FL. SUITE 100
 WASHINGTON, D.C. 20005
 TEL: (202) 371-0800
 FAX: (202) 371-0810

East Elevation
 Scale: 1"=10'-0"

Additions &
 Renovations
 to:
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

September 12, 2003

Thomas Toch
19 West Kirke Street
Chevy Chase, Maryland 20815

Dear Mr. Toch:

Thank you for soliciting my advice and opinion on the interior rehabilitation work that you have undertaken at your house at 19 West Kirke Street, which is a contributing resource in the locally-designated Chevy Chase Village Historic District.

Based on the photographic documentation and the written description that you have provided to me, it appears to me that your work to change the previously-altered opening between the entrance hallway and the livingroom of your house is entirely appropriate.

Turn-of-the-century (and earlier) houses are characterized by having a floor plan with separate and distinct rooms. During the middle part of the 20th century, open floor plans – with one living space flowing into another – become very popular. Often older houses were altered to create more open floor plans. When you purchased 19 West Kirke Street, there was a steel beam spanning the wide opening to the livingroom. This would not have been typical of 1911 Four Square house. I believe that this was a later change to open up the livingroom space and create a more open floor plan.

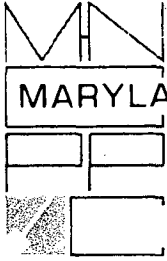
I feel it is completely appropriate to reverse the change described above and to restore a more authentic floor plan to your house. Obviously, it would be ideal if you had historic photos of the interior of your house to guide your restoration work. However, those types of resources are not always available. When you don't have historic photos, I generally recommend that it is important to examine similar buildings and to see if there are architectural details that appear to be typical to the area and the period. It is my understanding that you have looked at other houses in Chevy Chase Village that date from the same period and that your changes to reverse the previously alterations are predicated on that study.

From my experience with historic houses in Montgomery County – and specifically in Chevy Chase Village – that are similar to yours in age and design, I feel that the half-walls with columns that you have added are absolutely typical and appropriate.

In conclusion, I feel that your work to reverse a previous, historically-inappropriate change to the floor plan of your house is appropriate. Retaining the wide opening to the livingroom would have perpetuated a mistake that diminishes the historic character of your house. Your work – although somewhat conjectural – restores the floor plan of the house to a form that I believe is much closer to the original.

Sincerely,

Gwen Wright
Historic Preservation Supervisor



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: TOM TOCH FAX NUMBER: _____

FROM: GWEN WRIGHT

DATE: 9/12

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE:



FAX COVER SHEET

Date 8/29/03 No. of Pages (Including Cover Sheet) 4
 From Tom Tech
 To Cowan Wright
 Company UNCPPC Fax Number 301/563-3412

One Thomas Circle, Suite 700
 Washington, DC 20005
 [phone] 202 783 3668
 [fax] 202 783 3672
 [email] info@ncee.org

Ms. Gwen Wright
Historic Preservation Coordinator
The Maryland-National Capital Park and Planning Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Dear Gwen,

Thanks again for taking so much time and offering so much helpful information regarding my historic preservation tax credit appeal on Sept. 18.

As your recommendation, I contacted Traceries and I'm working with Laura Hughes there to develop my historic preservation tax credit appeal.

I would be very grateful if I could take you up on your offer to write a letter on my behalf regarding the half wall that we added near the front entrance to our house, which, as we've discussed is a 1911 Four Square. As you can see from the enclosed photographs, a substantial steel beam spanned the opening between the entrance hallway and the living room. And a floor-to-ceiling wall of about a foot extended from the fireplace into the hallway-living room opening. We lowered the ceiling from the beam to match the height of the top of the opening to the library that it faces across the hallway. We added an 18-inch half wall and column to the floor-to-ceiling near the fireplace. And we added a matching floor-to-ceiling wall and half wall with a column at the front of the house, to make the opening to the living room symmetrical.

Your argument that the new entrance to the living room is "absolutely typical" of Four Square houses such as ours would be very compelling to the board of the Maryland Historic Trust, as would be your contention that steel beams were installed in houses such as ours only after load-bearing walls were removed. Both these points respond to the MHT staff's concern that there's no physical or photographic evidence to substantiate the design of the new half wall between the entry hall and the living room.

Do you think you could get the letter to me (it should probably be addressed to me, don't you think) by September 8, so Laura and I can incorporate it into our presentation?

Thanks a lot. Please call me with any questions.

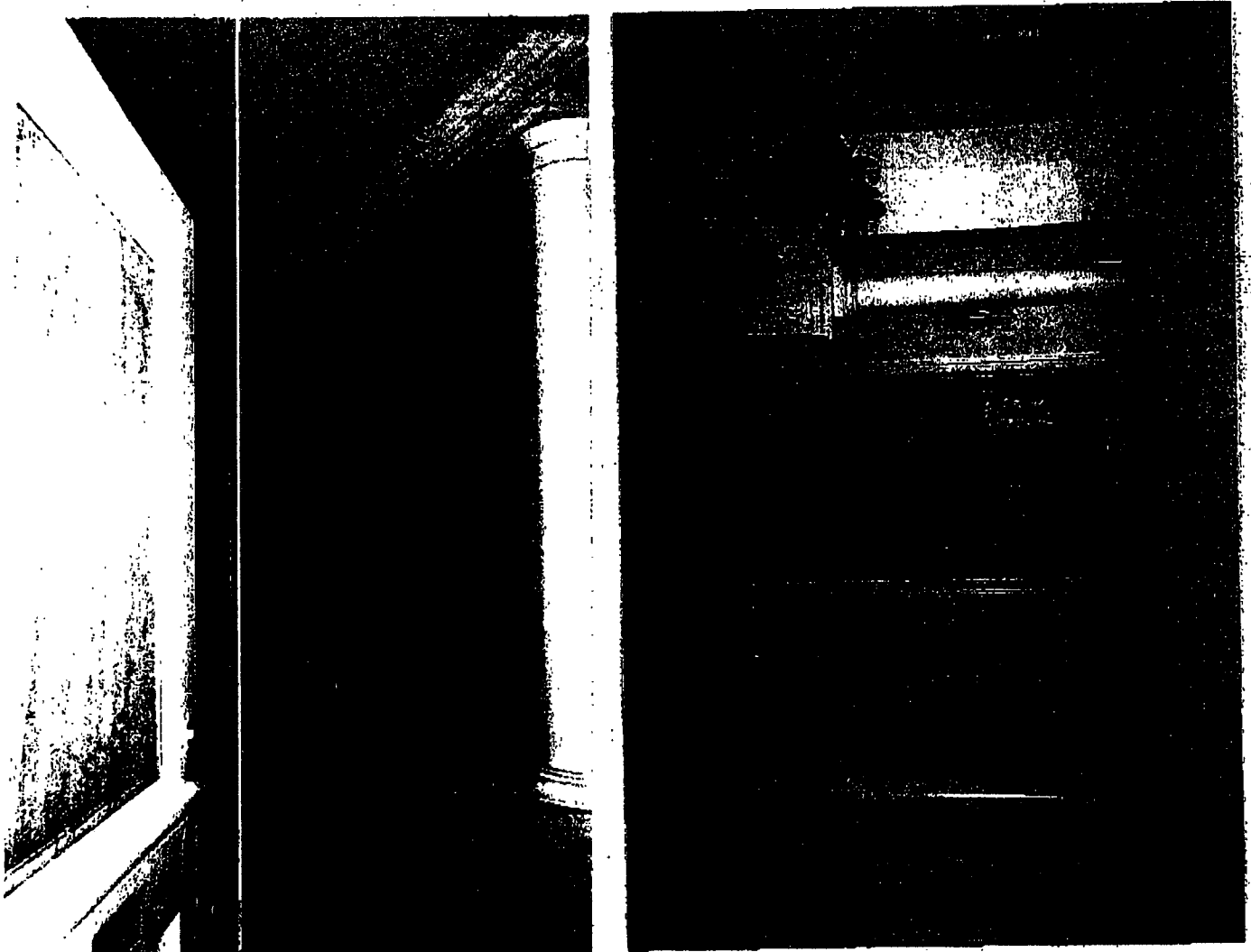
Sincerely,



Thomas Toch
19 West Kirke St.
Chevy Chase, MD 20815
Ph: 202/378-2121
Fax: 202/783-3672



Before



APTC



Bowie Gridley Architects, P.L.L.C.

1010 Wisconsin Avenue, N.W.
Washington, D.C. 20007
Tel: 202-337-0888
Fax: 202-337-2626

Toch Residence
19 West Kirke
Chevy Chase, MD

Photos of existing conditions.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	19 West Kirke Street, Chevy Chase	Meeting Date:	06/12/02
Applicant:	Tom Toch (Kevin Day, Architect)	Report Date:	06/05/02
Resource:	Chevy Chase Village Historic District	Public Notice:	05/29/02
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-02M	Staff:	Perry Kapsch

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival/Four-Square
DATE: 1882-1916

PROPOSAL

The applicant proposes to:

1. Demolish the rear two-story porch and pantry and replace them with a 2-story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

3. Replace the dormer windows with wood trimmed, true light windows in the same 6-light configuration. Replace the asphalt shingle cladding on the dormers with clapboard siding.
4. Replace all aluminum screens with painted wood frame screens.
5. Replace the existing glass paneled front door with a solid door with panels on either side.
6. Replace the wooden front steps with slate steps. Install a painted wood hand rail to match the existing rail on the front porch.
7. Replace the existing concrete front walk with a brick front walk.
8. Remove windows on two levels at the rear of the left façade.
9. Install a 4-light and 1/1 window on the second level at the rear of the left façade.

STAFF DISCUSSION

With the exception of the changes proposed for the front door and front steps, the modifications proposed to this property are within the guidelines for changes to a Contributing Resource in the Chevy Chase Village Historic District. They are also in keeping with the Secretary of Interior's Guidelines for Rehabilitation. Demolition of the rear sleeping porch and back porch constitute removal of original materials and staff has recommended that they be carefully photographed before they are removed. The garage is not listed in the historic district designation as a contributing feature, but is included in the documentation as its age has not been conclusively determined.

Changes to the front façade of a Contributing Resource are subject to moderate scrutiny. Replacement of an original front door, the addition of out-of-period paneling, and the replacement of original steps, all changes clearly visible from the right-of-way, should be discouraged. As stated in the historic district guidelines, "A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations." In this case, the resource is an intact example of a common architectural style, not an outstanding resource that has been altered. To maintain its contribution to the streetscape of the historic district, it is important that the structure maintain a high degree of integrity. On a simply styled house such as this, the glass-paneled front door represents one of its most distinctive architectural features.

Replacement of the front steps is also problematic as they are an important aspect of the wood porch that has often been removed and replaced with concrete rather than being rebuilt. Where the wooden steps have been preserved, every effort should be made to continue to protect them. Use of slate is particularly inappropriate as it is both out-of-period and too formal for the simple style of the house. The need for slate as an all-weather surface is not evident given the choice of a painted wood railing to be installed on the steps.

The basic policies in the Chevy Chase Village Guidelines include preserving the integrity of the district in order to perpetuate the ability to perceive the sense of time and place portrayed by the district. The proposed front door design would detract significantly from the property's contribution to the portrayal of the time (turn of the century) and place of significance of the

district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for “preserving the integrity of contributing structures in the district.” Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Tracy Stannard
Daytime Phone No.: 202-491-7415

Tax Account No.: _____
Name of Property Owner: Tom Toch Daytime Phone No.: _____
Address: 19 W Kirke Chevy Chase MD 20815
Street Number City State Zip Code
Contractor: Mauck Zantlinger & Assoc. Phone No.: 202-363-8501
Contractor Registration No.: _____
Agent for Owner: Tracy Stannard Daytime Phone No.: 202-491-7415

LOCATION OF BUILDING/PREMISE

House Number: 19 Street: W Kirke Street
Town/City: Chevy Chase Nearest Cross Street: _____
Lot: _____ Block: _____ Subdivision: Chevy Chase Village
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable
CHECK ALL APPLICABLE:
 A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ _____
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tracy Stannard 5/22/02
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 278 284 Date Filed: 05/22/02 Date Issued: _____



Tracy Stannard

- need all this

725/02

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

202 337 2626

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED SHEET

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED SHEET

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

(also - need existing materials)

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

- You have most of this - but need attic windows
- cut sheets -

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

- or statement that no trees over 6" dbh are affected

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

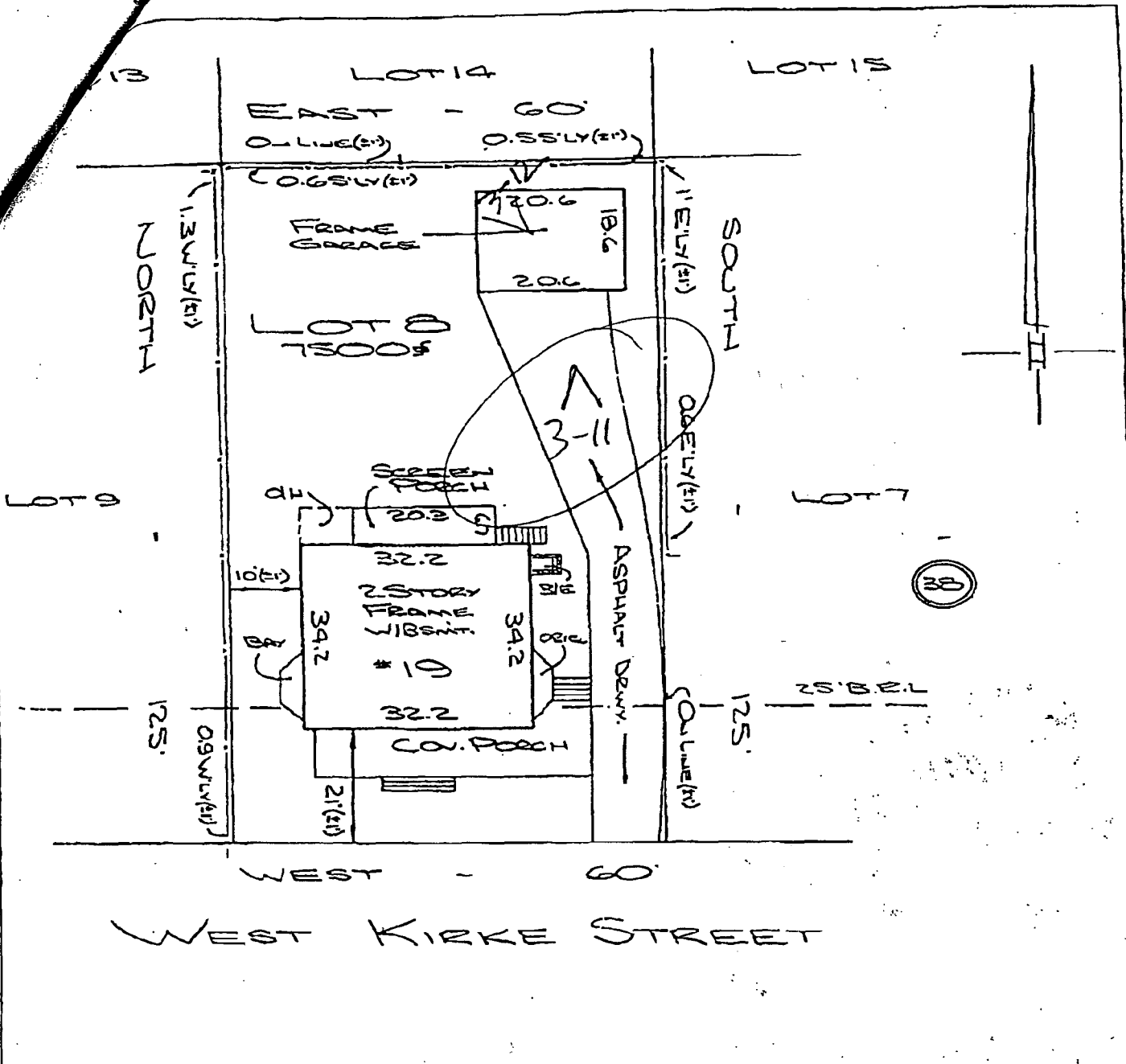
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDELINES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

Toch Residence
19 West Kirke
Chevy Chase, MD

A. The existing 2-story wood frame house has clapboard siding with a brick basement level, which becomes more prevalent as the site slopes towards the back of the house. A wood porch at the front covers the entire width of the house; a 2-story sleeping porch covers the width of the rear. All windows on the house are double hung with the exception of dormers on the south, east, & west, which have casement windows. All windows, with the exception of the dormers have aluminum frame screens. Both porch roofs and the pyramidal house roof are asphalt shingles. Shrubs line the concrete front walk and cypress trees line the east edge of the asphalt driveway. A detached garage with clapboard siding and asphalt roof lies at the northeast corner of the lot.

B. The existing sleeping porch at the rear of the house will be removed and a 2-story wood frame addition with asphalt shingle hip roof will be added in its place. The addition will have a brick basement level and clapboard first level to match existing conditions. The second story of the addition will have cedar shingle siding. Clapboard siding will replace the existing shingle siding on the sides of all dormers and trim that coincides with existing window detailing will be added as well. New true light wood windows matching the existing size and light pattern will be installed in all dormers for increased energy efficiency. All aluminum frame screens will be replaced by wood counterparts. A solid wood front door with wood paneling that mimics the proportions of side lights will replace the existing door; the existing door will be stored in a safe location on site. The front porch will be repaired to match existing conditions and a handrail will be added to match the porch rail. Slate steps to the porch will be added to mimic those found within the neighborhood and the existing concrete walk will be replaced with brick. The detached garage will be removed and a painted wood deck & flagstone patio with landscaping will be installed in the back yard



Capitol Surveys, Inc.

10762 Rhode Island Avenue
 Beltsville, Maryland 20705
 Phone 301-931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 This property lies within Zone C, (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

LOCATION DRAWING
 LOT B BLOCK 3B
 SECTION No. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

Edward L. Lopez, Jr.
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor No. 622

Recorded in Plat Book 2 Plat 106 Scale 1" = 20'
 CASE: 1653-00 FILE: 65809
 DATE: SEPTEMBER 20, 2000

WOOD CASEMASTER

SPECIFICATIONS



Frame: Interior: Clear pine or finger jointed core with clear pine veneers. Exterior: Edge-glued or finger jointed pine. Wood parts kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1-3/16 inches (30 mm). Frame Width: 4-9/16 inches (116 mm). Sub sill thickness: 15/16 inch (24 mm).

Sash: Clear pine or finger jointed core with clear pine veneers kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Sash Thickness: 1-3/4 inches (44 mm) for operating units; 1-3/4 inches (44 mm) or 1-29/32 inches (48 mm) for picture units. Corners slot and tenoned.

Finish:

- A. Exterior: [Treated bare wood] [Latex prime coat, White]
- B. Interior: [Treated bare wood] [Latex prime coat, White].

Hardware: Factory installed operating hardware. Roto-gear with high-pressure die-cast zinc operator base. Hardened steel drive worm and gear arms. ABS operator base cover. High-pressure die-cast zinc [crank] [circle] [flip] handle. [Coastal hardware].

- A. Locks: Lever. One concealed lock on units smaller than series 32 height; two concealed tandem sequential locks on series 32 height and taller units.
- B. Hardware Finish: [Electrostatically painted [bronze] [white] baked enamel.] [Plated brass.]

Weatherstripping: Frame weatherstripped on four sides with flexible gaskets. Sash weatherstripped on four sides with combination bulb and leaf-type weatherstrip. Color: Beige.

Jamb Extensions: Available for various wall thicknesses. Factory installed.

Screens: Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bronze].

Removable Grilles: [Diamond: 5/8 inch by 15/32 inch (16 mm by 12 mm)] [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

- A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Authentic Divided Lites (ADL): [7/8 inch (22 mm) single glaze pine muntin] [1-11/16 inches (43 mm) insulating glaze pine muntin].

- A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Simulated Divided Lites (SDL): [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [*Internal Spacer].

- A. Pattern: [Rectangular] [Custom lite layout].

Glazing: Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

A. Glazing Method:

1. Single Glazed
2. Single Glazed with Energy Panel
3. Single Glazed with Authentic Divided Lites
4. Single Glazed with Authentic Divided Lites and Energy Panel
5. Insulating Glass [Altitude Adjusted]
6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]

B. Glass Type:

1. Clear
2. Bronze
3. Gray
4. Solarcool Bronze
5. Low E II
6. Hardcoat Low II (Energy Panels only)
7. Low E II with Argon
8. Tempered
9. Laminated
10. Obscure

9

WOOD CASEMASTER



STANDARD GRILLE, AUTHENTIC AND SIMULATED DIVIDED LITES - OPERATING / STATIONARY UNITS

NOT TO SCALE

7/8" SINGLE GLAZE AUTHENTIC DIVIDED LITES
7/8" SIMULATED DIVIDED LITES
3/4" GRILLES

1 11/16" INSULATING GLASS AUTHENTIC DIVIDED LITES
1 1/8" SIMULATED DIVIDED LITES
1 1/8" GRILLES

	1W	2W	2W	3W	3W	3W
2H	1624	2024	2424	2824		
2H	1632	2032	2432	2832	3232	3632
2H	1636	2036	2436	2836	3236	3636
3H	1640	2040	2440	2840	3240	3640
3H	1648	2048	2448	2848	3248	3648
4H	1656	2056	2456	2856	3256	
4H	1660	2060	2460	2860		
5H	1664	2064	2464	2864		
5H	1672	2072	2472	2872		

	1W	2W	2W	2W	3W	3W
2H	1624	2024	2424	2824		
2H	1632	2032	2432	2832	3232	3632
2H	1636	2036	2436	2836	3236	3636
3H	1640	2040	2440	2840	3240	3640
3H	1648	2048	2448	2848	3248	3648
3H	1656	2056	2456	2856	3256	
4H	1660	2060	2460	2860		
4H	1664	2064	2464	2864		
4H	1672	2072	2472	2872		

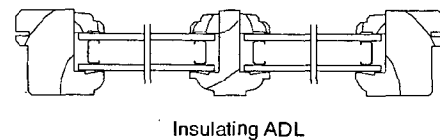
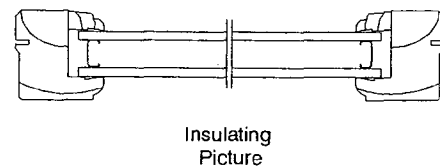
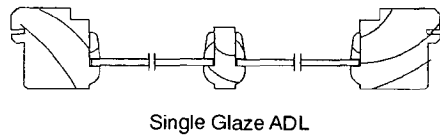
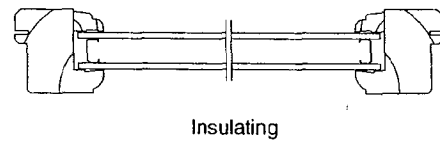
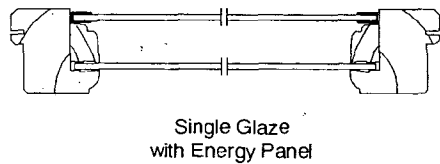
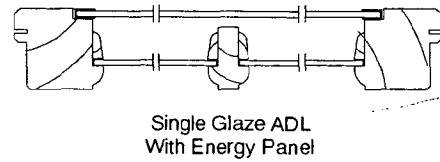
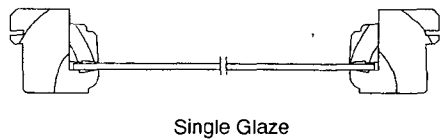
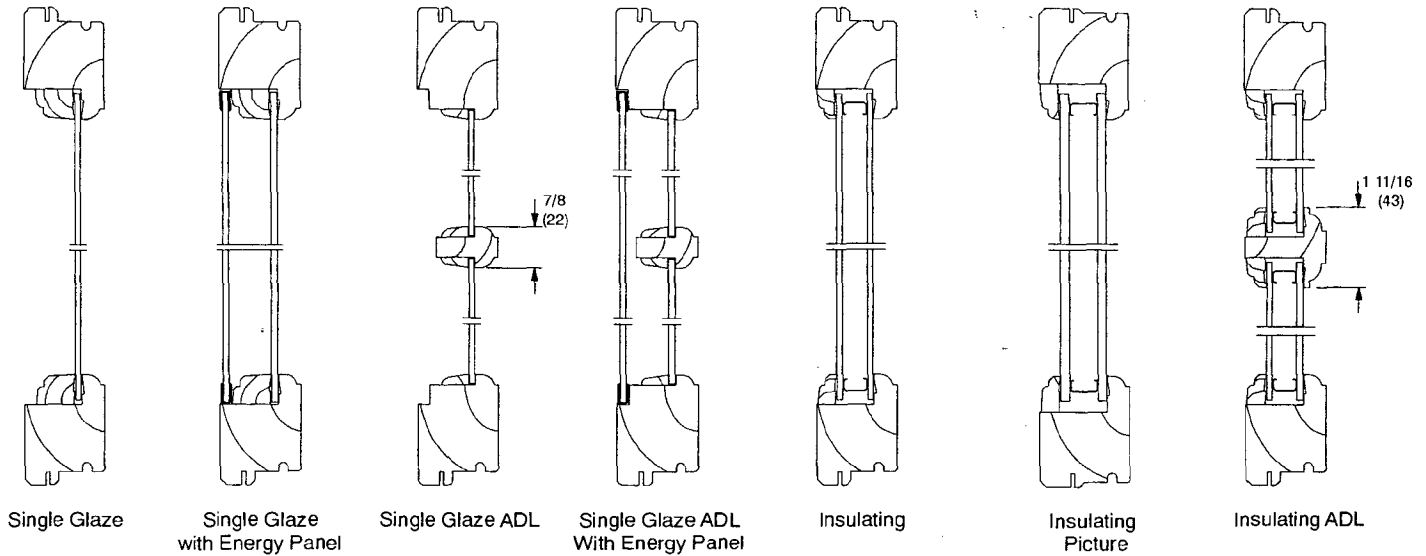
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WOOD CASEMASTER



GLAZING OPTIONS

SCALE: 3" = 1' 0"



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WOOD CASEMASTER

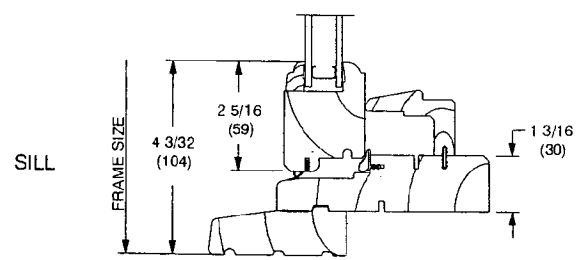
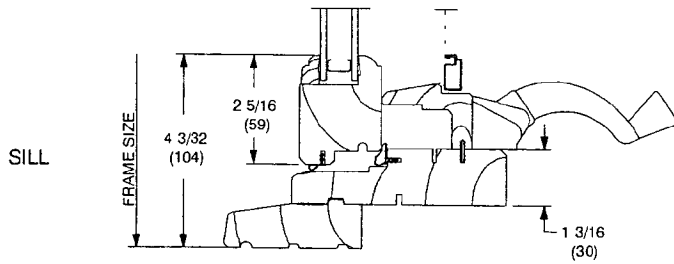
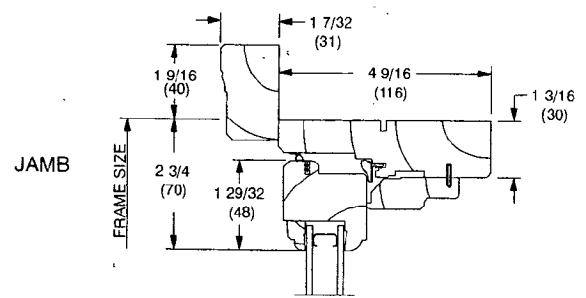
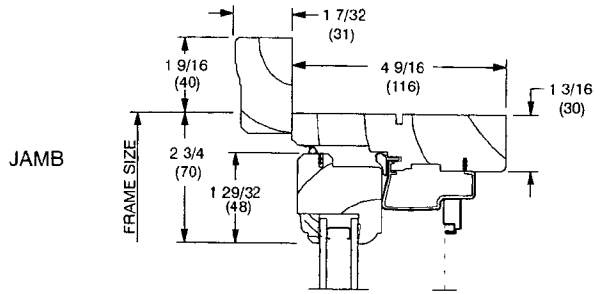
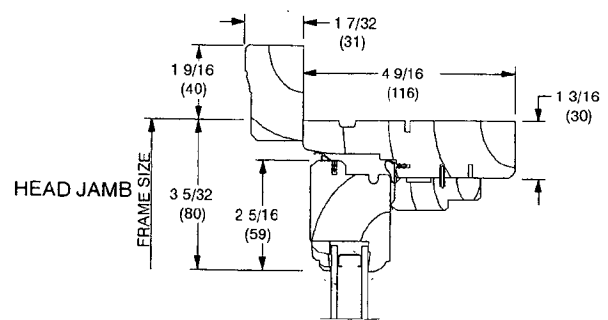
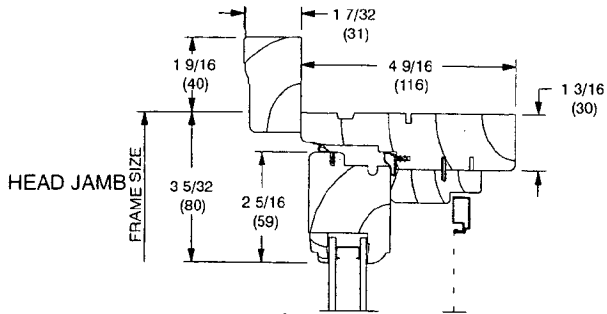
SECTION DETAILS

SCALE: 3" = 1' 0"

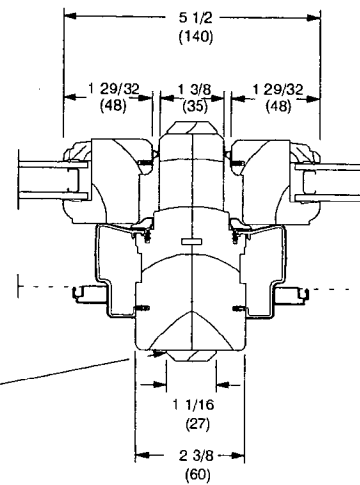
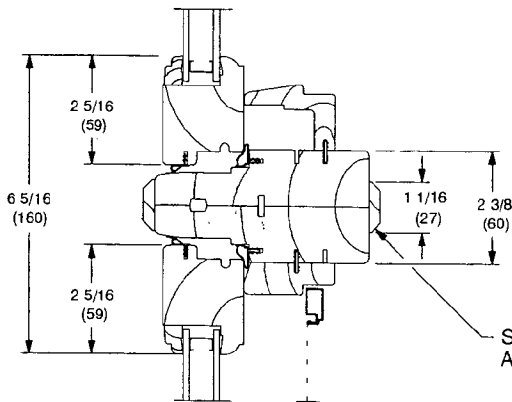


OPERATING

STATIONARY



MULLIONS



SUPPLIED BY MARVIN
APPLIED BY OTHERS

HORIZONTAL MULLION

VERTICAL MULLION

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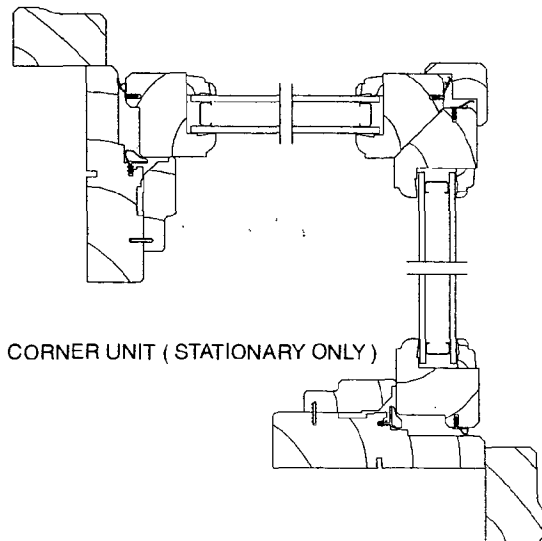
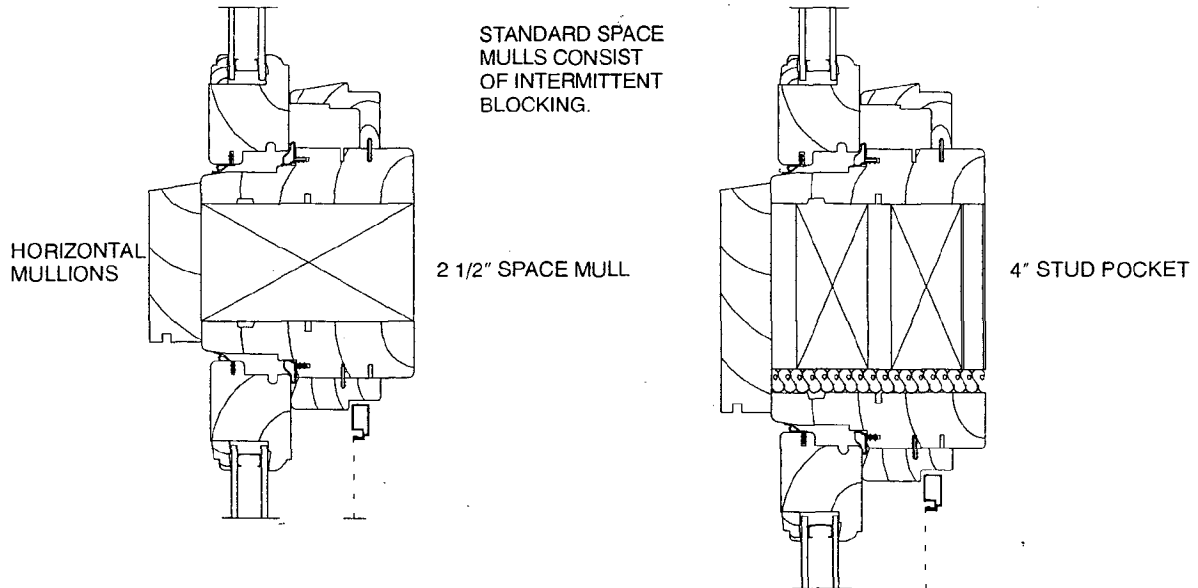
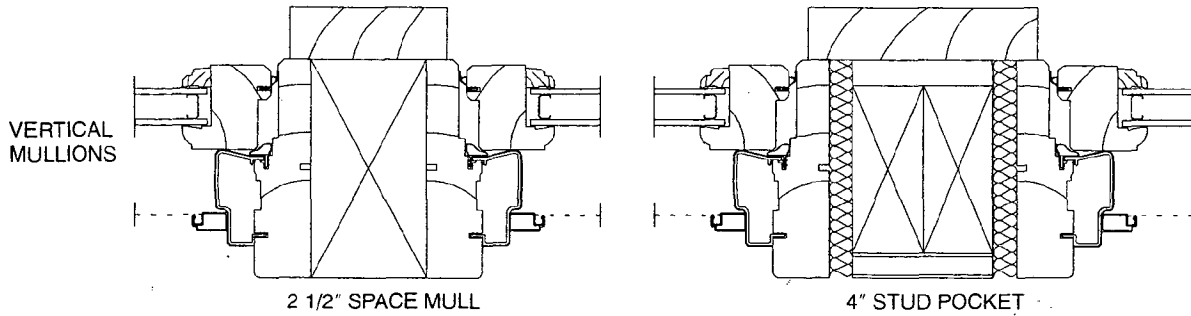
WOOD CASEMASTER



SECTION DETAILS

SCALE: 3" = 1' 0"

MULLIONS



When two or more units are mullied together with a space between and the jamb extension surrounds the entire unit, it is a space mull.

When two or more units are mullied together with a space between and the jamb extension surrounds each unit separately, providing space for a support member between the units, it is a stud pocket.

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Cherry Chase Village

28 W IRVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/8	SIDE GABLE	ASPHALT	RESIDENCE	
29 W IRVING ST	DUTCH COLONIAL/REGENCY	1892 1916	2	2 WOOD CLAPBOARD	IN/PARTIAL	GAMBREL	SLATE	RESIDENCE	
30 W IRVING ST	CRAFTSMAN	1916 27	2	3 WOOD SHINGLE	6/6	FRONT GABLE	SLATE	c1920 RESIDENCE	BOSS & PHELPS HOUSE
31 W IRVING ST	CRAFTSMAN/BUNGALOW	1892 1916	2	3 STUCCO	12/1	SIDE GABLE	ASPHALT	BY 1909 RESIDENCE	H WILSON
32 W IRVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/8	SIDE GABLE	SLATE	c1920 RESIDENCE	H HEDGES
33 W IRVING ST	CRAFTSMAN/ SQ	1892-1916	2	3 WOOD SHINGLE	CASEMENT	PYRAMIDAL	ASPHALT	BY 1912 RESIDENCE	H HENKLE (LIEUT)
35 W IRVING ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/8	SIDE GABLE	SLATE	RESIDENCE	
37 W IRVING ST	COLONIAL REVIVAL	1916 27	2	3 STUCCO	6/6	GAMBREL	SLATE	RESIDENCE	H PRETTYMAN
1 E KIRKE ST	DUTCH COLONIAL	1916 27	1	3 WOOD CLAPBOARD	6/8	GAMBREL	SLATE	c1920 RESIDENCE	A WARDMAN
7 E KIRKE ST	COLONIAL REVIVAL	1927 41	NC	3 BRICK	6/8	SIDE GABLE	SLATE	RESIDENCE	
3 E KIRKE ST	MEDITERRANEAN REVIVAL	1892 1916	2	3 STUCCO	9/1	SIMPLE HIP	PANTILE	RESIDENCE	
6 E KIRKE ST	COLONIAL REVIVAL	1927 41	NC	3 BRICK	6/8	SIDE GABLE	SLATE	RESIDENCE	
5 E KIRKE ST	COLONIAL REVIVAL	1892 1916	2	3 WOOD SHINGLE	6/1	SIDE GABLE	ASPHALT	BY 1912 RESIDENCE	A CLARK?; H HAMLIN/HEDGES
6 E KIRKE ST	CRAFTSMAN	1892 1916	2	3 STUCCO	16/1	SIDE GABLE	SLATE	c1911 RESIDENCE	A HEATON; H CORBY, ROBERT
7 E KIRKE ST	COLONIAL REVIVAL	1941 96	NC	3 WOOD CLAPBOARD	6/9	SIDE GABLE	ASPHALT	RESIDENCE	
9 E KIRKE ST	COLONIAL REVIVAL	1892 1916	2	3 WOOD CLAPBOARD	7/1	PYRAMIDAL	SLATE	c1893 RESIDENCE	A DESSEZ, H BIRNEY
10 E KIRKE ST	COLONIAL REVIVAL	1892 1916	1	3 WOOD CLAPBOARD	6/1	SIMPLE HIP	SLATE	c1894 RESIDENCE	H MCCUBBIN
11 E KIRKE ST	MODERN	1941 96	NC	2 BRICK	6/6	FRONT GABLE	ASPHALT	RESIDENCE	
101 E KIRKE ST	COLONIAL REVIVAL	1892 1916	1	3 WOOD CLAPBOARD	6/6	SIDE GABLE	ASPHALT	1899 RESIDENCE	A HEATON, H WEAVER
102 E KIRKE ST	CLASSICAL REVIVAL	1892 1916	1	3 STUCCO	3/1	SIDE GABLE	ASPHALT	BY 1910 RESIDENCE	H KINGAN
6 W KIRKE ST	TUDOR REVIVAL	1892 1916	2	3 STONE	CASEMENT	FRONT GABLE	ASPHALT	c1895 RESIDENCE	H DE LACY
6 W KIRKE ST	TUDOR REVIVAL	1892 1916	2	3 STONE	1/1	FRONT GABLE	WOOD SHINGLE	c1895 RESIDENCE	H MUR/HENRY
7 W KIRKE ST	COLONIAL REVIVAL	1892 1916	2	3 WOOD CLAPBOARD	1/1	CROSS GABLE	SLATE	BY 1912 RESIDENCE	H COLT
6 W KIRKE ST	COLONIAL REVIVAL	1892 1916	NC	2 ALUMINUM/VINYL	1/1	SIMPLE HIP	ASPHALT	BY 1912 RESIDENCE	H YELLOTT (REAL ESTATE)
10 W KIRKE ST	COLONIAL REVIVAL	1892 1916	NC	3 WOOD CLAPBOARD	1/1	PYRAMIDAL	ASPHALT	RESIDENCE	H HENRY
11 W KIRKE ST	COLONIAL REVIVAL	1892 1916	1	3 WOOD CLAPBOARD	6/6	SIMPLE HIP	SLATE	c1894 RESIDENCE	H MACKRILLE 3 1/2 STORY BUILT BY 1916
12 W KIRKE ST	COLONIAL REVIVAL/ELECTIC	1892 1916	1	3 WOOD CLAPBOARD	1/1	CROSS GABLE	SLATE	c1898 RESIDENCE	H VANDYNE
14 W KIRKE ST	QUEEN ANNE	1892 1916	1	3 WOOD CLAPBOARD	1/1	CROSS GABLE	ASPHALT	c1894 RESIDENCE	A DESSEZ, H COZZENS
15 W KIRKE ST	DUTCH COLONIAL	1892 1916	2	3 STUCCO	CASE DOOR	GAMBREL	ASPHALT	BY 1912 RESIDENCE	H EVANS (USMC)
16 W KIRKE ST	CLASSICAL REVIVAL	1892 1916	2	3 STUCCO	6/2	SIMPLE HIP	SLATE	c1895 RESIDENCE	H ORD FAMILY
17 W KIRKE ST	CRAFTSMAN	1892 1916	2	3 WOOD SHINGLE	6/1	SIDE GABLE	ASPHALT	c1915 RESIDENCE	
18 W KIRKE ST	MODERN NEO COLONIAL	1941 96	NC	3 BRICK	6/8	SIDE GABLE	ASPHALT	c1963 RESIDENCE	
19 W KIRKE ST	COLONIAL REVIVAL	1892 1916	2	3 WOOD CLAPBOARD	1/1	PYRAMIDAL	ASPHALT	1913 RESIDENCE	A WIRE
20 W KIRKE ST	BUNGALOW	1916 27	2	2 WOOD CLAPBOARD	6/6	SIDE GABLE	ASPHALT	RESIDENCE	
21 W KIRKE ST	COLONIAL REVIVAL	1941 96	NC	2 WOOD CLAPBOARD	1 BAY	SIDE GABLE	SLATE	RESIDENCE	
24 W KIRKE ST	CRAFTSMAN	1892 1916	2	2 WOOD SHINGLE	6/8	FRONT GABLE	ASPHALT	RESIDENCE	
25 W KIRKE ST	TUDOR REVIVAL	1916 27	1	3 STONE	9/9	CROSS GABLE	SLATE	RESIDENCE	A RODIERAKUNDZIN
26 W KIRKE ST	CRAFTSMAN	1892 1916	2	3 STUCCO	9/1	FRONT GABLE	SLATE	RESIDENCE	1921 SLEEPING PORCH BY HEATON, H SLEMAN
27 W KIRKE ST	CLASSICAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/6	SIDE GABLE	SLATE	c1919 RESIDENCE	H GARDNER
28 W KIRKE ST	COLONIAL/ SQ	1892 1916	NC	3 ALUMINUM VINYL	8/1 MOD	PYRAMIDAL	ASPHALT	RESIDENCE	
28 W KIRKE ST	CRAFTSMAN/ SQ	1892 1916	1	3 STUCCO	1/1 PATTERN	SIMPLE HIP	ASPHALT	RESIDENCE	
30 W KIRKE ST	COLONIAL REVIVAL	1927 41	2	3 ALUMINUM VINYL	12/12	SIDE GABLE	ASPHALT	RESIDENCE	
31 W KIRKE ST	CRAFTSMAN	1892 1916	2	3 STUCCO	9/1	SIDE GABLE	SLATE	RESIDENCE	H INGERSOLL
32 W KIRKE ST	COLONIAL REVIVAL/CRAFTSMAN	1892 1916	2	3 STUCCO	6/1	SIDE GABLE	SLATE	RESIDENCE	
33 W KIRKE ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/6	SIDE GABLE	SLATE	RESIDENCE	H TAYLOR (INSTRUMENTS)
4 LAUREL PKWY	CRAFTSMAN	1892 1916	1	3 STONE	FIXED	SIDE GABLE	ASPHALT	c1915 RESIDENCE	H THARTMAN, LAWRENCE (WRITEN)
10 LAUREL PKWY	MODERN SPLIT LEVEL	1941 96	NC	3 WOOD CLAPBOARD	6/8	CROSS GABLE	ASPHALT	c1896 RESIDENCE	A MELINE; H. LEMLY (LIEUT)
1 E LENOX ST	DUTCH COLONIAL	1916 27	2	2 WOOD CLAPBOARD	6/6	GAMBREL	SLATE	RESIDENCE	
3 E LENOX ST	CLASSICAL REVIVAL	1892 1916	1	2 WOOD CLAPBOARD	6/6	CROSS GABLE	ASPHALT	BY 1894 RESIDENCE	A DESSEZ; H. BUHRMEISTER/MCCAMON (ARMY)
4 E LENOX ST	MODERN NEO COLONIAL	1941 96	NC	3 BRICK	6/8	SIDE GABLE	SLATE	RESIDENCE	
6 E LENOX ST	SHINGLE	1892 1916	2	3 WOOD CLAPBOARD	CASEMENT	SIMPLE HIP	ASPHALT	c1896 RESIDENCE	A HARDING
8 E LENOX ST	SHINGLE	1892 1916	2	3 WOOD CLAPBOARD	9/1	FRONT GABLE	ASPHALT	BY 1912 RESIDENCE	H WEAVER/HEATON
9 E LENOX ST	CRAFTSMAN	1892 1916	1	3 WOOD CLAPBOARD	2/2	SIMPLE HIP	SLATE	c1894 RESIDENCE	A DESSEZ; H. HITZ (LAWYER)
10 E LENOX ST	COLONIAL REVIVAL	1892 1916	1	3 WOOD CLAPBOARD	6/1	SIDE GABLE	SLATE	RESIDENCE	H BROWN (LAWYER)
11 E LENOX ST	COLONIAL REVIVAL	1892 1916	2	3 ALUMINUM VINYL	6/1	SIDE GABLE	ASPHALT	RESIDENCE	H BRAINARD (REAL ESTATE)
12 E LENOX ST	COLONIAL REVIVAL	1892 1916	2	3 WOOD CLAPBOARD	1/1 CUSTOM	SIMPLE HIP	ASPHALT	c1899 RESIDENCE	H GAILAND
15 E LENOX ST	COLONIAL REVIVAL/ELECTIC	1892 1916	2	3 WOOD SHINGLE	1/1	CROSS HIP	SLATE	BY 1904 RESIDENCE	H NORTHROP (LAWYER)
100 E LENOX ST	MODERN CAPE COD	1941 96	NC	2 BRICK/ALUMINUM VINYL	6/6	SIDE GABLE	SLATE	RESIDENCE	
101 E LENOX ST	COLONIAL REVIVAL	1892 1916	2	3 STUCCO	9/1	SIDE GABLE	SLATE	BY 1912 RESIDENCE	
102 E LENOX ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/6	SIDE GABLE	SLATE	RESIDENCE	

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33 W LENOX ST	COLONIAL REVIVAL	1916 27	2	2 WOOD CLAPBOARD	6/8	SIDE GABLE	ASPHALT	1924 RESIDENCE	
35 W LENOX ST	COLONIAL REVIVAL	1916 27	1	3 BRICK	6/8	SIDE GABLE	SLATE	1924 RESIDENCE	A B HEATON

2 STORY ORG YING

Real Property Search - Individual Report

	Maryland Department of Assessments and Taxation	Go Back
	Montgomery County	
	Real Property Data Search	New Search

Account Identifier: District - 07 Account Number - 00457600

Owner Information

Owner Name:	MUCKENFUSS, CANTWELL F 3RD &	Use:	RESIDENTIAL
		Principal Residence:	YES
Mailing Address:	A ANGELA LANCASTER 17 WEST KIRKE ST CHEVY CHASE MD 20815	Deed Reference:	1) / 9735/ 186 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
17 W KIRKE ST CHEVY CHASE 20815	R60	LTS 6 & 7 CHEVY CHAS E SEC 2

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:
HN41			9		38	P5	81	Plat Ref:
Special Tax Areas			Town	CHEVY CHASE VILLAGE				
			Ad Valorem					
			Tax Class	19				
Primary Structure Built			Enclosed Area		Property Land Area		County Use	
1933			5,457 SF		15,150.00 SF		111	
Stories		Basement		Type			Exterior	
2 1/2		YES		STANDARD UNIT			FRAME	

Value Information

	Base Value	Value As Of 01/01/2002	Phase-in Assessments	
			As Of 07/01/2001	As Of 07/01/2002
Land:	294,150	384,150		
Improvements:	1,131,580	1,235,450		
Total:	1,425,730	1,619,600	1,425,730	1,490,353
Preferential Land:	0	0	0	0

Transfer Information

Seller:		Date:	05/03/1991	Price:	\$945,000
Type:	IMPROVED ARMS-LENGTH	Deed1:	/ 9735/ 186	Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

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Real Property Search - Individual Report

 Maryland Department of Assessments and Taxation Montgomery County Real Property Data Search	Go Back
	New Search

Account Identifier: District - 07 Account Number - 00458546

Owner Information

Owner Name:	WEST, MILLARD F ET AL TR	Use:	RESIDENTIAL
Mailing Address:	18 WEST KIRKE ST CHEVY CHASE MD 20815	Principal Residence:	YES
		Deed Reference:	1) /13847/ 29 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
18 W KIRKE ST CHEVY CHASE 20815	R60	SEC 2 CHEVY CHASE

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:	6574
HN41			9		33	23	81	Plat Ref:	
Special Tax Areas			Town Ad Valorem Tax Class	CHEVY CHASE VILLAGE					
Primary Structure Built			Enclosed Area	Property Land Area		County Use			
1962			4,320 SF	11,750.00 SF		111			
Stories	Basement		Type			Exterior			
2	YES		STANDARD UNIT			BRICK			

Value Information

	Base Value	Value As Of	Phase-in Assessments	
		01/01/2002	07/01/2001	07/01/2002
Land:	290,750	380,750		
Improvements:	913,460	984,180		
Total:	1,204,210	1,364,930	1,204,210	1,257,783
Preferential Land:	0	0	0	0

Transfer Information

Seller: MILLARD F WEST ET AL	Date: 12/29/1995	Price: \$0
Type: NOT ARMS-LENGTH	Deed1: /13847/ 29	Deed2:
Seller: MILLARD F JR & D T WEST	Date: 02/10/1995	Price: \$0
Type: NOT ARMS-LENGTH	Deed1: /13252/ 300	Deed2:
Seller:	Date: 12/10/1968	Price: \$175,000
Type: IMPROVED ARMS-LENGTH	Deed1: / 3815/ 475	Deed2:

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

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Real Property Search - Individual Report

 Maryland Department of Assessments and Taxation Montgomery County Real Property Data Search	Go Back
	New Search

Account Identifier: District - 07 Account Number - 00456480

Owner Information

Owner Name:	MACDONALD, ALASTER & J R	Use:	RESIDENTIAL
Mailing Address:	21 WEST KIRKE ST CHEVY CHASE MD 20815	Principal Residence:	YES
		Deed Reference:	1) / 4438/ 38 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
21 W KIRKE ST CHEVY CHASE 20815	R60	SEC 2 CHEVY CHASE

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:
HN41			9		38	9	81	Plat Ref:
Special Tax Areas			Town	CHEVY CHASE VILLAGE				
			Ad Valorem					
			Tax Class	19				
Primary Structure Built		Enclosed Area		Property Land Area		County Use		
1928		2,900 SF		7,500.00 SF		111		
Stories	Basement		Type			Exterior		
2	YES		STANDARD UNIT			BRICK		

Value Information

	Base Value	Value As Of	Phase-In Assessments	
			As Of	As Of
			07/01/2001	07/01/2002
Land:	279,000	369,000		
Improvements:	377,350	416,740		
Total:	656,350	785,740	656,350	699,480
Preferential Land:	0	0	0	0

Transfer Information

Seller:		Date:	09/18/1973	Price:	\$105,000
Type:	IMPROVED ARMS-LENGTH	Deed1:	/ 4438/ 38	Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	
Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0


Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

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Real Property Search - Individual Report

	Maryland Department of Assessments and Taxation Montgomery County Real Property Data Search	Go Back
		New Search

Account Identifier: District - 07 Account Number - 03136430

Owner Information

Owner Name:	AGHAJANIAN, NISHAN C & AMANDA M WEATHERSBY	Use:	RESIDENTIAL
Mailing Address:	14 W LENOX ST CHEVY CHASE MD 20815-4209	Principal Residence:	YES
		Deed Reference:	1) /18818/ 54 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
14 W LENOX ST CHEVY CHASE 20815-4209	R60	CHEVY CHASE SEC 2

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:	20017
HN41			9		38	20	81	Plat Ref:	

Town Ad Valorem Tax Class CHEVY CHASE VILLAGE 19

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1997	4,233 SF	7,500.00 SF	111

Stories	Basement	Type	Exterior
2 1/2	YES	STANDARD UNIT	1/2 BRICK FRAME

Value Information

	Base Value	Value As Of	Phase-In Assessments	
			As Of	As Of
		01/01/2002	07/01/2001	07/01/2002
Land:	279,000	369,000		
Improvements:	991,230	1,094,440		
Total:	1,270,230	1,463,440	1,270,230	1,334,633
Preferential Land:	0	0	0	0

Transfer Information

Seller: WRIGHT, JULIA & Type: IMPROVED ARMS-LENGTH	Date: 02/26/2001 Deed1: /18818/ 54	Price: \$1,450,000 Deed2:
Seller: Type:	Date: Deed1:	Price: Deed2:
Seller: Type:	Date: Deed1:	Price: Deed2:

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:** * NONE *

18

Real Property Search - Individual Report

 Maryland Department of Assessments and Taxation Montgomery County Real Property Data Search	Go Back
	New Search

Account Identifier: District - 07 Account Number - 00456571

Owner Information

Owner Name:	FLYER, MICHAEL R TR	Use:	RESIDENTIAL
Mailing Address:	8 WEST LENOX ST CHEVY CHASE MD 20815	Principal Residence:	YES
		Deed Reference:	1) /10915/ 255 2)

Location & Structure Information

Premises Address	Zoning	Legal Description
8 W LENOX ST CHEVY CHASE 20815	R60	LT 16&17 PTS 14& 18 SEC 2 CHEVY CHASE

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:
HN41			9		38	15	81	Plat Ref:

Town Ad Valorem Tax Class 19 CHEVY CHASE VILLAGE

Special Tax Area	Primary Structure Built	Enclosed Area	Property Land Area	County Use
	1903	5,835 SF	29,625.00 SF	111

Stories	Basement	Type	Exterior
2	YES	STANDARD UNIT	FRAME

Value Information

	Base Value	Value As Of	Phase-In Assessments	
			As Of	As Of
			07/01/2001	07/01/2002
Land:	308,620	398,620		
Improvements:	1,657,360	1,787,200		
Total:	1,965,980	2,185,820	1,965,980	2,039,260
Preferential Land:	0	0	0	0

Transfer Information

Seller:		Date:	12/09/1992	Price:	\$1,600,000
Type:	IMPROVED ARMS-LENGTH	Deed1:	/10915/ 255	Deed2:	

Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	

Seller:		Date:		Price:	
Type:		Deed1:		Deed2:	

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

(19)

Real Property Search - Individual Report

	Maryland Department of Assessments and Taxation Montgomery County Real Property Data Search	Go Back
		New Search

Account Identifier: District - 07 Account Number - 00454787

Owner Information

Owner Name: MALLORY, CHARLES K 3RD & F M Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 17 MAGNOLIA PKW Deed Reference: 1) / 9002/ 314
CHEVY CHASE MD 20815 2)

Location & Structure Information

Premises Address Zoning Legal Description
17 MAGNOLIA PKW R60 SEC 2 CHEVY CHASE
CHEVY CHASE 20815

Map	Grid	Parcel	Subdivision	Section	Block	Lot	Group	Plat No:
HN41			9		33	P11	81	Plat Ref:
Special Tax Areas			Town	CHEVY CHASE VILLAGE				
			Ad Valorem					
			Tax Class	19				
Primary Structure Built			Enclosed Area	Property Land Area			County Use	
1924			1,934 SF	11,459.00 SF			111	
Stories		Basement		Type			Exterior	
1 1/2		YES		STANDARD UNIT			STONE	

Value Information

	Base Value	Value As Of	Phase-In Assessments	
			As Of	As Of
Land:	290,450	01/01/2002	07/01/2001	07/01/2002
Improvements:	303,570	380,450		
Total:	594,020	717,480	594,020	635,173
Preferential Land:	0	0	0	0

Transfer Information

Seller: Date: 09/21/1989 Price: \$650,000
Type: IMPROVED ARMS-LENGTH Deed1: / 9002/ 314 Deed2:
Seller: Date: Price:
Type: Deed1: Deed2:
Seller: Date: Price:
Type: Deed1: Deed2:

Exemption Information

Partial Exempt Assessments	Code	07/01/2001	07/01/2002
County	000	0	0
State	000	0	0
Municipal	000	0	0

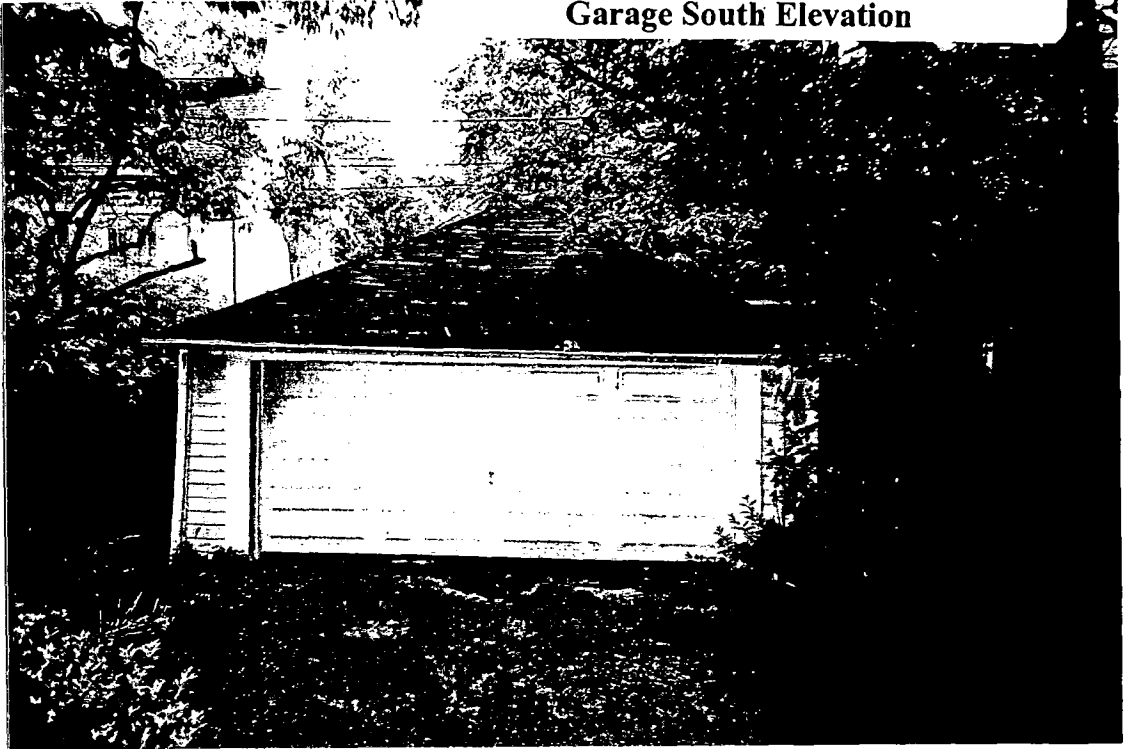
Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

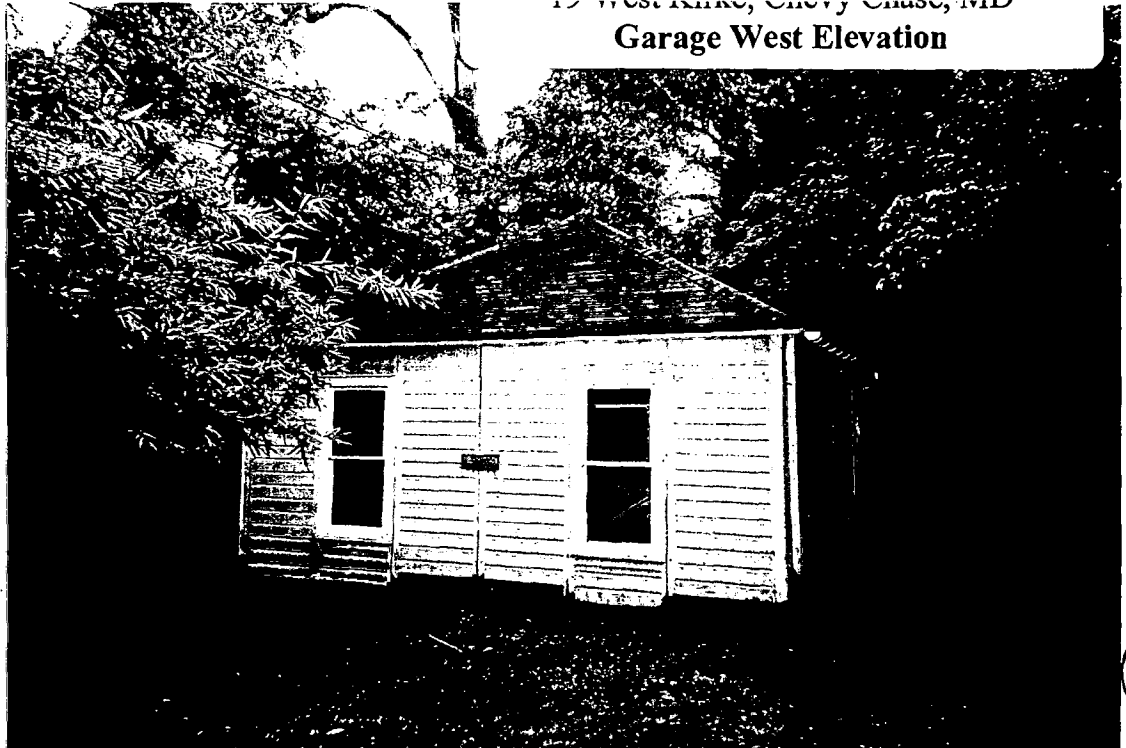
* NONE *

20

Garage South Elevation

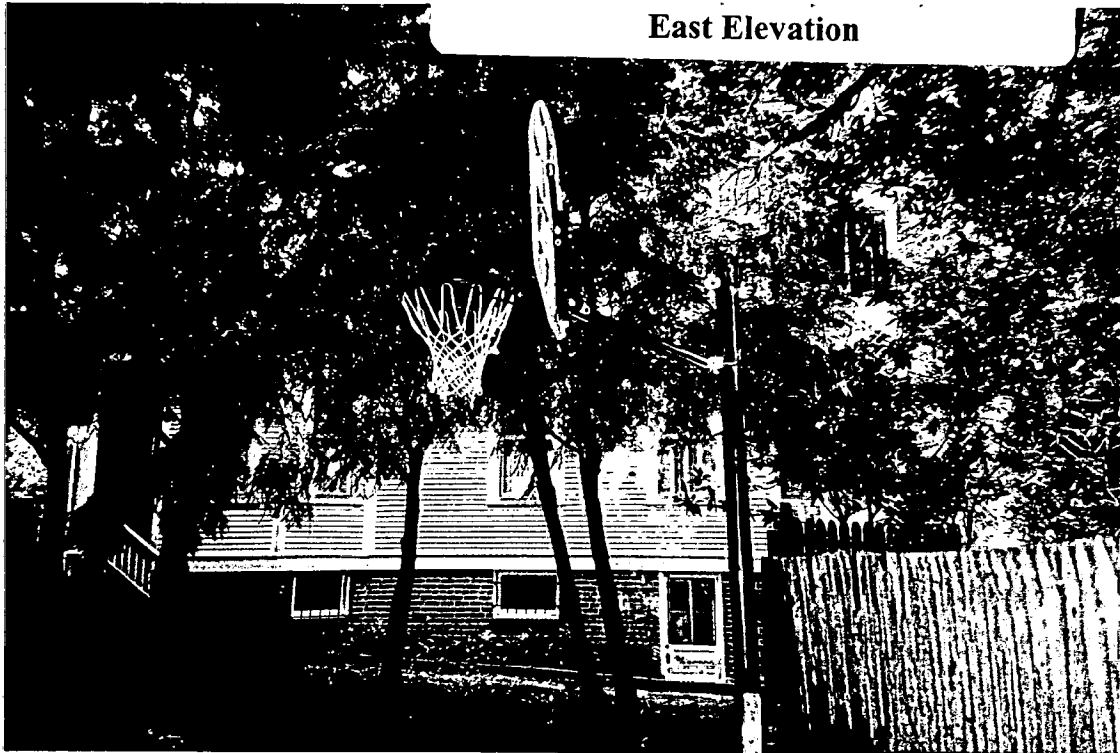


17 WEST HARRIS, CHEVY CHASE, MD
Garage West Elevation





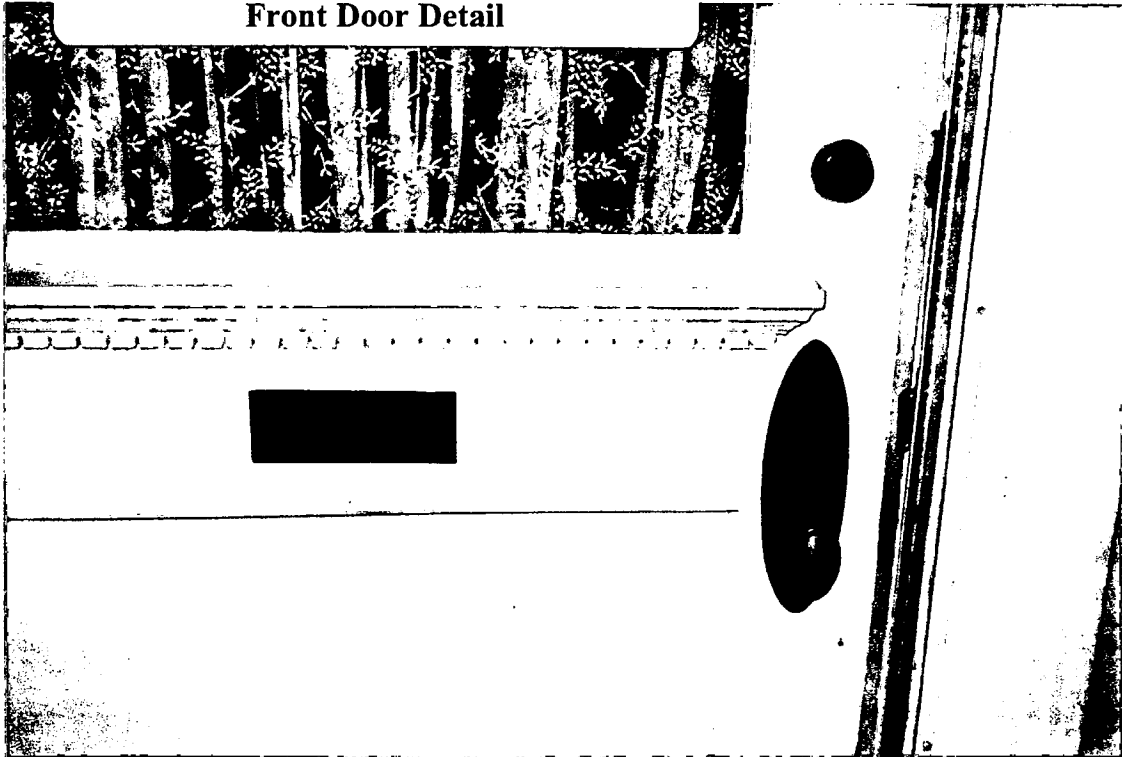
East Elevation



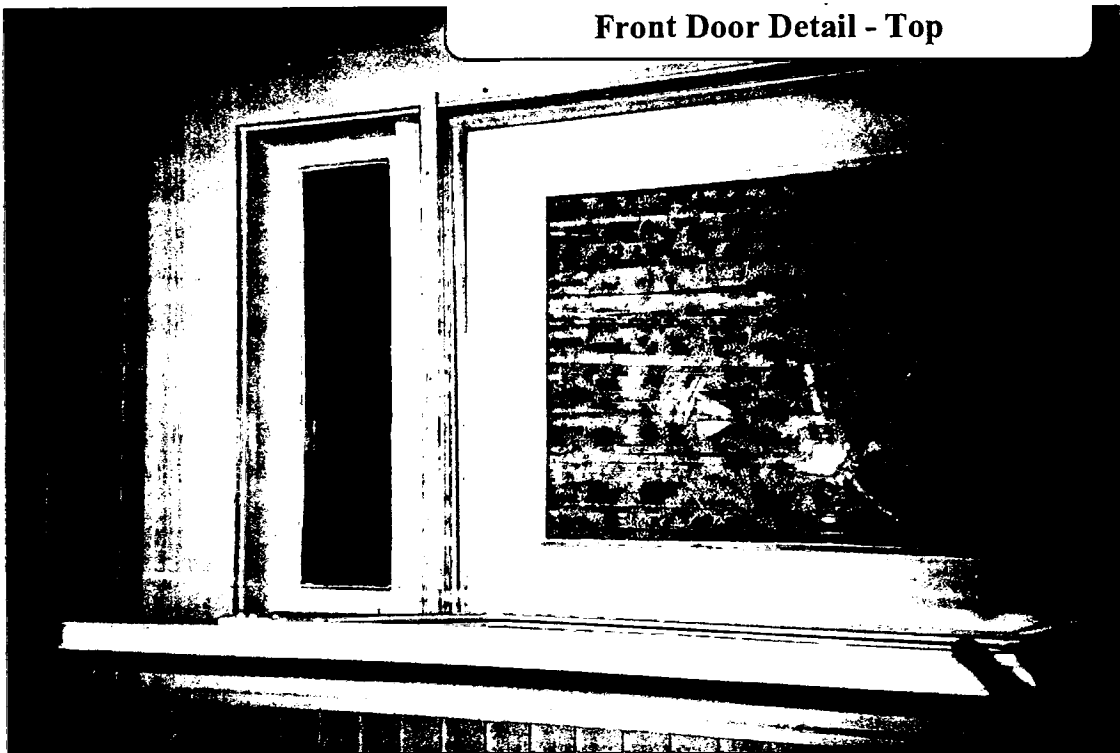
East Elevation

22

Front Door Detail



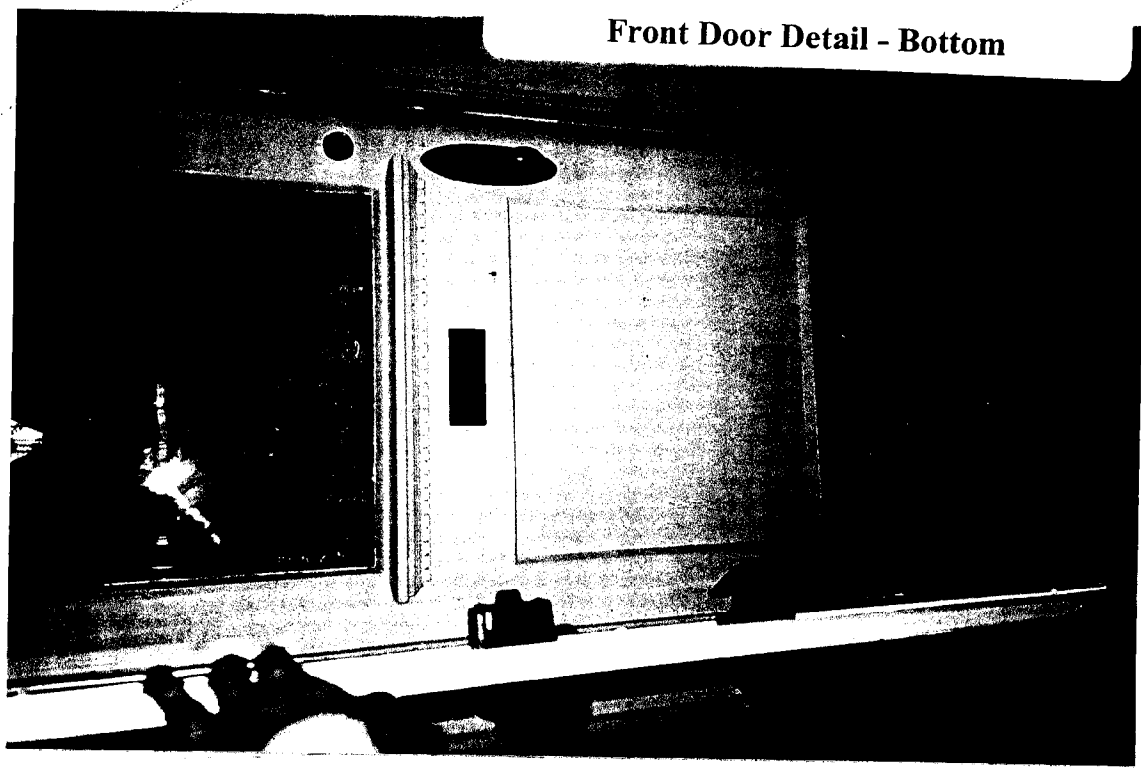
Front Door Detail - Top

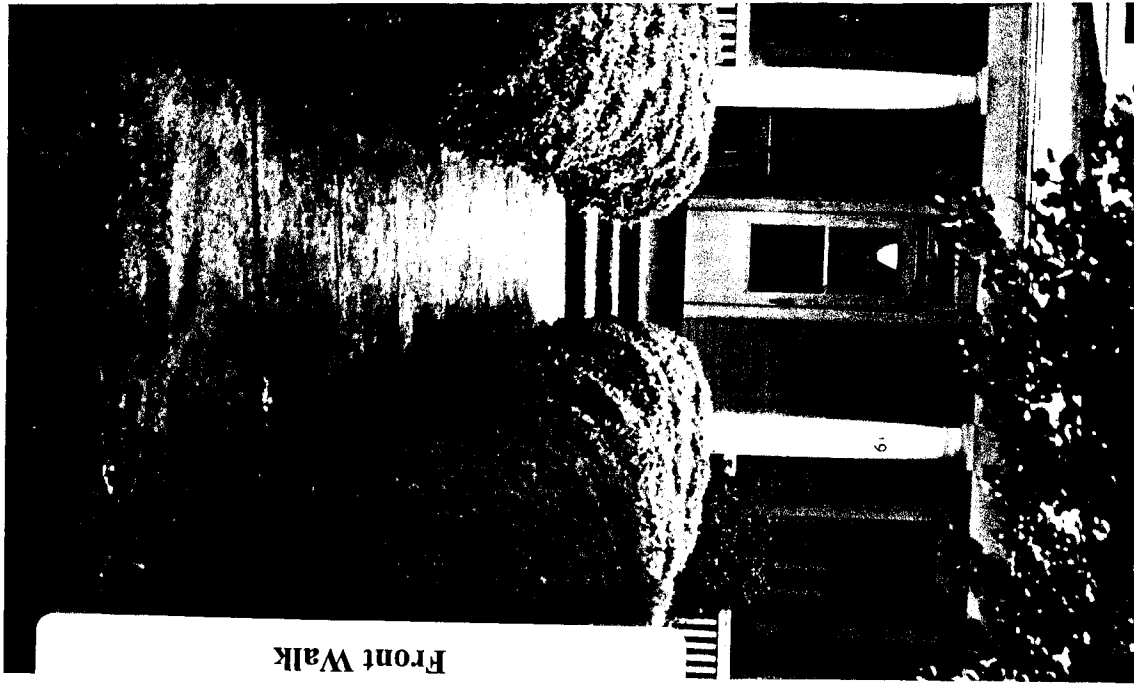


23

74

Front Door Detail - Bottom





Front Walk

10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

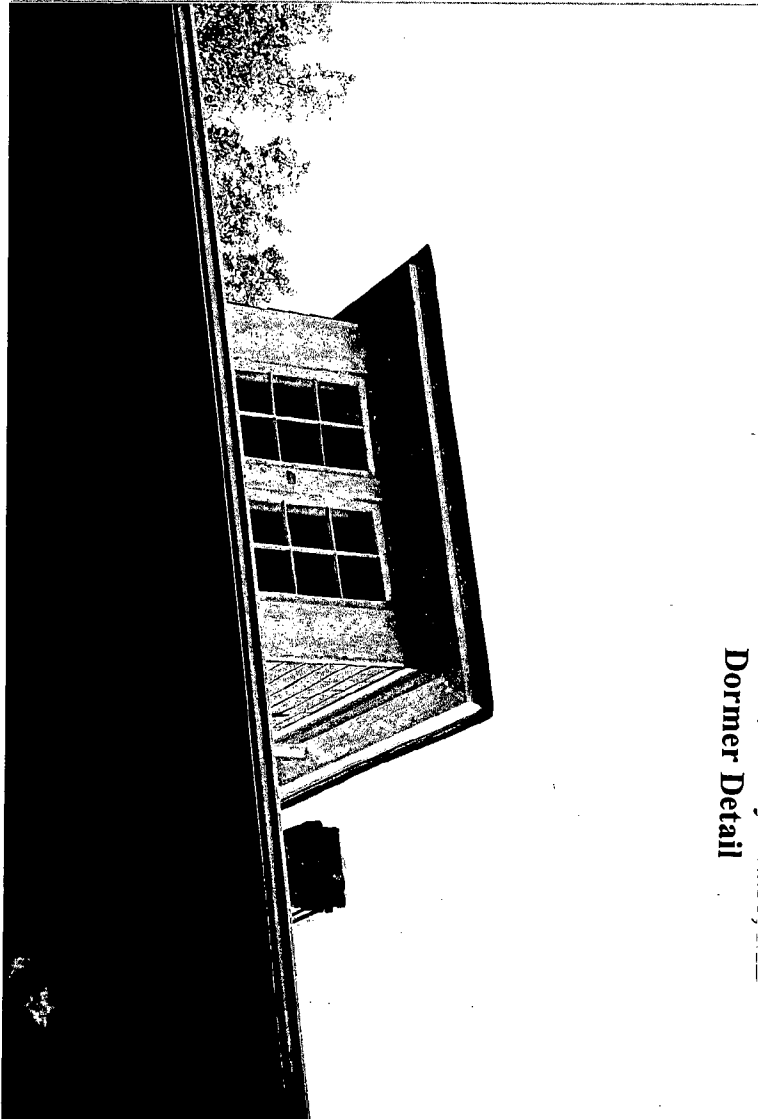
Porch Step Detail



South Elevation

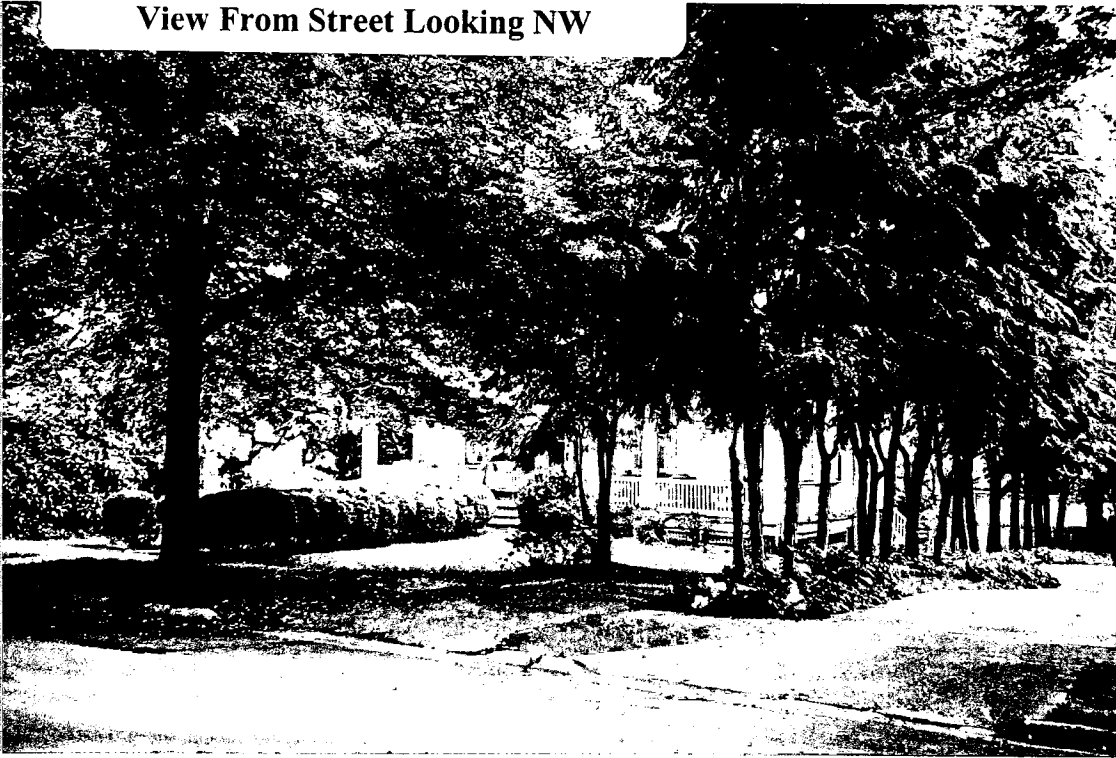


26

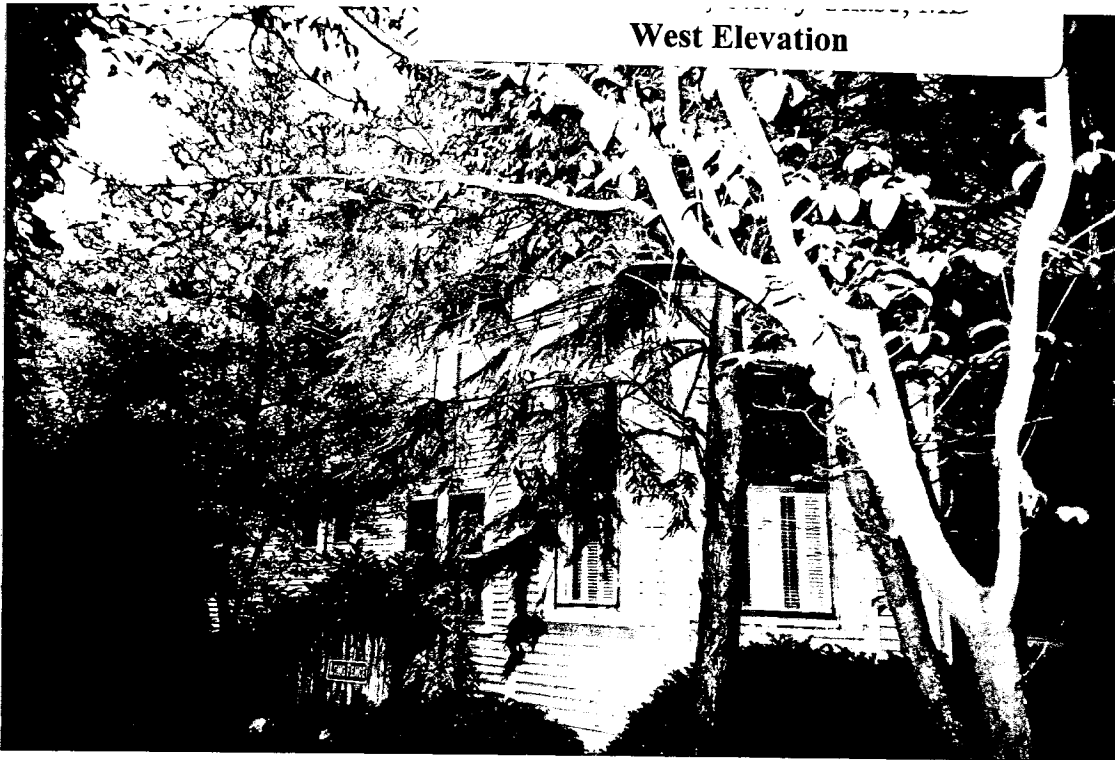


Dormer Detail

View From Street Looking NW

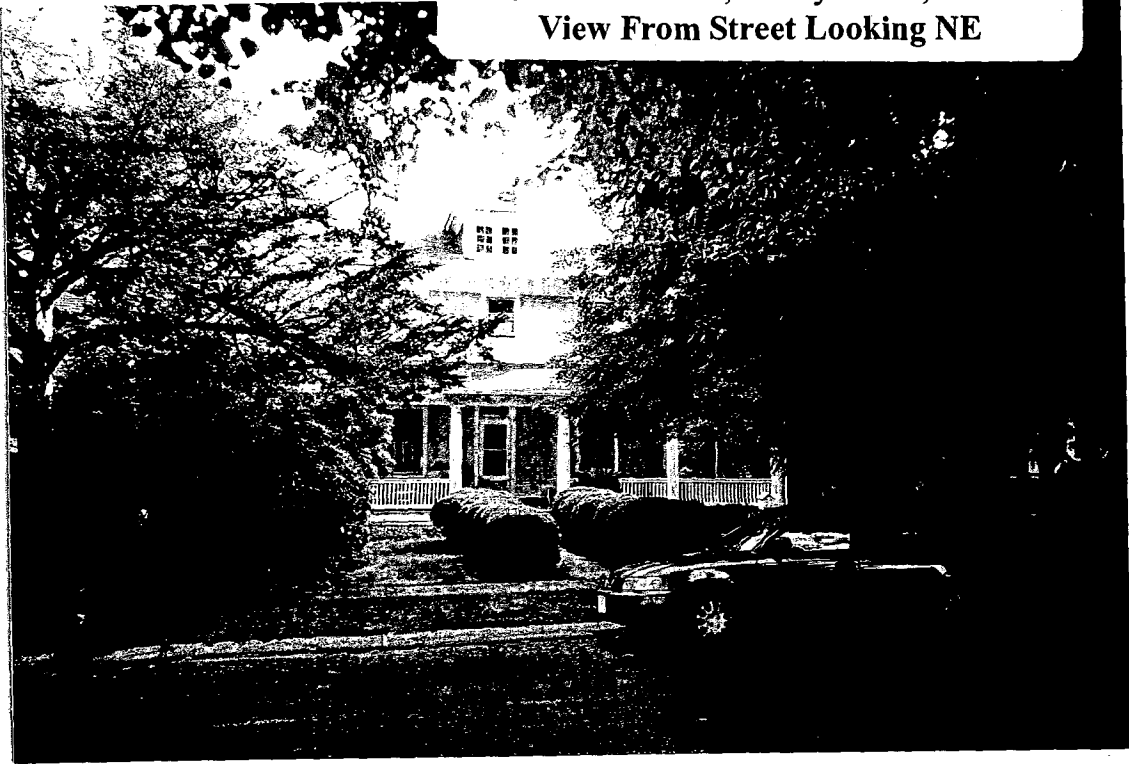


West Elevation

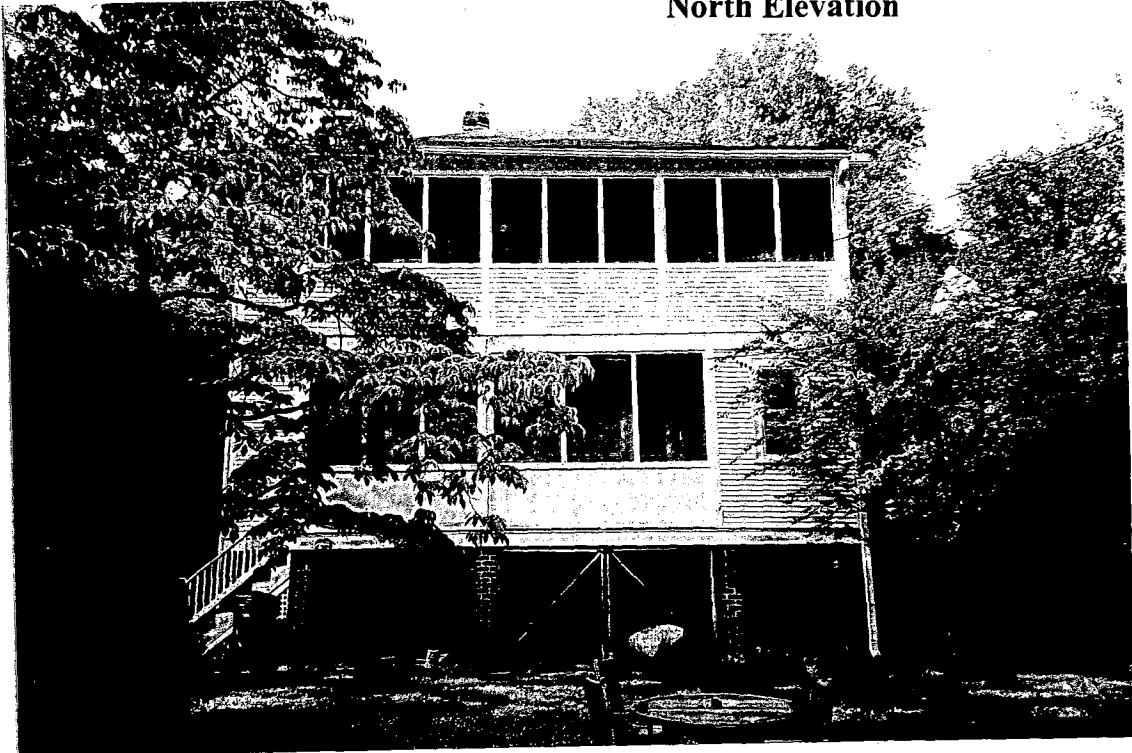


27

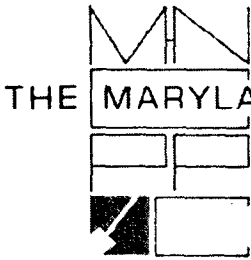
View From Street Looking NE



North Elevation



28



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

June 12, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit
HPC Case No: 35/13-02M DPS No.: 278284

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

 APPROVED x APPROVED WITH CONDITIONS:

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: Tom Toch (Kevin Day, Architect)
Address: 19 West Kirke Street, Chevy Chase

subject to the general conditions pertinent to all Historic Area Work Permits that:

1. **HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.**
2. **After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant should arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

MAY 22 2002

Dept. of Permitting Services
Division of
Case Management

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Tracy Stannard

Daytime Phone No.: 202-491-7415

Tax Account No.:

Name of Property Owner: Tom Toch Daytime Phone No.:

Address: 19 W Kirke Chevy Chase MD 20815
Street Number City Street Zip Code

Contractor: Mauck Zantzing & Assoc. Phone No.: 202-363-8501

Contractor Registration No.:

Agent for Owner: Tracy Stannard Daytime Phone No.: 202-491-7415

LOCATION OF BUILDING/PREMISE

House Number: 19 Street: W. Kirke Street

Town/City: Chevy Chase Nearest Cross Street:

Lot: Block: Subdivision: Chevy Chase Village

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 5/22/02

Approved: [Signature] Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 6/12/02

Application/Permit No.: 278 284 Date Filed: 05/22/02 Date Issued:

Tracy Standard

need all this by Tues 5/28/02

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

202 337 2626

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

(also - existing materials)
need existing materials

4. MATERIALS SPECIFICATIONS - You have most gullies - but need attic window detail

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

- cut sheets -

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY - or statement that no trees over 6" dbh are affected

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

Real Property Search - Individual Report

| | |
|---|------------|
|  Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back |
| | New Search |

Account Identifier: District - 07 Account Number - 00457800

Owner Information

| | | | |
|-------------------------|--|-----------------------------|----------------------|
| Owner Name: | MUCKENFUSS, CANTWELL F 3RD & | Use: | RESIDENTIAL |
| Mailing Address: | A ANGELA LANCASTER
17 WEST KIRKE ST
CHEVY CHASE MD 20815 | Principal Residence: | YES |
| | | Deed Reference: | 1) / 9735/ 186
2) |

Location & Structure Information

| | | |
|------------------------------------|---------------|---------------------------------|
| Premises Address | Zoning | Legal Description |
| 17 W KIRKE ST
CHEVY CHASE 20815 | R60 | LTS 6 & 7 CHEVY CHAS
E SEC 2 |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plot No: |
|--------------------------------|-----------------|--------|----------------------|---------------------|---------------------------|-----------------|-------------------|----------|
| HN41 | | | 9 | | 38 | P5 | 81 | Plot Ref |
| Special Tax Areas | | | Town | CHEVY CHASE VILLAGE | | | | |
| | | | Ad Valorem | | | | | |
| | | | Tax Class | 19 | | | | |
| Primary Structure Built | | | Enclosed Area | | Property Land Area | | County Use | |
| 1933 | | | 5,457 SF | | 15,150.00 SF | | 111 | |
| Stories | Basement | | Type | | | Exterior | | |
| 2 1/2 | YES | | STANDARD UNIT | | | FRAME | | |

Value Information

| | Base Value | Value As Of | Phase-in Assessments | |
|--------------------|------------------|------------------|----------------------|------------------|
| | | | As Of | As Of |
| Land: | 294,150 | 384,150 | 07/01/2001 | 07/01/2002 |
| Improvements: | 1,131,580 | 1,235,450 | | |
| Total: | 1,425,730 | 1,619,600 | 1,425,730 | 1,490,353 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | | | | |
|----------------|----------------------|---------------|-------------|---------------|-----------|
| Seller: | | Date: | 05/03/1991 | Price: | \$945,000 |
| Type: | IMPROVED ARMS-LENGTH | Deed1: | / 9735/ 186 | Deed2: | |
| Seller: | | Date: | | Price: | |
| Type: | | Deed1: | | Deed2: | |
| Seller: | | Date: | | Price: | |
| Type: | | Deed1: | | Deed2: | |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

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Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back

New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00458546

Owner Information

| | | | |
|-------------------------|--|-----------------------------|---------------------|
| Owner Name: | WEST, MILLARD F ET AL TR | Use: | RESIDENTIAL |
| | | Principal Residence: | YES |
| Mailing Address: | 18 WEST KIRKE ST
CHEVY CHASE MD 20815 | Dead Reference: | 1) /13847/ 29
2) |

Location & Structure Information

| | | |
|------------------------------------|---------------|--------------------------|
| Premises Address | Zoning | Legal Description |
| 18 W KIRKE ST
CHEVY CHASE 20815 | R60 | SEC 2 CHEVY CHASE |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plot No: | |
|------|------|--------|-------------|---------|-------|-----|-------|-----------|------|
| HN41 | | | 9 | | 33 | 23 | 81 | Plot Ref: | 6574 |

| | | |
|-------------------------|---------------------------|---------------------------|
| Special Tax Area | Town Ad Valorem Tax Class | CHEVY CHASE VILLAGE
19 |
|-------------------------|---------------------------|---------------------------|

| Primary Structure Built | Enclosed Area | Property Land Area | County Use |
|-------------------------|-----------------|--------------------|-----------------|
| 1962 | 4,320 SF | 11,750.00 SF | 111 |
| Stories | Basement | Type | Exterior |
| 2 | YES | STANDARD UNIT | BRICK |

Value Information

| | Base Value | Phase-In Assessments | | |
|--------------------|------------------|----------------------|------------------|------------------|
| | | Value As Of | As Of | As Of |
| | | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Land: | 290,750 | 380,750 | | |
| Improvements: | 913,460 | 984,180 | | |
| Total: | 1,204,210 | 1,364,930 | 1,204,210 | 1,257,783 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|--|---------------------------|-------------------------|
| Seller: MILLARD F WEST ET AL | Date: 12/29/1995 | Price: \$0 |
| Type: NOT ARMS-LENGTH | Dead1: /13847/ 29 | Dead2: |
| Seller: MILLARD F JR & D T WEST | Date: 02/10/1995 | Price: \$0 |
| Type: NOT ARMS-LENGTH | Dead1: /13252/ 300 | Dead2: |
| Seller: | Date: 12/10/1968 | Price: \$175,000 |
| Type: IMPROVED ARMS-LENGTH | Dead1: / 3815/ 475 | Dead2: |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

| | |
|-----------------------|-------------------------------|
| Tax Exempt: NO | Special Tax Recapture: |
| Exempt Class: | * NONE * |

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Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back
New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00456480

Owner Information

| | |
|---|--|
| Owner Name: MACDONALD, ALASTER & J R

Mailing Address: 21 WEST KIRKE ST
CHEVY CHASE MD 20815 | Use: RESIDENTIAL
Principal Residence: YES

Deed Reference: 1) / 4438/ 38
2) |
|---|--|

Location & Structure Information

| | | |
|---|----------------------|---|
| Premises Address
21 W KIRKE ST
CHEVY CHASE 20815 | Zoning
R60 | Legal Description
SEC 2 CHEVY CHASE |
|---|----------------------|---|

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No:
Plat Ref: |
|--|------|------------------------|--|------------------------------|--|-----|--------------------------|-----------------------|
| HN41 | | | 9 | | 38 | 9 | 81 | |
| Special Tax Areas | | | Town
Ad Valorem
Tax Class | CHEVY CHASE VILLAGE | | | | |
| | | | | 19 | | | | |
| Primary Structure Built
1928 | | | Enclosed Area
2,900 SF | | Property Land Area
7,500.00 SF | | County Use
111 | |
| Stories
2 | | Basement
YES | | Type
STANDARD UNIT | | | Exterior
BRICK | |

Value Information

| | Base Value | Phase-In Assessments | | |
|--------------------|----------------|----------------------|----------------|----------------|
| | | Value As Of | As Of | As Of |
| Land: | 279,000 | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Improvements: | 377,350 | 416,740 | | |
| Total: | 656,350 | 785,740 | 656,350 | 699,480 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|-------------------------------------|--------------------------|-------------------------|
| Seller: IMPROVED ARMS-LENGTH | Date: 09/18/1973 | Price: \$105,000 |
| Type: | Deed1: / 4438/ 38 | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Receipts:

* NONE *

17

Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back

New Search |
|--|---|

Account Identifier: District - 07 Account Number - 03136430

Owner Information

| | |
|--|--|
| Owner Name: AGHAJANIAN, NISHAN C &
AMANDA M WEATHERSBY

Mailing Address: 14 W LENOX ST
CHEVY CHASE MD 20815-4209 | Use: RESIDENTIAL

Principal Residence: YES

Deed Reference: 1) /18818/ 54
2) |
|--|--|

Location & Structure Information

| | | |
|--|----------------------|---|
| Premises Address
14 W LENOX ST
CHEVY CHASE 20815-4209 | Zoning
R60 | Legal Description
CHEVY CHASE SEC 2 |
|--|----------------------|---|

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: | 20017 |
|--|------|------------------------|------------------------------------|------------------------------|--|-----|------------------------------------|-----------|-------|
| HN41 | | | 9 | | 38 | 20 | 81 | Plat Ref: | |
| Special Tax Areas | | | Town
CHEVY CHASE VILLAGE | | | | | | |
| | | | Ad Valorem
Tax Class 19 | | | | | | |
| Primary Structure Built
1997 | | | Enclosed Area
4,233 SF | | Property Land Area
7,500.00 SF | | County Use
111 | | |
| Stories
2 1/2 | | Basement
YES | | Type
STANDARD UNIT | | | Exterior
1/2 BRICK FRAME | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|--------------------|------------------|------------------|----------------------|------------------|
| | | 01/01/2002 | As Of | As Of |
| | | | 07/01/2001 | 07/01/2002 |
| Land: | 279,000 | 369,000 | | |
| Improvements: | 991,230 | 1,094,440 | | |
| Total: | 1,270,230 | 1,463,440 | 1,270,230 | 1,334,633 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|---|---|--|
| Seller: WRIGHT, JULIA &
Type: IMPROVED ARMS-LENGTH | Date: 02/26/2001
Deed1: /18818/ 54 | Price: \$1,450,000
Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |


Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

18

Real Property Search - Individual Report

| | |
|--|----------------------------|
|  Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back |
| | New Search |

Account Identifier: District - 07 Account Number - 00456571

Owner Information

| | | | |
|-------------------------|---|-----------------------------|----------------------|
| Owner Name: | FLYER, MICHAEL R TR | Use: | RESIDENTIAL |
| Mailing Address: | 8 WEST LENOX ST
CHEVY CHASE MD 20815 | Principal Residence: | YES |
| | | Dead Reference: | 1) /10915/ 255
2) |

Location & Structure Information

| | | |
|-----------------------------------|---------------|--|
| Premises Address | Zoning | Legal Description |
| 8 W LENOX ST
CHEVY CHASE 20815 | R60 | LT 16&17 PTS 14& 18
SEC 2 CHEVY CHASE |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: |
|--------------------------------|-----------------|--------|----------------------|---------------------------|-------|-------------------|-------|-----------|
| HN41 | | | 9 | | 38 | 15 | 81 | Plat Ref: |
| Special Tax Areas | | | Town | CHEVY CHASE VILLAGE | | | | |
| | | | Ad Valorem | | | | | |
| | | | Tax Class | 19 | | | | |
| Primary Structure Built | | | Enclosed Area | Property Land Area | | County Use | | |
| 1903 | | | 5,835 SF | 29,625.00 SF | | 111 | | |
| Stories | Basement | | Type | | | Exterior | | |
| 2 | YES | | STANDARD UNIT | | | FRAME | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|---------------------------|------------|-------------|----------------------|------------|
| | | | As Of | As Of |
| | | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Land: | 308,620 | 398,620 | | |
| Improvements: | 1,657,360 | 1,787,200 | | |
| Total: | 1,965,980 | 2,185,820 | 1,965,980 | 2,039,260 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | | | | |
|----------------|----------------------|---------------|-------------|---------------|-------------|
| Seller: | | Date: | 12/09/1992 | Price: | \$1,600,000 |
| Type: | IMPROVED ARMS-LENGTH | Dead1: | /10915/ 255 | Dead2: | |
| Seller: | | Date: | | Price: | |
| Type: | | Dead1: | | Dead2: | |
| Seller: | | Date: | | Price: | |
| Type: | | Dead1: | | Dead2: | |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

19

Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back

New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00454787

Owner Information

| | | | |
|-------------------------|--|-----------------------------|----------------------|
| Owner Name: | MALLORY, CHARLES K 3RD & F M | Use: | RESIDENTIAL |
| | | Principal Residence: | YES |
| Mailing Address: | 17 MAGNOLIA PKWY
CHEVY CHASE MD 20815 | Deed Reference: | 1) / 9002/ 314
2) |

Location & Structure Information

| | | |
|--------------------------------------|---------------|--------------------------|
| Premises Address | Zoning | Legal Description |
| 17 MAGNOLIA PKW
CHEVY CHASE 20815 | R60 | SEC 2 CHEVY CHASE |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: |
|--------------------------------|------|-----------------|----------------------|---------------|---------------------------|-----------------|-------------------|-----------|
| HN41 | | | 9 | | 33 | P11 | 81 | Plat Ref: |
| Special Tax Area | | | Town | | | | | |
| | | | Ad Valorem | | | | | |
| | | | Tax Class | | | | | |
| | | | 19 | | | | | |
| Primary Structure Built | | | Enclosed Area | | Property Land Area | | County Use | |
| 1924 | | | 1,934 SF | | 11,459.00 SF | | 111 | |
| Stories | | Basement | | Type | | Exterior | | |
| 1 1/2 | | YES | | STANDARD UNIT | | STONE | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|--------------------|----------------|----------------|----------------------|----------------|
| | | | As Of | As Of |
| Land: | 290,450 | 380,450 | 01/01/2002 | 07/01/2001 |
| Improvements: | 303,570 | 337,030 | | 07/01/2002 |
| Total: | 594,020 | 717,480 | 594,020 | 635,173 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|----------------------------|---------------|---------------|
| Seller: | Date: | Price: |
| Type: IMPROVED ARMS-LENGTH | 09/21/1989 | \$650,000 |
| | Deed1: | Deed2: |
| | / 9002/ 314 | |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |

Exemption Information

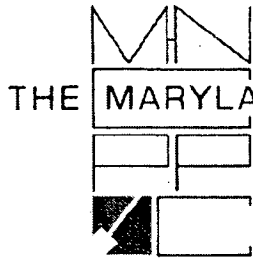
| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

20



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

June 12, 2002

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application
Approval of Application /Release of Other Required Permits

HPC Case No. **35/13-02M**

DPS #: **278284**

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2nd Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---------------------------------------|-----------------------|--------------|
| Address: | 19 West Kirke Street, Chevy Chase | Meeting Date: | 06/12/02 |
| Applicant: | Tom Toch (Kevin Day, Architect) | Report Date: | 06/05/02 |
| Resource: | Chevy Chase Village Historic District | Public Notice: | 05/29/02 |
| Review: | HAWP | Tax Credit: | Partial |
| Case Number: | 35/13-02M | Staff: | Perry Kapsch |

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival/Four-Square
DATE: 1882-1916

PROPOSAL

The applicant proposes to:

1. Demolish the rear two-story porch and pantry and replace them with a 2-story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

3. Replace the dormer windows with wood trimmed, true light windows in the same 6-light configuration. Replace the asphalt shingle cladding on the dormers with clapboard siding.
4. Replace all aluminum screens with painted wood frame screens.
5. Replace the existing glass paneled front door with a solid door with panels on either side.
6. Replace the wooden front steps with slate steps. Install a painted wood hand rail to match the existing rail on the front porch.
7. Replace the existing concrete front walk with a brick front walk.
8. Remove windows on two levels at the rear of the left façade.
9. Install a 4-light and 1/1 window on the second level at the rear of the left façade.

STAFF DISCUSSION

With the exception of the changes proposed for the front door and front steps, the modifications proposed to this property are within the guidelines for changes to a Contributing Resource in the Chevy Chase Village Historic District. They are also in keeping with the Secretary of Interior's Guidelines for Rehabilitation. Demolition of the rear sleeping porch and back porch constitute removal of original materials and staff has recommended that they be carefully photographed before they are removed. The garage is not listed in the historic district designation as a contributing feature, but is included in the documentation as its age has not been conclusively determined.

Changes to the front façade of a Contributing Resource are subject to moderate scrutiny. Replacement of an original front door, the addition of out-of-period paneling, and the replacement of original steps, all changes clearly visible from the right-of-way, should be discouraged. As stated in the historic district guidelines, "A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations." In this case, the resource is an intact example of a common architectural style, not an outstanding resource that has been altered.

To maintain its contribution to the streetscape of the historic district, it is important that the structure maintain a high degree of integrity. On a simply styled house such as this, the glass-paneled front door represents one of its most distinctive architectural features.

Replacement of the front steps is also problematic as they are an important aspect of the wood porch that has often been removed and replaced with concrete rather than being rebuilt. Where the wooden steps have been preserved, every effort should be made to continue to protect them. Use of slate is particularly inappropriate as it is both out-of-period and too formal for the simple style of the house. The need for slate as an all-weather surface is not evident given the choice of a painted wood railing to be installed on the steps.

The basic policies in the Chevy Chase Village Guidelines include preserving the integrity of the district in order to perpetuate the ability to perceive the sense of time and place portrayed by the district. The proposed front door design would detract significantly from the property's

contribution to the portrayal of the time (turn of the century) and place of significance of the district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for “preserving the integrity of contributing structures in the district.” Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.

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GEN. ROOF NOTES:

- REPAIR ALL WATER DAMAGED SOFFITS, FASCIA BOARDS, & NO. SIDING ON EXIST. HOUSE AS REQ.
- RE-ROOF EXIST. HOUSE & PORCH W/ ASPHALT SHINGLES ON ROOFING PAPER ON 5/8" PLY. NO. T & G ROOF SHEATHING

GEN. SITE NOTES:

- NO. DECK CONST. OF PTD. 5/4 X 6 DECKING ON PTD. 2 X FRAMING, & 6 X 6 POSTS W/ PTD. 1X TRIM
- RAILING CONST. OF 5M-BB40 TOP RAIL, LHM-231 BALUSTER @ 5 1/2" O.C., & 5M-BB41 BOTTOM RAIL
- STONE WALLS - FIELDSTONE VENEER W/ 1/2" FLAGSTONE GAP ON REIN. CMU W/ CONT. REIN. SPREAD FOOTING
- PATIO - RANDOM RECTANGULAR FLAGSTONE PAVING ON 4" CONC. SLAB (W/ WAF.) ON 6" CRUSHED STONE BASE

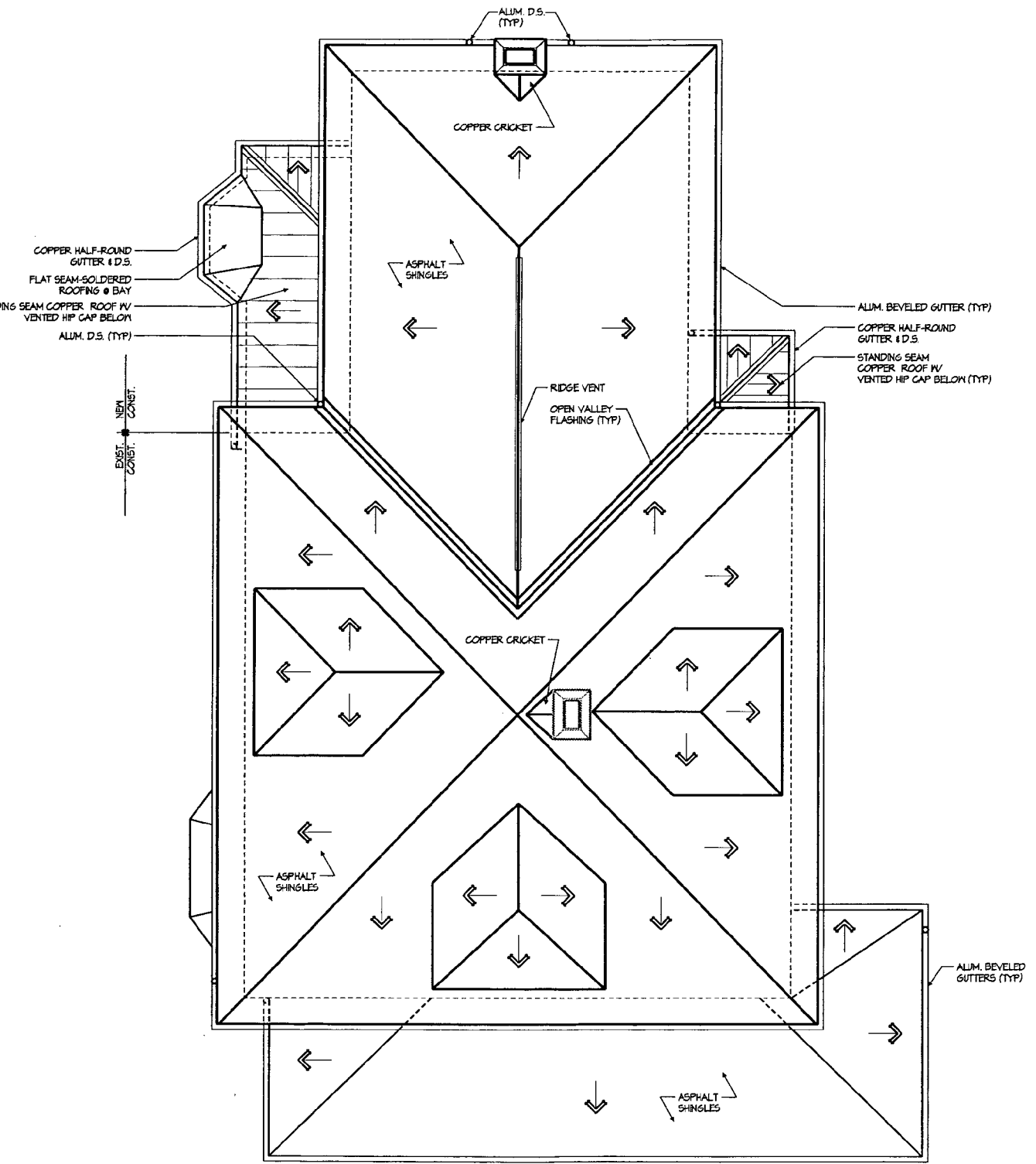
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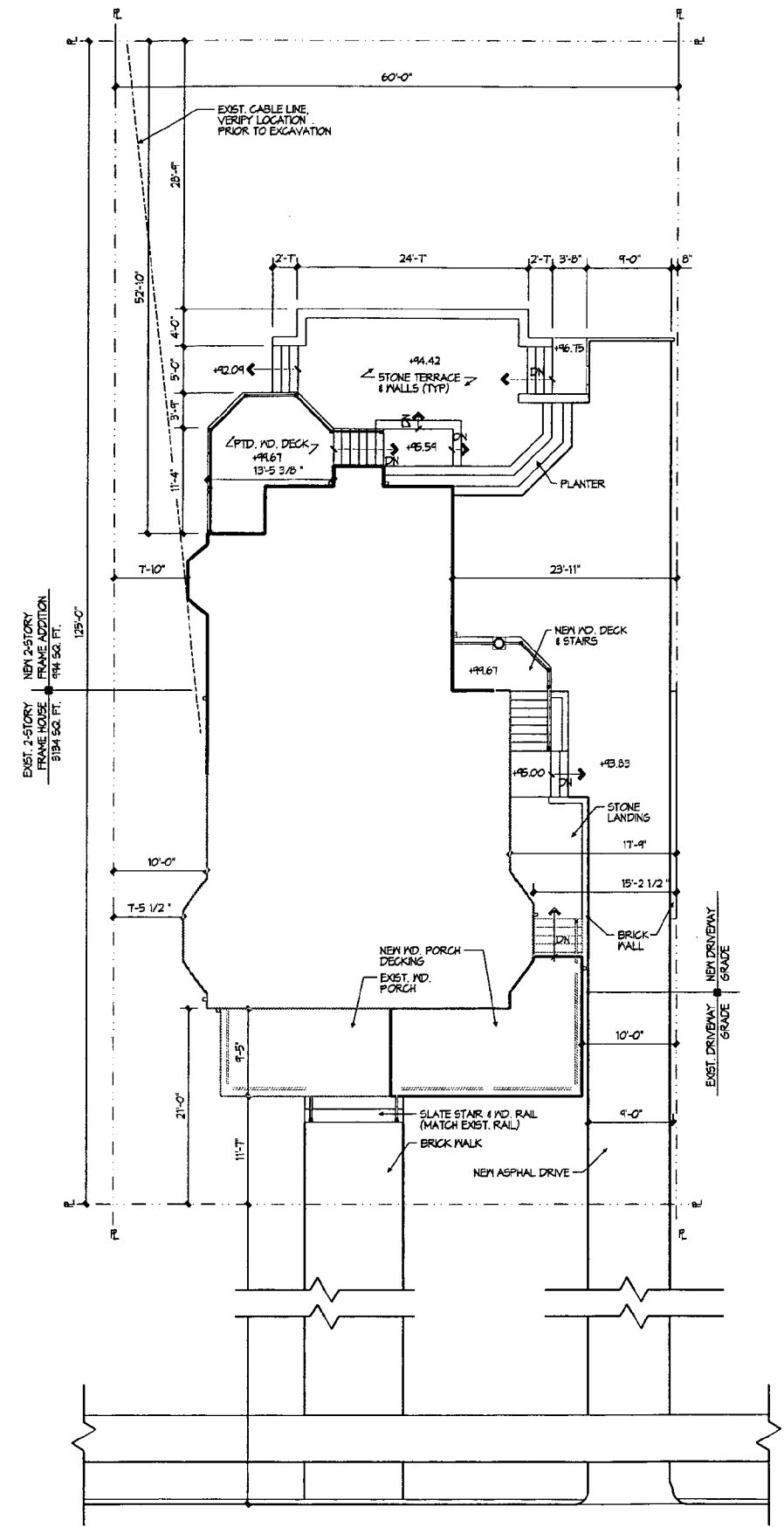
| No. | Issue | Reviser | Date |
|-----|------------|---------|---------|
| | PERMIT SET | | 5-22-02 |
| | SD PRICING | | 4-25-01 |

Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

SITE PLAN



1 **ROOF PLAN**
 SCALE: 1/4"=1'-0"



1 **SITE PLAN**
 SCALE: 1/8"=1'-0"



WEST KIRKE STREET



BOWIE-GRIDLEY ARCHITECTS, PLLC
 1010 WISCONSIN AVE., N.W. SUITE 400
 WASHINGTON, D.C. 20007
 TEL. (202) 337-0868
 FAX (202) 337-2626

GENERAL NOTES:

1. ALL EXIST. FIN. TO RECEIVE MD. SASH STORM WIN., FACTORY PRIMED, FIELD PTD., BY MARVIN OR EG.
2. PROVIDE ALLOWANCE FOR REPAIR & REFINISHING OF EXIST. FRONT PORCH.
3. REPORT ALL EXIST. MASONRY, ON BOTH INTR. & EXTR. FACES AS REQ.
4. USE TYPE-X/WATER RESISTANT GMB, ON GARAGE & LAUNDRY ROOM WALLS & CEILING, U.O.N.

NOTE: NOT TO SCALE,
 SHEET REDUCED FROM
 24x36 ORIGINAL

| No. | Issue - Revision | Date |
|-----|------------------|------|
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|------------|---------|
| PERMIT SET | 5-22-02 |
| SD PRGNG | 4-25-01 |

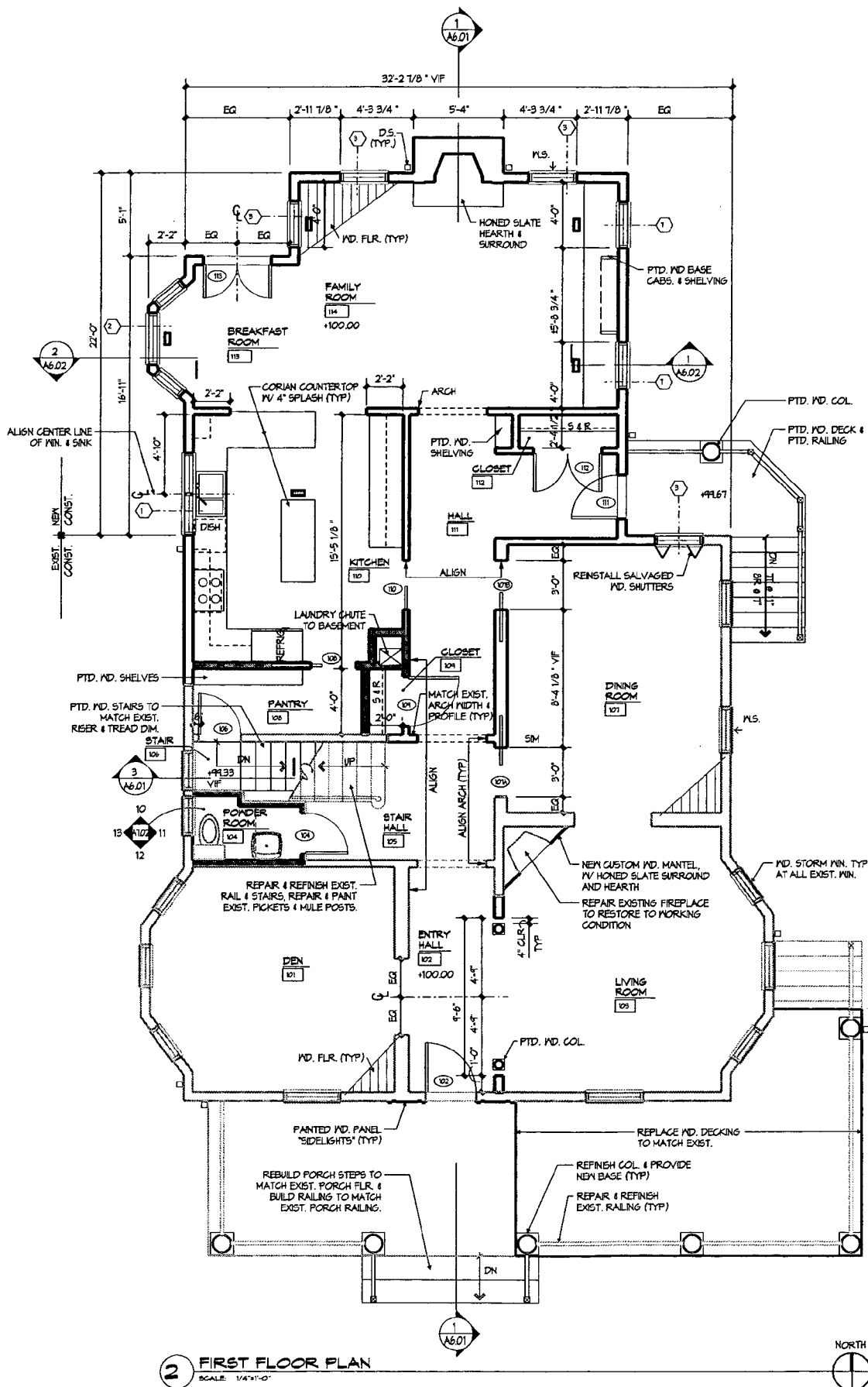
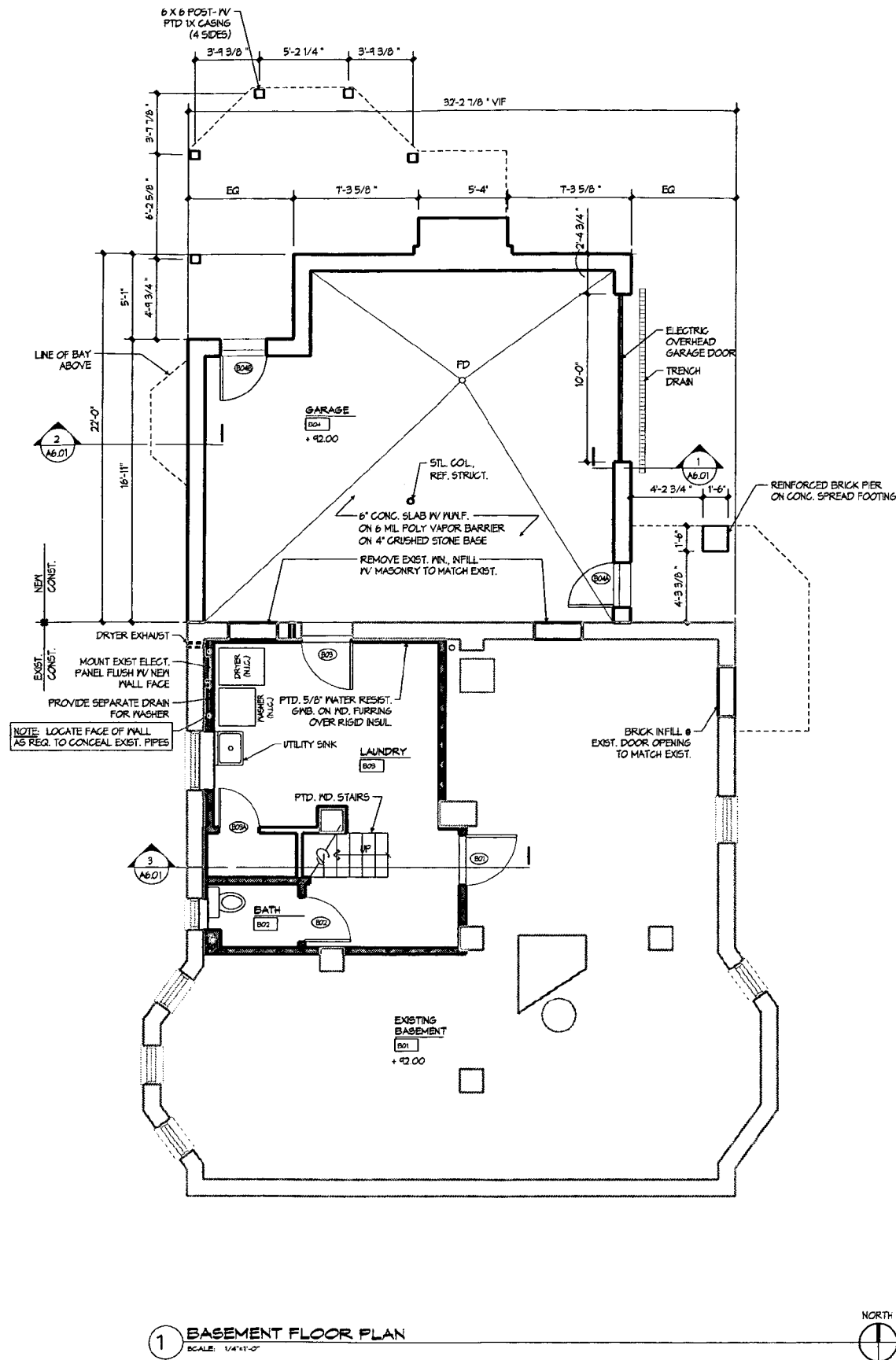
Additions & Renovations to:

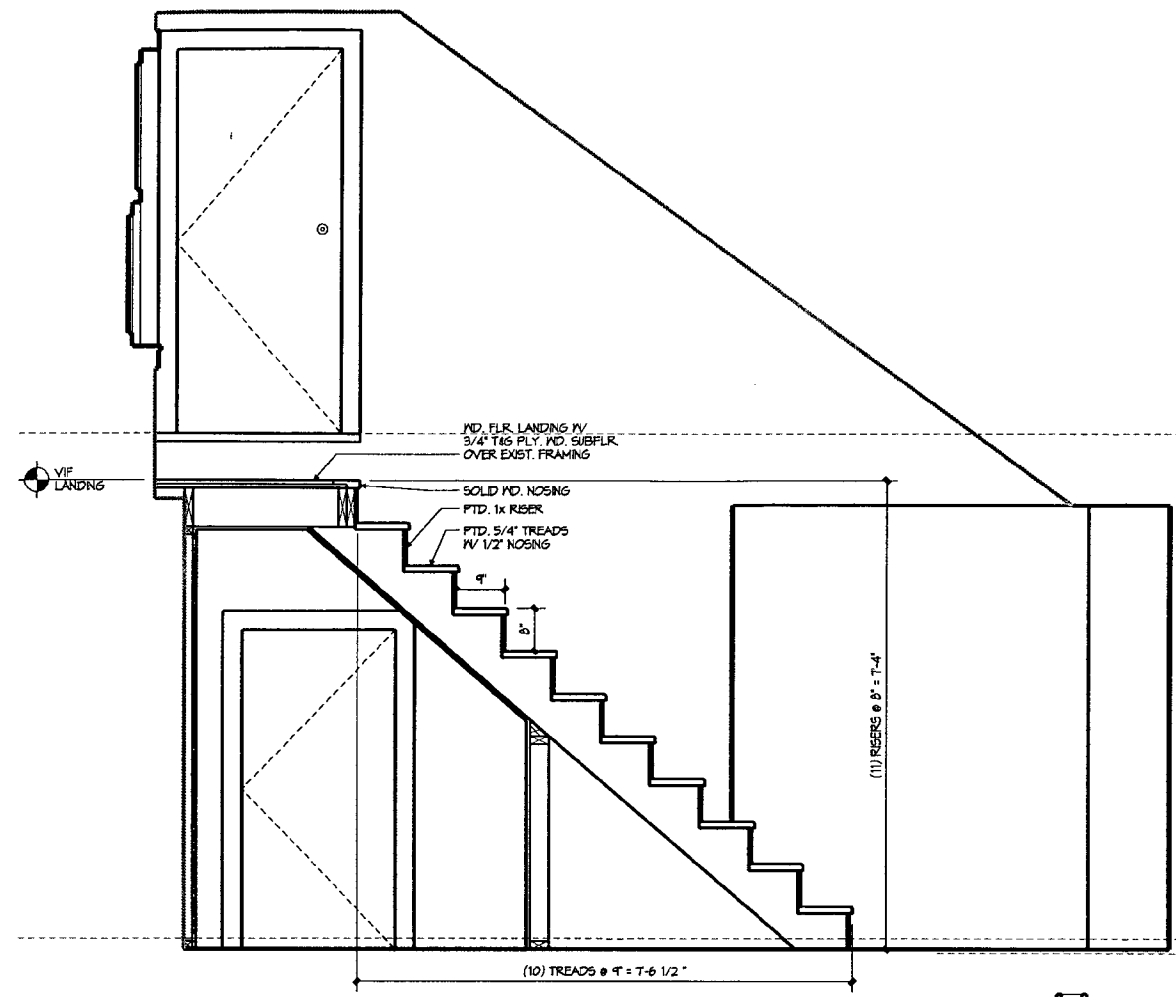
THE TOCH RESIDENCE

19 West Kirke
 Chevy Chase, MD

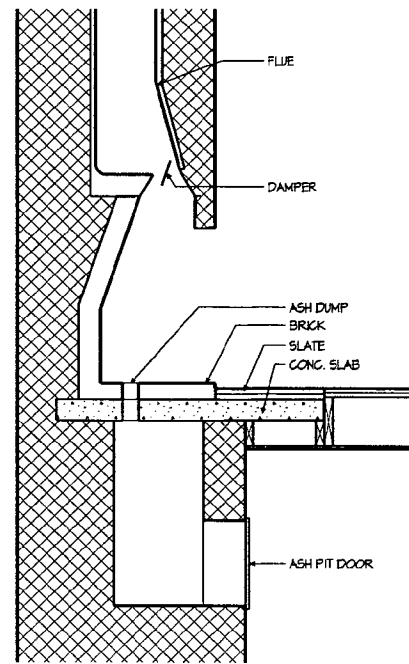
FLOOR PLANS

| | |
|--------------------------------|--------------|
| BGA JOB NO.
#00014 | A3.02 |
| CURRENT PRINT DATE
05/22/02 | |

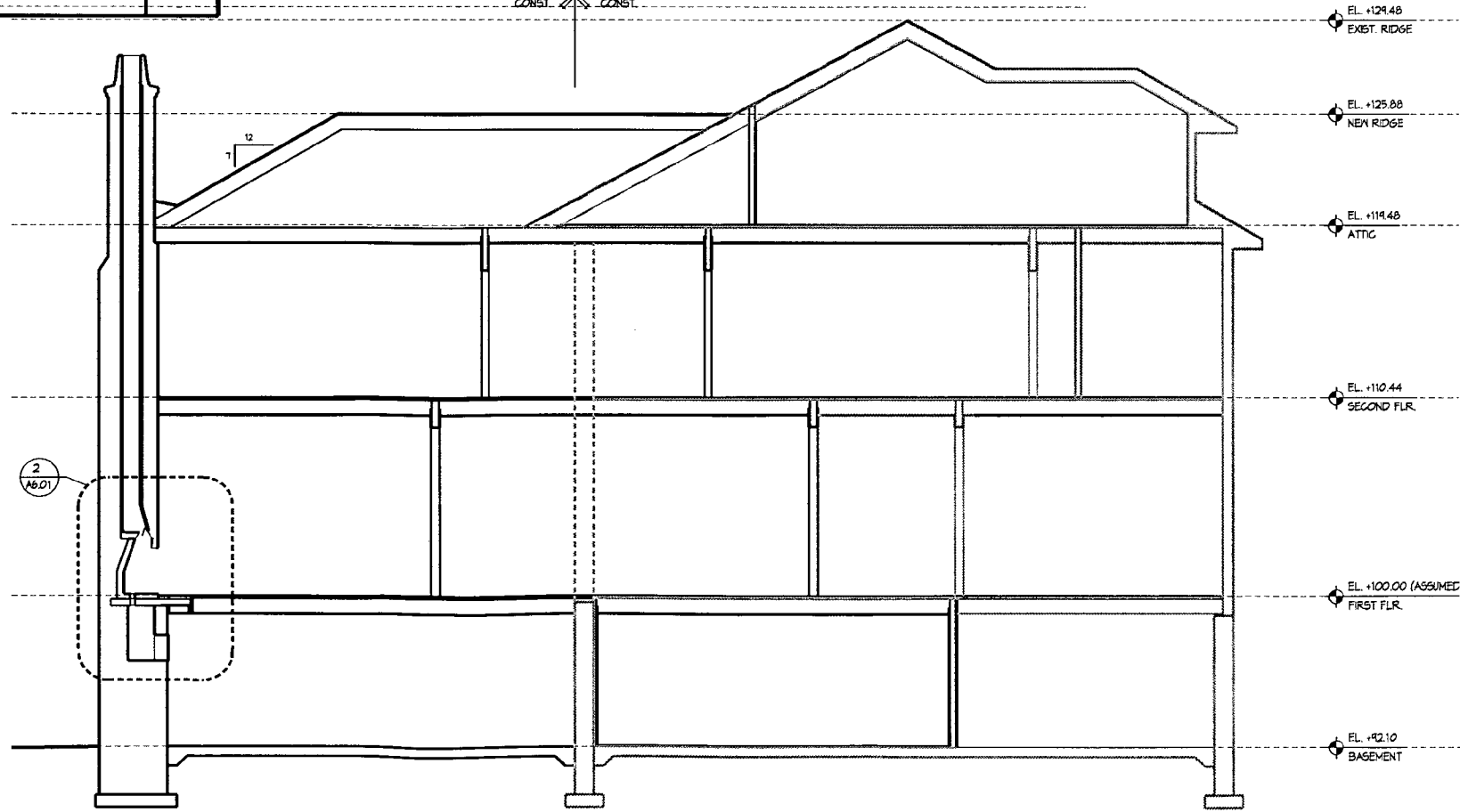




3 BASEMENT STAIR SECTION
 SCALE: 3/4"=1'-0"



2 FIREPLACE SECTION
 SCALE: 3/4"=1'-0"



1 BUILDING SECTION
 SCALE: 1/4"=1'-0"

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| No. | Issue - Revision | Date |
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| | | |
| | PERMIT SET | 5-22-02 |
| | SD PRICING | 4-25-01 |

Additions &
 Renovations
 to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

BUILDING SECTION

GENERAL NOTES:
 01. ALL EXTR. DECK FRAMING TO BE PRESSURE TREATED SOUTHERN YELLOW PINE NO. 2
 02. TYP. HEADER (NVL) CONST. OF (2) 2x6 PV (2) 2x4 5" JOG EA. END, U.O.K.

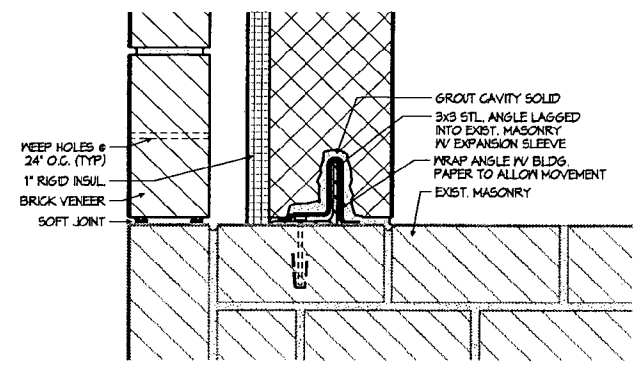
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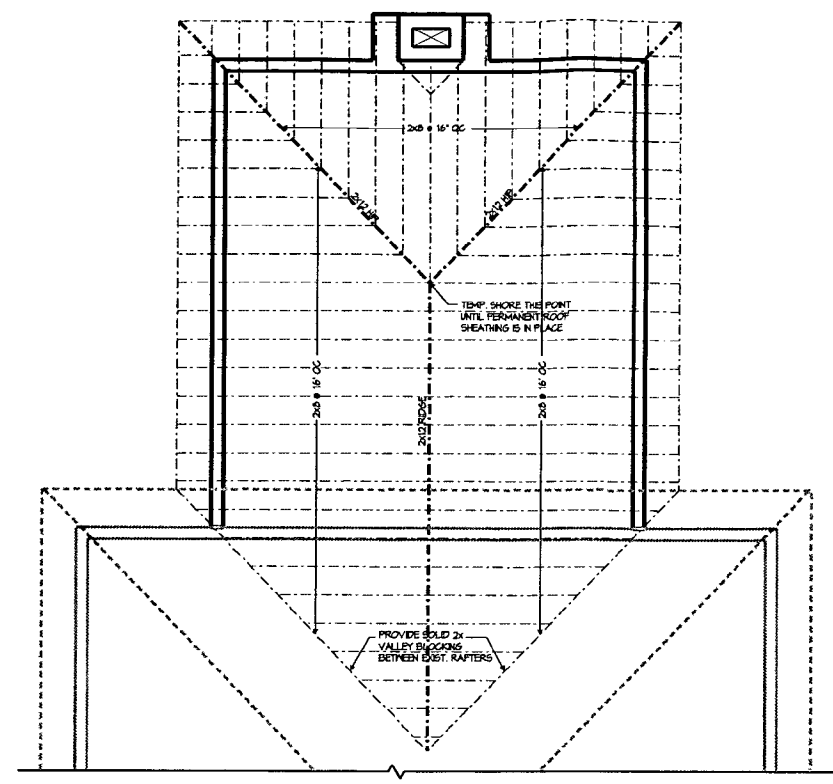
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|------------|-------|----------|---------|
| PERMIT SET | | | 5-22-02 |
| SD PRICING | | | 4-25-01 |

Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

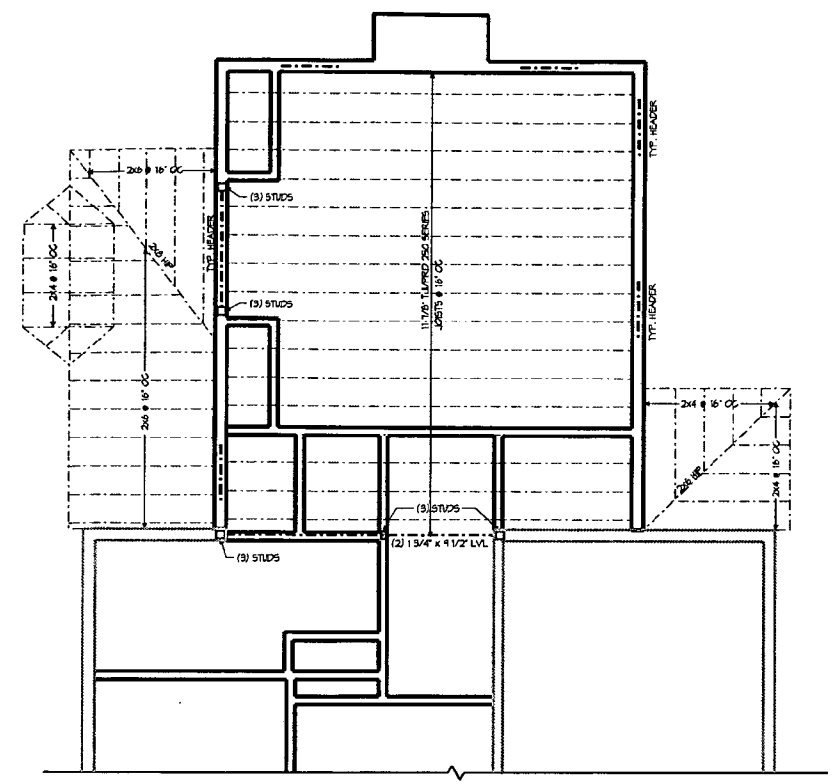
FRAMING PLANS AND STRUCT. DETAILS



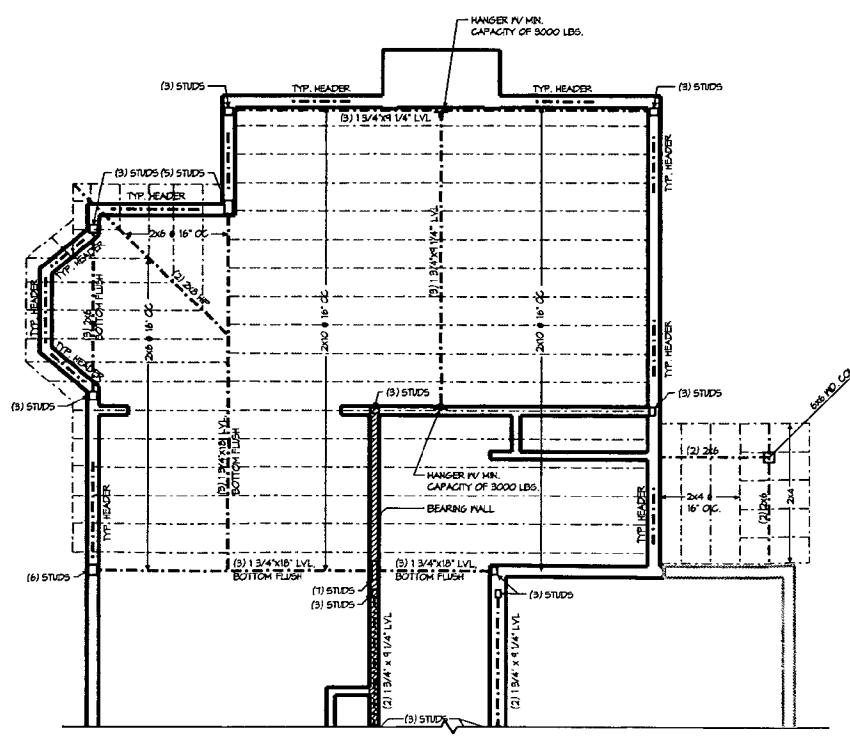
6 DETAIL
 SCALE: 3/4"=1'-0"



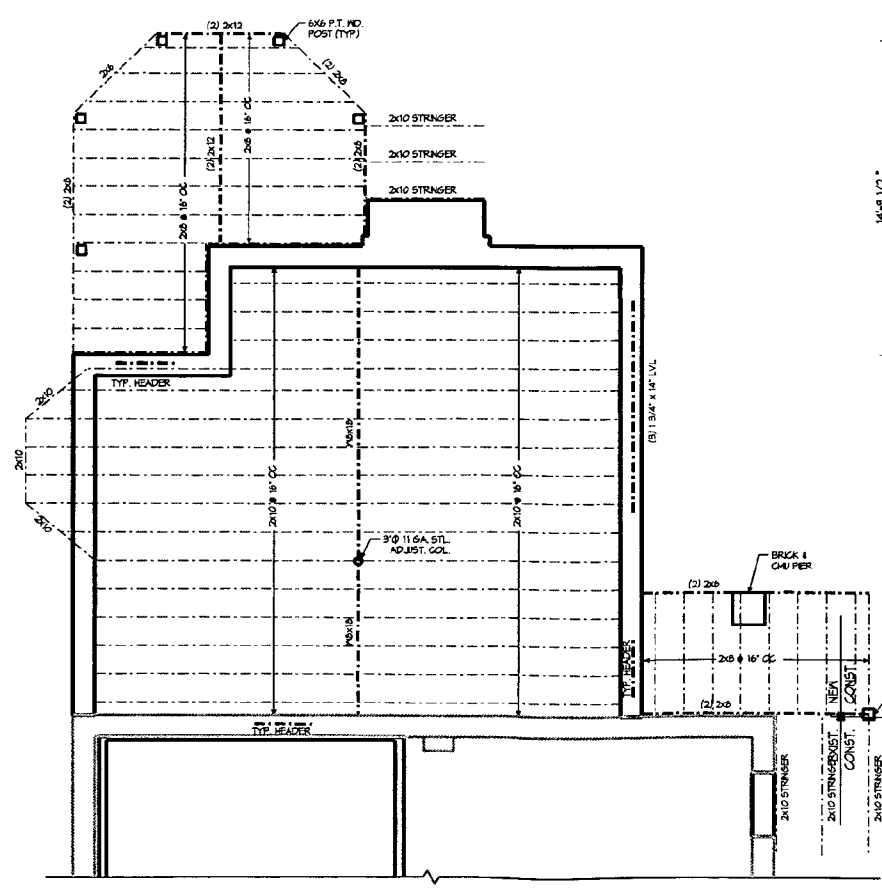
5 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



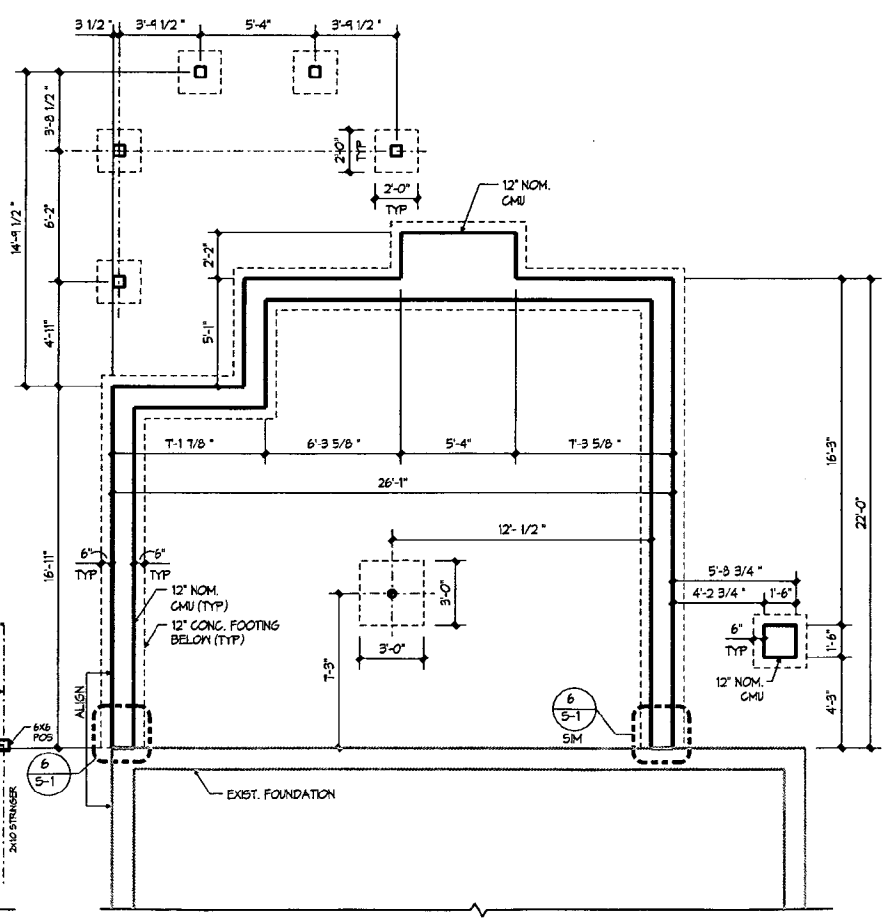
4 ATTIC FRAMING PLAN
 SCALE: 1/4"=1'-0"



3 SECOND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



2 FIRST FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



1 FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---------------------------------------|-----------------------|--------------|
| Address: | 19 West Kirke Street, Chevy Chase | Meeting Date: | 06/12/02 |
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| Resource: | Chevy Chase Village Historic District | Public Notice: | 05/29/02 |
| Review: | HAWP | Tax Credit: | Partial |
| Case Number: | 35/13-02M | Staff: | Perry Kapsch |

PROPOSAL: Replace front door, modify front steps/front porch/side windows/basement entry, demolish rear porches/garage, construct rear addition/deck/patio, replace dormer windows, modify dormer cladding, replace aluminum screens, replace front walk.

RECOMMEND: Approve with conditions.

CONDITIONS

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival/Four-Square
DATE: 1882-1916

PROPOSAL

The applicant proposes to:

1. Demolish the rear two-story porch and pantry and replace them with a 2-story wood frame addition with asphalt shingle hip roof, the second story to be clad in cedar shingle siding. The windows are to be true light in the same configuration as in the historic resource. A masonry chimney is proposed at the rear of the addition.
2. Demolish the garage and construct a painted wood deck and stone patio area in its place.

district.

Another basic guideline listed in the Chevy Chase Village Guidelines calls for "preserving the integrity of contributing structures in the district." Removing and redesigning the front entry would do just the opposite.

Another guideline points out that design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way. Clearly the front door design should be accorded this review emphasis as it is clearly visible.

Removal of the glass door is not indicated for reasons of privacy or security. Privacy can be obtained by installing curtains, a screen, or an opaque panel on the inner surface. Security is the same with a glass door as with glass windows, but can be addressed by installing security panels- either transparent or opaque on the inside of the door.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #5, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

1. Garage, side windows, and rear porches are to be photographed inside and outside before demolition; the photographs are to be included in the HPC files for the historic district.
2. The front steps are to be replaced in-kind.
3. The front door is to be rehabilitated and not replaced.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Tracy Stannard
Daytime Phone No.: 202-491-7415

Tax Account No.:
Name of Property Owner: Turn Tech
Address: 19 W. Kirke Chevy Chase MD 20815
Contractor: Mauck Zantlinger & Assoc. Phone No.: 202-363-8501
Agent for Owner: Tracy Stannard Daytime Phone No.: 202-491-7415

LOCATION OF BUILDING/PREMISE

House Number: 19 Street: W. Kirke Street
Town/City: Chevy Chase Nearest Cross Street:
Lot: Block: Subdivision: Chevy Chase Village
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [X] Extend [X] Alter/Renovate [] A/C [] Slab [X] Room Addition [] Porch [X] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [] Single Family
[] Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
1B. Construction cost estimate: \$
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Tracy Stannard Date: 5/22/02

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 278 284 Date Filed: 05/22/02 Date Issued:



Tracy Stannard

- need all materials

7/25/02

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

202 337 2626

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED SHEET

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED SHEET

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

(also - need existing materials)

4. MATERIALS SPECIFICATIONS

- You have most of this - but need attic window

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

- cut sheets -

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

- or statement that no trees over 6" dbh are affected

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street Rockville, (301/279-1355).

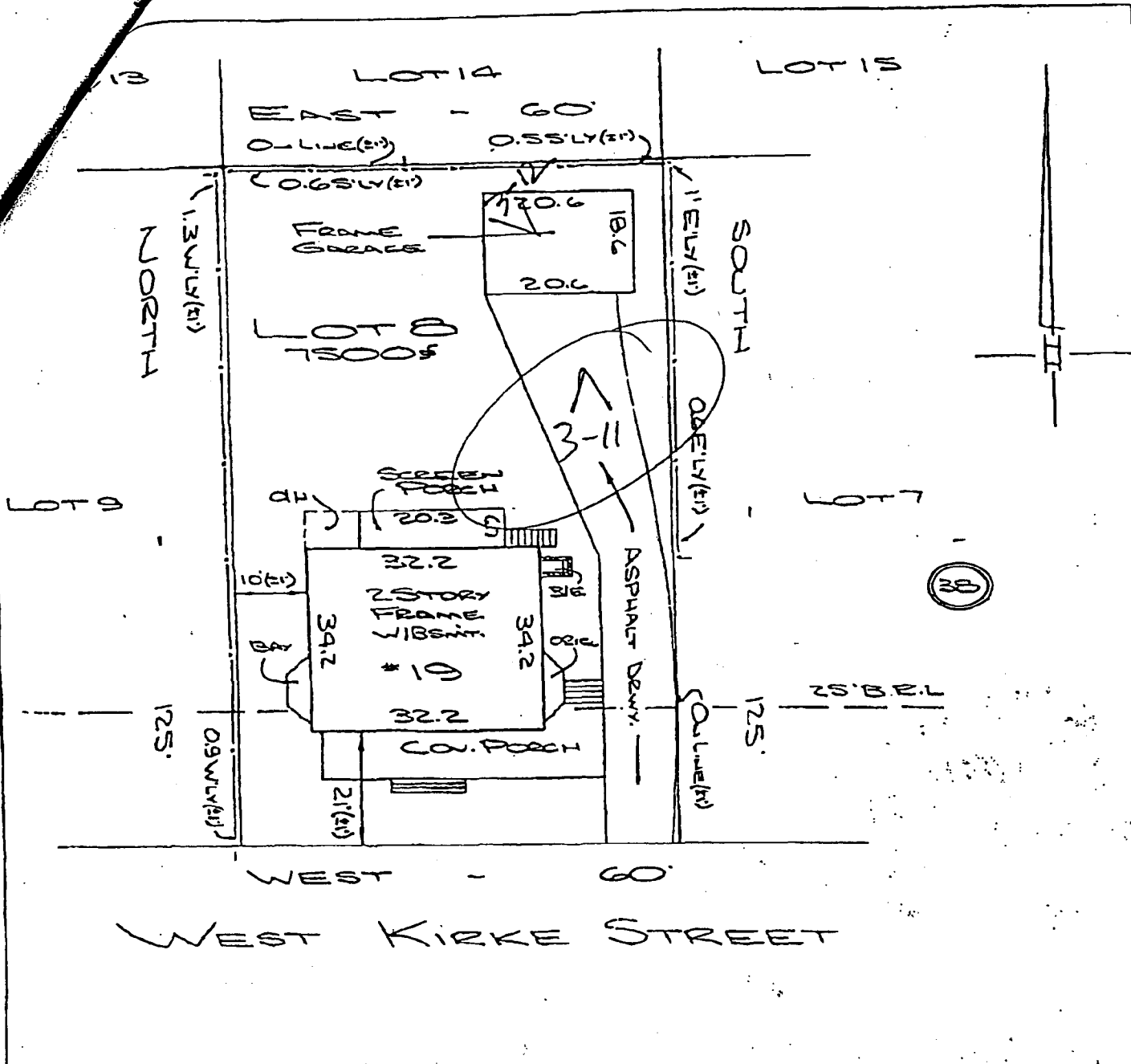
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

Toch Residence
19 West Kirke
Chevy Chase, MD

A. The existing 2-story wood frame house has clapboard siding with a brick basement level, which becomes more prevalent as the site slopes towards the back of the house. A wood porch at the front covers the entire width of the house; a 2-story sleeping porch covers the width of the rear. All windows on the house are double hung with the exception of dormers on the south, east, & west, which have casement windows. All windows, with the exception of the dormers have aluminum frame screens. Both porch roofs and the pyramidal house roof are asphalt shingles. Shrubs line the concrete front walk and cypress trees line the east edge of the asphalt driveway. A detached garage with clapboard siding and asphalt roof lies at the northeast corner of the lot.

B. The existing sleeping porch at the rear of the house will be removed and a 2-story wood frame addition with asphalt shingle hip roof will be added in its place. The addition will have a brick basement level and clapboard first level to match existing conditions. The second story of the addition will have cedar shingle siding. Clapboard siding will replace the existing shingle siding on the sides of all dormers and trim that coincides with existing window detailing will be added as well. New true light wood windows matching the existing size and light pattern will be installed in all dormers for increased energy efficiency. All aluminum frame screens will be replaced by wood counterparts. A solid wood front door with wood paneling that mimics the proportions of side lights will replace the existing door; the existing door will be stored in a safe location on site. The front porch will be repaired to match existing conditions and a handrail will be added to match the porch rail. Slate steps to the porch will be added to mimic those found within the neighborhood and the existing concrete walk will be replaced with brick. The detached garage will be removed and a painted wood deck & flagstone patio with landscaping will be installed in the back yard



Capitol Surveys, Inc.

10762 Rhode Island Avenue
 Beltsville, Maryland 20705
 Phone 301 931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 This property lies within Zone C. (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

LOCATION DRAWING
 LOT 8 BLOCK 38
 SECTION No. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

Edward L. Lopez, Jr.
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor No. 622

Recorded in Plat Book 2 Plat 106 Scale 1" = 20'
 CASE: 1653-00 FILE: 65809
 DATE: SEPTEMBER 20, 2000

WOOD CASEMASTER**SPECIFICATIONS**

Frame: Interior: Clear pine or finger jointed core with clear pine veneers. Exterior: Edge-glued or finger jointed pine. Wood parts kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Frame Thickness: 1-3/16 inches (30 mm). Frame Width: 4-9/16 inches (116 mm). Subsill thickness: 15/16 inch (24 mm).

Sash: Clear pine or finger jointed core with clear pine veneers kiln dried to a moisture content no greater than 12 percent at time of fabrication. Water repellent, preservative treated in accordance with ANSI/NWWDA I.S.4. Sash Thickness: 1-3/4 inches (44 mm) for operating units; 1-3/4 inches (44 mm) or 1-29/32 inches (48 mm) for picture units. Corners slot and tenoned.

Finish:

- A. Exterior: [Treated bare wood], [Latex prime coat, White]
- B. Interior: [Treated bare wood] [Latex prime coat, White].

Hardware: Factory installed operating hardware. Roto-gear with high-pressure die-cast zinc operator base. Hardened steel drive worm and gear arms. ABS operator base cover. High-pressure die-cast zinc [crank] [circle] [flip] handle. [Coastal hardware].

- A. Locks: Lever. One concealed lock on units smaller than series 32 height; two concealed tandem sequential locks on series 32 height and taller units.
- B. Hardware Finish: [Electrostatically painted [bronze] [white] baked enamel.] [Plated brass.]

Weatherstripping: Frame weatherstripped on four sides with flexible gaskets. Sash weatherstripped on four sides with combination bulb and leaf-type weatherstrip. Color: Beige.

Jamb Extensions: Available for various wall thicknesses. Factory installed.

Screens: Factory installed. 18 by 16 mesh. Screen cloth: [Charcoal fiberglass] [Charcoal aluminum wire] [Black aluminum wire] [Bright aluminum wire] [Bright bronze wire]. Aluminum frame. Frame Finish: [White] [Bronze].

Removable Grilles: [Diamond: 5/8 inch by 15/32 inch (16 mm by 12 mm)] [3/4 inch by 15/32 inch (19 mm by 12 mm)] [1-1/8 inches by 15/32 inch (29 mm by 12 mm)] pine.

- A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Authentic Divided Lites (ADL): [7/8 inch (22 mm) single glaze pine muntin] [1-11/16 inches (43 mm) insulating glaze pine muntin].

- A. Pattern: [Rectangular] [Diamond] [Custom lite layout].

Simulated Divided Lites (SDL): [7/8 inch (22 mm)] [1-1/8 inches (29 mm)] wide pine bars adhered to glass with double coated acrylic foam tape. [*Internal Spacer].

- A. Pattern: [Rectangular] [Custom lite layout].

Glazing: Select quality complying with ASTM C 1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E774.

A. Glazing Method:

1. Single Glazed
2. Single Glazed with Energy Panel
3. Single Glazed with Authentic Divided Lites
4. Single Glazed with Authentic Divided Lites and Energy Panel
5. Insulating Glass [Altitude Adjusted]
6. Insulating Glass with Authentic Divided Lites [Altitude Adjusted]
7. Insulating Glass with Simulated Divided Lites [Altitude Adjusted]

B. Glass Type:

1. Clear
2. Bronze
3. Gray
4. Solarcool Bronze
5. Low E II
6. Hardcoat Low II (Energy Panels only)
7. Low E II with Argon
8. Tempered
9. Laminated
10. Obscure

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WOOD CASEMASTER



STANDARD GRILLE, AUTHENTIC AND SIMULATED DIVIDED LITES -
 OPERATING / STATIONARY UNITS
 NOT TO SCALE

7/8" SINGLE GLAZE AUTHENTIC DIVIDED LITES
 7/8" SIMULATED DIVIDED LITES
 3/4" GRILLES

1 11/16" INSULATING GLASS AUTHENTIC DIVIDED LITES
 1 1/8" SIMULATED DIVIDED LITES
 1 1/8" GRILLES

| | 1W | 2W | 2W | 3W | 3W | 3W |
|----|------|------|------|------|------|------|
| 2H | | | | | | |
| | 1624 | 2024 | 2424 | 2824 | | |
| 2H | | | | | | |
| | 1632 | 2032 | 2432 | 2832 | 3232 | 3632 |
| 2H | | | | | | |
| | 1636 | 2036 | 2436 | 2836 | 3236 | 3636 |
| 3H | | | | | | |
| | 1640 | 2040 | 2440 | 2840 | 3240 | 3640 |
| 3H | | | | | | |
| | 1648 | 2048 | 2448 | 2848 | 3248 | 3648 |
| 4H | | | | | | |
| | 1656 | 2056 | 2456 | 2856 | 3256 | |
| 4H | | | | | | |
| | 1660 | 2060 | 2460 | 2860 | | |
| 5H | | | | | | |
| | 1664 | 2064 | 2464 | 2864 | | |
| 5H | | | | | | |
| | 1672 | 2072 | 2472 | 2872 | | |

| | 1W | 2W | 2W | 2W | 3W | 3W |
|----|------|------|------|------|------|------|
| 2H | | | | | | |
| | 1624 | 2024 | 2424 | 2824 | | |
| 2H | | | | | | |
| | 1632 | 2032 | 2432 | 2832 | 3232 | 3632 |
| 2H | | | | | | |
| | 1636 | 2036 | 2436 | 2836 | 3236 | 3636 |
| 3H | | | | | | |
| | 1640 | 2040 | 2440 | 2840 | 3240 | 3640 |
| 3H | | | | | | |
| | 1648 | 2048 | 2448 | 2848 | 3248 | 3648 |
| 3H | | | | | | |
| | 1656 | 2056 | 2456 | 2856 | 3256 | |
| 4H | | | | | | |
| | 1660 | 2060 | 2460 | 2860 | | |
| 4H | | | | | | |
| | 1664 | 2064 | 2464 | 2864 | | |
| 4H | | | | | | |
| | 1672 | 2072 | 2472 | 2872 | | |

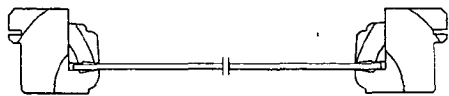
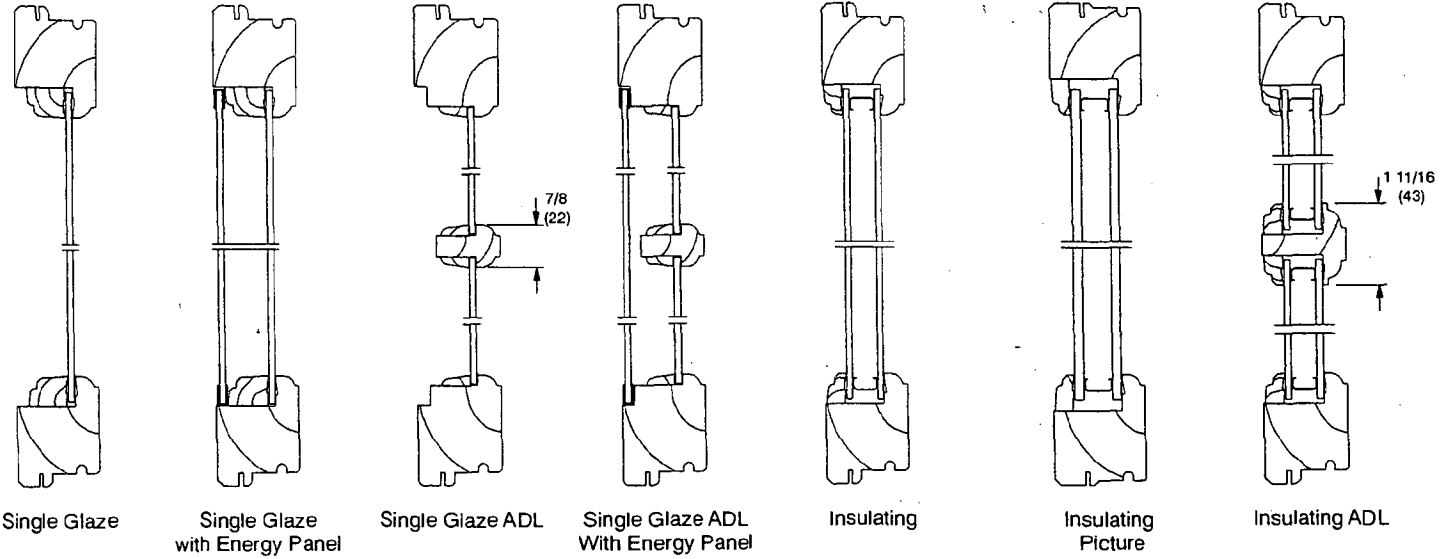
18

WOOD CASEMASTER

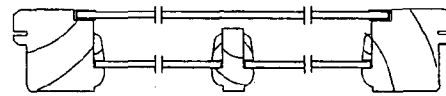


GLAZING OPTIONS

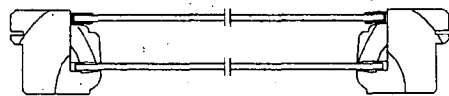
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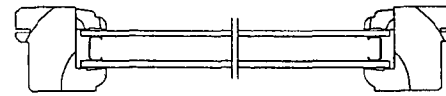
Single Glaze



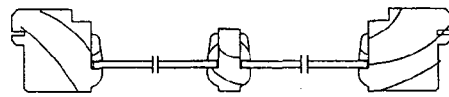
Single Glaze ADL With Energy Panel



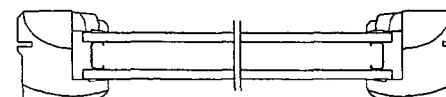
Single Glaze with Energy Panel



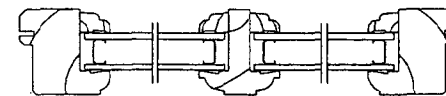
Insulating



Single Glaze ADL



Insulating Picture



Insulating ADL

11

WOOD CASEMASTER

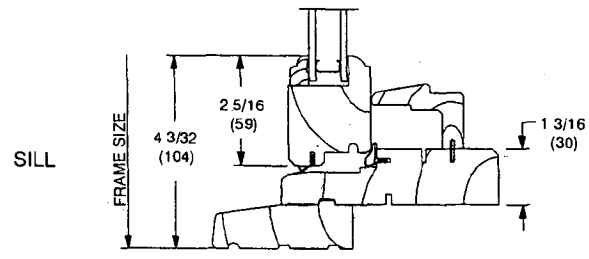
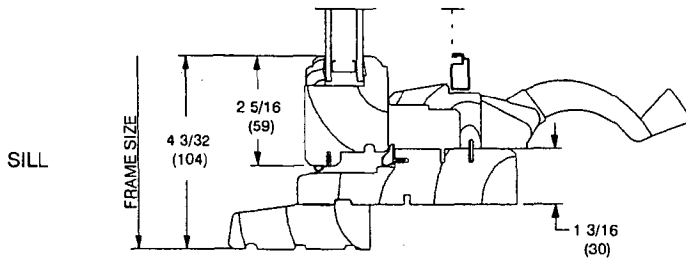
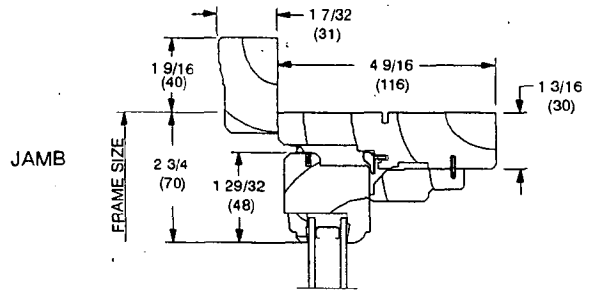
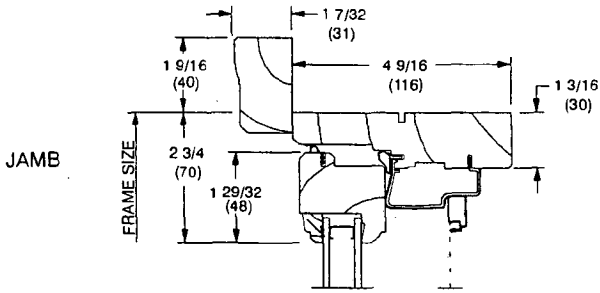
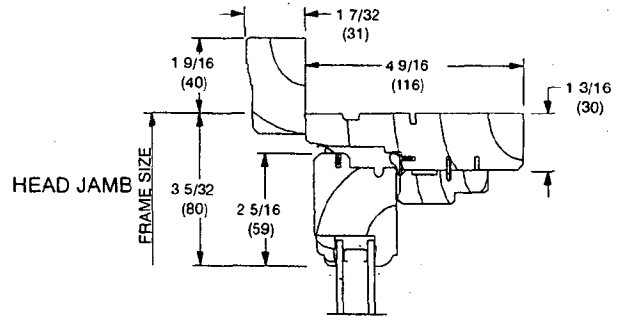
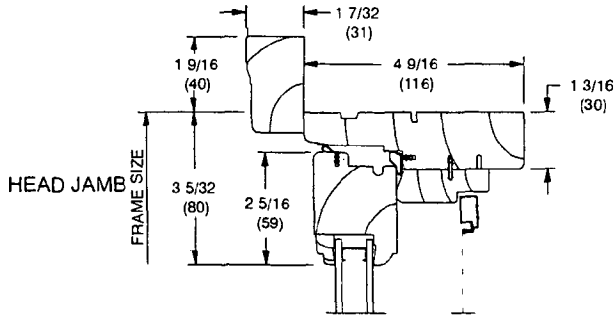


SECTION DETAILS

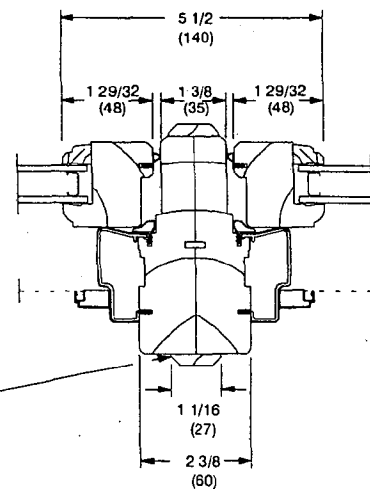
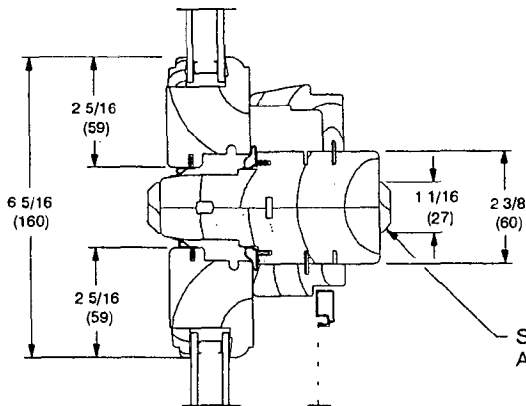
SCALE: 3" = 1' 0"

OPERATING

STATIONARY



MULLIONS



SUPPLIED BY MARVIN
APPLIED BY OTHERS

HORIZONTAL MULLION

VERTICAL MULLION

12

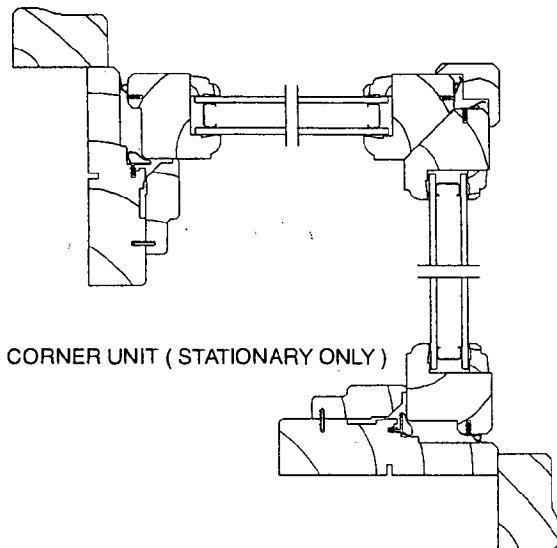
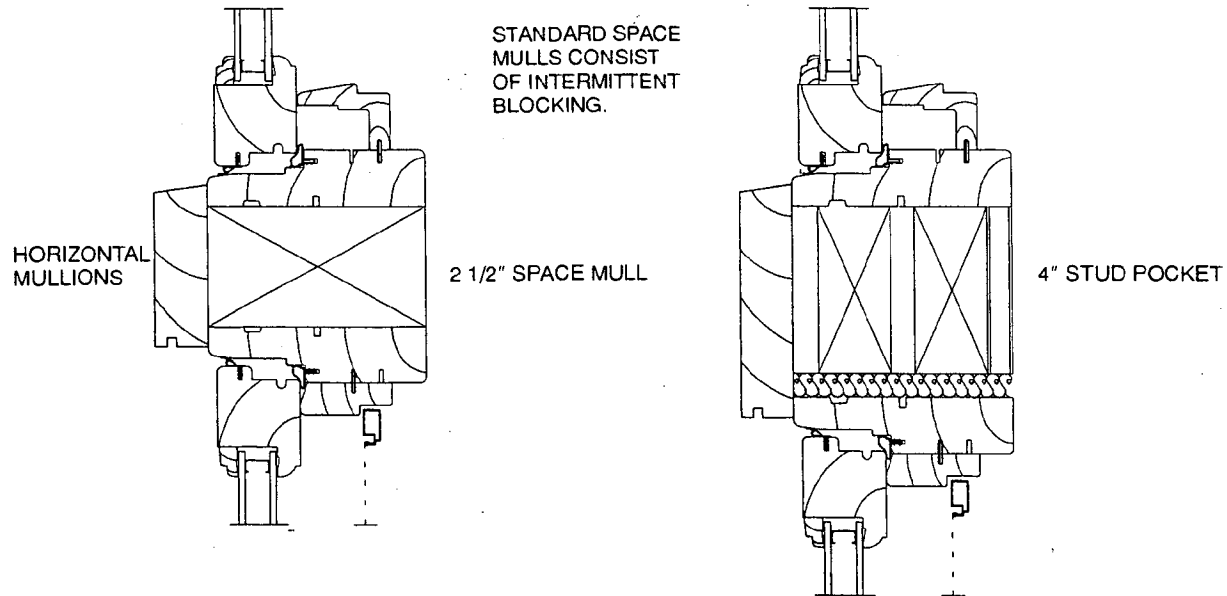
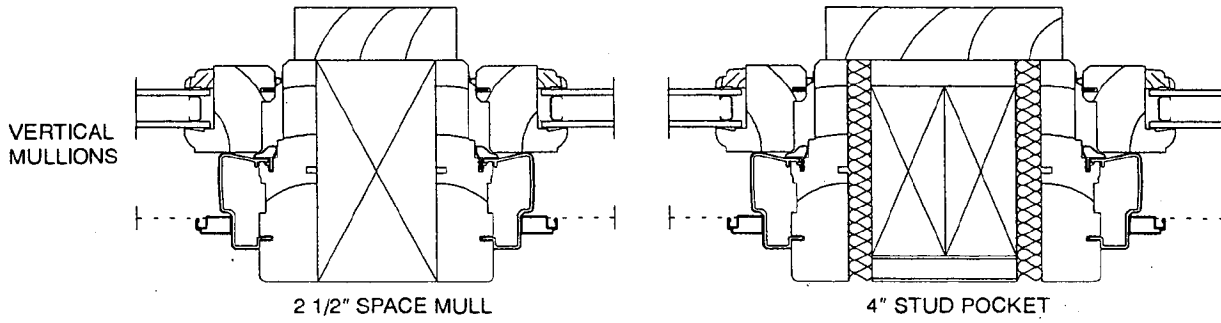
WOOD CASEMASTER



SECTION DETAILS

SCALE: 3" = 1' 0"

MULLIONS



When two or more units are mullled together with a space between and the jamb extension surrounds the entire unit, it is a space mull.

When two or more units are mullled together with a space between and the jamb extension surrounds each unit separately, providing space for a support member between the units, it is a stud pocket.

13

| | | | | | | | | | |
|----------------|----------------------------|-----------|----|------------------|-------------|-------------|--------------|-----------|---------|
| 28 W IRVING ST | COLONIAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 8/8 | SIDE GABLE | ASPHALT | RESIDENCE | |
| 29 W IRVING ST | DUTCH COLONIAL/REGENCY | 1892 1916 | 2 | 2 WOOD CLAPBOARD | TRIPARTITE | GAMBREL | SLATE | RESIDENCE | |
| 10 W IRVING ST | CHAFTSMAN | 1916 27 | 2 | 3 WOOD SHINGLE | 6/6 | FRONT GABLE | SLATE | RESIDENCE | c1920 |
| 31 W IRVING ST | CHAFTSMAN/BUNGALOW | 1892 1916 | 2 | 3 STUCCO | 12/1 | SIDE GABLE | ASPHALT | RESIDENCE | BY 1909 |
| 32 W IRVING ST | COLONIAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 8/8 | SIDE GABLE | SLATE | RESIDENCE | c1920 |
| 33 W IRVING ST | CRAFTSMAN/ SQ | 1892-1916 | 2 | 3 WOOD SHINGLE | CASEMENT | PYRAMIDAL | ASPHALT | RESIDENCE | BY 1912 |
| 35 W IRVING ST | COLONIAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 8/8 | SIDE GABLE | SLATE | RESIDENCE | |
| 37 W IRVING ST | COLONIAL REVIVAL | 1916 27 | 2 | 3 STUCCO | 6/6 | GAMBREL | SLATE | RESIDENCE | |
| 1 E KIRKE ST | DUTCH COLONIAL | 1916 27 | 1 | 3 WOOD CLAPBOARD | 8/8 | GAMBREL | SLATE | RESIDENCE | c1920 |
| 2 E KIRKE ST | COLONIAL REVIVAL | 1927 41 | NC | 3 BRICK | 8/8 | SIDE GABLE | SLATE | RESIDENCE | |
| 3 E KIRKE ST | MEDITERRANEAN REVIVAL | 1892 1916 | 2 | 3 STUCCO | 9/1 | SIMPLE HIP | PANTILE | RESIDENCE | |
| 4 E KIRKE ST | COLONIAL REVIVAL | 1927 41 | NC | 3 BRICK | 8/8 | SIDE GABLE | SLATE | RESIDENCE | |
| 5 E KIRKE ST | COLONIAL REVIVAL | 1892-1916 | 2 | 3 WOOD SHINGLE | 6/1 | SIDE GABLE | ASPHALT | RESIDENCE | BY 1912 |
| 6 E KIRKE ST | CRAFTSMAN | 1892 1916 | 2 | 3 STUCCO | 16/1 | SIDE GABLE | SLATE | RESIDENCE | c1911 |
| 7 E KIRKE ST | COLONIAL REVIVAL | 1941-96 | NC | 3 WOOD CLAPBOARD | 6/9 | SIDE GABLE | ASPHALT | RESIDENCE | |
| 8 E KIRKE ST | COLONIAL REVIVAL | 1892 1916 | 2 | 3 WOOD CLAPBOARD | 7/1 | PYRAMIDAL | SLATE | RESIDENCE | c1893 |
| 10 E KIRKE ST | COLONIAL REVIVAL | 1892-1916 | 1 | 3 WOOD CLAPBOARD | 6/1 | SIMPLE HIP | SLATE | RESIDENCE | c1894 |
| 11 E KIRKE ST | MODERN | 1941 96 | NC | 2 BRICK | 6/6 | FRONT GABLE | ASPHALT | RESIDENCE | |
| 101 E KIRKE ST | COLONIAL REVIVAL | 1892-1916 | 1 | 3 WOOD CLAPBOARD | 6/6 | SIDE GABLE | ASPHALT | RESIDENCE | 1899 |
| 102 E KIRKE ST | CLASSICAL REVIVAL | 1892-1916 | 1 | 3 STUCCO | 3/1 | SIDE GABLE | ASPHALT | RESIDENCE | BY 1910 |
| 4 W KIRKE ST | TUDOR REVIVAL | 1892-1916 | 2 | 3 STONE | CASEMENT | FRONT GABLE | ASPHALT | RESIDENCE | c1895 |
| 6 W KIRKE ST | TUDOR REVIVAL | 1892-1916 | 2 | 3 STONE | 1/1 | FRONT GABLE | WOOD SHINGLE | RESIDENCE | c1895 |
| 7 W KIRKE ST | COLONIAL REVIVAL | 1892 1916 | 2 | 3 WOOD CLAPBOARD | 1/1 | CROSS GABLE | SLATE | RESIDENCE | BY 1912 |
| 8 W KIRKE ST | COLONIAL REVIVAL | 1892 1916 | NC | 2 ALUMINUM VINYL | 1/1 | SIMPLE HIP | ASPHALT | RESIDENCE | BY 1912 |
| 10 W KIRKE ST | COLONIAL REVIVAL | 1892 1916 | NC | 3 WOOD CLAPBOARD | 1/1 | PYRAMIDAL | ASPHALT | RESIDENCE | |
| 11 W KIRKE ST | COLONIAL REVIVAL | 1892 1916 | 1 | 3 WOOD CLAPBOARD | 6/6 | SIMPLE HIP | SLATE | RESIDENCE | c1894 |
| 12 W KIRKE ST | COLONIAL REVIVAL/ELECTIC | 1892 1916 | 1 | 3 WOOD CLAPBOARD | 1/1 | CROSS GABLE | SLATE | RESIDENCE | c1898 |
| 14 W KIRKE ST | QUEEN ANNE | 1892 1916 | 1 | 3 WOOD CLAPBOARD | 1/1 | CROSS GABLE | ASPHALT | RESIDENCE | c1894 |
| 15 W KIRKE ST | DUTCH COLONIAL | 1892 1916 | 2 | 3 STUCCO | CASE DOOR | GAMBREL | ASPHALT | RESIDENCE | BY 1912 |
| 16 W KIRKE ST | CLASSICAL REVIVAL | 1892-1916 | 2 | 3 STUCCO | 6/2 | SIMPLE HIP | SLATE | RESIDENCE | c1895 |
| 17 W KIRKE ST | CRAFTSMAN | 1892-1916 | 2 | 3 WOOD SHINGLE | 6/1 | SIDE GABLE | ASPHALT | RESIDENCE | c1915 |
| 18 W KIRKE ST | MODERN NEO COLONIAL | 1941-96 | NC | 3 BRICK | 8/8 | SIDE GABLE | ASPHALT | RESIDENCE | c1963 |
| 19 W KIRKE ST | COLONIAL REVIVAL | 1892-1916 | 2 | 3 WOOD CLAPBOARD | 1/1 | PYRAMIDAL | ASPHALT | RESIDENCE | 1913 |
| 20 W KIRKE ST | BUNGALOW | 1916 27 | 2 | 2 WOOD CLAPBOARD | 6/6 | SIDE GABLE | ASPHALT | RESIDENCE | |
| 21 W KIRKE ST | COLONIAL REVIVAL | 1941-96 | NC | 2 WOOD CLAPBOARD | 1 BAY | SIDE GABLE | SLATE | RESIDENCE | |
| 24 W KIRKE ST | CRAFTSMAN | 1892 1916 | 2 | 2 WOOD SHINGLE | 8/8 | FRONT GABLE | ASPHALT | RESIDENCE | |
| 25 W KIRKE ST | TUDOR REVIVAL | 1916 27 | 1 | 3 STONE | 9/9 | CROSS GABLE | SLATE | RESIDENCE | |
| 26 W KIRKE ST | CRAFTSMAN | 1892-1916 | 2 | 3 STUCCO | 9/1 | FRONT GABLE | SLATE | RESIDENCE | |
| 27 W KIRKE ST | CLASSICAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 6/6 | SIDE GABLE | SLATE | RESIDENCE | c1919 |
| 28 W KIRKE ST | COLONIAL/ SQ | 1892 1916 | NC | 3 ALUM VINYL | 8/1 MOD | PYRAMIDAL | ASPHALT | RESIDENCE | |
| 29 W KIRKE ST | CRAFTSMAN/ SQ | 1892-1916 | 1 | 3 STUCCO | 1/1 PATTERN | SIMPLE HIP | ASPHALT | RESIDENCE | |
| 30 W KIRKE ST | COLONIAL REVIVAL | 1927-41 | 2 | 3 ALUM VINYL | 12/12 | SIDE GABLE | ASPHALT | RESIDENCE | |
| 31 W KIRKE ST | CRAFTSMAN | 1892 1916 | 2 | 3 STUCCO | 9/1 | SIDE GABLE | SLATE | RESIDENCE | |
| 32 W KIRKE ST | COLONIAL REVIVAL/CRAFTSMAN | 1892 1916 | 2 | 3 STUCCO | 6/1 | SIDE GABLE | SLATE | RESIDENCE | |
| 33 W KIRKE ST | COLONIAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 6/6 | SIDE GABLE | SLATE | RESIDENCE | |
| 34 W KIRKE ST | BUNGALOW | 1892-1916 | 2 | 2 BRICK | FIXED | SIDE GABLE | ASPHALT | RESIDENCE | c1915 |
| 10 LAUREL PKWY | CRAFTSMAN | 1892 1916 | 1 | 3 STONE | 1/1 | SIMPLE HIP | ASPHALT | RESIDENCE | c1896 |
| 10 LAUREL PKWY | MODERN SPLIT LEVEL | 1941-96 | NC | 3 WOOD CLAPBOARD | 8/8 | CROSS GABLE | ASPHALT | RESIDENCE | |
| 1 E LENOX ST | DUTCH COLONIAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 6/6 | GAMBREL | SLATE | RESIDENCE | |
| 3 E LENOX ST | CLASSICAL REVIVAL | 1892-1916 | 1 | 2 WOOD CLAPBOARD | 6/6 | CROSS GABLE | ASPHALT | RESIDENCE | BY 1894 |
| 4 E LENOX ST | MODERN NEO COLONIAL | 1941 96 | NC | 3 BRICK | 8/8 | SIDE GABLE | SLATE | RESIDENCE | |
| 6 E LENOX ST | SHINGLE | 1892 1916 | 2 | 3 WOOD CLAPBOARD | CASEMENT | SIMPLE HIP | ASPHALT | RESIDENCE | c1896 |
| 8 E LENOX ST | SHINGLE | 1892-1916 | 2 | 3 WOOD CLAPBOARD | 9/1 | FRONT GABLE | ASPHALT | RESIDENCE | BY 1912 |
| 9 E LENOX ST | CRAFTSMAN | 1892-1916 | 1 | 3 WOOD CLAPBOARD | 7/2 | SIMPLE HIP | SLATE | RESIDENCE | c1891 |
| 10 E LENOX ST | COLONIAL REVIVAL | 1892 1916 | 1 | 3 WOOD CLAPBOARD | 6/1 | SIDE GABLE | SLATE | RESIDENCE | |
| 11 E LENOX ST | COLONIAL REVIVAL | 1892-1916 | 2 | 3 ALUMINUM VINYL | 6/1 | SIDE GABLE | ASPHALT | RESIDENCE | |
| 12 E LENOX ST | COLONIAL REVIVAL | 1892 1916 | 2 | 3 WOOD CLAPBOARD | 1/1 CUSTOM | SIMPLE HIP | ASPHALT | RESIDENCE | c1899 |
| 15 E LENOX ST | COLONIAL REVIVAL/ELECTIC | 1892 1916 | 2 | 3 WOOD SHINGLE | 1/1 | CROSS HIP | SLATE | RESIDENCE | BY 1904 |
| 100 E LENOX ST | MODERN CAPE COD | 1941 96 | NC | 2 BRICK/ALUM VIN | 6-6 | SIDE GABLE | SLATE | RESIDENCE | |
| 101 E LENOX ST | COLONIAL REVIVAL | 1892 1916 | 2 | 2 STUCCO | 9/1 | SIDE GABLE | SLATE | RESIDENCE | BY 1912 |
| 102 E LENOX ST | COLONIAL REVIVAL | 1916 27 | 2 | 2 WOOD CLAPBOARD | 6/6 | SIDE GABLE | ASPHALT | RESIDENCE | BY 1912 |

BOSS & PHELPS HOUSE

STAN 1920

4 SQ FORM
OUTBG-NC
OUTBG-C; SIMILAR TO J E IRVING
ROBERT CORBY HOUSE

BIRNEY HOUSE
ROBERTSON MEMOIR

JOHN L. WEAVER HOUSE
OUTBG-C/GATE

FREE CLASSIC ECLECTIC

OUTBG C/GATE, ROBERTSON, REMODELED c1816
DEEDS
OUTBG-C: COTTAGE 2, OFFUTT, ROBERTSON
CCHS#384
WRAP PORCH REMOVED

OUTBG-NC; ORIGINAL CONTRACT
OUTBG-C

OUTBG-C; PAUL SLEMAN HOUSE
FORMER LAB CONVERTED
LOST INTEGRITY
HIGH ARCHITECTURAL INTEGRITY
OUTBG-C

EAST ADD W/ BASE GAR
OUTBG-C
ATTACHED GARAGE
OUTBG-C

S ADD PORCH ALTER
GARAGE BUILT IN BASEMENT
OUTBG-C

CCHS#380 C1094
OUTBG-NC

OUTBG-C
OUTBG-C

D S PORTER HOUSE
CCHS#703 C1904

CCHS#1492 C1915
OUTBG-C; CCHS#43 #753

FENCE
FENCE

Real Property Search - Individual Report

| | |
|---|----------------------------|
|  Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back |
| | New Search |

Account Identifier: District - 07 Account Number - 00457600

Owner Information

| | | | |
|-------------------------|--|-----------------------------|----------------------|
| Owner Name: | MUCKENFUSS, CANTWELL F 3RD & | Use: | RESIDENTIAL |
| | | Principal Residence: | YES |
| Mailing Address: | A ANGELA LANCASTER
17 WEST KIRKE ST
CHEVY CHASE MD 20815 | Deed Reference: | 1) / 9735/ 186
2) |

Location & Structure Information

| | | |
|------------------------------------|---------------|---------------------------------|
| Premises Address | Zoning | Legal Description |
| 17 W KIRKE ST
CHEVY CHASE 20815 | R80 | LTS 6 & 7 CHEVY CHAS
E SEC 2 |

| | | | | | | | | |
|------------|-------------|---------------|--------------------|----------------|--------------|------------|--------------|-----------------|
| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plot No: |
| HN41 | | | 9 | | 38 | P5 | 81 | Plot Ref: |

| | | | |
|--------------------------|---------------------|-------------------|------------------|
| Special Tax Areas | Town | Ad Valorem | Tax Class |
| | CHEVY CHASE VILLAGE | | 19 |

| | | | |
|--------------------------------|----------------------|---------------------------|-------------------|
| Primary Structure Built | Enclosed Area | Property Land Area | County Use |
| 1933 | 5,457 SF | 15,150.00 SF | 111 |

| | | | |
|----------------|-----------------|---------------|-----------------|
| Stories | Basement | Type | Exterior |
| 2 1/2 | YES | STANDARD UNIT | FRAME |

Value Information

| | | | | |
|---------------------------|-------------------|--------------------|-----------------------------|--------------|
| | Base Value | Value As Of | Phase-In Assessments | |
| | | | As Of | As Of |
| | | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Land: | 294,150 | 384,150 | | |
| Improvements: | 1,131,580 | 1,235,450 | | |
| Total: | 1,425,730 | 1,619,600 | 1,425,730 | 1,490,353 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|----------------------|---------------|---------------|
| Seller: | Date: | Price: |
| IMPROVED ARMS-LENGTH | 05/03/1991 | \$945,000 |
| Type: | Deed1: | Deed2: |
| | / 9735/ 186 | |


Exemption Information

| | | | |
|-----------------------------------|-------------|-------------------|-------------------|
| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO **Special Tax Receipts:**
Exempt Class: * NONE *

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Real Property Search - Individual Report

| | |
|---|------------|
|  Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back |
| | New Search |

Account Identifier: District - 07 Account Number - 00458546

Owner Information

| | | | |
|------------------|--|----------------------|---------------------|
| Owner Name: | WEST, MILLARD F ET AL TR | Use: | RESIDENTIAL |
| | | Principal Residence: | YES |
| Mailing Address: | 18 WEST KIRKE ST
CHEVY CHASE MD 20815 | Deed Reference: | 1) /13847/ 29
2) |

Location & Structure Information

| | | |
|------------------------------------|--------|-------------------|
| Premises Address | Zoning | Legal Description |
| 18 W KIRKE ST
CHEVY CHASE 20815 | R60 | SEC 2 CHEVY CHASE |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: | 6574 |
|-------------------------|----------|---------------|---------------|---------------------|-------|------------|-------|-----------|------|
| HN41 | | | 9 | | 33 | 23 | 81 | Plat Ref: | |
| Special Tax Areas | | | Town | CHEVY CHASE VILLAGE | | | | | |
| | | | Ad Valorem | | | | | | |
| | | | Tax Class | 19 | | | | | |
| Primary Structure Built | | Enclosed Area | | Property Land Area | | County Use | | | |
| 1962 | | 4,320 SF | | 11,750.00 SF | | 111 | | | |
| Stories | Basement | | Type | | | Exterior | | | |
| 2 | YES | | STANDARD UNIT | | | BRICK | | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|--------------------|------------|-------------|----------------------|------------|
| | | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Land: | 290,750 | 380,750 | | |
| Improvements: | 913,460 | 984,180 | | |
| Total: | 1,204,210 | 1,364,930 | 1,204,210 | 1,257,783 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | | | | |
|---------|-------------------------|--------|-------------|--------|-----------|
| Seller: | MILLARD F WEST ET AL | Date: | 12/29/1995 | Price: | \$0 |
| Type: | NOT ARMS-LENGTH | Deed1: | /13847/ 29 | Deed2: | |
| Seller: | MILLARD F JR & D T WEST | Date: | 02/10/1995 | Price: | \$0 |
| Type: | NOT ARMS-LENGTH | Deed1: | /13252/ 300 | Deed2: | |
| Seller: | | Date: | 12/10/1968 | Price: | \$175,000 |
| Type: | IMPROVED ARMS-LENGTH | Deed1: | / 3815/ 475 | Deed2: | |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO Special Tax Recapture: * NONE *

16

Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back
New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00456480

Owner Information

| | |
|---|--|
| Owner Name: MACDONALD, ALASTER & J R

Mailing Address: 21 WEST KIRKE ST
CHEVY CHASE MD 20815 | Use: RESIDENTIAL
Principal Residence: YES

Deed Reference: 1) / 4438/ 38
2) |
|---|--|

Location & Structure Information

| | | |
|---|----------------------|---|
| Premises Address
21 W KIRKE ST
CHEVY CHASE 20815 | Zoning
R60 | Legal Description
SEC 2 CHEVY CHASE |
|---|----------------------|---|

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: |
|--------------------------------|-----------------|--------|----------------------------------|----------------------------|-------|-------------------|-------|-----------|
| HN41 | | | 9 | | 38 | 9 | 81 | Plat Ref: |
| Special Tax Areas | | | Town Ad Valorem Tax Class | CHEVY CHASE VILLAGE | | | | |
| | | | | 19 | | | | |
| Primary Structure Built | | | Enclosed Area | Property Land Area | | County Use | | |
| 1928 | | | 2,900 SF | 7,500.00 SF | | 111 | | |
| Stories | Basement | | Type | | | Exterior | | |
| 2 | YES | | STANDARD UNIT | | | BRICK | | |

Value Information

| | Base Value | Value As Of 01/01/2002 | Phase-In Assessments | |
|--------------------|----------------|------------------------|----------------------|------------------|
| | | | As Of 07/01/2001 | As Of 07/01/2002 |
| Land: | 279,000 | 389,000 | | |
| Improvements: | 377,350 | 416,740 | | |
| Total: | 656,350 | 785,740 | 658,350 | 699,480 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|-------------------------------------|--------------------------|-------------------------|
| Seller: IMPROVED ARMS-LENGTH | Date: 09/18/1973 | Price: \$105,000 |
| Type: | Deed1: / 4438/ 38 | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:
* NONE *

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Real Property Search - Individual Report



Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

[Go Back](#)

[New Search](#)

Account Identifier: District - 07 Account Number - 03136430

Owner Information

Owner Name: AGHAJANIAN, NISHAN C &
AMANDA M WEATHERSBY Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 14 W LENOX ST
CHEVY CHASE MD 20815-4209 Deed Reference: 1) /18818/ 54
2)

Location & Structure Information

Premises Address: 14 W LENOX ST
CHEVY CHASE 20815-4209 Zoning: R60 Legal Description: CHEVY CHASE SEC 2

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plat No: | 20017 |
|-------------------------|------|----------|---------------|---------------------|-------|-----------------|-------|-----------|-------|
| HN41 | | | 9 | | 38 | 20 | 81 | Plat Ref: | |
| Special Tax Areas | | | Town | CHEVY CHASE VILLAGE | | | | | |
| | | | Ad Valorem | | | | | | |
| | | | Tax Class | 19 | | | | | |
| Primary Structure Built | | | Enclosed Area | Property Land Area | | County Use | | | |
| 1997 | | | 4,233 SF | 7,500.00 SF | | 111 | | | |
| Stories | | Basement | | Type | | Exterior | | | |
| 2 1/2 | | YES | | STANDARD UNIT | | 1/2 BRICK FRAME | | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|--------------------|------------|-------------|----------------------|------------|
| | | | As Of | As Of |
| Land: | 279,000 | 369,000 | 07/01/2001 | 07/01/2002 |
| Improvements: | 991,230 | 1,094,440 | | |
| Total: | 1,270,230 | 1,463,440 | 1,270,230 | 1,334,633 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

Seller: WRIGHT, JULIA &
Type: IMPROVED ARMS-LENGTH Date: 02/26/2001 Price: \$1,450,000
Deed1: /18818/ 54 Deed2:
Seller: Date: Price:
Type: Deed1: Deed2:
Seller: Date: Price:
Type: Deed1: Deed2:

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

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Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back

New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00456571

Owner Information

| | |
|---|---|
| Owner Name: FLYER, MICHAEL R TR

Mailing Address: 8 WEST LENOX ST
CHEVY CHASE MD 20815 | Use: RESIDENTIAL
Principal Residence: YES

Deed Reference: 1) /10915/ 255
2) |
|---|---|

Location & Structure Information

| | | |
|--|----------------------|--|
| Premises Address
8 W LENOX ST
CHEVY CHASE 20815 | Zoning
R60 | Legal Description
LT 16&17 PTS 14& 18
SEC 2 CHEVY CHASE |
|--|----------------------|--|

| | | | | | | | | |
|------------|-------------|---------------|--------------------|----------------|--------------|------------|--------------|-----------------|
| Map | Grid | Parcel | subdivision | Section | Block | Lot | Group | Plat No: |
| HN41 | | | 9 | | 38 | 15 | 81 | Plat Ref: |

| | | |
|-------------------------|--|--------------------------------------|
| Special Tax Area | Town
Ad Valorem
Tax Class | CHEVY CHASE VILLAGE

19 |
|-------------------------|--|--------------------------------------|

| | | | |
|--|----------------------------------|---|--------------------------|
| Primary Structure Built
1903 | Enclosed Area
5,835 SF | Property Land Area
29,625.00 SF | County Use
111 |
|--|----------------------------------|---|--------------------------|

| | | | |
|---------------------|------------------------|------------------------------|--------------------------|
| Stories
2 | Basement
YES | Type
STANDARD UNIT | Exterior
FRAME |
|---------------------|------------------------|------------------------------|--------------------------|

Value Information

| | Base Value | Phase-In Assessments | | |
|--------------------|------------------|------------------------|------------------|------------------|
| | | Value As Of 01/01/2002 | As Of 07/01/2001 | As Of 07/01/2002 |
| Land: | 308,620 | 398,620 | | |
| Improvements: | 1,657,380 | 1,787,200 | | |
| Total: | 1,965,980 | 2,185,820 | 1,965,980 | 2,039,260 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|-----------------------------------|---------------------------|---------------------------|
| Seller: | Date: 12/09/1992 | Price: \$1,600,000 |
| Type: IMPROVED ARMS-LENGTH | Deed1: /10915/ 255 | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |

Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

19

Real Property Search - Individual Report

| | |
|--|---|
| Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search | Go Back

New Search |
|--|---|

Account Identifier: District - 07 Account Number - 00454787

Owner Information

| | | | |
|-------------------------|--|-----------------------------|----------------------|
| Owner Name: | MALLORY, CHARLES K 3RD & F M | Use: | RESIDENTIAL |
| | | Principal Residence: | YES |
| Mailing Address: | 17 MAGNOLIA PKWY
CHEVY CHASE MD 20815 | Deed Reference: | 1) / 9002/ 314
2) |

Location & Structure Information

| | | |
|--------------------------------------|---------------|--------------------------|
| Premises Address | Zoning | Legal Description |
| 17 MAGNOLIA PKW
CHEVY CHASE 20815 | R80 | SEC 2 CHEVY CHASE |

| Map | Grid | Parcel | Subdivision | Section | Block | Lot | Group | Plot No: |
|--------------------------------|-----------------|--------|----------------------|---------------------|---------------------------|-----------------|-------------------|-----------|
| HN41 | | | 9 | | 33 | P11 | 81 | Plot Ref: |
| | | | Town | CHEVY CHASE VILLAGE | | | | |
| | | | Ad Valorem | | | | | |
| | | | Tax Class | 19 | | | | |
| Primary Structure Built | | | Enclosed Area | | Property Land Area | | County Use | |
| 1924 | | | 1,934 SF | | 11,459.00 SF | | 111 | |
| Stories | Basement | | Type | | | Exterior | | |
| 1 1/2 | YES | | STANDARD UNIT | | | STONE | | |

Value Information

| | Base Value | Value As Of | Phase-In Assessments | |
|--------------------|----------------|----------------|----------------------|----------------|
| | | | As Of | As Of |
| Land: | 290,450 | 01/01/2002 | 07/01/2001 | 07/01/2002 |
| Improvements: | 303,570 | 337,030 | | |
| Total: | 594,020 | 717,480 | 594,020 | 635,173 |
| Preferential Land: | 0 | 0 | 0 | 0 |

Transfer Information

| | | |
|----------------------------|---------------|---------------|
| Seller: | Date: | Price: |
| Type: IMPROVED ARMS-LENGTH | 09/21/1989 | \$650,000 |
| | Deed1: | Deed2: |
| | / 9002/ 314 | |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |
| Seller: | Date: | Price: |
| Type: | Deed1: | Deed2: |

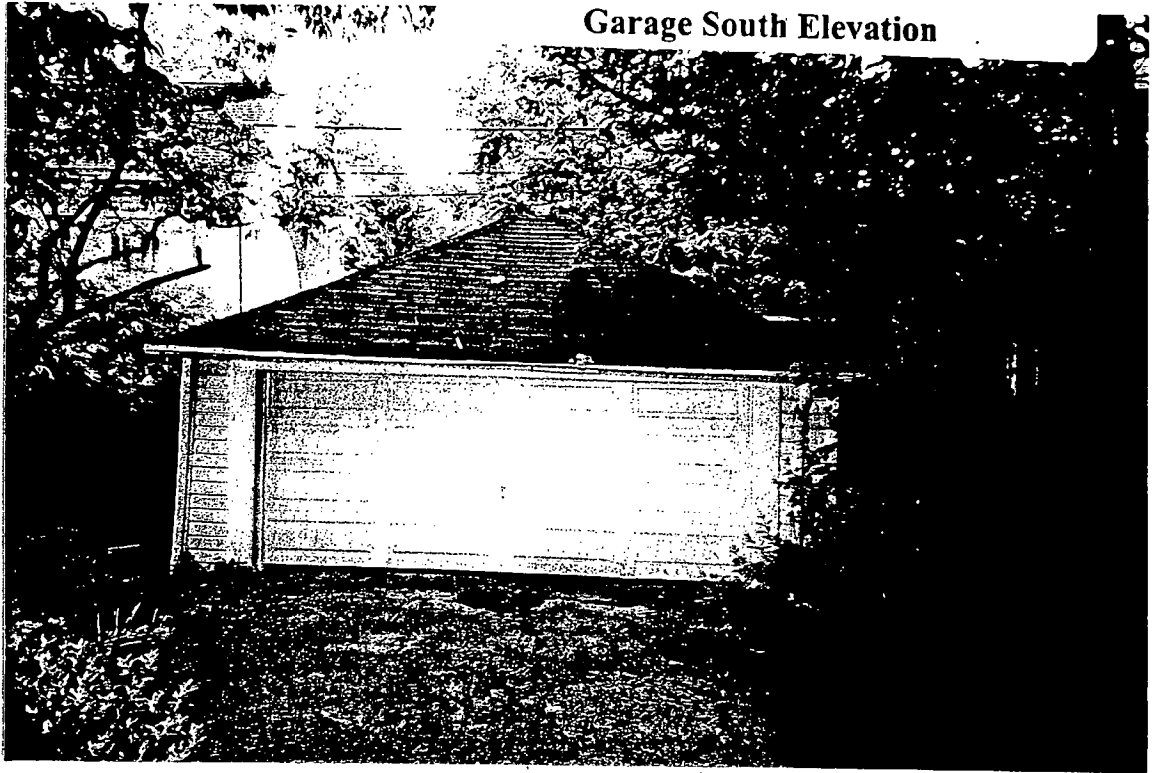
Exemption Information

| Partial Exempt Assessments | Code | 07/01/2001 | 07/01/2002 |
|----------------------------|------|------------|------------|
| County | 000 | 0 | 0 |
| State | 000 | 0 | 0 |
| Municipal | 000 | 0 | 0 |

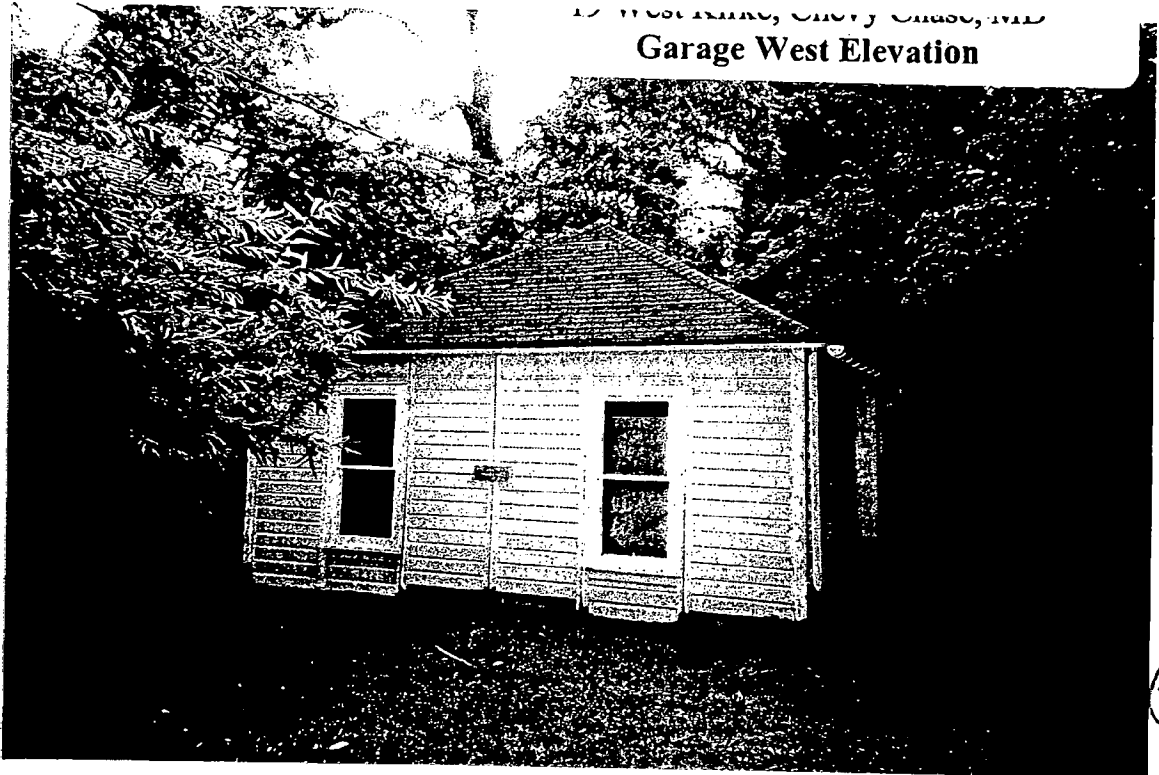
Tax Exempt: NO **Special Tax Recapture:**
Exempt Class: * NONE *

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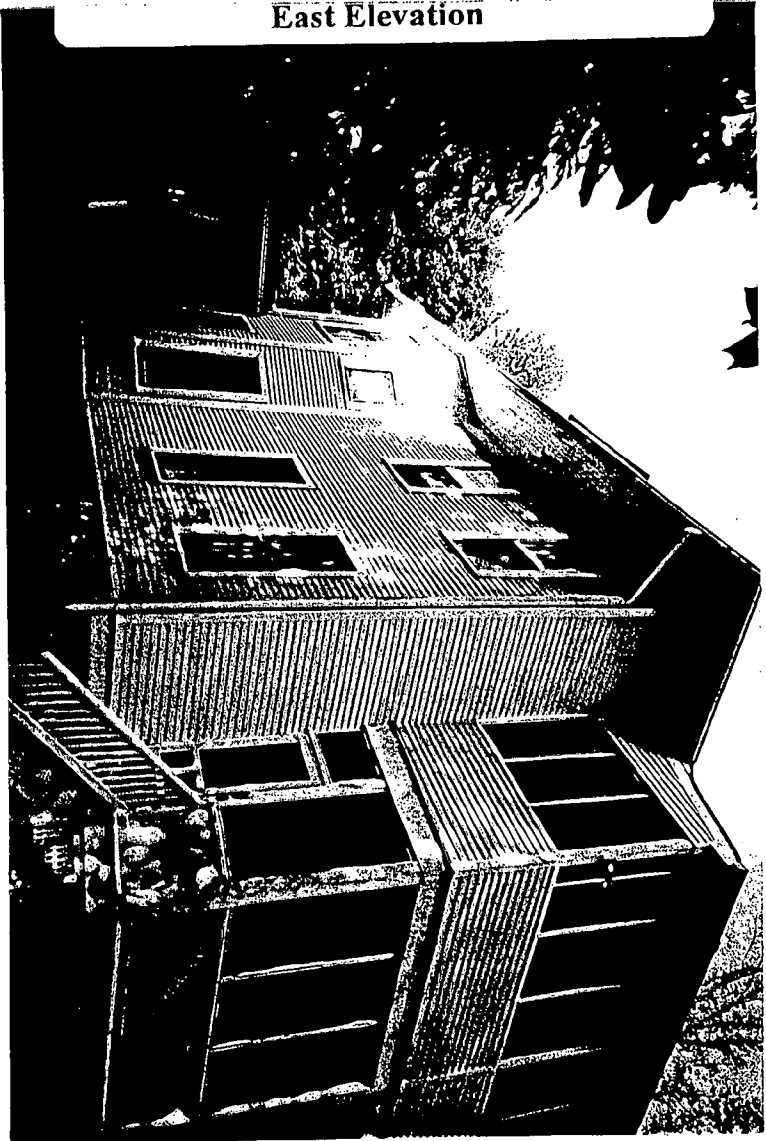
Garage South Elevation



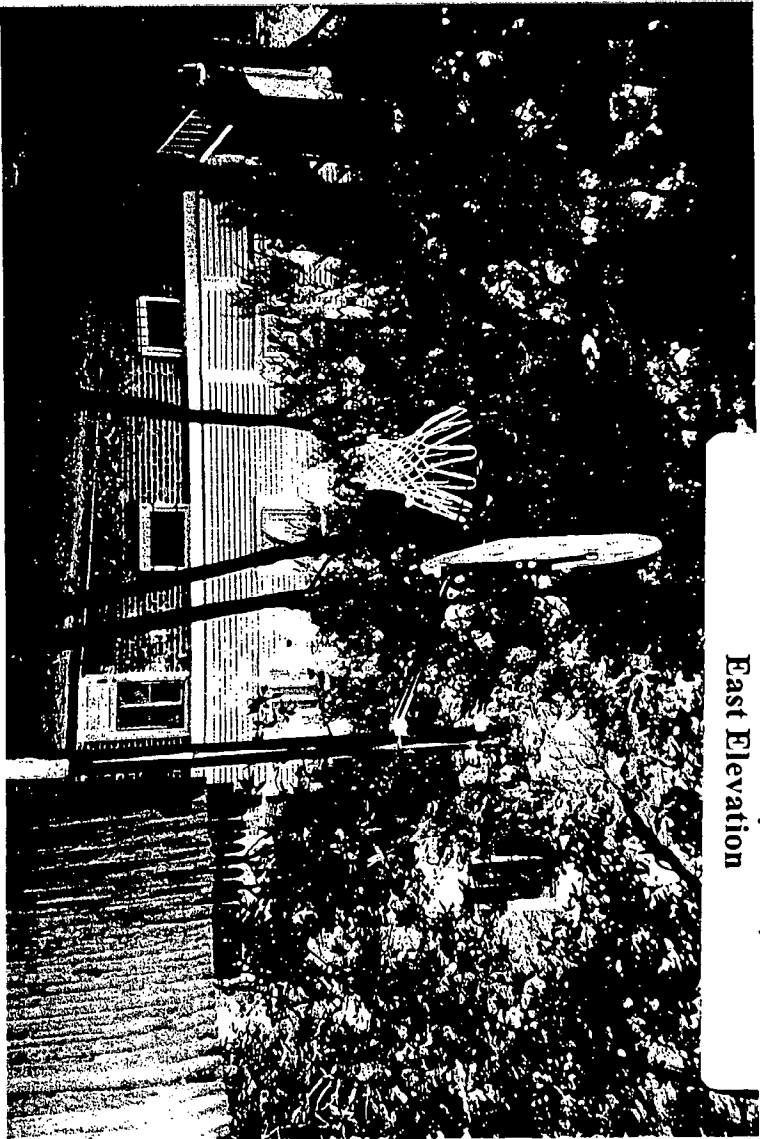
12 West Kirk, Chevy Chase, MD
Garage West Elevation



East Elevation



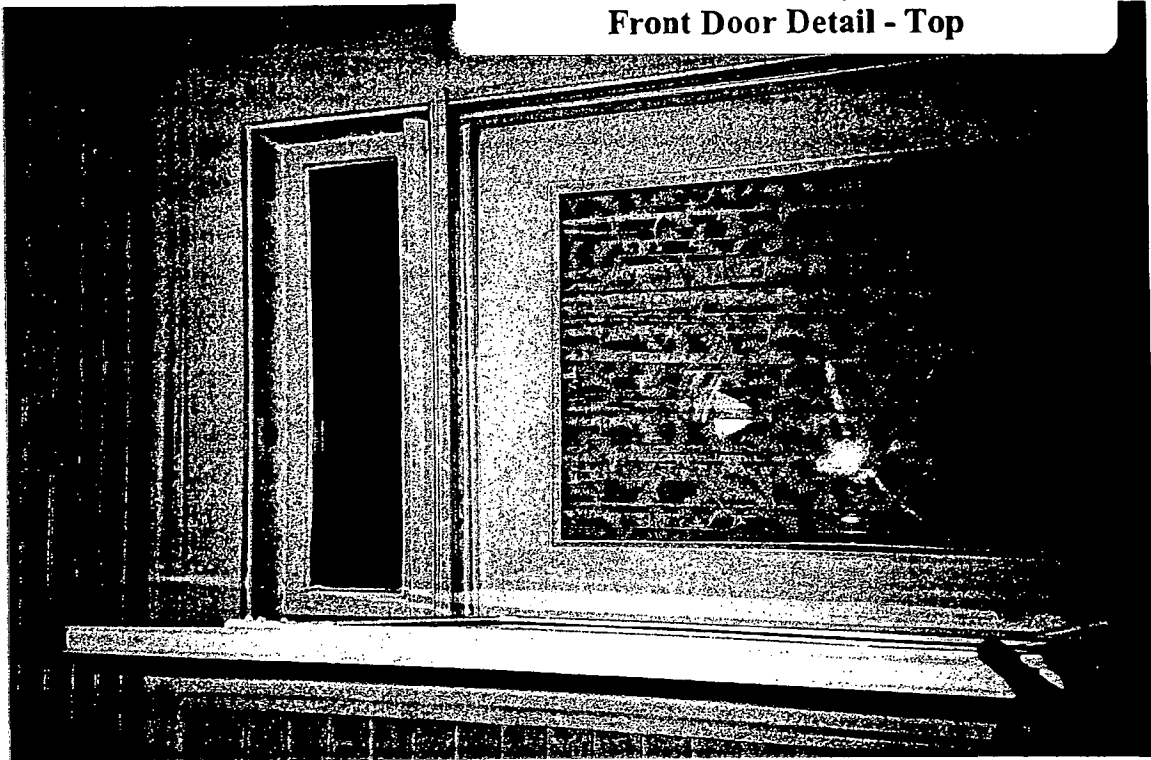
East Elevation



Front Door Detail



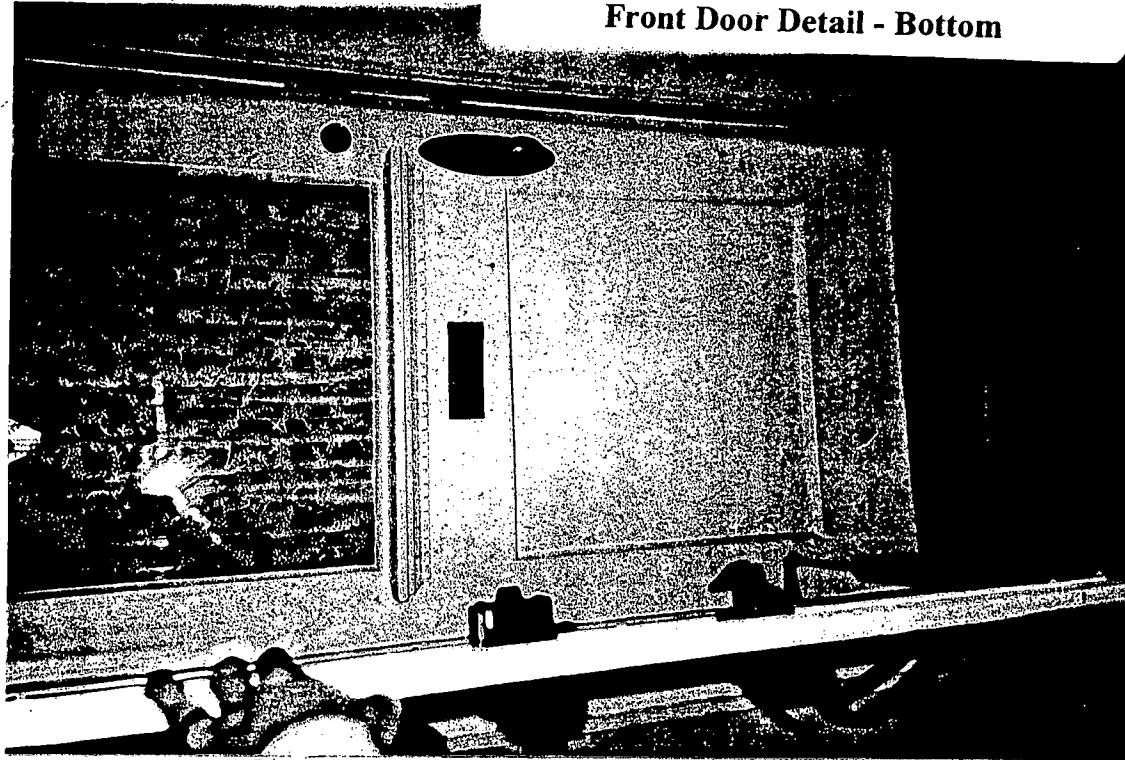
Front Door Detail - Top



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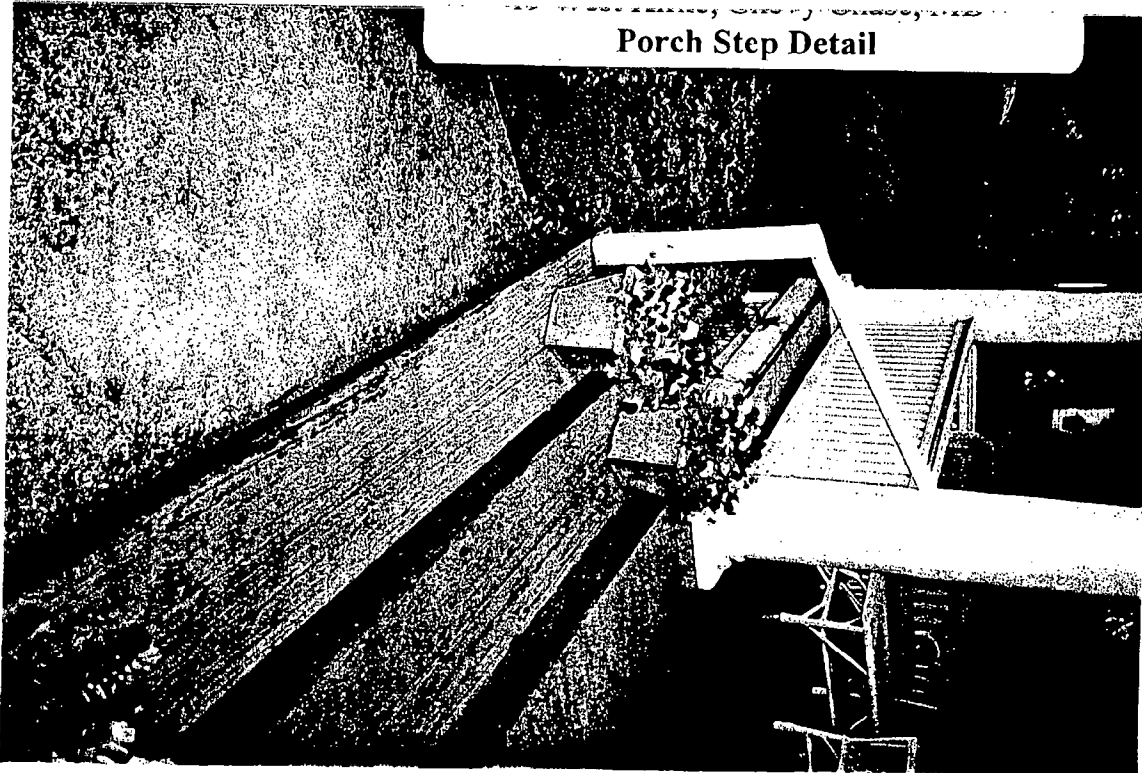
24

Front Door Detail - Bottom





Front Walk



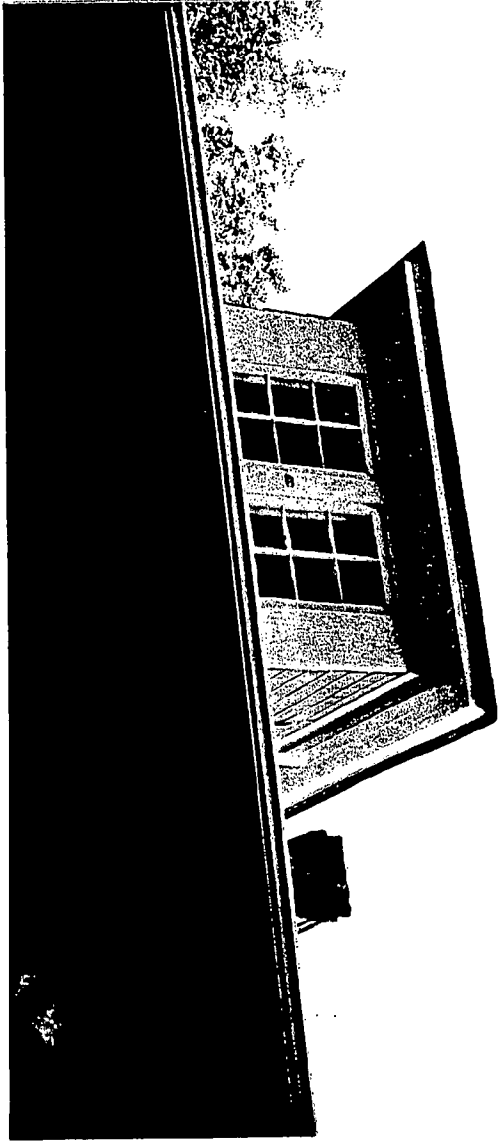
Porch Step Detail

25

South Elevation

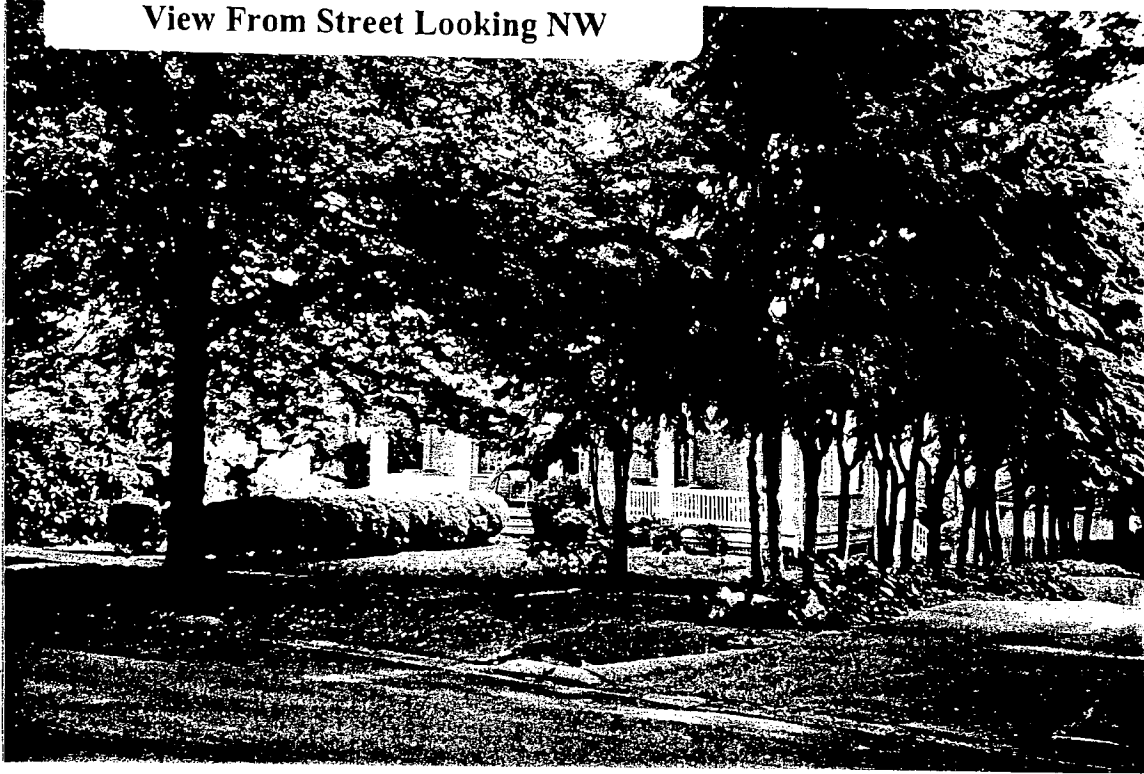


26

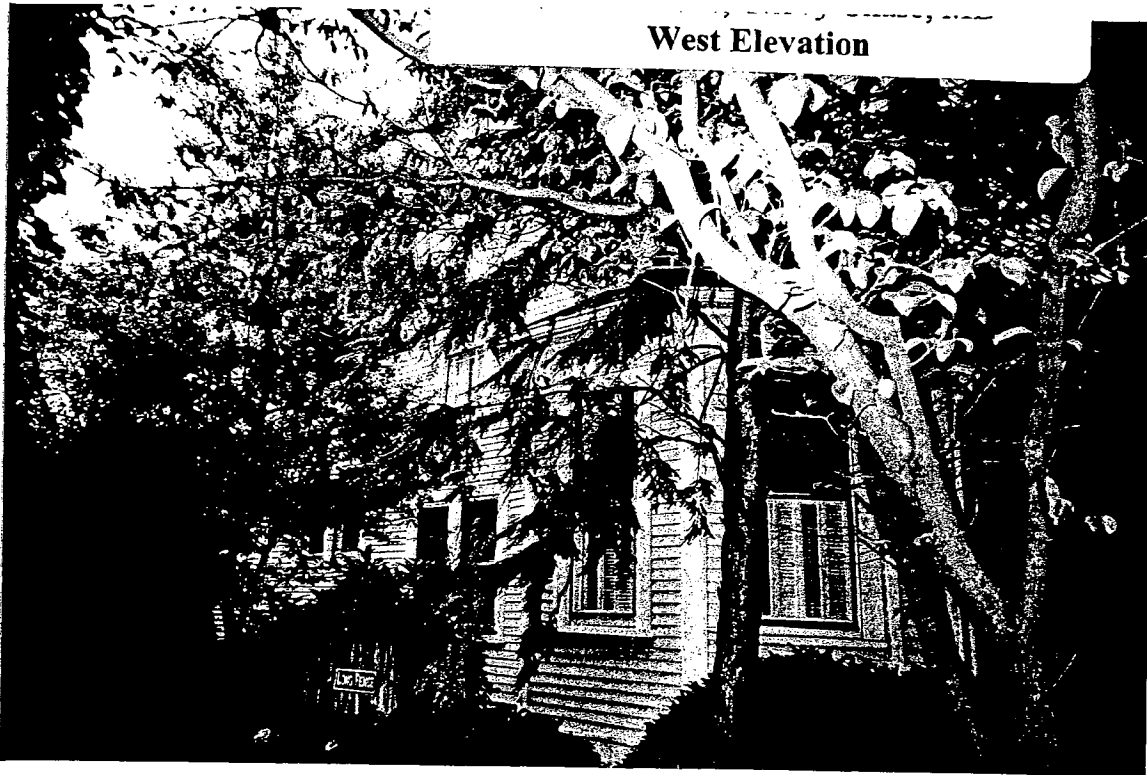


Dormer Detail

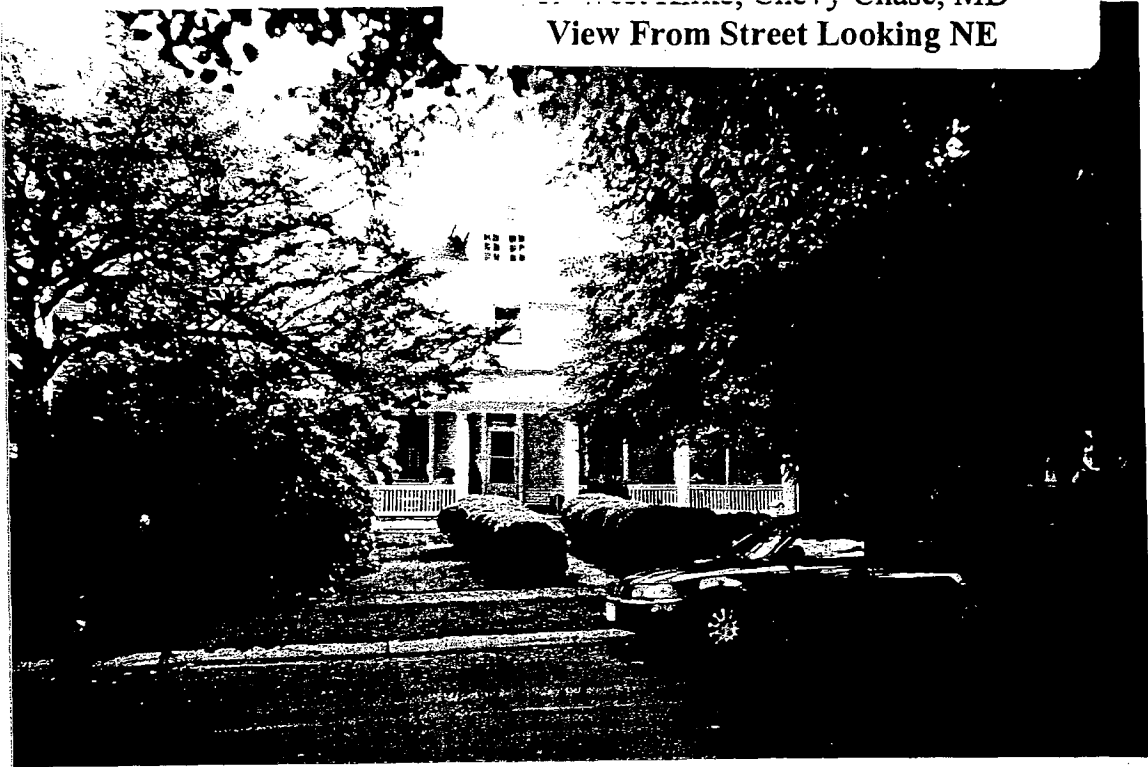
View From Street Looking NW



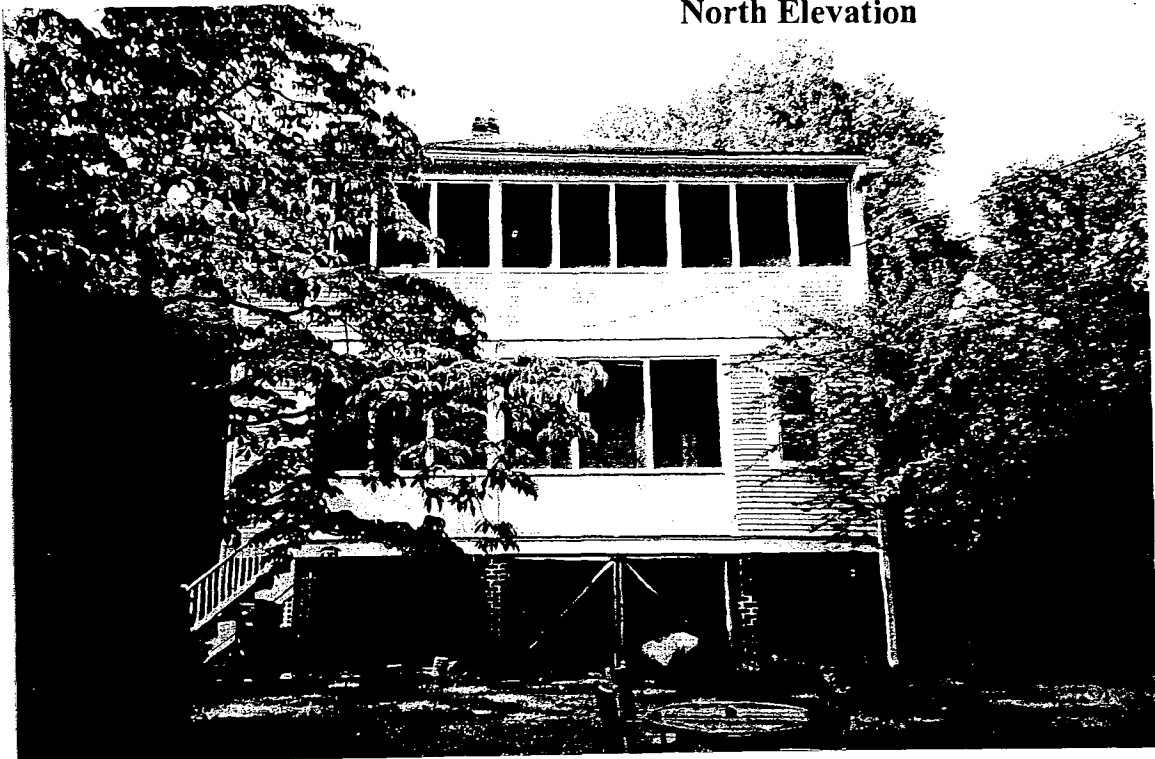
West Elevation



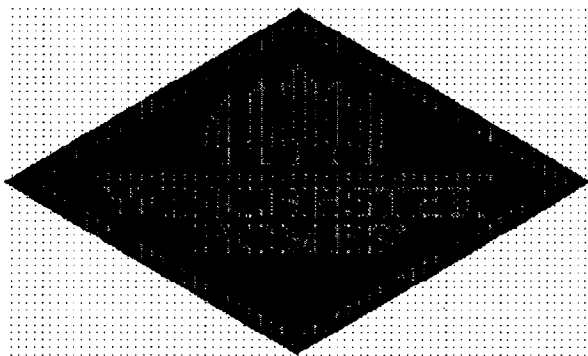
View From Street Looking NE



North Elevation



Please note that time displayed on cover is PST



Facsimile Cover

To: HPC Staff (for next

From: Bourke, Tom

Fax Number: +1 (301) 563-3412

Subject: Comments

Date: June 12, 2002

Pages: 1

Note: The following are the comments from the Chevy Chase Village Local Advisory Panel for items on the HPC agenda for June 12, 2002:

32 W Irving
Knight Residence
Contributing Resource
Proposal to enclose lower space on newer rear addition
Staff Recommendation: Approval, no conditions listed
LAP: We concur with this recommendation for approval without conditions

31 W Kirke
Blakey – Dooley Residence
Contributing Resource
Proposal to replace concrete drive and lead walk with concrete cobblestone design.
Staff Recommendation: Approval without conditions
LAP: We concur with this recommendation for approval without conditions. LAP would have also supported this as a candidate for an Expedited Review.

19 W Kirke
Toch Residence
Contributing Resource
Proposal for rear addition, deck, various interior alterations
Staff Recommendation: Approval with conditions re photography, front steps, front door.
LAP believes the project can be approved without conditions other than the photographic record. The architectural firm of BGA is extremely experienced in renovation/restorations and we respect their judgment. The presentation for the property indicates that the process has been studied extensively and well-documented.



Letter of Transmittal

To: Historic Preservation Commission
 1109 Spring Street
 Suite 801
 Silver Spring, MD 20910
 Attention: Perry Kapsch

Date: 30 May, 2002
 Project: Toch Residence
 Project No.: 00014-Toch
 Re: Outstanding Items for
 H.P. Application

We are sending you attached the following items :

- Addendum/Change Order Copy of letter Plans Prints
 Samples Shop drawings Specifications Other: photos

If enclosures not as indicated, kindly notify us at once.

| Copies | Date | No. | Description |
|--------|------|-----|--|
| 1 | | | responses to back half of H.P. application |
| 2 | | | set of existing plans & elevations, (10) pages ea. |
| 2 | | | reduced set of permit drawings, (14) pages ea. |
| 1 | | | Sept. 20, 2000 site survey |
| 1 | | | cut sheets for attic wood casement window, (5) pages |
| 1 | | | (15) photos of existing house |


These are transmitted as checked below:

- For approval Accepted as submitted Resubmit copies for review
 For your use Accepted as noted Submit copies for distribution
 As requested Returned for revisions Return revised prints
 For review and comment For bid due Prints returned after loan to us
 Other:

Remarks:

none.

Signed:


 Kevin Day

- copies to: Chronological file
 Project file
 Other:

Tracy Stannard

- need all this by ~~Thu~~ 5/30/02

Kevin Day

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

(also - need existing materials)

4. MATERIALS SPECIFICATIONS

- You have most of this - but need attic window detail

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

- cut sheets -

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

- or statement that no trees over 6" dbh are affected

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Fax Memorandum

To Fax No.: 301-563-3412

Date: June 11, 2002

To: Perry Kapsch

From: Kevin Day

Project: Toch Residence

Project No.: 00014-Toch

Subject: Revised Front Elevation

Additional pages transmitted with this fax memorandum: 4

Perry-

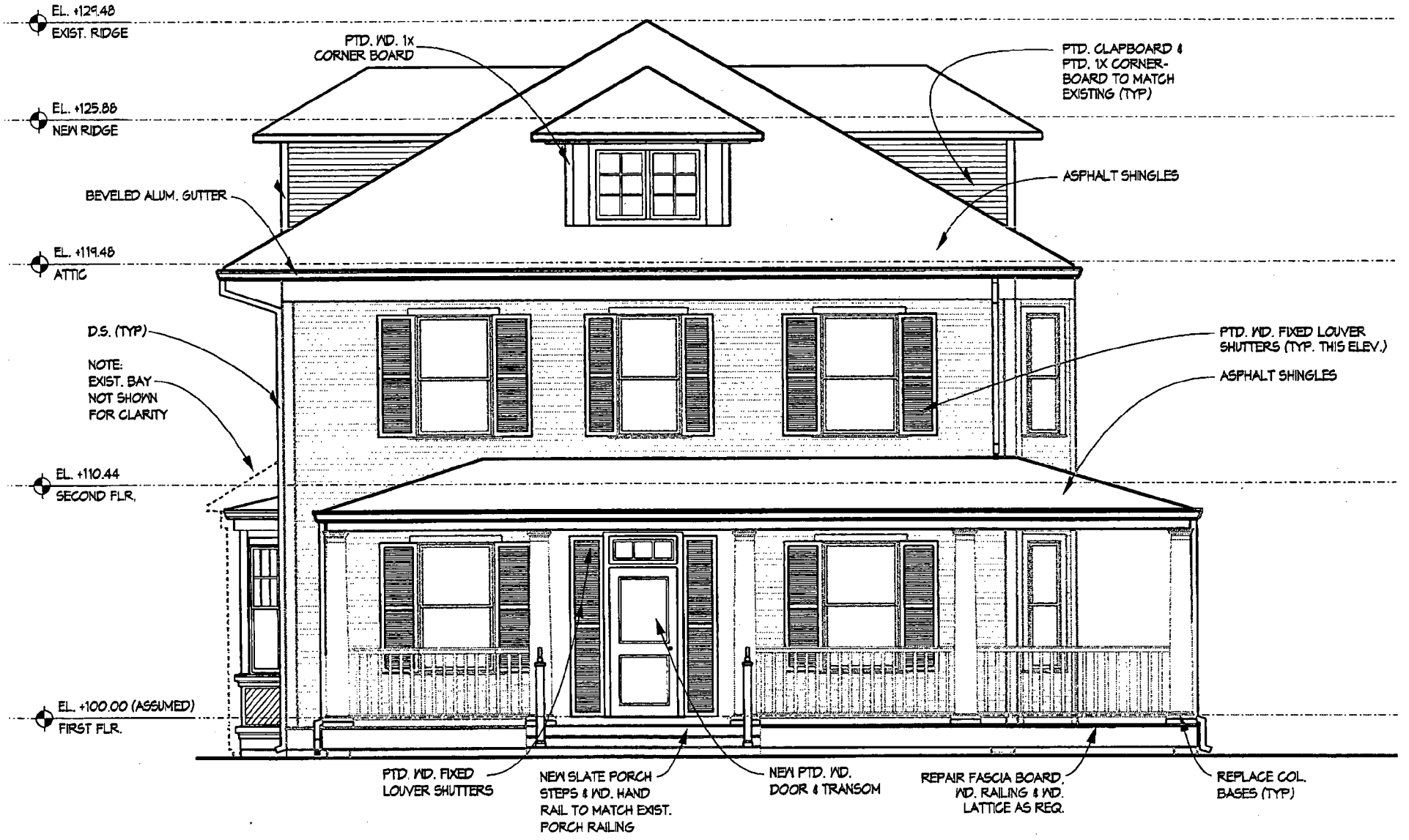
After reviewing your preliminary historic preservation results and speaking with the Owner, we would like to revise the front elevation to include wood louvered shutters for all windows on the front elevation as well as by the front door. This design change comes in response to your comments concerning the wood panels next to the front door and personal preferences of the Owner. During one of our phone conversations, you mentioned that the wood panels were out of style and stated that something akin to shutters would be more in kind with the style of the house. If at all possible, we would like to submit this new design for review at the June 12, 2002 HPC meeting. The following pages represent the proposed addendum sheet for A4.01 of the architectural permit set.

I will be out of the office for the remainder of the week. If this redesign is not possible to review at the June 12, 2002 meeting, please proceed with the design you currently have. We will submit the attached redesigned elevation as an addition to the project after the meeting. As mentioned in prior phone conversations, time is critical for this job, so if it is possible to approve the project pending a redesign of the front façade, please do so that the project can immediately proceed to the County Building Department following the HPC meeting.

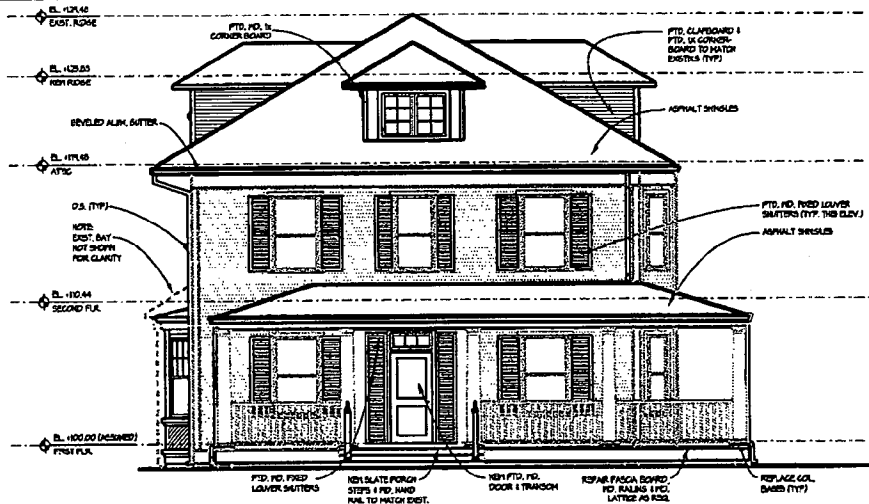
Thank you,

Kevin Day

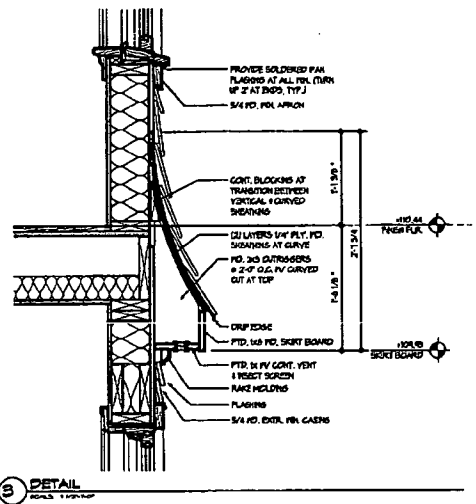
copies to: Chronological file
 Project File
 Cc: Tracy Standard, fax 202-244-3846



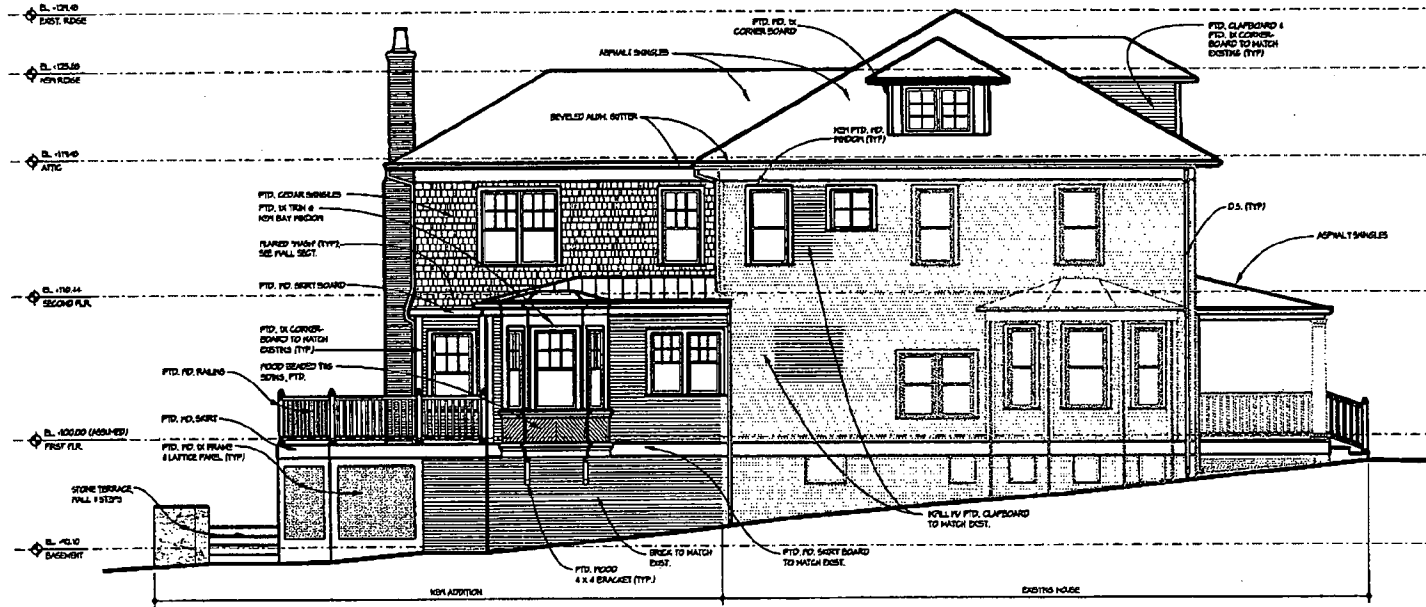
2 SOUTH ELEVATION
SCALE: NOT TO SCALE



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 DETAIL
SCALE: 1/2" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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BD SET 8-11-02
PERMIT SET 12-23-02
SD PERMITS 1-2-03

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Additions & Renovations
to
THE TOCH RESIDENCE
19 West Kirke
Chevy Chase, MD

WEST & SOUTH
ELEVATIONS

PROJECT NO. 000014
CURRENT PRINT DATE 06/22/02

A4.01

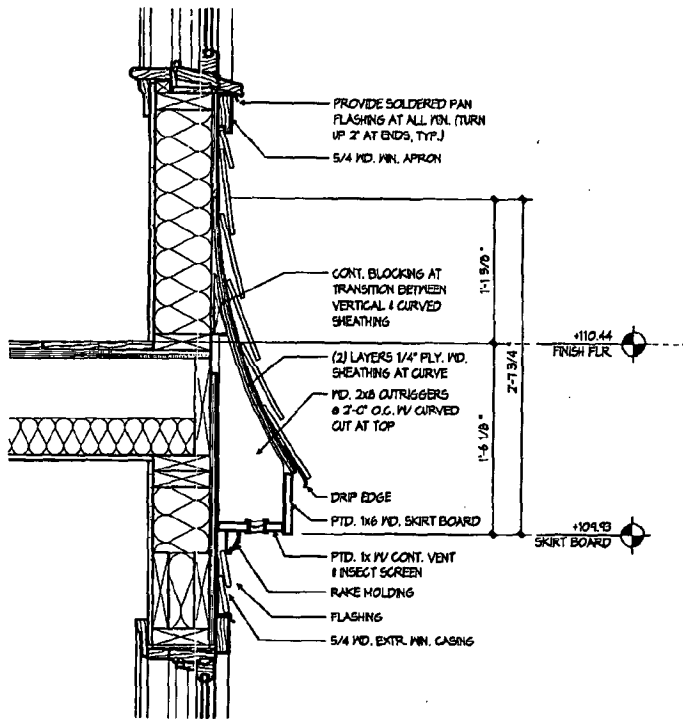


BOWIE · GRIDLEY ARCHITECTS, PLLC

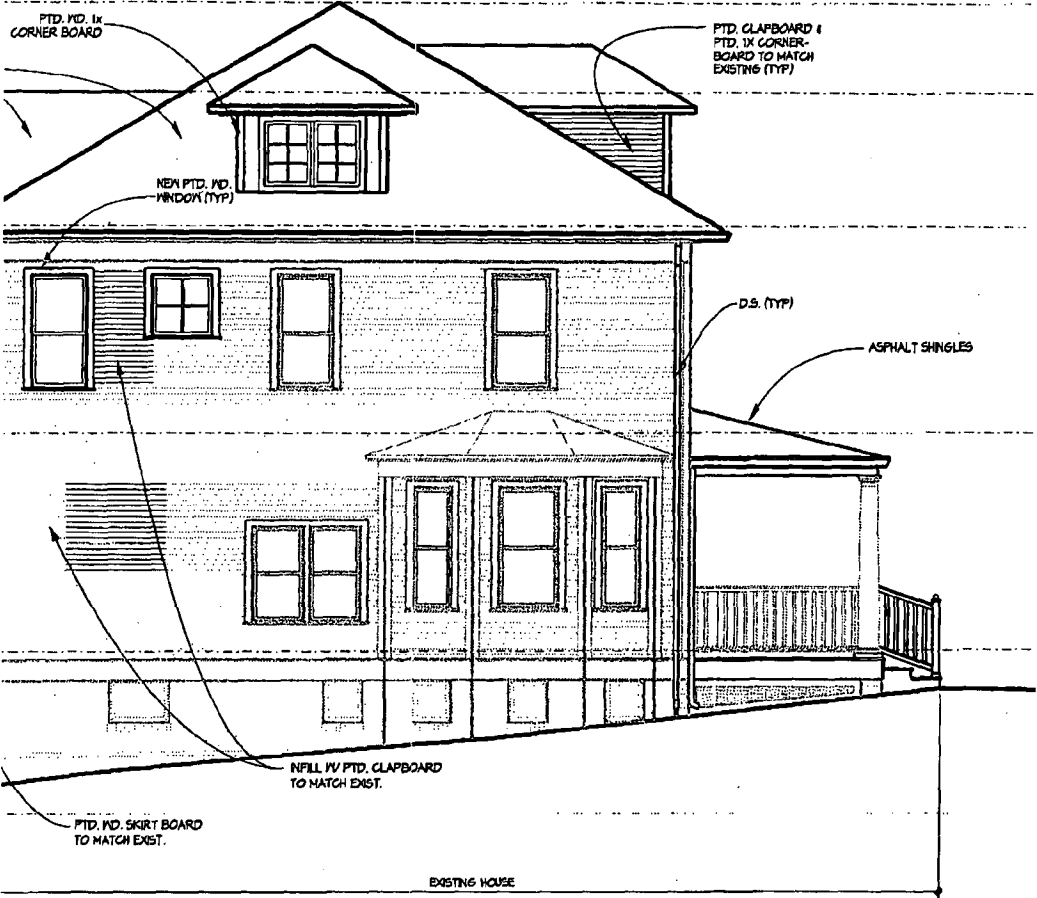
1010 WISCONSIN AVE, N.W. SUITE 400
 WASHINGTON, D.C. 20007
 TEL: (202) 337-8888
 FAX: (202) 337-2828

COVER HIS ELEV.)

35



3 **DETAIL**
 SCALE: 1/8"=1'-0"



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| PERMIT SET | | 5-23-02 |
| SD PRICING | | 4-25-01 |

Additions & Renovations to:

THE TOCH RESIDENCE

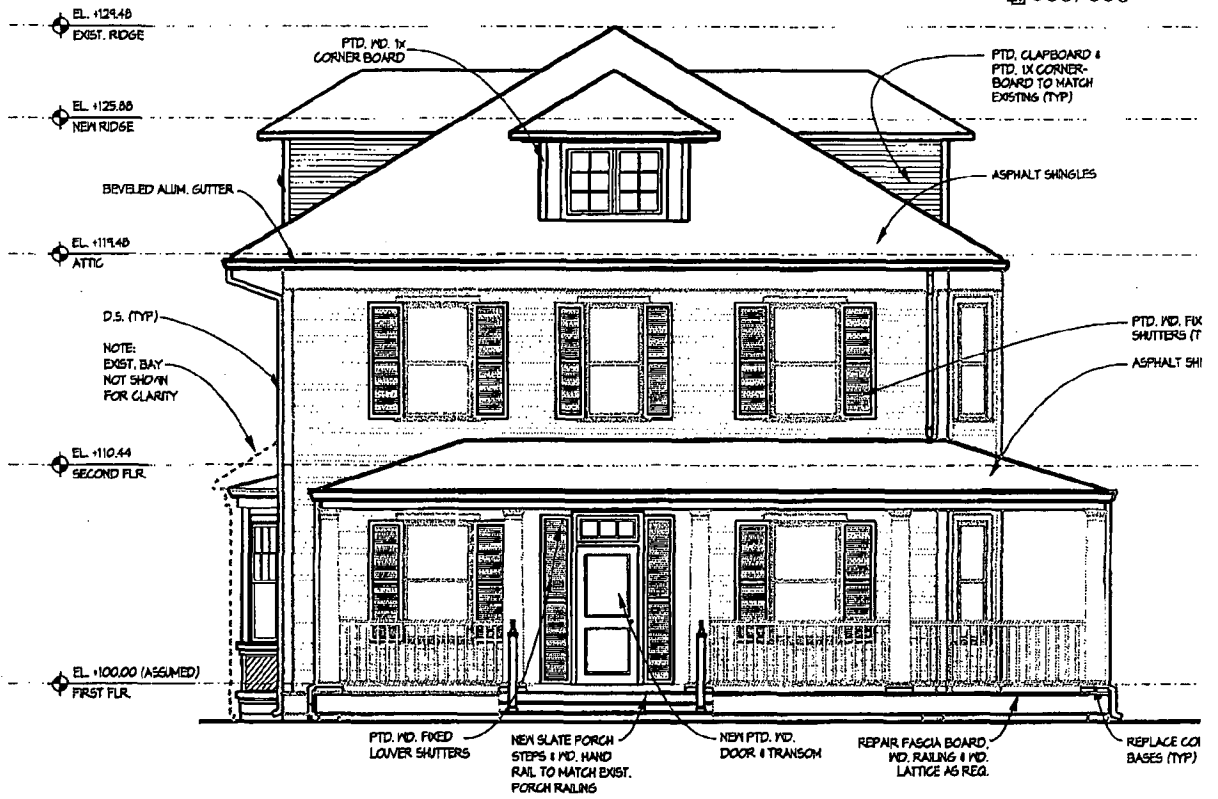
19 West Kirke
 Chevy Chase, MD

WEST & SOUTH ELEVATIONS

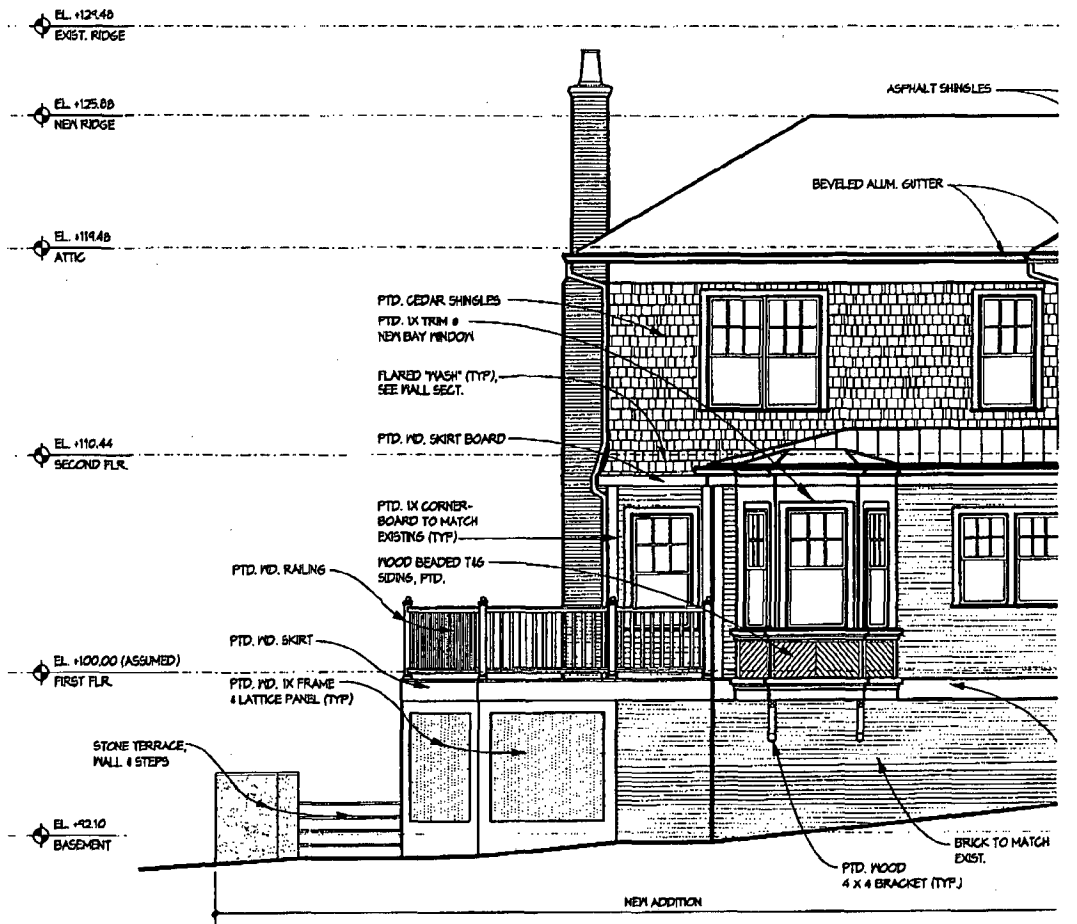
BGA JOB NO. 100014

A4.01

CURRENT PRINT DATE 05/22/02



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



Permit Girl

 **Fax Cover**

 **TO:** Perry Kapsch

FROM: Tracy Stannard

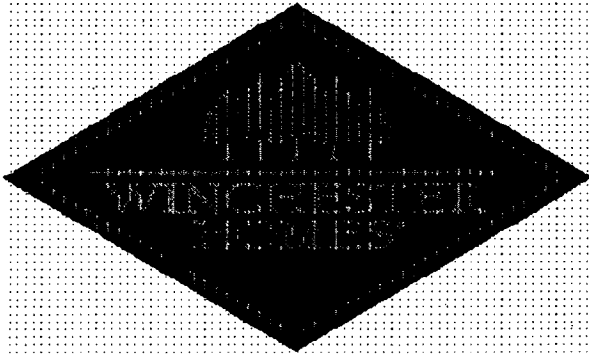
 **Date:** May 28 2002

of  **: 7**

Comments:

For the Toch permit - the neighbors addresses.
Let me know that you can read this.
If not, I will drop it at your office. Thanks.

Please note that time displayed on cover is PST



Facsimile Cover

To: HPC Staff (for next

From: Bourke, Tom

Fax Number: +1 (301) 563-3412

Subject: Comments

Date: June 12, 2002

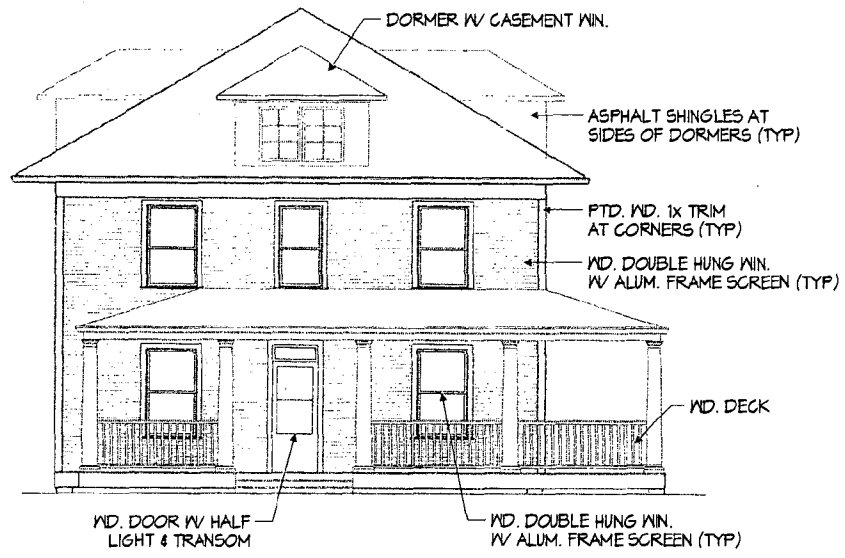
Pages: 1

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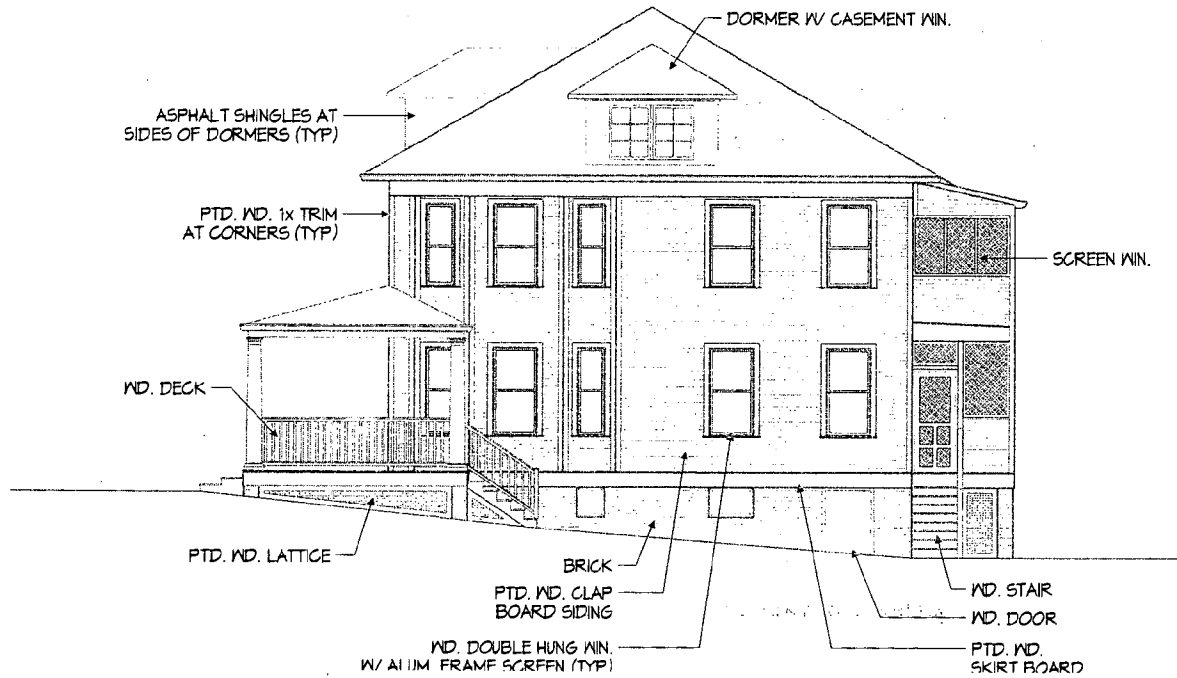


EXISTING SOUTH ELEVATION

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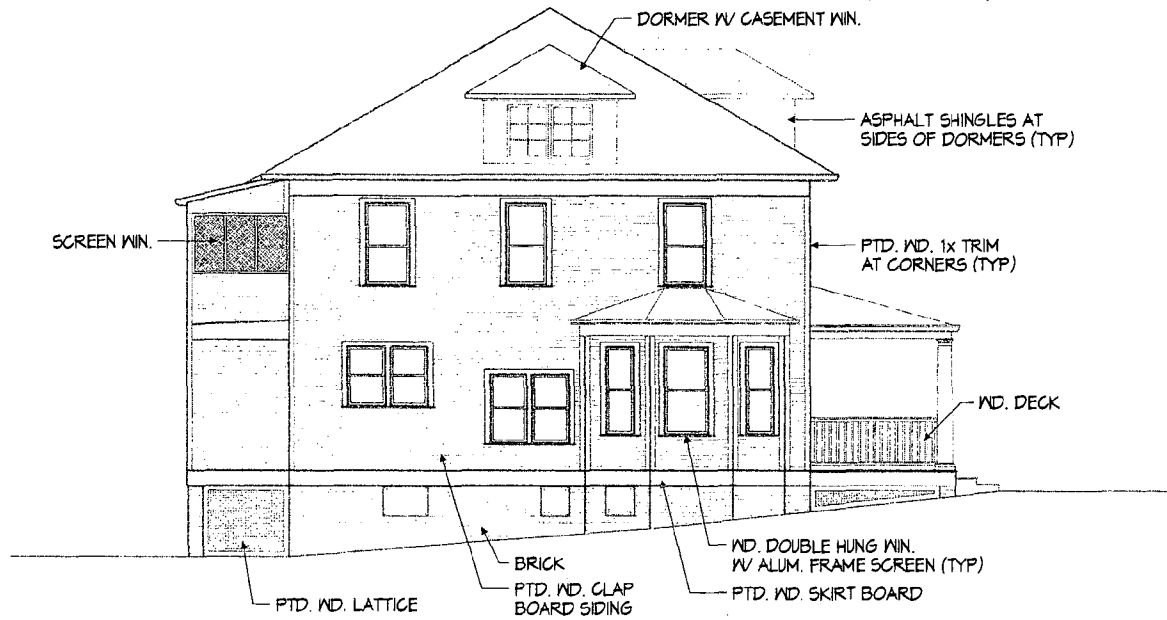
BGA
 BOWIE - GRIDLEY
 ARCHITECTS, PLLC
 1018 WISCONSIN AVE., N.W. SUITE 400
 WASHINGTON, D.C. 20007
 TEL: (202) 337-0824
 FAX: (202) 337-2826

Additions &
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 to:
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD



EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"

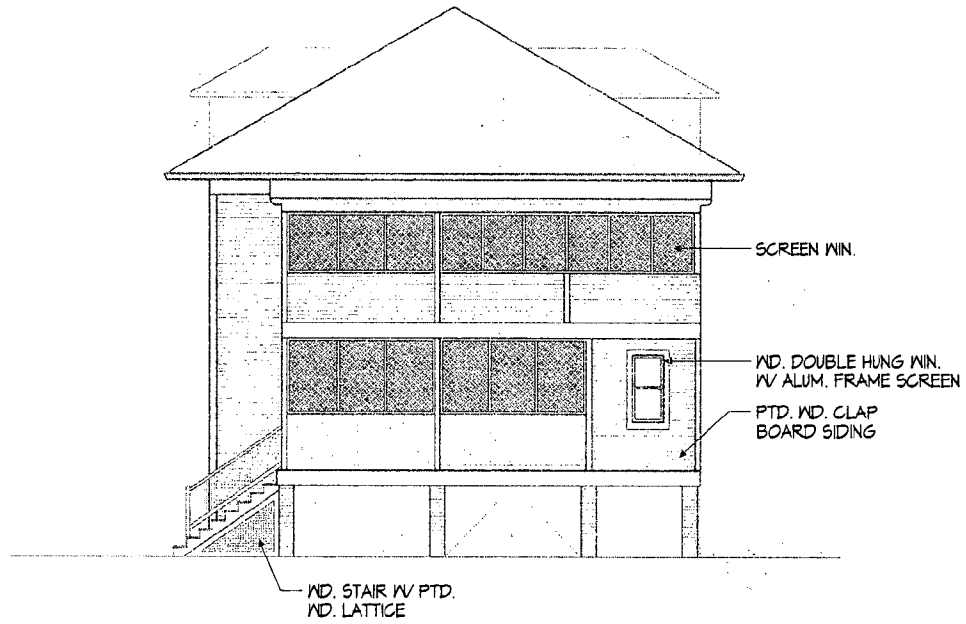


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 1010 WISCONSIN AVE. - 8 W. SUITE 400
 WASHINGTON, D.C. 20007
 TEL: (202) 337-0900
 FAX: (202) 337-2870

EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0"

Additions &
 Renovations
 to
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD

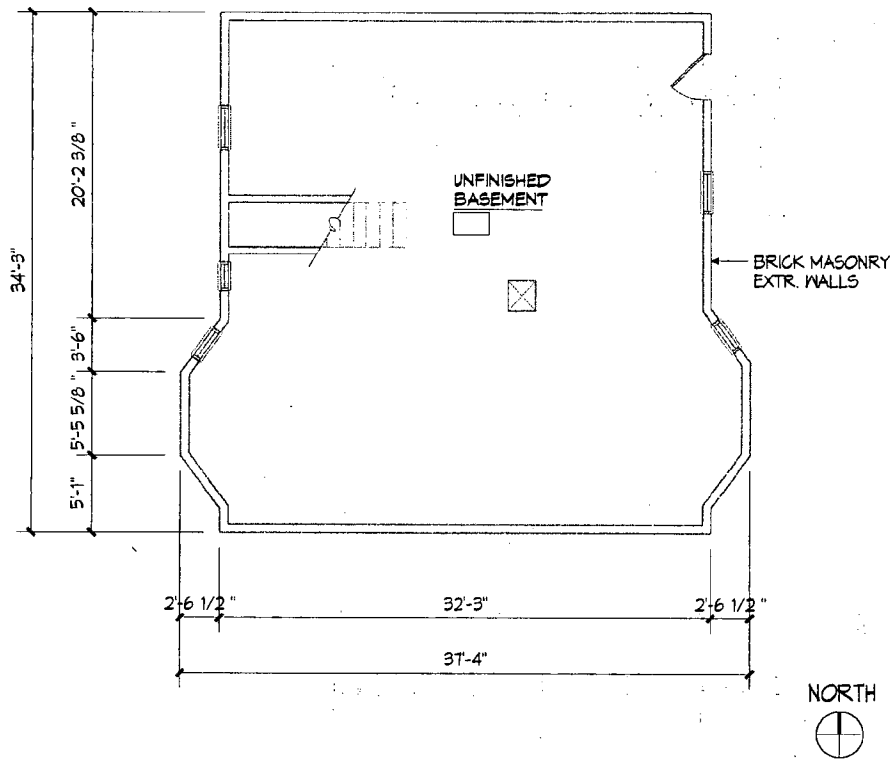


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 TEL: (202) 337-0888
 FAX: (202) 337-0850

EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"

Additions &
 Renovations
 to
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD

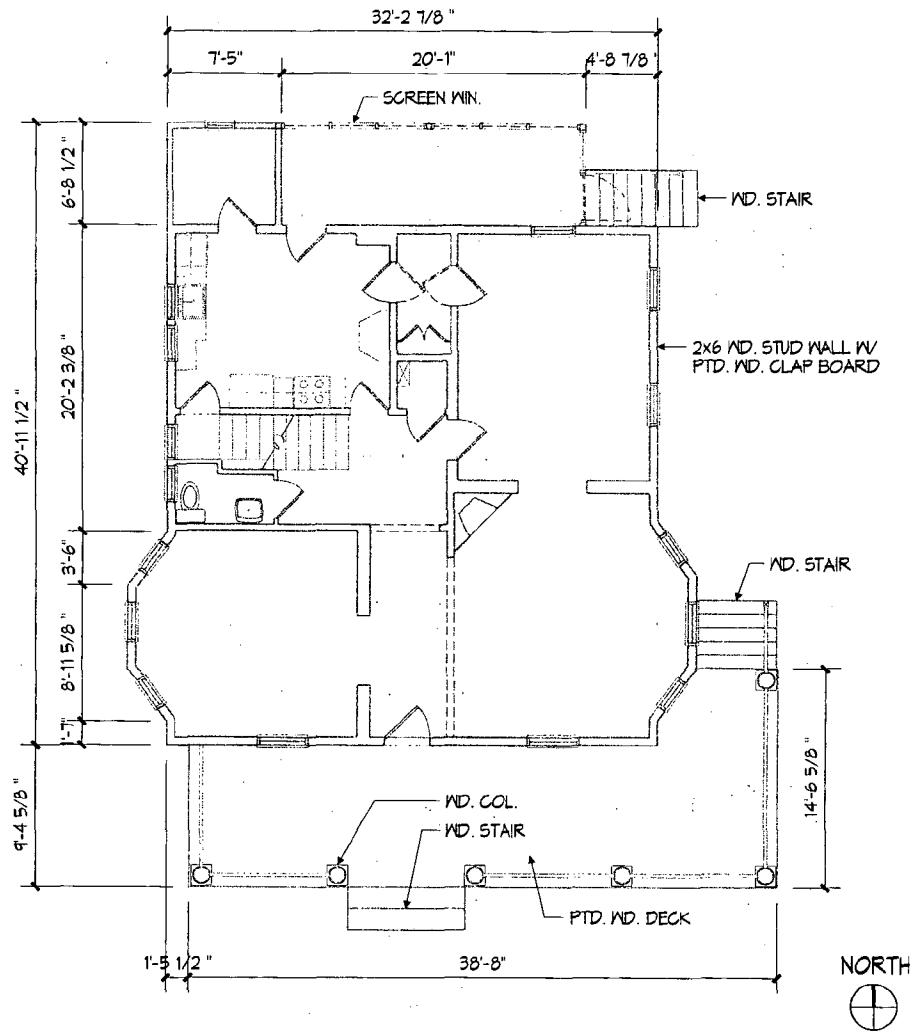


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 1010 WILSON BLVD. N.W. SUITE 100
 WASHINGTON, D.C. 20007
 TEL: (703) 337-0888
 FAX: (703) 337-2828

EXISTING BASEMENT PLAN

SCALE: 1/8"=1'-0"

Additions &
 Renovations
 to:
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD

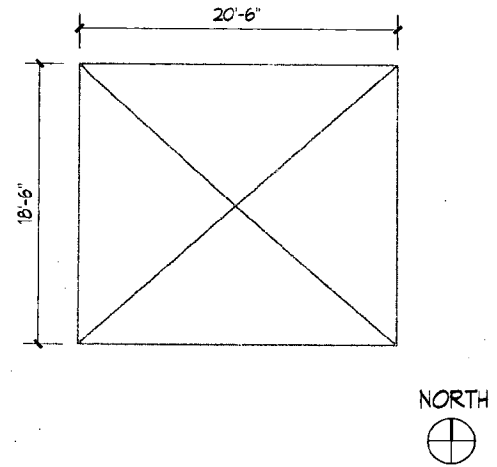
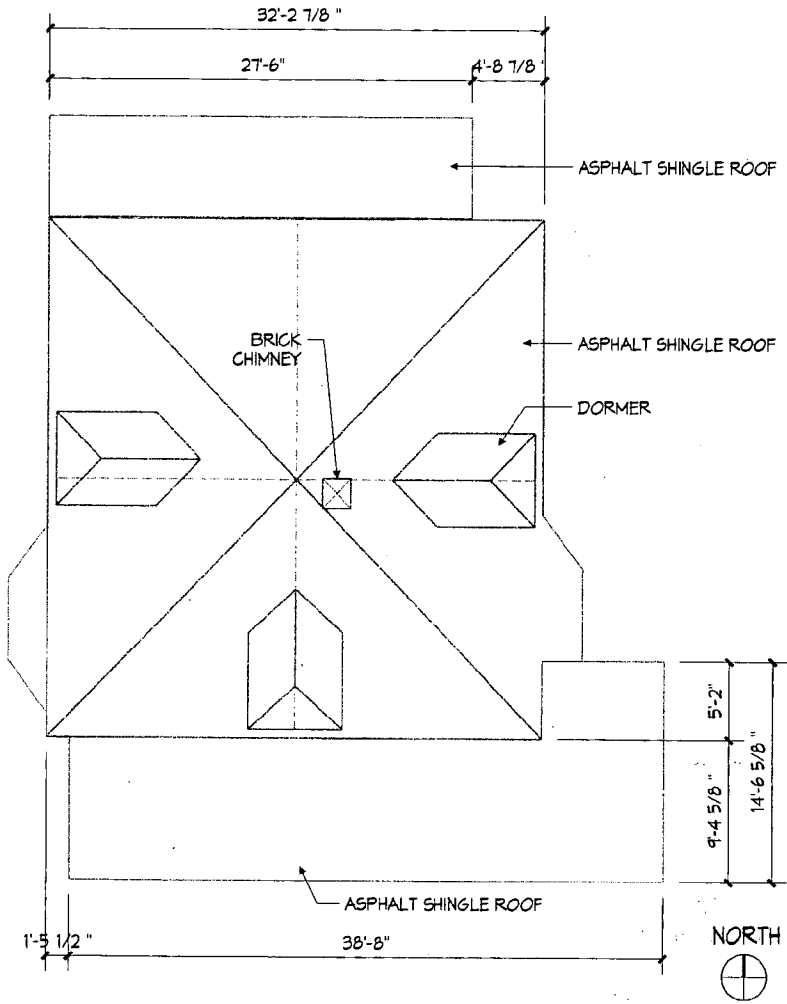


EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

BGA
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 1010 WASHINGTON AVE., N.W. SUITE 410
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 FAX: (202) 537-2678

Additions &
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 to:
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 RESIDENCE**
 19 West Kirke
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 FAX: (202) 337-7028

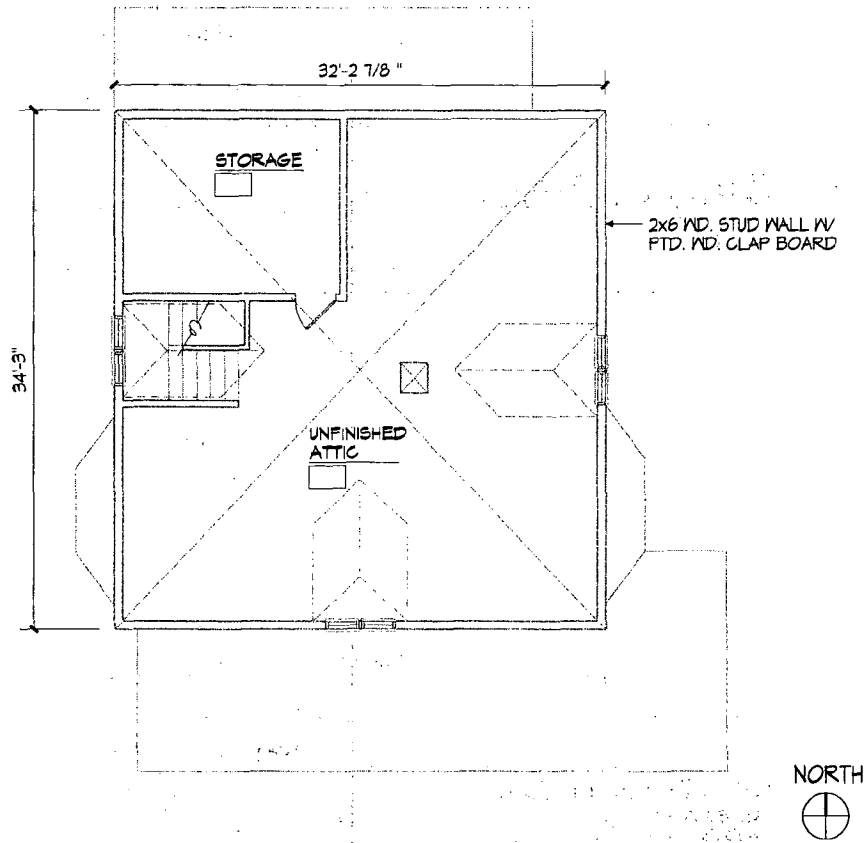
EXISTING HOUSE ROOF PLAN

SCALE: 1/8"=1'-0"

EXISTING GARAGE ROOF PLAN

SCALE: 1/8"=1'-0"

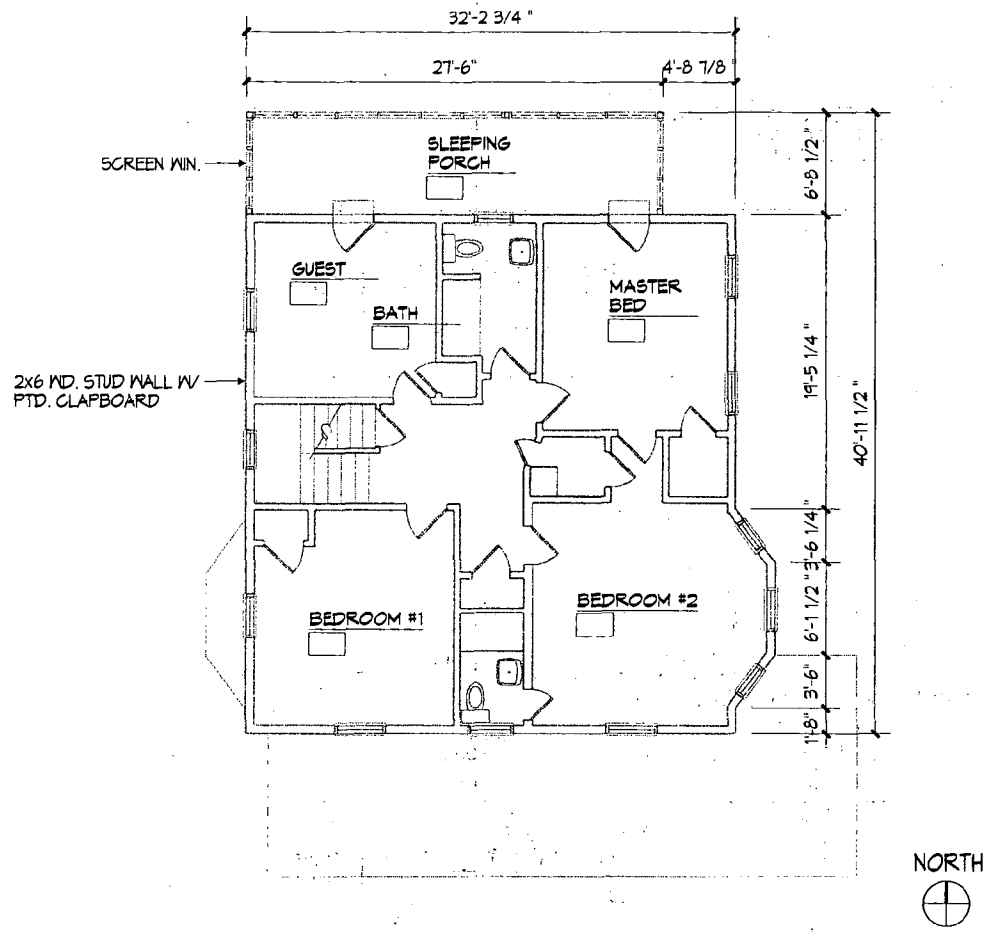
Additions &
 Renovations
 to
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 FAX (202) 337-7654

EXISTING ATTIC PLAN
 SCALE: 1/8"=1'-0"

Additions &
 Renovations
 to
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD

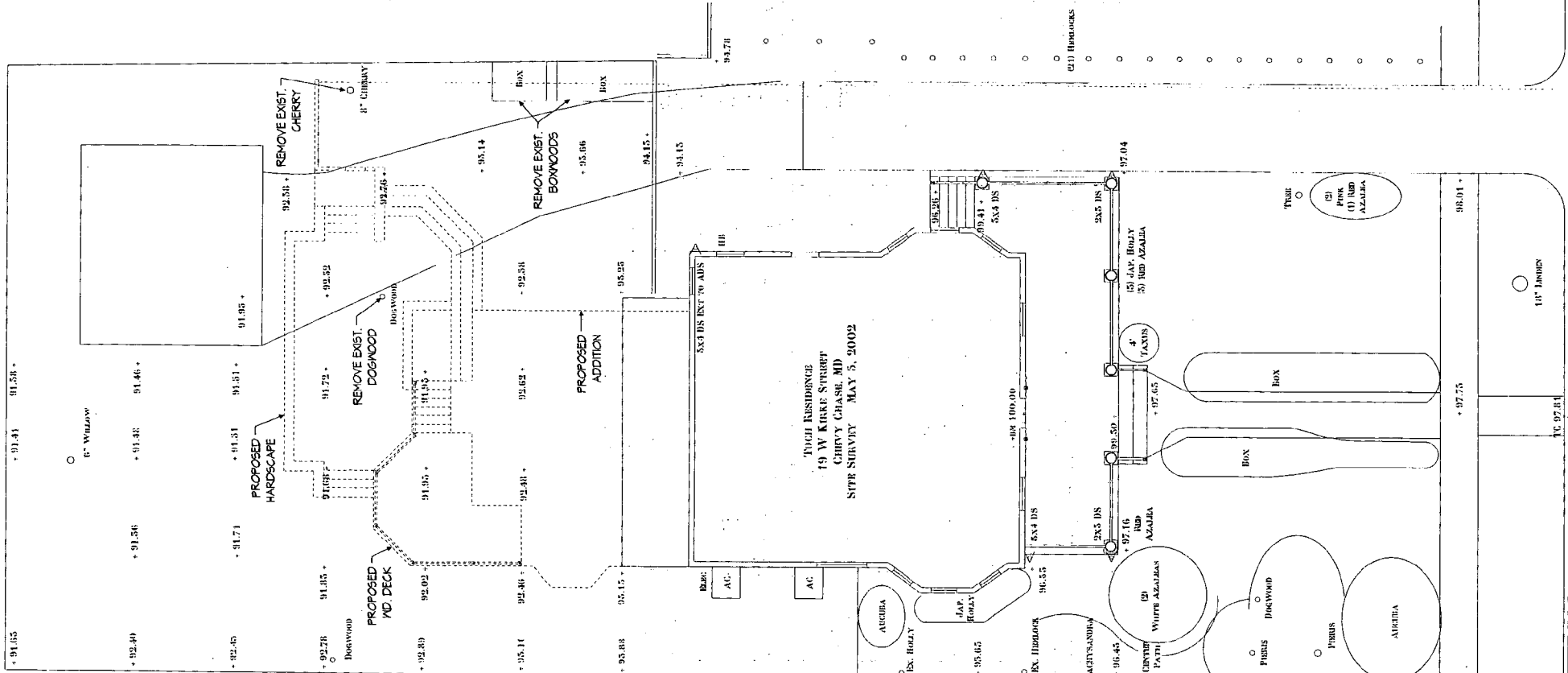


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 WASHINGTON, D.C. 20001
 TEL: (202) 337-8888
 FAX: (202) 337-0848

EXISTING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

Additions &
 Renovations
 to
**THE TOCH
 RESIDENCE**
 19 West Kirke
 Chevy Chase, MD



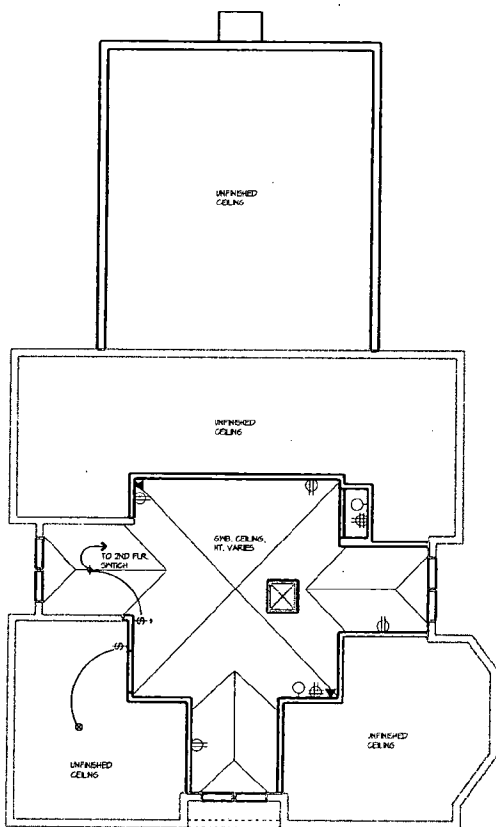
NOTE: NO TREES OVER 6" ϕ
TO BE AFFECTED BY ADDITION

BGA
BOWIE · GRIDLEY
ARCHITECTS, PLLC
1910 WISCONSIN AVE., N.W. SUITE 400
WASHINGTON, D.C. 20007
TEL: (202) 337-2828
FAX: (202) 337-2828

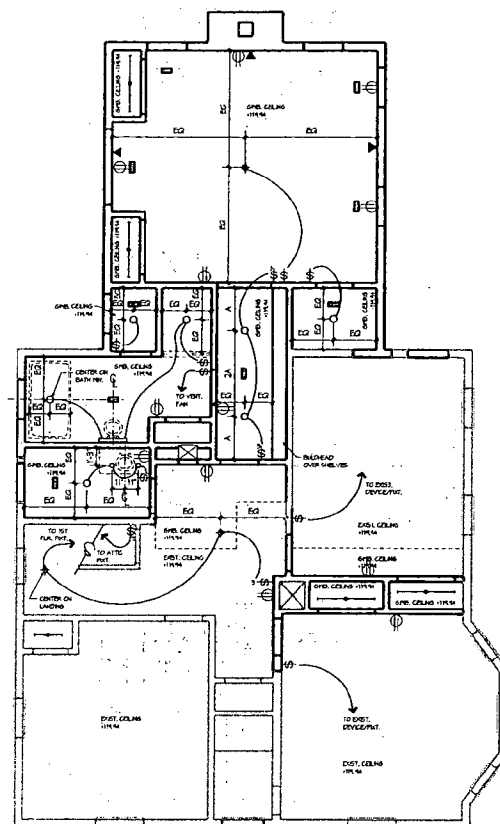
EXISTING LANDSCAPING

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Additions &
Renovations
to:
**THE TOCH
RESIDENCE**
19 West Kirke
Chevy Chase, MD



2 ATTIC
REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



1 SECOND FLOOR
REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



**BOWIE - GRIDLEY
ARCHITECTS, PLLC**

1010 WYCKOFF AVE. # 400
WASHINGTON, D.C. 20007
TEL. (202) 227-2820
FAX. (202) 337-2820

GENERAL NOTES
01. PROVIDE DOOR SCHEDULE FOR ALL GLASS DOORS TO MATCH LIGHT FIXTURES.
02. COORDINATE WITH OTHER TRADES FOR LOCATION OF EXIST. FIXTURES.

**NOTE: NOT TO SCALE,
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24x36 ORIGINAL**

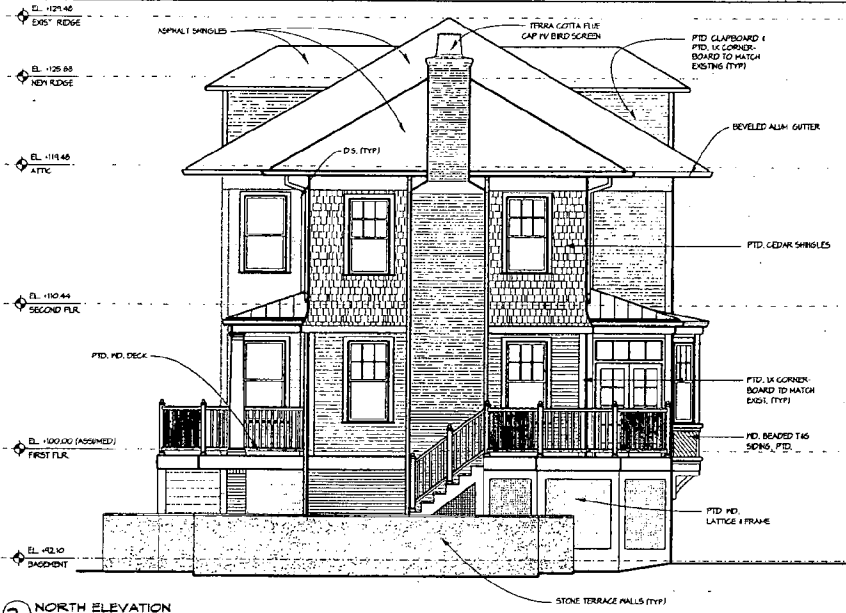
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Additions & Renovations
TO
**THE TOCH
RESIDENCE**
19 West Kirke
Chevy Chase, MD

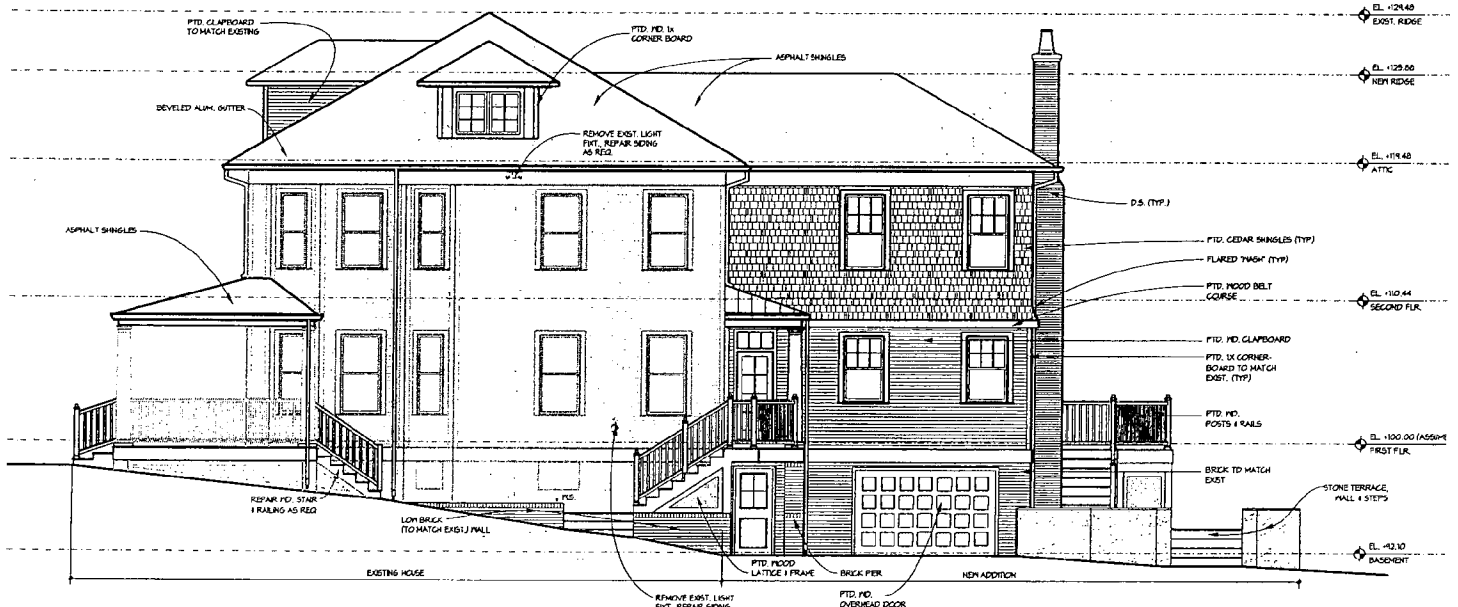
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CEILING PLANS

PROJECT NO.
1000014
CURRENT PRINT DATE
05/22/02

A3.05



2 NORTH ELEVATION
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1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

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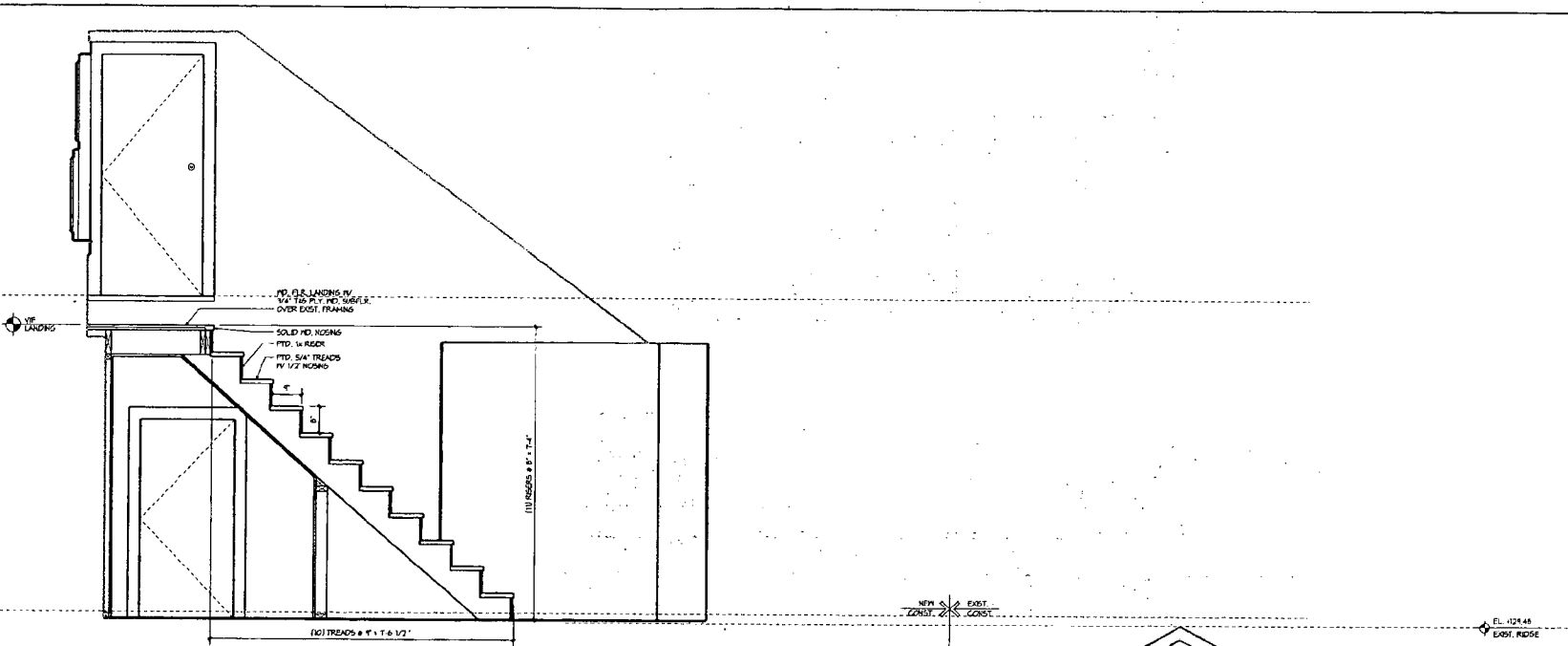
Additions & Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

NORTH & EAST ELEVATIONS

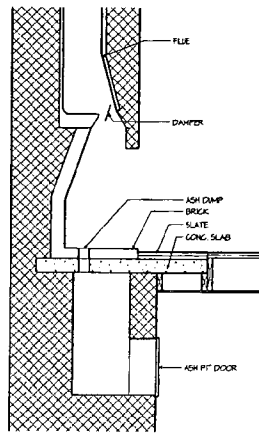
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A4.02

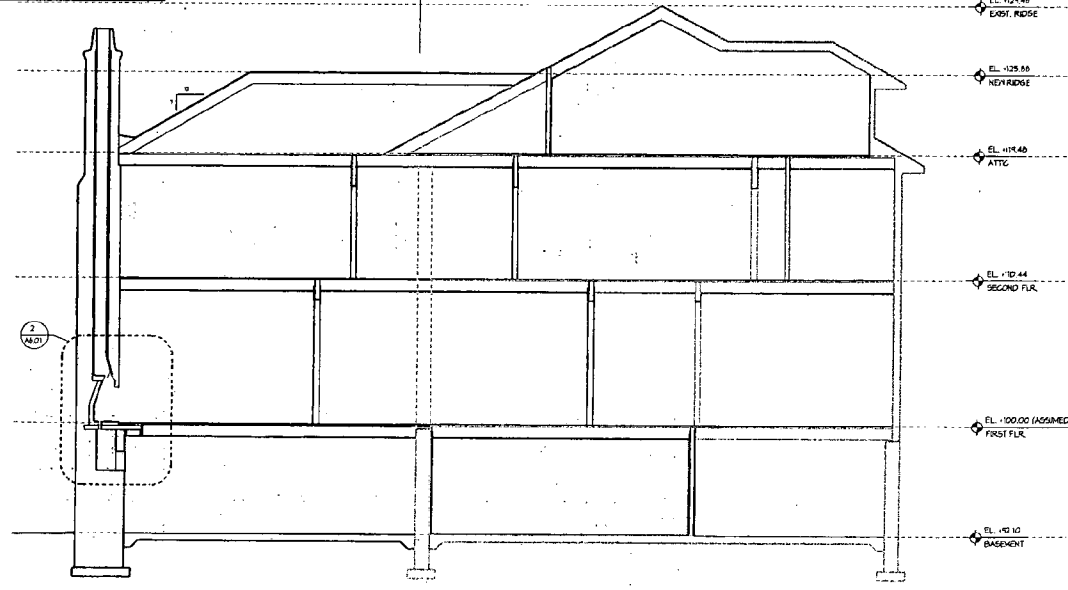
CURRENT PRINT DATE
 05/23/02



3 BASEMENT STAIR SECTION
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2 FIREPLACE SECTION
SCALE: 3/4\"/>



1 BUILDING SECTION
SCALE: 3/4\"/>

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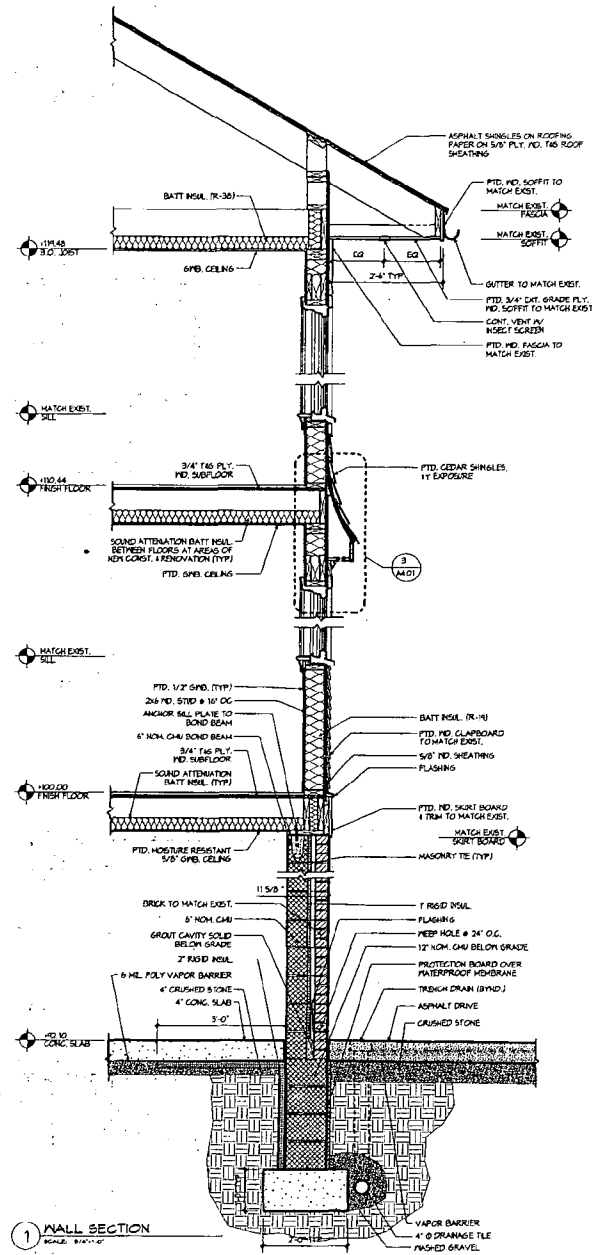
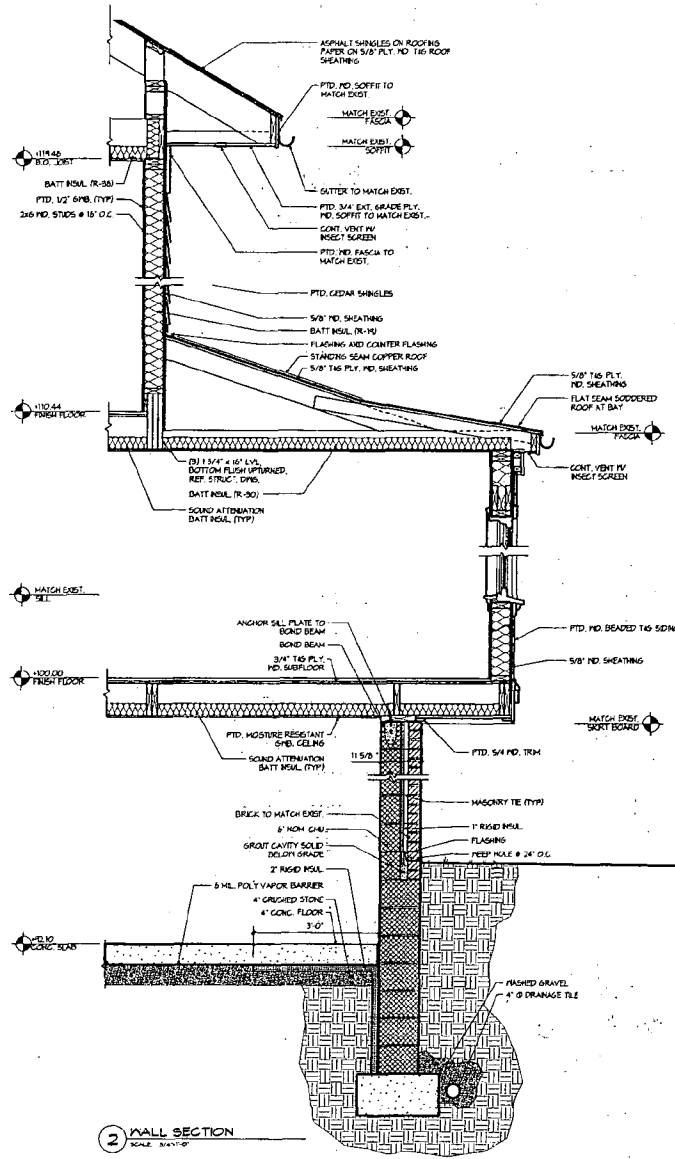
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Additions & Renovations
 to
THE TOCH
RESIDENCE
 19 West Kirke
 Chevy Chase, MD

BUILDING
SECTION

NO. JOB NO.
 1000014
 CLIENT PRINT DATE
 05/22/02

A6.01



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PERMIT SET: 5-23-02
 SO PREPARED: 4-25-01

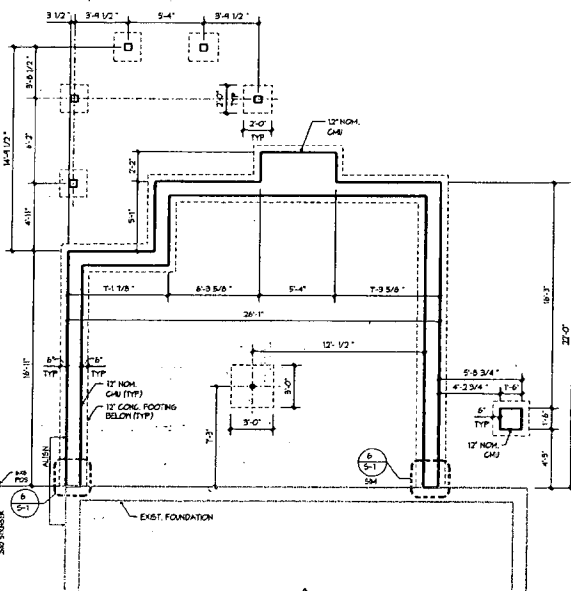
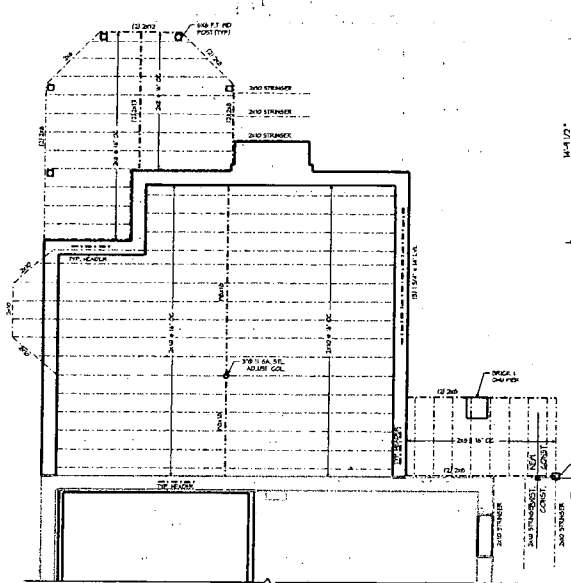
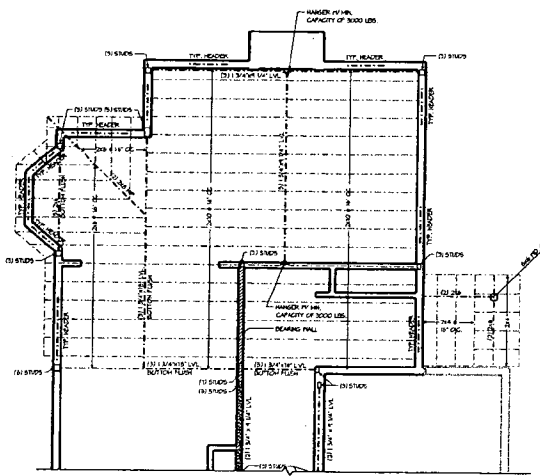
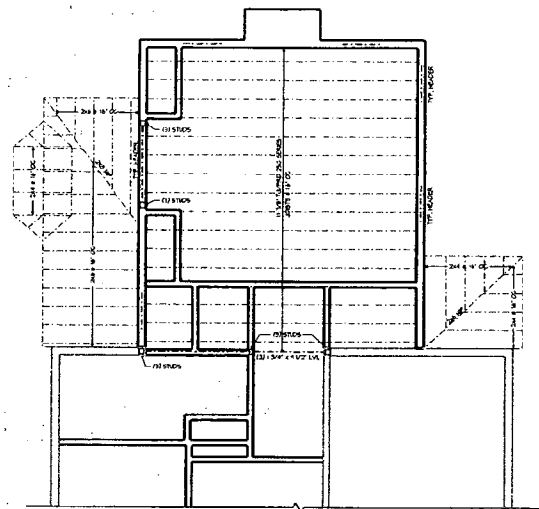
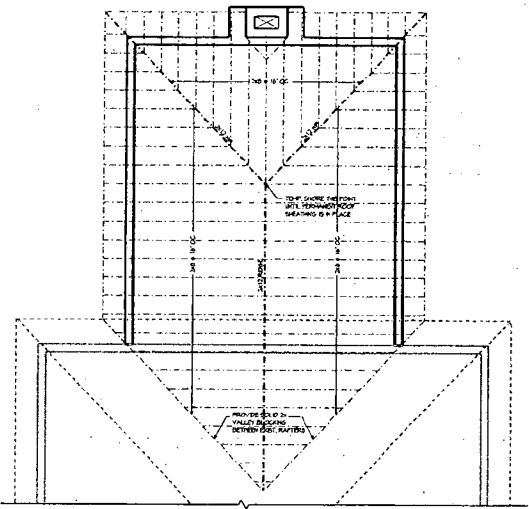
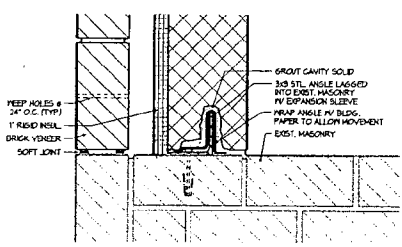
Additions &
 Renovations to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

**WALL SECTIONS
 & DETAILS**

BGA JOB NO.
 000014
 CURRENT PRINT DATE
 05/22/02

A6.02

GENERAL NOTES
 01 ALL EXIST. DECA FRAMING TO BE PRESERVE
 *SHOWN IN DASHED YELLOW LINE NO. 1
 02 TYP. HEADER DIMS. OF 11.5" X 20" BY
 11.5" X 20" IN ALL DIRECTIONS.



NOTE: NOT TO SCALE,
 SHEET REDUCED FROM
 24X36 ORIGINAL

| No. | Issue | Revision | Date |
|-----|-------|----------|------|
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 Additions &
 Renovations
 to:
THE TOCH RESIDENCE
 19 West Kirke
 Chevy Chase, MD

FRAMING PLANS
 AND STRUCT.
 DETAILS

| | |
|--------------------------------|-----|
| ISS. OR NO.
100014 | 5-1 |
| CURRENT PRINT DATE
05/22/02 | |

Garage South Elevation



Garage West Elevation



East Elevation





1906 W. H. ...

19 West Kirke, Chevy Chase, MD

East Elevation



FRONT DOOR DETAIL - TOP





19 West Kirke, Chevy Chase, MD



Front Door Detail - Bottom





Porch Step Detail





19 West Kirke Chevy Chase MD

Front Walk





19 West Kirke, Chevy Chase, MD

Dormer Detail



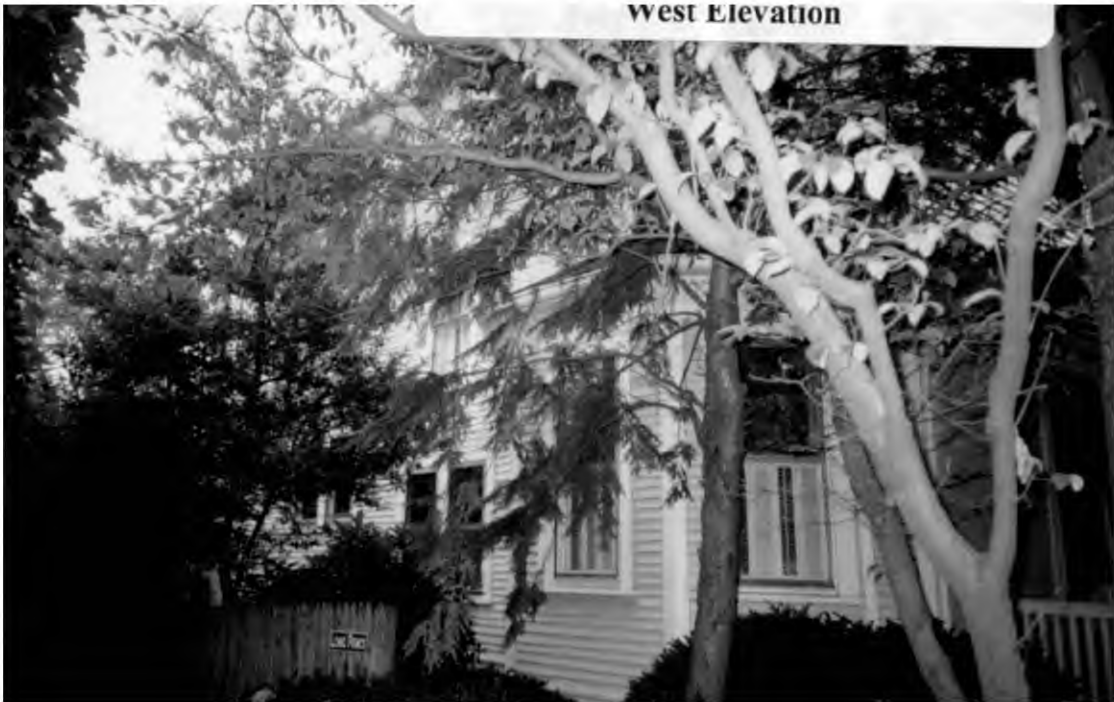
South Elevation





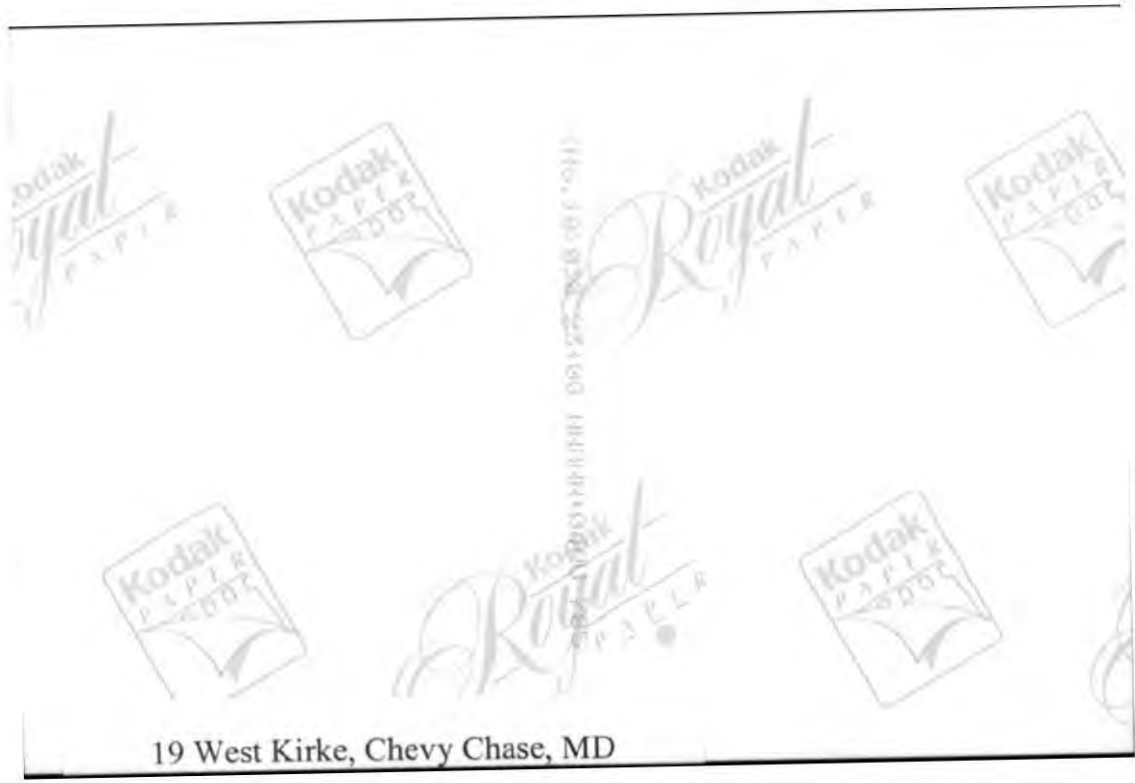
19 West Kirke, Chevy Chase, MD

West Elevation





SHRUBS AND TREES ALONG WALKWAY



19 West Kirke, Chevy Chase, MD

View From Street Looking NE



19 West Kirke Chevy Chase MD





REAR VIEW OF THE HOUSE



1-800-451-1918 23466 NINDENBOSSU 7834



10 West Kirke Chevy Chase MD