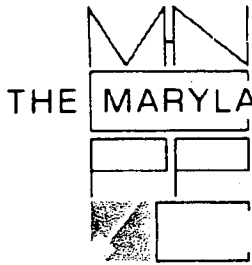


HPC #35/13-03Q 26 W. Kirke St  
Chevy Chase Village Historic District



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: August 14, 2003

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *GW*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved

Approved with Conditions: 1. windows and doors on both the house and addition will be made of wood. All of the windows used will be simulated divided lite windows with a wood grille applied to the exterior of the glass. 2. All of the wood shutters on the front facade will be operable. 3. Redrawn to scale & approved by staff  
FRONT PORTICO DRAWINGS WILL BE

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Marc Reshefsky

Address: 26 West Kieke Street, Chevy Chase Historic District

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](mailto:permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: MARC RESHEFSKY  
Daytime Phone No.: 202-246-6143

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: MARC RESHEFSKY Daytime Phone No.: 202-246-6143  
Address: 2330 CATHEDRAL AVENUE NW WASH DC 20005  
Street Number City State Zip Code  
Contractor: SUPERIOR HOME WORKS INC Phone No.: 301-455-0828  
Contractor Registration No.: 49469  
Agent for Owner: SCOTT CELL Daytime Phone No.: 301-455-0828

LOCATION OF BUILDING/PREMISE

House Number: 2602 KIRKE ST Street: WEST KIRKE ST  
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY  
Lot: 124P11 Block: 32 Subdivision: 2  
Liber: 14052 Folio: 636 Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Reconstruct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: PORTICO  
1B. Construction cost estimate: \$ 80,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 7/23/2003 Date

Approved: [Signature] **APPROVED** Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 8/13/03  
Application/Permit No.: 313158 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

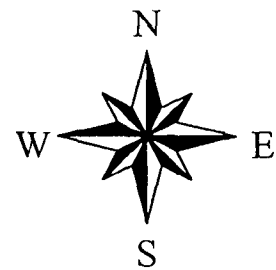
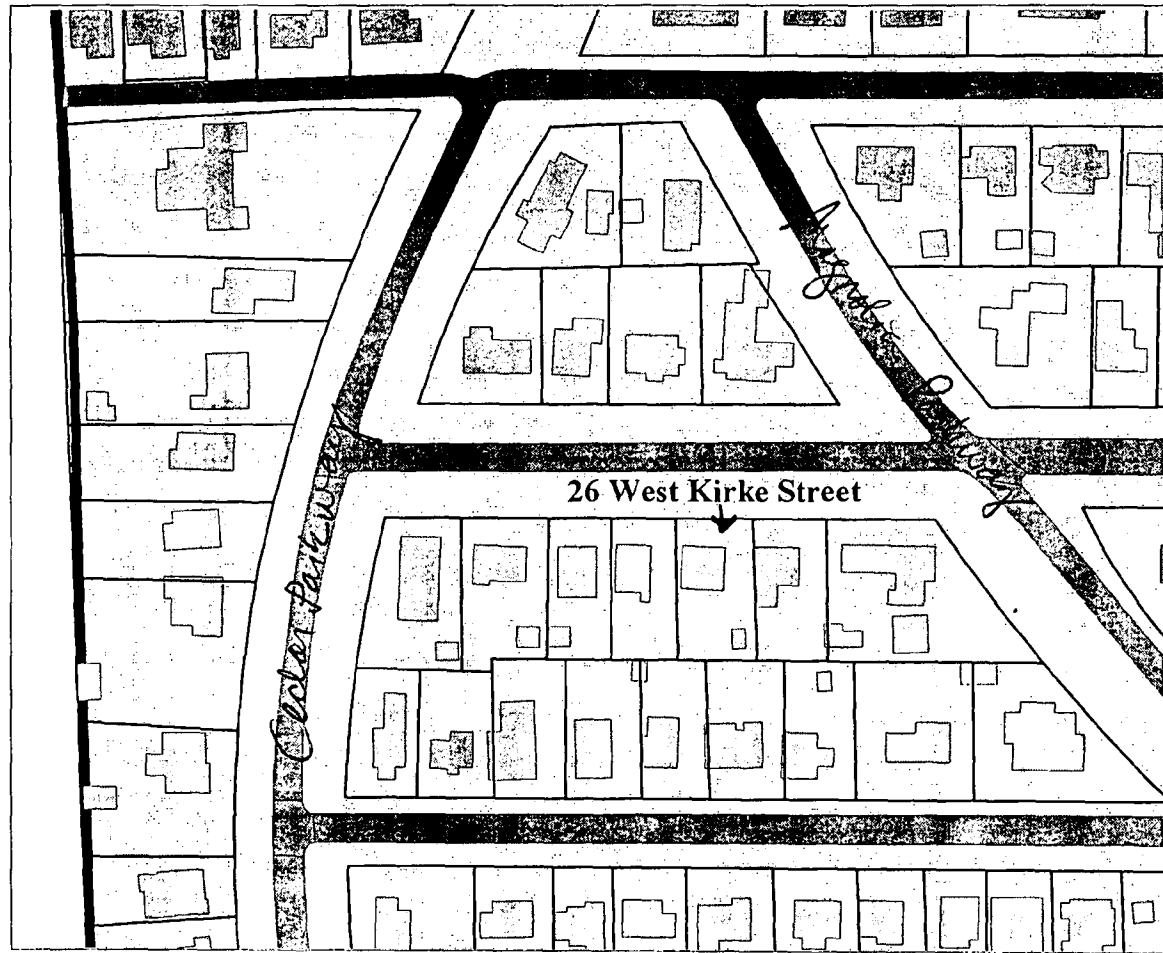
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

# Chevy Chase Historic District



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	26 West Kirke Street	<b>Meeting Date:</b>	08/13/03
<b>Applicant:</b>	Marc Reshefsky	<b>Report Date:</b>	08/06/03
<b>Resource:</b>	Chevy Chase Historic District	<b>Public Notice:</b>	07/30/03
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	35/13-03Q	<b>Staff:</b>	Corri Jimenez
<b>PROPOSAL:</b>	Construction of an addition and façade alterations		
<b>RECOMMEND:</b>	Approve with condition		

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**CONDITIONS**

1. Windows and doors on both the house and addition will be made of wood. All of the windows used will be simulated divided lite windows with a wood grille applied to the exterior of the glass.
2. All of the wood shutters on the front façade will be operable.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource  
**STYLE:** Colonial Revival  
**DATE:** 1892-1916

26 West Kirke Street is a contributing resource to the Chevy Chase Historic District as a 2-½ story Colonial Revival. Although constructed between 1892-1916, the stucco-covered house was altered in the late 1970s with the removal of its front portico and construction of a rear addition.

**PROPOSAL**

The applicant proposes to undertake front façade improvements by correcting 1978 “renovations” done to the house. A one-story, columned portico will be added to the front, along with a more appropriate front door with sidelights and a tri-partite front window on the 2<sup>nd</sup> floor (see Circle 9). Louvered or plain wood shutters will also be added to the front of the house.

In addition to these façade improvements, a 1978 small two-story, gabled addition on the southeast will be removed (see Circle 10-11). A larger, rear two-story addition will be constructed in the rear, which will continue the house's main gable. A pressure-treated rear deck will be added that will be built on posts with a lattice skirt, which will be painted or stained. Pebbly-dash stucco will be applied to the exterior of the addition that will be similar to the historic stucco although not as textured.

Besides the front façade improvements and addition, the applicant will be removing a 10" holly located on the side as well as relocating rear boxwood.

### **STAFF DISCUSSION**

Staff feels the proposed changes to the façade are great improvements to 26 West Kirke Street. The Chevy Chase Historic District guidelines state that moderate scrutiny should be applied for façade improvements on contributing resources and that the "planned changes...be compatible with the structure's existing design, but should not be required to replicate its architectural style." Staff feels that this design is acceptable by these guidelines.

In July, staff met with the applicant to help him with the design of a front portico that is compatible with the neighboring West Kirke Street houses (see Circle 22-24). Staff feels the removal of the 1970s details, such as the glass entryway door and second-story window, are commendable. The new portico, tri-partite window, and wood shutters will be complimentary features to the façade as well as blend the house with the historic district. Staff would like to recommend a simple Colonial Revival louvered operable shutter be used since it is unknown if shutters existed on the front.

In addition, staff feels the addition to the rear corner of the house is appropriate. Staff recommended during the July meeting that the stucco finish differ from the historic house as well as that the 6/1 wood double hung windows be shorter in size just to distinguish the difference from the old and new. Staff would like to encourage that the applicant reuse any existing windows on the new addition, if possible. During a visit to the site, staff noted the that 1/1 windows on the rear appear to be more modern than the 9/1 and 6/1 historic windows that are original to the house.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b) 1 & 2:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district.

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the Secretary of the Interior's *Standards* #10:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

with conditions:

1. Windows and doors on both the house and addition will be made of wood. All of the windows used will be simulated divided lite windows with a wood grille applied to the exterior of the glass.
2. All of the wood shutters on the front façade will be operable.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: MARC RESHEFSKY  
Daytime Phone No.: 202-246-6143

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: MARC RESHEFSKY Daytime Phone No.: 202-246-6143  
Address: 2330 CATHEDRAL AVENUE NW WASH. DC 20008  
Street Number City State Zip Code  
Contractor: SUPERIOR HOMEWORKS INC Phone No.: 301-455-0828  
Contractor Registration No.: 49469  
Agent for Owner: SCOTT CELL Daytime Phone No.: 301-455-0828

LOCATION OF BUILDING/PREMISE

House Number: 2642 KIRKE ST Street: WEST KIRKE ST  
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY  
Lot: 12414 Block: 32 Subdivision: 2  
Liber: 18052 Folio: 636 Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:   
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: PORTICO  
1B. Construction cost estimate: \$ 80,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
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3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M. Reshefsky  
Signature of owner or authorized agent

7/23/2003  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 313158 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1. - EXTEND EXISTING HOUSE 20'-0" TO BACK &  
- ADD 2<sup>ND</sup> FLOOR OVER
2. ADD NEW PORTICO TO FRONT.
3. REVISE WINDOW OVER PORTICO
4. ADD SHUTTERS TO FRONT

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- THE REAR ADDITION WILL HAVE LITTLE IF ANY IMPACT FROM THE STREET - EXISTING PEBBLE DASH STUCCO WILL BE MIMICED WITH A SMOOTHER STUCCO FINISH IN THE SAME COLOR.
  - THE PORTICO & SHUTTERS ARE PREVALENT ALONG W. KIRKES.
- PORTICOS EXIST @ # 32, 29, 27, 17, 16 & 7. PORCHES CAN BE FOUND ON # 31, 26, 19, 15, 14, 12 and 10.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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**4. MATERIALS SPECIFICATIONS**

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**5. PHOTOGRAPHS**

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**6. TREE SURVEY**

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**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
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5

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

MAIYC RESHEFSKY  
 2238 CATHEDRAL AVE NW  
 WASHINGTON DC  
 20008

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

M/M HOWARD ELLIOT  
 24 W. KIRKE ST  
 CC. MD 20815

M/M THOMAS DANN  
 27 W. KIRKE ST.  
 CC, MD. 20815

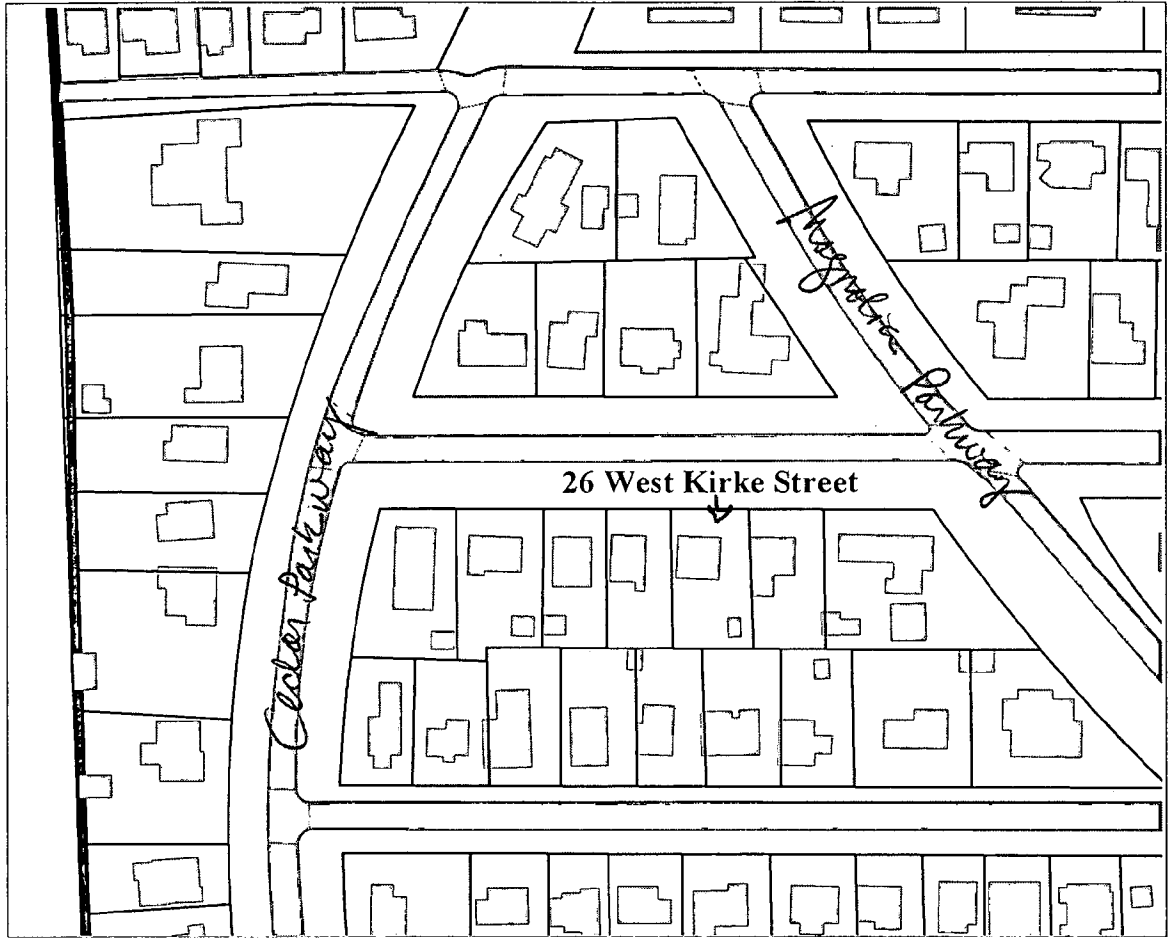
Priscilla & Frank Doyle  
 28 W. KIRKE ST.  
 CC. MD. 20815

M/M JOHN TUOHY  
 29 W. KIRKE ST.  
 CC MD. 20815

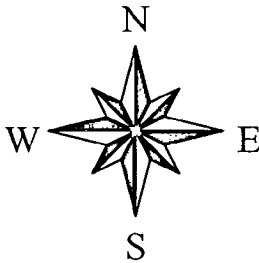
g addresses noticing table

(6)

# Chevy Chase Historic District



26 West Kirke Street



0.06 0 0.06 0.12 Miles



CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Notes

1. Flood zone "C" per H.U.D. panel  
No map available

2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.

LOT OCCUPANCY (COVERAGE)

① EXIST. HOUSE & GARAGE

1,502 SF / 18.49 %

② EXIST. w/ NEW ADDN & PORCH

350 SF + 36 SF + 286 SF + 1502 SF = 1888 SF

27.24 %

③ #② w/ DECK

1888 + 316.5 = 2204.5 SF LOT 13

27.13 %

REMOVE  
10" Ø HOLLY

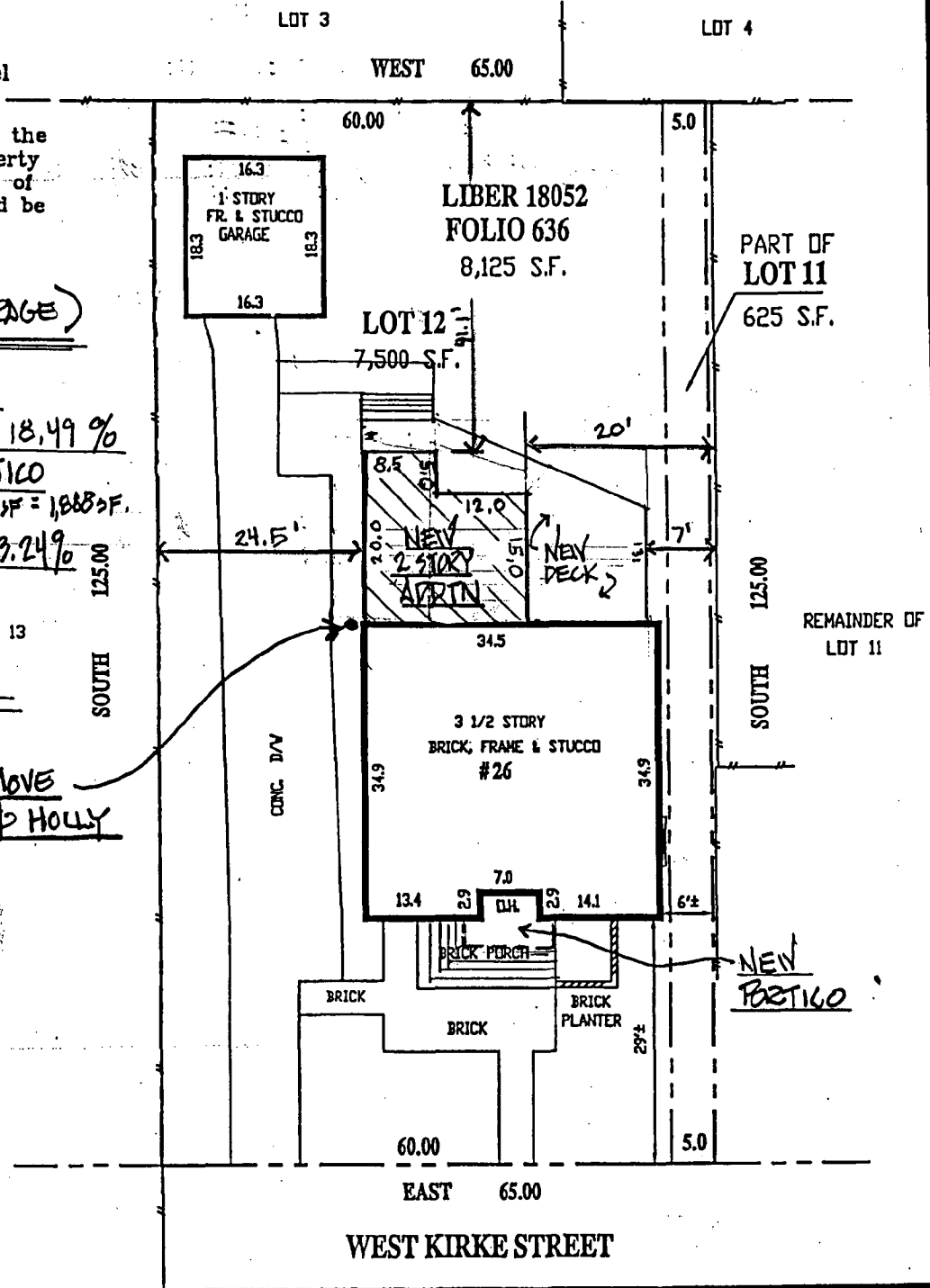
LOCATION DRAWING

LOT 12 & PART OF LOT 11

BLOCK 32, SECTION 2

CHEVY CHASE

MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

*Jeffrey A. Foster*

MARYLAND PROPERTY LINE SURVEYOR REG. NO. 507

REFERENCES

PLAT BK. 2  
PLAT NO. 106

LIBER  
FOLIO



SNIDER & ASSOCIATES  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 218  
Gaithersburg, Maryland 20879  
301/948-5100, Fax 301/948-1288

DATE OF LOCATIONS

SCALE: 1" = 20'

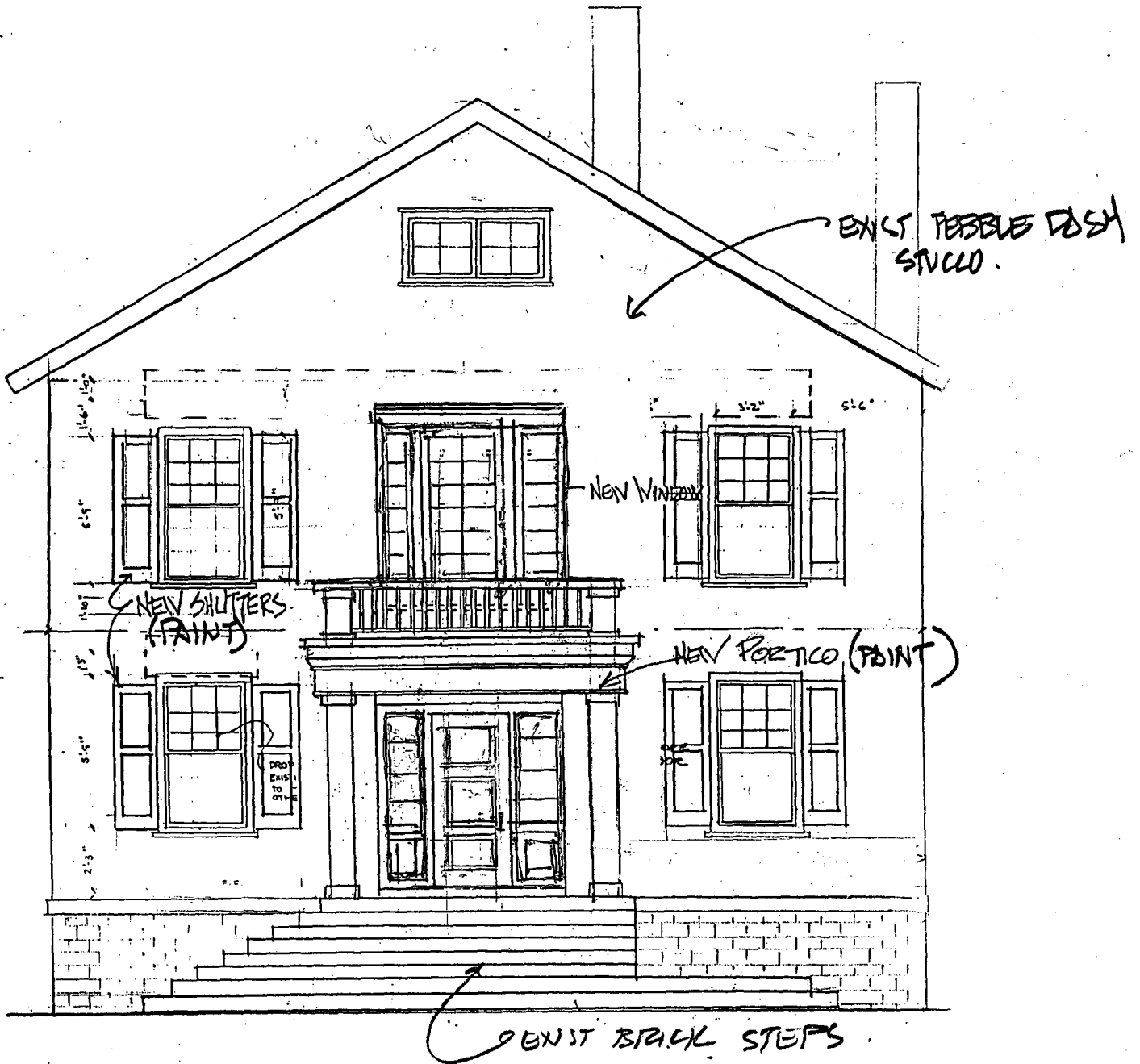
WALL CHECK:

DRAWN BY: E.M.G.

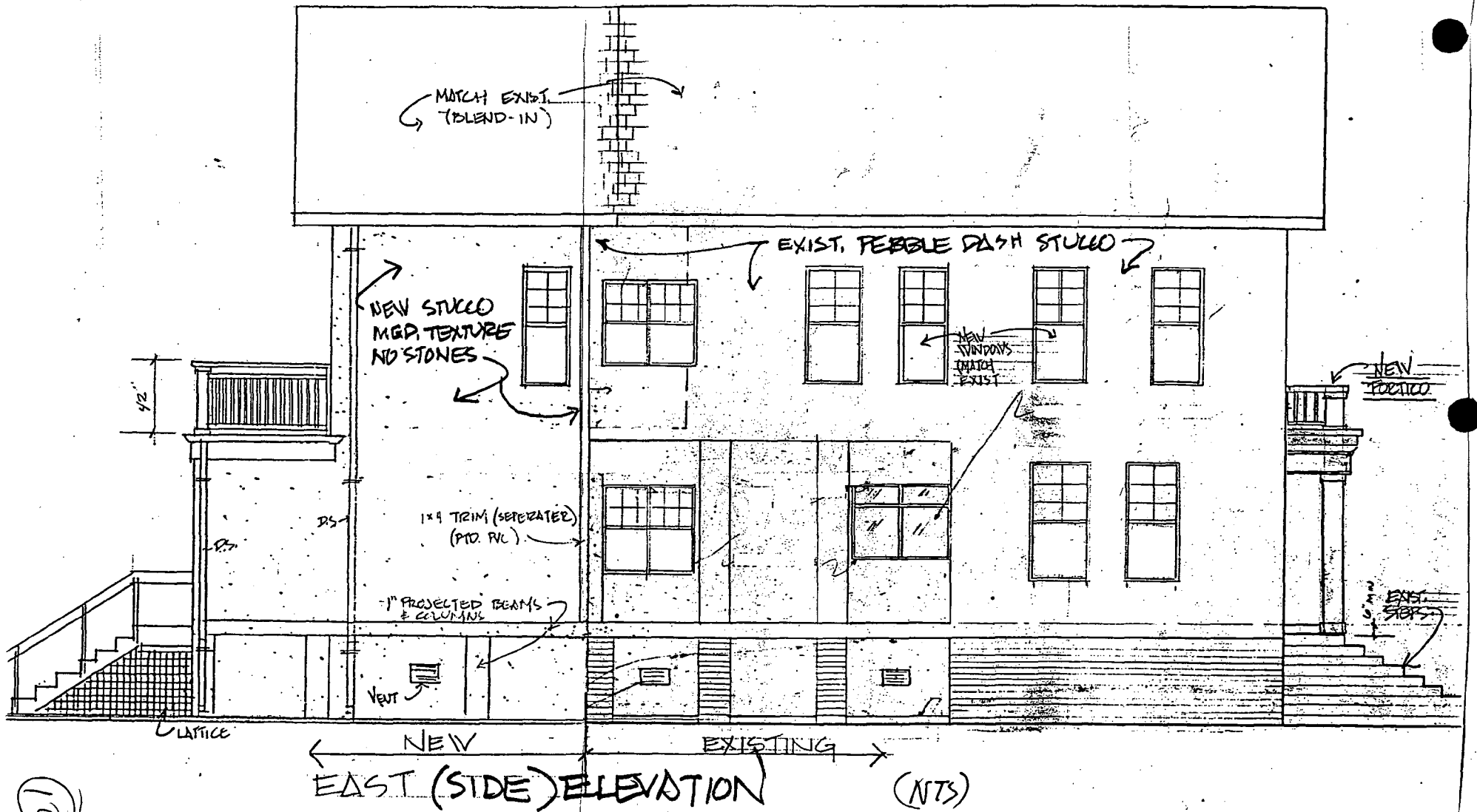
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JOB NO.: 03-3958

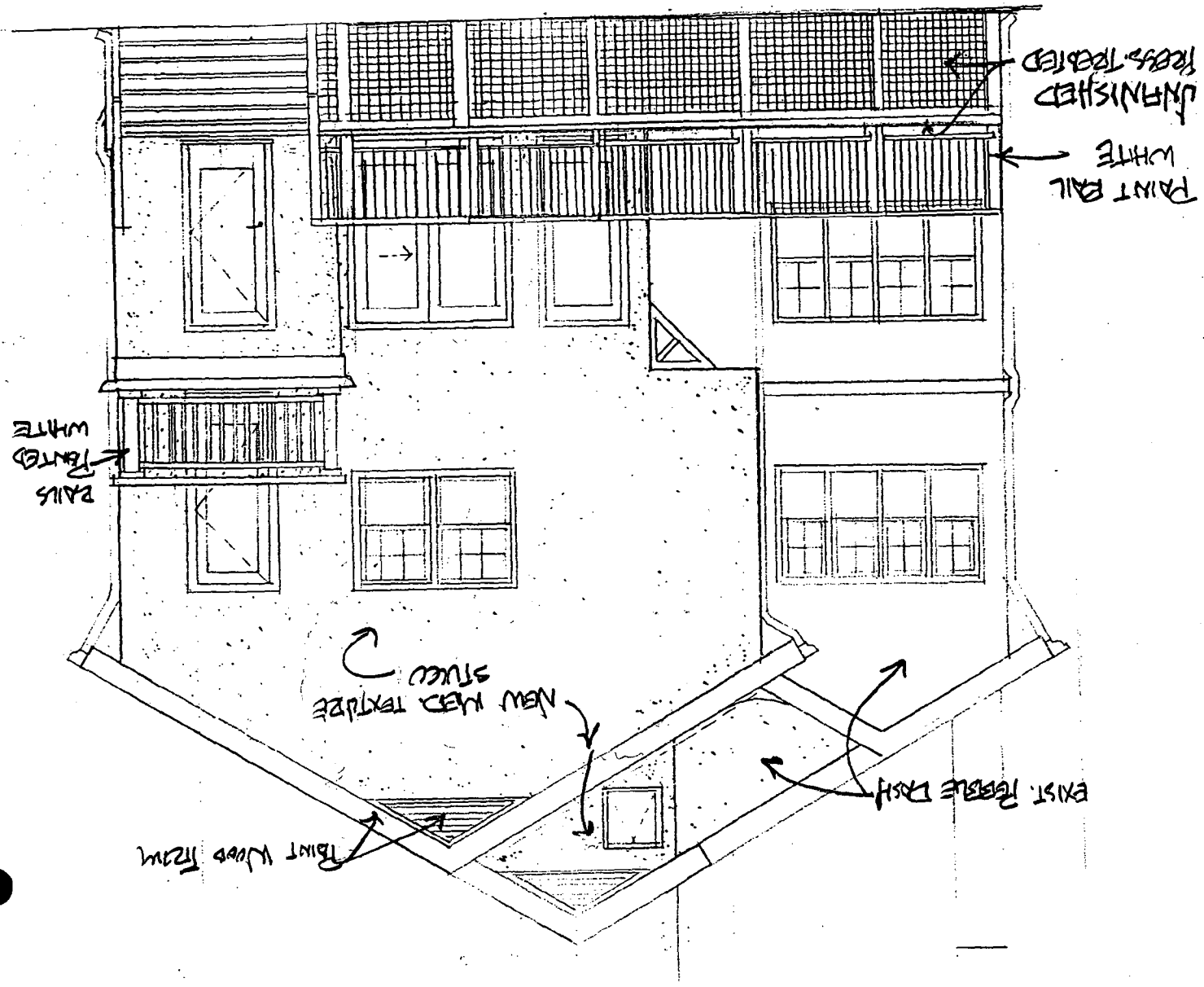
8



FRONT (NORTH)



10

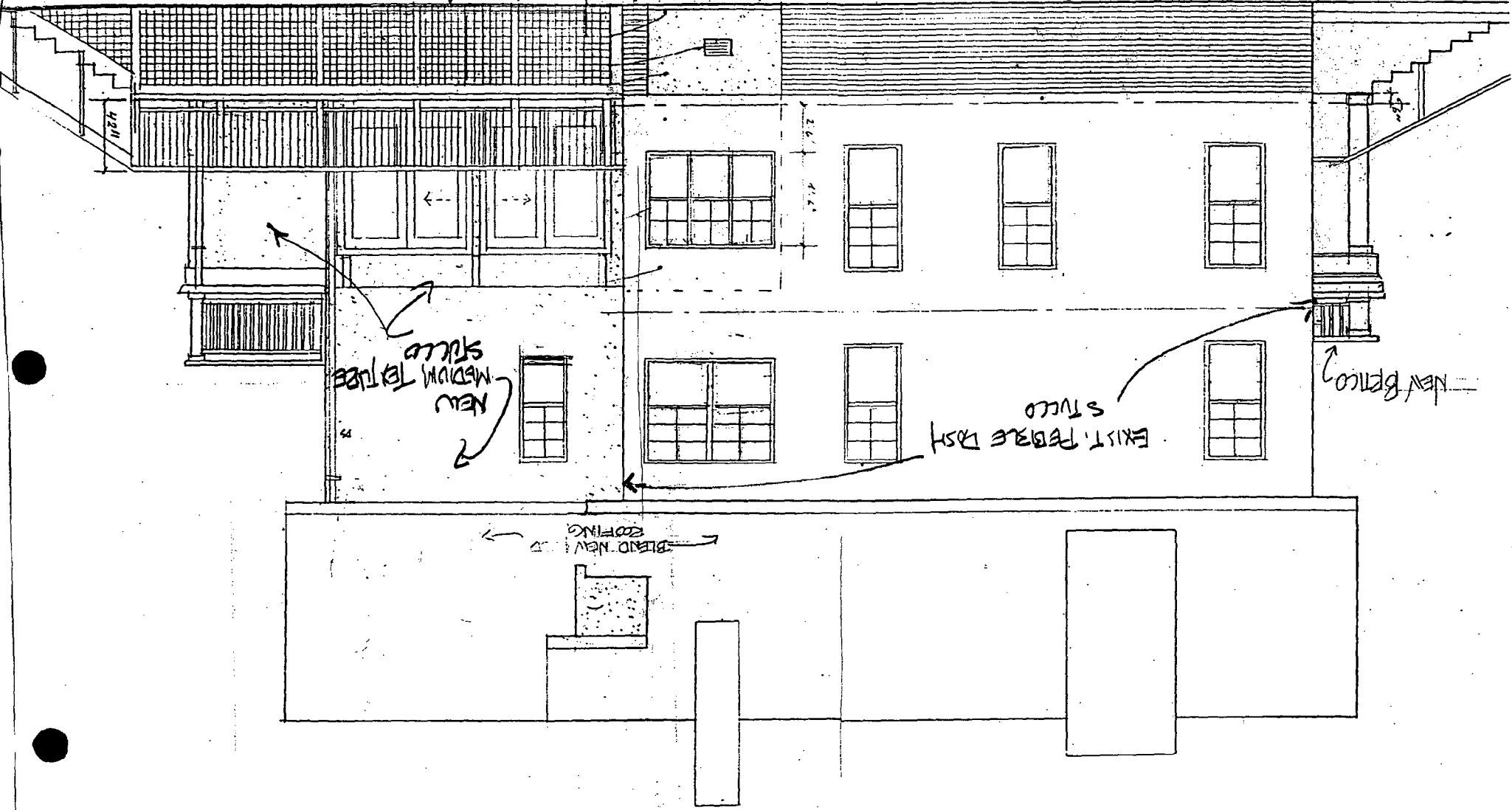


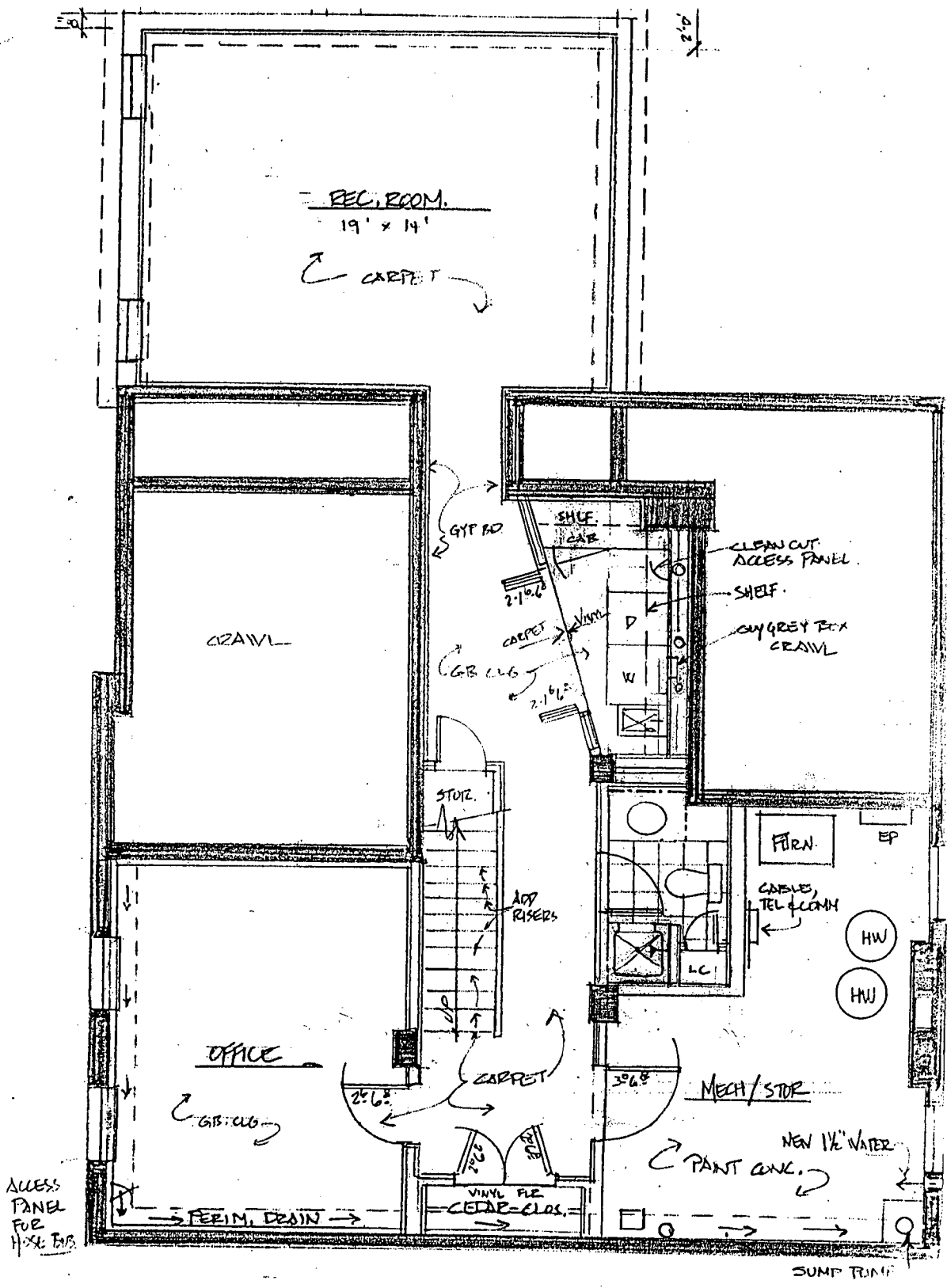


2

WEST ELEVATION (SIDE)

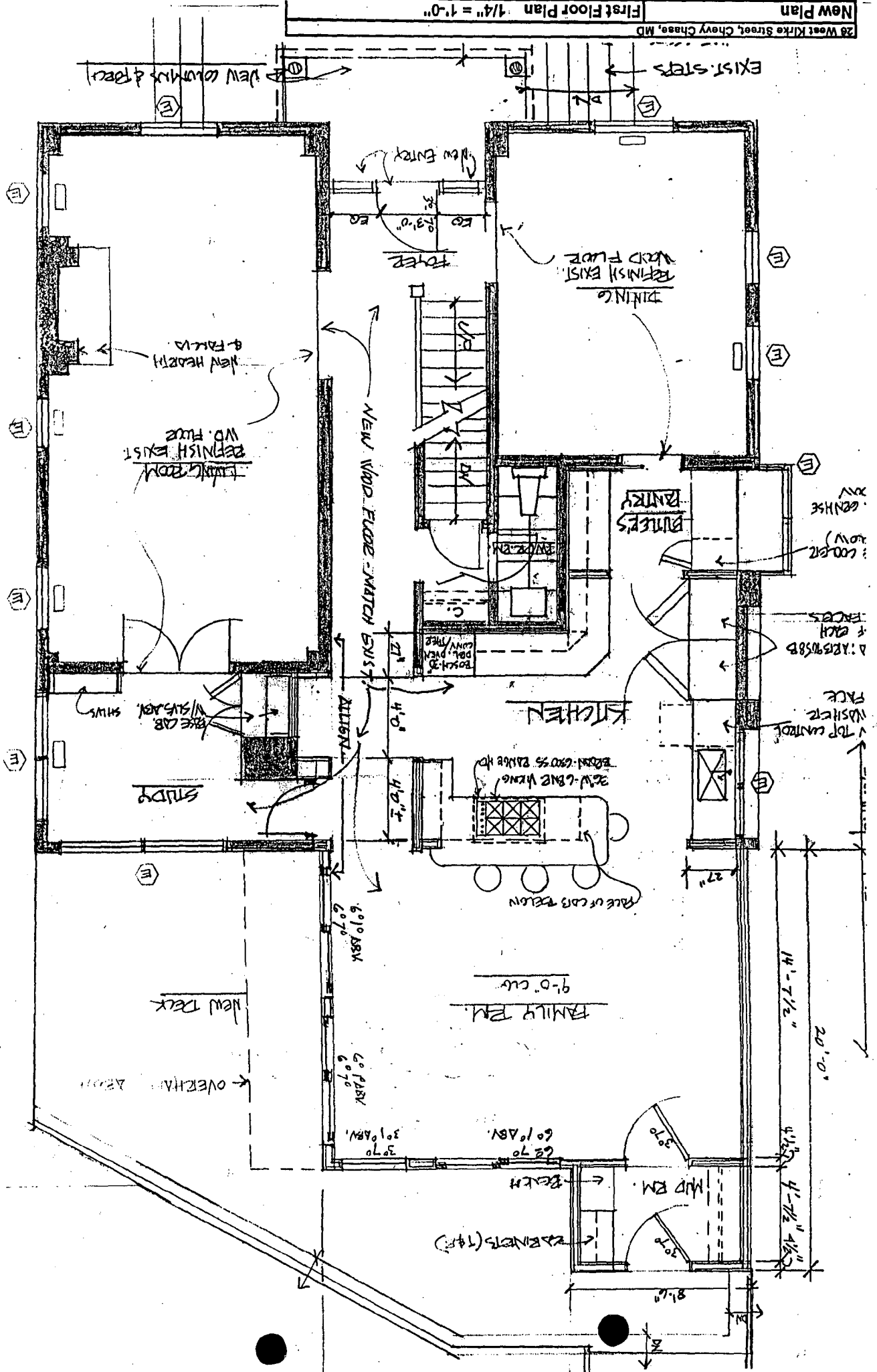
← EXISTING → NEW (MIS) →

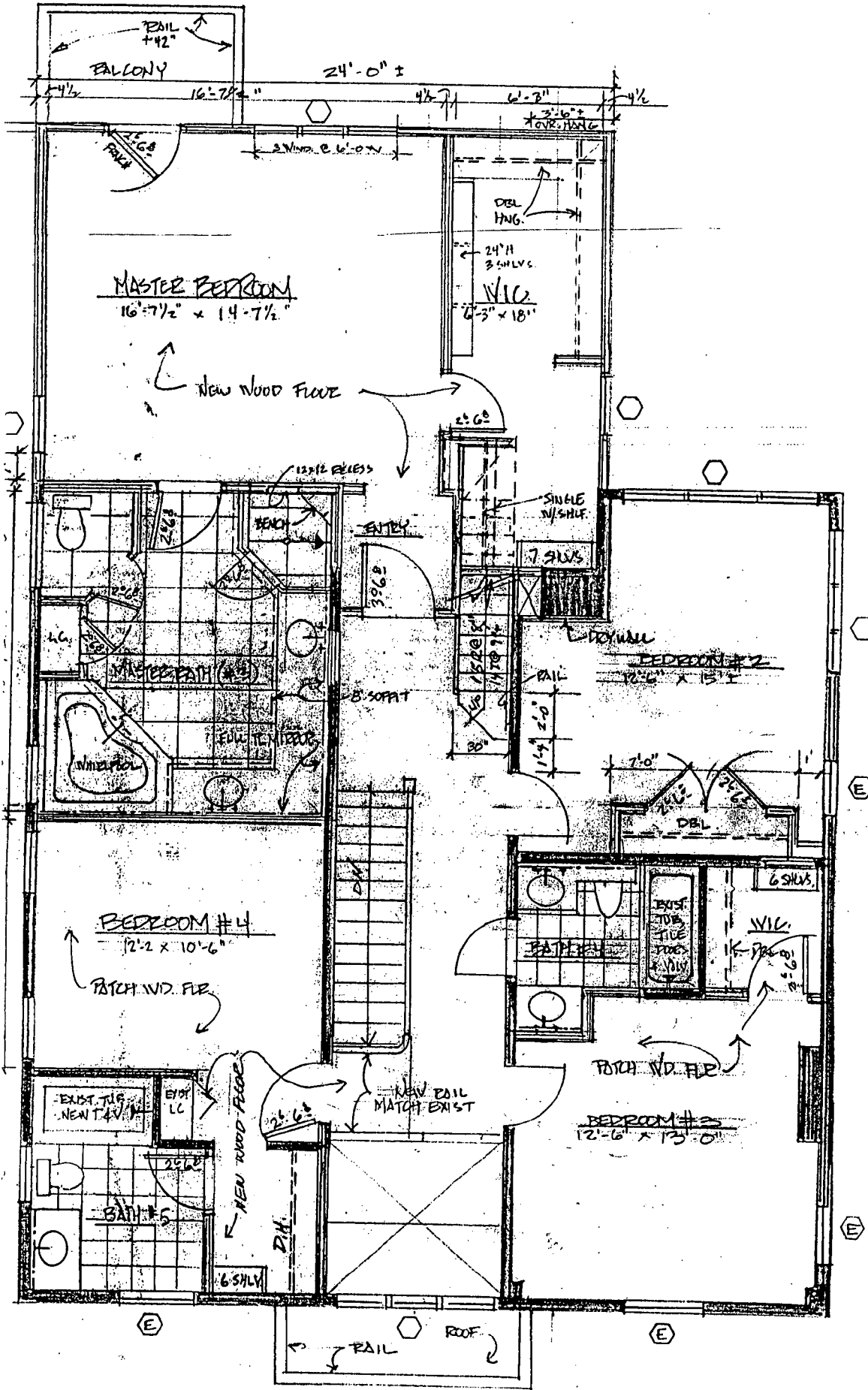


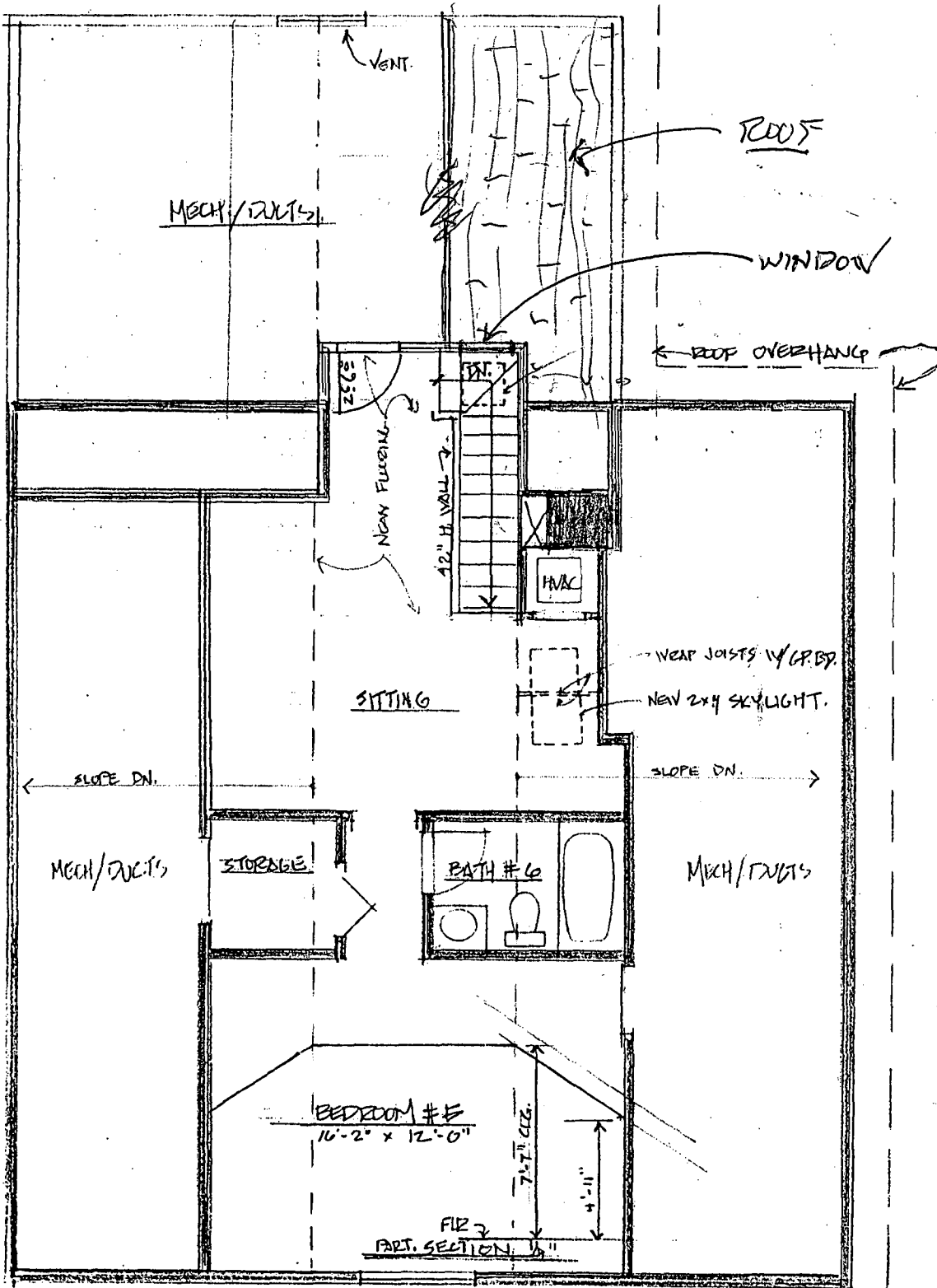


26 West Kirke Street, Chevy Chase, MD  
 New Plan Basement Plan 1/4" = 1'-0"

14





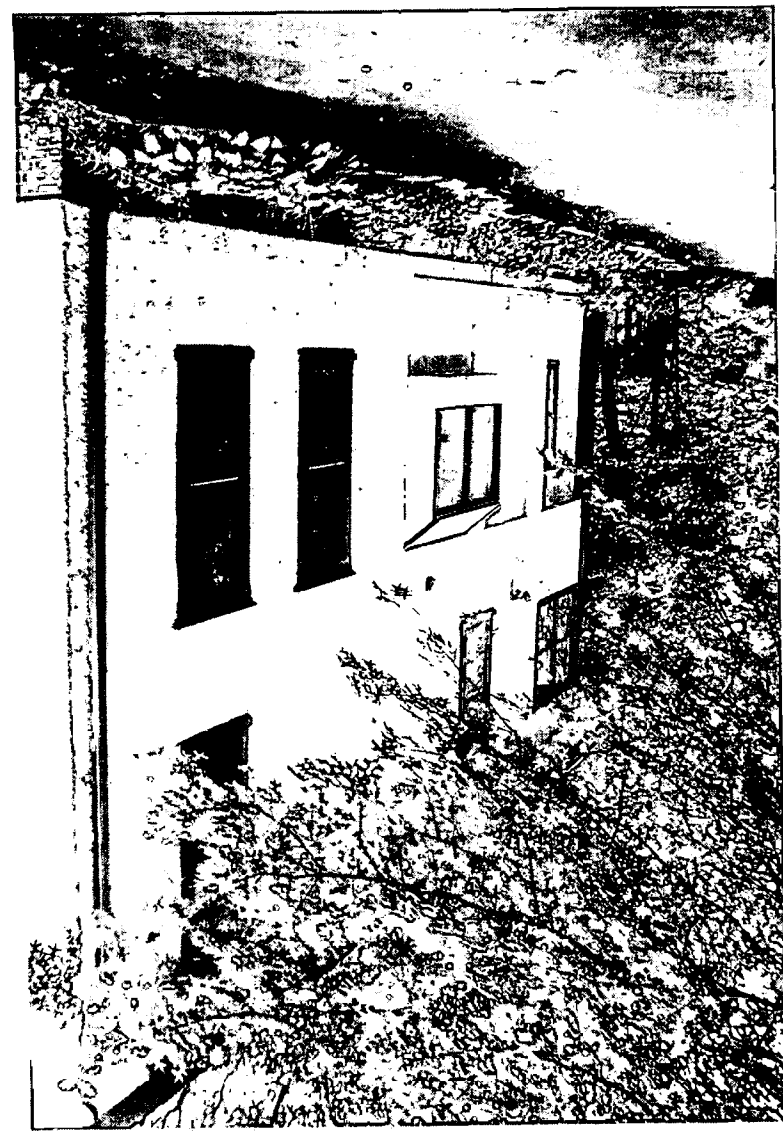


26 West Kirke Street, Chevy Chase, MD  
 New Plan Third Floor Plan 1/4" = 1'-0"

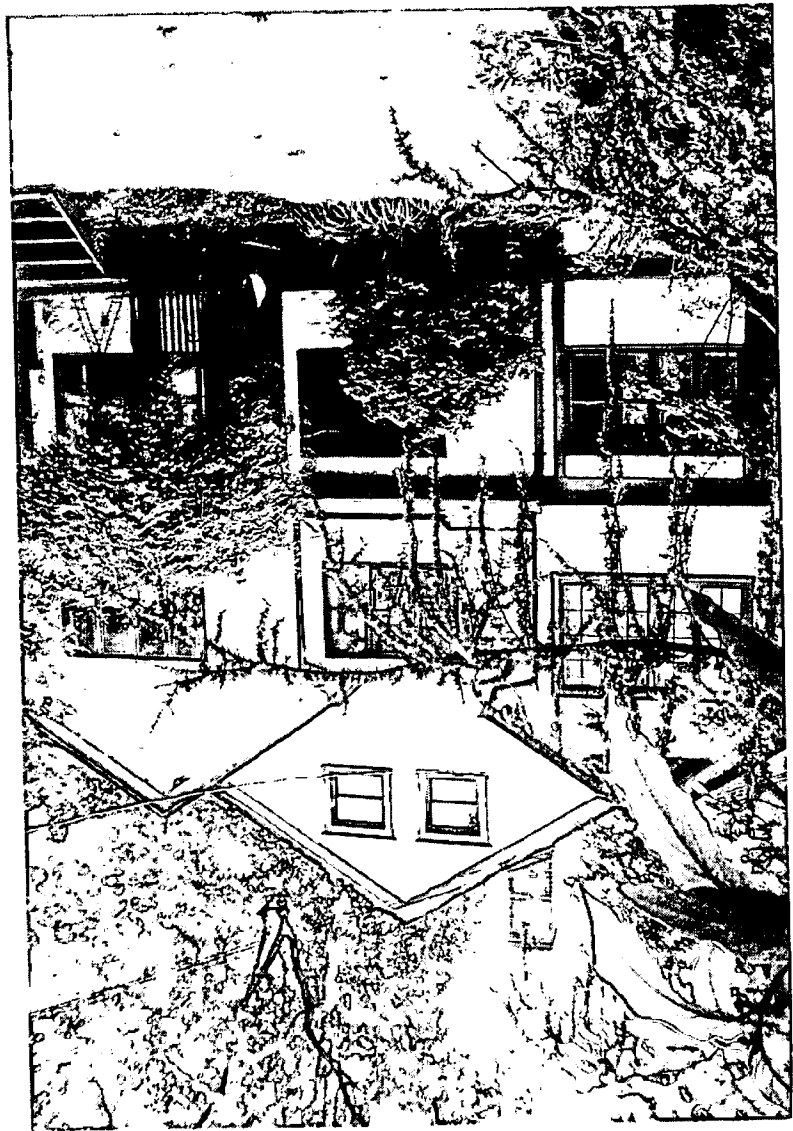
6/29/02

16

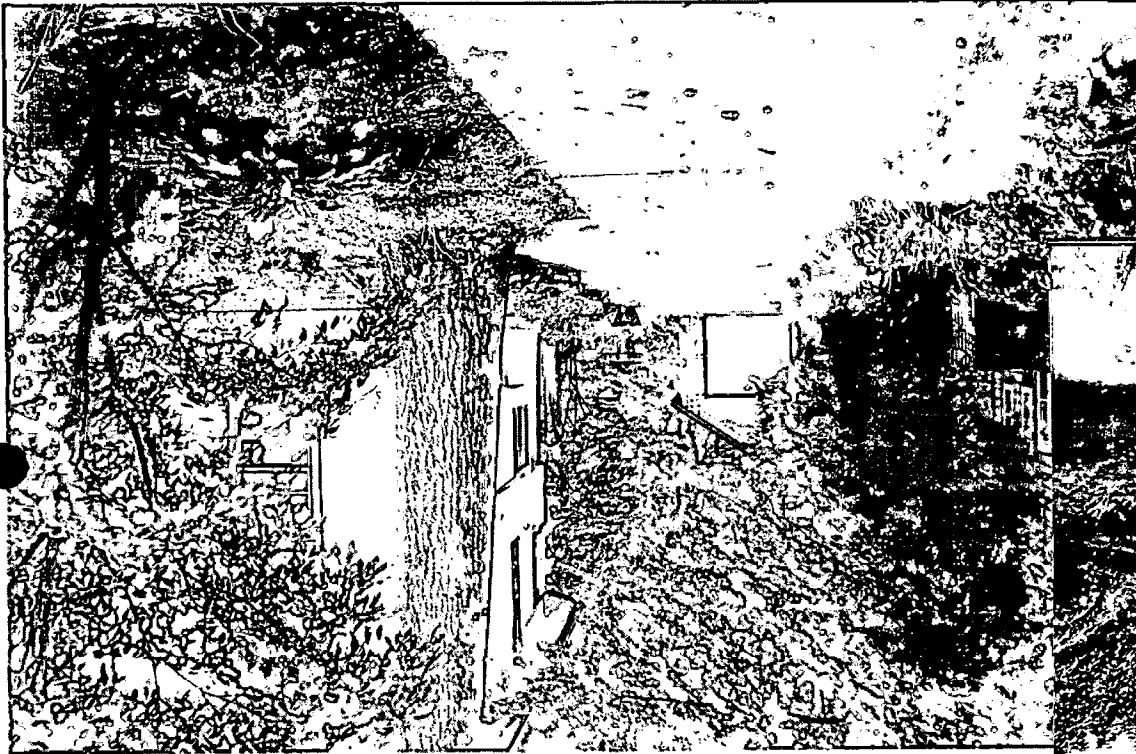
EAST (SIDE)



SOUTH (BACK)



EAST & NORTH (SIDE & FRONT)

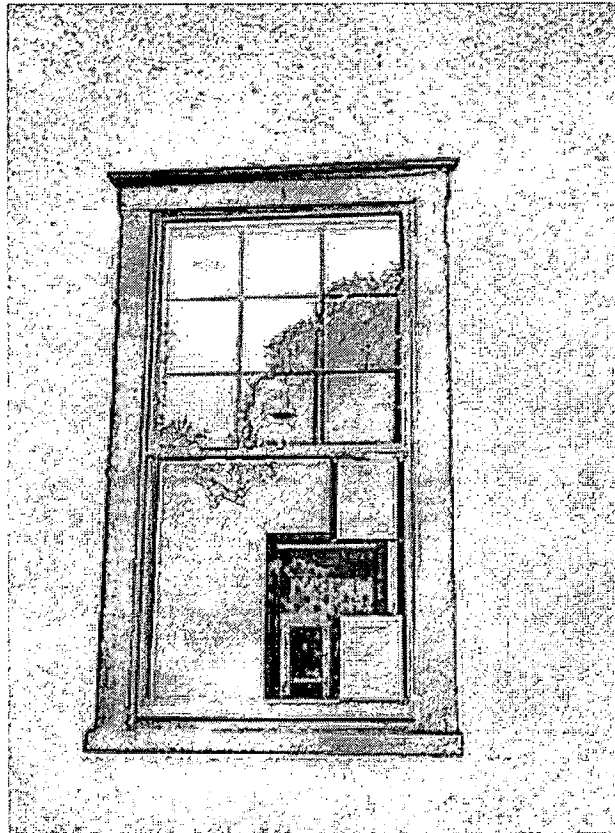


FRONT  
(NORTH)





26 West Kirke Street



Historic 9/1 front windows





Holly tree to be removed

Side view (Note: historic 6/1 windows on 2<sup>nd</sup> floor)



Rear view of property (Note: Boxwood to be relocated in center)



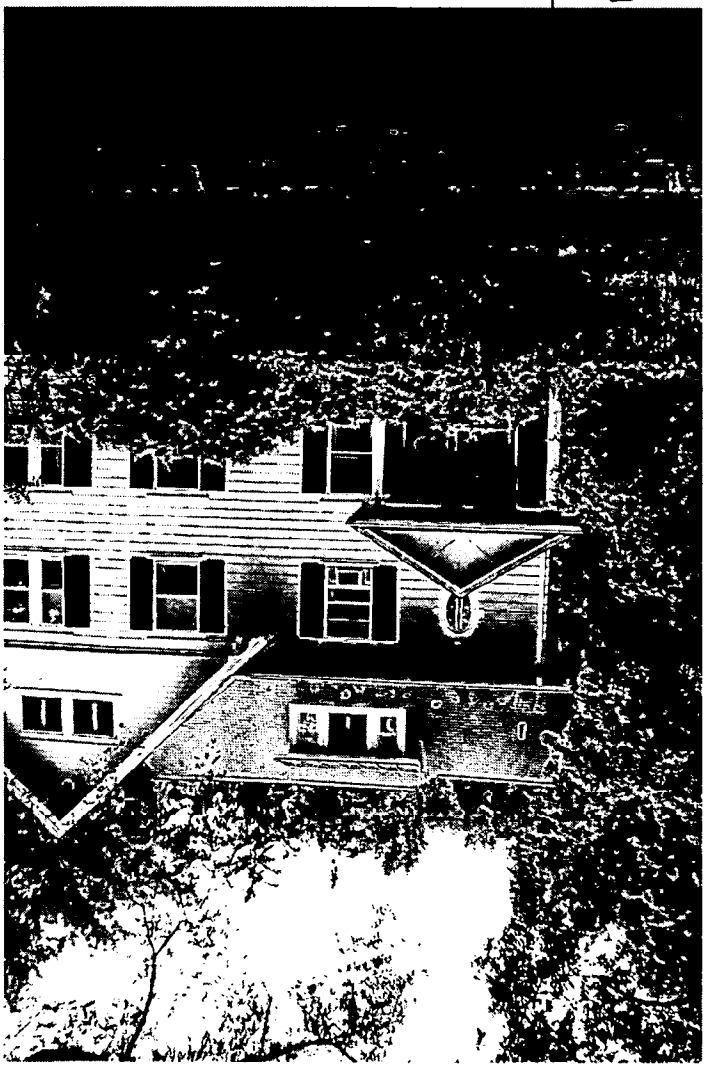
Historic Dormer



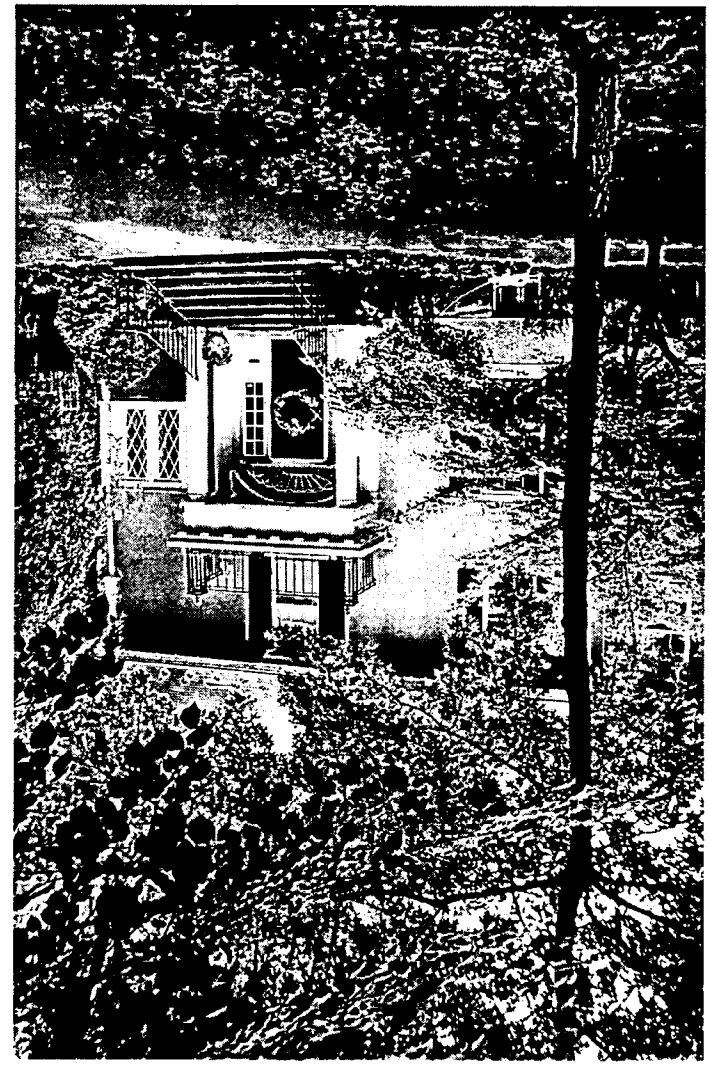
29 West Kirke (Applicant has chosen to replicate this design for house)

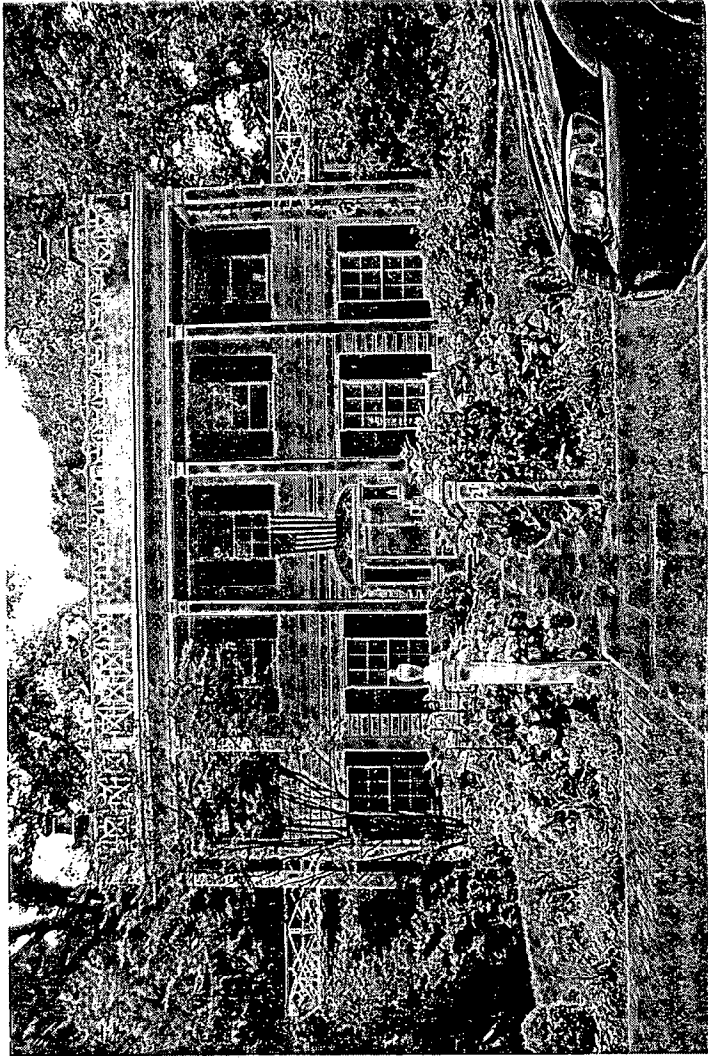


7 West Kirke



32 West Kirke Street

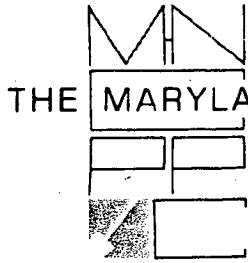




27 West Kirke



15 West Kirke →



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: August 14, 2003

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: 1. windows and doors on both the house and

addition will be made of wood. All of the windows used will be simulated divided lite

windows with a wood grille applied to the exterior of the glass. 2. All of the wood

shutters on the front facade will be operable. 3. Redrawn to scale & approved by staff

DRAWINGS WILL BE

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Marc Reshefsky

Address: 26 West Kieck Street, Chevy Chase Historic District

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: MARC RESHEFSKY  
Daytime Phone No.: 202-246-6143

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: MARC RESHEFSKY Daytime Phone No.: 202-246-6143  
Address: 2138 CATHEDRAL AVENUE NW WASH DC 20018  
Street Number City State Zip Code  
Contractor: SUPERIOR HOMEWORKS INC Phone No.: 301-455-0828  
Contractor Registration No.: 49469  
Agent for Owner: SCOTT CEU Daytime Phone No.: 301-455-0828

LOCATION OF BUILDING/PREMISE

House Number: 2642 KIRKE ST Street: WEST KIRKE ST  
Town/City: CHEVY CHASE Nearest Cross Street: CEDAR PARKWAY  
Lot: 12411 Block: 32 Subdivision: 2  
Liber: 14052 Folio: 636 Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: PORTICO  
1B. Construction cost estimate: \$ 80,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 7/23/2003 Date

Approved: [Signature] **APPROVED**, Historic Preservation Commission  
Disapproved: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: 8/13/03  
Application/Permit No.: 313158 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

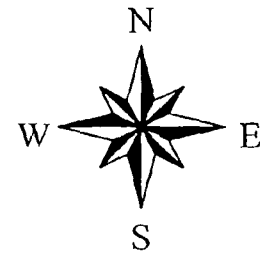
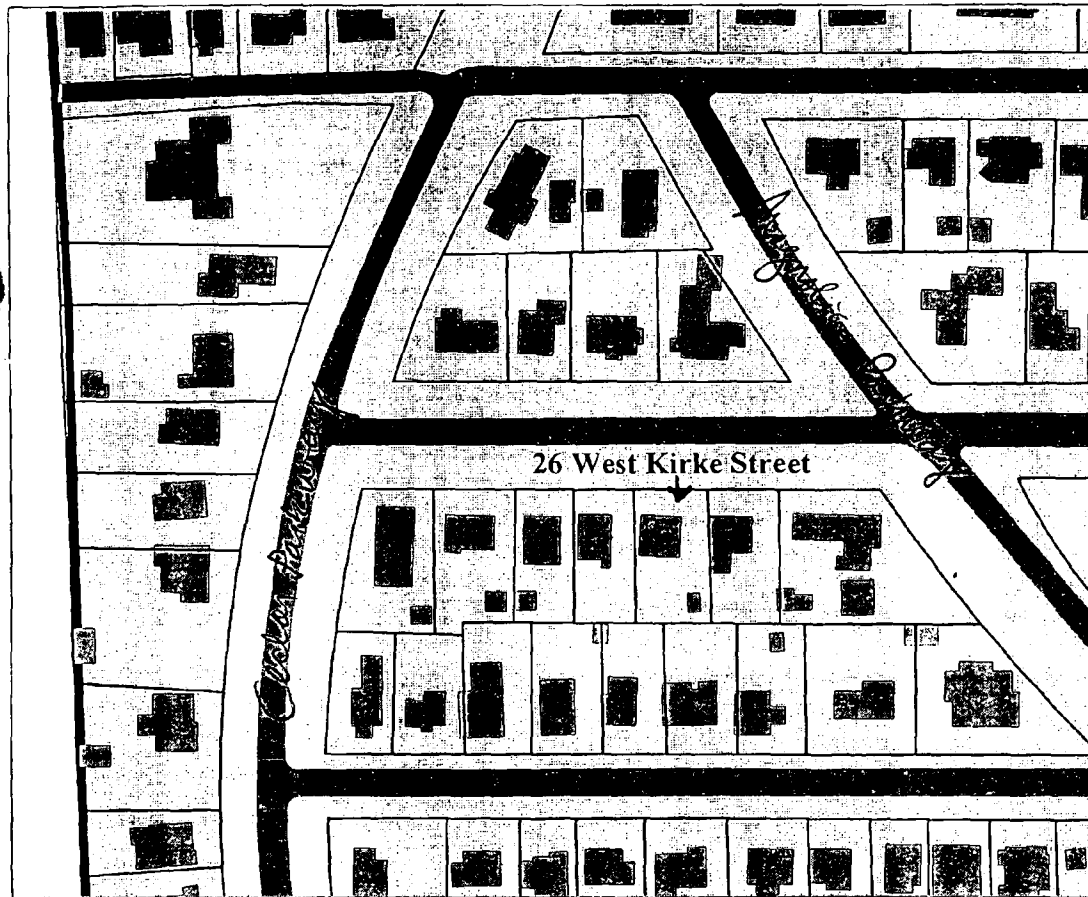
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED  
DIRECTLY ONTO MAILING LABELS.



# Chevy Chase Historic District



(7)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1. - EXTEND EXISTING HOUSE 20'-0" TO BACK &  
- ADD 2<sup>ND</sup> FLOOR OVER
2. ADD NEW PORTICO TO FRONT.
3. REVISE WINDOW OVER PORTICO
4. ADD SHUTTERS TO FRONT.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- THE REAR ADDITION WILL HAVE LITTLE IF ANY IMPACT FROM THE STREET - EXISTING PEBBLE DASH STUCCO WILL BE MIMICED WITH A SMOOTHER STUCCO FINISH IN THE SAME COLOR.
- THE PORTICO & SHUTTERS ARE PREVALENT ALONG W. KIRK.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

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**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

<b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING</b> [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address MAIAC RESNEFSKY 2238 CATHEDRAL AVE NW WASHINGTON DC 20008	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
M/M HOWARD ELLIOT 24 W. KIRKE ST CC. MD 20815	
M/M THOMAS DANA 27 W. KIRKE ST. CC. MD. 20815	
PRISCILLA & DANIEL DOYLE 28 W. KIRKE ST. CC. MD. 20815	
M/M JOHN TUOHY 29 W. KIRKE ST. CC MD. 20815	

g addresses: noticing table

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

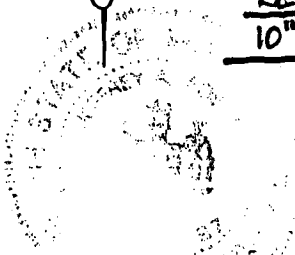
Notes

1. Flood zone "C" per H.U.D. panel  
No map available
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.

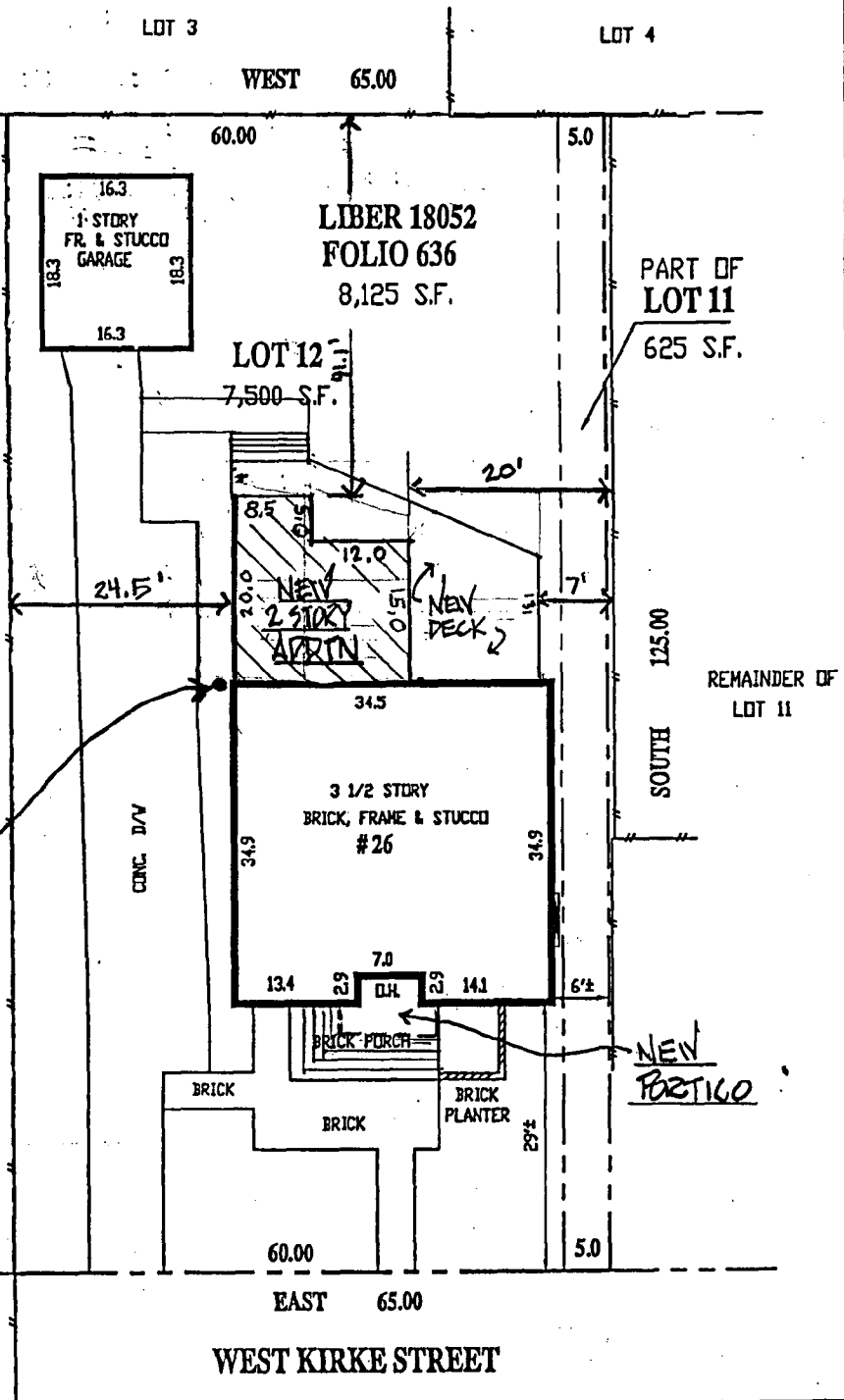
LOT OCCUPANCY (COVERAGE)

- ① EXIST. HOUSE & GARAGE  
1,502 SF / 18.49 %
- ② EXIST. W/ NEW ADDN & PORCHICO  
370 SF + 36 SF = 386 SF + 1,502 SF = 1,888 SF.  
27.24 %
- ③ #② W/ DECK  
1,888 + 316.5 = 2,204.5 SF  
27.13 %

REMOVE  
10" Ø HOLLY



LOCATION DRAWING  
LOT 12 & PART OF LOT 11  
BLOCK 32, SECTION 2  
CHEVY CHASE  
MONTGOMERY COUNTY, MARYLAND

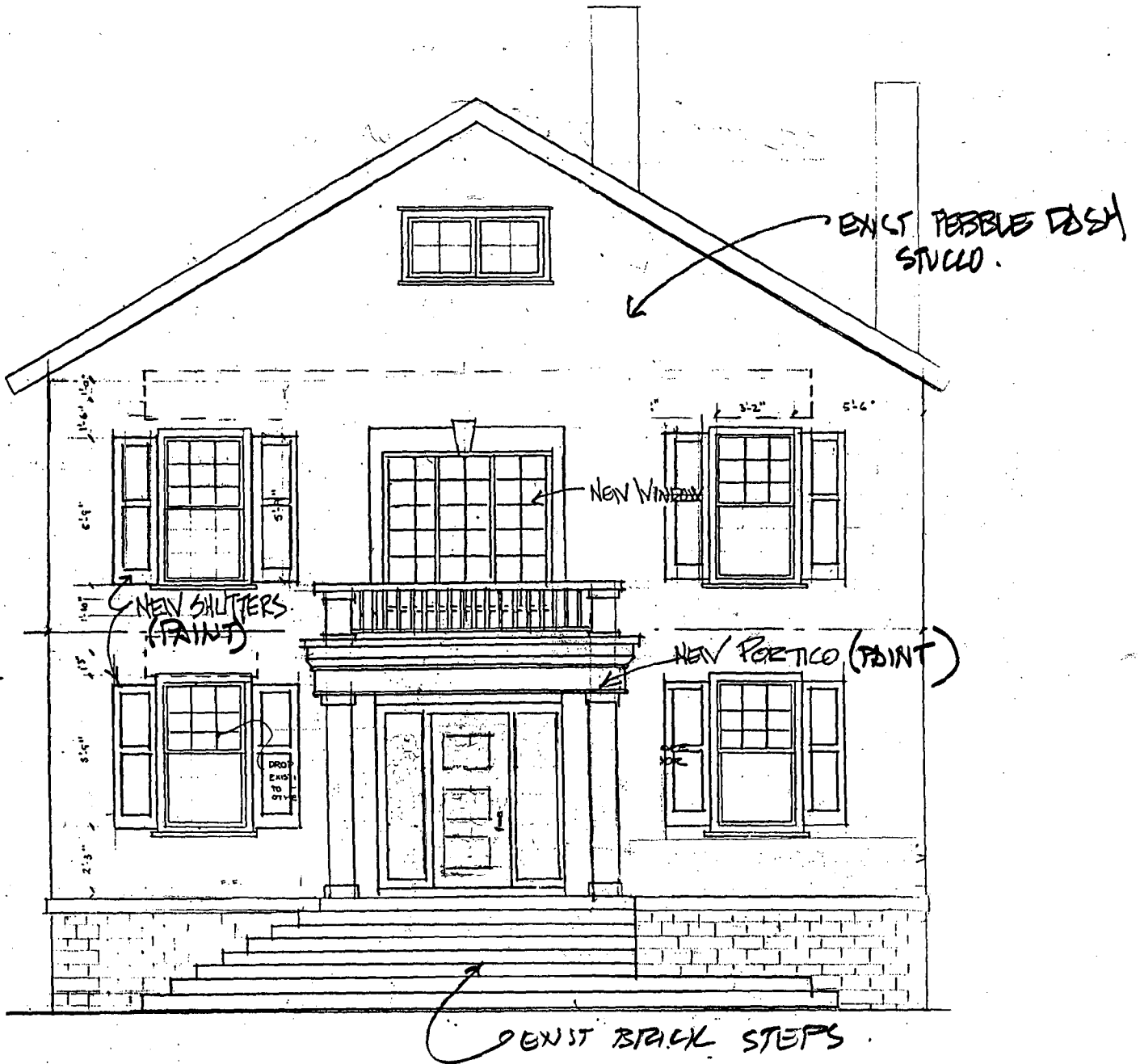


**SURVEYOR'S CERTIFICATE**  
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."  
*Jeffrey A. Foster*  
MARYLAND PROPERTY LINE SURVEYOR REG. NO. 507

**REFERENCES**  
PLAT BK. 2  
PLAT NO. 106  
  
LIBER  
FOLIO

**SNIDER & ASSOCIATES**  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 216  
Gaithersburg, Maryland 20879  
301/948-5100, Fax 301/948-1288

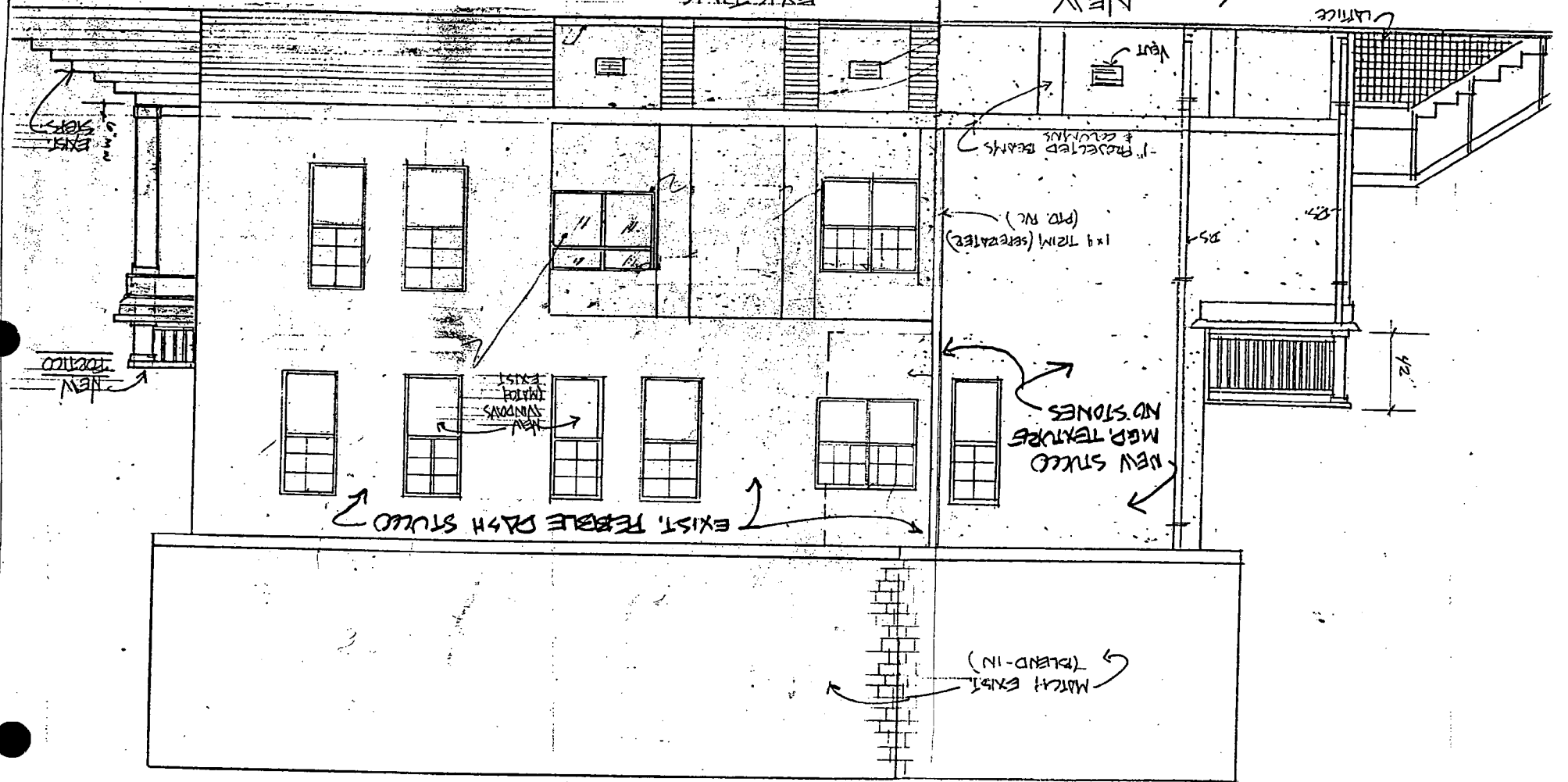
DATE OF LOCATIONS: \_\_\_\_\_  
SCALE: 1" = 20'  
WALL CHECK: \_\_\_\_\_  
DRAWN BY: E.M.G.  
HSE. LOC.: 06-16-03  
JOB NO.: 03-3958

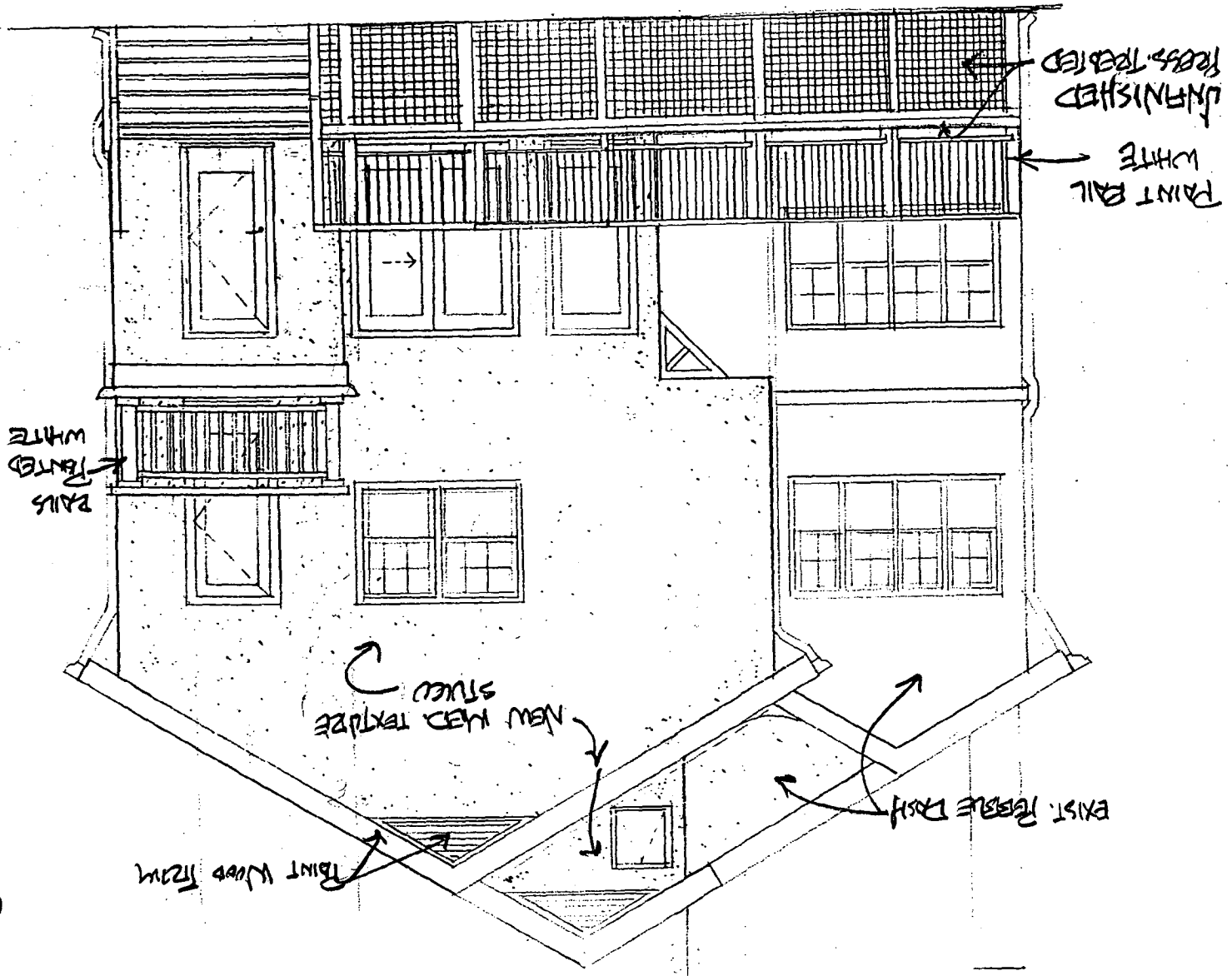


FRONT (NORTH)

EAST (SIDE) ELEVATION (N/S)

EXISTING ← NEW →





UNFINISHED  
RESS. TRAIL

PAINT BAIL  
WHITE

PAINT BAIL  
WHITE

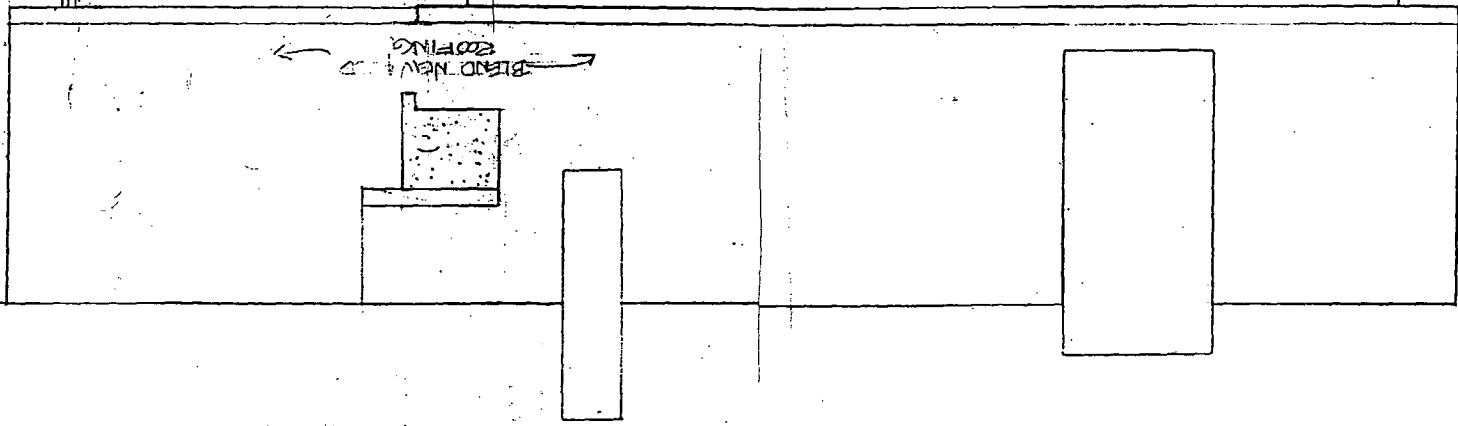
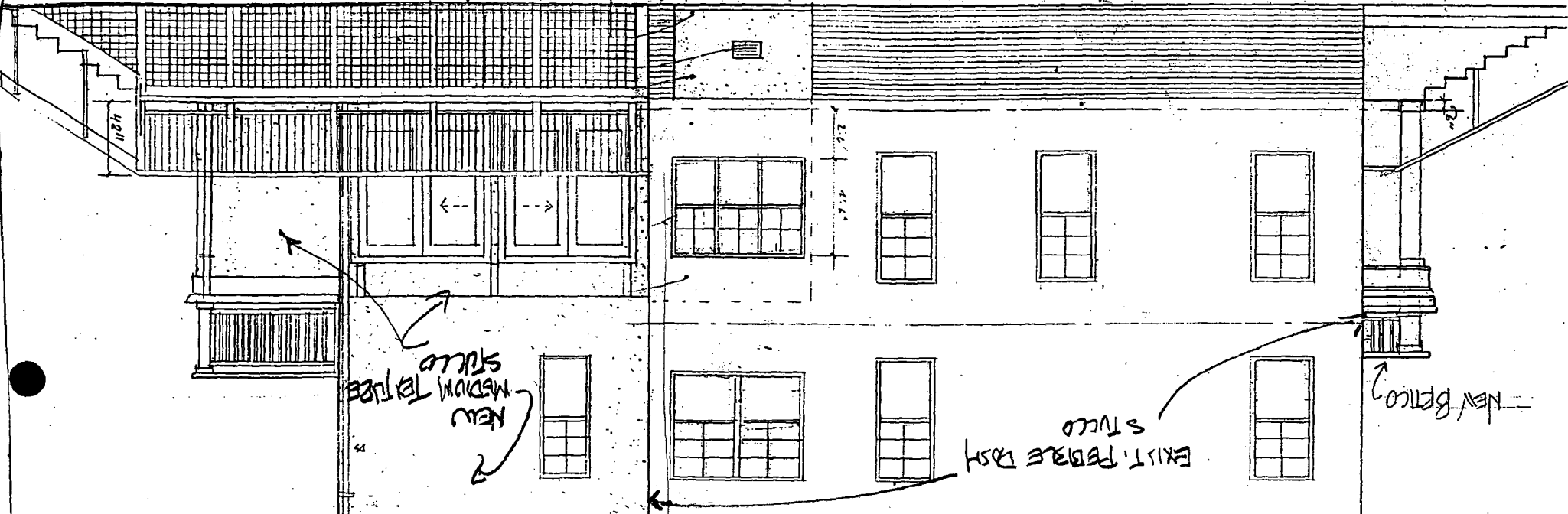
NEW WOOD  
TRAYDE

EXIST. RESS. TRAIL

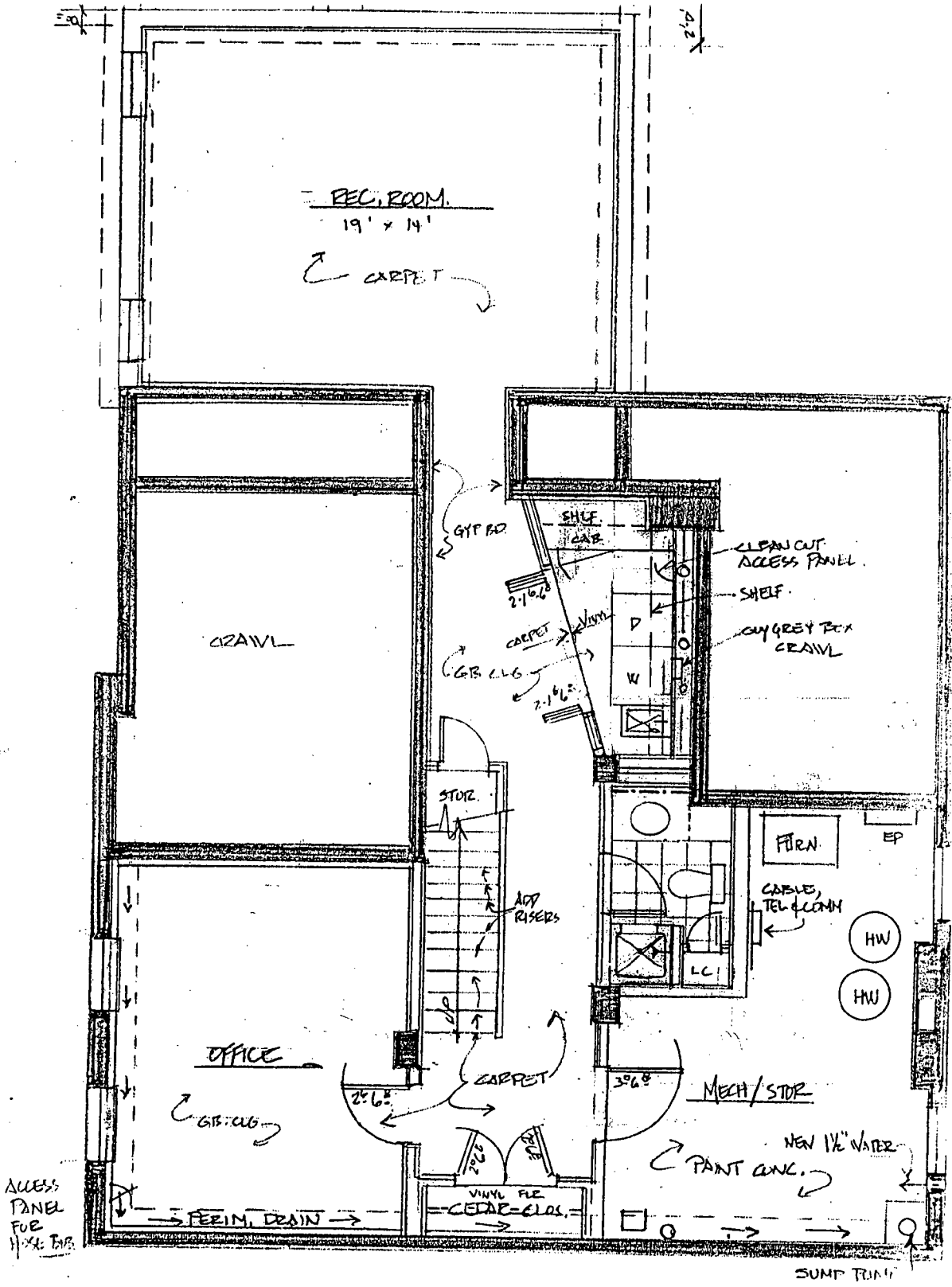
PAINT WOOD  
TRAY

WEST ELEVATION (SIDE)

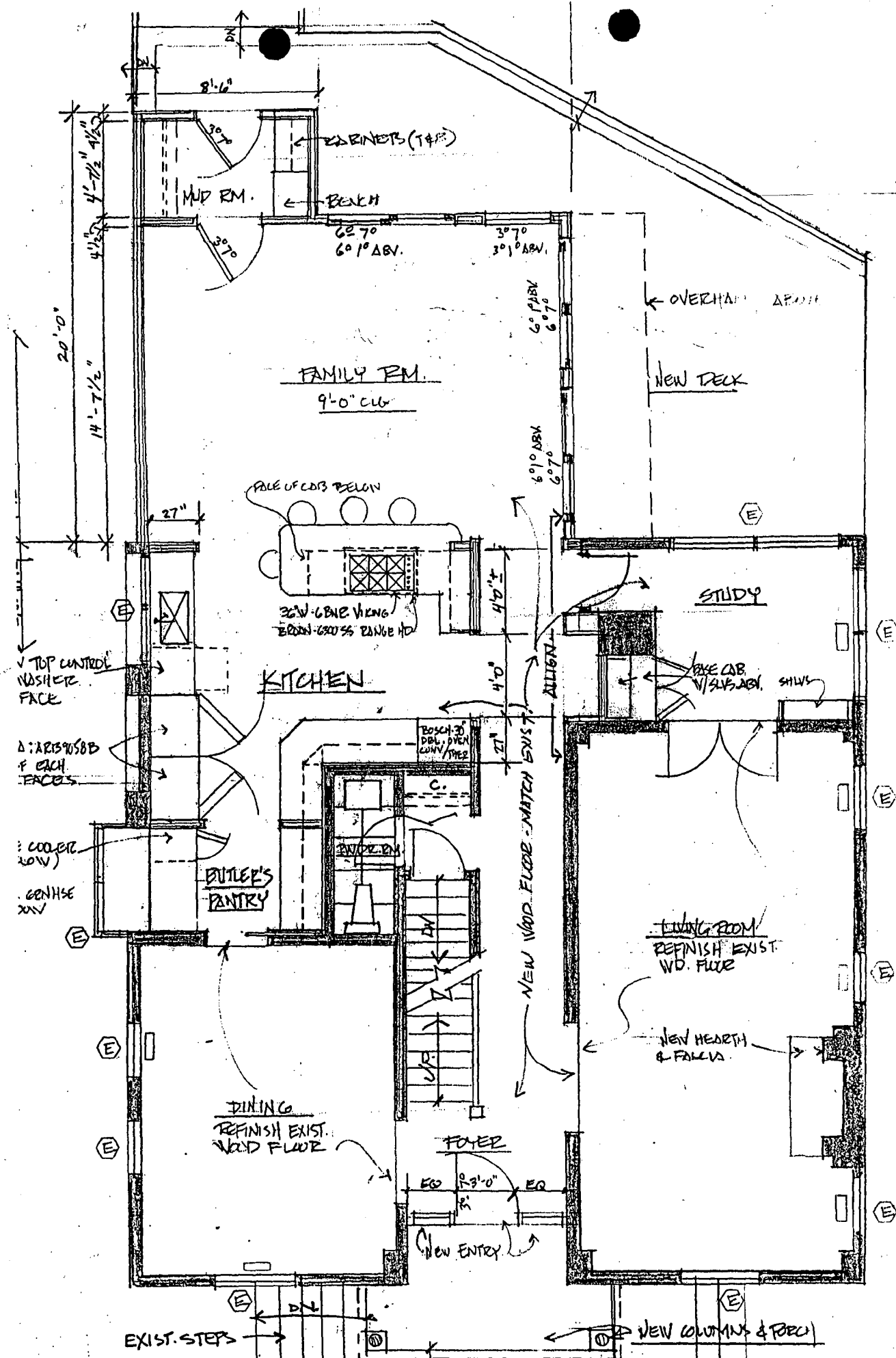
← EXISTING → NEW (MIS) ←

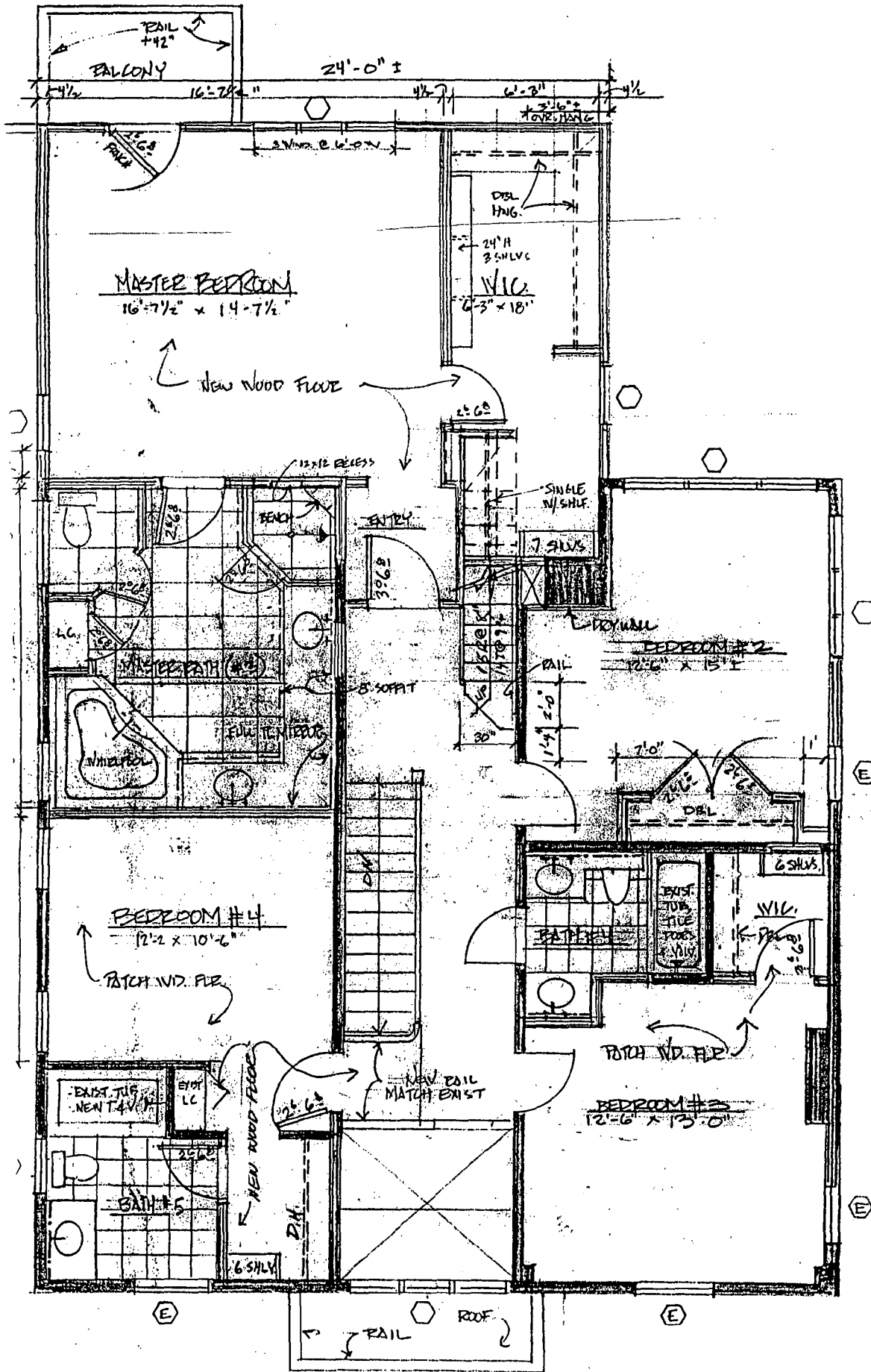






28 West Kirke Street, Chevy Chase, MD  
 New Plan      Basement Plan      1/4" = 1'-0"

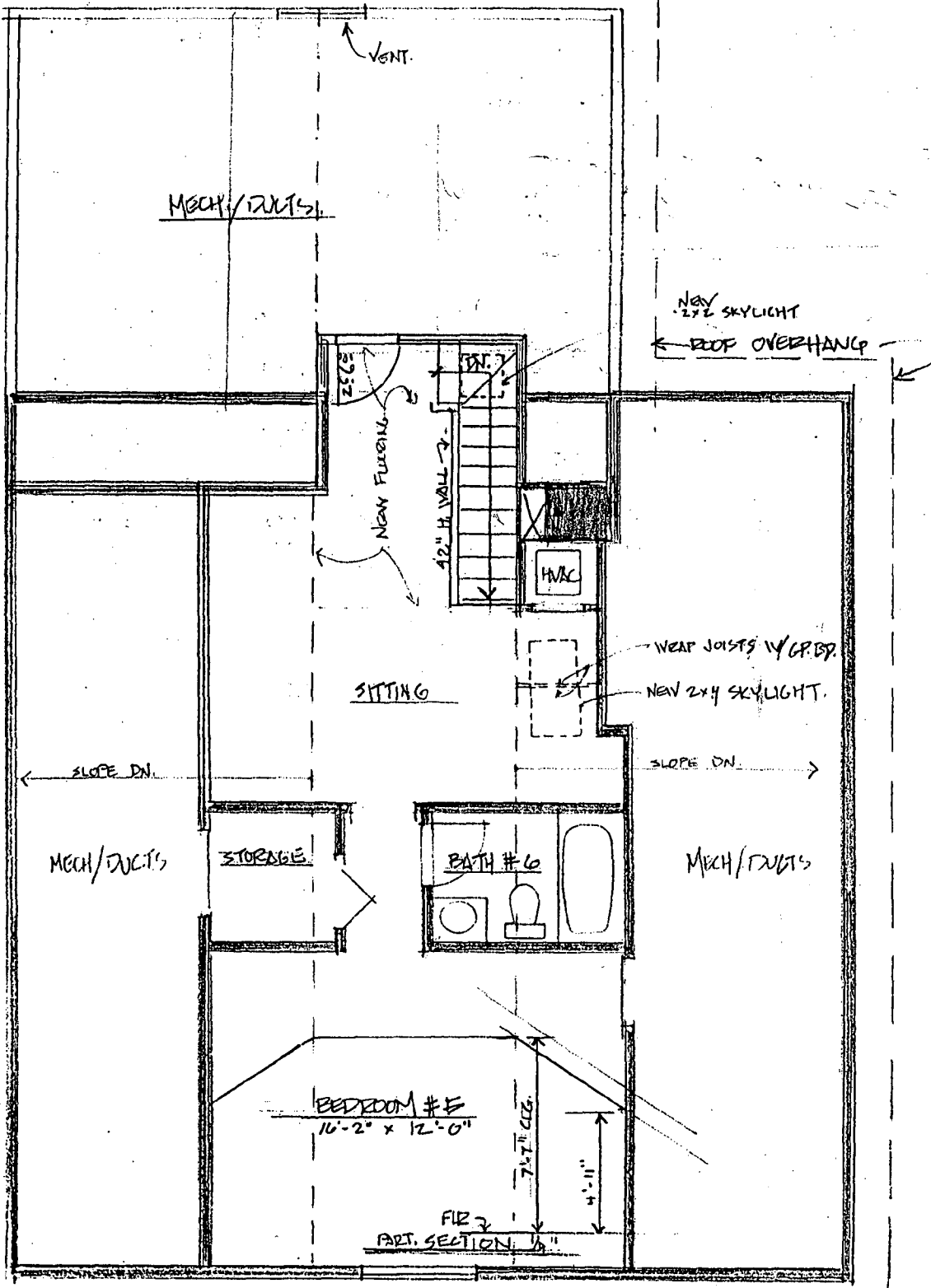




26 West Kirke Street, Chevy Chase, MD

New Plan

Second Floor Plan 1/4" = 1'-0"



26 West Kirke Street, Chevy Chase, MD  
 New Plan Third Floor Plan 1/4" = 1'-0"

6/29/03

EAST (SIDE)



SOUTH (BACK)

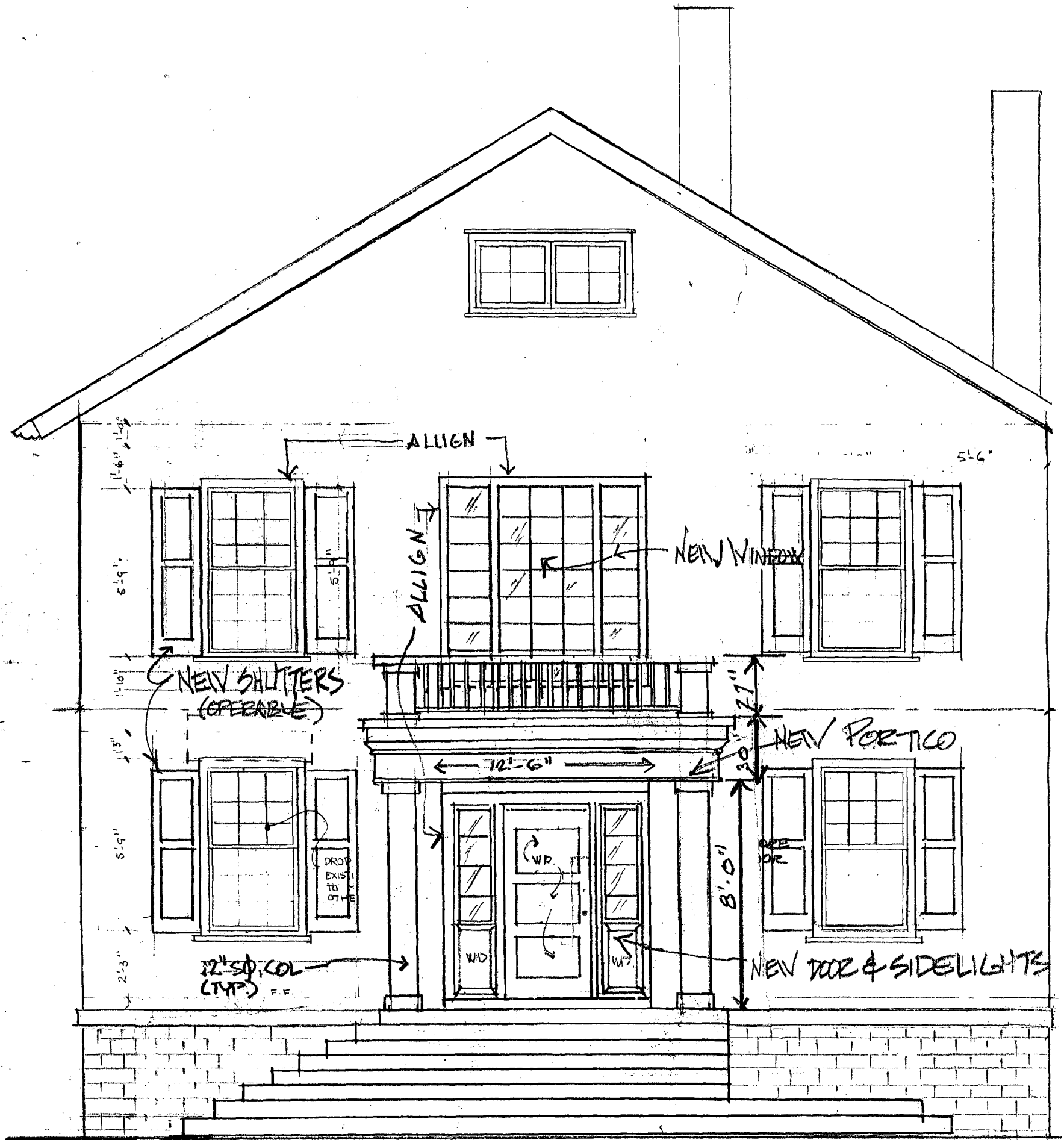


EAST & NORTH (SIDE & FRONT)



FRONT  
(NORTH)



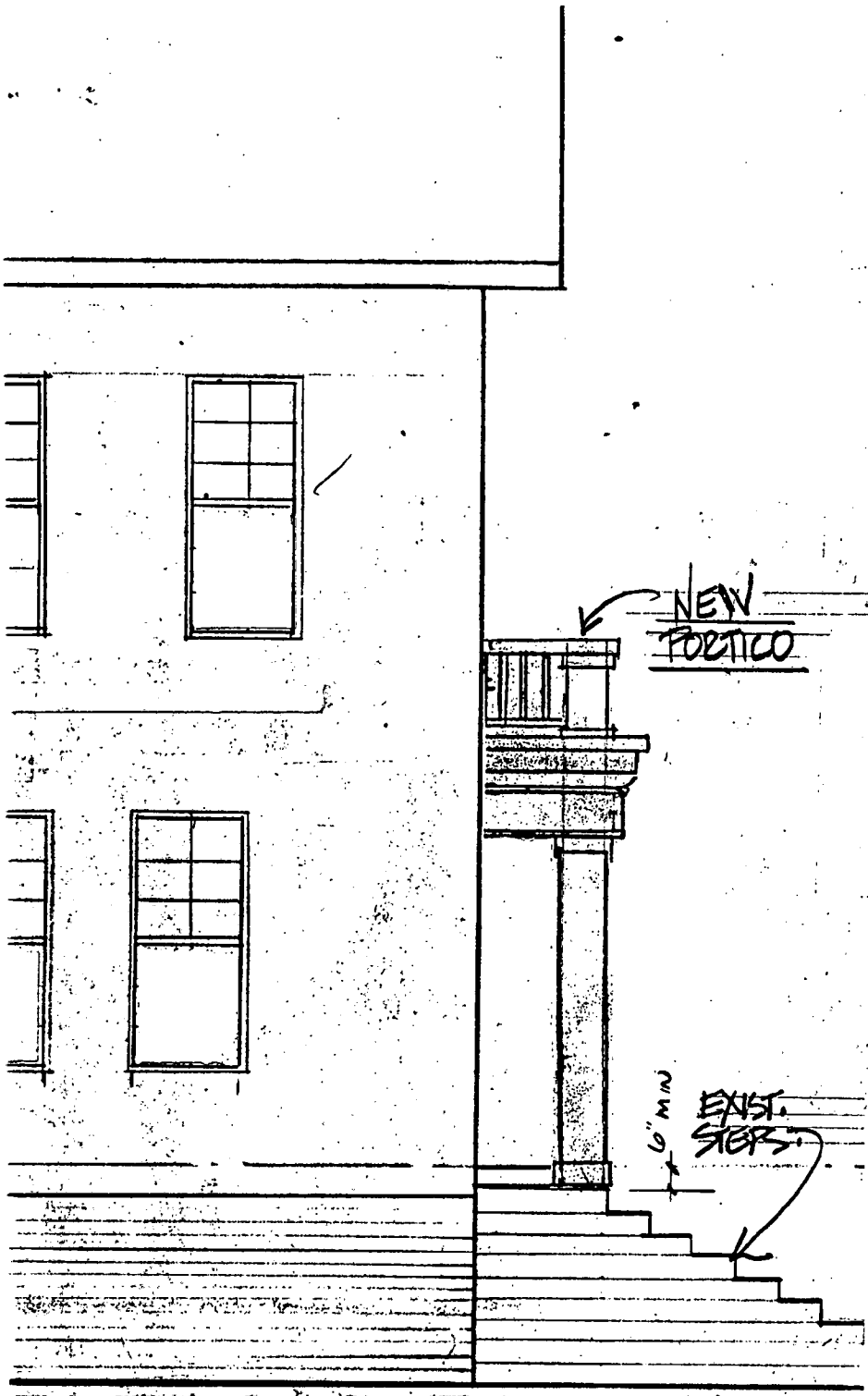


FRONT (NORTH)

9/27/03  
 APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Suzanne C. Wilgong*

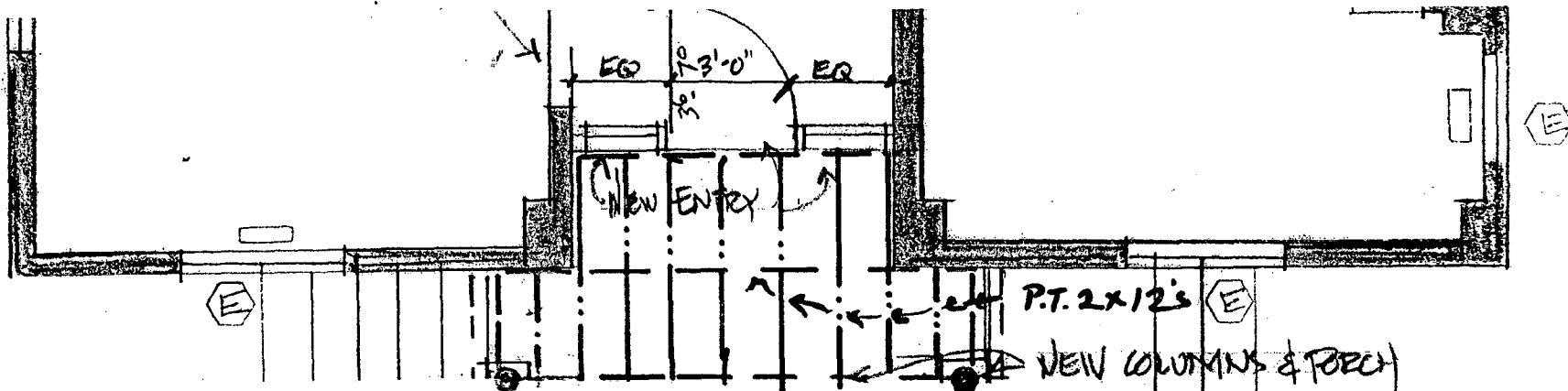
26 West Kirke Street, Chevy Chase, MD  
 Exterior Elevations 1/4" = 1'-0"

alcalno



APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 7/24/03





26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** | Second FLOOR Plan 1/4" = 1'-0"

9/18/03 | S-2

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 9/24/03



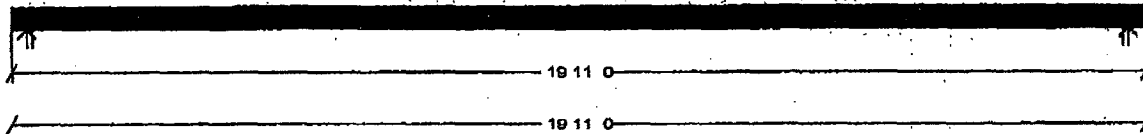
Kirke Residence  
Chevy Chase, MD

09/09/03  
7:52am  
1 of 1

KeyBeam® Version 4.12

### Member Data

Description: <b>J-1</b> 2nd floor joist (typ.) Deck Connection: Glued & Nailed Live Load: 40 psf Dead Load: 10 psf DOL: 100%	Member Type: Joist Lateral Bracing: Continuous Moisture Condition: Dry Deflection Criteria: L/480 live, L/240 total Filename: J-1.KYB	Application: Floor Building Code: UBC
---	---	--



### Bearings and Reactions

Location	Type	Input Width	Minimum Length	Total	Worst Case				
					100%	Dead	Total		
1	0' .00"	Wall	4.50"	1.75"	644#	644#	387plf	97plf	483plf
2	19' 3.75"	Wall	4.50"	1.75"	644#	644#	387plf	97plf	483plf

Design spans  
19' 3.75"

Product: PowerJoist ADI40 11 7/8"

16.0" O.C.

### Allowable Stress Design

	Actual	Allowable	Capacity	Location	Loading
Moment	3108.#	3365.#	92%	9.66'	Total load 100%
Shear	644.#	1420.#	45%	19.31'	Total load 100%
End Reaction	644.#	1420.#	45%	0'	Dead load
LL Deflection	.4518"	.4828"	L/512	9.66'	Total load 100%
TL Deflection	.5646"	.9656"	L/410	9.66'	Total load 100%

Control: LL Deflection

Design assumes a repetitive member use increase in bending stress: 7 %



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Jim Mawhiter  
Adantic Forest Products  
240 West Dickman Street  
Baltimore, MD 21230  
410-752-6092

KeyBeam® Version 4.13

**Member Data**

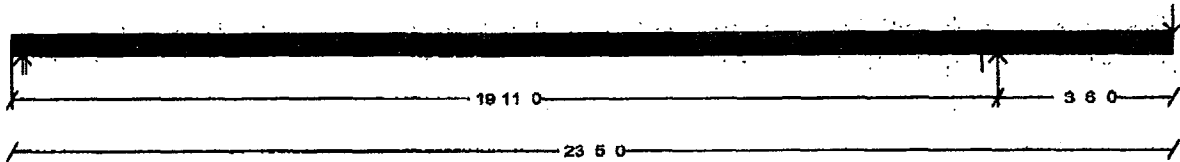
Description: **J-2**  
cant. joist (typ)  
Deck Connection: Glued & Nailed  
Live Load: 40 psf  
Dead Load: 10 psf  
DOL: 100%

Member Type: Joist  
Lateral Bracing: Continuous  
Moisture Condition: Dry  
Deflection Criteria: L/360 live, L/240 total  
Filename: J-2.KYB

Application: Floor  
Building Code: UBC

**Non-standard Loads**

Type (Description)	Begin	End	Live Start	End	Dead Start	End	DOL
Point(plf)	23' 5.00"		0.		100.		115%
Point(plf)	23' 5.00"		360.		204.		115%



**Bearings and Reactions**

Location	Type	Input Width	Minimum Length	Total	Worst Case					
					115%	100%	Dead	Total		
1	0' .00"	Wall	3.50"	1.75"	479#	581#	-64plf	394plf	42plf	436plf
2	19' 8.38"	Wall	3.50"	3.50"	1954#	1954#	424plf	547plf	495plf	1465plf

Design spans  
19' 8.38"      3' 6.00" (right cant)

Product: 11 7/8" RFPI-70

16.0" O.C.

**Allowable Stress Design**

	Actual	Allowable	Capacity	Location	Loading
Moment	3507.#	6693.#	52%	19.7'	Total load 115%
Shear	749.#	1420.#	52%	19.69'	Total load 100%
Cant. Shear, Rt	1119.#	1633.#	68%	19.7'	Total load 115%
End Reaction	580.#	1362.#	42%	0'	Dead load
Int. Reaction	1953.#	2685.#	72%	19.7'	Dead load
LL Deflection	.4022"	.6566"	L/587	9.85'	Odd Spans 100%
TL Deflection	.3628"	.9849"	L/651	9.85'	Odd Spans 100%
LL Defl., Rt.	-.2059"	.2333"	2L/408	23.2'	Odd Spans 100%
TL Defl., Rt.	-.2758"	.3500"	2L/304	23.2'	Cants Only 115%

Control: LL Defl., Rt.  
Design assumes a repetitive member use increase in bending stress: 4 %  
Right cantilever allowable shear is for joist only



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Jim McWhirter  
Atlantic Forest Products  
240 Weel Dickman St.  
Baltimore, MD 21203  
410-752-8082

**Member Data**

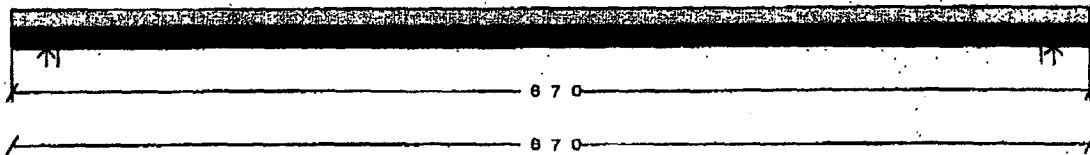
Description: B-1 header under cant beams  
Deck Connection: Nailed  
Live Load: 40 plf  
Dead Load: 10 plf  
DOL: 100%

Member Type: Beam  
Lateral Bracing: Continuous  
Moisture Condition: Dry  
Deflection Criteria: L/360 live, L/240 total  
Filename: B-1.KYB  
Member Weight: 11.1 plf

Application: Floor  
Building Code: UBC

**Non-standard Loads**

Type (Description)	Begin	End	Trib. Width	Live Start	End	Dead Start	End	DOL
Replacement Uniform(plf)	0' .00"	6' 7.00"		971.		495.		115%



**Bearings and Reactions**

Location	Type	Input Width	Minimum Length	Total	Worst Case				
					115%	100%	Dead	Total	
1	0' .00"	Wall	3.50"	1.73"	4540#	2984#	0#	1556#	4540#
2	6' 1.75"	Wall	3.50"	1.73"	4540#	2984#	0#	1556#	4540#

Design spans  
6' 1.75"

Product: 2.0 RigidLam LVL 1-3/4 x 11.875 2 ply

**Allowable Stress Design**

	Actual	Allowable	Capacity	Location	Loading
Positive Moment	6974.#	22891.#	30%	3.07'	Total load 115%
Shear	3077.#	9081.#	33%	.01'	Total load 115%
Max. Reaction	4539.#	9188.#	49%	0'	Dead load
LL Deflection	.0319"	.2049"	L/999+	3.07'	Total load 115%
TL Deflection	.0485"	.3073"	L/999+	3.07'	Total load 115%

Control: Max. Reaction  
Manufacturer's installation guide MUST be consulted for multi-ply connection details and alternatives



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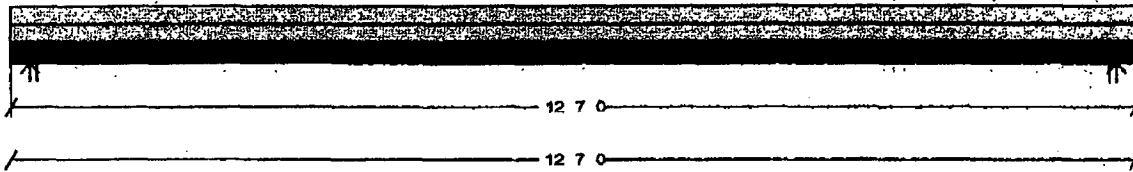
Jim McWhirter  
Atlantic Forest Products  
240 West Dickman St.  
Baltimore, MD 21203  
410-752-8082

### Member Data

Description: <b>B-2</b> 12' header	Member Type: Beam	Application: Floor
Deck Connection: Nailed	Lateral Bracing: Continuous	Building Code: UBC
Live Load: 40 plf	Moisture Condition: Dry	Deflection Criteria: L/360 live, L/240 total
Dead Load: 10 plf	Filename: B-2.KYB	Member Weight: 11.1 plf
DOL: 100%		

### Non-standard Loads

Type (Description)	Begin	End	Trib. Width	Live Start	End	Dead Start	End	DOL
Additional Uniform(plf)	0' .00"	12' 7.00"		0.		100.		100%
Additional Uniform(plf)	0' .00"	12' 7.00"		30.		17.		100%



### Bearings and Reactions

Location	Type	Input Width	Minimum Length	Total	Worst Case		
					100%	Dead	Total
1	0' .00" Wall	3.50"	1.50"	1264#	426#	839#	1264#
2	12' 1.75" Wall	3.50"	1.50"	1264#	426#	839#	1264#

Design spans  
12' 1.75"

Product: 2.0 RigidLam LVL 1-3/4 x 11.875

2 ply

### Allowable Stress Design

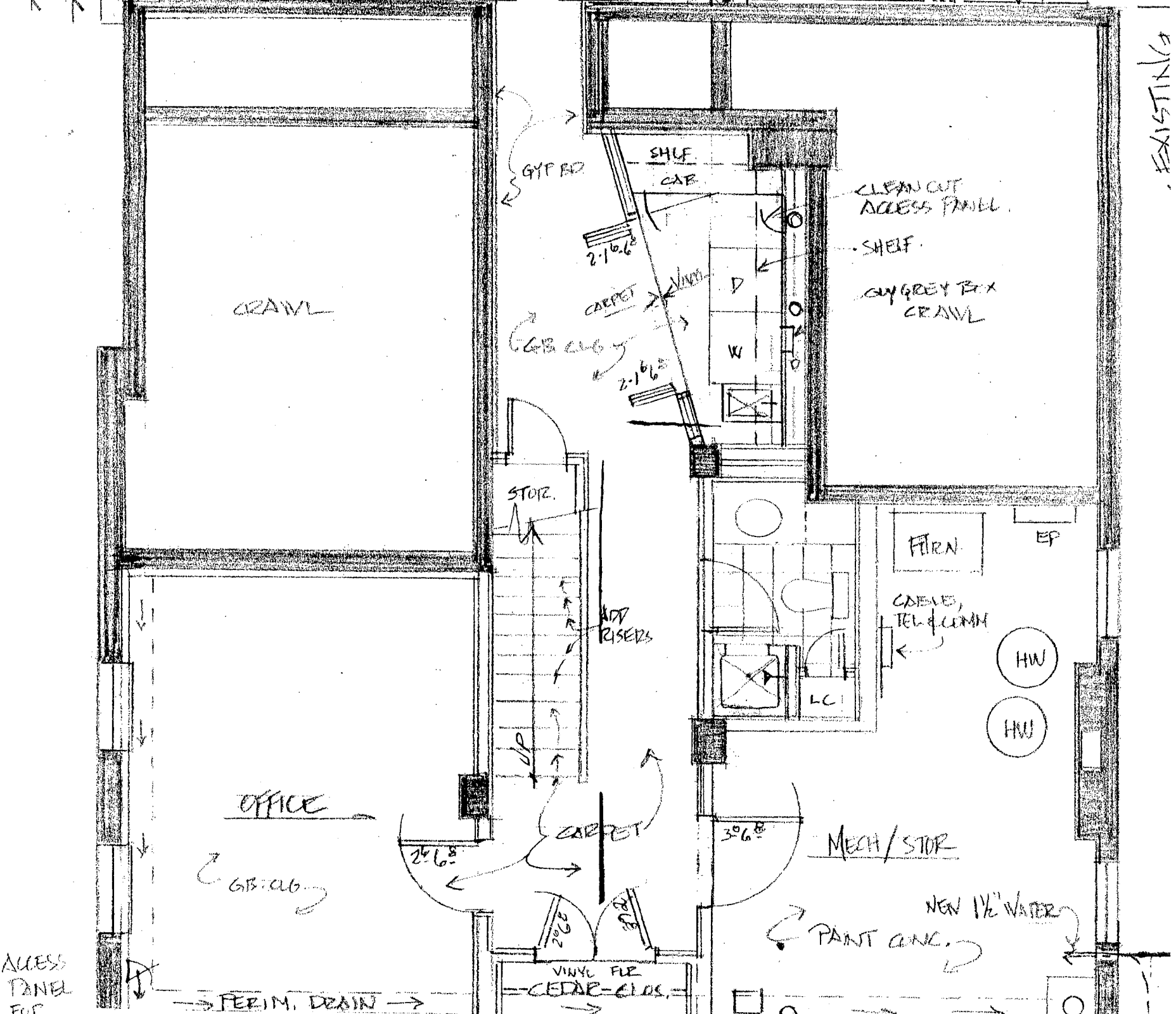
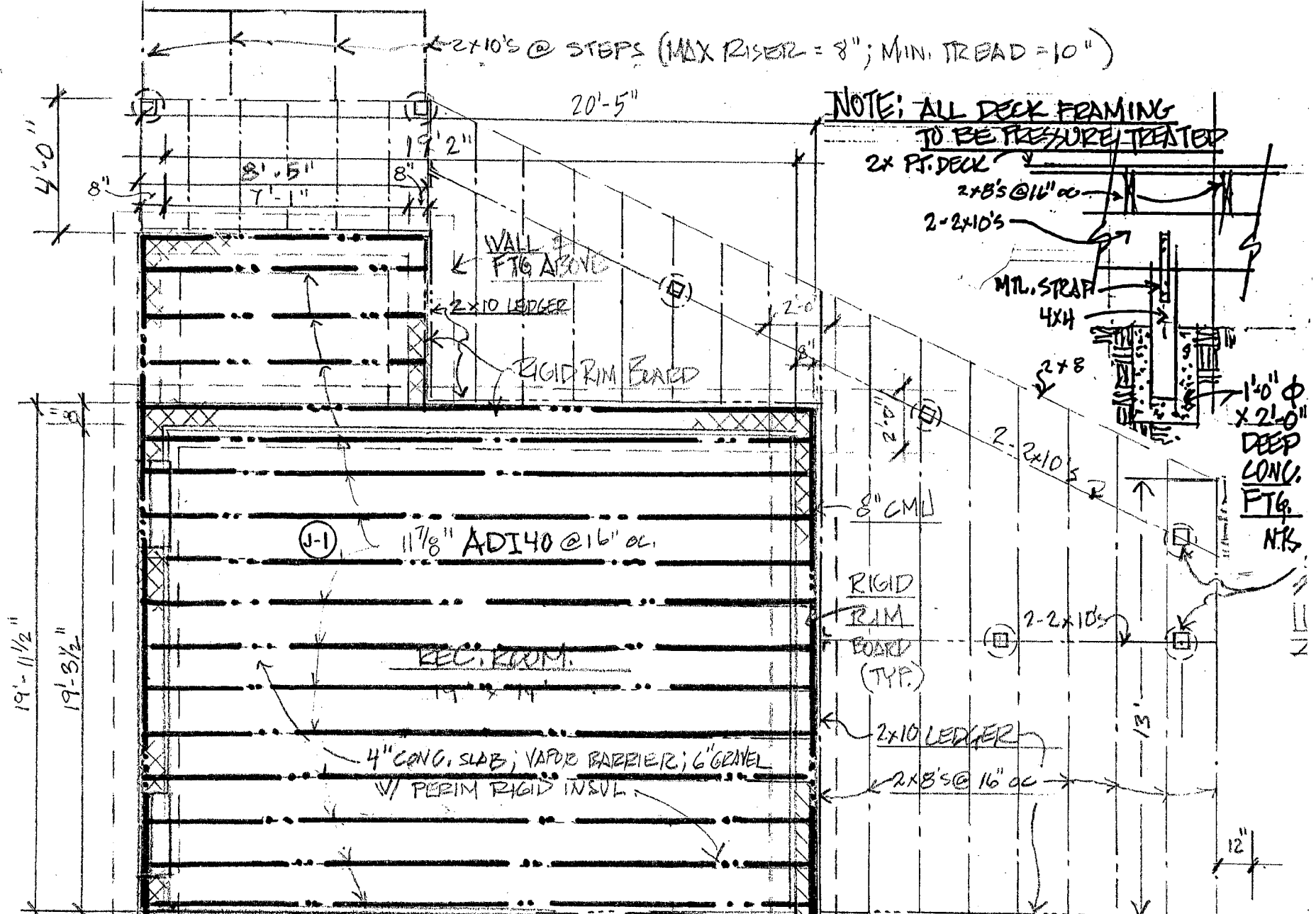
	Actual	Allowable	Capacity	Location	Loading
Positive Moment	3837.#	19905.#	19%	6.07'	Total load 100%
Shear	1058.#	7897.#	13%	11.54'	Total load 100%
Max. Reaction	1264.#	9188.#	13%	0'	Dead load
LL Deflection	.0351"	.4049"	L/999+	6.07'	Total load 100%
TL Deflection	.1043"	.6073"	L/999+	6.07'	Total load 100%

Control: Positive Moment  
Manufacturer's installation guide MUST be consulted for multi-ply connection details and alternatives



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Jim McWhirter  
Atlantic Forest Products  
240 West Dickman St.  
Baltimore, MD 21203  
410-752-6092

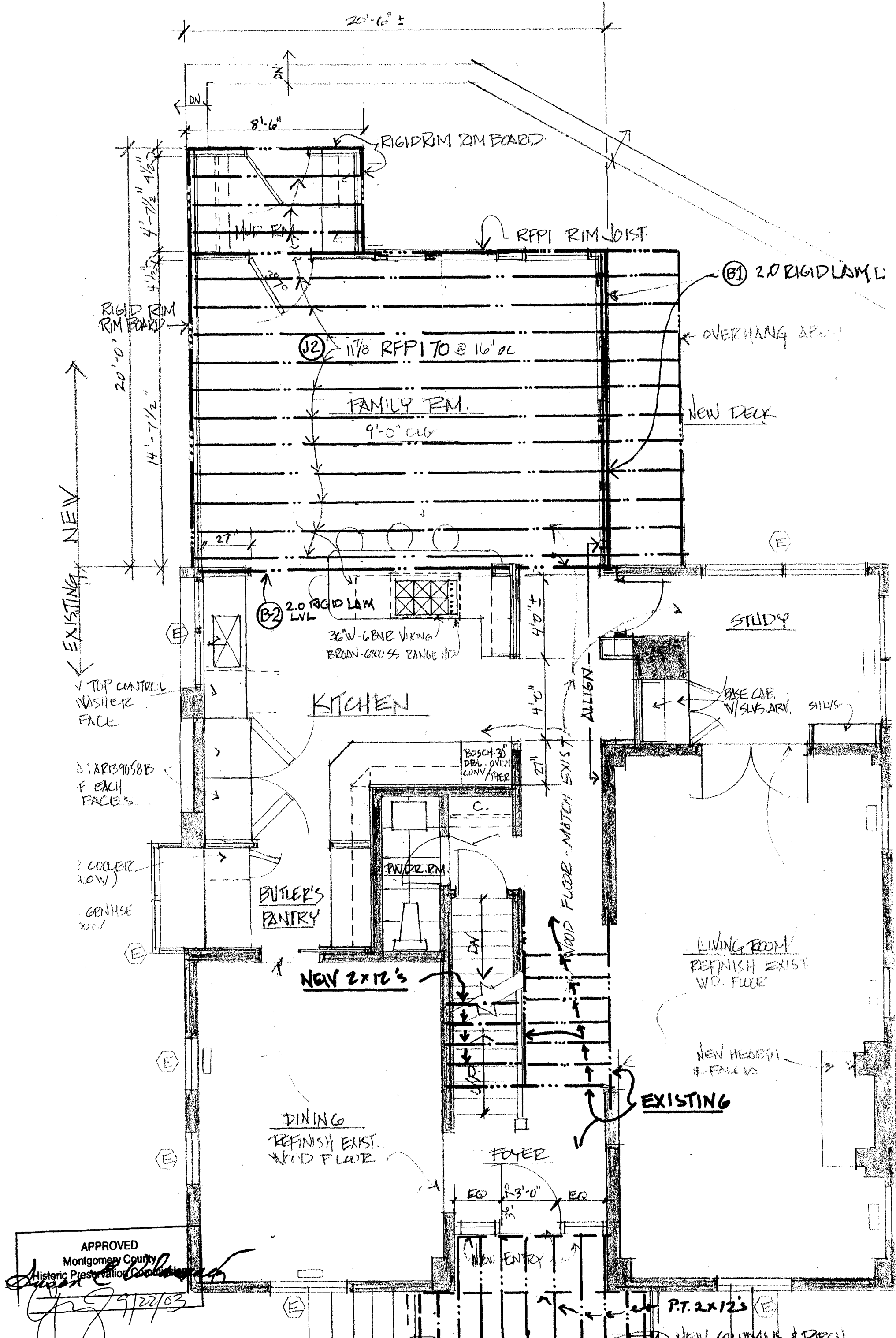


26 West Kirke Street, Chevy Chase, MD

**STRUCTURAL FRAMING** | First FLOOR Plan | 1/4" = 1'-0"

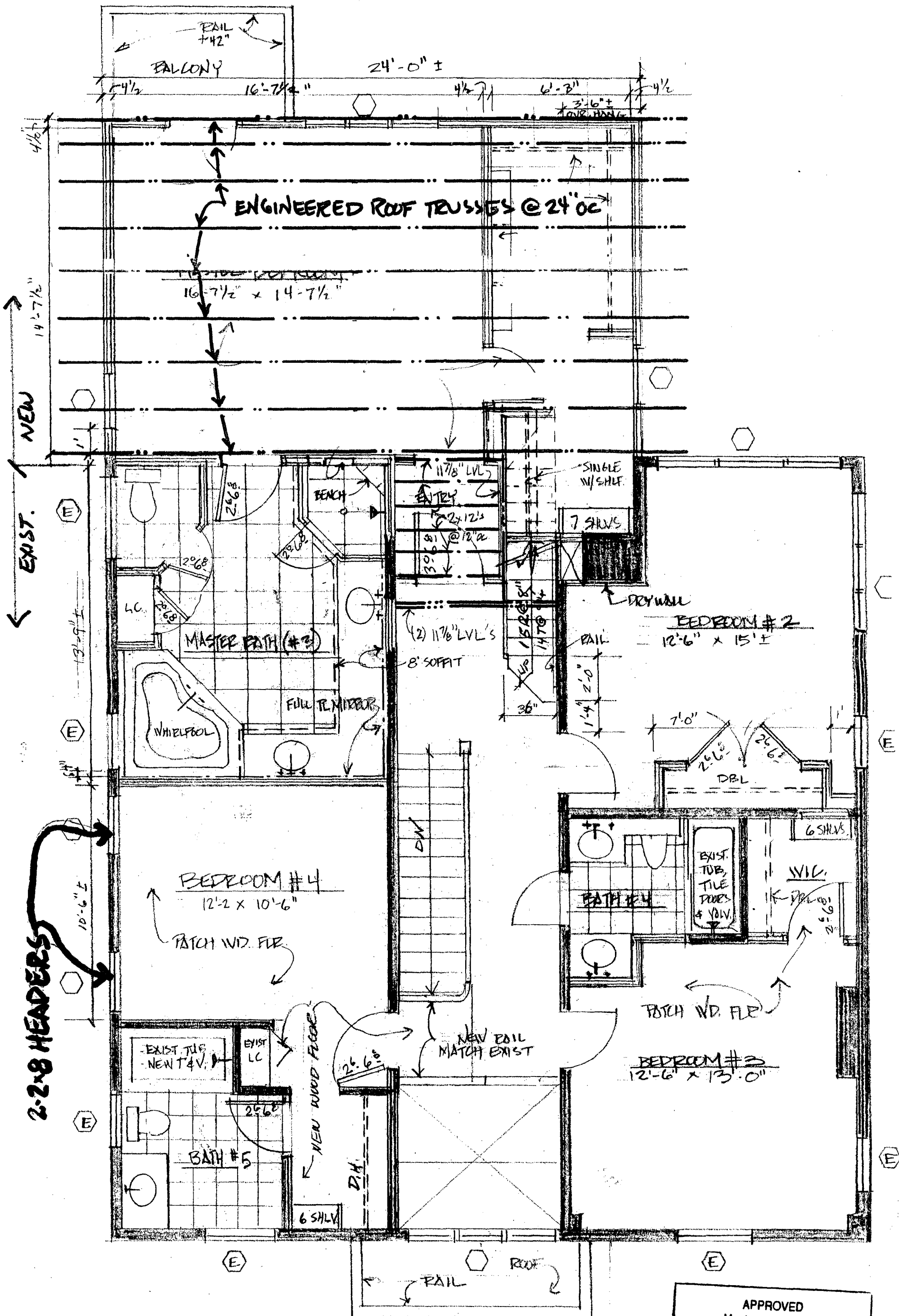
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 9/18/03  
*Jason C. Delaney*  
 9/18/03

S-1



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 9/22/03

26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** Second FLOOR Plan 1/4" = 1'-0"



26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** | Third FLOOR & ROOF Plan | 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Jason [Signature]*  
 9/27/02

S-3  
 9/1/02



**CONSUMER INFORMATION NOTES:**

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

**Notes**

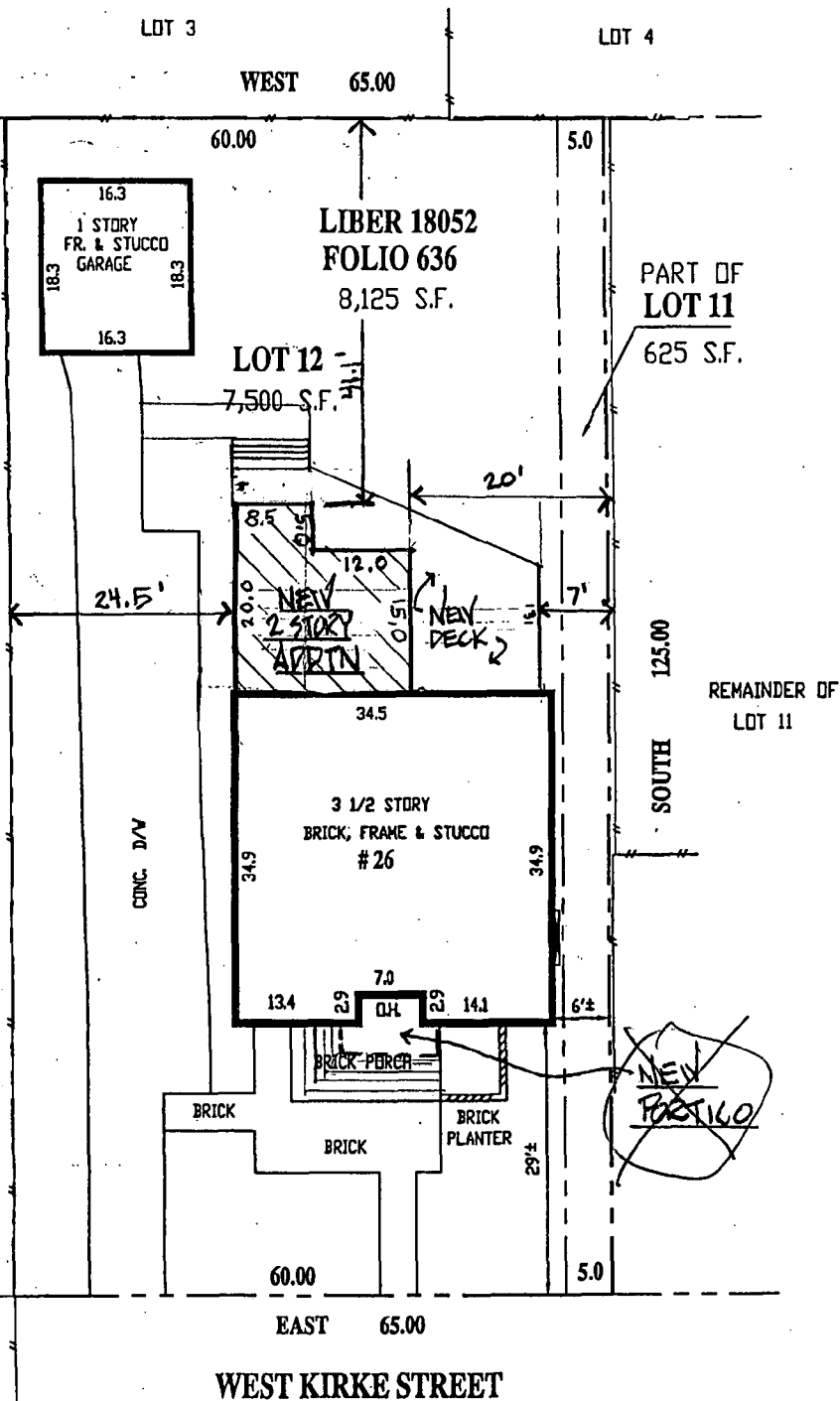
1. Flood zone "C" per H.U.D. panel  
No map available
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.

LOT OCCUPANCY (COVERAGE)

- ① EXIST. HOUSE & GARAGE  
 $1,502 \text{ SF} / 18.49\%$
- ② EXIST. w/ NEW ADDN & PORCHICO  
 $350 \text{ SF} + 36 \text{ SF} + 386 \text{ SF} + 1502 \text{ SF} = 1888 \text{ SF}$   
 $23.24\%$
- ③ #② w/ DECK  
 $1888 + 316.5 = 2204.5 \text{ SF}$  LOT 13  
 $27.13\%$

**LOCATION DRAWING**

**LOT 12 & PART OF LOT 11**  
**BLOCK 32, SECTION 2**  
**CHEVY CHASE**  
MONTGOMERY COUNTY, MARYLAND



**SURVEYOR'S CERTIFICATE**

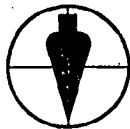
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

*Jeffrey A. Foster*  
MARYLAND PROPERTY LINE SURVEYOR REG. NO. 507

**REFERENCES**

PLAT BK. 2  
PLAT NO. 106

LIBER  
FOLIO



**SNIDER & ASSOCIATES**  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 218  
Gaithersburg, Maryland 20879  
301/948-5100, Fax 301/948-1286

DATE OF LOCATIONS

SCALE: 1" = 20'

WALL CHECK:

DRAWN BY: E.M.G.

HSE. LOC.: 06-16-03

JOB NO.: 03-3956

**APPROVED**  
Montgomery County  
Historic Preservation Commission

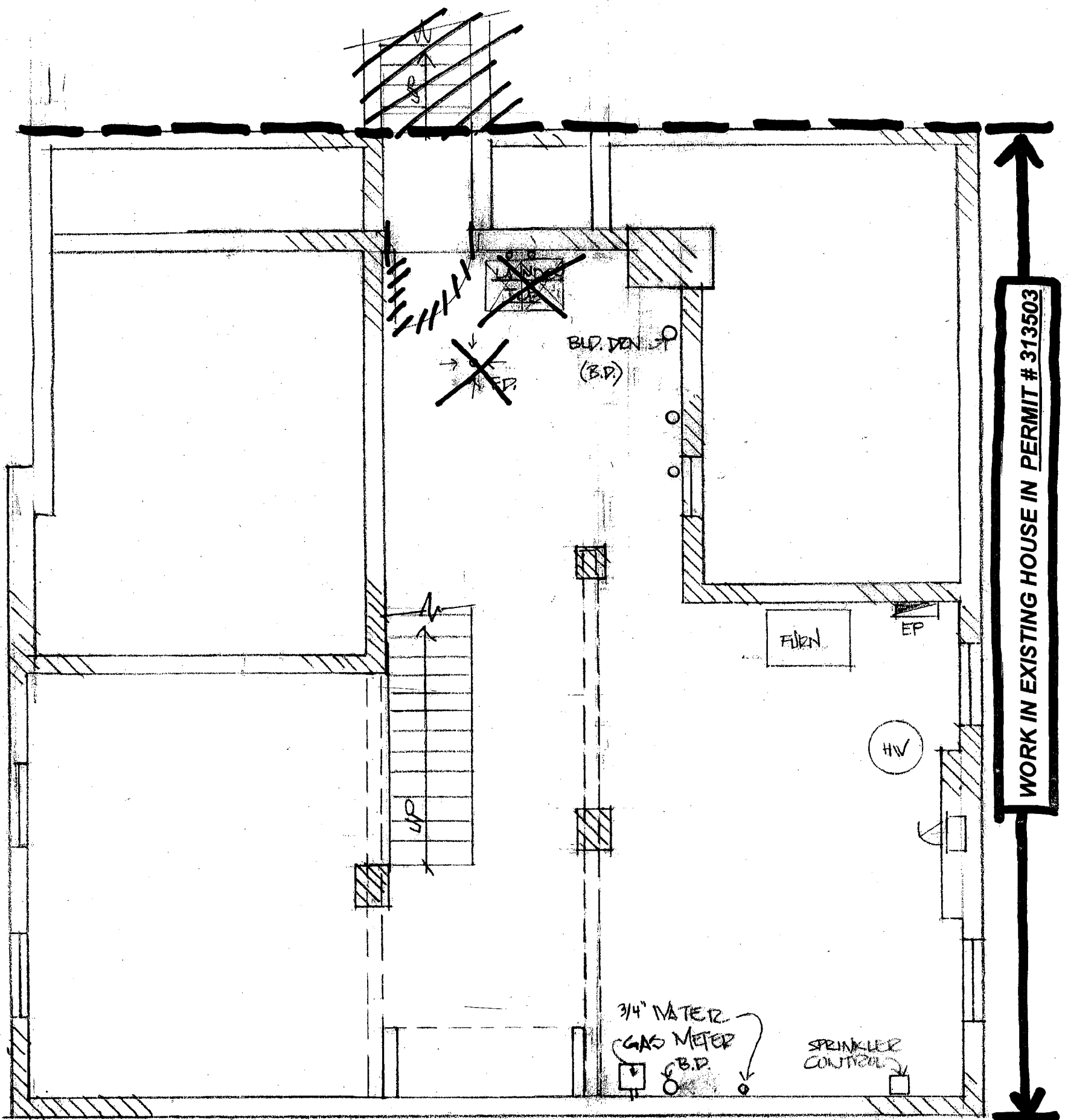
*Gwen Wright*

8/14/03

26 West Kirke Street, Chevy Chase, MD

**COVER & SITE**

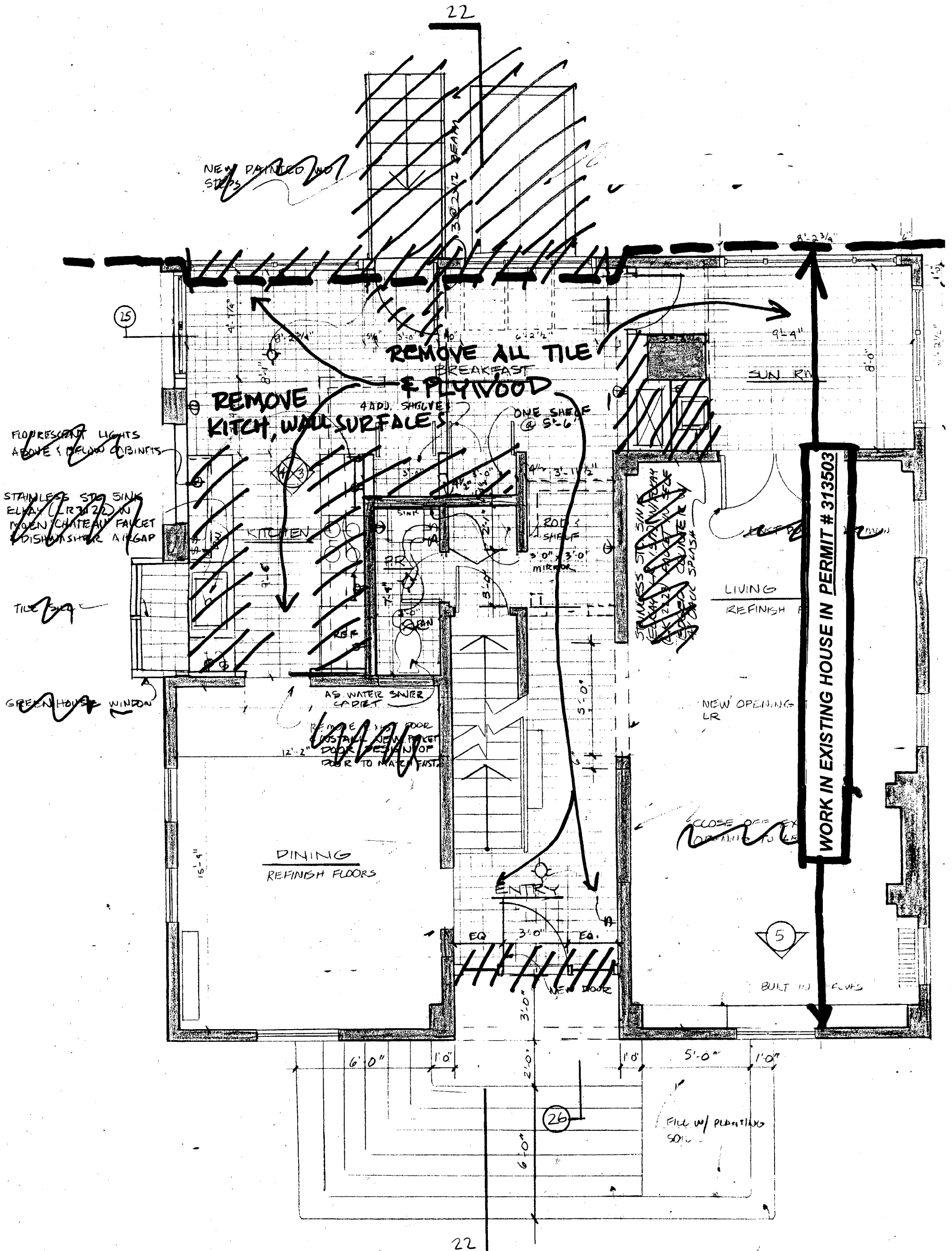
**List of Drawings, Plan**



WORK IN EXISTING HOUSE IN PERMIT # 313503

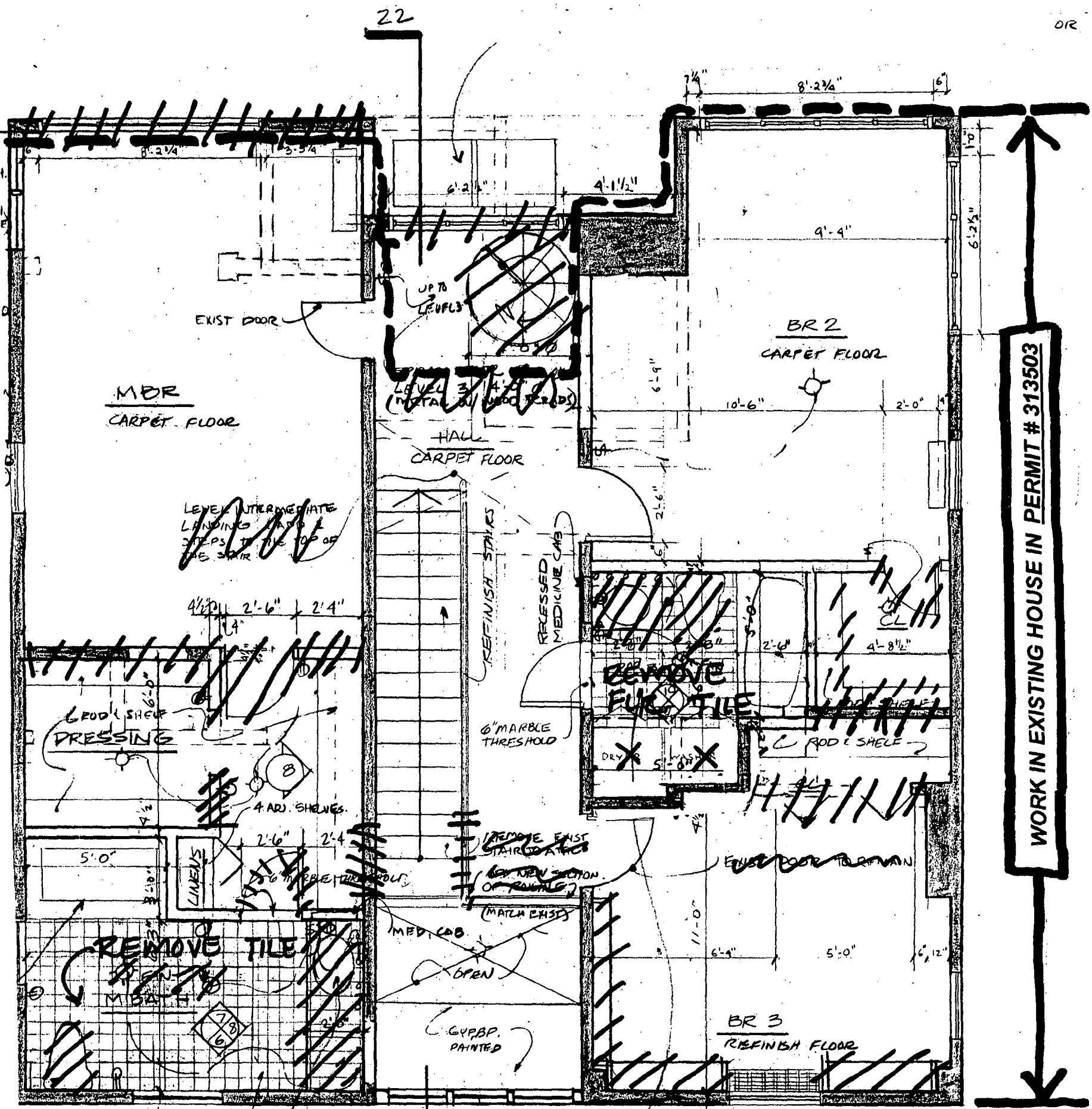
26 West Kirke Street, Chevy Chase, MD  
 Existing & Demo      Basement Plan    1/4" = 1'-0"

6/26/03      D-1



26 West Kirke Street, Chevy Chase, MD  
 Existing & Demo First Floor Plan 1/4" = 1'-0"

NEW BUILT IN STEPS  
 6/17/12 D-2



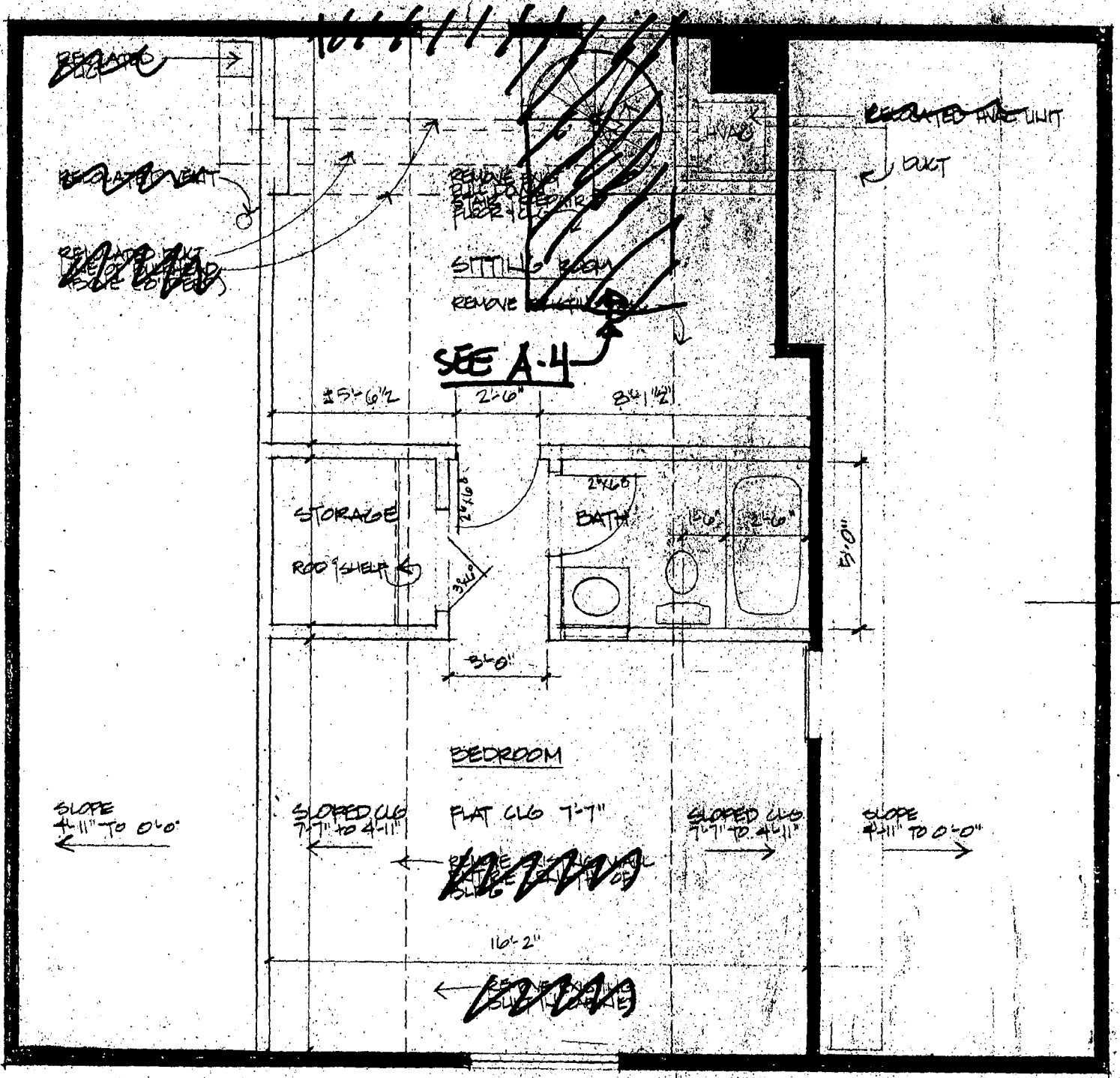
WORK IN EXISTING HOUSE IN PERMIT # 313503

ET - RECONSTRUCTED WATER  
 ER CLOSET BY AMER. STAND  
 - 20" x 12" AQUALUX BY  
 I CAN STANDARD MOEN CATEAU  
 ET IN LEVELS CONTRA

TILE COUNTER TOP  
 THIN SET IN EPOXY.  
 TILE FLOOR (TYPANY BY  
 AMERICAN OCEAN) THIN  
 SET IN EPOXY.

6/26/03

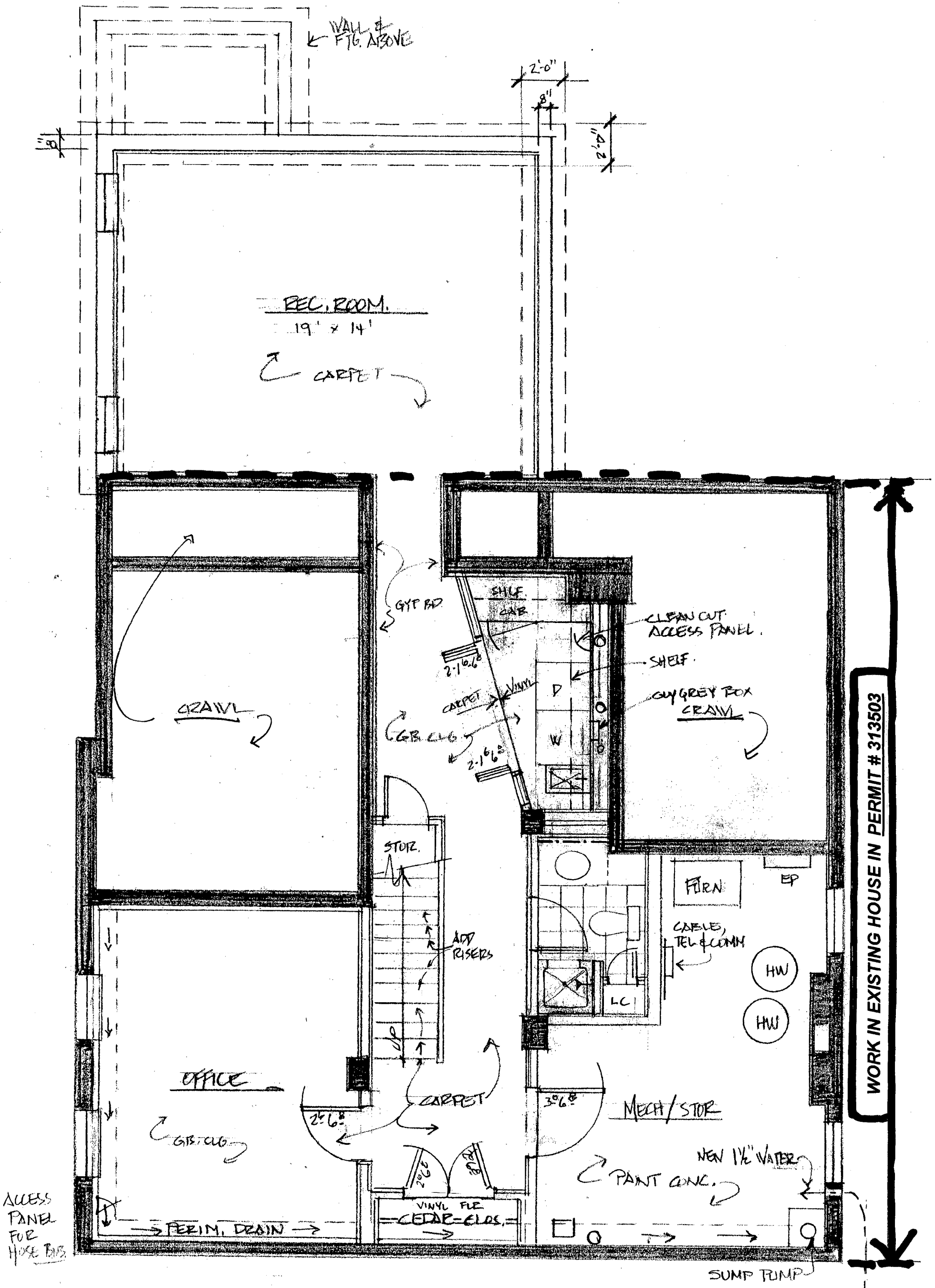
D-3



4 FLOOR 3 - NEW 1/4" = 1'-0"

26 West Kirke Street, Chevy Chase, MD  
 Existing & Demo Third Floor Plan 1/4" = 1'-0"

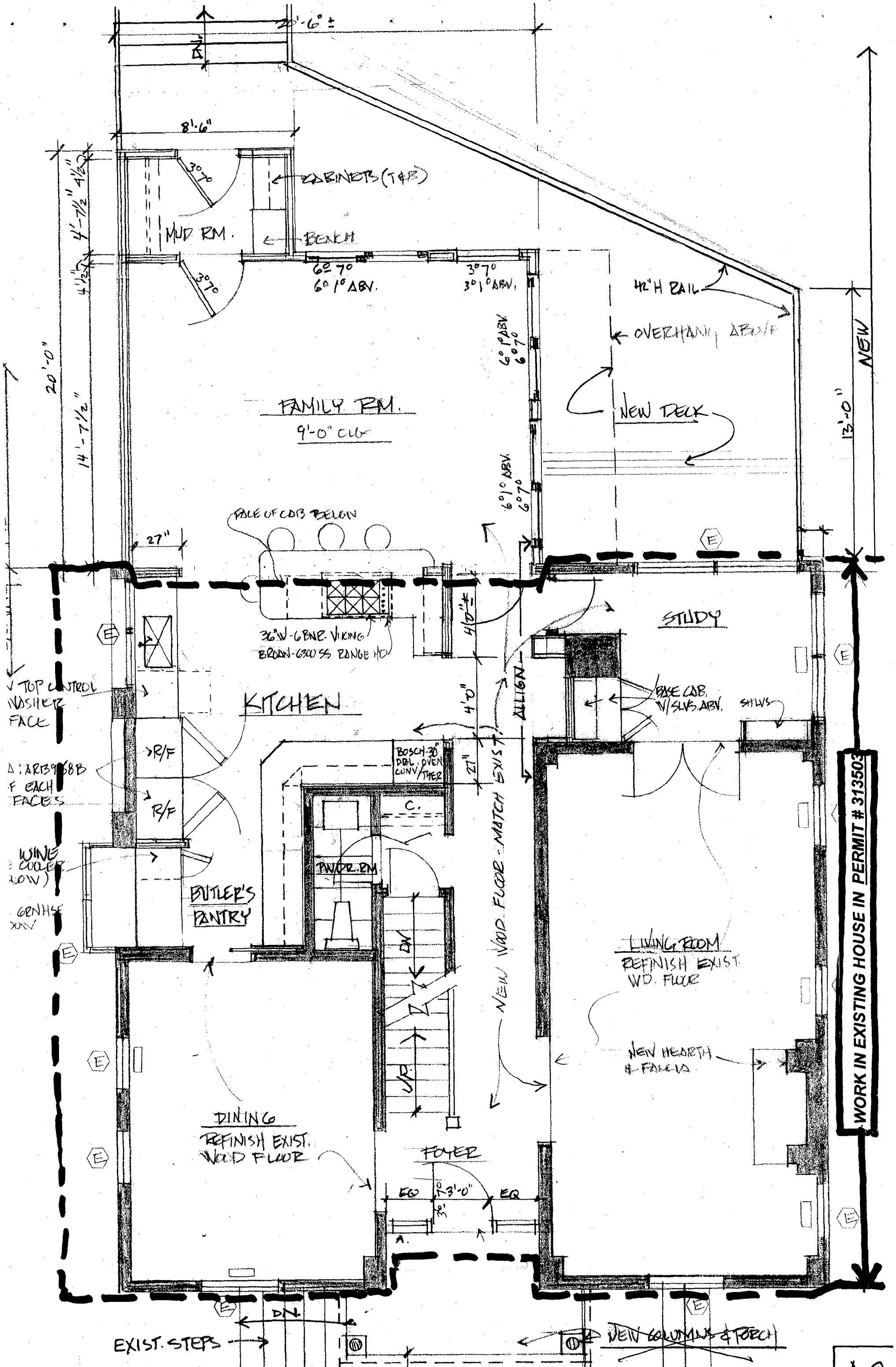
6/26/03 D-4



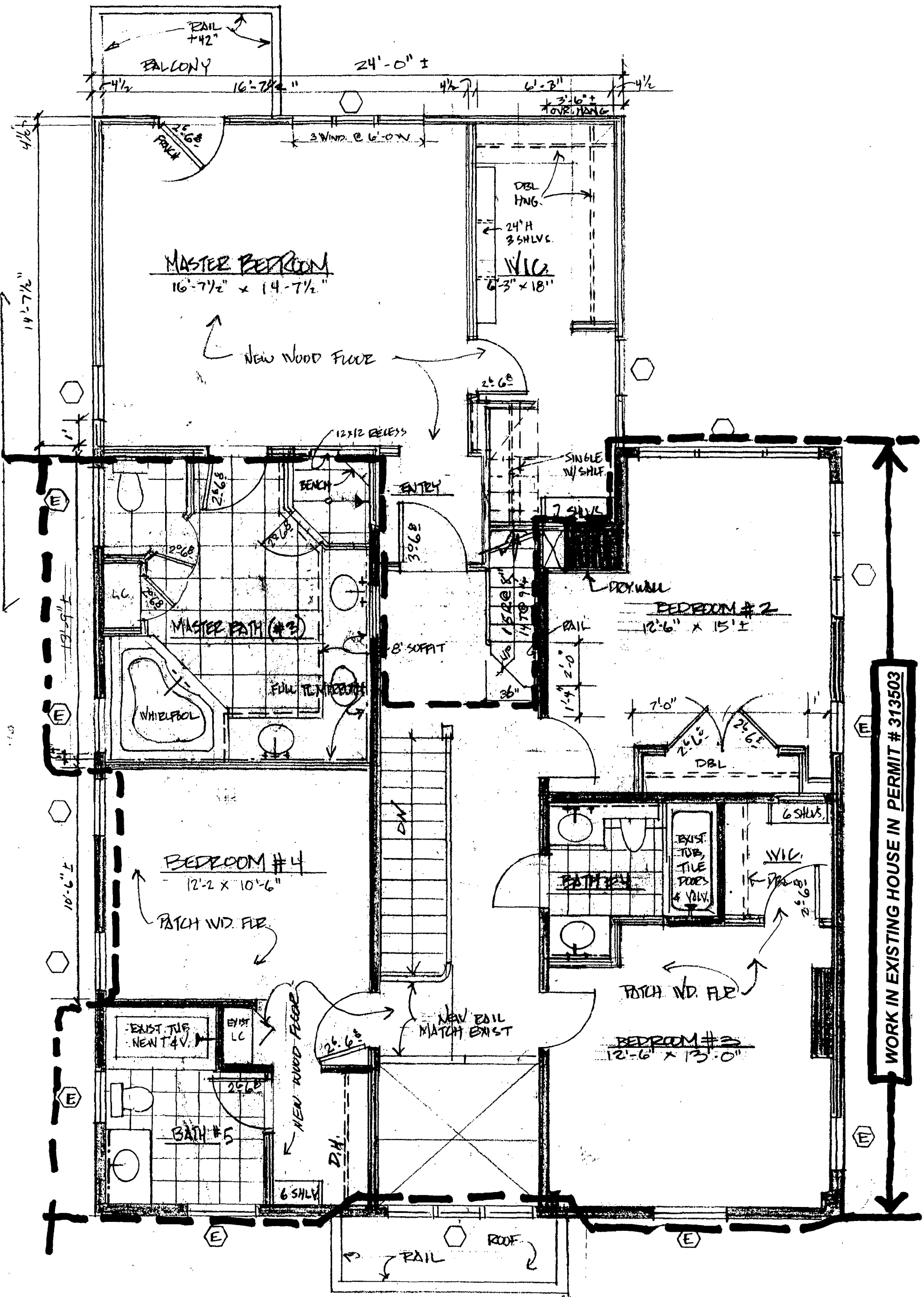
WORK IN EXISTING HOUSE IN PERMIT # 313503

26 West Kirke Street, Chevy Chase, MD  
 New Plan      Basement Plan      1/4" = 1'-0"

A-1



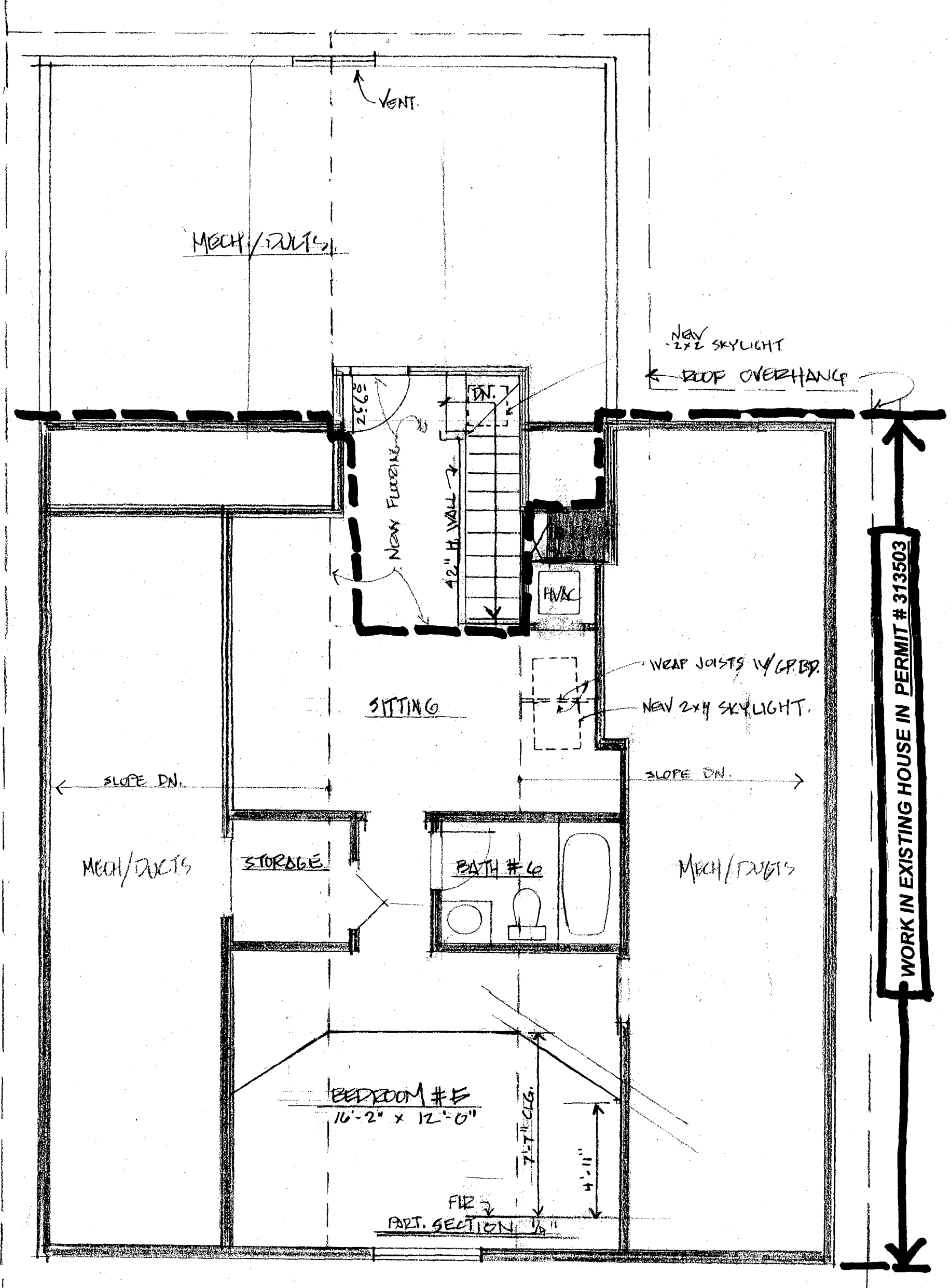
WORK IN EXISTING HOUSE IN PERMIT # 313503



WORK IN EXISTING HOUSE IN PERMIT # 313503

26 West Kirke Street, Chevy Chase, MD  
 New Plan      Second Floor Plan      1/4" = 1'-0"





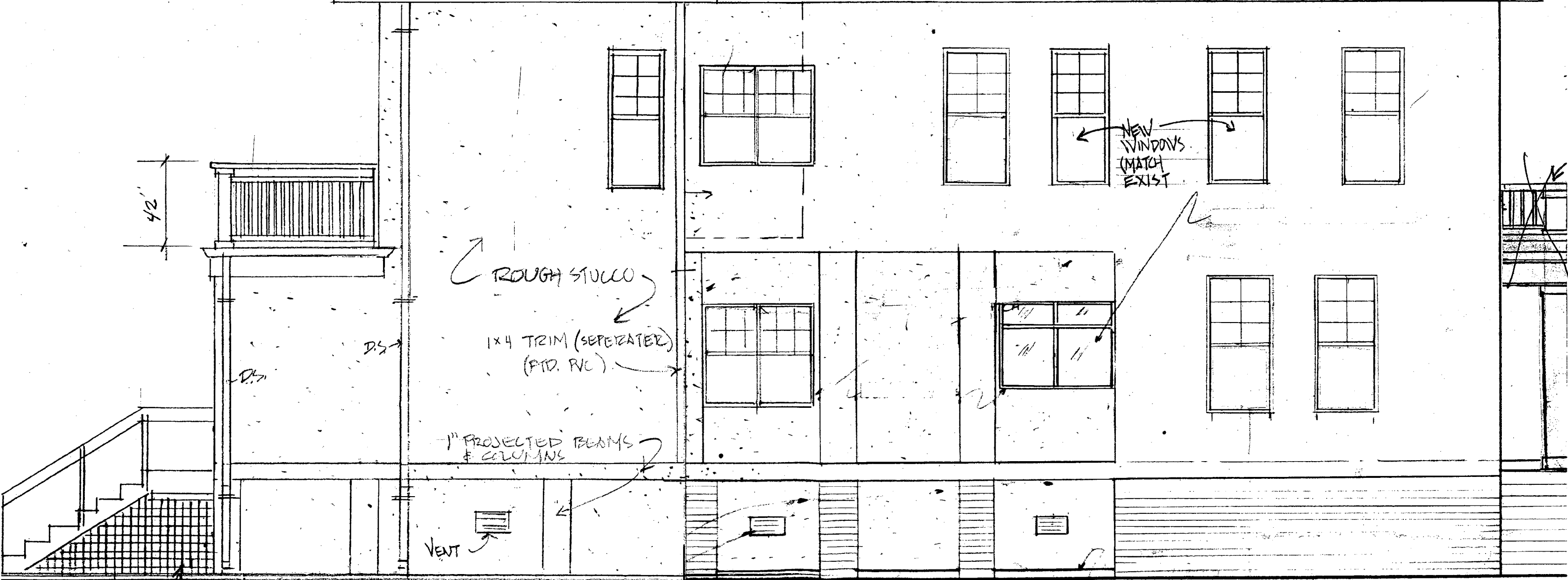
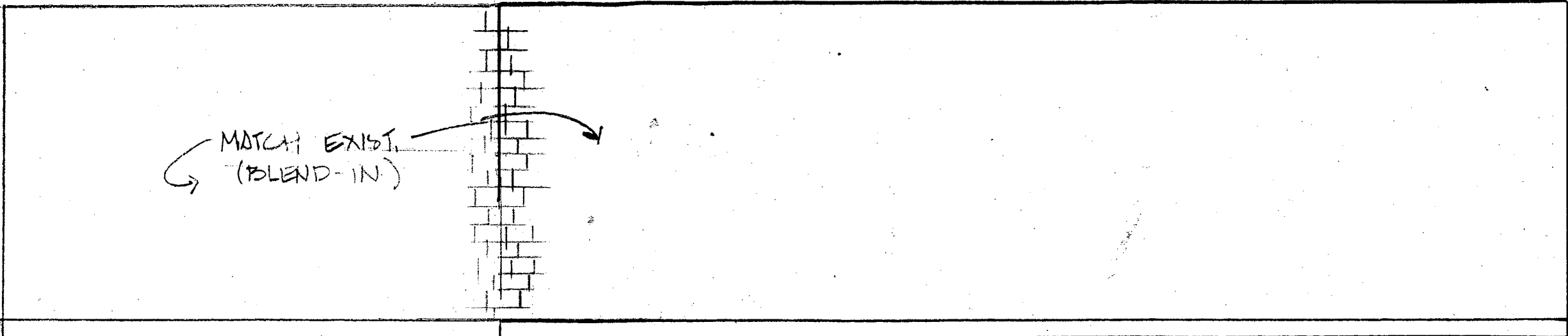
26 West Kirke Street, Chevy Chase, MD  
 New Plan Third Floor Plan 1/4" = 1'-0"

WORK IN EXISTING HOUSE IN PERMIT # 313503

6/29/02 A4



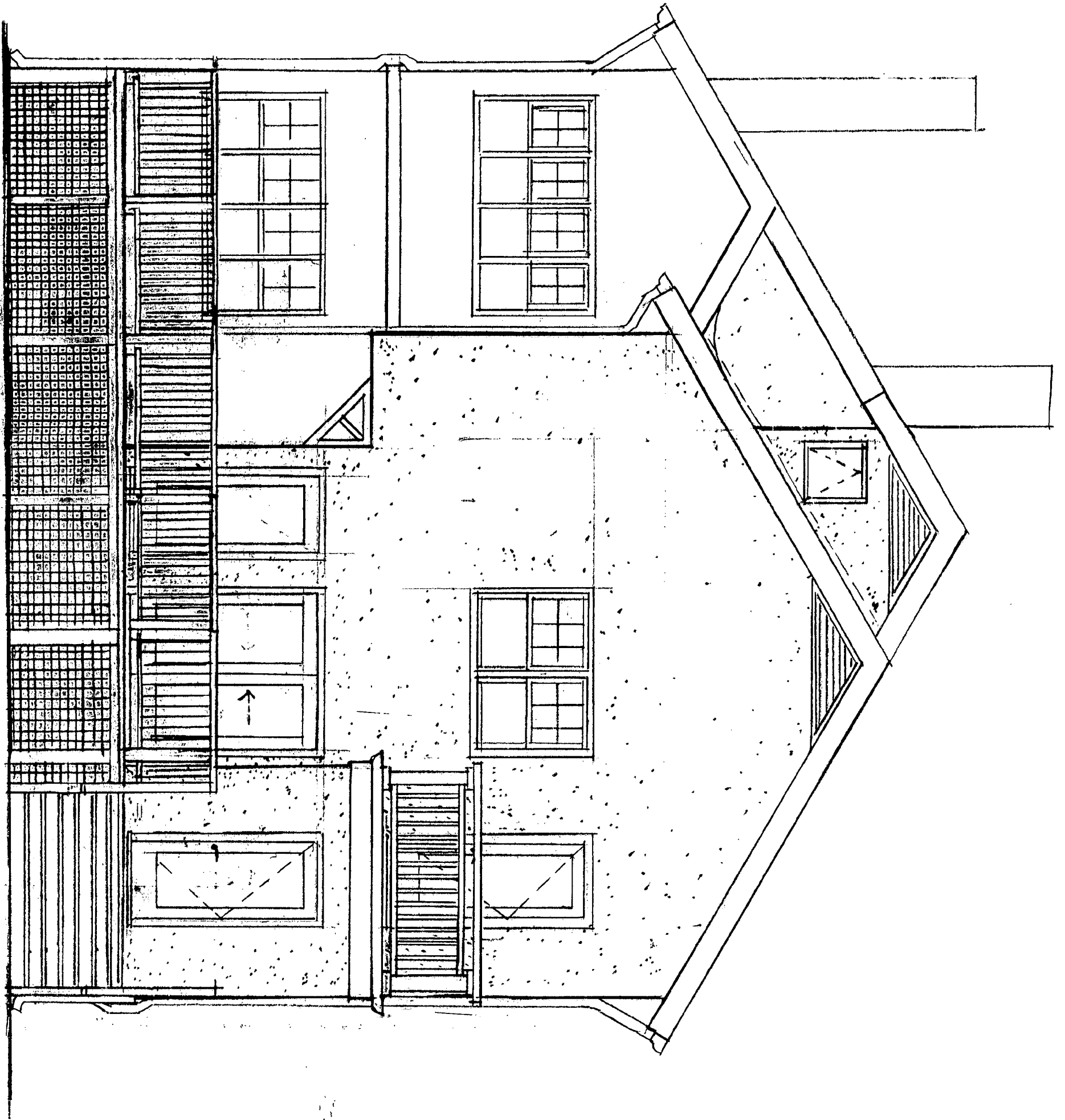
FRONT (NORTH)

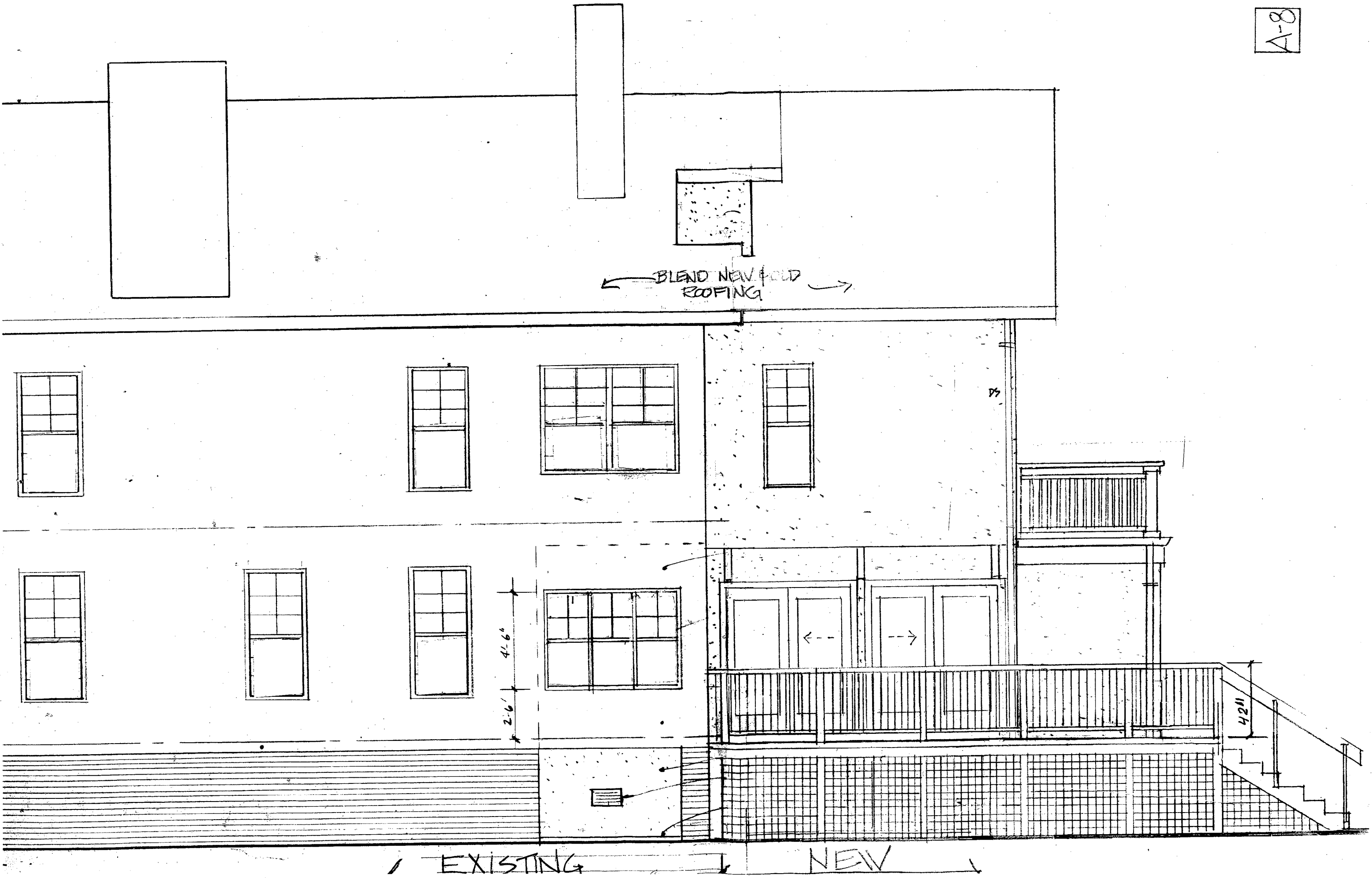


← NEW →  
← EAST →

← EXISTING →

SOUTH





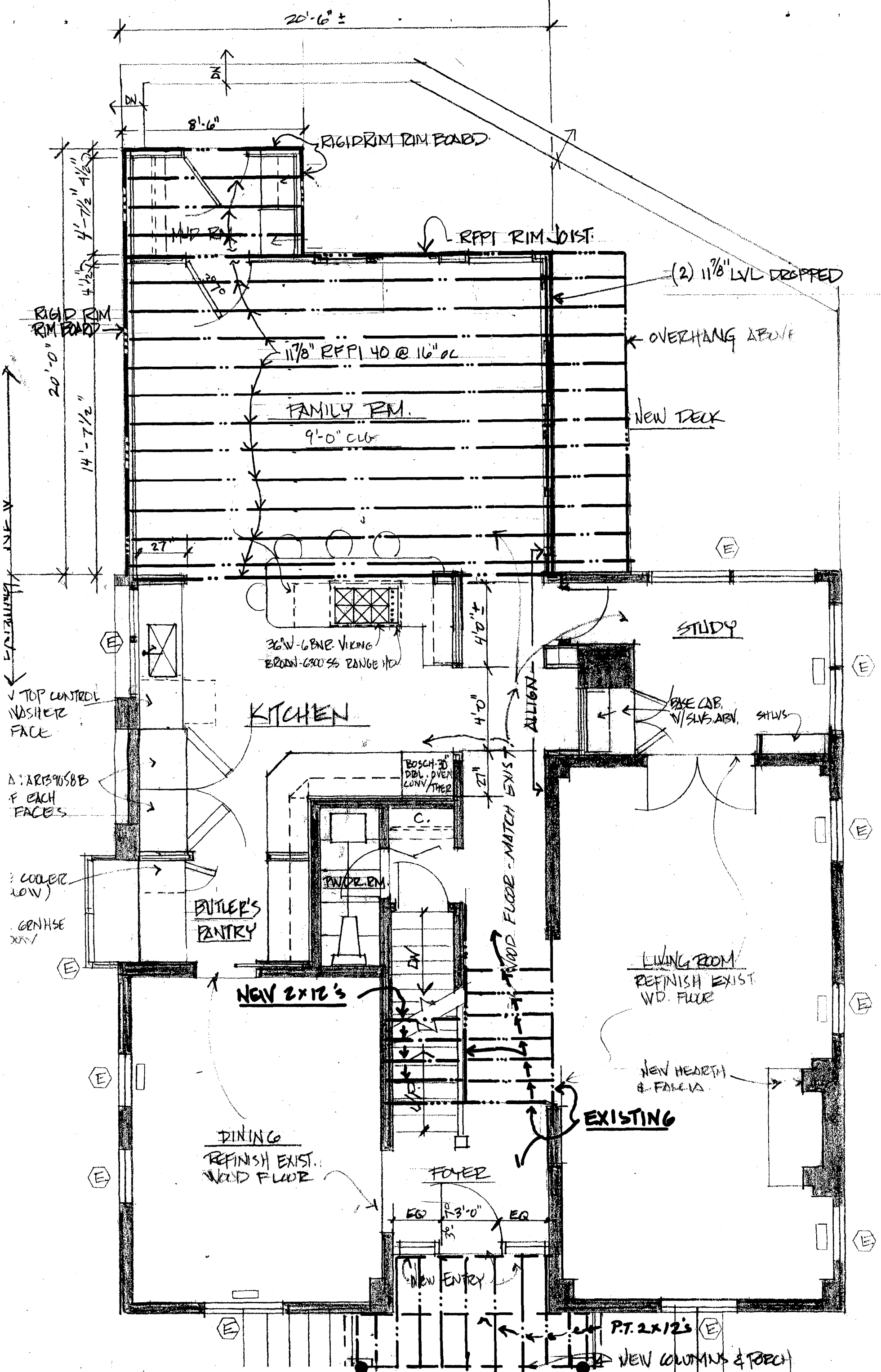
← BLEND NEW & OLD ROOFING →

4'-6"  
2'-6"

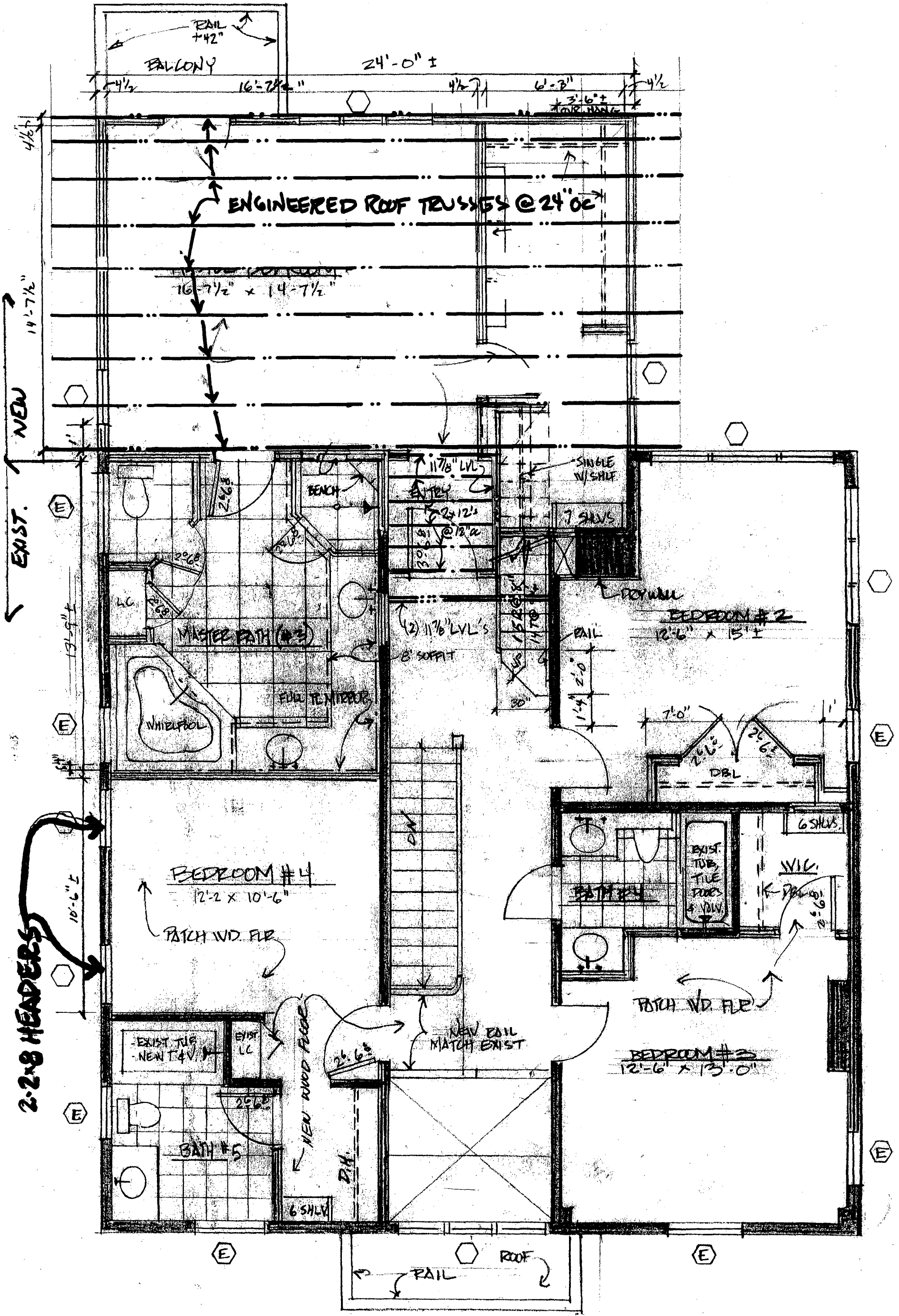
4'-2"

EXISTING      NEW



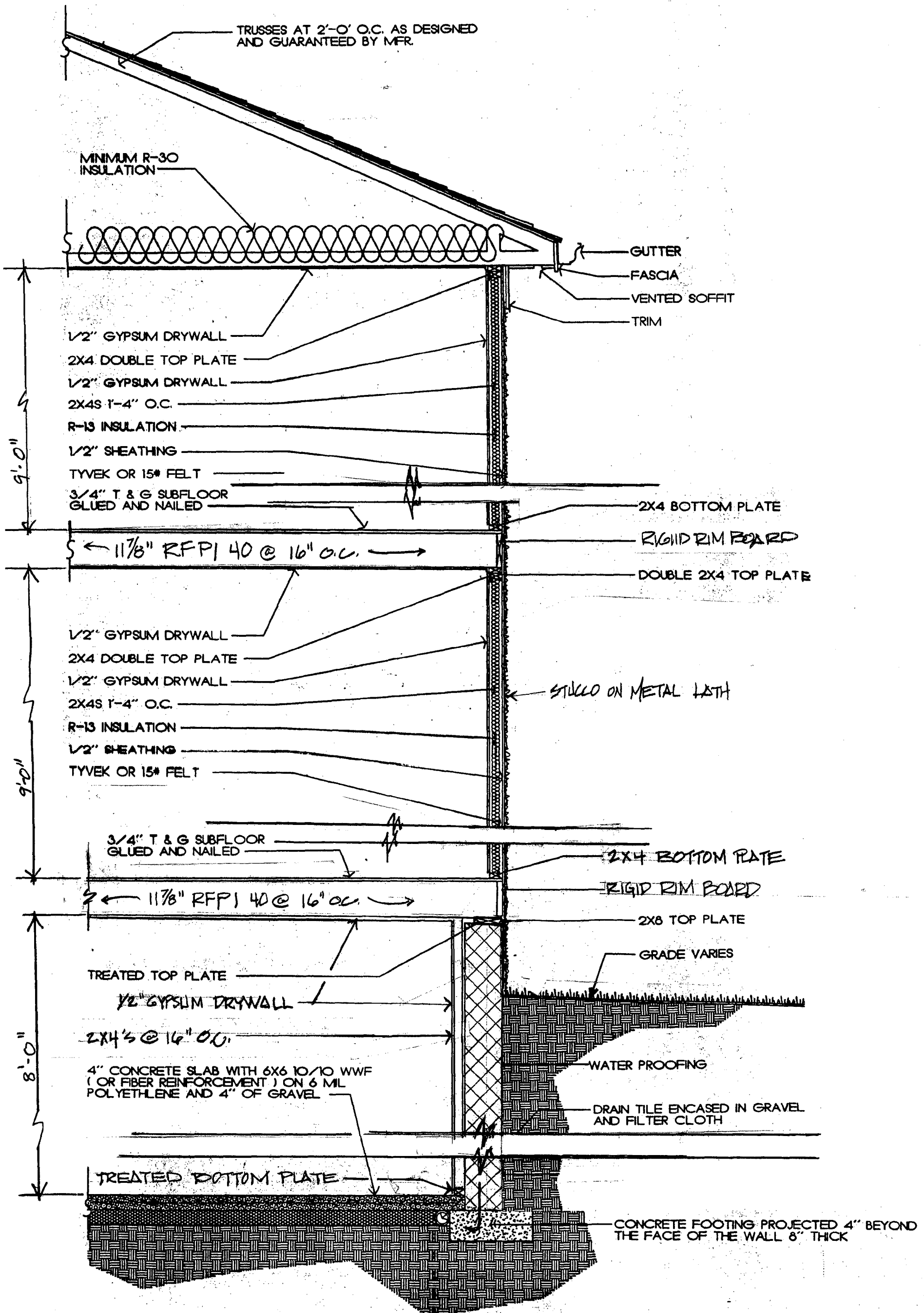


26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** | Second FLOOR Plan | 1/4" = 1'-0"



26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** | Third FLOOR & ROOF Plan | 1/4" = 1'-0"





26 West Kirke Street, Chevy Chase, MD  
**STRUCTURAL FRAMING** | **TYPICAL WALL SECTION** | 1/2" = 1'-0"



bb1143, bb1143\_02

Ritz, R0022, 07/30/03



bb1143, bb1143\_04

Ritz, R0022, 07/30/03



bb1143. bb1143\_05

Ritz. R0022. 07/30/03





bb1143, bb1143\_00

Ritz, R0022, 07/30/03



Ritz, R0022, 07/30/03

PB1143, PB1143L03



bb1143, bb1143\_01

Ritz, R0022, 07/30/03