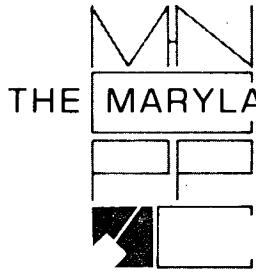


#35/54-93A 4113 Jones Bridge Road
Hawkins Lane Historic District



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760


November 2, 1993

Mr. Joe Kozloski
Station 4
DEP
250 Hungerford Drive
Rockville, MD 20850

Dear Mr. Kozloski:

At its October 13, 1993, meeting, the Historic Preservation Commission denied the HAWP application of Greenbriar Homes, Inc. for new construction on a lot behind 4113 Jones Bridge Road, Chevy Chase, because it was inconsistent with the purposes of Chapter 24A, the county's historic preservation ordinance.

Sincerely,



Nancy Witherell
Historic Preservation
Planner

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot at rear of 4113 Jones Bridge Road	Meeting Date: 10/13/93
Resource: Hawkins Lane Historic Dist.	HAWP/New Construction
Case Number: 35/54-93B CONTINUED	Tax Credit: No
Public Notice: 09/29/93	Report Date: 10/06/93
Applicant: Greenbrier Homes, Inc.	Staff: Patricia Parker
PROPOSAL: New Construction	RECOMMEND: Approval

BACKGROUND/DISCUSSION:

This case was before the Commission on September 22, 1993. At that meeting, the HPC made comments on a proposal for new construction on Lot #3 off Hawkins Lane. Since this meeting, the applicant has revised his proposal to reflect key issues raised by the Commission. At that meeting, the HPC suggested that the applicant decrease the overall footprint of the building, respecting the character of the Historic District and that the applicant modify the roof to show less bulk.

The applicant proposes to ultimately construct two new homes on unimproved Lots #2 and #3 at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District. These lots are behind lots that face the east side of Hawkins Lane itself. This proposal focuses on Lot #3 only.

The proposal indicates that the new house on Lot #3 would be approximately 2,500 square feet in total floor area. It has a partial second story. The overall footprint is approximately 55 feet wide by 30 feet deep. No design for a detached garage was included in the submission. This would need to be reviewed under a separate HAWP before a garage could be constructed.

At two previous meetings, the Commission thoroughly discussed the important issues of scale and massing in the Hawkins Lane Historic District. Staff feels that the applicant has made an effort to down-size his proposal to reflect consideration of the Commission's comments.

STAFF DISCUSSION/BACKGROUND:

At the March 24, 1993 meeting of the Historic Preservation Commission (HPC), the Commission reviewed the plans for subdividing this property into three lots. The existing historic house,

located on the front lot adjacent to Jones Bridge Road (4113 Jones Bridge Road) would remain. The HPC recommended that the two new rear lots share a new driveway access to Jones Bridge Road with the historic house along the western property line. It was recommended that the driveway should terminate at the front of the lots rather than extend to the rear.

The Hawkins Lane Historic District is a unique and important historical resource in Montgomery County. It is a quiet, small in scale district - located in a heavily-developed area with a substantial number of large, expensive homes. The district has a rural atmosphere - its road is unpaved and its residences are modest in both size and price. The District property owners are concerned with preserving the rural character of their community. It is important that any new construction be compatible with the existing.

Development guidelines have been established to preserve this sense of neighborhood. The Lane remains unpaved. Simple houses of similar scale and massing front toward the Lane with no barriers between the houses. The rural character of the Lane is further maintained by the presence of magnificent trees: poplars, oaks and maples that dominate the landscape.

The staff continues to feel that greater design freedom may be utilized in building off Jones Bridge Road, in the rear of the existing 2-story frame structure, bordered to the east by County parkland. The design of the new houses may have greater frontage parkside but should maintain a narrow profile on the Jones Bridge Road side. Staff feels that in consideration of the size of Lot #3, the house may be slightly larger than houses fronting on the Lane. Houses on Hawkins Lane vary in width from 20 feet to 48 feet. This house, located off the Lane, would be the largest in the District.

The height of the house as proposed remains at 25 feet (which staff feels is acceptable) and the roof is now articulated. The plan is simplified and height is used only where necessary for livable space. Staff is still unclear about the materials of the 6x6 front columns. We recommend frame construction for the covered porch.

STAFF RECOMMENDATION:

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;

and with Hawkins Lane Historic District guidelines.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

NO STRUCTURES PRESENTLY EXIST ON
LOTS

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROVIDE NEW HOME IN KEEPING WITH
EXISTING STRUCTURES IN DISTRICT

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- b. the relationship of this design to the existing resource(s):

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name RONALD S & A.C.G. HSU
 Address 6817 MILKWOOD RD
 City/Zip BETHESDA, MD 20817

2. Name JOSEPH J & K.M. O'CONNOR
 Address 8807 HAWKINS LA
 City/Zip BETHESDA, MD 20815

3. Name HELEN T. FAIRFAX
Address 34 DEERFIELD BVD
City/Zip HAMPTON, VA 23666

4. Name M.N.C.P. & P.C.
Address 8787 GEORGIA AVE
City/Zip SILVER SPRING, MD 20910

5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

Greenbriar Homes, Inc

1000 16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
(202) 833-8846 Fax

September 27, 1993

Pat Parker
Maryland-National Capital Park and Planning Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Dear Pat:

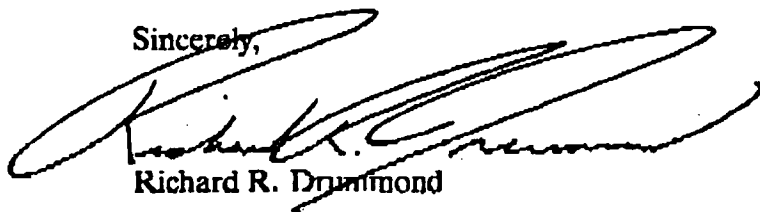
In accordance with the commissioners recommendation in last Wednesday's meeting, we have made some revisions to the house we are proposing to build in the Hawkins Historical subdivision.

We have reduced the overall size of the home as well as reduced the mass of the roof area. As noted before all exterior siding, columns and trim are to be constructed of wood.

It was also suggested by the commission that an approval of these plans by at least 90% of the neighbors would be of assistance to them in their discission making process. We intend to provide the commission with these approvals prior the next meeting.

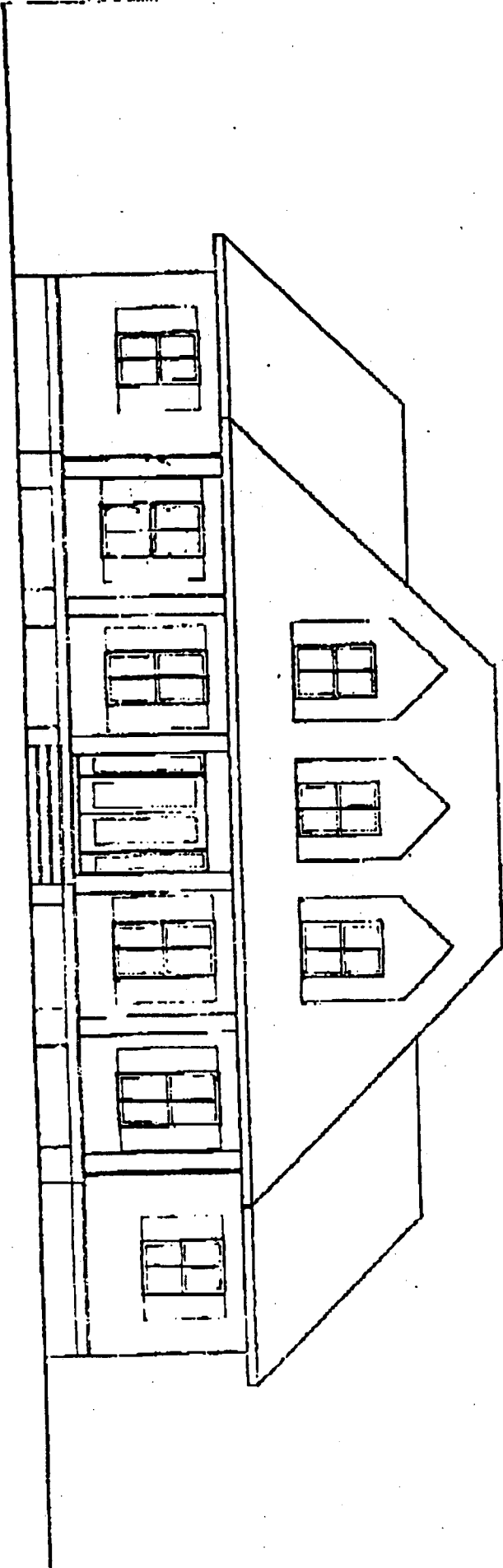
Please review these revisions and let me know if there are any further questions I may answer to aid you in the drafting of your staff report. I can be reached, at your convenience, at the above listed number.

Sincerely,



Richard R. Drummond



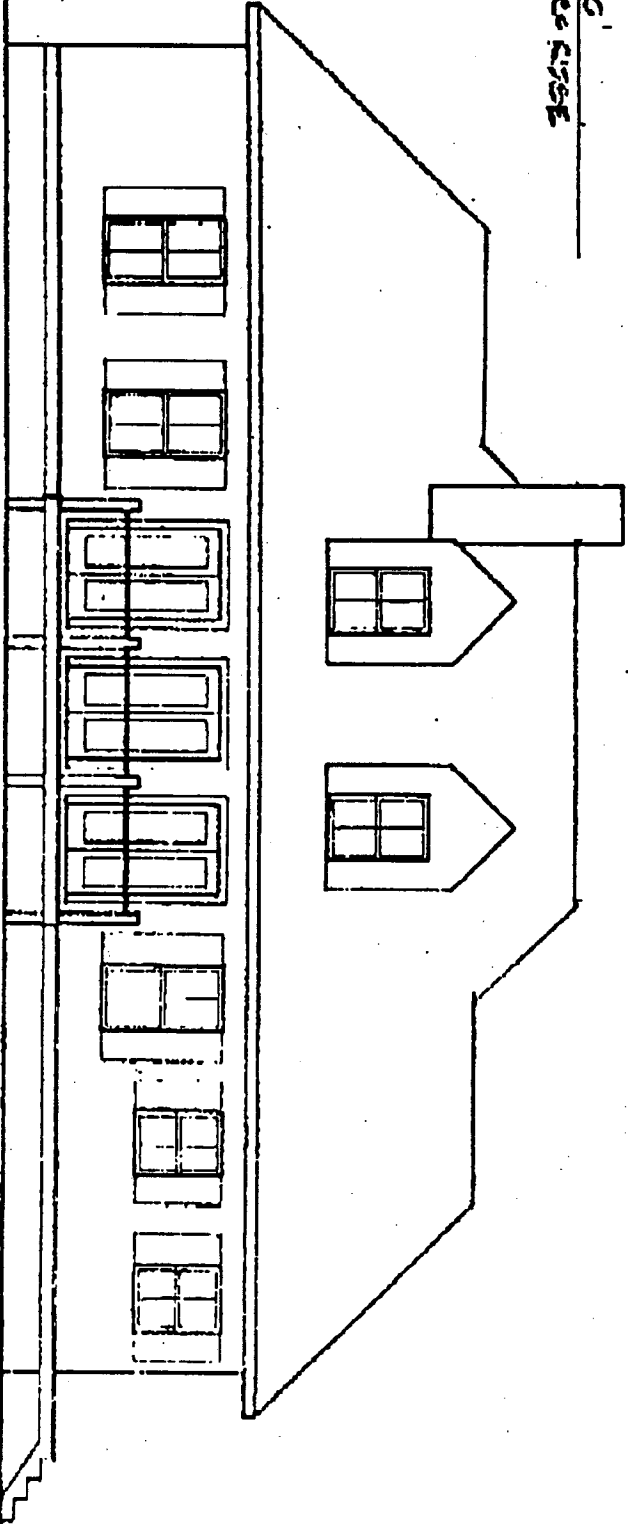


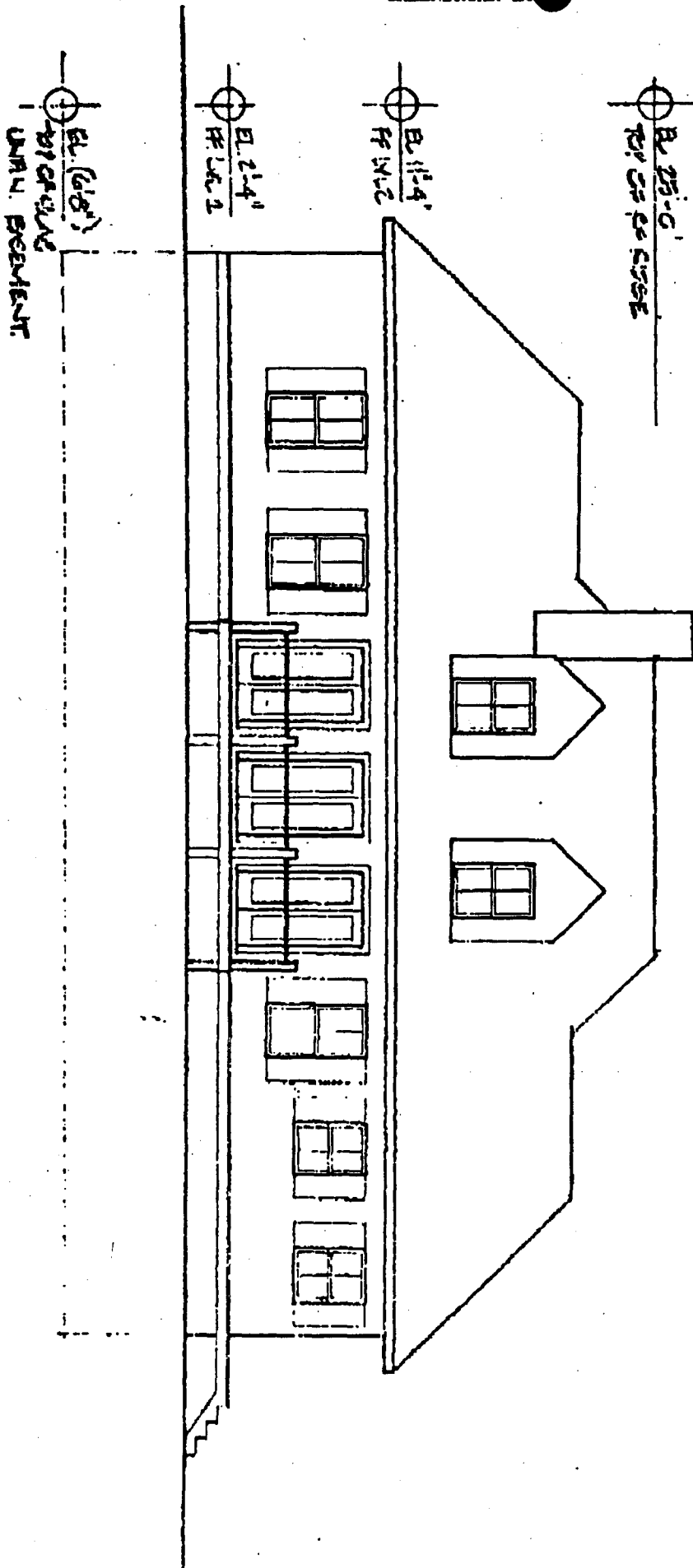
BL 25'-0"
FR 1/2" x 2" x 2"

BL 11'-4"
FR 1/2" x 2" x 2"

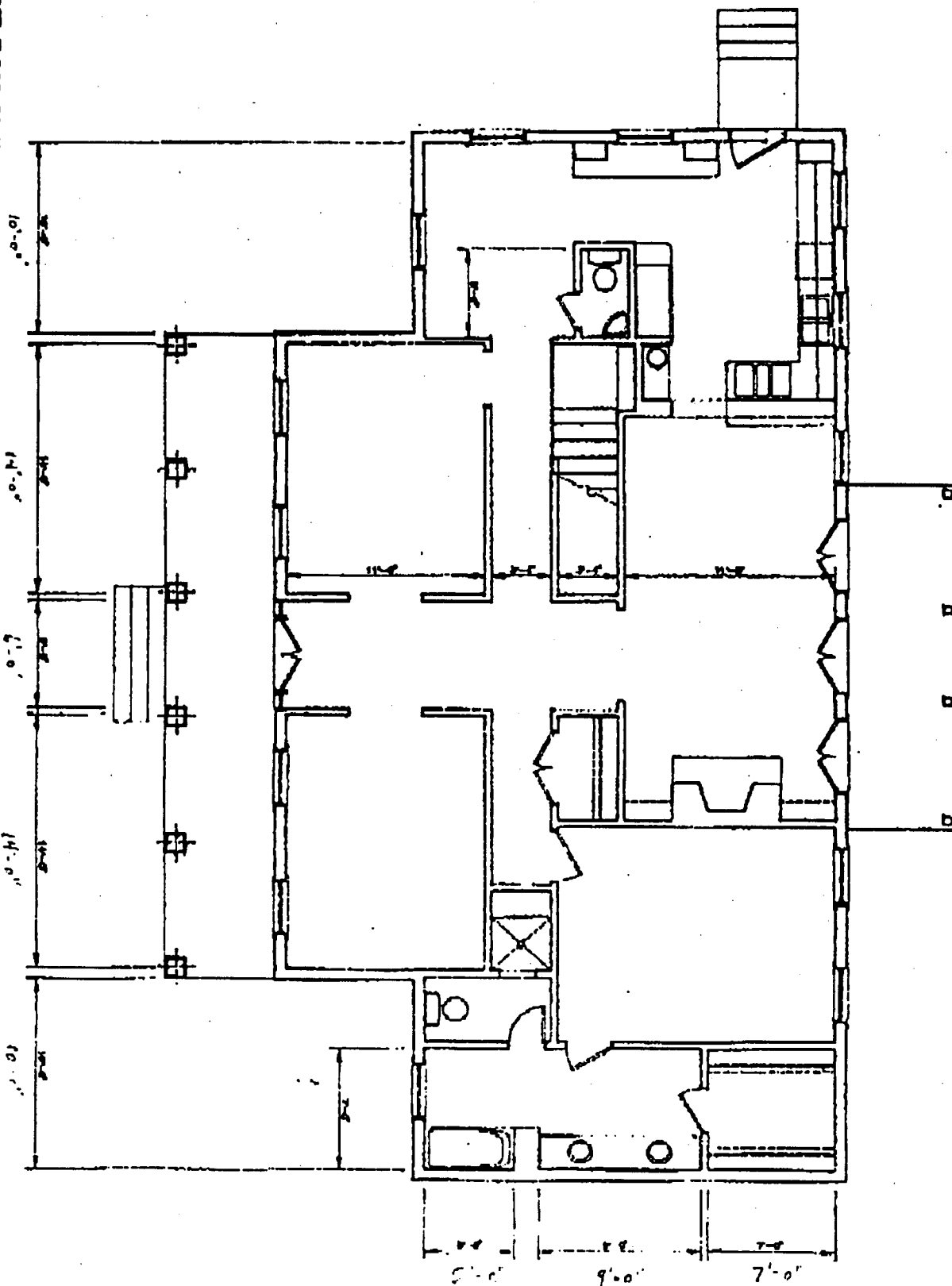
BL 2'-4"
FR 1/2" x 2" x 2"

BL (6'-8")
FR 1/2" x 2" x 2"
UNIV. PRESENT





FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

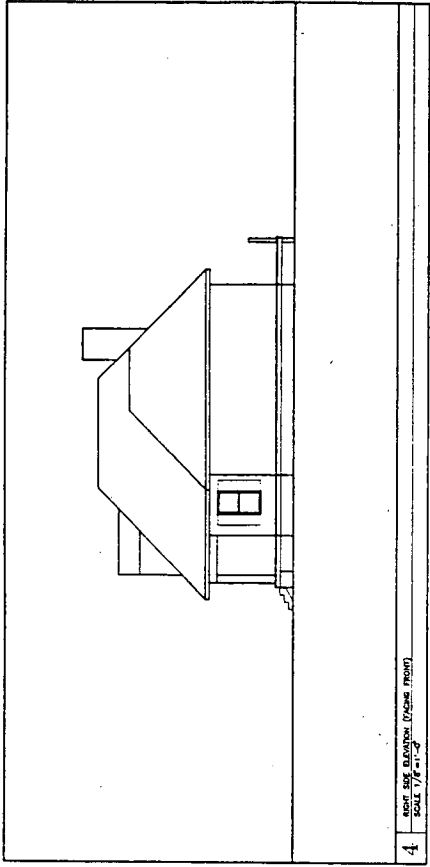


1359 SQUARE FEET

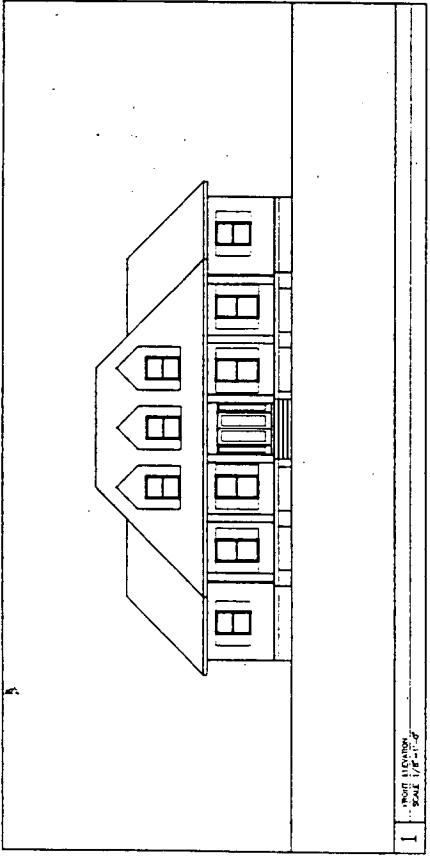


KENT JAMES BUNTER AIA ARCHITECTS

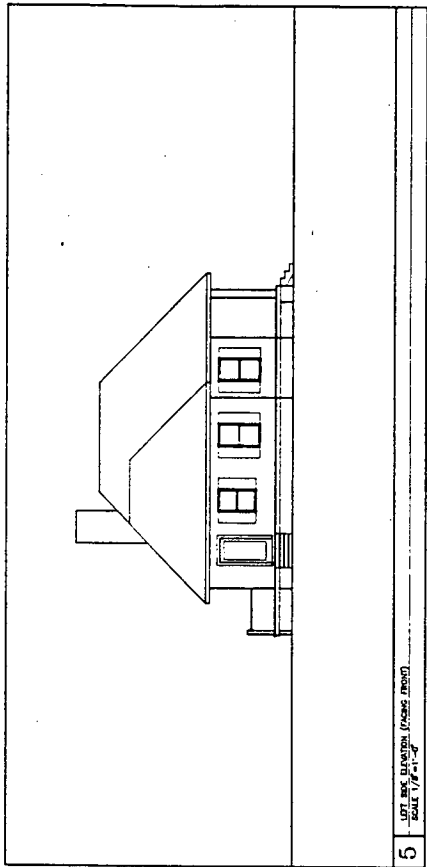
1000 W. MAIN ST.
 FARMINGTON, CT 06030
 (203) 638-1100
 FAX (203) 638-1101



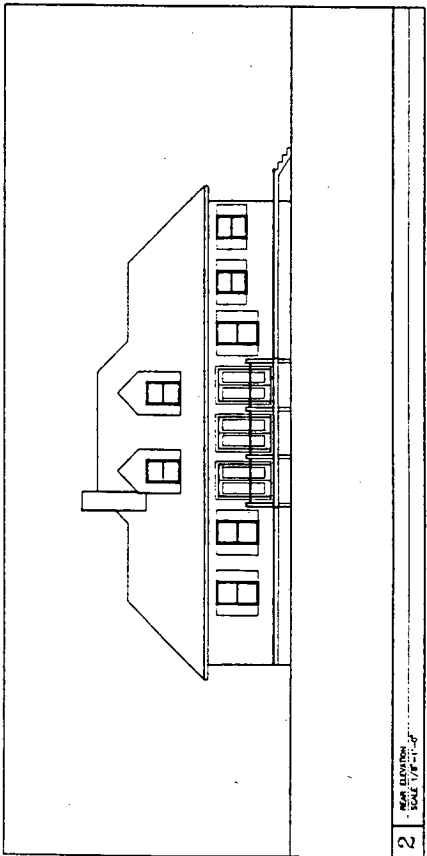
4 FRONT ELEVATION (PANS FRONT)
 SCALE 1/8"=1'-0"



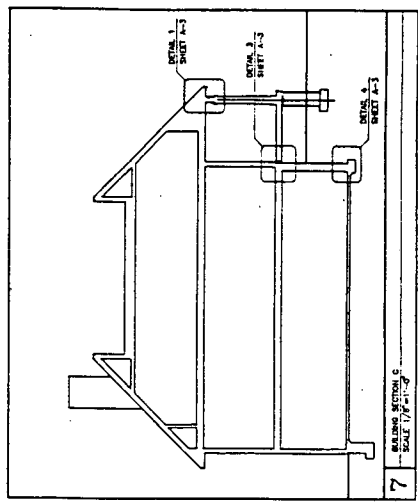
1 REAR ELEVATION
 SCALE 1/8"=1'-0"



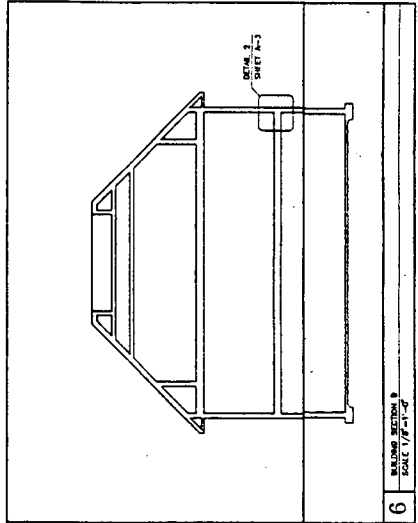
5 LEFT SIDE ELEVATION (PANS FRONT)
 SCALE 1/8"=1'-0"



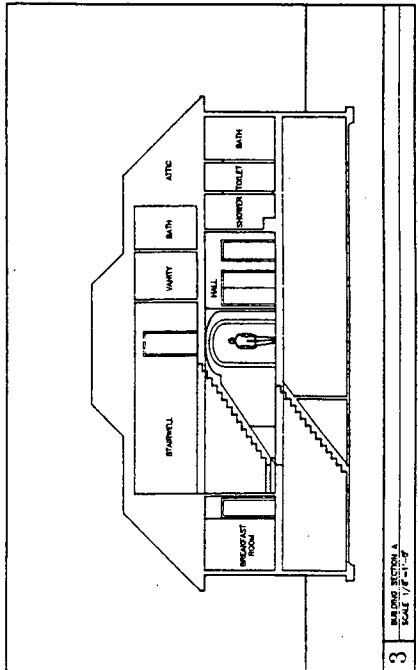
2 RIGHT SIDE ELEVATION
 SCALE 1/8"=1'-0"



7 WALLING SECTION 7
 SCALE 1/8"=1'-0"



6 WALLING SECTION 6
 SCALE 1/8"=1'-0"



3 WALLING SECTION A
 SCALE 1/8"=1'-0"

GREENBRIER HOMES
 SPEC HOME 002
 BETHESDA, MD

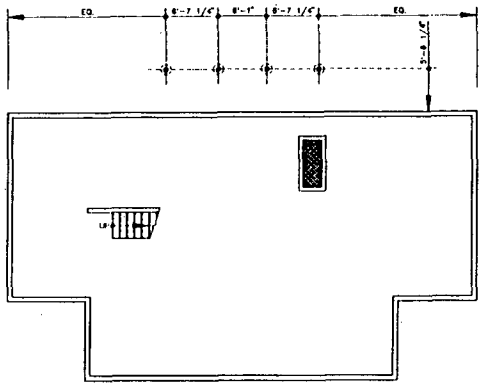
PERMIT AND
 CONSTRUCTION SET
 REVISED

08.22.03
 10.04.03

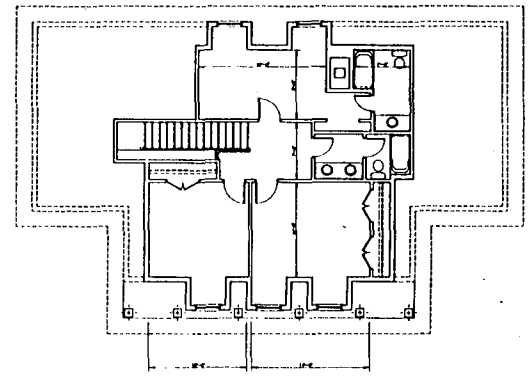
FIRST FLOOR PLAN
 SCALE 1/4"=1'-0"

A-2

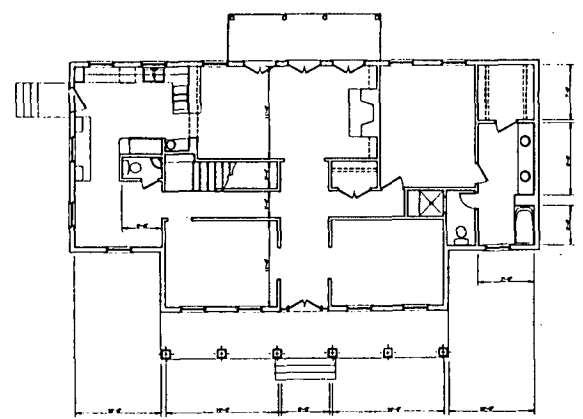




1 BASEMENT FLOOR PLAN
SCALE 1/8"=1'-0"

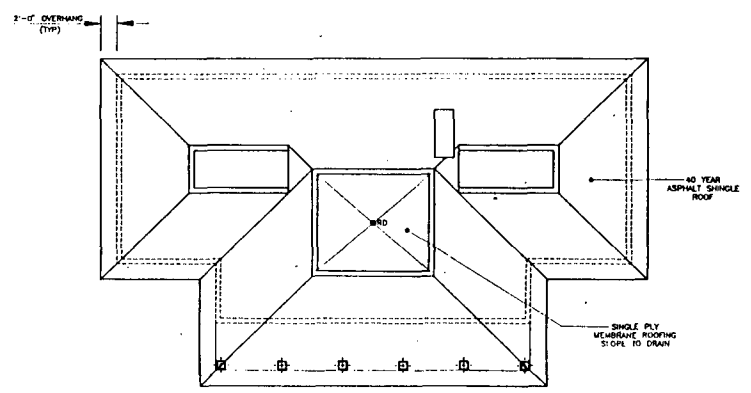


3 SECOND FLOOR PLAN
SCALE 1/8"=1'-0"



FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

1 FIRST FLOOR PLAN
SCALE 1/8"=1'-0"



4 ROOF PLAN
SCALE 1/8"=1'-0"

KRITH JAMES HUNTER AIA ARCHITECTS

505 BARBYNE
VALESDOTUM, DC
708 SAS ROAD
BLACKSBURG, VA

COMMERCIAL
SCHOOL BUILDING
RENOVATION
RENOVATION CAB
FURNITURE DESIGN

GREENBRIER HOMES
SPEC HOME 002
BETHESDA, MD

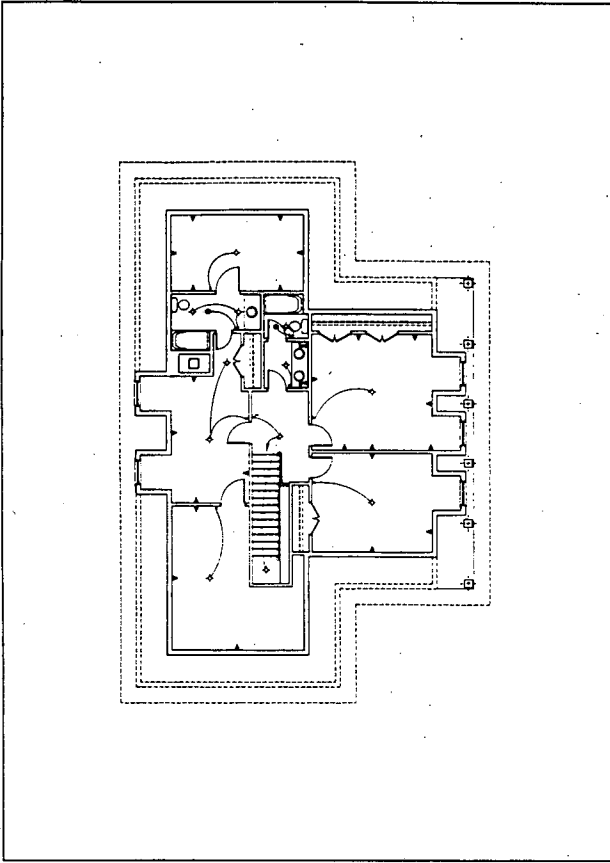
PERMIT AND
CONSTRUCTION SET 08.27.93
REVISED 10.04.93

FLOOR PLANS
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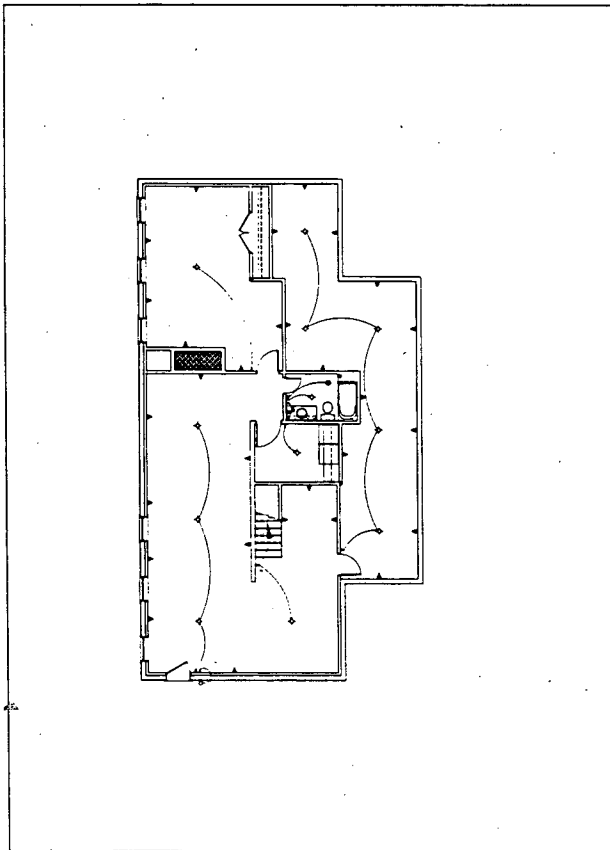
A-1

KEITH JAMES RUNYER AIA ARCHITECTS

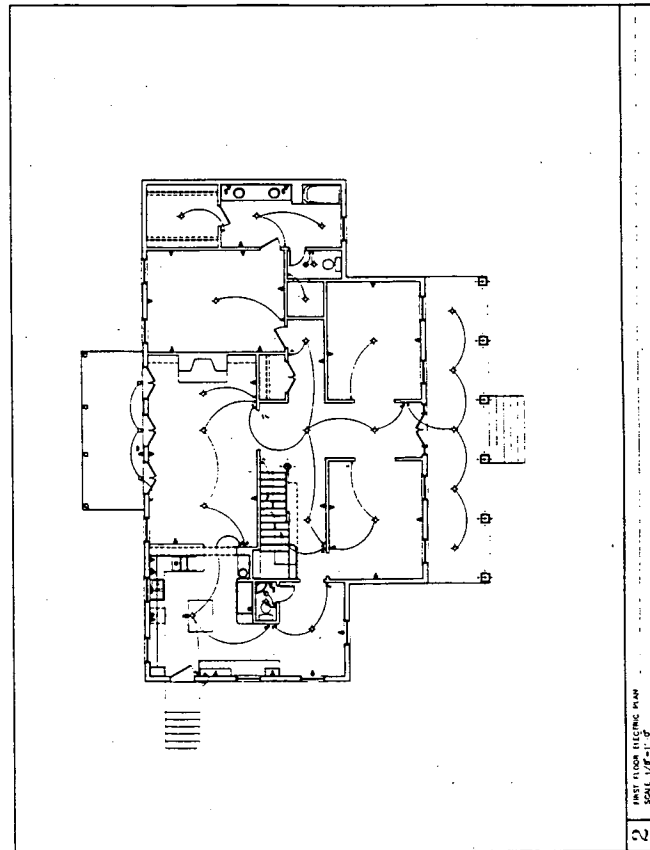
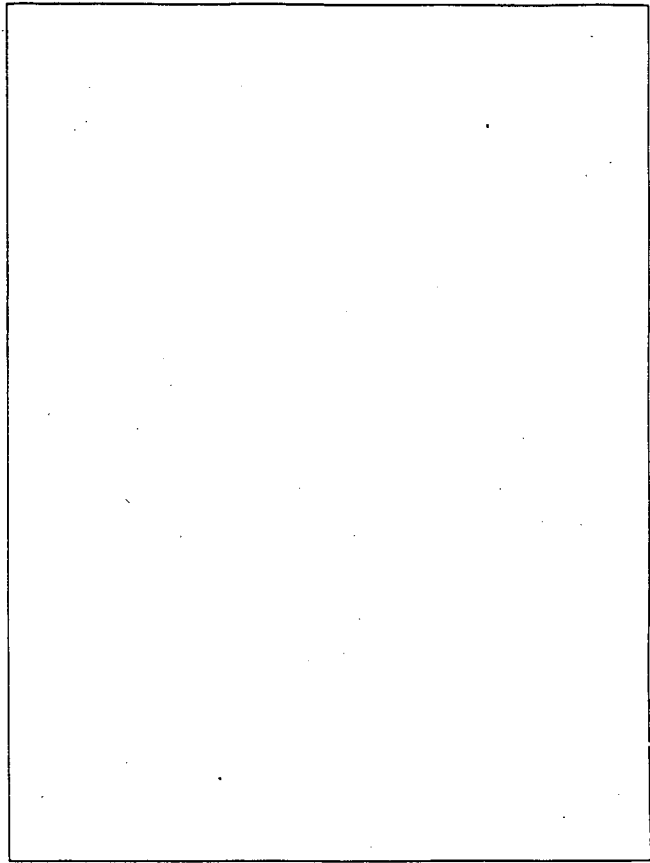
TEXAS LIBRARY CODE, IN
RESIDUAL
STRUCTURE
FURNITURE BARRIERS



3 SECOND FLOOR ELECTRIC PLAN
SCALE 1/8"=1'-0"

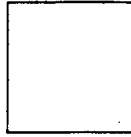


1 BASEMENT ELECTRIC PLAN
SCALE 1/8"=1'-0"



2 FIRST FLOOR ELECTRIC PLAN
SCALE 1/8"=1'-0"

GREENBRIER HOMES
1000 W. GOLF
BETHESDA, MD

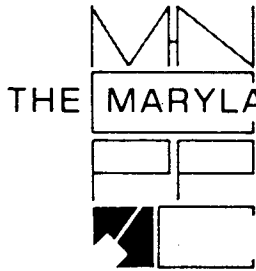


PERMIT AND
CONSTRUCTION SET 08.27.03

ELECTRIC AND LIGHTING PLAN
SCALE 1/8"=1'-0"

F-1





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 28, 1993


GREENBRIAR HOMES, INC.
1000 16th Street, NW
Lower Level
Washington, D.C. 20036
ATTN:Richard R. Drummond, President

Dear Mr. Drummond:

Enclosed is the Decision and Opinion of the Historic Preservation Commission with regard to your Historic Area Work Permit application for construction of a new single-family house on Lot #3 at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District.

At the Commission's meeting on October 13, 1993, the Commission voted to deny your application. You were informed that if you wished to appeal the Commission's decision, you could do so within 30 days of the date of the decision (October 27, 1993). This information is stated in the last paragraph of the Decision. In addition, I am enclosing a copy of the County Ordinance, as well as your copy of the HAWP application form. The Department of Environmental Protection has been informed that your HAWP application was denied.

If you have any questions, please call Patricia Parker at 495-4570.

Sincerely,

Gwen Marcus
Historic Preservation
Coordinator

HISTORIC PRESERVATION COMMISSION

of

MONTGOMERY COUNTY

**8787 Georgia Avenue
Silver Spring, Maryland 20910**

301-495-4570

Case No. 35/54-93B

Received: September 2, 1993

Public Appearances: September 22, 1993; October 13, 1993

Before the Montgomery County Historic Preservation Commission

Application of Greenbrier Homes, Inc.
Lot #3 at rear of 4113 Jones Bridge Road

DECISION AND OPINION OF THE COMMISSION

Decision of the Commission: DENY the Applicant's proposal to construct a new single-family house, as proposed, on Lot #3 at rear of 4113 Jones Bridge Road.

Commission Motion: At the October 13, 1993, meeting of the Historic Preservation Commission, Commissioner Lanigan presented a motion to deny new construction of a house, as proposed, on Lot #3 at the rear of 4113 Jones Bridge. Commissioner Brenneman seconded the motion. Commissioners Clemmer, Lanigan, Brenneman and Chairman Randall voted in favor of the motion. Commissioner Harris voted to oppose the motion. The motion was passed 4-1. Commissioners Booth, Norkin, Handler and Kousoulas were absent.

BACKGROUND INFORMATION AND SUMMARY OF APPLICATION

Historic Preservation Ordinance

The following terms are defined in Section 24A-2 of the Code:

Exterior features: The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and the type or style of all windows, doors, light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

Historic resource: A district, site, building, structure or object, including its appurtenances and environmental setting, which is significant in national, state or local history, architecture, archaeology or culture. This includes, but is not limited to, all properties on the "Locational Atlas and Index of Historic Sites in Montgomery County".

Historic District: A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

Section 24A-7(g)(1) provides that:

The applicant for a permit shall have the responsibility of providing information sufficient to support the application and the burden of persuasion on all questions of fact which are to be determined by the commission.

Section 24A-8(a) states that:

(a) The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

Hawkins Lane Historic District

Information on the historic and architectural significance of the Hawkins Lane Historic District, as incorporated in the Master Plan amendment approved July, 1991, is as follows:

The Hawkins Lane Historic District is a unique and important historical resource in Montgomery County - an outstanding example of a black "kinship" community which reflects the heritage and lifestyle of black citizens at the turn of the century and in the early 20th century. There are few intact, early black communities left in the county and even fewer which so clearly demonstrate the determination and legacy of one family - the Hawkins. Although the structures in the district are modest, they clearly reflect a sense of historic time and place. The district, as a whole, is an essential part of the county's history to be preserved, remembered, and appreciated.

The intent of designating the Hawkins Lane neighborhood as a Montgomery County historic district is to preserve for future generations those qualities of the area which reflect its historic importance as a black "kinship" community.

Future changes and new construction must be sensitive to the character of the district and to the elements - both built and natural - which contribute to that character.

Some of the particular elements which contribute to the Hawkins Lane Historic District's distinctive historic character include the rural character of the area - enhanced by the wooded surroundings, mature trees, and unfenced property lines - and the small scale of the homes which are clustered close to the unpaved lane...

...If there is additional development on or near Hawkins Lane, it is very important that the road remain unimproved and the new buildings conform to the existing neighborhood patterns in terms of scale, size and setbacks. New development should also be sensitive to the district's existing patterns of open space, its rural character, and its mature vegetation.

Specific historic preservation review guidelines were included in the Hawkins Lane Historic District Development Guidelines Handbook for the Hawkins Lane Historic District. The purpose of these guidelines is to "...provide the Historic Preservation Commission and other applicable agencies...with guidance regarding the intent of the historic designation" and to assist the Historic Preservation Commission with in reviewing applications for Historic Area Work Permits. The Guidelines state that:

The district's significance is based primarily on its history as a late nineteenth century black kinship community, not on its architectural merit. Several district buildings, however, do have architectural significance in their own right, and...all district buildings "clearly reflect a sense of historic time and place." All district buildings, therefore, are considered to be "contributing" structures, that is, they contribute to the district's historical significance...

The purpose of the Historic Area Work Permit process is to ensure that alterations and/or new construction will be compatible with the existing appearance and character of the historic site or district.

...Stylistically, the residential structures in the district are early-to-mid-twentieth century "vernacular" buildings, that is, they incorporate architectural elements from a wide range of styles...

HAWP Application Process

On July 28, 1993, Brendan Magner had a Preliminary Consultation with the Historic Preservation Commission (HPC) on the concept of building a new house on Lot #3 behind 4113 Jones Bridge Road.

Several concepts for architectural styles were presented and discussed.

On September 2, 1993, Greenbrier Homes, Inc., represented by Richard R. Drummond, President (applicant) applied for a Historic Area Work Permit (HAWP), to construct a new house on Lot #3 at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District, Chevy Chase, Maryland.

The applicant first appeared before the HPC on this HAWP case on September 22, 1993. At that time, the Commission discussed the application and, with the applicant's consent, deferred its final decision until October 13, 1993. The case was continued to allow the applicant time to make changes to the proposal to address concerns expressed by the HPC.

The applicant returned to the October 13, 1993 meeting with a revised application and requested that the Commission make its final decision. The Commission voted to deny the application.

EVIDENCE IN THE RECORD

Copies of the Applicant's Historic Area Work Permit application and a written report from the Historic Preservation Commission staff were initially distributed to Commissioners on September 15, 1993. Copies of the revised application and accompanying staff report were then distributed on October 6, 1993.

At the September 22, 1993 meeting, HPC staffperson Patricia Parker presented 35mm slides of the property and testified that the application was for new construction of a house on Lot #3, at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District. A letter from the applicant, dated September 16, 1993, was included with the staff report and stated that the approximate square footage for the first floor of the new house was 1656 square feet, and 1128 square feet for the second floor.

Patricia Parker stated her concern that the house, as proposed, was too large for this historic district. It would only be acceptable if the applicant revised the scheme so that it is scaled down in both footprint and mass. She recommended that the HPC ask the applicant to return with revised plans or, if the applicant is not able to do this, to deny the application.

In addition, Ms. Parker noted that letters had been received from a property owner in the district, Barbara Glancy, and from Cheryl Johnson of the Ad Hoc Committee to Save Hawkins Lane. These letters - which were distributed to the HPC and the applicant - expressed concern about the size of the proposed house.

The applicant, Richard Drummond, and his partner Brendan Magner came forward to address the Commission. Mr. Magner stated that the new house proposed was not much larger than the existing house at 4113 Jones Bridge Road with its recently approved

addition. He also stated that the proposed house would be comparable in size with the brick house on the corner of Jones Bridge Road and Hawkins Lane.

Mr. Drummond stated that the numbers in his September 16th letter were incorrect: the first floor is actually 1,359 square feet and the second floor is 1,054 square feet. The building would be 54 wide across the front and 28 1/2 feet in depth.

Commissioner Kousoulas asked about the shape of the roof for the the proposed house. The applicant confirmed that there would be a section of roof over the three-bay, second-floor area that would be flat.

Two property owners from the Hawkins Lane Historic District - Walter Hsu and Joe O'Connor - then came forward to comment on the plan. Both of these individuals expressed support for the proposed house. Mr. O'Connor specifically wanted to clarify that the letter from Ms. Glancy reflected her own perspective on the proposed project and not the views of the full Ad Hoc Committee to Save Hawkins Lane.

Mr. O'Connor also expressed the view that, although there is a lot of concern about the houses that may be built right on Hawkins Lane, the land behind the lane could have slightly bigger houses. He felt the proposed house was not much bigger than his own house or the brick house on the corner of Jones Bridge Road and Hawkins Lane.

The applicants, Mr. Drummond and Mr. Magner, came forward again and answered questions from the HPC. Mr. Magner emphasized that the proposed house is only 413 square feet bigger than the largest house on Hawkins Lane. However, staff pointed out that Mr. Magner is comparing the proposed house with the largest house in the district - not to the average house.

Commissioner Norkin asked about the HPC's discussion during the Preliminary Consultation on this property. Ms. Parker stated that the HPC had felt strongly about the issues of scale and massing for houses both on Hawkins Lane and off. The HPC had not determined a square footage maximum, but simply said that the houses off Hawkins Lane could be "slightly larger". Commissioner Norkin agreed with this earlier conclusion.

Mr. Magner discussed the fact that the proposed house would be two full lots back from Hawkins Lane and would be screened by existing vegetation.

Commissioner Kousoulas asked questions about revised elevation drawings which were distributed at that evening's meeting. Mr. Drummond explained that, after reading the staff report, he had asked his architect to revise the roof plans and had just received the elevations that afternoon.

Commissioner Kousoulas stated that the location of this lot and the fact that it is set back from Hawkins Lane would seem to support construction of a larger house. Additionally, he felt that the proposed style is appealing. However, he also felt that the house appeared to be too big. He thought the roof could be reduced by not extending the side ridges of the hip, and the floor plan could be reduced by shrinking the foyer.

Commissioner Booth expressed concern that the letter from the Ad Hoc Committee to Save Hawkins Lane seemed to state that the majority of residents felt the house was too large; but, Mr. Hsu and Mr. O'Connor seem to approve of the house. He also stated that he felt the house was a little bit too big and that it should be scaled down.

The applicants agreed to revise their plans and come back at the October 13th HPC.

At the October 13, 1993 meeting, HPC staffperson Patricia Parker presented 35mm slides of the property and reviewed the history of the application for new construction of a house on Lot #3, at the rear of 4113 Jones Bridge Road. Although staff still had concerns about the size of the house, they had recommended approval of the proposal because the developer had made changes to simplify the floor plan and reduce the roof mass as suggested by the Commission on September 22nd.

The applicants, Mr. Drummond and Mr. Magner, came forward to address their revised application. They explained that they had reduced the overall size of the home, as well as the mass. They had done this by lowering portions of the roof and redesigning the second floor. They had not changed the square footage of the first floor since the previous meeting.

The HPC then asked for comments from adjacent property owners, members of the Hawkins Lane Historic District and any other interested parties present.

Cheryl Johnson, Chairperson of the Ad Hoc Committee to Save Hawkins Lane, stated that the committee met on October 11, 1993. All persons received copies of the developer's proposal. The residents wanted it stressed that they are looking forward to additional neighbors in the district; but, the house, as proposed, is simply too large. They voted 8-1 in opposition to the proposal.

Christine Schafer, residing at 8816 Hawkins Lane, stated that she welcomes the growth of the neighborhood. She felt that the proposal does not fit the guidelines of modest size, and that the character of the proposal did not fit the District.

Curtis Wall, residing at 8825 Hawkins Lane, read from the Hawkins Lane Historic District Development Guidelines Handbook. He stated that property values are not an issue here. However, scale is

very much an issue. He further stated that the proposal should be modest and small with an intimate quality. He noted that the house within the proposal is fifty-four feet wide. This would be extremely wide and this proposed house would overwhelm all other houses within the district. This proposal would set a new precedent in the district.

Jim Barca, at 8816 Hawkins Lane, had talked with his neighbors. He stated that he is not anti-development and that he liked the look, but not the size of the house. He felt the drawings were misleading. The developers did not get approval from the community as the HPC requested. He felt that the house should be somewhat smaller.

Anita Snowdy, at 4201 Jones Bridge Road, stated that Hawkins Lane is where she grew up. She is excited about historic preservation for the area because it keeps the area intact - as she has always known it. She stated that this proposal indicated a house that is larger and different from houses in the area. If this proposal were approved, all the time and effort to designate Hawkins Lane as a historic district would have been wasted. She felt certain that a more appropriate house within the district could be built.

Cheryl Johnson made the additional comment that the residents were pleased with the farmhouse restoration at 4113 Jones Bridge Road.

Commissioner Harris stated that it is unfortunate that a true decrease in square footage is not reflected in these plans. The house, as proposed, appears too large due to its configuration. The HPC had stated that the design of the new houses off Hawkins Lane may have greater frontage parkside, but they should still maintain a narrow profile on the Jones Bridge Road side. The house may be **slightly larger** than houses fronting the Lane; but certainly not substantially larger, as this proposal appeared.

Commissioner Clemmer suggested that the applicant's proposal should be closer to the footprint of others in the District. If not, this proposal could overwhelm the community and the lot.

Chairman Randall was concerned that the width of the proposed house was twenty percent wider than the widest house in the district.

Commissioner Lanigan stated that the community has always been concerned with the general size of houses proposed for vacant lots within the district.

Commissioner Brenneman concurred with Commissioner Lanigan and he reminded the applicant that Hawkins Lane is a community of generations.

The applicants stated that that they felt they had incorporated the HPC's earlier recommendations from the September 22nd meeting in this revised proposal.

Chairman Randall asked the applicant if they would like further time to revise the proposal more and whether they wanted the HPC to defer consideration until further changes could be made.

The applicant chose not to defer consideration of its application and requested that the HPC vote on this proposal. The HPC voted, with the majority of Commissioners voting to deny the application.

CRITERIA FOR APPROVAL

The criteria which the Commission must evaluate in determining whether to deny a Historic Area Work Permit application are found in Section 24a-8(a) of the Montgomery County Code.

In analyzing whether the criteria for issuance of a Historic Area Work Permit have been met, the Commission also evaluates the evidence in the record in light of generally accepted principles of historic preservation, including the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, adopted by the Commission on February 5, 1987.

In particular, Standard #2 and Standard #9 are applicable in this case:

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Additionally, the Hawkins Lane Historic District Development Guidelines Handbook state that:

...Every effort should be made to preserve existing open spaces since they contribute to the rural quality of the district. New construction should be designed and sited so as to maximize the amount of open space retained...

...In addition, the buildings are small-scale and exhibit a range of styles, materials, and massing more frequently associated with the unplanned development of rural areas than with the suburbs...

...Building scale is one of the most important factors in determining the character of the historic district...building scale is determined not by actual size but by how large it appears in relationship to people, other buildings, and the community...Based on this definition, the buildings in the Hawkins Lane Historic District are decidedly "low-scale" or "small-scale" in appearance and are "in proportion" to their surroundings. Their small scale is important in contributing to the intimate, rural quality of the district.

FINDINGS AND DECISION OF THE COMMISSION

Based on this, the Commission finds that:

1. As proposed in the current HAWP application, new construction on Lot #3 at the rear of 4113 Jones Bridge Road is not consistent with the preservation and enhancement of the architectural and historic character of the Hawkins Lane Historic District.

The house, as proposed, is too large in scale and mass for the District. Because the district was designed to reflect a concentration of small buildings, a building, such as the one proposed, having a footprint of over 1,300 square feet, is inconsistent with the character of the district.

Buildings in the Hawkins Lane Historic District are small-scale and simple in ornamentation. In the context of the rest of the houses in the district, the overwhelming majority are less than two stories in height; most have an average footprint of about 700 square feet.

2. Approval of the proposed Historic Area Work Permit application would substantially alter the appearance of the district and would cause the loss of the historic integrity of the district. This proposal would substantially diminish the significance of the Hawkins Lane Historic District.

Having heard and carefully considered all of the testimony and exhibits contained in the record, and based on this evidence and on the Commission's findings, as required by Section 24A-8(a) of the Montgomery County Code, it is the decision of the Montgomery County Historic Preservation Commission that the application of Greenbrier Homes, Inc. to construct a new house on Lot #3 at the rear of 4113 Jones Bridge Road be DENIED.

The Commission was guided in its decision by Chapter 24A of the Montgomery County Code, by the Secretary of the Interior's Standards for Rehabilitation, and by the development guidelines for the Hawkins Lane Historic District.

If any party is aggrieved by the decision of the Commission, pursuant to Section 24A-7(h) of the Montgomery County Code, an

appeal may be filed within thirty (30) days with the Board of Appeals, which will review the Commission's decision de novo. The Board of Appeals has full and exclusive authority to hear and decide all appeals taken from decisions of the Commission. The Board of Appeals has the authority to affirm, modify, or reverse the order or decision of the Commission.

Albert B. Randall

Albert B. Randall, Chairperson
Montgomery County Historic
Preservation Commission

October 27, 1993

Date



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER GREENBRIAR HOMES INC TELEPHONE NO. 202 833-8845
(Contract/Purchaser) (Include Area Code)

ADDRESS 1000 16TH ST NW WASH. D.C. 20036
CITY STATE ZIP

CONTRACTOR GREENBRIAR/CHF CONSTRUCTION TELEPHONE NO. 202 833-8845
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY KEITH HUNTER TELEPHONE NO. 202 543-6738
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 4113 Street JONES BRIDGE RD

Town/City CHEVY CHASE MD Election District MOUNTGOMERY CO.

Nearest Cross Street CONNECTICUT AVE

Lot 8 Block _____ Subdivision HAWKINS

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="radio"/> Construct	<input type="radio"/> Extend/Add	<input type="radio"/> Alter/Renovate	<input type="radio"/> Repair	Circle One: A/C	<input type="radio"/> Slab	<input type="radio"/> Room Addition	
<input type="radio"/> Wreck/Raze	<input type="radio"/> Move	<input type="radio"/> Install	<input type="radio"/> Revocable	<input type="radio"/> Porch	<input type="radio"/> Deck	<input type="radio"/> Fireplace	
			<input type="radio"/> Revision	<input type="radio"/> Shed	<input type="radio"/> Solar	<input type="radio"/> Woodburning Stove	
				<input type="radio"/> Fence/Wall (complete Section 4)			<input type="radio"/> Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 110,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIONS/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard K. Hammond 10-27-93
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9310270072 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

4113 BETHESDA, MD 20815

APPLICATION FOR HISTORIC AREA WORK PERMIT

M.N.C.P.C.
2707 GEORGIA AVE
SILVER SPRING, MD 20910

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER GREENBRIAR HOMES INC TELEPHONE NO. 202 833-8845
(Contract/Purchaser) (Include Area Code)

ADDRESS 1000 16TH ST NW WASH DC 20036
CITY STATE ZIP

CONTRACTOR GREENBRIAR/CHF CONSTRUCTION TELEPHONE NO. 202 833-8845
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY KEITH HUNTER TELEPHONE NO. 202 543-6738
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 4113 Street JONES BRIDGE RD

Town/City CHEVY CHASE MD Election District MONTGOMERY CO.

Nearest Cross Street CONNECTICUT AVE

Lot B3 Block _____ Subdivision HAWKINS

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one) Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition
Wreck/Raze Move Install Revocable Revision Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 110,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPLOW RD

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 WSSC 02 Septic 03 Other _____

2B. TYPE OF WATER SUPPLY 01 WSSC 02 Well 03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches 20' 8" 15"

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
1. On party line/Property line _____
2. Entirely on land of owner _____
3. On public right of way/easement _____ (Revocable Letter Required)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert R. [Signature]

10-27-93

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9310270072 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

THE SDA MD 20915

M.U.C.P.C.
GEORGIA AVE
SILVER SPRING MD 20910

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER GREENPINE HOMES TELEPHONE NO. 301-923-8845
(Contract/Purchaser) (Include Area Code)

ADDRESS # _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. 301-923-8845
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY K. J. HUNTER TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 411 Street GEORGIA RD

Town/City SILVER SPRING MD Election District MOUNTAIN VIEW RD

Nearest Cross Street GEORGIA AVE

Lot _____ Block _____ Subdivision MOUNTAIN VIEW

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: A/C	Slab	Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input type="checkbox"/> Shed	<input type="checkbox"/> Solar	<input type="checkbox"/> Woodburning Stove
				<input type="checkbox"/> Fence/Wall (complete Section 4) Other _____		

1B. CONSTRUCTION COSTS ESTIMATE \$ 110,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY POTOMAC

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input type="checkbox"/> WSSC	02 <input checked="" type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION:

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used)

Lined area for describing proposed work, crossed out with a large X.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE HISTORIC PRESERVATION COMMISSION 100 MARYLAND AVENUE ROCKVILLE, MARYLAND 20850

HISTORIC AREA WORK PERMITS CHECKLIST OF APPLICATION REQUIREMENTS

REQUIREMENTS	WRITTEN DESCRIPTION ✓	PROJECT INTENT ✓	PROJECT PLAN ✓	TREE SURVEY ✓	DESIGN FEATURES ✓	FACADES ✓	MATERIAL SPECIFICATIONS ✓	PHOTOGRAPHS ✓	PROPERTY OWNER ADDR. ✓
NEW CONSTRUCTION	*	*	*	*	*	*	*	*	*
ADDITIONS	*	*	*	*	*	*	*	*	*
PARTIAL/TOTAL DEMO.	*	*	*					*	*
DECKS/PORCHES	*	*	*		*	*	*	*	*
FENCES/WALLS	*	*	*				*	*	*
DRIVES/PARKING AREAS	*	*	*	*			*	*	*
MAJOR LANDSCAP./GRADING	*	*	*	*			*	*	*
TREE REMOVAL	*	*	*	*			*	*	*
SIDING/ROOFING CHANGES	*	*	*			*	*	*	*
WINDOW/DOOR CHANGES	*	*	*		*	*	*	*	*
MASONRY REPAIR/REPOINT	*	*	*			*	*	*	*
SIGNS	*	*	*			*	*	*	*

Please see attached instructions for further details regarding these application requirements.

NOTE: Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs.

HISTORIC AREA WORK PERMITS

INSTRUCTIONS FOR FILING AND APPLICATION REQUIREMENTS

All applications for work involving properties listed on the Montgomery County Master Plan for Historic Preservation require the approval of the Historic Preservation Commission, which is charged with reviewing all work projects in listed historic districts and on listed individual historic sites. Prior to filing an application for an Historic Area Work Permit (HAWP), applicants with major projects may contact the Historic Preservation Commission (HPC) for a preliminary consultation. The Commission is located at 51 Monroe Street, Suite 1001, Rockville, and can be reached at 217-3625.

Applications for HAWP's must be obtained from, and returned to, the Department of Environmental Protection (DEP), Division of Construction Codes Enforcement, 250 Hungerford Drive, Rockville (738-3110). The application requirements depend on the nature of the proposed project, and are listed in the attached checklist. HAWP applications and all required attachments will be reviewed by authorized staff prior to acceptance of the application. Applications must be complete before they will be accepted by DEP staff. Once accepted, the application will be forwarded within three business days to the Historic Preservation Commission office. The Historic Preservation Commission staff will review the application. If, in its judgment, additional information is necessary to reasonably document the proposed work in relationship to the historic district, existing historic resource(s) and/or environmental setting, staff will contact the applicant and request the information. The HPC will typically schedule a hearing on the application at the regular Commission meeting falling between 24 and 37 days after the date of the acceptance of the application. The applicant will be notified by mail of the meeting time and place, and will be expected to attend the meeting. The applicant may contact the HPC in order to confirm the time and place.

Some historic districts have Local Advisory Panels (LAP's), groups of volunteer citizens which assist the HPC in reviewing HAWPs. If the project is in a historic district the HPC will forward a copy of the application to the LAP. The LAP will review the application and forward its comments to the HPC for inclusion in the record. Further information on the Local Advisory Panel and the role it plays in the HAWP process is available from the HPC.

If the HPC approves the application, it is forwarded with approved plans and conditions of approval, if any, to DEP for issuance of an Historic Area Work Permit and Building Permit. A copy of the approved HAWP will also be forwarded to the applicant. A copy of the HPC and DEP-stamped approved plans and related information must be made readily available to DEP and HPC staff on the project site during construction for reference. If the application is denied, or if the applicant is not satisfied with the decision of the Commission, she/he may choose to submit a revised application, or may appeal the decision to the County Board of Appeals. The Board of Appeals will hear the original application and render its own decision.

The Historic Area Work Permit is neither a substitute for, nor a part of, the Building Permit. For most projects, both a Historic Area Work Permit and a Building Permit are required. These permits are entirely separate, with different application procedures and requirements. Applicants are encouraged to obtain the Historic Area Work Permit prior to filing for a Building Permit.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

NO STRUCTURE PRESENTLY EXIST
ON THIS LOT

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONSTRUCT NEW SINGLE FAMILY
HOME, CONSISTANCE WITH ADJACENT
STRUCTURES.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

WOOD FRAME, STICK BUILT, WOOD (CEDAR)
SIDING, WOODED LANDSCAPING

- b. the relationship of this design to the existing resource(s):

FAMILY & COMMUNITY ORIENTED

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

PRESERVES THE CHARACTER OF THE
AREA

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

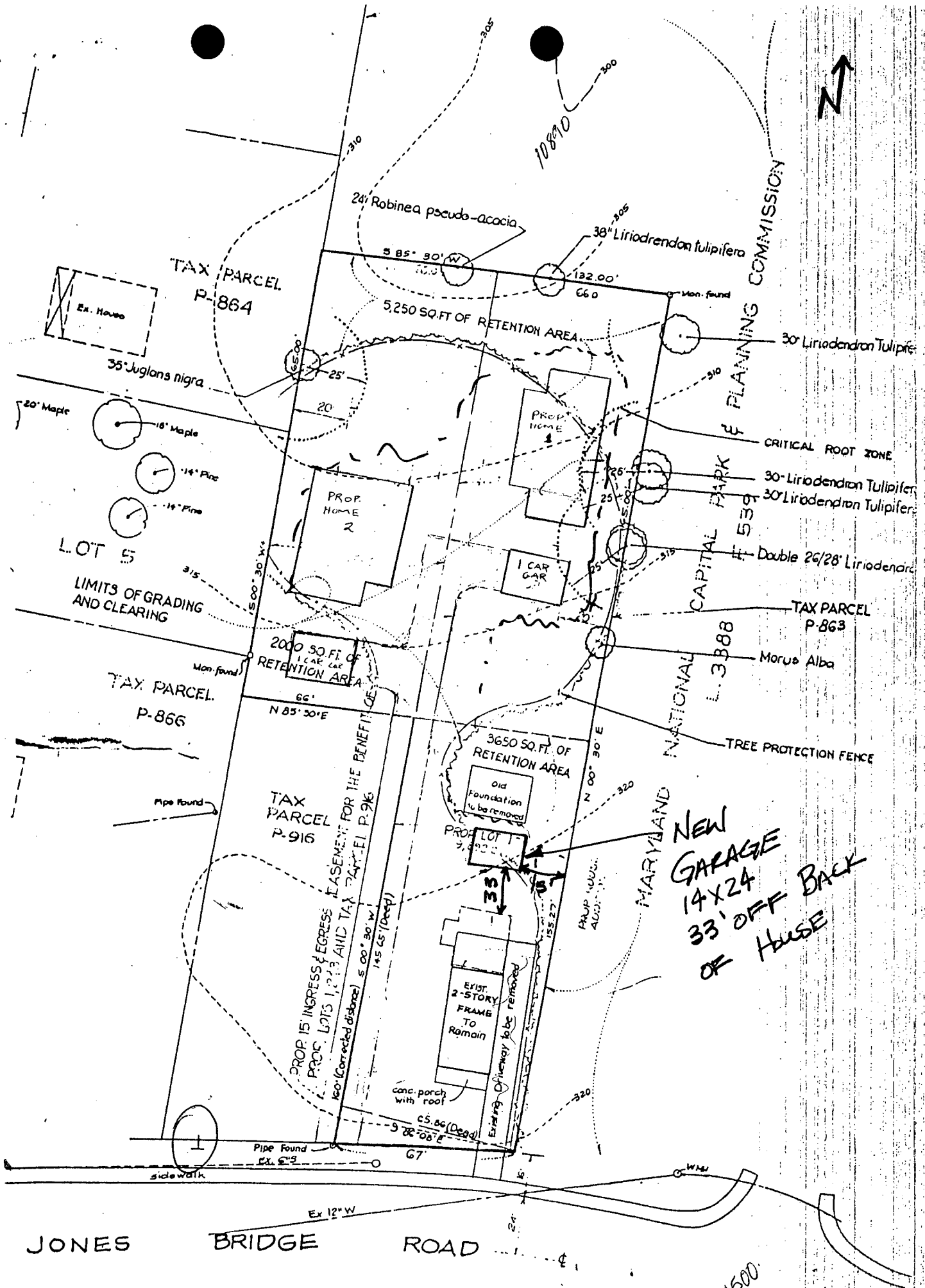
10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name RONALD HSU
 Address 6817 MILLWOOD RD.
 City/Zip BETHESDA, MD 20817

2. Name JOSEPH & KIM O'CONNOR
 Address 8807 HAWKINS LA.
 City/Zip BETHESDA, MD 20815

3. Name GREENBRIAR HOMES
Address 4113 JONES BRIDGE RD.
City/Zip BETHESDA, MD 20815
4. Name M.N.C.P.C.
Address 8787 GEORGIA AVE
City/Zip SILVER SPRING, MD 20910
5. Name _____
Address _____
City/Zip _____
6. Name _____
Address _____
City/Zip _____
7. Name _____
Address _____
City/Zip _____
8. Name _____
Address _____
City/Zip _____

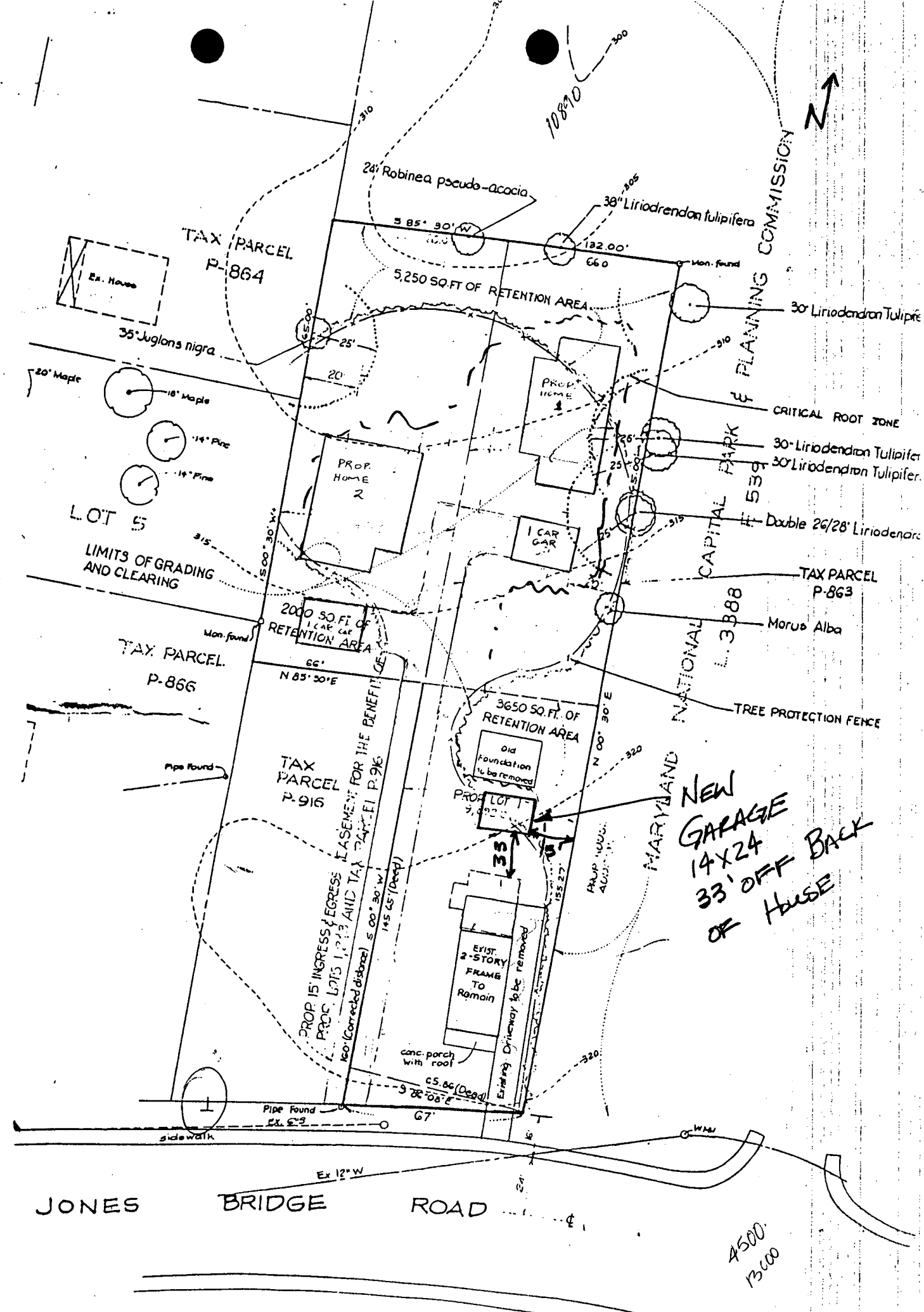
1757E



JONES BRIDGE ROAD

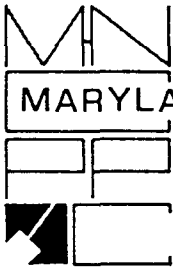
NEW GARAGE
14x24
33' OFF BACK
OF HOUSE

4500
13000



4500.
13000

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



MEMORANDUM

TO: Robert Hubbard, Acting Chief
Division of Development Services and Regulation
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: October 28, 1993

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

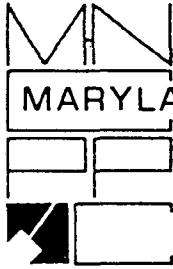
Approved with Conditions: _____

Do not issue a permit.

The Building Permit for this project should be issued conditional upon adherence to ^{the} ~~the~~ approved Historic Area Work Permit.

Applicant: Greenbriar Homes, Inc.

Property Address: 4113 Jones Bridge Road
Bethesda, Md.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief
Division of Development Services and Regulation
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: October 28, 1993

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

Approved with Conditions: _____

The Building Permit for this project should be issued conditional upon adherence to ^{an} the approved Historic Area Work Permit.

Applicant: Greenbriar Homes, Inc.

Property Address: 4113 Jones Bridge Road
Bethesda, Md.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER GREENBRIAR HOMES, INC TELEPHONE NO. (202) 833-8845
(Contract/Purchaser) (Include Area Code)

ADDRESS 1000 16th LOWER LEVEL WASHINGTON, DC 20036
CITY STATE ZIP

CONTRACTOR GREENBRIAR HOMES/CHE CONST TELEPHONE NO. (202) 833-8845

PLANS PREPARED BY KEITH HUNTER CONTRACTOR REGISTRATION NUMBER 37071 TELEPHONE NO. 202 543-1732
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 4113 Street JONES BRIDGE ROAD

Town/City BETHESDA Election District MONTGOMERY COUNTY

Nearest Cross Street CONNECTICUT AVE

Lot 8 Block _____ Subdivision HAWKINS

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="radio"/> Construct	<input type="radio"/> Extend/Add	<input type="radio"/> Alter/Renovate	<input type="radio"/> Repair	Circle One: A/C	Slab	Room Addition		
<input type="radio"/> Wreck/Raze	<input type="radio"/> Move	<input type="radio"/> Install	<input type="radio"/> Revocable	<input type="radio"/> Porch	<input type="radio"/> Deck	<input type="radio"/> Fireplace		
			<input type="radio"/> Revision	<input type="radio"/> Shed			<input type="radio"/> Solar	<input type="radio"/> Woodburning Stove
				<input type="radio"/> Fence/Wall (complete Section 4)			<input type="radio"/> Other	<u>SFD</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 140,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY DEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 10/27/93

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED X Signature Albert B. Randall Date October 27, 1993

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

11. 17. 93

09 18 AM

*DeVRY/Irving, TX

P01

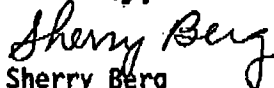
Called 11/17/93 2:15pm

Attention: GWEN MARCUS
FAX (301) 495-1307
The Historical Preservation Society

Please consider very carefully the impact that the proposed construction by Greenbrier Homes, Incorporated of 1304 square feet, not even including the footage of the extensive porch, would do to the existing structures on Hawkins Lane.

I can personally vouch that at least two of the four salt box houses rest on a 20' X 20' (40 total square footage) base and the palatial house that is proposed is not complementary to the "good faith" aspect of the conservation commitment.

Sincerely,



Sherry Berg

FAX (214) 929-6778

phone (214) 929-6777, ext. 682

NEIGHBORHOOD DESIGN & ZONING
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSIONRECEIVED
SEP 22 1993
RECEIVED

SILVER SPRING, MD

8823 Hawkins Lane
Chevy Chase, Md. 20815
September 22, 1993Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md.

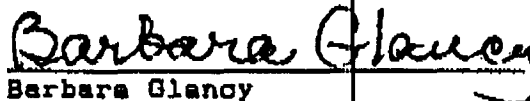
Dear Commissioners:

I regret that I am unable to attend this evening's meeting because of a prior commitment, and I am submitting this statement for your consideration. Furthermore, I want to personally thank the staff for the excellent work they did in their report.

The staff compared the square footage of the ground floor (2784) of the house proposed for Lot #3 in back of 4113 Jones Bridge Road with others in the Hawkins Lane Historic District and concluded correctly that the house would be massive. When I looked at the houses proposed in July for the lots on the east side of the lane, I quantified the footprint as the percentage of the lot which the ground floor square footage utilized. These ranged from seven to fourteen percent; the proposed house would utilize 25 percent of its lot, which is one of the largest in the district. (I have included these new numbers in the attached spreadsheet.) This size house seems disproportionately large for the district, and I hope you will ask the new developer to scale the house size down.

After the July meeting, representatives of Hawkins Lane offered to meet with Mr. Fleming, the previous developer, and I hope that we can work harmoniously with Greenbriar Homes, Inc. in the future.

Respectfully yours,


Barbara Glancy

Development of Hawkins Lane Historic Neighborhood -- East Side
 Relevant Statistics (by Barbara Glancy)

BUILDING (PARCEL)	BLDG. HGHT.	NO. OF FLRS.*	FLR. 1 SQ. FT.	LOT SIZE	**FOOT PRINT	LOT WIDTH	BLDG. WIDTH
8807(P866)	25	2	1100	9969	0.11	60	25
8813(P865)				9902		76	
8815(P864)	20	1	950	13235	0.07	113	28
8817(P811)				8548		75	
8823(N810)	25	1.5	450	4575	0.09	44	20
8825(N809)	25	1	450	4753	0.09	44	20
8827(N808)	25	1	450	4670	0.09	44	20
8829(N757)	25	1.5	650**	4734	0.14	44	30
			675	East	0.11	AVG. 24	24

*Number of floors at/above entry level.
 **Percentage of lot house comprises.

NOTE: Most of the figures come from Hawkins Lane Guidelines, except where there were errors, or the proposed plan.

West Side -- Relevant Statistics

BUILDING (PARCEL)	BLDG. HGHT.	NO. OF FLRS.*	FLR. 1 SQ. FT.	LOT SIZE	PCT.* LOT SI	LOT WIDTH	BLDG. WIDTH
8806(P892)	25	2	700	4636	0.15	73	25
→ 8810(P891)	20	1	1385	5607	0.25	80	48
8812(P890)	20	1	1050	5739	0.18	75	24
8816(P838)	24	1	865	6398	0.14	75	37
8818(P837)	20	1	900	7175	0.13	110	28
8822(P784)	20	1	900	7134	0.13	80	28

Tot. 0.13 avg.

% of lot pro- posed hm. uses 0.25

8821 Hawkins Lane
Chevy Chase, Md. 20815
October 12, 1993

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md.

Dear Commissioners:

I will be unable to attend this evening's meeting because of a long-term prior commitment, so I am submitting this statement with signatures of some residents and landowners opposing the size of the proposed house for Lot 3 in back of 4113 Jones Bridge Road.

The signers of this letter oppose the plan for this proposed house because 1) its front width of 54' is 15' wider than 12 houses in the district, and 2) its ground floor is almost twice the size of the remodeled 4113 (833 sq. ft.) and 3) it would overwhelm the other houses in the Hawkins Lane Historic District. Concerning house width, the two widest District houses are 37' and 48' wide; both are small one story houses. There is no comparison between even the size of these houses and the proposed house. As for the size of the groundfloor, if the Commission would not allow 4113 to be made any larger than 833 sq. ft., why should the ground floor of 4113 #3 be almost twice that size? 4113 is 17' wide and, viewed from Jones Bridge Road, 4113 #3 will be 29' wide. Has anyone consulted the views of the woman for whom 4113 is being remodeled?

The Commissioners asked Greenbriar Homes, Inc. to scale down the house size and get the approval of Hawkins Lane Historic District residents. Since Greenbriar has not scaled down the house size (except to lower the side roofs slightly) or conferred with the residents of the district, the following residents/landowners urge you to reject this proposal until they do so. We would be glad to work with Greenbriar to reach consensus on this new house in our neighborhood.

**(Greenbriar)*

Respectfully yours,

Barbara Glancy

Barbara Glancy, Sec., HL Neighborhood Assoc.

Cheryl Fowler - 8810 Hawkins Lane

Cheryl Fowler, Treas., HL Neighborhood Assoc.

*Laura R Bloom
4035 Jones Bridge Rd.*

*Ellen Hankins 8818 Hawkins Lane
Vice President*

8823 Hawkins Lane
Chevy Chase, Md. 20815
October 8, 1993

Historic Preservation Commission
11787 Georgia Avenue
Silver Spring, Md.

Dear Commissioners:

I will be unable to attend this evening's meeting because of a long-term prior commitment, so I am submitting this statement with signatures of residents and absentee landowners opposing the proposal for Lot 3 in back of 4113 Jones Bridge Road.

The square footage of the ground floor of the house proposed for Lot #3 is incorrectly labeled by Greenbriar Homes, Inc. as being 1359 square feet. Minus the 200 square feet of the two covered porches, the ground floor is 1506 square feet.

More importantly, the signers of this letter oppose the plan for this proposed house because 1) it would overwhelm the other houses in the Hawkins Lane Historic District, 2) its front width of 54' is 16' wider than 12 houses in the district, and 3) its ground floor is almost twice the size of the remodeled 4113 (833 sq. ft.) Concerning house width, the two widest District houses are 37' and 48' wide; both are small houses only one story high. There is no comparison between even the size of these houses and the proposed house. As for the size of the groundfloor, if the Commission would not allow 4113 to be made any larger than 833 sq. ft., why should the ground floor of 4113 #3 be twice that size (1506 + 200)? 4113 is 17' wide and, viewed from Jones Bridge Road, 4113 #3 will be 30' wide. Has anyone consulted the views of the woman for whom 4113 is being remodeled?

The Commissioners asked Greenbriar Homes, Inc. to scale down the house size and Greenbriar Homes, Inc. promised to get the approval of 90% of the residents. Since Greenbriar has not scaled down the house size or conferred with the residents of the district, the following residents/landowners urge you to reject this proposal until they do so.

Respectfully yours,

Barbara Glancy

Barbara Glancy, Sec., BL Neighborhood Assoc.

*Spat B. Clark for
Jonathan B. Clark*

8823 Hawkins Lane
Chevy Chase, Md. 20815
October 8, 1993

Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Md.

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Respectfully yours,

Barbara Glancy

Barbara Glancy, Sec., HL Neighborhood Assoc.

8823 Hawkins Lane
Chevy Chase, MD
10/12/93

I also oppose the proposed house for Lot #3 for the three reasons cited above by Barbara Glancy.

Sherry Berg
property owner

THE AD HOC COMMITTEE TO SAVE
HAWKINS LANE

CHERYL JOHNSON
PRESIDENT
654-0037

Ms. Nancy Witherell
Historic Preservation Coordinator
Urban Design Division
8787 Georgia Avenue
Silver Spring, MD. 20910-3760

Dear Ms. Witherell:

RE: Case Number: 35 / 54-93B
Lot # 3 at rear of 4113
Jones Bridge Road


At the July 28, 1993 consultation meeting on this new development, Hawkins Lane residents submitted that because the proposed new development would not sit directly on Hawkins Lane, "slightly larger" houses were consistent with preservation of the district's rural character.

Today, the majority of the residents agree that the current proposal of a development totaling 2,784 square feet is inconsistent with the massing and scale of houses in the district. We therefore agree strongly with the recommendation in the staff report that the applicant should significantly scale down the footprint and mass of the current proposal. The overall design of the structure is acceptable, however.

An additional concern of the Hawkins Lane residents is the current use of Hawkins Lane to gain access to the new developments on Jones Bridge. At present, construction trucks turn onto the lane and cut through the vacant lot to gain access to the rear of 4113 Jones Bridge Road. While it is our understanding that the vehicles have consent to access the vacant lot, we are concerned about the damage to Hawkins Lane.

Should the applicant eventually receive approval, residents would like some assurance that access would be limited to Jones Bridge only or there is some obligation to repair any damage to the Lane.

Sincerely,



Cheryl L. Johnson
President

FAX COVER SHEET

Fax: (202) 225-6700

FAX TO NANCY WITHERELL

FROM CHERYL Johnson

TOTAL PAGES 2 (Including this cover sheet)

Please contact sender _____ at (202-225-6295)
if all pages are not received.

MESSAGE I am unable to attend
tonight.

NEIGHBORHOOD DESIGN & ZONING
THE MARYLAND NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

RECEIVED
SEP 22 1993
RECEIVED

SILVER SPRING, MD

**THE AD HOC COMMITTEE TO SAVE
HAWKINS LANE**

CHERYL JOHNSON
PRESIDENT
654-0037

Ms. Nancy Witherell
Historic Preservation Coordinator
Urban Design Division
8787 Georgia Avenue
Silver Spring, MD. 20910-3760

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Sincerely,

Cheryl L. Johnson
Cheryl L. Johnson
President

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lot #3 at rear of 4113 Jones Bridge Road	Meeting Date: 9/22/93
Resource: Hawkins Lane Historic District	HAWP/New Construction
Case Number: 35/54-93B	Tax Credit: No
Public Notice: 09/08/93	Report Date: 09/15/93
New Applicant: Greenbrier Homes, Inc.	Staff: Patricia Parker
PROPOSAL: New Construction	RECOMMEND: Defer or Deny

BACKGROUND ON HISTORIC DISTRICT

The Hawkins Lane Historic District is a unique and important historical resource in Montgomery County. It is a quiet, small-in-scale district, located in a heavily-developed area with a substantial number of large, expensive homes. The district has a rural atmosphere - its road is unpaved and its residences are modest in size. The historic district property owners are concerned with preserving the rural character of their community. It is important that any new construction be compatible with the existing.

Any discussion of preservation in this area must include mention that Hawkins Lane, formerly an all-Black enclave completely surrounded by all-white Chevy Chase, is an intact and cohesive neighborhood. It was founded as a "kinship community" by former slave James H. Hawkins on three acres of land. Hawkins Lane is now home to a diverse group of homeowners.

Development guidelines have been established to preserve this sense of neighborhood. The Lane remains unpaved. Simple houses of similar scale and massing front toward the Lane with no barriers between the houses. The rural character of the Lane is further maintained by the presence of magnificent trees: poplars, oaks and maples that dominate the landscape.

The district is bounded on the west by the heavily-wooded sites of the Uniformed Services University of the Health Sciences and the Bethesda Naval Medical Center, on the north and east by Maryland-National Capital Park and Planning Commission (M-NCPPC) parkland, and on the south by Jones Bridge Road.

BACKGROUND ON HAWP CASE

This case has a long history of review by the HPC. To briefly summarize:

At the March 24, 1993 meeting of the HPC, the Commission reviewed the plans for subdividing this property into three lots. The existing historic house, located on the front lot adjacent to Jones Bridge Road (4113 Jones Bridge Road) would remain. The HPC recommended that the two new rear lots share a new driveway access to Jones Bridge Road with the historic house along the western property line. The Commission also felt that two straight line lots to the rear of Jones Bridge Road would preserve more open space. The driveway should terminate at the front of the lots rather than extend to the rear.

The Planning Board's approval of the subdivision was based partially on the knowledge that the HPC would have design review of the houses to be built. One of the HPC's comments during its review was reiterated at the Planning Board meeting:

The property line between the rear two lots should be straightened to create approximately two equal lots, with a shared driveway on the property line. **The driveway should terminate at the front of the lots rather than extend to the rear.**

The HPC conducted a Preliminary Consultation for Lots #2 and #3 off Hawkins Lane at its July 28, 1993 meeting. At this meeting, the Commission discussed the important issues of scale and massing in the Hawkins Lane Historic District. The consensus was that attention must be placed on these key issues. The Commission recognized that the lots are approximately 11,000 square feet, and therefore would agree that **slightly larger** than typical houses may be appropriate. The Commission reviewed the submissions conceptually with very little discussion of detail, except to emphasize that massing and scale are of utmost importance in the decision on any HAWP in this area.

Since the consultation, ownership interest in the property has changed and this proposal is now made by a new applicant, Greenbrier Homes. The applicant proposes the construction of one new house on unimproved Lot #3 at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District. This area of the district, including Lot #3, is behind not only 4113 Jones Bridge Road, but also lots that face the east side of Hawkins Lane itself.

After receiving the original HAWP submission on this case, staff met with the new applicant and suggested that the applicant come in for a Preliminary Consultation, rather than a HAWP. Staff explained that the submission did not address many of the concerns which had been discussed at the original July 28th consultation. The applicant has chosen to come in for a HAWP, but

has revised his original submission to include a revised, smaller building footprint for the house on Lot #3, a site plan showing a rudimentary tree survey and driveway plan, as well as the footprint of houses for both lots with separate garages delineated.

This HAWP proposal focuses on Lot #3 only. The most current version of the proposal indicates that the new house on Lot #3 would be more than 2,700 square feet and 25 feet high. No designs for the detached garages were included in the HAWP submission and this would need to be reviewed under a separate HAWP before a garage could be constructed.

STAFF DISCUSSION

As discussed at the July 28th consultation, staff feels that greater design freedom may be utilized in building on the lots which are off Jones Bridge Road, in the rear of the existing 2-story frame structure. However, staff also feels that the applicant - in this particular HAWP case - has not sufficiently downsized his proposal to reflect consideration of the Commission's earlier comments and concerns regarding scale and massing in the Hawkins Lane Historic District.

Hawkins Lane was designated in 1991 as a historic district and placed on the Master Plan for Historic Preservation. As such, guidelines were established, some of which are as follows:

- o Every effort should be made to preserve existing open spaces since they contribute to the rural quality of the district.
- o New construction should be designed and sited so as to maximize the amount of open space retained.
- o New construction should be compatible in scale, massing and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.
- o New construction should take into account the vernacular character of existing structures and the wide variety of materials used.
- o New garages should be detached in keeping with the prevailing style in the district.
- o New construction should maintain the approximate setback and siting patterns established by existing buildings in the district, particularly those which are adjacent to or in close proximity to the new construction.
- o Landscaping around new construction or existing buildings should be informal, in keeping with existing landscaping.
- o Property owners should be encouraged to use shrubs and trees to mark boundary lines, where such marking is desired.

- o New driveways, parking areas, and walkways on Hawkins Lane and Jones Bridge Road should be compatible, in width, appearance and surface covering, with existing driveways, parking areas, and walkways.

The current HAWP proposal is consistent with these guidelines in some ways. For example, the driveway terminates at the detached single car garage located on Lot #3. In addition, the proposed building materials - wood siding, wood windows, asphalt roofing - are appropriate for the district. Staff also agrees with the orientation and siting of the new house with greater frontage on the park side and a narrower profile on the Jones Bridge Road side.

However, the massing and scale of the proposed house are still inappropriate for the district. With a square footage of 2,784 on the two main living floors and a height of 25 feet, this house would be the largest in the district by far and would be out-of-scale with the other houses.

As a basis for comparison, the largest existing house in the district is 4117 Jones Bridge Road which has approximately 2,000 square feet on its two main living floors. The house at 4113 Jones Bridge Road, with its recently approved rear addition, will be approximately 49' by 17', or about 1,660 square feet on its two main floors. Most of houses in the district range from 900 square feet in size to 1,700.

Incompatibly-scaled new construction in the district would destroy its visual character. It is extremely important, therefore, that scale be considered in planning for new construction and additions in this district so that new buildings are compatible with existing neighboring structures and the district as a whole.

STAFF RECOMMENDATION

In summary, staff feels that this proposal would only be acceptable with some significant revisions. Staff recommends that the HPC ask the applicant to revise his plans and return with a scheme which is scaled down in both footprint and mass. If the applicant is not able to do this, then staff would recommend denial of the HAWP.

As a suggestion, one way of decreasing the mass - in addition to decreasing the footprint - might be to alter the roof form so that it is less steep and imposing. The house would then read as a true one and one-half story structure.

If a revised scheme is presented, it should include additional information about the architectural details - for example, what material are the front columns constructed of? Also, more information on grading and tree removal would be helpful. Tree disturbance should be kept to a minimum and driveway surfacing

should be gravel. Landscaping should also be simple and be used to indicate lot lines, obliterating the need for fencing.

The staff recommends that the Commission find the proposal inconsistent with the purposes of Chapter 24A-8(b)2:

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #2 and #9:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

and with the Hawkins Lane Historic District Development Guidelines:

New construction should be compatible in scale, massing and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.

New construction should take into account the vernacular character of existing structures and the wide variety of materials used.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER GREENBRIAR HOMES, INC. TELEPHONE NO. (202) 833-8845
(Contract/Purchaser) (Include Area Code)

ADDRESS 1800 16th ST, NW LOWER LEVEL WASHINGTON, DC 20036
STATE

CONTRACTOR GREENBRIAR HOMES/CHE CONST TELEPHONE NO. (202) 833-8845
CONTRACTOR REGISTRATION NUMBER 51011

PLANS PREPARED BY KEITH HUNTER TELEPHONE NO. 202 543-6738
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 4113 Street JONES BRIDGE ROAD

Town/City BETHESDA Election District MONTGOMERY COUNTY

Nearest Cross Street CONNECTICUT AVE

Lot 8 Block _____ Subdivision HAWKINS

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="radio"/> Construct	<input type="radio"/> Extend/Add	<input type="radio"/> Alter/Renovate	<input type="radio"/> Repair	<input type="radio"/> Circle One: A/C	<input type="radio"/> Slab	<input type="radio"/> Room Addition
<input type="radio"/> Wreck/Raze	<input type="radio"/> Move	<input type="radio"/> Install	<input type="radio"/> Revocable	<input type="radio"/> Porch	<input type="radio"/> Deck	<input type="radio"/> Fireplace
				<input type="radio"/> Shed	<input type="radio"/> Solar	<input type="radio"/> Woodburning Stove
				<input type="radio"/> Fence/Wall (complete Section 4)	<input type="radio"/> Other	<u>SFD</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 140,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

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4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Handwritten Signature]

[Handwritten Signature]

(1)

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

NO STRUCTURES PRESENTLY EXIST ON
LOTS

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROVIDE NEW HOME IN KEEPING WITH
EXISTING STRUCTURES IN DISTRICT

2

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- b. the relationship of this design to the existing resource(s):

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name RONALD S & A.C.G. HSU
 Address 6817 MILLWOOD RD
 City/Zip BETHESDA, MD 20817

2. Name JOSEPH J & K.M. O'CONNOR
 Address 8807 HAWKINS LA
 City/Zip BETHESDA, MD 20815

3. Name HELEN T. FAIRFAX
Address 34 DEERFIELD BVD
City/Zip HAMPTON, VA 23060

4. Name M.N.C.P. & P.C.
Address 8787 GEORGIA AVE
City/Zip SILVER SPRING, MD 20910

5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

5

HAWKINS SUBDIVISION
4113 Jones Bridge Road (Tax Parcel P-863)
Preliminary Plan of Subdivision

LIST OF ADJACENT & CONFRONTING OWNERS

Hawkins at Milwood
Lot 5 of Parcel ~~864~~ P-864

Millwood at Milwood
Ronald S. & A.C.G. HSU et al
6817 Milwood Rd.
Bethesda, MD., 20817

Parcel P.866

Joseph J. & K.M. O'CONNOR
8807 Hawkins La.
Chevy Chase, MD., 20815

Parcel P.916

-1115 Jones Bridge Rd.
Helen T. FAIRFAX
34 Deerfield Blvd.
Hampton, Va., 23666

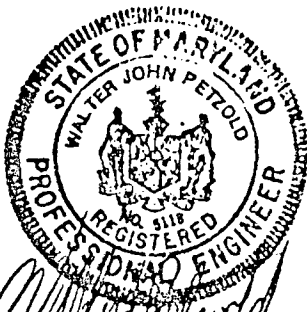
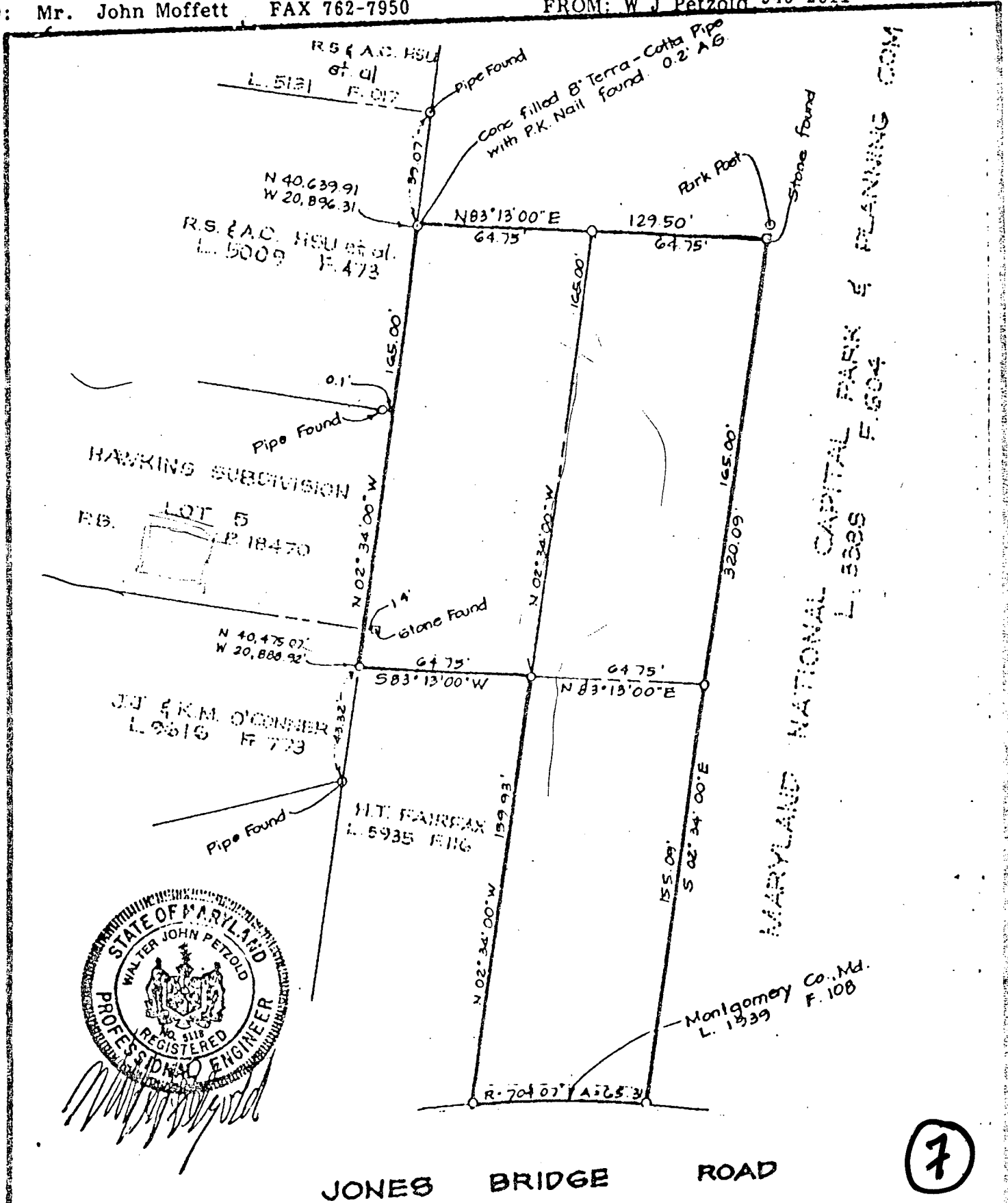
(904) 766-0978

Parcel P.539

M.N.C.P.&P.C.
8787 Georgia Ave.
Silver Spring, MD., 20910

TO: Mr. John Moffett FAX 762-7950

FROM: W. J. Petzold 949-2011

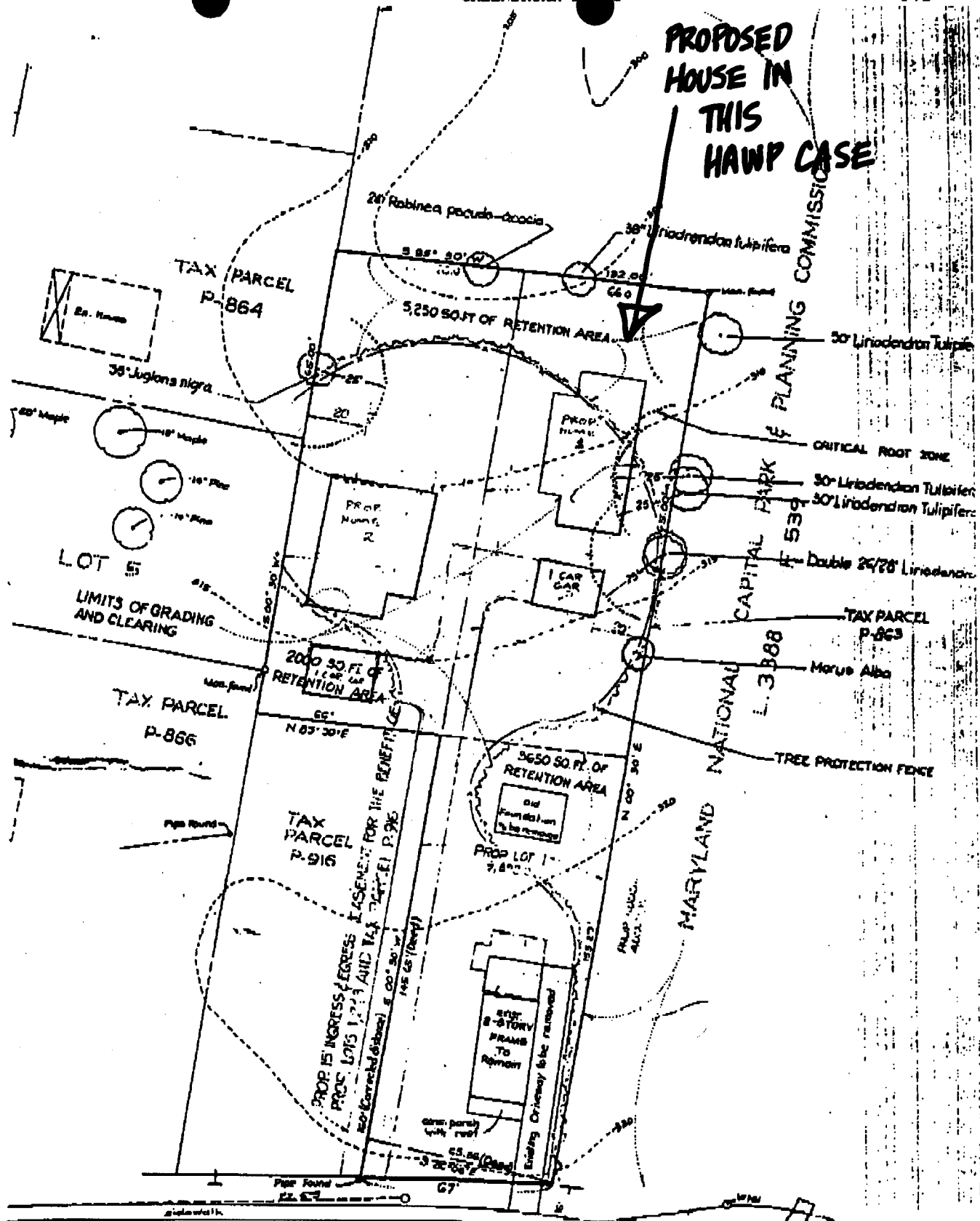


JONES BRIDGE ROAD

7

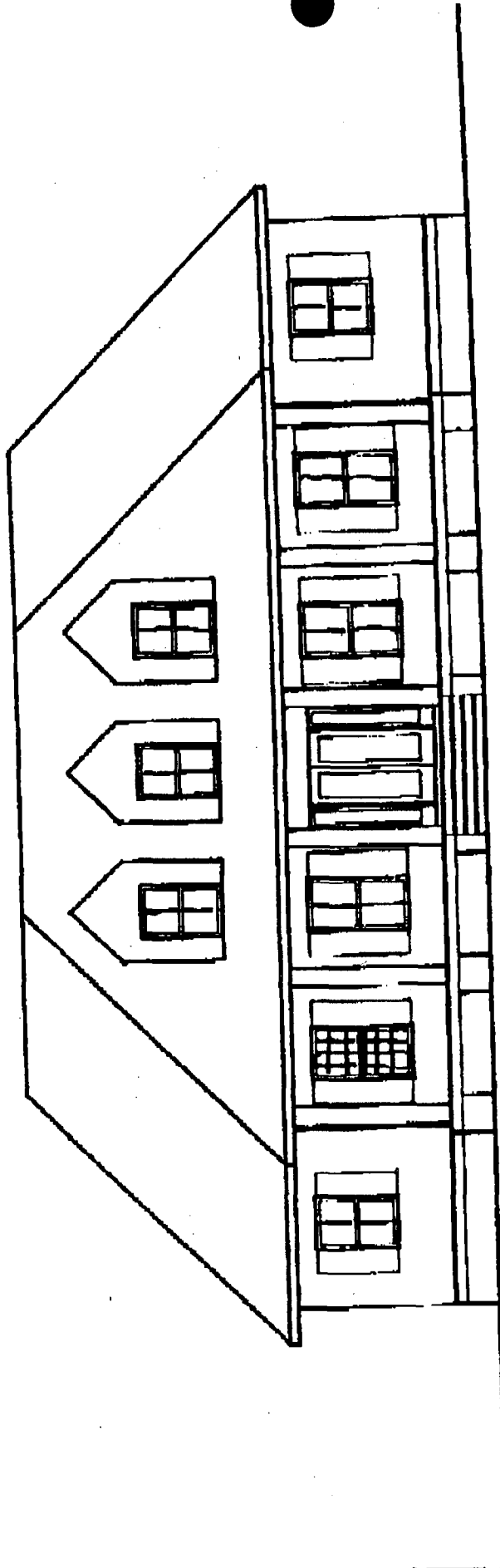
OYSTER, IMUS & PETZOLD INC.	PLAT OF SURVEY	COMPUTED	DATE
	John C. & Katherine Pan	CHECKED	Aug. '93
		SHEET NO.	JOB NO.

PROPOSED HOUSE IN THIS HAWP CASE



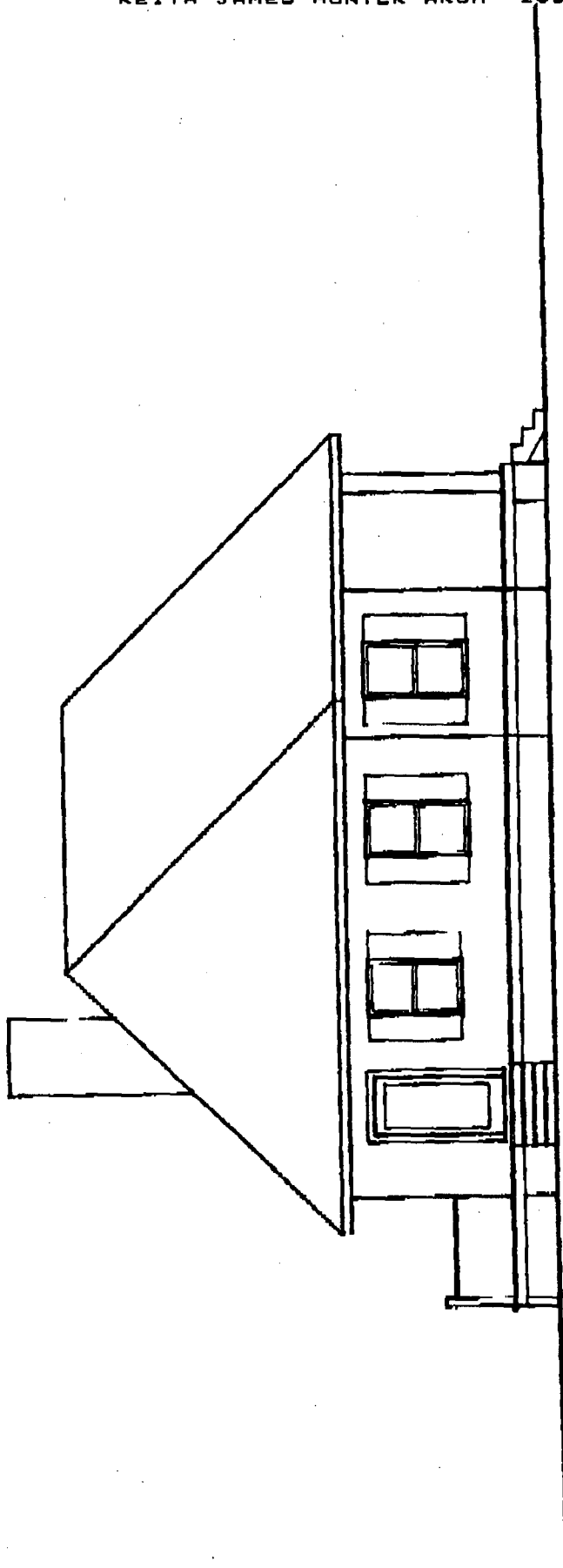
JONES BRIDGE ROAD

8



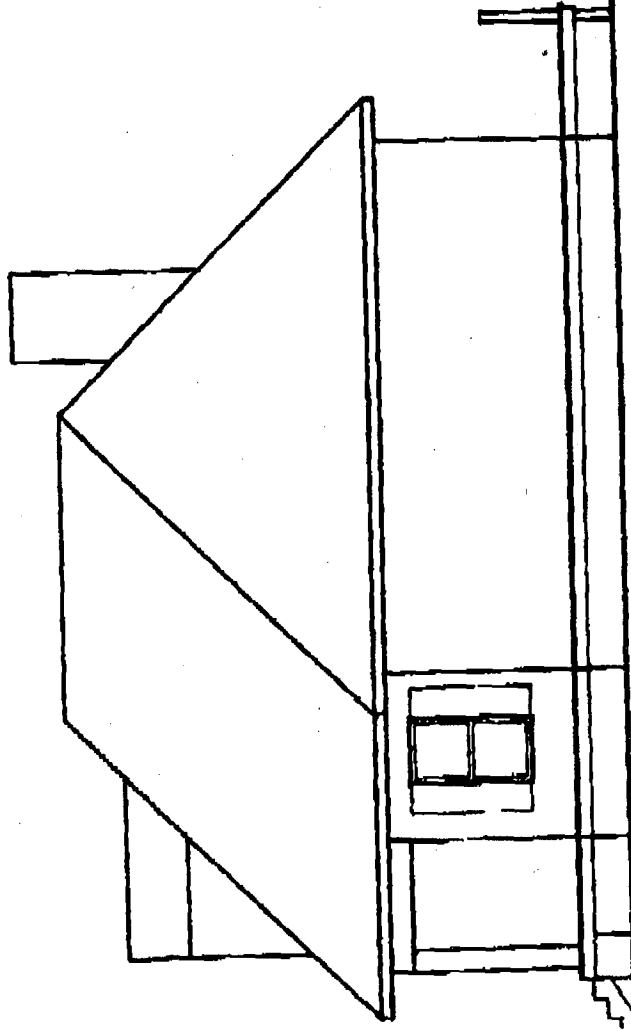
KEITH JAMES HUNTER ARCH 202 543 6738

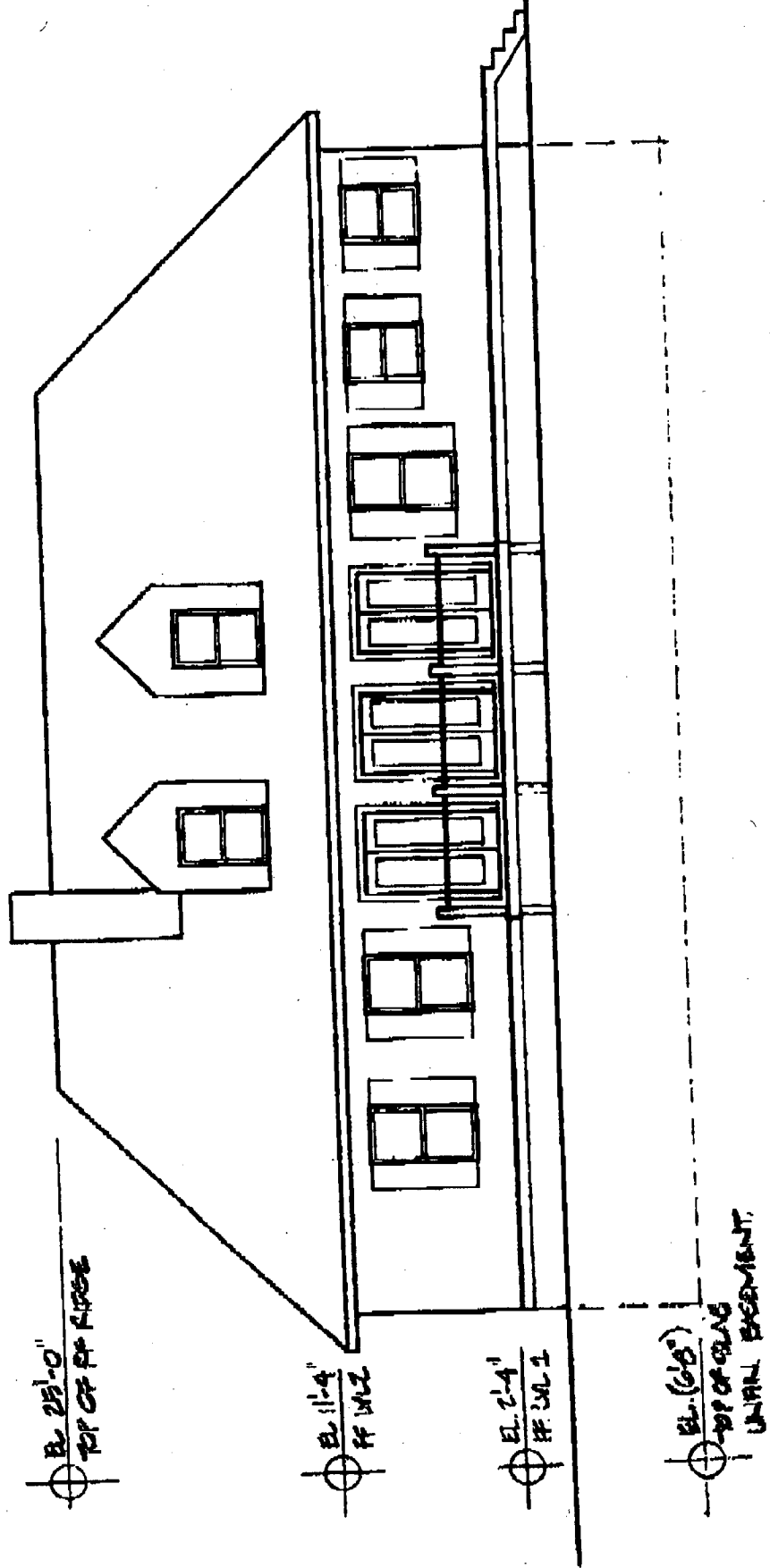
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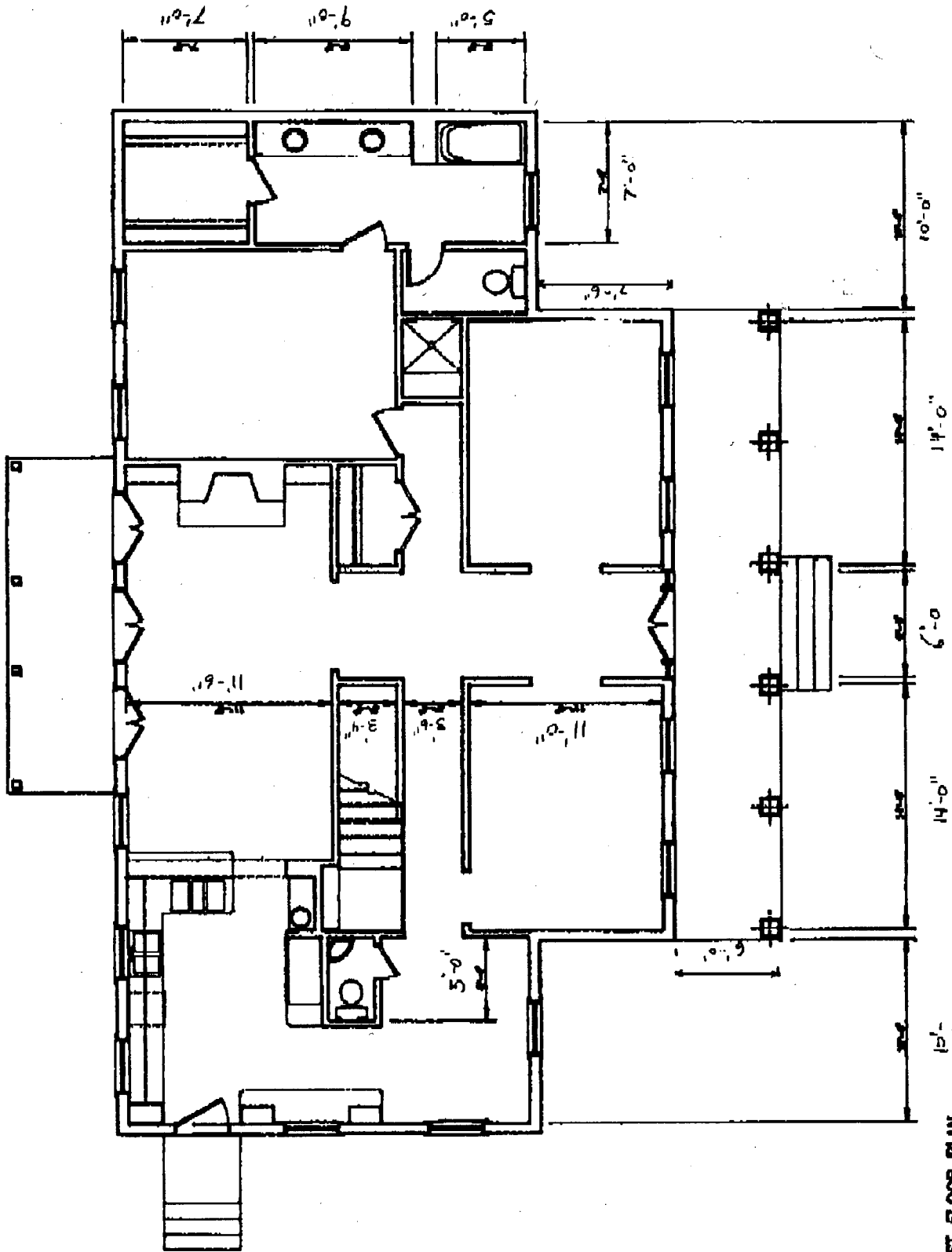


KEITH JAMES HUNTER ARCH 202 543 6739

P. 06

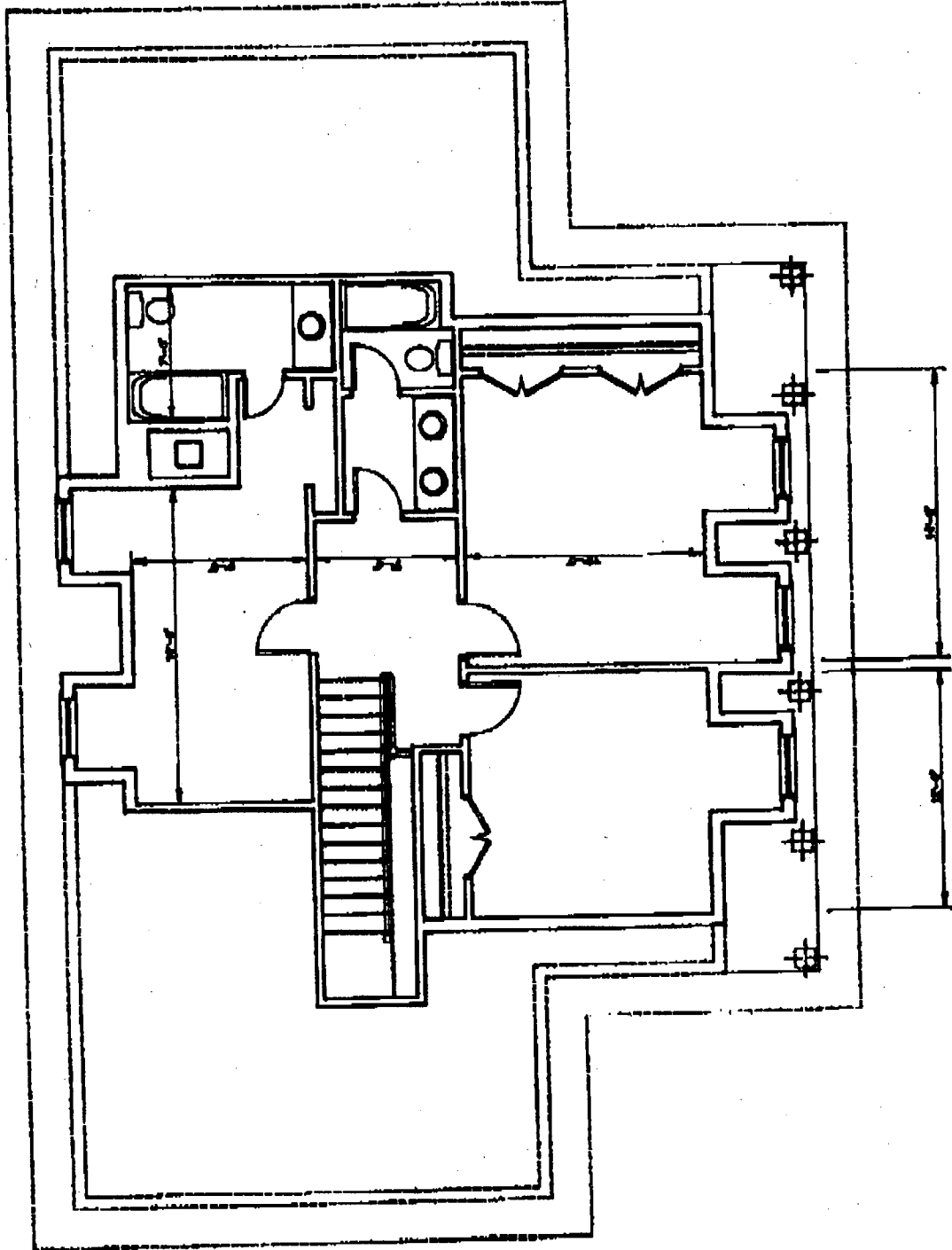






FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

13



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

14

Greenbriar Homes, Inc

1000 16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
(202) 833-8846 Fax

September 16, 1993

Pat Parker
Maryland-National Capital Park and Planning Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Dear Pat:

Reference is made to our permit set of drawings dated August 27, 1993 for the construction of a new residence within the Hawkins Historic District. The following is a list of clarifications to be made to the drawings:

1. Siding material is to be lap cedar on all surfaces except the porch pilaster and the above grade foundations which are to be brick.
2. The windows are to be wood.
3. The roofing material is to be asphalt shingles.
4. The approximate square footage is: 1st floor 1656 sf., 2nd floor 1128 sf.

It is our intention to submit this permit for final approval at the upcoming meeting. If you have any additional questions please feel free to call me at the above number.

Sincerely,

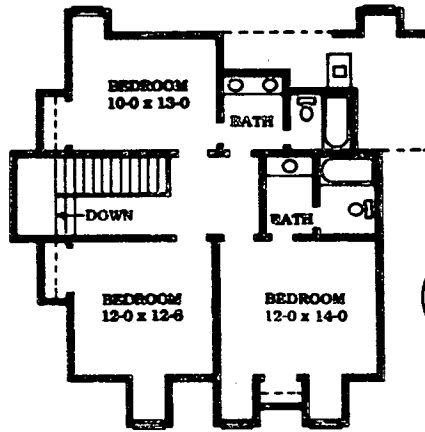


Richard R. Drummond

Photo by Mark England/HomeStyles

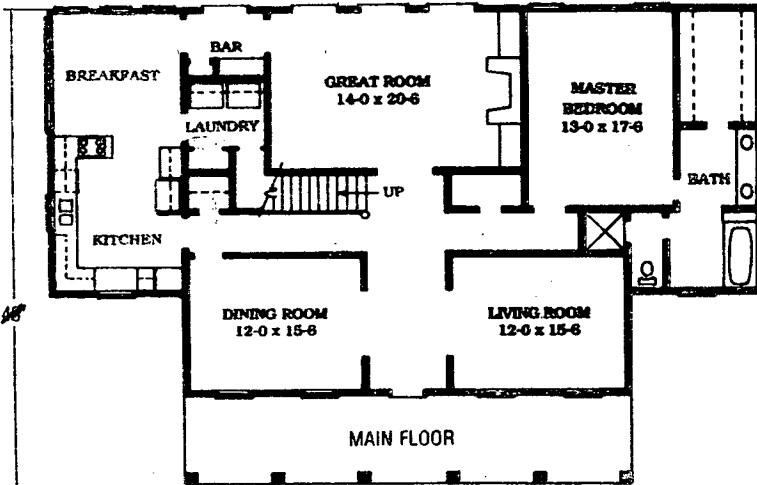


Greenbriar Homes, Inc.



UPPER FLOOR

****NOTE:**
The above photographed home may have been modified by the homeowner. Please refer to floor plan and/or drawn elevation shown for actual blueprint details.



MAIN FLOOR

Colonial Classic

- Classic Colonial proportions, details, and trim recall the best of Deep South architecture.
- A full-width front porch conjures up images of long summer evenings shared with family and friends.
- The symmetrical main floor includes a dramatic entrance hall with views into the living, dining and Great rooms.
- The kitchen overlooks a sunny breakfast room with corner window walls.
- The main-floor master suite features a spacious dressing area, a walk-in closet and a private bath.
- There are three bedrooms and two bathrooms upstairs.
- The main floor boasts 10-ft. ceilings, while standard 8-ft. ceilings are found upstairs.

Plan V-2848

Bedrooms: 4 **Baths: 3**

Living Area:

Upper floor	824 sq. ft.	1100 sq. ft.
Main floor	2,024 sq. ft.	1370 sq. ft.
Total Living Area:	2,848 sq. ft.	2470 sq. ft.

Exterior Wall Framing: 2x6

Foundation Options:

Crawlspace
(Typical foundation & framing conversion diagram available—see order form.)

BLUEPRINT PRICE CODE: 0

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4113 Jones Bridge Road Meeting Date: 7/28/93
Resource: Hawkins Lane Historic District Review: HAWP/Alteration
Case Number: 35/54-93A Tax Credit: No
Public Notice: 7/14/93 Report Date: 7/21/93
Applicant: John Pan and Brendan Magner Staff: Nancy Witherell
PROPOSAL: Addition, new garage RECOMMEND: Approve

At its meeting on April 14, 1993, the Commission reviewed and gave general approval to a preliminary consultation for an addition to this property, a historic resource within the Hawkins Lane Historic District. The applicant returns with a HAWP proposal that is virtually identical to the proposal already reviewed by the Commission.

The proposal is for a 23'-long addition to the historic house. A small section at the rear, some of which is early in date but not original, and some of which is more recent in date, would be removed. The side walls and roof ridge of the new addition would be set in from the original planes to distinguish the new construction. New materials, including siding, 2/2 windows, and roofing, would match the existing.

In addition, repair work on the historic house would include some replacement of materials. A new door would be installed (the existing is not original) and wood flooring would be installed over the recent concrete front porch. All first and second story windows would be retained and repaired; the basement hopper windows, which are in poor condition, would be replaced. The applicant proposes replacement of siding and porch posts.

In previous discussions, the Commission has urged the retention of as much of the historic fabric as possible. At the April meeting, several commissioners discussed the retention of the front porch posts specifically. The staff would urge the same, but would reiterate that the porch posts were severely damaged when they were powerwashed about five years ago. If new posts can be lathed to match the existing posts exactly, the staff would recommend that they be deemed acceptable. (Repair or replacement in kind can be done without a HAWP.)

The siding is also unrepairable, in the staff's opinion, in

certain areas where the surface was also powerwashed. The grain of the wood is severely degraded, with deep gashes in the siding boards. In general, however, the staff urges the applicant to retain as much of the fabric as possible. It is neither historically accurate nor aesthetically desirable to have completely smooth, new cladding for the historic house. The surface of the clapboard in the historic house should be stabilized and maintained, but should look almost one hundred years old.

A third aspect of the project is the construction of a garage at the rear of the lot. The driveway would be moved to the west side of the house and extended to the rear of the lot (and beyond, for the two new lots). A 24' by 14' garage, similar in style and material to the house, is proposed. A 4'-high chain link fence enclosing a dog run would be installed behind the garage.

The proposed driveway material is gravel, but the applicant is interested in learning if asphalt would be acceptable. The staff would prefer gravel but would suggest that either is acceptable from a historic preservation perspective. The existing driveway, to be removed, is asphalt; Hawkins Lane itself is unpaved. The new driveway would serve three houses and would include a gentle slope at the sidewalk.

STAFF RECOMMENDATION

The staff urges the applicant to retain as much of the historic fabric of the house as possible, and prefers gravel but finds either asphalt or gravel to be acceptable for the driveway. The garage is well-designed and -scaled for the historic district. The chain link fence is also acceptable.

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 424462

NAME OF PROPERTY OWNER JOHN C PAN TELEPHONE NO. 301 921 4412
(Contract/Purchaser) BRENDAN MASNER (Include Area Code)

ADDRESS 12112 DREWS COURT POTOMAC MARYLAND 20854
CITY STATE ZIP

CONTRACTOR T.B.S. TELEPHONE NO. _____

PLANS PREPARED BY TOUY VELAZQUEZ CONTRACTOR REGISTRATION NUMBER _____
TELEPHONE NO. 202 337 2773 (Include Area Code)

REGISTRATION NUMBER 7099-R

LOCATION OF BUILDING/PREMISE

House Number 4113 Street JONES BRIDGE ROAD

Town/City CHEVY CHASE MD. Election District 7

Nearest Cross Street WILKINSON AVE

Lot 1 Block _____ Subdivision HAWKINS, 502, BETHEDA OUTSIDE

Libel 6232 Folio 718 Parcel P 863

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | | |
|------------|-------------------|----------------|-----------|---------------------------------|------|---------------|-------------------|
| Construct | <u>Extend/Add</u> | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition | |
| Wreck/Raze | Move | Install | Revocable | Porch | Deck | Fireplace | |
| | | | Revision | Fence/Wall (complete Section 4) | Shed | Solar | Woodburning Stove |
| | | | | Other | | | |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 50-55K
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NA
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____
- 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | | |
|---|------------------------------------|---|
| 01 <input checked="" type="checkbox"/> WSSC | 02 <input type="checkbox"/> Septic | 2B. TYPE OF WATER SUPPLY |
| 03 <input type="checkbox"/> Other _____ | | 01 <input checked="" type="checkbox"/> WSSC |
| | | 02 <input type="checkbox"/> Well |
| | | 03 <input type="checkbox"/> Other _____ |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet 43 inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner BEHIND GARAGE
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]

July 8, 1993

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HOUSE IS IN NEED OF FULL RESTORATION,
SURROUNDED BY PARKLAND AND DESIGNATED
IN THE HAWKINS LANE HISTORIC DISTRICT.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE RESTORATION OF THE EXISTING STRUCTURE
TO INCLUDE AN ADDITION OF SMALL SCALE TO
INCLUDE A KITCHEN, BATH, FIREPLACE, NEW
SYSTEMS. THE ENVIRONMENTAL IMPACT IS
MINIMAL, THE HOME PLANS WERE APPROVED
BY THE H.P.C. PREVIOUSLY MEETING OF THEM.

(B)

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

MATCH EXISTING SIDING, WINDOWS 394 SQUARE
FOOT ADDITION TO FLOOR #1 312' ADDITION TO FLOOR
#2. CREATING MORE GREEN SPACE ON RT. SIDE OF HOME
WITH DRIVEWAY FILL IN.

- b. the relationship of this design to the existing resource(s):

COMPLIMENTS - ADDS SECOND STORY TO EXISTING
ADGA ~~REMOVED~~ CREATING KITCHEN SPACE AND
ONE BEDROOM/BATH WITH MINIMAL IMPACT TO EXISTING
STRUCTURE!

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

PLANS HAVE BEEN APPROVED PRELIMINARILY AT
H.P.C. MEETING

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

(C)

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
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8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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1. Name RONALD S & ACE HSU ETAL PARCEL P864
 Address 6817 MILDWOOD ROAD LOT # 5
 City/Zip BETHESDA MARYLAND 20817
2. Name JOSEPH J & K.M. O'CONNOR PARCEL P866
 Address 3807 HARKINS LANE
 City/Zip CHRY CHASE MD. 20815

3. Name HELEN T. FAIRFAX PARCEL P-916
Address 34 DEERFIELD BLVD.
City/Zip HAMPTON, VA. 23666

4. Name MN CP & PC PARCEL P-539
Address 3787 GEORGIA AVE
City/Zip SILVER SPRING MD. 20910

5. Name _____
Address _____
City/Zip _____

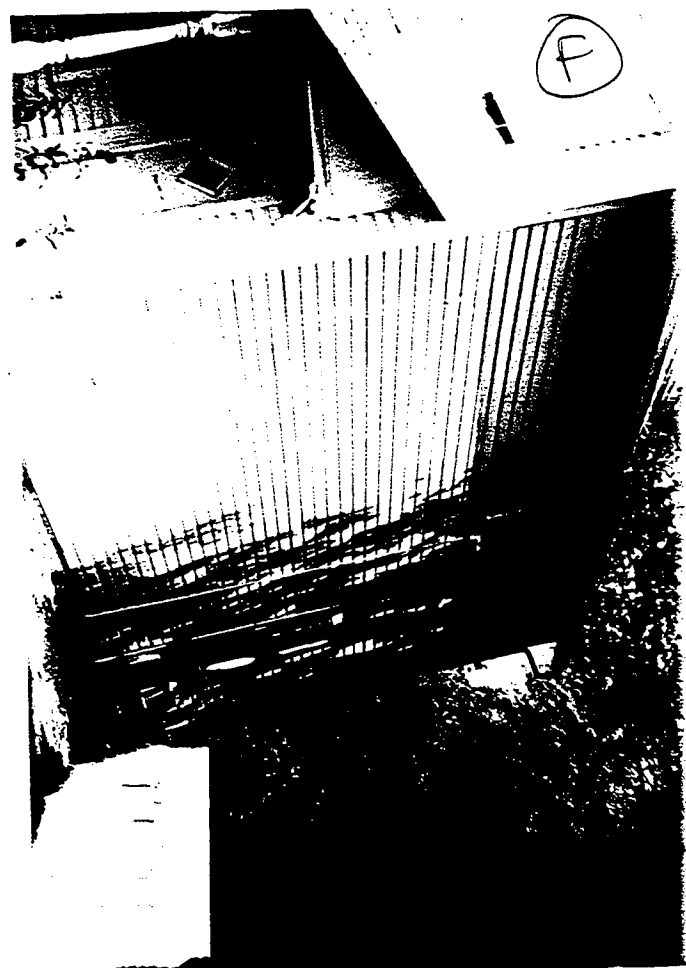
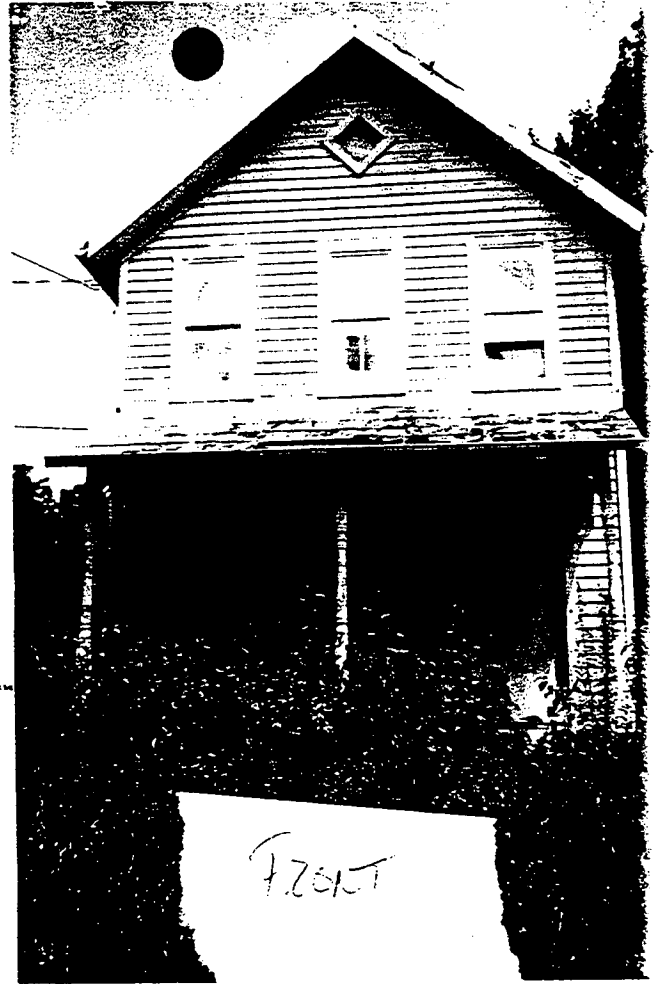
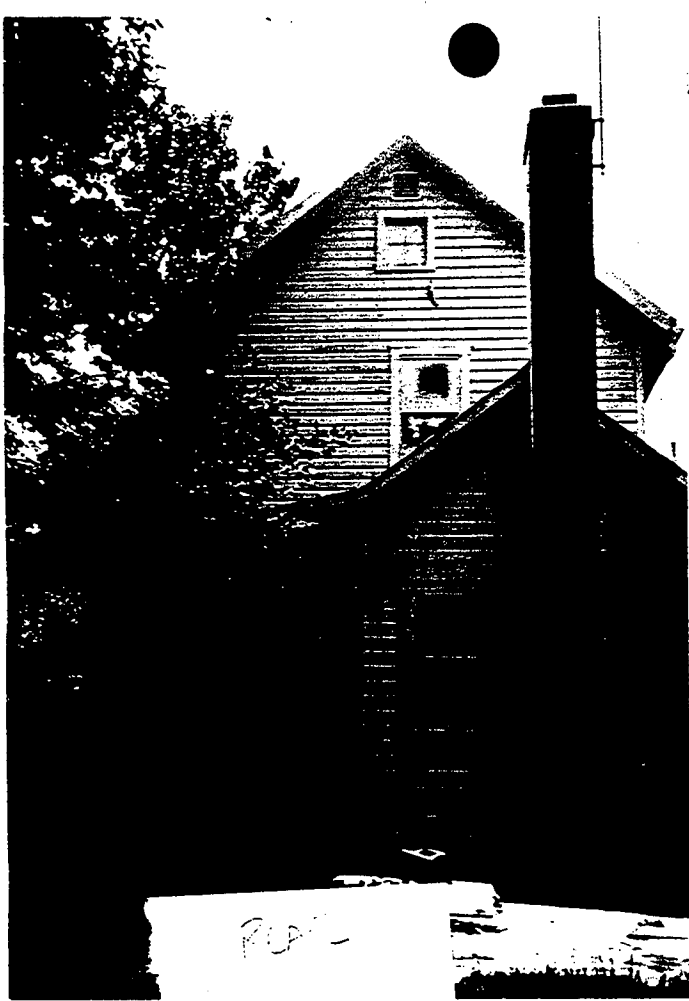
6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

3



JOHN C. & KATHERINE T. PAN
L. 623 F. 718

LOT 5

Monument Found

TAX PARCEL
P-866

TAX PARCEL
P-916

Pipe Found

Crushed Stone Driveway

Conc. Patio

Porch

EX. 2-STORY
FRAMES

conc. porch
with roof

Remove Existing Driveway

Pipe Found

Montgomery County
Std. 28F
Conc. Driveway Apron

Conc. Curb & Gutter

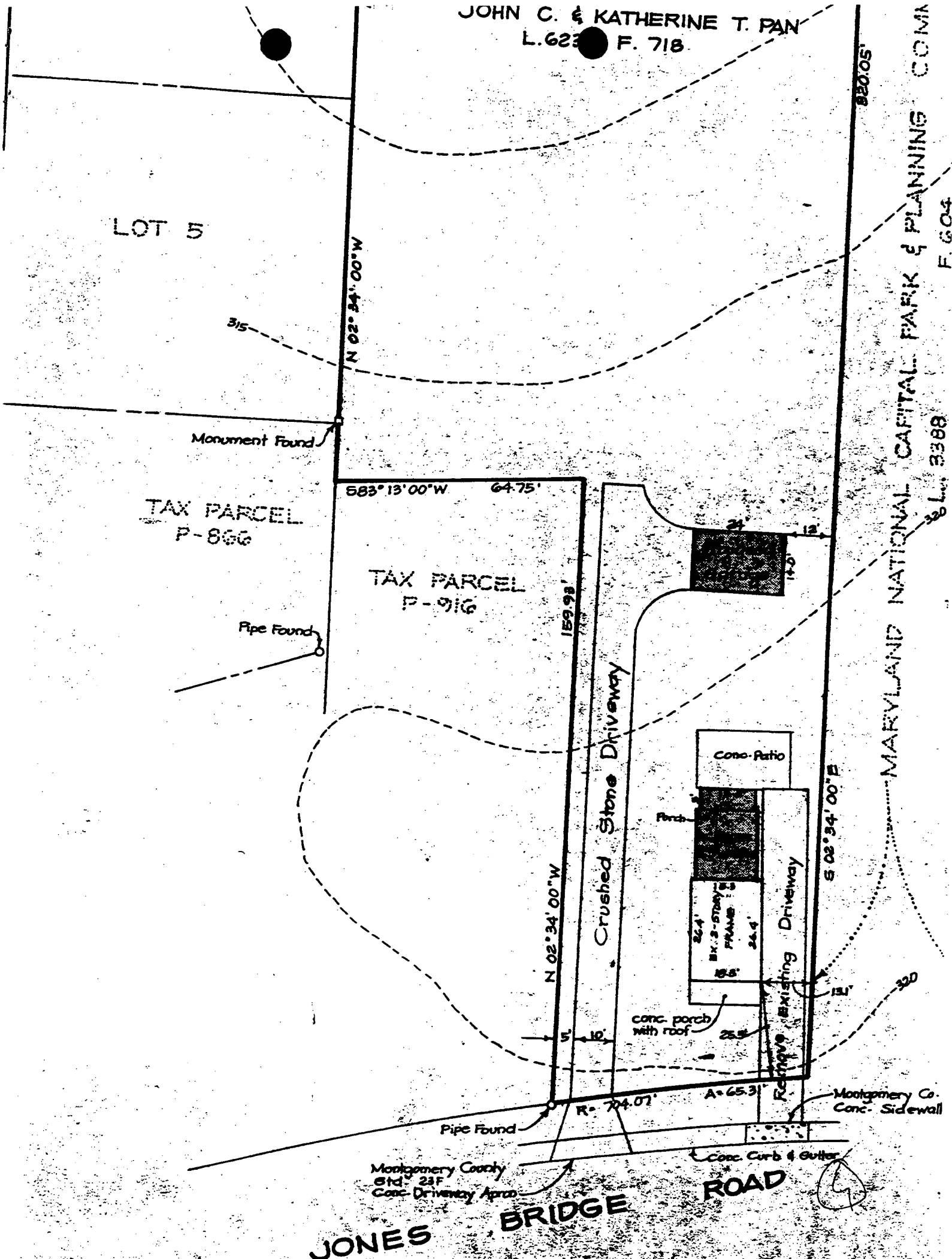
Montgomery Co.
Conc. Sidewall

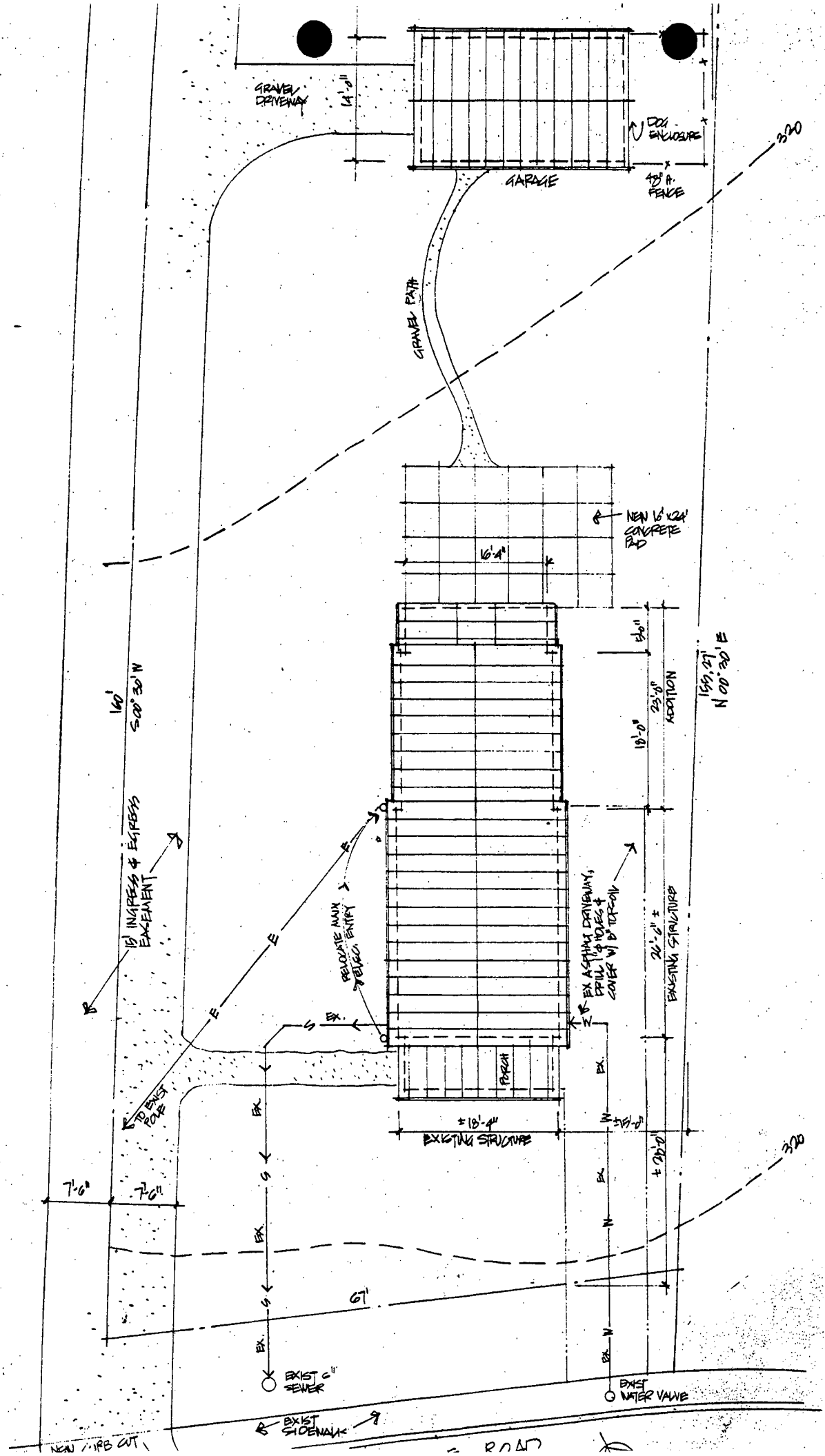
JONES

BRIDGE

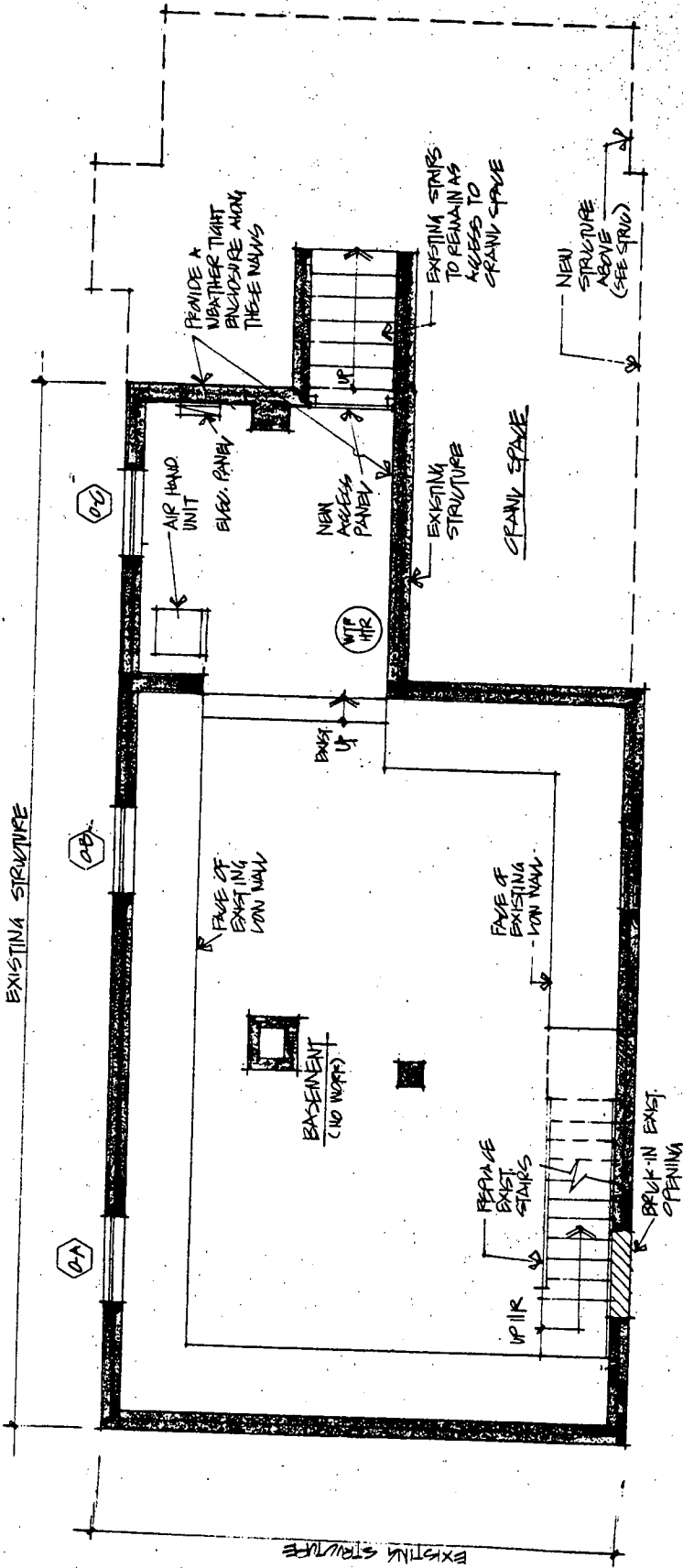
ROAD

MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
L. 3388 F. 604

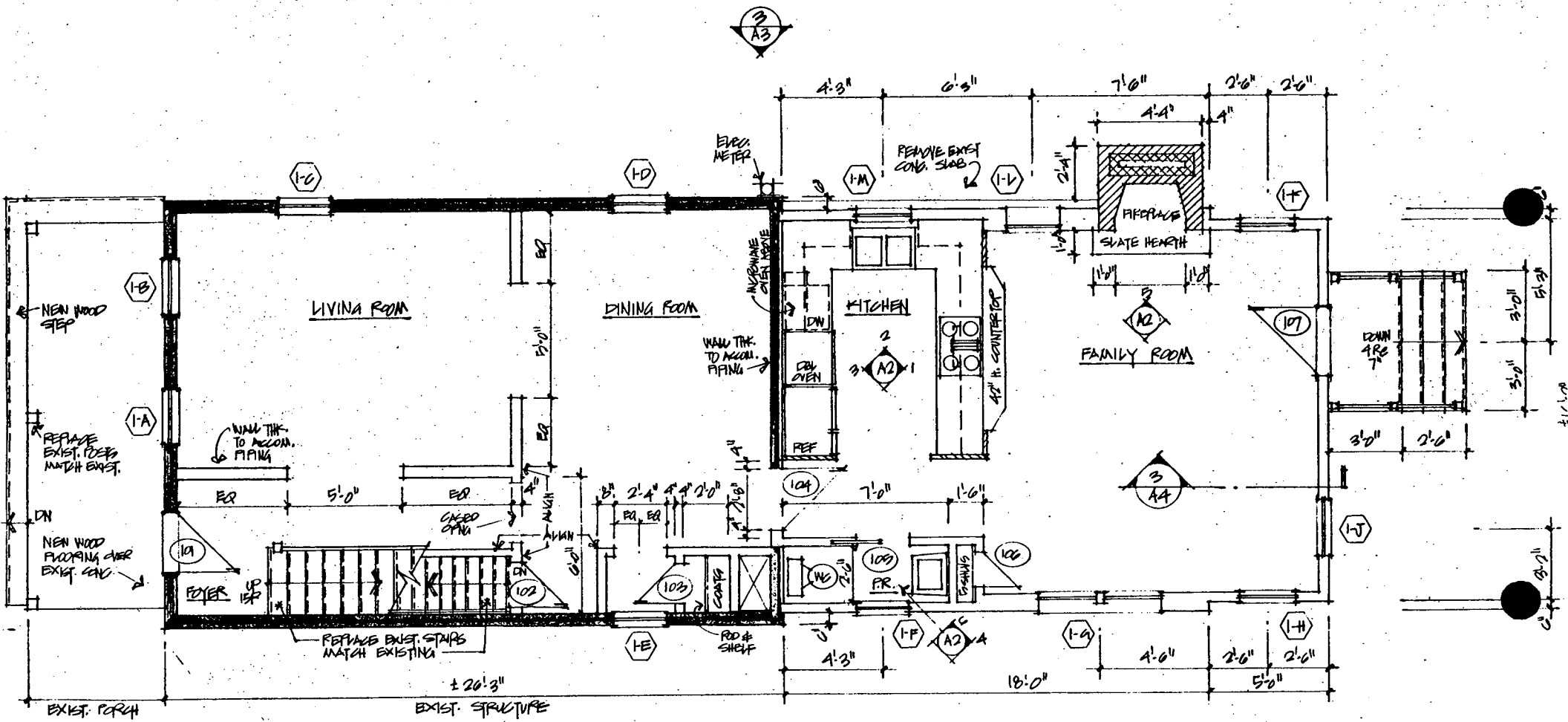




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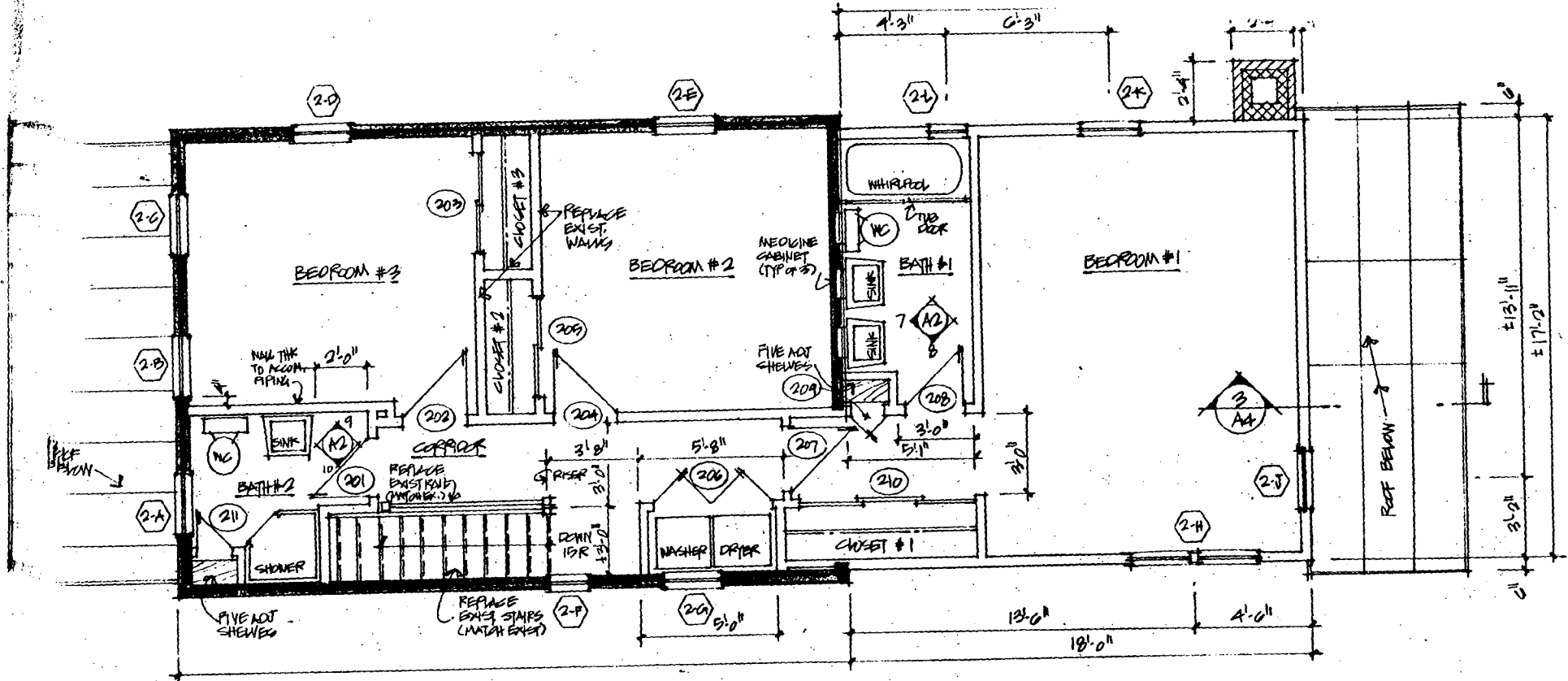


Floor Plan / Basement
 Scale: 1/4" = 1'-0"



Floor Plan / Level One
 Scale: 1/4" = 1'-0"

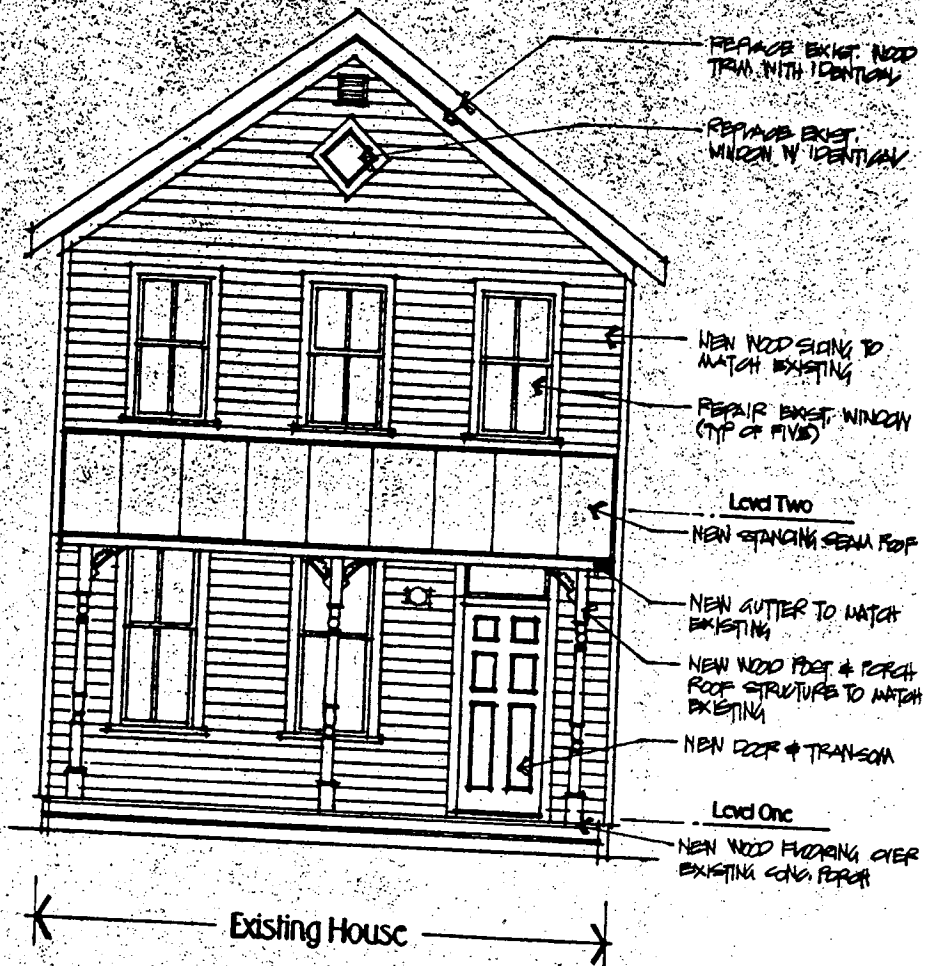
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Floor Plan / Level Two

Scale: 1/4" = 1'-0"

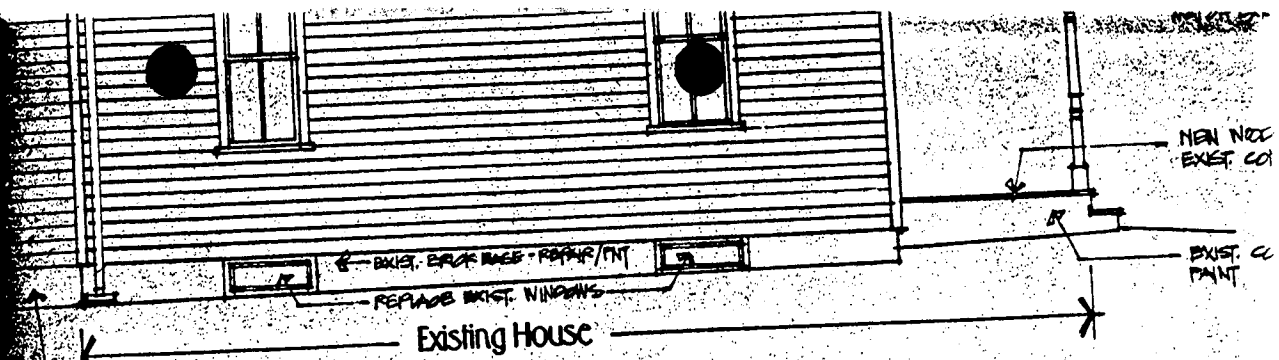
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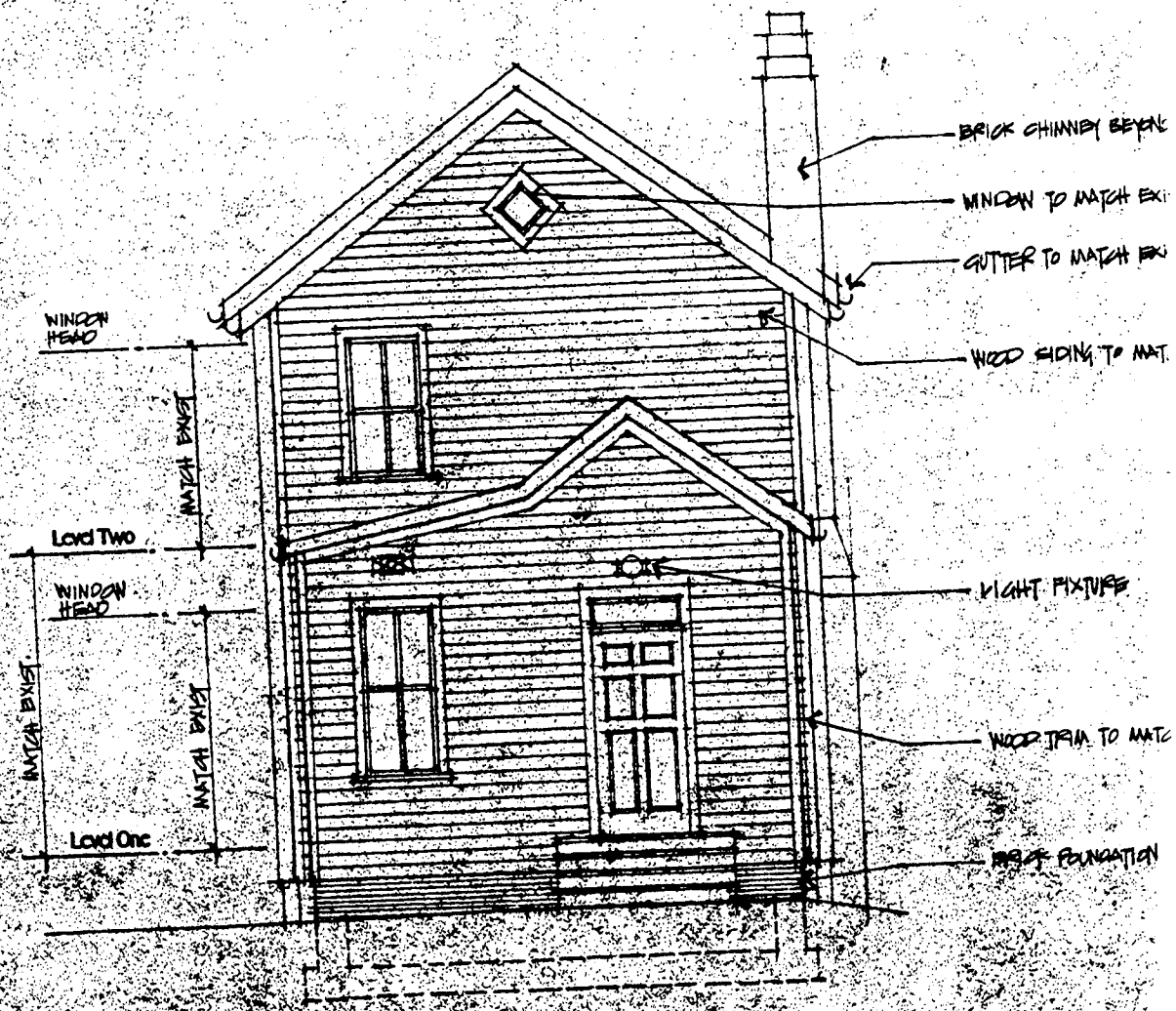
Front Elevation (4)
 Scale: 1/4" = 1'-0"

(5)

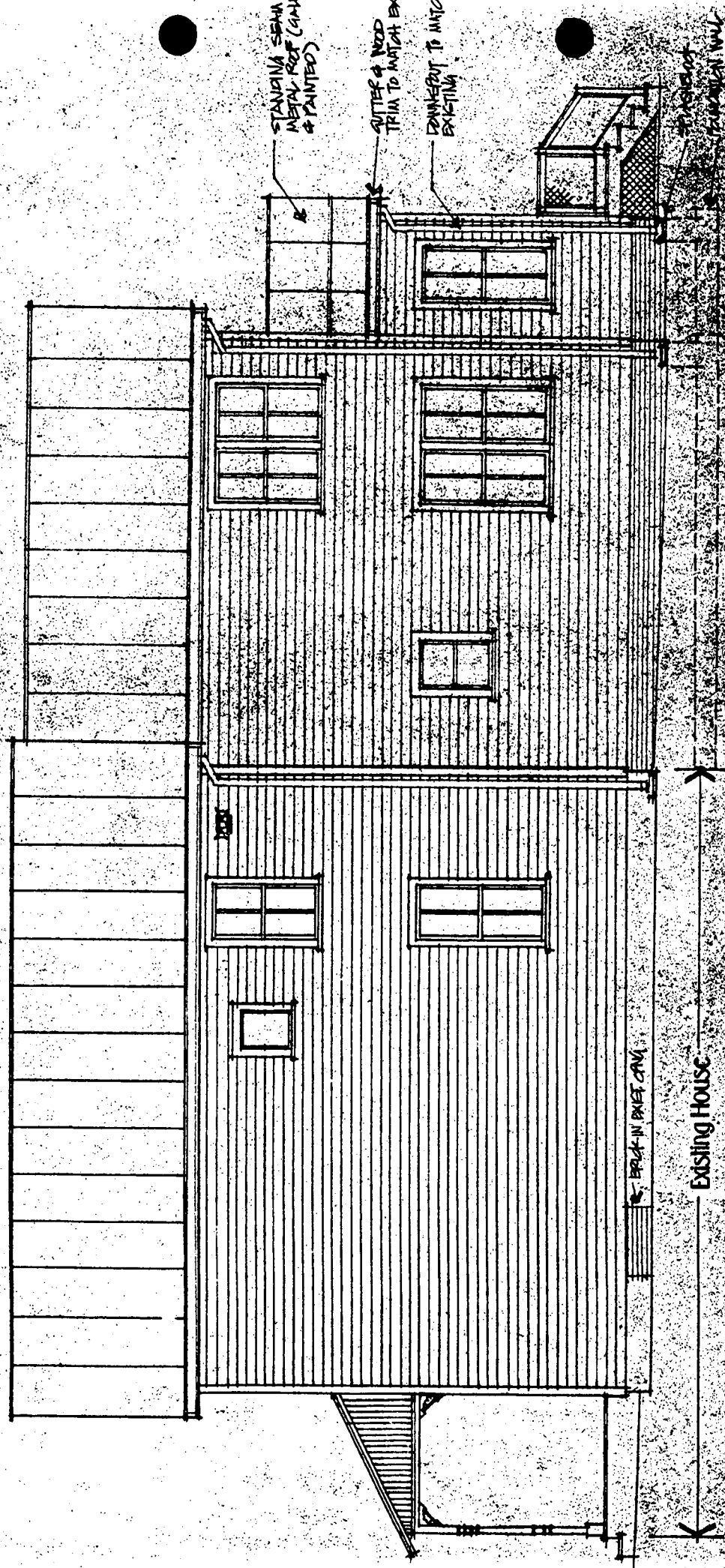




Left Side Elevation (3)
 Scale: 1/4" = 1'-0"

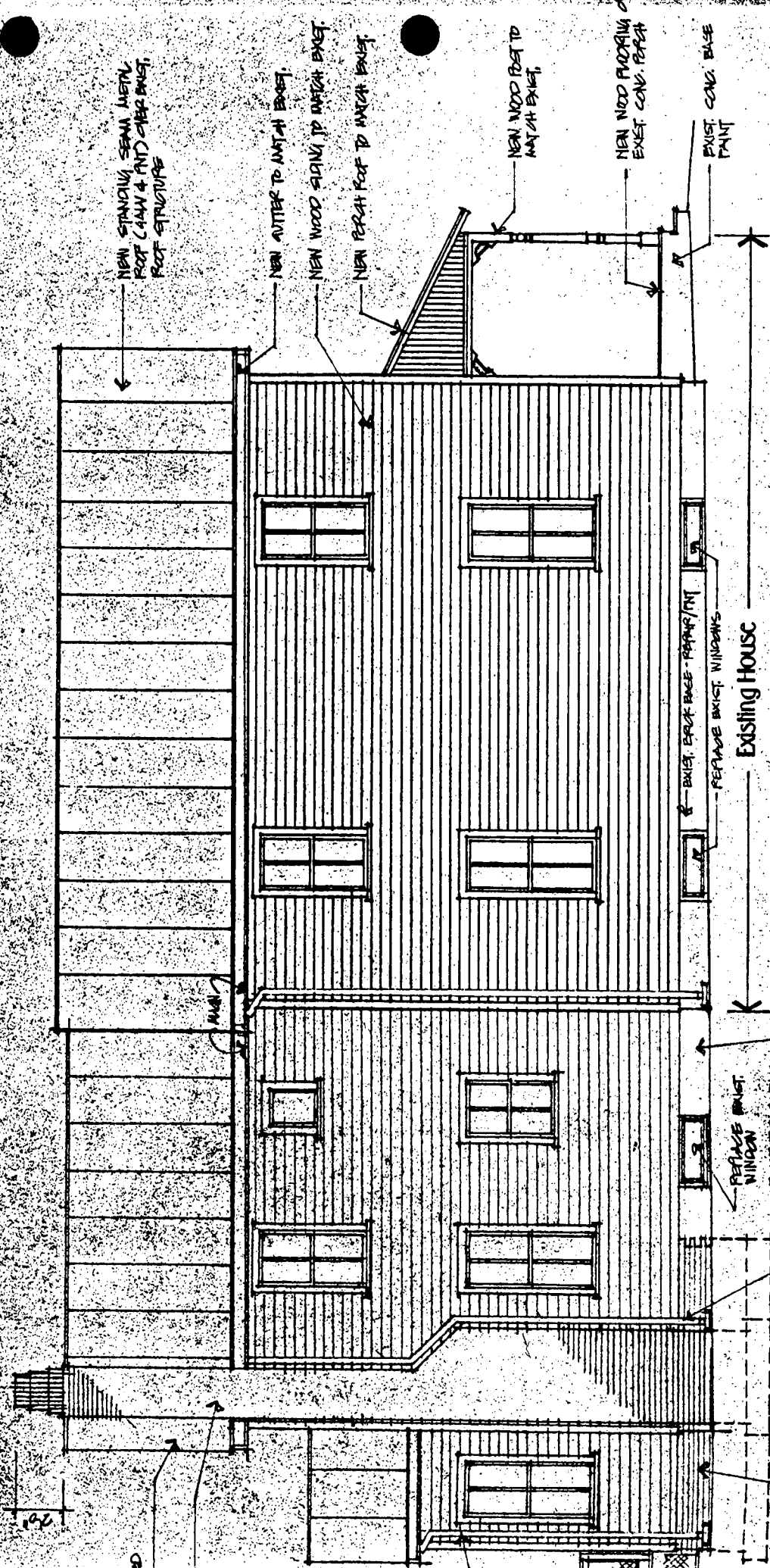


Rear Elevation (4)



EXISTING HOUSE
 Scale: 1/4" = 1'-0"

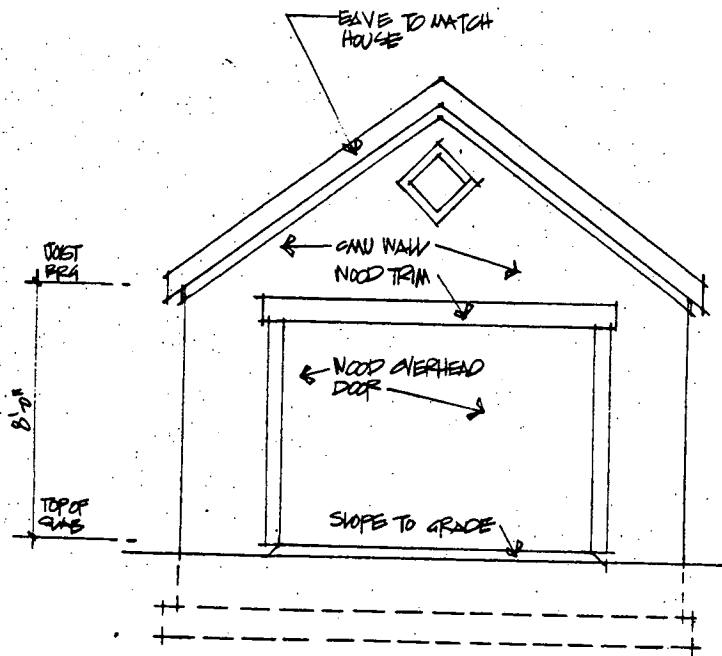
2



Left Side Elevation
 Scale: 1/4" = 1'-0"

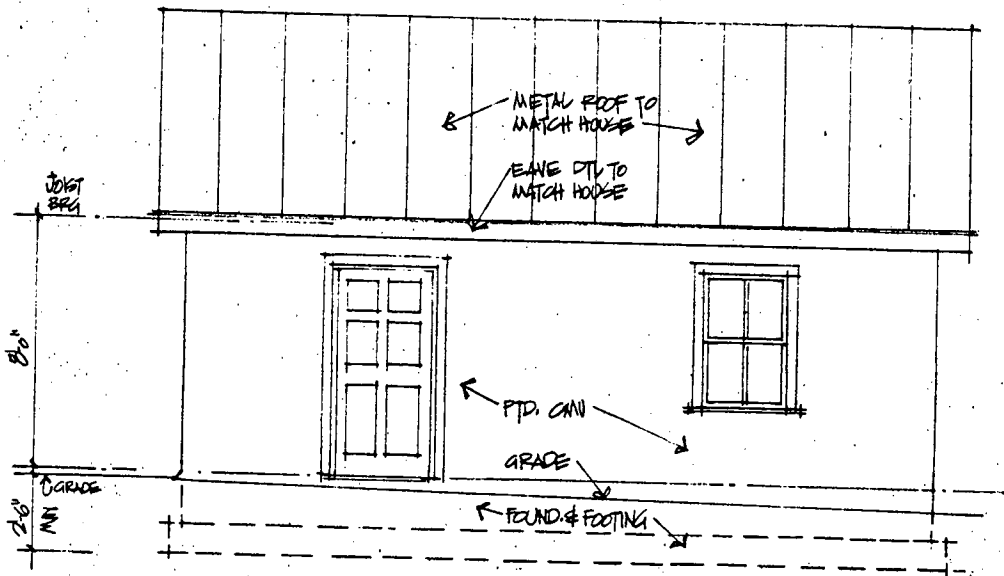
Existing House

(10)



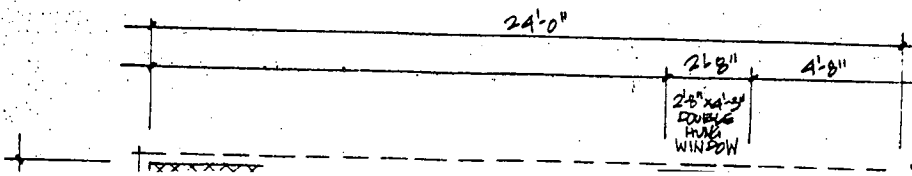
Garage Front Elevation (2)

Scale: 1/4" = 1'-0"



Garage Side Elevation (1)

Scale: 1/4" = 1'-0"



(9)

ALL DRAWINGS AND APPEARING HEREIN CO AND UNPUBLISHED WORK AND MAY NOT BE USED OUT PROOF COMMENT

GVE/AZQUE/TONY

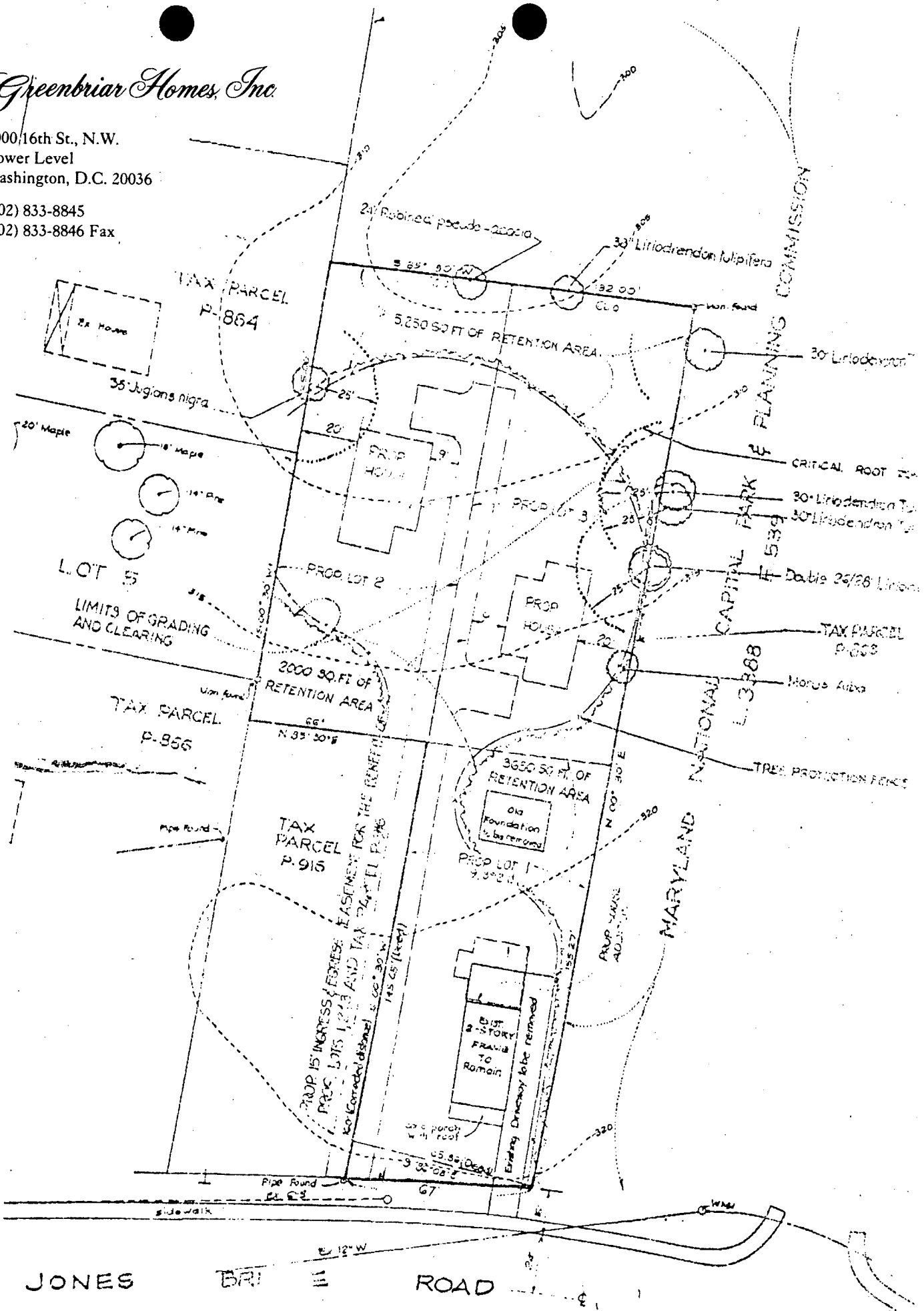
Addition & Renovation
4113 Jones Bridge Road

REVISIONS:

Greenbriar Homes, Inc

1000 16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
(202) 833-8846 Fax



STANDARD FEATURES

GENERAL:

The Colonial Classic model has approximately 4872 square feet of finished living area including a finished walk out basement.

Brick, stucco or masonite siding exterior materials based on individual house type. See architectural plans for details.

The Colonial Classic model has a two car detached garage with automatic door openers.

10' ceilings on the main level 9' ceilings in the basement and 8' ceilings on the upper level.

4 bedrooms and four and a half bathrooms.

Full laundry room on the lower level with resilient vinyl flooring.

Gourmet kitchen and light filled morning room.

Oak hardwood flooring on the main level and stain resistant carpeting on the upper and lower level. Colors to be selected by buyer.

Raised 6-panel interior doors throughout the home.

Underground utilities include sewer, water, telephone and electric services.

Double glazed windows with screens

BASEMENT:

Full walk-out basement under the main house, the back basement wall has 2x6 framing for better energy conservation.

Approximately 2,024 square feet of finished space with a full bath.

Oil forced air furnace with humidifier plus electric air-conditioning system for cooling.

Electric hot water heater - 75 gallon capacity.

400 amp electric service using copper wiring and ground fault circuit breakers.

MASTER BEDROOM SUITE:

Oversized master bedroom with walk-in closet.

Elegant step-up whirlpool tub with ceramic tile surround.

Separate ceramic tile shower enclosure.

FIRST FLOOR:

Elegant hardwood flooring throughout this level and carpeting from foyer to basement.

Crown molding in the living room, dining room and foyer.

Chair rail and panel molding in the foyer, dining room and stairway to second floor.

GOURMET KITCHEN:

Premium Merillat kitchen cabinets with choice of finishes. Tall ceilings allow for added cabinet storage space.

Formica kitchen countertops in choice of decorator colors.

Oak hardwood floors in kitchen and morning room.

General Electric "white on white" finish appliances.

SECOND FLOOR:

Three large bedrooms with dormers and two full baths.

Cultured marble vanity tops.

Premium quality vanity base.

Ceramic floor and wall to 6' height around shower or tub.

Stain resistant carpeting in bedrooms and halls in a choice of decorator colors.

EXTERIOR:

Distinctive exterior colors and material pre-selected by Greenbriar as per the color schedule.

All disturbed earth areas to be fine graded and hydroseeded or sodded.

Trees will be saved where possible but their continued life is not guaranteed.

Asphalt driveway with double width parking bay at garage doors.

Broad leaf and evergreen foundation plantings.

Full width front porch constructed with cedar decking.

SPECIAL NOTE: Product specifications and architectural details are preliminary and are subject to change at any time at the sole discretion of Greenbriar Homes, Inc.

Greenbriar Homes, Inc.

1000 16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
(202) 833-8846 Fax

TELECOPIER TRANSMITTAL SHEET

REQUEST MADE BY:

02/13/93

NAME: _____

DATE: 2:40 pm

TIME: _____

TO:

NANCY WITHERELL
NAME:

PARK & PLANNING
COMPANY NAME:

COMPANY TELECOPIER NUMBER:

FROM:

RICHARD DRUMMOND
NAME:

202 -
833-8845

DIRECT DIAL: _____

TELECOPIER: (202) 833-8846

ORIGINAL WILL: _____

FOLLOW VIA MAIL
FOLLOW VIA OVERNIGHT MAIL
NOT BE SENT

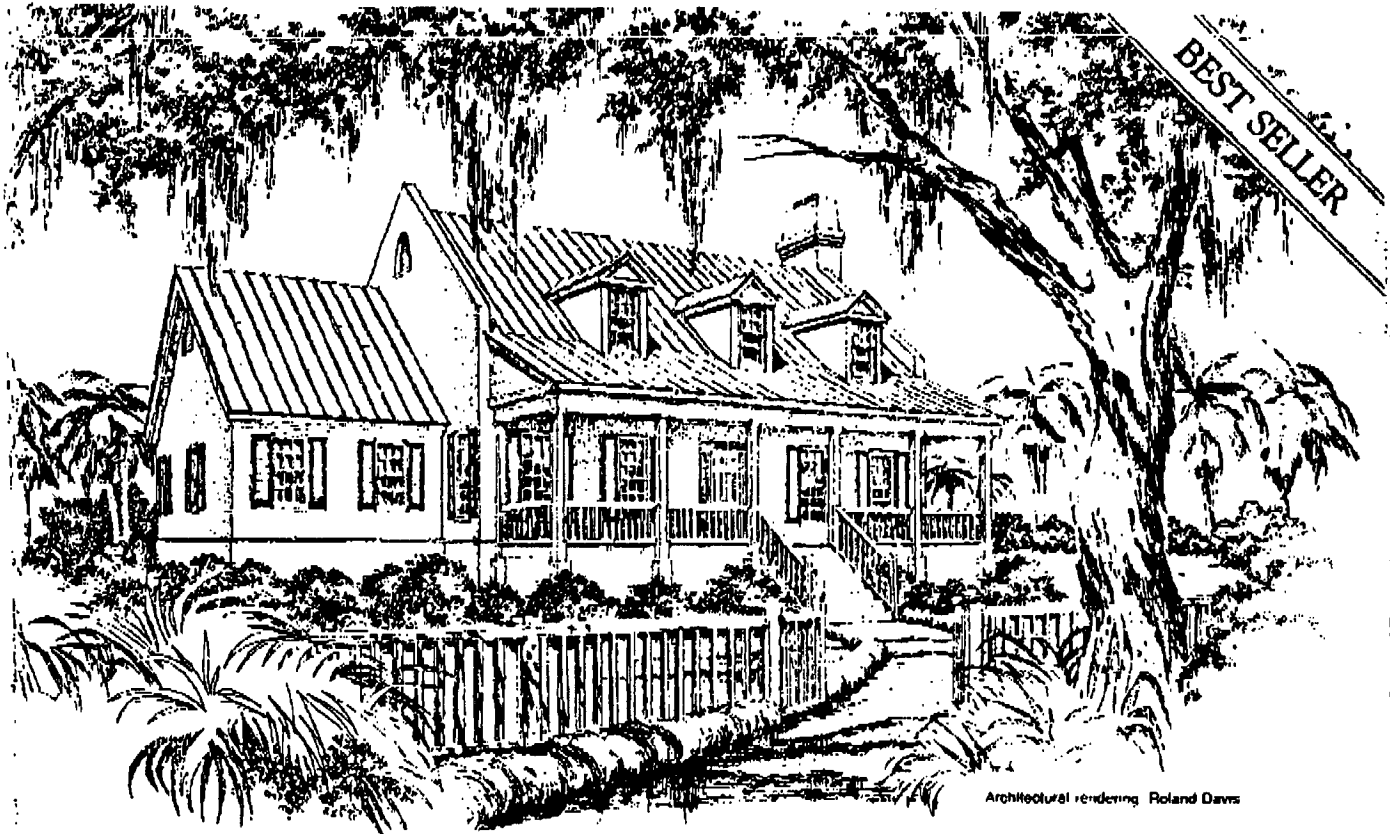
TOTAL NUMBER OF PAGES (INCLUDING COVER LETTER): _____

COMMENTS:

PLEASE CALL

NOTE: IF YOU DO NOT RECEIVE ALL OF THE PAGES, PLEASE CALL THE OPERATOR AT (202) 833-8845.

The information contained in this facsimile message is confidential information intended only for the use of the individual or entity indicated. If you are not the recipient, or the employee or agent responsible to deliver it to the intended recipient, please note that any distribution or copying of this facsimile message is strictly prohibited. If you have received this facsimile message in error, please immediately notify us by telephone, and return the original message to us by mail at the above postal address. Thank you for your cooperation.



Architectural rendering: Roland Davis

COUNTRY GEORGIAN

Comfortable and expansive in the tradition of many old-fashioned Southern homes, our Country Georgian House offers an engaging blend of country comfort and formal architectural styling. Designed by Architect Dean Winsett, AIA, of Hilton Head Island, South Carolina, it's an easy and charming interpretation of the Georgian style, adapted to the practical requirements of a warm, humid climate.

The house is raised on a basement to keep it cool and dry. The basic design includes main house and wing and offers 4 bedrooms and 3½ baths in about 2,800 square feet of heated space. The master bedroom wing may be omitted, leaving a square footage of almost 2,400.

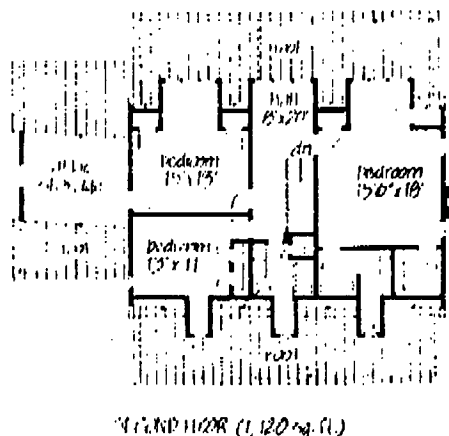
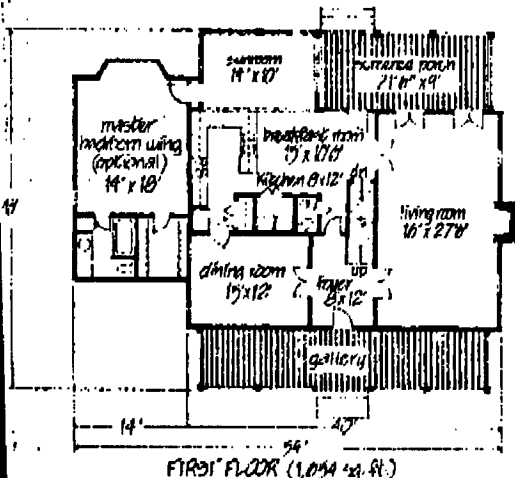
A spreading roof with deep overhangs and the placement of doors and windows provide natural cooling. The gallery, screened porch, and sunroom ease the transition be-

tween outdoors and in and offer comfortable sitting areas.

Inside, rooms are spacious with 9-foot ceilings downstairs. Double-door openings off the broad center hall open the house visually and to breezes. The master bedroom wing contains adjoining bath and a projecting bay. A sunroom at the rear of the house could serve as a sitting room for the bedroom or as an extension of the breakfast room.

Three bedrooms, two baths, and a broad stair hall occupy the upper floor. The lower level contains about 1,500 square feet in double garage and workshop.

PROPOSED HOME 2 7116



(301) 921-4412
or

(301) 814-6640

TO: NANCY WITHERELL
FROM: BRENDAN MAGNER
DATE: JULY 2, 1993
SUBJECT: JONES BRIDGE NEW HOMES DESIGN SUBMITTAL

NANCY, PLEASE REVIEW THE ATTACHED GROUP OF HOME DESIGNS FOR THE TWO LOTS ON JONES BRIDGE ROAD. DUE TO THE HIGH COST OF ARCH. FEES EXPERIENCED ON THE FRONT HOUSE I WOULD LIKE YOUR INPUT AND SELECTION AND PRESENTATION ON JULY 28, 1993 MEETING. TONY WILL DRAW THE FINAL SET AFTER OUR DISCUSSIONS AND THE COMMISSIONS FINAL SELECTION. BASED ON THE TWO HOMES WE LOOKED AT IN CAPITAL VIEW, THESE HOMES FIT THE BILL IN MY OPINION. PLEASE CALL ME TO DISCUSS, THANKS AGAIN FOR ALL YOUR HELP!

BEST REGARDS,

Bill Z.

Pat - I made minor changes to this,
mostly in title & first paragraph.

7.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Two Lots at rear of 4113 Jones Bridge Road	Meeting Date: 7/28/93
Resource: Hawkins Lane Historic District	Preliminary Consultation
Case Number: N/A	Tax Credit: No
Public Notice: 07/14/93	Report Date: 07/21/93
Applicant: Brendan Magner	Staff: Patricia Parker
PROPOSAL: New Construction	RECOMMEND: Further study

The applicant proposes the construction of two new homes on unimproved lots # 2 and #3 at the rear of 4113 Jones Bridge Road in the Hawkins Lane Historic District. The lots are behind lots that face the east side of Hawkins Lane itself.

The proposal indicates the newly constructed houses would be more than 2,000 square feet and two stories high. The applicant has submitted six proposed building plans and elevations of various design types. The applicant understands that the use of attached garages would not be consistent with the historic houses in the historic district.

STAFF DISCUSSION/BACKGROUND:

At the March 24, 1993 meeting of the Historic Preservation Commission (HPC), the Commission reviewed the plans for subdividing this property into three lots, approximately 66' x 165'.

The existing historic house, located on the front lot adjacent to Jones Bridge Road (4113 Jones Bridge Road) would remain. The HPC recommended that the two new rear lots share a new driveway access to Jones Bridge Road with the historic house along the western property line. A majority of the Commissioners felt that two straight line lots to the rear of Jones Bridge Road would preserve more open space in consideration of guidelines for the District. The driveway should terminate at the front of the lots rather than extend to the rear.

The Hawkins Lane Historic District is a unique and important historical resource in Montgomery County. It is a quiet, small in scale district - located in a heavily-developed area with a

substantial number of large, expensive homes. The district has a rural atmosphere - its road is unpaved and its residences are modest in both size and price. The District property owners are concerned with preserving the rural character of their community. It is important that any new construction be compatible with the existing.

Any discussion of preservation must include mention that Hawkins Lane, formerly an all-Black enclave, completely surrounded by all-white Chevy Chase, is a neighborhood. It was founded as a "kinship community" by former slave James H. Hawkins on three acres of land. Hawkins Lane is now home to a diverse group of homeowners.

Development guidelines have been established to preserve this sense of neighborhood. The Lane remains unpaved. Simple houses of similar scale and massing front toward the Lane with no barriers between the houses. The rural character of the Lane is further maintained by the presence of magnificent trees - poplars, oaks and maples that dominate the landscape.

The district is bounded on the west by the heavily-wooded sites of the Uniformed Services University of the Health Sciences and the Bethesda Naval Medical Center, on the north and east by Maryland-National Capital Park and Planning Commission (M-NCPPC) parkland, and on the south by Jones Bridge Road. Jones Bridge Road, in the nineteenth century, was "the old road running between Linden Station on the Metropolitan Branch of the B & O Railroad and the Rockville Pike.

Hawkins Lane was designated in 1991 as a Historic District and placed on the Master Plan for Historic Preservation. As such, guidelines were established, some of which are as follows:

- o Every effort should be made to preserve existing open spaces since they contribute to the rural quality of the district.
- o New construction should be designed and sited so as to maximize the amount of open space retained.
- o Architectural elements which contribute to a building's character, including front porches, should be retained.
- o New construction should be compatible in scale, massing and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.
- o New construction should take into account the vernacular character of existing structures and the wide variety of materials used.
- o New garages should be detached in keeping with the prevailing style in the district.

- o New construction should maintain the approximate setback and siting patterns established by existing buildings in the district, particularly those which are adjacent to or in close proximity to the new construction.
- o Landscaping around new construction or existing buildings should be informal, in keeping with existing landscaping.
- o Property owners should be encouraged to use shrubs and trees to mark boundary lines, where such marking is desired.
- o Where fences are erected, they should be low and inconspicuous, and preferably wood picket or rail.
- o New driveways, parking areas, and walkways on Hawkins Lane and Jones Bridge Road should be compatible, in width, appearance and surface covering, with existing driveways, parking areas, and walkways.
- o The preferred driveway/parking area/walkway surfacing material on Hawkins Lane is gravel or dirt, since these materials are more compatible with the rural character of the district.
- o New construction should not include the relocation of existing structures, since relocation is not compatible with the preservation of the district's existing character.

The Planning Board's approval of the subdivision was based largely on the knowledge that the HPC would have design review of the project. One of the HPC's comments during its review was reiterated at the Planning Board meeting:

The property line between the rear two lots should be straightened to create approximately two equal lots, with a shared driveway on the property line. The driveway should terminate at the front of the lots rather than extend to the rear.

This proposal shows the driveway continuing to the rear of Lot 2.

The staff feels that greater design freedom may be utilized in building off Jones Bridge Road, in the rear of an existing 2-storey frame structure, bordered to the east by parkland. Staff has included certain guidelines from the Master Plan for Historic Preservation to describe the community in which this new construction would be located. The design of the new houses should have greater frontage parkside and maintain a narrow profile on the Jones Bridge Road side.

As such, Model "A" with proper siting is an acceptable design approach for Lot 2. It could have less height to respect the very wooded nature of the site.

Model "B" with proper siting is an acceptable design approach for Lot 2 provided that a lower height profile is maintained.

Model "C" is not acceptable for Lot 2. It is clearly fitted for a less wooded site and much too vertical.

Model "D" is acceptable for Lot 2. It, with a separate garage, has a lower profile and is more harmonious with a wooded site.

Model "E" is acceptable for Lots 2 or 3 with proper siting. The height should be lower somewhat respective of the wooded appearance of the site.

Model "F" is not typical for historic structures in the area. However, the use of stucco could be considered. The applicant should take care not to achieve too much verticality, and lower the height of the roof line if at all possible. The Tudor Revival style is too literally historical for this context.

Building scale, the size of the building in proportion to neighboring buildings, or to a passing pedestrian is extremely important in determining "how much house to build" in the Historic District. Rooflines should be kept low to be compatible in scale. In this instance, the building scale is determined not by actual size but by how large it appears in relationship to people, other buildings and the community.

The dwellings in the district are early to mid-twentieth century vernacular buildings incorporating, in some cases, elements of one or more traditional architectural styles. Their significance is based on their association with the Hawkins family and the development of the community, rather than architectural merit.

Incompatibly-scaled new construction in the district would destroy its visual character. It is extremely important, therefore, that scale be considered in planning for new construction and additions in this district so that new buildings are compatible with existing neighboring structures and the district as a whole.

STAFF RECOMMENDATION

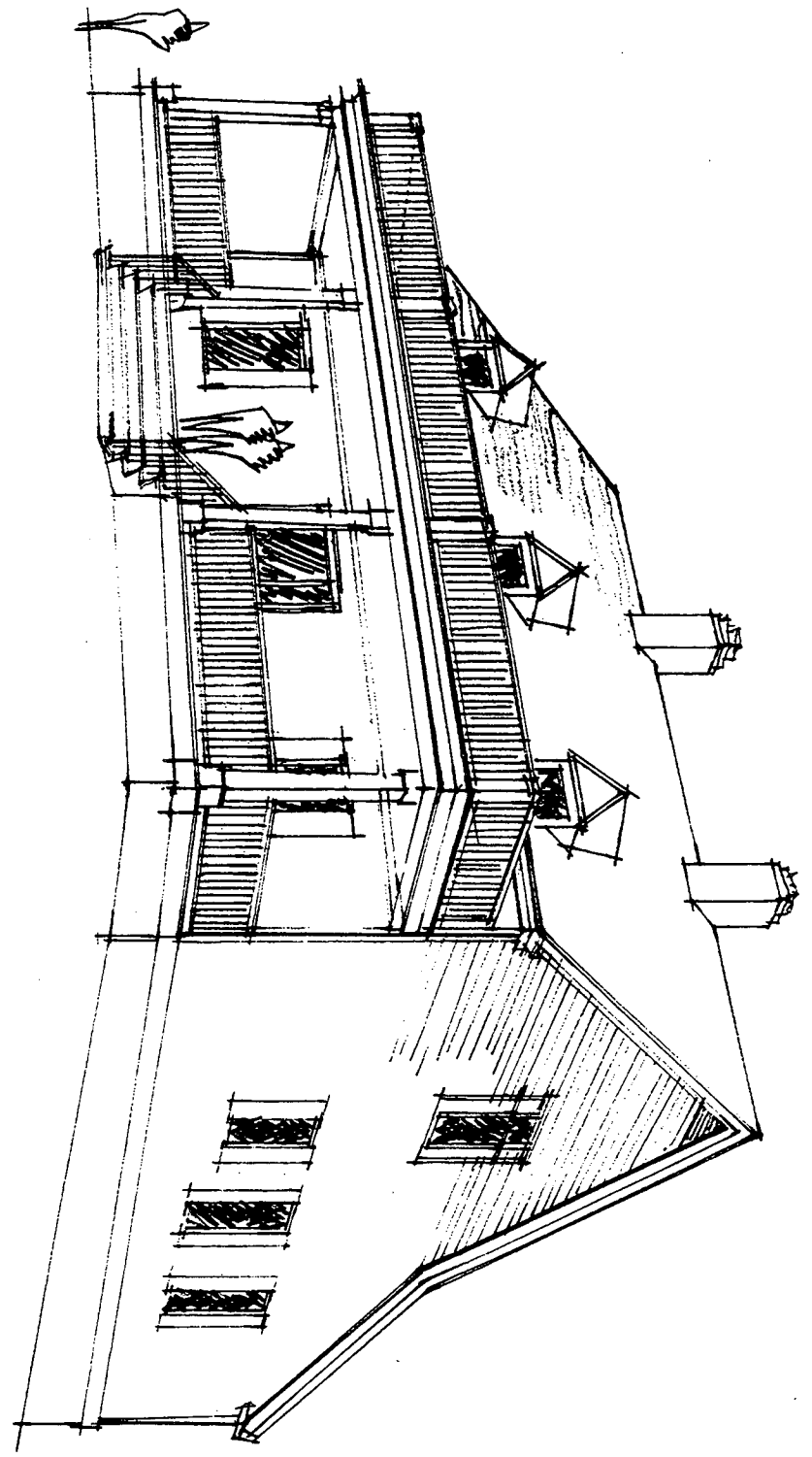
In summary, the staff feels that Model "D" is most promising because of its low profile. The fenestration should be simplified. A one and one-half storey solution would also be encouraged. The proposed architectural style, if kept low in profile with detached garages and attention to proper siting would be acceptable. This flexibility is permissible in this location, because these houses will not front on Hawkins Lane and will face parkland. However, as mentioned in the guidelines, every effort should be made to preserve as much open space as possible so as to preserve the rural quality of the District. Tree disturbance should be kept to a minimum and driveway surfacing should be gravel.

As a final note, the applicant should strive to maintain simplicity and compatibility in massing and materials with existing houses in the Historic District. Landscaping should also be simple and be used to indicate lot lines, obliterating the need for fencing.

4113 JONES BRIDGE ROAD - BEAR

227101 11/7/02

Model "A"



4
1572

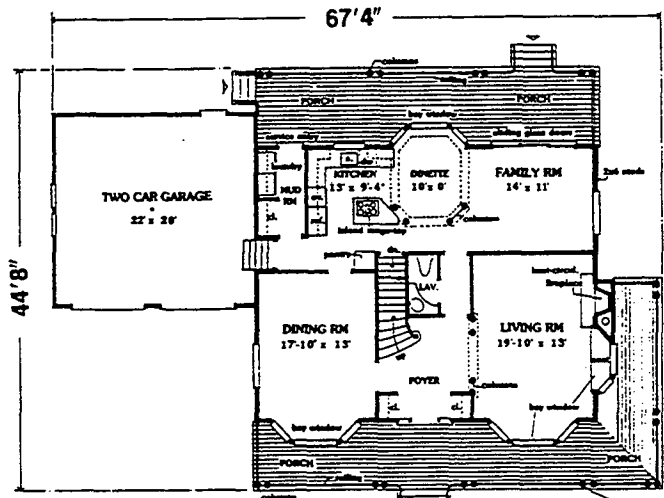
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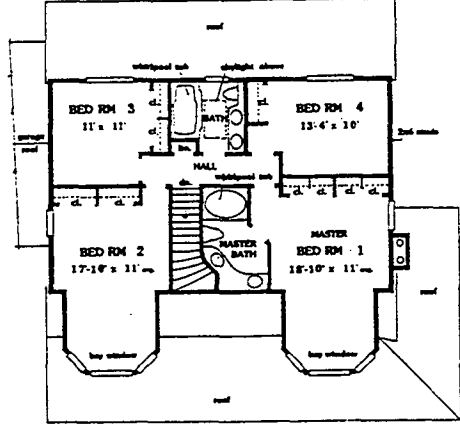
Two-Story Farmhouse Is Warm And Inviting

First floor—1132 sq. ft.
Second floor—1020 sq. ft.
Total living space—2152 sq. ft.
4 bedrooms, 2½ baths
Shown with a basement

- ✓ Wraparound front and back porches add outdoor living space.
- ✓ The foyer is flanked by the formal living and dining rooms. The dining room has a bay window and is accessible to the kitchen. The living room has a bay window, a window seat and a heat-circulating fireplace.
- ✓ The family room has sliding-glass door access to the rear porch. The octagon-shaped dinette area has a bay window. The kitchen has an island cooktop and a pantry.
- ✓ The master suite has dual closets. The bath has a whirlpool tub and his-and-her vanities.
- ✓ The second-floor bathroom has a skylight and a whirlpool tub.



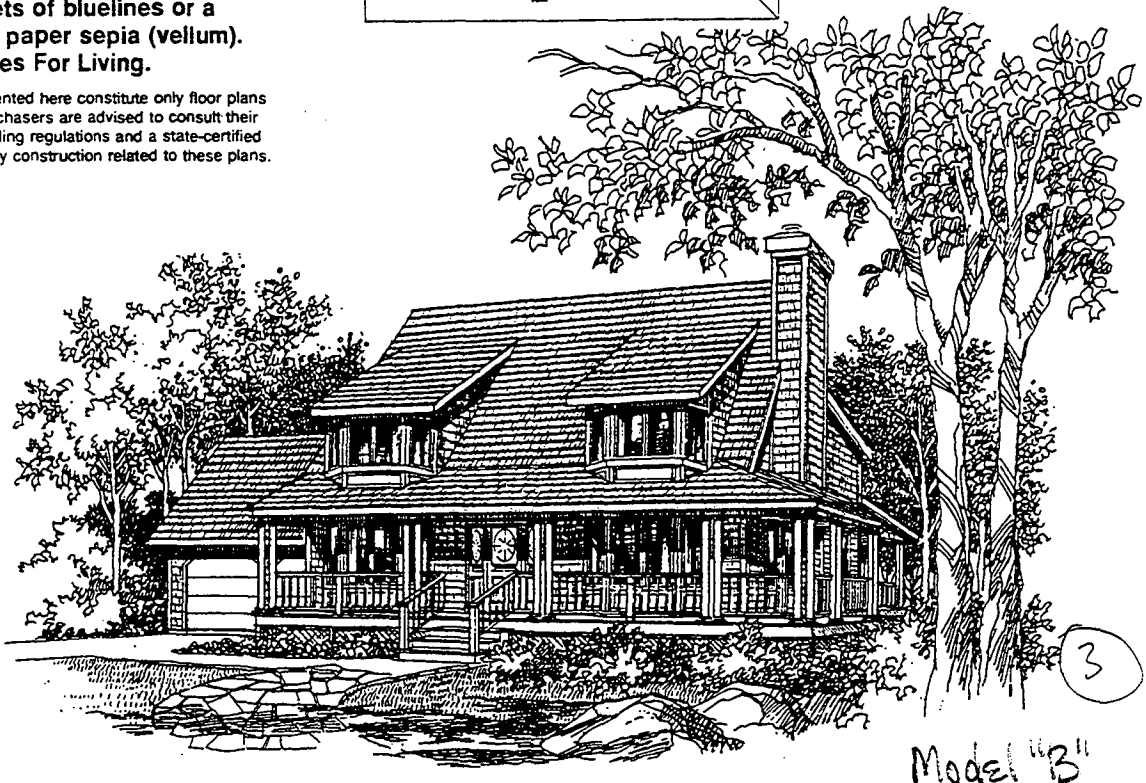
First Floor



Second Floor

Plan number HFL-2710-9206. The plan price is \$322.80. You may choose either five sets of blueines or a reproducible paper sepia (vellum). Plan by Homes For Living.

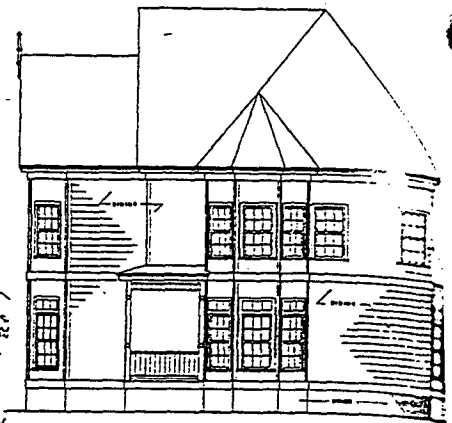
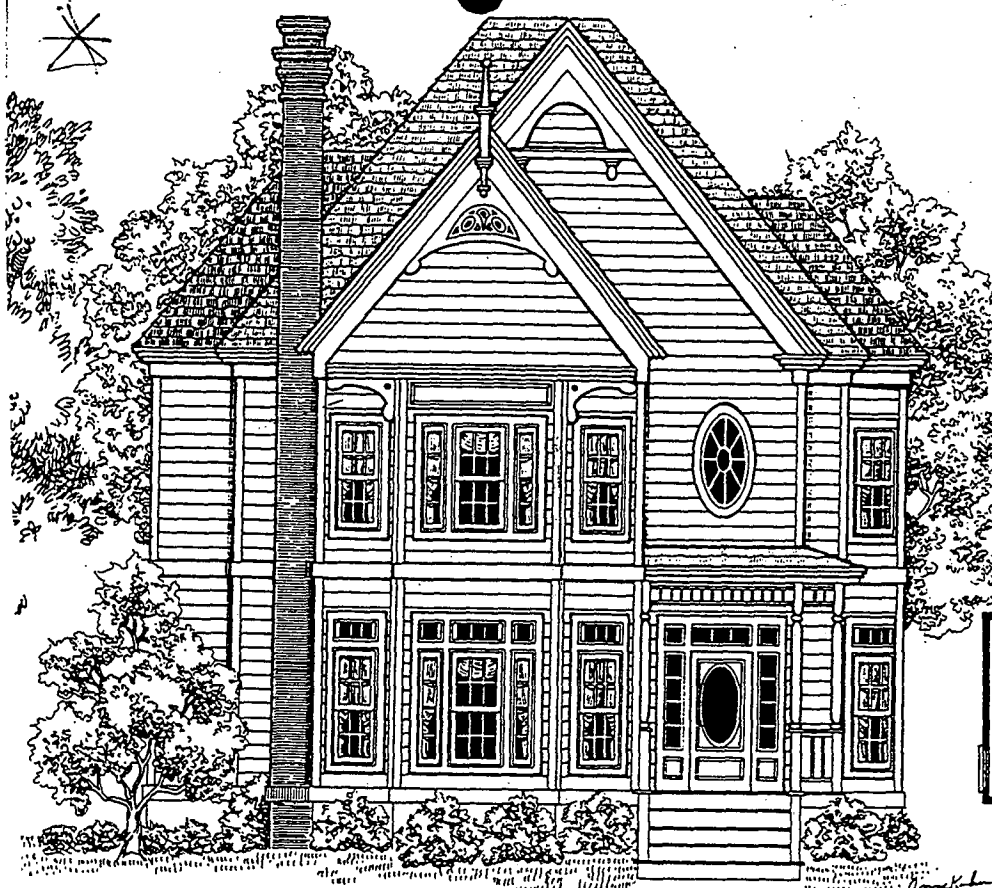
The diagrams presented here constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.



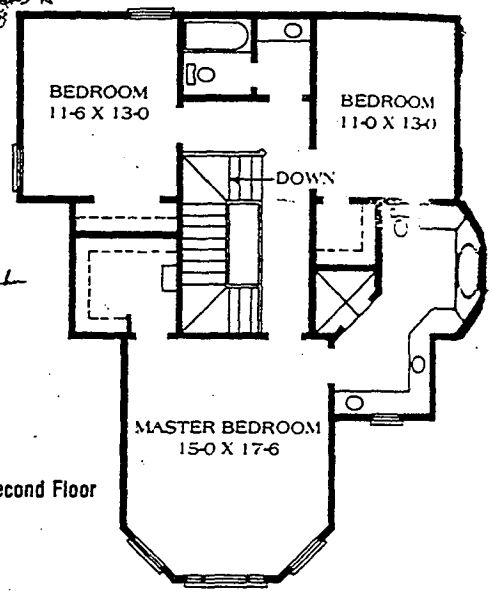
3

Model "B"

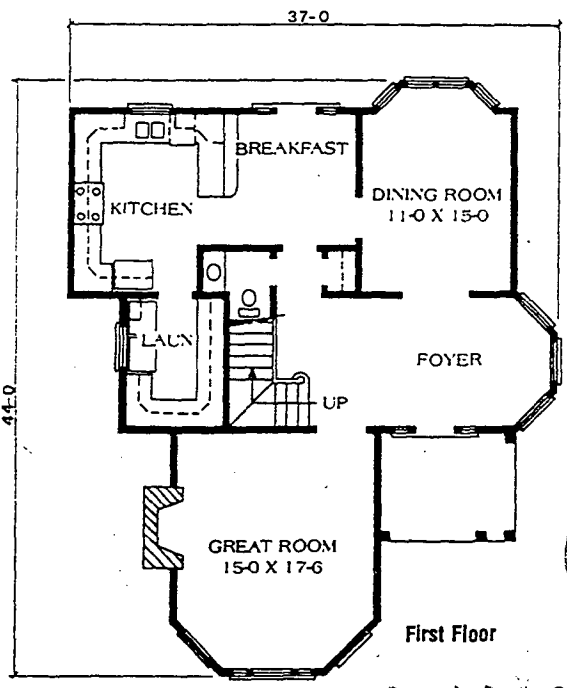
1512



Right Side Elevation



Second Floor



First Floor

HISTORICAL

Bay Window Adds Charm To Foyer Downstairs, Excitement To Master Bath Above

Total living space—2158 sq. ft.
 First floor—1118 sq. ft.
 Second floor—1040 sq. ft.
 3 bedrooms, 2½ baths
 Shown on crawl space

- ✓ Foyer bay may serve as an attractive sitting area.
- ✓ Bay windows also add character, brightness to the living areas.
- ✓ Fireplace provides the great room with a warm atmosphere.
- ✓ All bedrooms feature generous closet space.

Order number HR-M685-AJ91. See index at the end of Historical Plans section for pricing details. Plan by Historical Replications Inc.

The diagrams presented constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.

Model C

LDV 2

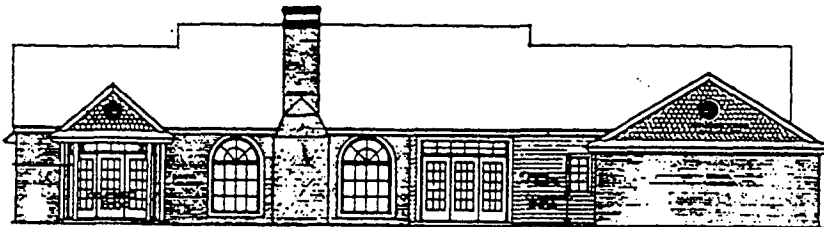


MOVE-UP

Victorian Farm House Design Offers Sprawling Living Space

Total living space— 2277 sq. ft.
3 bedrooms, 2 1/2 baths
Shown with a crawl space, concrete slab or basement.

- ✓ Entryway opens into spacious living room with a cathedral ceiling, built-in entertainment center and fireplace
- ✓ The kitchen features a work island. The adjoining breakfast area opens to a covered patio.



Rear Elevation

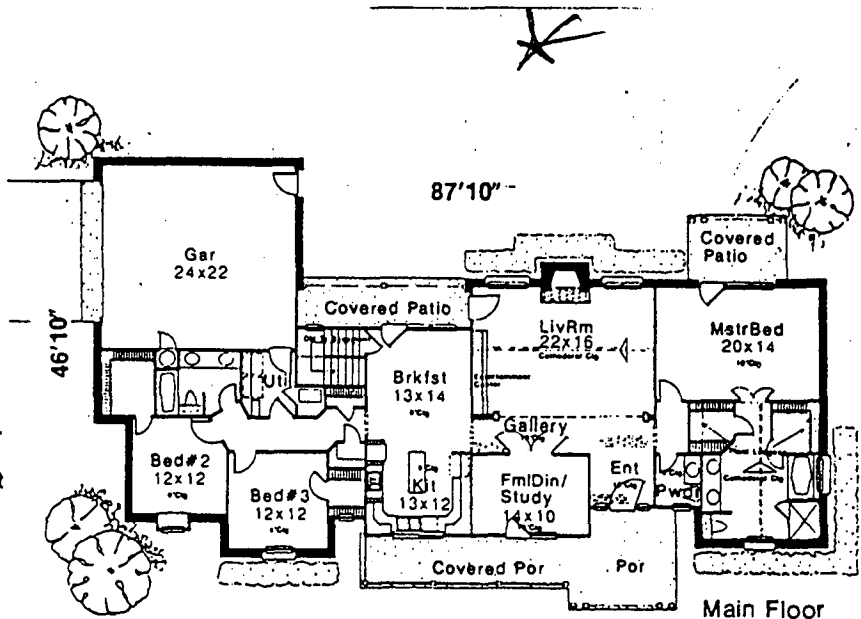
170 / Professional Builder & Remodeler

Mid-January 1992

- ✓ An additional covered patio is accessible from the master suite. Double doors connect to a private dressing area enhanced by plant shelves. Dressing area and master bath feature a cathedral ceiling.
- ✓ Laundry/utility room is accessible from both the garage and an interior hallway.

Plan number RFF-2187-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Fillmore Design Group.

The diagrams presented here constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.



Mid-January 1992

Professional Builder & Remodeler / 171

Model "D" (S)

PLAN SPONSORS:



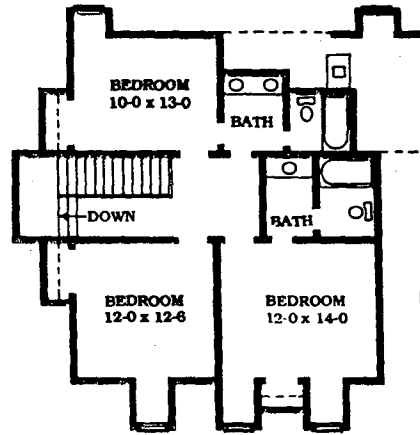
Photo by Mark Englund/HomesStyles



* JONES BRIDGE

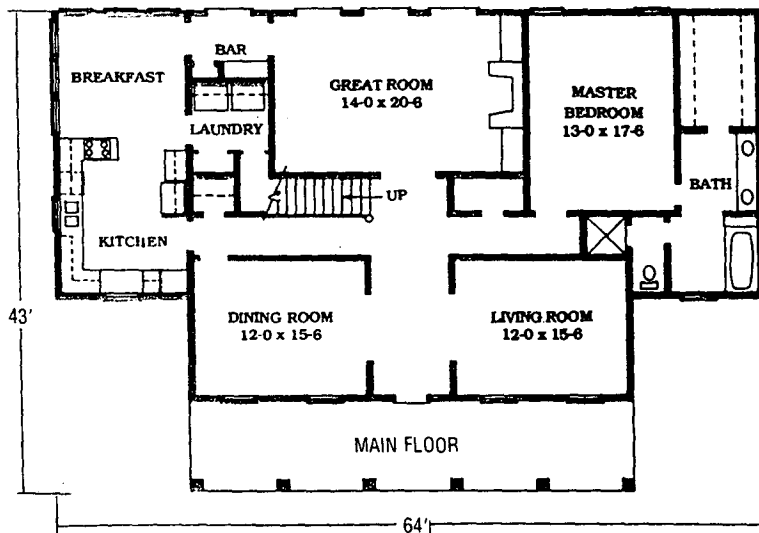
102

013



****NOTE:**
The above photographed home may have been modified by the homeowner. Please refer to floor plan and/or drawn elevation shown for actual blueprint details.

UPPER FLOOR



MAIN FLOOR

Colonial Classic

- Classic Colonial proportions, details, and trim recall the best of Deep South architecture.
- A full-width front porch conjures up images of long summer evenings shared with family and friends.
- The symmetrical main floor includes a dramatic entrance hall with views into the living, dining and Great rooms.
- The kitchen overlooks a sunny breakfast room with corner window walls.
- The main-floor master suite features a spacious dressing area, a walk-in closet and a private bath.
- There are three bedrooms and two bathrooms upstairs.
- The main floor boasts 10-ft. ceilings, while standard 8-ft. ceilings are found upstairs.

Plan V-2848

Bedrooms: 4 **Baths:** 3

Living Area:

Upper floor 824 sq. ft.

Main floor 2,024 sq. ft.

Total Living Area: 2,848 sq. ft.

Exterior Wall Framing: 2x6

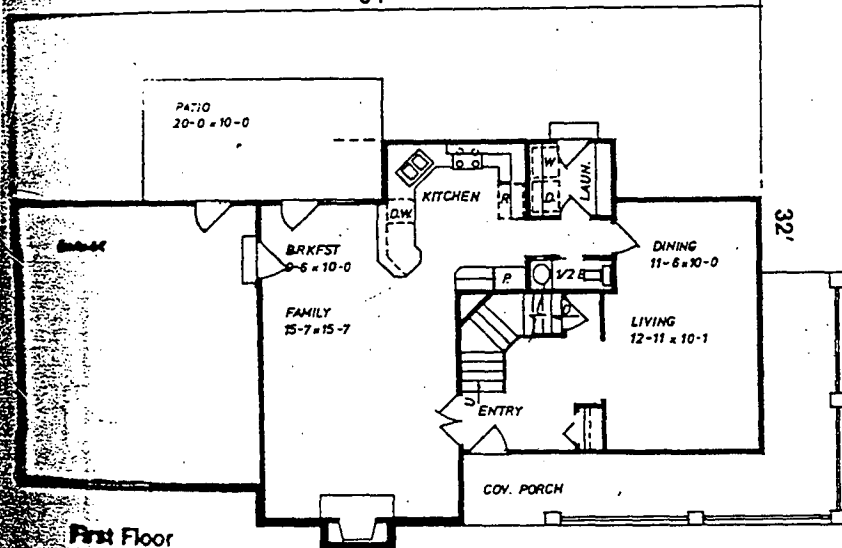
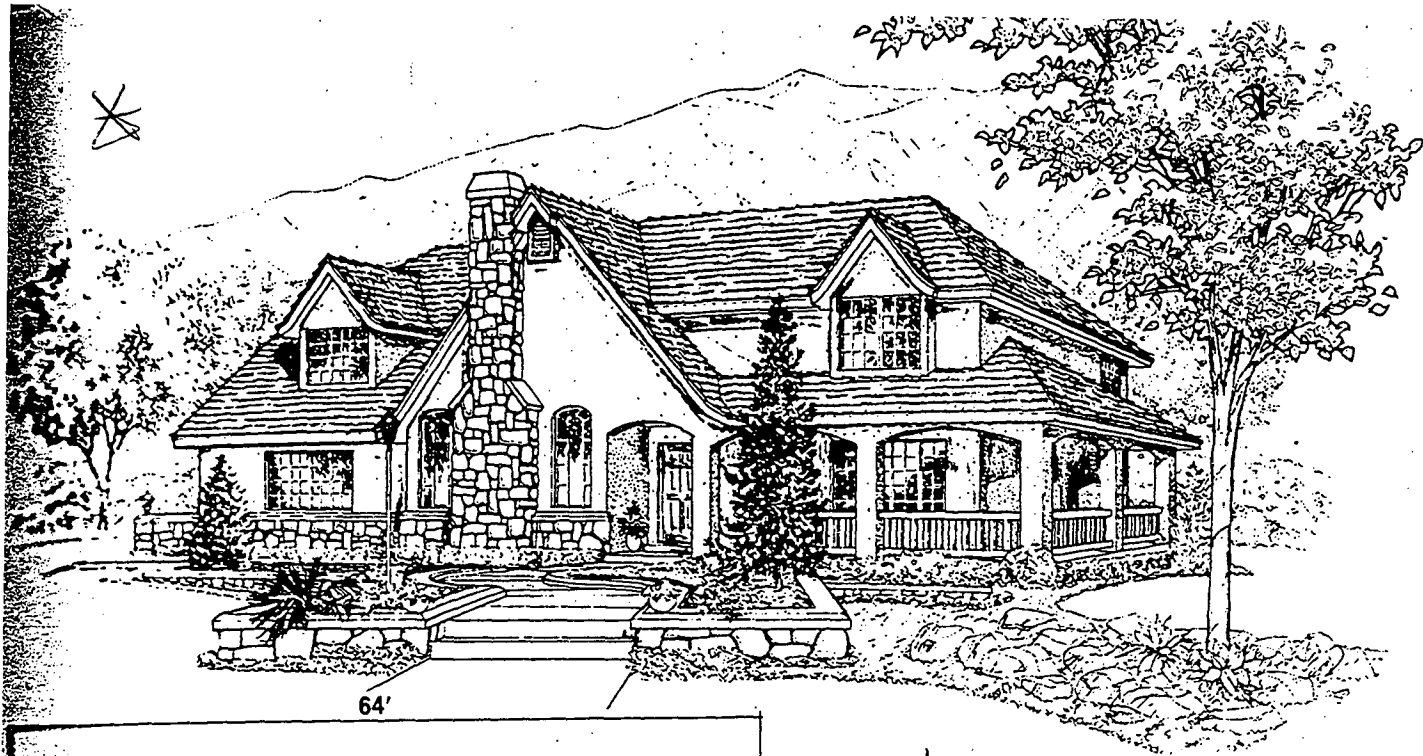
Foundation Options:

Crawlspace
(Typical foundation & framing conversion diagram available—see order form.)

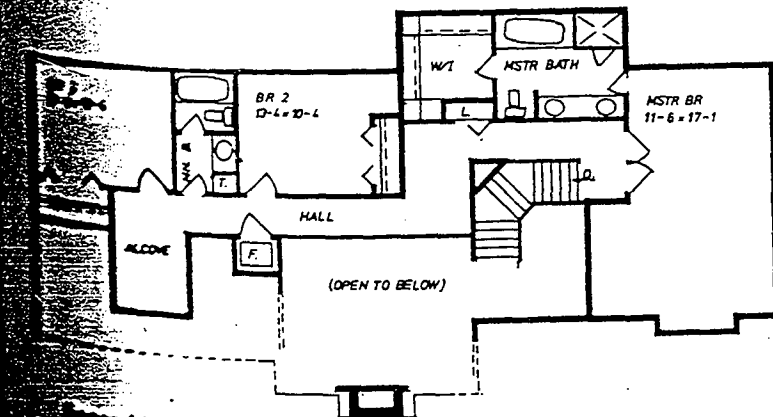
BLUEPRINT PRICE CODE: D

Model "E" 6

Plan V-2848



First Floor



Second Floor

1013

MOVE-UP

**Grand Cottage Look
With Wrap-Around Porch**

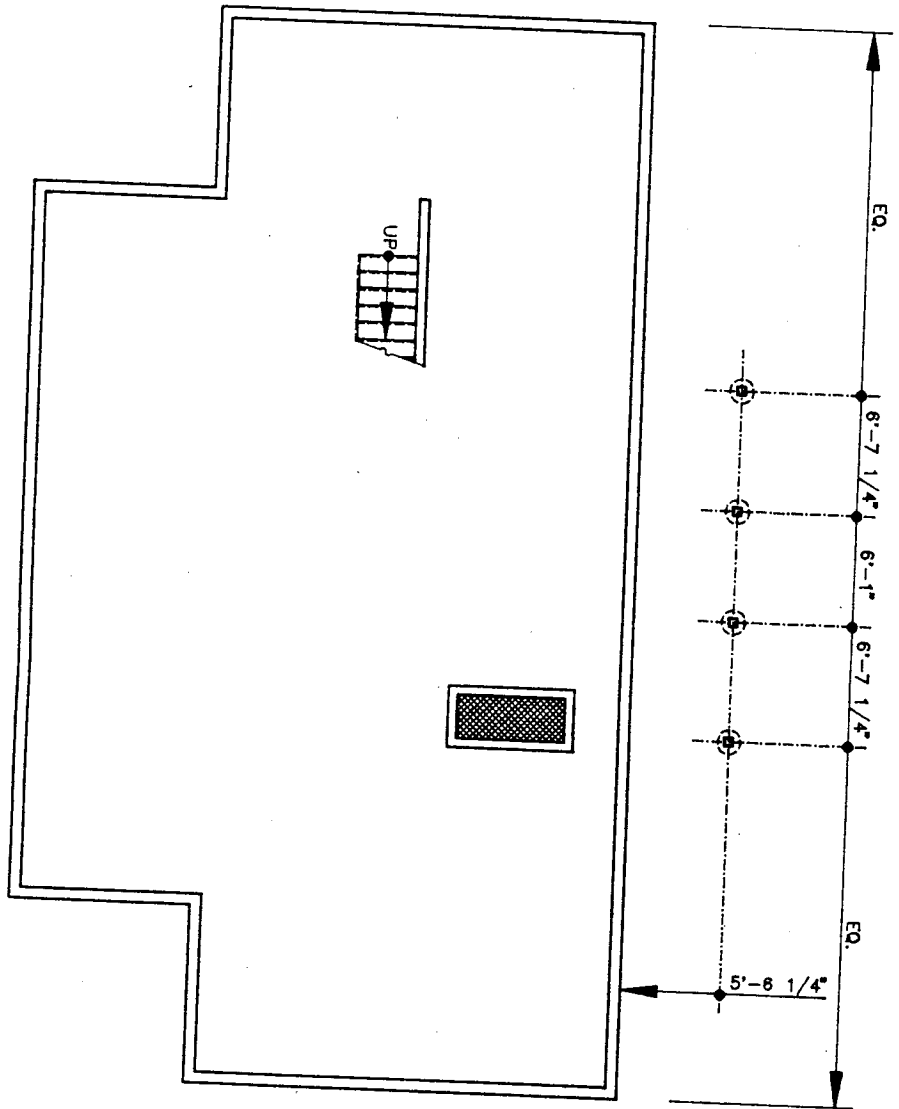
First floor—1170 sq. ft.
Second floor—1079 sq. ft.
Total living space—2249 sq. ft.
3 bedrooms, 2 1/2 baths
Shown with a basement.

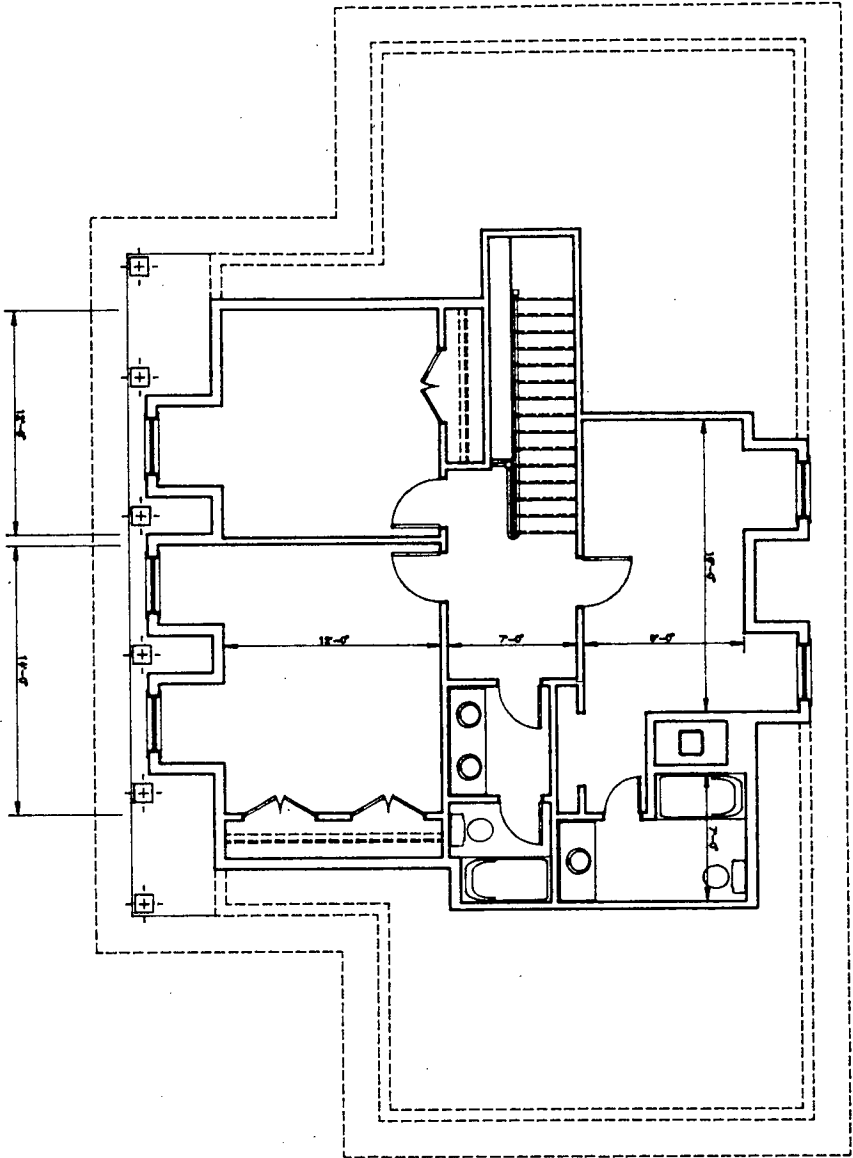
- ✓ Fieldstone and extensive porch provide country cottage look to a wide-and-shallow plan.
- ✓ Open interior includes extensive kitchen, breakfast, family room for family living, as well as formal living/dining room for formal entertaining.
- ✓ Second floor hall provides dramatic views of family room and fireplace/window wall on first floor.
- ✓ Note double door entry and large walk-in closet in master suite.

Plan number DPI-2382-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Design Profile Inc.

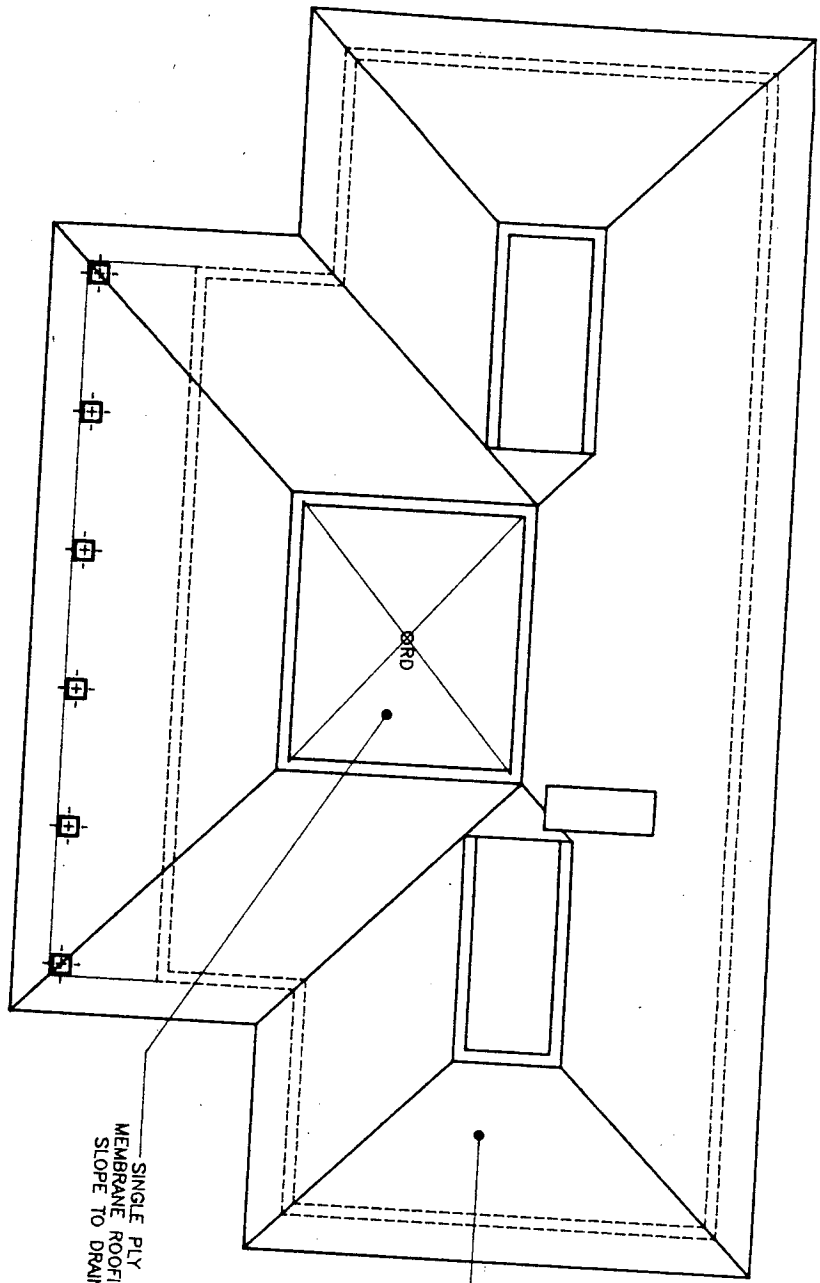
The diagrams presented here constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.

Model "F" 7





2'-0" OVERHANG
(TYP)



SINGLE PLY
MEMBRANE ROOFING
SLOPE TO DRAIN

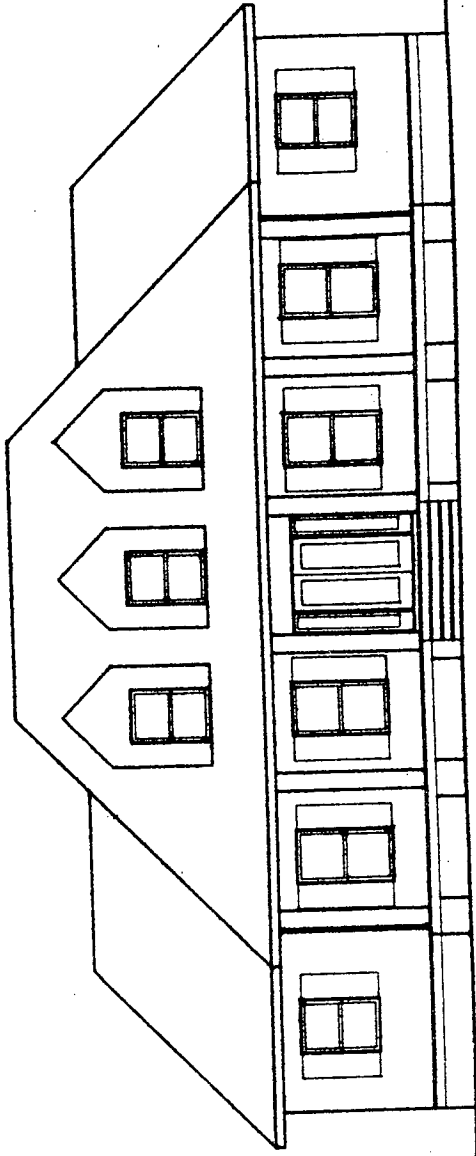
40 YEAR
ASPHALT SHINGLE
ROOF

ROOF PLAN
SCALE 1/8" = 1'-0"

C S B

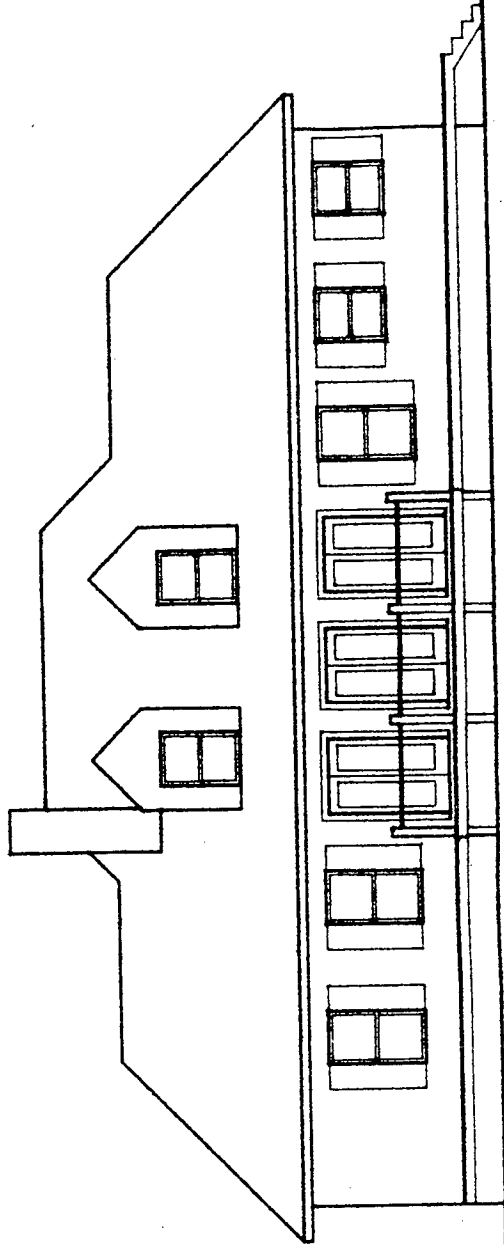
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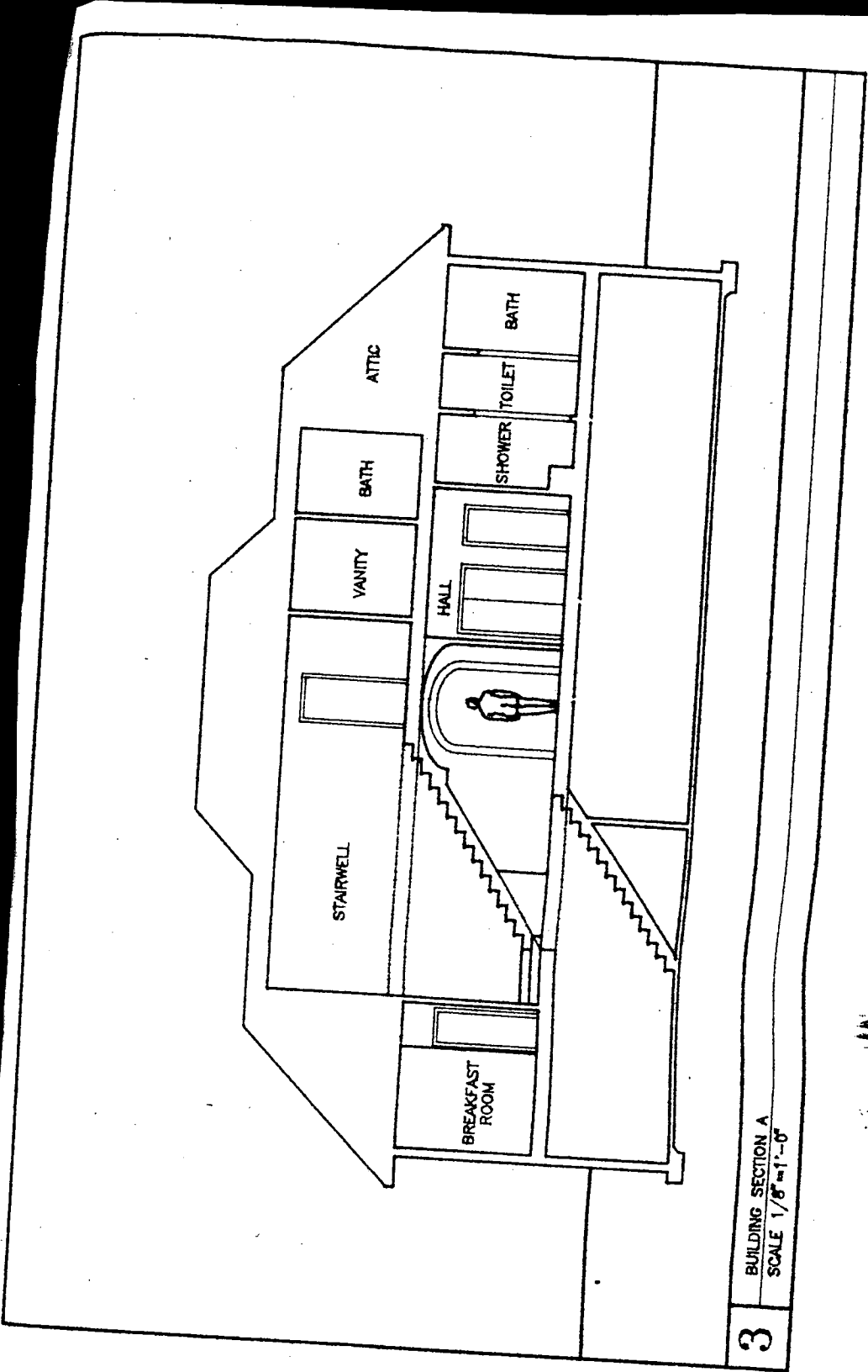


FRONT ELEVATION
SCALE 1/8" = 1'-0"

1

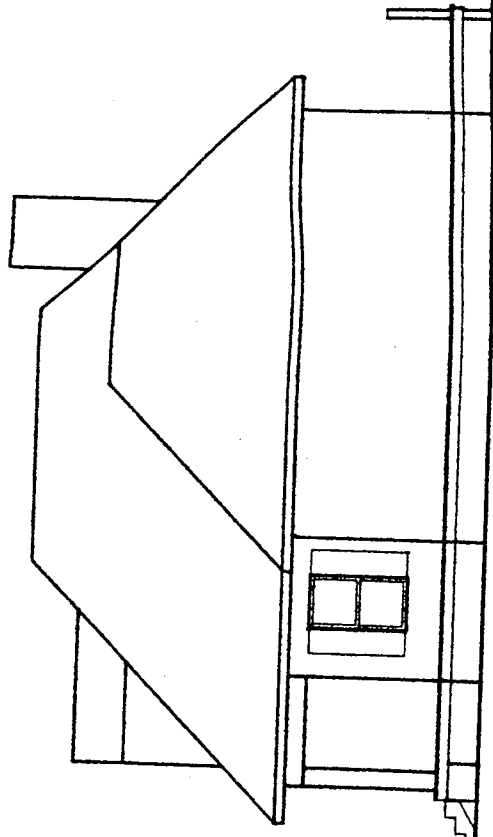


REAR ELEVATION
SCALE 1/8"=1'-0"

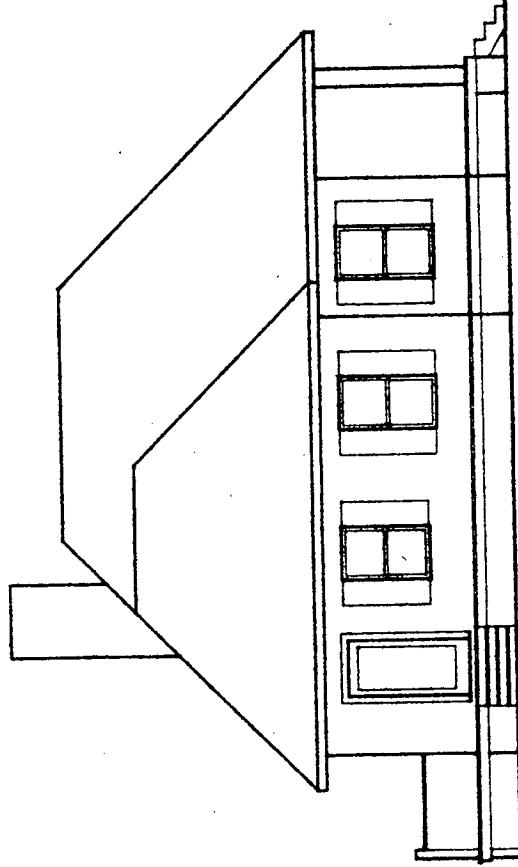


BUILDING SECTION A
SCALE 1/8" = 1'-0"

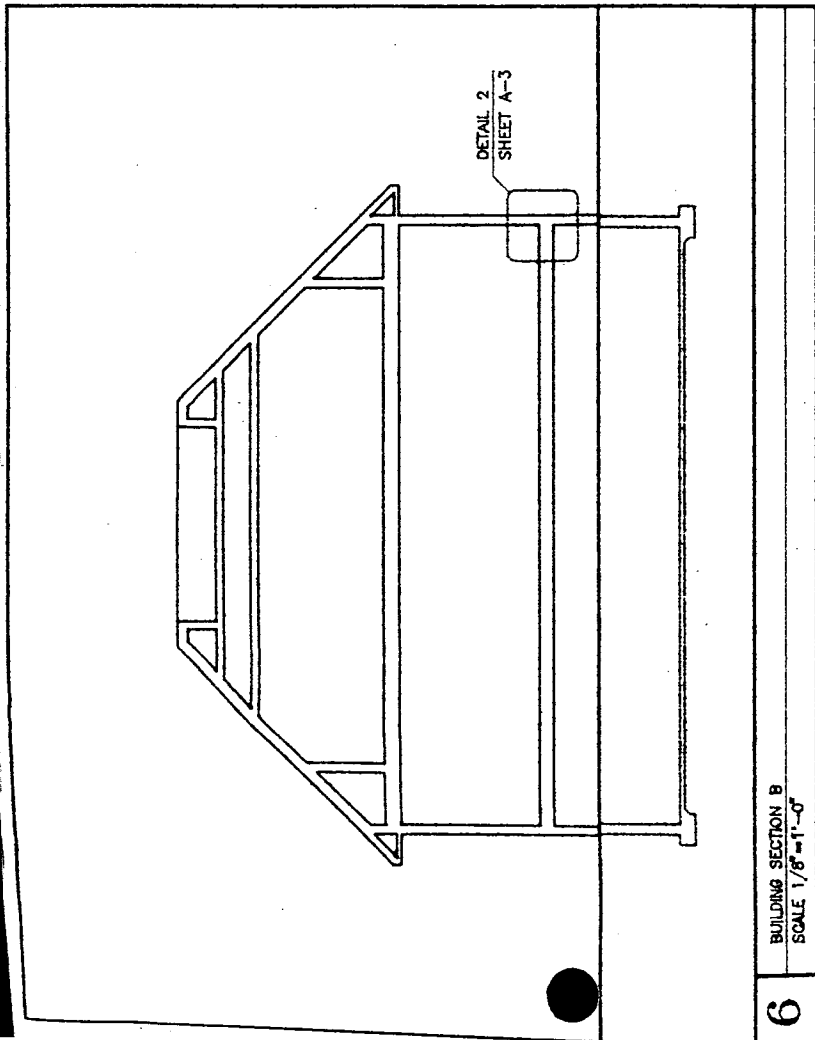
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4 RIGHT SIDE ELEVATION (FACING FRONT)
SCALE 1/8" = 1'-0"

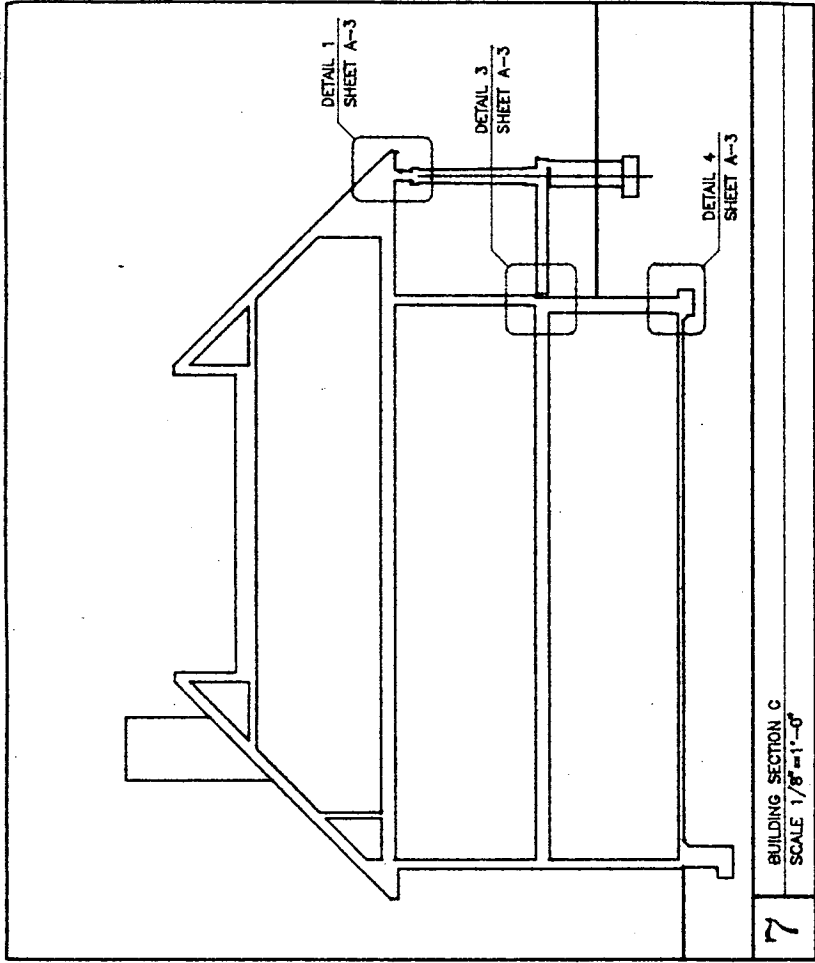


LEFT SIDE ELEVATION (FACING FRONT)
SCALE 1/8" = 1'-0"



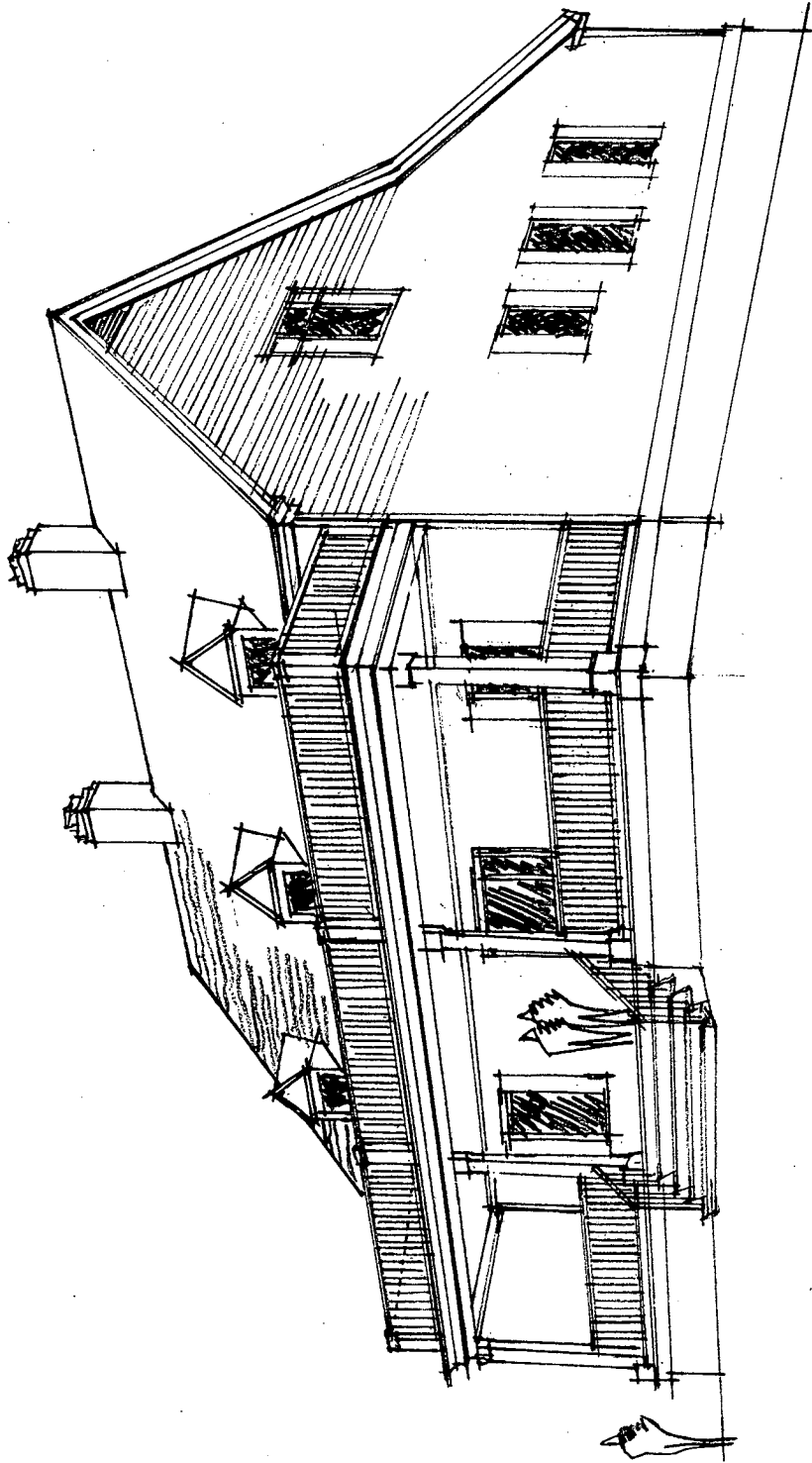
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BUILDING SECTION B
SCALE 1/8"=1'-0"



7

BUILDING SECTION C
SCALE 1/8"=1'-0"

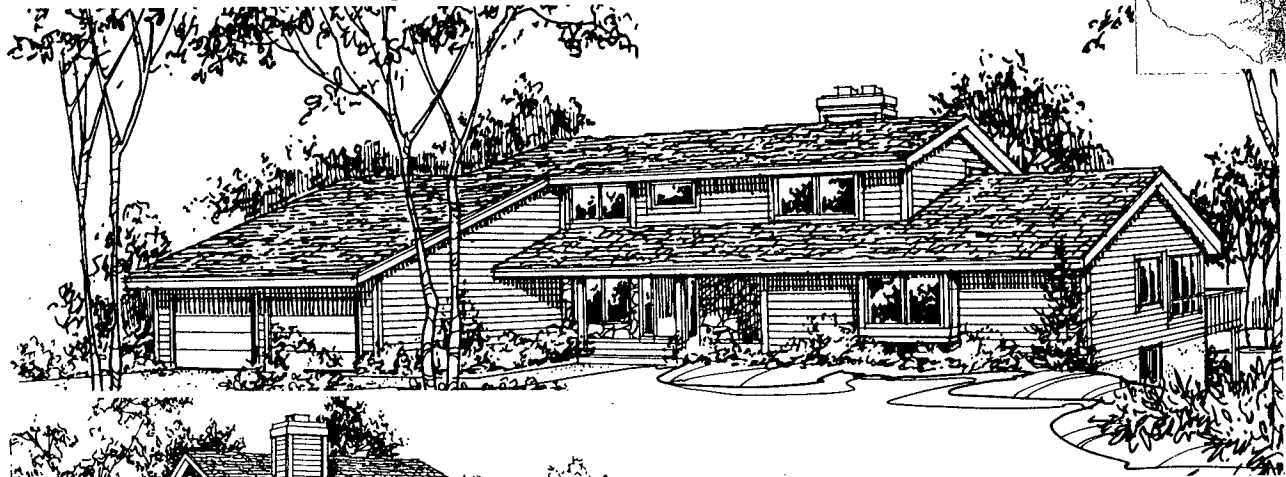
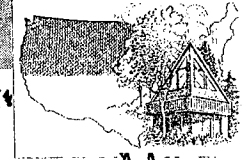


4113 JONES BRIDGE ROAD - REAR

PLAN SPONSORS.



* JONES BRIDGE



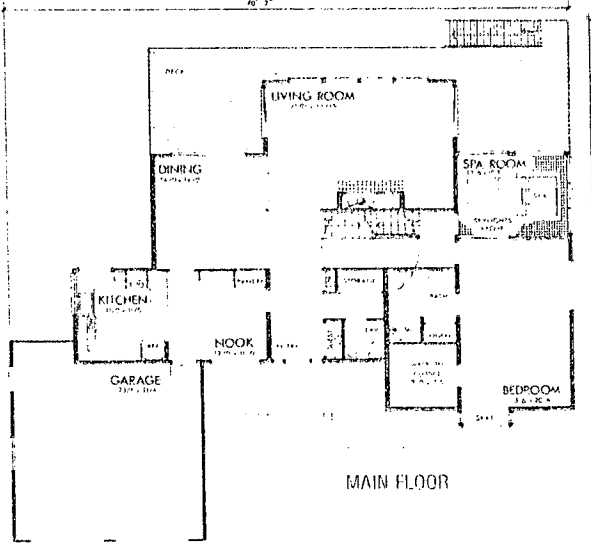
PLAN H-2114-1B FRONT VIEW



PLAN H-2114-1B REAR VIEW

Designed for Outdoor Living

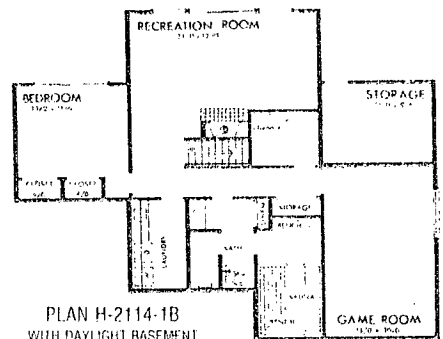
- Dining room, living room, and spa are oriented toward the full-width deck extending across the rear of the home.
- Floor-to-ceiling windows, vaulted ceilings, and a fireplace are featured in the living room.
- Spa room has tile floor, operable skylights, and private access through connecting master suite.
- Upper level offers two bedrooms, spacious bathroom, and a balcony view of the living room and scenery beyond.



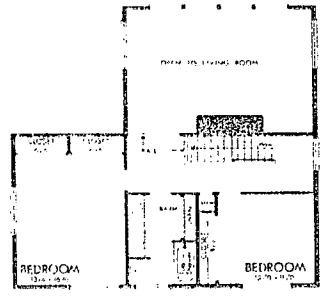
MAIN FLOOR



PLAN H-2114-1A WITHOUT BASEMENT



PLAN H-2114-1B WITH DAYLIGHT BASEMENT



UPPER FLOOR

Plans H-2114-1A & -1B

Bedrooms: 3-4 Baths: 2½-3½

Space:
 Upper floor: 732 sq. ft.
 Main floor: 1,682 sq. ft.
 Spa room: 147 sq. ft.

Total living area: 2,561 sq. ft.
 Basement: approx. 1,386 sq. ft.
 Garage: 547 sq. ft.

Exterior Wall Framing: 2x6

Foundation options:
 Daylight basement (Plan H-2114-1B).
 Crawlspace (Plan H-2114-1A).
 (Foundation & framing conversion diagram available — see order form.)

Blueprint Price Code:
 Without basement: D
 With basement: F

Plans H-2114-1A & -1B



PLAN SPONSORS:



JONES BRIDGE KitchenAid LUTRON. For the way it's made.

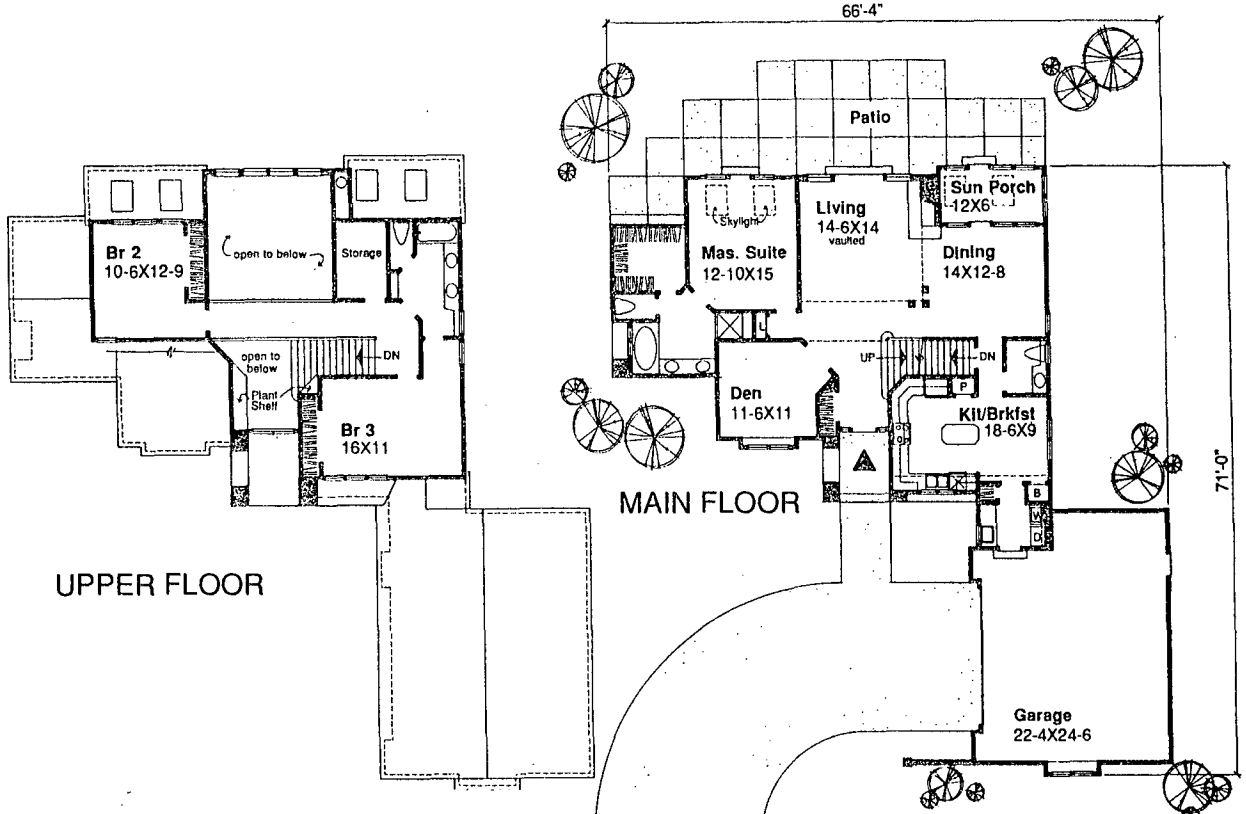


Vertical Sophistication

- This sophisticated two-story demands a second look. The vertical theme of the elegant exterior is also evident in the home's interior.
- Off the two-story-high foyer is a vaulted living room with a patio view and a two-sided fireplace that is shared with the adjoining dining room. Tall columns visually separate the two formal rooms.

- A skylighted sun porch to the rear of the dining room is surrounded in glass.
- A spacious island kitchen and breakfast area combine at the front of the home. A laundry room connects the kitchen to the garage.
- The elegant master suite is privately positioned to the rear. A skylighted sitting area and a private bath with dual sinks are featured.
- Two more bedrooms and another full bath share the upper floor.

Plan B-92019	
Bedrooms: 3	Baths: 2½
Living Area:	
Upper floor	767 sq. ft.
Main floor	1,554 sq. ft.
Total Living Area:	2,321 sq. ft.
Standard basement	1,554 sq. ft.
Garage	547 sq. ft.
Exterior Wall Framing:	2x4
Foundation Options:	
Standard basement	
(Typical foundation & framing conversion diagram available—see order form.)	
BLUEPRINT PRICE CODE:	C



Plan B-92019



PLAN SPONSORS:



JONES BRIDGE



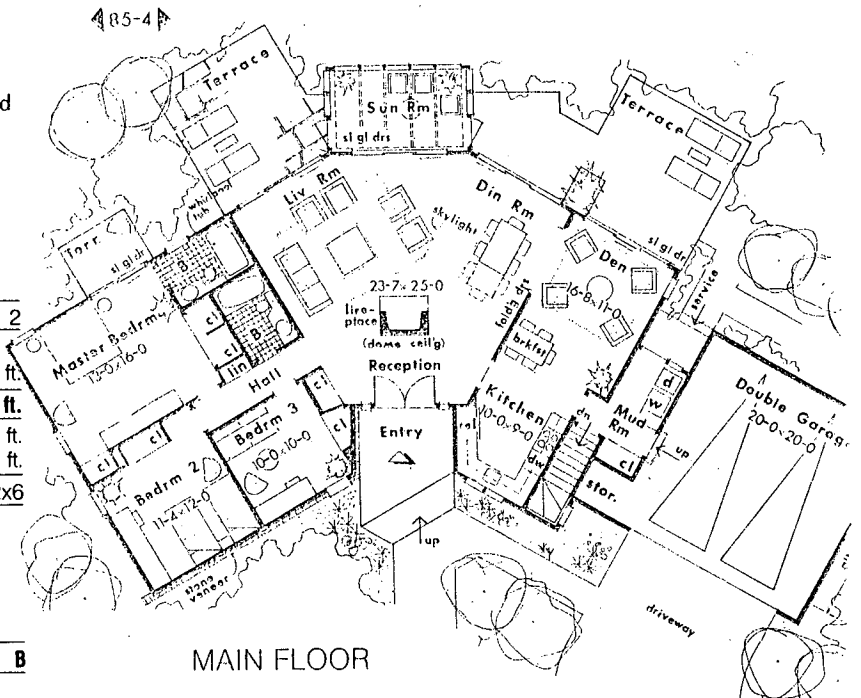
Angled Solar Design

- This passive solar design with a six-sided core is angled to capture as much sunlight as possible.
- Finished in natural vertical cedar planks and stone veneer, this contemporary three-bedroom requires minimum maintenance.
- Double doors at the entry open into the spacious living and dining areas.
- The formal area features a domed ceiling with skylights, a free-standing fireplace and three sets of sliding glass doors. The central sliders lead to a glass-enclosed sun room.
- The bright U-shaped kitchen is an extension of the den; sliding glass doors lead to one of two large backyard terraces.
- The master bedroom, in a quiet sleeping wing, boasts ample closets, a private terrace and a luxurious bath, complete with a whirlpool tub.



VIEW OF LIVING ROOM
LOOKING INTO
DINING ROOM

Plan K-534-L	
Bedrooms: 3	Baths: 2
Living Area:	
Main floor	1,647 sq. ft.
Total Living Area:	1,647 sq. ft.
Standard basement	1,505 sq. ft.
Garage	400 sq. ft.
Exterior Wall Framing:	2x4 or 2x6
Foundation Options:	
Standard basement	
Slab	
(Typical foundation & framing conversion diagram available—see order form.)	
BLUEPRINT PRICE CODE:	B



PLAN SPONSORS:



Luxury Home with Outdoor Orientation

- Courtyards, patios and a sun room orient this multi-level home to the outdoors.
- Interior design is carefully zoned for informal family living and formal entertaining.
- Expansive kitchen includes large island and plenty of counter space, and a sunny nook adjoins the kitchen.
- Soaring entry area leads visitors to the vaulted living room with fireplace, or to the more casual family room.
- An optional fourth bedroom off the foyer would make an ideal home office.
- Upstairs master suite includes luxury bath and big walk-in closet.
- Daylight basement version adds nearly 1,500 more square feet of space.

Plans P-7659-3A & -3D

Bedrooms: 3-4 Baths: 3

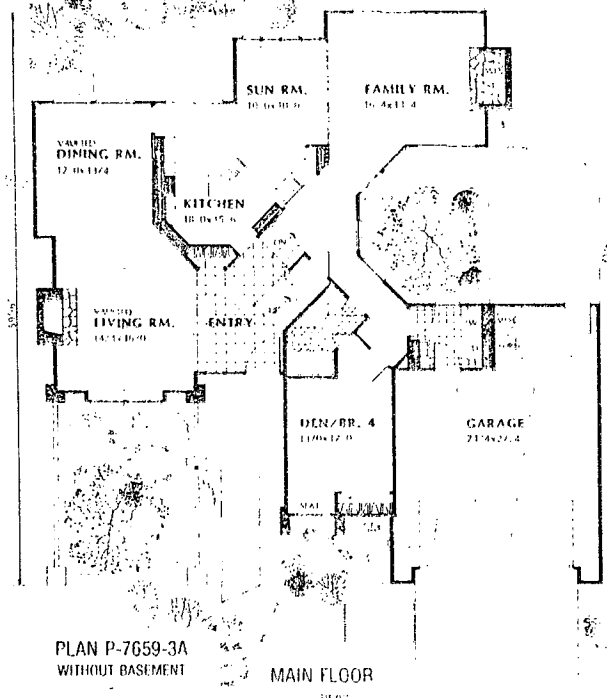
Space:
Upper floor: 1,050 sq. ft.
Main floor: 1,498 sq. ft.

Total living area: 2,548 sq. ft.
Basement: 1,490 sq. ft.
Garage: 583 sq. ft.

Exterior Wall Framing: 2x4

Foundation options:
Daylight basement, Plan P-7659-3D.
Crawlspace, Plan P-7659-3A.
(Foundation & framing conversion diagram available — see order form.)

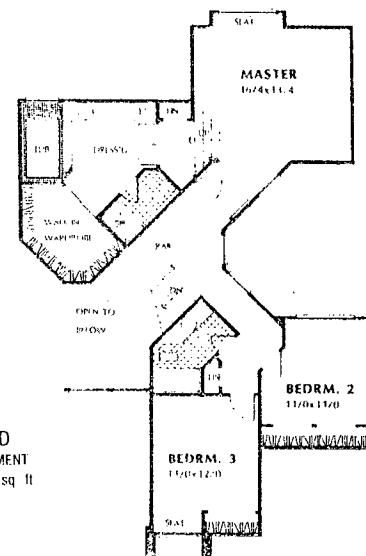
Blueprint Price Code: D



PLAN P-7659-3A
WITHOUT BASEMENT

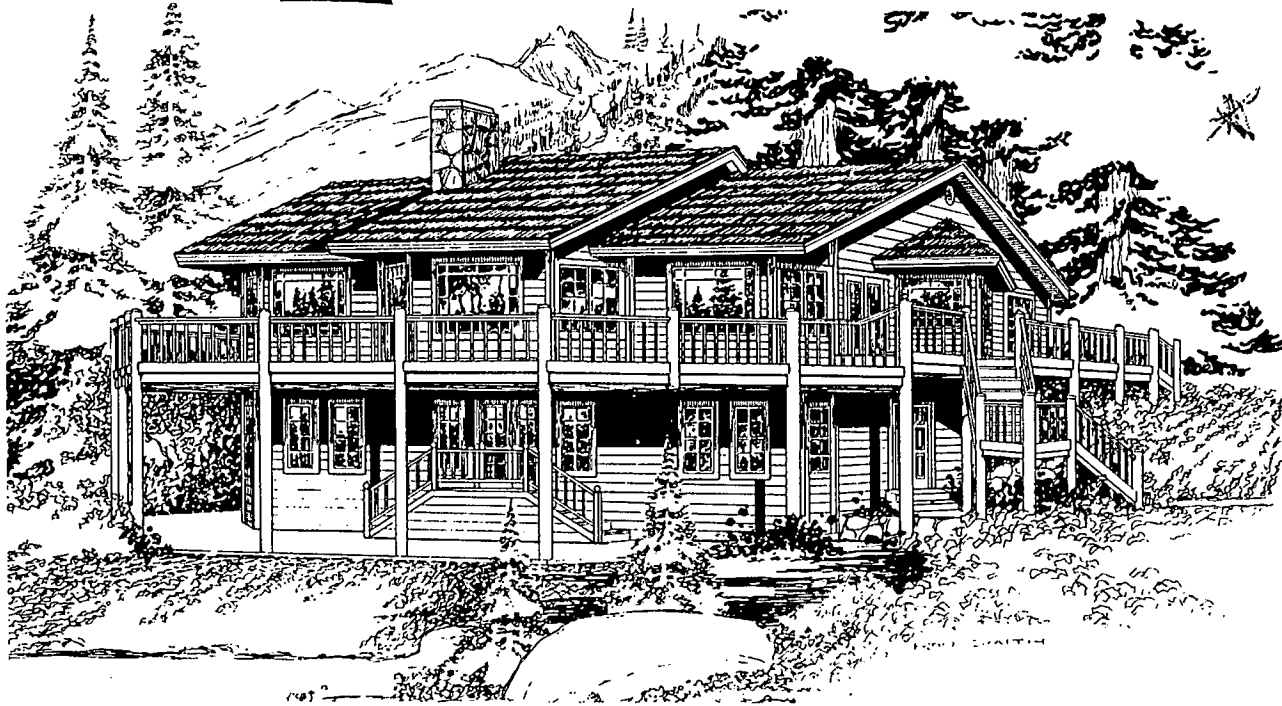
MAIN FLOOR

PLAN P-7659-3D
WITH DAYLIGHT BASEMENT
BASEMENT LEVEL: 1490 sq ft



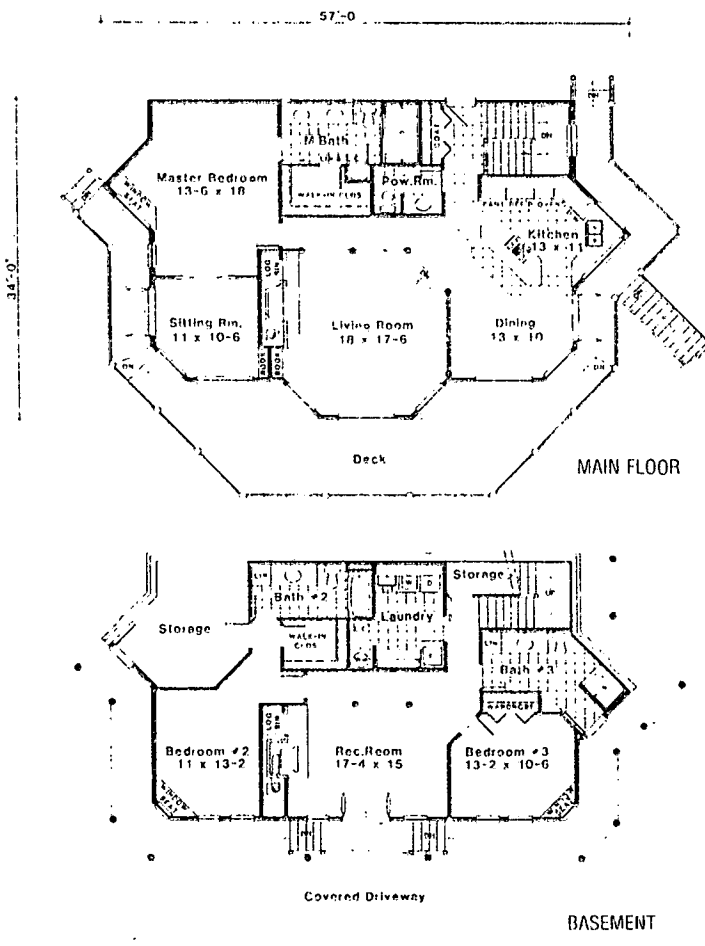
UPPER FLOOR

Plans P-7659-3A & -3D



Panoramic View for Scenic Site

- Large deck offers a panoramic view and plenty of space for outdoor living.
- Sunken living room features big windows and impressive fireplace.
- Living room is set off by railings, not walls, to create visual impact of big space.
- Master suite includes private bath, large closet, sitting area and access to deck.
- Lower level includes rec room with fireplace, two bedrooms, two baths and large utility area.



Plan NW-779

Bedrooms: 3

Baths: 3 1/2

Space:

Main floor: 1,450 sq. ft.

Lower floor: 1,242 sq. ft.

Total living area: 2,692 sq. ft.

Exterior Wall Framing: 2x6

Foundation options:

Daylight basement only.

(Foundation & framing conversion diagram available — see order form.)

Blueprint Price Code:

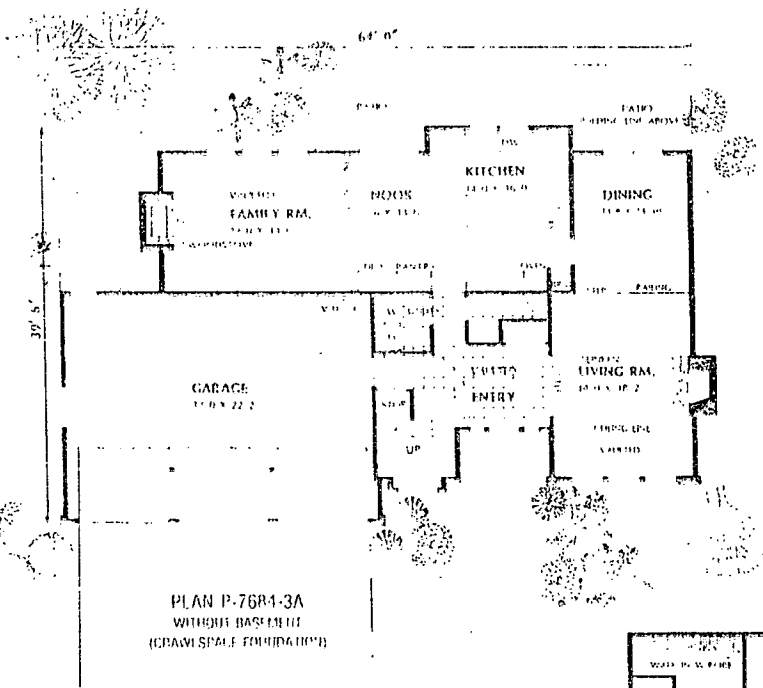
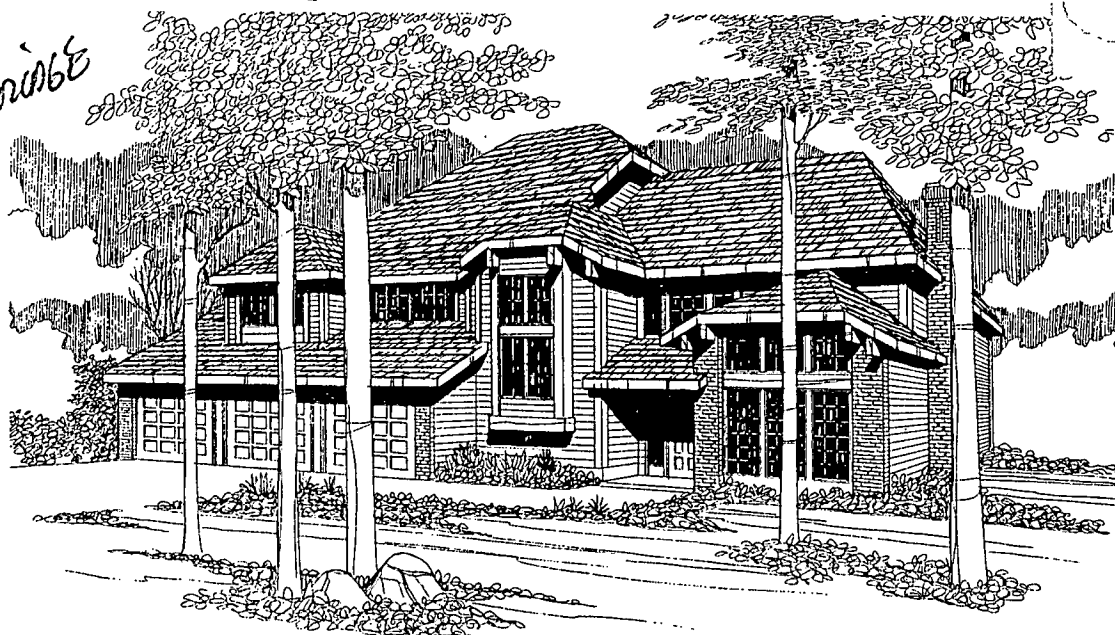
D

Plan NW-779

PLAN SPONSORS:

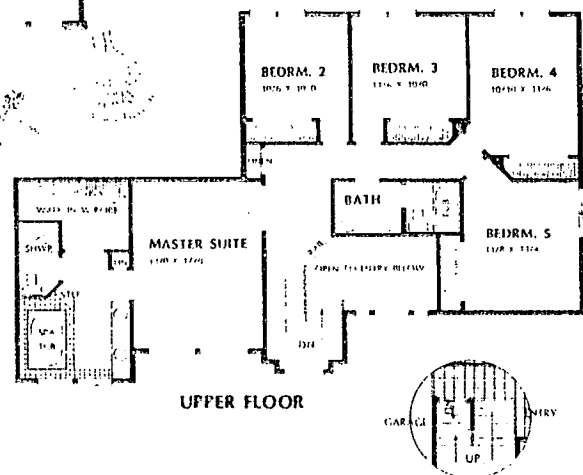


*
DLS BRIDGE



Five-Bedroom Home with Spacious Kitchen

Main floor: 1,355 sq. ft.
Upper floor: 1,369 sq. ft.
Total living area: 2,724 sq. ft.
(Not counting basement or garage)



Blueprint Price Code D

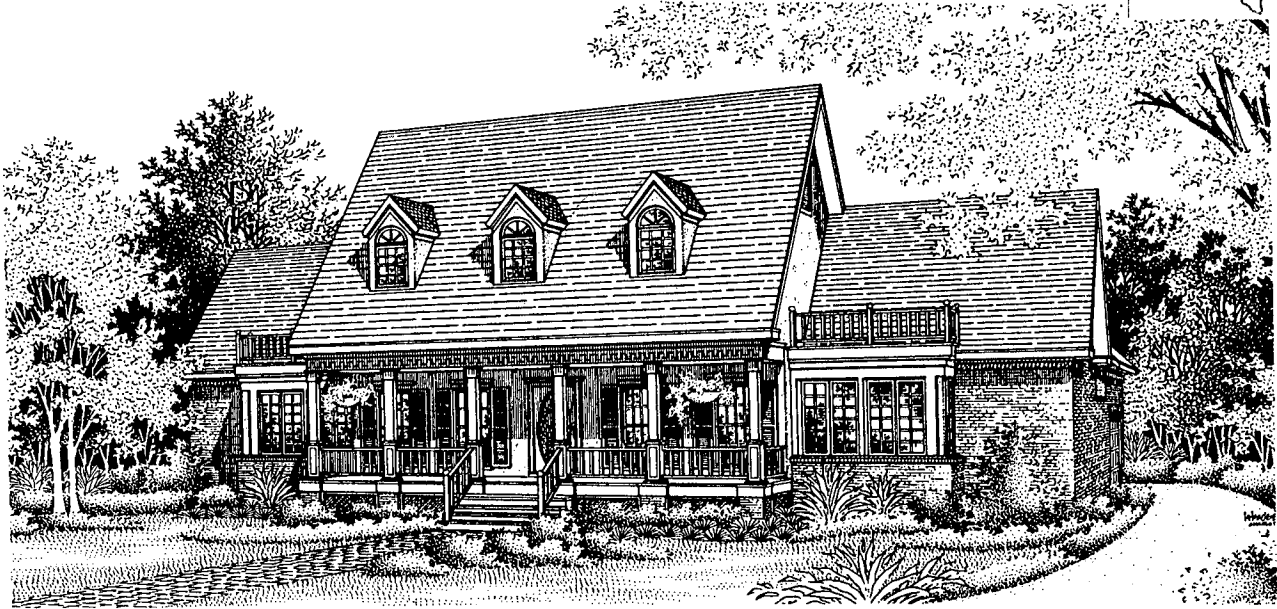
Plans P-7684-3A & -3D

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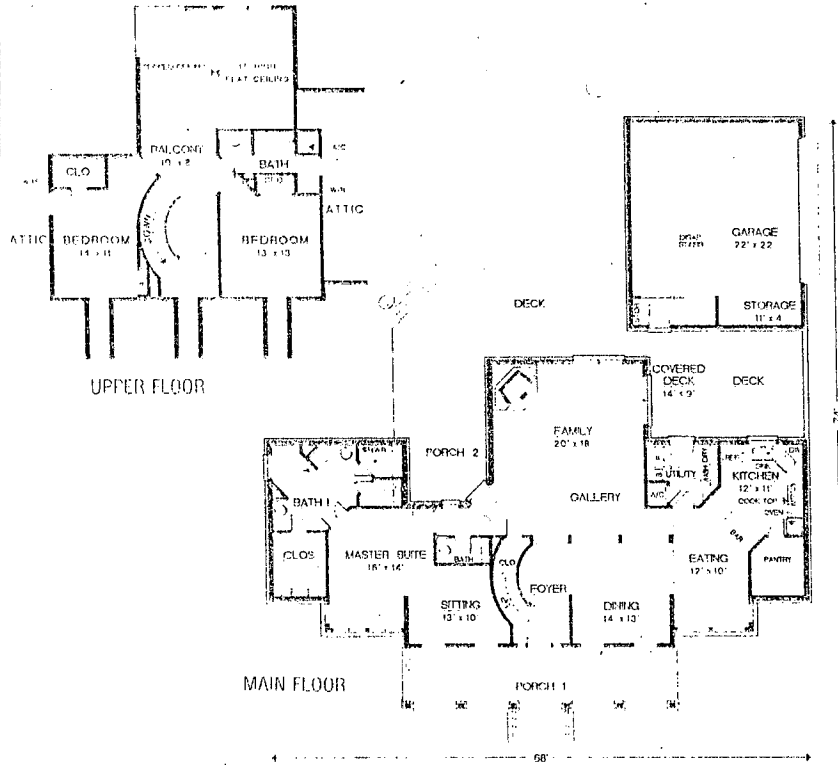
* JONES BRIDGE



You Asked For It!



- Our most popular plan in recent years, E-3000, has now been downsized for affordability, without sacrificing character or excitement.
- Exterior appeal is created with a covered front porch with decorative columns, triple dormers and rail-topped bay windows.
- The floor plan has combined the separate living and family rooms available in E-3000 into one spacious family room with corner fireplace, which flows into the dining room through a columned gallery.
- The kitchen serves the breakfast eating room over an angled snack bar, and features a huge walk-in pantry.
- The stunning main-floor master suite offers a private sitting area, a walk-in closet and a dramatic, angled master bath.
- There are two large bedrooms upstairs accessible via a curved staircase with bridge balcony.



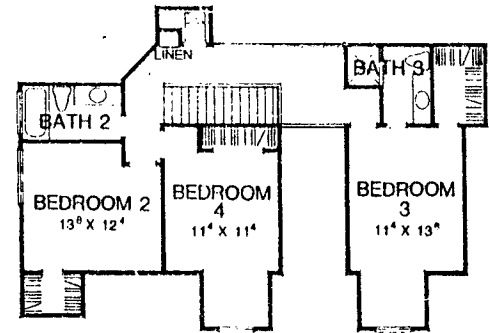
Plan E-2307

Bedrooms: 3	Baths: 2½
Space:	
Upper floor:	595 sq. ft.
Main floor:	1,765 sq. ft.
Total living area:	2,360 sq. ft.
Basement:	1,765 sq. ft.
Garage:	484 sq. ft.
Storage area:	44 sq. ft.

Exterior Wall Framing:	2x6
Foundation options:	
Standard basement.	
Crawlspace.	
Slab.	
(Foundation & framing conversion diagram available — see order form.)	
Blueprint Price Code:	C



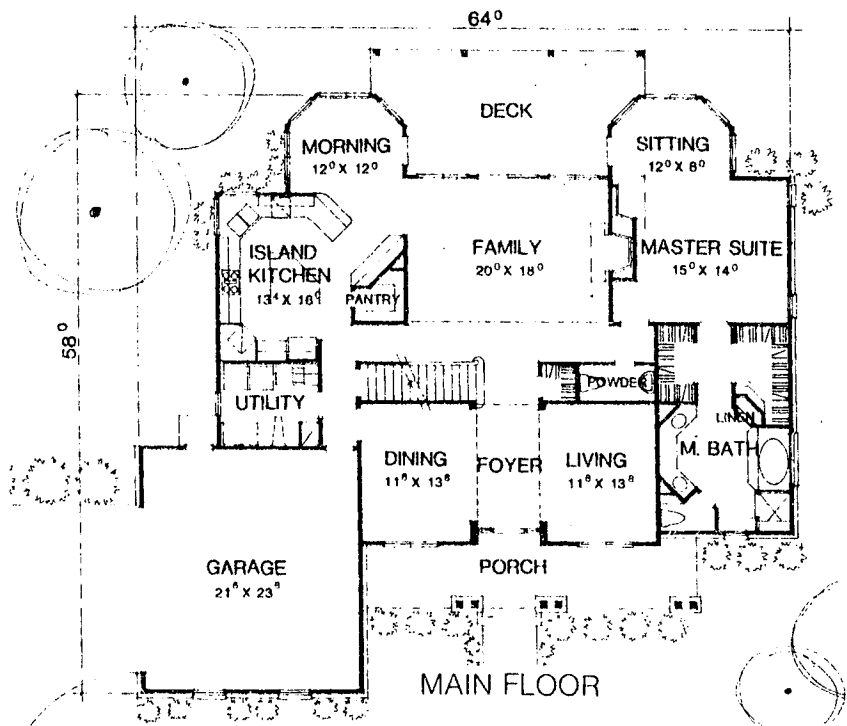
**JONES BRINBLE*



UPPER FLOOR

Dramatic Rear Views

- Columned front and rear porches offer country styling to this elegant two-story.
- A dramatic array of windows stretches along the informal, rear-oriented living areas, including the central family room, the adjoining kitchen and morning room and the secluded master suite.
- The modern kitchen features an angled snack counter, a walk-in pantry, and a work island, in addition to the bayed morning room.
- The formal dining room and living room flank the two-story-high foyer.
- The exciting master suite has a sunny bayed sitting area with its own fireplace, large walk-in closets and a luxurious private bath with dual vanities, spa tub and separate shower.
- The centrally located stairway leads to three extra bedrooms and two full baths on the upper level.



MAIN FLOOR

Plan DD-2912

Bedrooms: 4 **Baths:** 3½

Space:

Upper floor 916 sq. ft.

Main floor 2,046 sq. ft.

Total Living Area **2,962 sq. ft.**

Basement 1,811 sq. ft.

Garage 513 sq. ft.

Exterior Wall Framing 2x4

Foundation options:

Standard Basement

Crawlspace

Slab

(Foundation & framing conversion diagram available—see order form.)

Blueprint Price Code **D**



REAR VIEW

Plan DD-2912

PLAN SPONSORS:



* JOE BRIDGE

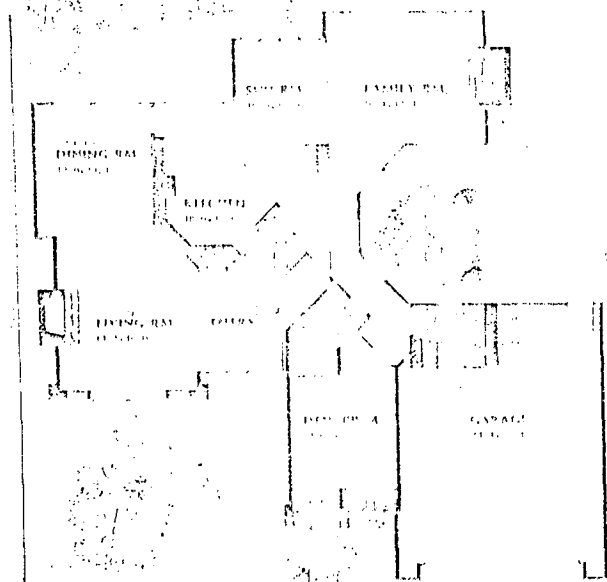


Luxury Home with Outdoor Orientation

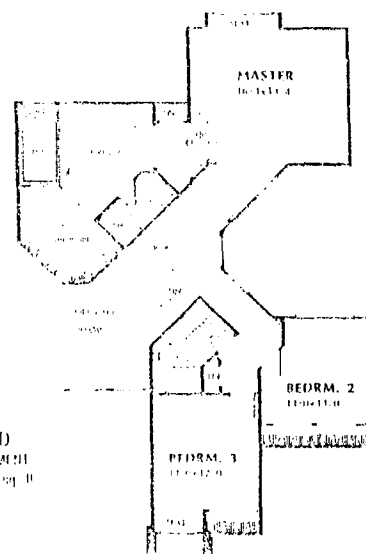
- Courtyards, patios and a sun room orient this multi-level home to the outdoors.
- Interior design is carefully zoned for informal family living and formal entertaining.
- Expansive kitchen includes large island and plenty of counter space, and a sunny nook adjoins the kitchen.
- Soaring entry area leads visitors to the vaulted living room with fireplace, or to the more casual family room.
- An optional fourth bedroom off the foyer would make an ideal home office.
- Upstairs master suite includes luxury bath and big walk-in closet.
- Daylight basement version adds nearly 1,500 more square feet of space.

Plans P-7659-3A & -3D

Bedrooms: 3-4	Baths: 3
Space:	
Upper floor:	1,050 sq. ft.
Main floor:	1,498 sq. ft.
Total living area:	2,548 sq. ft.
Basement:	1,490 sq. ft.
Garage:	583 sq. ft.
Exterior Wall Framing:	2x4
Foundation options:	
Daylight basement, Plan P-7659-3D.	
Crawlspace, Plan P-7659-3A.	
(Foundation & framing conversion diagram available — see order form.)	
Blueprint Price Code:	D



PLAN P-7659-3A
WITHOUT BASEMENT
MAIN FLOOR



UPPER FLOOR

PLAN P-7659-3D
WITH DAYLIGHT BASEMENT
BASEMENT LEVEL 1,490 sq. ft.

Plans P-7659-3A & -3D



Angled Solar Design

- This passive solar design with a six-sided core is angled to capture as much sunlight as possible.
- Finished in natural vertical cedar planks and stone veneer, this contemporary three-bedroom requires minimum maintenance.
- Double doors at the entry open into the spacious living and dining areas.
- The formal area features a domed ceiling with skylights, a free-standing fireplace and three sets of sliding glass doors. The central sliders lead to a glass-enclosed sun room.
- The bright U-shaped kitchen is an extension of the den; sliding glass doors lead to one of two large backyard terraces.
- The master bedroom, in a quiet sleeping wing, boasts ample closets, a private terrace and a luxurious bath, complete with a whirlpool tub.



VIEW OF LIVING ROOM
LOOKING INTO
DINING ROOM

Plan K-534-L

Bedrooms: 3 Baths: 2

Living Area:
Main floor 1,647 sq. ft.

Total Living Area: 1,647 sq. ft.

Standard basement 1,505 sq. ft.

Garage 400 sq. ft.

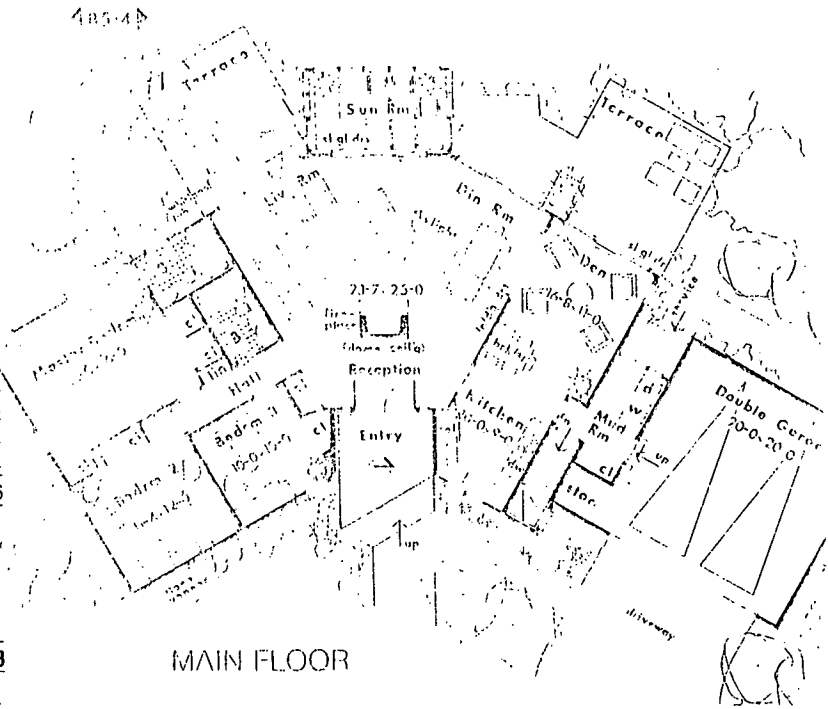
Exterior Wall Framing: 2x4 or 2x6

Foundation Options:

Standard basement
Slab

(Typical foundation & framing conversion diagram available—see order form.)

BLUEPRINT PRICE CODE: B



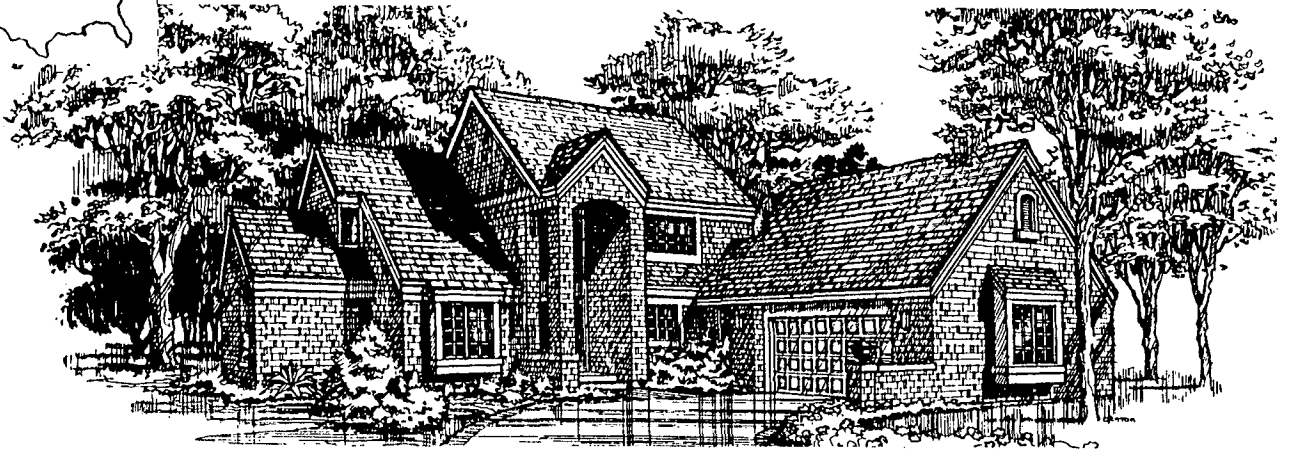
MAIN FLOOR



MAN SPONSORS:



JONES BRIDGE
KitchenAid For the way it's made.
LUTRON.



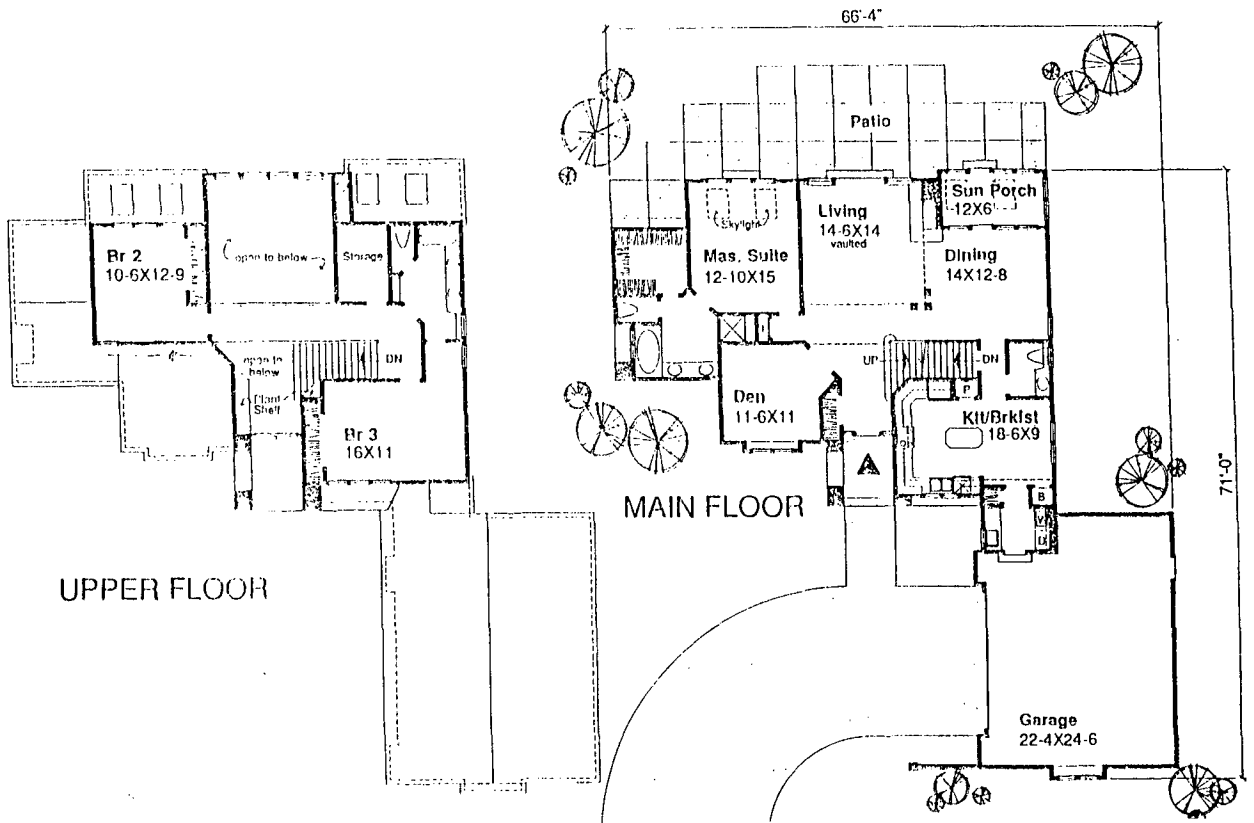
Vertical Sophistication

- This sophisticated two-story demands a second look. The vertical theme of the elegant exterior is also evident in the home's interior.
- Off the two-story-high foyer is a vaulted living room with a patio view and a two-sided fireplace that is shared with the adjoining dining room. Tall columns visually separate the two formal rooms.

- A skylighted sun porch to the rear of the dining room is surrounded in glass.
- A spacious island kitchen and breakfast area combine at the front of the home. A laundry room connects the kitchen to the garage.
- The elegant master suite is privately positioned to the rear. A skylighted sitting area and a private bath with dual sinks are featured.
- Two more bedrooms and another full bath share the upper floor.

Plan B-92019

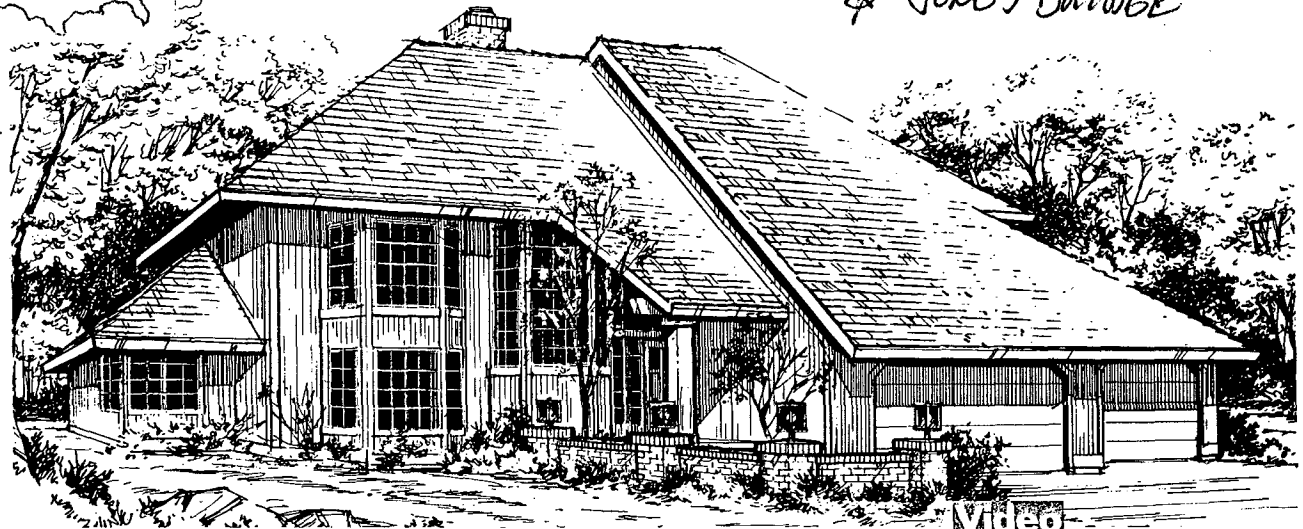
Bedrooms: 3	Baths: 2½
Living Area:	
Upper floor	767 sq. ft.
Main floor	1,554 sq. ft.
Total Living Area:	2,321 sq. ft.
Standard basement	1,554 sq. ft.
Garage	547 sq. ft.
Exterior Wall Framing:	2x4
Foundation Options:	
Standard basement	
(Typical foundation & framing conversion diagram available—see order form.)	
BLUEPRINT PRICE CODE: C	



Plan B-92019



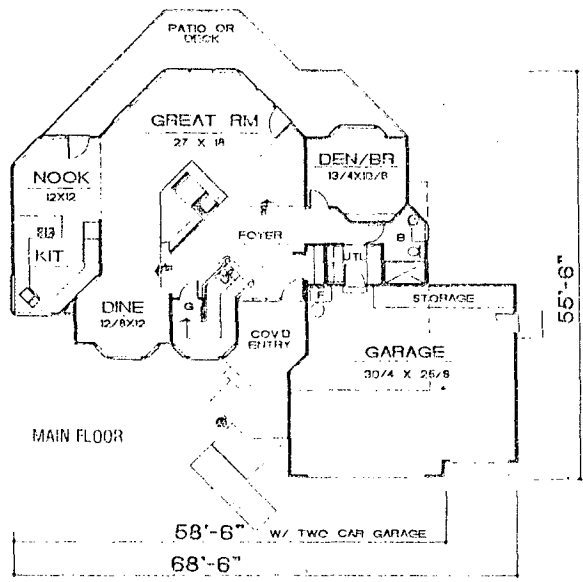
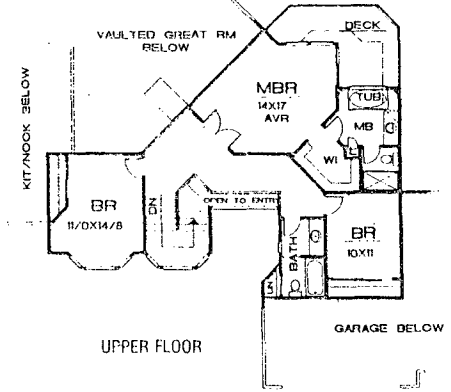
** JONES BARRIDGE*



Gracious Open-Concept Floor Plan

**Video
Graphic
HOME
TOURS**

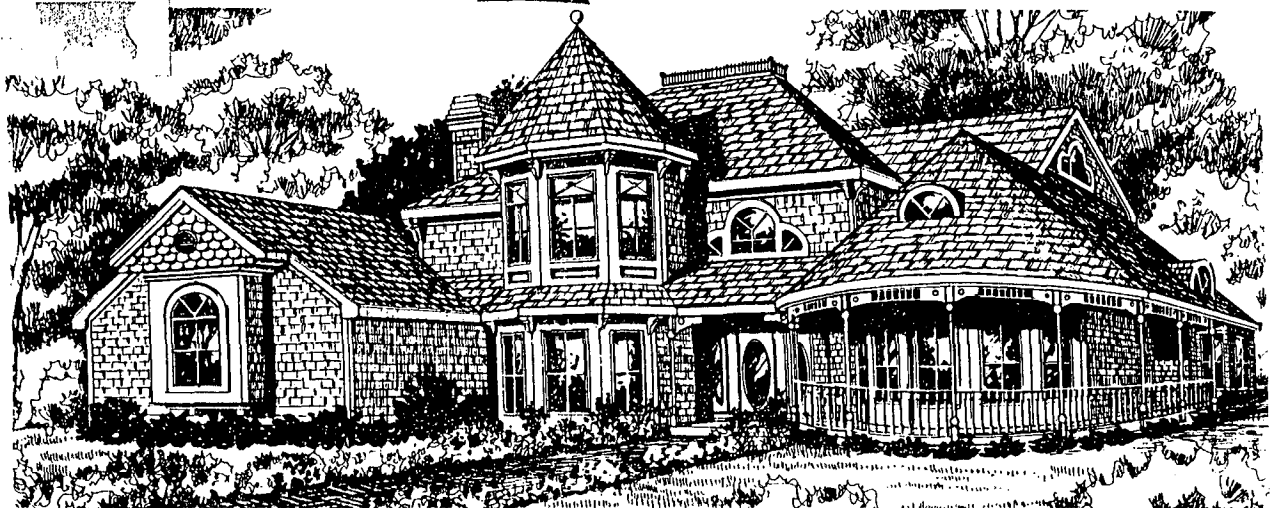
- A striking and luxurious contemporary, this home offers great space and modern styling.
- A covered entry leads to a spacious foyer, which flows into the sunken dining and Great Room area.
- The vaulted Great Room boasts a spectacular two-story-high fireplace, dramatic window walls and access to a rear deck or patio.
- A bright nook adjoins the open kitchen, which includes a corner window above the sink.
- The den, which could be a guest bedroom, features a bay window overlooking the deck.
- The majestic master bedroom on the second floor offers a 10-ft.-high coved ceiling, a splendid bath, a large closet and a private deck.
- Two other upstairs bedrooms share a second bath and a balcony hallway overlooking the Great Room and entry below.



Plan S-41587

Bedrooms: 3-4	Baths: 3
Living Area:	
Upper floor:	1,001 sq. ft.
Main floor:	1,550 sq. ft.
Total Living Area:	2,551 sq. ft.
Basement:	1,550 sq. ft.
Garage (three-car):	773 sq. ft.
Exterior Wall Framing:	2x6
Foundation Options:	
Daylight basement	
Standard basement	
Crawlspace	
Slab	
(Typical foundation & framing conversion diagram available—see order form.)	
BLUEPRINT PRICE CODE:	D

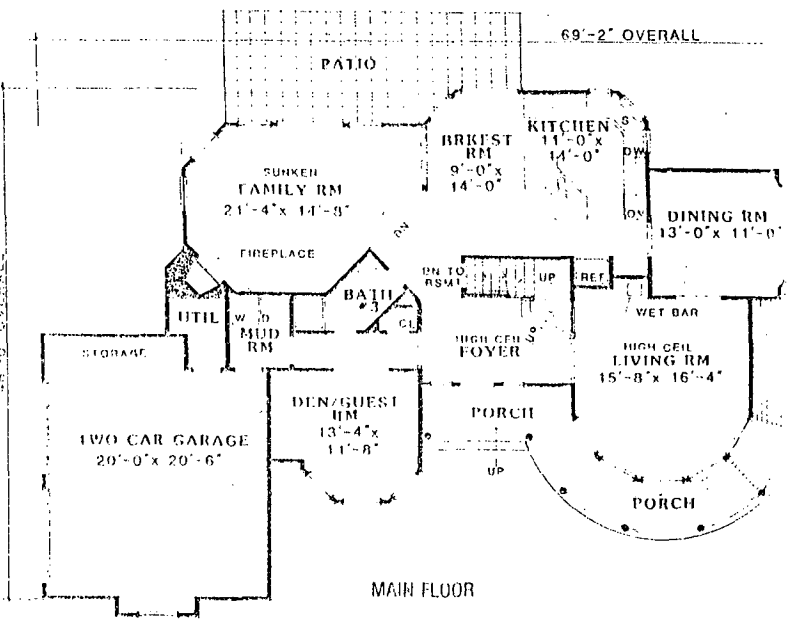
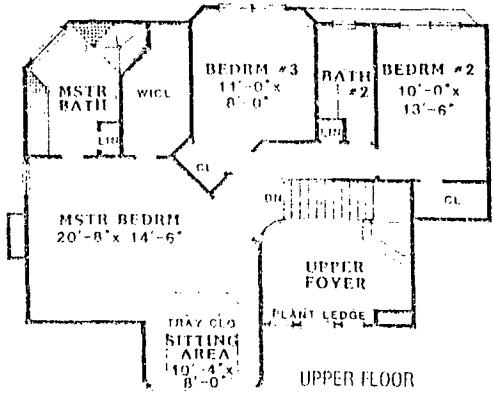
Plan S-41587



Panoramic Porch



- A gracious, ornate rounded front porch and a two-story turreted bay window lend a Victorian charm to this home.
- A two-story foyer with round-top transom windows and plant ledge above greets guests at the entry.
- The living room enjoys a panoramic view overlooking the front porch and yard.
- The formal dining room and den each feature a bay window for added style.
- The kitchen/breakfast room incorporates an angled island cooktop, from which the sunken family room with corner fireplace can be enjoyed.
- The three bedrooms and two full baths upstairs are highlighted by a stunning master suite. The master bath offers a quaint octagonal sitting area within the turret bay.

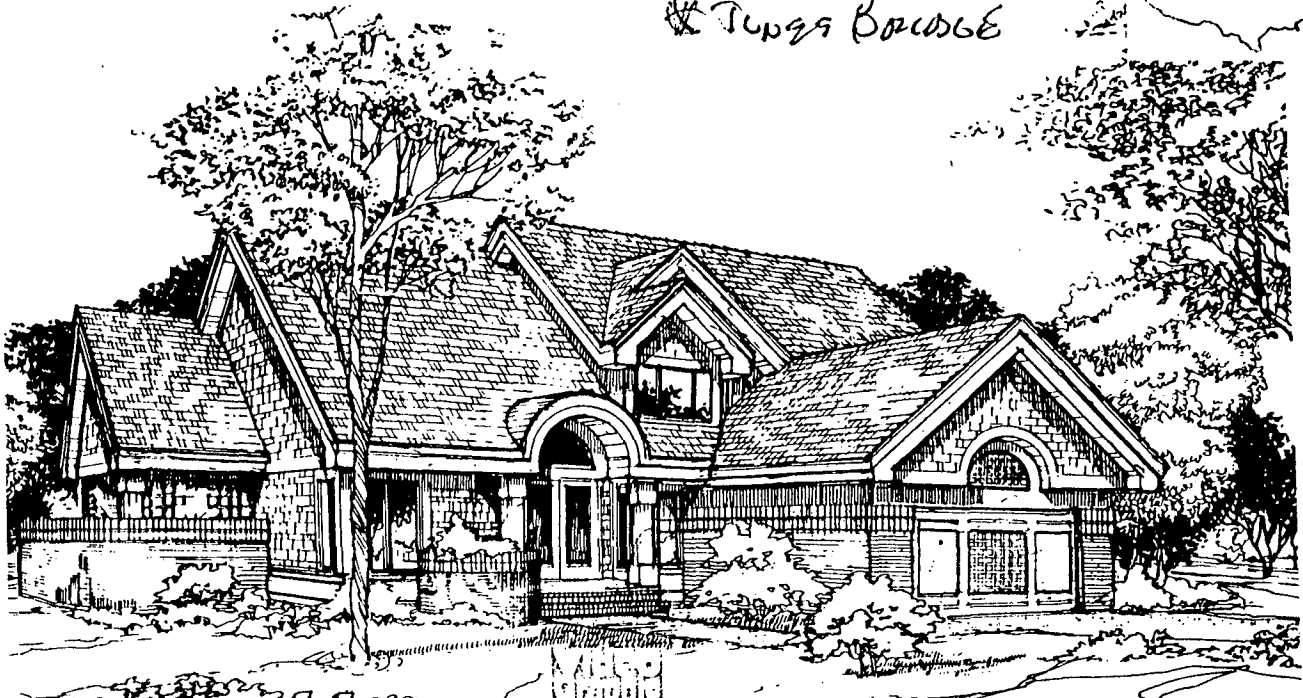


Plan AX-90307	
Bedrooms: 3-4	Baths: 3
Space:	
Upper floor:	956 sq. ft.
Main floor:	1,499 sq. ft.
Total living area:	2,455 sq. ft.
Basement:	1,499 sq. ft.
Garage:	410 sq. ft.
Exterior Wall Framing:	2x4
Foundation options:	
Standard basement.	
Slab.	
(Foundation & framing conversion diagram available — see order form.)	
Blueprint Price Code:	C

Plan AX-90307



**Tupper Bridge*



Fantastic Floor Plan!

- This is the famous house shown on the PBS "Hometime" television series.
- Impressive floor plan includes a deluxe master suite with a private courtyard, magnificent bath and large closet.
- The large island kitchen/nook combination includes a corner pantry and easy access to a rear deck.
- The spacious family room includes a fireplace and vaulted ceiling.
- The two upstairs bedrooms share a bath with double sinks.
- Note the convenient laundry room in the garage entry area.

Plan B-88015

Bedrooms: 3 **Baths:** 2½

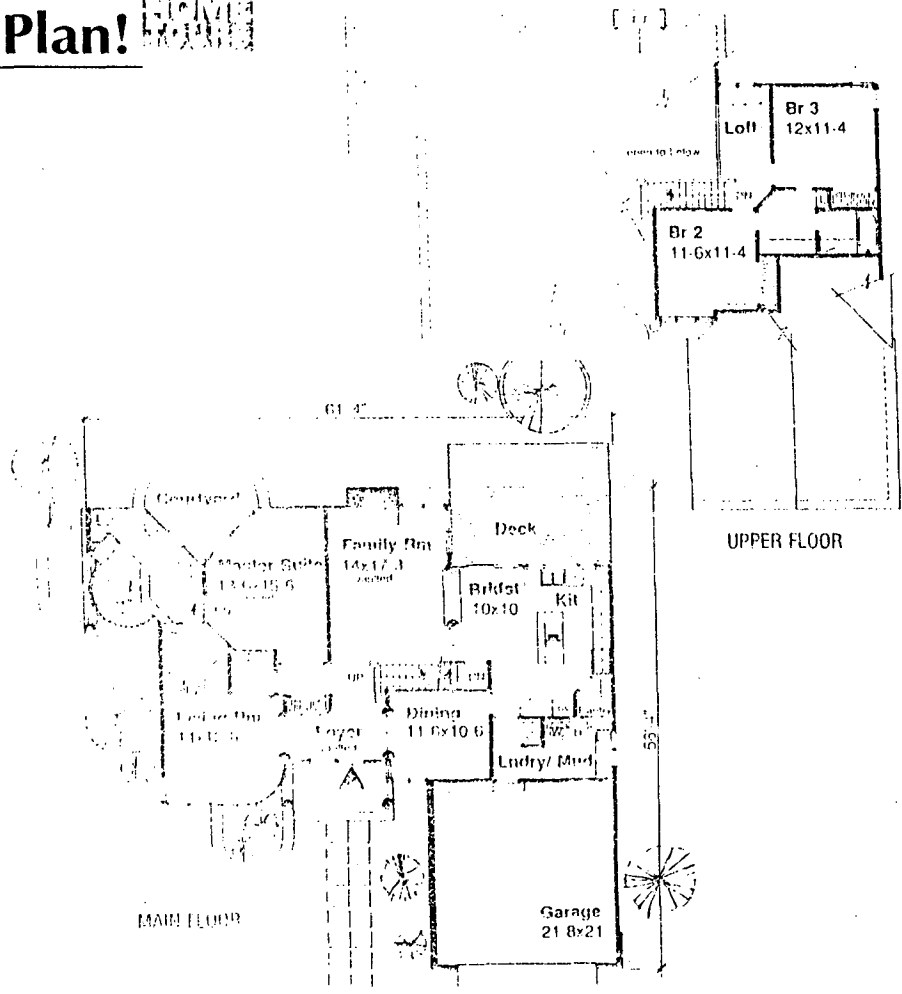
Space:
Upper floor: 534 sq. ft.
Main floor: 1,689 sq. ft.

Total living area: 2,223 sq. ft.
Basement: approx. 1,689 sq. ft.
Garage: 455 sq. ft.

Exterior Wall Framing: 2x4

Foundation options:
Standard basement only.
Foundation & framing conversion diagram available — see order form.)

Blueprint Price Code: C

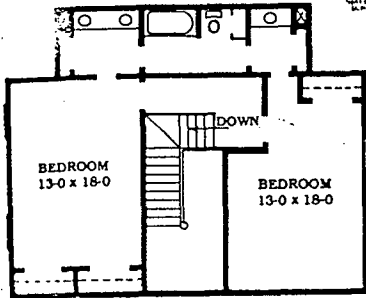


Plan B-88015

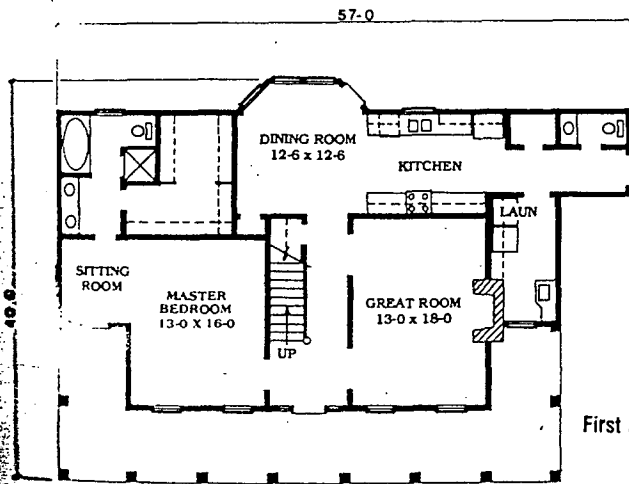


HISTORICAL

Sheltered Veranda Creates Charming Country Character



Second Floor



First Floor

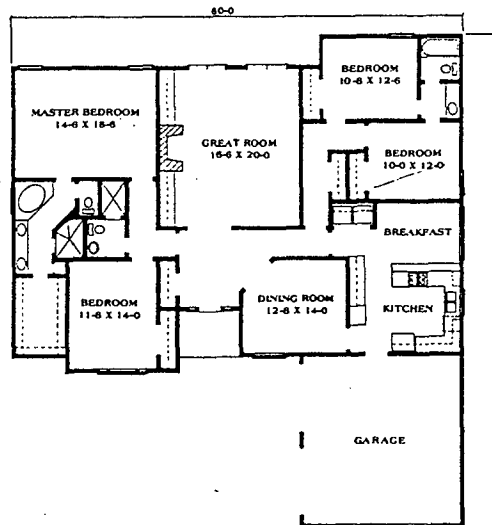
Total living space—2235 sq. ft.
 First floor—1427 sq. ft.
 Second floor—808 sq. ft.
 3 bedrooms, 2½ baths
 Shown on crawl space

- ✓ Extra-private, first-floor master suite includes its own sitting area.
- ✓ Fireplace provides the focal point in the great room.
- ✓ Dining room bay incorporates a patio door.

Order number HR-M686-AJ91. See index at the end of Historical Plans section for pricing details. Plan by Historical Replications Inc.

The diagrams presented constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.

The secondary bedroom has convenient access to a full bath.
 Counter/cabinet space is plentiful in the kitchen. The breakfast nook adjoins.
 Order number HR-M689-AJ91. See index at the end of Historical Plans section for pricing details. Plan by Historical Replications Inc.



The diagrams presented constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.

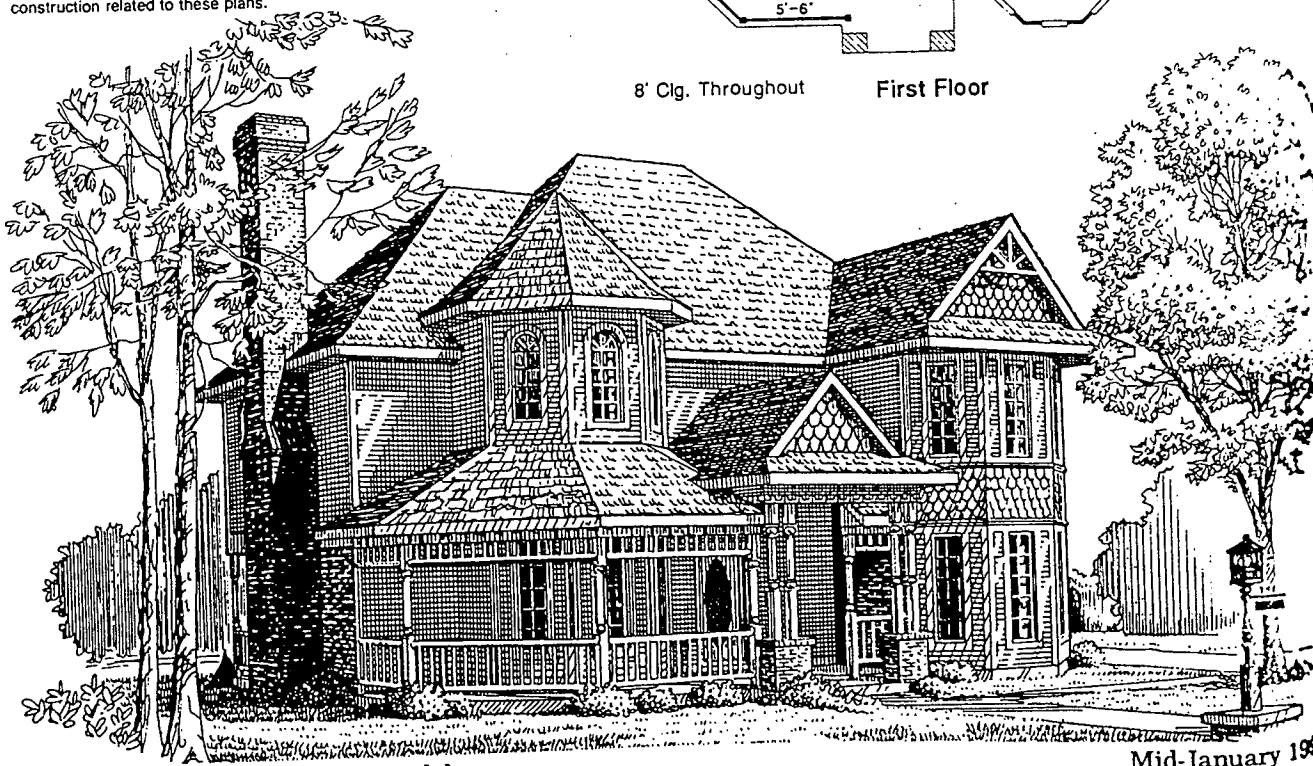
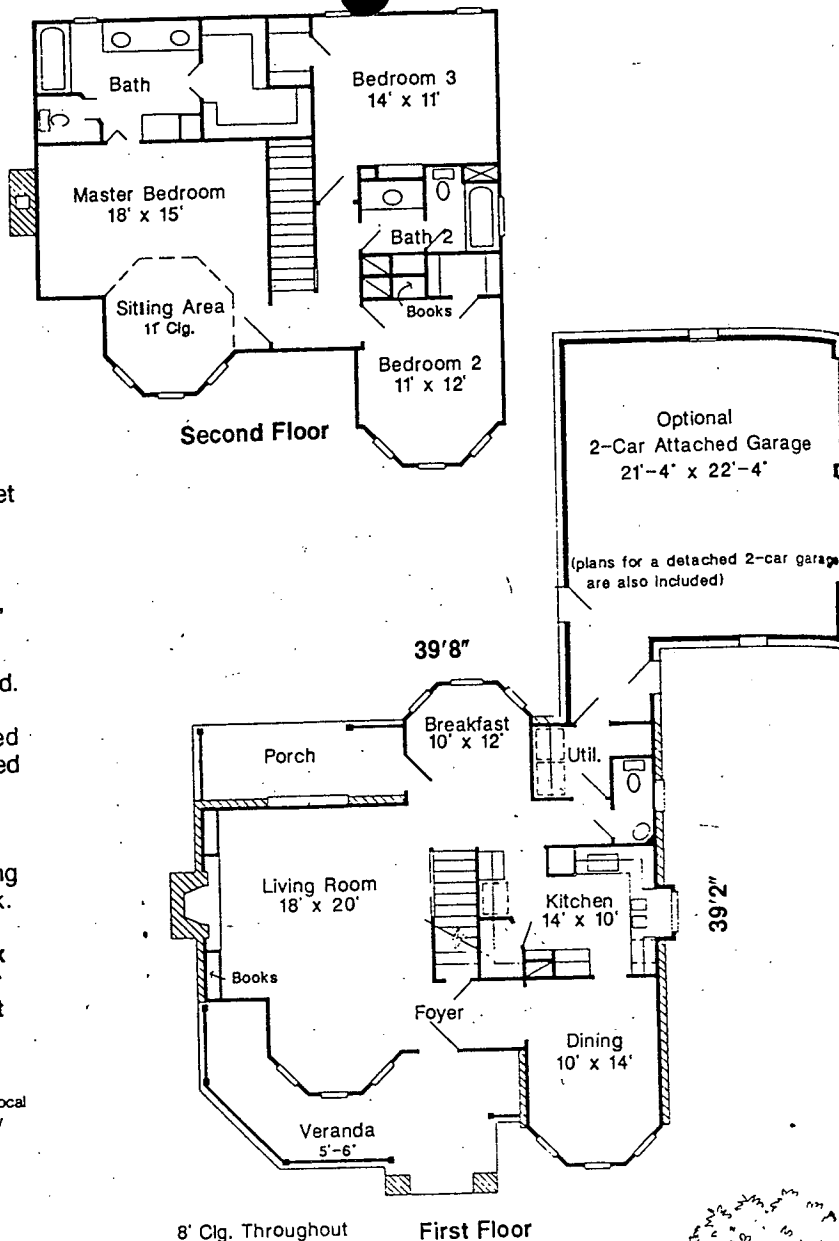
Recreate Turn-Of-The-Century Victorian Charm

First floor—997 sq. ft.
 Second floor—1069 sq. ft.
 Total living space—2066 sq. ft.
 3 bedrooms, 3 baths
 Shown with a concrete slab.

- ✓ Wrap-around veranda is dominant exterior element of this Queen Anne Victorian-style house.
- ✓ First-floor master suite includes a turret sitting area that overlooks veranda porch.
- ✓ Three bedrooms, including the master, are on the second floor. Exterior of bedroom two is reminiscent of turret, offering a unique living space for a child.
- ✓ An optional two-car garage is accessed through rear of house. It can be attached or detached.
- ✓ Bay windows in the flowing first-floor plan allows for plenty of natural lighting in the dining room and breakfast nook.

Plan number LWG-1096-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Larry W. Garnett & Associates.

The diagrams presented here constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.



HISTORICAL

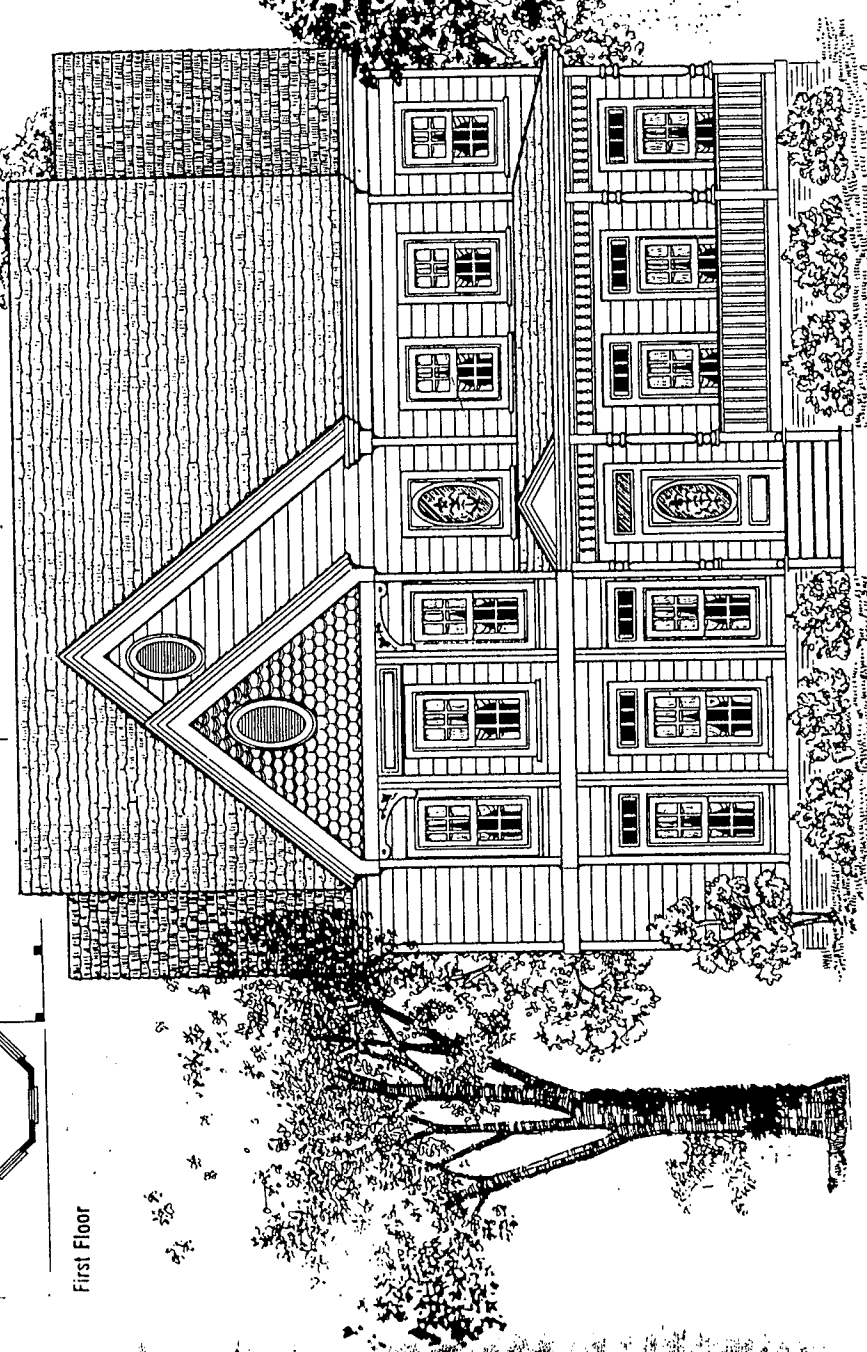
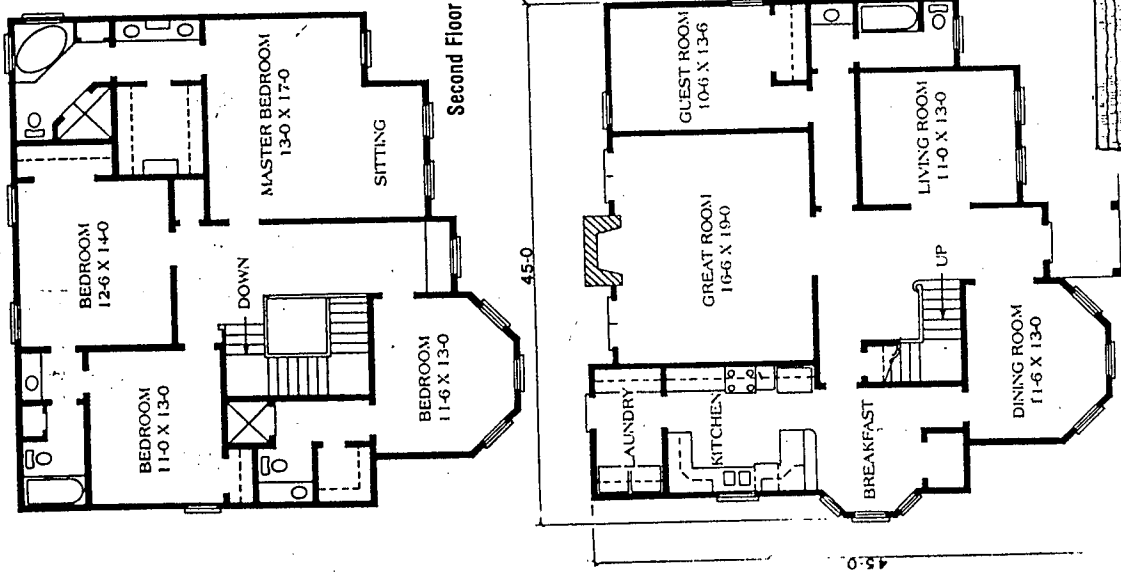
This Victorian's Secret: Compact Formal Areas, Spacious Rooms To Enjoy Every Day

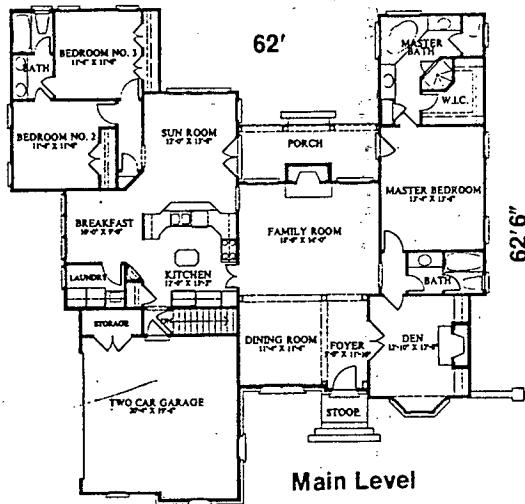
Total living space—2973 sq. ft.
First floor—1551 sq. ft.
Second floor—1422 sq. ft.
5 bedrooms, 4 baths
Shown on crawl space

- ✓ Formal living and dining rooms flank the foyer. Dining room incorporates a bay window.
- ✓ French doors frame the focal point fireplace in the great room.
- ✓ Handy snack bar separates the kitchen and breakfast nook.
- ✓ A compartmented bath is convenient to the main-floor guest room.

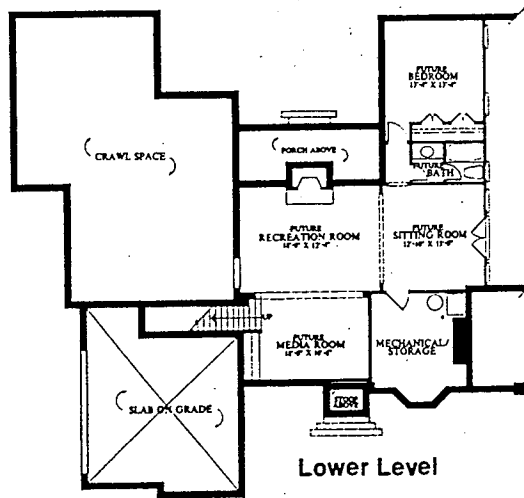
Order number HR-L696-AJ91. See index at the end of Historical Plans section for pricing details. Plan by Historical Replications Inc.

The diagrams presented constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.





Main Level



Lower Level

Finishing Lower Level Would Add 1010 Square Feet

Main floor—2120 sq. ft.
 Future living area—1010 sq. ft.
 Mechanical/storage area—155 sq. ft.
 3-4 bedrooms, 3-4 baths
 Plan includes a basement

- ✓ The open public area of this home will allow entertaining ease.
- ✓ The informal area includes a sun room, breakfast room and island kitchen. The laundry room is off of the breakfast room.
- ✓ The master suite is on the opposite side of the house from the other bedrooms. It includes a large walk-in closet and a luxury bath with spa tub.
- ✓ Bedrooms two and three share a compartmented bath. There is also a full bath near the den.
- ✓ The lower level can be finished later.

Plan number DTA-M2630-DT91-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Design Traditions Atlanta.

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MOVE-UP

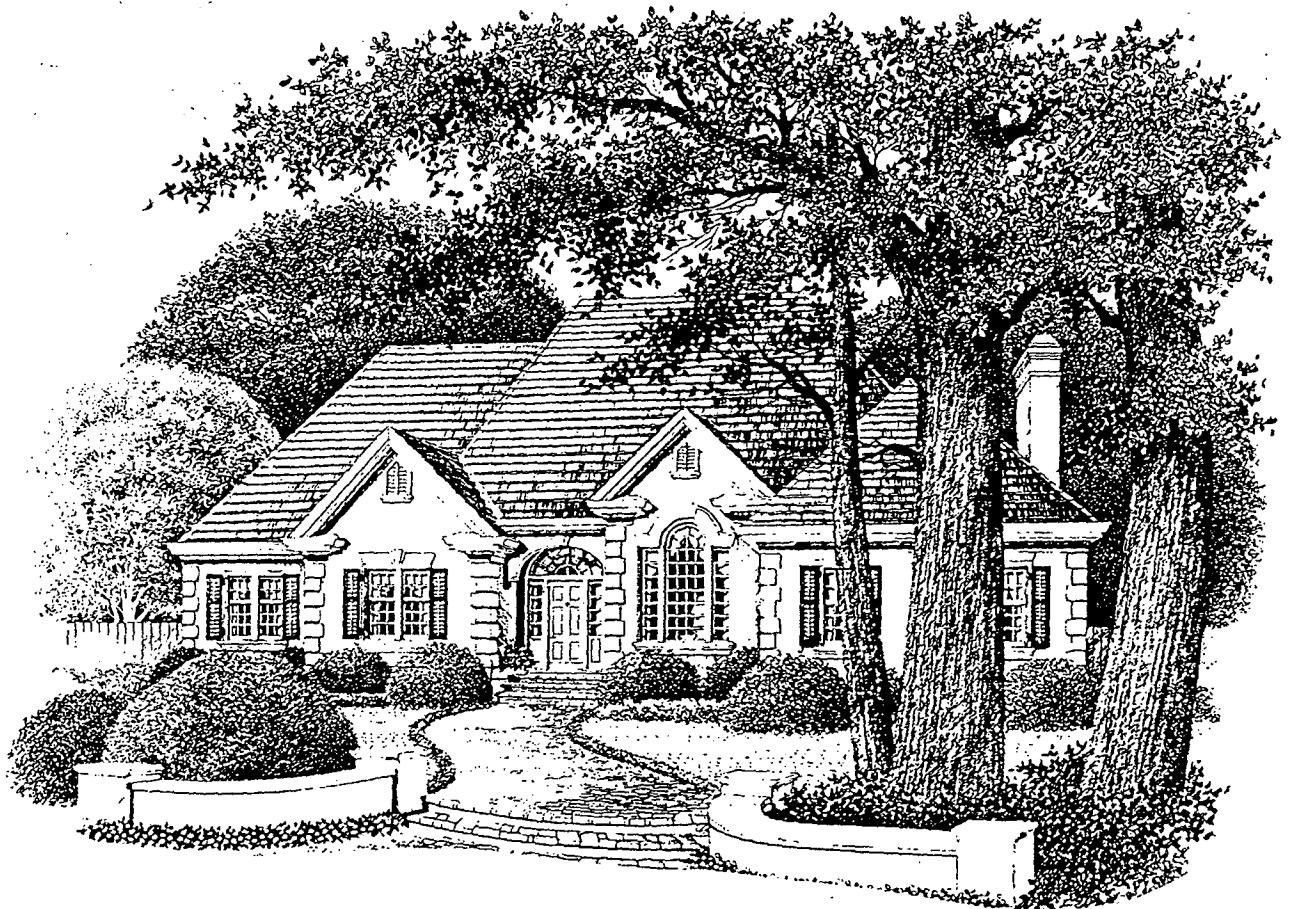
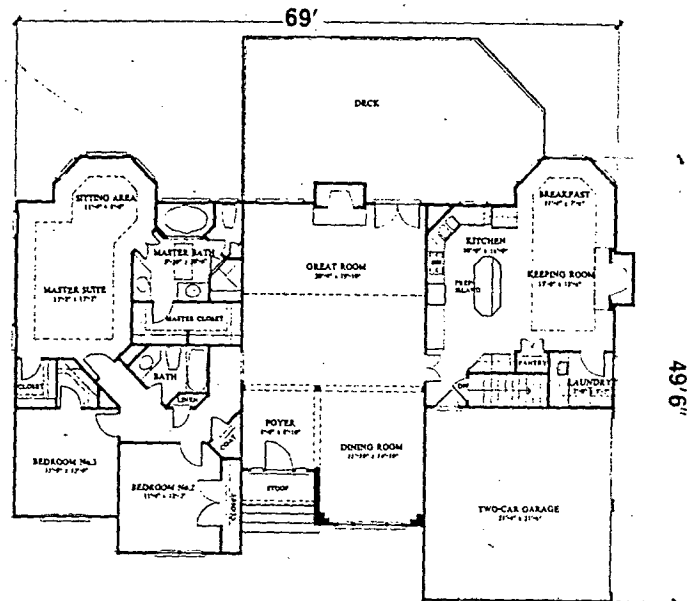
Wide-Open Spaces Allow Entertaining Ease

Total—2295 sq. ft.
3 bedrooms, 2 baths
Plan includes a basement

- ✓ The formal great room and dining room share space. The great room has a fireplace and French-door access to a rear deck.
- ✓ To the right, the kitchen, breakfast and keeping room are separated from the formal living area by double-doors. The keeping room also has a fireplace.
- ✓ The private areas of the home are on the left side of the house. The master suite includes a large bath and sitting area.
- ✓ Bedrooms two and three each have walk-in closets and share a hall bath.

Plan number DTA-M2618-DT91-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Design Traditions Atlanta.

The diagrams presented here constitute only floor plans and elevations. Purchasers are advised to consult their state and local building regulations and a state-certified architect prior to any construction related to these plans.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4113 Jones Bridge Road Meeting Date: 4/14/93
Resource: Hawkins Lane Historic District Preliminary Consultation
Case Number: n/a Tax Credit: No
Public Notice: 3/31/93 Report Date: 4/7/93
Applicant: Brendan Magner Staff: Nancy Witherell
PROPOSAL: Rear addition RECOMMEND: Proceed

The proposal concerns the construction of a two-story addition at the rear of a contributing structure in the Hawkins Lane Historic District. The frame house faces Jones Bridge Road to the east of Hawkins Lane; the west elevation of the house is entirely visible from the Lane.

In response to comments from Commissioners at the March 10, 1993, meeting, the applicant and his architect have simplified the proposal both in massing and in size. The addition formerly measured approximately 24'6" at a height of two stories, with a small one-story porch (partially enclosed) beyond. Gabled bays projected from both sides of the new addition.

The current design proposes a two-story addition measuring 18' in length with an additional 5' length at one story in height at the rear. The side gabled bays have been removed from the proposal. The roof form of the one-story rear section reflects the roof of the existing one-story kitchen and laundry room at the rear of the house. This one-story section would be removed in order to construct the two-story addition.

STAFF DISCUSSION

The staff inspected the interior of the house following the Commission meeting; the interior and additionally-accessible exterior physical evidence indicates that the one-story rear section under the gable roof was built later than the house, although it probably does not postdate the house by very many years. The shed-roofed section was built subsequently, probably in the 1940s, based on the interior features of the kitchen.

The physical condition of the exterior is poor. About five years ago, the exterior clapboard and porch posts were power-washed and then spray-painted. Most of the clapboard is not salvageable. The porch posts would need to be replicated. The original 2/2

windows are in good condition and could easily be repaired and reused. The basement floor is frequently wet; there were several inches of standing water on the day of my visit. Structural repairs have been made, particularly the installation in the basement of a steel beam running from front to rear. The house is sagging to either side, perhaps now partly in response to the installation of the beam. The second story floor visibly falls away to either side from the center.

STAFF RECOMMENDATION

The staff finds both the massing and scale of the proposed addition to be consistent with Chapter 24A and with the Hawkins Lane development guidelines. The staff also finds the removal of the rear kitchen addition to be acceptable as part of the alteration to the house. The applicant has modified the proposal since the HPC last saw it in order to address some of the concerns of Commissioners, but still wishes to propose a two-story addition that would replace the existing one-story rear addition. The two sections of the rear addition are set in slightly from the side walls of the house, and the roof ridges are lower, as well.

The materials proposed for the addition are identical to those of the house in most respects. The German lap siding on the house would be replaced, in large or entirely, to match the existing, and the addition would be clad with the same. A metal standing seam roof would be used throughout, and 2/2 windows would be used in the rear addition. (The staff suggests the use of 1/1 wood sash windows.)

The Hawkins Lane Historic District guidelines discuss massing and scale, which are primary concerns for this cluster of small-scale houses:

Exterior alterations and addition should be compatible in scale and massing and materials with existing buildings.

The massing of a new addition should defer to and complement the massing of the existing structure, not obliterate or overwhelm it.

The house is far enough distant from Hawkins Lane that the addition will have only a negligible effect on the character of the historic district.

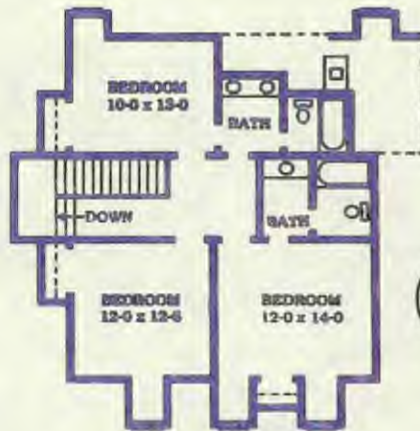
The construction of a detached garage behind the house is also proposed. The staff finds the location of both the driveway and the garage consistent with the scale of the house and the character of the historic district.

The staff recommends that further information about the retention of historic fabric, design of the garage, driveway material, and preservation and protection of trees on the site be addressed in the Historic Area Work Permit application.

Photo by Mark England/HomeStyles



Greenbriar Homes, Inc.



UPPER FLOOR

****NOTE:**
The above photographed home may have been modified by the homeowner. Please refer to floor plan and/or drawn elevation shown for actual blueprint details.



MAIN FLOOR

Colonial Classic

- Classic Colonial proportions, details, and trim recall the best of Deep South architecture.
- A full-width front porch conjures up images of long summer evenings shared with family and friends.
- The symmetrical main floor includes a dramatic entrance hall with views into the living, dining and Great rooms.
- The kitchen overlooks a sunny breakfast room with corner window walls.
- The main-floor master suite features a spacious dressing area, a walk-in closet and a private bath.
- There are three bedrooms and two bathrooms upstairs.
- The main floor boasts 10-ft. ceilings, while standard 8-ft. ceilings are found upstairs.

Plan V-2848

Bedrooms: 4 **Baths:** 3

Living Area:

Upper floor 824 sq. ft.

Main floor 2,024 sq. ft.

Total Living Area: 2,848 sq. ft.

Exterior Wall Framing: 2x6

Foundation Options:

Crawlspace

(Typical foundation & framing conversion diagram available—see order form.)

BLUEPRINT PRICE CODE: D

STANDARD FEATURES

GENERAL:

The Colonial Classic model has approximately 4872 square feet of finished living area including a finished walk out basement.

Brick, stucco or masonite siding exterior materials based on individual house type. See architectural plans for details.

The Colonial Classic model has a two car detached garage with automatic door openers.

10' ceilings on the main level 9' ceilings in the basement and 8' ceilings on the upper level.

4 bedrooms and four and a half bathrooms.

Full Laundry room on the lower level with resilient vinyl flooring.

Gourmet kitchen and light filled morning room.

Oak hardwood flooring on the main level and stain resistant carpeting on the upper and lower level. Colors to be selected by buyer.

Raised 6-panel interior doors throughout the home.

Underground utilities include sewer, water, telephone and electric services.

Double glazed windows with screens

BASEMENT:

Full walk-out basement under the main house, the back basement wall has 2x6 framing for better energy conservation.

Approximately 2,024 square feet of finished space with a full bath.

Oil forced air furnace with humidifier plus electric air-conditioning system for cooling.

Electric hot water heater - 75 gallon capacity.

400 amp electric service using copper wiring and ground fault circuit breakers.

MASTER BEDROOM SUITE:

Oversized master bedroom with walk-in closet.

Elegant step-up whirlpool tub with ceramic tile surround.

Separate ceramic tile shower enclosure.

FIRST FLOOR:

Elegant hardwood flooring throughout this level and carpeting from foyer to basement.

Crown molding in the living room, dining room and foyer.

Chair rail and panel molding in the foyer, dining room and stairway to second floor.

GOURMET KITCHEN:

Premium Merillat kitchen cabinets with choice of finishes. Tall ceilings allow for added cabinet storage space.

Formica kitchen countertops in choice of decorator colors.

Oak hardwood floors in kitchen and morning room.

General Electric "white on white" finish appliances.

SECOND FLOOR:

Three large bedrooms with dormers and two full baths.

Cultured marble vanity tops.

Premium quality vanity base.

Ceramic floor and wall to 6' height around shower or tub.

Stain resistant carpeting in bedrooms and halls in a choice of decorator colors.

EXTERIOR:

Distinctive exterior colors and material pre-selected by Greenbriar as per the color schedule.

All disturbed earth areas to be fine graded and hydroseeded or sodded.

Trees will be saved where possible but their continued life is not guaranteed.

Asphalt driveway with double width parking bay at garage doors.

Broad leaf and evergreen foundation plantings.

Full width front porch constructed with cedar decking.

SPECIAL NOTE:

Product specifications and architectural details are preliminary and are subject to change at any time at the sole discretion of Greenbriar Homes, Inc.

HAWKINS SUBDIVISION
4113 Jones Bridge Road (Tax Parcel P-863)
Preliminary Plan of Subdivision

LIST OF ADJACENT & CONFRONTING OWNERS

Hawkins
Lot 5 & Parcel ~~864~~ P-864

Ronald S. & A.C.G. HSU et al
6817 Milwood Rd.
Bethesda, MD., 20817

Parcel P.866

Joseph J. & K.M. O'CONNOR
8807 Hawkins La.
Chevy Chase, MD., 20815

Parcel P.916

4115 Jones Br Rd.
Helen T. FAIRFAX
34 Deerfield Blvd.
Hampton, Va., 23666

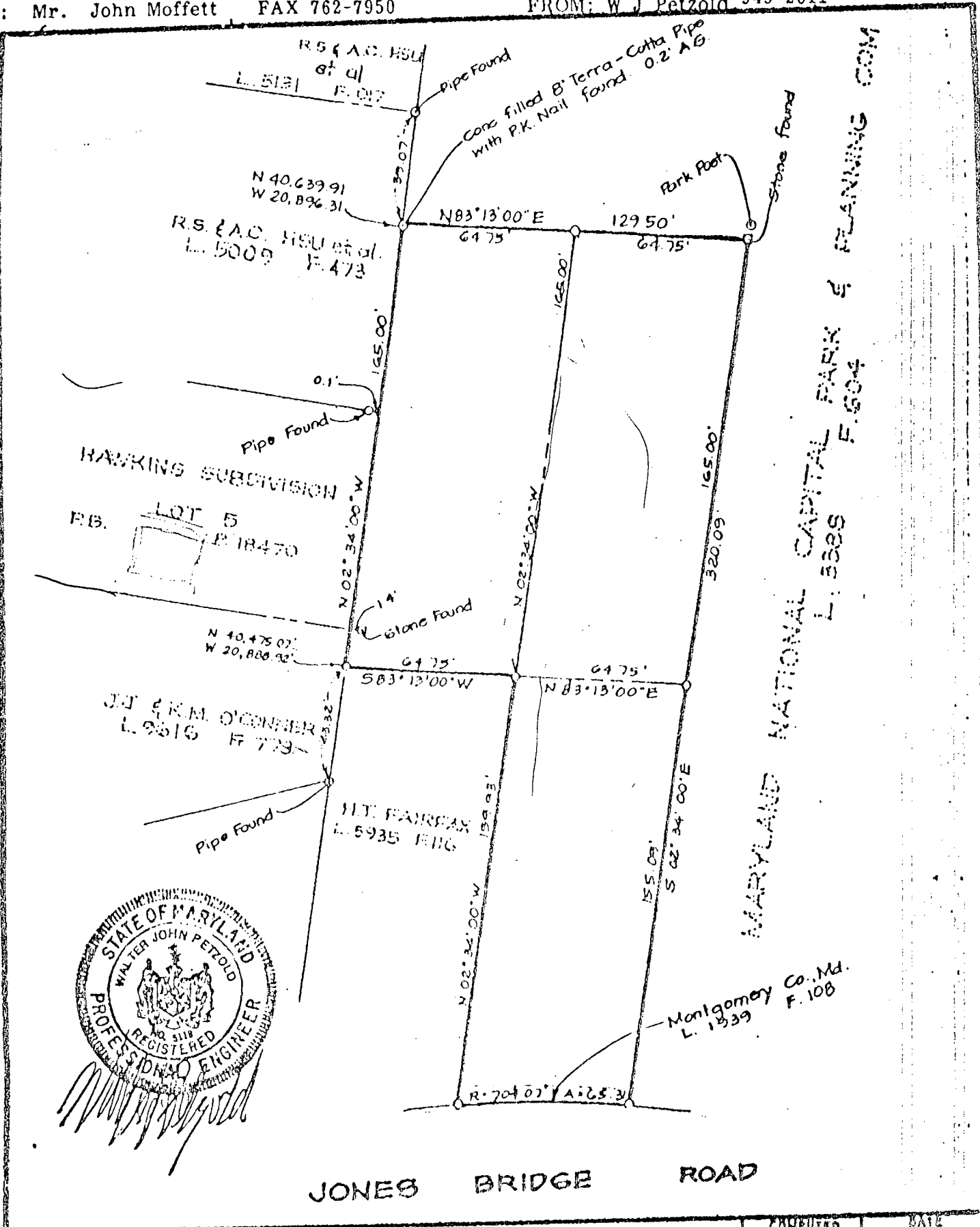
(904) 766-0978

Parcel P.539

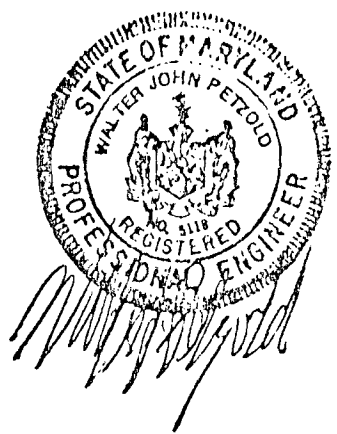
M.N.C.P&P.C.
8787 Georgia Ave.
Silver Spring, MD., 20910

TO: Mr. John Moffett FAX 762-7950

FROM: W J Petzold 949-2011



MARYLAND NATIONAL CAPITAL PARK & PLANNING COM L. 5335 F. 604



JONES BRIDGE ROAD

OYSTER, IMUS & PETZOLD INC.	PLAT OF SURVEY	COMPUTED	DATE
	John C. & Katherine Pan	CHECKED	Aug. '93
		SHEET NO.	200 KO.

Greenbriar Homes, Inc

1000 16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
(202) 833-8846 Fax

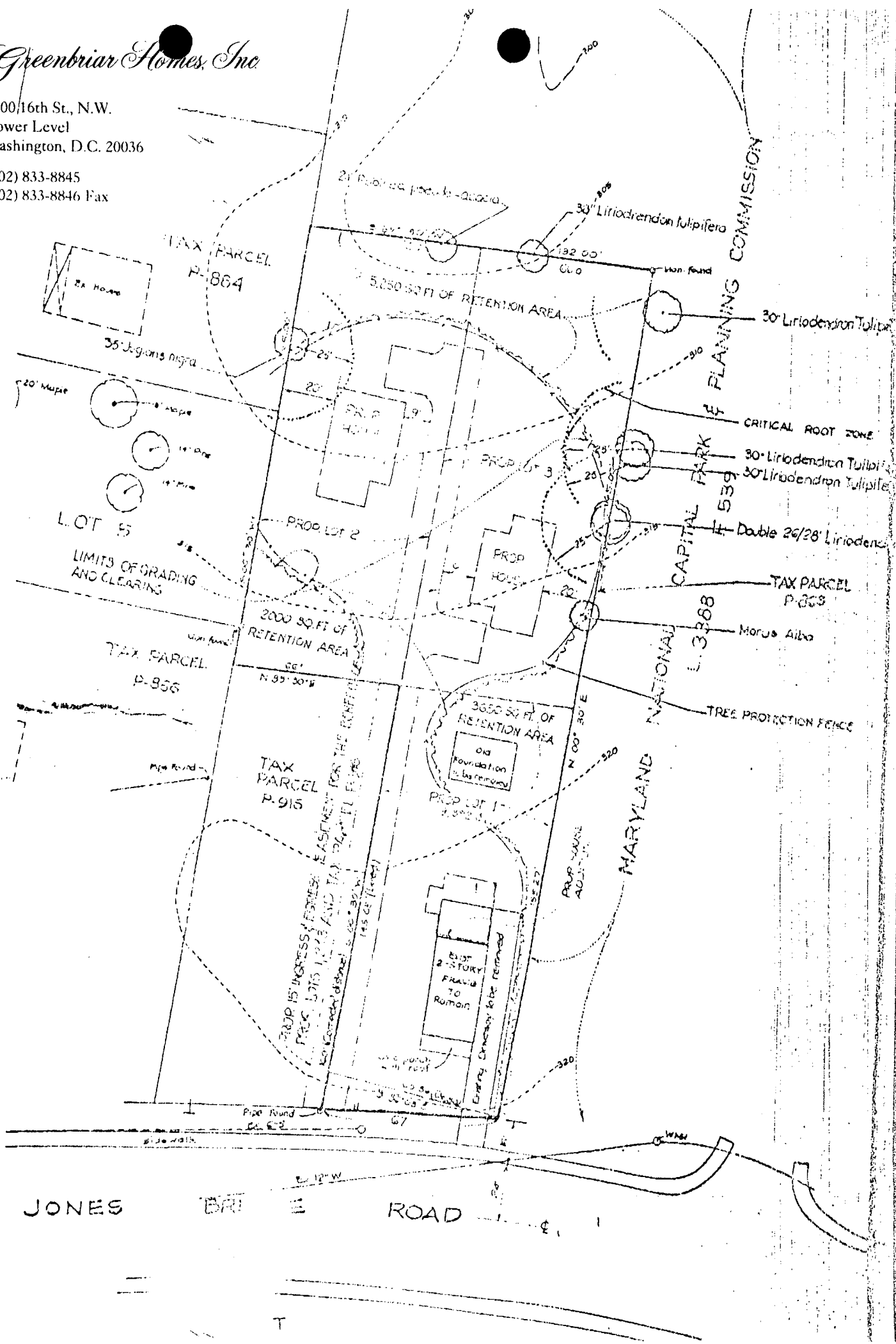
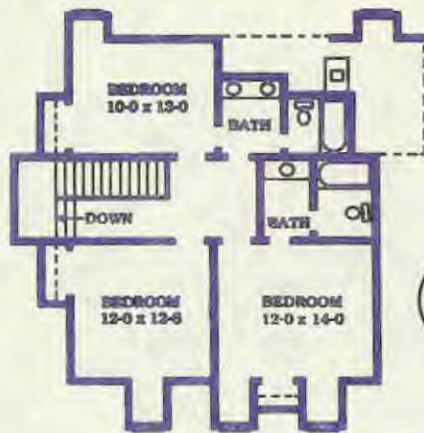


Photo by Mark England/HomeStyles

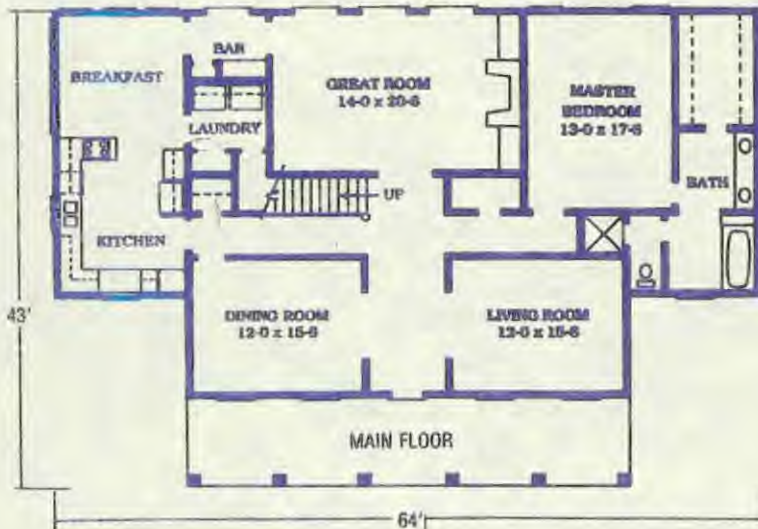


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Underground utilities include sewer, water, telephone and electric services.

Double glazed windows with screens

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Approximately 2,024 square feet of finished space with a full bath.

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Electric hot water heater - 75 gallon capacity.

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4113 Jones Bridge Road (Tax Parcel P-863)
Preliminary Plan of Subdivision

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Hawkins Subdivision
Lot 5 of Parcel ~~P-864~~ P-864

8817 P-864
Ronald S. & A.C.G. HSU et al
6817 Millwood Rd.
Bethesda, MD., 20817

Parcel P.866, *M. 55*

Joseph J. & K.M. O'CONNOR
8867 Hawkins La.
Chevy Chase, MD., 20815

Parcel P.916, *M. 55*

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Helen T. FAIRFAX
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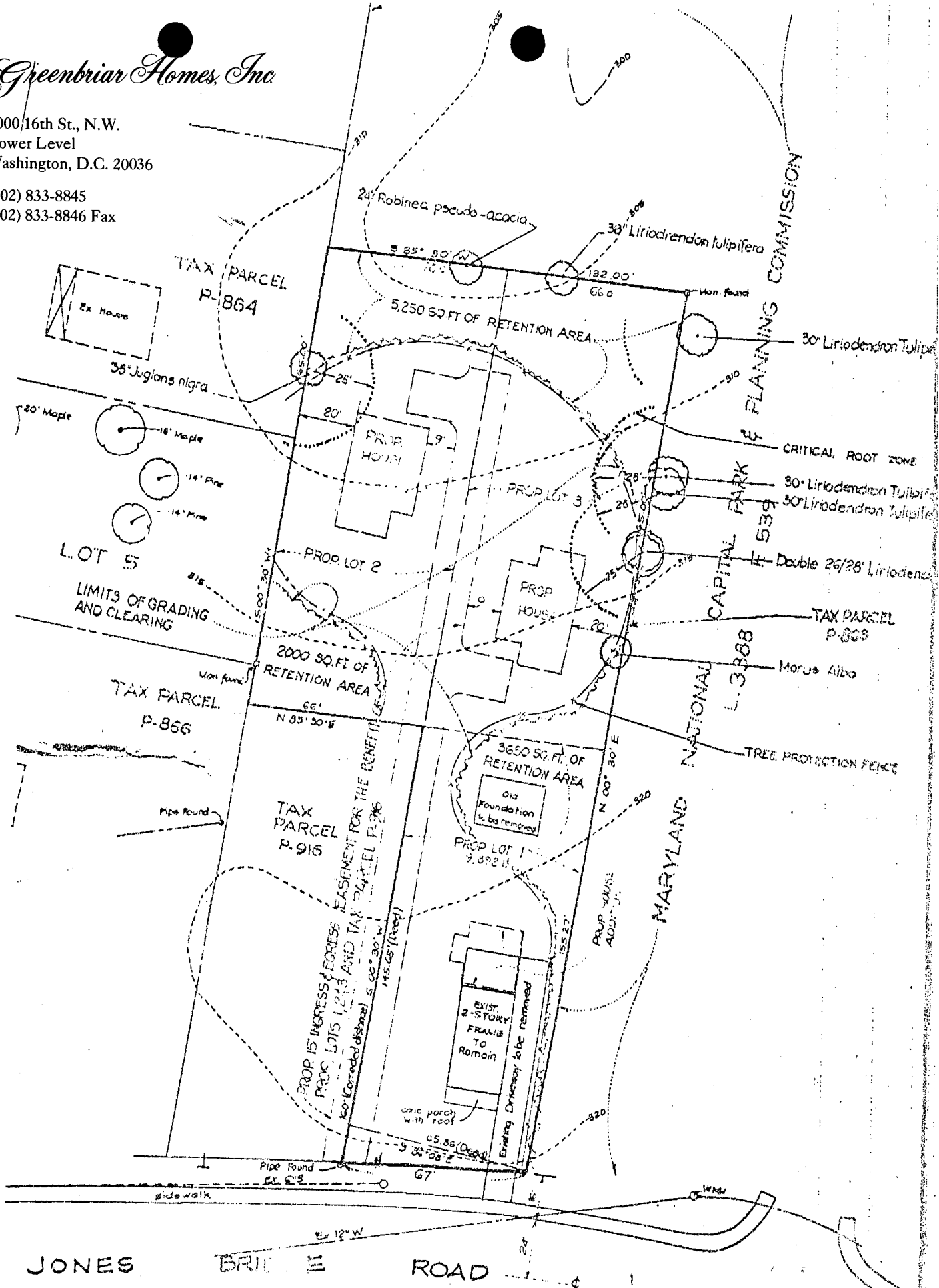
Parcel P.539, *M. 55*

M.N.C.P. & P.C.
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Greenbriar Homes, Inc

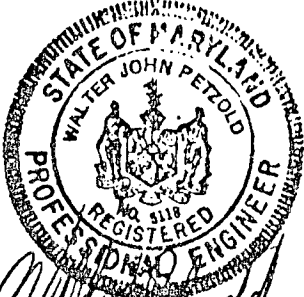
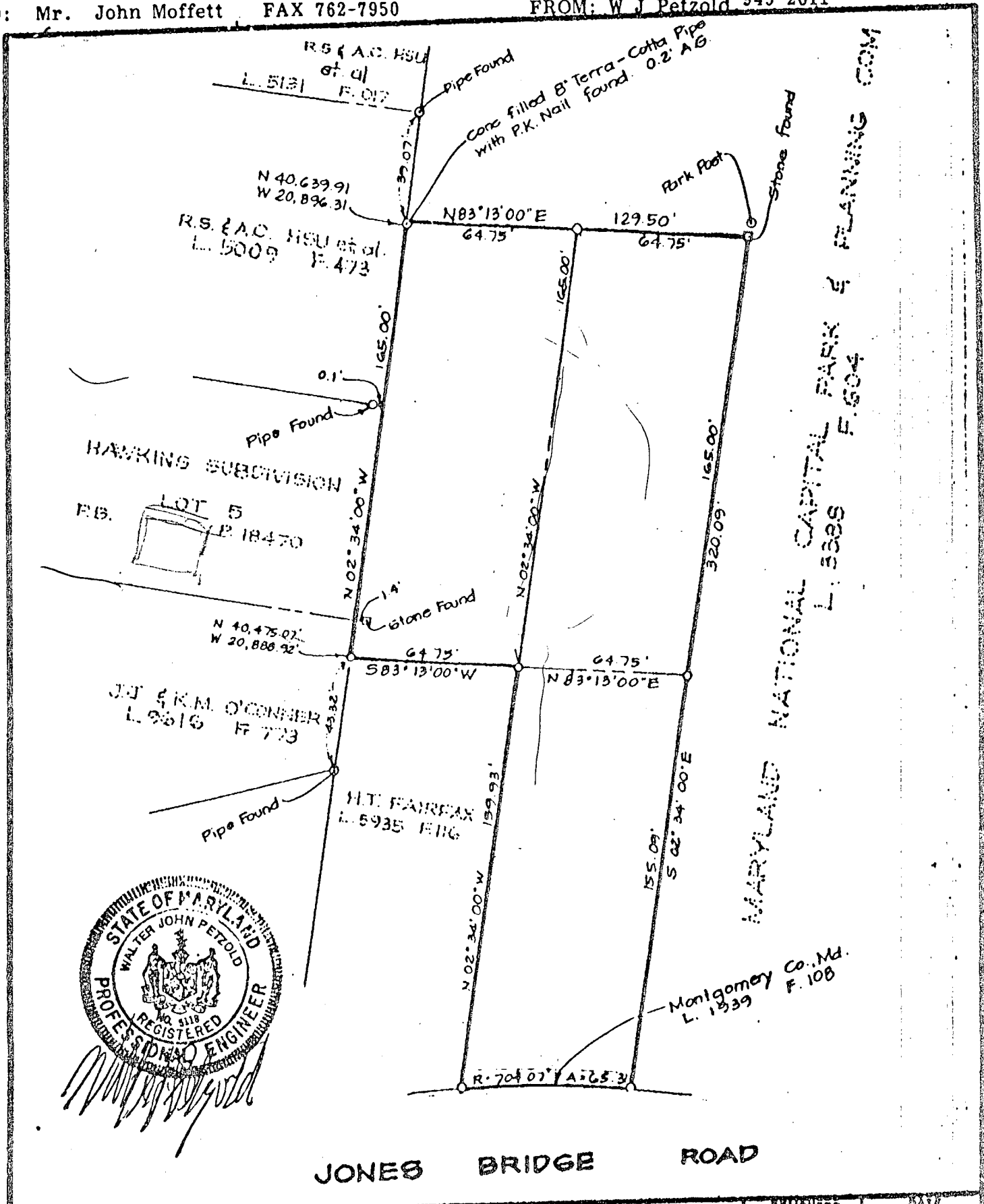
1000/16th St., N.W.
Lower Level
Washington, D.C. 20036

(202) 833-8845
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JONES BRIDGE ROAD

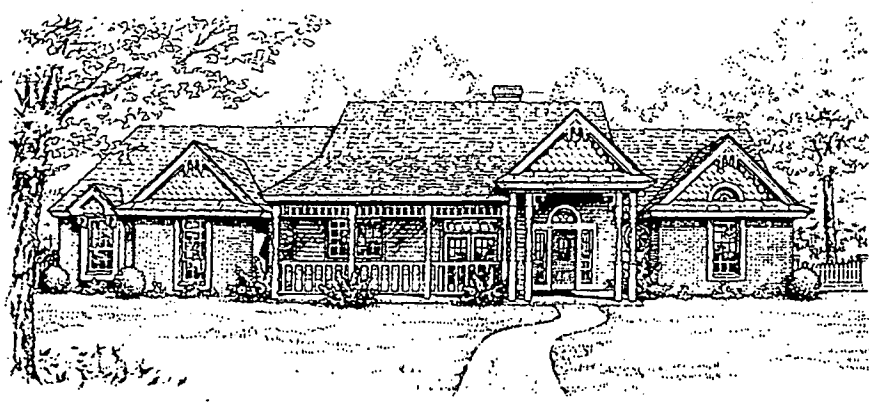
TO: Mr. John Moffett FAX 762-7950 FROM: W J Petzold 949-2011



JONES BRIDGE ROAD

OYSTER, IMUS & PETZOLD INC.	PLAT OF SURVEY	COMPUTED	DATE
	John C. & Katherine Pan	CHECKED	Aug. '93
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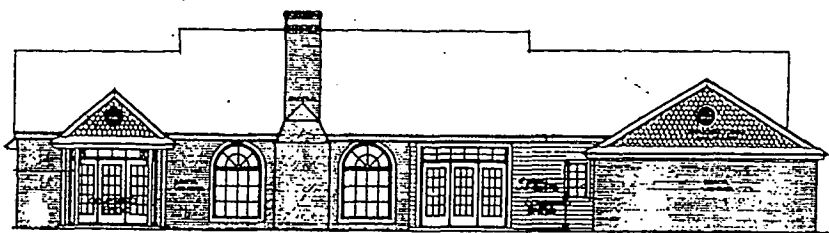
1st 2



MOVE-UP

Victorian Farm House Design Offers Sprawling Living Space

Total living space— 2277 sq. ft.
3 bedrooms, 2 1/2 baths
Shown with a crawl space, concrete slab or basement.



Rear Elevation

- ✓ Entryway opens into spacious living room with a cathedral ceiling, built-in entertainment center and fireplace
- ✓ The kitchen features a work island. The adjoining breakfast area opens to a covered patio.

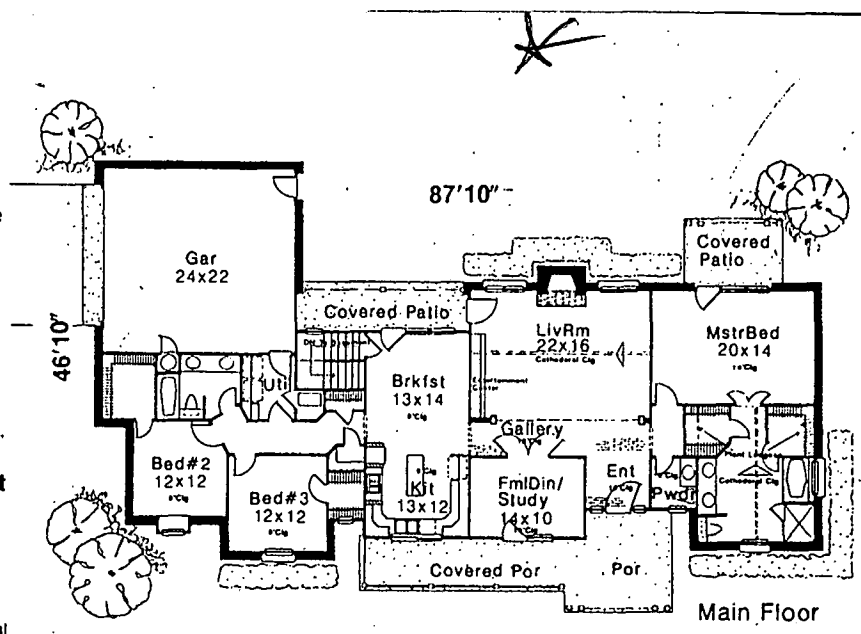
170 / Professional Builder & Remodeler

Mid-January 1992

- ✓ An additional covered patio is accessible from the master suite. Double doors connect to a private dressing area enhanced by plant shelves. Dressing area and master bath feature a cathedral ceiling.
- ✓ Laundry/utility room is accessible from both the garage and an interior hallway.

Plan number RFF-2187-AJ92. See index at the end of Move-Up plans section for pricing details. Plan by Fillmore Design Group.

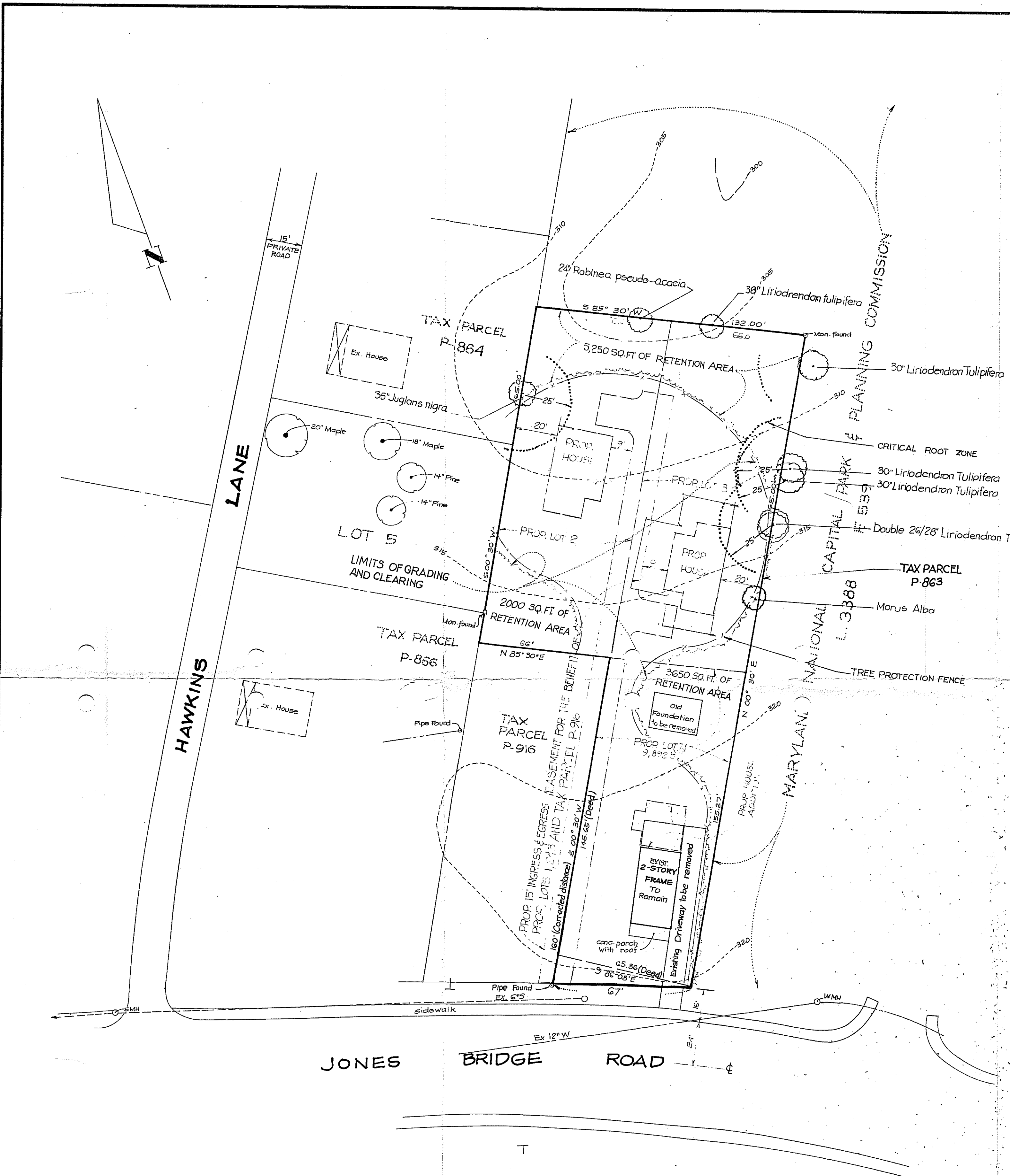
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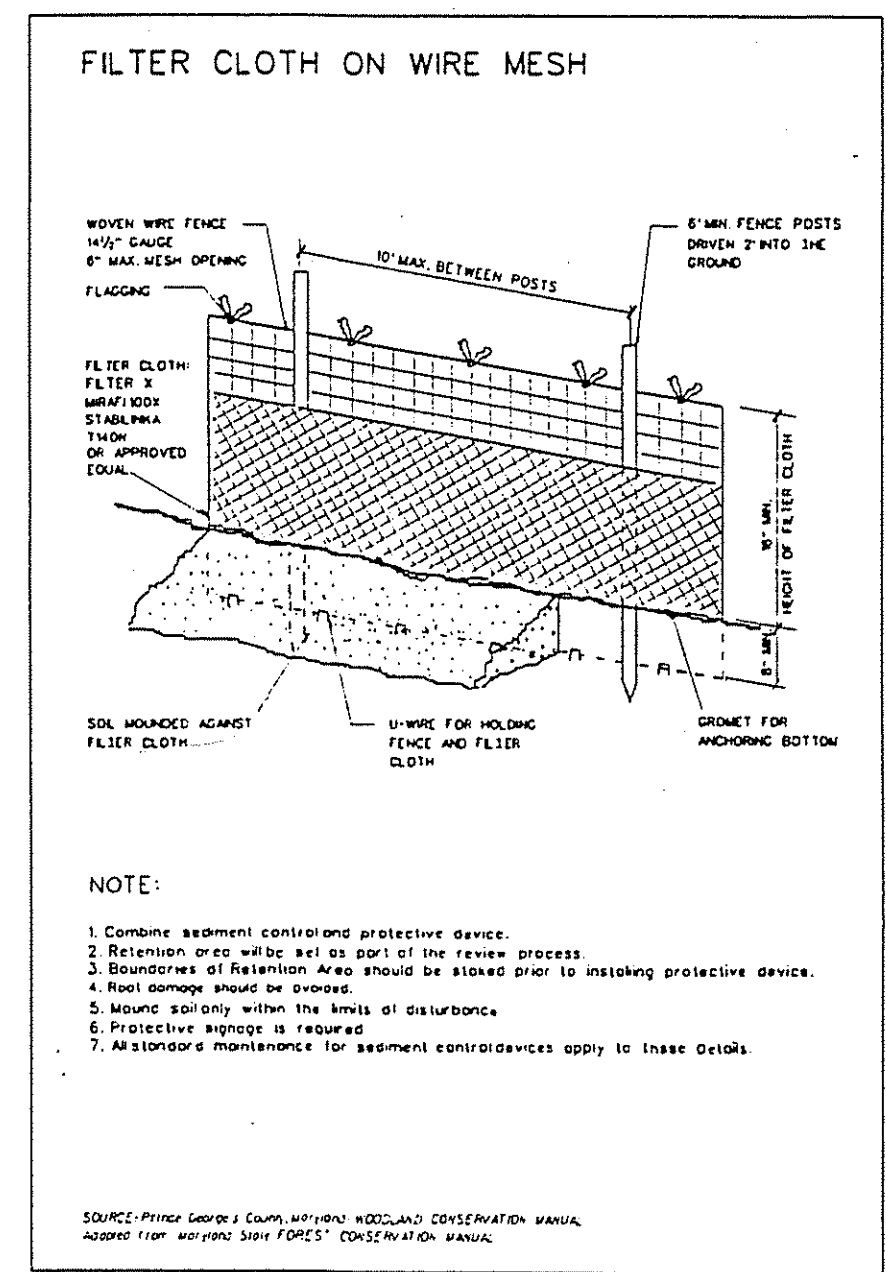
Mid-January 1992

Professional Builder & Remodeler / 171

Model "D"

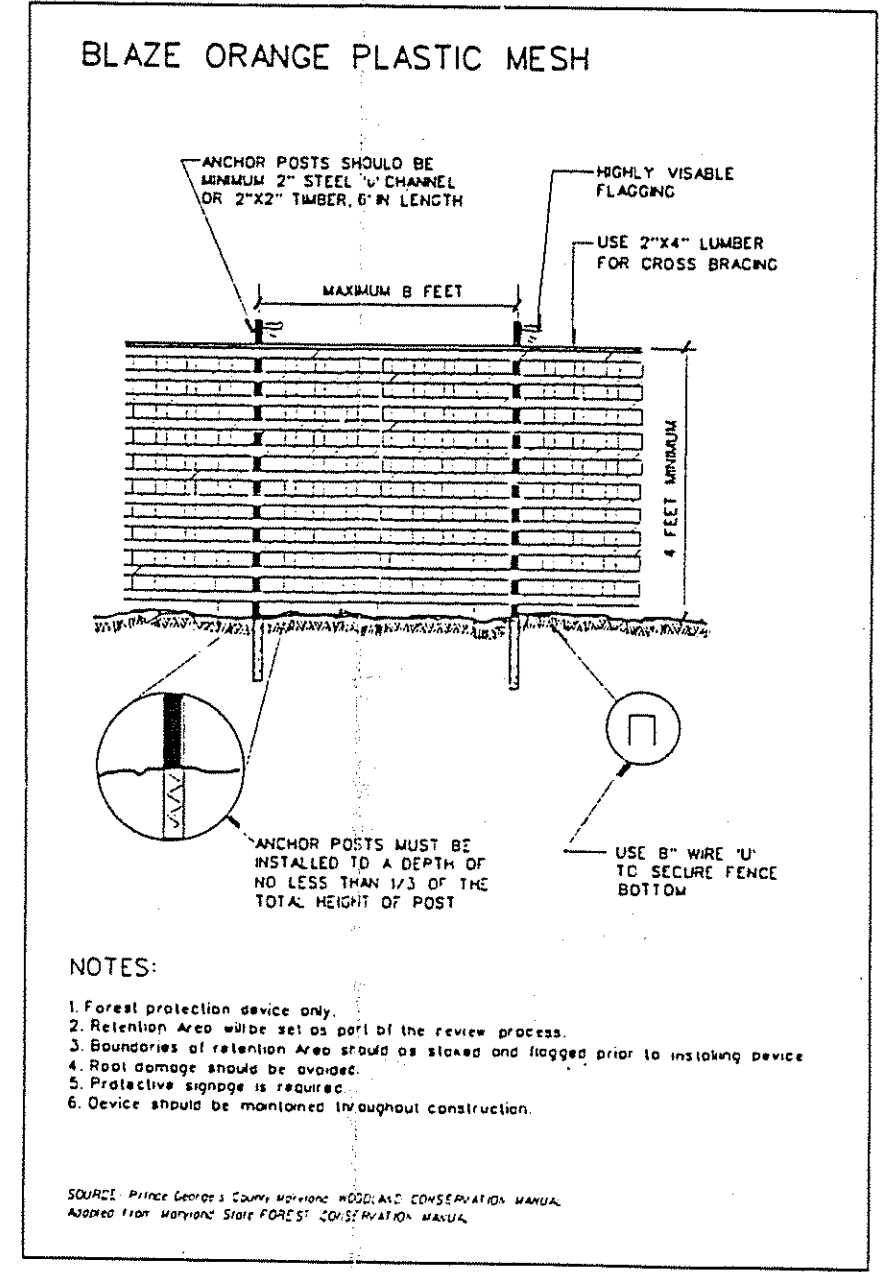


TREE PROTECTION AND SEDIMENT CONTROL (3)

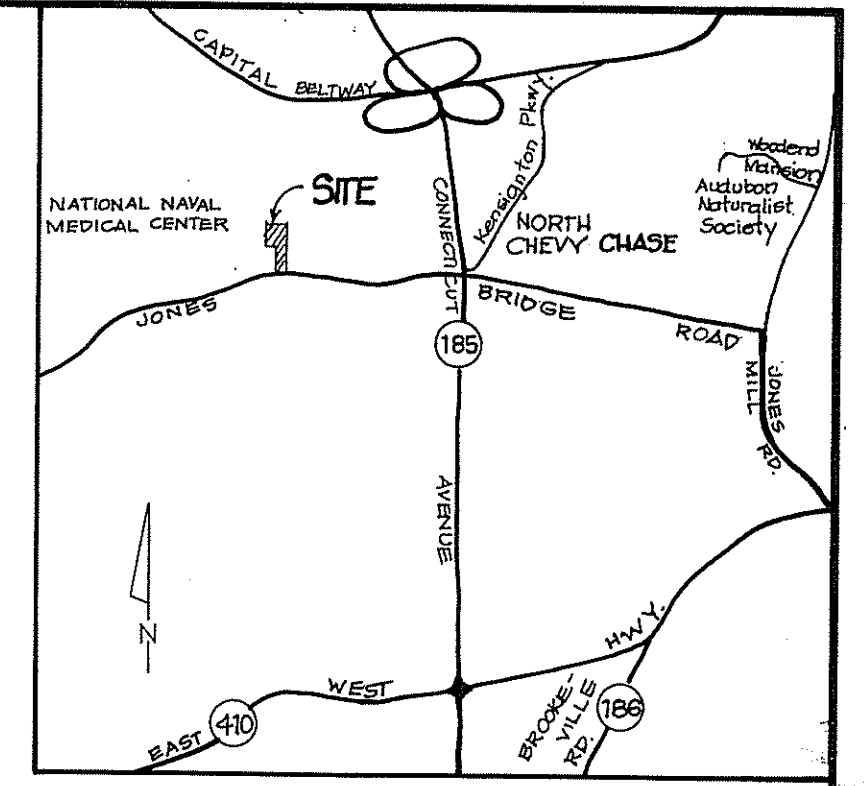


- NOTE:
1. Combine sediment control and protective device.
 2. Retention area water will be part of the fence process.
 3. Boundaries of Retention Area should be staked prior to installing protective device.
 4. Root damage should be avoided.
 5. Mount squarely within the limits of disturbance.
 6. Protective signage is required.
 7. All standard maintenance for sediment control devices apply to these details.
- SOURCE: Prince Georges County Forestry & Wildlife Conservation Manual, Adapted from "Forest Site Forestry" Conservation Manual.

TREE PROTECTION FENCING(2)



- NOTES:
1. Forest protection device only.
 2. Retention area water will be part of the fence process.
 3. Boundaries of retention area should be staked and flagged prior to installing device.
 4. Root damage should be avoided.
 5. Protective signage is required.
 6. Device should be maintained throughout construction.
- SOURCE: Prince Georges County Forestry & Wildlife Conservation Manual, Adapted from "Forest Site Forestry" Conservation Manual.



VICINITY MAP
Scale: 1" = 200'

PRELIMINARY PLAN OF SUBDIVISION
VICINITY OF CHEVY CHASE
TAX PARCEL P-863
4113 JONES BRIDGE ROAD

Tree protection methods shall include the combined orange safety fence per detail of Tree Protection Fencing (2).

Where appropriate silt control fabric will be attached as is shown on Detail of Tree Protection and Sediment Control (3). Specific treatment of trees exposed to damage shall be determined during development of the final tree preservation plan. The methods used may include but not necessarily limited to: crown reduction, root pruning, fertilization, soil aeration, and an extended maintenance program.

FOREST CONSERVATION WORKSHEET

NET TRACT AREA		
A. Total tract area	32076	
B. Area within 100 year floodplain	0	
C. Area to remain in agricultural production	0	
D. Net tract area	32076	
LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)		
Input the number "1" under the appropriate land use zoning, and limit to only one entry.		
APA	HR	IDA
0	0	0
E. Afforestation Threshold	15%	X D = 4811
F. Conservation Threshold	20%	X D = 6415
EXISTING FOREST COVER:		
G. Existing forest cover (excluding floodplain)	21000	
H. Area of forest above afforestation threshold	16189	
I. Area of forest above conservation threshold	14585	
-BREAK EVEN POINT:		
J. Forest retention above threshold with no mitigation	9332	
K. Clearing permitted without mitigation	11668	
PROPOSED FOREST CLEARING:		
L. Total area of forest to be cleared	10100	
M. Total area of forest to be retained	10900	
PLANTING REQUIREMENTS:		
N. Reforestation for clearing above conservation threshold	2525	
P. Reforestation for clearing below conservation threshold	0	
Q. Credit for retention above conservation threshold	4485	
R. Total reforestation required	0	
S. Total afforestation required	0	
T. Total reforestation and afforestation required	0	

Date	Revision	Drafting
4-1-93	PROP LOTS CONFIGURATION REVISED, PROP MARKS & EGRESS & SIDEWALK NOTED ACCORDINGLY.	CHECK
	BIKEWAY & SIDEWALK NOTED 1/2 FT. PROPOSED LOT 1 EXTENDED TO JONES BRIDGE ROAD R/W	CHECK

Prepared For:
BRENDAN MAGNER
12112 Drews Court
Potomac, Md., 20854

CIVIL ENGINEERS ■ LAND PLANNERS ■ LAND SURVEYORS
OYSTER, IMUS AND PETZOLD, INC.
3415 REEDS DRIVE ■ WHEATON ■ MARYLAND ■ 948-2011

MODIFIED FOREST CONSERVATION PLAN

TAX PARCEL P-863
4113 JONES BRIDGE ROAD
Bethesda, Montgomery County, Maryland

DATE May, 1993	JOB NO. 2503 A-1
SCALE 1" = 30'	SHEET NO. 1 of 1