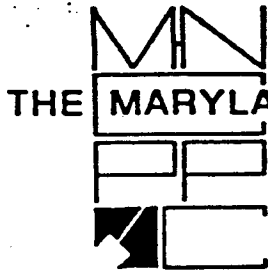


35/54-94B 8817 Hawkins Lane
Hawkins Lane Historic District

See

8813 Hawkins Lane
Case # 35154-94A

5/ photos of
8813 & 8817



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief
Division of Development Services and Regulation
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: June 9, 1994

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied
 Approved with Conditions: _____

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: Donald & Walter By

Address: 8813 Hawkins Lane ; Cherry Chase, Md. 20815



MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

DATE: June 9, 1994

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Ronald & Walter Hsu TELEPHONE NO. (301) 652-3161
(Contract/Purchaser) (Include Area Code)

ADDRESS 8815 HAWKINS Lane, Chevy Chase, MD. 20815 STATE _____ CITY _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. _____

CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 8813 Street HAWKINS Lane

Town/City Chevy Chase Election District 7

Nearest Cross Street Jones Bridge Rd

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Other	Shed
						Solar
						Woodburning Stove

1B. CONSTRUCTION COSTS ESTIMATE \$ 4000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # 9402150066

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic	2B. TYPE OF WATER SUPPLY
03 () Other		01 () WSSC
		02 () Well
		03 () Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Walter Hsu Signature of owner or authorized agent (agent must have signature notarized on back) Date 5/16/94

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B. Randall Date June 9, 1994

APPLICATION/PERMIT NO: 9405176072 FILING FEE: \$ _____

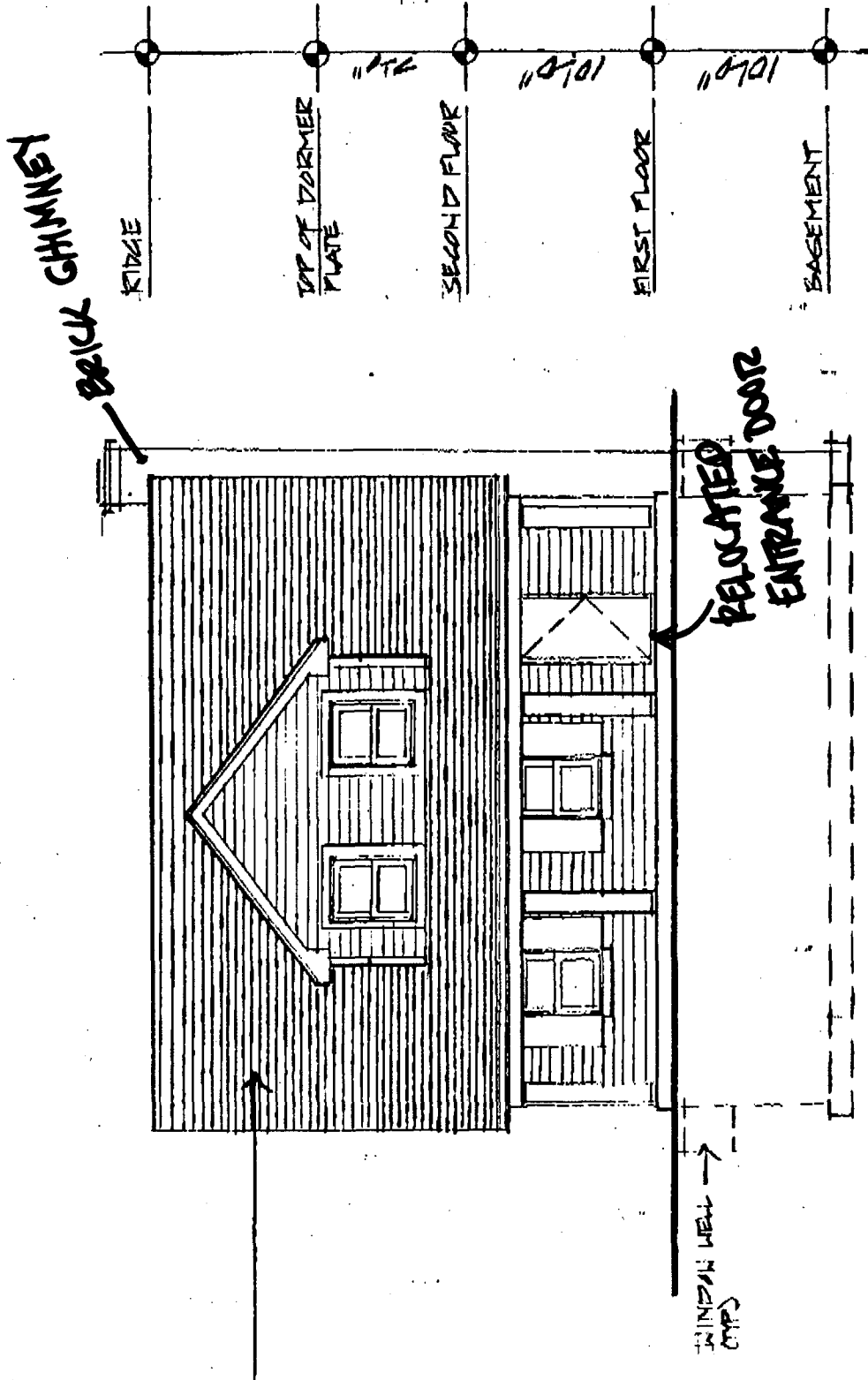
DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

8013



FROM : 301 4597830

SOE LIN & A
 ARCHITECTURE,
 INTERIORS
 8108 FENWAY RC
 BETHESDA, MAR
 U.S.A.
 (301)469.8784 F

SL&A

HSU COMPAT
 NEW CONSTRUCT
 HAWKINS LANE

FRONT ELEVATION

SCALE : 1/8" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Patricia Fisher

RECEIVED AT : 18.07.07 03:22

8813



SIDE ELEVATION

SCALE: 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Patricia Parker

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8817 Hawkins Lane	Meeting Date: 06/08/94
Resource: Hawkins Lane Historic Dist.	HAWP: New Construction
Case Number: 35/54-94A ^B REVISION	Tax Credit: No
Public Notice: 05/25/94	Report Date: 06/01/94
Applicant: Ronald Hsu & Walter Hsu	Staff: Patricia Parker
PROPOSAL: New construction/Single-family home	RECOMMEND: Approval

STAFF DISCUSSION/BACKGROUND

The applicants propose a revision to an already approved Historic Area Work Permit for the construction of a single-family house and garage for 8817 Hawkins Lane (See Staff Report 03/03/94 attached). At that time, the applicants proposed the construction of two new homes on unimproved lots for 8813 and 8817 Hawkins Lane in the Hawkins Lane Historic District. This discussion focuses on proposed modifications for 8817.

The applicant now proposes, in addition to his acceptance of the conditions placed on the approved HAWP, to 1) construct a brick chimney on the side elevation (south elevation) and 2) to move the front entrance door off center by approximately 5 feet. This door relocation is necessary to rationalize the interior floor plan.

Staff has discussed this proposal with the applicant and reminds the applicant that all previous conditions imposed by the HPC must remain in force.

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #9, and #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the general condition for all Historic Area Work Permits:

The applicant shall notify the Department of Environmental Protection (DEP) five days prior to commencing work and within two weeks after completion.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Ronald & Walter Hsu TELEPHONE NO. (301) 652-3161
(Contract/Purchaser) (Include Area Code)

ADDRESS 8815 HAWKINS Lane, Chevy Chase, MD STATE MD ZIP 20815
CITY

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY _____ CONTRACTOR REGISTRATION NUMBER _____

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 8817 Street HAWKINS Lane

Town/City Chevy Chase Election District 7

Nearest Cross Street Jones Bridge Rd.

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 4000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Rpc

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic	2B. TYPE OF WATER SUPPLY
03 () Other _____		01 () WSSC
		02 () Well
		03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) Walter Hsu Date 5/16/99

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This is a revision of a previously approved
HAWP. There currently is no structure on the
site.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- The project is to move the front door
5 feet to the right.
- A ϕ back fire place.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- Brick fireplace.

- b. the relationship of this design to the existing resource(s):

90% of the structures on the line have a chimney

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

Maintains & preserves the character of the area.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Joe & Kim O'Conner
 Address 8807 Hawkins Ln.
 City/Zip Cherry Chase, MD. 20815
2. Name Green Lorian Homes
 Address 4113 Jones Bridge Rd.
 City/Zip Cherry Chase, MD. 20815

3. Name Baibara Glancy
Address 8823 Hawkins Lane
City/Zip Cherry Chase, MD. 20815

4. Name _____
Address _____
City/Zip _____

5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

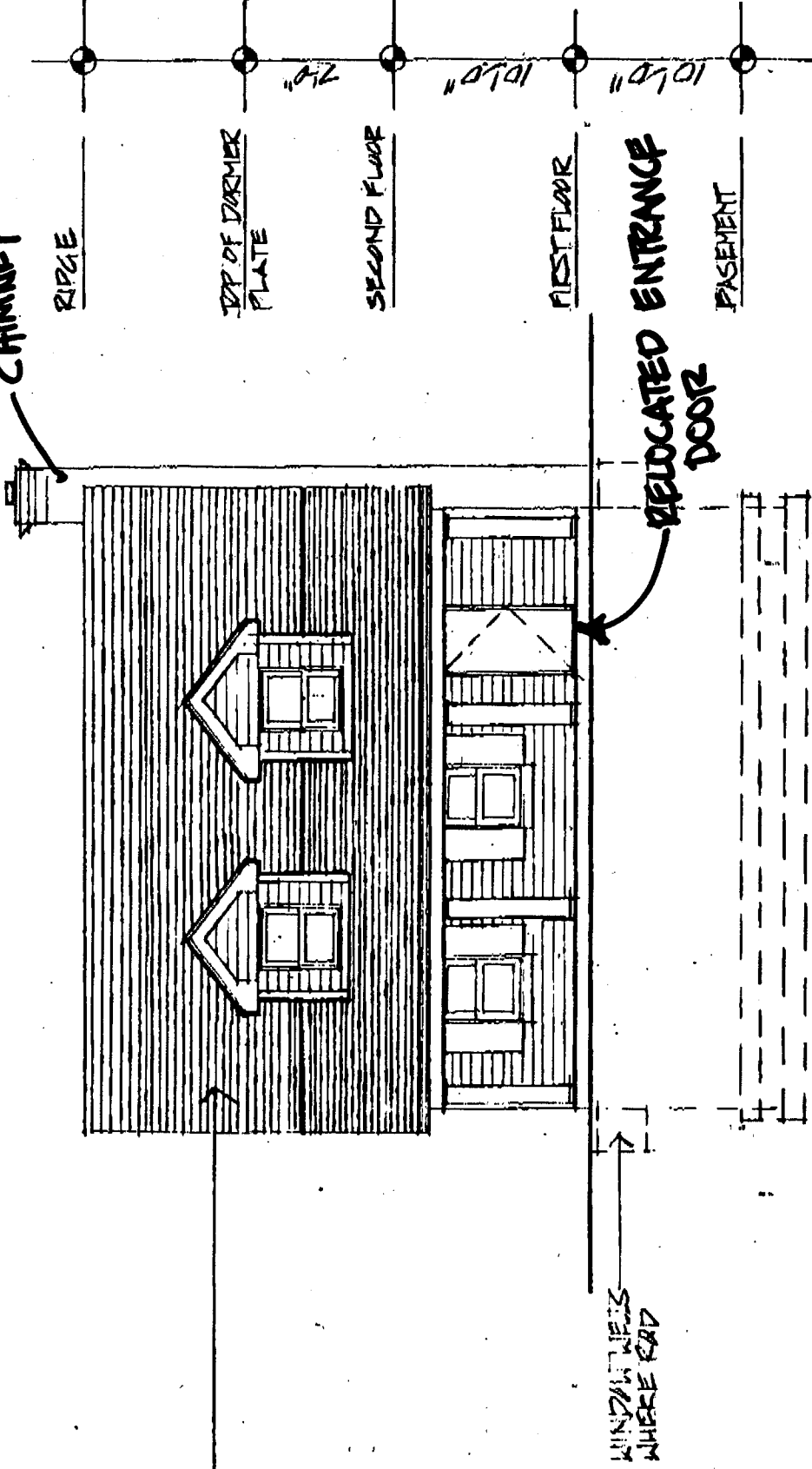
8. Name _____
Address _____
City/Zip _____

1757E

8817

SCALE: 1/8" = 1'-0"

BRICK CHIMNEY



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

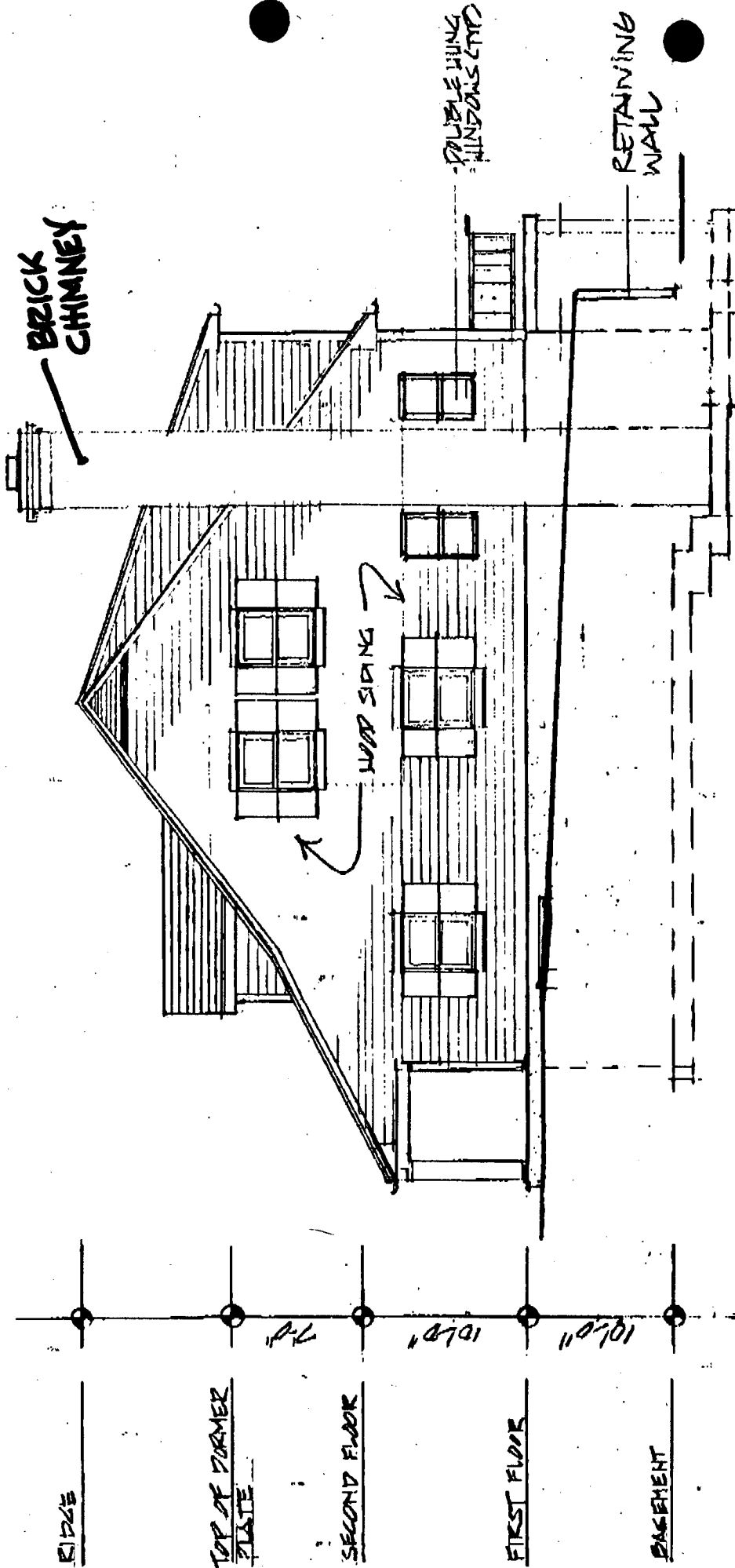
SOE I
ARCHI.
INTER
8108 FI
BETHE
U.S.A.
(301)469

S&A

HSU

(A)

8017



SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIDGE

(B)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8817 Hawkins Lane	Meeting Date: 03/09/94
Resource: Hawkins Lane Historic Dist.	HAWP/New construction
Case Number: 35/54-94B	Tax Credit: No
Public Notice: 02/24/94	Report Date: 03/03/94
Applicant: Ronald Hsu & Walter Hsu	Staff: Patricia Parker
PROPOSAL: New construction/Single-family home	RECOMMEND: Approval w/ conditions

The applicants offer this proposal for HPC review for new construction of a 30' wide by 38' deep single-family house and separate garage (12' by 20') for 8817 Hawkins Lane. The applicants propose the construction of two new homes on unimproved lots for 8813 and 8817 Hawkins Lane (see site plan) in the Hawkins Lane Historic District. This discussion focuses on the proposal for 8817.

The applicant, Walter Hsu, was before the Commission on January 26, 1994. At that time, the HPC made several recommendations to the applicant during a preliminary consultation on the subject property. The HPC strongly felt that the two houses should be significantly differentiated so that they are not identical in appearance.

Further, the HPC endorsed the staff's recommendations that the rear elevation of the houses should be visually less bulky; drawings for the proposed garage, design details and a discussion of proposed materials for all structures should be submitted for review as part of the application; and a tree survey with the applicant's proposal for reforestation (if any trees are removed) should be included in the HAWP application.

Also, the HPC requested submission of documents showing the streetscape to resolve compatibility issues with respect to height, massing and scale. The preliminary proposal showed a height of 25' for the structures facing the lane. Staff felt that this height might be problematic.

In addition, staff was concerned about the rear bulk of the houses - at the front they are one and one-half stories, but at the back they are a full two or (in the case of 8817) three stories.

STAFF DISCUSSION/BACKGROUND

The application includes the following features:

o The footprint of the house is 1140 square feet (20 square feet larger than the house discussed at preliminary consultation). The applicant has reduced the depth of the house by two feet from the earlier proposal, but increased the width. This proposal shows a house 38' deep instead of 40', and 30' wide instead of 28'. The house will be, from grade, one and one-half stories in height facing Hawkins Lane; but, the applicant has proposed three stories at the rear. Two 6' wide dormers are proposed for the front facade and a 26' wide dormer is proposed for the rear. Staff is troubled by the rear second floor dormer - it gives the rear facade the appearance of a full three stories. Staff would recommend deleting the rear dormer from this proposal.

o The house has a 6' deep one-story porch without rail and which is continuous the entire width of the front facade. A rear balcony 6' deep runs 26' across the rear elevation at the first floor level.

o The house is set back approximately 25' from the front property line and exceeds the 25' total sideyard setback requirement.

o The applicant has proposed to remove five 6-8" Poplar trees. Additional disturbance to the site would include construction of a new driveway. The applicant proposes to plant five 1.5" caliper Poplar trees as replacement (see attached tree survey). The arborist recommends the planting of four or five overstory deciduous trees as replacements. Staff concurs with the arborist's report. Staff also notes that other trees on the lot are vulnerable. It is essential that all trees be protected during construction, and that the driveway be paved with gravel only.

o Plans for the garage are now included. The garage would be 12' by 20' and serviced by a driveway straight off Hawkins Lane. The exterior would be painted wood siding. Staff strongly recommends that the surfacing of the driveway be gravel. The driveway is adequately separated from adjacent property.

o The applicant proposes a height of 25' with a roof pitch of 9/12. The roof will be asphalt shingle. The two front dormers would have a gable profile and they too should be surfaced with asphalt shingle to match the main roof.

o Windows are shown to be 6/6 on the front and side elevations; but the applicant has specified using wood single-hung windows, having a configuration of 1/1. Staff concurs with the window configuration of 1/1, but feels that

the windows should be traditionally double-hung, and should have wood trim. Door openings should also be trimmed using 4" minimum wood trim.

o The applicant has proposed using shutters on the first floor windows. Staff suggests that all windows on the front and side elevations, exclusive of those within the dormers, should be trimmed with wood shutters, 1/2 the width of the window opening.

o The rear elevation shows four openings of questionable size. Staff was not provided with floor plans; but would not find one sliding glass door opening on the first floor level to access the deck, plus one sliding glass door on the basement level to access the back yard problematic. However, the other openings on this elevation - on the first and basement floors, and on the second floor if a rear dormer is permitted - should be consistent in size and configuration with those on the other elevations.

o The structure would be clad in painted wood siding. Staff suggests that porch posts be simple, but substantial - made of wood and at least 6" X 6" - 8" X 8" would be even better. Wood cornice trim should be used and wood corner boards should be a minimum of 4" wide.

STAFF RECOMMENDATION

In summary, although staff is very concerned about development of these lots, decreasing the openness of Hawkins Lane, the design of this specific proposal does address historic preservation and design issues contained within The Hawkins Lane Historic District Development Guidelines. Such issues are:

1. Proposed alterations should allow for the retention of those features (such as trees and open spaces) which contribute to the district's rural character.
2. Plans for new development should provide for the retention of existing vegetation.
3. Where trees or major shrubs must be removed (because of natural causes or construction damage), provision should be made for their replacement.
4. If there is new construction, driveway cuts onto Hawkins Lane should be kept to a minimum in order to preserve the Lane's existing character and to reduce traffic.
5. New construction should be designed and sited so as to maximize the amount of open space retained.
6. New construction should be compatible in scale, massing

and materials with existing structures, particularly those which are adjacent or in close proximity to the construction.

7. New construction should take into account the vernacular character of existing structures and the wide variety of materials used.

8. New garages should be detached in keeping with the prevailing style in the district.

9. New construction should maintain the approximate setback and siting patterns established by existing buildings in the district, particularly those which are adjacent to or in close proximity to the new construction.

10. Landscaping around new construction or existing buildings should be informal, in keeping with existing landscaping.

11. New driveways, parking area, and walkways on Hawkins Lane and Jones Bridge Road should be compatible, in width, appearance and surface covering, with existing driveways, parking areas, and walkways.

Staff is pleased that the overall form of the structure is simple. The gable dormers at the front of the house add interest, reduce the roof mass and adequately differentiate this proposal from the house proposed for 8813. The full width of the porch on the front is simple, with simple posts and without rail. This design element is compatible with other structures on the Lane and follows the historical development of the Hawkins Lane Historic District.

Staff finds the three story appearance at the rear and viewed as a side elevation from Hawkins Lane problematic. Staff feels that this is incompatible with scale and massing within the Hawkins Lane Historic District. Therefore, staff feels that the shed dormer at the rear of the house should be deleted from the proposal. The applicant has also proposed a full basement.

The house could be designed to take advantage of the falling topography at the rear of the house. The house could then be two stories at the rear. The reduction of mass for the facade facing the lane would be more compatible with adjacent properties which are one to one and one-half stories.

The applicant proposes to use painted wood siding, asphalt shingles for roofing and wood windows trimmed with shutters. Staff suggests 1/1 double-hung windows with wood trim.

The openings on the first and basement floors of the rear elevation are shown elongated. Staff suggests that one sliding glass door be permitted on the first and basement floors of the rear elevation. The remaining windows should conform with those

on the front and side elevations. Shutters should be placed on the front and side elevations and should be 1/2 the width of the window opening.

With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2 and recommends approval:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standards #9 and #10:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with The Hawkins Lane Historic District Development Guidelines.

Staff's recommended conditions are as follows:

1. The rear dormer should be deleted from the proposal.
2. During construction, the applicant must provide for and assure the continued good maintenance of roadway surfacing for Hawkins Lane.
3. Window openings shall be consistent in size and configuration on each of the building's elevations - with approval of one sliding glass door on the first floor of the rear elevation and on the basement floor of the rear elevation. Windows shall be wood double-hung 1/1, trimmed with shutters 1/2 the width of the opening for each panel.
4. All trim shall be of wood, including cornice and cornerboards.
5. The porch posts shall be wood - simple, devoid of ornamentation - 6" X 6" or 8" X 8" in size.
6. New driveway surfacing shall be gravel.

7. Replacement plantings shall include four to five overstory deciduous trees (Sugar Maple or Red Oak) having a minimum caliper of 1.5" and 12-15' minimum height. All new plantings shall be planted according to the arborist's report.

8. Adequate and effective tree protection measures shall be developed and enforced throughout the construction period to minimize loss. This will include placement of snow fencing at the driplines of existing trees.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER Ronald & Walter Hsu TELEPHONE NO. (301) 652-3161
(Contract/Purchaser) (Include Area Code)

ADDRESS 8815 Hawkins Lane, Chevy Chase, MD 20815
CITY STATE ZIP

CONTRACTOR Hsu Companies TELEPHONE NO. (301) 652-3161

PLANS PREPARED BY Ronald Hsu CONTRACTOR REGISTRATION NUMBER _____ TELEPHONE NO. (301) 299-8266
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 8817 Street Hawkins Lane

Town/City Chevy Chase Election District _____

Nearest Cross Street Jones Bridge Rd.

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Revision
---	-------------------------------------	---	---------------------------------	-------------------------------------	-------------------------------	----------------------------------	------------------------------------	-----------------------------------

Circle One: A/C Slab Room Addition
Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other SFD

1B. CONSTRUCTION COSTS ESTIMATE \$ \$90,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Papco

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Walter Hsu _____ 2/15/94
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9402150067 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNER'S CUR CODE _____

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

No Structure Presently Exists on the Lot.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

To construct a new single family home that is consistant with existing resources and structures.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

Wood framing, exterior skin-wood cladding, 25 foot tall,
wooded landscape

- b. the relationship of this design to the existing resource(s):

It is a mixture of the areas current structures
design.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

Maintains and preserves the character
of the area.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
 - b. dimensions and heights of all existing and proposed structures;
 - c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
 - d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
 - e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Joe & Kim O'Conner
 Address 8807 Hawkins La.
 City/Zip Bethesda, MD. 20815

2. Name Greenbriar homes
 Address 4113 Jones Bridge Rd
 City/Zip Bethesda, MD. 20815

4. Name Barbra Glancy
 Address 8823 Hawkins La.
 City/Zip Chevy Chase, MD. 20815

5. Name _____

**DEVELOPMENT PLANS
For
8813 and 8817 Hawkins Lane
Chevy Chase, MD. 20815**

Prepared for:

Design Zoning and Preservation
Montgomery County Park and Planning Commission

By:

Walter Hsu
8815 Hawkins Lane
Chevy Chase, MD. 20815
(301)652-3161

CONTENTS

Letter to Ms. Patricia Parker

Plans and specs for 8813

- Specifications
- Perspective
- Front elevation from street
- Side elevation
- Rear elevation
- Garage elevations
- Plan giving dimensions for house & garage
- Site plan

Plans and specs for 8817

- Specifications
- Perspective
- Front elevation from street
- Side elevation
- Rear elevation
- Garage elevations
- Plan giving dimensions for house & garage
- Site plan

Tree preservation plan

Arborist report

Walter Hsu
8815 Hawkins Lane
Chevy Chase MD. 20815

February 14, 1994

Ms. Patricia Parker
Design Zoning and Preservation
Montgomery County Park and Planning Commission
8787 Georgia Avenue
Silver Spring, MD. 20910

Dear Ms. Parker:

This letter is to request a HAWP hearing on March 9, 1994 for the two lots 8813 (P865) and 8817 (P811) located on Hawkins Lane. Enclosed I have included drawings, specifications and an arborist report for the proposed development.

There have been changes to the plans for the proposed houses using the recommendation from the staff report and the preliminary hearing. The main points were addressed:

- To cosmetically design the houses so they do not look identical.
- The use of a shed dormer in the rear to break up the mass as viewed from the side elevation. Also the shortening of the house to 38' deep.
- An arborist report was done for the two lots. The houses were placed by design to minimize the disturbance to the existing trees.

Thank you for your attention to this matter and please let me know of any comments that you may have so that I may better accommodate.

Sincerely,



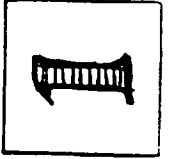
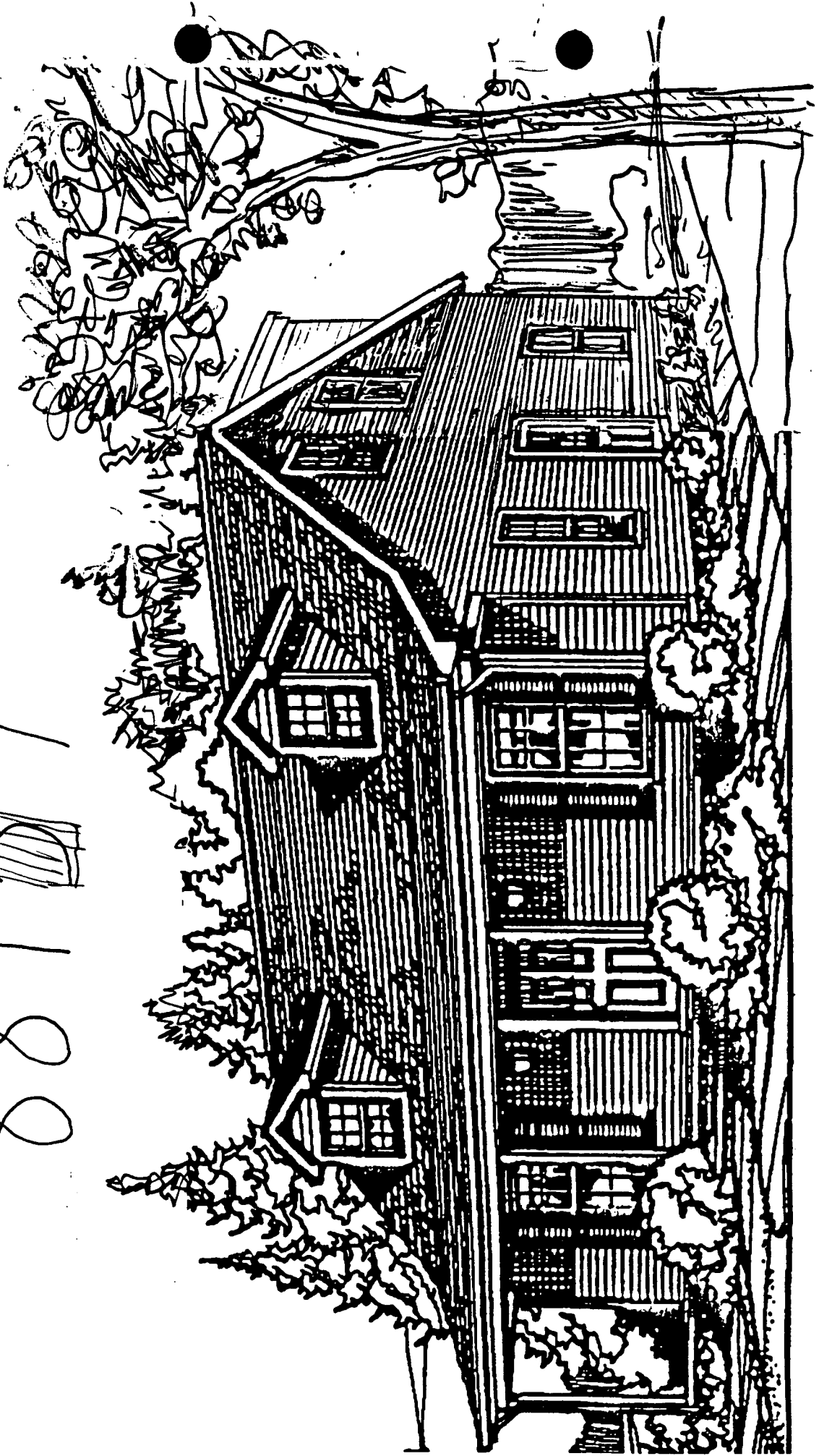
Walter Hsu

8817 Hawkins Lane
Chevy Chase, MD. 20815

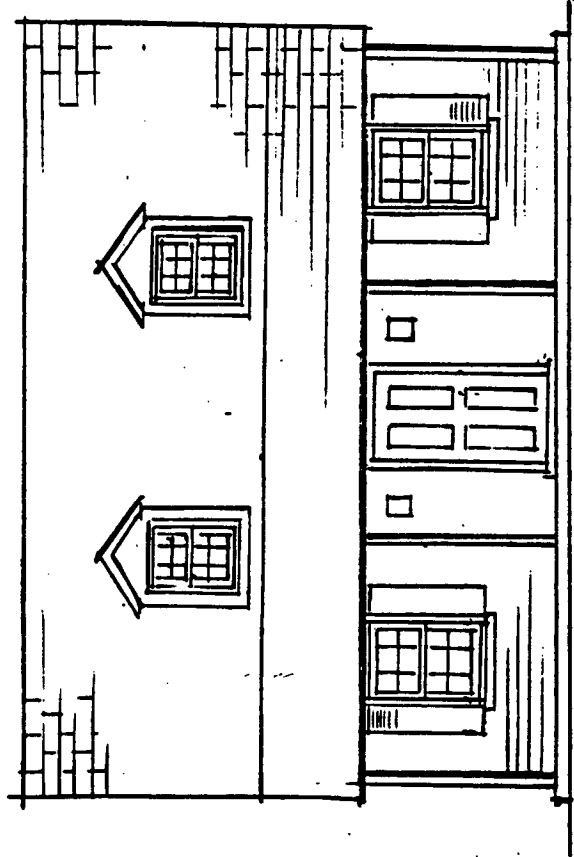
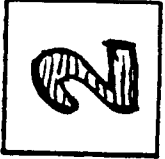
BUILDING SPECIFICATIONS:

- The dimension of the home will be 30 foot wide and 38 foot deep.
- The total footprint of the building will be 1120 square feet.
- The home will be a story in a half, utilizing two 6' dormers in the front and a 26' shed dormer in the rear.
- The home will have a full basement.
- The height of the home will be 25' tall at its peak.
- The exterior skin of the building will be painted wood clad.
- A front porch will be present. 6 foot deep.
- The roof pitch will be 9/12 and the rear dormer will be 3/12.
- The roof will be asphalt shingle.
- There will be shutters on the front exterior windows.
- The windows will be simple one-over-one, wood, single hung windows.
 - 4' windows on the 1st floor.
 - 3' windows on the 2nd floor.
- A balcony will be present at the rear of the house off the 2nd floor. 26' x 6'.
- The garage will be detached.
 - 12'x 20'
 - Exterior will be painted wood clad.
 - Roof will be asphalt shingle.

88177



VIEW FROM HAWKINS LANE



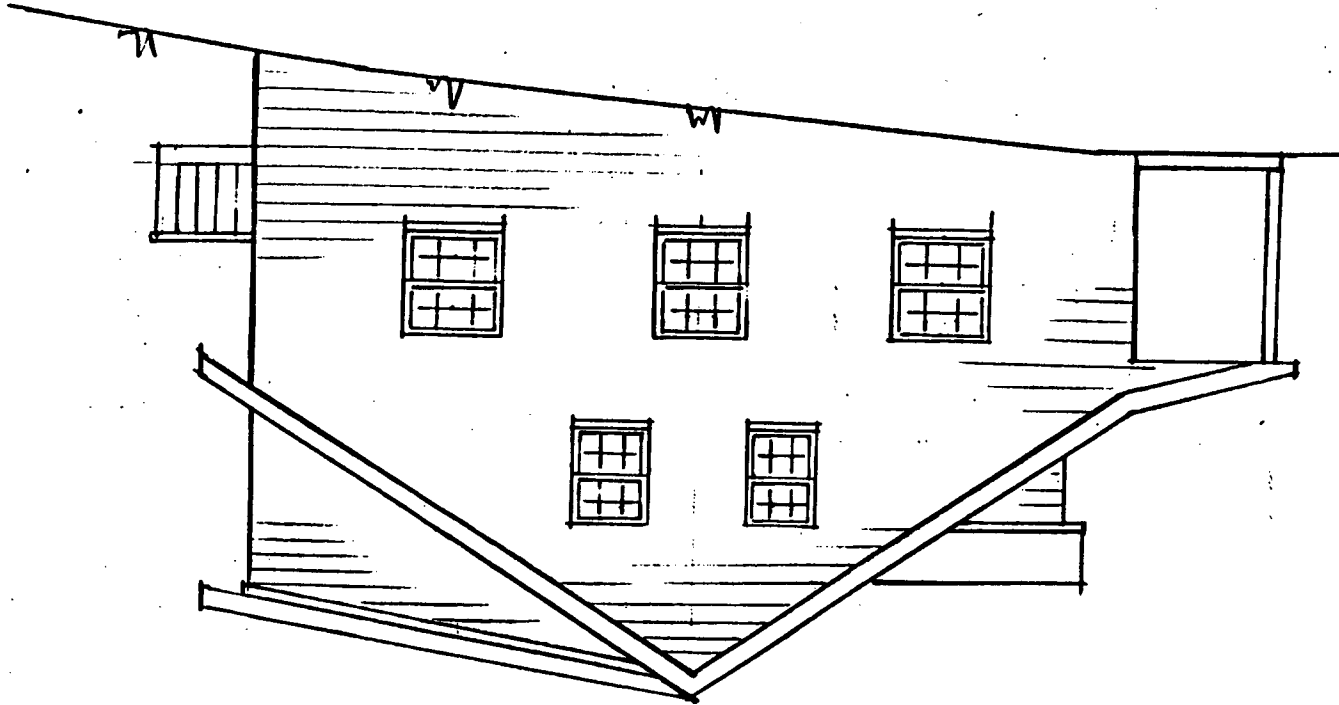
FRONT ELEVATION
SCALE: 1/8"=1'-0"

25'-0"

3

11

SIDE ELEVATION
SCALE: 1/8" = 1'-0"

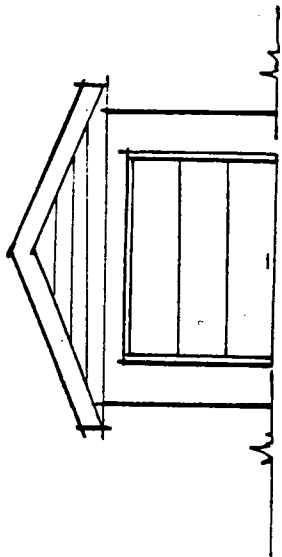




REAR ELEVATION
SCALE: 1/8" = 1'-0"



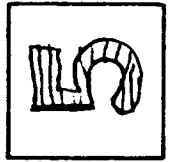
GARAGE



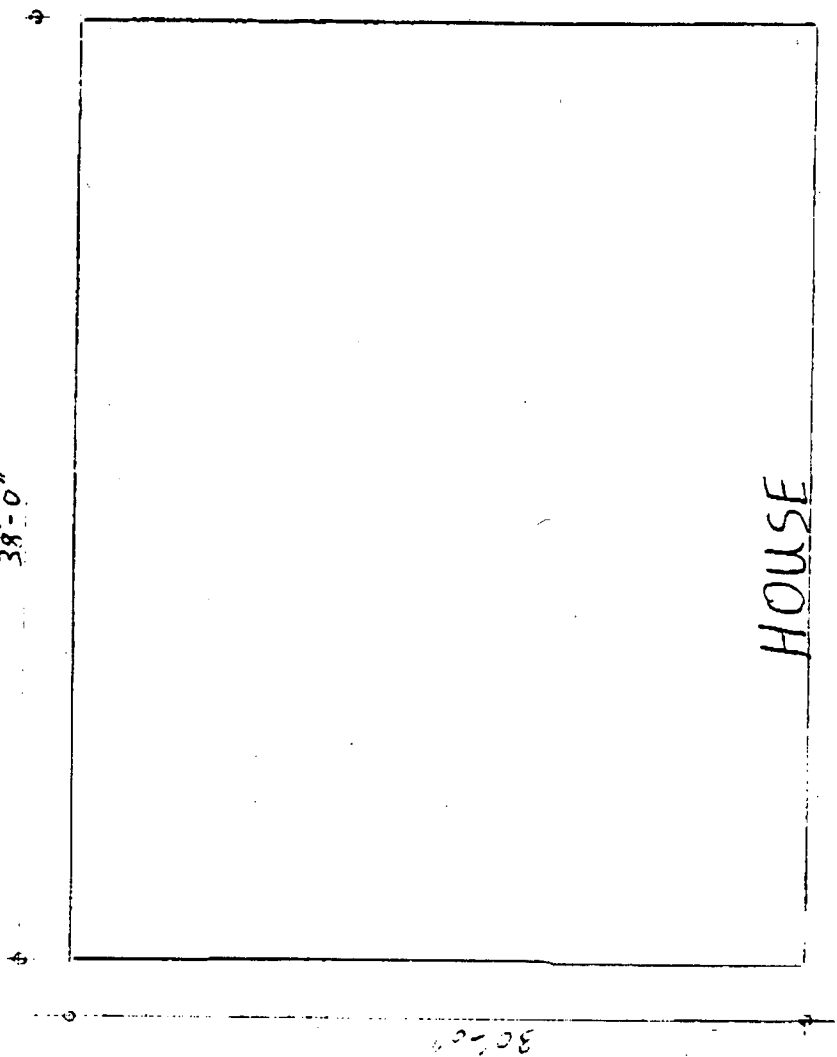
FRONT ELEV.
1/8" = 1'-0"



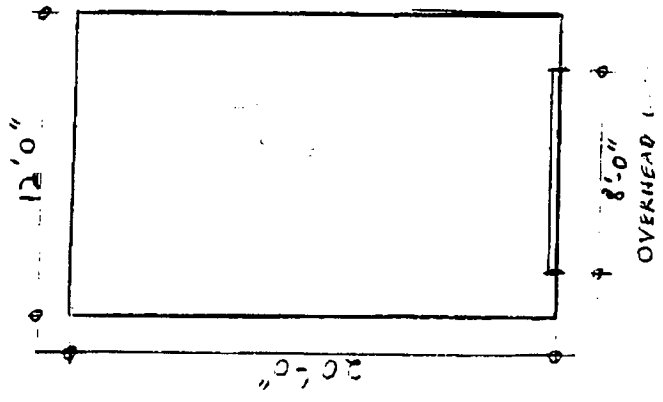
SIDE ELEV.
1/8" = 1'-0"



38'-0"



HOUSE



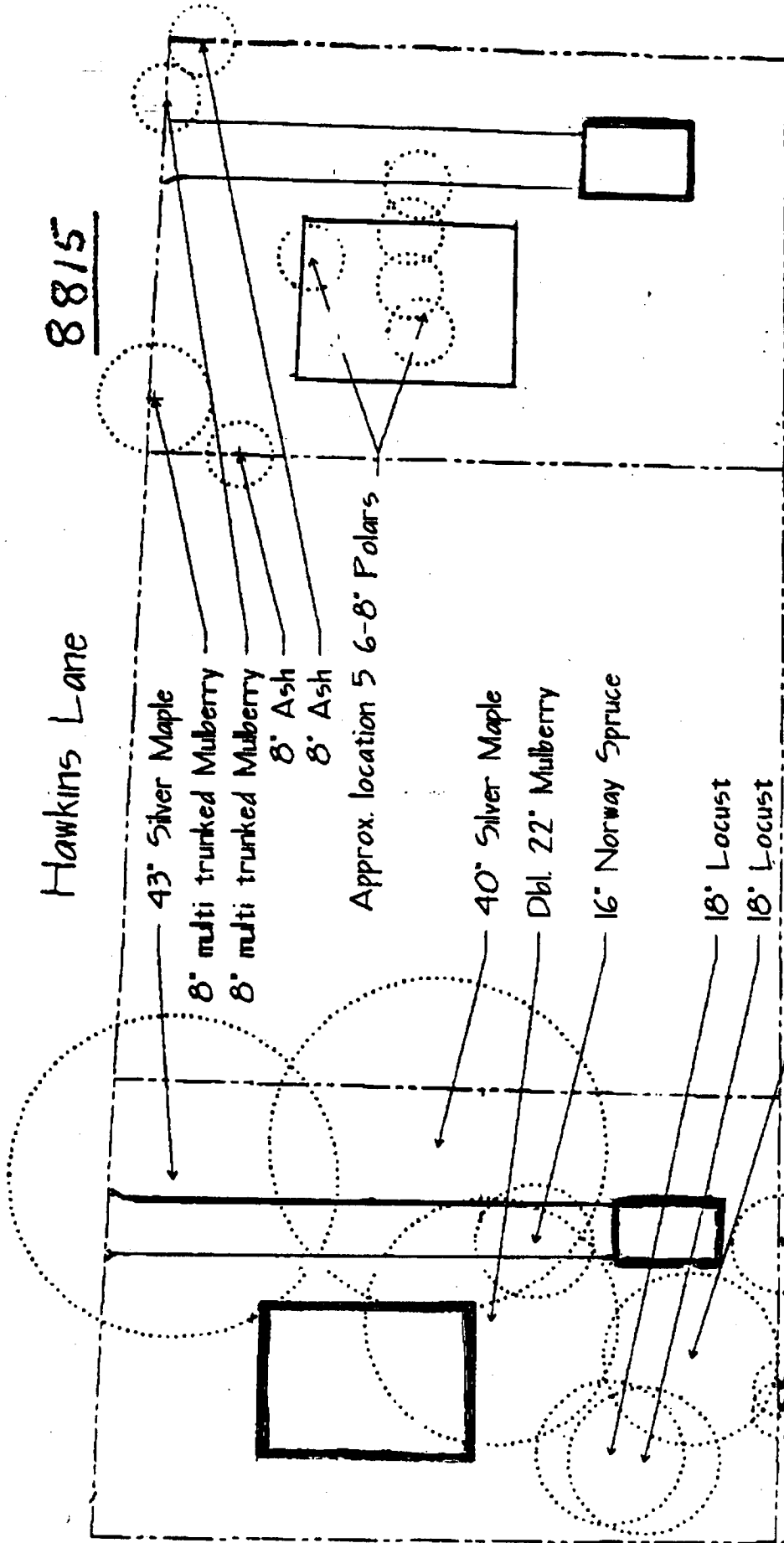
DETACHED GARAGE

PLAN VIEW

8813

Hawkins Lane

8815



- 43" Silver Maple
- 8" multi trunked Mulberry
- 8" multi trunked Mulberry
- 8" Ash
- 8" Ash

Approx. location 5 6-8° Polars

- 40" Silver Maple
- Dbf. 22" Mulberry
- 16" Norway Spruce

- 18" Locust
- 18" Locust
- 24" Locust

- 12" Mulberry
- 6" Mulberry
- 7" Locust

Within an approximate 10' X 10' region in this corner are:
 5" Mulberry
 8" Locust
 15" Locust
 23" Ash, hollow



TREE PRESERVATION PLAN

The arborist report is included and will show the need for 7 trees to be removed. Below is the plan that will ensure proper replacement of these resources.

8813

CURRENT

(1) 16" Norway Spruce
(1) 22" Mulberry

REPLACEMENT

(2) 1.5" Norway Spruce
(2) 1.5" Mulberry

8817

(5) 6-8" Poplars

(5) 1.5" Poplars

The development plan will abide by the plan set forth in the arborist report done by Mr. Todd Bolton. The setting of the houses was done to minimize disturbance to existing vegetation and to increase the distance between the neighboring houses.



February 8, 1994

Arborists Report
Property of Mr. & Mrs. Hsu
Located on Hawkins Lane
Chevy Chase, MD

The attached drawing indicates the location, size, and species of the trees on the proposed building lots. The rectangles of line-dash-line represent the approximate house size of 25 by 40 feet. Zoning code requires front and rear lot setbacks of 25 ft. Side to side requirements are 25 foot total, with neither side being less than 8 ft. The dotted circles represent what MNCPPC considers the "critical root zone". This is the area within which construction activities will be most likely to cause serious damage to the trees. My statements regarding removals reflect the need for at least 8 to 10 ft. of space surrounding the footprint for heavy equipment operation and grading.

These limitations on house siting suggest that at least 4 and probably all 5 poplars located in the center of the northernmost lot will need to be removed. Poplars are known for their tender root systems. Although the house on this lot might be set back far enough that the front tree does not need to be removed the roots would sustain significant damage. The damage would probably cause serious decline and the eventual death of this tree.

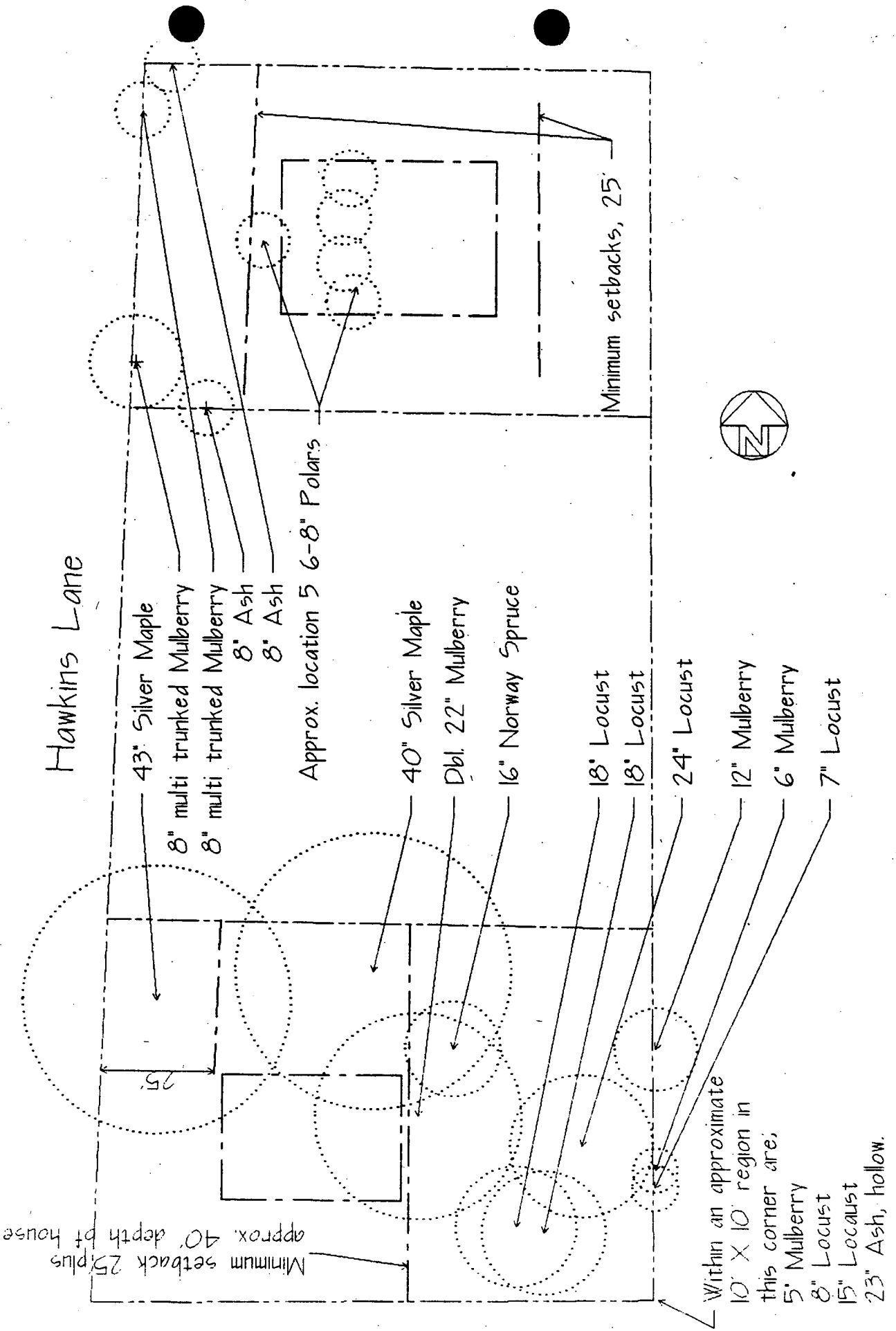
The southern lot has more trees of larger caliper. Most of them are not within the areas that need to be severely impacted by the construction process. Prudence would suggest the removal of the double 22" Mulberry and 16" Spruce. The remaining trees should not be too severely impacted if an effective tree protection plan is developed and *enforced*. This plan should include some form of preemptive root pruning prior to heavy machinery entering the site.

On lots of this size it is my opinion that several factors must be considered when determining the number, size, and location of replacement plantings. These factors include; true need for removal, energy savings, eventual canopy closure, privacy, garden light requirements, general aesthetics,

The southern lot is almost entirely under tree canopies. Mulberrys are considered an invasive exotic of minimal worth and considerable nuisance value. The Spruce is of aesthetic value but unluckily placed. I suggest that the replacement plantings should consist of; one full size evergreen, Spruce or Pine, in the southeastern corner of the property, 12 to 14 feet from the road near the property line, and 2 overstory deciduous trees, Red Oaks or Sugar Maples, between the proposed house and the southern property

boundary. My recommendation for the northern lot are four or five overstory deciduous in a staggered line along the southern boundary between the proposed house and the existing one.

The limited number of replacements is based on the factors mentioned above. Planting deciduous trees on the southern side of buildings will eventually produce reductions in cooling costs as well as providing the feeling of privacy. The evergreen placement is a typical planting for neighborhoods of this age. The plantings on the northern lot have similar reasons but are limited in number to allow the purchasers some unshaded land for gardening towards the rear of the lot. Crowding any greater number of trees on these lots would create intense competition leading to stressed conditions and poor tree health.



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: P865 and P811	Meeting Date: 01/26/94
Resource: Hawkins Lane Historic Dist.	Preliminary Consultation
Case Number: N/A	Tax Credit: No
Public Notice: 1/12/94	Report Date: 01/21/94
Applicant: Walter Hsu	Staff: Gwen Marcus
PROPOSAL: New construction	RECOMMEND: Proceed with some revision

This application is to obtain the HPC's recommendations on the applicant's proposal to construct two new houses along Hawkins Lane in the Hawkins Lane Historic District.

STAFF DISCUSSION/BACKGROUND

The Hawkins Lane Historic District is a unique and important historical resource in Montgomery County. It is a quiet, small in scale district - located in a heavily-developed area with a substantial number of large, expensive homes. The district has a rural atmosphere - its road is unpaved and its residences are modest in both size and price. The district property owners are concerned with preserving the rural character of their community. It is important that any new construction - especially along Hawkins Lane itself - be compatible with the existing.

Development guidelines have been established to preserve this sense of neighborhood. The Lane remains unpaved. Simple houses of similar scale and massing front toward the Lane with no barriers between the houses. The rural character of the Lane is further maintained by the presence of magnificent trees: poplars, oaks and maples that dominate the landscape.

The proposal submitted for two new houses - one to be constructed on P865 and one on P811 - is generally compatible with the overall character of Hawkins Lane. The proposed house designs are simple and consistent with the type of architecture found within the historic district. The footprint of the proposed houses - 1,120 square feet - is not out of line with other structures in the district. The use of wood clapboard as a construction material is appropriate.

Staff does have several concerns, however, that the HPC may want to discuss:

1. The height of the houses - 25 feet - will be greater than the majority of structures on the east side of Hawkins Lane. This may make the houses more prominent than they should be. Although staff feels the proposed 9/12 roof pitch at the front is appropriate, the Commission should consider the ultimate height of the proposed houses relative to those that already exist.

2. The rear elevation of the proposed houses should be redesigned. It currently is proposed as a full two-story elevation. It would be preferable to utilize dormers in the rear, or in some other way reduce the bulk and mass of the rear section of the houses.

3. Detached garages are appropriate. However, plans for the garage structures must be submitted.

4. No information is included on the type of windows to be installed. Staff would suggest simple one-over-one, wood, double-hung sash.

5. No information is included on the impact which construction of these houses will have on trees on P865 and P811. It is very important to assess whether the proposed construction will require removal of large trees. A tree survey should be done by a professional arborist and should be submitted with the ultimate HAWP application.

STAFF RECOMMENDATION

Staff feels that the house designs proposed for P865 and P811 are generally consistent with the character and scale of the Hawkins Lane Historic District. The applicant should work on substantially redesigning the rear section/elevation of the houses. The rear elevations should not read as a full two-stories, and the houses should be reduced to true one and one-half story structures.

In addition, the applicant should provide additional information on trees on the two lots and what impact the new houses will have on existing vegetation.

Finally, the applicant should provide additional details on the garage designs, and the windows to be used.

Walter Hsu
8815 Hawkins Lane
Chevy Chase, Md. 20815
January 10, 1994

Ms. Patricia Parker
Design, Zoning and Preservation and Planning Commission
8787 Georgia Avenue
Silver Spring, Md. 20910

Dear Ms. Parker:

This letter is to request a preliminary hearing on January 27, 1994 for the development of the two lots P865 and P811 on Hawkins Lane. The two lots are currently vacant and surround both sides of 8815 Hawkins Lane. The proposed two houses will be identical except for a walkout basement for P811, this is due to the natural grade that is present. Due to the issue of disturbance to the lane, the two proposed houses will be modular, prefabricated in the factory. The use of this construction method will shorten the construction period from 5 months to 2 months. Thank you for your attention to this matter and please let me know of any comments or recommendations that you may have so that I may do my best to accommodate.

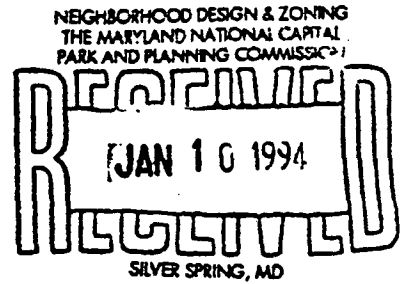
Sincerely,



Walter Hsu

ATTN: Ms. Pat Parker

From: Walter Hsu
652-3161



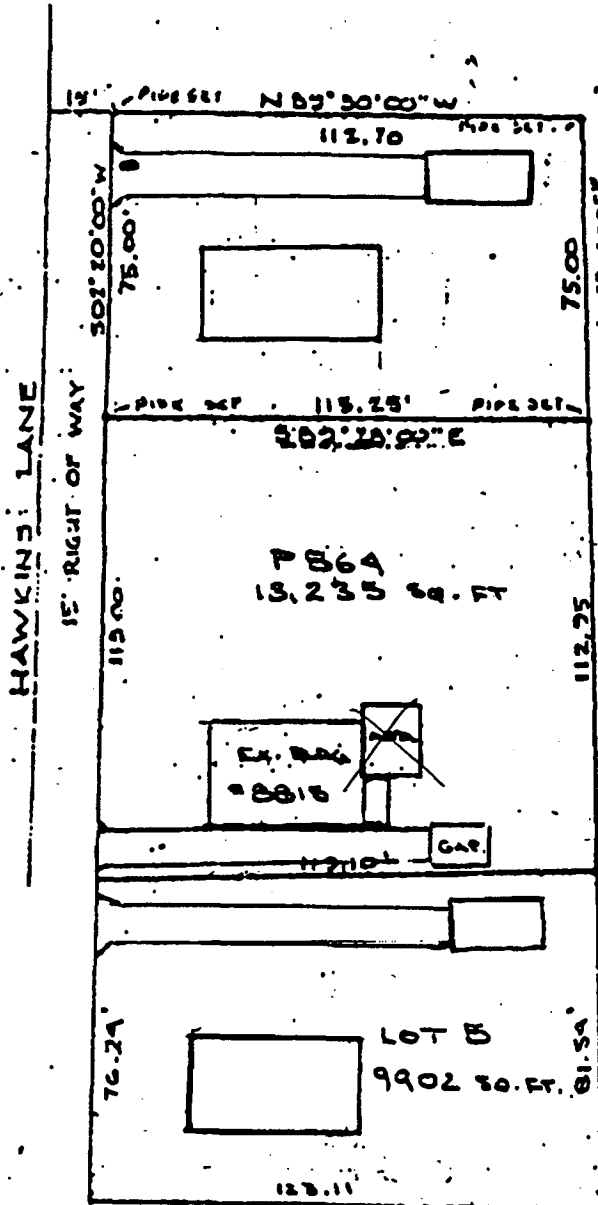
Enclosed is the perspective of the houses with specifications.

I will follow with a phone call.

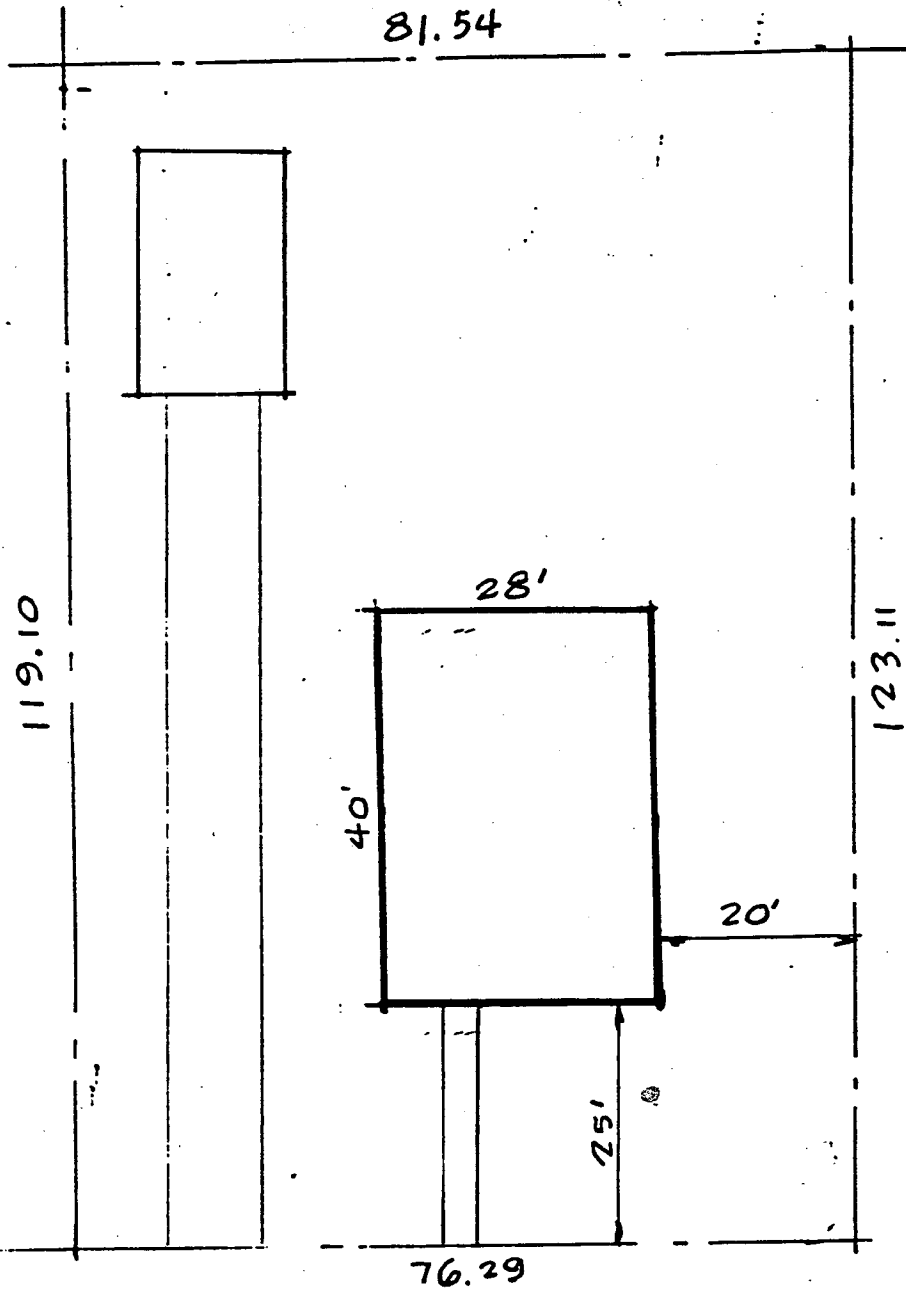
Thank you,

Walter Hsu

HAWKINS LAKE
PRELIMINARY SITE PLAN



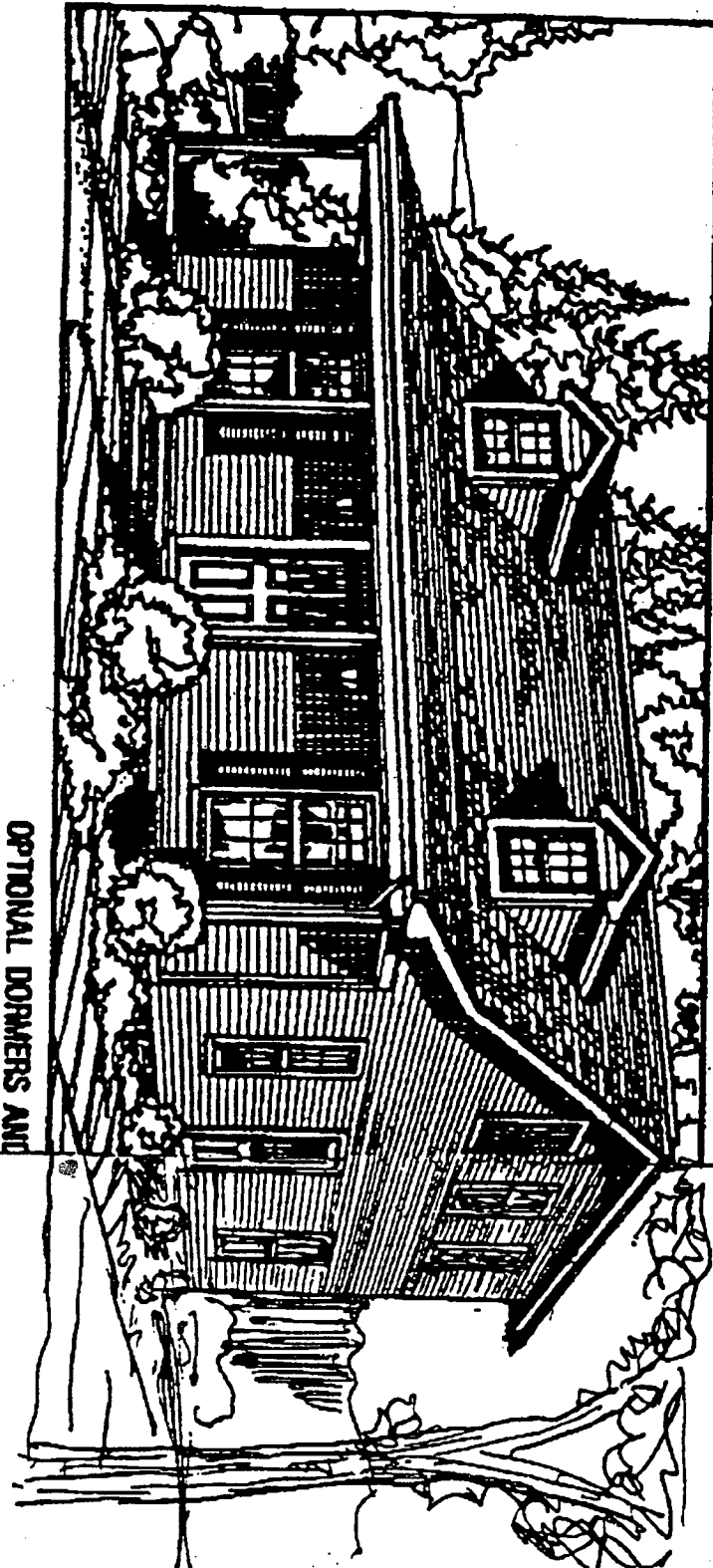
(4th Line JA 36 - Folio 413)



HAWKINS LANE

SITE PLAN
SCALE: 1" = 20'-0"

(F)



OPTIONAL DORMERS AND

G

Preliminary specifications for the development of P865 and P811

- The dimensions of the homes will be 28 foot wide and 40 foot deep.
- The total footprint of the homes will be 1120 square feet.
- The homes will be a story and a half, with a total square footage of 1700 square foot throughout.
- The homes will have a basement where the mechanical room will be located.
- The height of the homes will be 25 feet tall at its highest point.
- The exterior skin of the building will be painted wood clad.
- A front porch will be present with the decking made of wood framing with a wood step.
- Two dormers will be present on the front of the house.
- The roof pitch at the front will be a 9/12 and the back 3/12.
- The roof will be made of asphalt shingles.
- There will be shutters on the front exterior windows.

