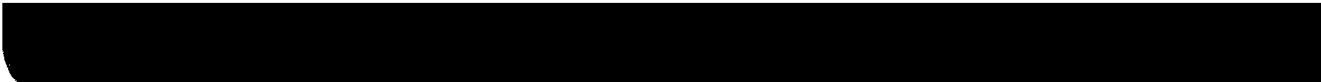



10037 Pratt Place, Silver Spring
HPE Cox No. 31107-085
Capital View Park H.D.



Pendaflex
Esselte

4350 1/3 RED 10%  P4

N/C

27 August

left messy - asked to call back
- print photos

25 August - worked on report -

reads

Pict + art owner of photos



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 11 September, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Rachel Kennedy, Senior Planner *TK*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493711, Repairs to second story deck and construction of rear first story deck.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the September 10, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: David Miller
Address: 10037 Pratt Avenue, Silver Spring. Capitol View Park Historic District.

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
265 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850
240-370-1070

DPS - #8

R

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: LISA PORTNER or David Miller
Daytime Phone No.: 301-451-3831 WK

Tax Account No.: 02360100
Name of Property Owner: DAVID MILLER Daytime Phone No.: 240-498-9593 cell
Address: 10037 Pratt Place, Silver Spring MD 20910
Street Number City Street Zip Code
Contractor: Maryland General Contracting Inc. Phone No.: 301-577-8100
Contractor Registration No.: _____
Agent for Owner: LISA PORTNER OR DAVID MILLER Daytime Phone No.: 301-577-8100
301-451-3831 WK

LOCATION OF BUILDING/PREMISE

House Number: 10037 Street: Pratt Place
Town/City: Silver Spring Nearest Cross Street: Capital View
Lot: 22 Block: 29 Subdivision: Capital View Park
Liber: _____ Folio: _____ Parcel: A

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- AC Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 8194.00
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Miller 8/19/08
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

493711

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

See attached

1. WRITTEN DESCRIPTION OF PROJECT

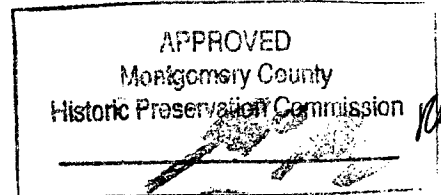
a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.



3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

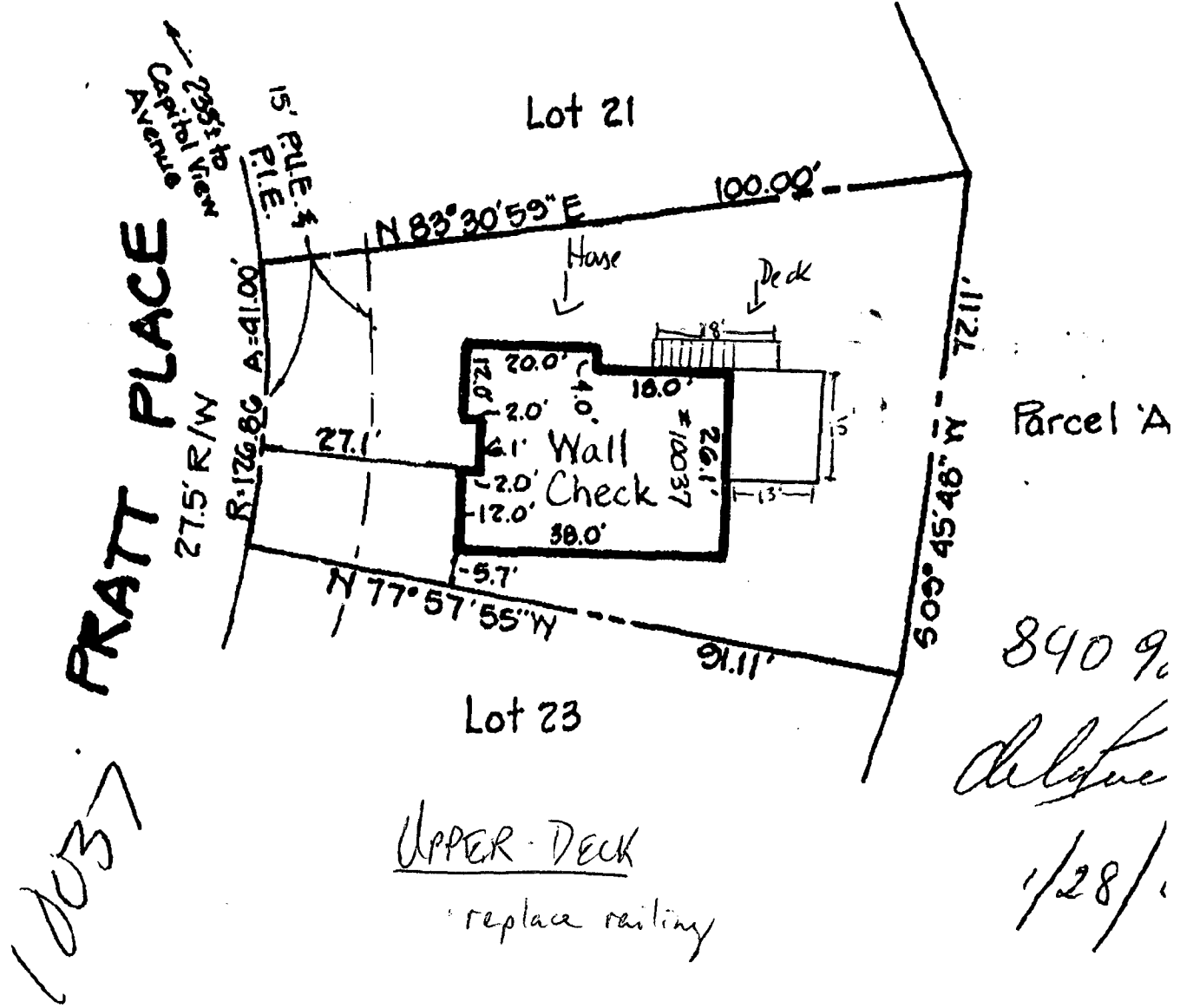
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

Survey made on October 16, 1984. Unless shown hereon, there are no monuments.

Douglas
DOUGL
PROFESSIONAL L

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

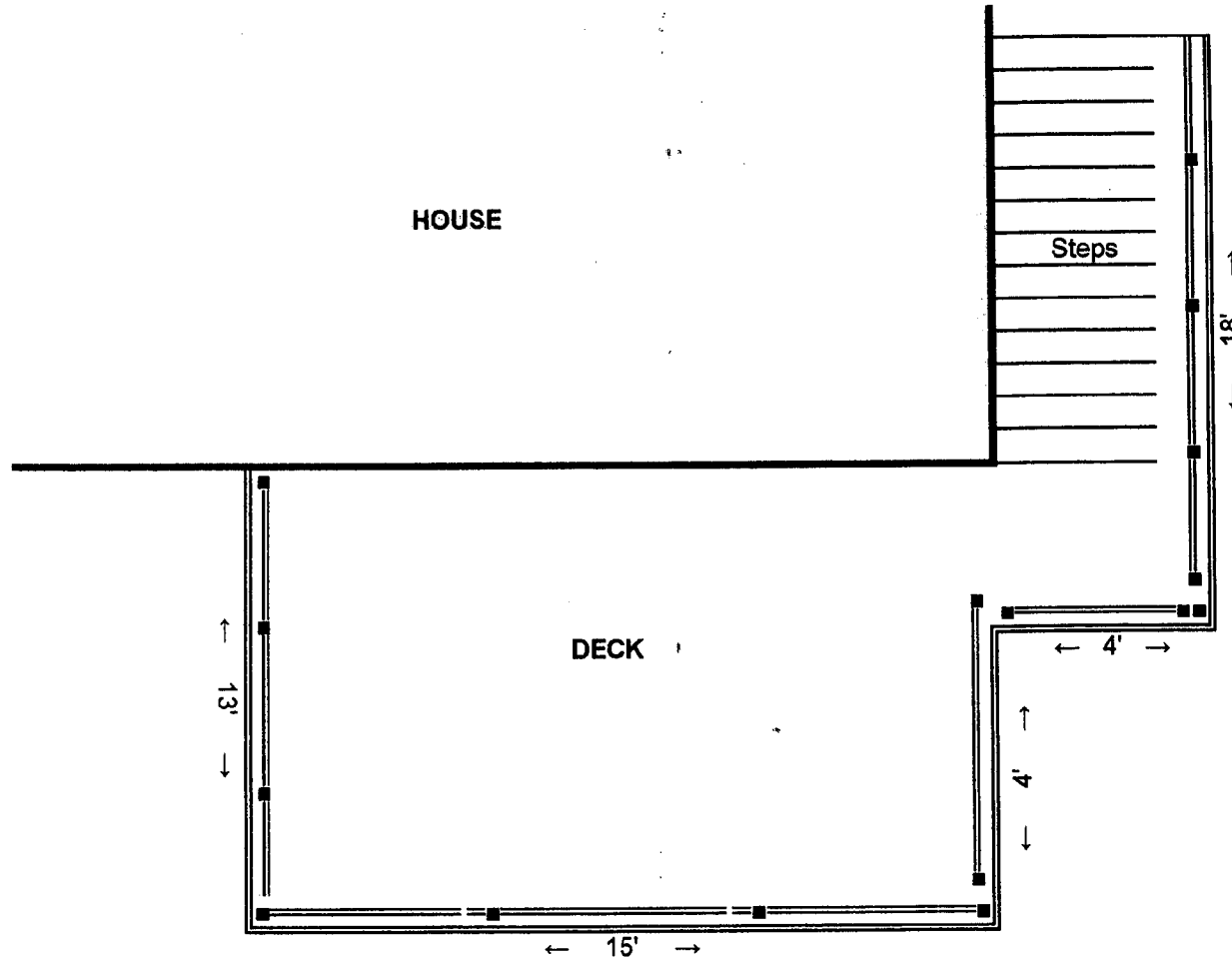
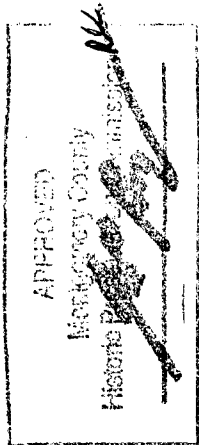
8

Material & Plan

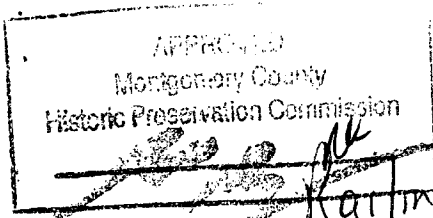
2

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: Replace Existing Railing System w/New Pressure Treated Railing.



** All lumber used will be pressure treated pine. See attached drawing #2A for more railing detail.



2 A

Material & plan

Railway Detail

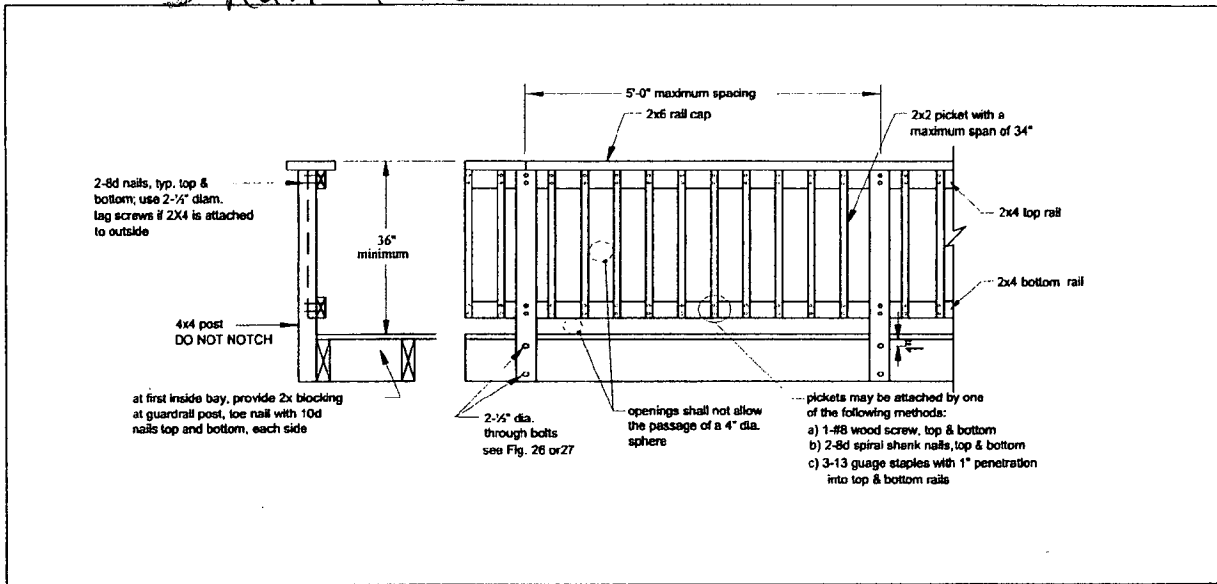


Figure 22. Typical guardrail details

Stair Detail

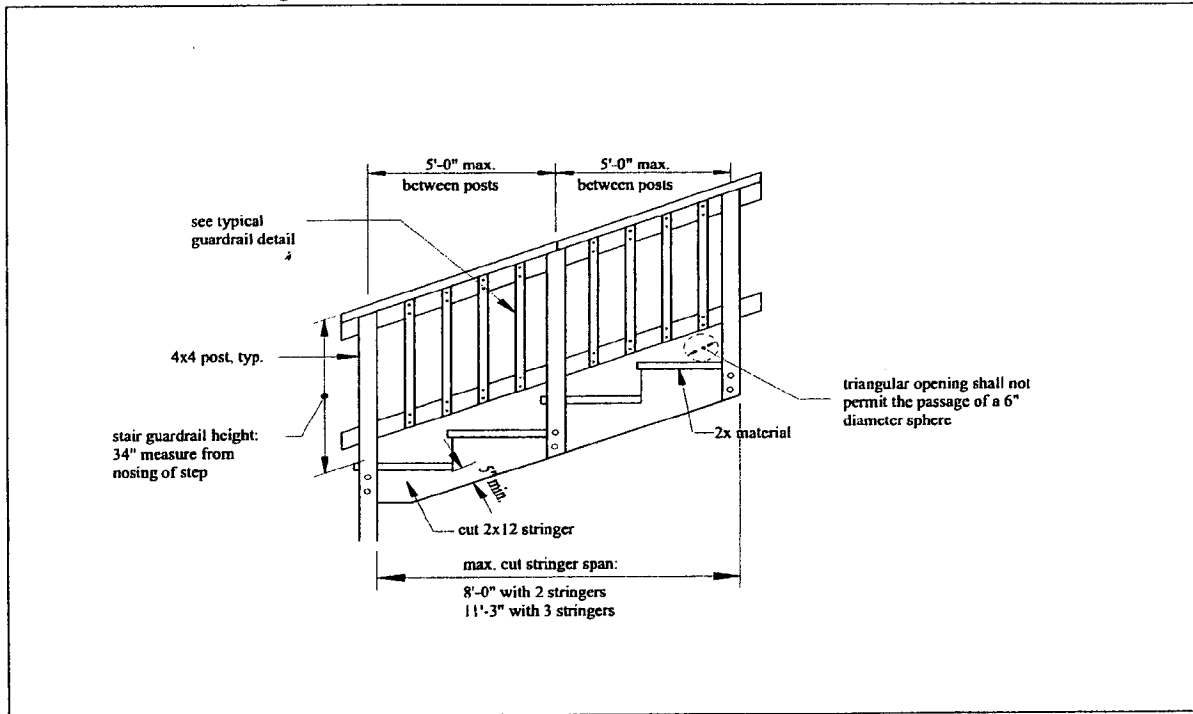


Figure 23. Guardrail and cut stringer detail

1 of 2 written description and Material Specifications

**MARYLAND
GENERAL CONTRACTING**

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoncka@yahoo.com

Item	Description	Total
Deck	<p>POWERWASH DECK Powerwash (1) deck approx. 234 total sq. ft. of floorboards. Estimate includes railings and steps. Nail/Screw down any obvious nails/screws that have backed their way out. Customer acknowledges that any prior stain/paint color normally will not be removed from powerwashing. This estimate does not include replacing any deteriorating wood unless specifically mentioned below. Customer will allow Contractor to use their outside water supply from hosebib. Built-in shed below deck is not included in powerwashing.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck powerwashing, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	495.00
Stain Deck	<p>STAIN/SEAL DECK Stain/Seal (1) 2nd story deck (approx. 234 total sq. ft. of floorboards). Estimate includes railings, 2 story staircase with railings, band boards, beams and posts. Currently deck has a weathered stain that will be partially removed prior to staining by powerwasher, therefore Customer must select a solid stain/sealant to cover remaining stain color. Customer will choose color of solid (pigmented) stain from Contractor's selection. Contractor will re-hammer loose nails/screws where necessary, however Customer acknowledges many nails pops, etc. will re-appear due to deteriorated wood and/or over-stretched hole cavities not holding back nail/screw.</p> <p>This estimate DOES NOT INCLUDE any of the following, but not limited to: - Any stain/seal being applied underneath deck other than what is described above. - Any new nails/screws being applied or installed by Contractor or bolts being re-fastened other than that what is described below. - Replacing any deteriorating wood unless specifically mentioned below. - Built-in shed below deck is not included in staining.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck staining, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	1,250.00

MARYLAND GENERAL CONTRACTING
 20203 GOSHEN RD., #303
 GAITHERSBURG, MD 20879
 301-785-3468
 chaoncka@yahoo.com

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total

Customer Signature: [Signature] Date: 7/23/08 MGC Auth. Rep.: [Signature] Date: _____

MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

07-23-2008 18:07 HOUSE OF WITNESSES 301-368-3508

(9)

PAGE 2

07-23-2008 18:08 FINISH OF LITNUMS 701 242508

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Exterior	UPPER DECK (Railing) DECK REPAIR Contractor will remove entire wood railing system from deck/stairs & dispose (including 4x4 posts, except the posts running into ground as support). New pressure treated pine railing system will be supplied & installed to meet code. Railing system will consist of 2x6 top rail over 2x4 rail with 2x2 pickets attached to upper & lower 2x4 rail. New 4x4 posts will be double bolted into outside band board & support railings.	3,490.00
Painting	PAINT PORCH RAILING Contractor will scrape and paint railings at front porch area. (2) coats of Duron Exterior Semi-Gloss will be applied to match existing paint color. Lower right railing will be secured, nailed &/or screwed into post.	469.00

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Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total \$5,704.00

Customer Signature: [Signature] Date: 7/23/08 MGC Auth. Rep.: [Signature] Date: _____

MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

Maryland Professional Contractors Board
Professional Seal
7/23/08

10
DORCEZ

#2 of 2 Written Description and Material Specifications

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1526
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Deck	<p>11' x 11' PRESSURE TREATED PINE PLATFORM DECK - No Steps or Railings</p> <p>DESCRIPTION OF WORK: <u>LOWER DECK (Installation)</u></p> <p>Contractor to Supply all material and Construct the above mentioned deck to the below specifications to rear of Customer's residence under 2nd story deck. Ground will be graded so that deck will sit approx. 10" level above existing paver patio. Deck parameters will fall within existing 6x6 posts of 2nd story deck, to the edge of the paver patio & approx. 12" from built-in shed (deck will not extend to shed to preserve arway of shed entrance). 1' x 5' area between shed & deck will be filled with pea gravel. All floorboards will be screwed with stainless steel decking screws. Cost and price are based on total amount of job and includes: On-site survey & measurements by designer, foundation plans, drawing plans, elevations, sections & material specifications as required.</p> <p>CONSTRUCTION SPECIFICATIONS:</p> <ul style="list-style-type: none"> - (3) 6x6 Pressure Treated Posts Secured into concrete footing - (13) 2x8 Pressure Treated Floor Joists Nailed/screwed into ledger & band board - (3) 2x10 Pressure Treated Band Boards Bolted into posts & nailed/screwed into ledger board - (3) 2x8 Pressure Treated Parameter Floor Joists Bolted into posts & nailed/screwed into ledger board - (1) 2x10 Pressure Treated Ledger Board Bolted into homes concrete poured foundation 	2,490.00

APPROVED
 MARYLAND GENERAL CONTRACTING
 6/30/2008
 [Signature]

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Customer Signature: [Signature]

Date: 7/23/08

MGC Auth. Rep.: [Signature]

Date: _____

Total

MHIC #	Phone #
79191	301-577-8100

Page 1

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

(11)

DATE

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10037 Pratt Avenue, Silver Spring	Meeting Date:	09.10.08
Resource:	Noncontributing Resource Capitol View Park Historic District	Report Date:	09.03.08
Applicant:	David Miller	Public Notice:	08.27.08
Review:	HAWP	Tax Credit:	Partial
Case Number:	31/07-08E	Staff:	Rachel Kennedy
Proposal:	Repairs to rear second story deck and construction of rear first story deck		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Noncontributing Resource
STYLE: Modern Cape Cod
DATE: c. 1990

PROPOSAL

The applicants are proposing to rehabilitate their upper story rear deck. This work will include installation of new porch railings, cleaning and staining the deck, and installation of new support posts. On the first story level, the applicants intend to construct a new 11' by 11' pressure-treated wood deck to fall within the footprint of the upper story deck. This deck will sit on grade level and will not require steps or railings. The rear decks cannot be seen from the street and do not have a negative effect on the surrounding district, as all of the adjacent houses appear to have been built within the last twenty years in a modern cul-de-sac setting.

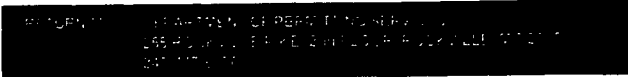
APPLICABLE GUIDELINES

Approval is based on the adopted amendment for the *Chevy Chase Village Historic District*, the *Secretary of the Interior's Standards for Rehabilitation*, and the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings– if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: LISA PORTNER of DAVID MILLER
Daytime Phone No.: 301-451-3831 WK

Tax Account No.: 02360100
Name of Property Owner: DAVID MILLER Daytime Phone No.: 240-498-9593 cell
Address: 10037 Pratt Place, Silver Spring MD 20910
Street Number City State Zip Code
Contractor: Maryland General Contracting Inc. Phone No.: 301-577-8100
Contractor Registration No.:
Agent for Owner: LISA PORTNER OR DAVID MILLER Daytime Phone No.: 301-577-8100
301-451-3831 WK

LOCATION OF BUILDING/PREMISE

House Number: 10037 Street: Pratt Place
Town/City: Silver Spring Nearest Cross Street: Capital View
Lot: 22 Block: 29 Subdivision: Capital View Park
Liber: _____ Folio: _____ Parcel: A

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|--|--|------------------------------------|--|--|--|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 8194.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

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- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Miller Signature of owner or authorized agent
8/19/08 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

493711

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

See attached

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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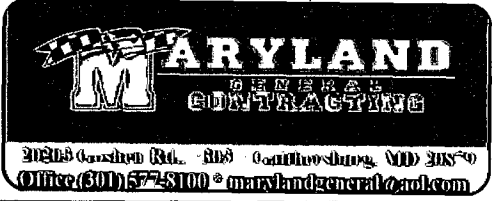
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

4

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>10037 Praxx Place Silver Spring, MD 20910</p>	<p>Owner's Agent's mailing address</p>  <p>30203 Coakley Rd. - 6th - Gaithersburg, MD 20878 Office (301) 577-8100 * marylandgeneral@aol.com</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Nancie Kondo 10039 Pratt Place Silver Spring, MD 20910</p>	<p>Resident 10035 Pratt Place Silver Spring, MD 20910</p>
<p>Kevin Hieber + Jody Ference 10036 Pratt Place Silver Spring, MD 20910</p>	

BUILDING LOCATION SURVEY

LOT 22 BLOCK 29

CAPITOL VIEW PARK

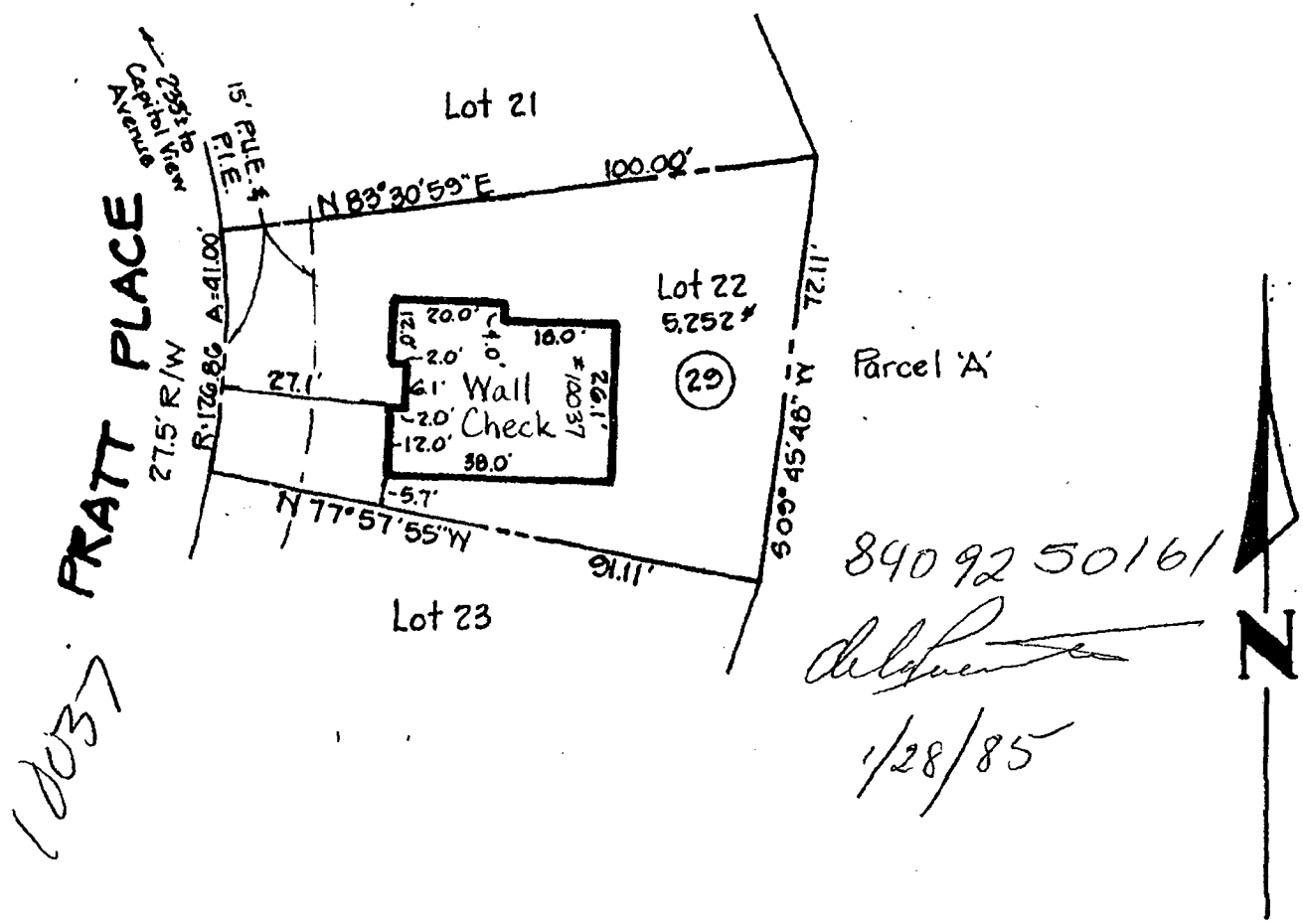
Montgomery County, Maryland
 Scale: 1" = 30' October 18, 1984
 Plat Book 129 Plat 14589

MACRIS, HENDRICKS and WITMER, P.A.

ENGINEERS • PLANNERS • SURVEYORS
 15209 FREDERICK ROAD ROCKVILLE, MD. 20850
 340-8705

I hereby certify that the survey shown hereon is correct and the property is as delineated on the above stated plat as recorded among the Land Records of Montgomery County, Md. The improvements were located by a transit-tape survey made on October 16, 1984. Unless shown hereon, there are no visible encroachments.

Douglas H. Riggs III
 DOUGLASS H. RIGGS, III
 PROFESSIONAL LAND SURVEYOR, MD. NO. 10712



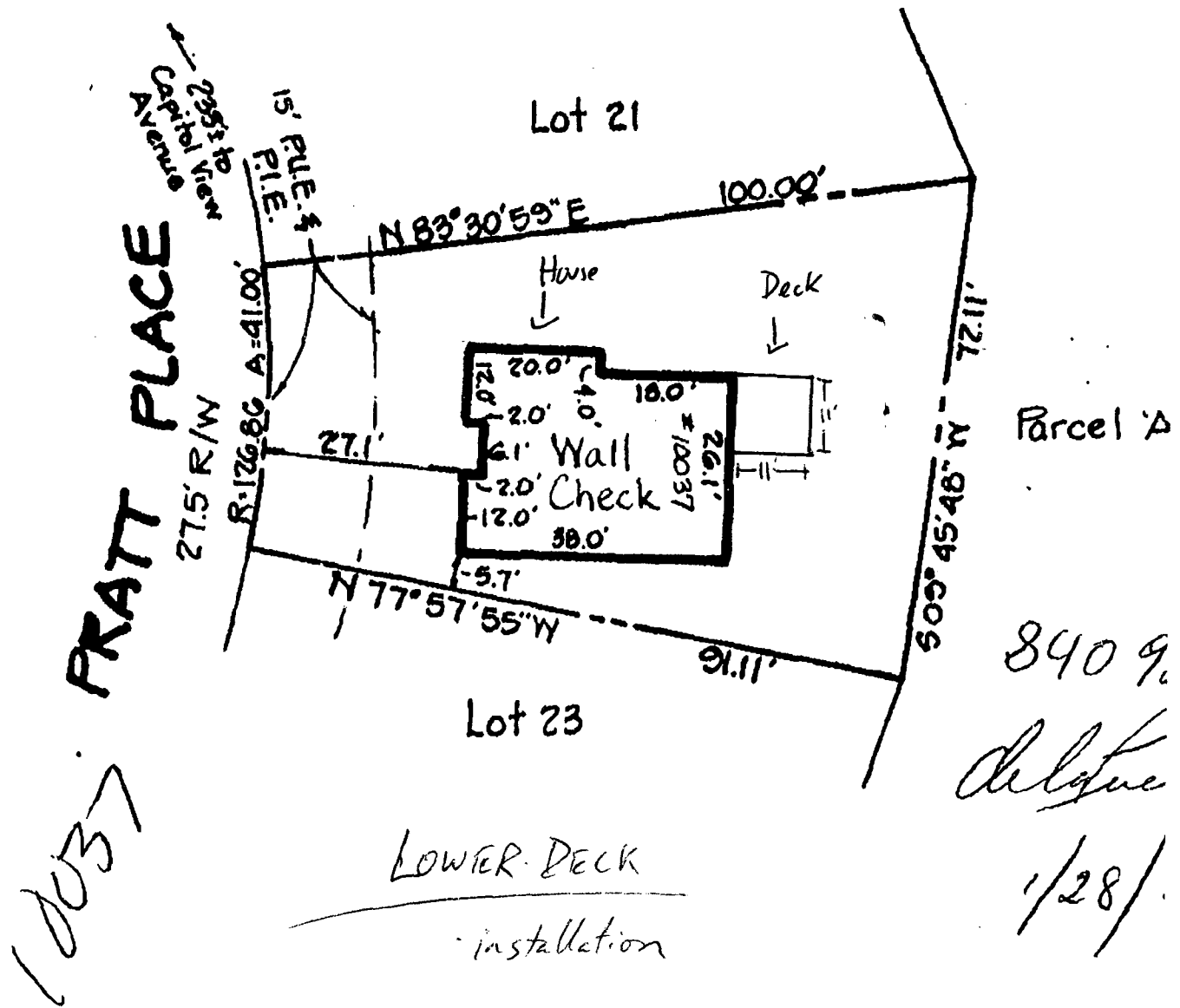
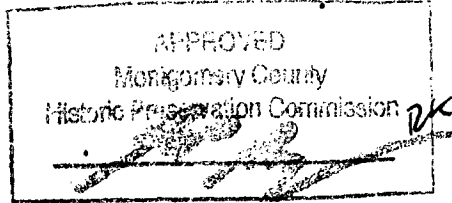
NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

	W.C.	F.
Field	EW
Draft	P.M.
Check	DR

(6)

Survey made on October 16, 1984. Unless shown hereon, there are no monuments.

Douglas
DOUGLAS
PROFESSIONAL

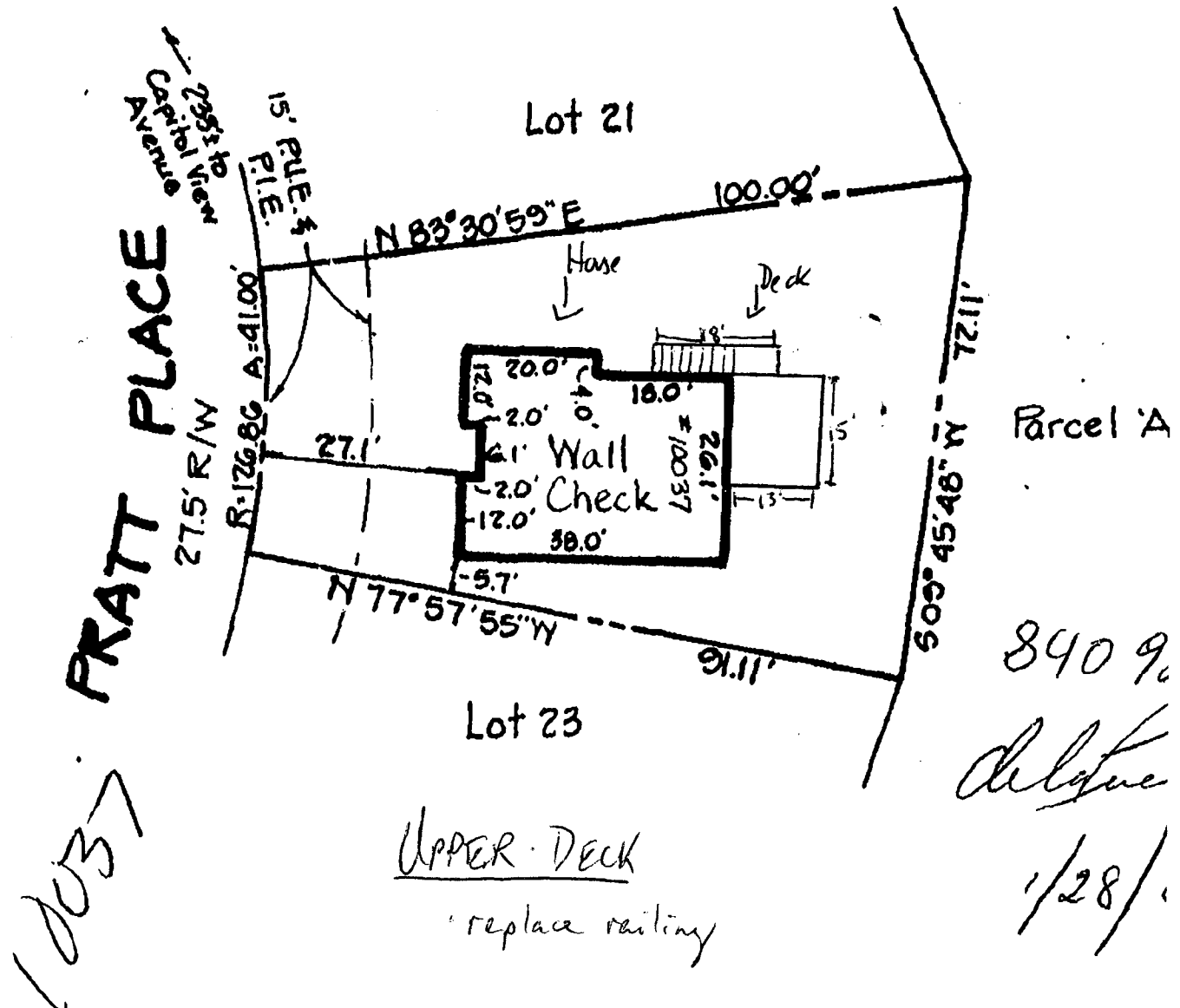


NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

Survey made on October 16, 1984. Unless shown otherwise, there are no monuments.

Douglas
DOUGL
PROFESSIONAL L

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

8

1 of 2 written description and Material Specifications

07-23-2008 18:07 HRIISE OF WTNHMS 301 3683508

**MARYLAND
GENERAL CONTRACTING**

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoncka@yahoo.com

Item	Description	Total
Deck	<p>POWERWASH DECK Powerwash (1) deck approx. 234 total sq. ft. of floorboards. Estimate includes railings and steps. Nail/Screw down any obvious nails/screws that have backed their way out. Customer acknowledges that any prior stain/paint color normally will not be removed from powerwashing. This estimate does not include replacing any deteriorating wood unless specifically mentioned below. Customer will allow Contractor to use their outside water supply from hosebib. Built-in shed below deck is not included in powerwashing.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck powerwashing, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	495.00
Stain Deck	<p>STAIN/SEAL DECK Stain/Seal (1) 2nd story deck (approx. 234 total sq. ft. of floorboards). Estimate includes railings, 2 story staircase with railings, band boards, beams and posts. Currently deck has a weathered stain that will be partially removed prior to staining by powerwasher, therefore Customer must select a solid stain/sealant to cover remaining stain color. Customer will choose color of solid (pigmented) stain from Contractor's selection. Contractor will re-hammer loose nails/screws where necessary, however Customer acknowledges many nails pops, etc. will re-appear due to deteriorated wood and/or over-stretched hole cavities not holding back nail/screw.</p> <p>This estimate DOES NOT INCLUDE any of the following, but not limited to: - Any stain/seal being applied underneath deck other than what is described above. - Any new nails/screws being supplied or installed by Contractor or bolts being re-fastened other than that what is described below. - Replacing any deteriorating wood unless specifically mentioned below. - Built-in shed below deck is not included in staining.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck staining, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	1,250.00

MARYLAND GENERAL CONTRACTING
 20203 Goshen Rd., #303
 Gaithersburg, MD 20879
 301-785-3468
 chaoncka@yahoo.com

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total

Customer Signature: [Signature] Date: 7/23/8 MGC Auth. Rep.: [Signature] Date: _____

MHC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

9

PAGE 2

07-23-2008 18:08 HUNG NE LITNUMUG 301 368-3508

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Exterior	UPPER DECK (Railing) DECK REPAIR Contractor will remove entire wood railing system from deck/stairs & dispose (including 4x4 posts, except the posts running into ground as support). New pressure treated pine railing system will be supplied & installed to meet code. Railing system will consist of 2x6 top rail over 2x4 rail with 2x2 pickets attached to upper & lower 2x4 rail. New 4x4 posts will be double bolted into outside band board & support railings.	3,490.00
Painting	PAINT PORCH RAILING Contractor will scrape and paint railings at front porch area. (2) coats of Duron Exterior Semi-Gloss will be applied to match existing paint color. Lower right railing will be secured, nailed &/or screwed into post.	469.00

Historic Preservation Commission
Montgomery County
7/23/08

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Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total \$5,704.00

Customer Signature: [Signature] Date: 7/23/08 MGC Auth. Rep.: [Signature] Date: _____

MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

10
DANGER

#2 of 2 Written Description and Material Specifications

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1526
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Deck	<p>11' x 11' PRESSURE TREATED PINE PLATFORM DECK - No Steps or Railings</p> <p>DESCRIPTION OF WORK: <u>Lower Deck (Installation)</u></p> <p>Contractor to Supply all material and Construct the above mentioned deck to the below specifications to rear of Customer's residence under 2nd story deck. Ground will be graded so that deck will sit approx. 10" level above existing paver patio. Deck parameters will fall within existing 6x6 posts of 2nd story deck, to the edge of the paver patio & approx. 12" from built-in shed (deck will not extend to shed to preserve areaway of shed entrance). 1' x 5' area between shed & deck will be filled with pea gravel. All floorboards will be screwed with stainless steel decking screws. Cost and price are based on total amount of job and includes: On-site survey & measurements by designer, foundation plans, drawing plans, elevations, sections & material specifications as required.</p> <p>CONSTRUCTION SPECIFICATIONS:</p> <ul style="list-style-type: none"> - (3) 6x6 Pressure Treated Posts Secured into concrete footing - (13) 2x8 Pressure Treated Floor Joists Nailed/screwed into ledger & band board - (3) 2x10 Pressure Treated Band Boards Bolted into posts & nailed/screwed into ledger board - (3) 2x8 Pressure Treated Parameter Floor Joists Bolted into posts & nailed/screwed into ledger board - (1) 2x10 Pressure Treated Ledger Board Bolted into homes concrete poured foundation 	2,490.00

APPROVED
 MARYLAND GENERAL CONTRACTING
 [Signature]

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.
 Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total

Customer Signature: [Signature] Date: 7/23/08 MGC Auth. Rep.: [Signature] Date: _____

MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

2008 06 30 10:00 AM

2008 06 30 10:00 AM

(11)

DATE

07-27-2008 18:00 H1116F NE WTNHMLIS 301 3433508

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1526
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoncka@yahoo.com

Item	Description	Total
	--(22) 2x6 Pressure Treated Floor Boards Screwed into floor joists ** Note: There are no steps or railings that are included in this contract. Contract DOES NOT include cost of Permit. Customer will be responsible for filing for permit and paying all fees involved.	

APPROVED
Horton County
Historic Preservation Commission
[Signature]

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total	\$2,490.00
--------------	-------------------

Customer Signature: *[Signature]* Date: 7/23/08 MGC Auth. Rep.: *[Signature]* Date: _____

MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

(12)

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2A

Material &
 plan

Guardrail Detail

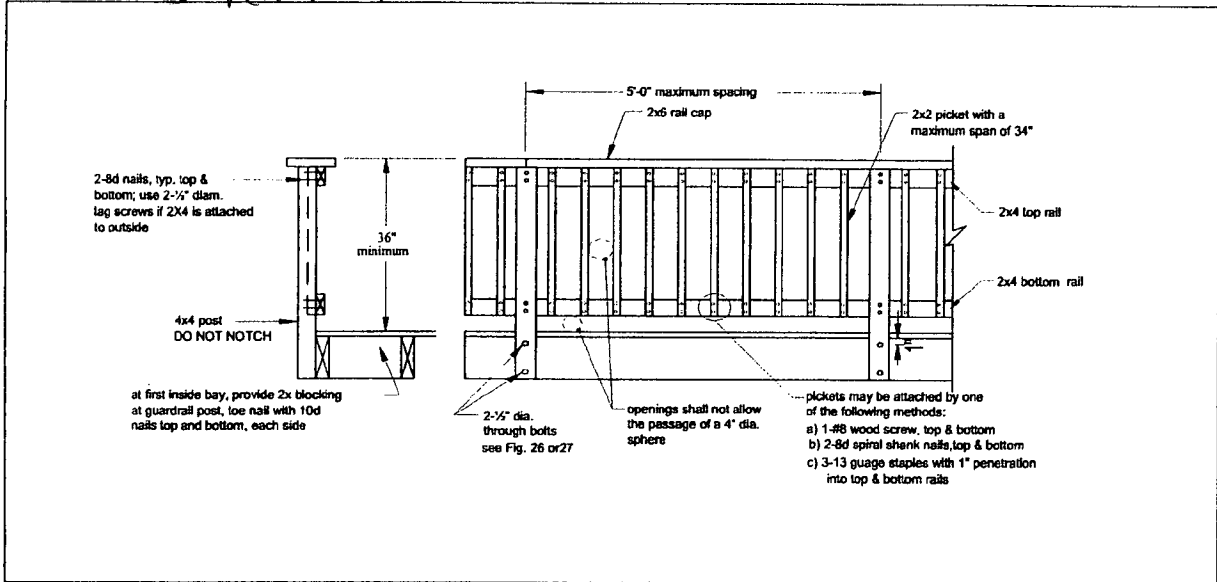


Figure 22. Typical guardrail details

Stair Detail

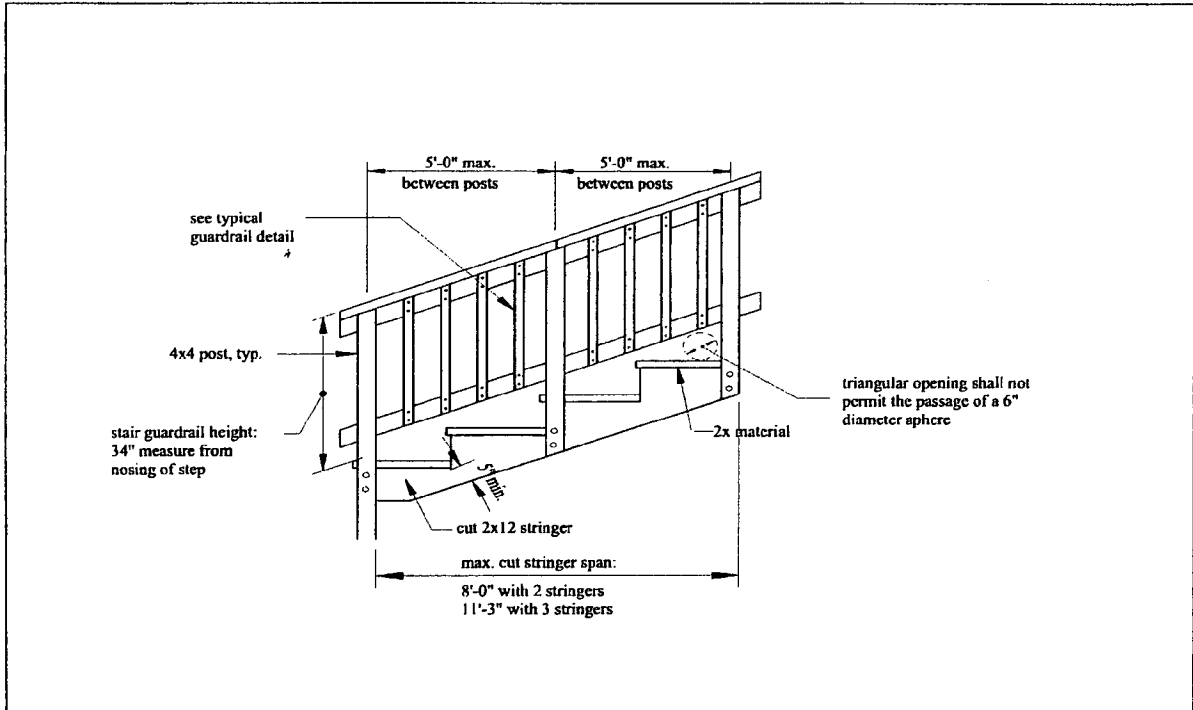


Figure 23. Guardrail and cut stringer detail

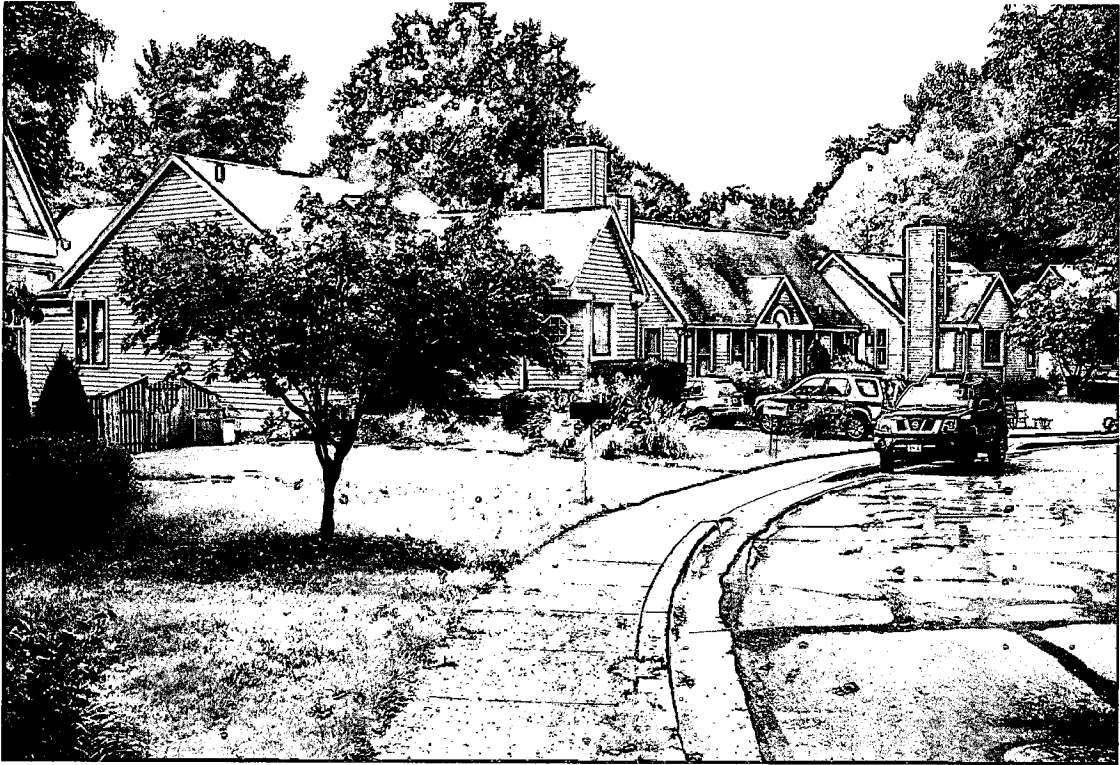


10037 Pratt Place, Capitol View Park
Front Elevation

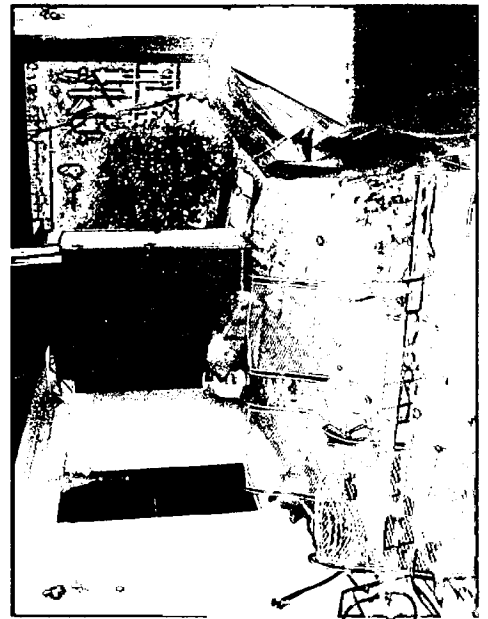
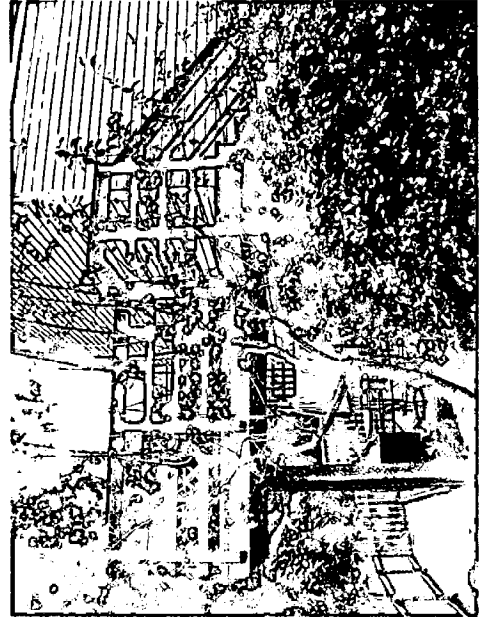
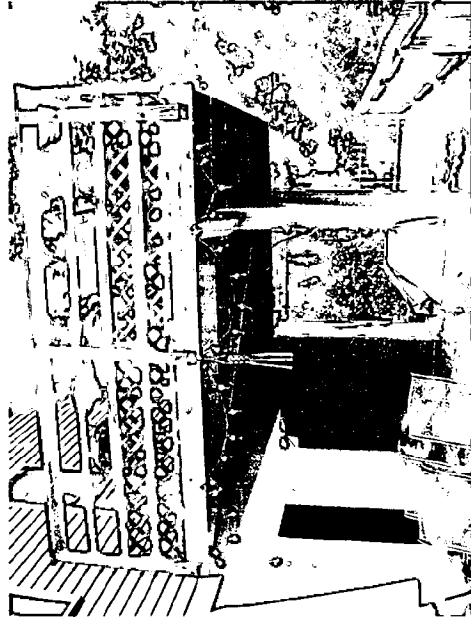
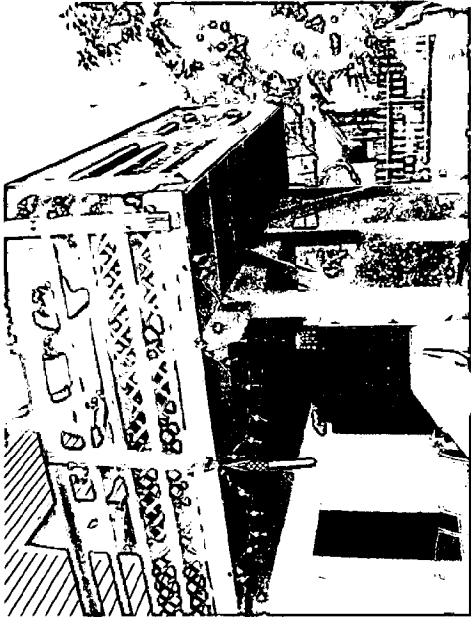
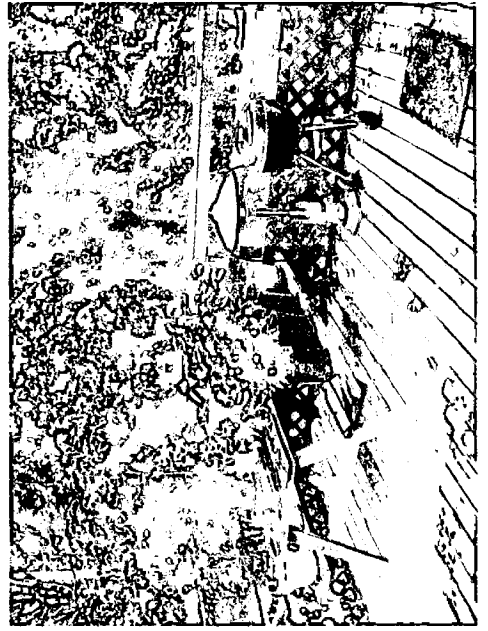
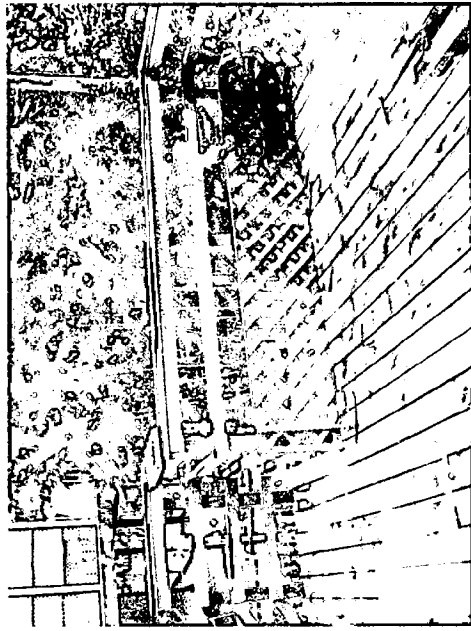
15

10037 Pratt Place, View of Rear Deck
Taken from side yard.

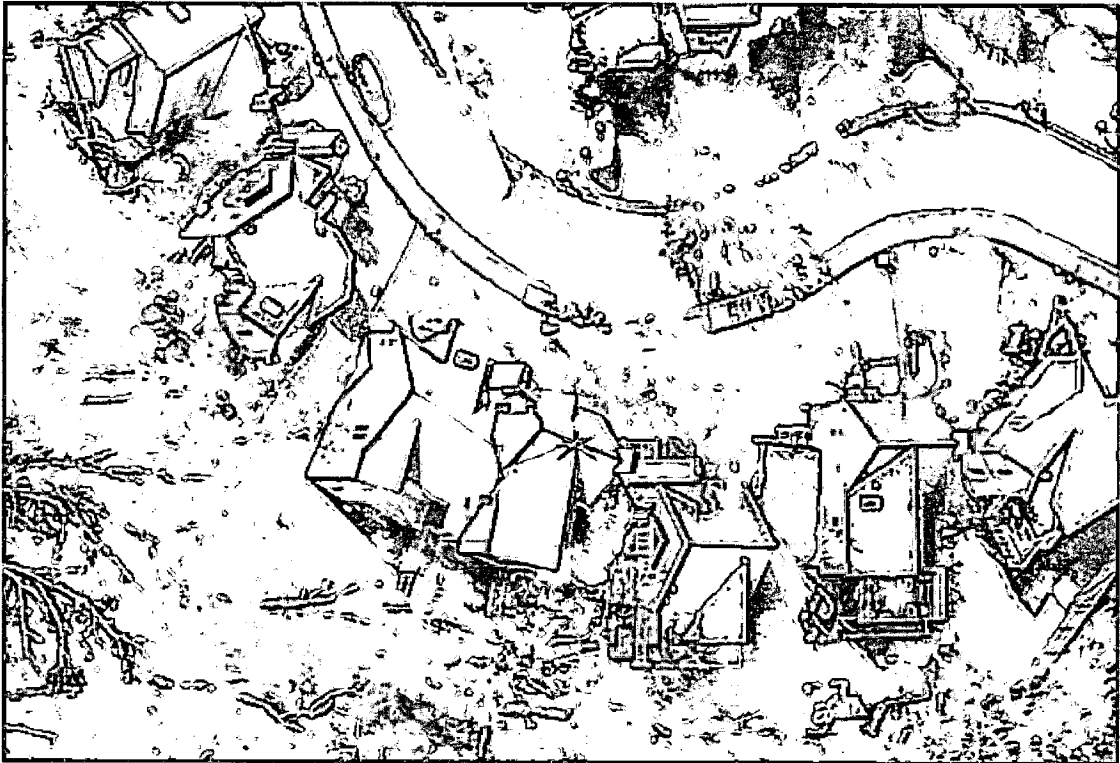




Context surrounding 10037 Pratt Place
Looking south.



(11)



10037 Pratt Place, Capitol View H. D.

Material &
Plan

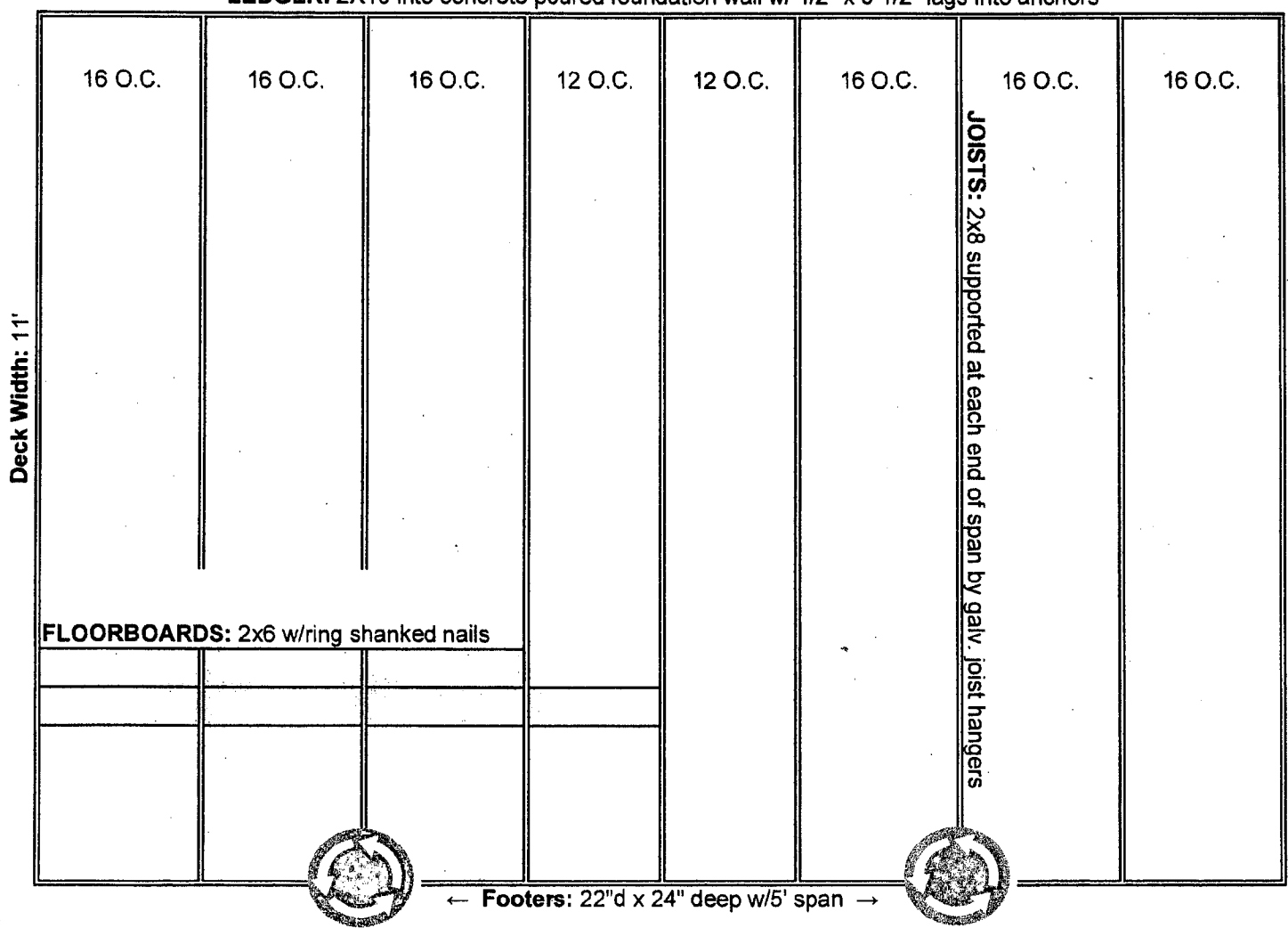
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PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: New 11'x11' Pressure Treated Platform Deck On Grade

Deck Length: 11'

LEDGER: 2X10 into concrete poured foundation wall w/ 1/2" x 3 1/2" lags into anchors



FLOORBOARDS: 2x6 w/ring shanked nails

JOISTS: 2x8 supported at each end of span by galv. joist hangers

← **Footers:** 22"d x 24" deep w/5' span →

Beam: 2x10 resting & bolted on top of 22"wx24" concrete footers on grade.

** All lumber used will be pressure treated pine.

#1 of 2 written descriptions and Material Specifications

07-23-2008 18:07 HOUSE OF WITNESS 701 7647598

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Deck	<p>POWERWASH DECK Powerwash (1) deck approx. 234 total sq. ft. of floorboards. Estimate includes railings and steps. Nail/Screw down any obvious nails/screws that have backed their way out. Customer acknowledges that any prior stain/paint color normally will not be removed from powerwashing. This estimate does not include replacing any deteriorating wood unless specifically mentioned below. Customer will allow Contractor to use their outside water supply from hosebib. Built-in shed below deck is not included in powerwashing.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck powerwashing, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	495.00
Stain Deck	<p>STAIN/SEAL DECK Stain/Seal (1) 2nd story deck (approx. 234 total sq. ft. of floorboards). Estimate includes railings, 2 story staircase with railings, band boards, beams and posts. Currently deck has a weathered stain that will be partially removed prior to staining by powerwasher, therefore Customer must select a solid stain/sealant to cover remaining stain color. Customer will choose color of solid (pigmented) stain from Contractor's selection. Contractor will re-hammer loose nails/screws where necessary, however Customer acknowledges many nails pops, etc. will re-appear due to deteriorated wood and/or over-stretched hole cavities not holding back nail/screw.</p> <p>This estimate DOES NOT INCLUDE any of the following, but not limited to: - Any stain/seal being applied underneath deck other than what is described above. - Any new nails/screws being supplied or installed by Contractor or bolts being re-fastened other than that what is described below. - Replacing any deteriorating wood unless specifically mentioned below. - Built-in shed below deck is not included in staining.</p> <p>** Under this estimate, moving furniture off of the deck is the sole responsibility of the Customer. Should furniture not be removed upon day of scheduled deck staining, Customer will be charged additional labor time at \$75/hr. to move any furniture.</p>	1,250.00

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Customer Signature: [Signature]

Date: 7/23/08

MGC Auth. Rep.: [Signature]

Date: _____

Total

MHIC #	Phone #
79191	301-577-8100

Page 1

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

PAGE 2

07-23-2008 18:08 MHC OF LITONIA 701 7697508

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1515
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneka@yahoo.com

Item	Description	Total
Exterior	UPPER DECK (Railing) DECK REPAIR Contractor will remove entire wood railing system from deck/stairs & dispose (including 4x4 posts, except the posts running into ground as support). New pressure treated pine railing system will be supplied & installed to meet code. Railing system will consist of 2x6 top rail over 2x4 rail with 2x2 pickets attached to upper & lower 2x4 rail. New 4x4 posts will be double bolted into outside band board & support railings.	3,490.00
Painting	PAINT PORCH RAILING Contractor will scrape and paint railings at front porch area. (2) coats of Duron Exterior Semi-Gloss will be applied to match existing paint color. Lower right railing will be secured, nailed &/or screwed into post.	469.00

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Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total **\$5,704.00**

Customer Signature: [Signature] Date: 7/23/08 MGC Auth. Rep.: [Signature] Date: _____

MHC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

PAGE 2

#2 of 2 Written Description and Material Specifications

MARYLAND GENERAL CONTRACTING

20203 Goshen Rd., #303
Gaithersburg, MD 20879



Estimate

Date	Estimate #
6/30/2008	1526
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaonaka@yahoo.com

Item	Description	Total
Deck	<p>11' x 11' PRESSURE TREATED PINE PLATFORM DECK - No Steps or Railings</p> <p>DESCRIPTION OF WORK: <u>LOWER DECK (Installation)</u></p> <p>Contractor to Supply all material and Construct the above mentioned deck to the below specifications to rear of Customer's residence under 2nd story deck. Ground will be graded so that deck will sit approx. 10" level above existing paver patio. Deck parameters will fall within existing 6x6 posts of 2nd story deck, to the edge of the paver patio & approx. 12" from built-in shed (deck will not extend to shed to preserve area way of shed entrance). 1' x 5' area between shed & deck will be filled with pea gravel. All floorboards will be screwed with stainless steel decking screws. Cost and price are based on total amount of job and includes: On-site survey & measurements by designer, foundation plans, drawing plans, elevations, sections & material specifications as required.</p> <p>CONSTRUCTION SPECIFICATIONS:</p> <ul style="list-style-type: none"> - (3) 6x6 Pressure Treated Posts Secured into concrete footing - (13) 2x8 Pressure Treated Floor Joists Nailed/screwed into ledger & band board - (3) 2x10 Pressure Treated Band Boards Bolted into posts & nailed/screwed into ledger board - (3) 2x8 Pressure Treated Parameter Floor Joists Bolted into posts & nailed/screwed into ledger board - (1) 2x10 Pressure Treated Ledger Board Bolted into homes concrete poured foundation 	2,490.00

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.

Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Customer Signature: [Signature]

Date: 7/23/08

MGC Auth. Rep.: [Signature]

Date: _____

Total

MHC #	Phone #
79191	301-577-8100

Page 1

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

DATE

07-27-2008 18:09 AM HPF OF LITONIA 701 3683508

**MARYLAND
GENERAL CONTRACTING**

**20203 Goshen Rd., #303
Gaithersburg, MD 20879**



Estimate

Date	Estimate #
6/30/2008	1526
Source	Service Magic

Name / Address		
Kathleen Anderson 10037 Pratt Pl. Silver Spring, MD 20910		
Customer Phone	Customer Alt. Ph...	Customer E-mail
301-785-3468		chaoneta@yahoo.com

Item	Description	Total
	(22) 2x6 Pressure Treated Floor Boards Screwed into floor joists ** Note: There are no steps or railings that are included in this contract. Contract DOES NOT include cost of Permit. Customer will be responsible for filing for permit and paying all fees involved.	

This Estimate will convert to full contract by: Customer signing Estimate below, Customer signing MGC "Terms & Conditions" Form & MGC acknowledging receipt of these forms by providing authorized signature.
 Note: All color choices will be made by Customer from Contractor's selection provided. Colors from website, samples & brochures may be slightly different from actual color. Vents will only be installed to replace that which is existing unless otherwise noted.

Total \$2,490.00

Customer Signature: *[Signature]* Date: 7/23/08 MGC Auth. Rep.: *[Signature]* Date: _____

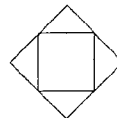
MHIC #	Phone #
79191	301-577-8100

Fax #	E-mail
301-368-3508	marylandgeneral@aol.com

030302

Site Plan

See attached



Shade portion to indicate North

Applicant: _____

Page: __

BUILDING LOCATION SURVEY
LOT 22 **BLOCK 29**
CAPITOL VIEW PARK

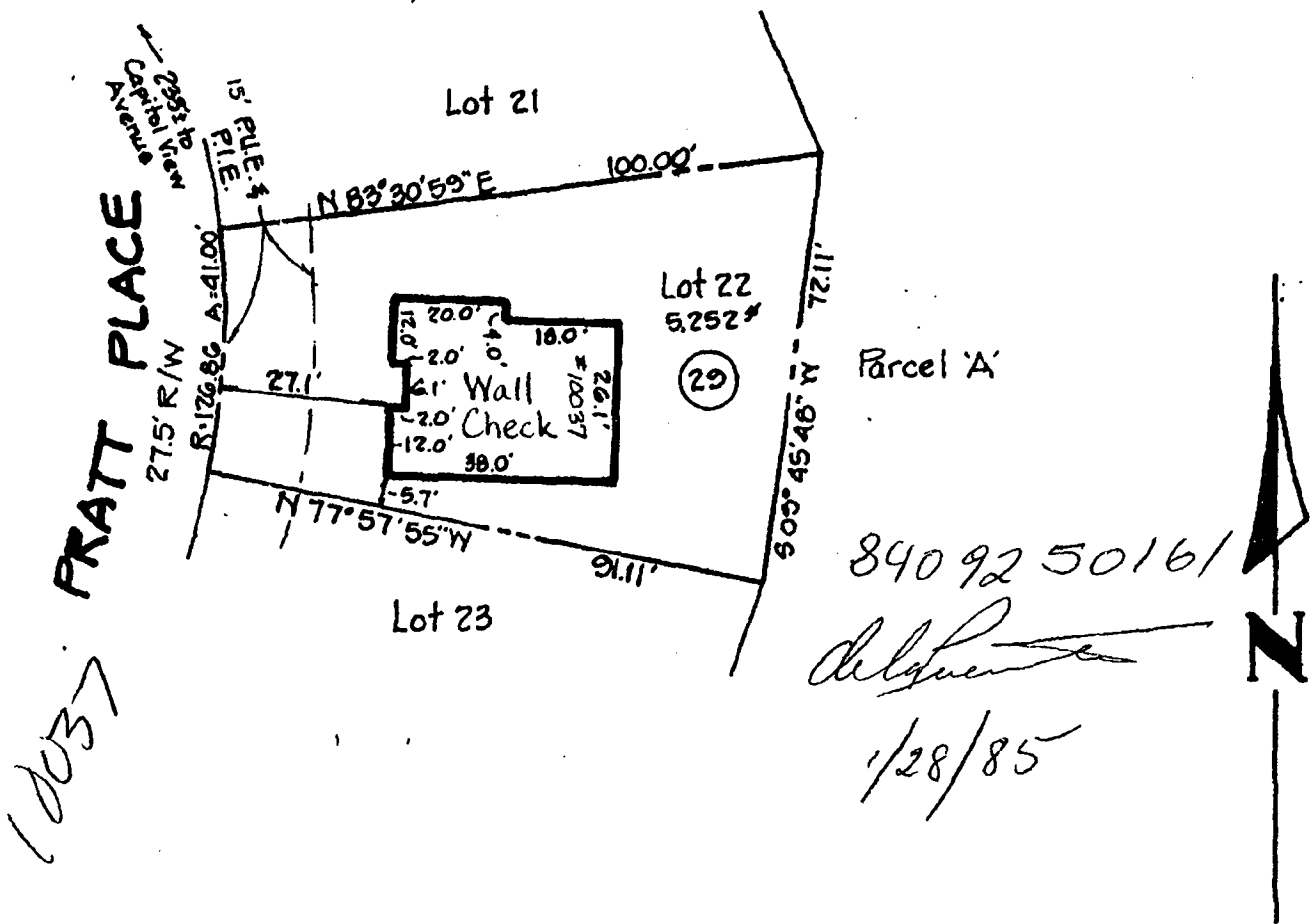
Montgomery County, Maryland
 Scale: 1" = 30'
 Plat Book 125. October 18, 1984
 Plat 14589

MACRIS, HENDRICKS and WITMER, P.A.

ENGINEERS • PLANNERS • SURVEYORS
 15209 FREDERICK ROAD ROCKVILLE, MD. 20850
 340-8705

I hereby certify that the survey shown hereon is correct and the property is as delineated on the above stated plat as recorded among the Land Records of Montgomery County, Md. The improvements were located by a transit-tape survey made on October 16, 1984. Unless shown hereon, there are no visible encroachments.

Douglas H. Riggs III
 DOUGLASS H. RIGGS, III
 PROFESSIONAL LAND SURVEYOR, MD. NO. 10712



840 92 50161

Adqu...

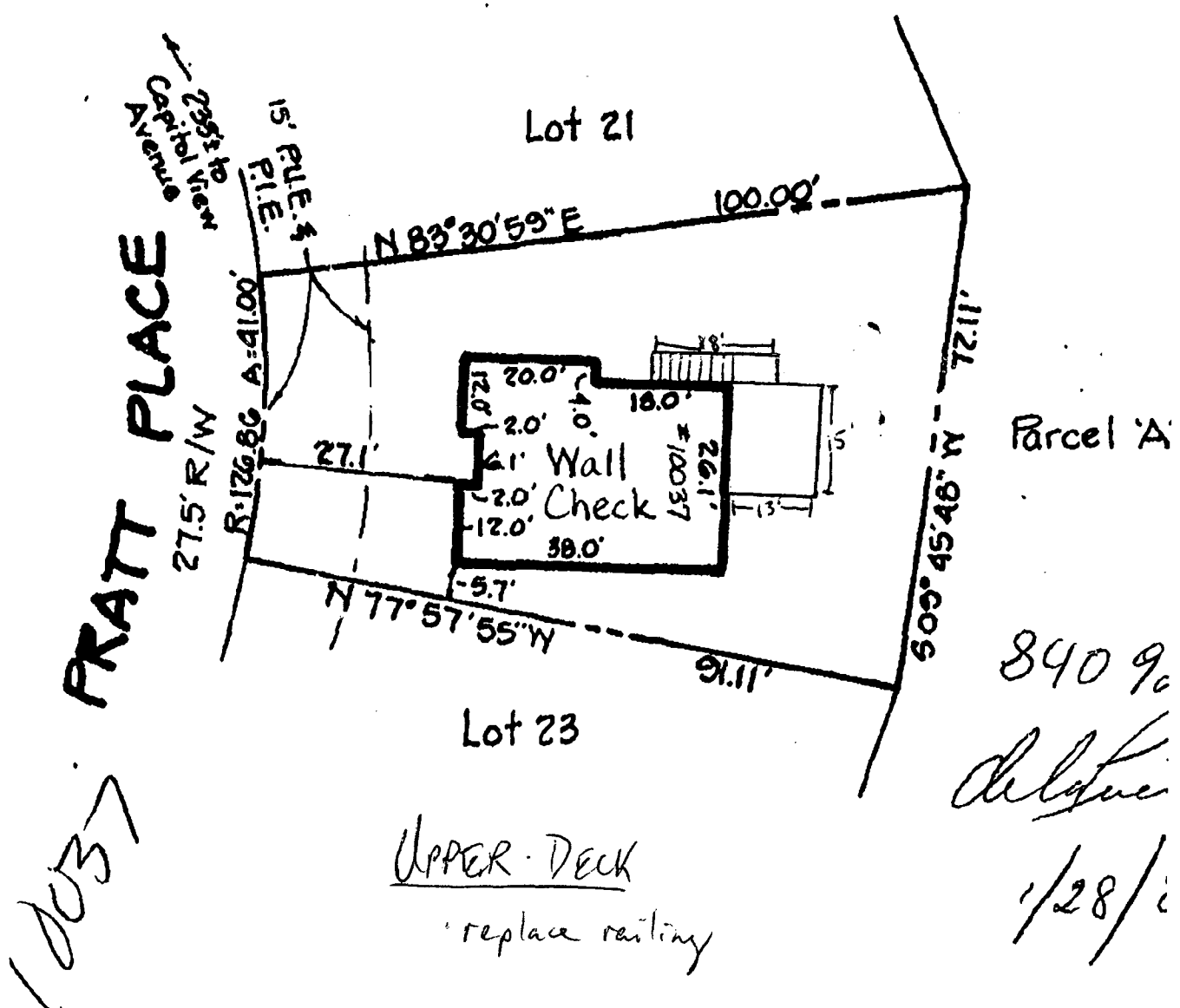
1/28/85

NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

	W.C.	F.
Field	EN.
Draft	P.M.
Check	D.R.

Survey made on October 16, 1984. Unless shown otherwise, there are no monuments.

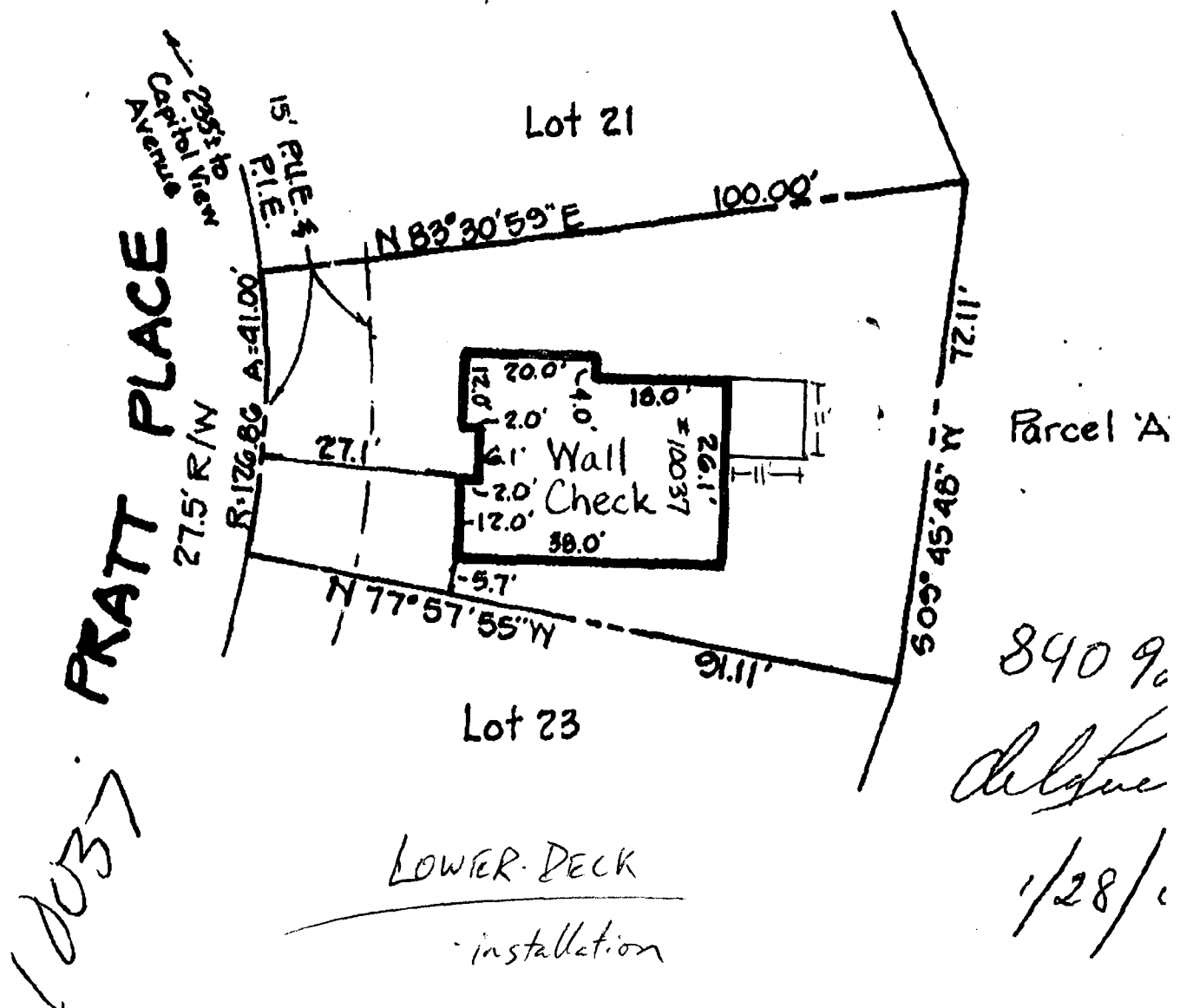
Douglas
DOUGL
PROFESSIONAL L



NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

Survey made on October 16, 1984. UNLESS SHOWN OTHERWISE, THERE ARE NO ADJUSTMENTS.

Douglas
DOUGL
PROFESSIONAL L



NOTE: 20' WIDE EXTINGUISHABLE SLOPE EASEMENT ALONG STREET FRONTAGE GRANTED ON RECORD PLAT. EXISTENCE OF PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS SURVEY, UNLESS INDICATED HEREON AS FOUND.

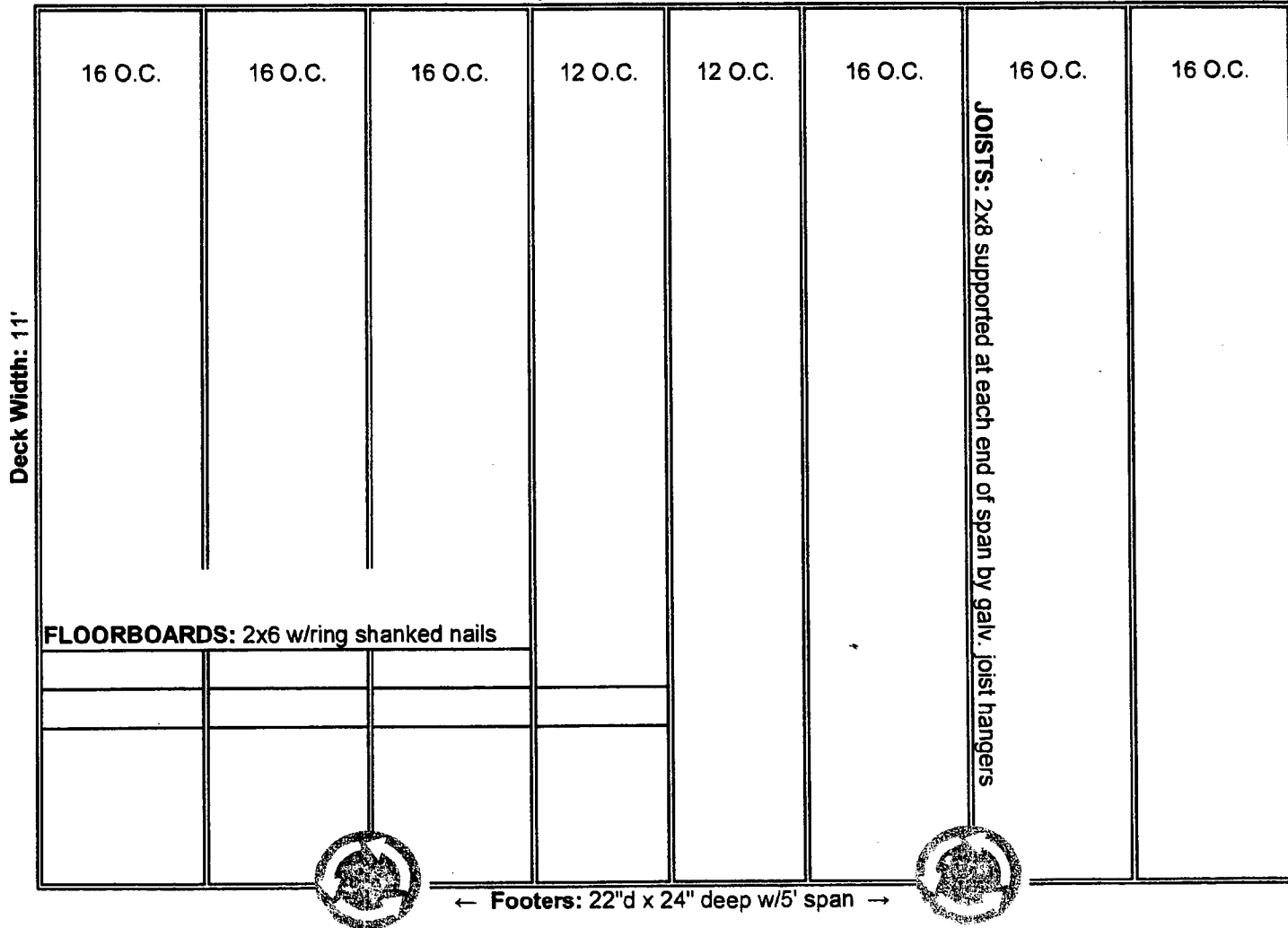
Material &
Plan

1
PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: New 11'x11' Pressure Treated Platform Deck On Grade

Deck Length: 11'

LEDGER: 2X10 into concrete poured foundation wall w/ 1/2" x 3 1/2" lags into anchors



Beam: 2x10 resting & bolted on top of 22"wx24" concrete footers on grade.

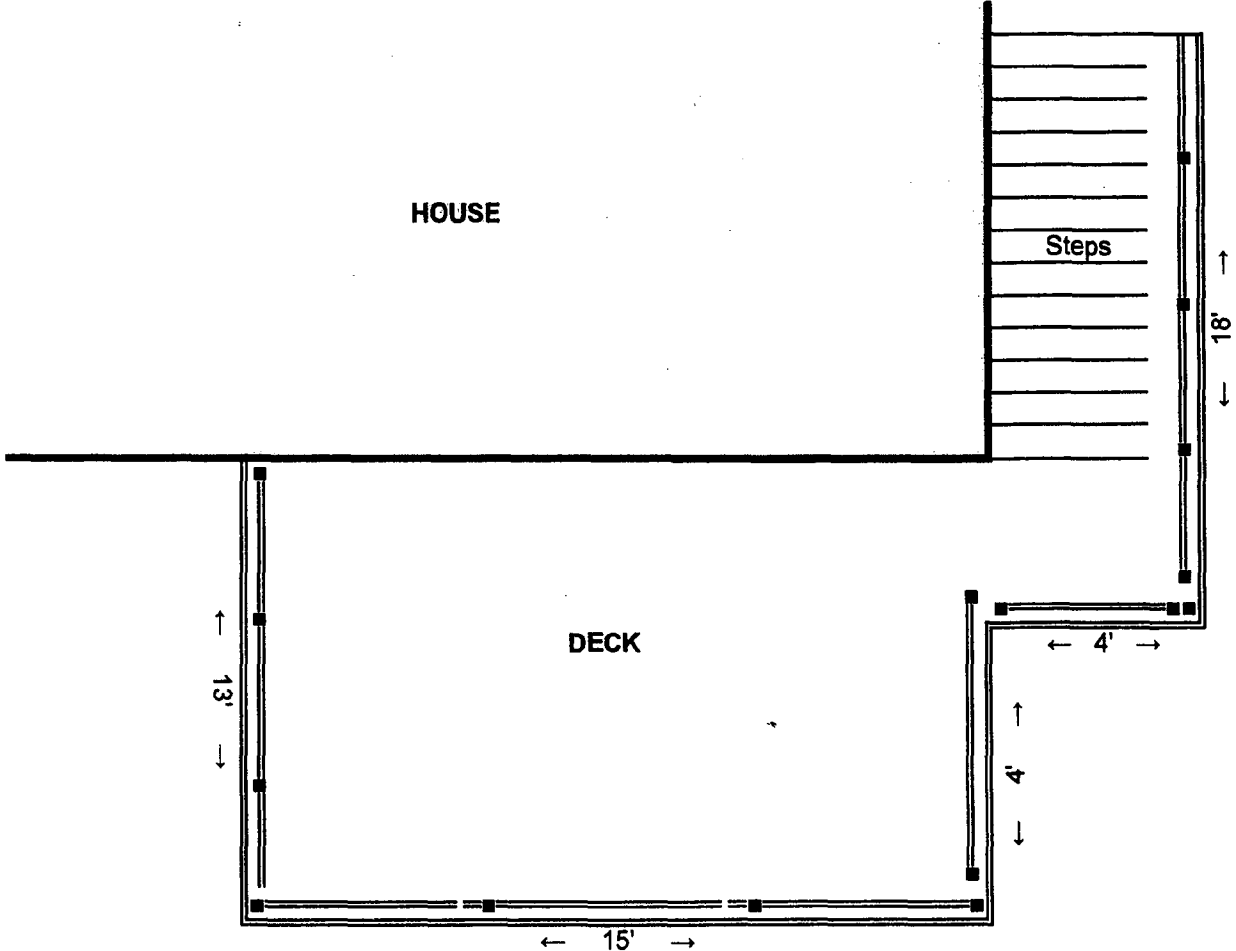
** All lumber used will be pressure treated pine.

Material & plan

2

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: Replace Existing Railing System w/New Pressure Treated Railing.



** All lumber used will be pressure treated pine. See attached drawing #2A for more railing detail.

2A

Material & plan

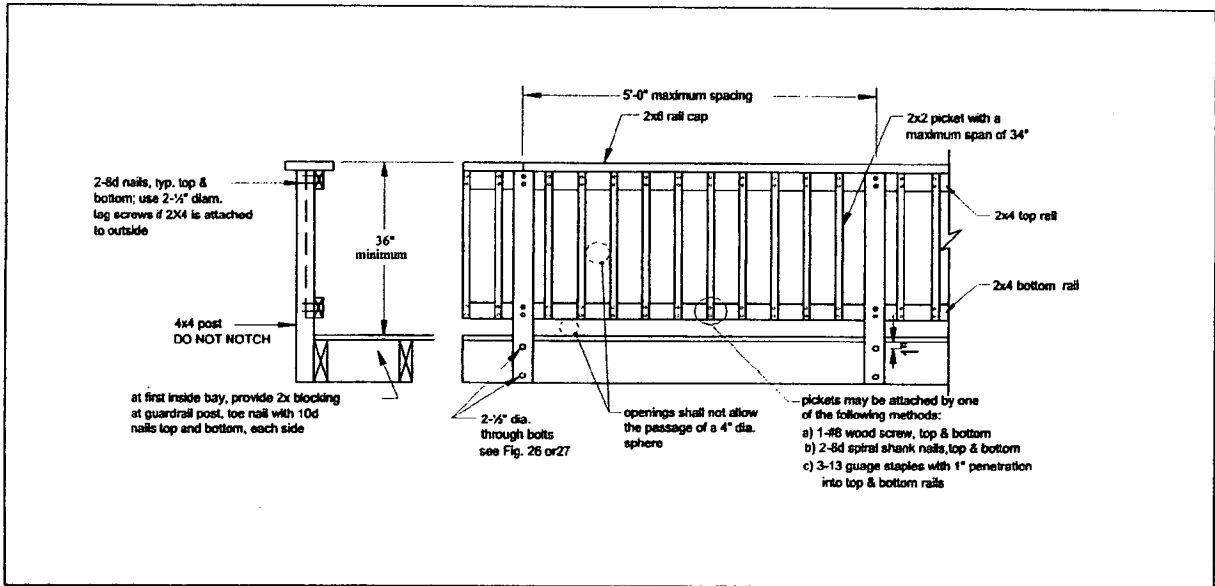


Figure 22. Typical guardrail details

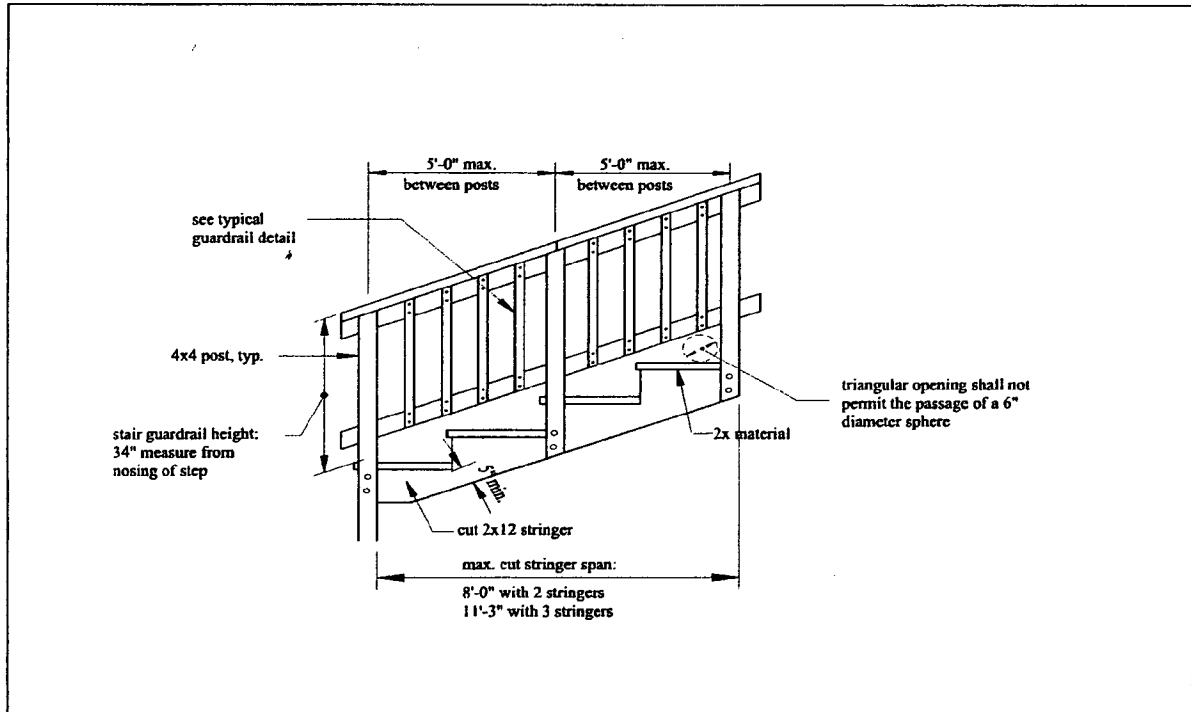


Figure 23. Guardrail and cut stringer detail

Material &
Plan

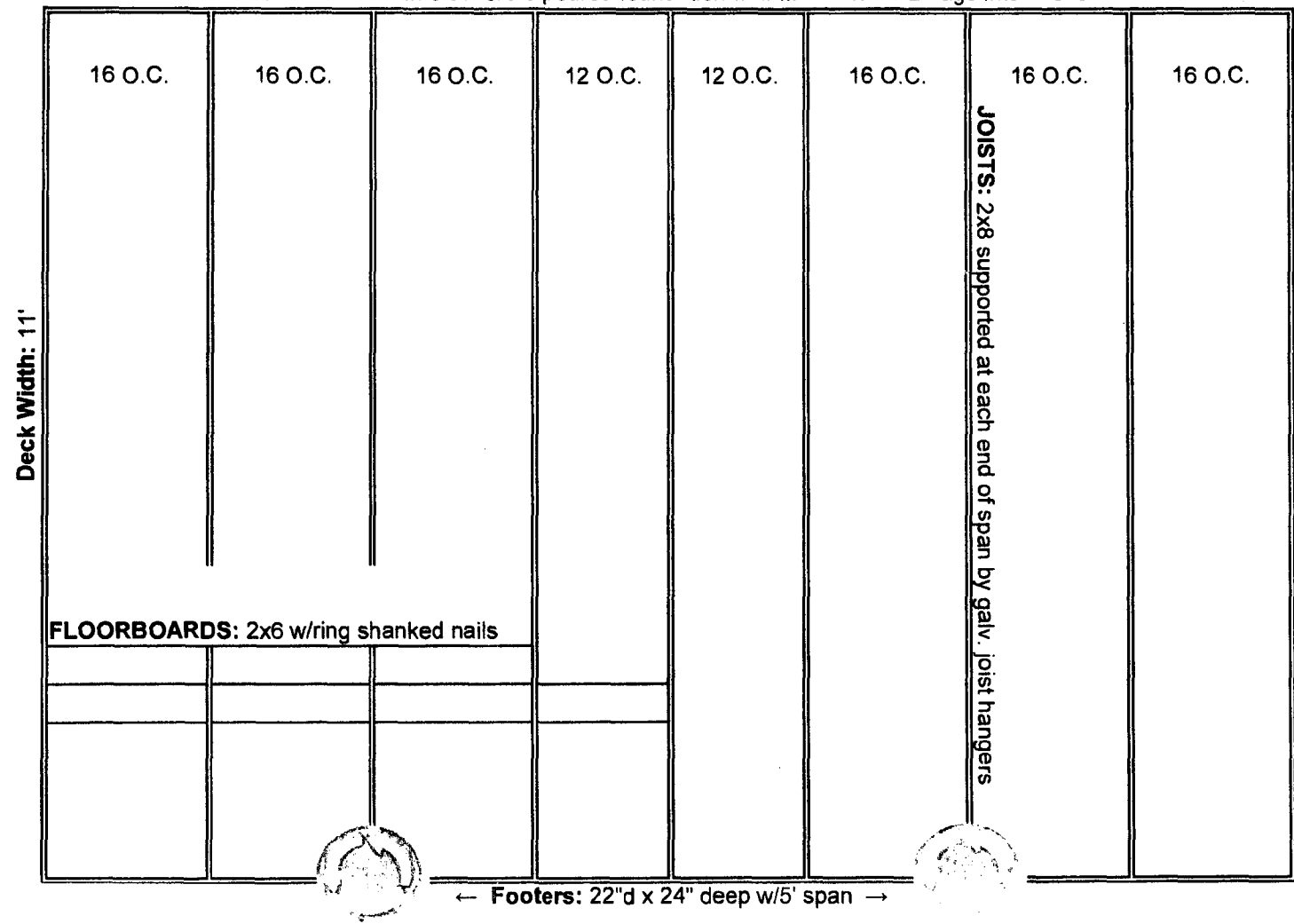
74 1

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: New 11'x11' Pressure Treated Platform Deck On Grade

Deck Length: 11'

LEDGER: 2X10 into concrete poured foundation wall w/ 1/2" x 3 1/2" lags into anchors



Beam: 2x10 resting & bolted on top of 22"wx24" concrete footers on grade.

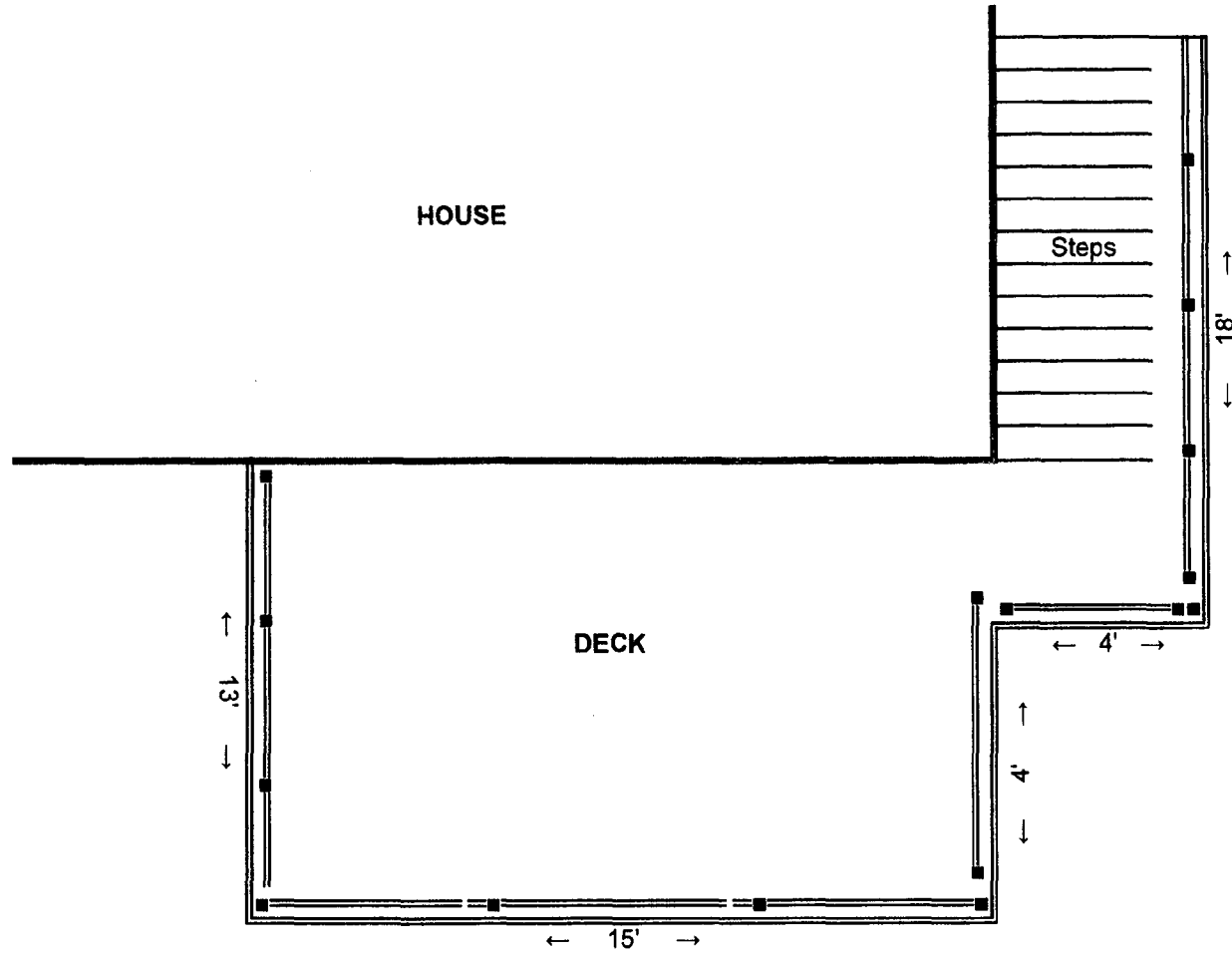
** All lumber used will be pressure treated pine.

Material & Plan

2

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: Replace Existing Railing System w/New Pressure Treated Railing.



** All lumber used will be pressure treated pine. See attached drawing #2A for more railing detail.

2A

Material & plan

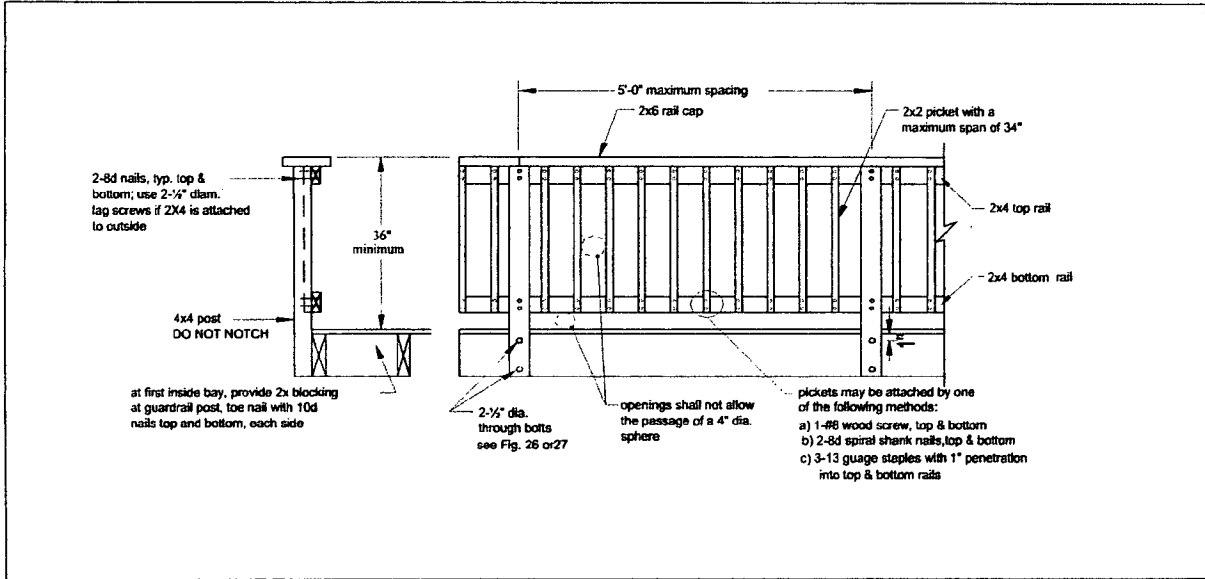


Figure 22. Typical guardrail details

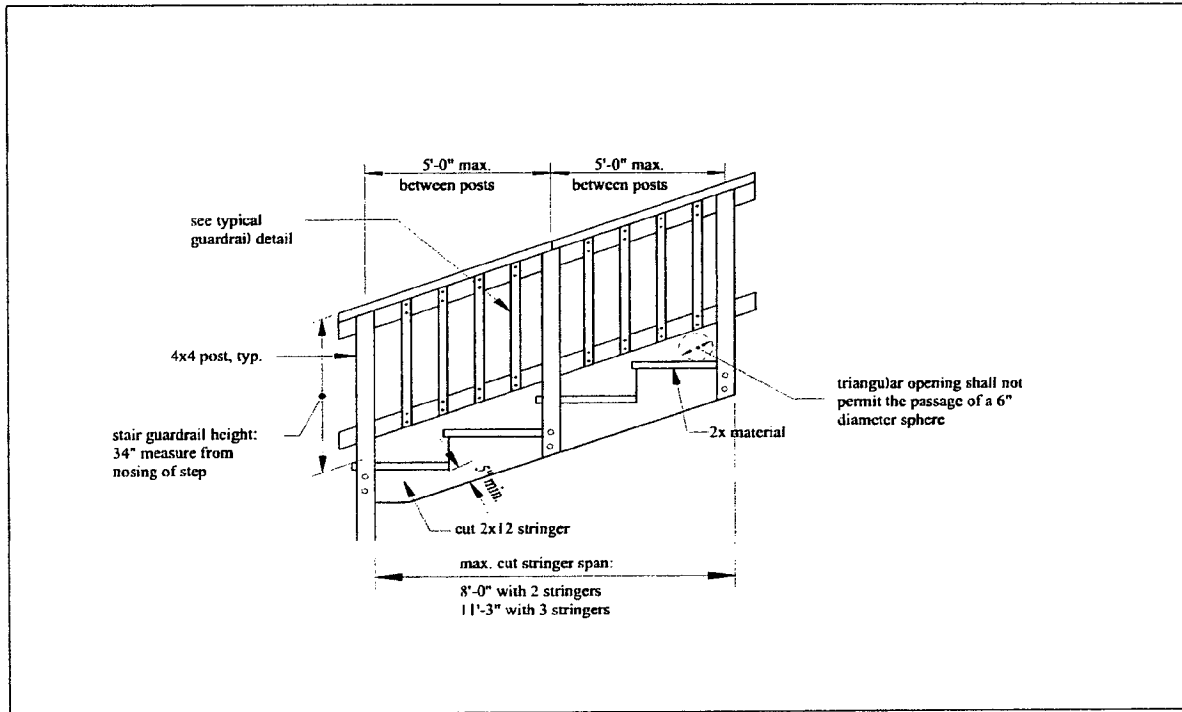
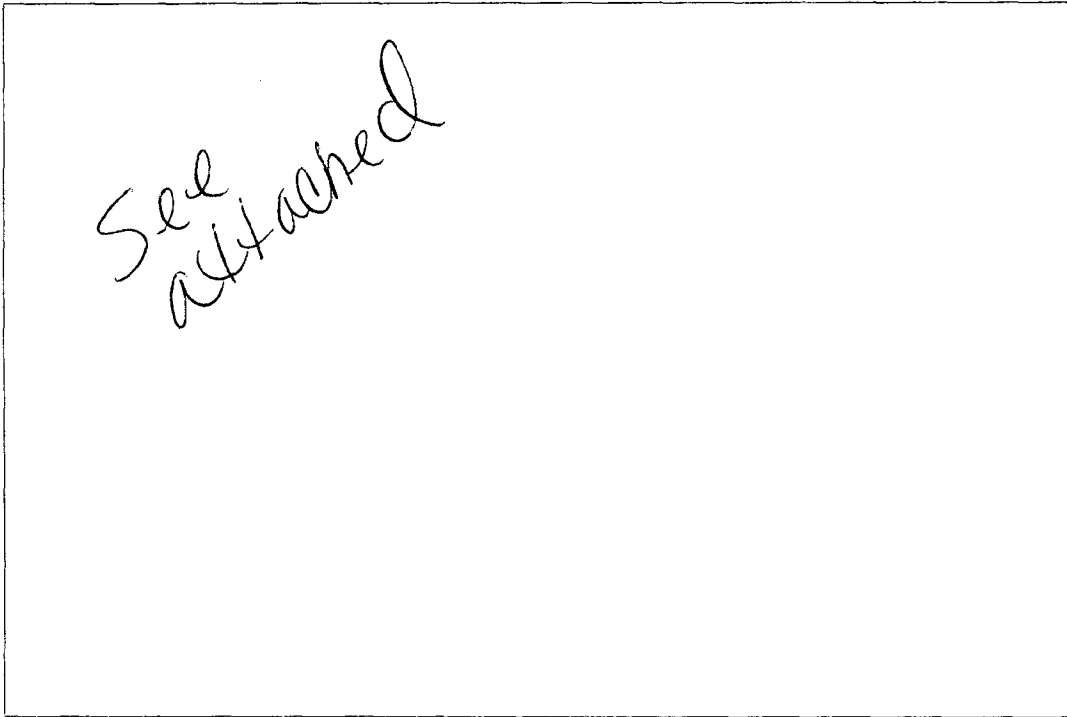
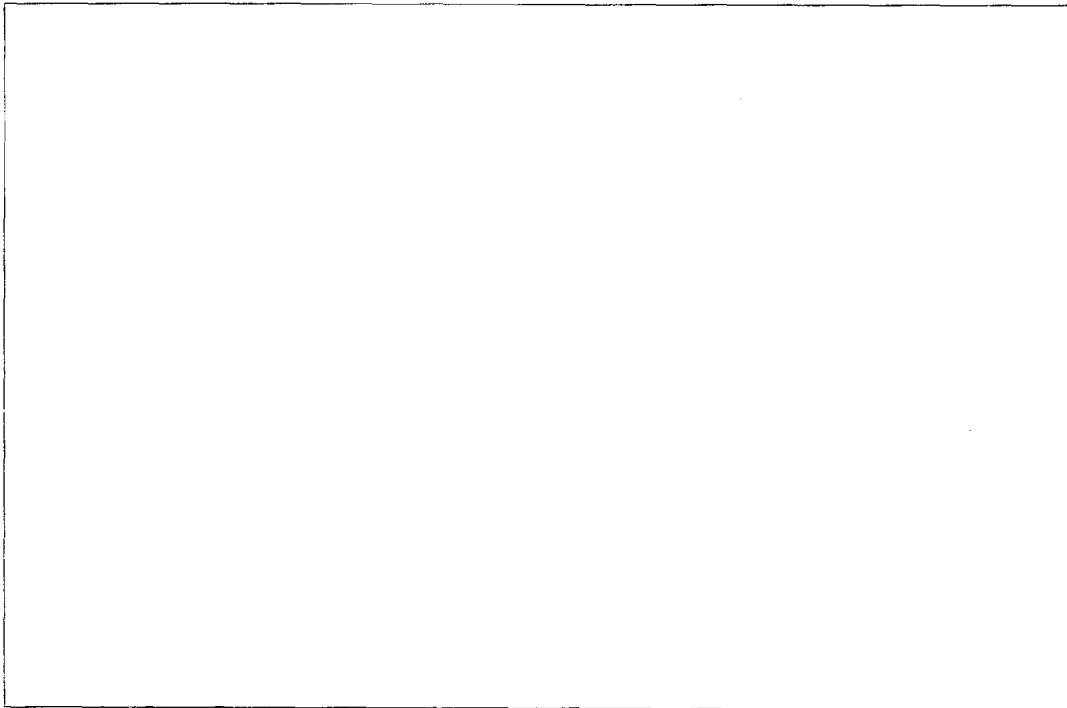


Figure 23. Guardrail and cut stringer detail

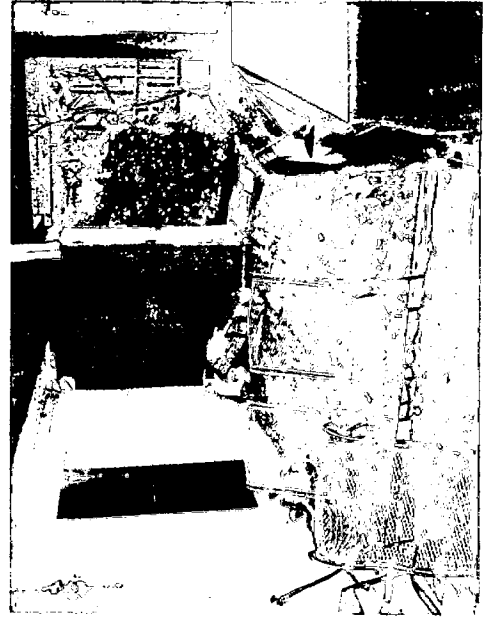
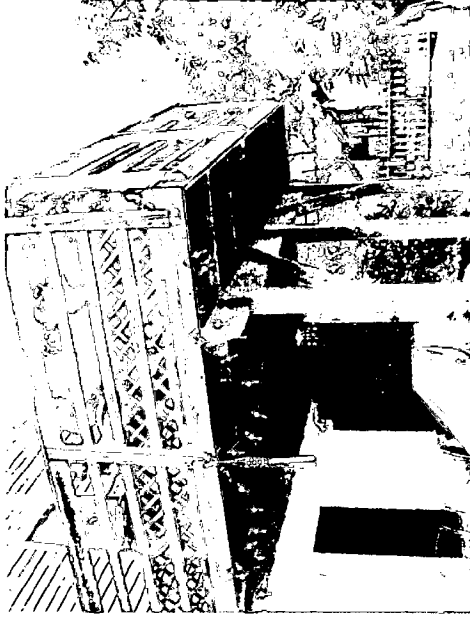
Existing Property Condition Photographs (duplicate as needed)




Detail: _____



Detail: _____



HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>10037 Praxx Place Silver Spring, MD 20910</p>	<p>Owner's Agent's mailing address</p> 
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Nancie Kondo 10039 Pratt Place Silver Spring, MD 20910</p>	<p>Resident 10035 Pratt Place Silver Spring, MD 20910</p>
<p>Kevin Hieber + Jody Ference 10036 Pratt Place Silver Spring, MD 20910</p>	

Material & plan

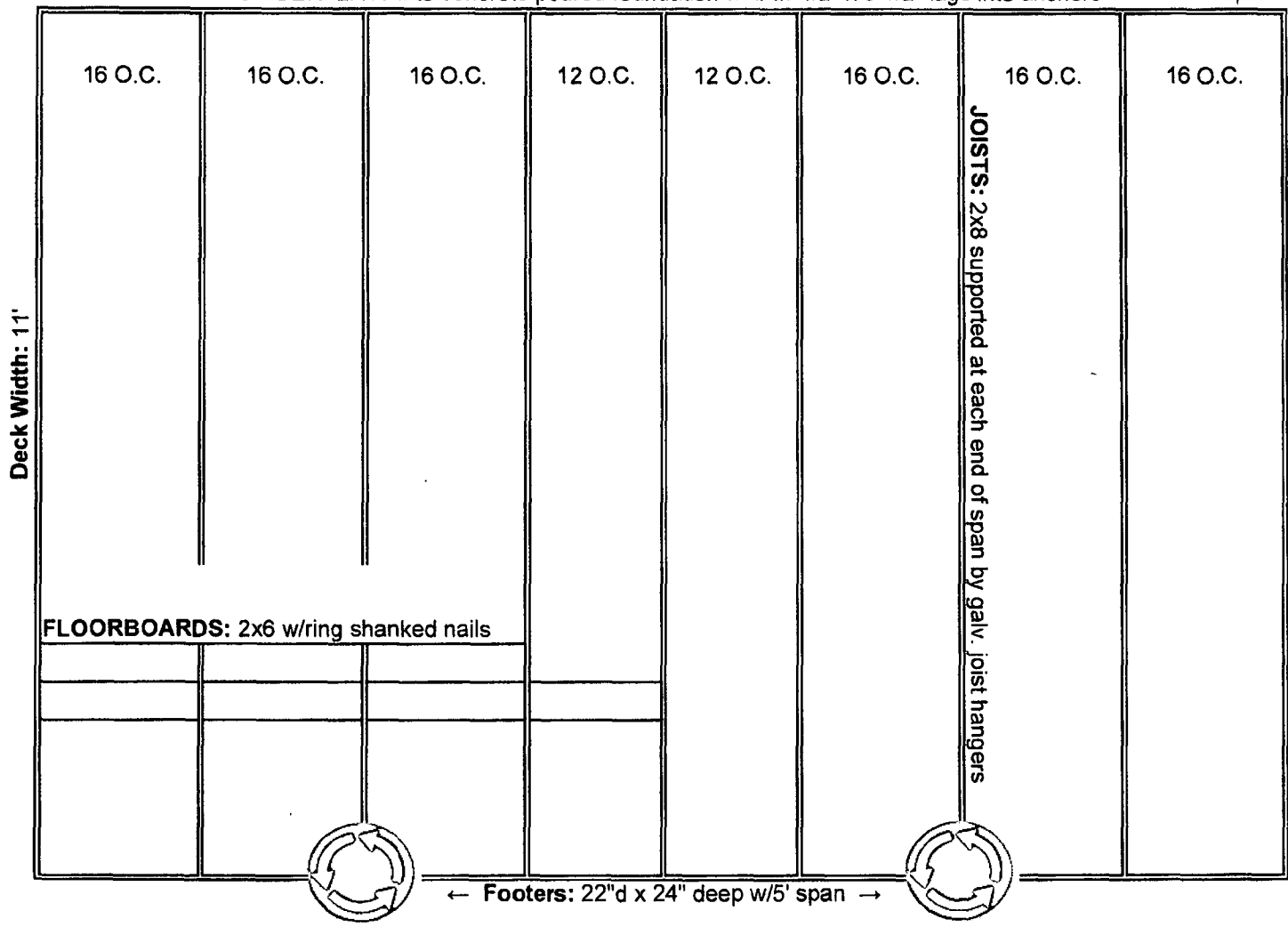
1

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: New 11'x11' Pressure Treated Platform Deck On Grade

Deck Length: 11'

LEDGER: 2X10 into concrete poured foundation wall w/ 1/2" x 3 1/2" lags into anchors



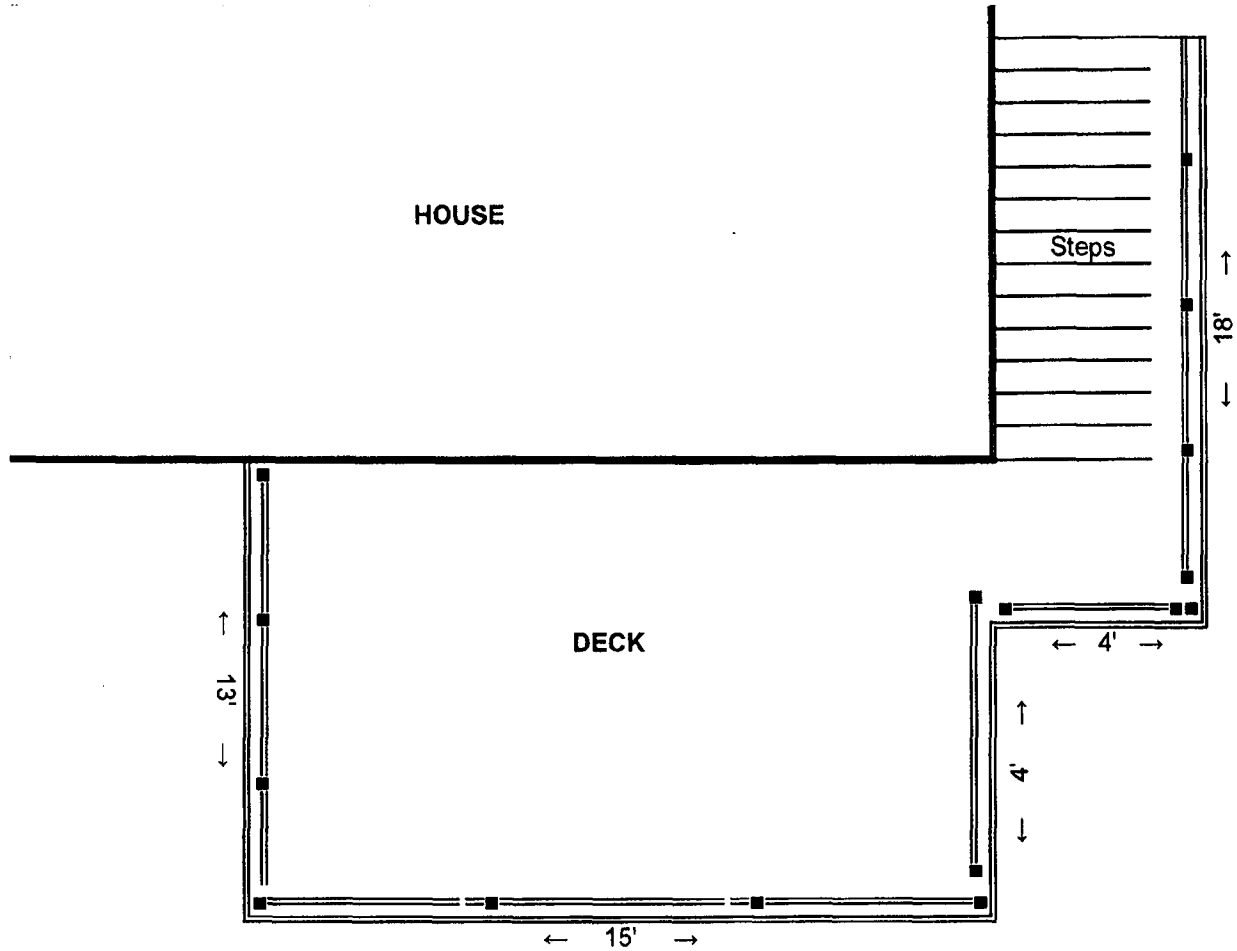
Beam: 2x10 resting & bolted on top of 22"wx24" concrete footers on grade.
** All lumber used will be pressure treated pine.

Material & plan

2

PROPERTY ADDRESS:
10037 PRATT PL.
SILVER SPRING, MD 20910

DESCRIPTION OF WORK: Replace Existing Railing System w/New Pressure Treated Railing.



** All lumber used will be pressure treated pine. See attached drawing #2A for more railing detail.

2A

Material & plan

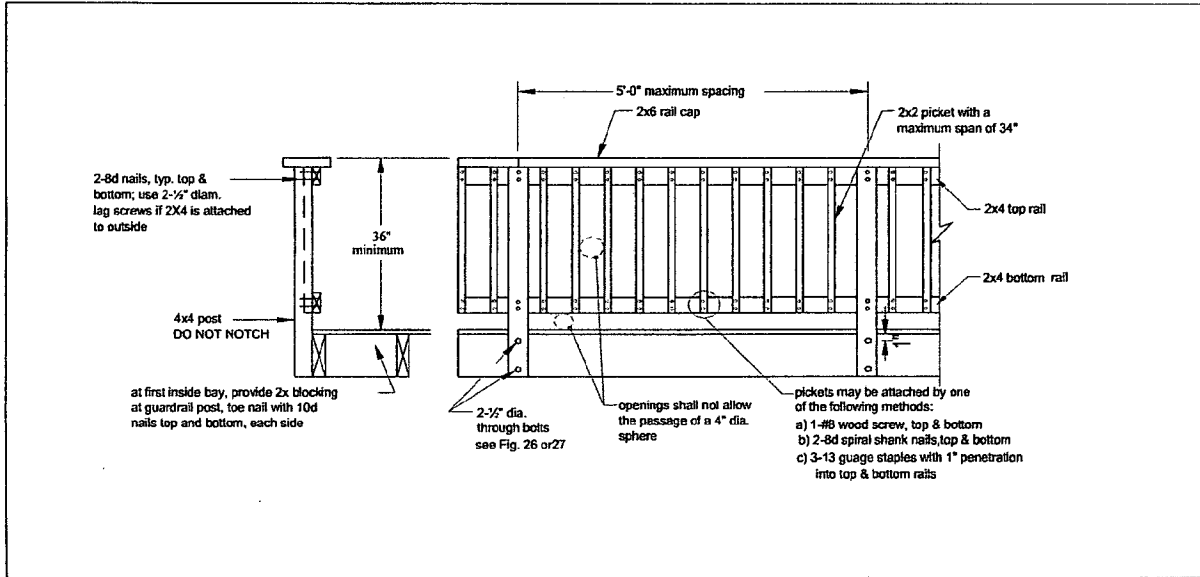


Figure 22. Typical guardrail details

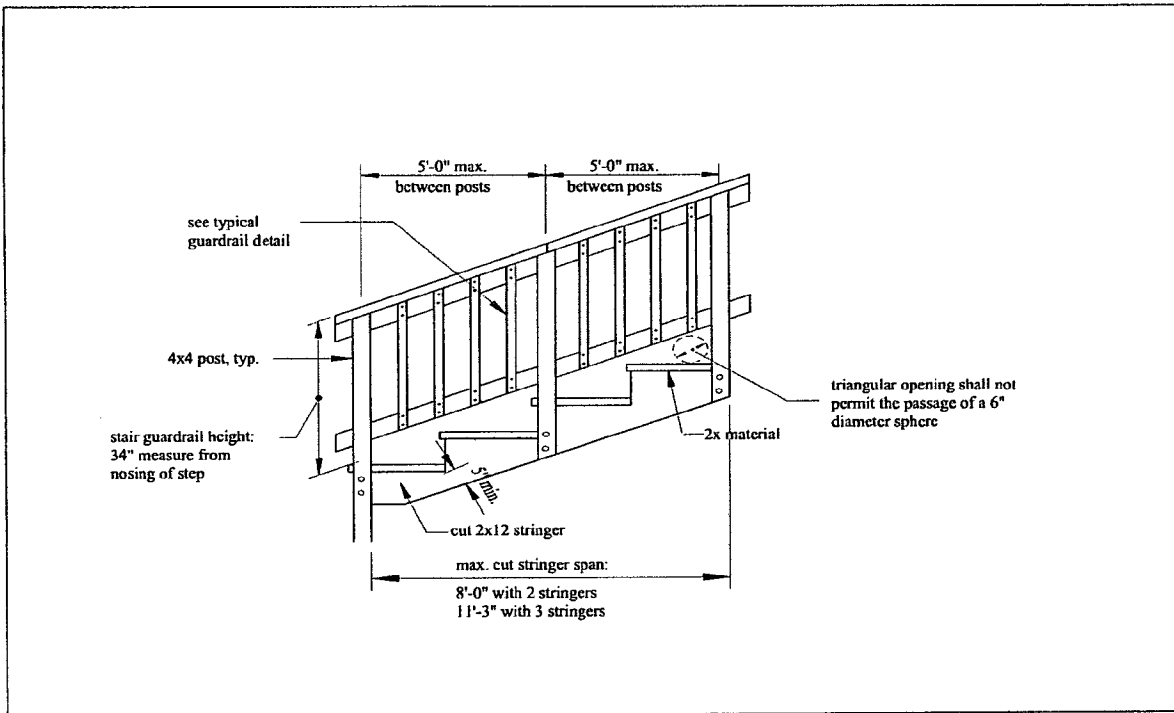
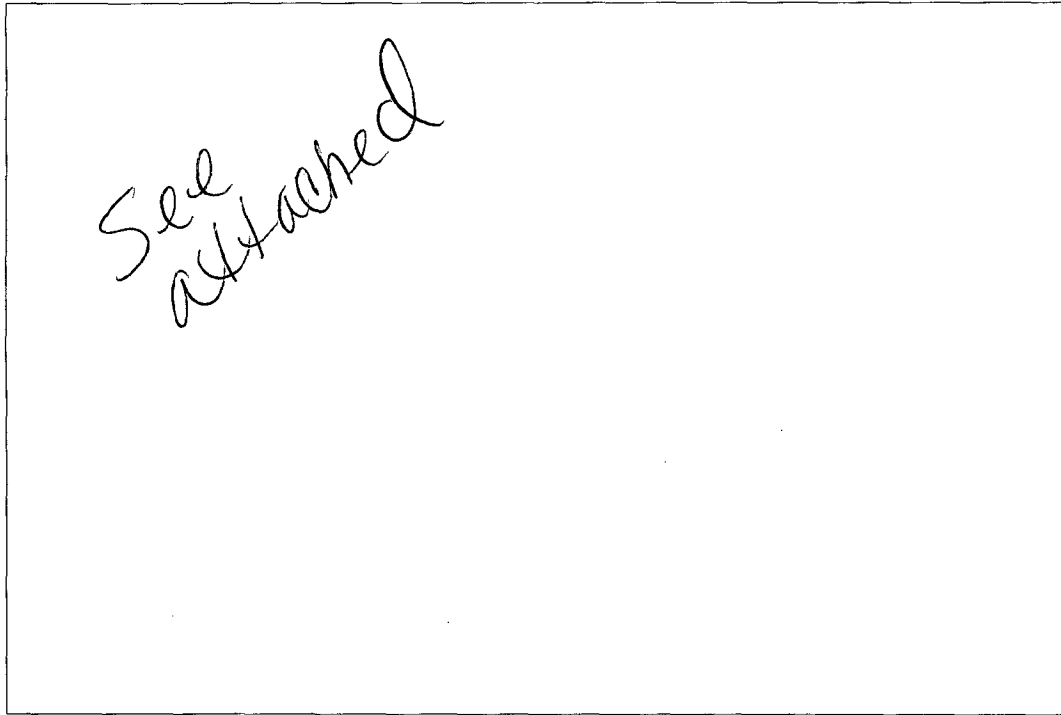
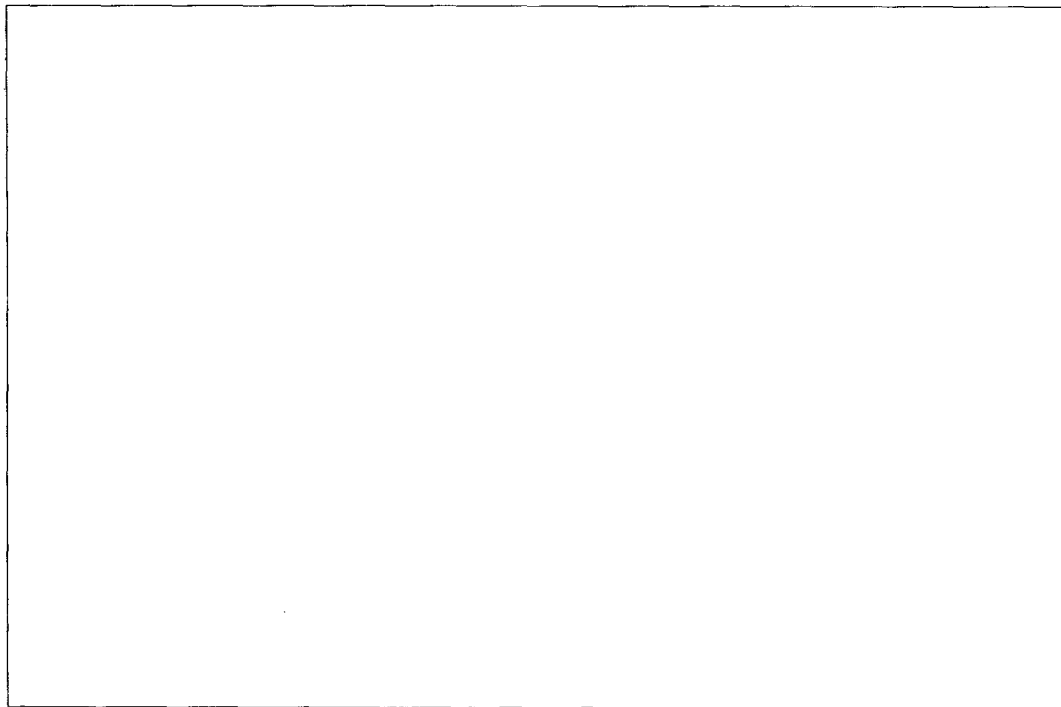


Figure 23. Guardrail and cut stringer detail

Existing Property Condition Photographs (duplicate as needed)



Detail: _____



Detail: _____

Applicant: _____

Page: __