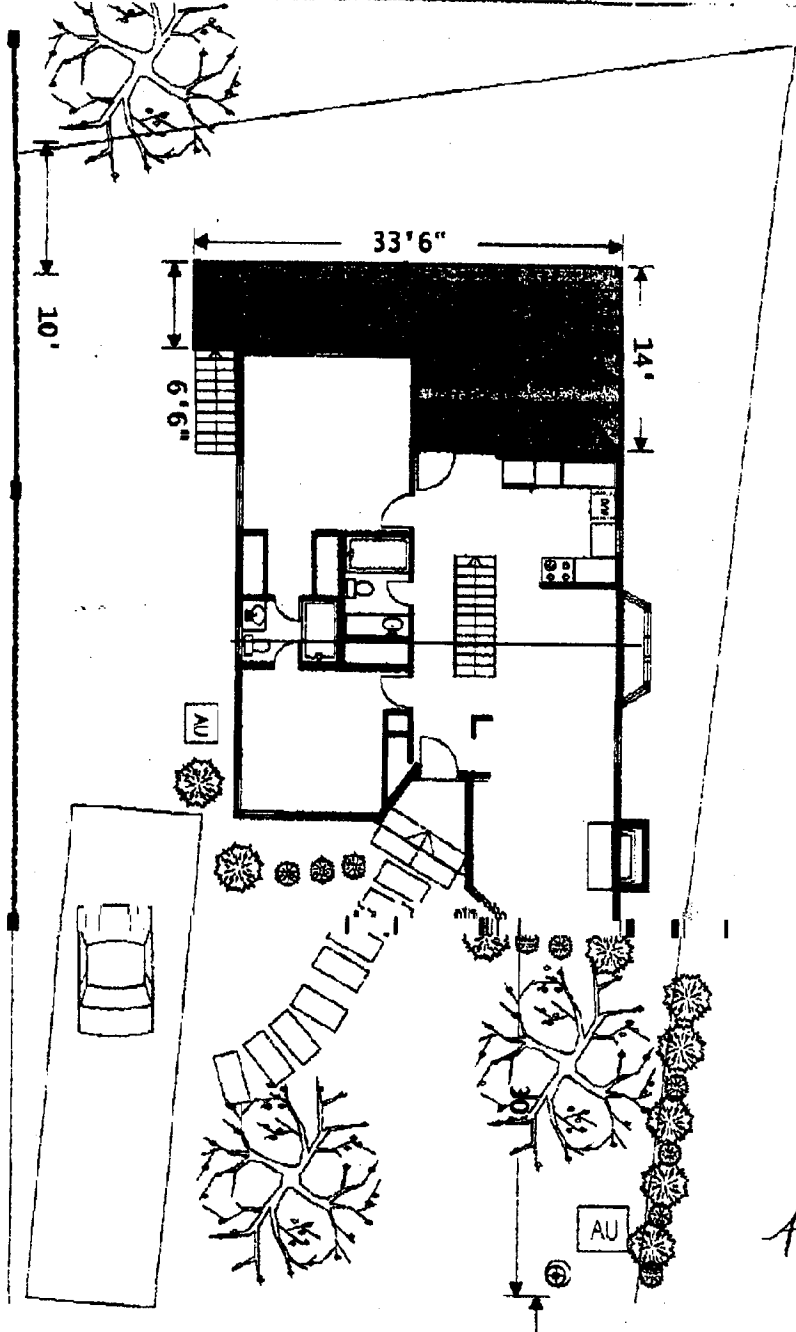
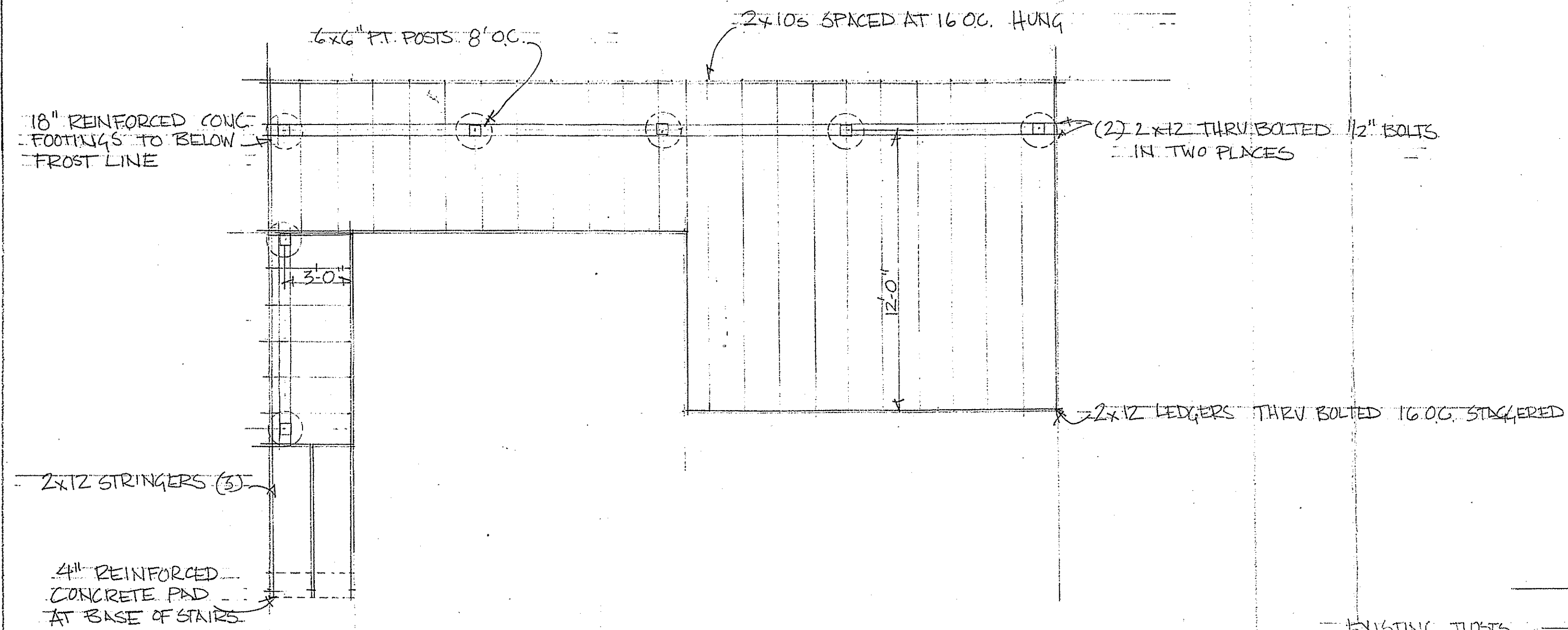


31/7-02G 10039 Pratt Place C  
(Capitol View Historic District)



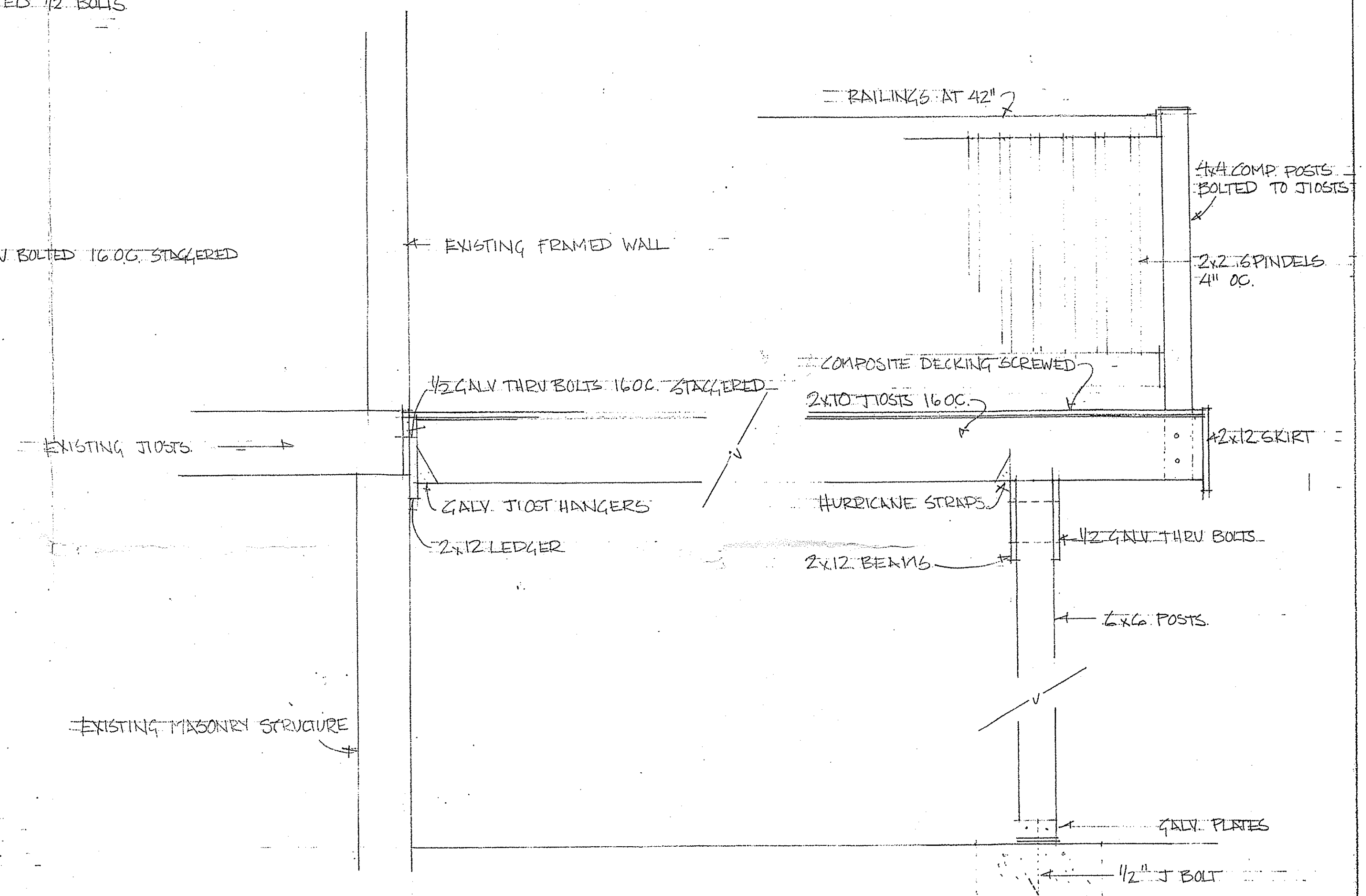
*Ad Smith*

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 9/12/02



FRAMING PLAN SCALE 1/4" = 1'-0"

FRAMING PLAN SECTION TYPICAL  
 NANCIE KANDO DECK  
 CAPITOL VIEW PARK



TYPICAL SECTION 1/2" = 1'-0"

APPROVED  
 Merit County  
 Historic Preservation Commission  
 9/12/02



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

**HISTORIC AREA WORK  
PERMIT**

IssueDate: 9/19/2002

Permit No: 285849  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT:

NANCY KANDO  
10039 PRATT PLACE  
SILVER SPRING MARYLAND 20910

HAS PERMISSION TO: CONSTRUCT

PERMIT CONDITIONS: DECK

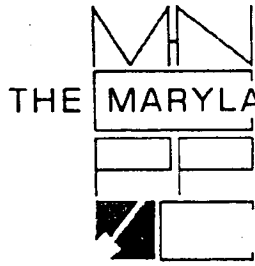
PREMISE ADDRESS 10039 PRATT PL  
SILVER SPRING MD 20910-1070

LOT 21	BLOCK 29	PARCEL	ZONE R-60
LIBER	ELECTION DISTRICT 13	PLATE	GRID
FOLIO	SUBDIVISION		
PERMIT FEE: \$0.00	TAX ACCOUNT NO.:		

HISTORIC MASTER: Y  
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept 11, 2007

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

DPS# 285849  
HAWP# 3117-026

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

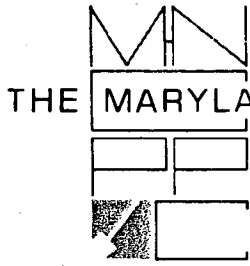
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Nancie Kando

Address: 10039 Pratt Place, Silver Spring, MD 20910

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept. 11, 2002

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

DPS # 285849  
HAWP # 31/7-02G

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MEMORANDUM**

DATE: *Sept. 11, 2002*

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kapsch, Historic Preservation Planner  
Corri Jimenez, Historic Preservation Planner

*DPS # 285849  
HAWP# 31/7-026*

SUBJECT: Historic Area Work Permit Application - HPC Decision

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The Historic Preservation Commission reviewed this project on *10039 Pratt Place*.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: BRAD GEMNER

Daytime Phone No.: 301-452-2007

Tax Account No.: 02360097

Name of Property Owner: NANCIE KANDO Daytime Phone No.: 301-589-7305

Address: 1039 PRATT PLACE SILVER SPRING MD. 20910  
Street Number City Street Zip Code

Contractor: NANCIE KANDO Phone No.: 301-589-7305

Contractor Registration No.: NA

Agent for Owner: BRAD GEMNER Daytime Phone No.: 301-452-2007

**LOCATION OF BUILDING/PREMISE**

House Number: 10039 ~~PRATT PLACE~~ Street: PRATT PLACE

Town/City: SILVER SPRING Nearest Cross Street: \_\_\_\_\_

Lot: 21 Block: 29 Subdivision: CAPITOL VIEW PARK

Liber: NA Folio: NA Parcel: NA

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 10,000.

1C. If this is a revision of a previously approved active permit, see Permit # NA.

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brad Gemner  
Signature of owner or authorized agent

Aug 19 2002  
Date

Approved:  cg For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: Sept. 11, 2002  
Application/Permit No.: 285849 Filed: 8/21/02 Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING MODERN HOUSE, EXISTING DECK TO BE  
REMOVED AND REPLACED WITH NEW DECK BUILT WITH  
COMPOSITE DECKING, ~~WOOD~~ SYNTHETIC RAILING, AND  
PRESSURE TREATED SUPPORTS. THERE IS NO  
APPARENT HISTORICAL SIGNIFICANCE TO THIS PROJECT.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO SIGNIFICANT HISTORICAL IMPACT

**2. SITE PLAN** ✓

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings. SEE WRITTEN DISCUSSION ABOVE

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	10039 Pratt Place	<b>Meeting Date:</b>	09/11/02
<b>Applicant:</b>	Nancie Kando	<b>Report Date:</b>	09/04/02
<b>Resource:</b>	Capitol View Historic District	<b>Public Notice:</b>	08/28/02
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	31/7-02G	<b>Staff:</b>	Corri Jimenez
<b>PROPOSAL:</b>	Deck replacement with synthetic materials		
<b>RECOMMEND:</b>	Approve		

---

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource  
**STYLE:** Modern  
**DATE:** c. 1970-80

**PROPOSAL**

The applicant proposes to:

1. Remove an existing smaller deck and replace it with a new deck made of composite decking, synthetic railing and pressure treated supports. The house is a non-contributing resource of a new subdivision, which falls in the Capitol View Historic District boundary.

**STAFF DISCUSSION**

10039 Pratt Place is a Modern structure constructed in the 1970-80s located in a new subdivision in the Capitol View Historic District. The building has vinyl siding and sits on a poured concrete foundation. The applicant proposes to demolish a smaller, rear deck and construct a larger one, which backs up to a greenbelt area. The materials chosen for the deck are compatible materials for a late 1970s-early 1980s house, such as composite decking and a synthetic railing. Pressure treated supports will be used on areas that will be touching the soil.

Staff feels that this deck is compatible with the architectural style of the property being modern and less than 50 years old. In addition, the deck will not be visible to any historic properties being in its own enclave of modern buildings. Staff would like to encourage that natural products be used, instead of synthetic materials for the railing because they are more aesthetically appealing.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 25A-8(b) 1 &2:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district.

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: BRAD GEMNER  
Daytime Phone No.: 301-452-2007  
Tax Account No.: 02360097  
Name of Property Owner: NANCIE KANDO Daytime Phone No.: 301-589-7305  
Address: 1039 PRATT PLACE SILVER SPRING MD. 20910  
Street Number City Street Zip Code  
Contractor: NANCIE KANDO Phone No.: 301-589-7305  
Contractor Registration No.: NA  
Agent for Owner: BRAD GEMNER Daytime Phone No.: 301-452-2007

LOCATION OF BUILDING/PREMISE

House Number: 10039 ~~PRATT PLACE~~ Street: PRATT PLACE  
Town/City: SILVER SPRING Nearest Cross Street: \_\_\_\_\_  
Lot: 21 Block: 29 Subdivision: CAPITOL VIEW PARK  
Liber: NA Folio: NA Parcel: NA

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 10,000.  
1C. If this is a revision of a previously approved active permit, see Permit # NA.

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brad Gemner Aug 19 2002  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 285849 Date Filed: 8/21/02 Date Issued: \_\_\_\_\_

3

31/7-026

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
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1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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REMOVED AND REPLACED WITH NEW DECK BUILT WITH  
COMPOSITE DECKING, ~~W/~~ SYNTHETIC RAILING, AND  
PRESSURE TREATED SUPPORTS. THERE IS NO  
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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO SIGNIFICANT HISTORICAL IMPACT

2. **SITE PLAN** ✓

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

SEE WRITTEN DISCUSSION ABOVE

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
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6. **TREE SURVEY**

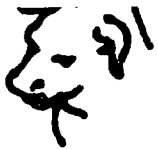
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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

CASE No. 89-11315



Not in flood plain.  
Ref: M.C. Dept. of Environmental  
Protection (Water Resources Sect.)

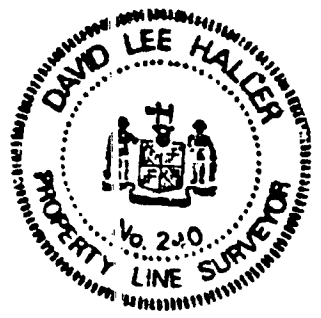
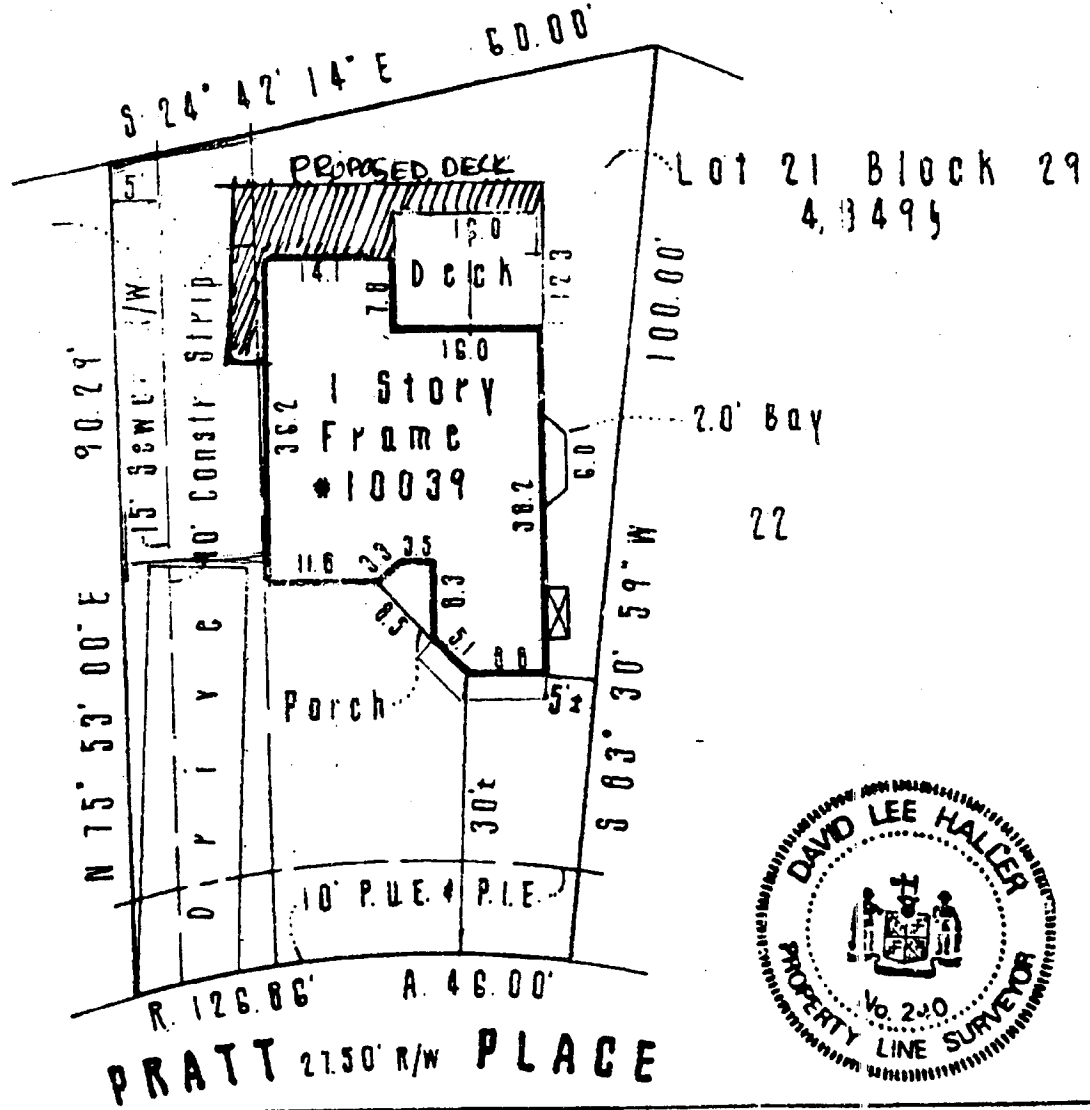
NOTE: This location for title purposes only — not to be used for determining property lines. Property corner Markers Not guaranteed by this location.

# HOUSE LOCATION

Lot 21 Block 29

# CAPITOL VIEW PARK

Montgomery County, Md.



### CERTIFICATE

I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY.

*David L. Haller*

DAVID L. HALLER  
MARYLAND P.L.S. No. 240

### REFERENCES

PLAT BK 125  
PLAT NO. 14589

LIBER  
FOLIO

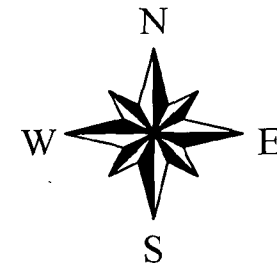
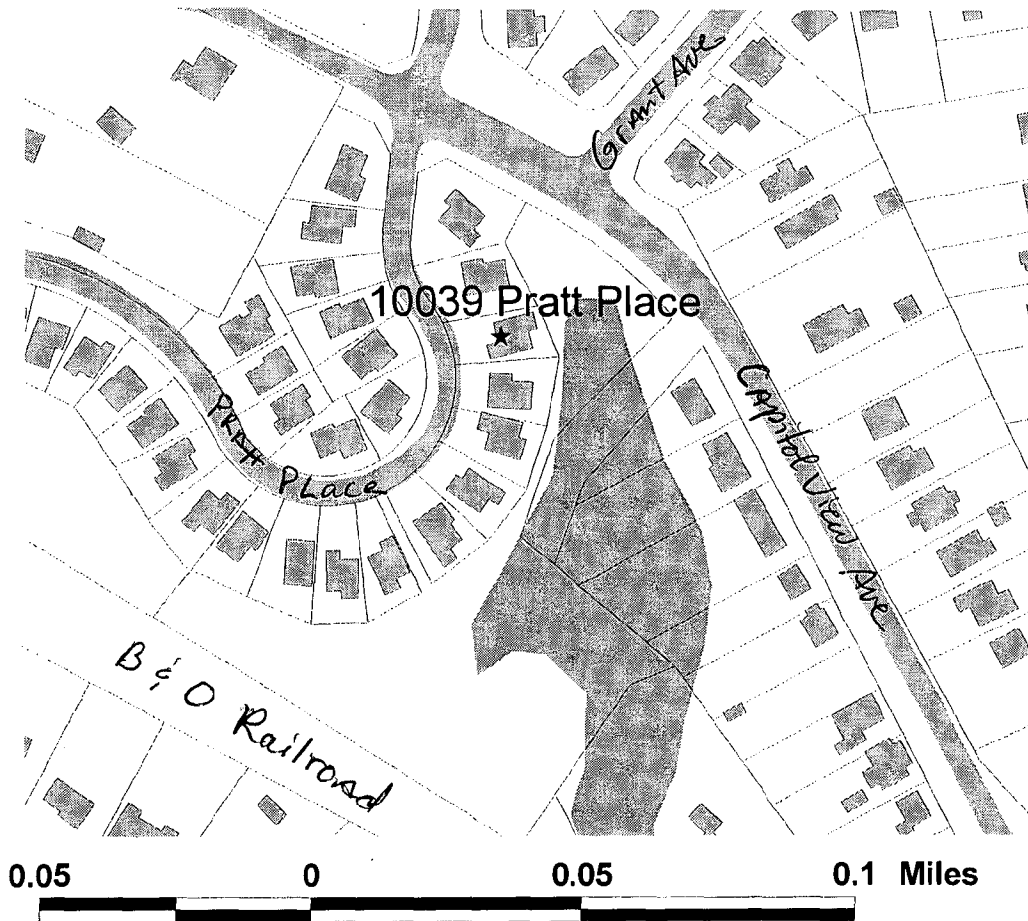
**Bull & Associates**  
LAND SURVEYORS/CONSULTANTS

(301) 428-8111 P.O. Box 348 GERMANTOWN, MARYLAND 20874

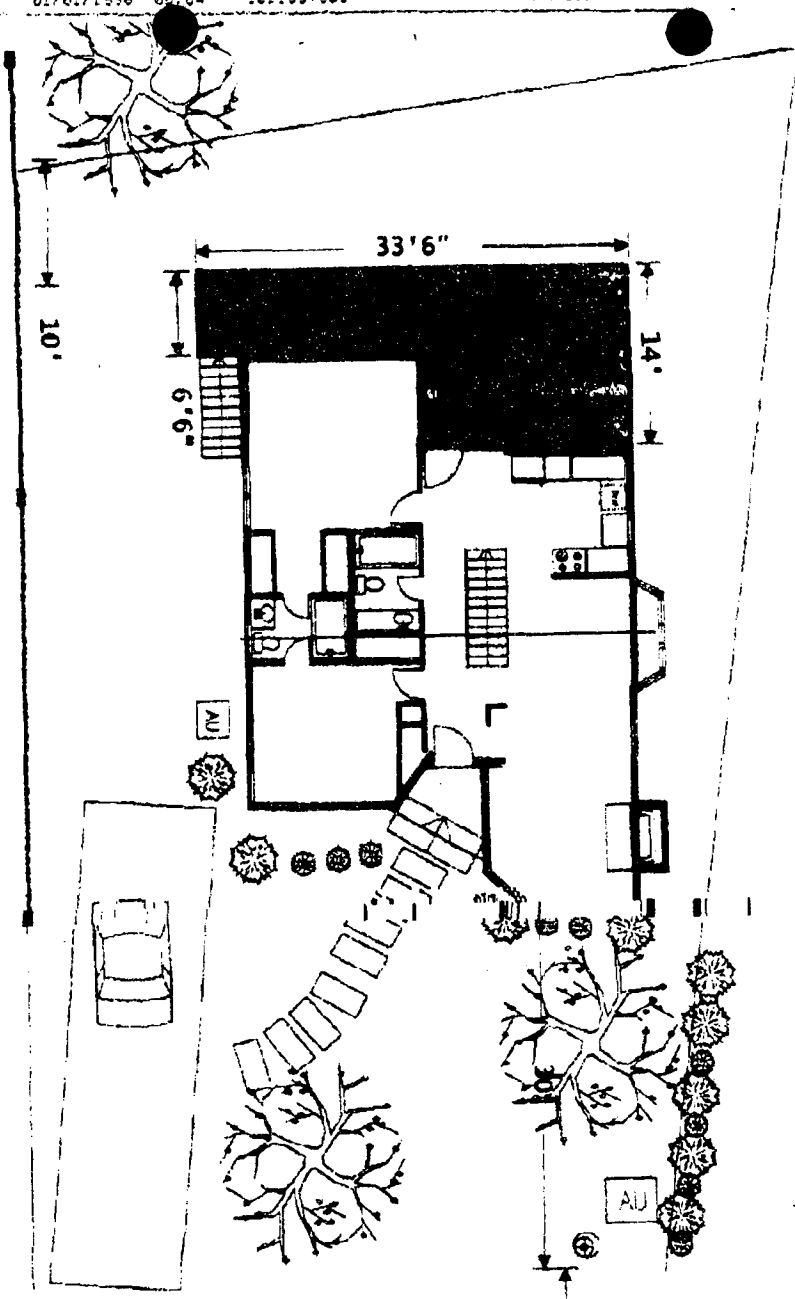
DATE OF SURVEYS	SCALE: 1" = 20'
WALL CHECK:	DRAWN BY: R.E.
MSE. LOC.: 11-16-89	JOB NO.: 830969
BOUNDARY:	

NOTE: B.R.L. information, if shown, obtained from M.C.P.P.C.

# Capitol View Historic District



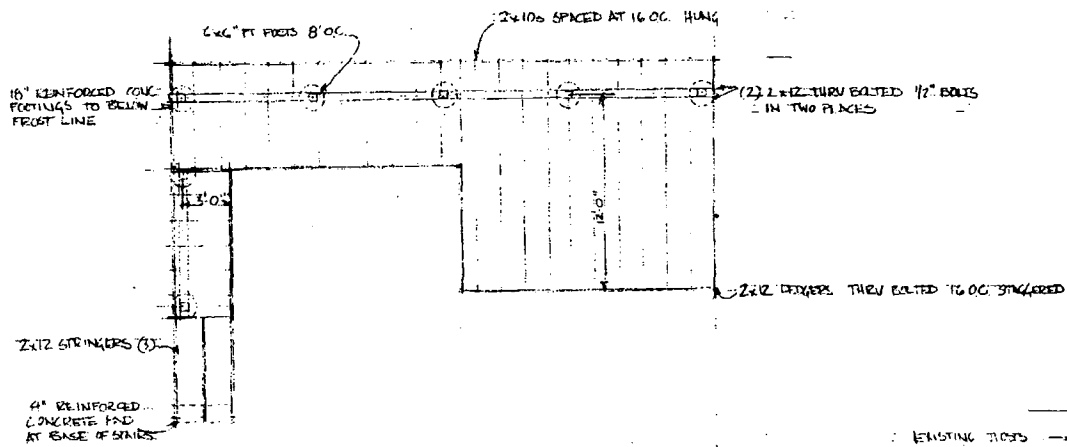
9



PLAN

*Pat Smith*

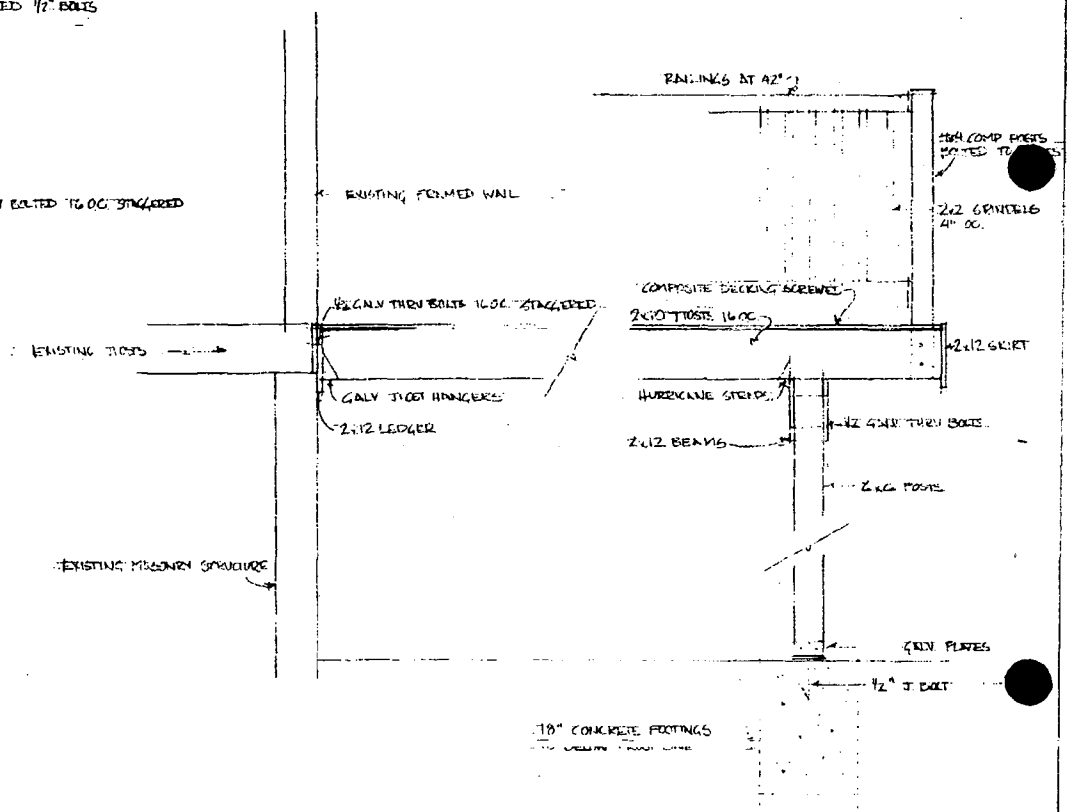




FRAMING PLAN SCALE 1/4" = 1'-0"

FRAMING PLAN SECTION TYPICAL  
 NANCIE KANDO DECK  
 CAPITAL VIEW PARK

STRUCTURAL PLAN



TYPICAL SECTION 1/2" = 1'-0"

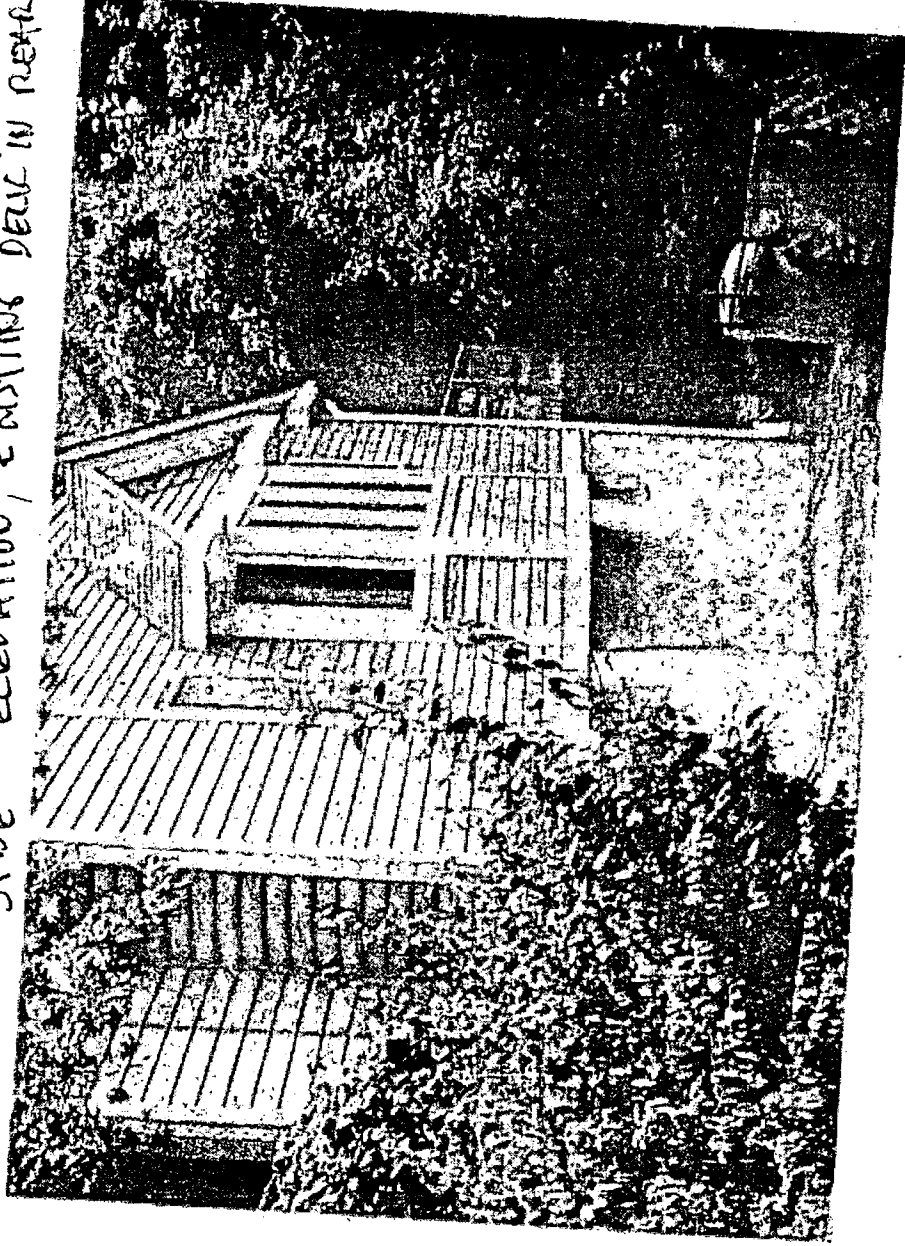
TYPICAL ELEVATION



FRONT ELEVATION

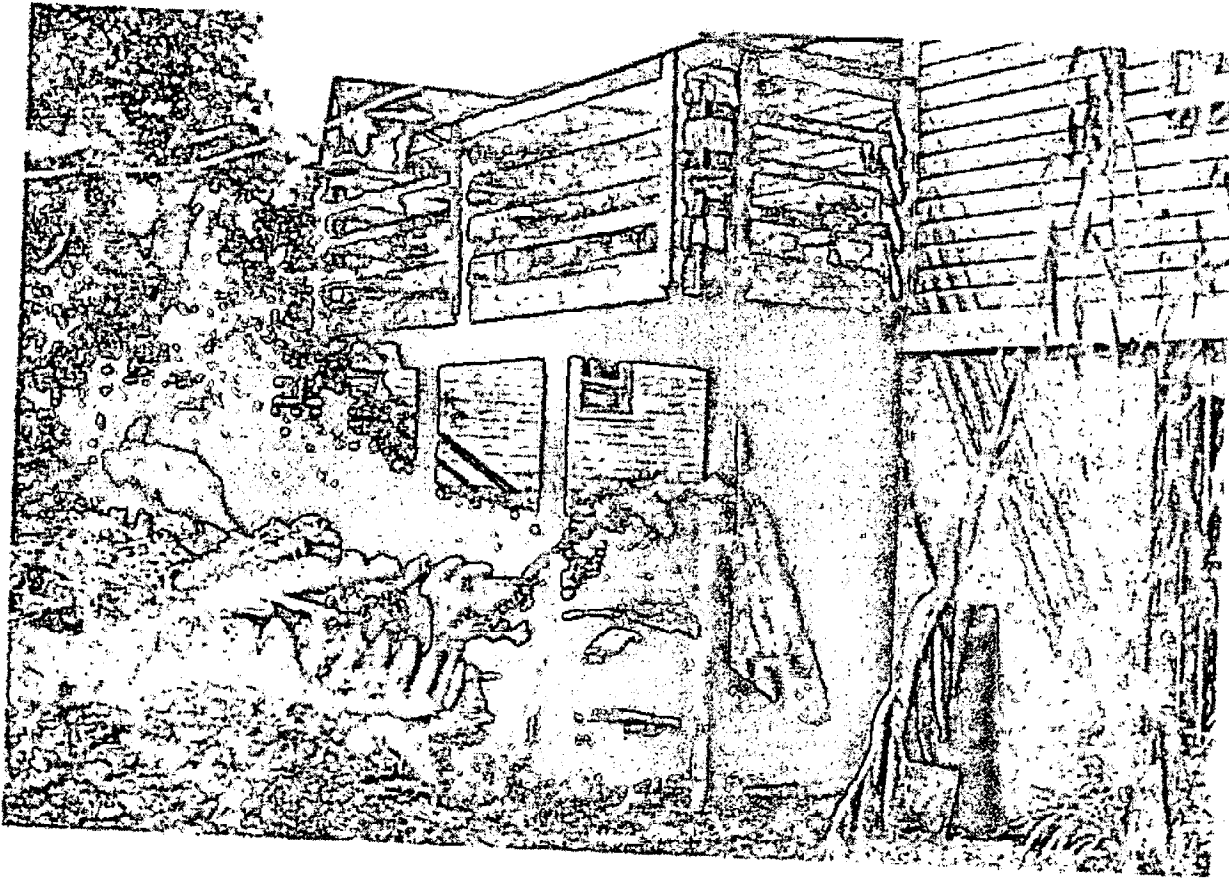


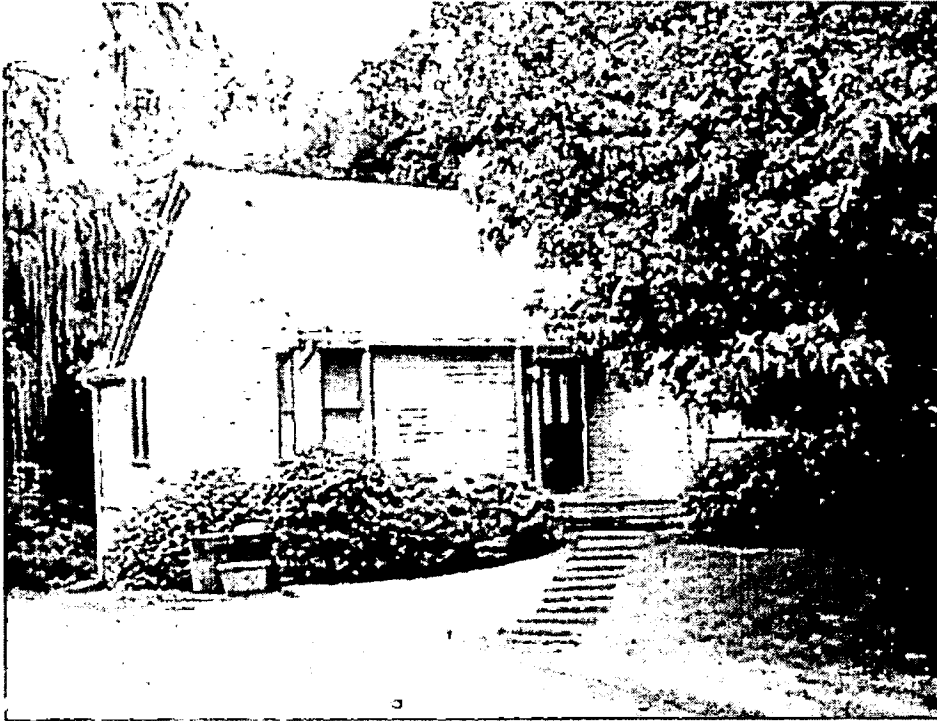
SIDE ELEVATION, EXISTING DECK IN REAR



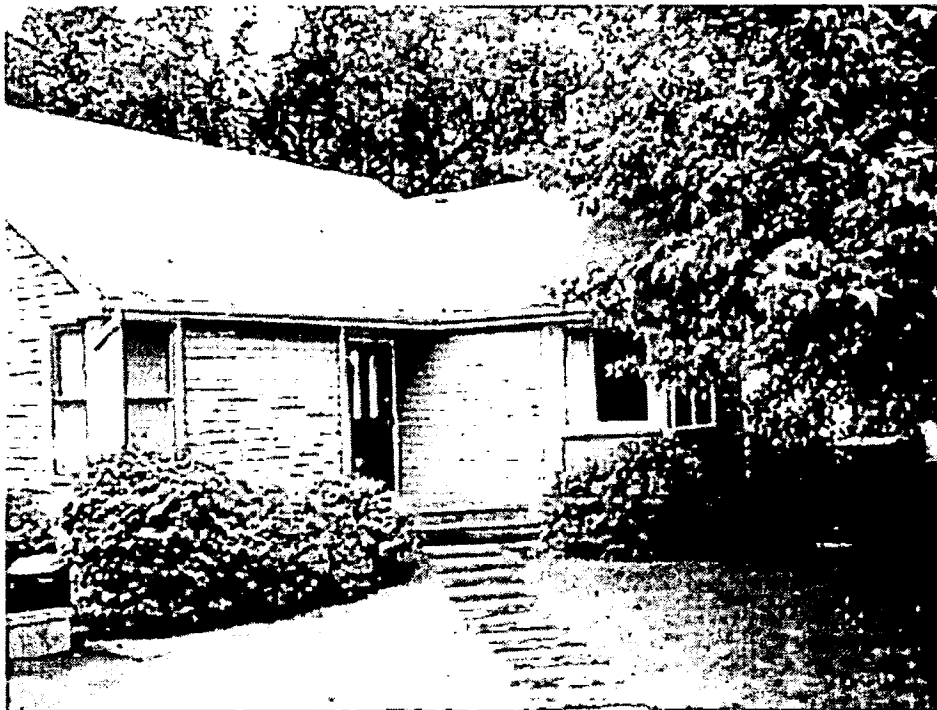


# REAR ELEVATION





10039 Pratt Place, front elevation



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING**  
(Owner, Owner's Agent, Adjacent and Confronting Property Owners)

---

**Owner's mailing address****Owner's Agent's mailing address**

**Nancie Kondo**  
10039 Pratt Place  
Silver Spring, MD 20910

---

**Adjacent and confronting Property Owners mailing addresses**

---

**Hyla Hurley**  
10041 Pratt Place  
Silver Spring, MD 20910

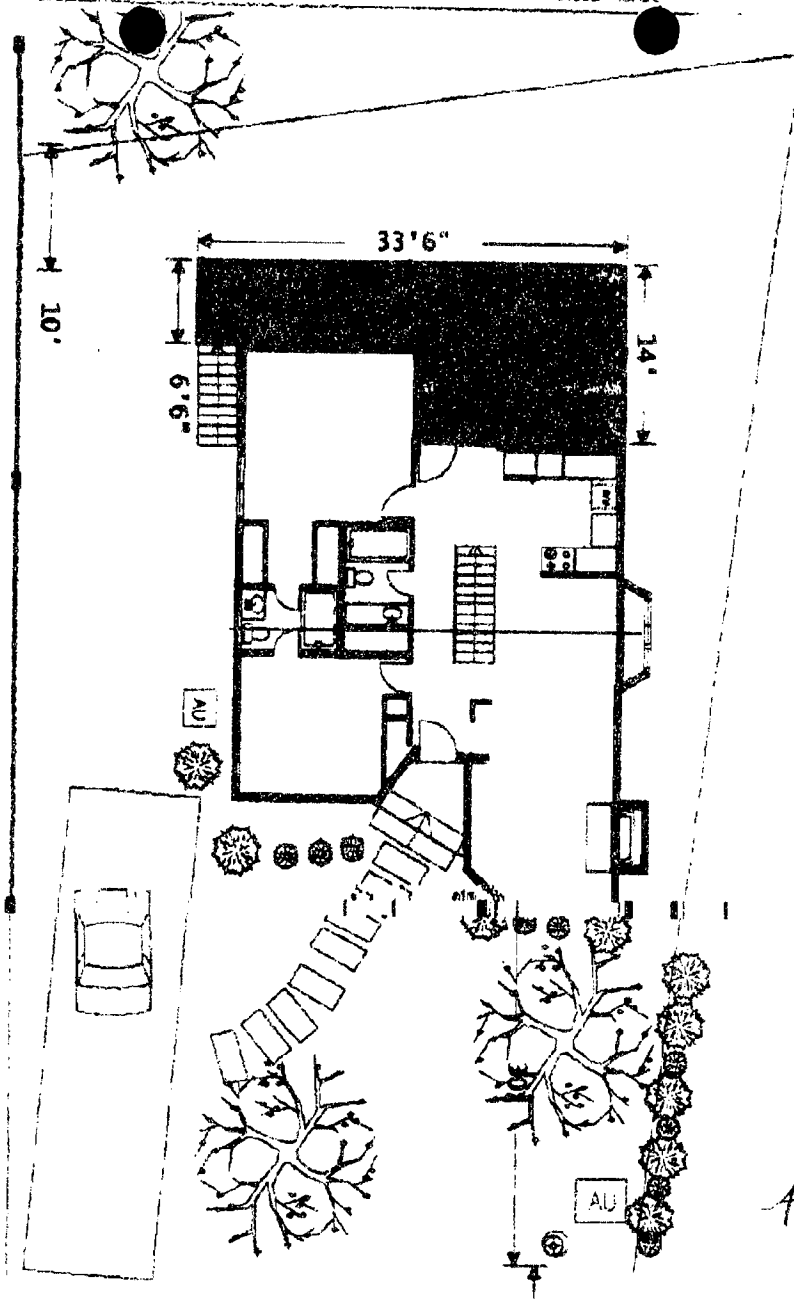
**Robert Bridwell**  
10037 Pratt Place  
Silver Spring, MD 20910

**Ms. Kelly**  
10038 Pratt Place  
Silver Spring, MD 20910

**No residence behind**





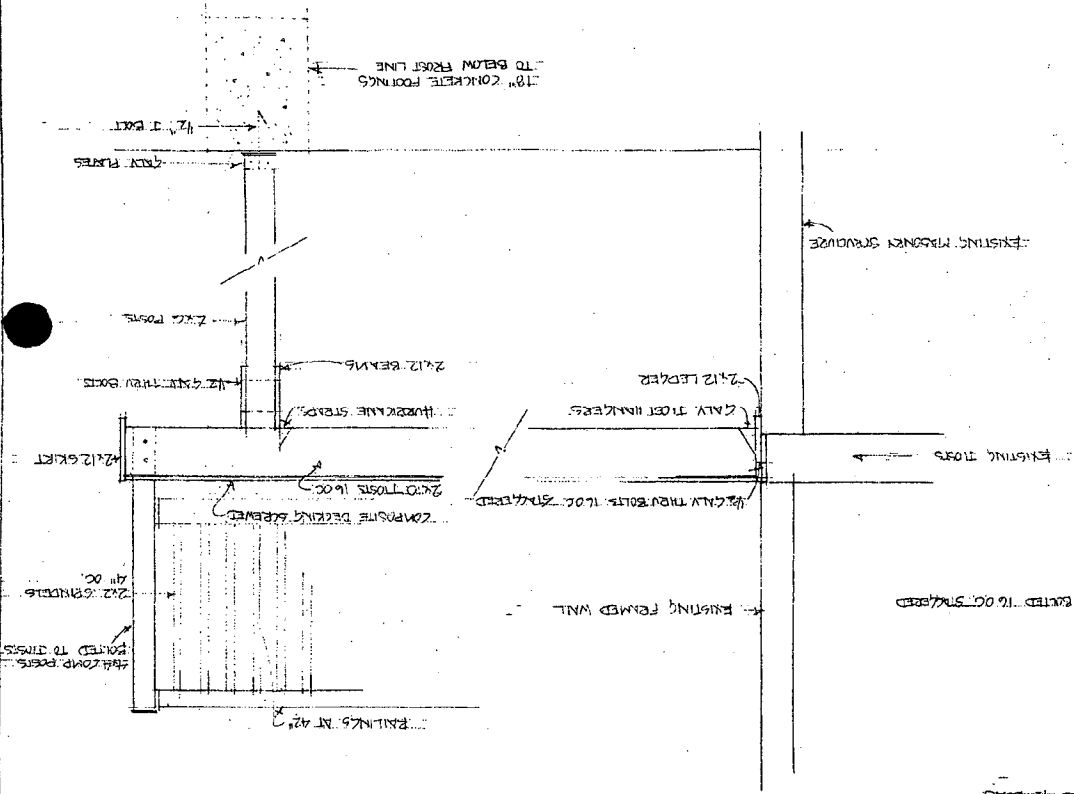


PLAN

*Pat Smith*

# TYPICAL ELEVATION

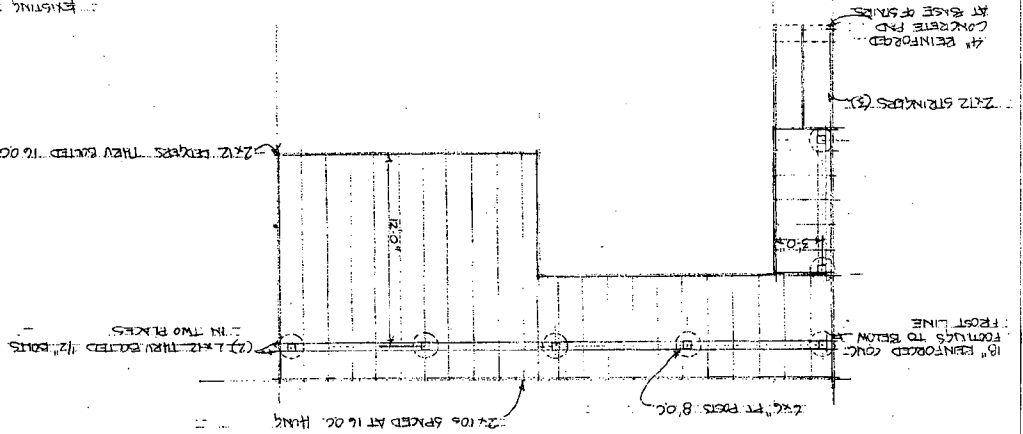
TYPICAL SECTION 1/2" = 1'-0"



# STRUCTURAL PLAN

FRAMING PLAN - SECTION TYPICAL  
NANCIE KANNO DECK  
CENTRAL VIEW PARK

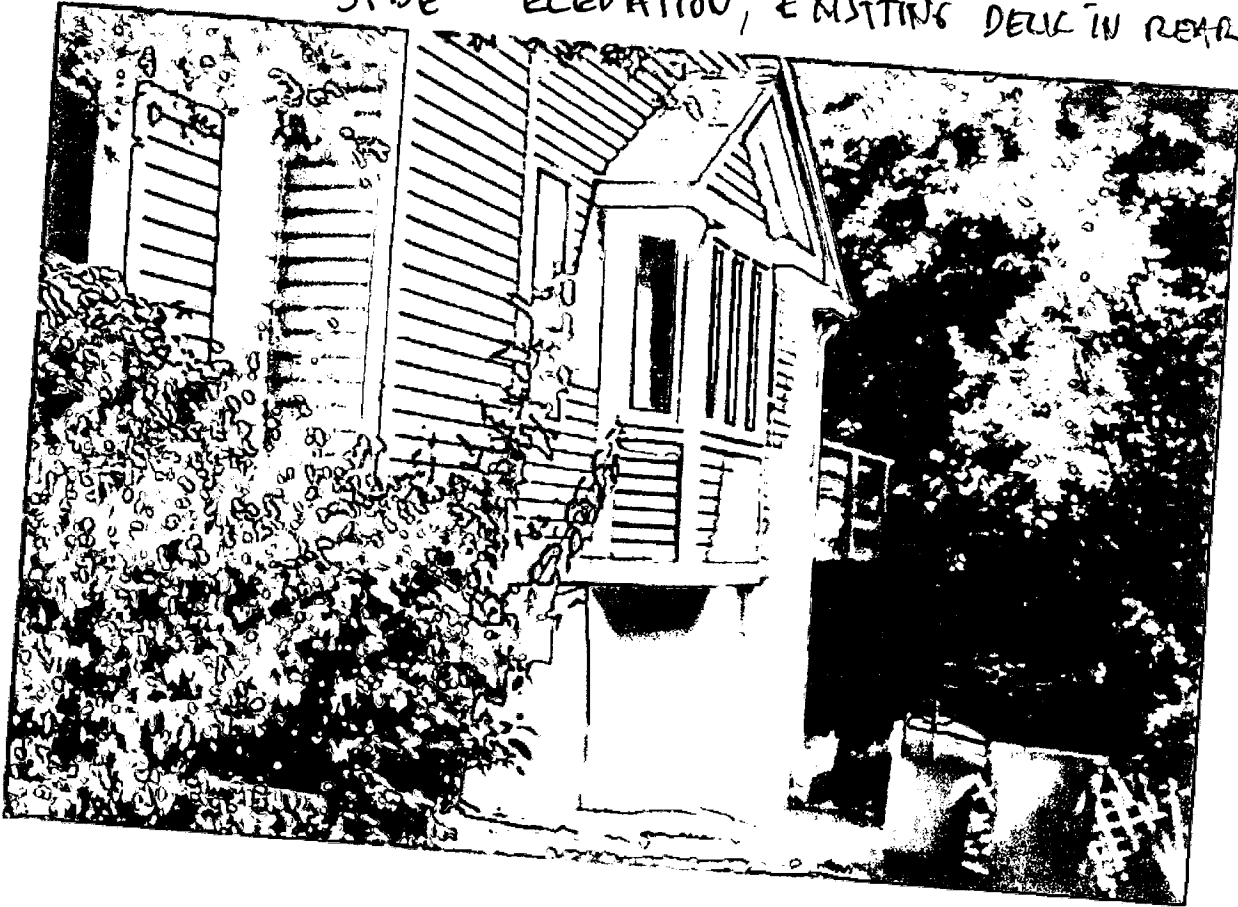
FRAMING PLAN SCALE 1/4" = 1'-0"



FRONT ELEVATION



SIDE ELEVATION, EXISTING DECK IN REAR





● REAR ELEVATION ●

