



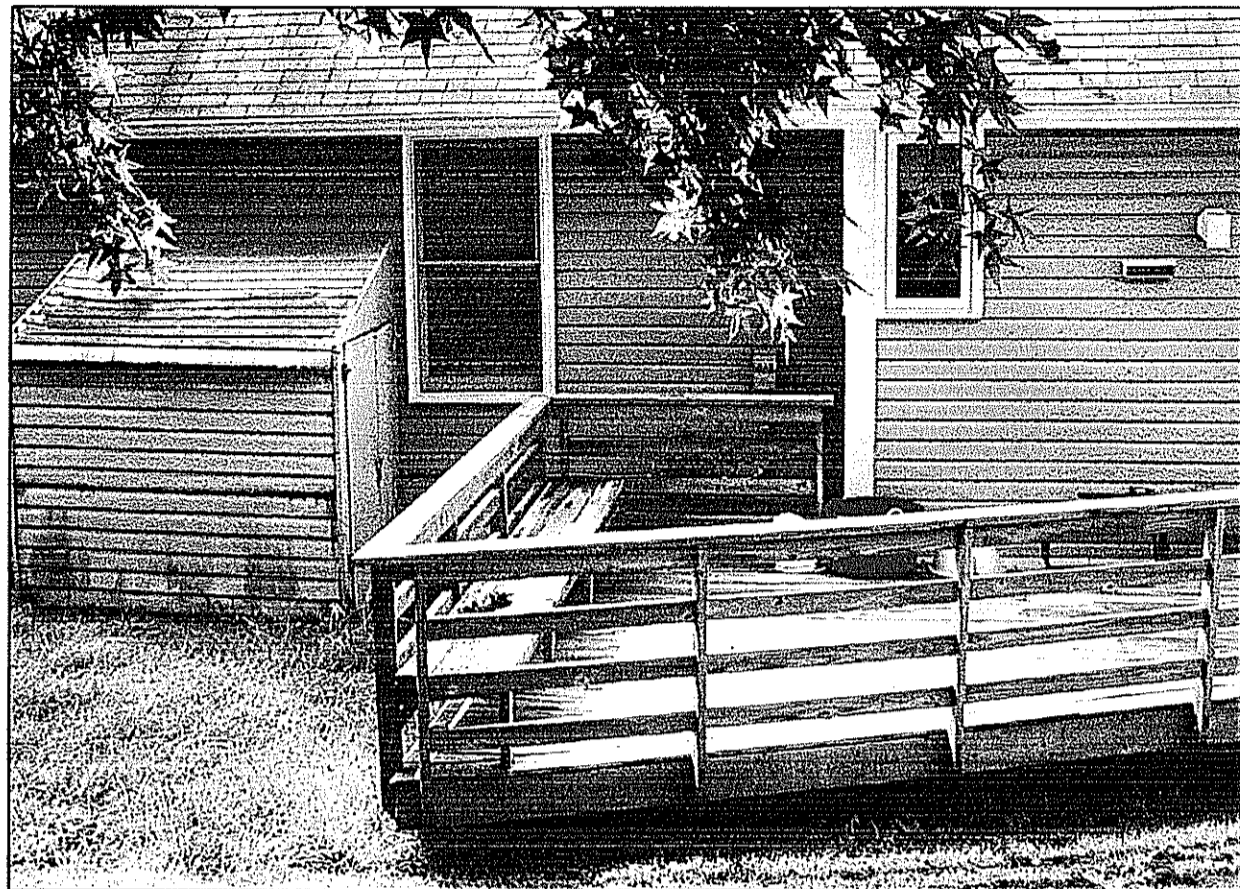
31/7-06B	10024 Pratt Place
Capitol View Historic District, 31/07	

PROPOSED ADDITION CATHY BROAD RESIDENCE

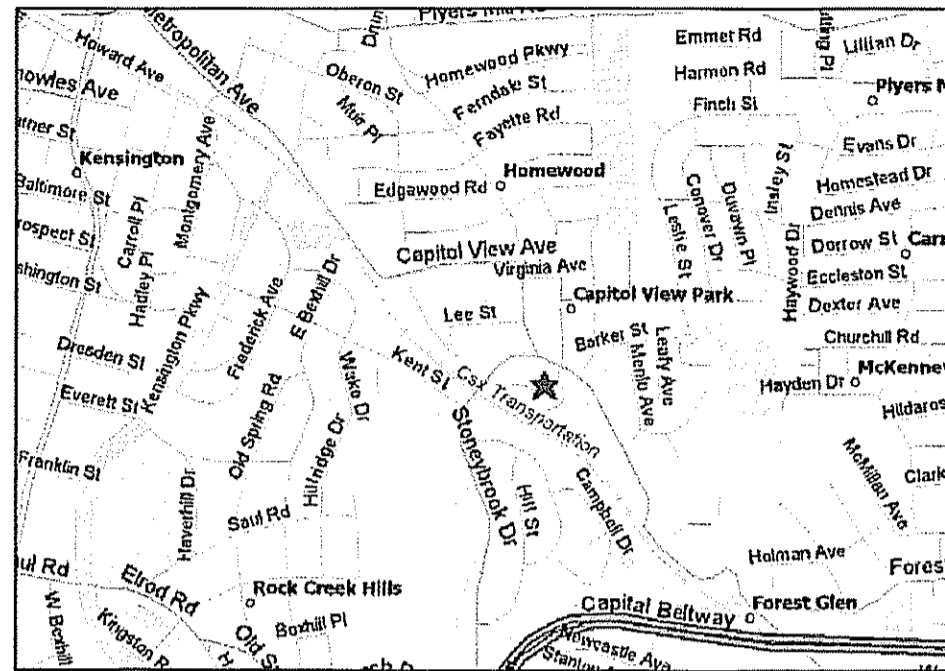
10024 Pratt Pl., Silver Spring, MD 20910

**LANDIS
CONSTRUCTION
CORPORATION**

A DESIGN/BUILD FIRM
7058 Spring Place, NW
Washington, DC 20012
Phone: 202-726-3777
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www.landisconstruction.com



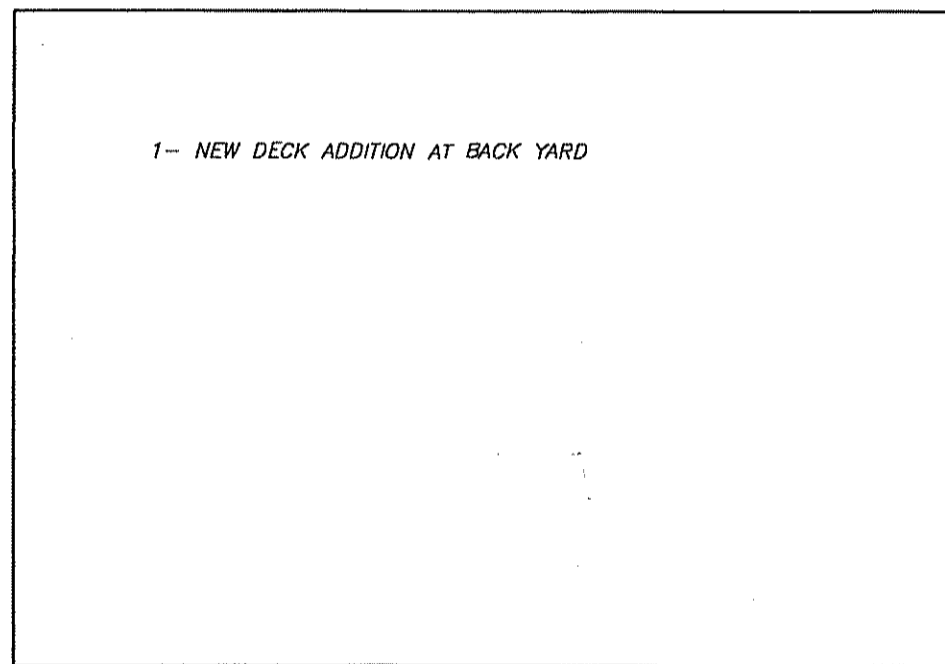
1 Street Elevation
NOT TO SCALE



3 Vicinity Map
NOT TO SCALE

- ALL DIMENSIONS ARE TO THE FINISHED SURFACE.
- ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
- NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
- DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH COLUMBIA COUNTY AMENDMENTS.
- CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
- VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
- BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" TO MARK UNDERGROUND UTILITIES. ALLOW TIME FOR UTILITIES TO BE MARKED PRIOR TO COMMENCEMENT OF WORK.

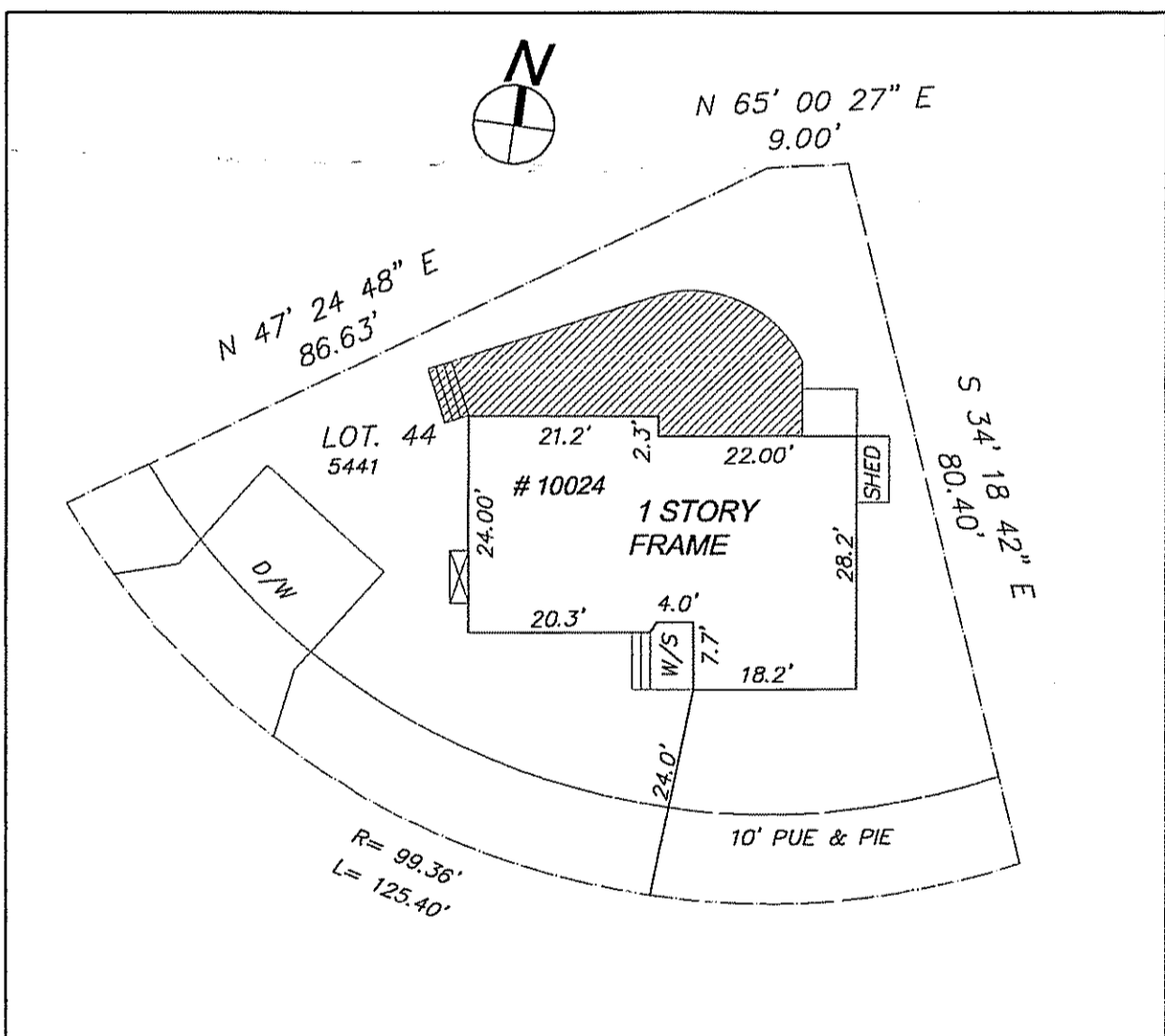
6 General Notes
NOT TO SCALE



4 General Scope of Work
NOT TO SCALE

<ul style="list-style-type: none"> DRAWING # DETAIL SECTION SHEET # DRAWING # BUILDING SECTION / BUILDING ELEVATION SHEET # SHEET # WALL SECTION DRAWING # DOOR TYPE WINDOW TYPE 	<ul style="list-style-type: none"> WALL TYPE PLUMBING FIXTURE TYPE NEW WALL (2X4 @ 16" O.C. UNLESS NOTED OTHERWISE) EXISTING WALL TO BE REMOVED DIMENSION LINE TO EDGE OF OBJECT DIMENSION LINE TO CENTERLINE OF OBJECT DIMENSION LINE TO OBJECT OFF DRAWING
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7 Drawing Symbol List
NOT TO SCALE



Lot Coverage Data:

TOTAL EXISTING LOT COVERAGE:	1097,96 SQ. FT.	0%
NEW ADDITIONS TO LOT COVERAGE:	0,00 SQ. FT.	0%
TOTAL NEW LOT COVERAGE:	1097,96 SQ. FT.	0%
LOT ZONING:	R-1a (MAXIMUM COVERAGE: 0%)	
TOTAL LOT AREA:	5054,43 SQ. FT.	

2 Proposed Site Plan
1" = 20'-0"

T-1 TITLE AND NOTES
T-2 GENERAL NOTES
D-1 DEMOLITION DECK FLOOR PLAN
D-2 DEMOLITION REAR ELEVATION
A-1 PROPOSED DECK FLOOR PLAN
A-2 PROPOSED REAR ELEVATION
S-1 NEW DECK DETAIL
S-2 STRUCTURAL FRAMING PLAN

5 Table of Contents
NOT TO SCALE

ELECTRICAL LEGENDS

Ⓞ	RECESSED LIGHT FIXTURE (#= SIZE, LV=LOW VOLTAGE, WP=WATER PROOF)
⌒	WALL MOUNTED LIGHT FIXTURE (#=HEIGHT ABOVE FLOOR, IF NUMBER IS NOT PRESENT REFER TO ARCHITECTURAL INTERIOR ELEVATIONS FOR HEIGHT)
△	CATSE DATA/PHONE JACK (D=DATA JACK, T=TELEPHONE JACK)
⊙	EXHAUST FAN (#=CFM, WL=WITH LIGHT)
⊖	120V GROUNDED DUPLEX RECEPTICAL 16" AFF (GFI=GROUND FAULT PROTECTED, #=HEIGHT ABOVE FLOOR IF NOT 16", WP=IN WATERPROOF "BUBBLE" ENCLOSURE)
Ⓢ	DEVICE SWITCH (3=3-WAY, 4=4-WAY, DIM=DIMMER)
ⓈD	SMOKE DETECTOR HARDWIRED INTERCONNECTED W/ BATTERY BACKUP
Ⓢ	HEATING LIGHT & FAN

8 Electrical Device Legend
NOT TO SCALE

*Plans stamped
Jan. 19, 2006
AF*

Version

PERMIT SET

Client and Project Location

Cathy BROAD

10024 Pratt Pl.
Silver Spring, MD 20910
Phone: 301-587-6776

Sheet Title

**TITLE
& NOTES
SITE MAP**

Date
01-12-06

Drawing Number

T-1

NOTES (FOR MONTGOMERY COUNTY, MD)

UILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY, MARYLAND.

LOADS:	
DDR:	40 PSF
TERIOR BALCONIES:	60 PSF
AIRS:	40 PSF
TIC W/ LIMITED STORAGE:	20 PSF
DF:	30 PSF (GROUND SNOW LOAD)
RAGE:	50 PSF
CKS:	40 PSF
ND:	20 PSF
LV LOADS:	30 PSF
ND SPEED:	90 MPH
ISMIC CATEGORY:	II
CATHERING:	SEVERE
DST DEPTH:	30"
RHITE:	MODERATE TO HEAVY
CAY:	SLIGHT TO MODERATE
INTER DESIGN TEMP:	13° F
DD HAZARDS:	AS INDICATED ON SITE PLANS

UMBING AND GAS DESIGN IS TO BE IN CONFORMANCE WITH WSSC PLUMBING CODE AND PER LOCAL AGENCIES AS APPROVED BY MONTGOMERY COUNTY, MARYLAND.

JK SHALL BE IN CONFORMANCE WITH NFPA-101/1997 AND PER LOCAL AMENDMENTS AS APPROVED BY MERY COUNTY, MARYLAND FOR LIFE SAFETY CODE.

ND SMOKE ALARMS SHALL BE IN ACCORDANCE WITH THE NFPA-72/1996 AND PER LOCAL AMENDMENTS ROVED BY MONTGOMERY COUNTY, MARYLAND.

WELLINGS SHALL BE IN ACCORDANCE WITH NFPA-13/1996 SPRINKLER CODE AND PER LOCAL AGENCIES AS APPROVED BY MONTGOMERY COUNTY, MARYLAND.

IBILITY CODES SHALL BE DETERMINED PER COMAR 05.02.02, ADAAG, & FFHAG.

CONSERVATION SHALL BE GOVERNED BY THE ICC INTERNATIONAL ENERGY CONSERVATION CODE/2000 R LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY, MARYLAND.

ROJECT HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND IE SUPERIMPOSED LOADS SHOWN ABOVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, JK, STAGINGS, BRACING, SHEETING AND SHORING, AND OTHER TEMPORARY COMPONENTS.

GREATER THAN THE APPLICABLE DESIGN LOADS NOTED ABOVE SHALL NOT BE PLACED ON THE URE. PROVISIONS SHALL BE MADE FOR ADEQUATE BRACING AND SUPPORT OF ADJACENT UCTION, UTILITIES, AND EXCAVATIONS.

CONSTRUCTION CORPORATION MAINTAINS A WRITTEN SAFETY PROGRAM AS REQUIRED BY OSHA FOR JOB AFETY, CONSTRUCTION PROCEDURES, AND A SAFETY EDUCATION PROGRAM.

BACKFILL AGAINST WALLS UNTIL SUPPORTING FLOORS ARE SECURELY IN PLACE. BRACE ALL WALLS ADEQUATELY SUPPORTED BY STRUCTURE. BACKFILL OF WALLS SHOULD BE PERFORMED WITH EIGHT EQUIPMENT, WITH A MAXIMUM OF ONE TON TOTAL WEIGHT ALLOWED WITHIN THE CRITICAL ZONE AS BEGINNING AT THE BASE OF THE WALL AND WIDENING OUT FROM THE WALL ON A 1:1 SLOPE.

AILS AND HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO THE STRUCTURAL LOADING IONS SPECIFIED IN SECTION 4.4 OF THE ASCE STANDARD 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS HER STRUCTURES".

NERAL CONTRACTOR AND/OR APPLICABLE FABRICATOR SHALL VERIFY ALL EXISTING STRUCTURAL IONS PRIOR TO FABRICATION. EXISTING STRUCTURAL CONDITIONS SHALL INCLUDE, BUT ARE NOT I TO, ALL ASSUMED DIRECTIONS AND SIZES ON FRAMING, BEARING WALL SIZES, DIMENSIONS, AND IONS WHERE NEW STRUCTURAL ELEMENTS CONNECT TO, BEAR UPON, OR SUPPORT EXISTING UCTION. ANY DISCREPANCIES BETWEEN THE OBSERVED CONDITION AND THE CONDITION SHOWN ON THE URAL DRAWINGS SHALL BE CONVEYED TO STEARNS ENGINEERING BY MEANS OF DIMENSIONED SKETCHES. NOTIFICATION OF DISCREPANCIES IS VERY IMPORTANT IN ORDER TO ALLOW RESOLUTION WITHOUT NG THE PROJECT. THE CONTRACTOR SHALL EXPOSE ALL FRAMING TO WHICH ANY NEW STRUCTURE IS CONNECTED BY REMOVING NON-STRUCTURAL INTERFERENCES SO THAT A REVIEW OF THESE EXISTING URAL ELEMENTS MAY BE PERFORMED BY STEARNS ENGINEERING PRIOR TO THE APPLICATION OF INAL LOADS.

IN ANY DRAWINGS SHALL MEAN THAT ALL TRADES AND APPLICABLE FABRICATORS SHALL VERIFY THE IC DIMENSION OR CONDITION IN THE FIELD. IT REMAINS THE GENERAL CONTRACTOR'S, PERSONS, AND/OR APPLICABLE FABRICATOR'S RESPONSIBILITY TO VERIFY OTHER DIMENSIONS AND IONS AS SHOWN ON THE DRAWINGS.

WINGS:

RAWING SUBMITTALS, IF CALLED FOR, ARE TO BE SUBMITTED TO LANDIS CONSTRUCTION CORPORATION VUEW AND APPROVAL. TYPICAL ELEMENTS REQUIRING SHOP DRAWING APPROVAL ARE LISTED BELOW: CUSTOM BUILT-INS

- CABINETRY
- ENGINEERED STRUCTURAL ELEMENTS SUCH AS:
 - I. ENGINEERED CONCRETE MIX DESIGN
 - II. ENGINEERED CONCRETE REINFORCING STEEL
 - III. ENGINEERED CONCRETE AND MASONRY ACCESSORIES
 - IV. ENGINEERED STRUCTURAL STEEL
 - V. ENGINEERED CONCRETE FORMWORK
 - VI. X METAL PLATE CONNECTED WOOD FLOOR AND ROOF TRUSSES
 - VII. X STONE FACADE SUPPORT SYSTEM

TEMS DELINEATED WITH AN ASTERISK (*) ARE SPECIALTY STRUCTURES REQUIRING THE SUBMITTAL OF ITH DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER GISTERED IN THE PROJECT'S STATE.

NER FAILS TO PROVIDE SHOP DRAWINGS FOR PRIOR REVIEW AND APPROVAL BY THE CONTRACTOR FOR IER-SUPPLIED ITEM, LANDIS CONSTRUCTION CORPORATION SHALL NOT BE HELD RESPONSIBLE FOR ANCIIES OR COMPLICATIONS CAUSED BY SUCH ITEMS. IF STRUCTURAL SHOP DRAWINGS ARE REQUIRED, HALL BE REVIEWED BY THE ENGINEER OF RECORD.

UM OF FOURTEEN CALENDAR DAYS FROM DATE OF RECEIPT ARE REQUIRED FOR REVIEW OF SHOP IGS. FOR STRUCTURAL SHOP DRAWINGS, CONNECTION DETAIL SUBSTITUTIONS WILL BE ACCEPTED FOR / ONLY WHEN ACCOMPANIED BY COMPLETE AND LOGICALLY ORGANIZED CALCULATIONS SIGNED AND I BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECT'S STATE. MATERIAL SUBSTITUTIONS E ACCEPTED FOR REVIEW ONLY WHEN ACCOMPANIED BY COMPLETE MANUFACTURER'S DATA.

FOUNDATION NOTES:

GS ARE DESIGNED FOR AN ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. FOOTINGS SHALL BEAR ON L UNDISTURBED SOIL 1'-0" BELOW ORIGINAL GRADE OR ON CONTROLLED COMPACTED FILL, AND IE OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED EXTERIOR GRADE. CONTRACTOR SHALL BE ISIBLE FOR VERIFYING SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN SHOWN ABOVE, OTINGS MAY HAVE TO BE REDESIGNED.

I ELEVATION OF NEW FOOTINGS ADJACENT TO EXISTING FOOTINGS SHALL MATCH THE BOTTOM OF G FOOTINGS.

INTRACTOR SHALL NOTIFY A STRUCTURAL ENGINEER IF THE REQUIRED DEPTH OF EXCAVATION FOR NEV GS IS LOWER THAN THE BOTTOM OF FOOTINGS FOR THE EXISTING STRUCTURE OR ADJACENT BUILDINGS.

/ LINES SHALL NOT BE PLACED THROUGH OR BELOW THE FOUNDATION UNLESS SPECIFICALLY DETAILED STRUCTURAL DRAWINGS, OR APPROVED BY AN ENGINEER.

INTRACTOR SHALL ENSURE THAT EXCAVATIONS FOR FOOTINGS REMAIN DRY DURING CONSTRUCTION.

NOTES:

INCRTE, EXCEPT AS NOTED, SHALL BE F'C = 3,000 PSI, STONE-AGGREGATE CONCRETE AT 28 DAYS. TAL CONCRETE (FLATWORK) EXPOSED TO THE WEATHER (AND GARAGE SLABS) SHALL BE F'C = 2,500 LL. EXTERIOR 3,500 PSI CONCRETE SHALL BE AIR-ENTRAINED WITH 6% AIR CONTENT +/- 1.5%. ALL EXTERIOR CONCRETE (AND INTERIOR CONCRETE WHICH MAY BE SUBJECT TO FREEZING DURING UCTION) SHALL BE AIR-ENTRAINED WITH 4.5% AIR CONTENT +/- 1.5%. ALL EXPOSED CORNERS OF WALLS, AND BEAMS SHALL BE CHAMFERED 1 INCH.

FRESH CONCRETE IS POURD AGAINST CONCRETE IN PLACE, THE CONTACT SURFACES OF CONCRETE IN SHALL BE THOROUGHLY CLEANED, ALL DEBRIS AND LOOSE MATERIAL SHALL BE REMOVED, AND THE 7 SURFACES SHALL BE THOROUGHLY COATED WITH GROUT CONSISTING OF ONE PART SAND TO ONE PART WITH A MINIMUM AMOUNT OF WATER.

3. ALL CONCRETE FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE", SPECIAL PUBLICATION NO. 4, AND ACI "STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI 347)

4. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING ACI DOCUMENTS: ACI 211 PROPORTIONS OF CONCRETE, ACI 214 COMPRESSION TESTS, ACI 301 SPECIFICATIONS, ACI 304 PLACING CONCRETE, ACI 305 HOT WEATHER, ACI 306 COLD WEATHER, ACI 315 DETAILING, ACI 318 CODE, AND ACI 347 FORMWORK.

5. ALL FIELD AND LAB TESTING OF CONCRETE, IF REQUIRED, SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF ASTM: ASTM C31 FIELD CYLINDER SPECIMENS, ASTM C39 LAB TESTING CYLINDERS, ASTM C42 HARDENED CORES (WHEN REQUIRED), ASTM C143 SLUMP TEST, ASTM C172 SAMPLING FRESH CONCRETE, AND ASTM C173 OR C231 AIR CONTENT (WHEN REQUIRED).

6. UPON COMPLETION OF CONCRETE TESTING, THE AGENCY SHALL CERTIFY ITS RESULTS AS FOLLOWS:

"I CERTIFY THAT THE FIELD AND LAB TESTING CONFORMS TO THE ASTM DOCUMENTS AND GOOD PRACTICE. SIGNED, P.E." (FOR AGENCY)

7. CONCRETE FORMWORK SHALL NOT BE DISTURBED UNTIL THE CONCRETE HAS CURED LONG ENOUGH TO BE ABLE TO SUPPORT ITS OWN WEIGHT PLUS A MINIMUM OF 20 PSF CONSTRUCTION LOAD. A CONCRETE STRUCTURE MAY NOT SUPPORT ITS DESIGN LIVE LOAD UNTIL IT HAS CURED FOR 28 DAYS.

8. FORMS MUST REMAIN IN PLACE A MINIMUM OF SEVEN DAYS BEFORE REMOVAL PROVIDED THE MEAN DAILY AIR TEMPERATURE IS AT LEAST 32 DEGREES FAHRENHEIT AND THAT THE AIR IN CONTACT WITH THE CONCRETE HAS BEEN KEPT AT LEAST 50 DEGREES FAHRENHEIT FOR SEVEN DAYS. FORM REMOVAL REQUIRES SIMULTANEOUS RESHORING. RESHORING MUST REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED DESIGN STRENGTH. FIELD-CURED CYLINDERS MAY BE USED IN LIEU OF THE ABOVE REQUIREMENTS TO DETERMINE IF FORMWORK MAY BE REMOVED. STEARNS ENGINEERING MUST APPROVE ANY REMOVAL OF FORMWORK IF THIS METHOD IS USED.

9. IF REQUESTED BY ENGINEER OF RECORD, CONTRACTOR SHALL SUBMIT FOR APPROVAL BY ENGINEER A CONCRETE DESIGN MIX IN ACCORDANCE WITH ACI 318 (LATEST LOCAL APPROVED EDITION). SUCH DESIGN MIX SHALL BE ACCOMPANIED BY THE APPROPRIATE GRAPHS AND BACKGROUND DATA. CONCRETE DESIGN MIX DATA SHALL INDICATE 7 AND 28 DAY STRENGTHS, CEMENT CONTENT, AND WATER/CEMENT RATIO, FINE AND COARSE AGGREGATES, AND ADMIXTURES FOR EACH DESIGN STRENGTH. THE ADDITION OF WATER AT THE PLANT OR IN THE FIELD GREATER THAN 1% MORE THAN THE SPECIFIED WATER CONTENT IS STRICTLY PROHIBITED.

10. CONCRETE FOR STRUCTURES THAT ARE TO RECEIVE A PROTECTIVE SURFACE COATING IS NOT TO BE TREATED WITH ANY CURING COMPOUND UNLESS APPROVED BY LANDIS CONSTRUCTION CORPORATION.

11. THE USE OF ADDITIVES TO THE CONCRETE MIX SHALL NOT BE PERMITTED UNLESS THE CONTRACTOR HAS RECEIVED THE PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD. ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.

CONCRETE REINFORCING NOTES:

1. ALL REINFORCING SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60 (FY=

48,000) (OTHER) D. BEAMS AND COLUMNS 1-1/2" (TO TIES, STIRRUPS, SPIRALS, OR PRIMARY REINFORCEMENT)

2. LAP ALL REINFORCING SPLICES 34 BAR DIAMETERS FOR UP TO #6 BARS AND 43 BAR DIAMETERS FOR #7 AND LARGER BARS EXCEPT LAP TOP BAR SPLICES 44 AND 56 BAR DIAMETERS, RESPECTIVELY. BEND WALL HORIZONTAL REINFORCING 24" AROUND CORNERS OR PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING.

3. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185 AND SHALL BE 6" X 6" W4 X W4. INSTALL AT 2" FROM THE TOP OF THE CONCRETE SLAB. WELDED WIRE FABRIC SHALL HAVE ENDS LAPPED ONE FULL MESH AND SHALL EXTEND INTO SUPPORTING BEAMS OR WALLS (WHERE PRESENT).

MASONRY:

1. ALL MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-02/ASCE 5-02/TMS 402-02) AND THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530-02/ASCE 6-02/TMS 602-02). MASONRY BEARING WALLS, PARTITIONS, AND PIERS SHALL CONSIST ENTIRELY OF LEAD BEARING UNITS CONFORMING TO ASTM C90 (HOLLOW UNITS) AND/OR C145 (SOLID UNITS), GRADE N-1. USE FULL HEAD AND BED JOINTS. BOND BRICK OR MASONRY PIERS AND CROSS-WALLS INTO ADJACENT WALLS.

2. MASONRY CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS OF ADOPTED BUILDING CODES AND AMENDMENTS AND THE RECOMMENDATIONS OF BRICK INDUSTRY ASSOCIATION (BIA) AND NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

3. PROVIDE 3 CONTINUOUS COURSES OF BRICK OR 8" MINIMUM DEPTH OF 100% SOLID MASONRY BELOW ALL JOIST DR SLAB BEARING LINES. PROVIDE A MINIMUM OF 24" WIDTH AND 16" DEPTH OF BRICK OR 100% SOLID MASONRY BELOW ALL LINTELS AND/OR WALL BEARING BEAMS UNLESS NOTED OTHERWISE. WHERE SPECIFIED ON THE PLANS, 100% SOLID MASONRY UNITS SHALL CONSIST OF ASTM C145 MASONRY UNITS OR HOLLOW LOAD BEARING UNITS FILLED SOLID WITH PORTLAND CEMENT GROUT.

4. ALL BELOW-GRADE MASONRY SHALL BE LAID IN TYPE S MORTAR CONFORMING TO ASTM C270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. ALL ABOVE-GRADE MASONRY SHALL BE LAID IN TYPE N MORTAR CONFORMING TO ASTM C270 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 750 PSI AT 28 DAYS. GROUT FOR FILLING MASONRY CORES SHALL BE COARSE TYPE, CONFORMING TO ASTM C476; MINIMUM COMPRESSIVE STRENGTH = 2500 PSI. ALL PIERS AND PARTITIONS SHALL BE BONDED TO ADJACENT MASONRY WALLS. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SUPPORT FOR ALL MASONRY WORK UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

5. ALL MORTAR SHALL CONFORM TO THE REQUIREMENTS OF ASTM C270. THE PROPORTION SPECIFICATION REQUIREMENTS OF C270, IN PART, PROVIDE FOR THE FOLLOWING PROPORTIONS BY VOLUME:

- A. TYPE S MORTAR - (1/2 : 1 : 3-3/8 TO 4-1/2) (PORTLAND CEMENT, TYPE N MASONRY CEMENT, SAND) - OR - (1 : 2-1/4 TO 3) (TYPE S MASONRY CEMENT, SAND)
- B. TYPE N MORTAR - (1 : 2-1/4 TO 3) (TYPE N MASONRY CEMENT, SAND)
- C. COARSE TYPE GROUT SHALL BE PROPORTIONED AS FOLLOWS: (1 : 0 TO 1/10 : 2-1/4 TO 3 : 1 TO 2) (PORTLAND CEMENT, HYDRATED LIME, FINE AGGREGATE, COARSE AGGREGATE)

6. WALL SECTIONS AND PIERS WITH LESS THAN FOUR SQUARE FEET OF GROSS CROSS SECTIONAL AREA SHALL BE CONSTRUCTED OF SOLID MASONRY UNITS.

7. LOOSE LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS FOR EACH 4" WIDTH:

- A. 0' TO 3'-0" 3-1/2" X 3-1/2" X 5/16" ANGLE
- B. 3'-1" TO 3'-0" 4" X 3-1/2" X 3/16" ANGLE
- C. 5'-1" TO 6'-0" 6" X 3-1/2" X 5/16" ANGLE

8. ALL ANGLES SHALL HAVE "LONG LEG VERTICAL" AND 6" MIN. BEARING. LINTELS OVER OPENINGS IN INTERIOR MASONRY PARTITIONS NOT OTHERWISE SPECIFIED SHALL BE PRECAST LIGHTWEIGHT CONCRETE LINTELS 8" DEEP WITH 1 #5 BAR TOP AND BOTTOM FOR EACH 4" WIDTH.

STEEL:

1. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992. ALL HSS SHAPES SHALL CONFORM TO ASTM A500, GRADE B WITH FY = 42 KSI FOR ROUND HSS AND FY = 46 KSI FOR RECTANGULAR HSS. ALL OTHER STRUCTURAL STEEL (ANGLES, CHANNELS, PLATES, ETC) SHALL CONFORM TO ASTM A36. ALL STEEL SHALL BE DETAILED, FABRICATED, AND ERCTED IN ACCORDANCE WITH THE 2000 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

2. ALL SHOP AND FIELD CONNECTIONS SHALL BE BY WELDING OR WITH 3/4" DIAMETER A325 HIGH STRENGTH BOLTS. IN GENERAL, FIELD CONNECTIONS SHALL BE BOLTED AND SHOP CONNECTIONS SHALL BE WELDED. CONNECTIONS NOT DETAILED SHALL BE DESIGNED FOR TYPE 2 CONSTRUCTION, IN ACCORDANCE WITH THE AISC MANUAL. EXCEPT FOR COMPOSITE BEAMS OR WHERE REACTIONS ARE SHOWN, CONNECTIONS SHALL DEVELOP THE MAXIMUM END REACTION USING THE UNIFORM LOAD CONSTANTS IN PART TWO OF THE AISC MANUAL FOR THE GIVEN BEAM, GRADE OF STEEL, AND SPAN SPECIFIED. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE WITH AWS D11 (LATEST EDITION). ALL ELECTRODES SHALL BE E-70XX, LOW HYDROGEN, UNLESS NOTED OTHERWISE.

3. HOLES SHALL NOT BE CUT IN STEEL MEMBERS UNLESS INDICATED ON THE DRAWINGS OR APPROVED IN WRITING BY ENGINEER OF RECORD.

4. ANCHOR BOLTS SHALL BE ASTM A36 RODS WITH TACK-WELDED HEX HEAD NUTS AT EMBEDDED END OR A307 BOLTS WITH THE HEAD EMBEDDED.

5. STEEL WORK WHICH WILL BE CONCEALED BY INTERIOR BUILDING FINISH OR WILL BE IN CONTACT WITH CONCRETE NEED NOT BE PAINTED. ALL OTHER STEELWORK SHALL BE GIVEN ONE COAT OF SHOP PAINT.

WOOD:

1. ALL WOOD CONSTRUCTION, INCLUDING NAILING AND DETAILS, SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODES AND THE 2001 EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS) BY AMERICAN FOREST AND PAPER ASSOCIATION (AFPA).

2. ALL FRAMING LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) #1/#2 OR BETTER, UNLESS NO LUMBER TO BE GRADED BY NATIONAL LUMBER GRADES AUTHORITY (NLGA) RULES.

3. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS WHERE PARTITION LENGTH EXCEEDS

4. ALL WOOD MEMBERS DESIGNATED AS "PRESSURE-TREATED" (PT) SHALL BE SOUTHERN PINE ENGINEER-APPROVED EQUAL AND WATER-BORNE PRESERVATIVE TREATED IN ACCORDANCE WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C1-93. ALL TIMBER PRODUCTS - F TREATMENT BY PRESSURE PROCESSES.

5. THE FOLLOWING WOOD MEMBERS SHALL BE PRESSURE TREATED (PT):

- A. SILLS OR PLATES BEARING ON CONCRETE OR MASONRY EXTERIOR WALLS
- B. EXTERIOR WOOD SIDING, SHEATHING, AND WALL FRAMING WITH CLEARANCES OF INCHES FROM THE GROUND
- C. SILLS AND SLEEPERS BEARING DIRECTLY ON A CONCRETE SLAB IN DIRECT CO GROUND
- D. WOOD FURRING STRIPS OR FRAMING MEMBERS ATTACHED DIRECTLY TO THE INT SURFACE OF EXTERIOR CONCRETE OR MASONRY WALLS BELOW GRADE

6. SILL PLATES SHALL BE PRESSURE TREATED AND SHALL BE ANCHORED WITH 1/2 INCH I BOLTS EMBEDDED IN FOUNDATIONS TO A DEPTH OF 8" (MIN) OF POURED-IN-PLACE CONC IN GROUDED UNIT MASONRY. THERE SHALL BE A MINIMUM OF TWO BOLTS PER SECTION ANCHOR BOLTS SHALL BE PLACED 12" FROM THE END OF EACH SECTION OF PLATE, WITH BOLTS SPACED 6'-0" (MAX) O.C. FOR ONE- AND TWO-STORY BUILDINGS AND 4'-0" (MAX) OVER TWO STORIES IN HEIGHT.

7. USE SIMPSON STRONG-TIE OR ENGINEER-APPROVED EQUIVALENT STRUCTURAL WOOD COP NOTED OTHERWISE. TIMBER AND LAMINATED LUMBER BEAMS AND HEADERS SHALL BE CE WITH POST CAP CONNECTORS. POST BASES SHALL BE FASTENED TO THEIR SUPPORTS I ALL JOISTS AND BEAMS SHALL BE SUPPORTED WITH JOIST OR BEAM HANGERS AS NOTE JOIST OR ROOF TRUSS SHALL BE ATTACHED TO ITS SUPPORT WITH HURRICANE TIES, UI OTHERWISE.

8. PROVIDE ERECTION BRACING FOR FLOOR AND ROOF FRAMING WHICH SHALL INCLUDE STR BRACING FOR BOTTOM CHORD BEARING, BOTTOM CHORD RESTRAINT, AND SWAY BRACING.

9. ALL WOOD TRUSSES ARE TO BE METAL-PLATE-CONNECTED. DESIGN, FABRICATION, AND METAL-PLATE-CONNECTED ROOF AND FLOOR TRUSSES SHALL BE IN ACCORDANCE WITH I "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE AFPA, THE "NATIO FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" AND "COMMENTARY AND APP 1-1995" BY THE TRUSS PLATE INSTITUTE (TPI). BRACING OF ALL TRUSSES SHALL BE "HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" (CH1-5 "RECOMMENDED DESIGN SPECIFICATION FOR TEMPORARY BRACING OF METAL PLATE CONN (QSB) BY TPI. DESIGN AND GENERAL ARRANGEMENT ARE SUBJECT TO THE REVIEW OF

10. BEAMS, HEADERS, AND LINTELS DESIGNATED "ML" ARE TO BE MICROLLAM LVL WOOD BE TRUS JOIST OR ENGINEER-APPROVED EQUIVALENT HAVING THE FOLLOWING STRUCTURAL 2600 PSI (FOR 12" DEPTH), FV = 285 PSI, AND E = 1900 KSI. SIZES TO BE AS SHW DETAILS. MULTIPLE MICROLLAMS ARE TO BE FASTENED TOGETHER WITH A MINIMUM OF AT 12" O.C. (STAGGERED). NAILS ARE TO BE SPACED 3" FROM THE TOP AND BOTTOM OF MICROLLAMS ARE DESIGNATED ON PLANS AS FOLLOWS: (ALL 1-3/4" THICK) 5.5 ML = 5-9-1/4" DEEP, 11.8 ML = 11-7/8" DEEP, 14.0 ML = 14" DEEP, ETC.

11. UNLESS SHOWN OTHERWISE, ALL LINTELS AND HEADERS SHALL BE TWO 2X12 SPRUCE-P MINIMUM IN 2X4 STUD BEARING WALLS AND THREE 2X10 SPRUCE-PINE-FIR #1/#2, MINIM BEARING WALLS. AT BEARING WALLS PROVIDE TWO JACK STUDS AND ONE KING STUD SHOWN OTHERWISE. ALL JACKS OR POSTS SHALL LINE UP WITH THOSE AT THE FLOOR STUDS OR POSTS ARE TO BE CONTINUOUS, OR INCREASED AS SHOWN, TO THE LOWEST I STRUCTURE.

12. STUD BEARING PARTITIONS SHALL HAVE 2 CONTINUOUS PLATES AT THE TOP UNLESS N WHICH ARE TO BE SPLICED AT STUD LOCATIONS ONLY. SPLICES TO BE STAGGERED AT CONTRACTOR TO PROVIDE MINIMUM OF ONE ROW OF BLOCKING AT MID-HEIGHT OF INTER MID-HEIGHT BLOCKING SHALL CONSIST OF SAME SIZE, SPECIES, AND GRADE OF LUMBER STUDS. MID-HEIGHT BLOCKING IS REQUIRED IN THE EXTERIOR WALLS IF THE STRUCTU ALREADY IN PLACE.

13. ALL EXTERIOR STUD WALLS SHALL BE BRACED AT THE CORNERS UNTIL THE STRUCTUR PLACE. THIS BRACING SHALL BE 2" WIDE X 16 GAUGE STEEL FLAT WALL BRACING COI A446 GRADE A SPECIFICATIONS OR 1X4 WOOD MEMBERS INSTALLED AT A 45 DEGREE AN (MINIMUM) WIDTH OF PLYWOOD SHEATHING AT THE CORNERS, EACH WAY. BRACING SHAL 16B COMMON NAILS IN THE TOP AND BOTTOM PLATES AND 8D COMMON NAILS IN EACH I LET-IN BRACING IS NOT TO BE USED TO AVERT ANY LOSS OF CROSS-SECTIONAL AREA

SHEATHING:

1. ROOF SHEATHING SHALL BE STANDARD 5/8" C-D 24/16 (SPAN RATING) EXTERIOR GLUE PLYWOOD OR OSB TO JOISTS AND TRUSSES WITH 6D NAILS AT 6" O.C. AT SHEET EDGE; ALL INTERMEDIATE JOISTS AND TRUSSES.

2. FLOOR SHEATHING SHALL BE 3/4 INCH 24" O.C. SPAN TONGUE AND GROOVE PLYWOOD O SUBFLOOR ADHESIVE AND SCREW PLYWOOD TO JOISTS AND TRUSSES WITH NO. 10 SCRE DIRECT EDGES AND 18" O.C. AT ALL INTERMEDIATE JOISTS AND TRUSSES.

3. WALL SHEATHING SHALL BE STANDARD 1/2" 24/16 (SPAN RATING) EXTERIOR GLUED PLYWOOD OR OSB TO STUDS AND PLATES WITH 6D NAILS AT 6" O.C. AT SHEET EDGES ALL INTERMEDIATE LOCATIONS.

SHORING / DEMOLITION:

1. THE CONTRACTOR/SUBCONTRACTOR SHOULD BE EXPERIENCED IN SHORING AND DEMOLITIO CAREFULLY EVALUATE THE SITUATION WHICH EXISTS PRIOR TO STARTING WORK. THE NOTIFY THE SHORING DESIGN ENGINEER OR STRUCTURAL ENGINEER IF ANY CIRCUMSTANC AFFECT THE STABILITY OF THE EXISTING STRUCTURE OR THE SHORING.

2. THE CONTRACTOR IS CAUTIONED THAT NEEDLING, SHORING, AND DEMOLITION ARE POTEN AND ARE DIFFICULT TYPES OF WORK, REQUIRING EXTRAORDINARY CARE AND CAUTION DL PERFORMANCE.

3. AT ALL TIMES DURING THIS WORK, THE CONTRACTOR SHOULD MONITOR THE PERFORMANC SHORING AND HAVE ADDITIONAL EXTRA SHORING READILY AVAILABLE ON SITE IN THE E OR OTHER MOVEMENT OF THE SHORING.

4. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE, AND TEMPORARY SHORING.

5. ADEQUATE BRACING AND CONNECTIONS BETWEEN THE COMPONENTS OF THE SHORING SYS PROVIDED BY THE CONTRACTOR.

SMOKE DETECTORS:

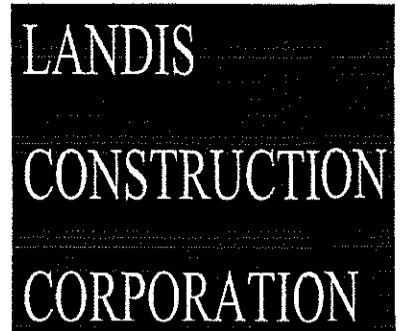
1. FOR NEW CONSTRUCTION OR SUBSTANTIALLY REMODELED CONSTRUCTION, HARDWIRED SMI BE PLACED ON ALL LEVELS AND IN EACH SLEEPING ROOM OR AREA ACCORDING TO THE

EGRESS WINDOWS:

1. EGRESS WINDOWS NOTE TO BE PLACED HERE

HANDRAILS AND GUARDRAILS:

1. HANDRAILS AND GUARDRAILS ARE TO BE CONSTRUCTED ACCORDING TO THE INSERT PROF REQUIREMENTS HERE.



A DESIGN/BUILD FIRM
7058 Spring Place, NW
Washington, DC 20012
Phone: 202-726-3777
Fax: 202-882-9700
www.landisconstruction.com

Version

PERMIT SET

Client and Project Location

Cathy BROAD

10024 Pratt Pl.
Silver Spring, MD 20910
Phone: 301-587-6776

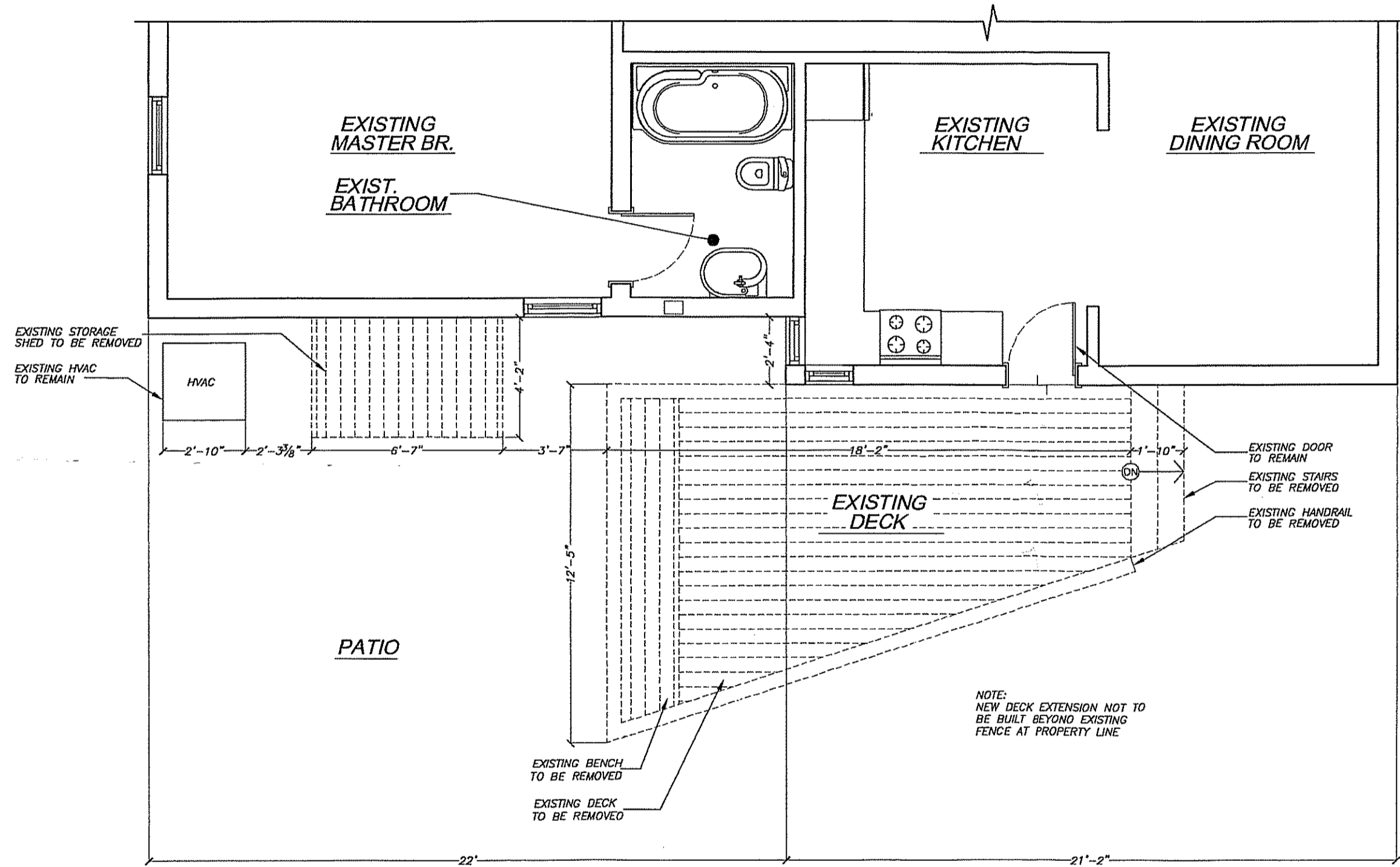
Sheet Title

GENERAL NOTES

Date
01-12-06

Drawing Number

T-2



WALL LEGEND	
	EXISTING WALLS
	EXISTING TO BE REMOVED

1 Demolition Deck Floor Plan
1/4" = 1'-0"

Version

**PERMIT
SET**

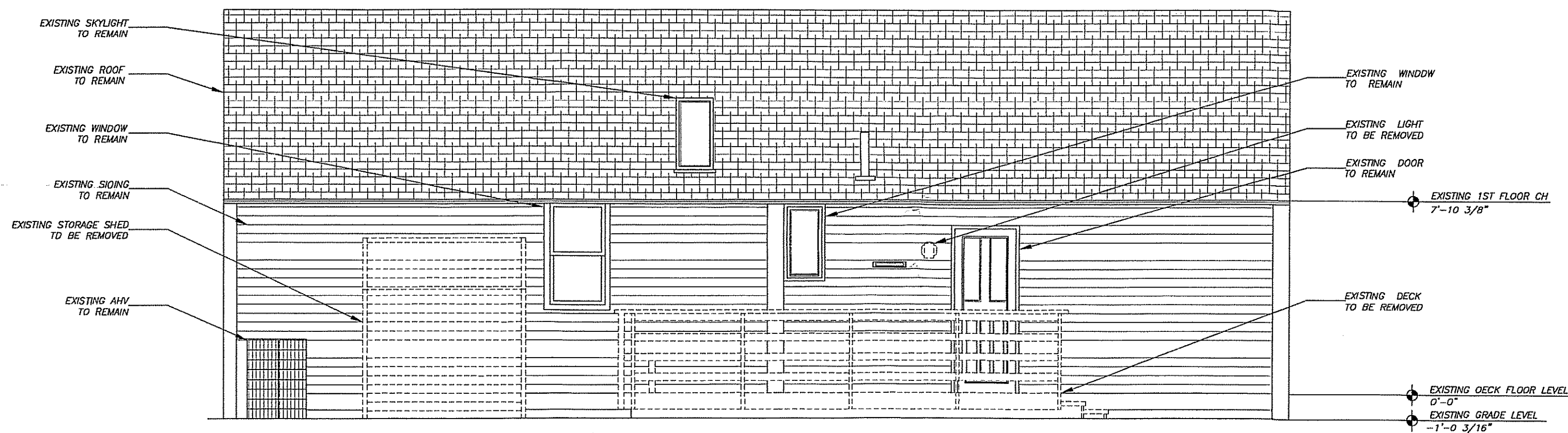
Client and Project Location
**Cathy
BROAD**
10024 Pratt Pl.,
Silver Spring, MD 20910
Phone: 301-587-6776
Sheet Title

**DEMOLITION
DECK
FLOOR PLAN**

Date
01-12-06

Drawing Number

D-1



1 Existing Rear Elevation
1/4" = 1'-0"

Version

**PERMIT
SET**

Client and Project Location

Cathy
BROAD
10024 Pratt PL,
Silver Spring, MD 20910

Phone: 301-587-6776

Sheet Title

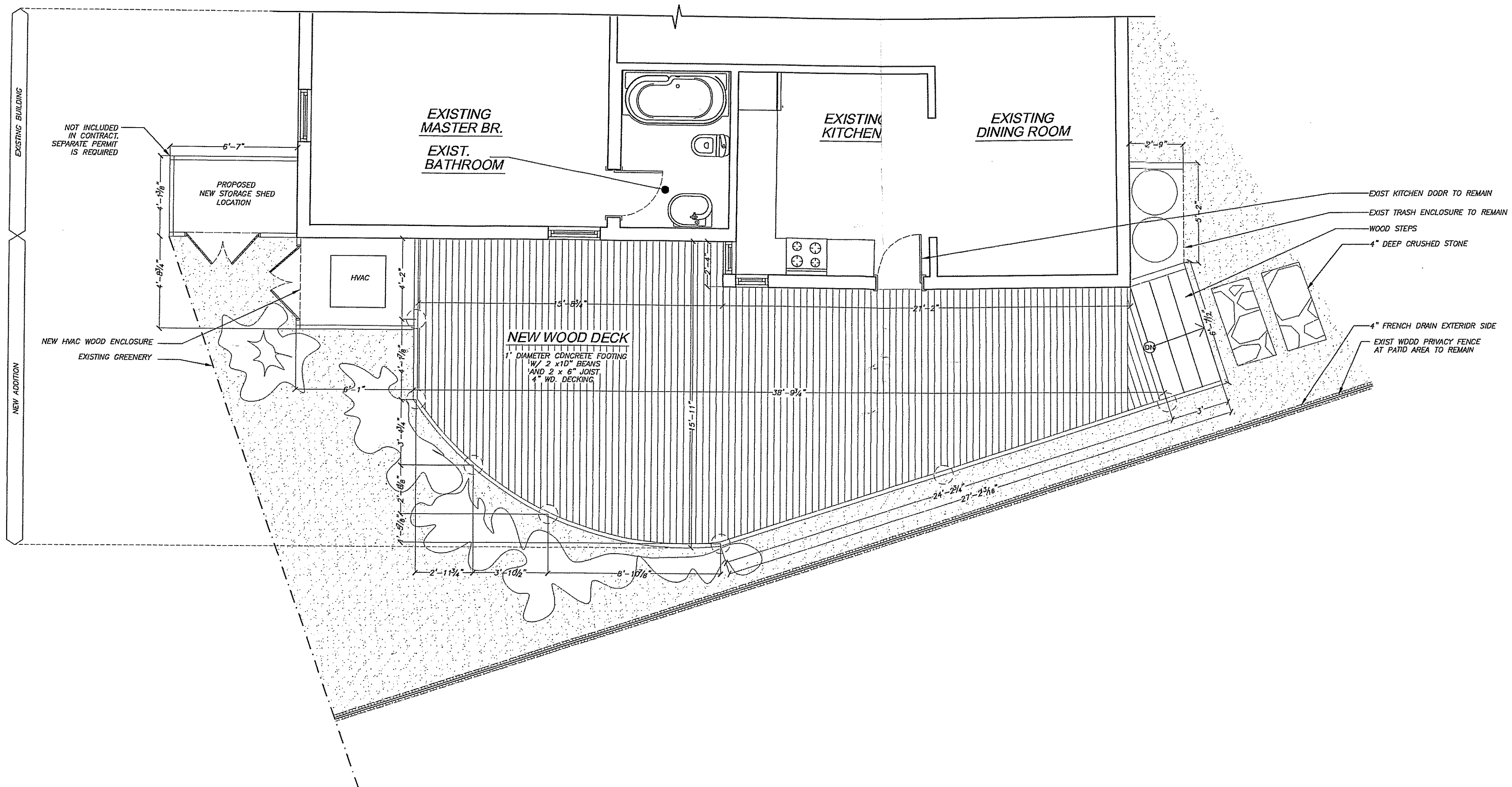
**EXISTING
REAR
ELEVATION**

Date

01-12-06

Drawing Number

D-2



1 Proposed Deck Floor Plan
1/4" = 1'-0"

Version

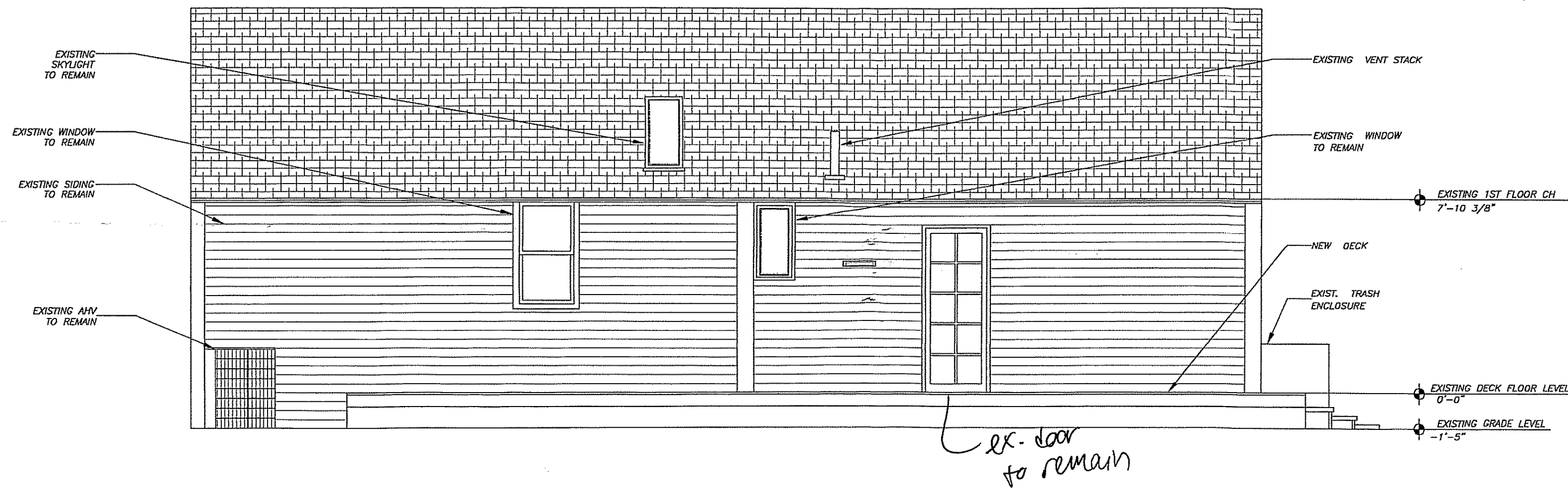
**PERMIT
SET**

Client and Project Location
**Cathy
BROAD**
10024 Pratt PL,
Silver Spring, MD 20910
Phone: 301-587-6776
Sheet Title

**PROPOSED
DECK
FLOOR PLAN**

Date
01-12-06
Drawing Number

A-1



1 Proposed Rear Elevation
1/4" = 1'-0"

Version

**PERMIT
SET**

Client and Project Location
Cathy
BROAD
10024 Pratt PL,
Silver Spring, MD 20910

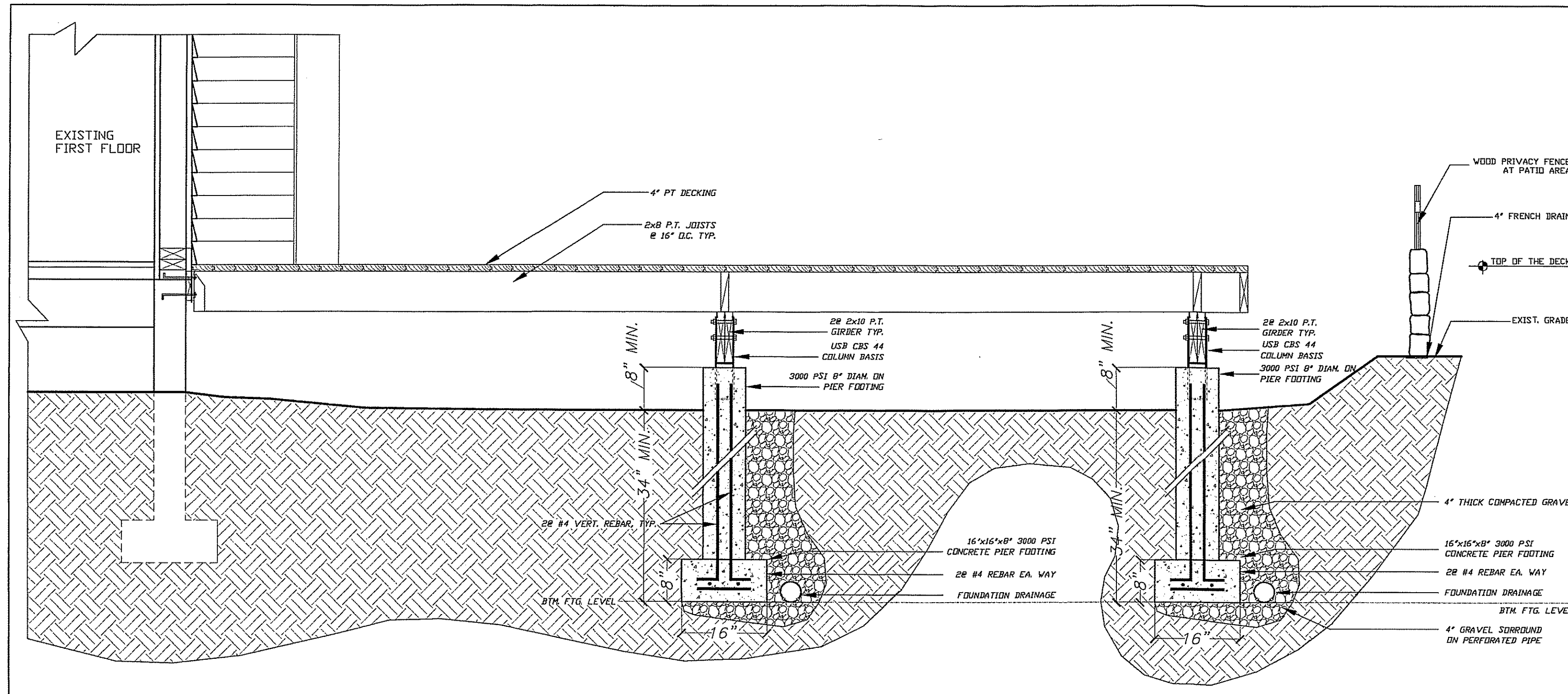
Phone: 301-587-6776
Sheet Title

**PROPOSED
REAR
ELEVATION**

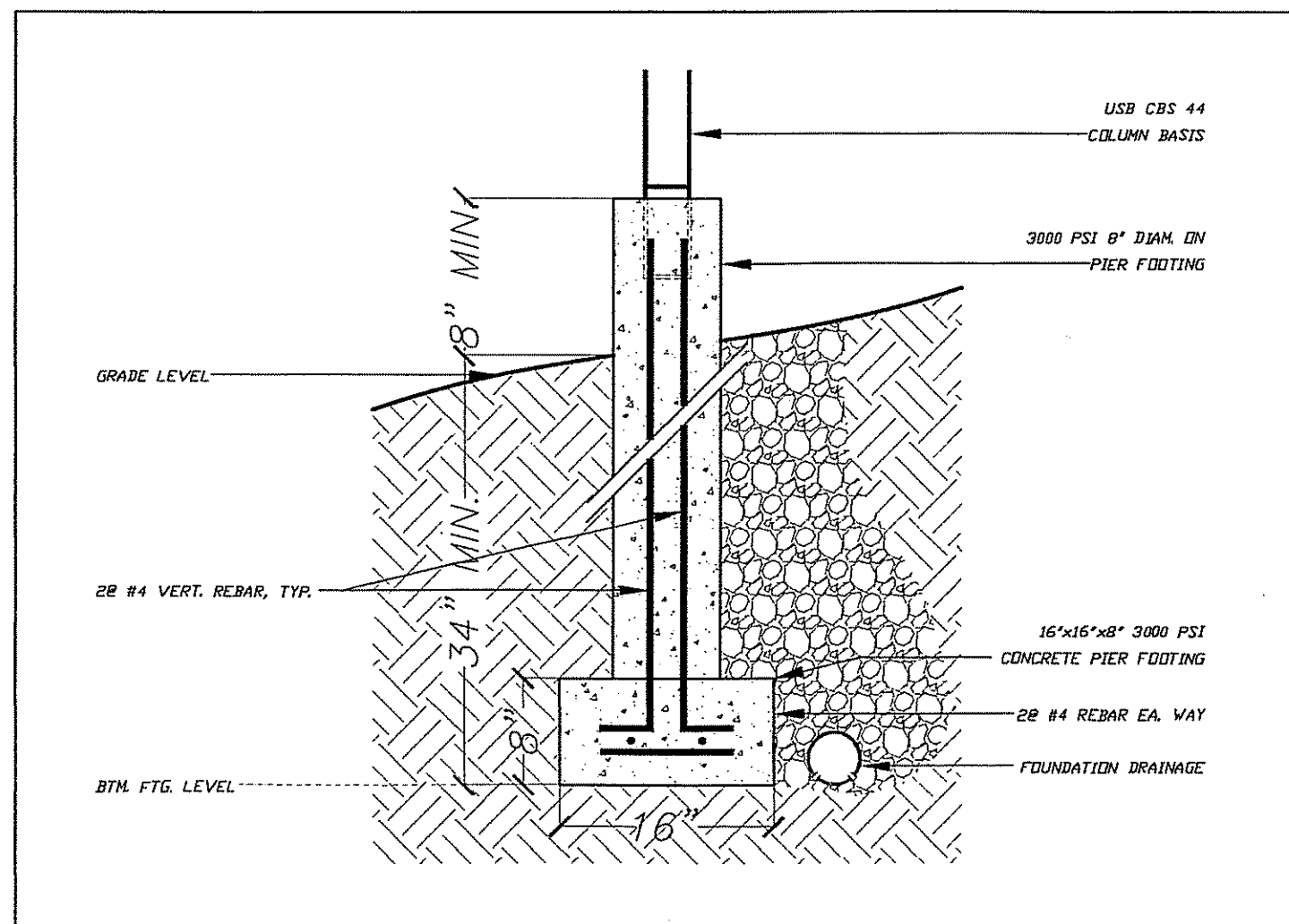
Date
01-12-06

Drawing Number

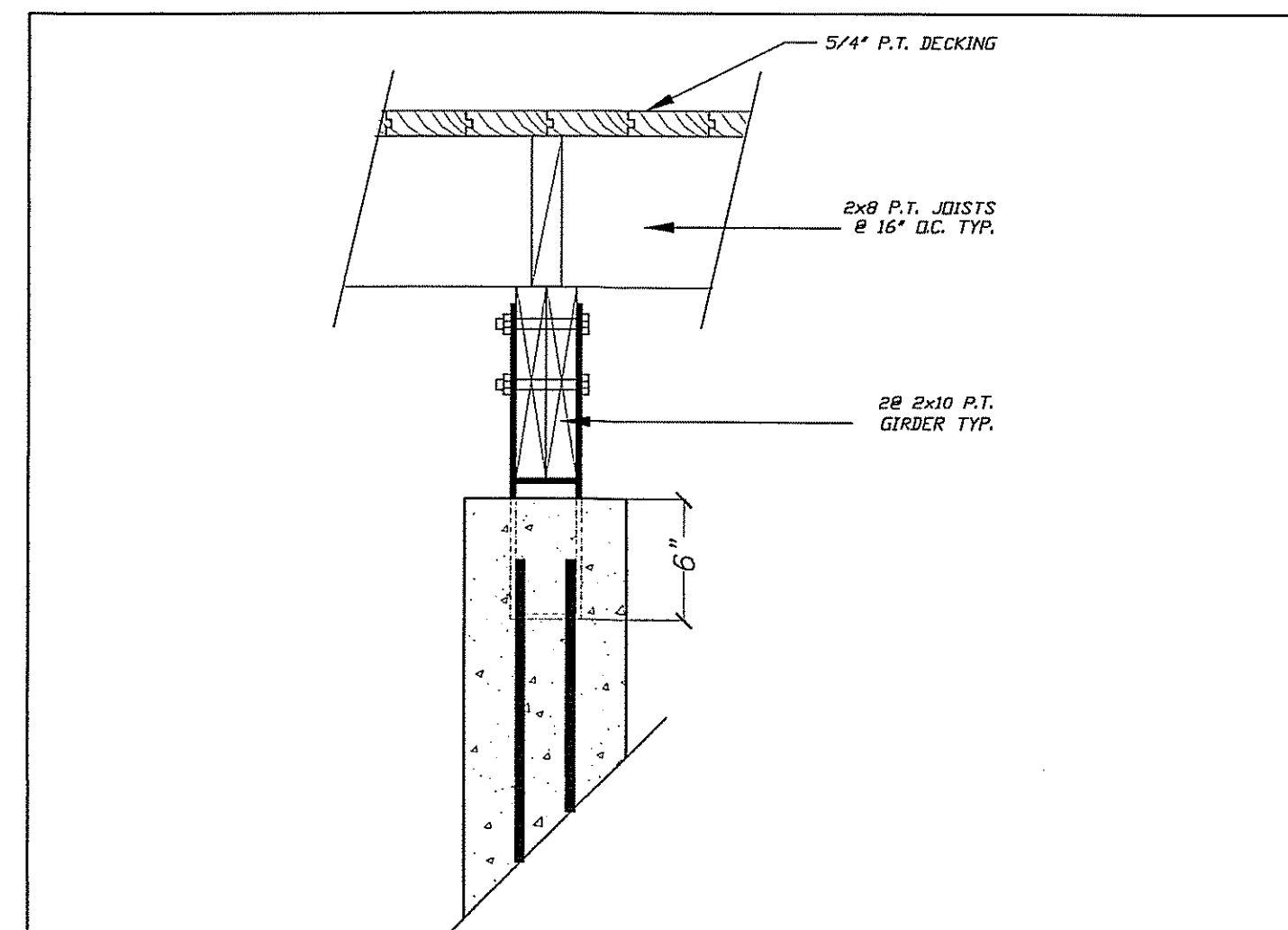
A-2



1 Deck details
3/4" = 1'-0"



2 Footing Detail
1/2" = 1'-0"



3 Column to Girder Connection
1 1/2" = 1'-0"

Version

**PERMIT
SET**

Client and Project Location

Cathy
BROAD
10024 Pratt Pl,
Silver Spring, MD 20910

Phone: 301-587-6776

Sheet Title

**DECK
DETAILS**

Date
01-12-06

Drawing Number

S-1



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 1/12/2006

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit #404980 -- Deck replacement / extension and shed demolition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 1/11/2006 meeting.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Cathy Broad

Address: 10024 Pratt Place, Silver Spring, MD 20910

This HAWP approval is subject to the general condition that the applicant shall present 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits, and that after the issuance of the DPS permit, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

Rec'd 12/15/05

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: YERKO H. PALLONINY
Daytime Phone No.: 202-957-0009

Tax Account No.: _____

Name of Property Owner: KATHY BROAD Daytime Phone No.: 202-565-0053

Address: 10024 PRATT PLACE SILVER SPRING MD 20910
Street Number City State Zip Code

Contractor: LANDIS CONSTRUCTION CORPORATION Phone No.: 202-726-3777

Contractor Registration No.: 46256

Agent for Owner: YERKO H. PALLONINY Daytime Phone No.: 202-957-0009

cell 202-489-1516
x 102

LOCATION OF BUILDING/PREMISE

House Number: 10024 Street: PRATT PLACE

Town/City: SILVER SPRING Nearest Cross Street: BARKER STREET

Lot: 44 Block: 29 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 38,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Yerko H. Palloniny
Signature of owner or authorized agent

11/23/05
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 1-12-06

Application/Permit No.: 404980 Date Filed: 11/25/05 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS
Resubmit
12/15/05

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	10024 Pratt Place, Silver Spring	Meeting Date:	01/11/2006
Applicant:	Cathy Broad	Report Date:	11/04/2006
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Public Notice:	12/28/2005
Review:	HAWP	Tax Credit:	None
Case Number:	31/07-06B	Staff:	Anne Fothergill

PROPOSAL: Rear patio replacement and extension and shed removal

RECOMMENDATION: Approval

PROPERTY DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource
DATE: 1985

PROPOSAL

The applicants propose replacement of the existing 18' x 12' wood deck at the rear of their house with a 38' x 15' wood deck in the same location. They are also proposing removal of a storage shed at the back of the house. The applicants intend to come back to the HPC at a later date for a proposed new shed and fencing around it.

STAFF RECOMMENDATION:

- Approval
- Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private

utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

11
Rec'd 12/15/05

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: YERKO H. PALLOMINY
Daytime Phone No.: 202-957-0009

Tax Account No.: _____

Name of Property Owner: LATHY BRADY Daytime Phone No.: 202-565-0053

Address: 10024 PRATT PLACE SILVER SPRING MD 20910
Street Number City State Zip Code

Contractor: LANDIS CONSTRUCTION CORPORATION Phone No.: 202-726-3777

Contractor Registration No.: 46256

Agent for Owner: YERKO H. PALLOMINY Daytime Phone No.: 202-957-0009

LOCATION OF BUILDING/PREMISE

House Number: 10024 Street: PRATT PLACE

Town/City: SILVER SPRING Nearest Cross Street: BARKER STREET

Lot: 44 Block: 29 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 38,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

11/23/05
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 404980 Date Filed: 11/25/05 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

Resubmit
12/15/05

(3)



November 23, 2005

Historic Preservation Commission
250 Hungerford Drive
Rockville, MD 20850

To Whom It May Concern

The proposed construction work for the property at 10024 Pratt Pl., Silver Spring, MD 20910 is as follow:

Existing deck and tool shed in the rear yard of the property to be removed and replaced by new deck. No interior work required, windows and doors to remain. Setbacks to follow zoning codes for R-60 zoning district, height of deck above ground to be in accordance to zoning codes.

Deck Specifications: 4" PT decking above single 2x8 PT joists @ 16" O.C. perpendicular to girders connected with joist hangers, and secure to house foundation wall with 2x6 bolted ledger board.

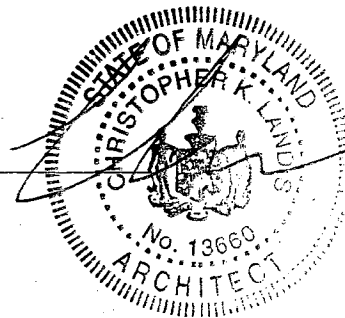
Joists to connect to double 2x10 girders (from pier to pier) with Hurricane Clips at each joint. Girders, to be secured to piers with USB CBS 44 column base TYP.

Concrete footings @ min. 30" deep, with #4 rebar each way, and a 16"x16"x8" base @ 3,000 PSI seated on 4" gravel on compacted ground. Provide 4" diameter piping for proper drainage. (For more detailed specs, please see provided set of plans, elevations & details).

According to the Zoning Department, the said property above is listed in the Location Atlas & Master Plan site; however, the proposed scope of work will not substantially alter the exterior of the historic site since all construction work to be performed in rear yard of property only (Please see pictures)

Best regards!

Chris K. Landis, Principal
Landis Construction Corporation
Main: 202-726-3777 ext. 102
Fax: 202-882-9700
chris@landisconstruction.com



11.23.05
Date

A Design / Build Firm

Tel 202-726-3777
Fax 202-882-9700
www.landisconstruction.com

7058 Spring Place, NW
Washington, DC 20012

Architects & Contractors

DC # 4600
MD MHIC # 46256
VA Class A # 27050092108A

4



December 15, 2005

Mr. Douglas M. Duncan
County Executive

Mrs. Julia O'Malley
Chairperson

Re: Historic Area Work Permit Application For 10024 Pratt Pl. Silver Spring, MD 20910

ADJACENT/CONFRONTING PROPERTY OWNERS' NAMES & ADDRESSES

PROJECT ADDRESS: 10024 PRATT PL. SILVER SPRING, MD 20910
OWNER: CATHERINE BROAD

On the sides

- Emily Rogell - 10026 Pratt Pl. Silver Spring, MD 20910
- LANCON FAMILY L L C - 10022 Pratt Pl. Silver Spring, MD 20910
(Mailing Address: 6604 SWEETWATER DR. DERWOOD MD 20855)

Across the street

- DOREEN A. GUTTENBURG - 10023 Pratt Pl. Silver Spring, MD 20910
- MARYBETH MCCAULEY - 10025 Pratt Pl. Silver Spring, MD 20910
- CAROL S. IRELAND & C T - 10027 Pratt Pl. Silver Spring, MD 20910
(Mailing Address: 10023 MENLO AVE. SILVER SPRING MD 20910)

Sincerely,

12/15/05
Date

Chris Landis, Principal
Landis Construction Corporation

A Design / Build Firm

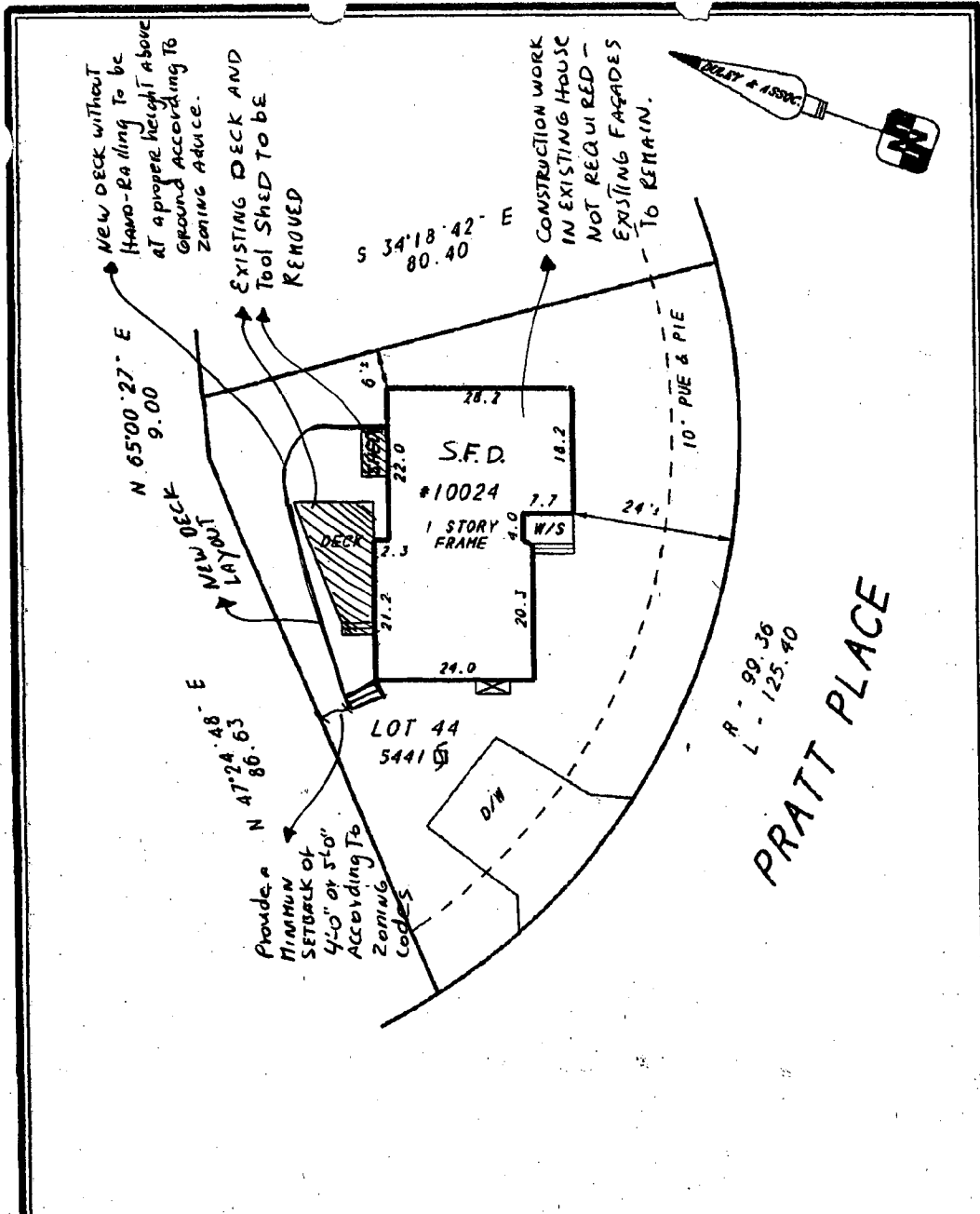
Tel 202-726-3777
Fax 202-882-9700
www.landisconstruction.com

7058 Spring Place, NW
Washington, DC 20012

Architects & Contractors

DC # 4600
MD MHIC # 46256
VA Class A # 27050092108A

5



LOCATION SURVEY OF:
#10024 PRATT PLACE
 LOT 44 BLOCK 29
CAPITOL VIEW PARK
 13TH ELECTION DISTRICT
 PLAT BOOK 125 PLAT No. 14589
 MONTGOMERY COUNTY, MD
 SCALE 1"=20' DATE: 2/10/00

A LAND SURVEYING AND DESIGN COMPANY



HOUSE LOCATION SURVEYS
 BOUNDARY SURVEYS - ALTA SURVEYS
 TOPOGRAPHIC SURVEYS - SITE PLANS

8460 PENNSYLVANIA AVE.
 UPPER MARLBORO, MD. 20778
 PHONE: 301-888-1111 FAX: 301-888-1114
 PHONE: 1-888-88-DULEY FAX: 1-888-88-DULEY

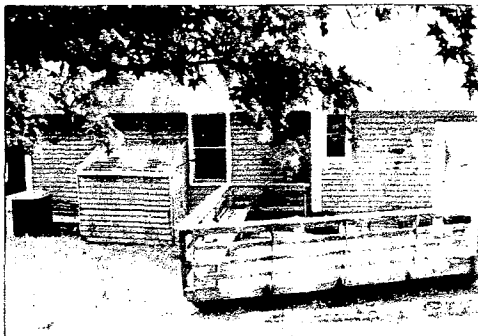
CASE # 09-1837JDP
 SULLIVAN
 FILE # 000404-112
 DRAWN BY: GRY

SURVEYOR'S CERTIFICATE
 I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY EXAMINED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENT. THIS PLAN DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES. SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAN IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF SAID PROPERTY. THIS DRAWING IS 1"=20'. NO TITLE REPORT HAS BEEN FURNISHED TO NOR DONE BY THIS SURVEYOR. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS NOT SHOWN ON RECORD PLAT MAY NOT BE SHOWN HEREON. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

to: Landis Construction Corp.
 from: Catherine Broad 8/16/04
 To

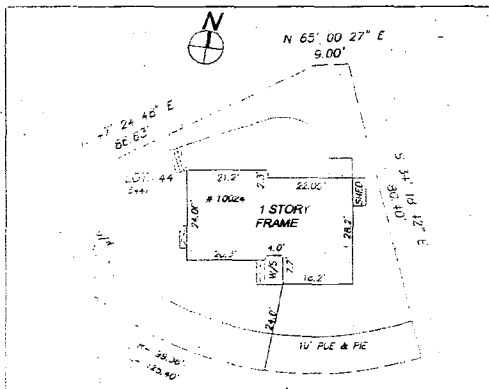
202-565-0040

6



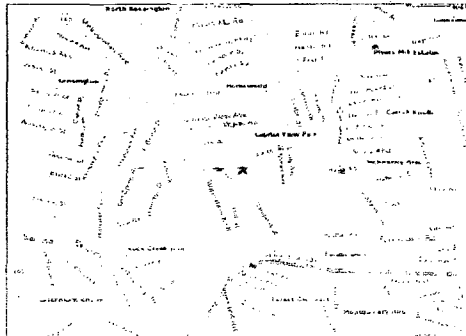
1 Street Elevation

1/4" = 1'-0" SCALE



2 Proposed Site Plan

NOT TO SCALE



3 Vicinity Map

NOT TO SCALE

1- NEW DECK ADDITION AT BACK YARD

4 General Scope of Work

NOT TO SCALE

- T-1 TITLE AND NOTES
- T-2 GENERAL NOTES
- D-1 DEMOLITION DECK FLOOR PLAN
- D-2 DEMOLITION REAR ELEVATION
- A-1 PROPOSED DECK FLOOR PLAN
- A-2 PROPOSED REAR ELEVATION
- S-1 NEW DECK DETAIL

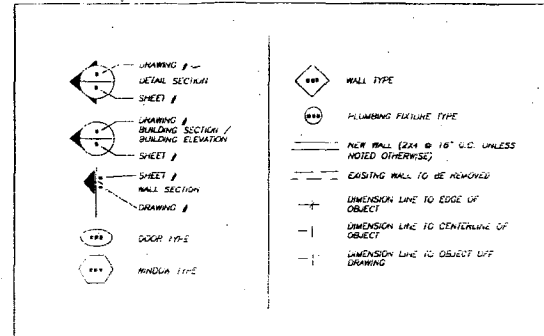
5 Table of Contents

NOT TO SCALE

1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE.
2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH COLUMBIA COUNTY AMENDMENTS.
5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH GIVE SHEETS FOR THESE ITEMS.
6. VERIFY ALL WALLS AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" TO MARK UNDERGROUND UTILITIES. ALLOW TIME FOR UTILITIES TO BE MARKED PRIOR TO COMMENCEMENT OF WORK.

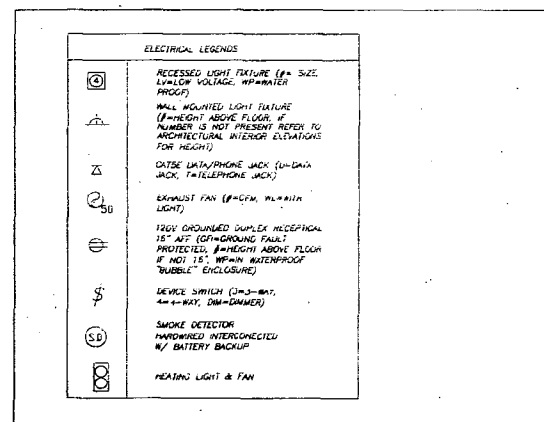
7 Drawing Symbol List

NOT TO SCALE



6 General Notes

NOT TO SCALE



8 Electrical Device Legend

NOT TO SCALE

4

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7058 Spring Place, NW
Washington, DC 20012
Phone: 202-726-3777
Fax: 202-882-9700
www.landisconstruction.com

Project

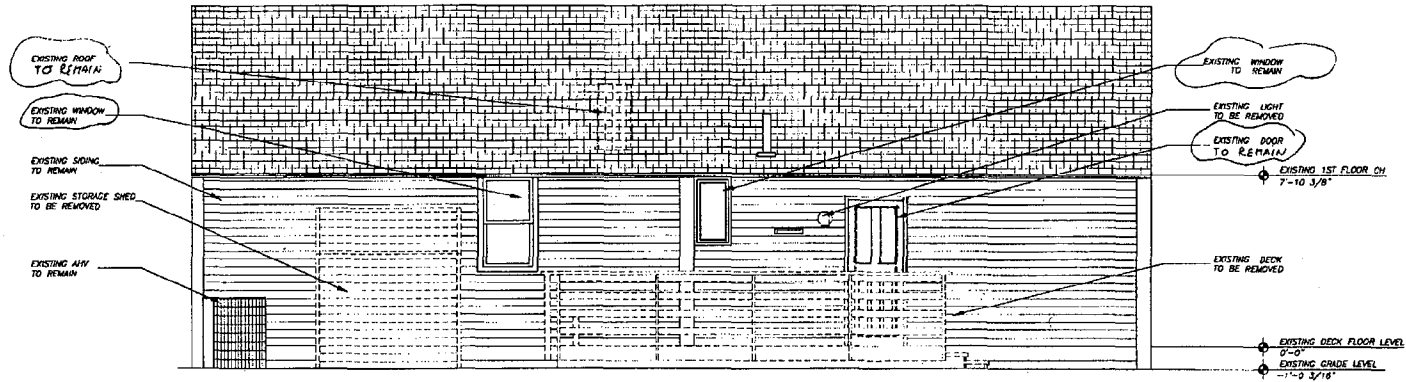
Cathy Broad Residence

10024 Pratt PL,
Silver Spring, MD 20910

Phone: 301-587-6776

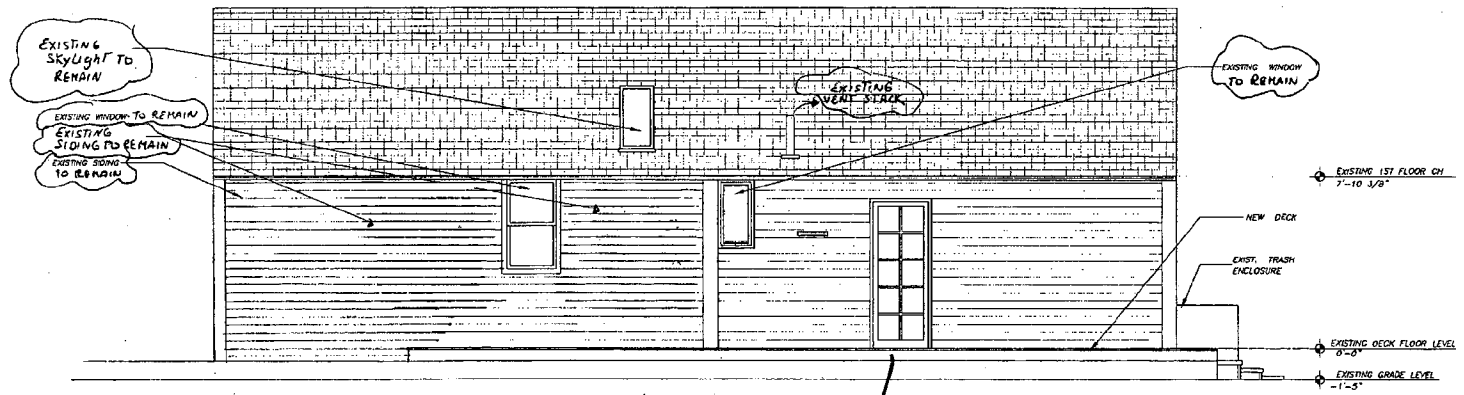
D-2

Scale:
3/16"=1'-0"



1 Existing Rear Elevation
3/16" = 1'-0"

(b)



see D-2
ex. door to remain

1 Proposed Rear Elevation
3/16" = 1'-0"

10

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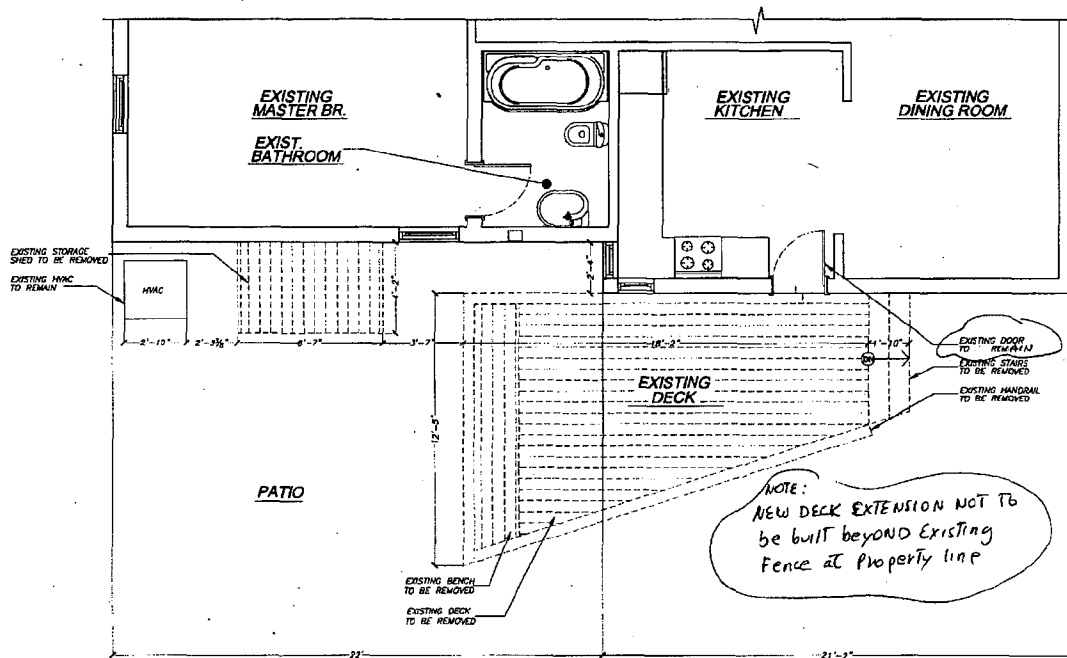
Project

Cathy Broad Residence

D-1

10024 Pratt Pl,
Silver Spring, MD 20910
Phone: 301-587-6776

Scale:
3/16"=1'-0"



WALL LEGEND	
	EXISTING WALLS
	EXISTING TO BE REMOVED

1 Demolition Deck Floor Plan
3/16" = 1'-0"

11

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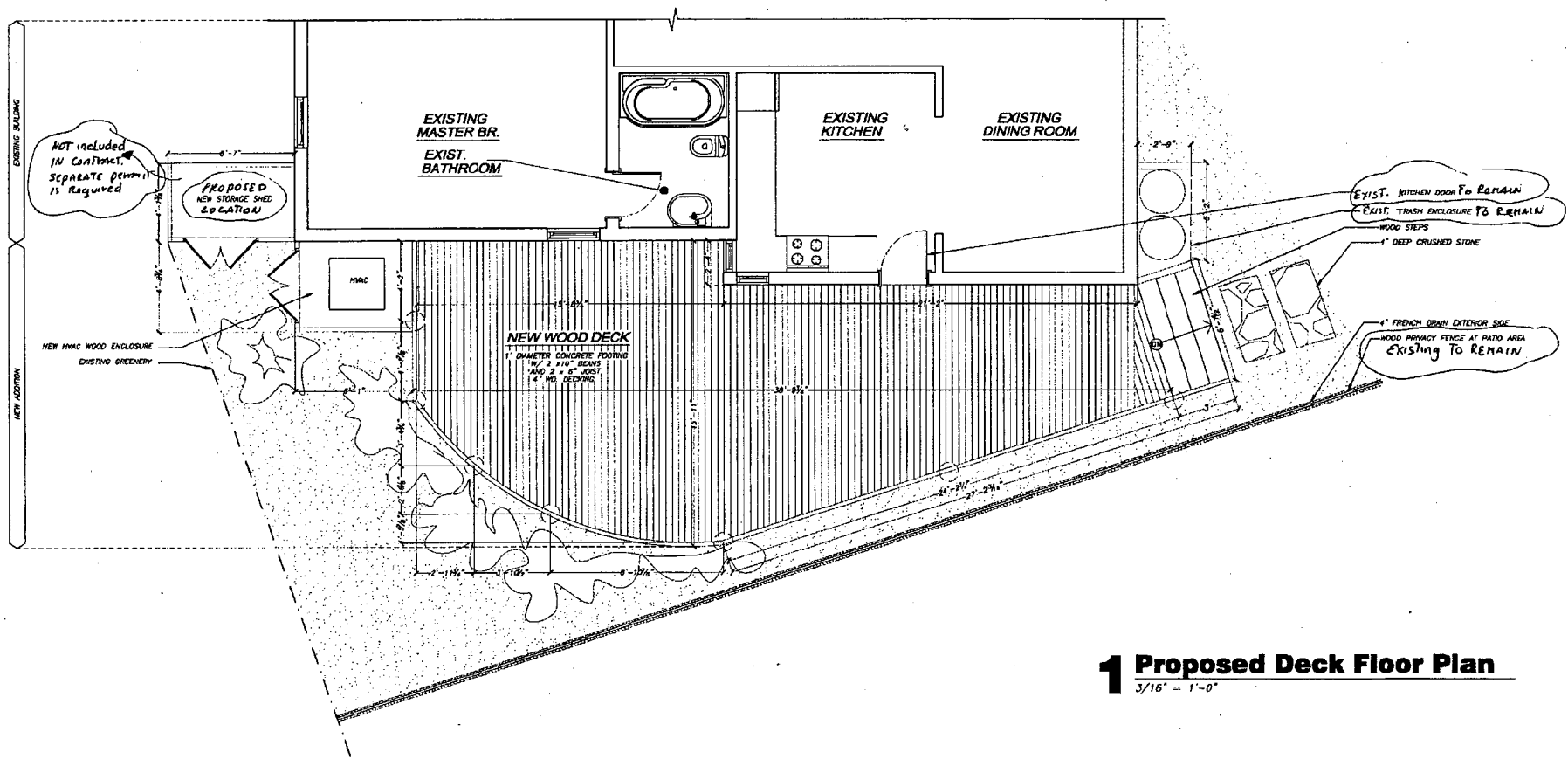
Cathy Broad Residence

A-1

10024 Pratt Pl,
Silver Spring, MD 20910

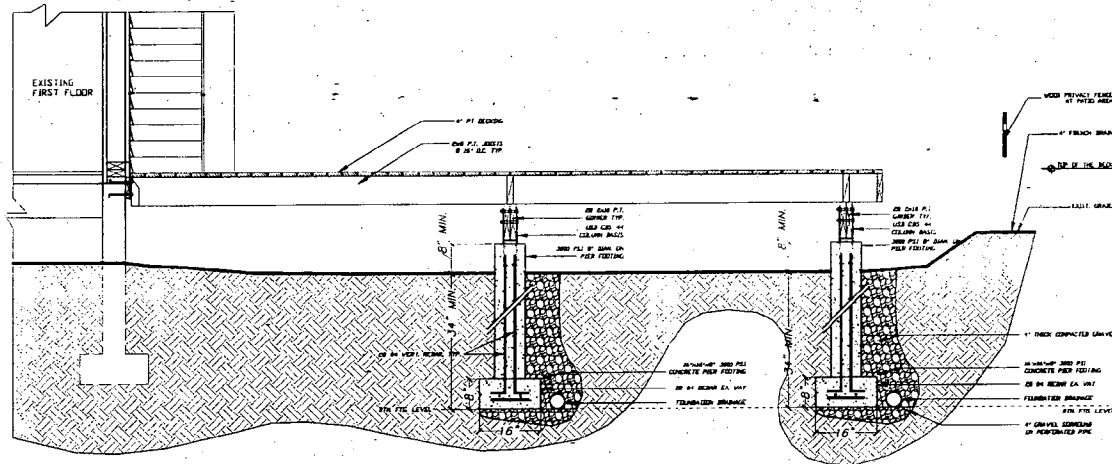
Phone: 301-587-6776

Scale:
3/16" = 1'-0"

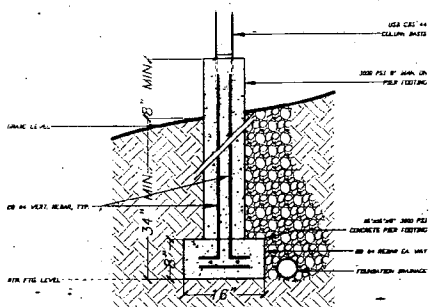


1 Proposed Deck Floor Plan
3/16" = 1'-0"

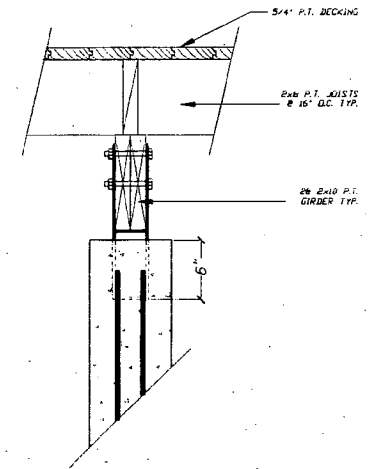
12



1 Deck details
3/16" = 1'-0"



2 Footing Detail
1/2" = 1'-0"



3 Column to Girder Connection
1" = 1'-0"

13





Fothergill, Anne

From: Yerko [yerko@landisconstruction.com]
Sent: Wednesday, December 28, 2005 1:15 PM
To: Fothergill, Anne
Cc: catherine.broad@whs.mil; chris@landisconstruction.com
Subject: Re: 10024 Pratt Place Silver Spring

Ms. Anne.

Thanks for your updates about the project and the request for additional information. However, it seems there was a misunderstanding from my part. Since I was required to present 11x17 plans, I generated a new set of drawings from an old preliminary design proposal. The final scope of work only includes the extension of the deck, nothing else.

- 1) There is no work performed in the house, the proposed skylight is out of the scope.
- 2) The existing fencing at the property line will remain, construction won't be extended beyond that point.
- 3) Existing door and windows on rear facade will remain.
- 4) The portion of roof to be removed was originally for the skylight, which has been removed from the scope of work.

Note: The tool shed will be removed to extend deck, but new tool shed construction is not in scope of work, only proposed location.

I am also attaching 1 PDF file containing D1-D2-A1-A2 showing corrections, please let me know if you want me to take a couple of sets to your office, no problem!

By the way! is there any other material needed for the Commission Meeting on January 11th?

Thank you Ms. Anne and please feel free to contact me with any comments you might have. I'll be in contact with Ms. Catherine Broad to let her know about these corrections and the meeting set for January.

Yerko H. Pallominy
Design Department
Landis Construction Corporation
7058 Spring Pl., NW
Washington, DC 20012
yerko@landisconstruction.com

Office: 202-726-3777 - Ext. 111
Fax: 202-882-9700
Cell: 202-421-6685

----- Original Message -----

From: Fothergill, Anne
To: yerko@landisconstruction.com
Sent: Tuesday, December 27, 2005 12:19 PM
Subject: 10024 Pratt Place Silver Spring

I am writing regarding the Cathy Broad residence and the application that you submitted for a Historic

Area Work Permit.

I need some additional information before the Historic Preservation Commission can review this application.

- 1) Revised rear elevation (existing and proposed) showing the skylight as existing
- 2) More information on the proposed fencing--location shown in the site plan, height, materials, and design.
- 3) More information on the proposed back door--size, materials
- 4) Plan D-2 says existing roof to be removed. Is it being replaced with the same roofing material?

The owner stated that the new shed is not part of this application and will be removed from the application.

I have left a message for Chris Landis at the owner's recommendation. Thank you for sending the supplemental information. I will need it this week in order to keep it on the January 11, 2006 HPC agenda. You can email or fax it to my attention.

Thanks,
Anne

Anne Fothergill
Historic Preservation Planner
Maryland-National Capital Park and Planning Commission
Montgomery County Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400
301-563-3412 fax



November 23, 2005

Historic Preservation Commission
250 Hungerford Drive
Rockville, MD 20850

To Whom It May Concern

The proposed construction work for the property at 10024 Pratt Pl., Silver Spring, MD 20910 is as follow:

Existing deck and tool shed in the rear yard of the property to be removed and replaced by new deck. No interior work required, windows and doors to remain. Setbacks to follow zoning codes for R-60 zoning district, height of deck above ground to be in accordance to zoning codes.

Deck Specifications: 4" PT decking above single 2x8 PT joists @ 16" O.C. perpendicular to girders connected with joist hangers, and secure to house foundation wall with 2x6 bolted ledger board.

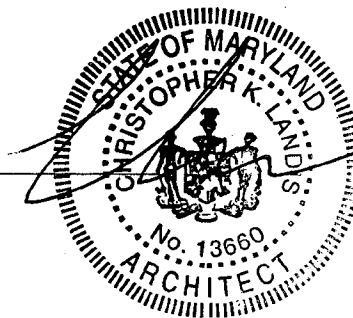
Joists to connect to double 2x10 girders (from pier to pier) with Hurricane Clips at each joint. Girders to be secured to piers with USB CBS 44 column base TYP.

Concrete footings @ min. 30" deep, with #4 rebar each way, and a 16"x16"x8" base @ 3,000 PSI seated on 4" gravel on compacted ground. Provide 4" diameter piping for proper drainage. (For more detailed specs, please see provided set of plans, elevations & details).

According to the Zoning Department, the said property above is listed in the Location Atlas & Master Plan site; however, the proposed scope of work will not substantially alter the exterior of the historic site since all construction work to be performed in rear yard of property only (Please see pictures)

Best regards!

Chris K. Landis, Principal
Landis Construction Corporation
Main: 202-726-3777 ext. 102
Fax: 202-882-9700
chris@landisconstruction.com



11-23-05
Date

A Design / Build Firm

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7058 Spring Place, NW
Washington, DC 20012

Architects & Contractors

DC # 4600
MD MHIC # 46256
VA Class A # 27050092108A

December 15, 2005

Mr. Douglas M. Duncan
County Executive

Mrs. Julia O'Malley
Chairperson

Re: Historic Area Work Permit Application For 10024 Pratt Pl. Silver Spring, MD 20910

ADJACENT/CONFRONTING PROPERTY OWNERS' NAMES & ADDRESSES

PROJECT ADDRESS: 10024 PRATT PL. SILVER SPRING, MD 20910
OWNER: CATHERINE BROAD

On the sides

- Emily Rogell – 10026 Pratt Pl. Silver Spring, MD 20910
- LANCON FAMILY L L C - 10022 Pratt Pl. Silver Spring, MD 20910
(Mailing Address: 6604 SWEETWATER DR. DERWOOD MD 20855)

Across the street

- DOREEN A. GUTTENBURG - 10023 Pratt Pl. Silver Spring, MD 20910
- MARYBETH MCCAULEY - 10025 Pratt Pl. Silver Spring, MD 20910
- CAROL S. IRELAND & C T - 10027 Pratt Pl. Silver Spring, MD 20910
(Mailing Address: 10023 MENLO AVE. SILVER SPRING MD 20910)

Sincerely,



Chris Landis, Principal
Landis Construction Corporation

12/15/05
Date

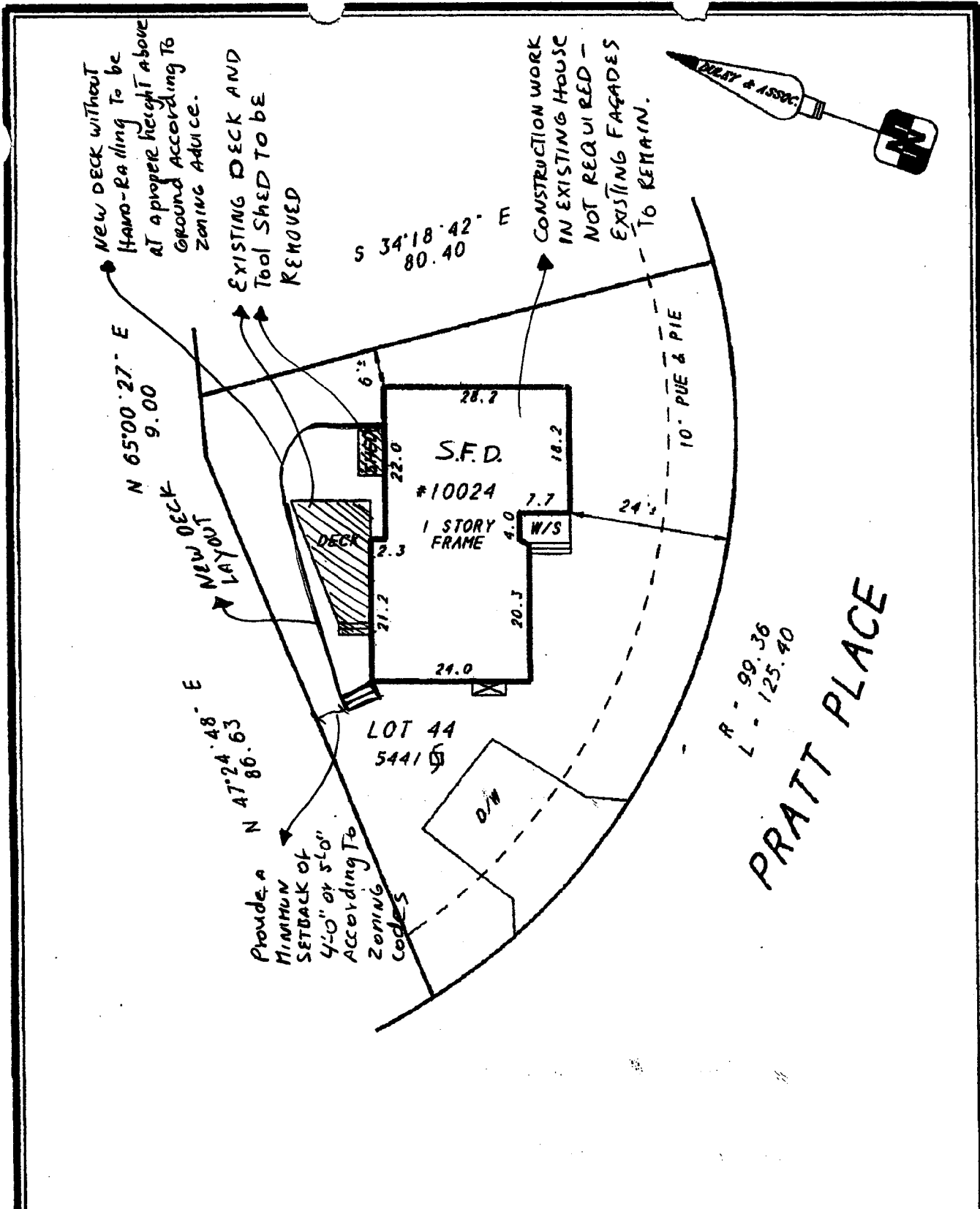
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7058 Spring Place, NW
Washington, DC 20012

Architects & Contractors

DC # 4600
MD MHIC # 46256
VA Class A # 27050092108A



LOCATION SURVEY OF:
#10024 PRATT PLACE
 LOT 44 BLOCK 29
CAPITOL VIEW PARK
 13TH ELECTION DISTRICT
 PLAT BOOK 125 PLAT No. 14589
 MONTGOMERY COUNTY, MD
 SCALE 1"=20' DATE: 2/10/00

A LAND SURVEYING AND DESIGN COMPANY



DULEY AND ASSOCIATES, INC.
 SERVING D.C., MD, VA.



HOUSE LOCATION SURVEYS
 BOUNDARY SURVEYS - ALTA SURVEYS
 TOPOGRAPHIC SURVEYS - SITE PLANS

6460 PENNSYLVANIA AVE.
 UPPER MARLBORO, MD. 20778

PHONE: 301-888-1111
 PHONE: 1-888-88-DULEY

FAX: 301-888-1114
 FAX: 1-888-88-DULEY



CASE # 09-1637JDP
 SULLIVAN
 FILE # 000408-112
 DRAWN BY: CHY

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES. SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS ON RECORD. BUILDING RESTRICTION LINES AND EASEMENTS NOT SHOWN ON RECORD PLAT MAY NOT BE SHOWN HEREON. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

to: Landis Construction Corp.
 from: Catherine Broad 8/16/04
 To

202-565-0041



