

31/8-02A 9815 Hollow Glen Place
(Forest Glen Historic District)

Extend into setback
3' leaving 4' off the
property line.

MAJOR MODIFICATIONS TO DRAFT EASEMENT

WHEREAS, the Grantors are the owners of certain real property as hereinafter described (hereinafter referred to as the "Real Estate") which consists of two parcels of land, one approximately 9568 square feet in size (hereinafter referred to as the "House Property"), upon which is situate Grantors' residence (hereinafter referred to as the "Residence"), and the other approximately 9000 square feet in size (hereinafter referred to as the "Lot 18 Property"), upon which is situate a non-historic garage, and walkways and a paved driveway which provide access to the Residence, the Real Estate meeting the definition of a certified historic structure under Internal Revenue Service Regulations as it is listed as an "outstanding resource" in the Forest Glen Historic District adopted by the Montgomery County Council on May 19, 1992, and....

WHEREAS, the House Property and Residence have substantial historic, architectural, cultural and aesthetic character, and this Deed of Easement (this "Deed") will promote the protection and preservation of such character by protecting the setting and integrity of the historic Residence in its context with the Lot 18 Property; and

WHEREAS, the Grantors hereby express their desire to retain the Lot 18 Property as a part of the environmental, cultural and historic setting for the Residence located on the House Property, to prohibit new residential structures on the Lot 18 Property, and to prohibit conveyance of the Lot 18 property separate and apart from the House Property;...

1. Grantors hereby grant and convey to Grantee with Special Warranty of Title an easement ("Easement") in the Lot 18 Property which is all of that certain lot or parcel of land described as Lot 18, Block 17 in the Forest Glen Investment Company Subdivision of Joseph's Park, as delineated in Liber 6747, Folio 462, as filed among the Land Records of Montgomery County, Maryland, together with all of the rights and interests thereto belonging, which is situate, lying and being in Montgomery County, State of Maryland, and which is more particularly set forth in Exhibit A, attached hereto and incorporated herein. The definitions of the words "Real Estate," "House Property," "Lot 18 Property," and "Residence" set forth in the Recitals are incorporated herein by reference....

3. The terms of the Easement are as follows:...

(B) New Residential Structure Prohibited. Grantors will not cause, permit or suffer any new structure to be constructed for residential purposes on the Lot 18 Property, except the existing garage and driveway may be maintained and appropriately replaced, and landscaping modifications or improvements may be made, these exceptions to be permitted by or on behalf of the Grantors.

(C) Separate Conveyance Prohibited. To ensure permanent access to the Residence through the Lot 18 Property, Grantors will not sell, convey, alienate, or otherwise transfer their interest in the Lot 18 Property, as it

remains after the execution of this Easement, separate and apart from their interest in the House Property.

[“Public Access” and “Maintenance and Administration” deleted]

Ziek, Robin

From: Metzger.Philip@epamail.epa.gov
Sent: Tuesday, September 24, 2002 2:43 PM
To: Ziek, Robin
Cc: metzgerchase@att.net
Subject: assessor contacts



easement.wpd



easement.doc

Hi Robin,

Sorry to be a while getting back to you with my email address -- we were so busy getting our daughter ready to take to start college (which we did last weekend) that I just forgot. My home email is metzgerchase@att.net (though I'm sending this from work so I don't keep forgetting).

Might not the step before contacting an assessor be to get at least basic agreement on the scope of the easement to be donated? An easement allowing certain things and barring others would have a different value than one that allowed and barred a different mix of activities. But maybe an initial conversation with an assessor or two might make it simpler to clarify (or can help us to word) what's in or out.

Anyway, I'm attaching below what I sent Reggie Jetter as a starting point, but that was a little vague in 3(b) on some things we probably should make clearer.

(See attached file: easement.wpd) (See attached file: easement.doc)

Thanks again for your help on this.

Philip

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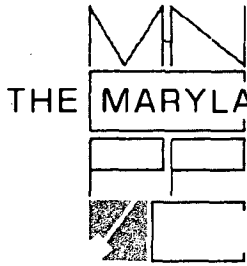
remains after the execution of this Easement, separate and apart from their interest in the House Property.

[“Public Access” and “Maintenance and Administration” deleted]

FAX - 240.777.6258

to Mac Spicer

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: MAC SPICER FAX NUMBER: 240. 777. 6258

FROM: ROB W ZIEK

DATE: 7. 30. 02

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 3

NOTE:

Attorney of county office -
Eileen Basamer referred my question to Mae

Ziek, Robin

From: PERMIT.DPS@CO.MO.MD.US
Sent: Wednesday, July 24, 2002 7:37 AM
To: Ziek, Robin
Subject: Easements and setbacks



TXT00000.txt

--- Received from PERMIT.DPS 240 777-

02-07-24 07.37

-> Robin.Ziek@MNCPPC.ORG
-> PERMIT.SCALAS SUSAN SCALA-DEMBY PERMIT

Thank you for inquiry to the Department of Permitting Services (DPS). Your request has been assigned to Ms. Susan Scala-Demby, Permitting Services Manager, for review and appropriate action. You should receive a response from our office within three business days. In the event that you do not, please feel free to contact Ms. Scala-Demby directly at:

Susan.Scala-Demby@co.mo.md.us or call 240 777-6255.

DPS thanks you in advance for your patience during the time we investigate your specific inquiry.

From: Robin.Ziek@MNCPPC.ORG
To: dps@co.mo.md.us
Date: Tue, 23 Jul 2002 15:28:48 -0400
Subject: Easements and setbacks

Reggie,

I spoke with a property owner with two lots in the Forest Glen Historic District. He is running up against setback requirements for an open stair coming down from his front porch, even though the sideyard is also his property. Rather than go the route of a minor subdivision and erase the lot lines, he would rather consider a conservation easement where he actually donates the development rights off of the side yard (thus being eligible for a federal tax break). The question is whether he would still have to meet sideyard setbacks IF there was no more development potential for the side yard. The property could, I suppose, be sold to the adjacent property owner on the opposite side, but it would have no value for any other property owner. Actually, this side yard has the driveway and garage for the primary residence where the particular property owner lives who is contemplating all of this.

Please advise how DPS would act. would a variance to the setback also be another route, or would he need this in any case?

Thanks - Robin

7/25
2:40

Robin -

Please call Phillip
Metzger Up to receive
it!

202-564-5779

to confirm receipt of
of part S.

7/26

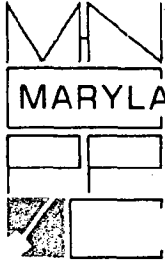
11:50

Robin

Please call Phillip
Metzger - he's
going out of town &
would like to talk

with you today.
301-585-2441

S.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Out of Mn #

301. 275-3717
cell phone

202. 564. 5779

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Philip Metzger FAX NUMBER: 9

FROM: Rbm Zrelc

DATE: 202 564 . 0480 7/25/02

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 13

NOTE:

20

Ziek, Robin

From: Shaneman, Malcolm
Sent: Tuesday, July 23, 2002 3:16 PM
To: Ziek, Robin
Subject: RE: Setbacks and easement donation

Robin,

Its primarily a DPS call. But, in the Zoning Ordinance in Section B-5 there are certain exceptions for open stairways and incroachment into setbacks. Pass it on to him. Any questions call me.

-----Original Message-----

From: Ziek, Robin
Sent: Tuesday, July 23, 2002 2:38 PM
To: Shaneman, Malcolm
Cc: Weaver, Richard
Subject: Setbacks and easement donation

Malcolm,

A property owner in our Forest Glen Historic District owns two lots. He wants to build exterior stairs that would not meet the side-yard setback, even though he owns the adjacent property. He has looked into the minor subdivision process, and doesn't want to spend the \$2500. However, he would consider donating a conservation easement on the side lot, donating the development rights in perpetuity. Would that affect the sideyard setback? And, would MNCPPC be involved, or would this be a DPS decision? Or, would he have to ask for a variance? HELP! Thanks. Robin

1-sided dirig.

~~W. J. ...~~

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9815 Hollow Glen Place Meeting Date: 5/8/02
 Applicant: Philip C & Lynn C. Metzger Report Date: 5/01/02
 Resource: Forest Glen Historic District Public Notice: 4/24/02
 Review: HAWP Tax Credit: N/A
 Project Number: 31/8-02A Staff: Robin D. Ziek

PROPOSAL: Front porch steps and landing; alteration of kitchen window

RECOMMEND: Approval with conditions:

1. The original rear window will be retained in situ, including the original trim.
2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

PROJECT DESCRIPTION

SIGNIFICANCE: Outstanding Resource in Forest Glen Historic District
STYLE: Queen Anne
DATE: 1891

This large frame Victorian has asymmetrical massing, including a square tower, a polygonal bay topped with a 2nd story porch, a wrap-around front porch, and a rear kitchen addition with a hipped roof. It has narrow novelty siding. The has 2/2 double-hung sash, and operable shutters at many of the windows. The existing steps to the front porch are brick, with a metal pipe railing. The foundation is brick.

PROPOSAL

The applicant would like to replace the existing brick front steps with wood steps that match the existing front porch railing (see Circle 24, 24). There is a steep rise to the front porch, and the applicant proposes to include a landing with built-in seating in the new steps.

The applicant also proposes to remove an original window at the rear of the kitchen, and install a set of three windows across the back wall of the kitchen. The design is based on a similar grouping of windows on the front elevation. The applicant proposes to match the original trim, and design of the windows but use a thermally glazed product.

STAFF DISCUSSION

Staff supports the proposed removal of the non-original brick steps to the front door of the house, and their replacement with a wood step configuration based on the front porch design. This new feature will be compatible with the original house, and will utilize materials which are also compatible with the original frame structure.

There are concerns with the proposed replacement of the rear kitchen window and its replacement with three new windows. Staff notes that there are other ways to achieve the goal of a bright interior with lovely views to the exterior, while retaining the original fabric. Staff recommends that the original window and trim be retained, and that two new windows could be installed to either side. The windows could be the same size as the original window, but staff would recommend that the top trim for the new windows be flat, without the crestring backband piece. The group will perform as a unit of glazing, while still allowing the original design decision with its associated original material to read clearly. This complies with Secretary of the Interior Standards #2, 3, 5, 6, 9, 10 (see Circle 21).

STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The original rear window will be retained in situ, including the original trim.
2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: PHILIP C. METZGER

Daytime Phone No.: 202-564-5779

Tax Account No.: 01995645

Name of Property Owner: PHILIP C. & LYNN C. METZGER
Daytime Phone No.: 202-564-5779 / 301-585-2441

Address: 9815 HOLLOW GLEN PLACE SILVER SPRING MARYLAND 20910-1139
Street Number City State Zip Code

Contractor: FINECRAFT CONTRACTORS Phone No.: 301-330-9191

Contractor Registration No.: 15965

Agent for Owner: MARK HUGHES, GTM ARCHITECTS Daytime Phone No.: 301-942-9062 x12

Address: 10415 ARMORY AVENUE KENSINGTON, MARYLAND 20895

LOCATION OF BUILDING/PREMISE

House Number: 9815 Street: HOLLOW GLEN PLACE HP62

Town/City: SILVER SPRING Nearest Cross Street: HOLMAN STREET

Lot: 15 Block: 17 Subdivision: FOREST GLEN INVESTMENT COMPANY SUBDIVISION

Liber: 6747 Folio: 462 Parcel: PART OF A PARCEL KNOWN AS JOSEPH'S PARK

PART ONE: TYPE OF PERMIT ACTION AND USE

IA. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- AC Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other: FRONT STAIRS KITCHEN WINDOW

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

APRIL 5, 2002
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No. (274301) 274301 Date Filed: 4/11/02 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

JOSEPH HERTFORD HOUSE IS DESCRIBED IN MASTER PLAN AMENDMENT ESTABLISHING FOREST GLEN HISTORIC DISTRICT AS AN "OUTSTANDING RESOURCE," BUILT C. 1891 BY A RESIDENT OF FOREST GLEN INVESTMENT COMPANY. SET ON A SMALL RISE 87' BACK FROM HOLLOW GLEN PLACE, "THE QUEEN ANNE-STYLE HOUSE FEATURES A THREE-STORY TOWER, WRAP-AROUND PORCH AND COVERED BALCONY SURMOUNTING A BAY WINDOW ON THE SOUTH SIDE ELEVATION." STREET AND NEIGHBORS' VIEW OF EXISTING, NON-CONFORMING BRICK FRONT STEPS (BUILT C. 1950) IS PARTIALLY OBSCURED BY THICKET OF ESTABLISHED YEW AND DECIDUOUS "BURNING BUSH" SHRUBS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

(1) NON-HISTORIC FRONT STEPS AND METAL HANDRAIL (BUILT C. 1950) WILL BE DEMOLISHED AND REMOVED, NEW WOODEN STAIR, RAILS, LANDING WITH SEAT WILL BE BUILT WITH ALL FEATURES (RAILS, BALUSTERS, SIDE PANELS, POST CAPS, LATTICE, SUPPORT BRACKETS, ETC.) TO MATCH HISTORIC FEATURES ON HOUSE, AND (2) EXISTING SINGLE 2X2 WINDOW ON REAR (KITCHEN) WALL WILL BE PAINTED REMOVED (INCL. NON-HISTORIC TRIPLE TRACK STORMS/SCREENS, INSTALLED C. 1974) AND THREE NEW 2X2 WINDOWS TO MATCH EXISTING WILL BE INSTALLED, AND ALL EXISTING MOULDING/TRIM RETAINED AND MATCHED. BANKED WINDOWS MATCH TREATMENT ON ON FRONT SIDE BAY WINDOWS.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 3 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 5" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

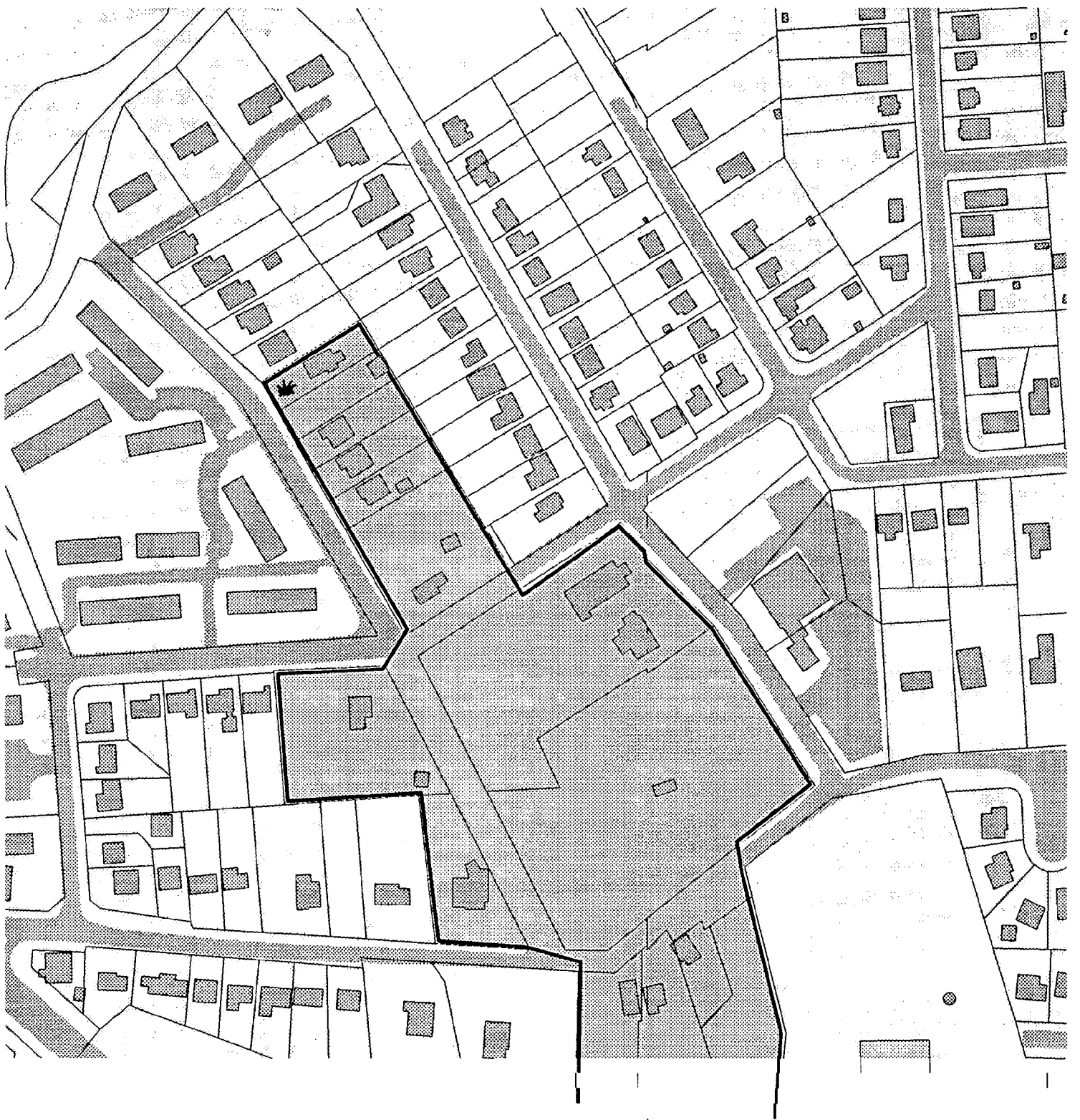
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

NOTE: NO CONFRONTING PROPERTY OWNERS - SEE ATTACHED PARTIAL COPY OF WSSC MAP SHOWING LOCATION OF TOWNHOUSES ACROSS HOLLOW GLEN PLACE DO NOT CONFRONT PROPERTY

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address PHILIP & LYNN METZGER 9815 HOLLOW GLEN PLACE SILVER SPRING, MD 20910-1139	Owner's Agent's mailing address MARK HUGHES GTM ARCHITECTS 10415 ARMORY AVENUE KENSINGTON, MD 20895
Adjacent and confronting Property Owners mailing addresses	
ROBERT & MARY SULLIVAN 9811 HOLLOW GLEN PLACE SILVER SPRING, MD 20910	PAT & JOY BRETTHAUER 9817 HOLLOW GLEN PLACE SILVER SPRING, MD 20910
CINDY DENCHFIELD & FRANK KLASSEN 9812 ROSENSTEEL AVE. SILVER SPRING, MD 20910	WALTER & MAUREEN BOOTH 9814 ROSENSTEEL AVE. SILVER SPRING, MD 20910

g:addresses: noticing table



Another well known community landmark is the St. John's Catholic Church. The history of this church goes back to 1774 when John Carroll established a parish here to serve the catholics of the area. This event was particularly significant because at the time catholics had been denied the right to practice their religion. The original church is now gone, however, a replica was erected on the grounds in 1956, in honor of the parish's second pastor, Father Charles O. Rosensteel. It was Father Rosensteel who directed the construction of the present St. John's Church in 1894. It is a Gothic Revival Structure built of Maryland red sandstone. The church is five bays in length with pointed arched stained glass windows with Buttresses between each. The church is entered from the squared tower facade, three stories high with a belfry in the top story. It is topped by a large steeple. Behind the church is a two story shingled bell tower.

Adjacent to the church is the parish house. It is a large, early twentieth century, frame, Colonial Revival structure. It is three bays by four bays and has a hipped roof with a single gable roofed dormer at the facade elevation. The house has a frontispiece entry which includes a segmental pediment and doric pilasters. At the center of the second story facade is a triple window. The house is lit by six over one sash windows with shutters. At both side elevations is a single story porch with entry, supported by doric columns with balustrade.

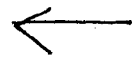
Surrounding the church buildings is the St. John's Cemetery. Included among the tombstones are some interesting carved ones dating back to the early 1800's.

Of particular interest to the Forest Glen Historic District are four excellent examples of Victorian/Queen Anne architecture. All four were constructed in the 1890's and were for many years almost all that stood in the residential area. They are located, for the most part, along Hale Place (recently renamed Glen/Hollow Road). All are in good condition and are reflective of high style Victorian architecture generally found in the more well-to-do suburban areas.

The first, #9815 Hale Place is a large, ornately decorated, asymmetrical Victorian frame residence. It is a two story, L-shaped structure with a three story tower in the L. It has a gable roof with a gable peak at the northern end of the facade. A porch with chamfered posts and balustrade extends across the facade and the southern side of the front L. On the southern side elevation is a projecting bay window with a covered balcony above. The house is lit by two over two sash windows with shutters. It was built about 1891 by the Forest Glen Investment Company (Mont. Co. Commissioners Tax Asses. Books, date property appears with improvements listed). It was owned by one of the members of the corporation, Joseph R. Hertford, until June of 1895 when it was sold after he defaulted on the mortgage. The house, on lots #14, 15 & 18 of block 17, was then described as a large, well built residence of two stories with eight rooms, a bathroom, cellar

9815 Hale Place = 9815 Hollow Glen Place

new
Hollow Glen



U

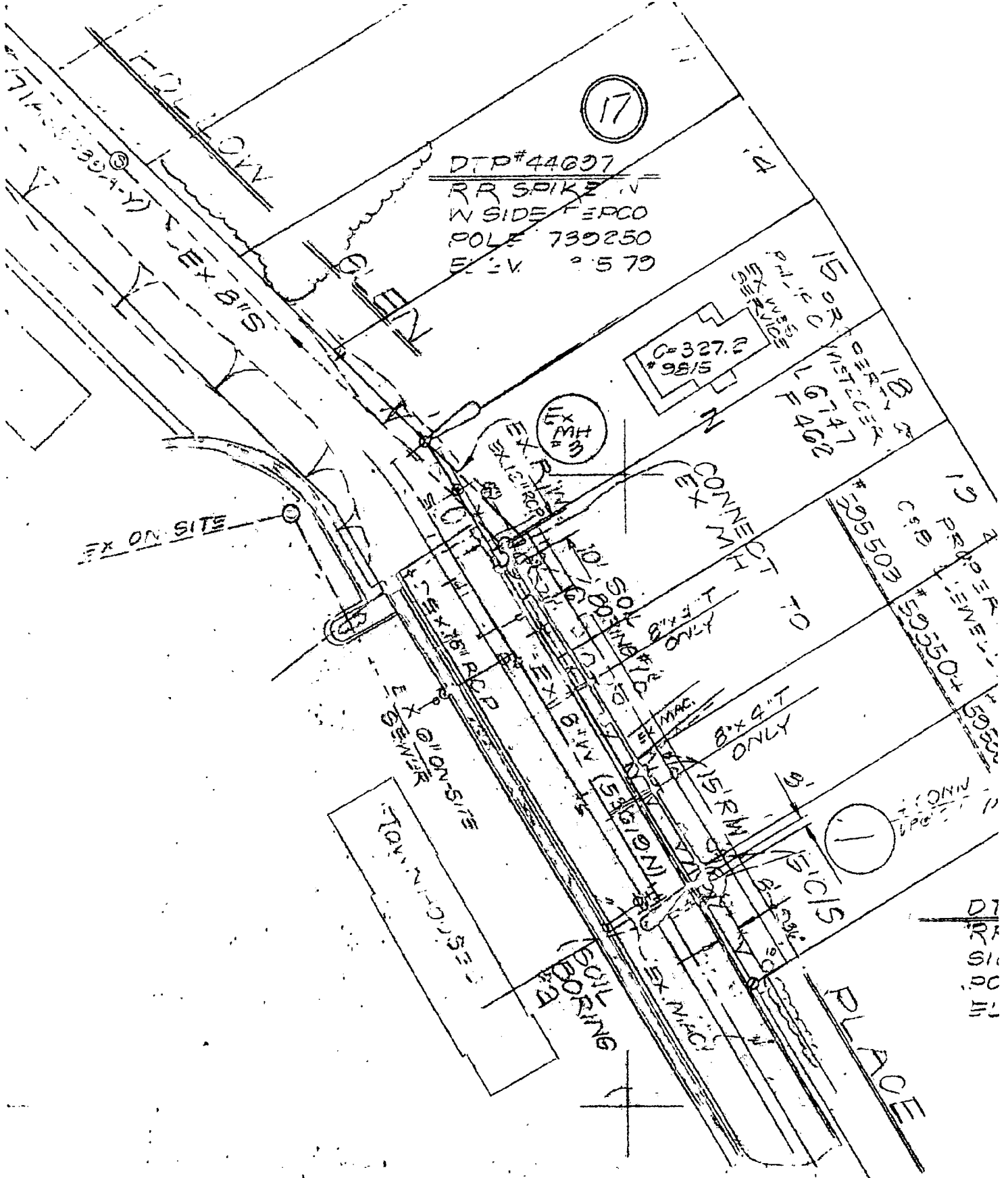
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and attic. According to the sale advertisement, the property was "adorned with shade trees" (as it still is) and conveniently located near the railroad station (Equity #1-299, Judgment Record, JA 11/465). It was sold for \$3,615 to Addison Fritchey who sold it less than a year later to Emma E. Knott (Deed JA 53/43). Emma Knott owned the house for many years. In October of 1973 it was purchased by the C.M. Llewellyn, Inc. and is now being offered for sale.

Next is #2411 Holman Avenue which is a fine example of Victorian Stick-Style architecture. It is a three bay by four bay, two and a half story frame structure with a center gable roof. An extremely ornate Stick porch with turned posts, jig-sawn brackets and balustrade runs the length of facade and around to the southern elevation. The porch has a shed roof with a center gable over the entry at the northwest end. On the second story side elevation at the southeast corner is a small balcony enclosed by a balustrade railing with a wooden panel featuring a sunburst design. The roof of the house extends down here to cover the balcony and is supported by decorative brackets. Two over two sash windows light the house. Other Victorian architectural details include the bargeboard in the facade center gable, sunburst pattern panels above the windows on the second story facade and a mix of building materials including novelty and clapboard siding and fishscale shingles. The house was built in 1891 by Shepard S. Everett on lots #26, 27 & 30 of block 17 which he purchased in 1890 from Joseph R. Herford of the Forest Glen Investment Company. Shepard and his wife, Emma owned the house until 1906 when it was sold to Etta J. Miller. Following the death of Etts's husband, William she sold the property to Stanley and Hilda Borzage. Then, in 1947, they sold it to the present owners, John and Olive Baldwin. (Information provided by Inventory form prepared by Candy Reed and Eileen McGuckian & others, 2/79. For additional information, see form on file at the M-NCPPC Park Historian's Office, #31/8).

Sitting across from the Baldwin house is #2500 Holman Avenue. This too is a fine example of late Victorian architecture. It is a large, frame, L-shaped residence. To the east side of the facade is a two bay, two story section with a center gable roof. The center gable is framed by a projecting cornice on all three sides and has a small two paned window in the center. The entry sits back on the west side, located in a three story squared tower-like section with an open top story. Behind this is the center gable roof like that previously described. In front of this section is an entry porch with turned posts and jig-sawn trim with a framed pediment. This porch continues around to the west elevation. The house is lit by two over two sash windows with shutters. Two gable roofed dormers are located at the side elevations. This house was constructed about 1891 by the Forest Glen Investment Company (Mont. Co. Commissioners Tax Asses. Books, the property appears with improvements listed between 1891 and 1896 under the Forest Glen Investment Company, Joseph Hertford and Benjamin Holman, incorp.).

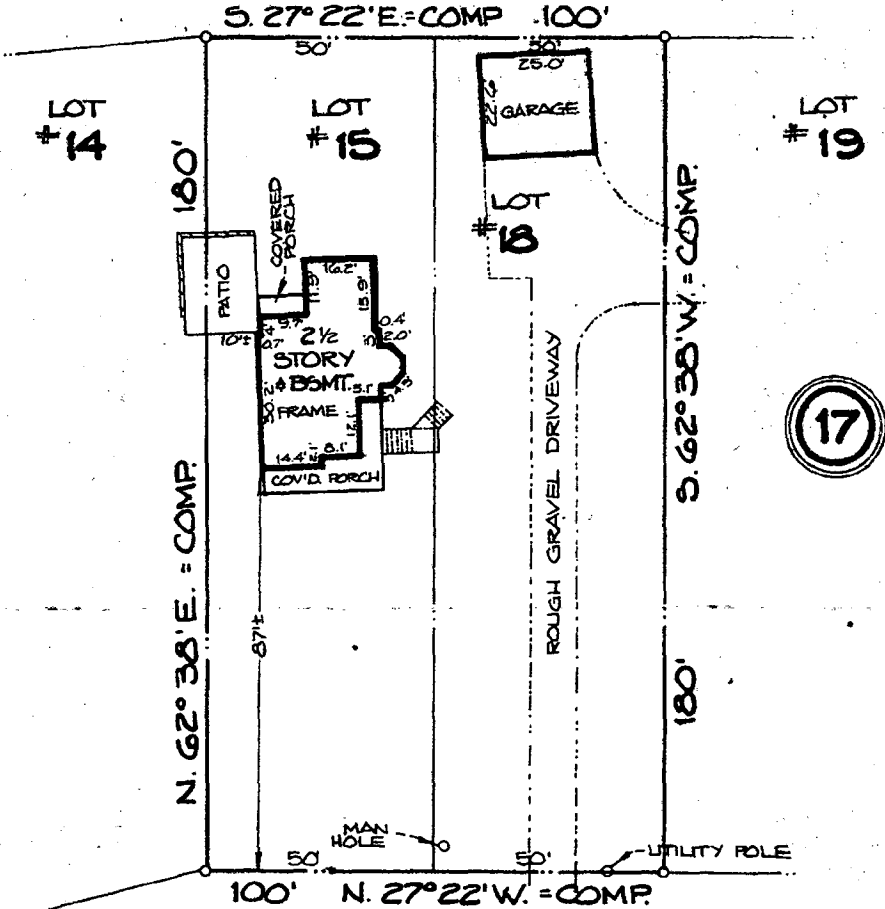
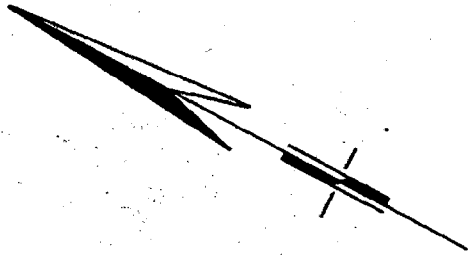


SANITARY COMMISSION

APR 1900

NO CONFRONTING PROPERTY OWNERS - NOTE LOCATION OF TOWNHOUSES ON HOLLOW GLEN PLACE

9



HOLLOW GLEN PLACE

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A FLOOD HAZARD AREA AS DELINEATED ON THE MAPS OF THE NATIONAL FLOOD INSURANCE PROGRAM



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF 9815 HOLLOW GLEN PLACE	LOT: <u>15, 18</u>	BLOCK: <u>17</u>
	PLAT BOOK: <u>A</u>	PLAT NO: <u>17</u>
SUBDIVISION: HOLLOW GLEN INVESTMENT COMPANY'S	DATE: <u>4-7-86</u>	SCALE: <u>1" = 30'</u>

METZGER RESIDENCE

SCALE: 1" = 20'

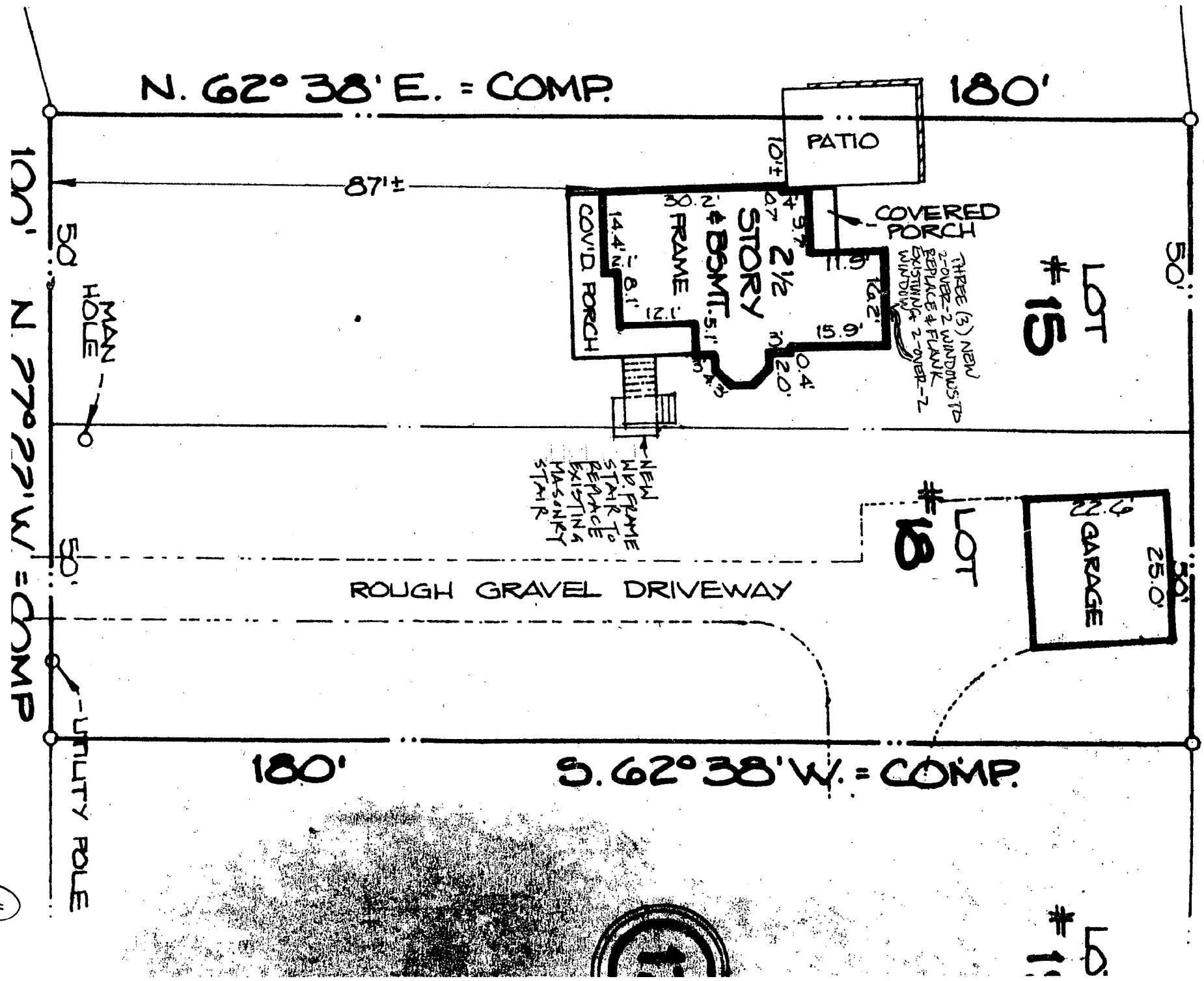
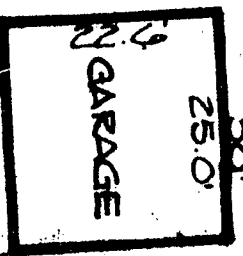
S. 27° 22' E. = COMP 100'

50'

LOT #15

180'

LOT #18



N. 62° 38' E. = COMP.

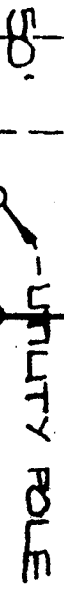
87'±

ROUGH GRAVEL DRIVEWAY

S. 62° 38' W. = COMP.

180'

100'



(11)

KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

- C1: (2) 2x8 pressure treated lower beam
- C2: 2x8 pressure treated deck joists @ 16" O.C.
- C3: 2x12 stair stringer pressure treated @ 16" O.C.
- C4: (2) 2x8 pressure treated deck joists
- C5: 4 1/2" x 4 1/2" post set in 12" ϕ x 2'-6" deep concrete footer, typical (TYP)
- C6: Custom railing, 1 1/2" x 3 1/2" w/ rounded top to match existing, painted (PTD), TYP
- C7: Smoot stair tread, 11 1/4" x 3/4", PTD, TYP
- C8: T & G composite decking, to be tenduraplank (1-800-TENDURA), PTD, TYP
- C9: Exterior plywood seat, A-C exterior grade, w/ WD edge trim, PTD, TYP
- C10: Brick paver set in concrete slab
- C11: (2) 2x8 pressure treated beam, pocket into masonry piers

FRONT STEPS: Elevations – Front, Right side, Rear, Section

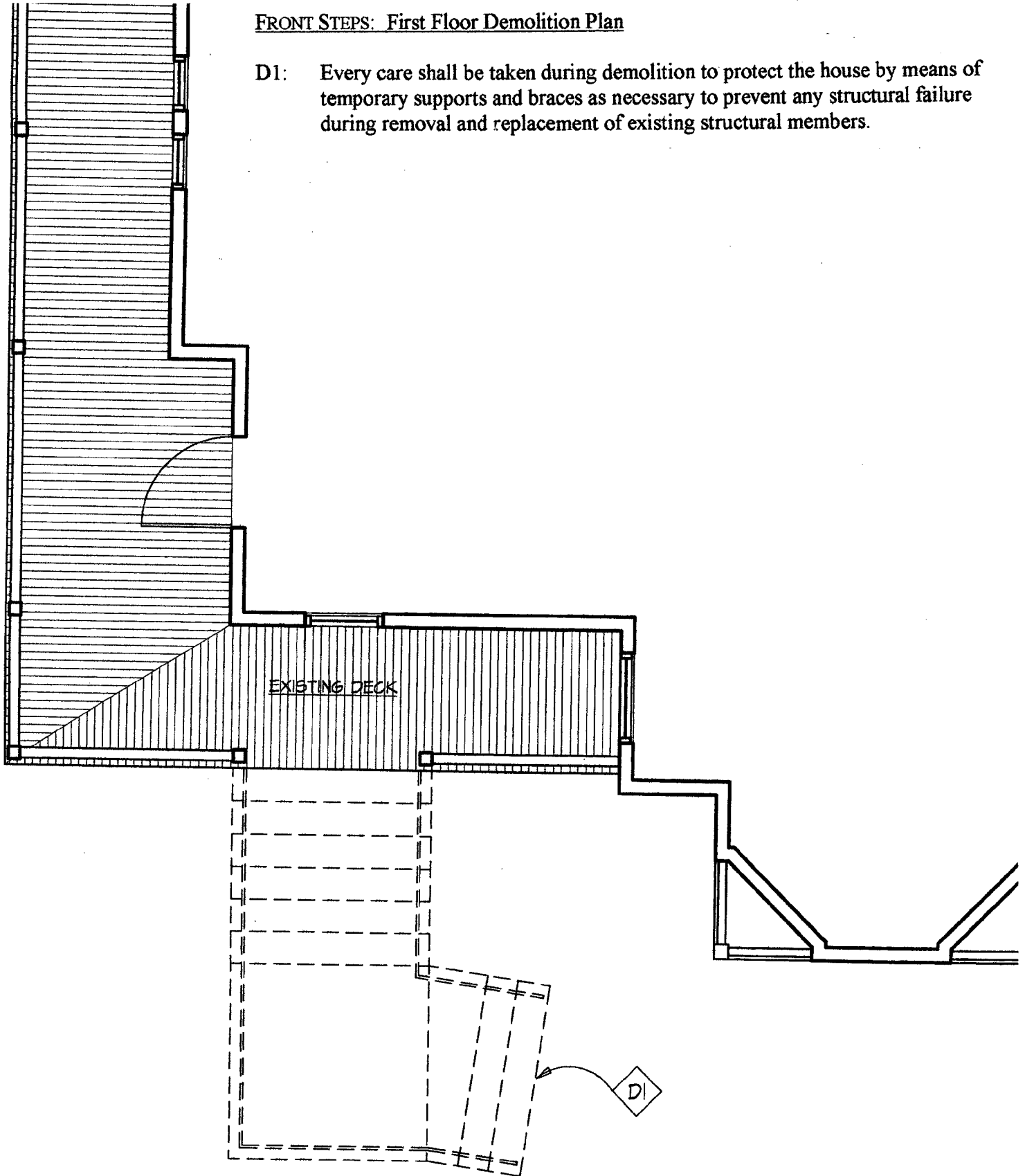
- C1: Cantilevered 2x8 pressure treated deck joists, TYP
- C2: Lower double 2x8 pressure treated beam, TYP
- C3: 4 1/2" x 4 1/2" pressure treated post incased in 12" ϕ x 2'-6" deep concrete footer, TYP
- C4: WD railing to match existing, PTD, TYP
- C5: Pressure treated post to match existing, PTD, TYP
- C6: 1 1/16" x 1 1/4" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16" x 3 1/2" Smoot landing tread
- C9: Panel
- C10: New watertable trim to match existing
- C11: WD lattice screen w/ 1x flat WD trim surround to match existing, PTD, TYP
- C12: Decorative WD bracket, PTD, TYP
- C13: 5/4 x flat WD trim, PTD, TYP
- C14: Existing masonry pier, TYP
- C15: New watertable trim to match existing
- C16: T & G composite decking, to be Tenduraplank (1-800-TENDURA), PTD, TYP
- C17: Exterior plywood seat, A-C exterior grade, PTD, TYP
- C18: 1x flat WD riser, PTD, TYP
- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

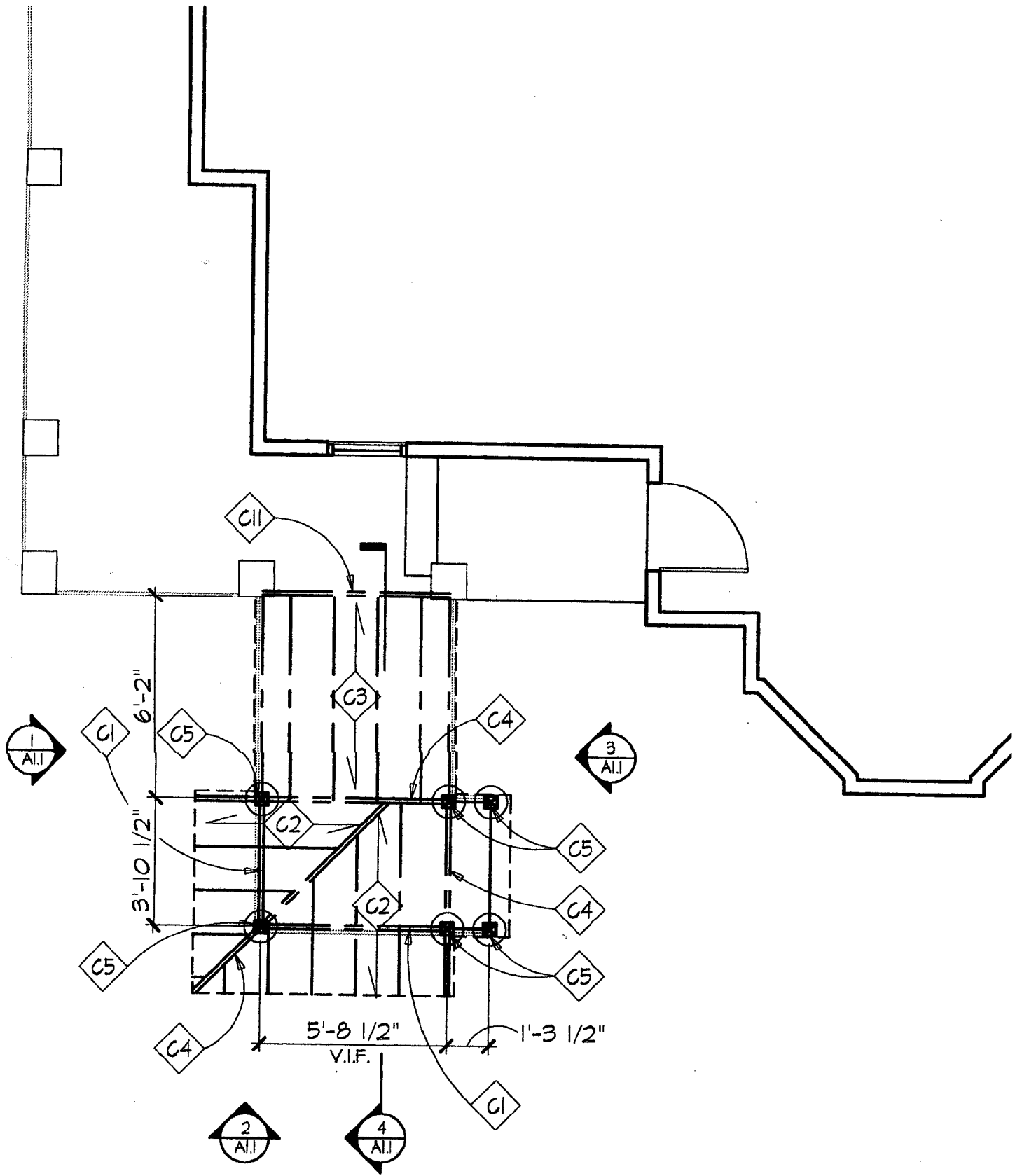
KITCHEN: Existing and Proposed (partial) Plan and Elevations

- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

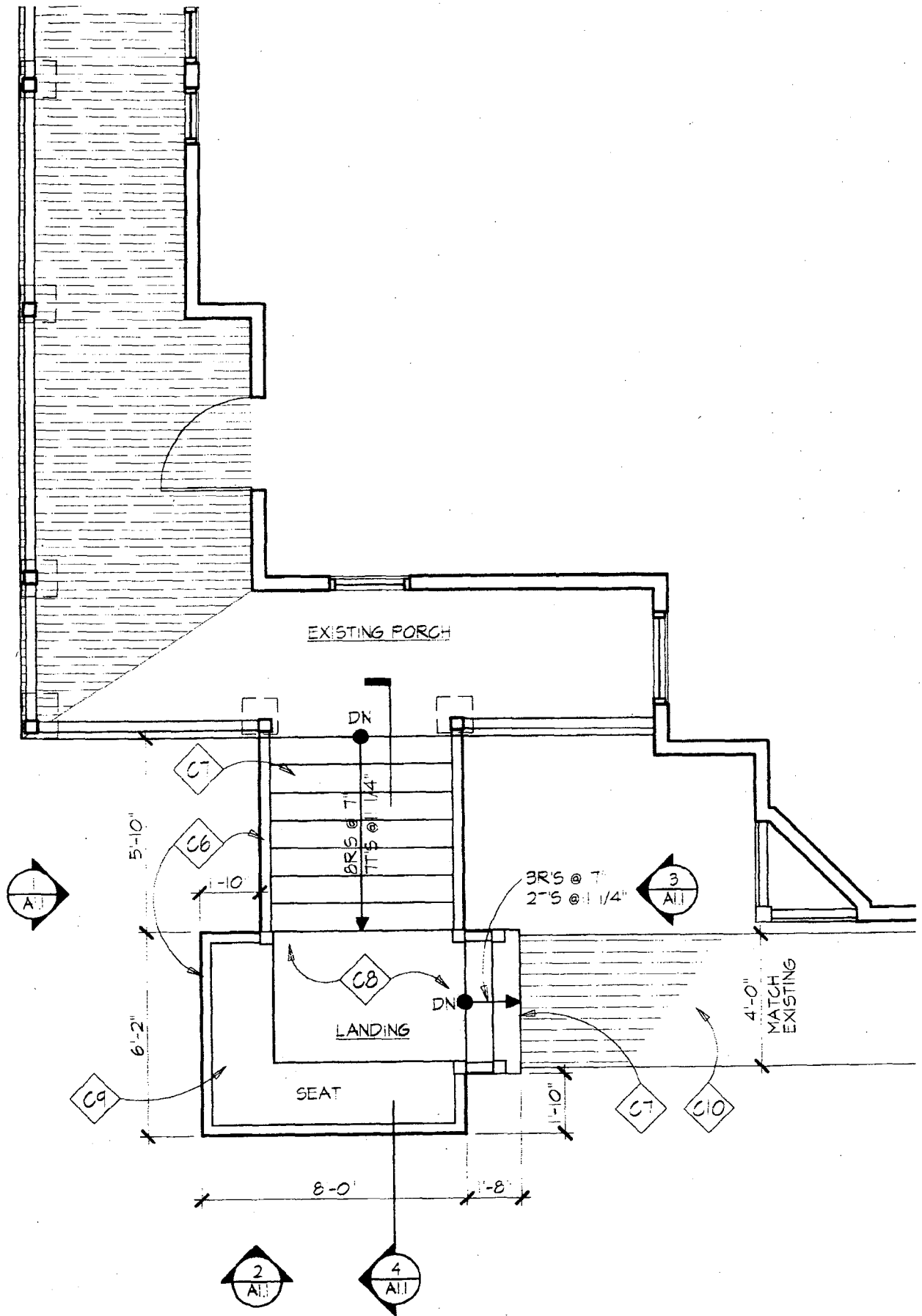
FRONT STEPS: First Floor Demolition Plan

D1: Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.



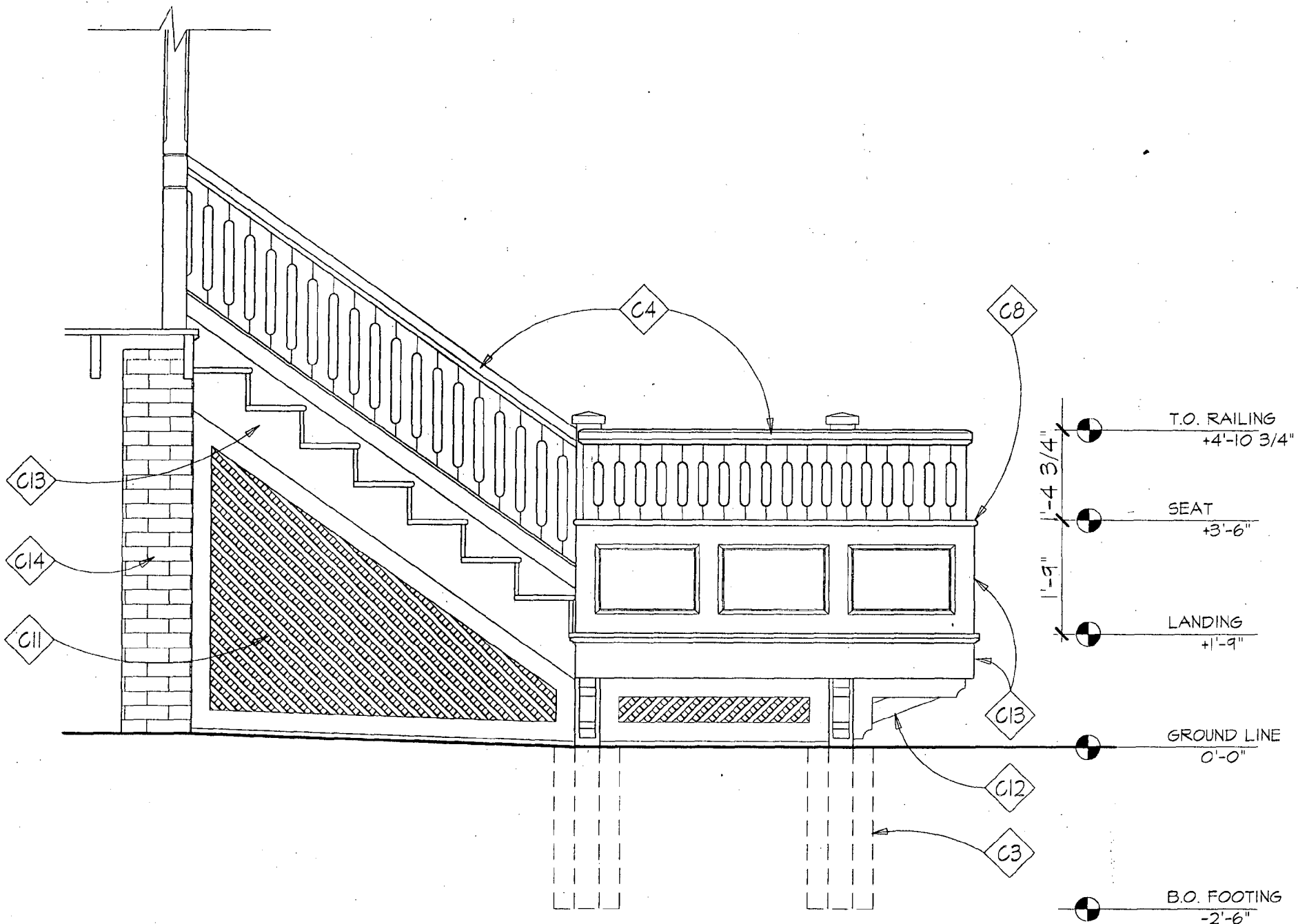


1 FOUNDATION & FRAMING PLAN
 SCALE: 1/4"=1'-0"



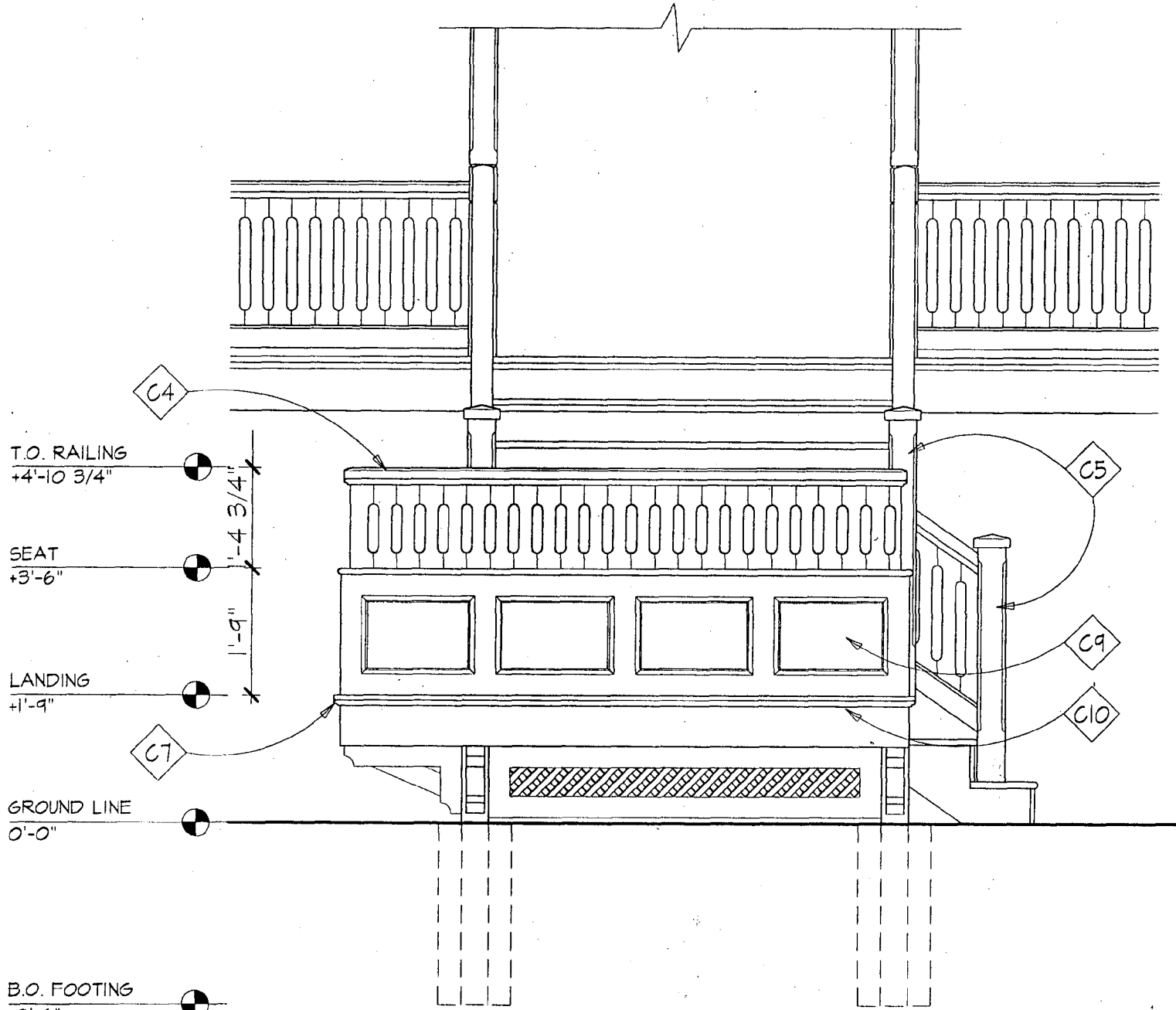
2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

15



1 FRONT ELEVATION
 SCALE: 1/2" = 1'-0"

13



2 RIGHT SIDE ELEVATION
 SCALE: 1/2"=1'-0"

13

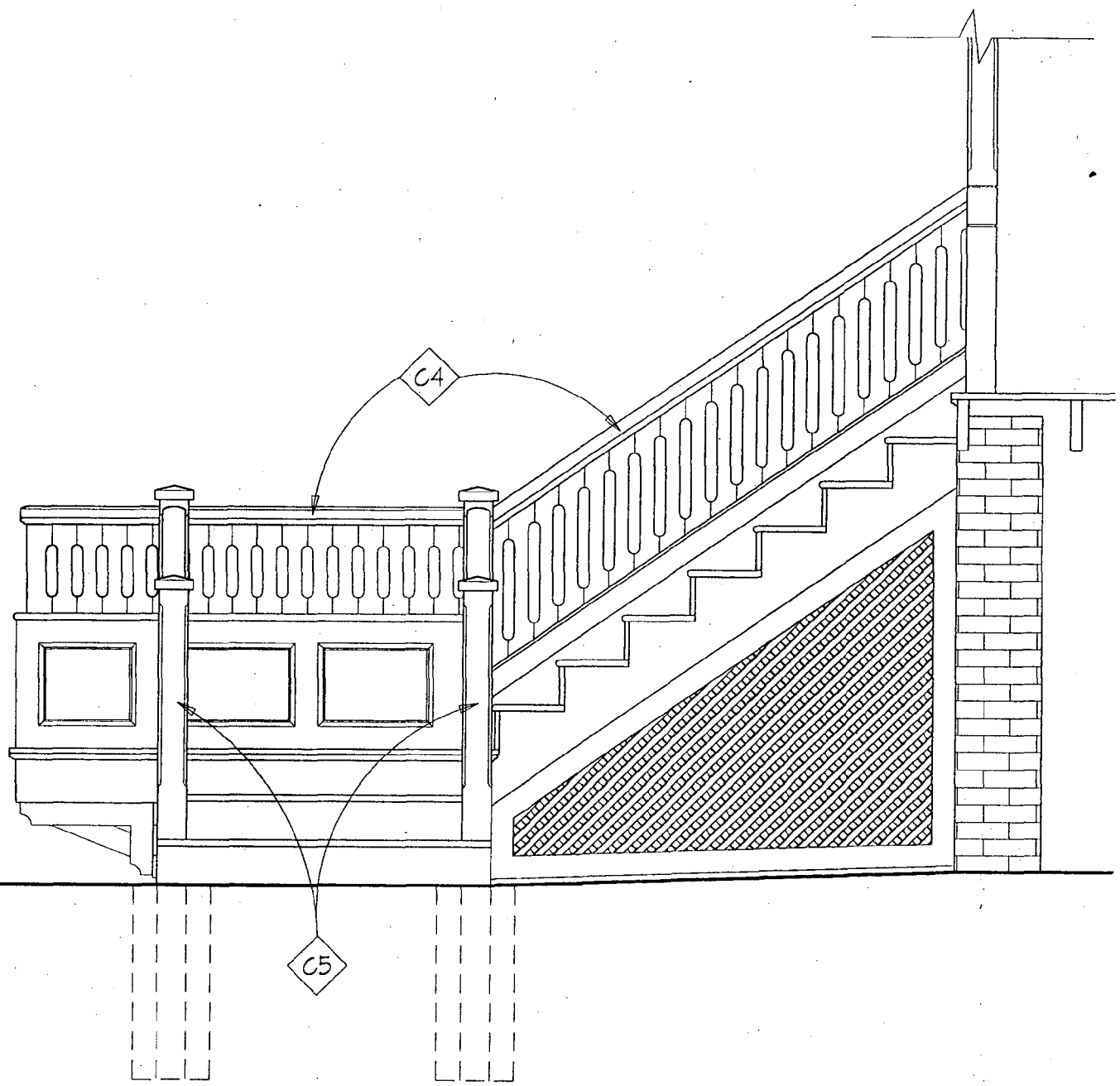
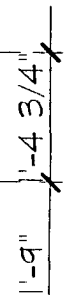
T.O. RAILING
+4'-10 3/4"

SEAT
+3'-6"

LANDING
+1'-9"

GROUND LINE
0'-0"

B.O. FOOTING
-2'-6"

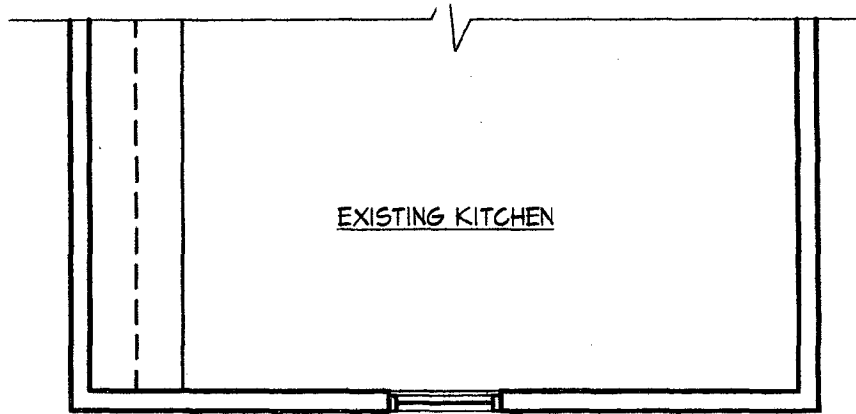


3

REAR ELEVATION

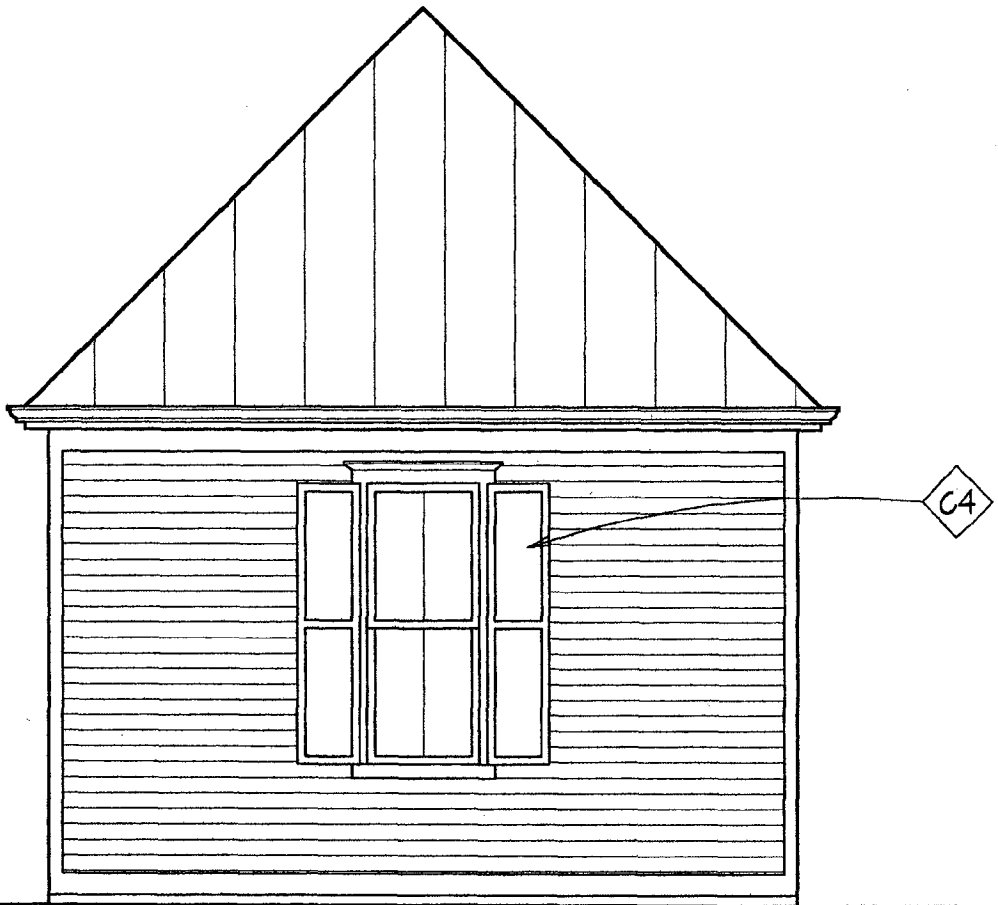
SCALE: 1/2"=1'-0"

18



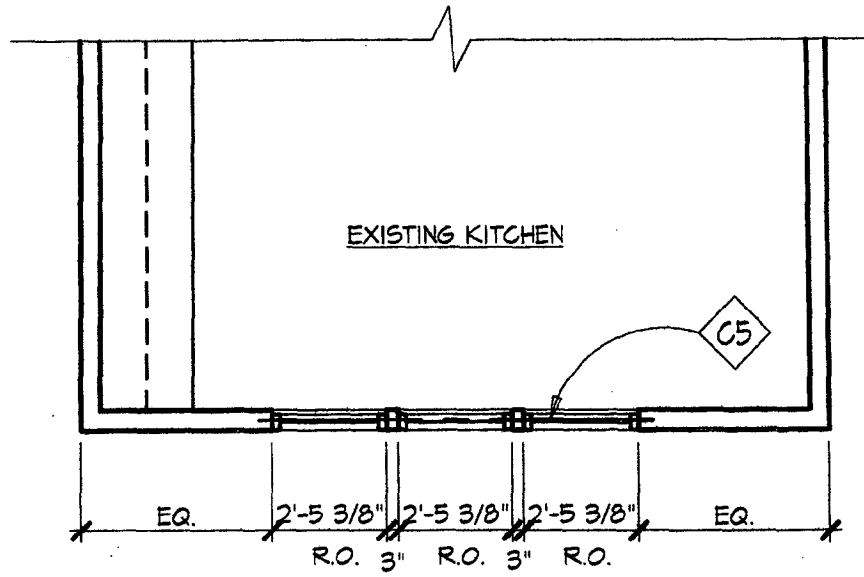
EXISTING PARTIAL KITCHEN PLAN

SCALE: 1/4"=1'-0"

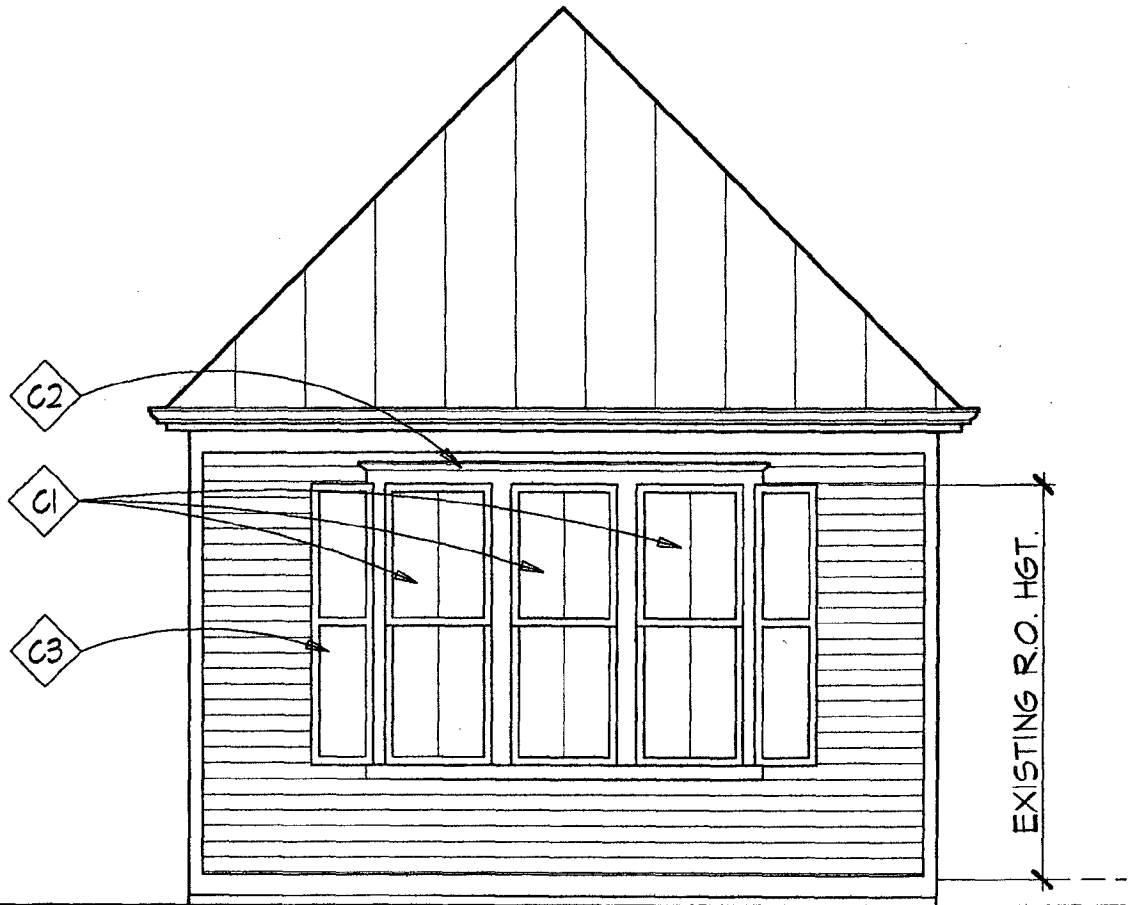


EXISTING





2 PROPOSED PARTIAL KITCHEN PLAN
 SCALE: 1/4"=1'-0"



PROPOSED

REHABILITATION

is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

STANDARDS FOR REHABILITATION

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match

REHABILITATION AS A TREATMENT.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment.

Prior to undertaking work, a documentation plan for Rehabilitation should be developed.

the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.

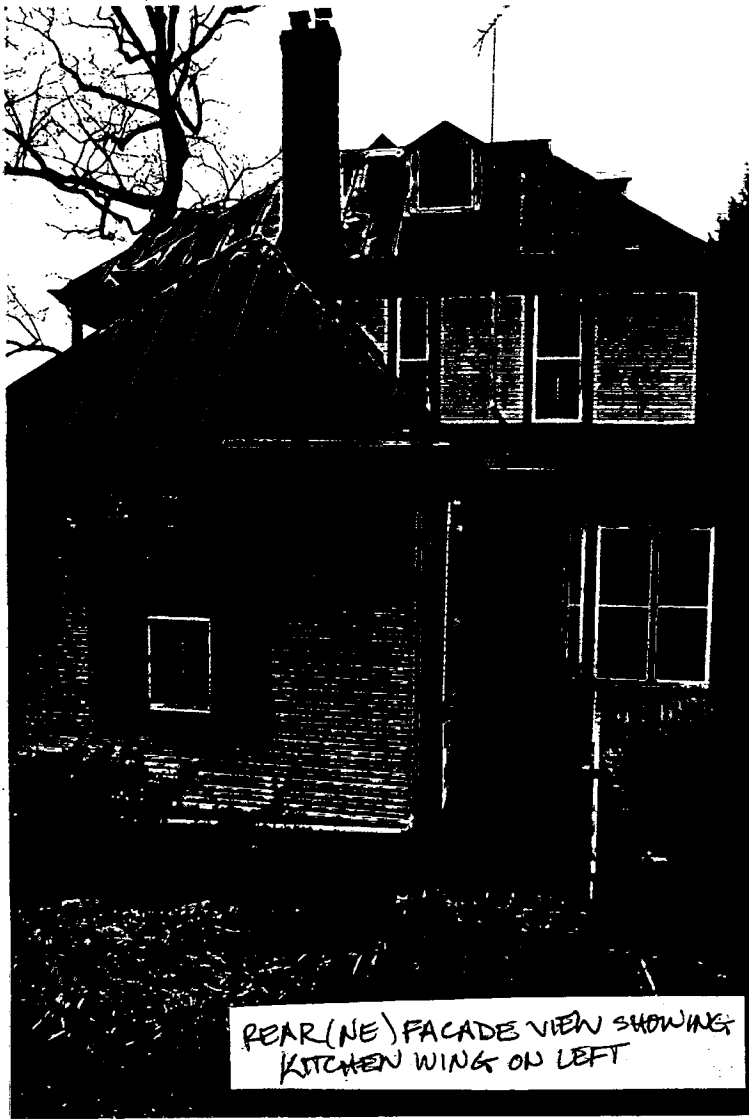
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible.

Treatments that cause damage to historic materials shall not be used.

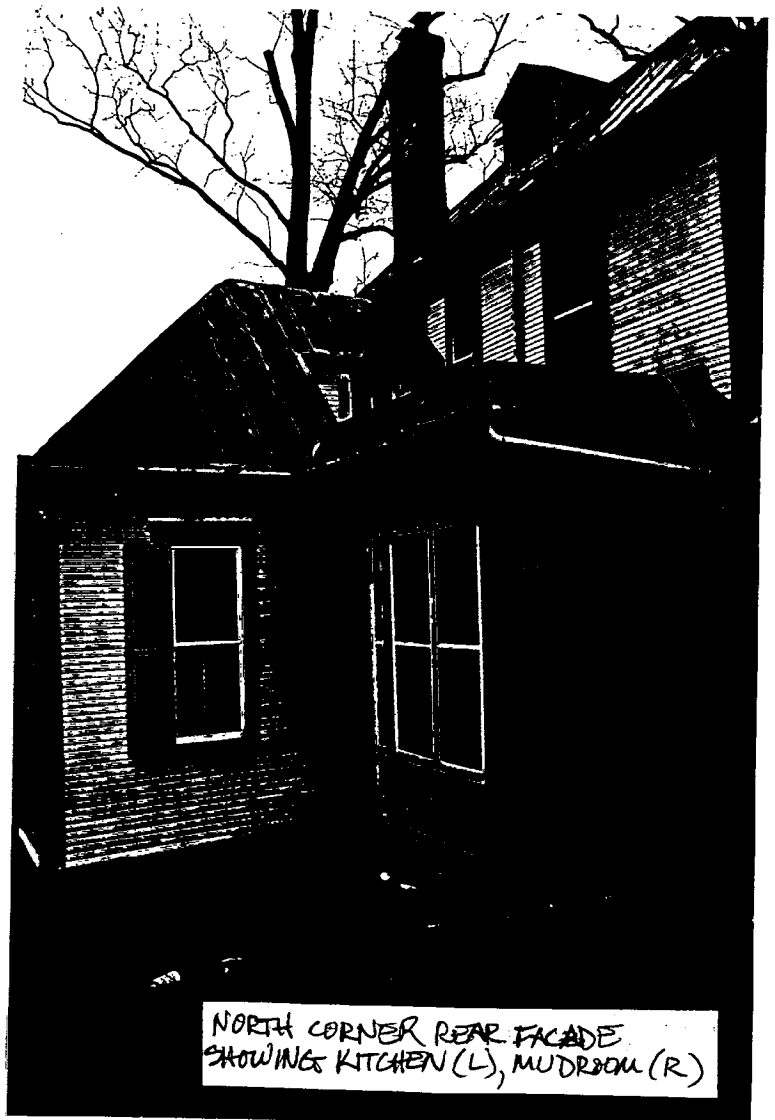
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

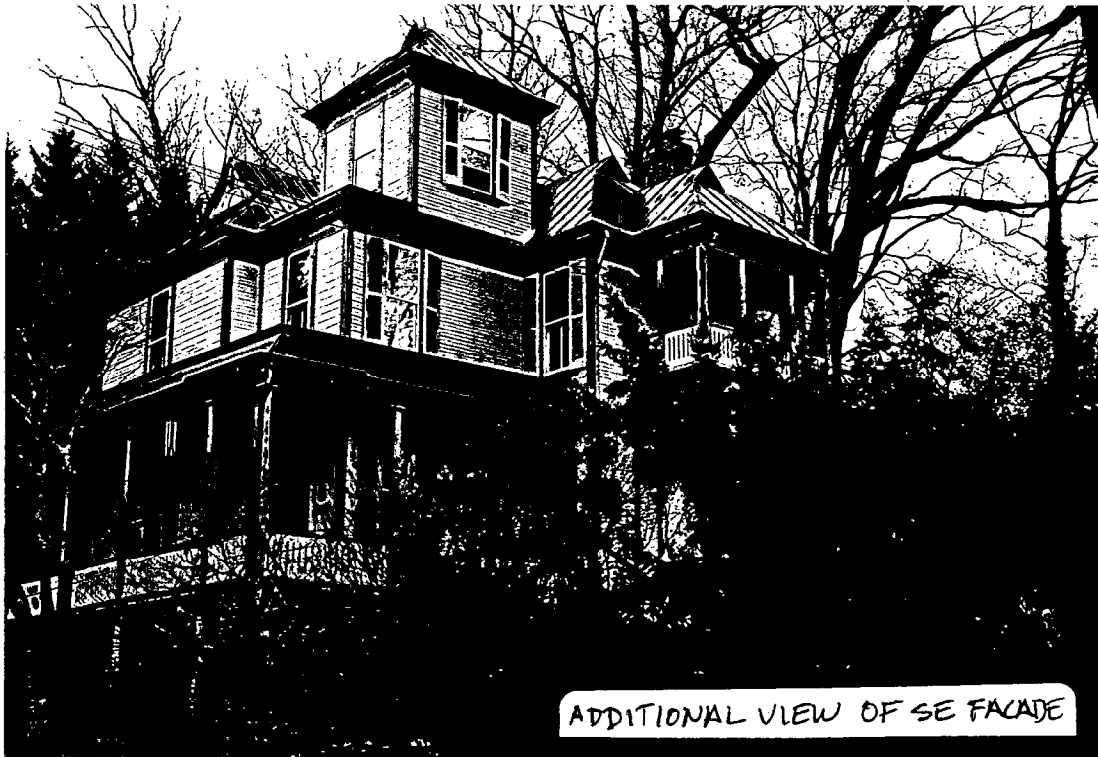
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



REAR (NE) FACADE VIEW SHOWING
KITCHEN WING ON LEFT

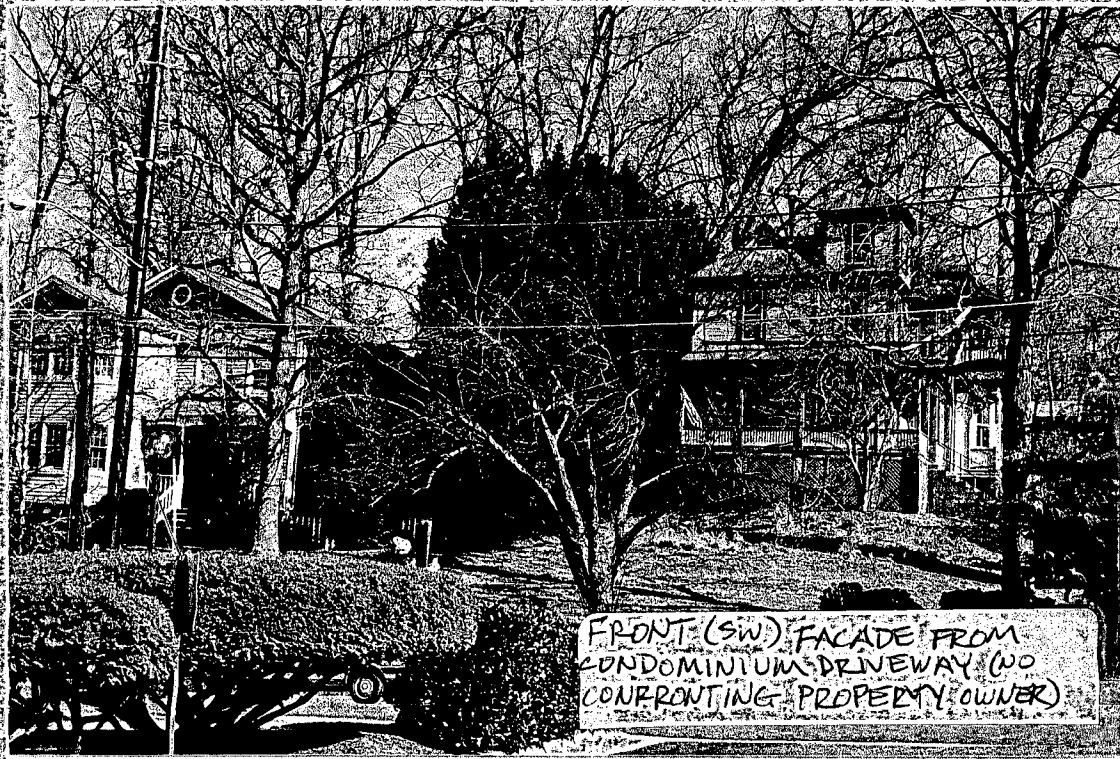


NORTH CORNER REAR FACADE
SHOWING KITCHEN (L), MUDROOM (R)

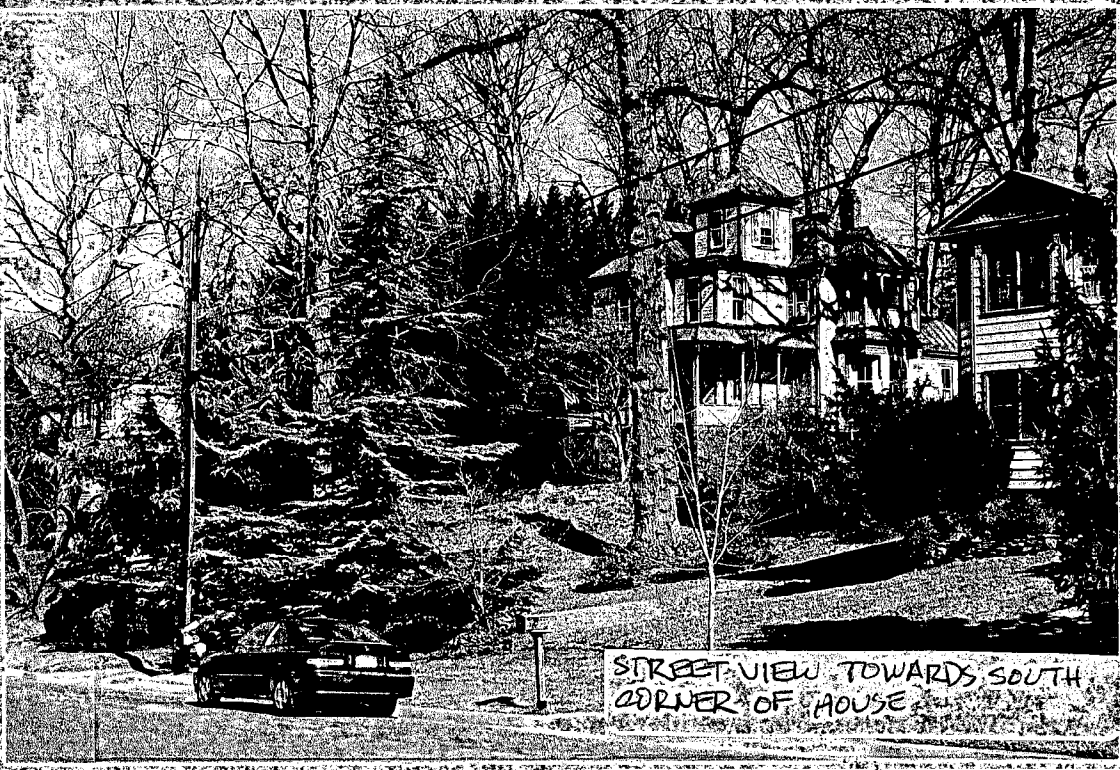


ADDITIONAL VIEW OF SE FACADE

METZGER 2 OF 7



FRONT (SW) FACADE FROM
CONDOMINIUM DRIVEWAY (NO
CONFRONTING PROPERTY OWNER)

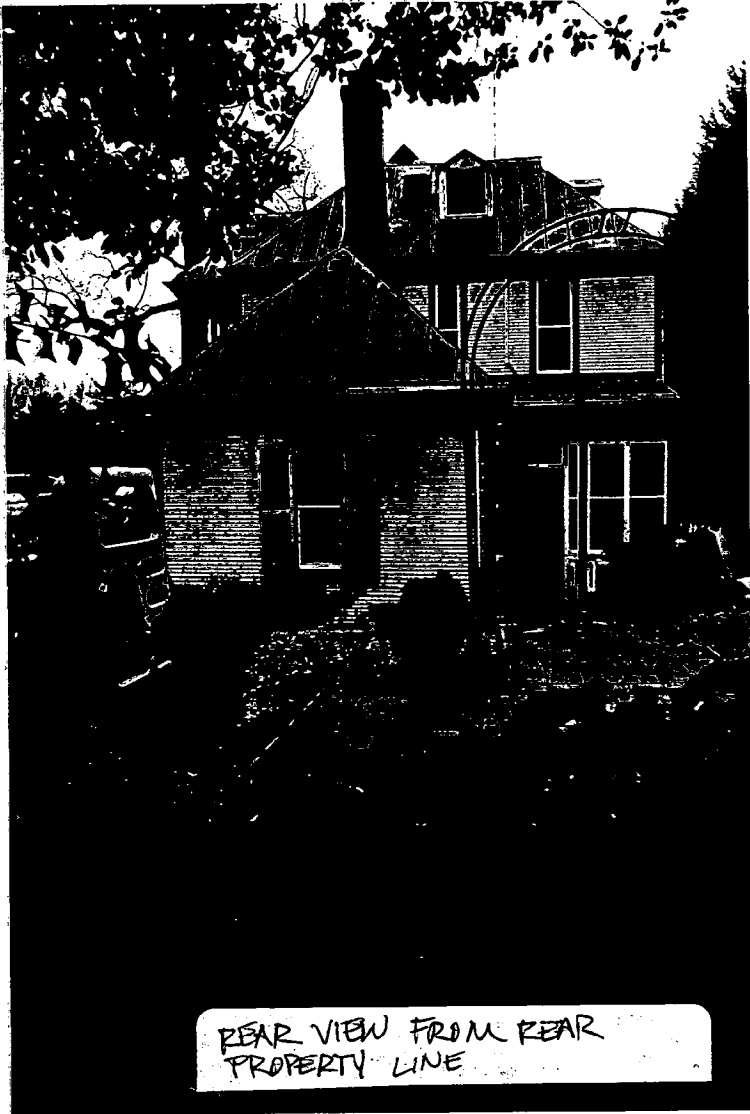


STREET VIEW TOWARDS SOUTH
CORNER OF HOUSE

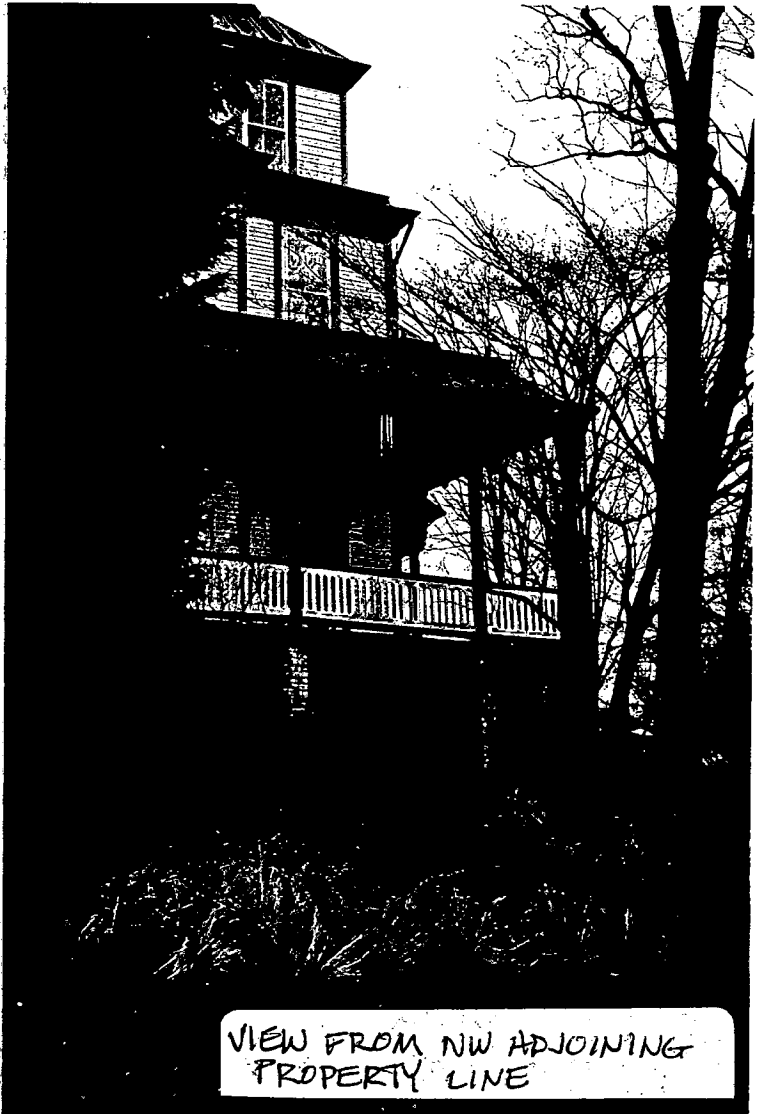


SIDE (NW) FACADE (TREES ON
PROPERTY LINE BLOCK VIEW)

LETZGER
3 OF 7



REAR VIEW FROM REAR
PROPERTY LINE



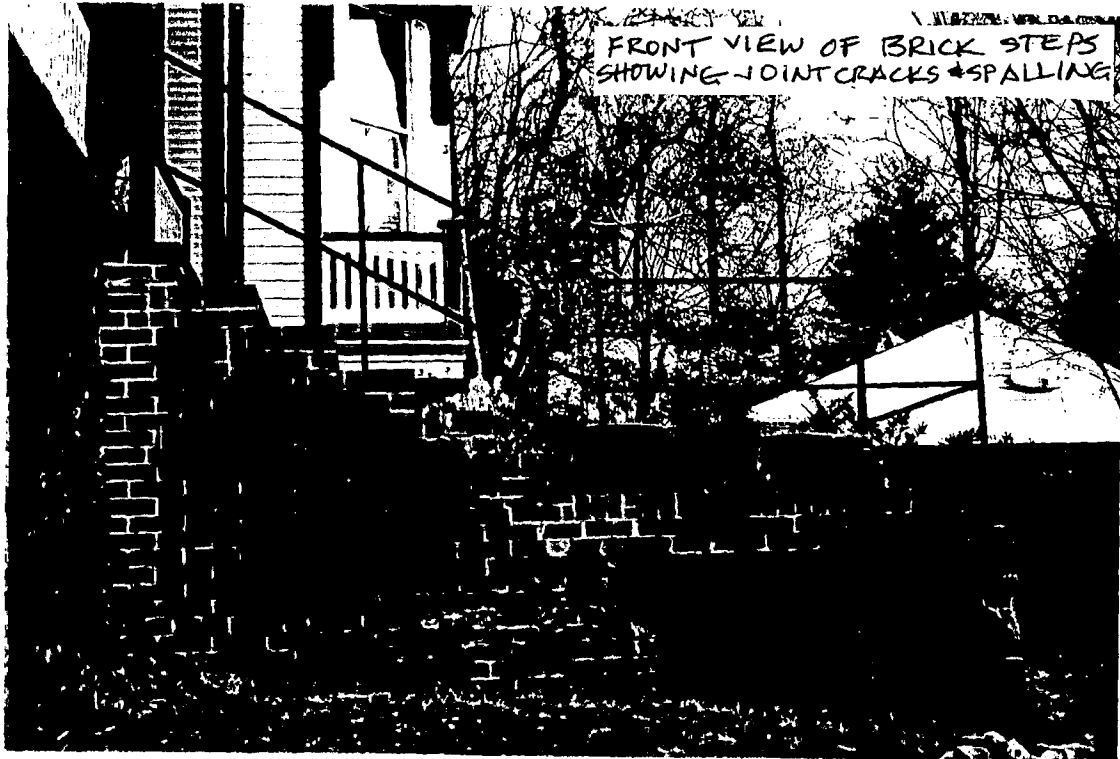
VIEW FROM NW ADJOINING
PROPERTY LINE



REAR VIEW FROM ADJOINING PROP.

ETZGER
4 OF 7

FRONT VIEW OF BRICK STEPS
SHOWING JOINT CRACKS & SPALLING

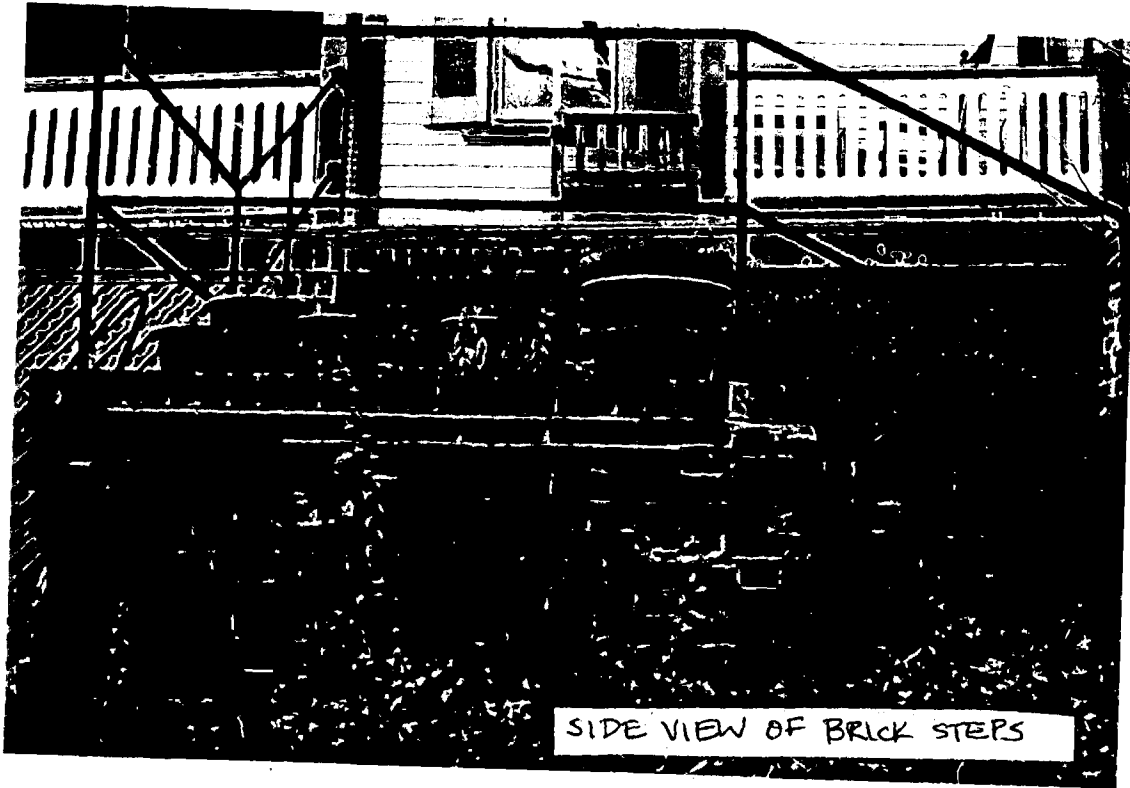


25

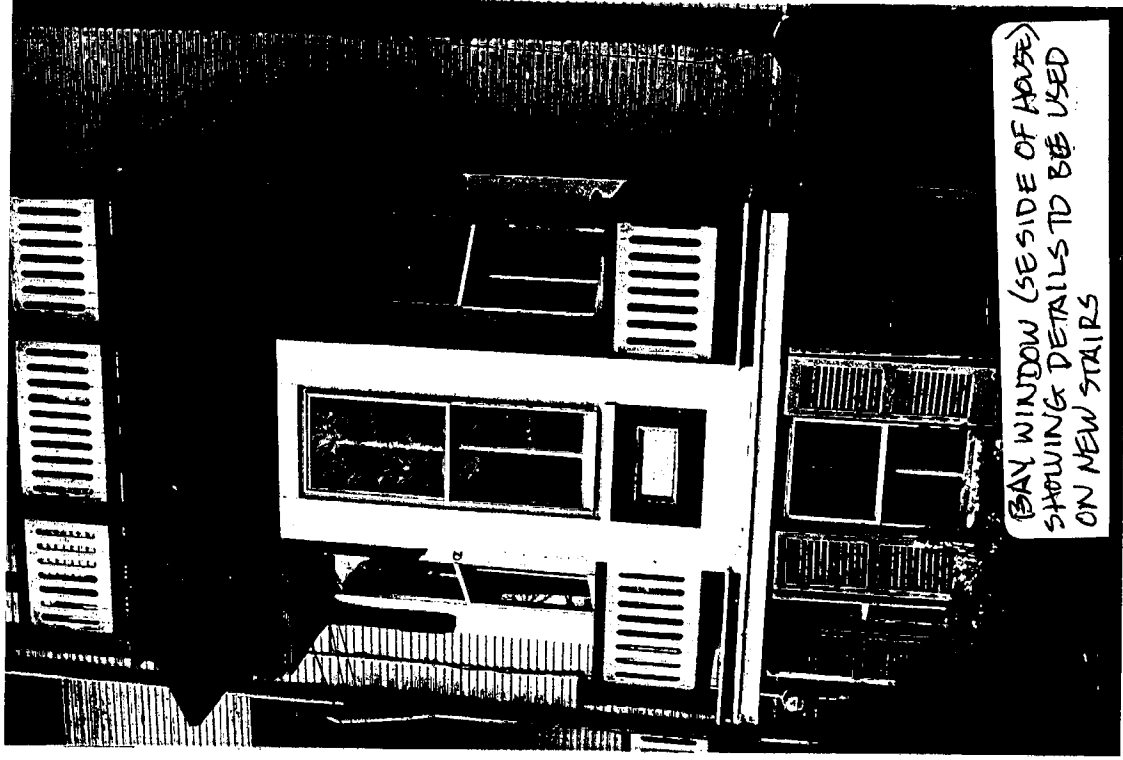
REAR VIEW OF FRONT STAIRS



SIDE VIEW OF BRICK STEPS

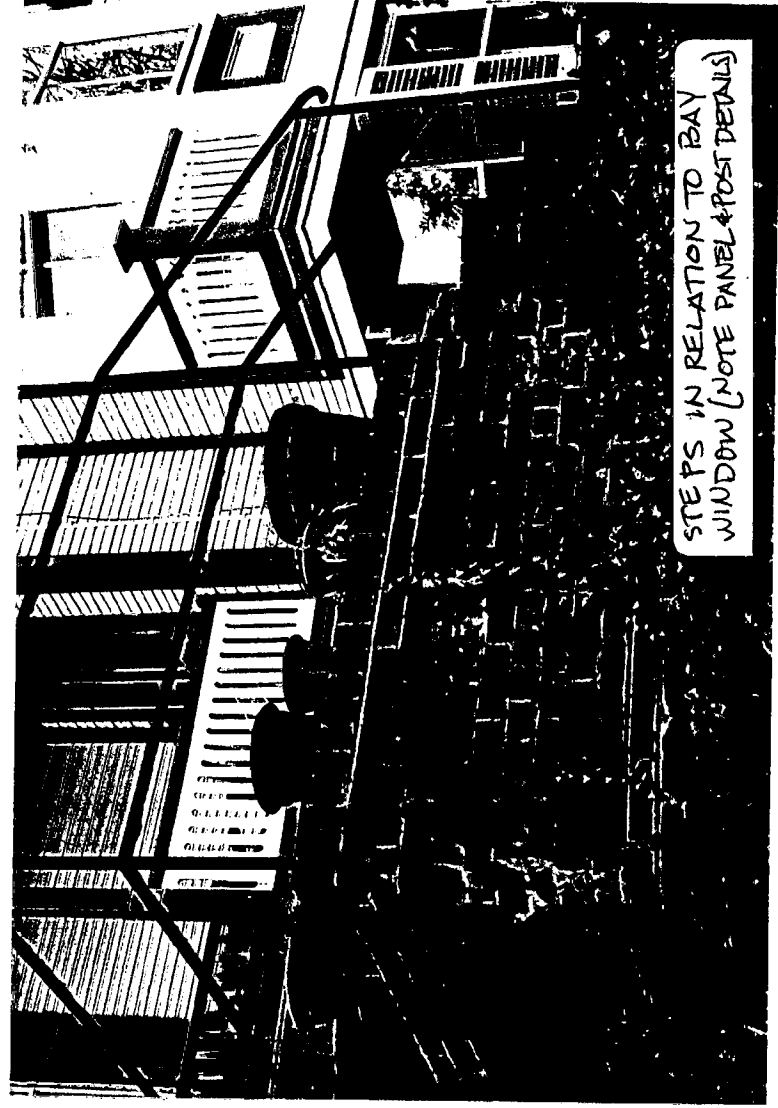


NETZER
5 OF 7



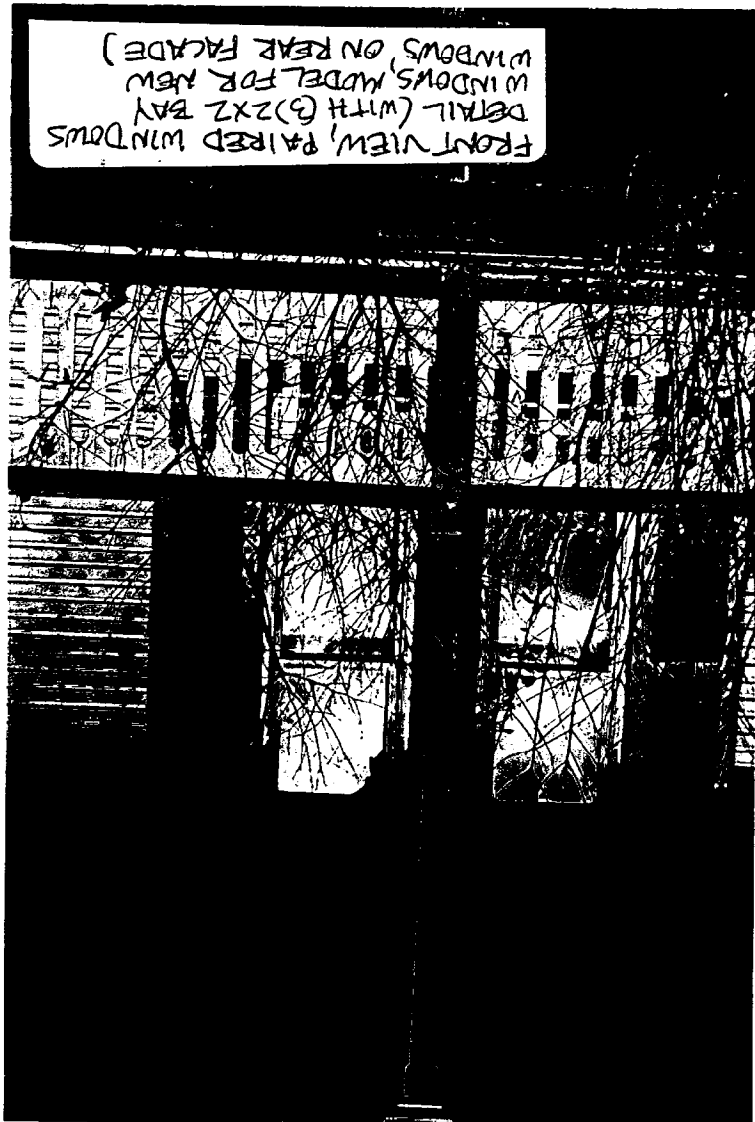
(BAY WINDOW (SIDE OF HOUSE)
SHOWING DETAILS TO BE USED
ON NEW STAIRS

METZGER
6 OF 7



STEPS IN RELATION TO BAY
WINDOW (NOTE PANEL & POST DETAILS)

te



METZGER
7 of 7

METZGER RESIDENCE

9815 HOLLOW GLEN PL.
KENSINGTON, MD

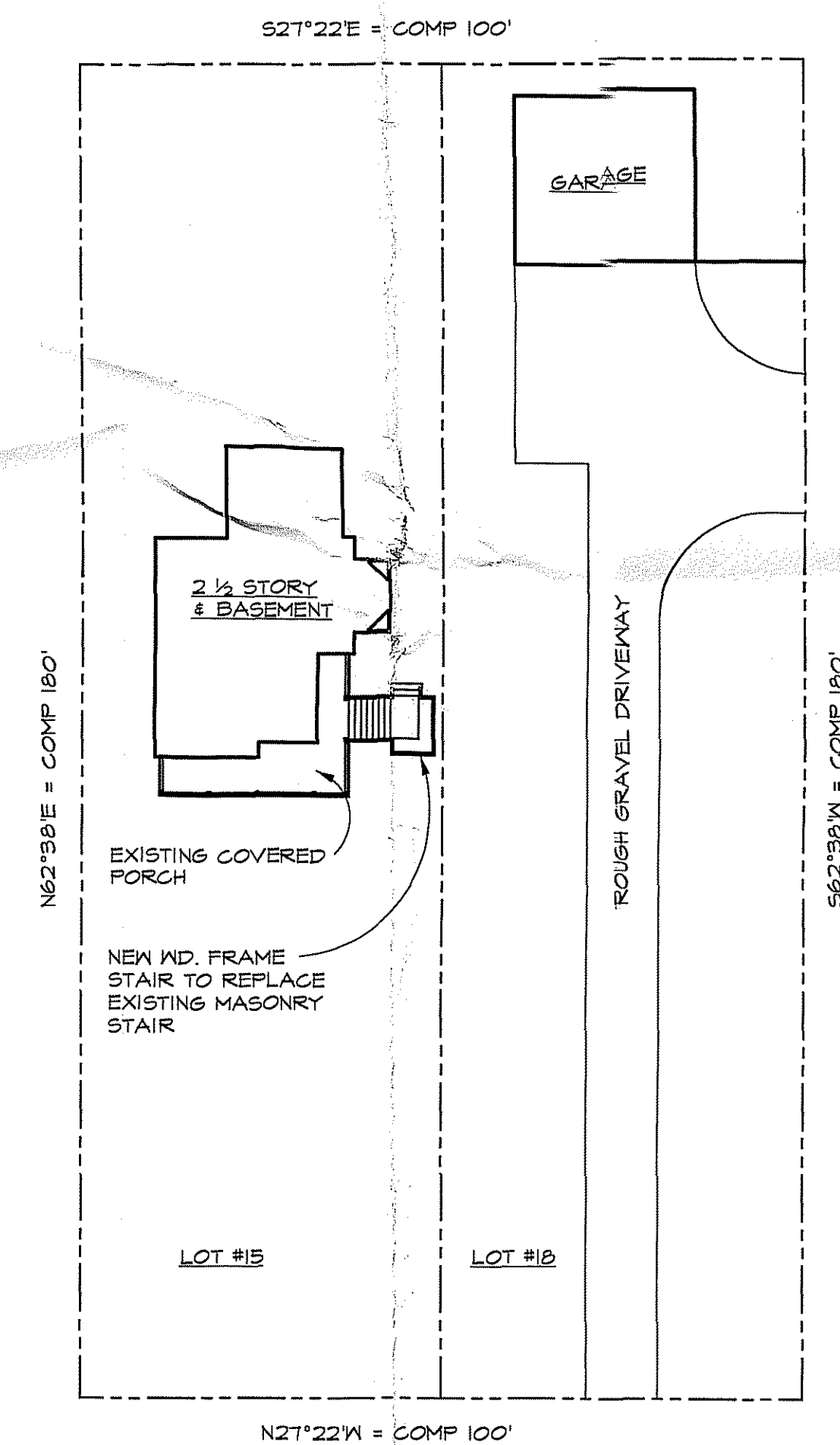
FLAT DATA

SUBDIVISION = FOREST GLEN INVESTMENT COMPANY'S,
SUBDIVISION OF JOSEPH'S PARK
BLOCK = 17
LOTS = 15 & 16

LIBER = 6747
FOLIO = 462

GTM ARCHITECTS
10415 ARMORY AVENUE,
KENSINGTON, MD, 20845
(301)442-4062
(301)442-3424 FAX

SITE PLAN



9815 HOLLOW GLEN PL.
KENSINGTON, MD
COVER SHEET

METZGER RESIDENCE

REVISIONS:
△ PER HPG, 5/16/02

SEAL:

DRAWN BY: MB

CHECKED BY: MDH

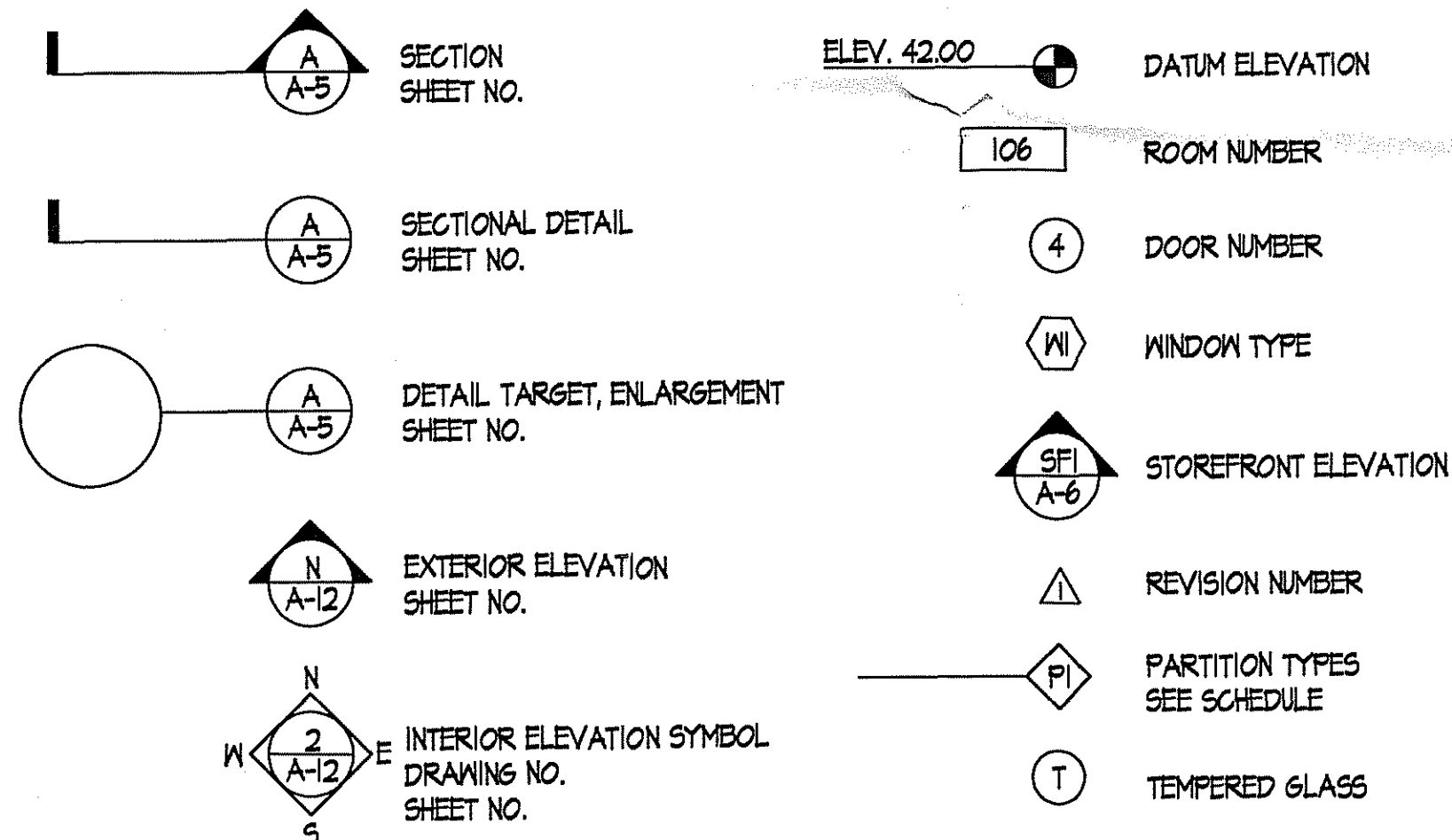
SCALE: AS NOTED

DATE: 2/4/02

PROJECT NO. 2001221

DRAWING NO. CS

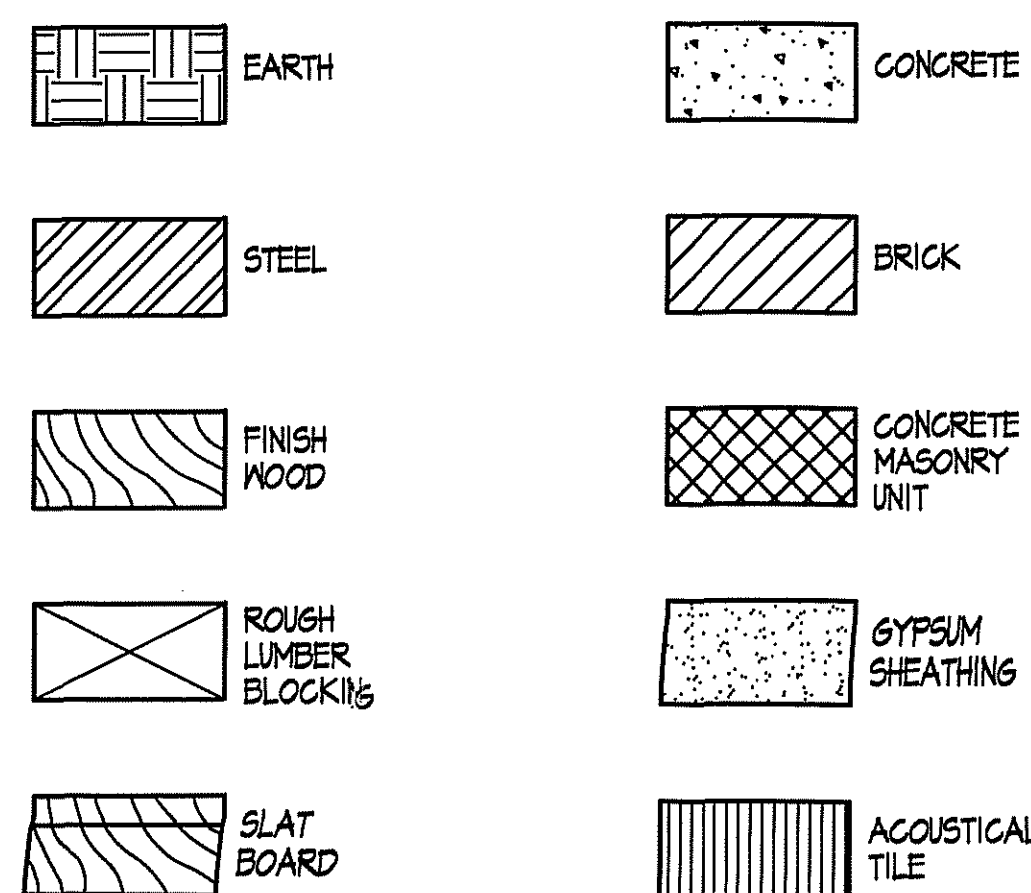
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- D1.0 DEMOLITION PLANS
- A1.0 FOUNDATION PLAN & FIRST FLOOR PLAN
- A1.1 PORCH STAIR ELEVATIONS & SECTION
- A2.0 EXISTING KITCHEN PLAN & ELEVATION, PROPOSED KITCHEN PLAN & ELEVATION

MATERIAL SYMBOLS

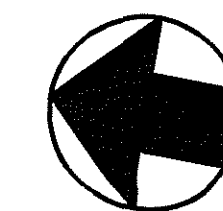


ABBREVIATIONS

ABOVE FINISH FLOOR	AFF	EACH	EA	INTERIOR	INT	PLATE	PL	VESTIBULE	VEST
ACoustic	AC	EAST	E	JANITOR'S CLOSET	JC	PLASTER	PLH	W/VTL COMPOSITE TILE	WCT
ADJUSTABLE	ADJ	ELECTRIC, ELECTRICAL	ELE	JOINT	JT	PLYWOOD	PLY	VOLTS	V
AIR CONDITIONING	AC	ELEVATION	EL	JUNCTION BOX	JB	POLYVINYL CHLORIDE	PVC	WALLBOARD	WB
AIR HANDLING	AH	ELEVATORS	ELV	JOIST	JO	POUNDS PER SQUARE INCH	PSI	HELDED WIRE FABRIC	HWF
AIR HANDLING UNIT	AHU	EMERGENCY POWER	EM	LAMINATED	LAM	PREFABRICATED	PREFAB	PREFAB	P
ALTERNATE	ALT	EMPTY CONDUIT	EC	LAUANDRY	LAV	PREFINISHED	PREFIN	PREFIN	PF
ALTERNATE CURRENT	AC	ENGINEER	ENGR	LEFT HAND	LH	PREFINISHED	PREFIN	PREFIN	PF
ALUMINUM	AL	ELECTRIC WATER COOLER	EW	LENGTH	LEN	PREFINISHED	PREFIN	WITHOUT	WO
ANCHOR BOLT	AB	EXHAUST	EX	LIBRARY	LIB	QUARRY TILE	QT	YARD	YD
ARCHITECT	ARCH	EXISTING	EX	LIBRARY	LIB	RADIUS	RAD, R		
ARCHITECT	ARCH	EXPANSION	EXP	LIBRARY	LIB	REFRESHEN	REF		
AVERAGE	AVG	EXPANSION JOINT	EXP JT	LIBRARY	LIB	REINFORCING	REINF		
BEAM	BM	EXTERIOR	EXT	LIBRARY	LIB	RESURF	RES		
BOARD	BD	FAHRENHEIT	F	LONG LEG HORIZONTAL	LLH	SCHEDULE	SCHD		
FEET PER MINUTE	FFM	FEET PER MINUTE	FFM	LONG LEG VERTICAL	LLV	SECTION	SECT		
FEET, FOOT	FT	FEET, FOOT	FT	MAINTENANCE	MAINT	SECTION	SECT		
CABINET	CAB	FINISH	FIN	MANUFACTURER	MFR	RESILIENT	RES		
CATALOG	CAT	FIRE EXTINGUISHER CAB.	FX	MASONRY	MAS	RETURN AIR	RA		
CELLING	CEL	FLOOR	FL	MASONRY OPENING	MO	REVISION	REV		
CENTERLINE	CL	FLOORSCENT	FL	MAXIMUM	MAX	RIGHT HAND	RH		
CERAMIC TILE	CT	FIRE RATED	FR	MECHANICAL	MECH	ROUGH OPENING	RO		
CLOSET	CLO	GAUGE	GA	MEDIUM	MED	MEZZANINE	MEZZ		
COMPANY	CO	GALLON	GAL	MISCELLANEOUS	MISG	MISCELLANEOUS	MISC		
CONCRETE	CONC	GALLONS PER MINUTE	GPM	MOUNTED	MTD	MULLION	MUL		
CONCRETE MASONRY UNITS	CMU	GALVANIZED	GV	NOT IN CONTRACT	NC	SQUARE	SQ		
CONCRETE	CONC	GENERAL CONTRACTOR	GC	NOT TO SCALE	NTS	SCHEDULE	SCHD		
CONTINUOUS	CONT	GROUND FAULT INTERRUPT.	GFI	NUMBER	N	SECTION	SECT		
CONTROL JOINT	CJ	GYPSUM	GYP			SERVICE SINK	SS		
COORDINATE	COORD	GYPSUM WALLBOARD	GW			SIMILAR	SLR		
CORRIDOR	CO	HANDICAPPED	HDGP	OFFICE	OFF	SOLID TRANSMISSION	STR		
CUBIC FEET	CF	HARDWARE	HDW	ON CENTER	OC	STANDARD	STD		
CUBIC FEET PER MINUTE	CFM	HARDWOOD	HW	OPENING	OPN	STAND PIPE	STP		
DEDICATED	DED	HAZARD	HZ	OPPOSITE	OPP	STAINLESS STEEL	SS		
DEPARTMENT	DEPT	HEIGHT	HGT, H	OPENING	OPN	STATION	STN		
DEPTH	DEPT	HORIZONTAL	HORZ	OVERALL	OA	STEEL	STL		
DETAIL	DET	HORSE POWER	HP	OVERHEAD	OH	STRUCTURAL	STRUC		
DIAGONAL	DIAG	HOUR	HR	PANTRY	PAN	SUSPENDED CEILING	SUSP		
DIAMETER	DIAM	HOLLOW METAL	HMT	PANEL	PAN	TYPICAL	TYP		
DIMENSION	DN	HOSE WATER HEATER	HW	PARTITION	PTM	TONS & GROOVE	T & G		
DISPATCHER	DP	INCH	IN	PERSONAL COMPUTER	PC	TYPICAL	TYP		
DOWN	DN	INFORMATION	INFO	PERSONAL COMPUTER	PC	TYPICAL	TYP		
DOWN	DN	INSIDE DIAMETERS	ID	PLASTIC LAMINATE	PL	VERTICAL	VERT		
DRAINING	DR	INSULATED INSULATION	INSUL						
DRINKING FOUNTAIN	DF								

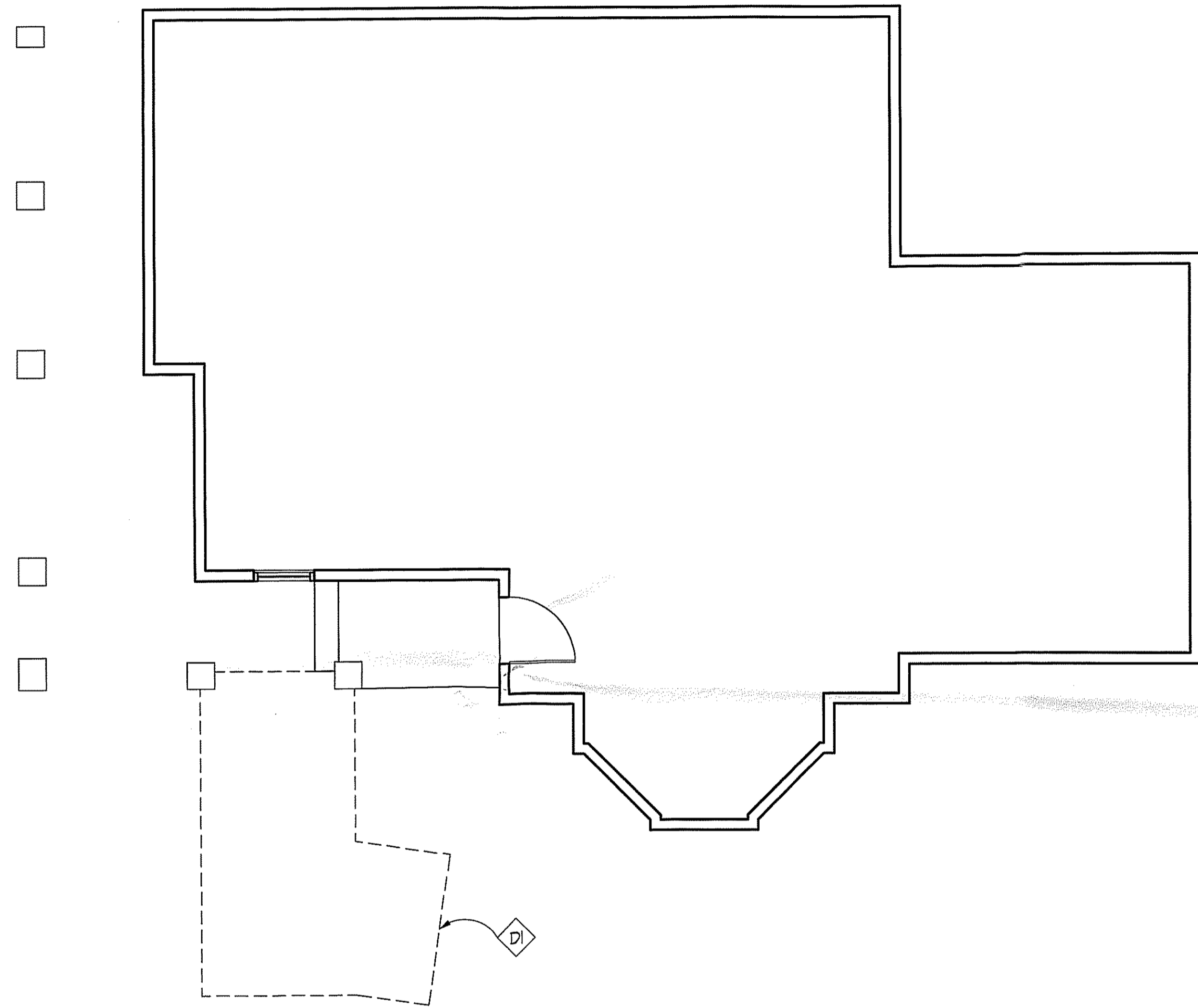
SITE PLAN
SCALE: 1"=20'-0"

APPROVED
Morrison County
Historic Preservation Commission
[Signature]
5/11/02

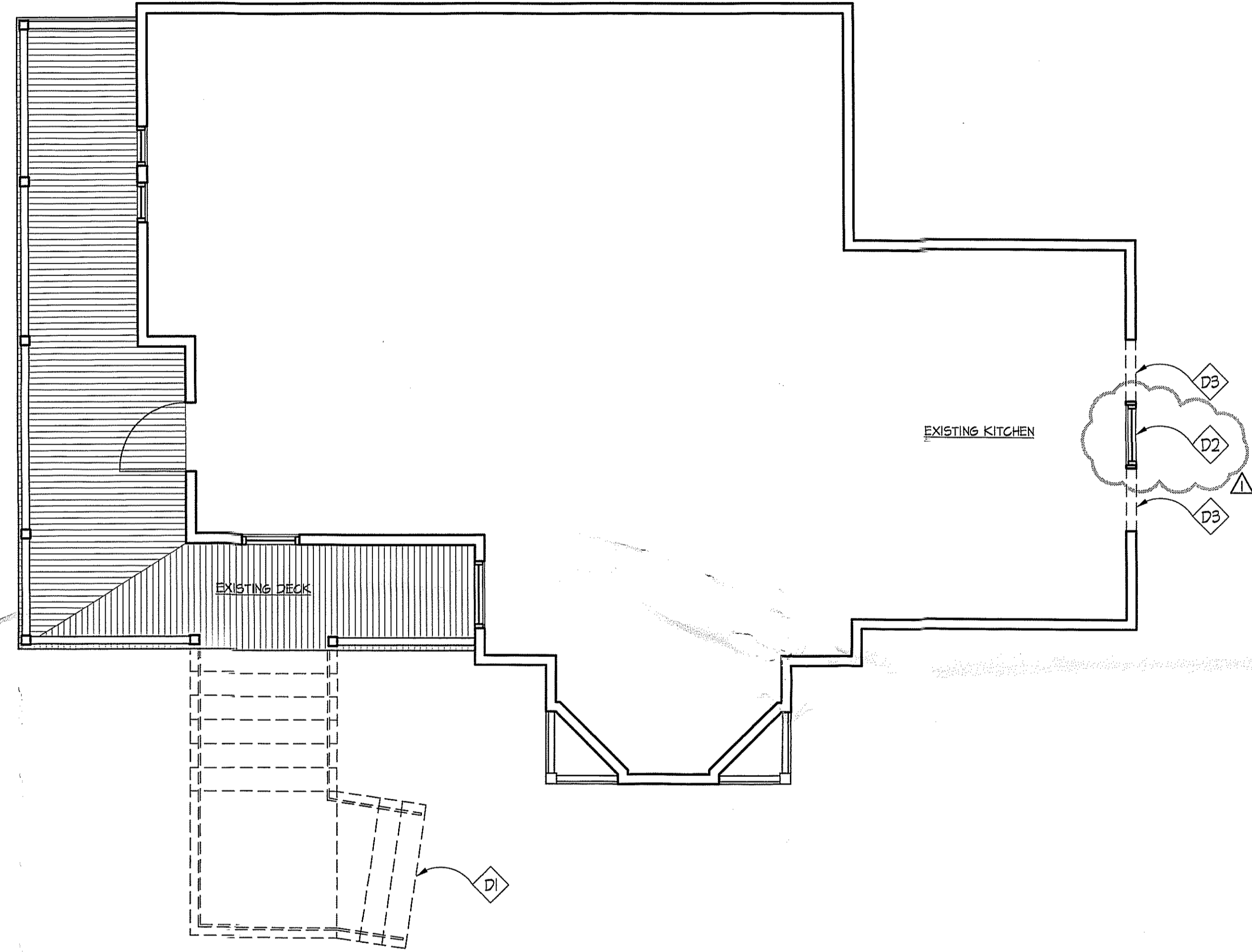


*OWNER'S SET

**METZGER
 RESIDENCE**



1 BASEMENT DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



2 FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

REVISIONS:
 ▲ PER HPC, 5/6/02

SEAL:

DRAWN BY: MEB
 CHECKED BY: MDH
 SCALE: AS NOTED
 DATE: 2/4/02
 PROJECT NO. 2001221
 DRAWING NO.

D1.0

DEMOLITION NOTES

- D1 REMOVE EXISTING MASONRY STAIR AND METAL RAILING.
- D2 EXISTING WINDOW TO REMAIN.
- D3 REMOVE EXISTING WALL, AS REQUIRED.

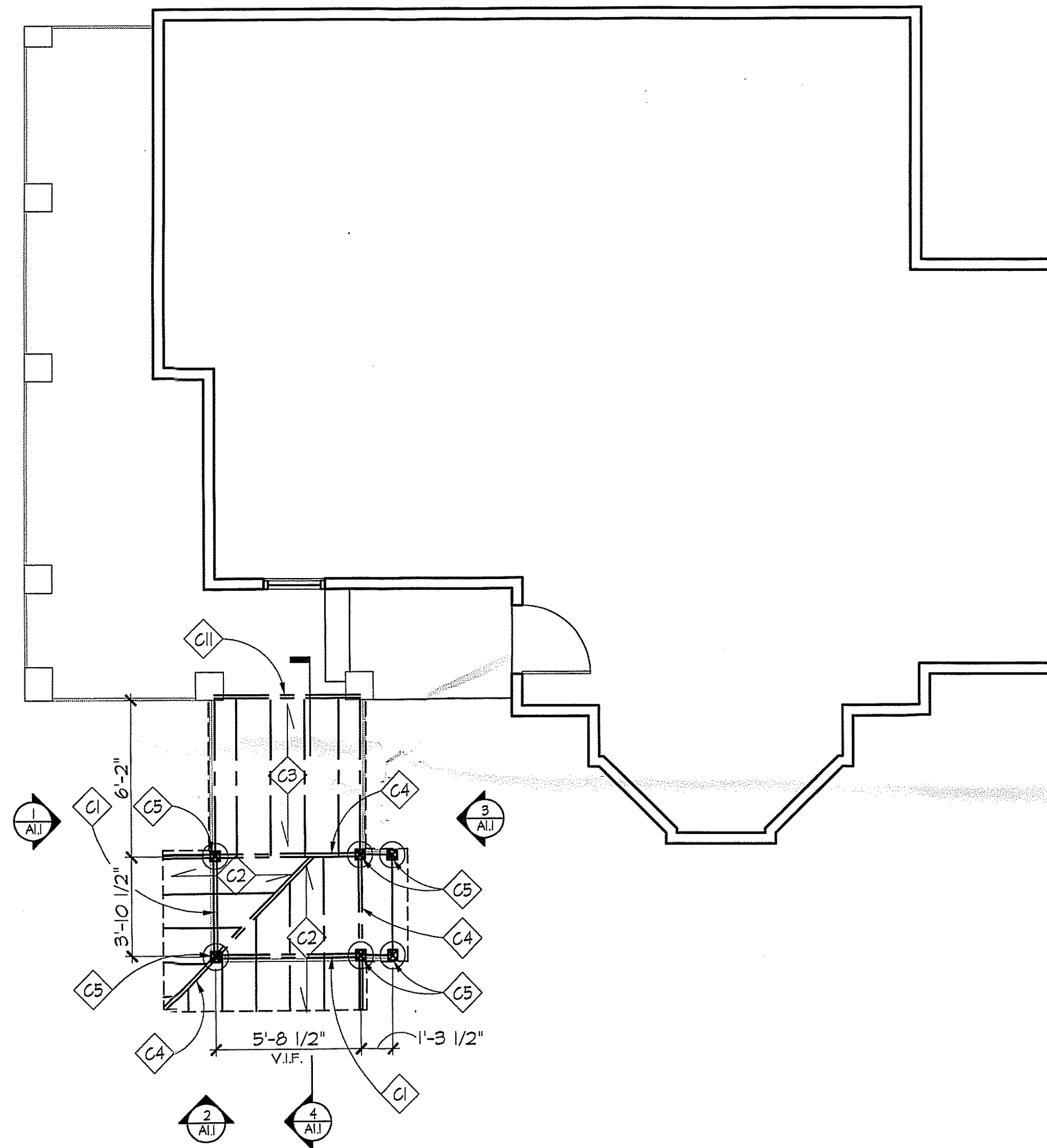
GENERAL DEMOLITION NOTES

1. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work.
3. All dashed walls, fixtures, windows, etc., are to be removed.
4. Conduct all demolition operations in compliance with applicable codes and ordinances.
5. Coordinate demolition with work of subcontractors.
6. Maintain the existing structure in a watertight condition at all times.
7. Relocate/ remove any existing gas, electrical, plumbing lines, etc. in conflict with new work.

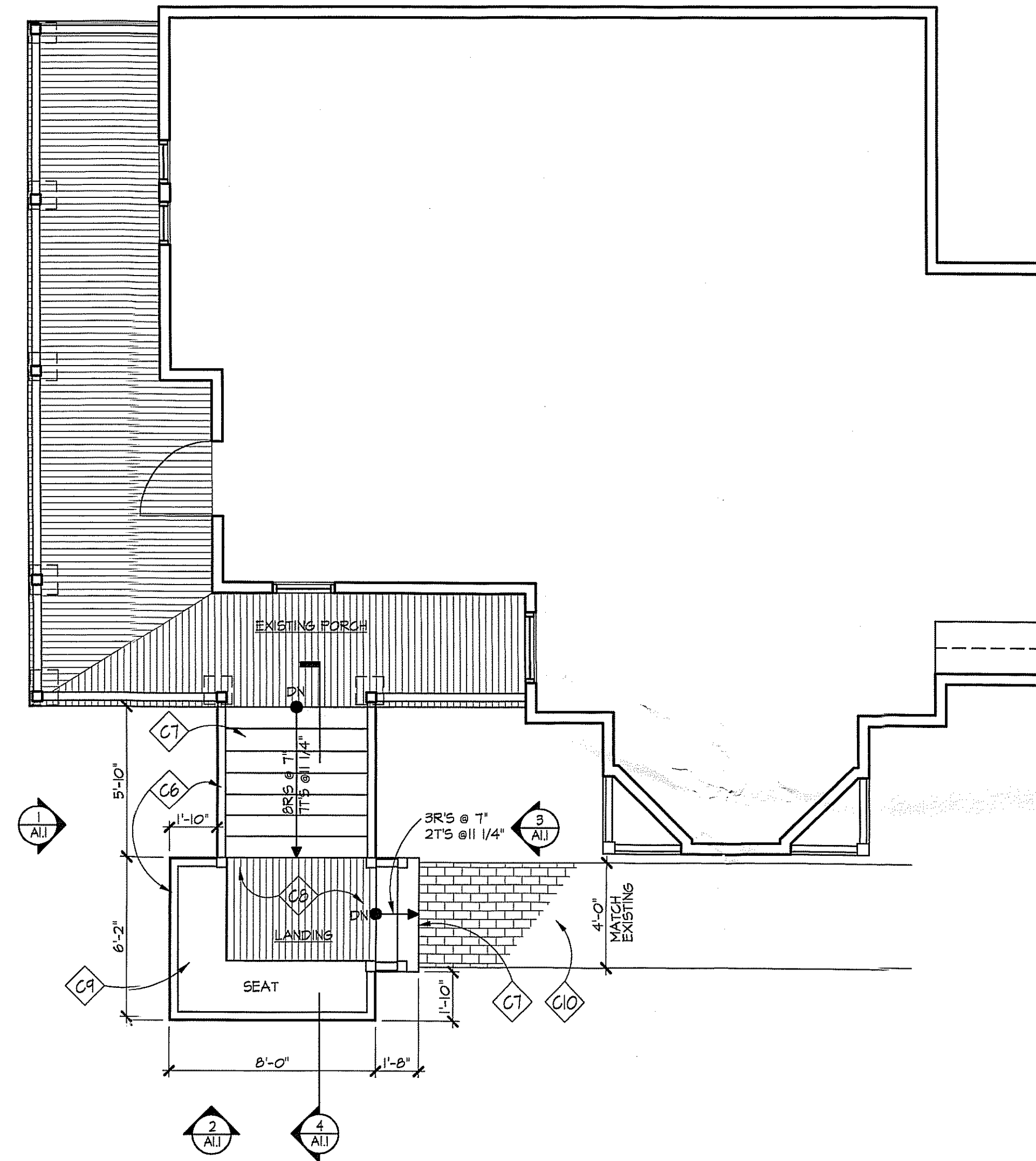
APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]
 5/15/02

**METZGER
RESIDENCE**



1 FOUNDATION & FRAMING PLAN
SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 (2) 2x8 PRESSURE TREATED LOYER BEAM
- C2 2x8 PRESSURE TREATED DECK JOISTS @ 16" O.C.
- C3 2x12 STAIR STRINGER PRESSURE TREATED @ 16" O.C.
- C4 (2) 2x8 PRESSURE TREATED DECK JOISTS
- C5 4 1/2" x 4 1/2" POST SET IN 12" x 2'-6" DEEP CONCRETE FOOTER, TYP.
- C6 CUSTOM RAILING, 1 1/2" x 3 1/2" W/ ROUNDED TOP TO MATCH EXISTING, FTD, TYP.
- C7 SMOOTH STAIR TREAD, 11 1/4" x 3/4", FTD, TYP.
- C8 T & G COMPOSITE DECKING, TO BE TENDURAPLANK (1-800-TENDURA), FTD, TYP.
- C9 EXTERIOR PLYWOOD SEAT, A-C EXTERIOR GRADE, W/ WD EDGE TRIM, FTD, TYP.
- C10 BRICK PAVER PATH SET IN CONCRETE SLAB
- C11 (2) 2x8 PRESSURE TREATED BEAM, POCKET INTO MASONRY PIERS.

GENERAL NOTES

1. CENTER ALL PIERS & COLUMNS W/ CENTER OF FOOTINGS (TYP)
2. BOTTOM OF ALL FOOTINGS SHALL BE A MIN. OF 2'-6" BELOW FIN. GRADE UNLESS NOTED OTHERWISE (TYP)

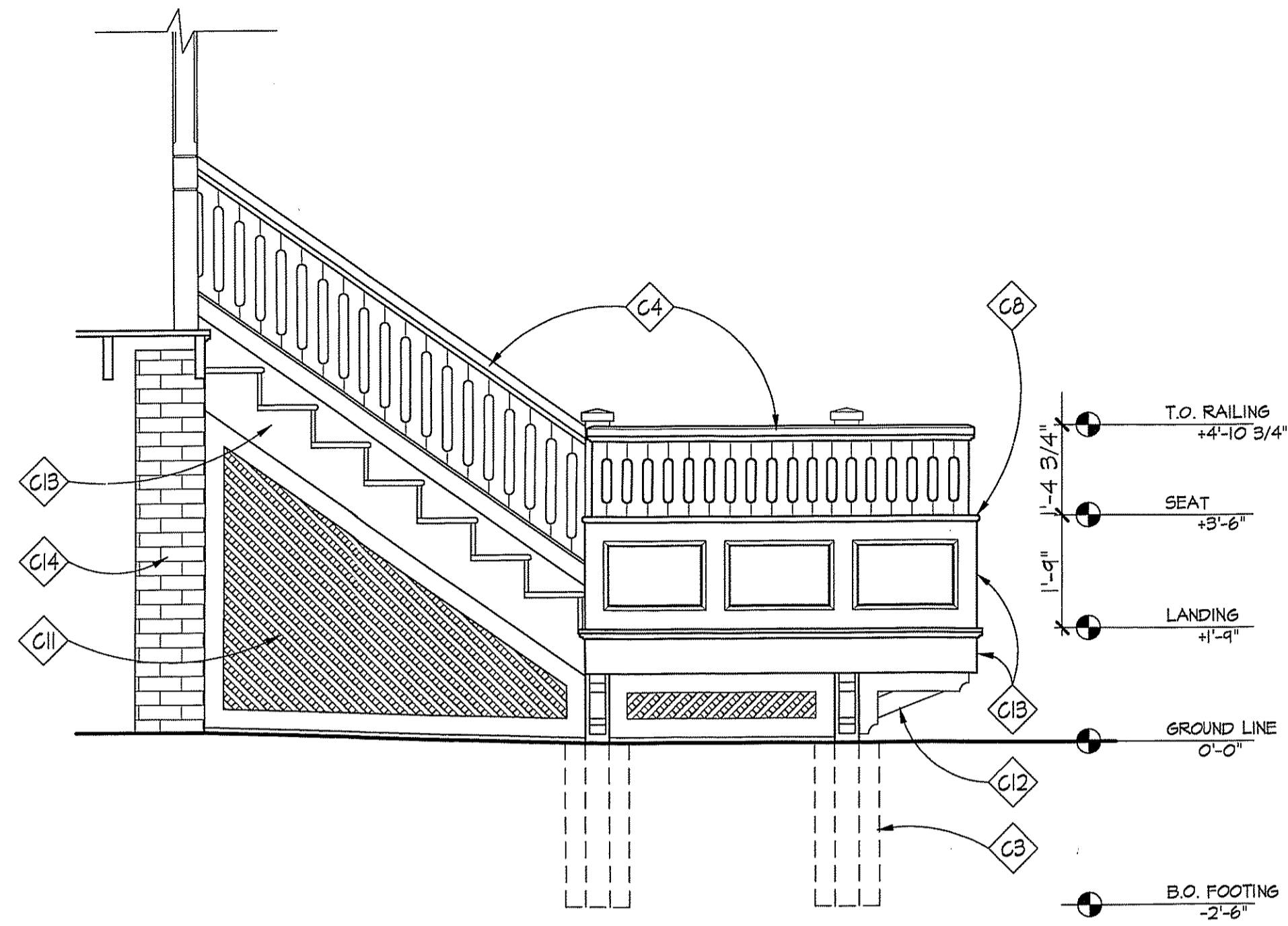
APPROVED
Montgomery County
Historic Preservation Commission

[Signature]
5/3/02

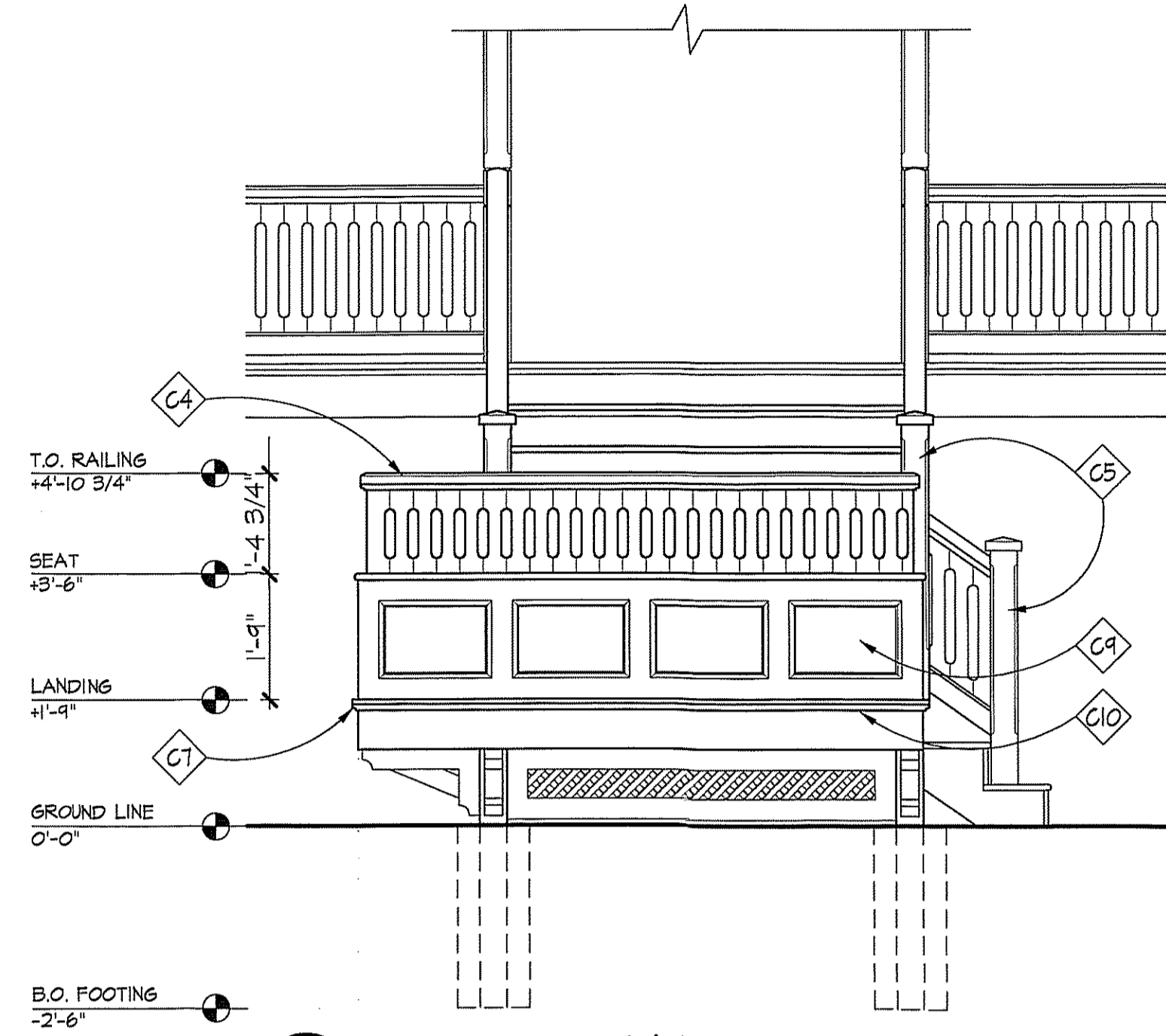
REVISIONS:
SEAL:

DRAWN BY: MB
CHECKED BY: MDH
SCALE: AS NOTED
DATE: 2/4/02
PROJECT NO. 2001221
DRAWING NO.

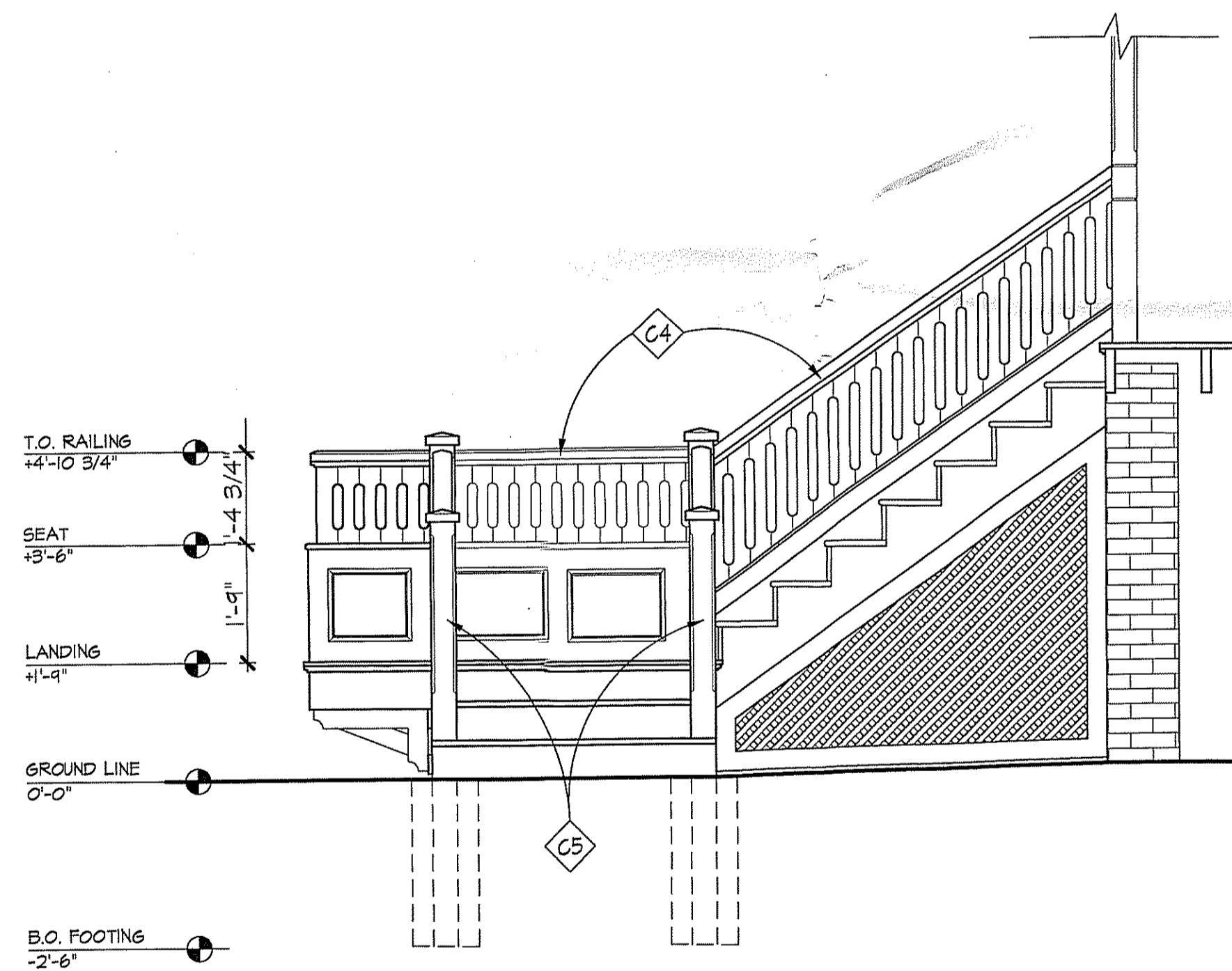
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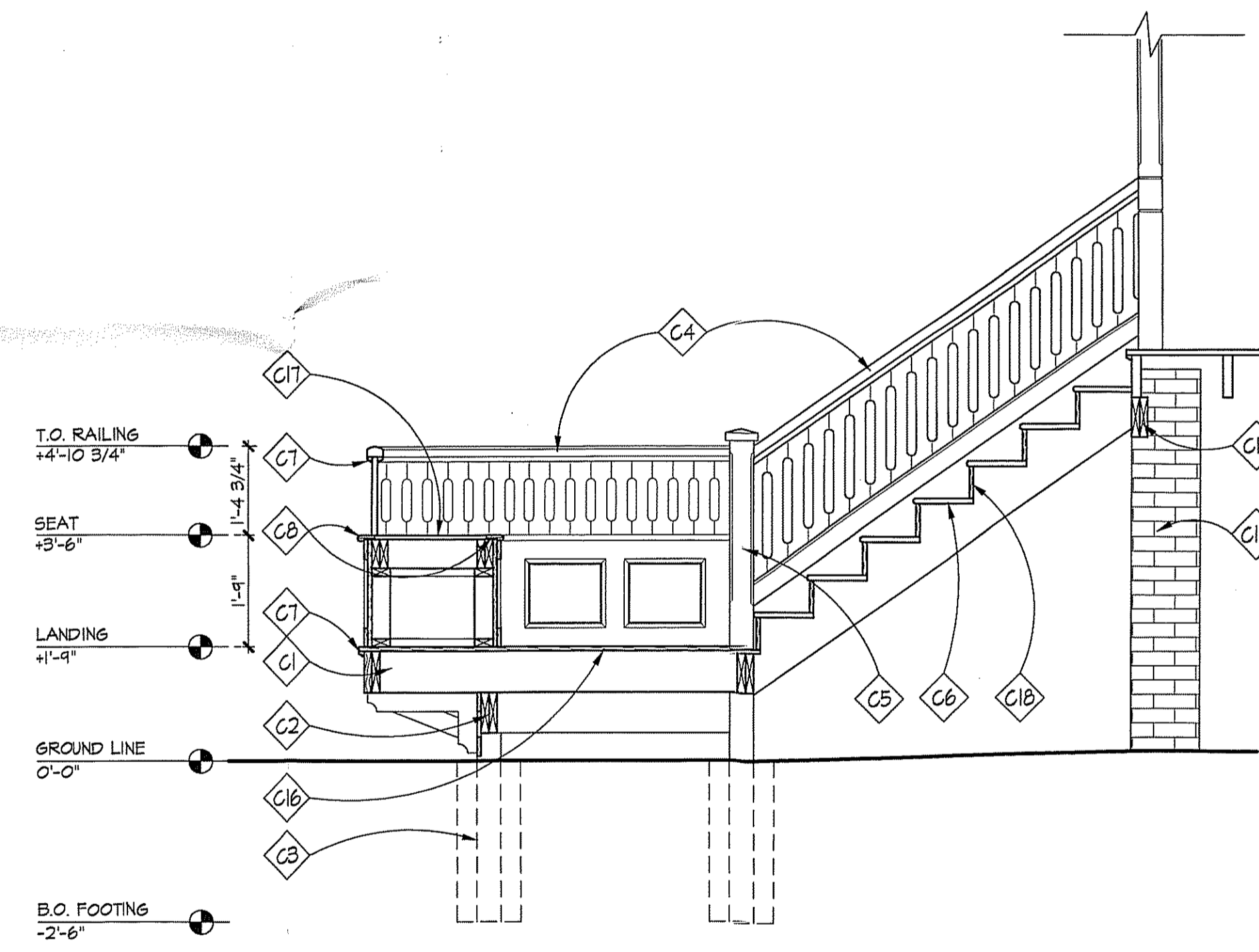
1 FRONT ELEVATION
 SCALE: 1/2"=1'-0"



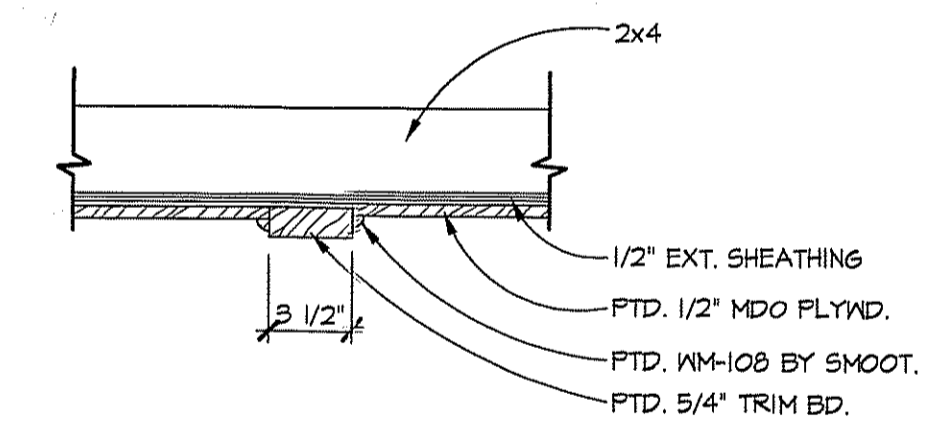
2 RIGHT SIDE ELEVATION
 SCALE: 1/2"=1'-0"



3 REAR ELEVATION
 SCALE: 1/2"=1'-0"



4 SECTION
 SCALE: 1/2"=1'-0"



5 PANEL DETAIL
 SCALE: 1 1/2"=1'-0"

CONSTRUCTION NOTES

- C1 CANTILEVERED 2x8 PRESSURE TREATED DECK JOISTS, TYP.
- C2 LOWER DOUBLE 2x8 PRESSURE TREATED BEAM, TYP.
- C3 4 1/2"x4 1/2" PRESSURE TREATED POST INCASED IN 12"x 2'-6" DEEP CONCRETE FOOTER, TYP.
- C4 W/D RAILING TO MATCH EXISTING, PTD, TYP.
- C5 PRESSURE TREATED POST TO MATCH EXISTING, PTD, TYP.

- C6 1 1/8" x 11 1/4" SMOOT STAIR TREAD
- C7 W/D BED MOULDING TO MATCH EXISTING, PTD, TYP.
- C8 1 1/8" x 3 1/2" SMOOT LANDING TREAD
- C9 PANEL, SEE DETAIL 5/A/1
- C10 NEW WATERTABLE TRIM TO MATCH EXISTING

- C11 W/D LATTICE SCREEN W/ 1x FLAT W/D TRIM SURROUND TO MATCH EXISTING, PTD, TYP.
- C12 DECORATIVE W/D BRACKET, PTD, TYP.
- C13 5/4 x FLAT W/D TRIM, PTD, TYP.
- C14 EXISTING MASONRY PIER, TYP.
- C15 NEW WATERTABLE TRIM TO MATCH EXISTING

- C16 T & G COMPOSITE DECKING, TO BE TENDURAPLANK (1-800-TENDURA), PTD, TYP.
- C17 EXTERIOR PLYWOOD SEAT, A-C EXTERIOR GRADE, PTD, TYP.
- C18 1x FLAT W/D RISER, PTD, TYP.
- C19 (2) 2x8 PRESSURE TREATED BEAM, POCKET INTO MASONRY PIERS.

GENERAL NOTES

1. CENTER ALL PIERS & COLUMNS W/ CENTER OF FOOTINGS (TYP)
2. BOTTOM OF ALL FOOTINGS SHALL BE A MIN. OF 2'-6" BELOW FIN. GRADE UNLESS NOTED OTHERWISE (TYP)

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]
 PD 2/5/16

REVISIONS:

SEAL:

DRAWN BY: MB
 CHECKED BY: MDH
 SCALE: AS NOTED
 DATE: 2/4/02
 PROJECT NO. 2001221
 DRAWING NO.

A1.1

**METZGER
 RESIDENCE**

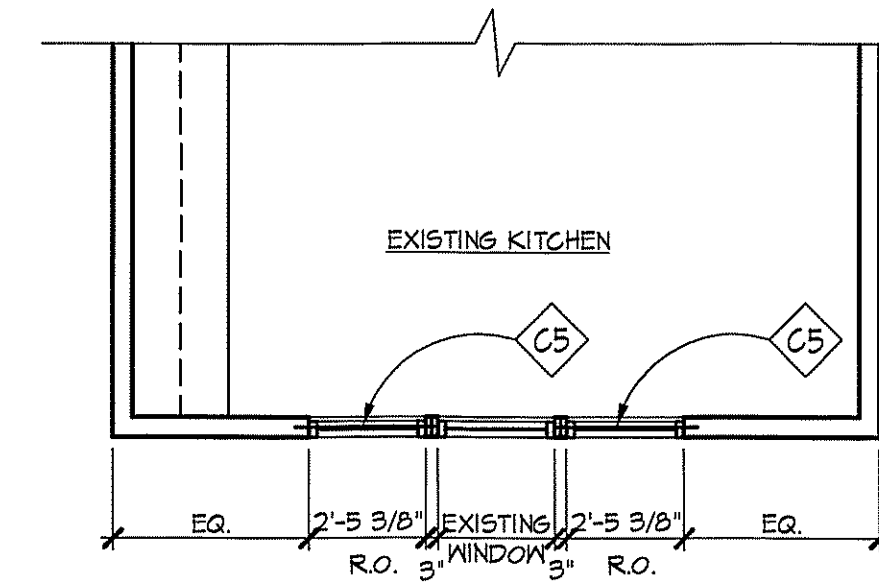
REVISIONS:
△ PER HPC, 5/6/02
SEAL:

DRAWN BY:	MB
CHECKED BY:	MDH
SCALE:	AS NOTED
DATE:	2/4/02
PROJECT NO.	2001221
DRAWING NO.	

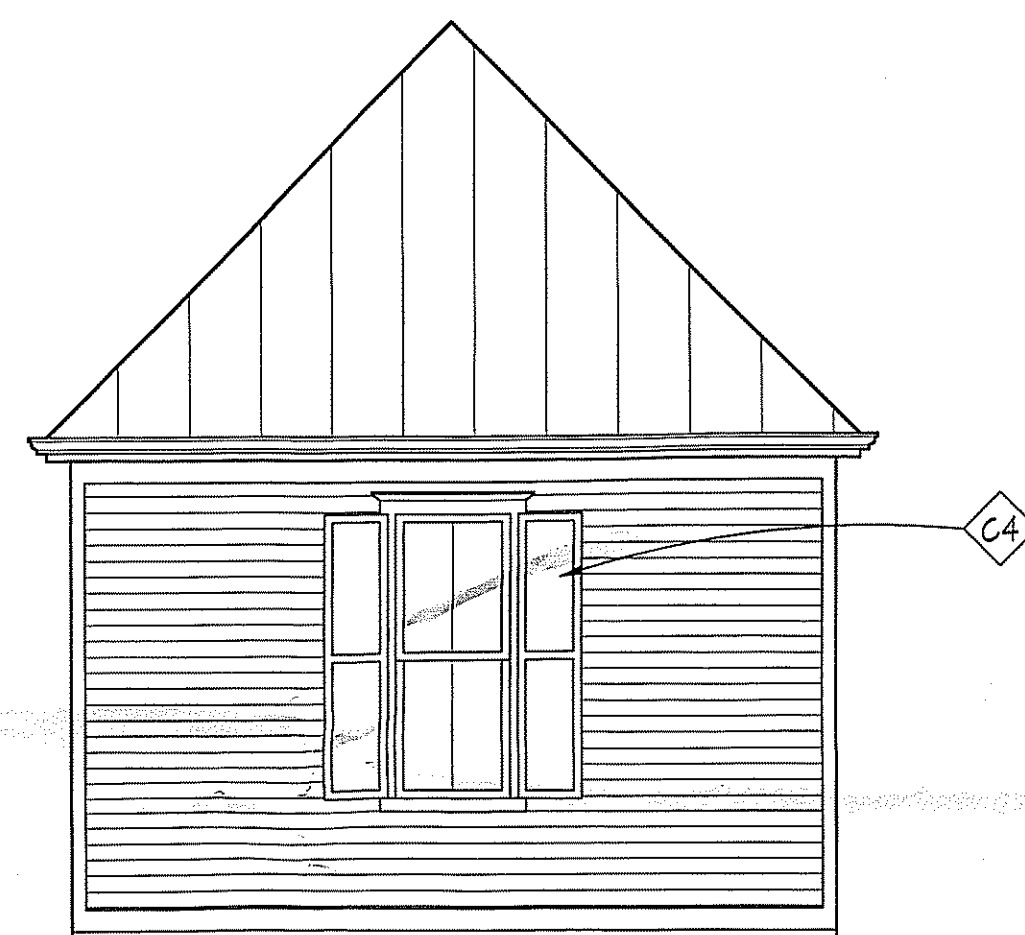
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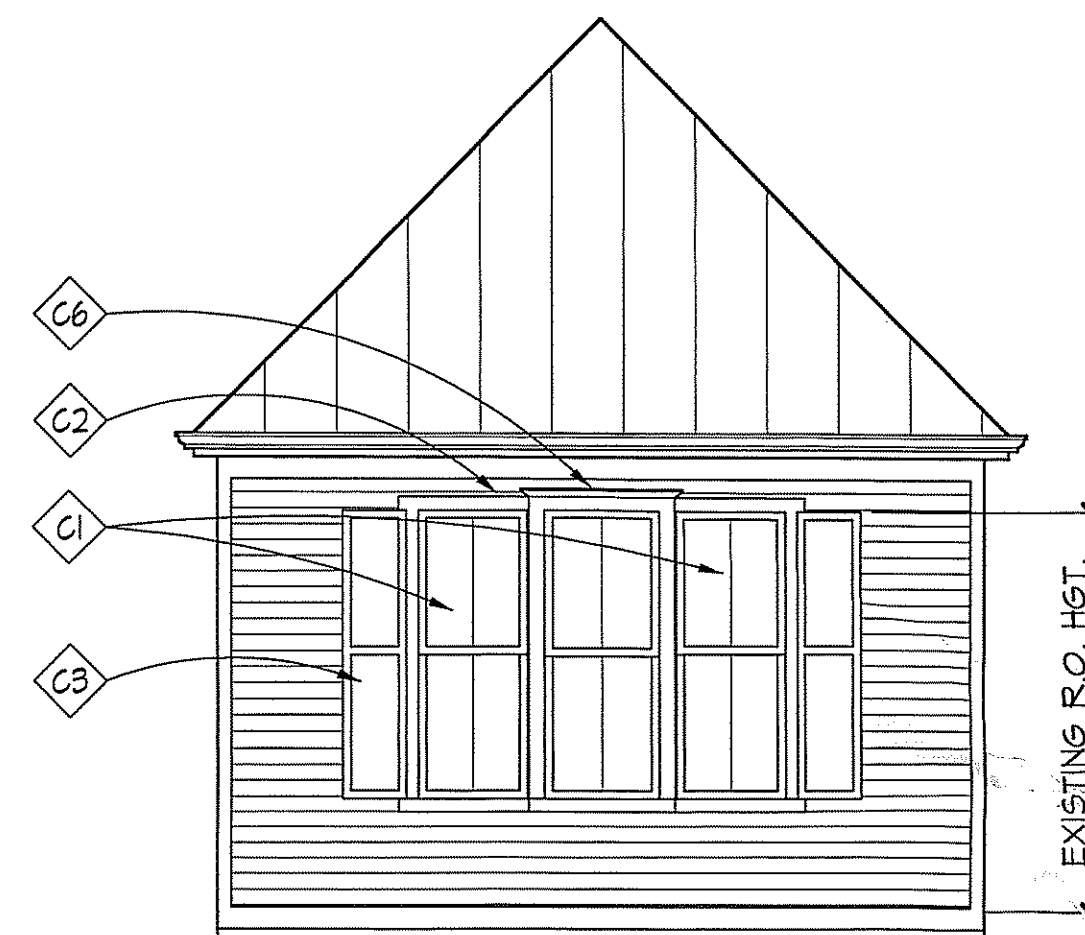
1 EXISTING PARTIAL KITCHEN PLAN
 SCALE: 1/4"=1'-0"



2 PROPOSED PARTIAL KITCHEN PLAN
 SCALE: 1/4"=1'-0"



3 EXISTING ELEVATION
 SCALE: 1/4"=1'-0"



4 PROPOSED ELEVATION
 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 (2) NEW MARVIN WOOD ULTIMATE DOUBLE HUNG WINDOWS, WUDH 2452, TO MATCH EXISTING, FTD, TYP. C6 EXISTING WINDOW CASING & TRIM TO REMAIN, PATCH AS REQUIRED & PAINT.
- C2 1x4 FLAT WD. CASING (BUTT INTO EXISTING CASING), FTD.
- C3 RELOCATED EXISTING SHUTTERS.
- C4 REMOVE & SAVE EXISTING SHUTTERS FOR REUSE.
- C5 NEW (2) 2x6 HEADER ABOVE.

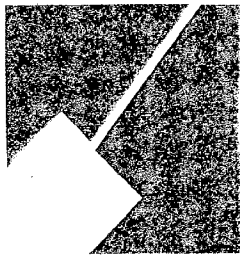
GENERAL NOTES

1. CENTER ALL PIERS & COLUMNS W/ CENTER OF FOOTINGS (TYP)
2. BOTTOM OF ALL FOOTINGS SHALL BE A MIN. OF 2'-6" BELOW FIN. GRADE UNLESS NOTED OTHERWISE (TYP)

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]
 5/9/02

FILE NAME: 127-000

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

May 9, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit 31/8-02A #274301

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied **Approved with Conditions:**

1. The original rear window will be retained in situ, including the original trim.
2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Philip and Lynn Metzger
9815 Hollow Glen Place
silver Spring, MD 20910



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PHILIP C. METZGER

Daytime Phone No.: 202-564-5779

Tax Account No.: 01995645

Name of Property Owner: PHILIP C. & LYNN C. METZGER Daytime Phone No.: 202-564-5779
301-585-2441

Address: 9815 HOLLOW GLEN PLACE SILVER SPRING MARYLAND 20910-1139
Street Number City Street Zip Code

Contractor: FINECRAFT CONTRACTORS Phone No.: 301-330-9191

Contractor Registration No.: 15965

Agent for Owner: MARK HUGHES, GTM ARCHITECTS Daytime Phone No.: 301-942-9062

Address: 10415 ARMORY AVENUE KENSINGTON, MARYLAND 20895

LOCATION OF BUILDING/PREMISE

House Number: 9815 Street: HOLLOW GLEN PLACE HP 62

Town/City: SILVER SPRING Nearest Cross Street: HOLMAN STREET

Lot: 15 Block: 17 Subdivision: FOREST GLEN INVESTMENT COMPANY SUBDIVISION

Liber: 67A7 Folio: 462 Parcel: PART OF A PARCEL KNOWN AS JOSEPH'S PARK

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: FRONT STAIRS
KITCHEN WINDOW

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Philip C. Metzger
Signature of owner or authorized agent

APRIL 5, 2002
Date

Approved: X w/ conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 5/8/02

Application/Permit No. (274301) 274301 Date Filed: 4/11/02 Date Issued: _____

GTM
ARCHITECTS

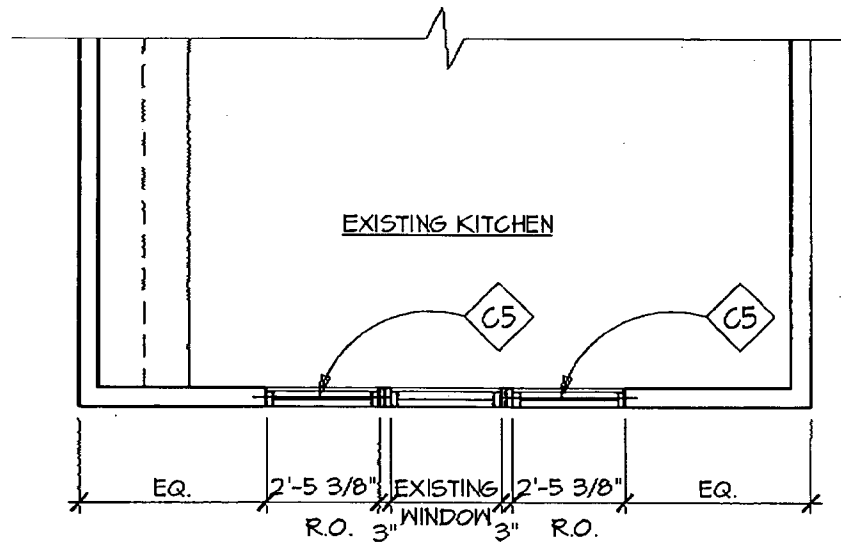
10415 Annery Avenue
Kensington, MD 20895
(301) 942-9062
Fax (301) 942-3929
Toll Free (877) 942-9062
www.gtmarchitects.com

FAX

Date: 5/8/02
To: Robin Zick From: Matt Blyse
Phone: _____ Phone: 301-942-9062 Ext. 18
Fax: 301-563-3412 Fax: 301-942-3929
Pages (including cover sheet): 4 GTM File #: 01-0221

Subject: Metzger Residence

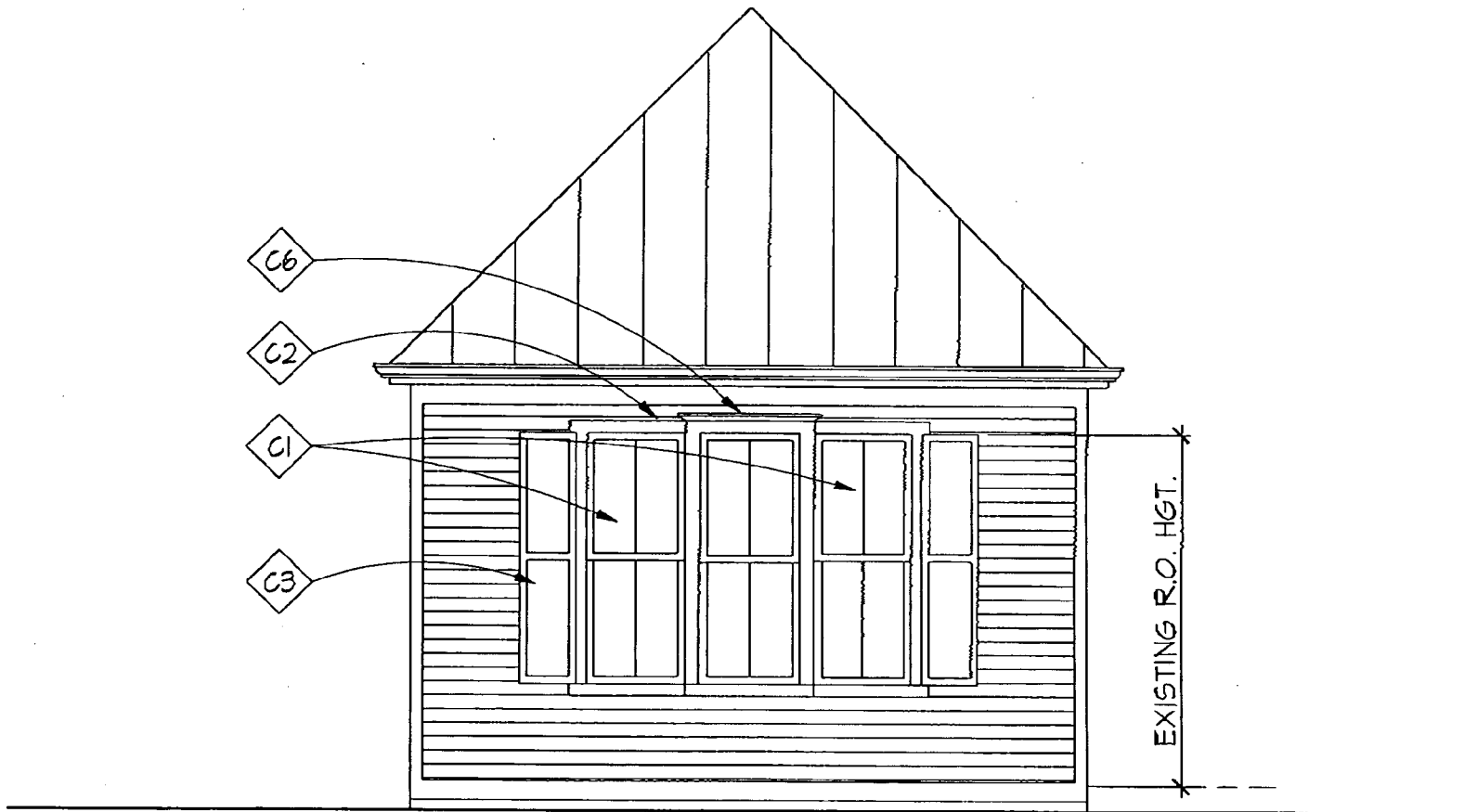
HPC case # 31/8-02A



2

PROPOSED PARTIAL KITCHEN PLAN

SCALE: 1/4"=1'-0"



4

PROPOSED ELEVATION

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

C1 (2) NEW MARVIN HOOD ULTIMATE DOUBLE HUNG WINDOWS, WUDH 2432, TO MATCH EXISTING, PTD, TYP. C6 EXISTING WINDOW CASING & TRIM TO REMAIN, PATCH AS REQUIRED & PAINT.

C2 1x4 FLAT MD. CASING (BUTT INTO EXISTING CASING), PTD.

C3 RELOCATED EXISTING SHUTTERS.

C4 REMOVE & SAVE EXISTING SHUTTERS FOR REUSE.

C5 NEW (2) 2x6 HEADER ABOVE.

REVISIONS: 07/10/10



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PHILIP C. METZGER

Daytime Phone No.: 202-564-5779

Tax Account No.: 01995645

Name of Property Owner: PHILIP C. & LYNN C. METZGER Daytime Phone No.: 202-564-5779
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Address: 9815 HOLLOW GLEN PLACE SILVER SPRING MARYLAND 20910-1139
Street Number City State Zip Code

Contractor: FINECRAFT CONTRACTORS Phone No.: 301-330-9191

Contractor Registration No.: 15965

Agent for Owner: MARK HUGHES, GTM ARCHITECTS Daytime Phone No.: 301-942-9062

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Town/City: SILVER SPRING Nearest Cross Street: HOLMAN STREET

Lot: 15 Block: 17 Subdivision: FOREST GLEN INVESTMENT COMPANY SUBDIVISION

Liber: 6747 Folio: 462 Parcel: PART OF A PARCEL KNOWN AS JOSEPH'S PARK

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1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: FRONT STAIRS
KITCHEN WINDOW

1B. Construction cost estimate: \$ 25,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

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PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Philip C. Metzger
Signature of owner or authorized agent

APRIL 5, 2002
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No. (274301) 274301 Date Filed: 4/11/02 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

JOSEPH HERTFORD HOUSE IS DESCRIBED IN MASTER PLAN AMENDMENT ESTABLISHING FOREST GLEN HISTORIC DISTRICT AS AN "OUTSTANDING RESOURCE," BUILT C.1891 BY A PRESIDENT OF FOREST GLEN INVESTMENT COMPANY. SET ON A SMALL RISE 87' BACK FROM HOLLOW GLEN PLACE, "THE QUEEN ANNE-STYLE HOUSE FEATURES A THREE-STORY TOWER, WRAP-AROUND PORCH AND COVERED BALCONY SURMOUNTING A BAY WINDOW ON THE SOUTH SIDE ELEVATION." STREET AND NEIGHBORS' VIEW OF EXISTING, NON-CONFORMING BRICK FRONT STEPS (BUILT C.1950) IS PARTIALLY OBSCURED BY THICKET OF ESTABLISHED VEW AND DECIDUOUS "BURNING BUSH" SHRUBS.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

(1) NON-HISTORIC FRONT STEPS AND METAL HANDRAIL (BUILT C.1950) WILL BE DEMOLISHED AND REMOVED. NEW WOODEN STAIR, RAILS, LANDING WITH SEAT WILL BE BUILT WITH ALL FEATURES (RAILS, BALUSTERS, SIDE PANELS, POST CAPS, LATTICE, SUPPORT BRACKETS, ETC.) TO MATCH HISTORIC FEATURES ON HOUSE, AND (2) EXISTING SINGLE 2X2 WINDOW ON REAR (KITCHEN) WALL WILL BE REMOVED (INCL. NON-HISTORIC TRIPLE TRACK STORMS/SCREENS, INSTALLED C.1974) AND THREE NEW 2X2 WINDOWS TO MATCH EXISTING WILL BE INSTALLED, AND ALL EXISTING MOULDING/TRIM RETAINED AND MATCHED. BANKED WINDOWS MATCH TREATMENT ON FRONT SIDE BAY WINDOWS.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 3 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 5" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

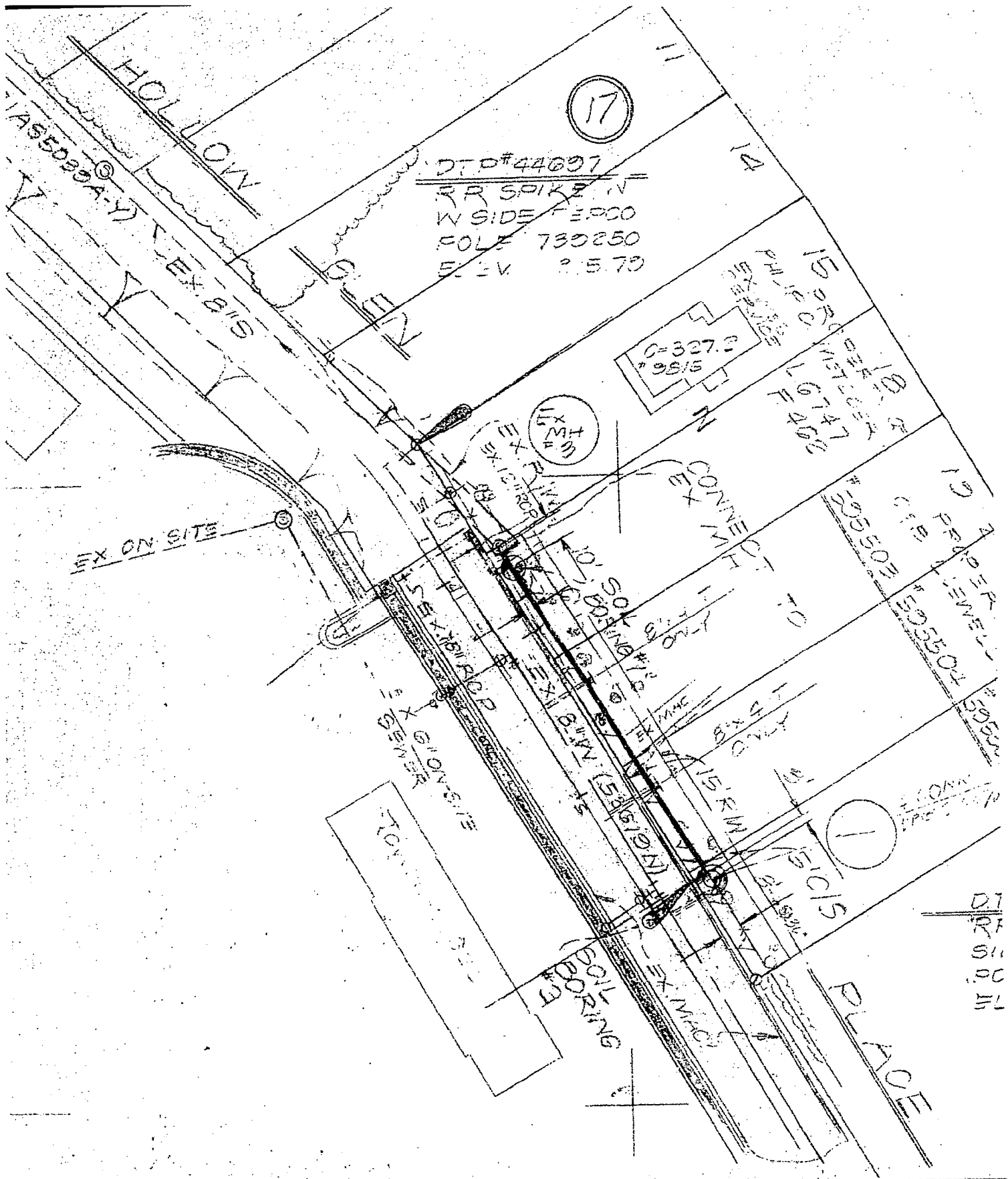
For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1351.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

NOTE: NO CONFRONTING PROPERTY OWNERS - SEE ATTACHED PARTIAL COPY OF WSSC MAP SHOWING LOCATION OF TOWNHOUSES ACROSS HOLLOW GLEN PLACE DO NOT CONFRONT PROPERTY

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address PHILIP & LYNN METZGER 9815 HOLLOW GLEN PLACE SILVER SPRING, MD 20910-1139	Owner's Agent's mailing address MARK HUGHES GTM ARCHITECTS 10415 ARMORY AVENUE KENSINGTON, MD 20895
Adjacent and confronting Property Owners mailing addresses	
ROBERT & MARY SULLIVAN 9811 HOLLOW GLEN PLACE SILVER SPRING, MD 20910	PAT & JOY BRETTHAUER 9817 HOLLOW GLEN PLACE SILVER SPRING, MD 20910
CINDY DENCHFIELD & FRANK KLASSEN 9812 ROSENSTEEL AVE. SILVER SPRING, MD 20910	WALTER & MAUREEN BOOTH 9814 ROSENSTEEL AVE. SILVER SPRING, MD 20910

g addresses: noticing table

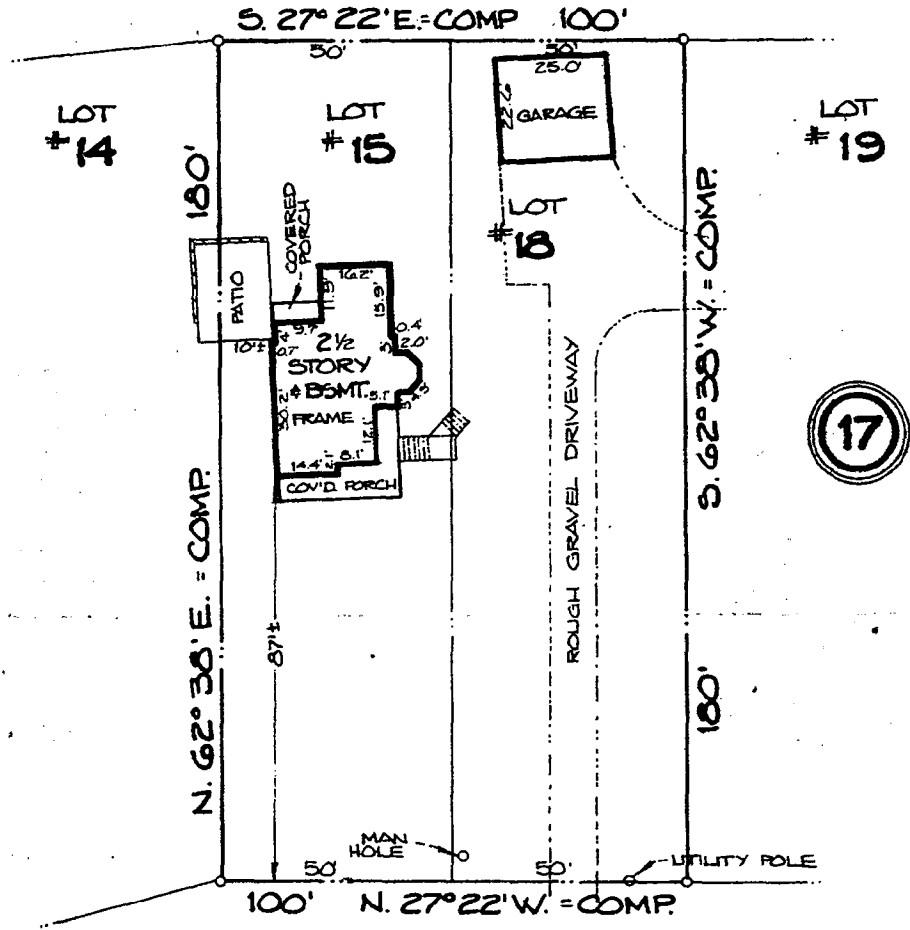
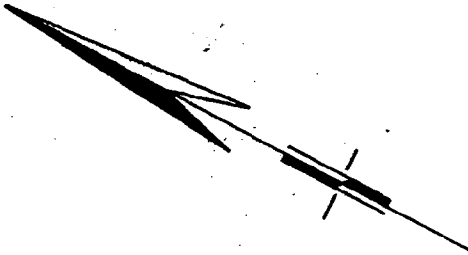


SANITARY COMMISSION

APR 1900

NO CONFRONTING PROPERTY OWNERS - NOTE LOCATION OF
 UTILITIES ON HOLLOW GLEN PLACE

6



HOLLOW GLEN PLACE

NOTE: THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A FLOOD HAZARD AREA AS DELINEATED ON THE MAPS OF THE NATIONAL FLOOD INSURANCE PROGRAM



NO TITLE REPORT FURNISHED

LOCATION SURVEY OF
 9815 HOLLOW GLEN PLACE
 SUBDIVISION:
 HOLLOW GLEN INVESTMENT COMPANY'S

LOT: 15.18
 PLAT BOOK: A
 DATE: 4.7.86

BLOCK: 17
 PLAT NO: 17
 SCALE: 1" = 30'

METZGER RESIDENCE

SCALE: 1" = 20'

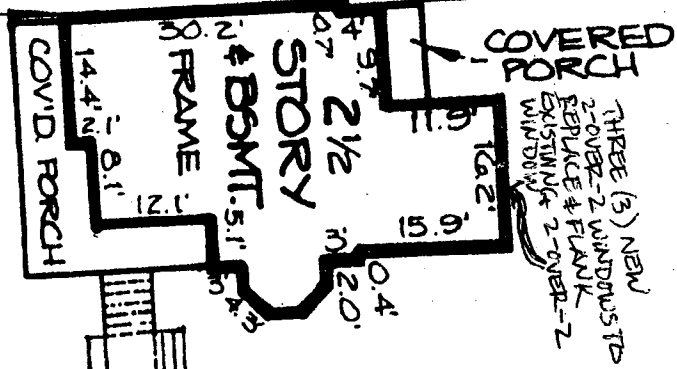
S. 27° 22' E. = COMP. 100'

50'

LOT #15

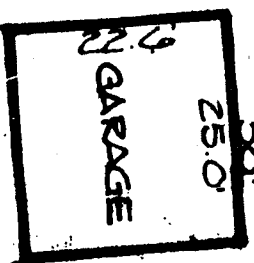
180'

N. 62° 38' E. = COMP.



NEW
FRAME
STAIR TO
REAR
EXISTING
MASONRY
STAIR

LOT #18



ROUGH GRAVEL DRIVEWAY

S. 62° 38' W. = COMP.

180'

LOT #11

100'

MAN HOLE
50'
50'
UTILITY POLE
N. 27° 22' W. = COMP.

KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

- C1: (2) 2x8 pressure treated lower beam
- C2: 2x8 pressure treated deck joists @ 16" O.C.
- C3: 2x12 stair stringer pressure treated @ 16" O.C.
- C4: (2) 2x8 pressure treated deck joists
- C5: 4 1/2" x 4 1/2" post set in 12"φ x 2'-6" deep concrete footer, typical (TYP)
- C6: Custom railing, 1 1/2" x 3 1/2" w/ rounded top to match existing, painted (PTD), TYP
- C7: Smoot stair tread, 11 1/4" x 3/4", PTD, TYP
- C8: T & G composite decking, to be tenduraplank (1-800-TENDURA), PTD, TYP
- C9: Exterior plywood seat, A-C exterior grade, w/ WD edge trim, PTD, TYP
- C10: Brick paver set in concrete slab
- C11: (2) 2x8 pressure treated beam, pocket into masonry piers

FRONT STEPS: Elevations – Front, Right side, Rear, Section

- C1: Cantilevered 2x8 pressure treated deck joists, TYP
- C2: Lower double 2x8 pressure treated beam, TYP
- C3: 4 1/2"x4 1/2" pressure treated post incased in 12"φ x2'-6" deep concrete footer, TYP
- C4: WD railing to match existing, PTD, TYP
- C5: Pressure treated post to match existing, PTD, TYP
- C6: 1 1/16"x1 1/4" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16"x3 1/2" Smoot landing tread
- C9: Panel
- C10: New watertable trim to match existing
- C11: WD lattice screen w/ 1x flat WD trim surround to match existing, PTD, TYP
- C12: Decorative WD bracket, PTD, TYP
- C13: 5/4 x flat WD trim, PTD, TYP
- C14: Existing masonry pier, TYP
- C15: New watertable trim to match existing
- C16: T & G composite decking, to be Tenduraplank (1-800-TENDURA), PTD, TYP
- C17: Exterior plywood seat, A-C exterior grade, PTD, TYP
- C18: 1x flat WD riser, PTD, TYP
- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

KITCHEN: Existing and Proposed (partial) Plan and Elevations

- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

- C1: (2) 2x8 pressure treated lower beam
- C2: 2x8 pressure treated deck joists @ 16" O.C.
- C3: 2x12 stair stringer pressure treated @ 16" O.C.
- C4: (2) 2x8 pressure treated deck joists
- C5: 4 1/2" x 4 1/2" post set in 12"φ x 2'-6" deep concrete footer, typical (TYP)
- C6: Custom railing, 1 1/2" x 3 1/2" w/ rounded top to match existing, painted (PTD), TYP
- C7: Smoot stair tread, 11 1/4" x 3/4", PTD, TYP
- C8: T & G composite decking, to be tenduraplank (1-800-TENDURA), PTD, TYP
- C9: Exterior plywood seat, A-C exterior grade, w/ WD edge trim, PTD, TYP
- C10: Brick paver set in concrete slab
- C11: (2) 2x8 pressure treated beam, pocket into masonry piers

FRONT STEPS: Elevations – Front, Right side, Rear, Section

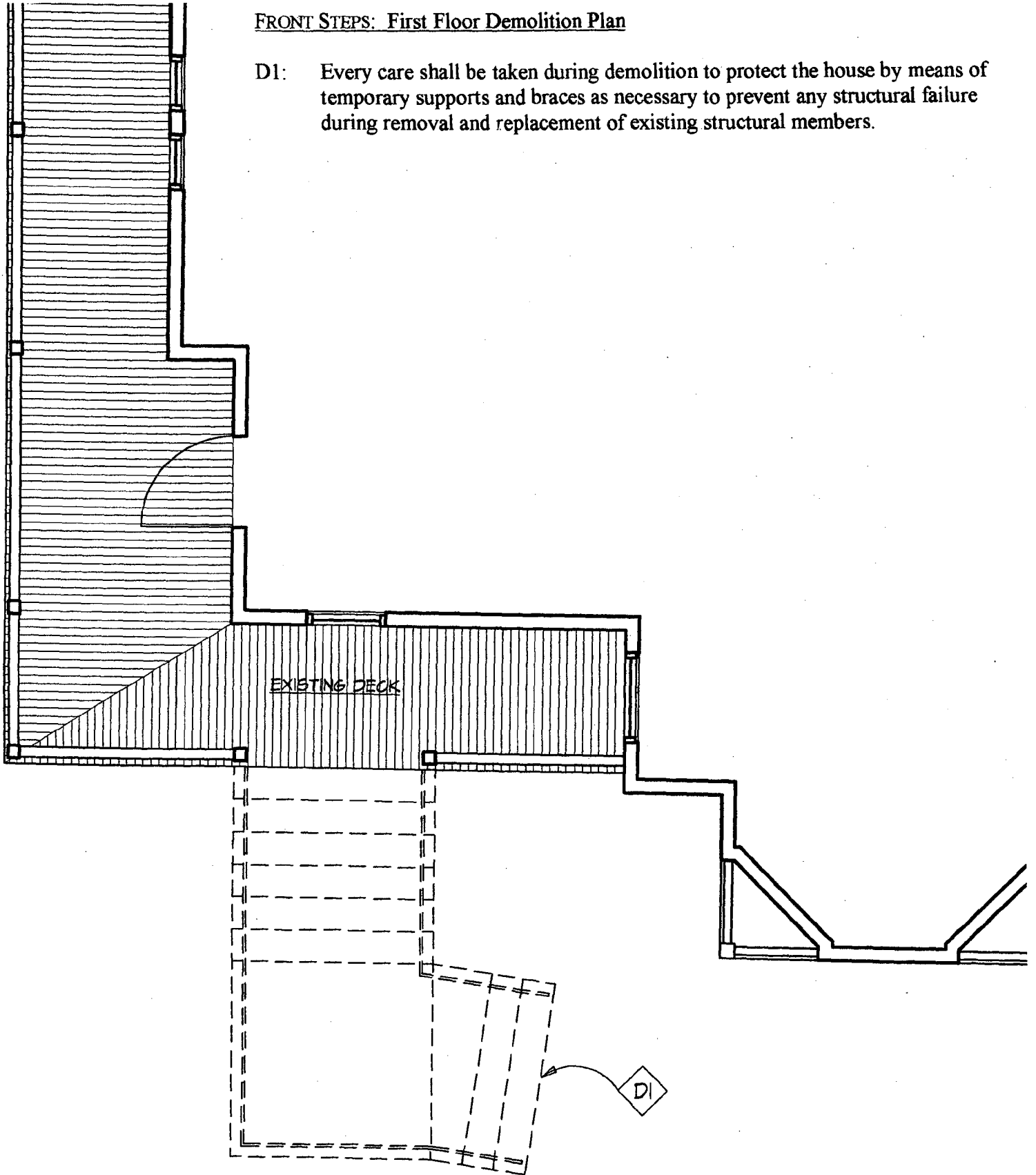
- C1: Cantilevered 2x8 pressure treated deck joists, TYP
- C2: Lower double 2x8 pressure treated beam, TYP
- C3: 4 1/2"x4 1/2" pressure treated post incased in 12"φ x2'-6" deep concrete footer, TYP
- C4: WD railing to match existing, PTD, TYP
- C5: Pressure treated post to match existing, PTD, TYP
- C6: 1 1/16"x1 1/4" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16"x3 1/2" Smoot landing tread
- C9: Panel
- C10: New watertable trim to match existing
- C11: WD lattice screen w/ 1x flat WD trim surround to match existing, PTD, TYP
- C12: Decorative WD bracket, PTD, TYP
- C13: 5/4 x flat WD trim, PTD, TYP
- C14: Existing masonry pier, TYP
- C15: New watertable trim to match existing
- C16: T & G composite decking, to be Tenduraplank (1-800-TENDURA), PTD, TYP
- C17: Exterior plywood seat, A-C exterior grade, PTD, TYP
- C18: 1x flat WD riser, PTD, TYP
- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

KITCHEN: Existing and Proposed (partial) Plan and Elevations

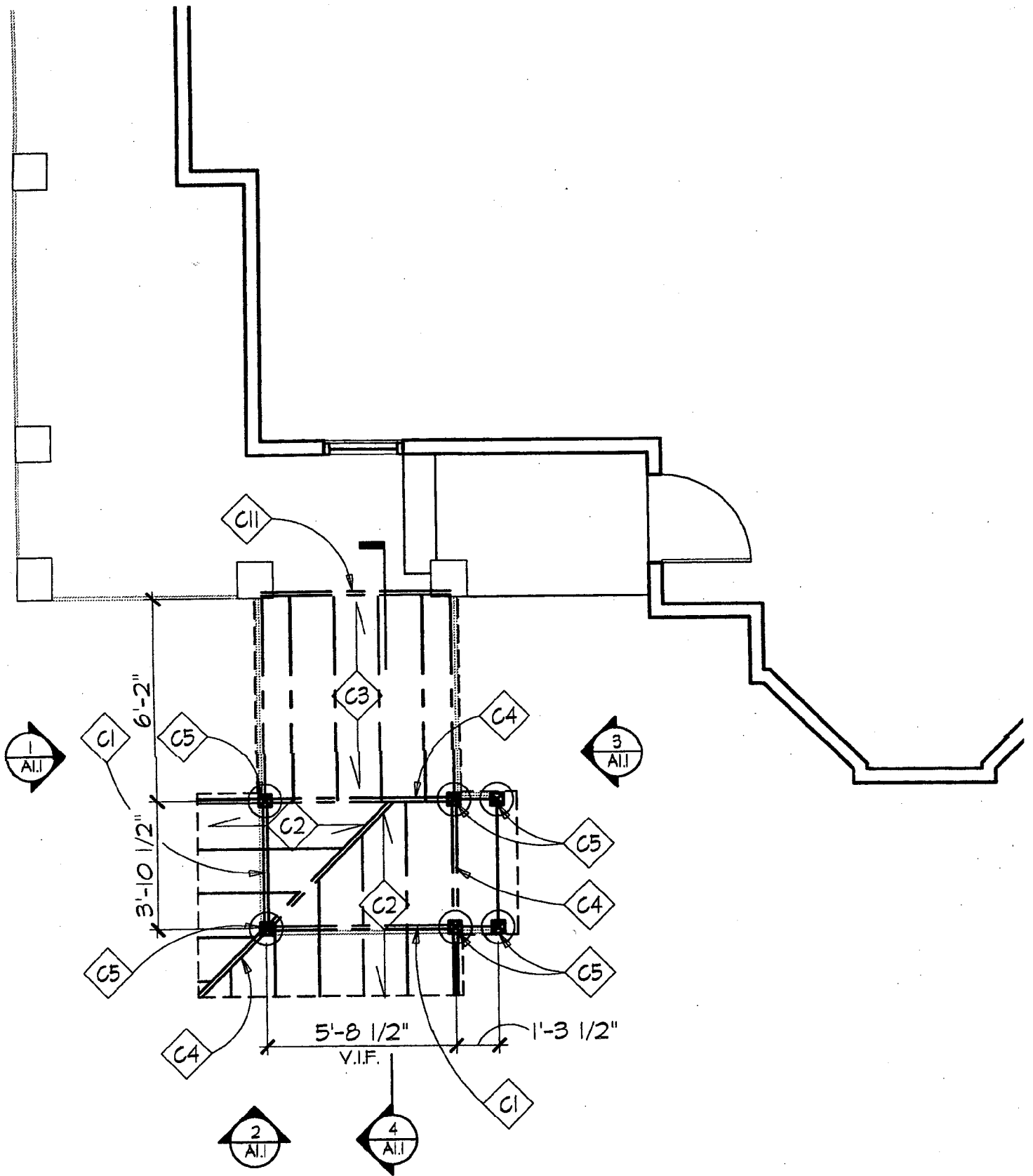
- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

FRONT STEPS: First Floor Demolition Plan

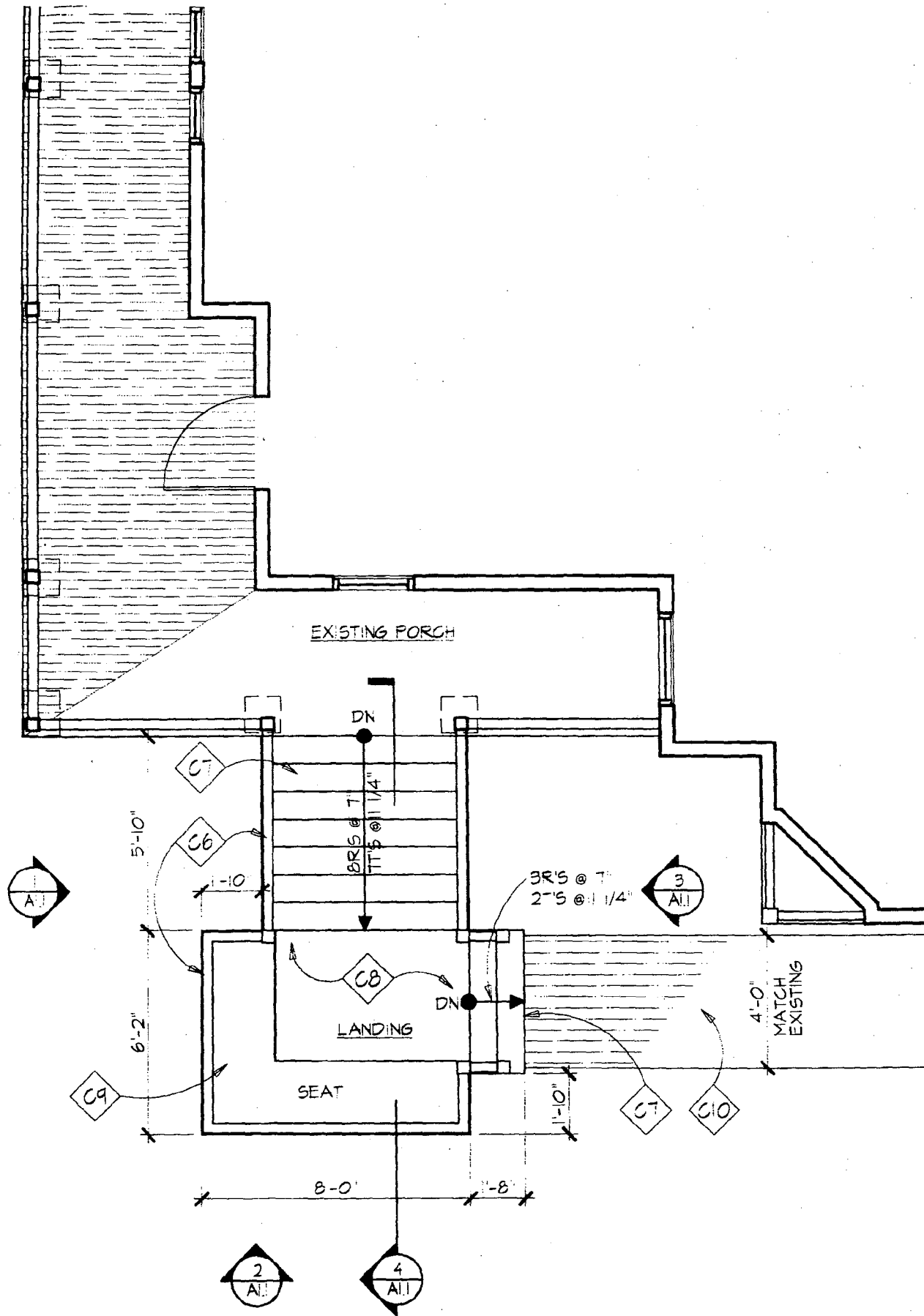
D1: Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.



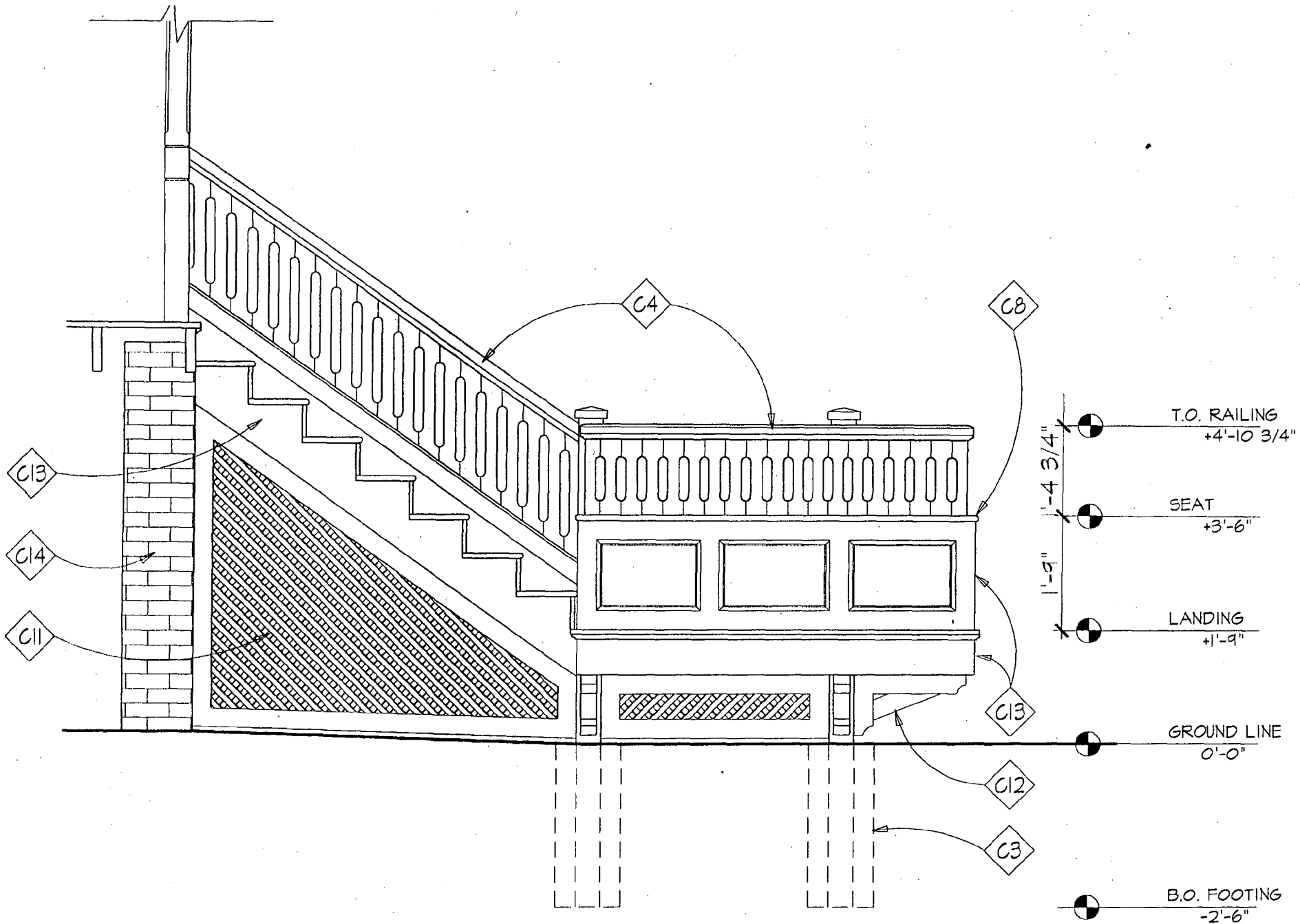
2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"



1 FOUNDATION & FRAMING PLAN
 SCALE: 1/4"=1'-0"

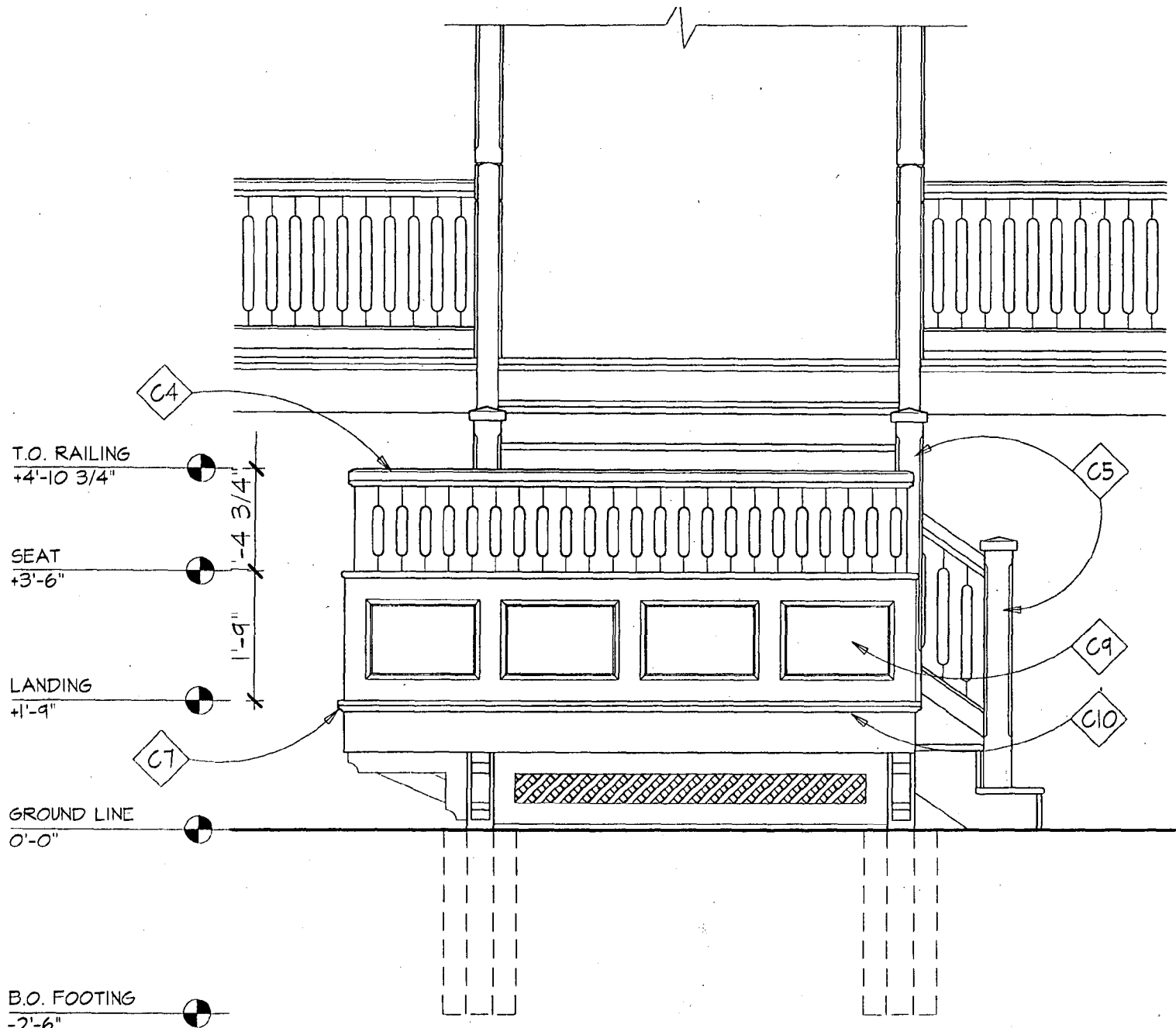


2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



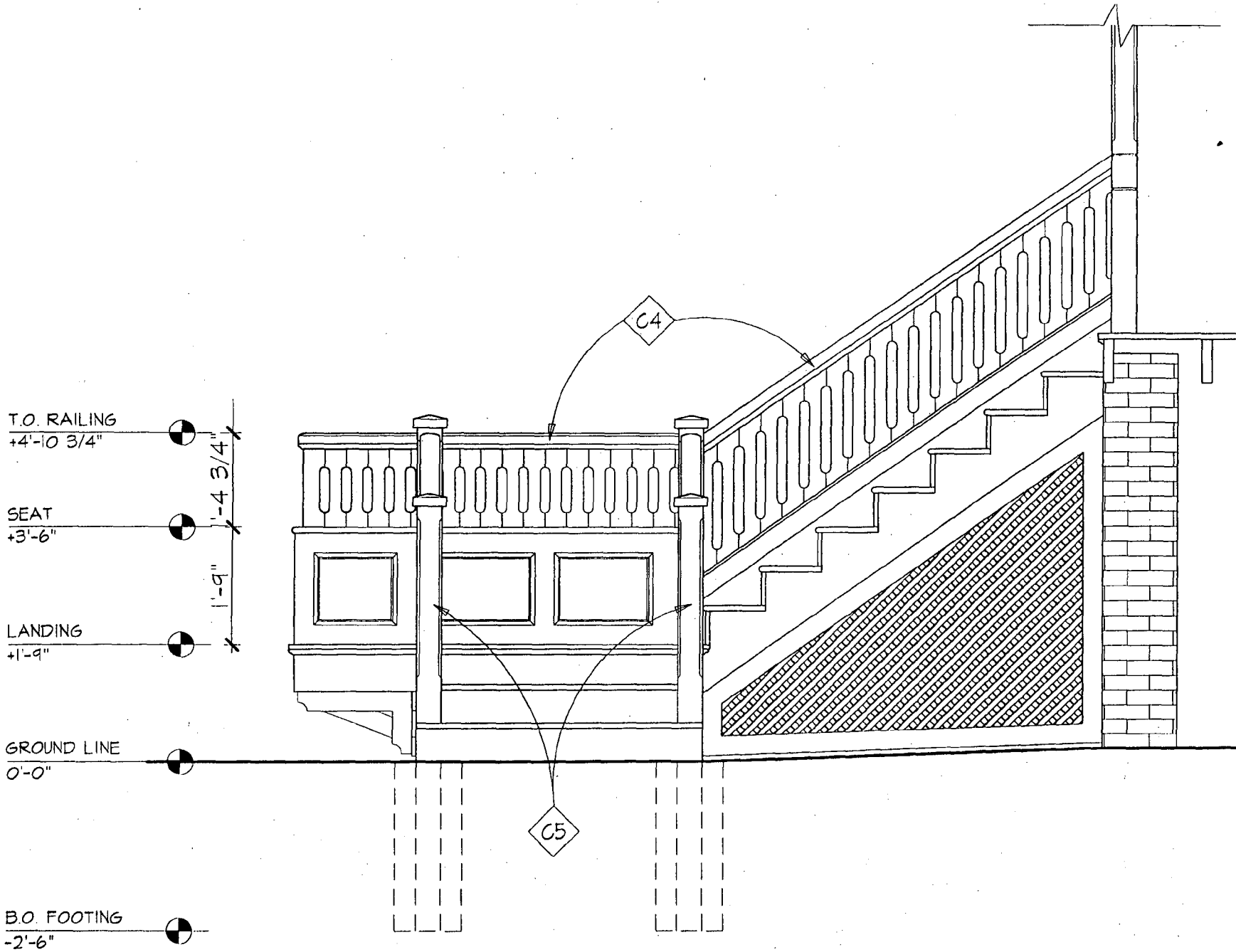
1 FRONT ELEVATION
 SCALE: 1/2"=1'-0"

(14)



2 RIGHT SIDE ELEVATION
 SCALE: 1/2"=1'-0"

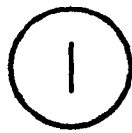
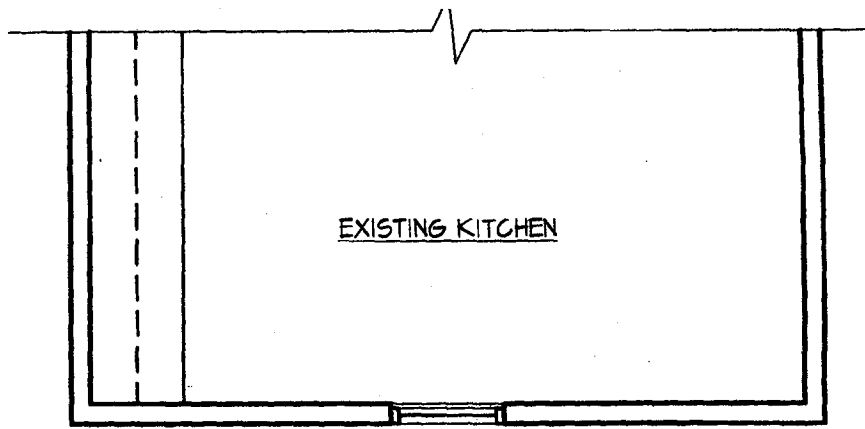
51



3 REAR ELEVATION

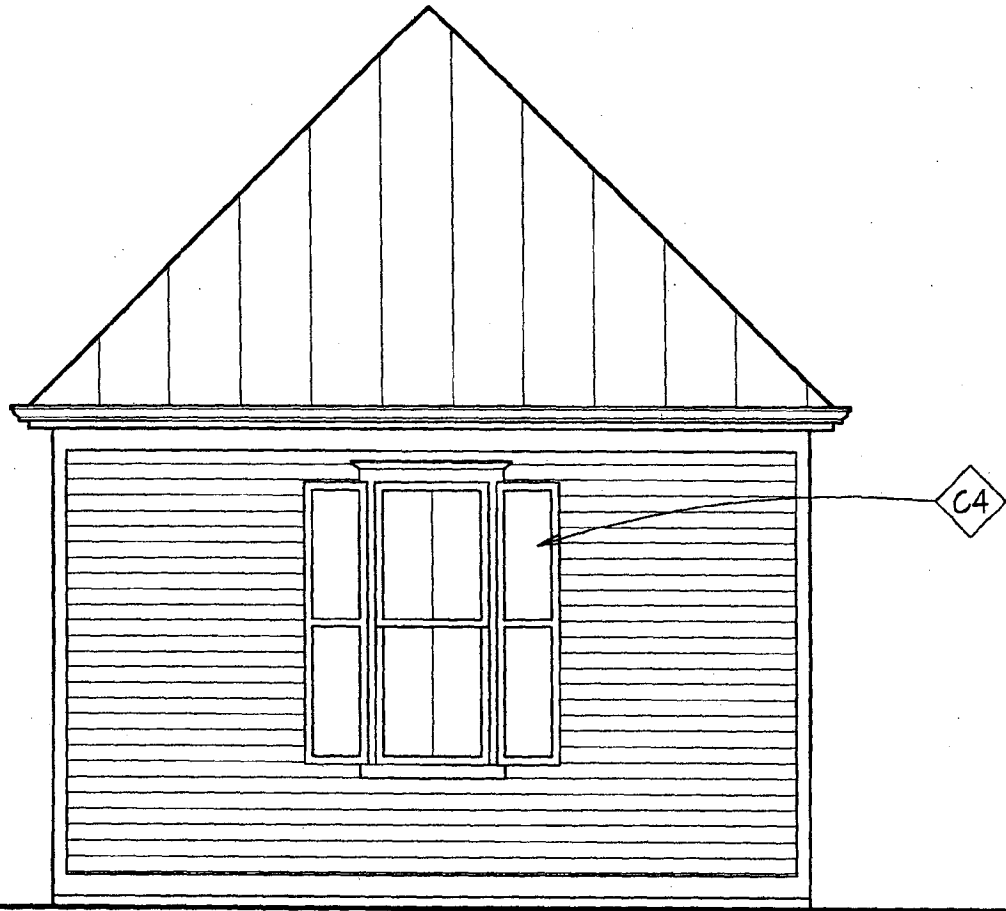
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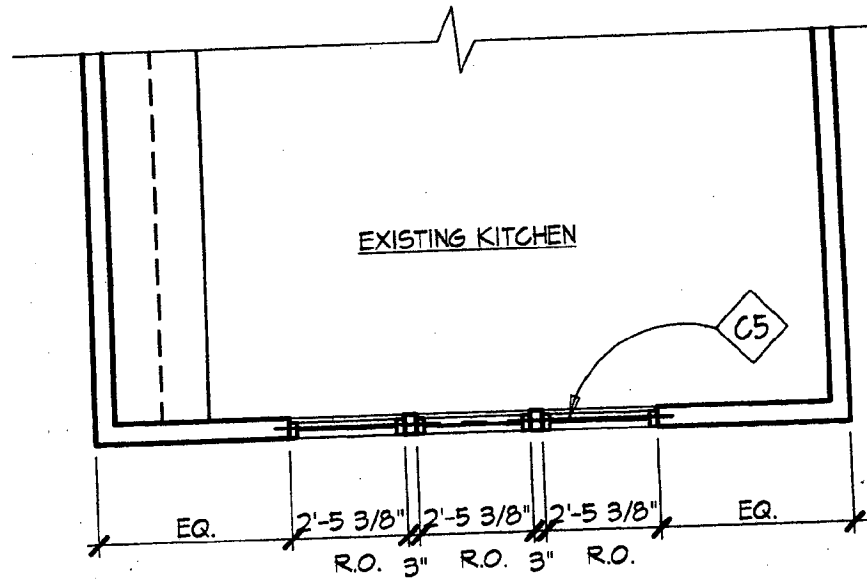
(1)



EXISTING PARTIAL KITCHEN PLAN

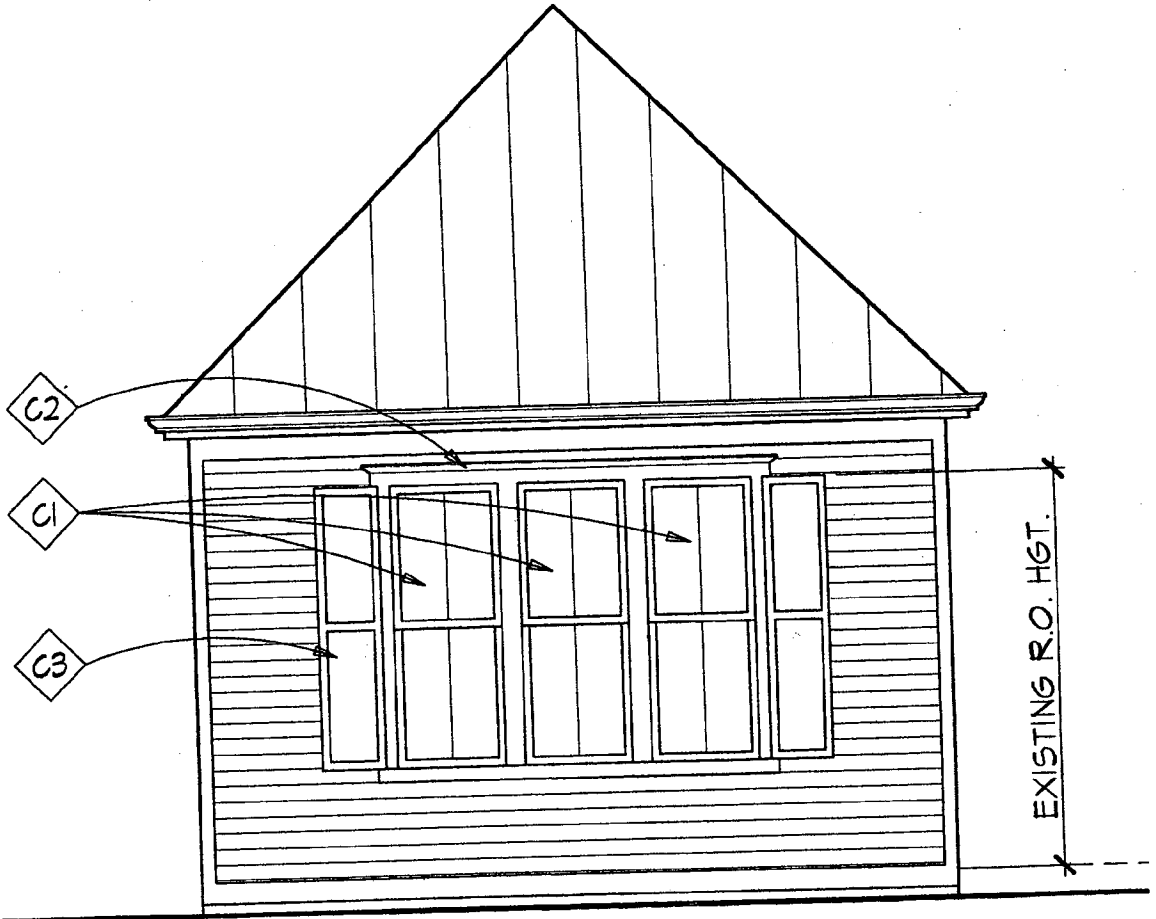
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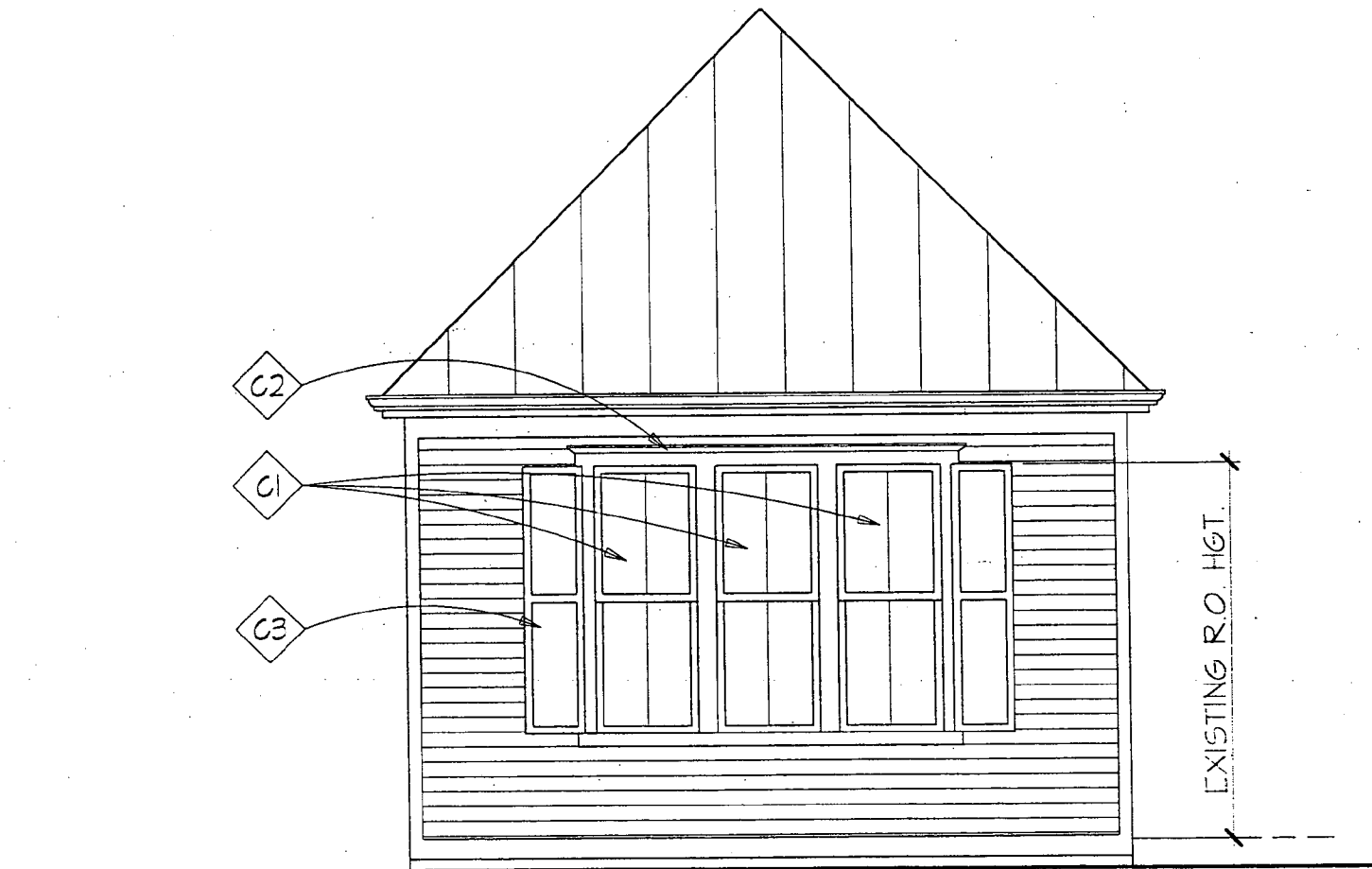




2 PROPOSED PARTIAL KITCHEN PLAN

SCALE: 1/4"=1'-0"





4 PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

FRONT FACADE (SW) FROM
STREET, SHOWING BAY WINDOWS
AND STAIRS ON RT (SE) SIDE



SIDE (SE) FACADE



EXISTING KITCHEN WINDOW
ON REAR (NE) FACADE

METZGER #1 OF 7
9815 HOLLOW GLEN PLACE
SILVER SPRING



REAR (NE) FACADE VIEW SHOWING
KITCHEN WING ON LEFT



NORTH CORNER REAR FACADE
SHOWING KITCHEN (L), MUDROOM (R)



ADDITIONAL VIEW OF SE FACADE

METZGER 2 OF 7

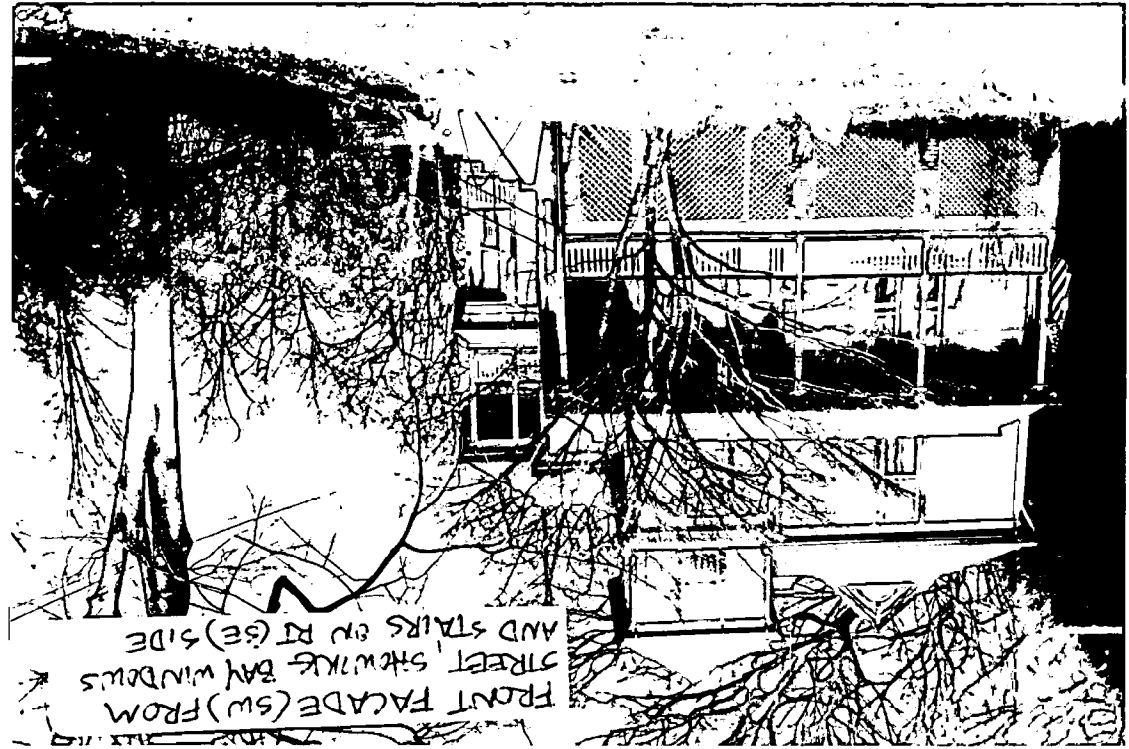
METZGER #1 OF 7
9815 HOLLOW GLEN PLACE
SILVER SPRING



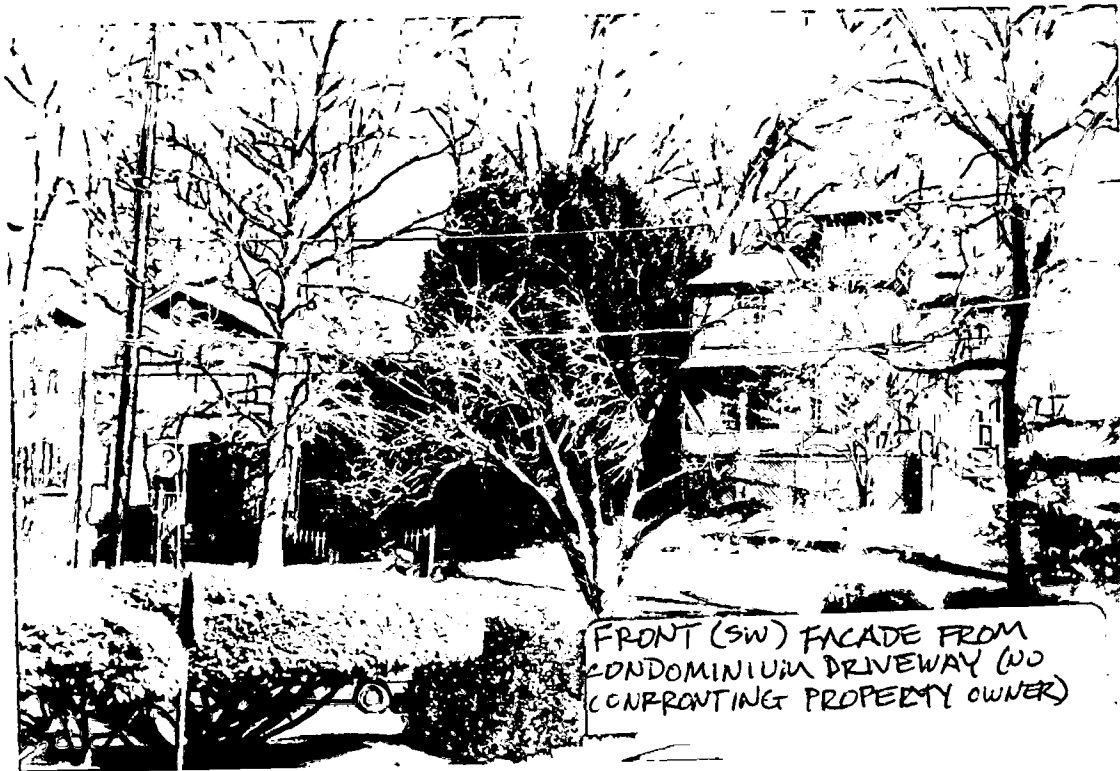
EXISTING KITCHEN WINDOW
ON REAR (NE) FACADE



SIDE (SE) FACADE



FRONT FACADE (SW) FROM
STREET, SHOWING BAY WINDOWS
AND STAIRS ON RI (SE) SIDE



FRONT (SW) FACADE FROM
CONDOMINIUM DRIVEWAY (NO
CONFRONTING PROPERTY OWNER)



STREET VIEW TOWARDS SOUTH
CORNER OF HOUSE

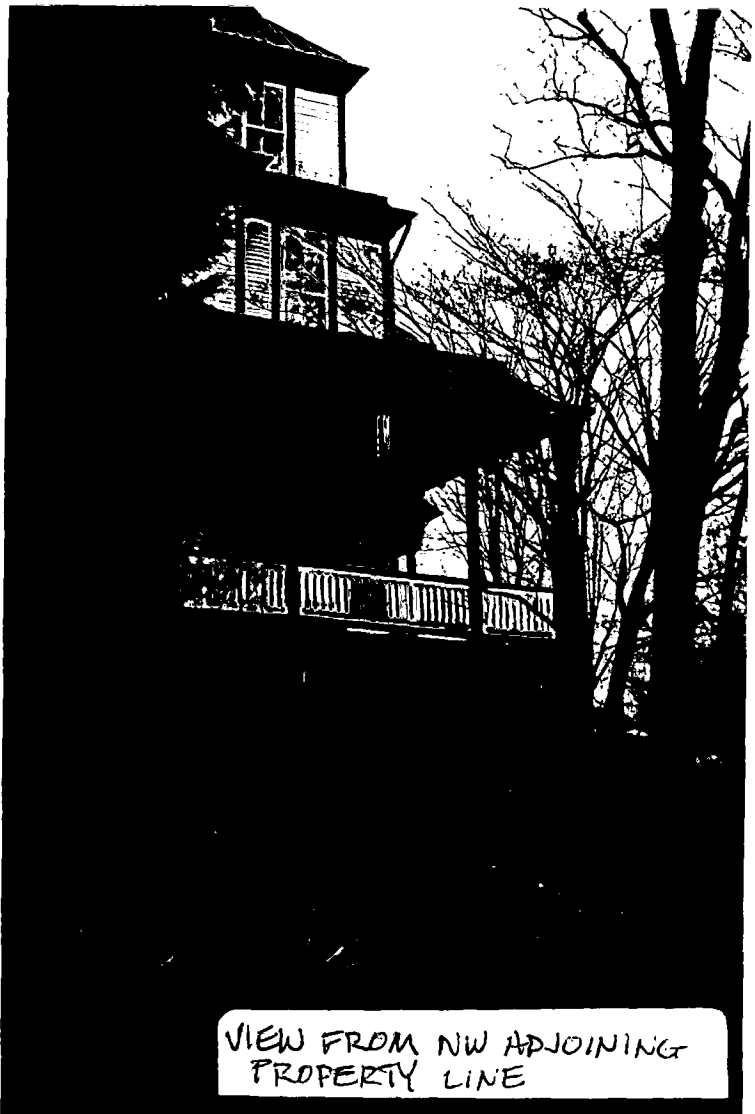


SIDE (NW) FACADE (TREES IN
PROPERTY LINE BLOCK VIEW)

METZGER
3 OF 7



REAR VIEW FROM REAR
PROPERTY LINE

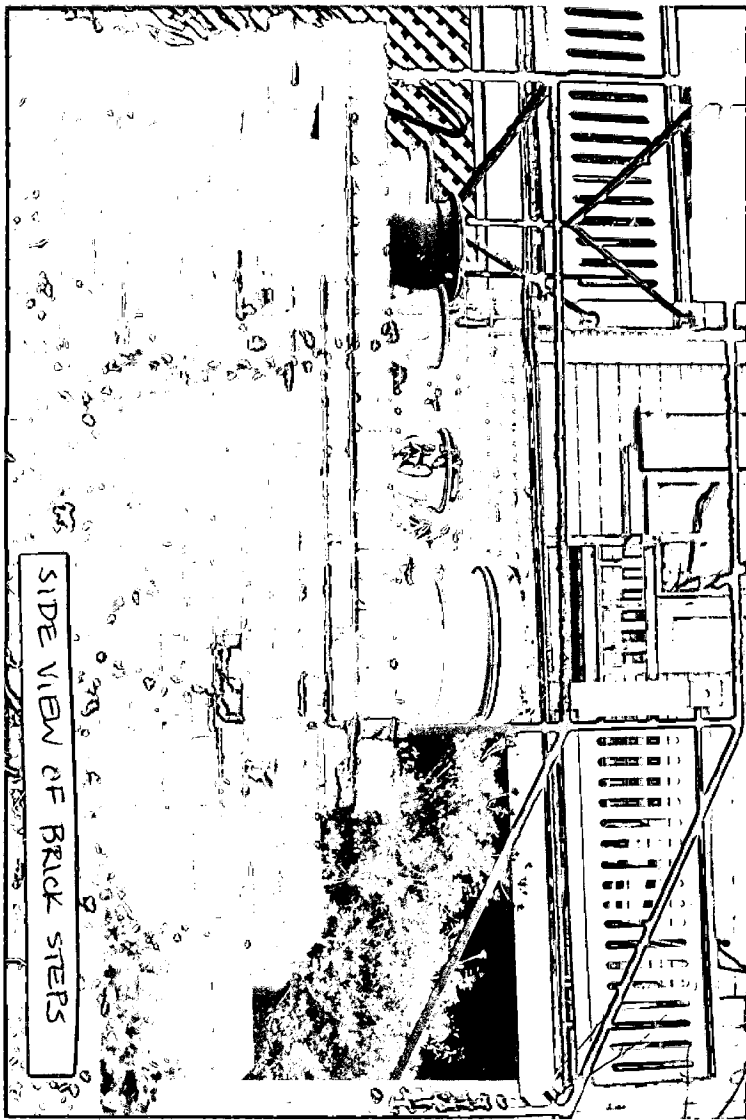


VIEW FROM NW ADJOINING
PROPERTY LINE

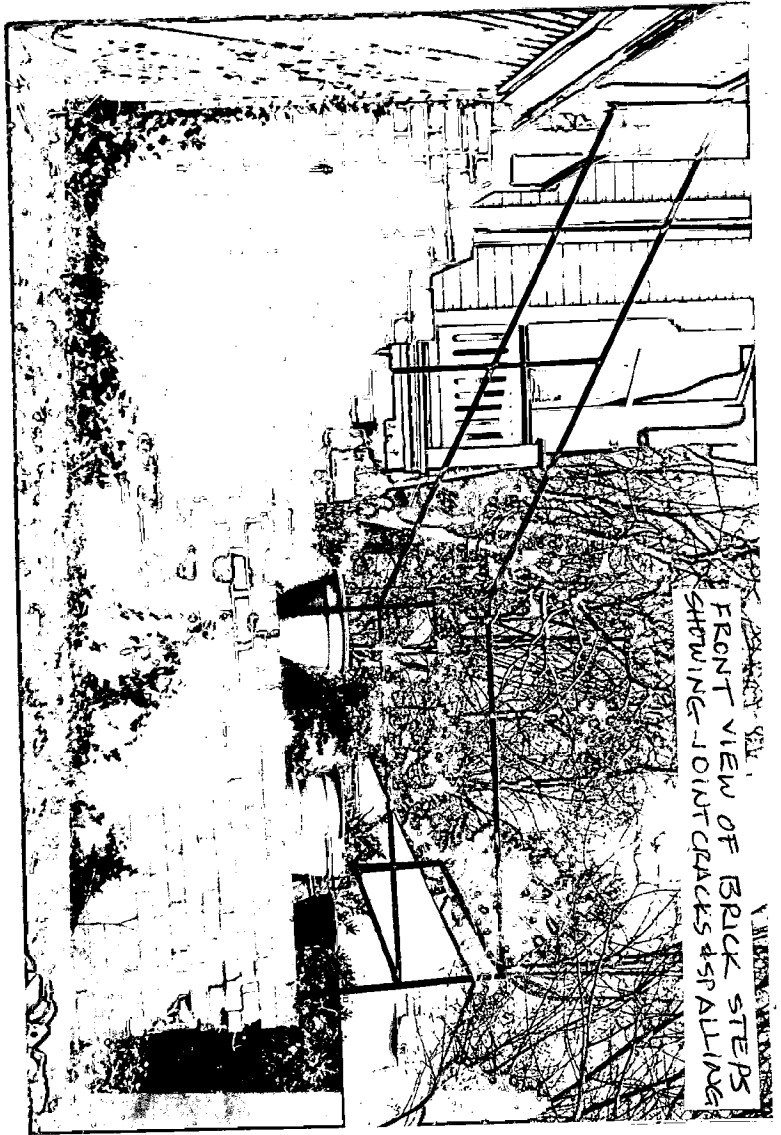


REAR VIEW FROM ADJOINING PROP.

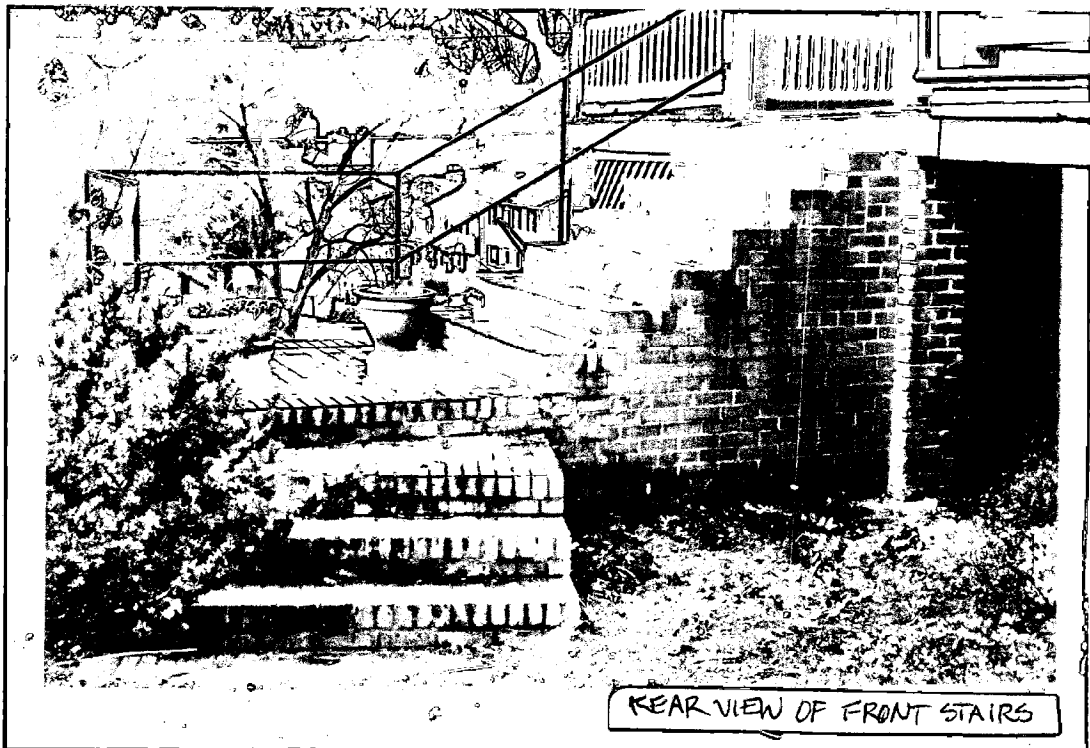
METZGER
4 OF 7



SIDE VIEW OF BRICK STEPS

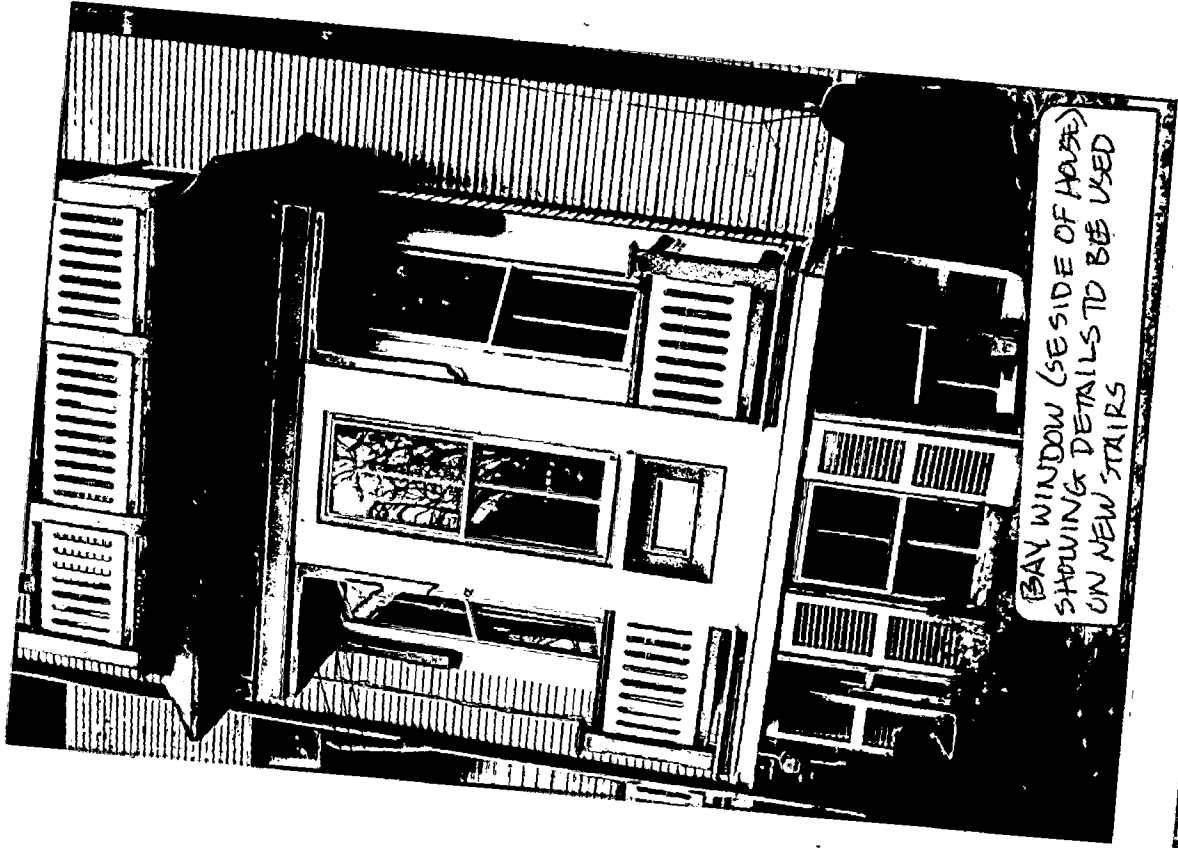


FRONT VIEW OF BRICK STEPS
SHOWING JOINT CRACKS & SPALLING



REAR VIEW OF FRONT STAIRS

METZGER
5 OF 7



BAY WINDOW (SIDE OF HOUSE)
SHOWING DETAILS TO BE USED
ON NEW STAIRS



STEPS IN RELATION TO BAY
WINDOW (NOTE PANEL & POST DETAILS)

METZGER
6 OF 7



METZGER
7 OF 7

FRONT VIEW, PAIRED WINDOWS
DETAIL (WITH (3) 2X2 BAY
WINDOWS, MODEL FOR NEW
WINDOWS ON REAR FACADE)



EXISTING KITCHEN WINDOW
ON REAR (NE) FACADE

**APPLICATION TO THE
HISTORIC PRESERVATION
COMMISSION**

**FILED THROUGH THE
DEPARTMENT OF PERMITTING SERVICES OF
MONTGOMERY COUNTY, MARYLAND**

FOR HISTORIC AREA WORK PERMIT

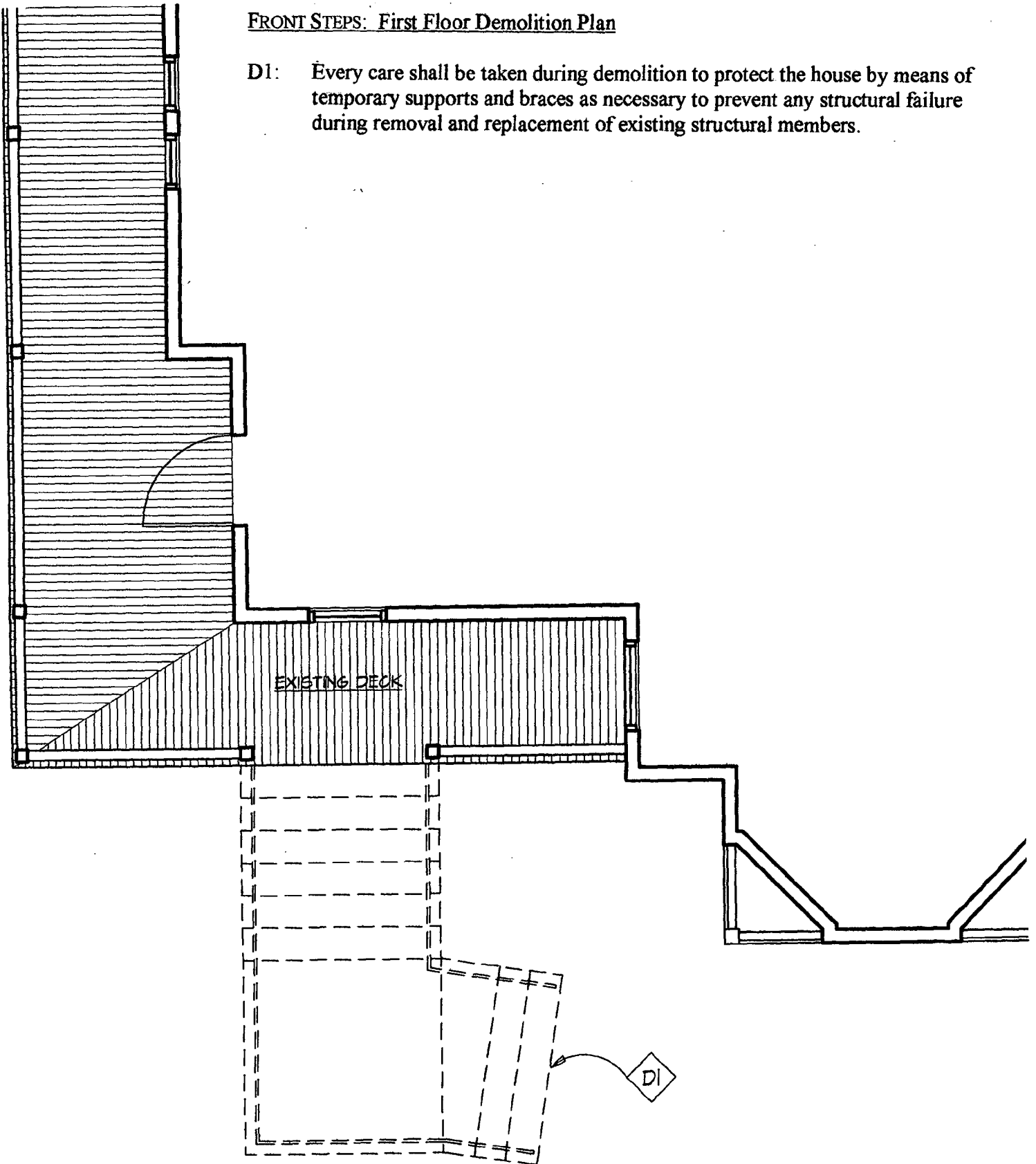
**FOR AN HISTORIC STRUCTURE
LOCATED IN THE FOREST GLEN HISTORIC DISTRICT
AT
9815 HOLLOW GLEN PLACE
SILVER SPRING, MARYLAND 20910**

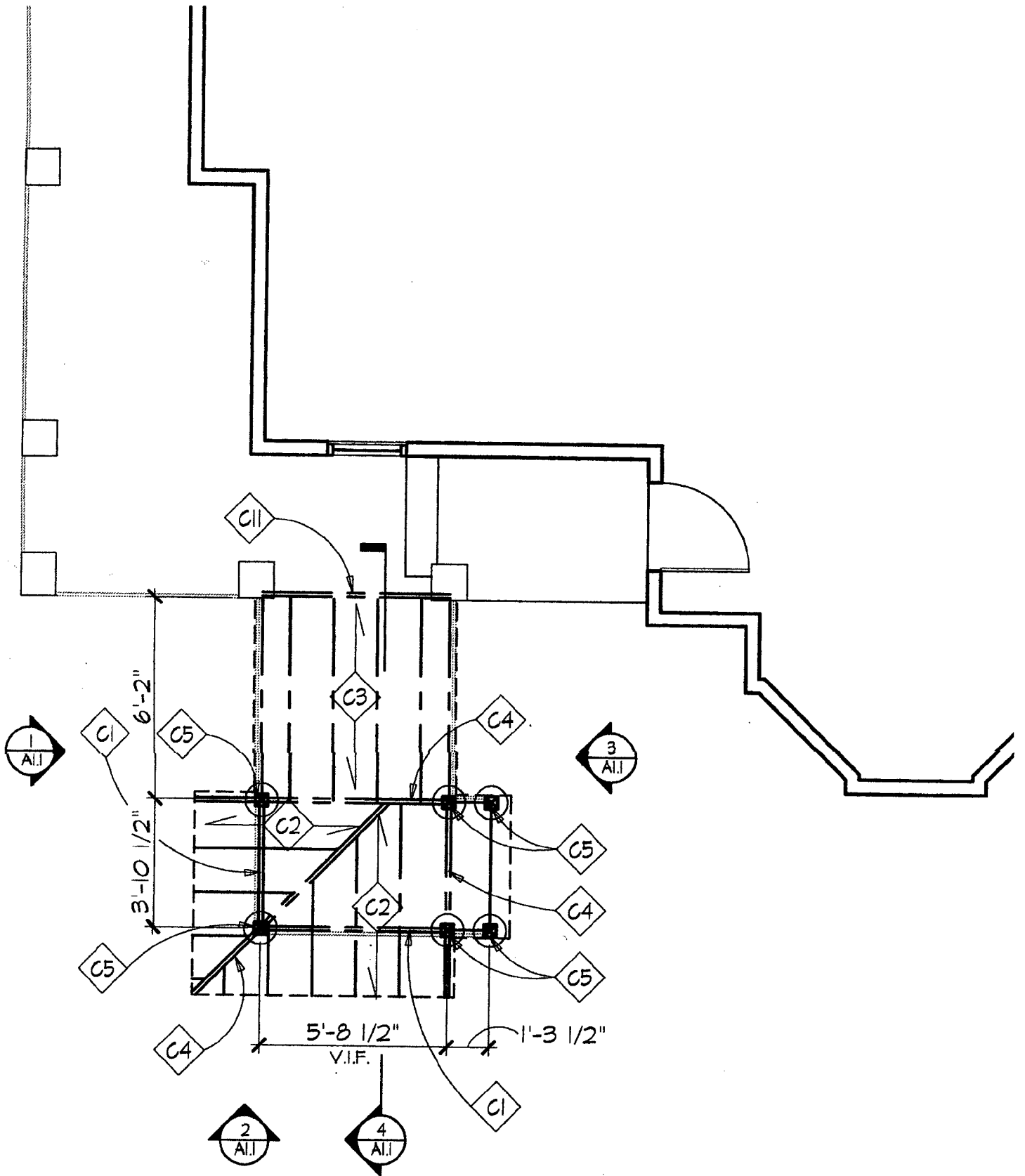
**APPLICATION AND
REQUIRED SUPPORTING MATERIALS**

**SUBMITTED BY PHILIP C. METZGER
APRIL 9, 2002**

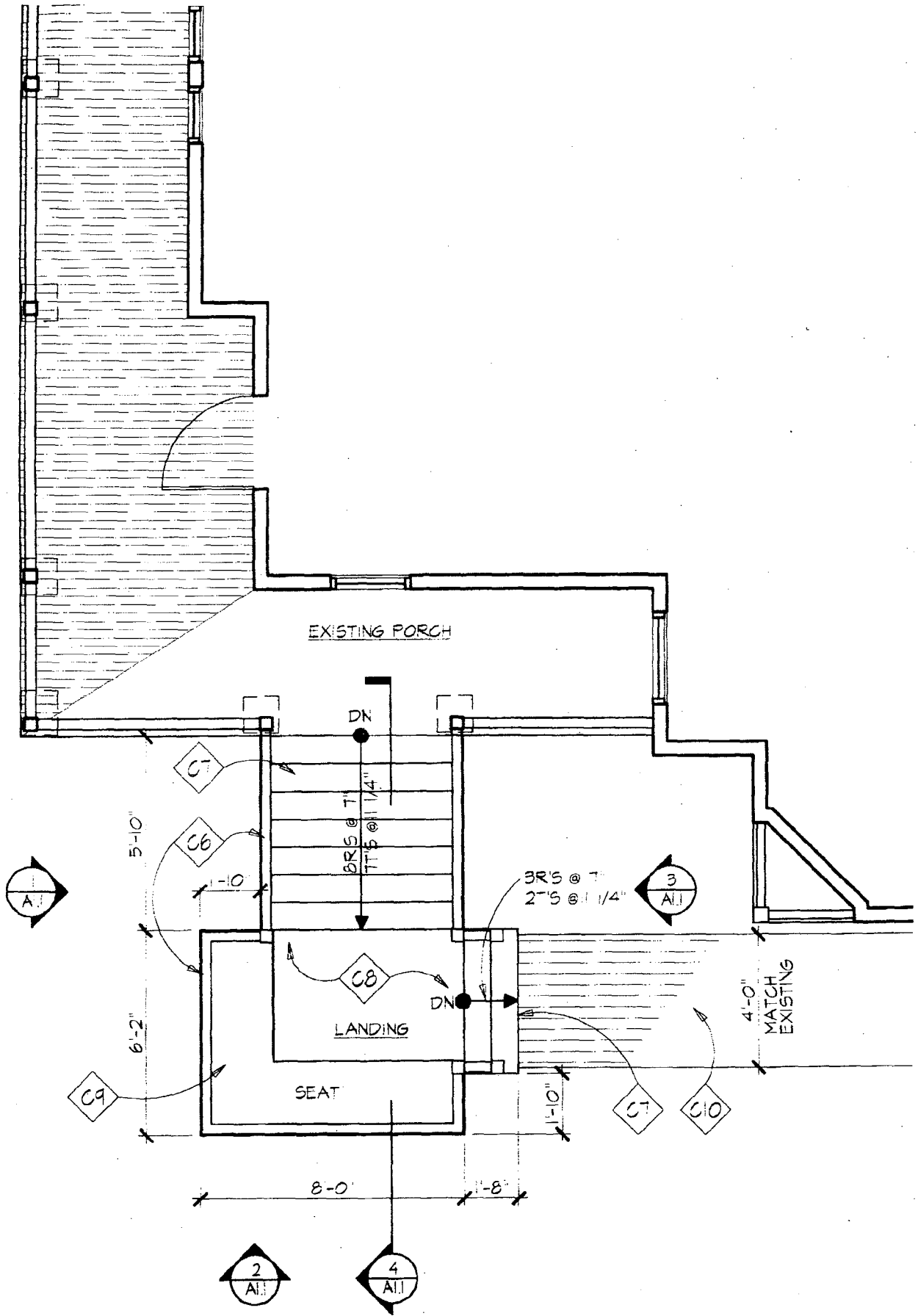
FRONT STEPS: First Floor Demolition Plan

D1: Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.

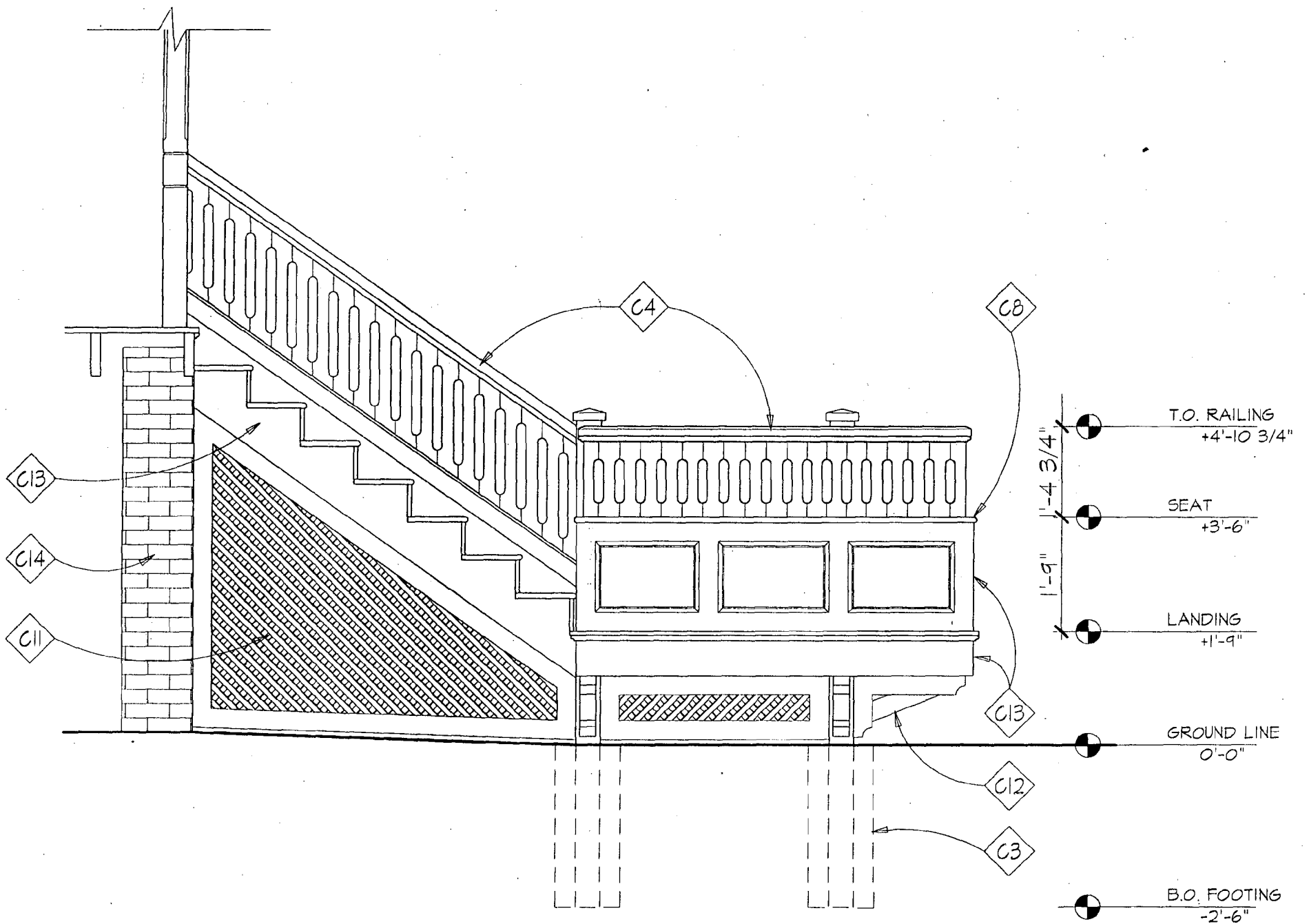




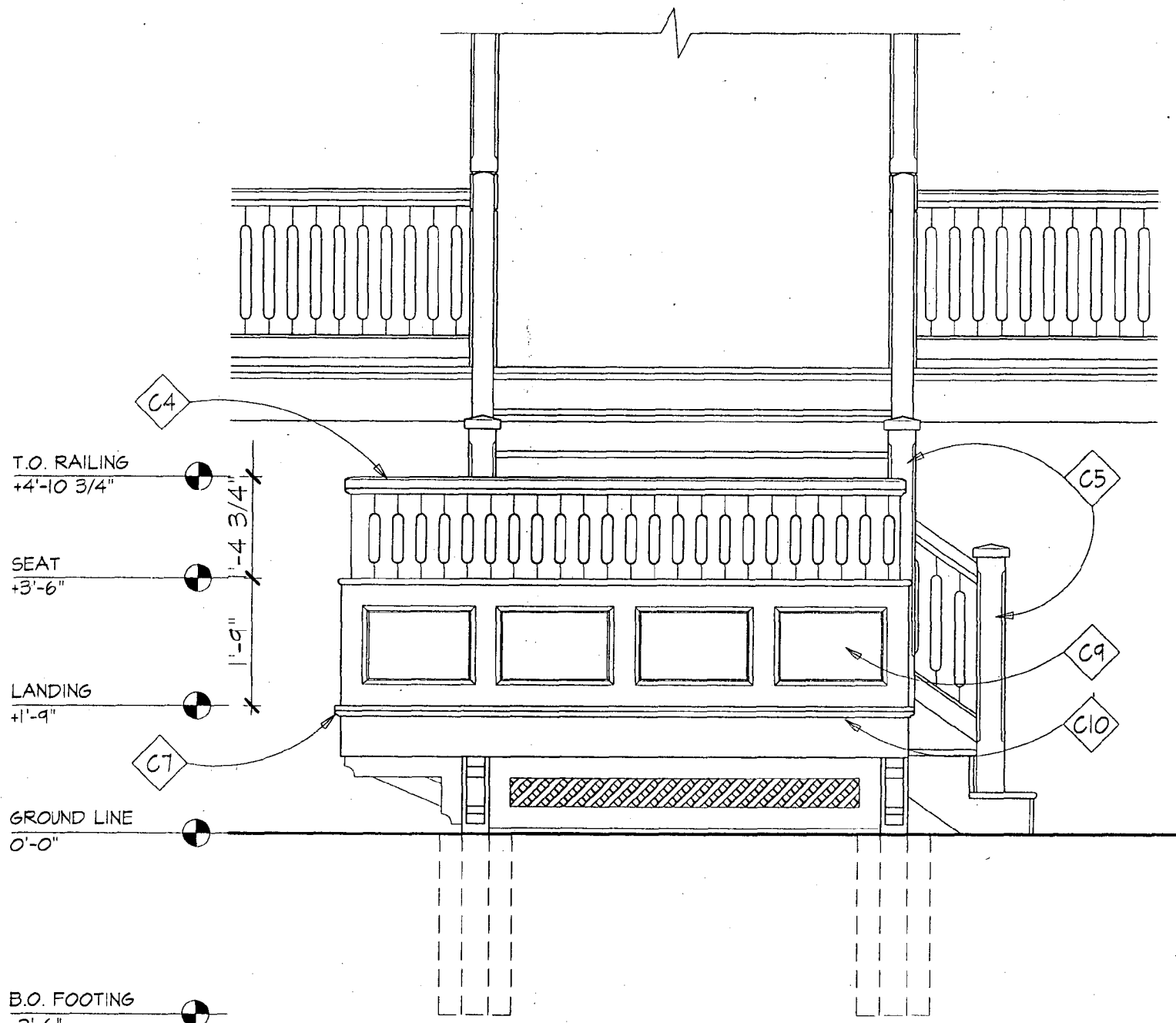
1 FOUNDATION & FRAMING PLAN
 SCALE: 1/4"=1'-0"



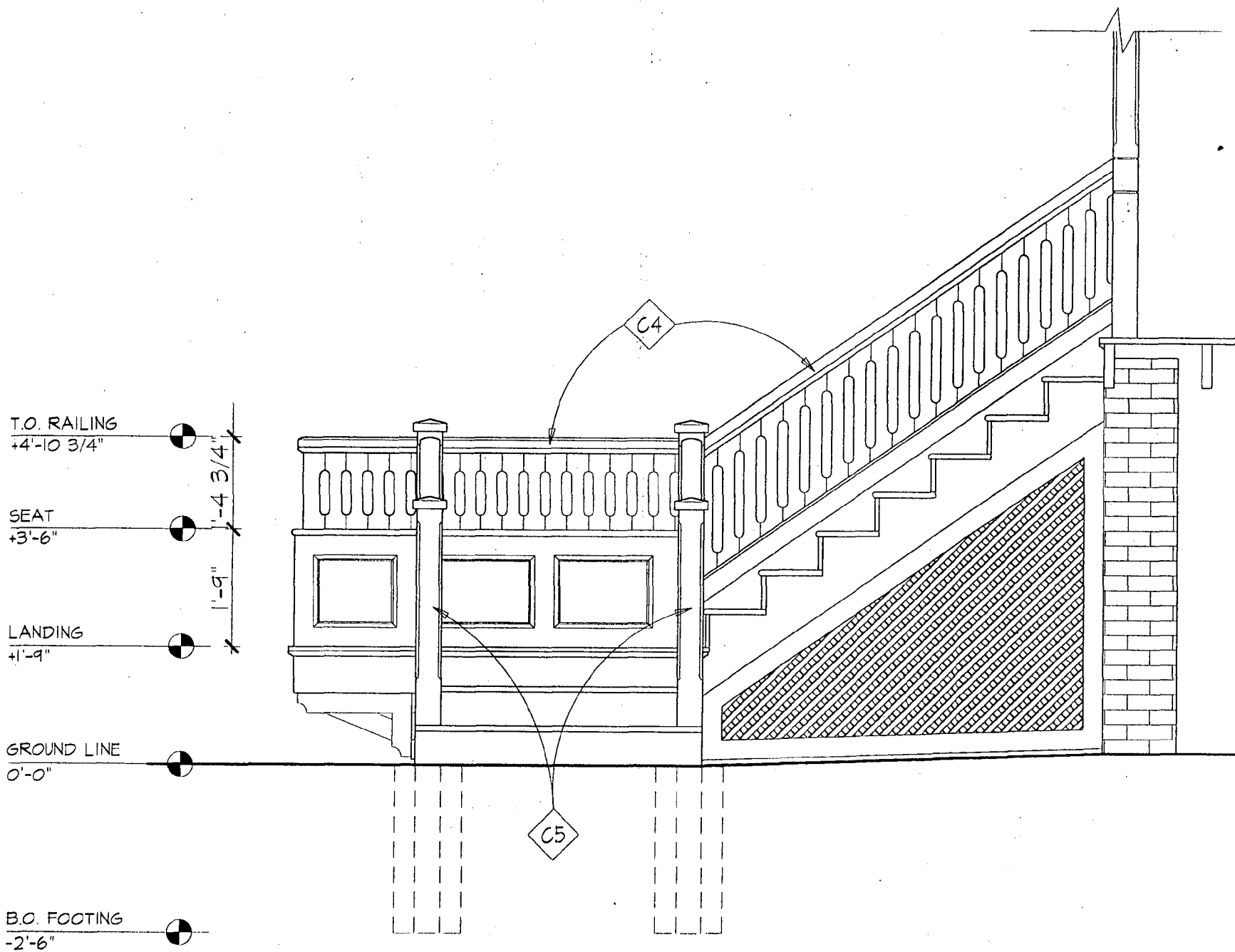
2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



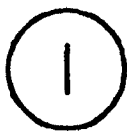
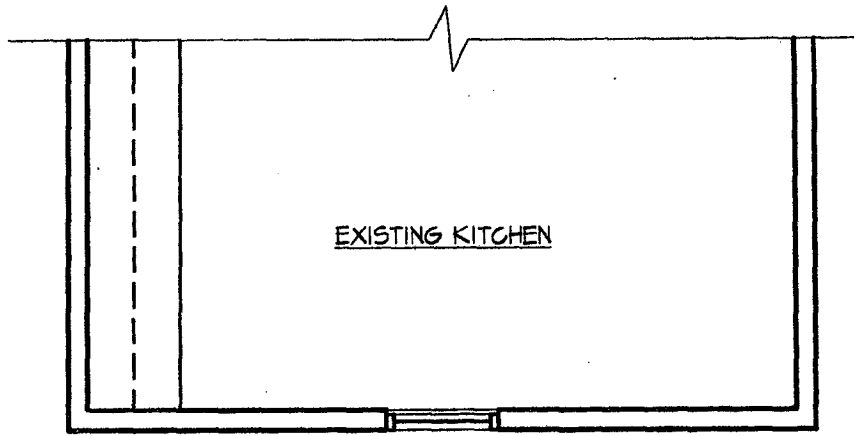
1 FRONT ELEVATION
 SCALE: 1/2" = 1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 1/2" = 1'-0"

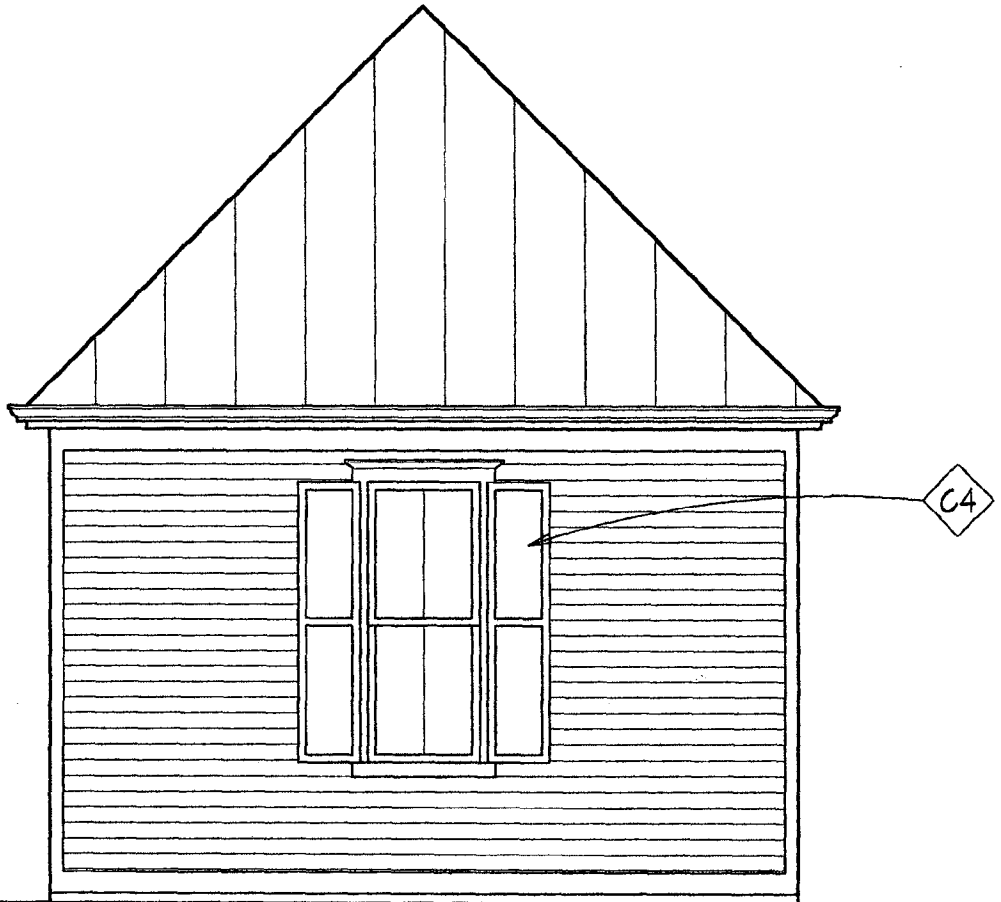


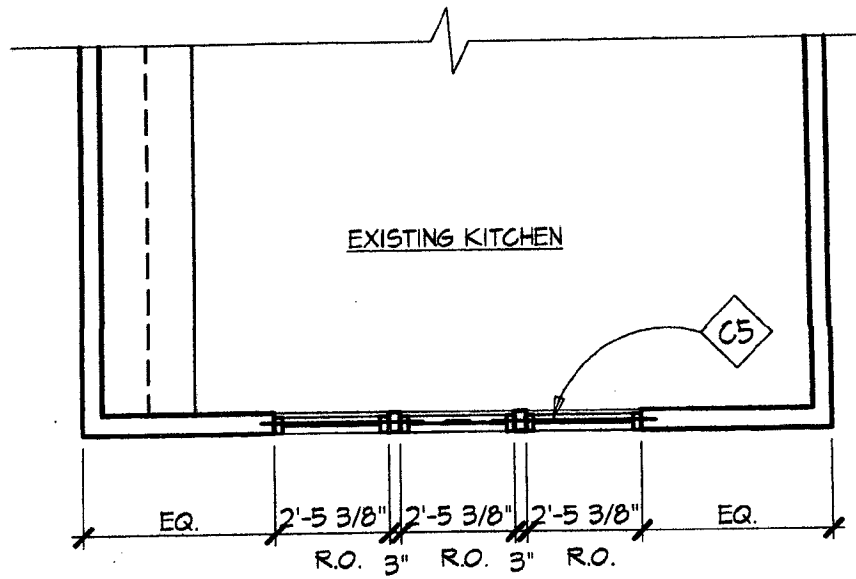
3 REAR ELEVATION
 SCALE: 1/2" = 1'-0"



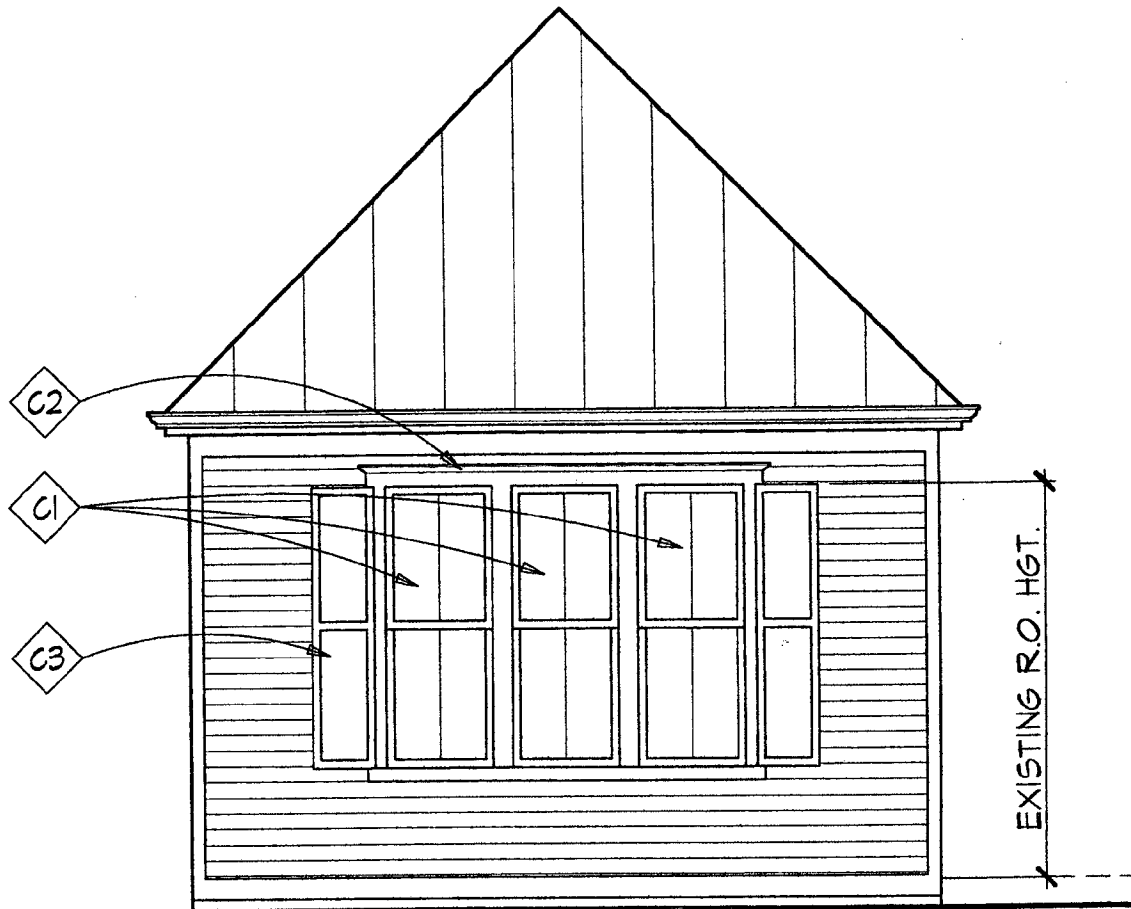
EXISTING PARTIAL KITCHEN PLAN

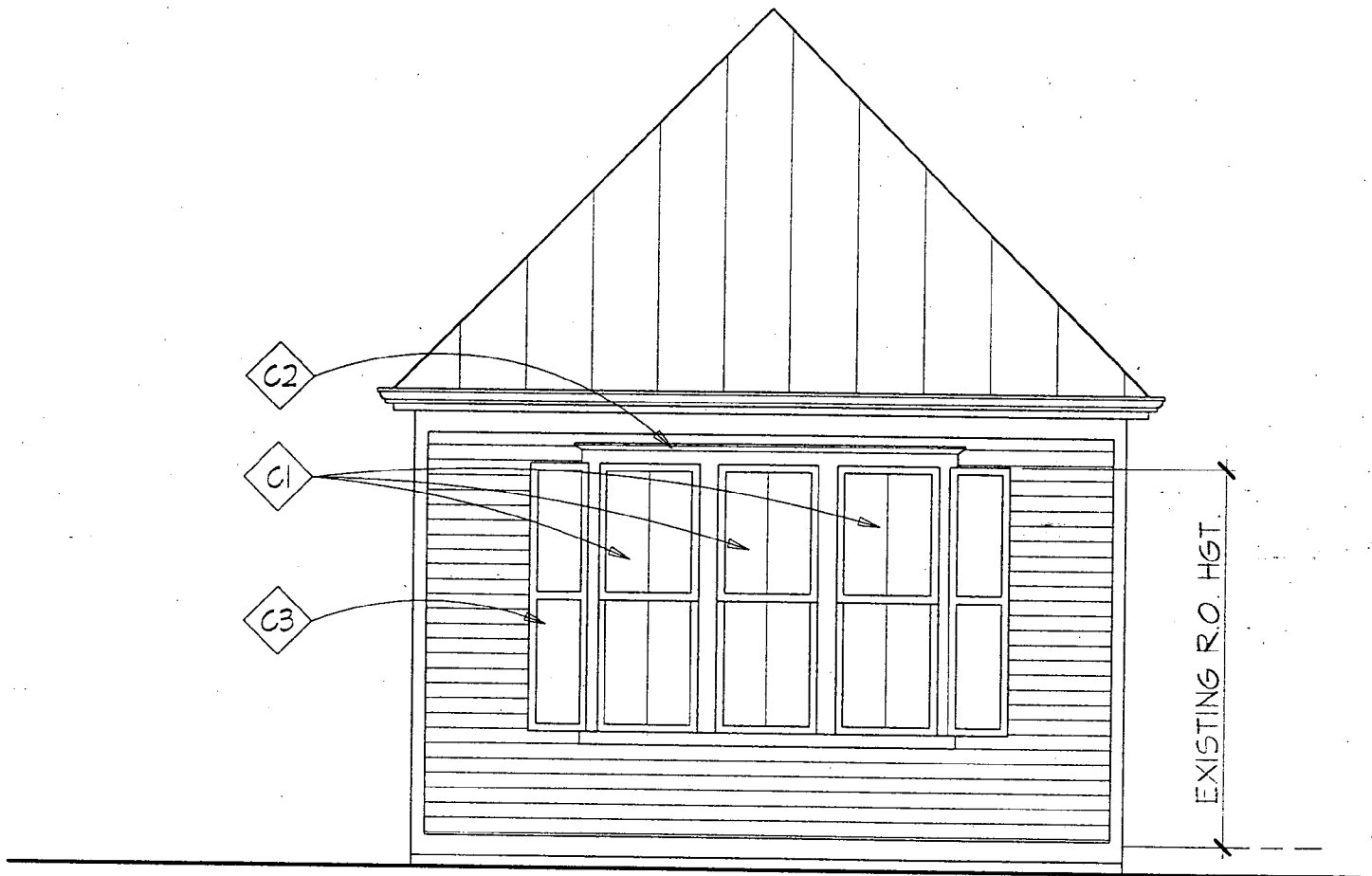
SCALE: 1/4"=1'-0"





2 PROPOSED PARTIAL KITCHEN PLAN
 SCALE: 1/4"=1'-0"





4

PROPOSED ELEVATION

SCALE: 1/4"=1'-0"

CONTENTS

NO.1	APPLICATION FOR HISTORIC AREA WORK PERMIT
NO.2	WRITTEN DESCRIPTION OF PROJECT
NO.3	SITE PLANS (2)
NO.4	PROJECT PLANS AND ELEVATIONS - COPY 1
NO.5	PROJECT PLANS AND ELEVATIONS - COPY 2
NO.6	KEY TO NOTES ON PLANS AND ELEVATIONS (SPECIFICATIONS), 2 COPIES
NO.7	PHOTOGRAPHS
NO.8	MAILING ADDRESSES FOR NOTICING