Extend into set back 3'- leaving 4'off The property line.

MAJOR MODIFICATIONS TO DRAFT EASEMENT

WHEREAS, the Grantors are the owners of certain real property as hereinafter described (hereinafter referred to as the "Real Estate") which consists of two parcels of land, one approximately 9568 square feet in size (hereinafter referred to as the "House Property"), upon which is situate Grantors' residence (hereinafter referred to as the "Residence"), and the other approximately 9000 square feet in size (hereinafter referred to as the "Lot 18 Property"), upon which is situate a non-historic garage, and walkways and a paved driveway which provide access to the Residence, the Real Estate meeting the definition of a certified historic structure under Internal Revenue Service Regulations as it is listed as an "outstanding resource" in the Forest Glen Historic District adopted by the Montgomery County Council on May 19, 1992, and....

WHEREAS, the House Property and Residence have substantial historic, architectural, cultural and aesthetic character, and this Deed of Easement (this "Deed") will promote the protection and preservation of such character by protecting the setting and integrity of the historic Residence in its context with the Lot 18 Property; and

WHEREAS, the Grantors hereby express their desire to retain the Lot 18 Property as a part of the environmental, cultural and historic setting for the Residence located on the House Property, to prohibit new residential structures on the Lot 18 Property, and to prohibit conveyance of the Lot 18 property separate and apart from the House Property;...

1. Grantors hereby grant and convey to Grantee with Special Warranty of Title an easement ("Easement") in the Lot 18 Property which is all of that certain lot or parcel of land described as Lot 18, Block 17 in the Forest Glen Investment Company Subdivision of Joseph's Park, as delineated in Liber 6747, Folio 462, as filed among the Land Records of Montgomery County, Maryland, together with all of the rights and interests thereto belonging, which is situate, lying and being in Montgomery County, State of Maryland, and which is more particularly set forth in Exhibit A, attached hereto and incorporated herein. The definitions of the words "Real Estate," "House Property," "Lot 18 Property," and "Residence" set forth in the Recitals are incorporated herein by reference....

3. The terms of the Easement are as follows:...

(B) <u>New Residential Structure Prohibited</u>. Grantors will not cause, permit or suffer any new structure to be constructed for residential purposes on the Lot 18 Property, except the existing garage and driveway may be maintained and appropriately replaced, and landscaping modifications or improvements may be made, these exceptions to be permitted by or on behalf of the Grantors.

(C) <u>Separate Conveyance Prohibited</u>. To ensure permanent access to the Residence through the Lot 18 Property, Grantors will not sell, convey, alienate, or otherwise transfer their interest in the Lot 18 Property, as it

remains after the execution of this Easement, separate and apart from their interest in the House Property.

["Public Access" and "Maintenance and Administration" deleted]

Ziek, Robin

From: Sent: To: Cc: Subject: Metzger.Philip@epamail.epa.gov Tuesday, September 24, 2002 2:43 PM Ziek, Robin metzgerchase@att.net assessor contacts





easement.doc

easement.wpd

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Hi Robin,

Sorry to be a while getting back to you with my email address -- we were so busy getting our daughter ready to take to start college (which we did last weekend) that I just forgot. My home email is metzgerchase@att.net (though I'm sending this from work so I don't keep forgetting).

Might not the step before contacting an assessor be to get at least basic agreement on the scope of the easement to be donated? An easement allowing certain things and barring others would have a different value than one that allowed and barred a different mix of activities. But maybe an initial conversation with an assessor or two might make it simpler to clarify (or can help us to word) what's in or out.

Anyway, I'm attaching below what I sent Reggie Jetter as a starting point, but that was a little vague in 3(b) on some things we probably should make clearer.

(See attached file: easement.wpd) (See attached file: easement.doc)

Thanks again for your help on this.

Philip

MAJOR MODIFICATIONS TO DRAFT EASEMENT

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["Public Access" and "Maintenance and Administration" deleted]

· FAX - 240. 777. 6258 D. Mac Spicer =

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



FAX TRANSMITTAL SHEET

Historic Preservation Office Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: MAC SPICER FAX NUMBER: 240. 777. 6258 FROM: ROBW FIEK DATE: 7.30.02 NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: NOTE: Lo Eleen o Mae

Ziek, Robin From: PERMIT.DPS@CO.MO.MD.US Sent: Wednesday, July 24, 2002 7:37 AM To: Ziek, Robin Subject: Easements and setbacks TXT00000.txt --- Received from PERMIT.DPS 240 777-02-07-24 07.37 -> Robin.Ziek@MNCPPC.ORG -> PERMIT.SCALAS SUSAN SCALA-DEMBY PERMIT Thank you for inquiry to the Department of Permitting Services (DPS). Your request has been assigned to Ms. Susan Scala-Demby, Permitting Services Manager, for review and appropriate action. You should receive a response from our office within three business days. In the event that you do not, please feel free to contact Ms. Scala-Demby directly at: Susan.Scala-Demby@co.mo.md.us or call 240 777-6255. DPS thanks you in advance for your patience during the time we investigate your specific inquiry. From: Robin.Ziek@MNCPPC.ORG To: dps@co.mo.md.us Date: Tue, 23 Jul 2002 15:28:48 -0400 Subject: Easements and setbacks Reggie, I spoke with a property owner with two lots in the Forest Glen Historic District. He is running up against setback requirements for an open stair coming down from his front porch, even though the sideyard is also his property. Rather than go the route of a minor subdivision and

open starf country down from his from porch, even though the sideyard is also his property. Rather than go the route of a minor subdivision and erase the lot lines, he would rather consider a conservation easement where he actually donates the development rights off of the side yard (thus being eligible for a federal tax break). The question is whether he would still have to meet sideyard setbacks IF there was no more development potential for the side yard. The property could, I suppose, be sold to the adjacent property owner on the opposite side, but it would have no value for any other property owner. Actually, this side yard has the driveway and garage for the primary residence where the particular property owner lives who is contemplating all of this.

Please advise how DPS would act. would a variance to the setback also be another route, or would he need this is any case?

Thanks - Robin

7/25 2:40 Robin Please call Phillip Metzger / yes te rou d 202-564-5779 to tengum receipt S. 7/26 Robin 11:50 Please call Phillep

Metzger - Le'n going out of town + would like to talk Mith your today. 301-585-2441 D.

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



Outy Mm # 301.275.3717 ceu phone

FAX TRANSMITTAL SHEET

Historic Preservation Office Department of Park & Planning

202.564.5779

Telephone Number: (301) 563-3400 Fax Number: (301)-563-3412

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TO: Philip Metzger FAX NUMBER: 9 FROM: Ribn Zielc 7/25/02 564 . 0480 DATE: NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 13NOTE:

D

Ziek, Robin

From: Sent: To: Subject: Shaneman, Malcolm Tuesday, July 23, 2002 3:16 PM Ziek, Robin RE: Setbacks and easement donation

Robin,

Its primarily a DPS call. But, in the Zoning Ordinace in Section B-5 there are certain ezeptions for open stairways and incroachment into setbacks. Pass it on to him. Any questions call me.

Original Message		
From:	Ziek, Robin	
Şent:	Tuesday, July 23, 2002 2:38 PM	
Ťo:	Shaneman, Malcolm	
Ċc:		
Subject:	Setbacks and easement donation	

Malcolm,

A propoerty owner in our Forest glen Historic District owns two lots. He wants to build exterior stairs that would not meet the side-yard setback, even though he owns the adjacent property. He has looked into the minor subdivision process, and doesn't want to spend the \$2500. However, he would consider donating a conservation easement on the side lot, donating the development rights in perpetuity. Would that affect the sideyard setback? And, would MNCPPC be involved, or would this be a DPS decision? Or, would he have to ask for a variance? HELP! Thanks. Robin

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	9815 Hollow Glen Place	Meeting Date:	5/8/02
Applicant:	Philip C & Lynn C. Metzger	Report Date:	5/01/02
Resource:	Forest Glen Historic District	Public Notice:	4/24/02
Review:	HAWP	Tax Credit:	N/A
Project Num	ber: 31/8-02A	Staff:	Robin D. Ziek

PROPOSAL: Front porch steps and landing; alteration of kitchen window

RECOMMEND: Approval with conditions:

- 1. The original rear window will be retained in situ, including the original trim.
- 2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

PROJECT DESCRIPTION

SIGNIFICANCE:Outstanding Resource in Forest Glen Historic DistrictSTYLE:Queen AnneDATE:1891

This large frame Victorian has asymmetrical massing, including a square tower, a polygonal bay topped with a 2^{nd} story porch, a wrap-around front porch, and a rear kitchen addition with a hipped roof. It has narrow novelty siding. The has 2/2 double-hung sash, and operable shutters at many of the windows. The existing steps to the front porch are brick, with a metal pipe railing. The foundation is brick.

PROPOSAL

The applicant would like to replace the existing brick front steps with wood steps that match the existing front porch railing (see Circle 24, 24). There is a steep rise to the front porch, and the applicant proposes to include a landing with built-in seating in the new steps.

The applicant also proposes to remove an original window at the rear of the kitchen, and install a set of three windows across the back wall of the kitchen. The design is based on a similar grouping of windows on the front elevation. The applicant proposes to match the original trim, and design of the windows but use a thermally glazed product.

STAFF DISCUSSION

Staff supports the proposed removal of the non-original brick steps to the front door of the house, and their replacement with a wood step configuration based on the front porch design. This new feature will be compatible with the original house, and will utilize materials which are also compatible with the original frame structure.

There are concerns with the proposed replacement of the rear kitchen window and its replacement with three new windows. Staff notes that there are other ways to achieve the goal of a bright interior with lovely views to the exterior, while retaining the original fabric. Staff recommends that the original window and trim be retained, and that two new windows could be installed to either side. The windows could be the same size as the original window, but staff would recommend that the top trim for the new windows be flat, without the cresting backband piece. The group will perform as a unit of glazing, while still allowing the original design decision with its associated original material to read clearly. This complies with Secretary of the Interior Standards #2, 3, 5, 6, 9, 10 (see Circle 21).

STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

- 1. The original rear window will be retained in situ, including the original trim.
- 2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

and subject to the general condition that the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files) and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

· · ·	HIST			on for Nork Pi	ERMIT
				Contact Person: PHLIP C	
		•	1 ,	Daytime Phone No.: 202-	
Tax Account	No.: 019950	645			
Name of Prop	perty Owner: PHIL	PC. & LYNN C.	METZGER	- 202-3 Daytime Phone No.: 301-	585-2441
Address:	1815 HOLLON	GLEN PLACE	SIWER SPRI	UG MARYLAND	20910-1139 Zip Code
			•	Staet Phone No.: <u>301-</u>	•
-	egistration No.:			Phone No.:	<u>j 2 1 11</u>
Agent for Ou	egistration No.: 1-	HES. GTM ARCH	ITECTS	Daudime Phone No. 301-	942-9062 x 12
Address	: 10415 ARM	ORY AVENUE	KENSING	TON, MARYLAND	942-9062 × 12 20895
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House Numb	er: <u>9815</u>		Street:	HOLLOW GLEN P HOLMAN STREET INVESTMENT COM	LACE HYGZ
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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance: JOSEPH HERTFORD HOUSE IS DESCRIBED IN MASTER PLAN AMENDMENT ESTABLISHING FOREST GLEN HISTORIC DISTRICT AS AN "OUTSTANDING RESOURCE," BUILT C. 1891 BY ARESIDENT OF FOREST GLEN INVESTMENT COMPANY, SET ON A SMALL RISE 67' BACK FROM HOLLOW GLEN PLACE. THE QUEEN ANNE-STYLE HOUSE FEATURES A THREE-STORY TOWER, WRAP-AROUND PORCH AND COVERED BALCONY SURMOUNTING A BAY WINDOW ON THE STREET AND NEIGHBORS' VIEW OF EMSTING. SOUTH SIDE ELEVATION." NON-CONFORMING BRICK FRONT STEPS (EVILT C-1950) 15 PARTIALLY OBSCURED BY THICKET OF ESTABLISHED VEW AND DECIDUOUS"BURNING BUSH "SHRUBS. b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district (1) NON-HISTORIC FRONT STEPS AND METAL HANDRAIL (BUILT C. 1950) WILL BE DEMOLISHED AND REMOVED NEW WOODEN STAIR, BALKS, LANDING WITH SEAT WILL BE BUILT WITH ALL 'FEATURES (RAILS, BALISTERS SOLE PANELS, POST CAPS LATIKE, SUPPORT BRACKETS, BE. ITO MATCH HISTORIC FEATURES ON HOUSE, AND PAINTEL EXISTING SINGLE 2X2 WINDOW ON REAR (HTCHEN) WALL WILL BE REMOVED (INCL. NON-HISTORIC TRIPLE TRACK STORMS/SCREENS, INSTALLED C. 1974) 2. SITE PLAN AND THREE NEW ZXZ WINDOWS TO MATCH ENSTING WILL BE NOTALLED, AND ALLEXISTON MOULDINE/TRIM RETAINED AND MATCHED. BANKED WINDOWS MATCH TREATMENTON Site and environmental setting, drawn to scale. You may use your plat Your site plan must include. BANKED WINDOWS MATCH TREATMENTON ON FRONTISIDE IN WINDOWS.

- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumosters, mechanical equipment, and landscaping,

J. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17" Plans on 3 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of wails, window and door openings, and other fixed features of both the existing resourcets) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

5. TREE SURVEY

If yer: are proposing construction adjacent to or within the dripline of any tree 5° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size. location, and species of each tree of at least that dimension,

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and *bip* codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Gepertment of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

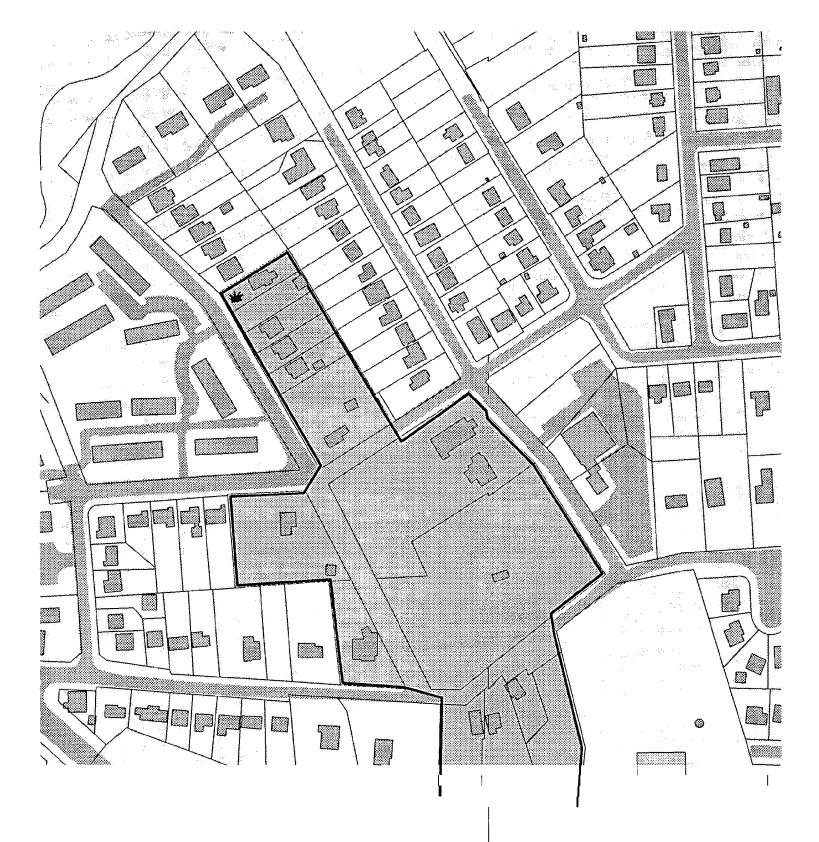
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

a. the scale, north arrow, and date;

NOTE: NO CONFRONTING PROPERTY OWNERS-SEE ATTACHED PARTIAL COPY OF WSSC MAP SHOWING LOCATION OF TOWNHOUSES ACROSS HOLLOW GLEN PLACE DO NOT CONFRONT PROPERTY

	NG ADDRESSES FOR NOTICING t and Confronting Property Owners]
Owner's mailing address PHILIP #LYNN METZGER 9BIS HOLLOW GLEN PLACE SILVER SPRING, MD 20910-1139	Owner's Agent's mailing address MARK HUGHES GTM ARCHITECTS 10415 ARMORY AVENUE KENSINGTON, MD 20895
Adjacent and confronting Pro	perty Owners mailing addresses
ROBERT & MARY SULLIVAN 9811 HOLLOW GLEN PLACE SILVER SPRING, MD 20910	PAT & JOY BRETTHAUER 9817 HOLLOW GLEN PLACE 51LVER SPRING, MD 20910
CINDY DENCHFIELD & FRANK KLASSEN 9812 ROSENSTEEL AVE. 31 WER SPRING, MD 20910	WALTER & MAUREEN BOOTH 9814 ROSENSTEEL AVE. 51 LVER SPRING, MD 20910
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g'addresses' noticing table



MHT SURVEY FORM

Another well known community lankmark is the St. John's Catholic Church. The history of this church goes back to 1774 when John Carroll established a parish here to serve the catho-This event was particularly significant lics of the area. because at the time catholics had been denied the right to practice their religion. The original church in now gone, however, a replica was erected on the grounds in 1956, in honor of the parish's second pastor, Father Charles O. Rosensteel. It was Father Rosensteel who directed the construction of the present St. John's Church in 1894. It is a Gothic Revival Structure built of Maryland red sandstone. The church is five bays in length with pointed arched stained glass windows with Buttresses between each. The church is entered from the squared tower facade, three stories high with a belfry in the top story. It is topped by a large steeple. Behind the church is a two story shingled bell tower.

Adjacent to the church is the parish house. It is a large, early twentieth century, frame, Colonial Revival structure. Ιt is three bays by four bays and has a hipped roof with a single gable roofed dormer at the facade elevation. The house has a frontispiece entry which includes a segmental pediment and doric pilasters. At the center of the second story facade is a triple window. The house is lit by six over one sash windows with shutters. At both side elevations is a single story porch with entry, supported by doric columns with balustrade.

Surrounding the church buildings is the St. John's Cemetery. Included among the tombstones are some interesting carved ones dating back to the early 1800's.

Of particular interest to the Forest Glen Historic District are four excellent examples of Victorian/Queen Anne architecture. All four were constructed in the 1890's and were for many years almost all that stood in the residential area. They are located, for the most part, along Hale Place (recently remamed Glen Hollow Road). All are in good condition and are reflective of high style Victorian architecture generally found in the more well-to-do suburban areas.

The first, #9815 Hale Place is a large, ornately decorated, Hellew & asymetrical Victorian frame residence. It is a two story, Lshaped structure with a three story tower in the L. It has a gable roof with a gable peak at the northern end of the facade. A porch with chamfered posts and balustrade extends across the facade and the southern side of the front L. On the southern side elevation is a projecting bay window with a covered balcony above. The house is lit by two over two sash windows with shutters. It was built about 1891 by the Forest Glen Investment Company (Mont. Co. Commissioners Tax Asses. Books, date property appears with improvements listed). It was owned by one of the members of the corporation, Joseph R. Hertford, until June of 1895 when it was sold after he defaulted on the mortgage. The house, on lots #14, 15 &18 of block 17, was then described as a large, well built residence of two stories with eight rooms, a bathroom, cellar

9815 Hole Place = 9815 Hollow Glen Place

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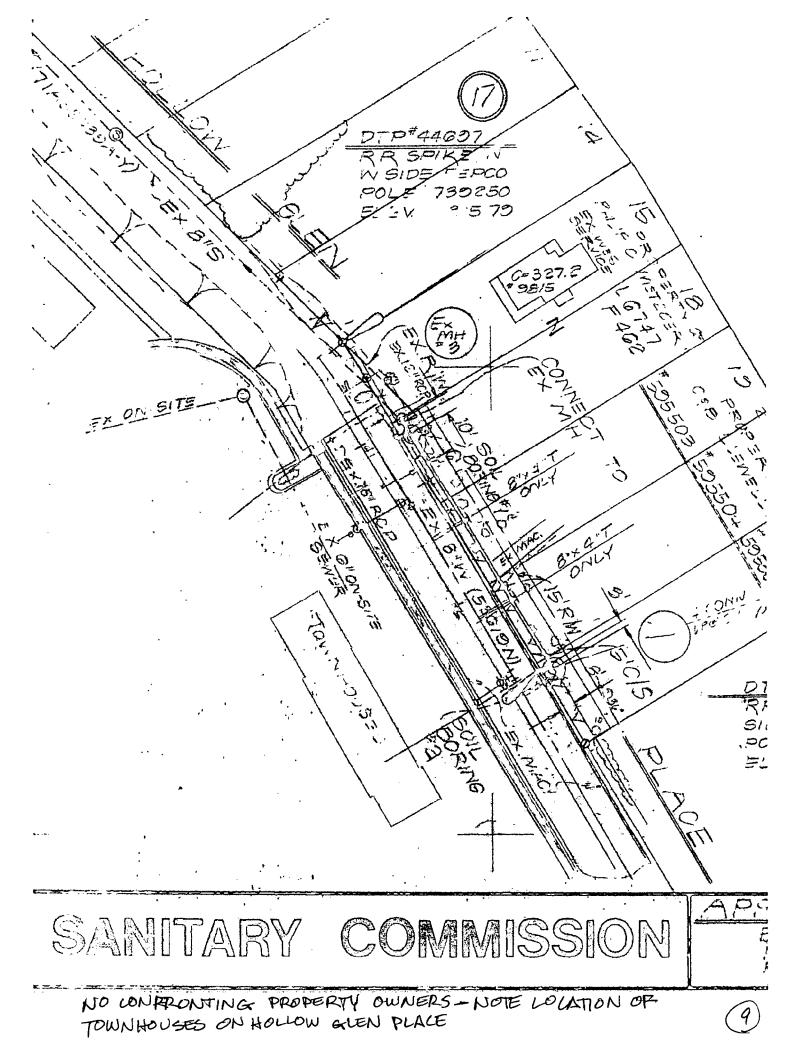
now

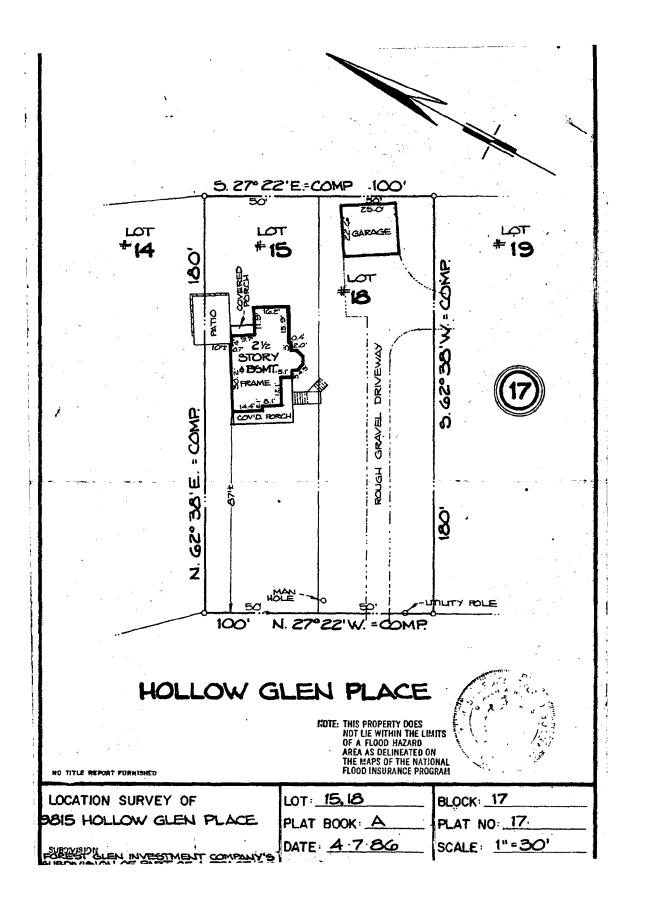
and attic. According to the sale advertisement, the property was "adorned with shade trees" (as it still is) and conveniently located near the railroad station (Equity #1-299, Judgement Record, JA 11/465). It was sold for \$3,615 to Addison Fritchey who sold it less than a year later to Emma E. Knott (Deed JA 53/43). Emma Knott owned the house for many years. In october of 1973 it was purchased by the C.M. Llewellyn, Inc. and is now being offered for sale.

Next is #2411 Holman Avenue which is a fine example of Victorian Stick-Style architecture. It is a three bay by four bay, two and a half story frame structure with a center gable roof. An extremely ornate Stick porch with turned posts, jig-sawn brackets and balustrade runs the length of facade and around to the southern elevation. The porch has a shed roof with a center gable over the entry at the northwest end. On the second story side elevation at the southeast corner is a small balcony enclosed by a balustrade railing with a wooden panel featuring a sunburst design. The roof of the house extends down here to cover the balcony and is supported by decorative brackets. Two over two sash windows light the house. Other Victorian architectual details include the bargeboard in the facade center gable, sunburst pattern panels above the windows on the second story facade and a mix of building materials including novelty and clapboard siding and fishscale shingles. The house was built in 1891 by Shepard S. Everett on lots #26, 27 &30 of block 17 which he purchased in 1890 from Joesph R. Herford of the Forest Glen Investment Company. Shepard and his wife, Emma owned the house until 1906 when it was sold to Etta J. Miller. Following the death of Etts's husband, William she sold the property to Stanley and Hilda Borzage. Then, in 1947, they sold it the the present owners, John and Olive Baldwin. (Information provided by Inventory form prepared by Candy Reed and Eileen McGuckian &others, 2/79. For additional information, see form on file at the M-NCPPC Park Historian's Office, #31/8).

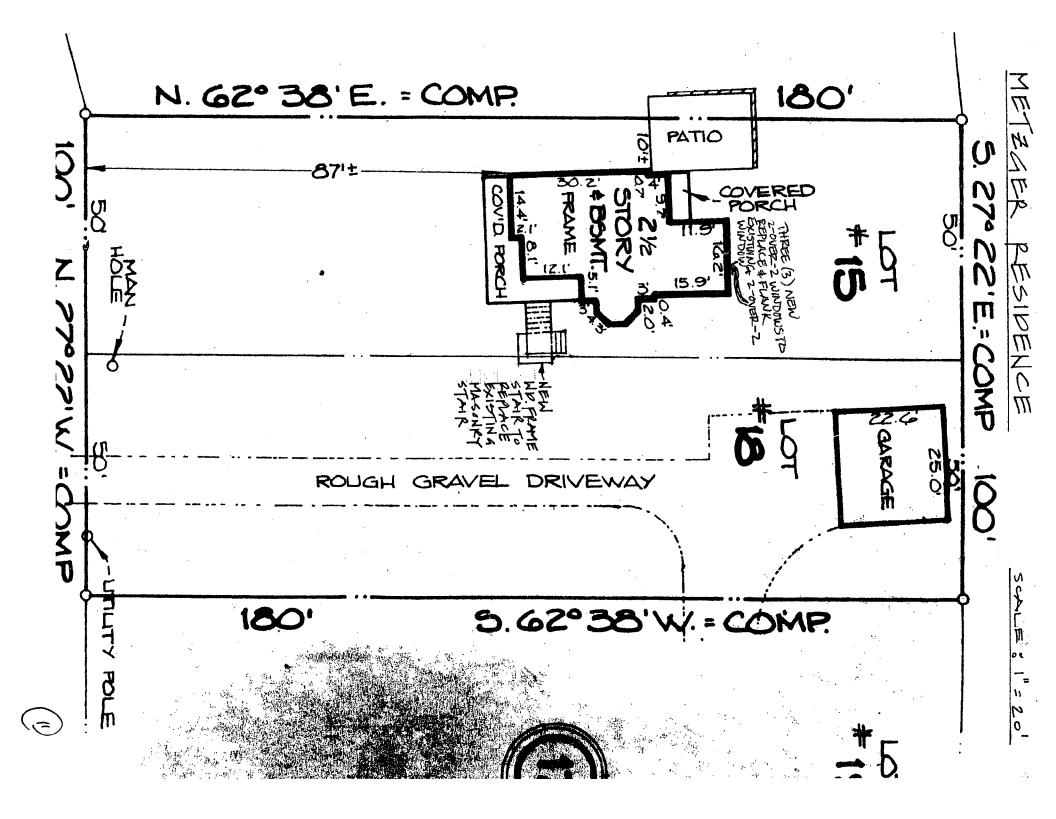
Sitting across from the Baldwin house is #2500 Holman Avenue. This too is a fine example of late Victorian architecture. It is a large, frame, L-shaped residence. To the east side of the facade is a two bay, two story section with a center gable roof. The center gable is framed by a projecting cornice on all three sides and has a small two paned window in the center. The entry sits back on the west side, located in a three story squared tower-like section with an open top story. Behind this is the center gable roof like that previously described. In front of this section is an entry porch with turned posts and jig-sawn trim with a framed pediment. This porch continues around to the west elevation. The house is lit by two over two sash windows with shutters. Two gable roofed dormers are located at the side elevations. This house was constructed about 1891 by the Forest Glen Investment Company (Mont. Co. Commissioners Tax Asses. Books, the property appears with improvements listed between 1891 and 1896 under the Forest Glen Investment Company, Joseph Hertford and Benjamin Holman, incorp.).

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KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

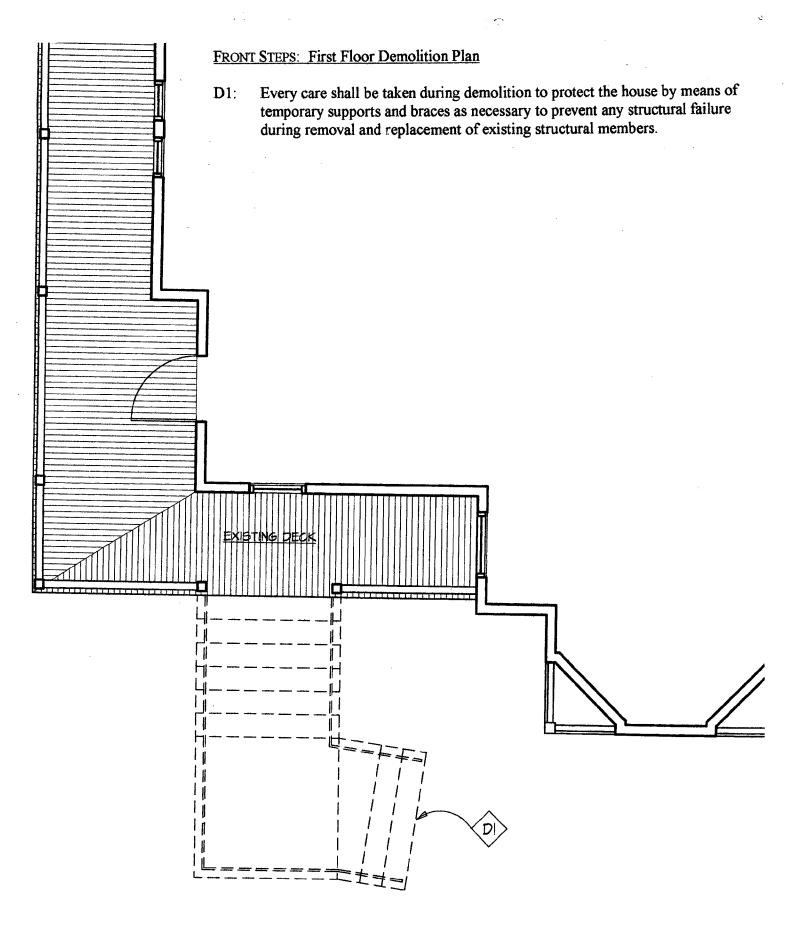
- C1: (2) 2x8 pressure treated lower beam
- C2: 2x8 pressure treated deck joists @ 16" O.C.
- C3: 2x12 stair stringer pressure treated @ 16" O.C.
- C4: (2) 2x8 pressure treated deck joists
- C5: $4 \frac{1}{2}$ x 4 $\frac{1}{2}$ post set in 12" ϕ x 2'-6" deep concrete footer, typical (TYP)
- C6: Custom railing, 1 ¹/₂" x 3 ¹/₂" w/ rounded top to match existing, painted (PTD), TYP
- C7: Smoot stair tread, 11 ¹/₄" x ³/₄", PTD, TYP
- C8: T & G composite decking, to be tenduraplank (1-800-TENDURA), PTD, TYP
- C9: Exterior plywood seat, A-C exterior grade, w/ WD edge trim, PTD, TYP
- C10: Brick paver set in concrete slab
- C11: (2) 2x8 pressure treated beam, pocket into masonry piers

FRONT STEPS: Elevations - Front, Right side, Rear, Section

- C1: Cantilevered 2x8 pressure treated deck joists, TYP
- C2: Lower double 2x8 pressure treated beam, TYP
- C3: 4 ¹/₂"x4 ¹/₂" pressure treated post incased in 12" \$\phi x2'-6" deep concrete footer, TYP
- C4: WD railing to match existing, PID, TYP
- C5: Pressure treated post to match existing, PTD, TYP
- C6: 1 1/16"x1 1 ¼" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16"x3 ¹/₂" Smoot landing tread
- C9: Panel
- C10: New watertable trim to match existing
- C11: WD lattice screen w/ 1x flat WD trim surround to match existing, PTD, TYP
- C12: Decorative WD bracket, PTD, TYP
- C13: 5/4 x flat WD trim, PTD, TYP
- C14: Existing masonry pier, TYP
- C15: New watertable trim to match existing
- C16: T & G composite decking, to be Tenduraplank (1-800-TENDURA), PTD, TYP
- C17: Exterior plywood seat, A-C exterior grade, PTD, TYP
- C18: 1x flat WD riser, PTD, TYP
- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

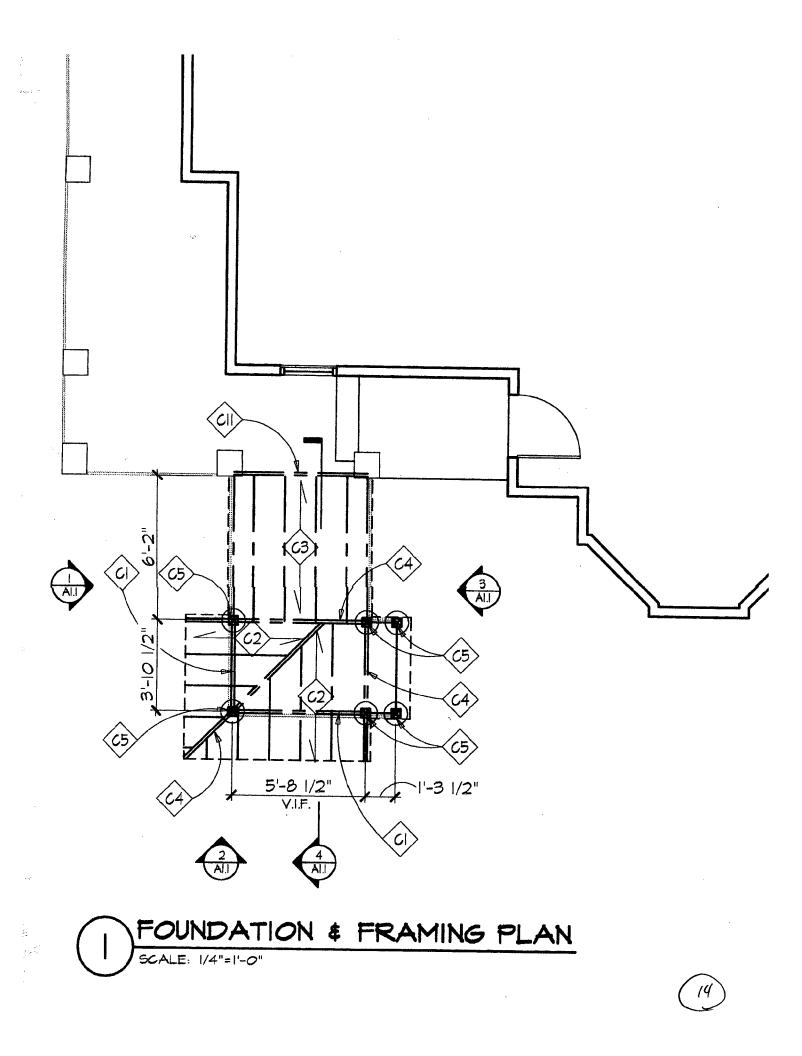
KITCHEN: Existing and Proposed (partial) Plan and Elevations

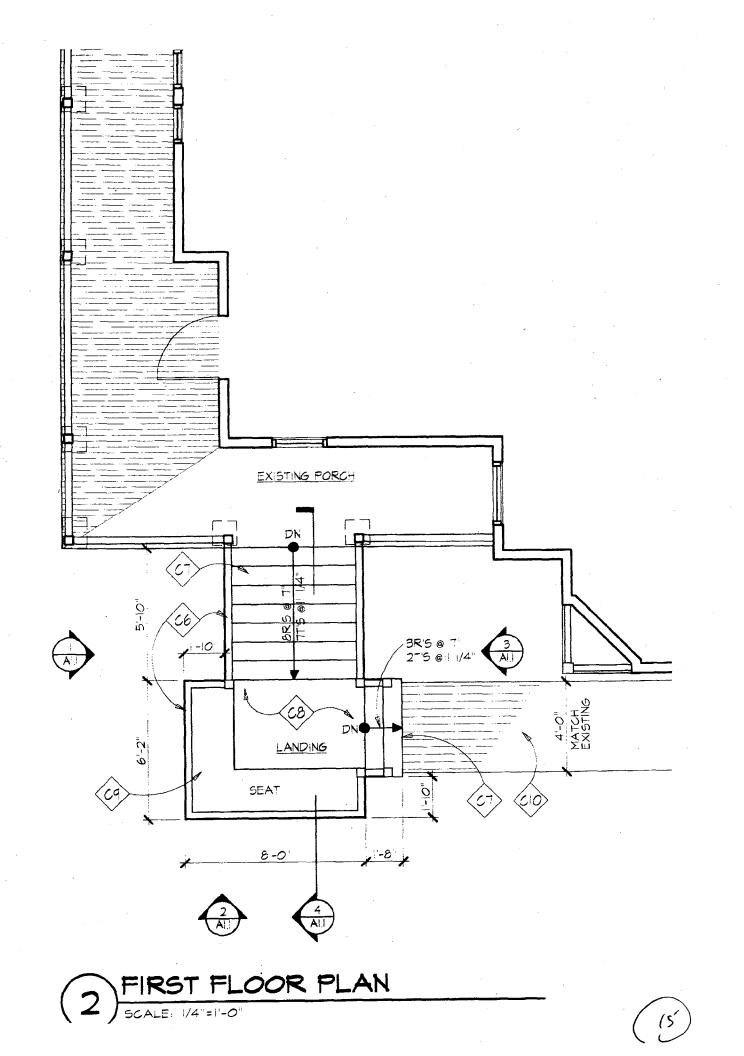
- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

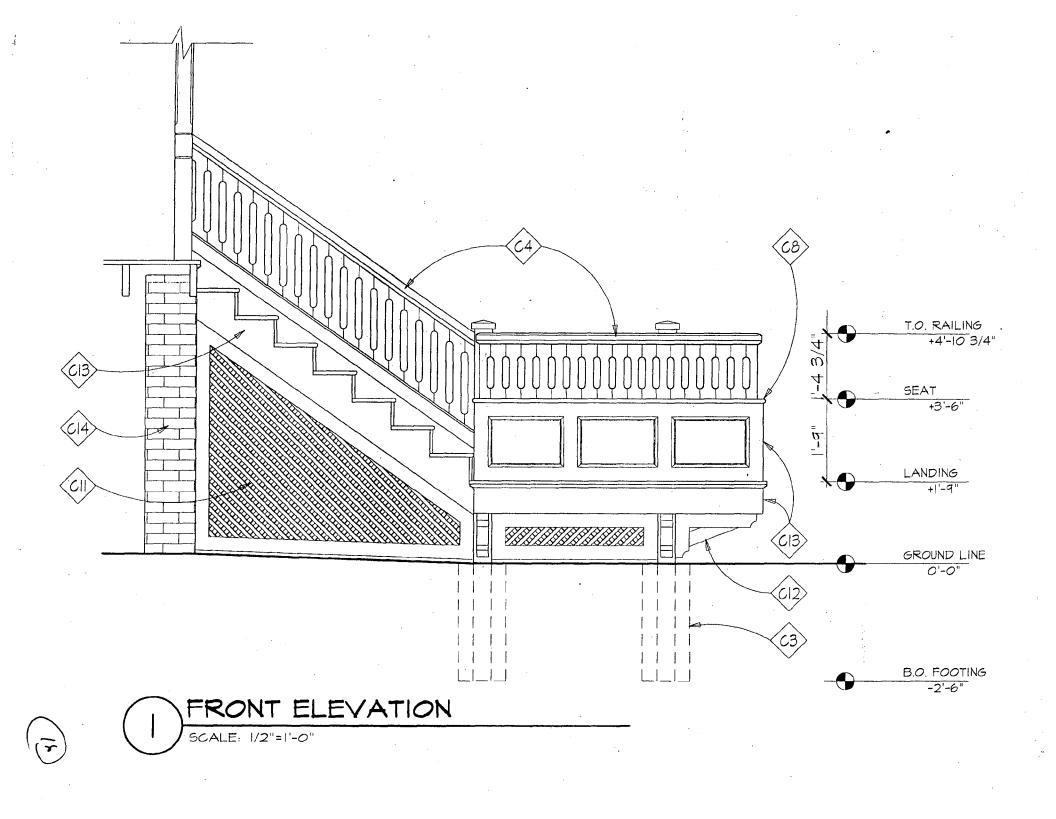


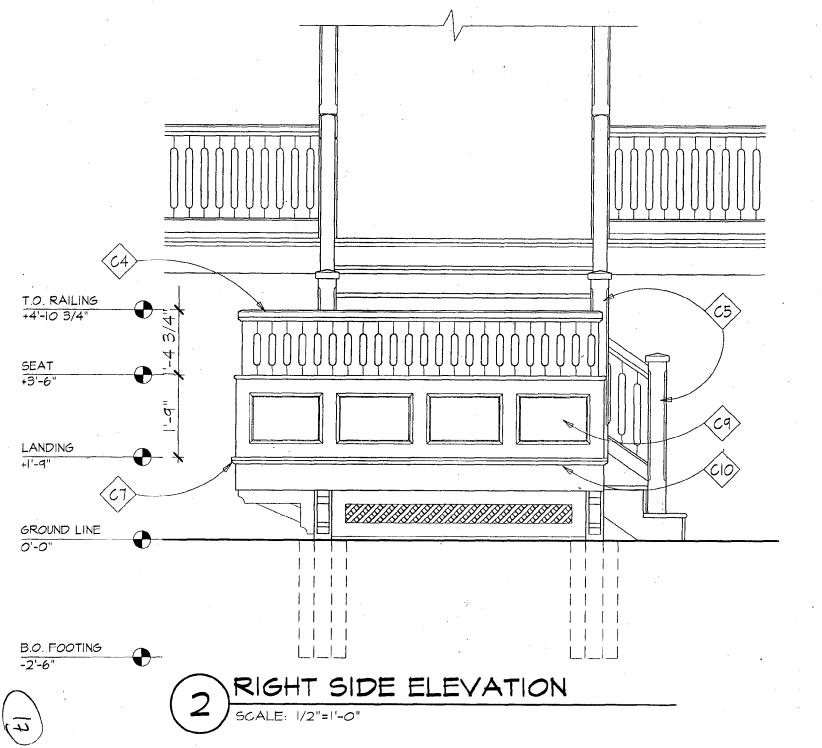




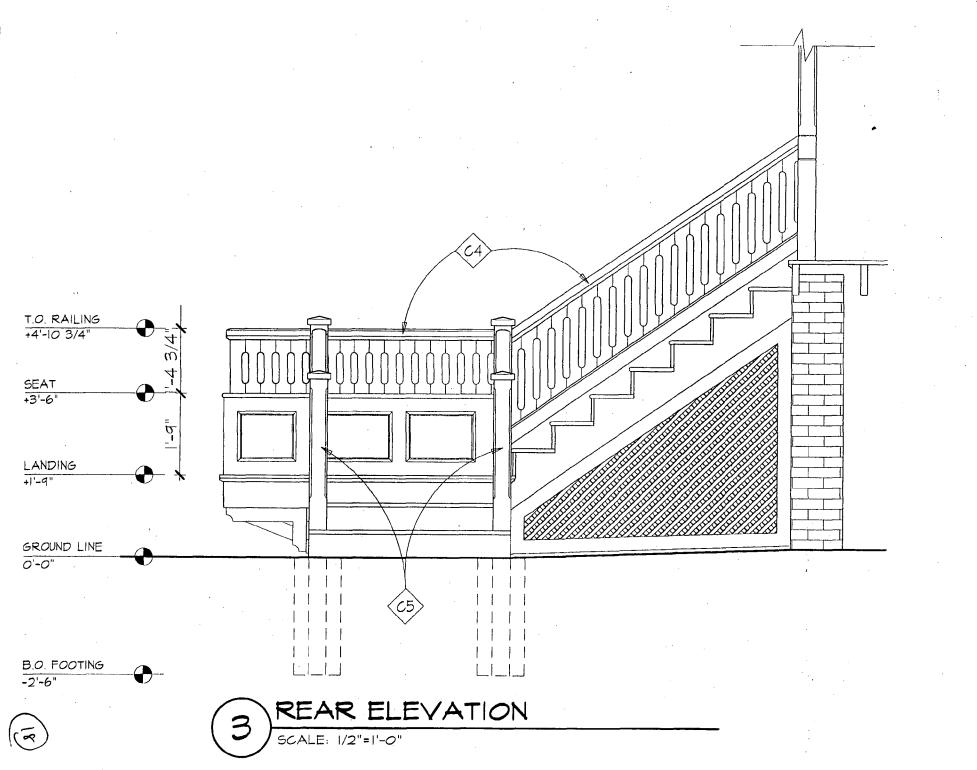




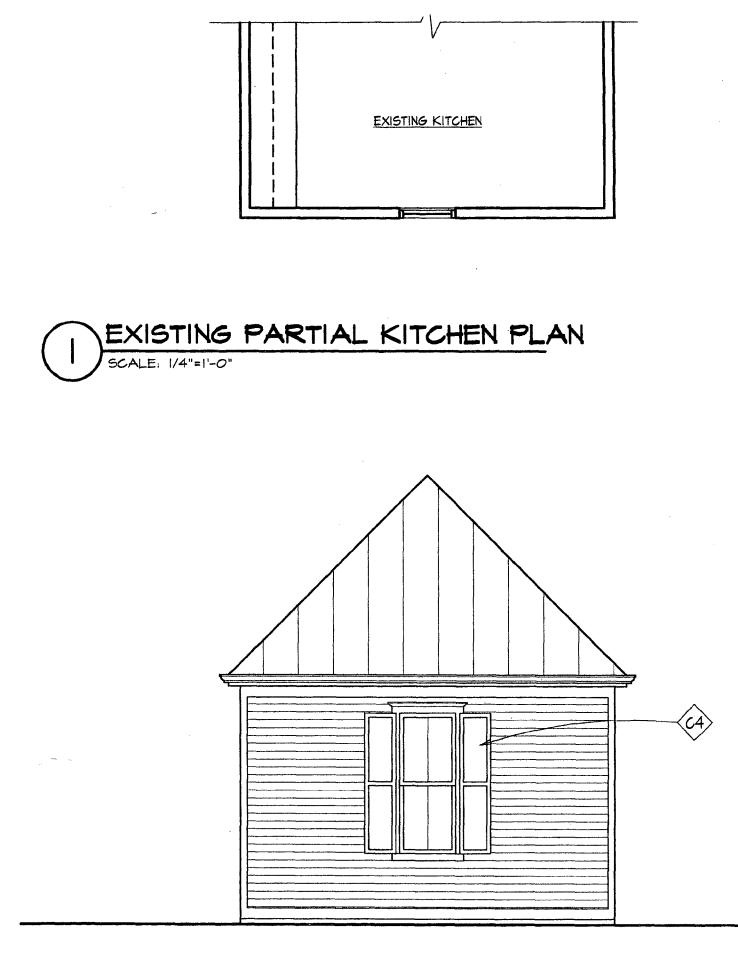




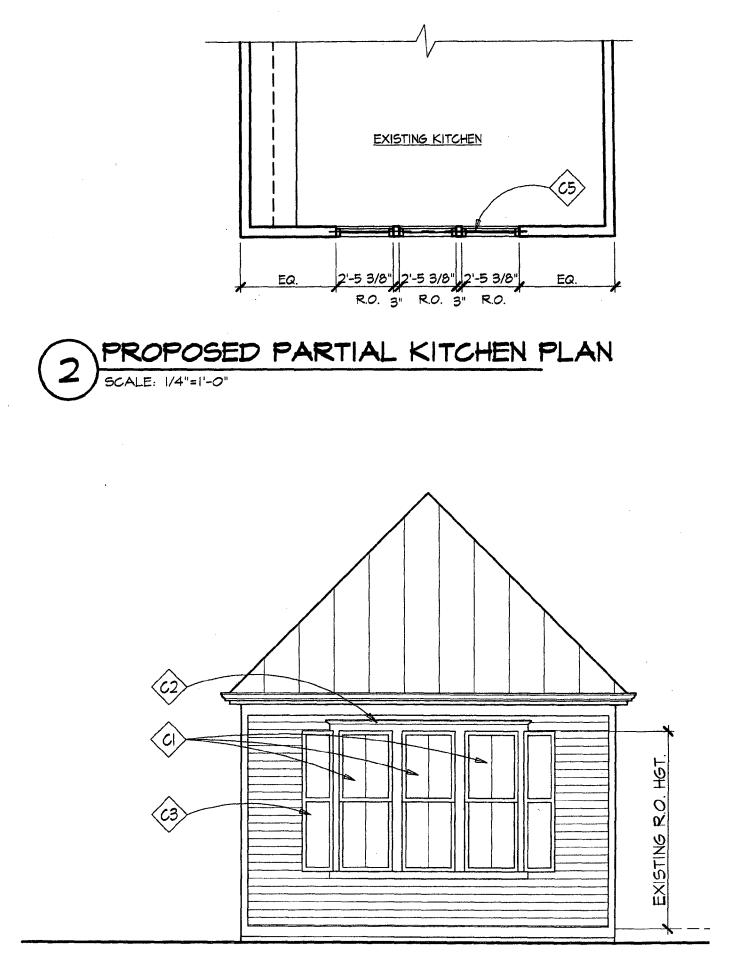
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EXISTING



PROPOSED

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REHABILITATION

is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

STANDARDS FOR REHABILITATION

1. A property shall be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.

4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match

REHABILITATION AS A TREATMENT.

When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment. Prior to undertaking work, a documentation plan for Rehabilitation should be developed. the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible.

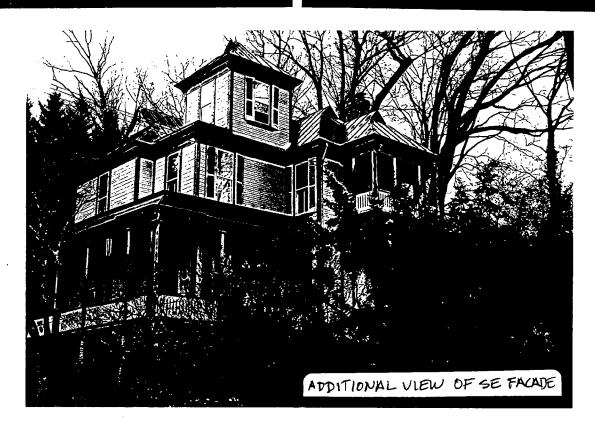
Treatments that cause damage to historic materials shall not be used.

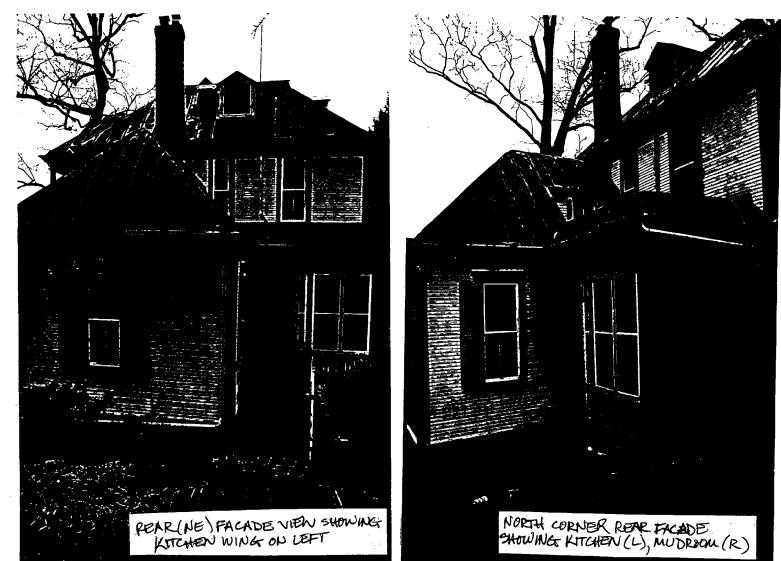
8. Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.

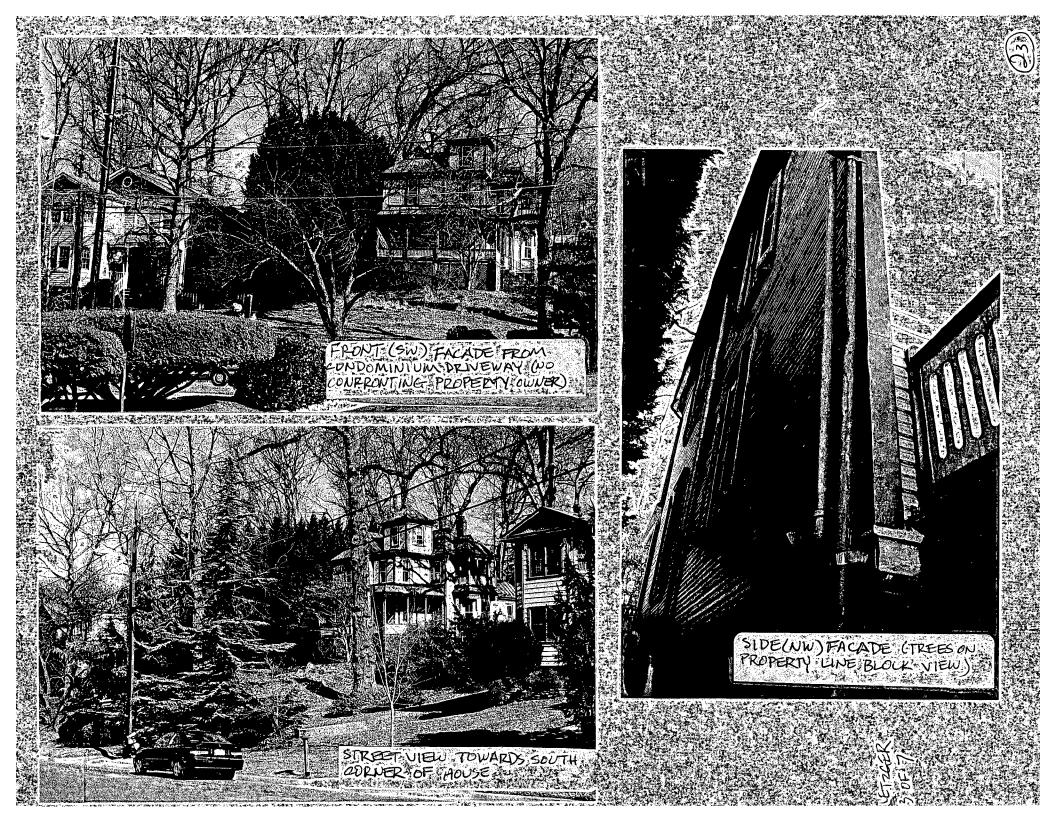
9. New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

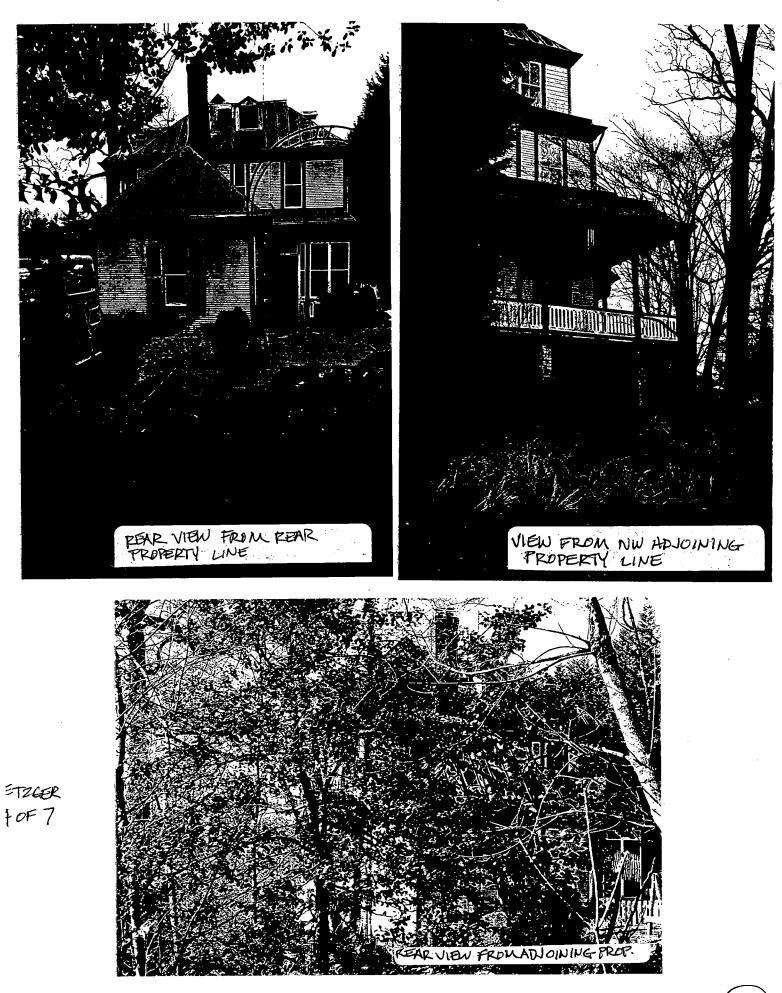
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

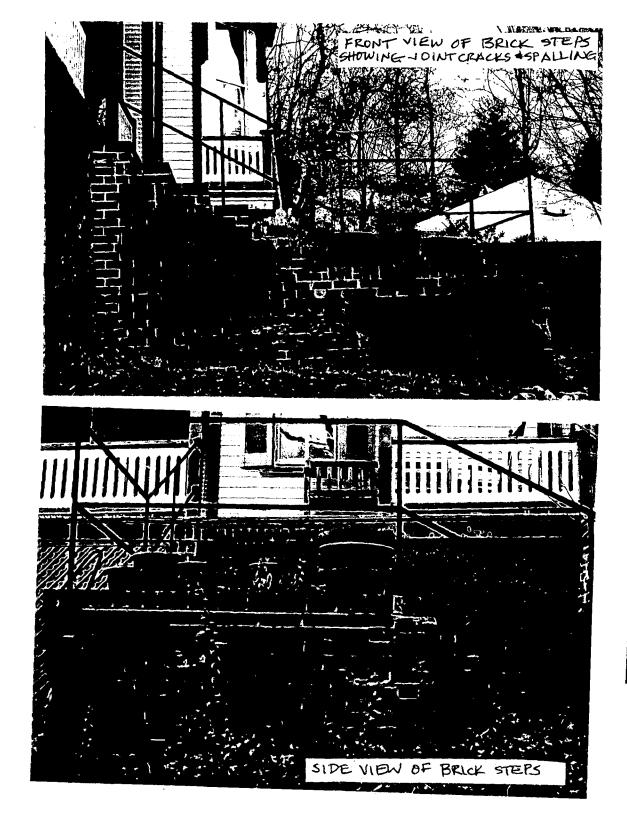
METZGER

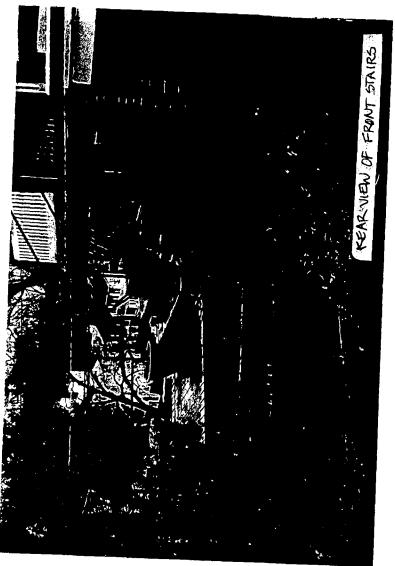




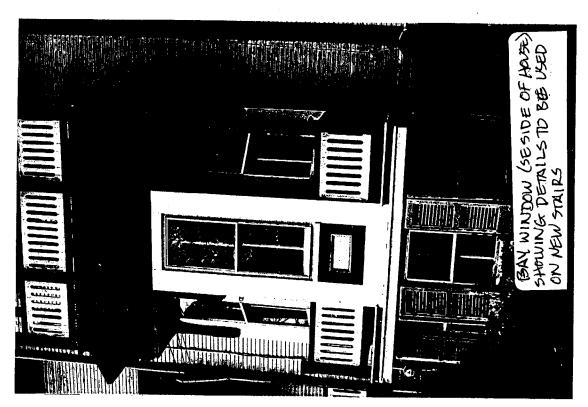




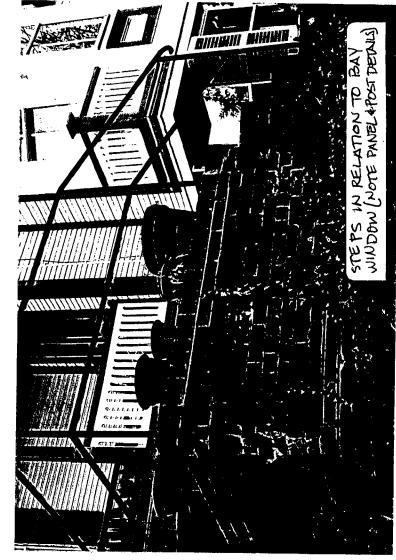




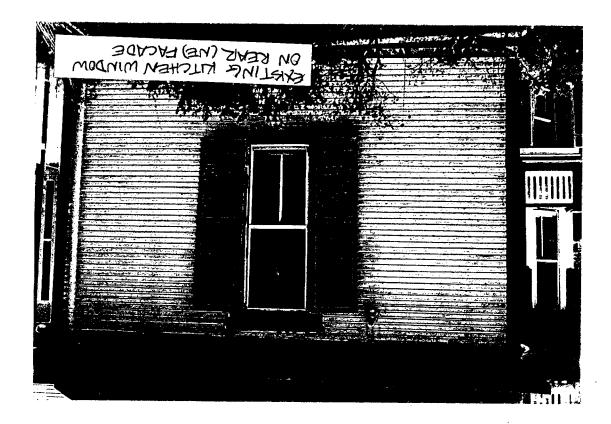
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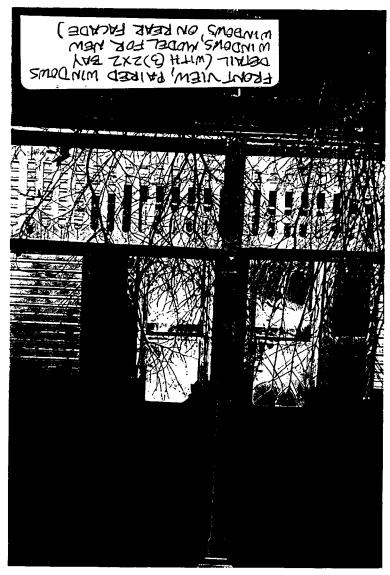
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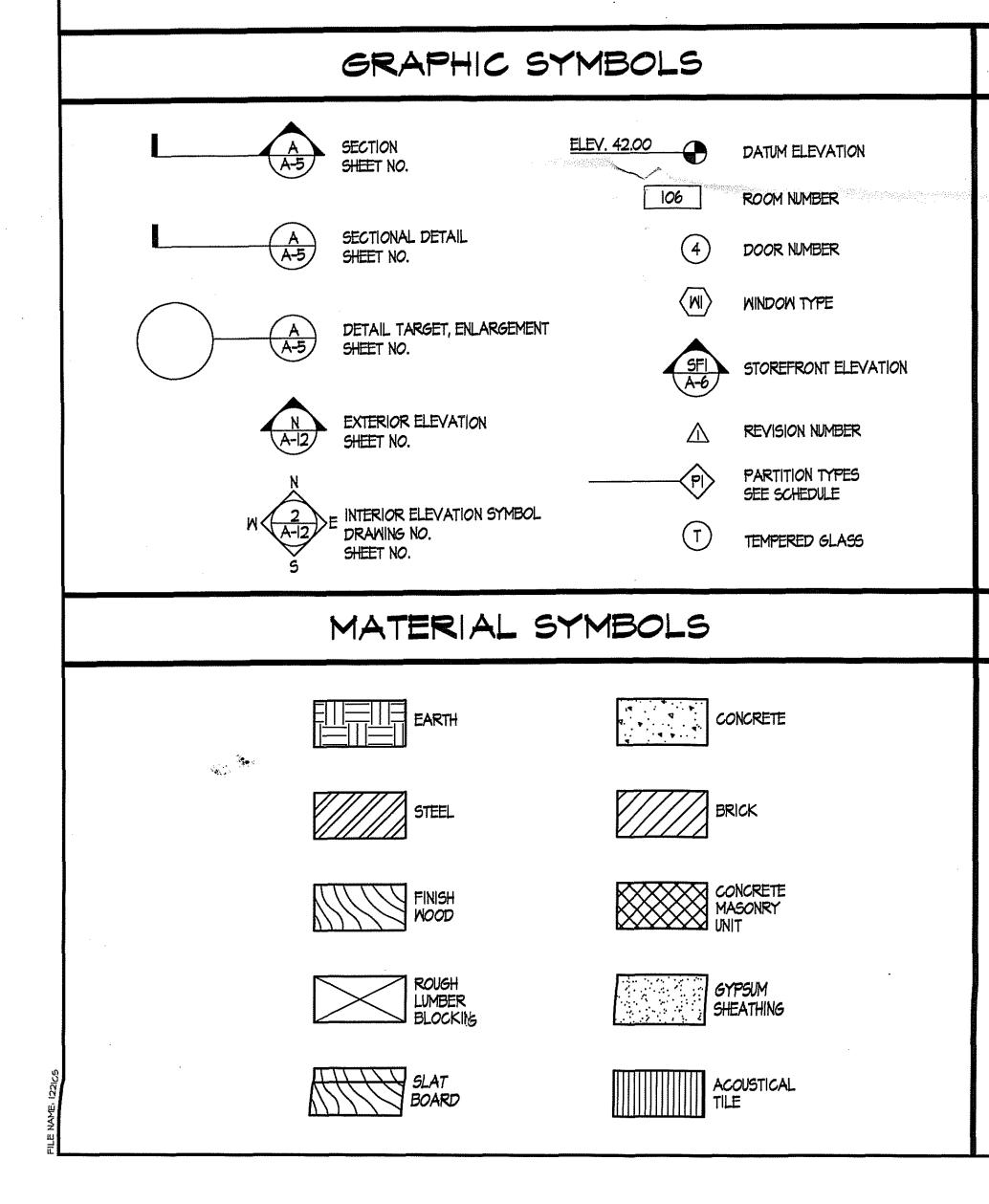


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L to L JEDZLEW

METZGER RESIDENCE 9815 HOLLOW GLEN PL. KENSINGTON, MD



BEAM BOARD

LIST OF DRAWINGS

CS COVER SHEET

SP SPECIFICATIONS

DI.O DEMOLITION PLANS

FOUNDATION PLAN & FIRST FLOOR PLAN AI.0 AI.I PORCH STAIR ELEVATIONS & SECTION A2.0 EXISTING KITCHEN PLAN & ELEVATION, PROPOSED KITCHEN PLAN & ELEVATION

HOUR

INCH

INFORMATION INSIDE DIAMETER INSULATED, INSULATION

ABBREVIATIONS

EACH EAST ELECTRIC, ELECTRICAL ELEVATION ELEVATION EMERGENCY POWER EMPTY CONDUIT ENGINEER ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXPANSION JOINT EXTERIOR PLATE PLUMBING PLYWOOD POLYVINYL CHLORIDE POUNDS POUNDS PER SQUARE INC PREFABRICATED ABOVE FINISH FLOOR PL MB PLYXD PVC LB PSI FAB PREFIN PRELIM INTERIOR ABOVE FINISH FLOOP ACOUSTIC ADJUSTABLE AIR CONDITIONING AIR HANDLING UNIT ALTERNATE ALTERNATE ALTERNATE CURRENT ALTERNATE ALTERNATE CURRENT AMPERES ANCHOR BOLL ARCHITECT AT AVERAGE JANITOR'S CLOSET JOINT JOIST ELEC ELE\ JUNCTION BOX EC ENGF ENC EXM LAMINATED LAVATORY LEFT HAND LENGTH LIBRARY LINEAR FEET LONG LEG HORIZONTAL LONG LEG VERTICAL PREFINISHED LAM QUARRY TILE GT EX EXP EXP JI EXT RAD, R REF REINF REGD RES RA RADIUS REFRIGERATOR REINFORCING LLH LLV Fahrenheit Feet per minite Feet, foot Finish Fire extinguisher CAB Floor Fluorescent Fire rated REINFORCINE REGUIRED REGULENT RETURN AIR REVISION RIGHT HAND ROOM ROUGH OPENING BM BD MAINTENANCE MANUFACTURER MASONRY CABINET CATALOG CEILING CENTERLINE CERAMIC TILE CLOSET COLIMN COMPANY CONCRETE CONCRETE CONCRETE CONCRETE CONTERENCE CONTROL JOINT COORDINATE CORDINATE CAB CAT CLG CL CT MASONRY OPENING MASONRY OPENING MECHANICAL MEDILM MEDILM MEZZANINE MINIMUM MISCELLANEOUS MOUNTED MULLION FL FLOIR FR SCHEDULE SECTION SERVICE SINK SIMILAR SOUND TRANSMISSION SPECIFICATION SOUARE STANDARD STANDARD STANDARD STAND PIPE STANLESS STEEL STATION STEEL STORAGE STRUCTURAL SUSPENDED CEILING C- CLOL ON THE DR GAUGE GALLON GALLONS PER MINUTE GALVANIZED GENERAL CONTRACTOR GROUNDED FAULT INTERUF GYPSUM WALLEOARD SCHD GAL GPM GALY GC GFI GYP GWB STM SPEC NOT IN CONTRACT NOT TO SCALE NUMBER NIC NTS #, NO CORRIDOR HANDICAPPED HARDWARE HARDWOOD HEIGHT HERTZ HOLLOW METAL HORIZONTAL HORSE POWER HOT WATER HEATER OFFICE ON CENTER OPENING OPPOSITE OUNCE OVERALL OVERHEAD OFF OC OPNG OPP OZ OA OH CUBIC FEET CUBIC FEET PER MINUTE DEDICATED DEPARTMENT DEPTH DETAIL DIAGONAL DIAMETER DIMENSION DISHINASHER DOOR DOOR DOWN DRAMING DRINKING FOUNTAIN

PAINTED PANEL

NFC

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PARTITION

PERPENDICULAR

PERSONAL COMPUTER PHASE PLASTIC LAMINATE

PTD PNL

PTM

PERP PC PH P LAM

STL STOR STRUCT SUSP TELEPHONE THICK OR THICKNESS THRESHOLD TILE THK THRSLD TONGUE & GROOVE TOP TYPICAL T&G TYP VERT VERTICAL

VESTIBULE VIVYL COMPOSITE TILE VOLTS

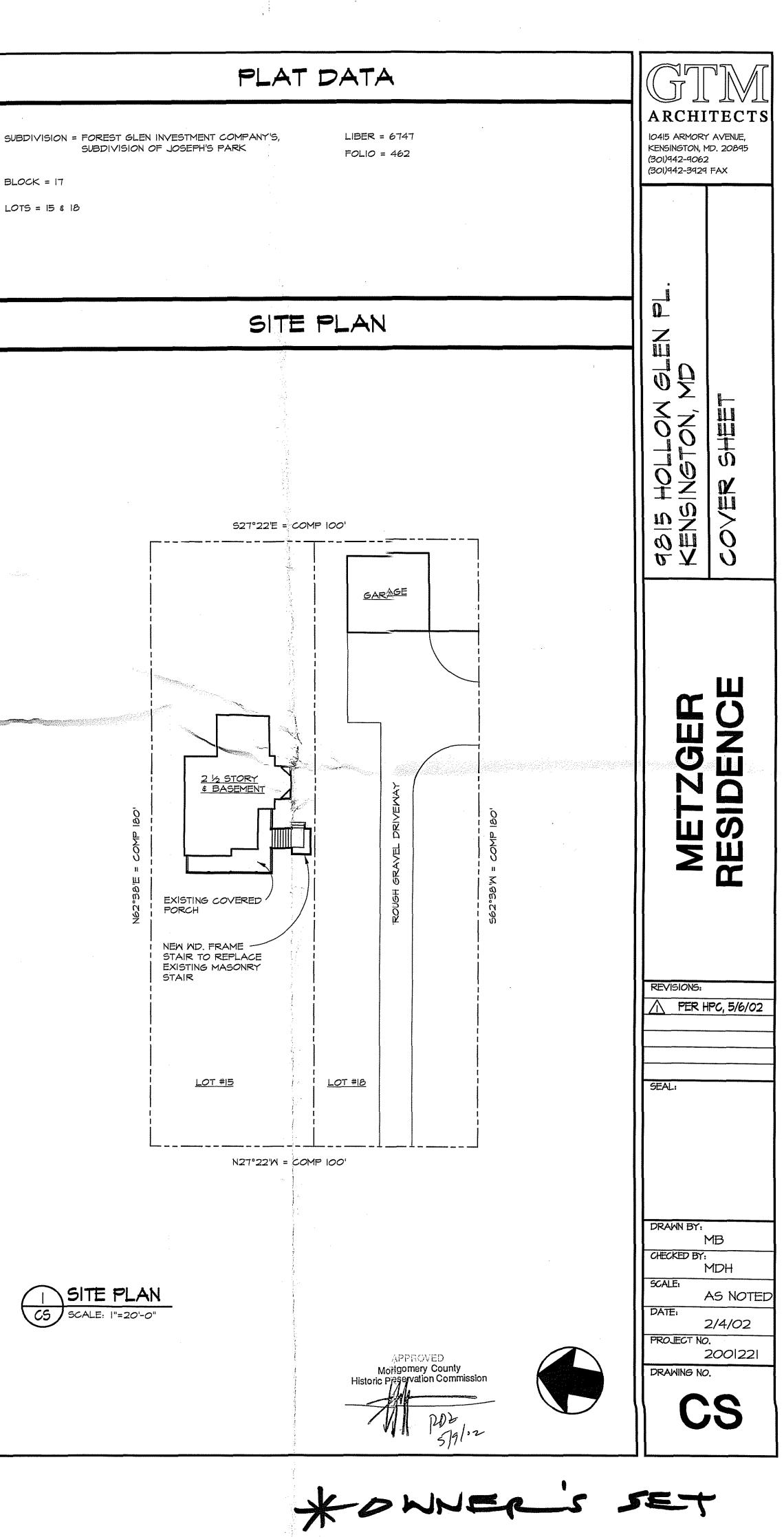
Wallboard Welded Wire Fabric Width Window With With Without Wood

YARD

VCT

ND

YD



SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline, specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the items mentioned below may apply to this project.

GENERAL REQUIREMENTS

All work shall conform to the applicable sections of the Montgomery County code for single family construction and all applicable building codes. 2. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction as

required. 3. The General Contractor shall coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project. 4. Any permits required for the project shall be obtained by the General Contractor, unless

informed otherwise by the Architect that the permit has been obtained. 5. The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any losses of material. 6. All debris shall be periodically removed from the site so as not to create a physical or visual hazard to the Owner.

7. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project, labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.

8. The General Contractor shall provide competent daily supervision of the project. 9. The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.

10. The General Contractor shall carry Workmen's Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.

II. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.

12. The General Contractor shall carefully study the contract documents and report to the Architect any error, omission or inconsistency he may discover.

13. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the Work, and shall guarantee no mechanic ilens against the project at completion.

14. The Contract Sum is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a written order by the General Contractor, signed by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum.

15. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an Itemized application designating which portion of the work has been completed.

GENERAL STRUCTURAL NOTES

. Work shall be done in accordance with the CABO one and two family dwelling code, 1995 Edition.

2. The design gravity live loads are as follows:

Roof Load (snow) 30 LL + 15 DL = 45 PSF Living Spaces (1st Floor) 40 LL + 15 DL = 55 PSF Sleeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF Exterior Decks 60 LL + 15 DL = 75 PSF Live Load Deflection Limitation for floors shall be L/360

Live Load Deflection Limitation for roofs shall be L/240

FOUNDATIONS

. The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that there is no water condition present.

2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF. 3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a uniform surface.

4. Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prigr to placing the granular material, the floor subgrade shall be properly compacted, roofrolled, free of standing water, mud, and frozen soll. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill. 5. Bottoms of all exterior footings shall be 2'-6" below finished grade. Footings shall project a minimum of 12" into undisturbed existing natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

MASONRY

. Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications SS-C-181E-type II. Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all work from cold and frost and insure that mortar will cure without freezing. Calcium Chloride and antifreeze admixture will not be acceptable.

2. Bearing steel and wood beams shall be supported on solid masonry piers as indicated. Other structural members (lintels etc.) shall be supported on B" of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4".

3. Anchor boilts: Set anchor boilts or approved anchor straps as required. Boilts for wood sill plates shall be 1/2" diameter and project 16" into masonry. Set bolts or straps 12" max. from end of any plate.

4. Masonry walls shall have horizontal wire joints reinforcement at least 16" O.C. vertically. 5. Provide 4" solid masonry on all sides of joists or beams entering masonry party walls.

60Brick Veneer: A. Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16" O.C. horizontally and verticallu.

B. Provide and set flashing at lintels. Base courses, sills, spandreis, parapets and as noted on drawings. Provide weep holes at the bottom of veneer and flashings at 24" O.C. 7. C.M.U.'s to have water repellant block admixture; 'DRY-BLOCK' by W.R. Grace recommended. 8. Exterior mortar to have water repellant admixture.

ENERGY CONSERVATION

BOCA Basic Energy Conservation Code. 2. Insulation:

- Celling (of uppermost story)
- Vaulted Celling Frame Walls (with storm
- window or double glazing)
- Rim Joists Floors over unheated spaces
- (including Floor overhangs)
- Masonry Walls (enclosed heated

living areas) Slab on grade (heated space) 24" perimeter insulation

- Windows
- Doors

3. Air Infiltration: A. Windows: not exceeding five tenths (0.5) CFM of sash crack. B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area. C. Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area. Provide I" fiberglass sill sealer between foundation wall and all sill plates. d.Fill all construction (electrical and plumbing) holes, cracks, loose joints and spaces in rough framing and rough masonry with approved foam sealer or similar sealant.

CONCRETE

I. All concrete construction shall conform to the latest A.C.I. code 318. 2. Concrete shall have natural sand fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type I Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength(F/C) as follows:

F/C = 3,000 PSI for foundation walls exposed to weather.

F/C =3500 PSI for drives, porches, walks, steps. F/C =4,000 PSI for precast concrete units.

approved in writing by the owner. a very light broom finish.

6. Expansion joints: Non-organic, owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials. 7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling.

8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate gradedeformed billet steel conforming to ASTM spec. A615-40. All other reinforcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-185. Fabric shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and installed in accordance with the latest detailing manual A.C.I. 315. **9.** Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted otherwise.

10. Horizontal footing reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections. . Footings:

a licensed geotechnical engineer. of any plate and 4'-O" max O.C. spacing.

WOOD & CARPENTRY

with the following combination of unit stresses:

Extreme fiber stress in bending Compression parallel to the grain

Compression perpendicular to the grain 565 psi

Modulus of Elasticity Shear Stress 1,500,000 psl 2. Manufactured roof and floor joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval. Submit three (3) stamped/sealed shop drawings to the Architect for review. 3. Roof rafters and/or trusses shall be connected at each bearing point with one prefab-90 psi ricated galvanized rafter tie (hurricane clip) by Simpson or equal. Similarly, floor joists and trusses shall be connected with one prefabricated joist hanger. Each anchor shall be 18 GA minimum thick . 4. Provide double joists under ail parallel partitions, at joists that support headers, and at headers that support joists. Use joist hangers where applicable. 5. All joists and rafters shall be rigidly braced at intervals not exceeding 8'0".

below (unless noted otherwise on drawings): Double 2 x 4 Up to 3'-0"

Double 2 x 6 Up to 4'-0" Double 2 x 8 Up to 5'-0"

Double 2 x 10 Up to 7'-0" Double 2 x 12 Up to 8'-0"

All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12" on center.

7. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends. 8. Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum

bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls.

3. Install flooring in strict accordance with the recommendation of the National Oak Flooring 9. Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect. Drilled Manufacturer's Association. holes shall be centered at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 2' from the ends or within the middle 1/3 of the span. Provide 4" clear between holes. CERAMIC TILE: 1. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions. . Provide ceramic tile and accessories in accordance with the Tile Council of America Specifications

12. All piywood shall be APA span rated. Use exterior grade plywood wherever edge of face will be exposed to weather. Interior plywood exposed to weather during construction shall be Exposure i A. Exterior wall sheathing shall be 1/2" plywood unless noted otherwise.

APA recommendations.

C. Roof sheathing shall be 1/2' plywood. Provide "H" clips at Butt Joints of roof sheathing. 13. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by the Trus Joist Corporation or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams together, provide a minimum of two rows of 16d nails 12" on center. 14. TJI Floor Joists are to be manufactured by the Trus Joist Corporation or approved equal.

. The following provisions for thermai resistance meet or exceed the requirements stipulated by the

- BOCA R-30 R-30
- R-15
- Rim Joists
- R-30
- R-7
- R-5.5

Double-Glazed (u-factor 0.31) Double-Glazed (u-factor 0.50)

- F/C = 2,500 PSI for footings, interior slabs on grade and fill in concrete blocks.

3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained 6% of concrete volume. No calcium chioride or other admixtures shall be used except as

4. Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6, 10/10 welded wire mesh; lap mesh 6" in each direction . Slabs shall be laid on a layer of 6 mil polyethylene over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation. 5. Concrete finish: All exposed steps, stoops and slabs shall first have a steel trowel finish and then

A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to freezing: footings shall extend at least 12" into undisturbed soll or set on controlled compacted fill, Depth of footing subject to change if soil conditions are other than assured. Bearing value of soil is assumed to be 2000 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified by

12. Anchor bolts: set anchor bolts or approved straps as required. Bolts for wood sill plates shall be 1/2" in diameter and project 8" into concrete; set straps or bolts 12" max from end

I. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal.

- 1,200 psi
- 1,000 psi

- 6. Double stude at header bearing, double joists and rafters at all openings according to schedule

B. Subflooring shall be 3/4" tongue € groove plywood, glued and screwed to the floor joists as per

15. Install as per manufacturer's recommendations.

The following wood elements are to be pressure treated with preservative:

- A. Sill plates resting on concrete or masonry walls. B. Sill plates resting on concrete slabs on grade.
- C. Ends of joists which enter concrete or masonry walls and have less than 1/2"
- clearance on tops, sides, and ends.
- D. Sleepers resting directly on concrete slabs. E. Exterior porch and deck framing, decking, and stairs.
- **6.** Exterior Trim:
- A. All exterior trim shall be clear pine or redwood.
- B. All trim shall be primed on both sides prior to installation.
- C. All outside corners shall be mitered. No butt joints will be accepted.
- 7. Siding: A. Refer to drawings for siding material.
- B. Prime siding front & back prior to installation.

18. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

STEEL

. Structural steel shall conform to ASTM A36.

2. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats of an ashaitic base paint and protected with a minimum of 2" solid masonry or concrete

3. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed, provide one steel angle for each 4' of wall thickness. Provide lintels according to the schedule below: Masonry Opening Min. Bearing

L 3-1/2 x 3-1/2 x 1/4	Up to 3'-0"	4"
L 3-1/2 x 3-1/2 x 5/16	3'-1" to 4'-0"	6"
L 4 x 3-1/2 x 1/4	4'-1" to 5'-0"	6"
L 4 x 3-1/2 x 5/16	5'-1" to 6'-0"	6"
L 5 x 3-1/2 x 5/16	6'-1" to 7'-0"	8"
L 6 x 4 x 3/8	7'-1" to 8'-0"	В

Note: For openings greater than 8'-0", consult with architect and engineer.

RADON DETECTION AND TREATMENT

. The contractor shall provide a venting system consisting of a minimum of 3" Schedule 40, or equivalent, PVC pipe Inserted I" into the sub-slab gravel base (at all new concrete slabs) and terminated at least 6" above the high side of the roof penetration, to serve as a sub- siab ventilation rough-in. Contractor shall coordinate location of pipe with architect prior to installing the pipe. 2. The contractor shall provide any other measures as required by local codes.

VENTILATION

. Attic spaces are to be vented in one of the following Ways (refer to drawings for specifics) :

A. Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Coravent or approved equal. Continuous screened soffit vents shall be a minimum of 2" wide. Circular louver vents between each rafter may be used at the soffits if shown on the drawings. B. Screened louvers or vents with an open area equal to one square foot for every 300 square feet of attic space.

2. Provide foundation vents for all crawl spaces. Refer to drawings for location.

3. Venting for appliances and exhaust fans:

A. Provide venting to the exterior as per manufacturer's recommendations for all

appliances. Location of ductwork and vent on exterior shall be approved by

architect prior to installation. B. Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of ductworkand vent on exterior shall be approved by architect prior to installation.

DRAINAGE, SEALANTS, & MOISTUREPROOFING

I. Appropriate containts shall be selected for each substrate depending upon location (interior or exterior) (Aumidity, moisture conditions, and traffic conditions. Use primers as required.

2. Color of caulking shall be coordinated with adjacent materials

- 3. Joint fillers shall be used:
- A. To control the depth of sealants in joints.
- B. To meet the requirements for resilient separations in horizontal joints in floor, pavements, patios, sidewalks and other light traffic areas.
- **4.** Bond breakers shall be used to prevent adhesion to more than two surfaces.
- 5. Masonry foundations shall be parged to a thickness of 3\4" minimum.
- 6. Apply a waterproof membrane to all foundation walls.
- 7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all
- oundation

8. All flashings shall be installed according to the building code. An eave flashing strip of mineral surfaced roll roofing shall be applied to extend from the edge of the roof to a paint 12" min. inside the interior wall line of the structure.

- **9.** All membrane roofing to be approved by architect prigr to installation.
- 10. All roof shingles to be approved by architect prior to installation.

FINISHES

GYPSUM WALLBOARD:

. Gypsum wallboard shall be ASTM C-36 as follows.

A. Regular (1/2") : except where noted.

- B. Water resistant (1/2") : at bathroom cellings and walls that are not tiled.
- C. Durock interior tile backer board (1/2") : at all surfaces that have tile.
- 2. Gypsum boards shall have tapered edges to accommodate joint reinforcement.
- 3. Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S. Gypsum or approved equal.
- 4. Required finish:

A. At all joints and interior angles, apply tape embedded in joint compound, and apply three separate coats of joint compound over all joints, angles, fastener heads, and accessories. B. Apply a thin skim coat of joint compound over the entire surface.

C. qualLeave surfaces smooth and free of tool marks and ridges.

137.1, in colors and patterns to be specified by the owner.

"Handbook for Ceramic Tile Installation".

additional tile for future repairs and maintenance.

HARDWOOD FLOORING:

. Provide wood strip flooring where shown on the drawings and/or as directed by owner. 2. Wood strip flooring to be oak and be "prime" graded in accordance with the National Oak Flooring

2. Setting materials: comply with pertinent recommendations contained in the Tile Council of America

3. Installation: comply with ANSI AIOB.I, ANSI AIOB.2, and the "Handbook for Ceramic Tile Installation" of

C. Align joints when adjoining tiles on floor, base, trim, and Walis are the same size. D. Layout tile work and center the tile fields in both directions in each space or on each wall area.

A. Extend tile into recesses and under equipment and fixtures to form a complete

B. Terminate tile neatily at obstruction, edges, and corners, Without disruption of

4. Replacement Reserve: Contractor shall furnish owner with Sne unopened box of

Manufacturer's Association.

the Tile Council of America.

covering without interruptions

pattern or joint alignment.

MARBLE TILE:

I. All marble shall be cut, polished, and set according to the Italian Marble Industry Standards.

2. Marble faces and all exposed edges shall be pollshed. All corners shall be fully mitered with eased edges to prevent edge failure. all mitered and butt joints shall fit tight and require no filling. Tiles shall be set with minimal grout joints max. 3/32".

- **3.** Refer to finish schedule for marble type and style.
- 4. Tile shall be set according to the drawings with approved thin set method.
- 5. Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.

CARPET:

. Provide carpeting as shown on the drawings and/or as directed by owner.

2. Contractor to provide an allowance of \$30.00/SY for providing and installing all carpet and padding. Contractor's lump sum to be adjusted up or down to reflect actual installed cost of carpeting to contractor, supported by invoices from supplier.

VINYL TILE: I. Installation of all vinul composition tile (VCT) shall be done in a manner which conforms with the

following standards: A. ASTM E 648

B. ASTM E 84

C. ASTM E 662

2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tile for future repairs and maintenance. PAINT:

. All paint and primers to be Benjamin Moore or approved equal. Consult with owner for colors and

2. All surfaces to be painted shall receive one primer coat and two finish coats. 3. All paint shall be applied accordingly to manufacturer's recommendations.

ARCHITECTURAL WOODWORK AND TRIM: . All millwork, trim, and molding shall be installed accordingly to the quality standards of the

Architectural Woodwork Institute. 2. All interior trim and millwork shall conform to AWI "evistom standards".

3. Flat trim shall be clear pine or approved equal.

4. All corners of trim and siding are to be mitered. Exposed end grains will not be accepted. 5. All millwork and trim shall be installed by craftsman with experience in work of this type. All work shall be 'first class' in every regard and consistent with the best practices of the trade.

FIRE AND LIFE SAFETY

. Stairs:

A. 8 1/4" max rise

B. 10" min tread

C. 6'-8" min head room

D. Height of handrails shall be continuous, 30" (min) to 34" (max) above finished stair treads. Handrails required at stairs with 3 or more risers. E. Guardrails shall be 36" (min) to 42" above finished floor.

2. Provide a clear window opening of 5.7 square feet with no less than 20" clear wide and 24" clear high for sleeping area. The sill of this window shall be no more than 44" above the finished floor

3. Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors and tub enclosures where the glass is closer than 18" to the fleor and exceeds 6 sq. ft. in area. 4. Ground metal siding.

5. Smoke detectors shall be provided on every floor and in every bedroom, and integrated with electrical system.

6. Flues shall be class B except solid fuel flues which shall be class A.

1. Top of flue shall be 2'-O" minimum above any part of structure within 10'-O" of flue.

8. Interior finish of walls and celling shall have a flame spread rating not greater than classill. Carpeting shall meet federal regulation DOC FF-1.

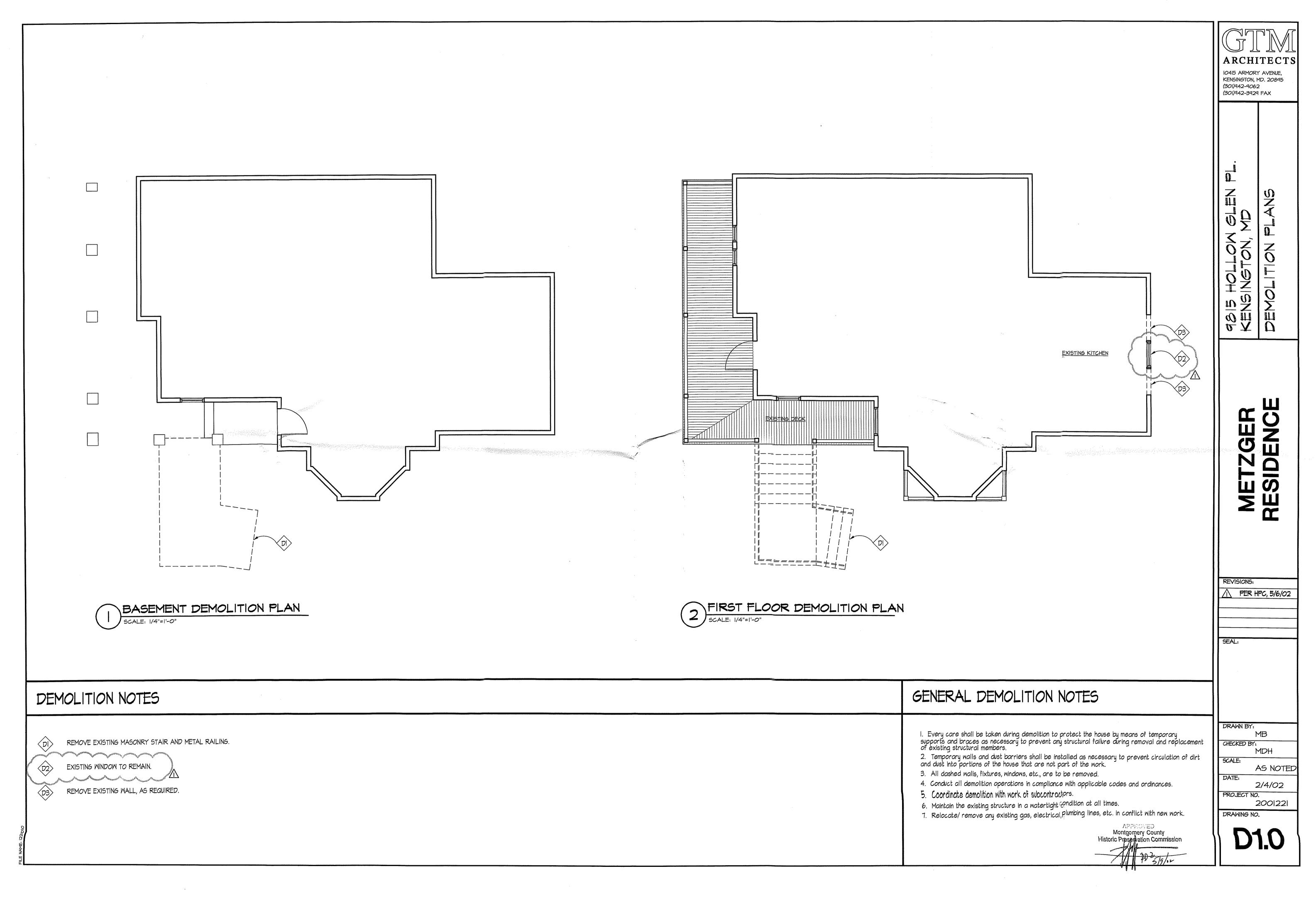
9. Prefab fireplaces shall be (U.E.) rated and installed according to manufacturers specifications.

APPROVED Montgomery County Historic Preservation Commission 四七

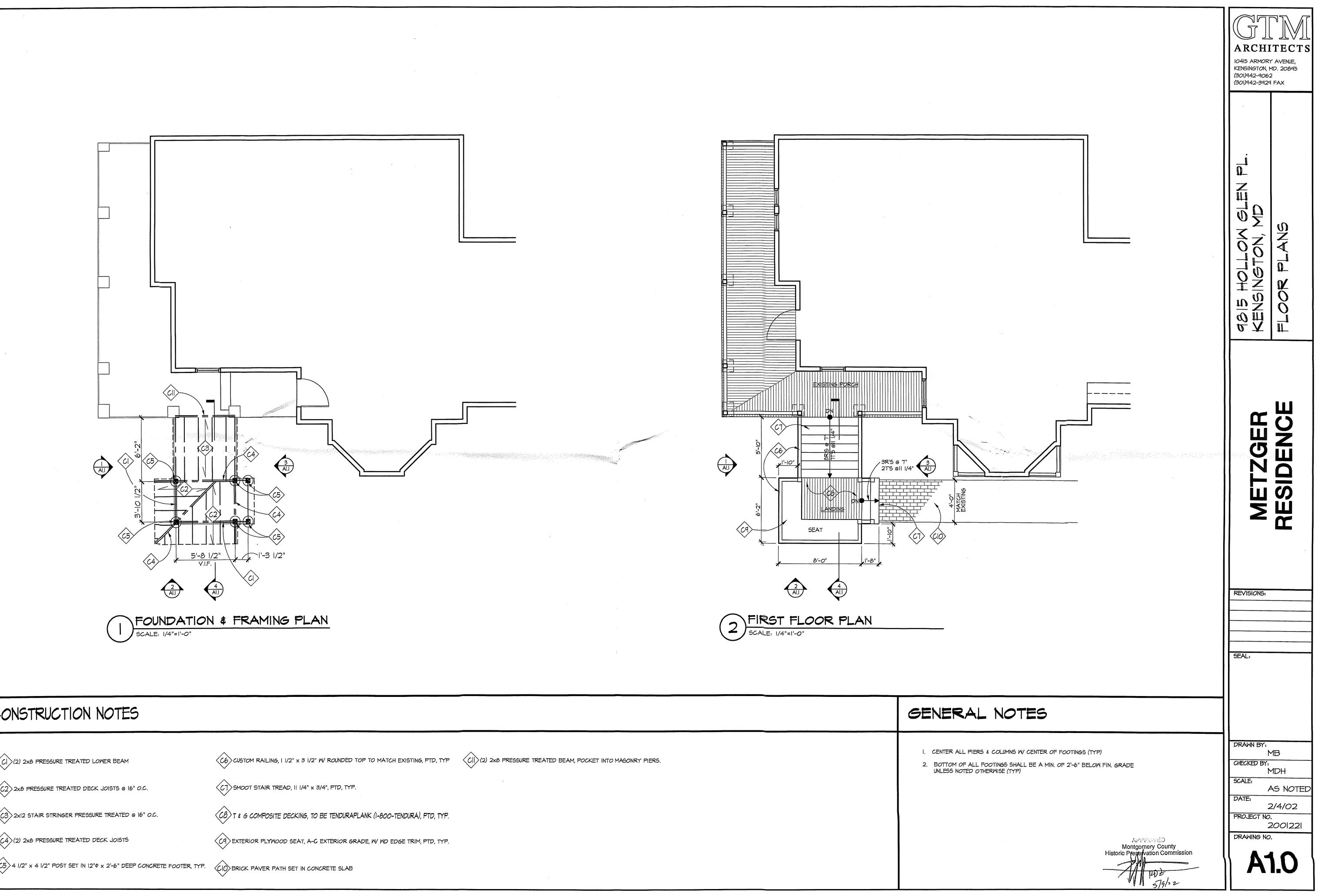
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ARCH 10415 ARMOR KENSINGTON, (301)942-906 (301)942-392	MD. 20895 2
4015 HOLLOW GLEN PL. Kensington, Md	SPECIFICATIONS
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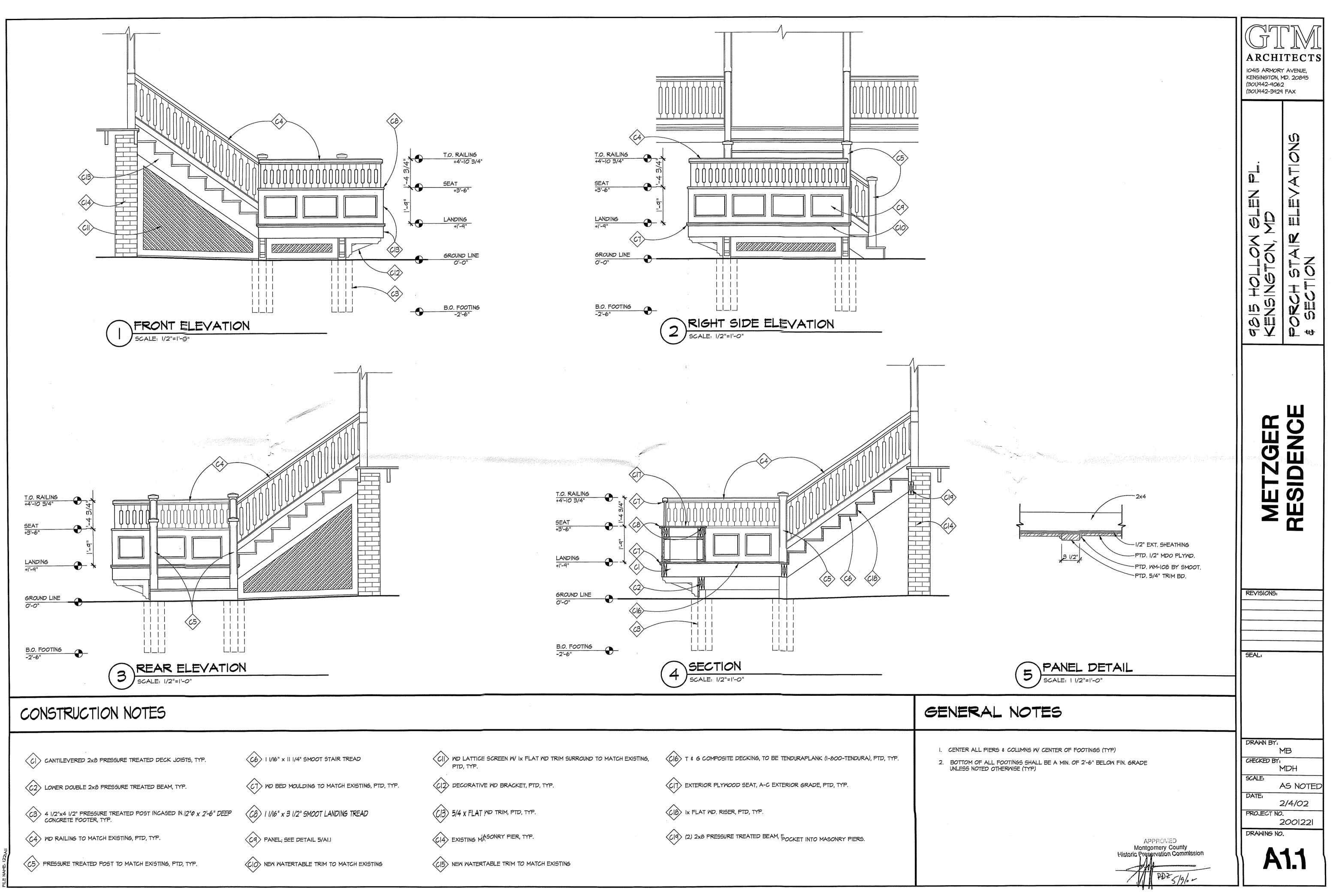
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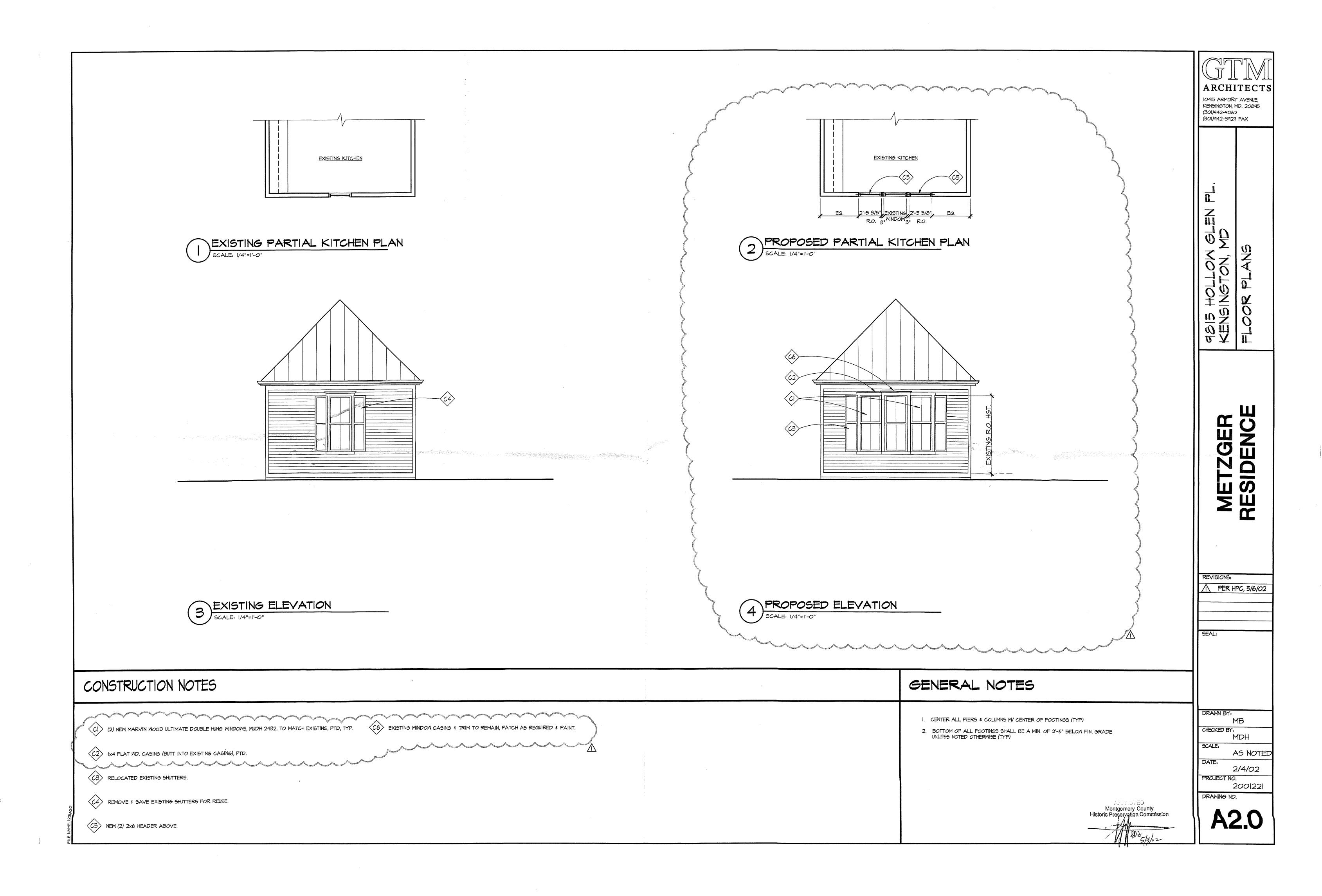


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CONSTRUCTION NOTES (2) 2x8 PRESSURE TREATED LOWER BEAM C2 2x8 PRESSURE TREATED DECK JOISTS @ 16" O.C. C3 2x12 STAIR STRINGER PRESSURE TREATED @ 16" O.C. (2) 2x8 PRESSURE TREATED DECK JOISTS C5 4 1/2" x 4 1/2" POST SET IN 12" X 2'-6" DEEP CONCRETE FOOTER, TYP.







THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MERY COUNTY DEPARTMENT OF PAR

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

MON

May 9, 2002

PLANNING

MEMORANDUM

TO:	Robert Hubbard, Director Department of Permitting Services
FROM:	Gwen Wright, Coordinator Historic Preservation
SUBJECT:	Historic Area Work Permit 31/8-02A #274301

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied <u>X</u> Approved with Conditions:

1. The original rear window will be retained in situ, including the original trim.

2. The new windows will be installed to form a grouping of three windows at the rear, with the original window in the middle, and with flat trim to distinguish the old from the new.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

<u>Applicant:</u> Philip and Lynn Metzger 9815 Hollow Glen Place silver Spring, MD 20910

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	APPL	ICAT	ION FO	R	
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			Contact Person: PH	LIP C. METZG	ER
	•		Daytime Phone No.: 2	02-564-57	79
Tax Account No.: 019956	45			107-564-57	79
Name of Property Owner: PHILIP	C. & LYNN C.	METZGER	Daytime Phone No.;	301-585-244	H
Address: 9815 Hollow Street Number	GLEN PLACE	SIWER SPR	LING MARYLY	IND 20	910-1139
		-			
Contractor: FINECRAF	-	UKS	Phone No.; <u>_</u>	501 32 1	[]]
Contractor Registration No.:	ES ATLA ADIN	TECTS		201-947-90	67
Agent for Owner: MARK HUGH Address: 10415 ARMC	BY ALIEALUE	KENSIN	Daytime Phone No.: GTDN . MARYLA	ND 70095	ю <u>с</u>
LOCATION OF BUILDING/DREME	6E				
House Number: 9815		Street:	HOLLOW GLE	EN PLACE	HP62
House Number: 9815 Town/City: 5/LVER SPP Lot: 15 Block:	UNG	Nearest Cross Street:	HOLMAN STRE	ET	
Lot: 15Btock:	17 Subdivision	FOREST GLE	N IN VESTMENT	COMPANY SUBI	жияс _Ю
Liber: 6747 Folio: 41	6Z Parcel	PARTOFAP	APCEL KNOWN A	5 JOSEPH'S F	PARK
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	THIN MILE USE		APPLICABLE:		
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Move Install	•		[] Fireplace [] Woodbu		Single Family
[] Revision [] Repair	🗋 Revocable		Vall (complete Section 4)	FRUNT	STAIRS
18. Construction cost estimate: \$	•		·····		
1C. If this is a revision of a previously	approved active permit,	see Permit #	······		
PART TWO: COMPLETE FOR NE	W CONSTRUCTION A	ND EXTEND/ADDIT	<u>ONS</u>	<u></u>	
2A. Type of sewage disposal:	ot CJ wssc	02 []) Septic	03 (,) Other:	·····	
28. Type of water supply:	01 🖾 WSSC	02 []] Well			
		CIMAL			
PART THREE: COMPLETE ONLY I		U WALL			
3A. Heightfeet					
38. Indicate whether the fence or re			_		
On party line/property_line	() Entirely on I	and of owner	(_) On public right of w	ay/easement	
I hereby certify that I have the author approved by all agencies listed and I Pring (-Mictury Signature of own				this permit.	comply with plans
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Approved: W CON Disapproved: Application/Permit No. (274BO	Signature:	for Clairp	AUIN	Date: 5/	8/02

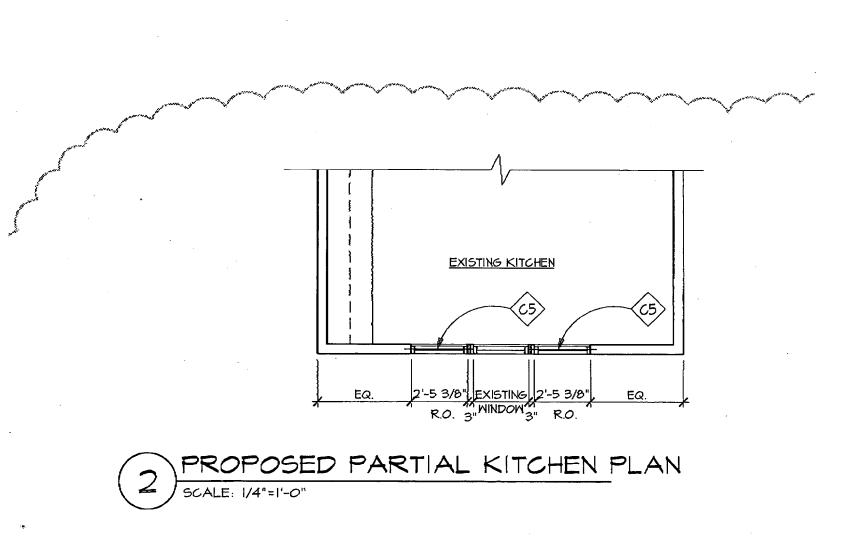
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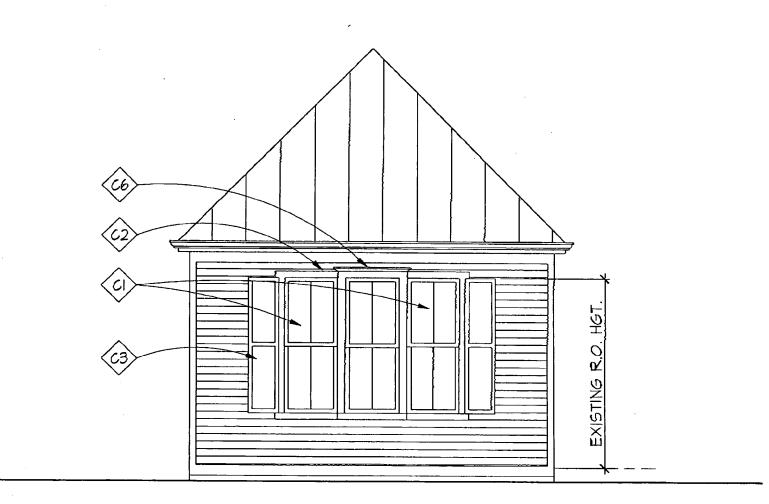
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Date:	5/8/02		
To:	Robin Ziek	From:	Matt Blogg
Phone:	<u> </u>	Phone:	301-942-9062 Ext. //
Fax:	301-563-3412	Fax:	301-942-3929
Pages (inclu	ding cover sheet): <u>4</u>	GTM File #:	01.0221

Subject: Matzgar Rasidance HPC Case # 31/8-02A







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REMOVE : SAVE EXISTING SHUTTERS FOR REVEL	

HISTORIC AREA WORK PERMIT Contact Purson: PHILIP C. METZGER Daytime Phone No: 202-564-5779 Account No: 01995645 med Property Owne:: PHILIP C. * LYNN C. METZGER: Daytime Phone No: 301-385-2441 here of Property Owne:: PHILIP C. * LYNN C. METZGER: Daytime Phone No: 301-385-2441 here of Property Owne:: MALL P. C. * LYNN C. METZGER: Daytime Phone No: 301-385-2441 here of Multer C. * LYNN C. METZGER: Daytime Phone No: 301-385-2441 here of Multer C. * LYNN C. METZGER: Daytime Phone No: 301-320-9191 here of Multer CONTRACTORS Phone No: 301-320-9191 here of Multer Contractores Baytime Phone No: 301-320-9191 here of Multer Contractores Baytime Phone No: 301-320-9191 here of Multer Contractores Baytime Phone No: 301-320-9191 here of Baytime Phone No: 301-320-9191 here of Baytime Phone No: 301-320-9191 here of Baytime Phone No: 301-942-9662 Colspan="2">here the Low of Low Of Low Of Statter Statter S RAWDRY SWELVE WEAKSINGTON, MARYLAND 20895 hered SWAMARY SWELVE WEAKSINGTON, MARYLAND 20895	count No.: <u>0199</u> E of Property Owner: <u>PH11</u> ss: <u>9815 H0110</u> Street Numb ctorr: <u>FINECRA</u>	5645 UP C. € LYNN C.		Contact Person: <u>PHLIP</u> Daytime Phone No.: <u>202</u> -	C METZGER 564-5779	F
Daytime Phone No: 202-564-5779 Account No: 01995645 To 2-564-5779 The of Property Owner: PHUP C. & LYNN C- METZERE Daytime Phone No: 301-595-2441 Thesis: 9615 HOLLOW GLEN PLACE SINCE SPRING MARY LAND 20910-1139 Street Number City Since Contraction Contraction Since Contraction Since Contraction Since Contraction Cont	of Property Owner: <u>PHI</u> ss: <u>9815 HOLLO</u> Street Numb ctorr: <u>FINECRA</u>	LIP C. & LYNN C.	METZGER	Daytime Phone No.: 202-	-564-5779	
Account No: 01995645 207-564-5771 ne of Property Owner: PHILIP C. & LYNN C- METZERE Daytime Phone No: 301-585-2441 tress: 9815 HOLLOW GLEN PLACE Silver SPRING MARY LAND 20910-1139 street Number City Silver Name Zip Code street Number City Silver Zip Code street Number City Silver Zip Code street Number 15916-5 Phone No: 301-330-9191 Incode intercols Registration No: 15916-5 Phone No: 301-9320-9191 Incode intercols Registration No: 15916-5 Daytime Phone No: 301-942-9062 Incode charcess IDAIS REMAINER Vector Street: HOLDW GLEN PLACE HP 62 street 9815 Suret HOLDW GLEN PLACE HP 62 vmCity: SILVER SPRING NemestCoss Street: HOLMON STREET street Number: 9815 Suret HOLDW GLEN PLACE HP 62 vmCity: SILVER SPRING NemestCoss Street: HOLMAN STREET ontotic Street Street HP 64 <th>of Property Owner: <u>PHI</u> ss: <u>9815 HOLLO</u> Street Numb ctorr: <u>FINECRA</u></th> <th>LIP C. & LYNN C.</th> <th>METZGER</th> <th></th> <th>· ·</th> <th></th>	of Property Owner: <u>PHI</u> ss: <u>9815 HOLLO</u> Street Numb ctorr: <u>FINECRA</u>	LIP C. & LYNN C.	METZGER		· ·	
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ATONE: TYPE OF PERMIT ACTION AND USE CHECK ALL APPLICABLE: Construct Extend 59 Alter/Renovate Move Install Move Install Revision Repair Revocable [] Frequence Construction cost estimate: \$ 2.5 + 000 It his is a revision of a previously approved active permit, see Permit # RTTWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS Type of sewage disposal: 01 WSSC 02 Yege of water supply: 01 MSSC 02 Well 03 Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line Entirely on land of owner Con public right of way/cessement	6747 Folio:	AGZ Parc	el: PART OFA PI	ARCEL KNOWN AS JU	SEPH'S PARK	·
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If this is a revision of a previously approved active permit, see Permit #						
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Type of sewage disposal: 01 [] WSSC 02 [] Septic 03 [] Other: Type of water supply: 01 [] WSSC 02 [] Well 03 [] Other: RTTHREE: COMPLETE ONLY FOR FENCE/RETAINING WALL Height						
Type of water supply: 01 WSSC 02 03 1 Other:						
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Indicate whether the fence or retaining wall is to be constructed on one of the following locations: [] On party line/property line [] Entirely on land of owner [] On public right of way/easement	THREE: COMPLETE O	NLY FOR FENCE/RETAIN	NG WALL	·····	<u></u>	
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reby certily that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plons reved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.) On party line/property li	ne 🗍 Entirely of	ı land of owner	C) On public right of way/cas	ement	
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rove		ION OF BUILDING/PR Number: 9815 Number: 9815 Ity: 5127 IS: BIOCK: 6747 Folio: DNE: TYPE OF PERMI ECK ALL APPLICABLE: Construct Construct Exter Move Instal Revision Repairs nstruction cost estimate: nis is a revision of a previon WO: COMPLETE FOI upe of water supply: HREE: CDMPLETE OI sight feet dicate whether the fence On party line/property, line	ION OF BUILDING/PREMISE Jumber:9815 JUMER SPRING:	ION OF BUILDING/PHEMISE Street:	ION OF BUILDING/PHEMISE Street: HOLLOW GLEN Number:	ION OF BUILDING/PREMISE Street: HOLLEW GLEN PLACE HP Momeness Cross Street: HOLLEW GLEN PLACE HP IN: SILVER SPRING Nearest Cross Street: HOLLEN STREET FORST GLEN IN VESTMENT COMPANY SUBDATION IS UTGER: I7 Subdivision: IS UTGER: I7 Subdivision: FORST GLEN IN VESTMENT COMPANY SUBDATION GENER: PART OF A PARCEL HADWN AS JOGEPH'S PARK INE: TYPE OF PERMIT ACTION AND USE ECKALL APPLICABLE: CLIECK ALL APPLICABLE: CONStruct I Extend 10 Alter/Renovate II AC II Stab II Room Addition IP Porch ID Occl Move Install 10 WreckRaze II Fence/Wall (complete Section 4) 10 Other: LTCHEN WORK NET TST Alter/Renovate II Fence/Wall (complete Section 4) 10 Other: LTCHEN WORK More: Struction cost estimate: S 2/5 ODD uis is a revision of a previously approved active permit, see Permit # WO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS pe of sewage disposal: 01 I WSSC 02 [] Septic 03 [] Other: pe of water supply: 01 I WSSC

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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance: JOSEPH HERTFORD HOUSE IS DESCRIBED IN MASTER PLAN AMENDMENT ESTABLISHING FOREST QUEN HISTORIC DISTRICT AS AN "OUTSTANDING RESOURCE," BUILT C. 1891 BY ARESIDENT OF FOREST GLEN INVESTMENT COMPANY, SET ON A SMALL RISE 67' BACK FROM HOLLOW GLEN PLACE "THE QUEEN ANNE-STYLE HOUSE FEATURES A THREE-STORY TOWER, WRAP-AROUND PORCH AND COVERED BALCONY SURMOUNTING A BAY WINDOW ON THE SOUTH, SIDE ELEVATION." STREET AND NEIGHBORS' VIEW OF EUSTING. NON-CONFORMING BRICK FRONT STEPS (BUILT C- 1950) 15 PARTIALLY OBSCURED BY THICKET OF ESTABLISHED VEW AND DECIDIOUS BURNING BUSH "SHRUBS. b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district (1) NON-HISTORIC FRONT STEPS AND METAL HANDRAIL (BUILT C. 1950) WILL BE DEMOLISHED AND REMOVED NEW WOODEN STAIR, PALIS, LANDING WITH SEAT WILL BE BUILT WITH ALL 'FEATURES (RAILS. BALISTERS SIDE PANELS, POST CAPS WATIKE, SUPPORT BRACKETS, BR. TO MATCH HISTORIC FEATURES ON HOUSE, AND PAINTEL (2) EXISTING SINGLE 2X2 WINDOW ON REAR (HTCHEN) WALL WILL BE REMOVED (INCL. NON-HISTORIC TRIPLE TRACK STORMS/SCREENS, INSTALLED C. 1974) SITE PLAN AND THREE NEW 2XZ. WINDOWS TO MATCH EXISTING WILL BE ASSTALLED AND ALLEXISTON MOULDING/TRIM PERNINED AND MATCHED. BANKED WINDOWS MATCH TREATMENTON Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include: Z. SITE PLAN ON PRONTIFIDE BAY WINDOWS.

- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumosters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17" Plans on 3 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resourcess) and the proposed work.
- 5 Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjaining properties. All labels should be placed on the front of photographs.

5. TREE SURVEY

if yes are proposing construction adjacent to or within the dripline of any tree 5° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and tip codes. This list should include the owners of all lots or parcels which adjoin the parcel in guestion, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in guestion. You can obtain this information from the Gepartment of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

a. the scale, north arrow, and date;

NOTE: NO CONFRONTING PROPERTY OWNERS -SEE ATTACHED PARTIAL COPY OF WSSC MAP SHOWING LOCATION OF TOWNHOUSES ACROSS HOLLOW GLEN PLACE DO NOT CONFRONT PROPERTY

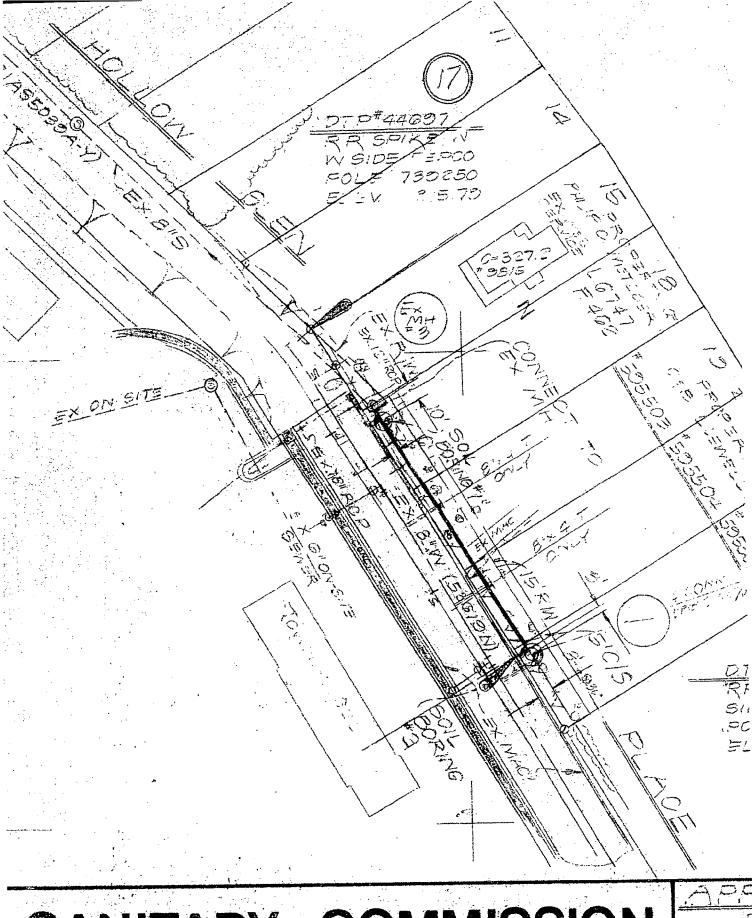
Owner's mailing address	t and Confronting Property Owners]
DILLIP & VILL METZGER	Owner's Agent's mailing address
9815 HOLLOW GLEN PLACE	MARK HUGHES
SILVER SPRING, MD	GTM ARCHITECTS
	10415 ARMORY AVENUE LENSINGTON, MD
20910-1139	20895
·	60013
Adjacent and confronting Pro	perty Owners mailing addresses
ROBERT & MARY SULLIVAN	PAT & JOY BRETTHAUER
9811 HOLLOW GLEN PLACE	
	9817 HOLLOW GLEN PLACE
SILVER SPRING, MD	SILVER SPRING, MD
20910	20910
CINDY DENCHFIELD &	WALTER & MAUREEN BOOTH
FRANK KLASSEN	9814 ROSEN STEEL AVE.
9812 ROSENSTEEL AVE.	
SILVER SPRING, MD	SILVER SPRING, MD
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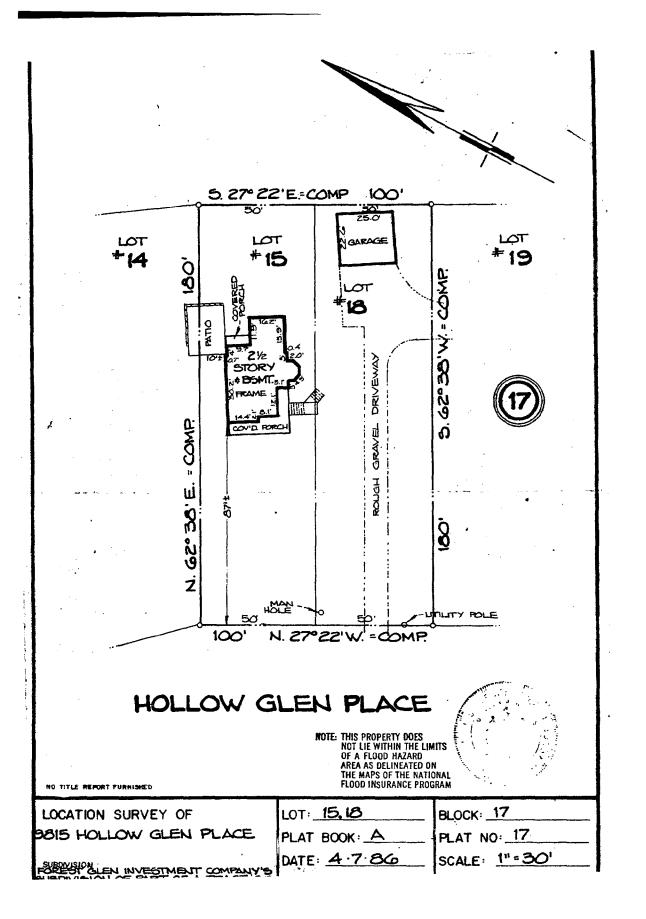
addresses: noticing table

NO CONFRONTING PROPERTY OWNERS - NOTE LOCATION OF

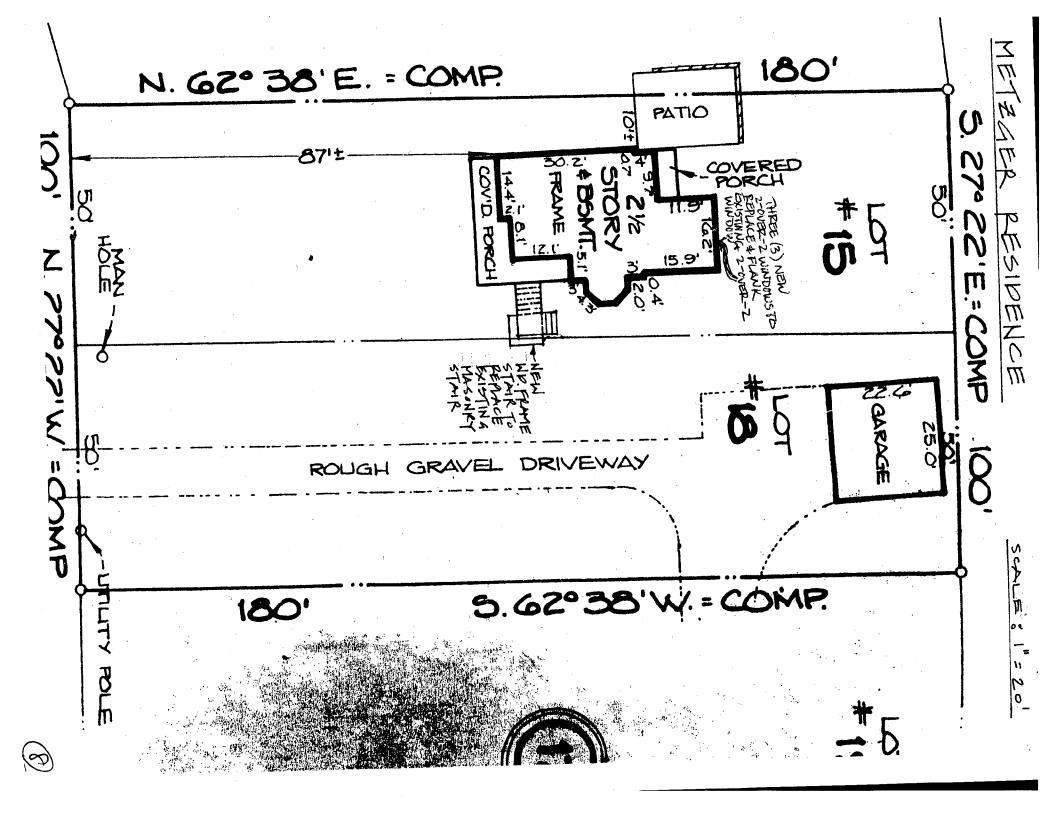
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SANITARY COMMISSION





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KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

- C1: (2) 2x8 pressure treated lower beam
- C2: 2x8 pressure treated deck joists @ 16" O.C.
- C3: 2x12 stair stringer pressure treated @ 16" O.C.
- C4: (2) 2x8 pressure treated deck joists
- C5: $4 \frac{1}{2}$ x 4 $\frac{1}{2}$ post set in 12" ϕ x 2'-6" deep concrete footer, typical (TYP)
- C6: Custom railing, 1 ¹/₂" x 3 ¹/₂" w/ rounded top to match existing, painted (PTD), TYP
- C7: Smoot stair tread, 11 ¹/₄" x ³/₄", PTD, TYP
- C8: T & G composite decking, to be tenduraplank (1-800-TENDURA), PTD, TYP
- C9: Exterior plywood seat, A-C exterior grade, w/ WD edge trim, PTD, TYP
- C10: Brick paver set in concrete slab
- C11: (2) 2x8 pressure treated beam, pocket into masonry piers

FRONT STEPS: Elevations - Front, Right side, Rear, Section

- C1: Cantilevered 2x8 pressure treated deck joists, TYP
- C2: Lower double 2x8 pressure treated beam, TYP
- C3: $4 \frac{1}{2}x4 \frac{1}{2}$ pressure treated post incased in 12" ϕ x2'-6" deep concrete footer, TYP
- C4: WD railing to match existing, PTD, TYP
- C5: Pressure treated post to match existing, PTD, TYP
- C6: 1 1/16"x1 1 ¼" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16"x3 ½" Smoot landing tread
- C9: Panel
- C10: New watertable trim to match existing
- C11: WD lattice screen w/ 1x flat WD trim surround to match existing, PTD, TYP
- C12: Decorative WD bracket, PTD, TYP
- C13: 5/4 x flat WD trim, PTD, TYP
- C14: Existing masonry pier, TYP
- C15: New watertable trim to match existing
- C16: T & G composite decking, to be Tenduraplank (1-800-TENDURA), PTD, TYP
- C17: Exterior plywood seat, A-C exterior grade, PTD, TYP
- C18: 1x flat WD riser, PTD, TYP
- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

KITCHEN: Existing and Proposed (partial) Plan and Elevations

- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

KEY TO NOTES ON PLANS AND ELEVATIONS

FRONT STEPS: Foundation and Framing Plan/First Floor Plan

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- C4: WD railing to match existing, PTD, TYP
- C5: Pressure treated post to match existing, PID, TYP
- C6: 1 1/16"x1 1 ¹/4" Smoot stair tread
- C7: WD bed moulding to match existing, PTD, TYP
- C8: 1 1/16"x3 ¹/₂" Smoot landing tread
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- C19: (2) 2x8 pressure treated beam, pocket into masonry piers

KITCHEN: Existing and Proposed (partial) Plan and Elevations

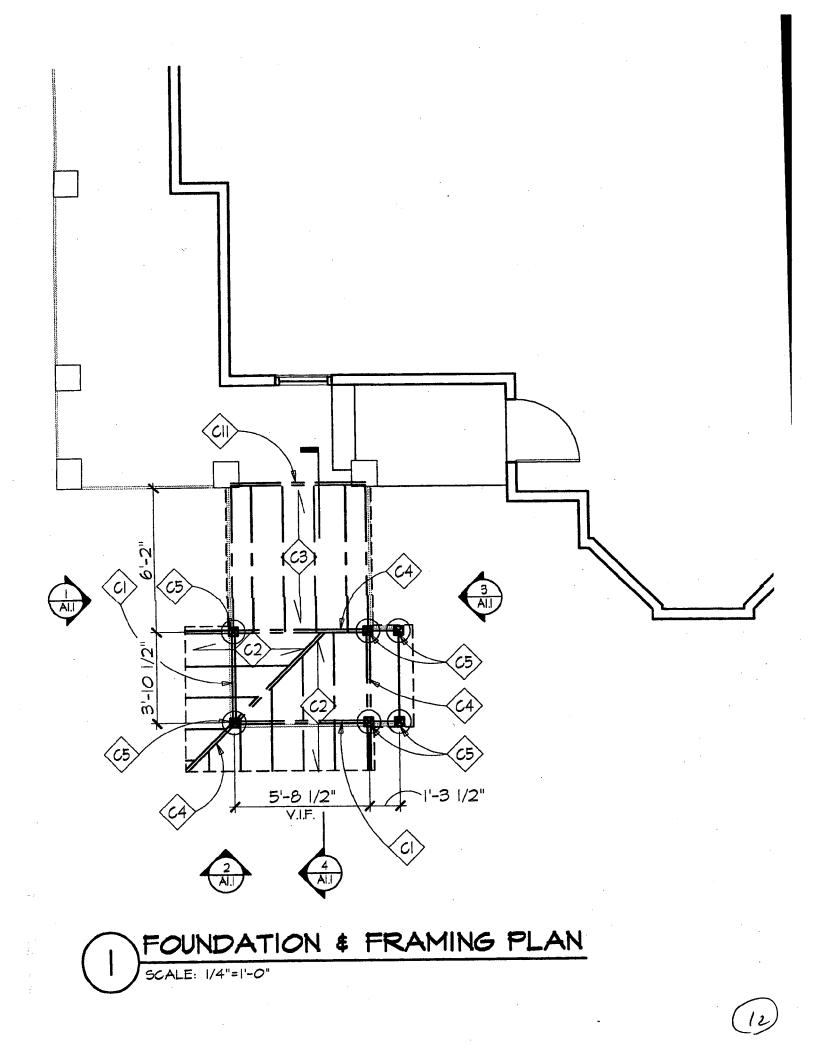
- C1: (3) new Marvin wood Ultimate Double Hung Windows, WUDH 2432, to match existing, PTD, TYP
- C2: New trim to match existing
- C3: Relocated existing shutters
- C4: Remove and save existing shutters for reuse
- C5: New (2) 2x6 header above

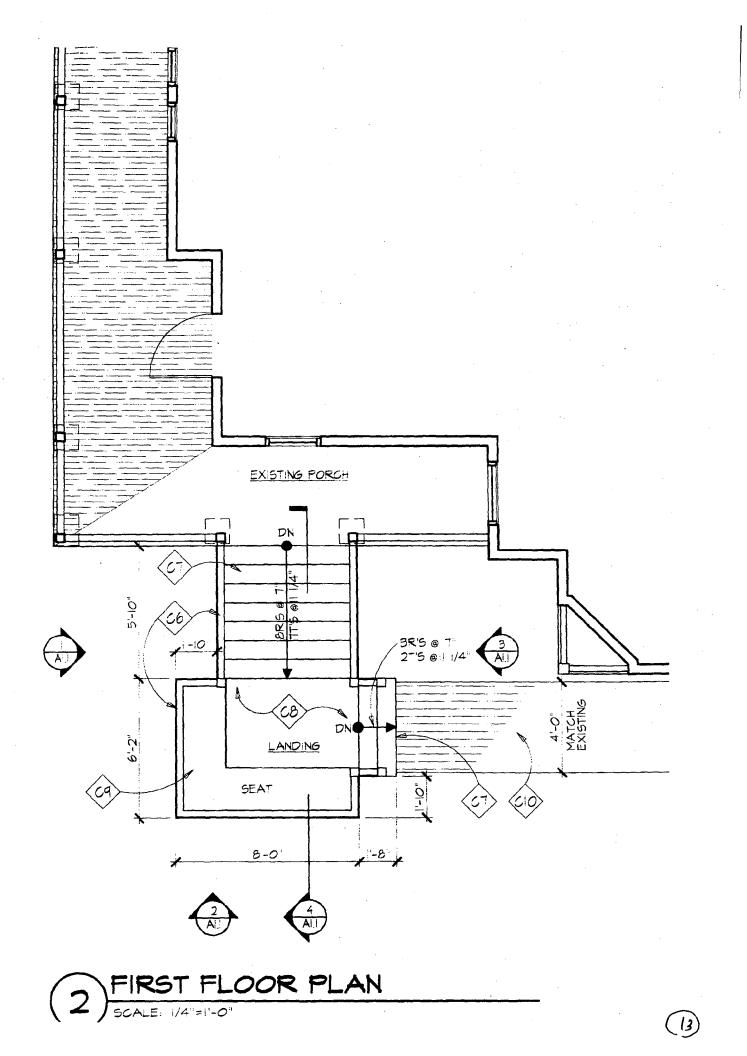
FRONT STEPS: First Floor Demolition Plan

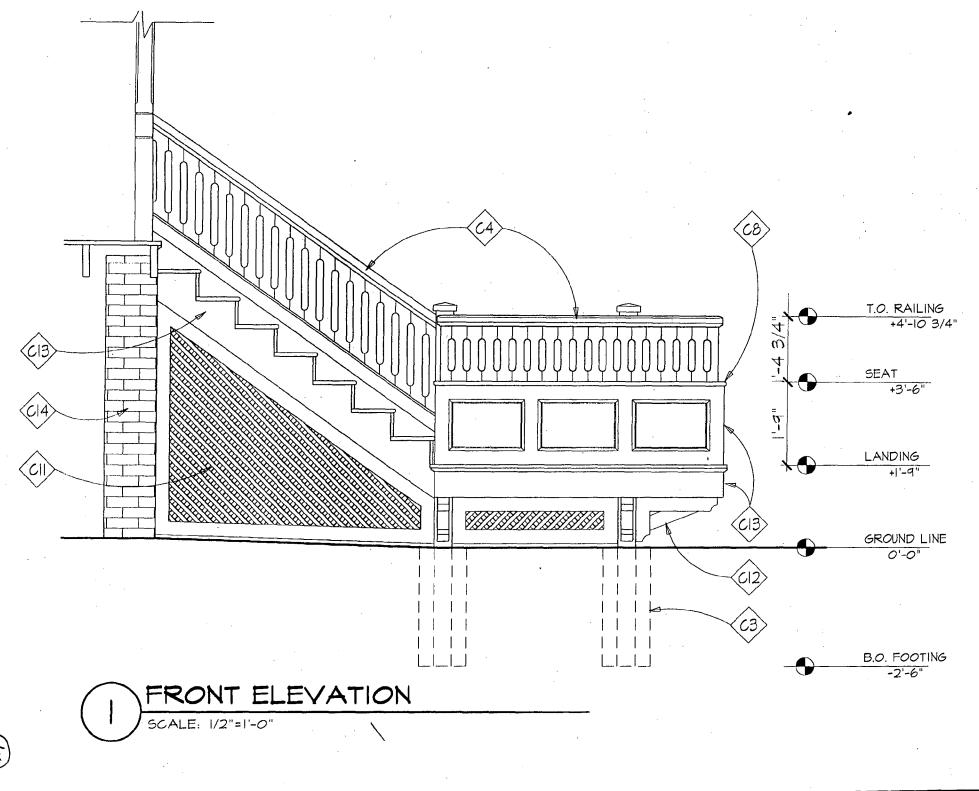
Every care shall be taken during demolition to protect the house by means of D1: temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members. D



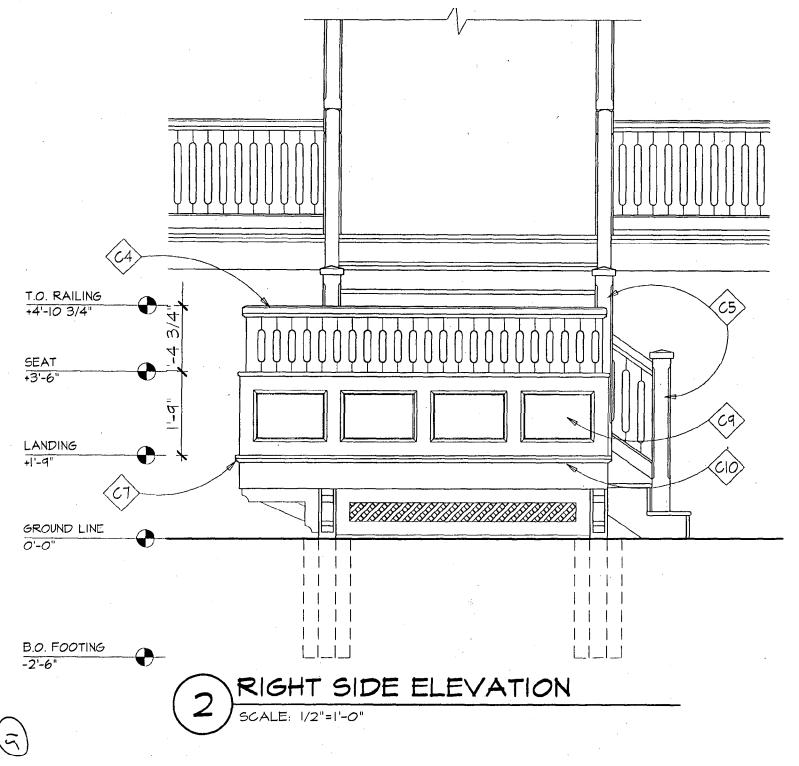
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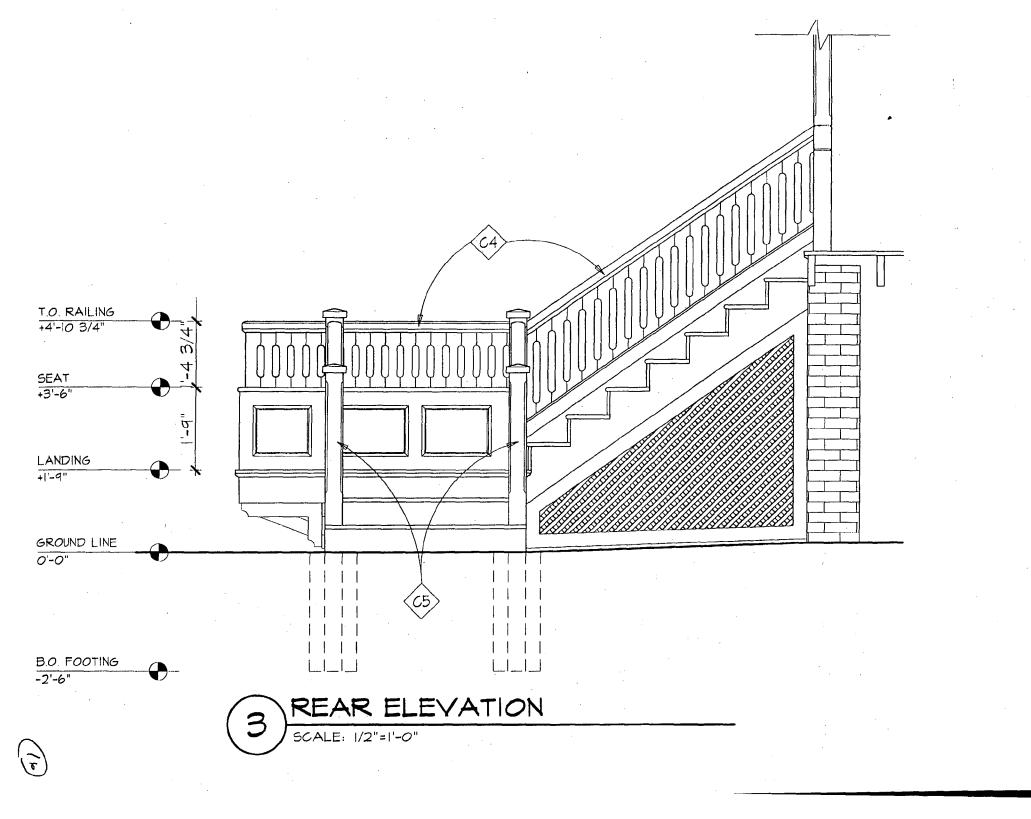


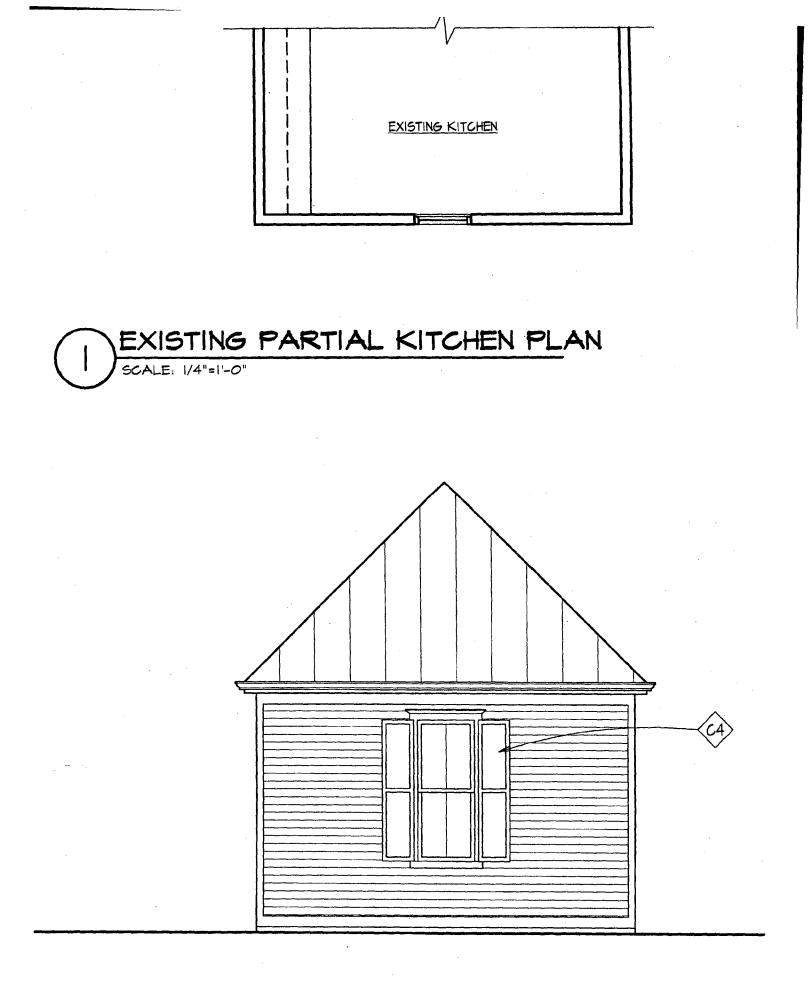


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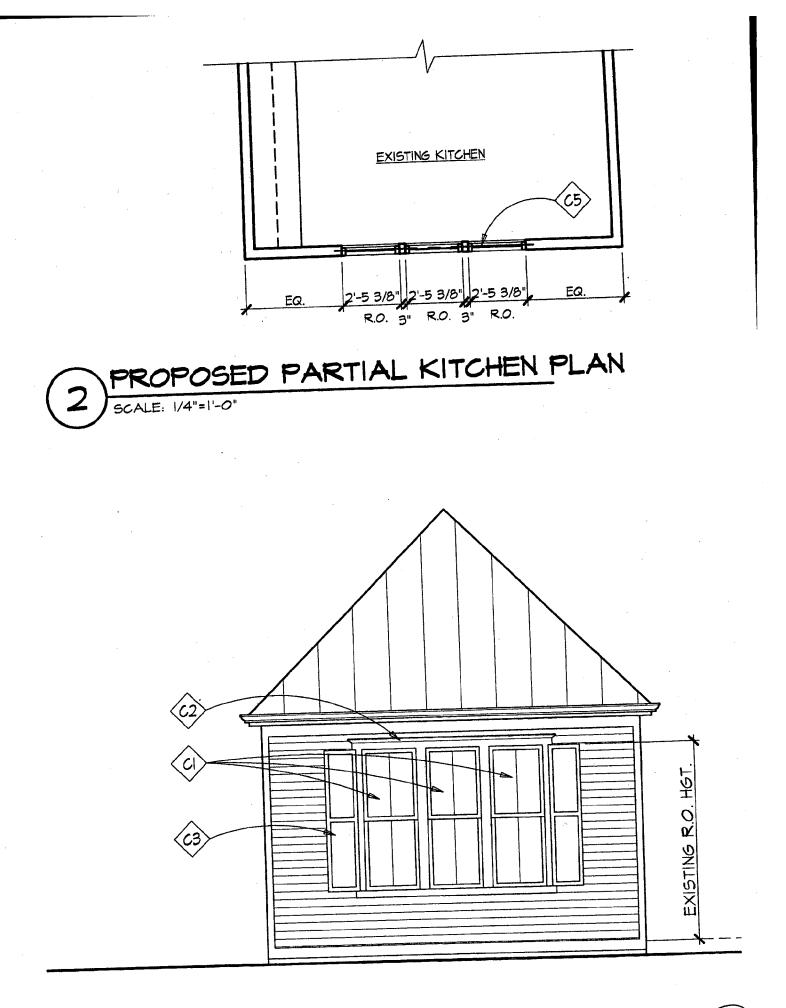


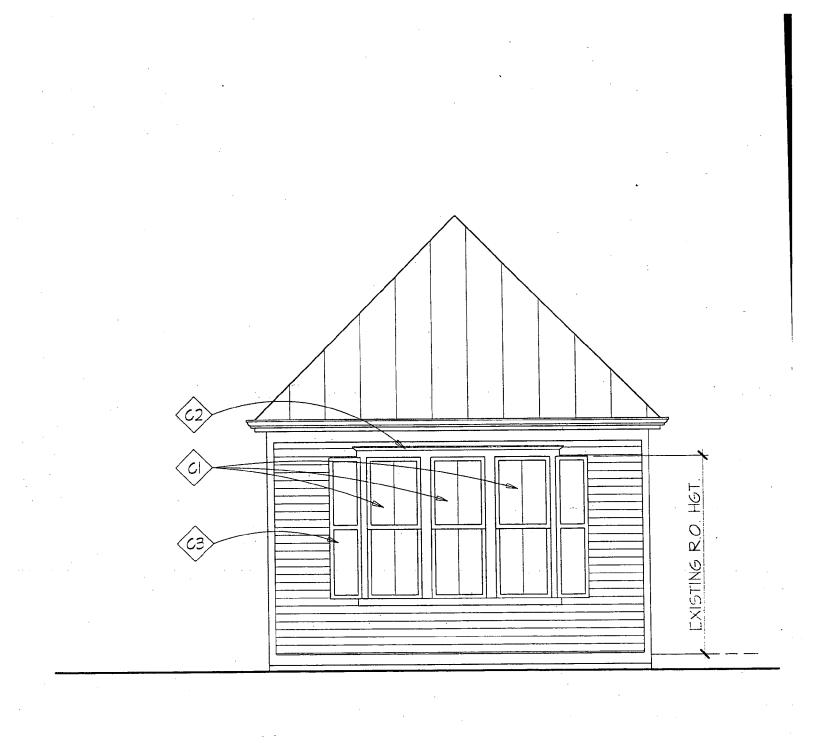
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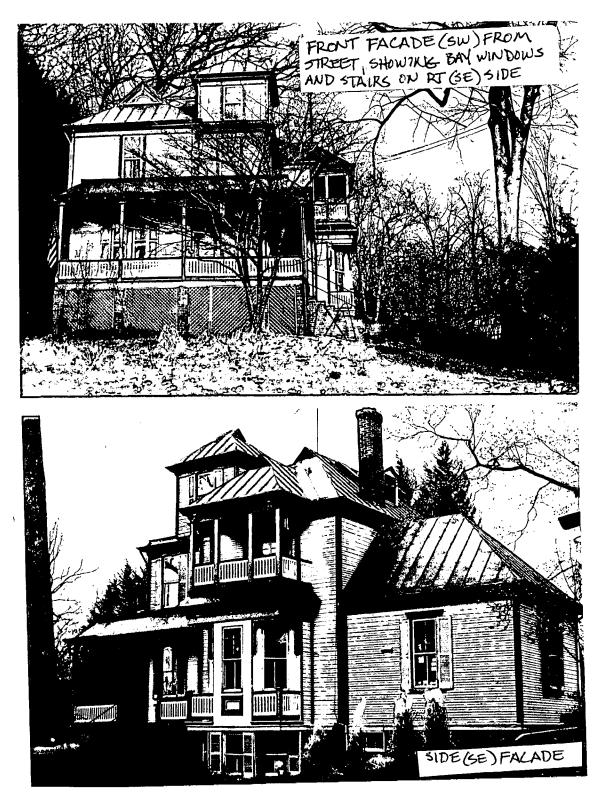


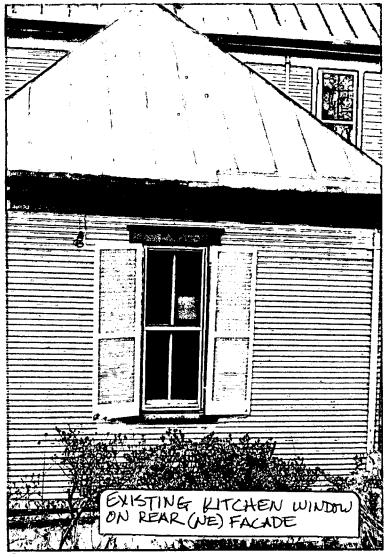
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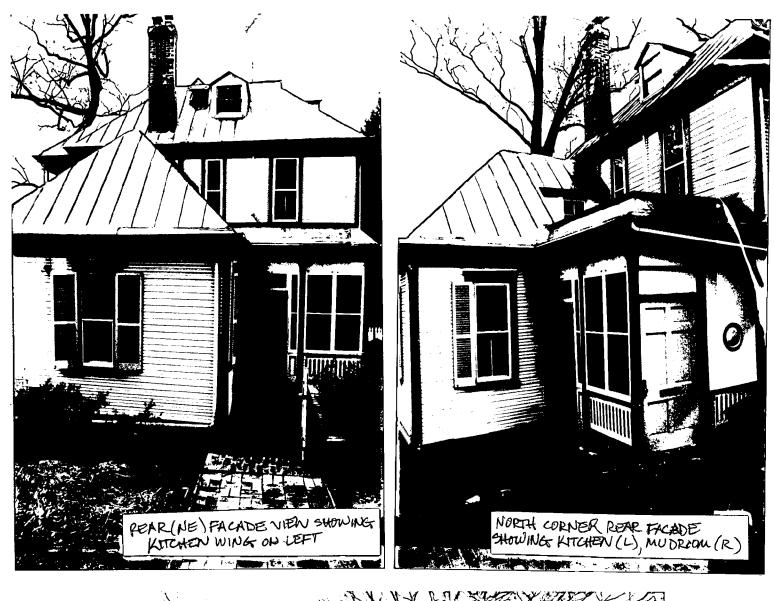






(ع)

METZGER #10F7 9815 HOLLOW QLEN PLACE SILVER SPRING



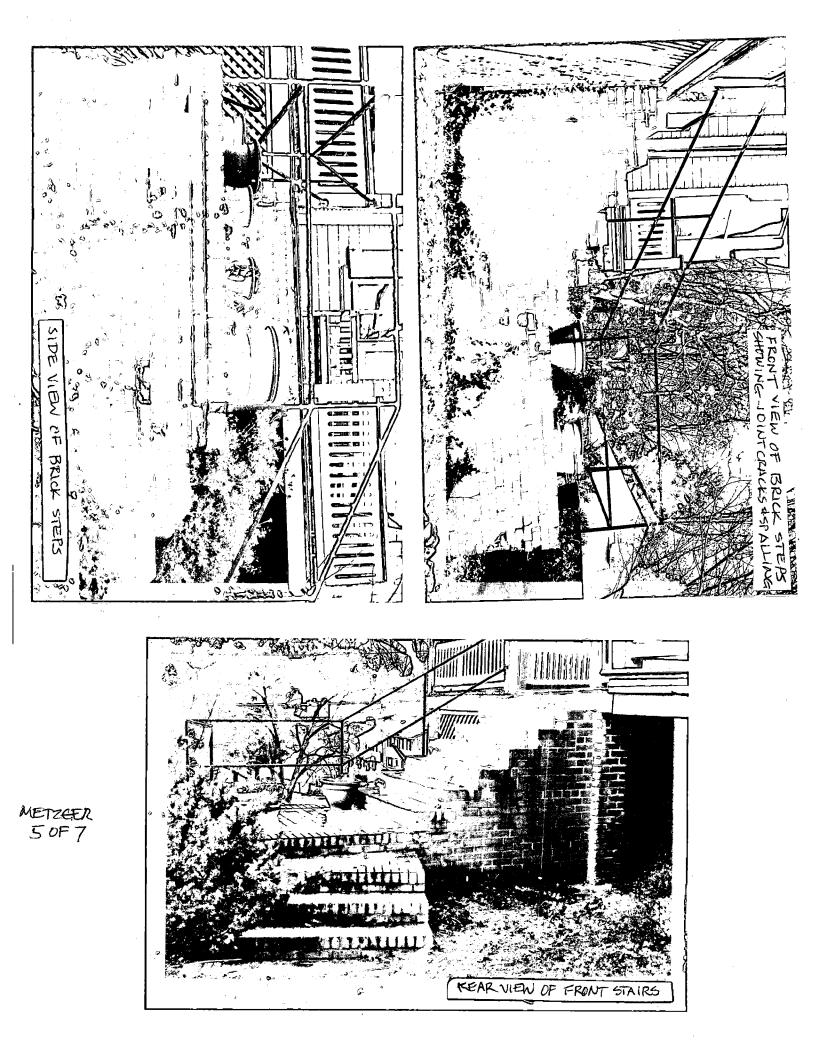
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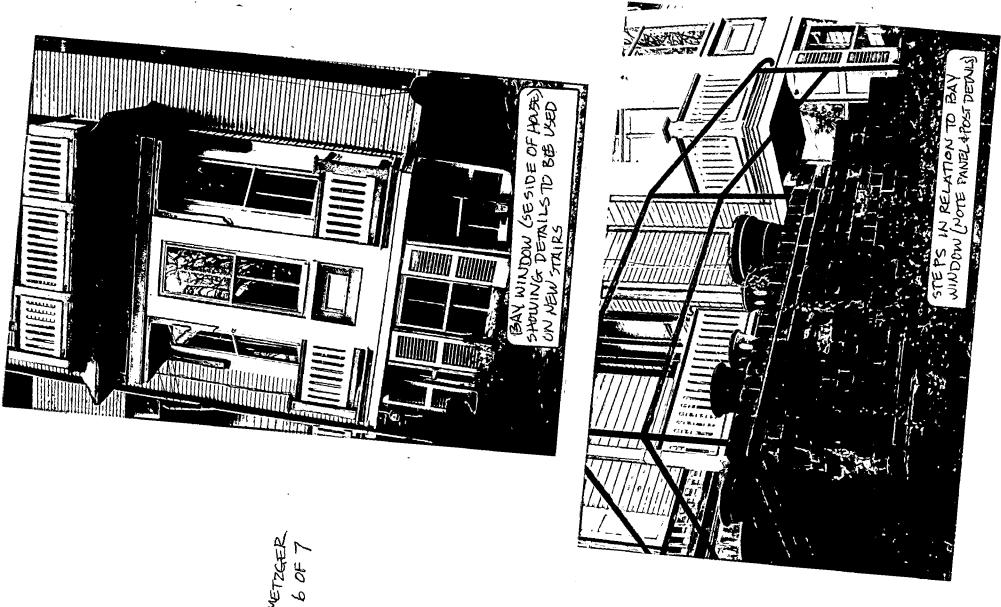






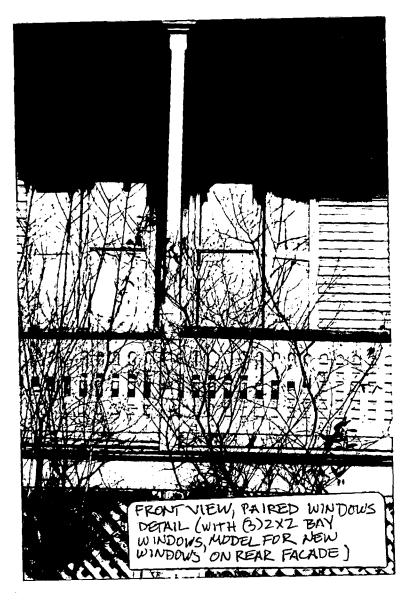






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METZGER 7 OF 7



APPLICATION TO THE

HISTORIC PRESERVATION COMMISSION

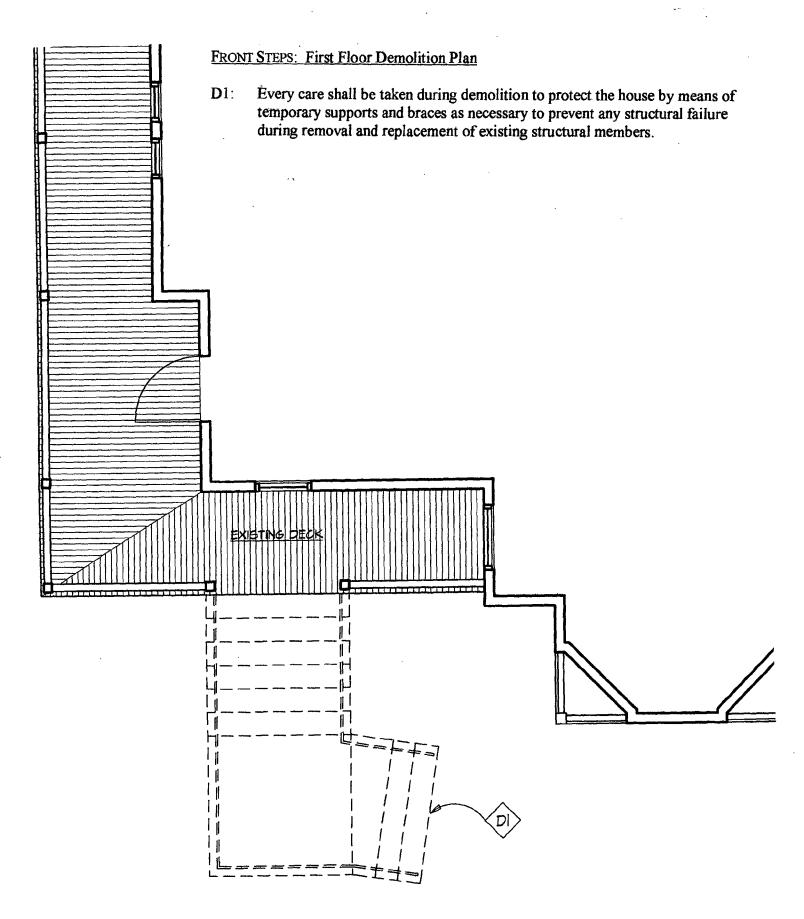
FILED THROUGH THE DEPARTMENT OF PERMITTING SERVICES OF MONTGOMERY COUNTY, MARYLAND

FOR HISTORIC AREA WORK PERMIT

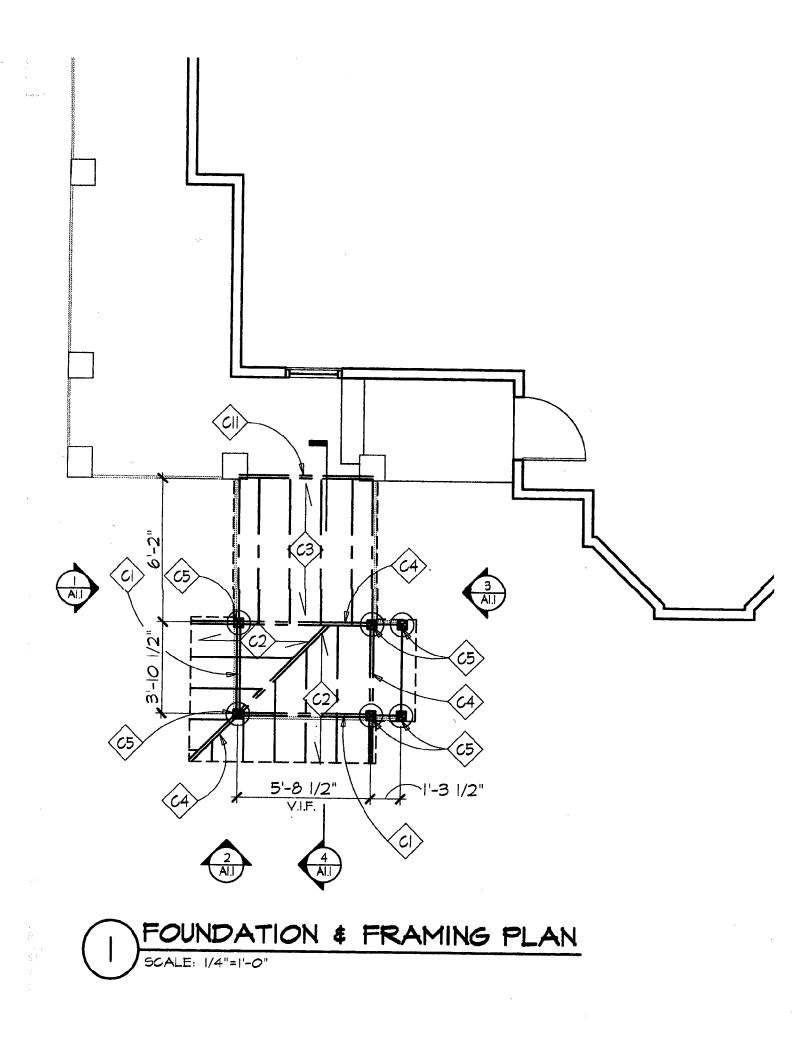
FOR AN HISTORIC STRUCTURE LOCATED IN THE FOREST GLEN HISTORIC DISTRICT AT 9815 HOLLOW GLEN PLACE SILVER SPRING, MARYLAND 20910

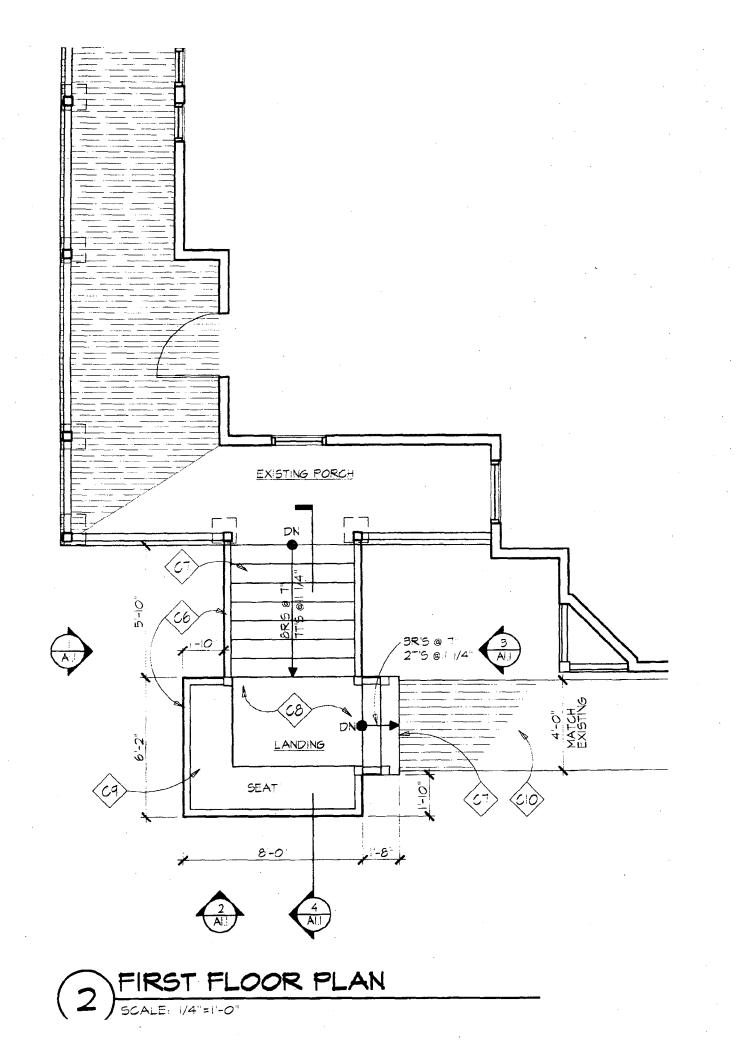
> APPLICATION AND REQUIRED SUPPORTING MATERIALS

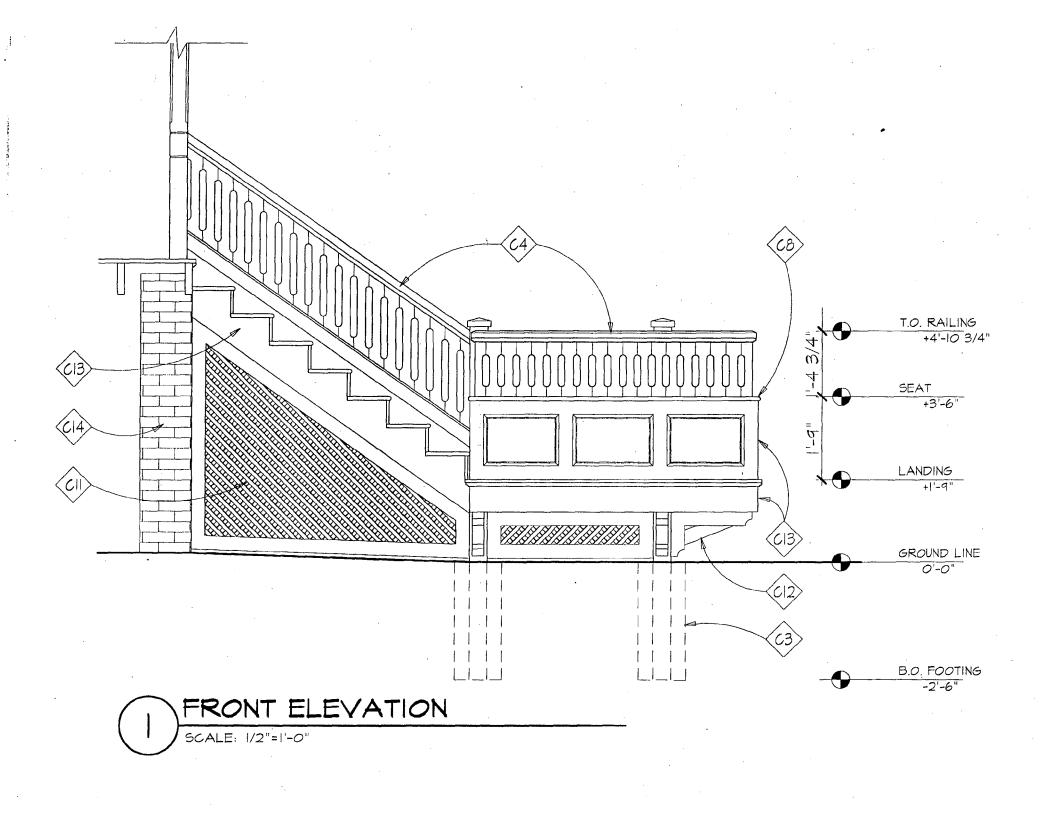
SUBMITTED BY PHILIP C. METZGER APRIL 9, 2002

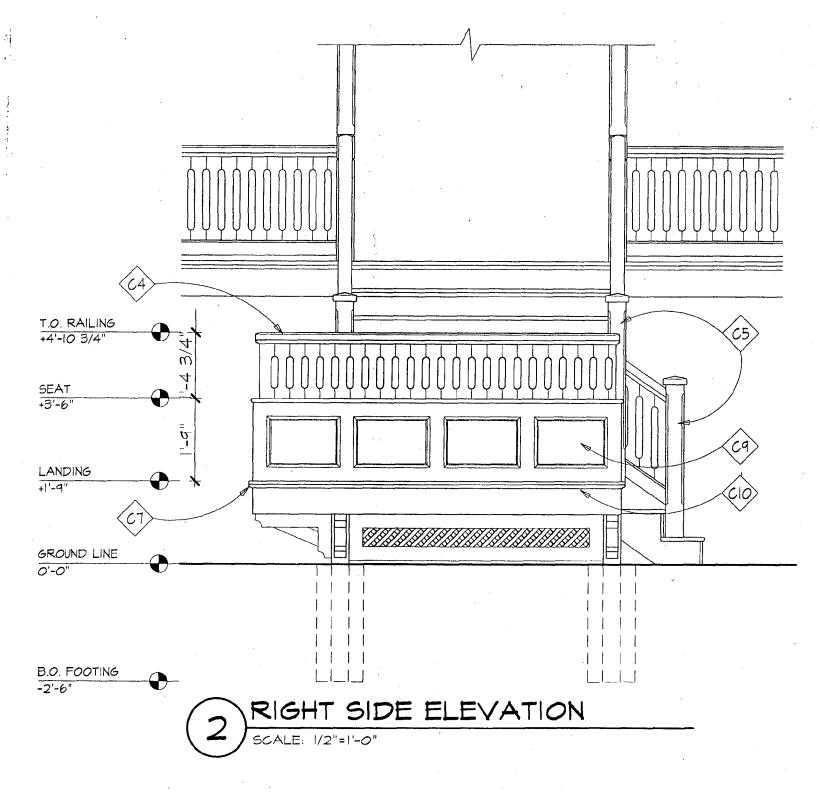


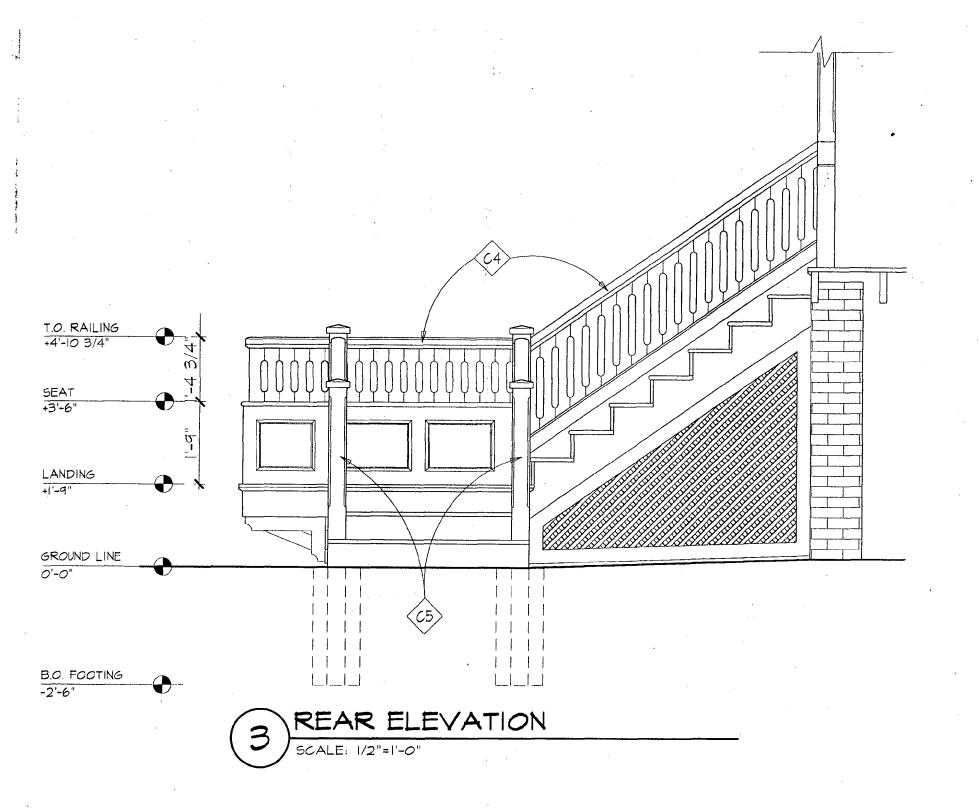


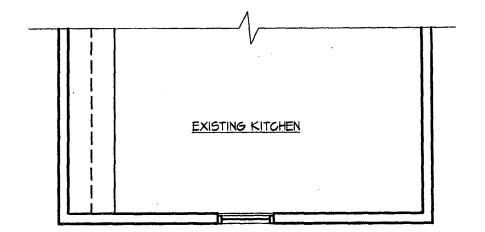






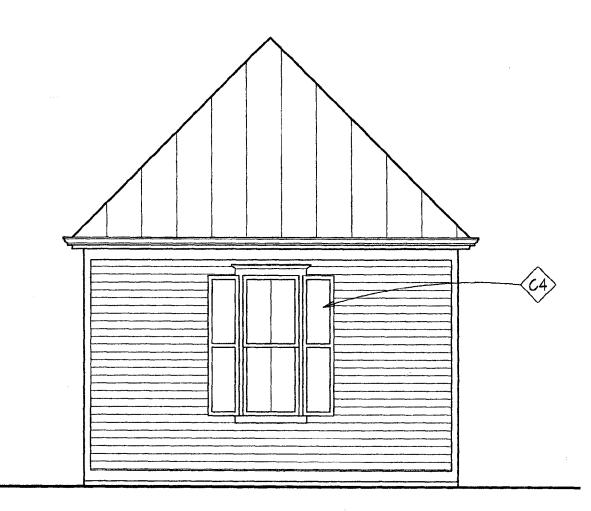


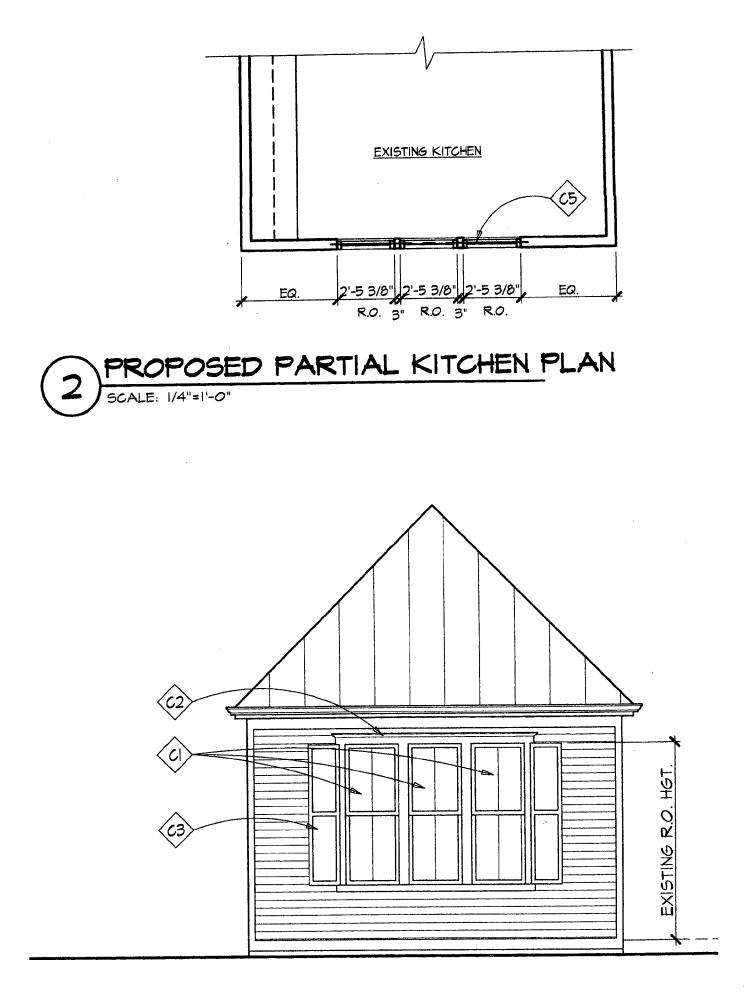


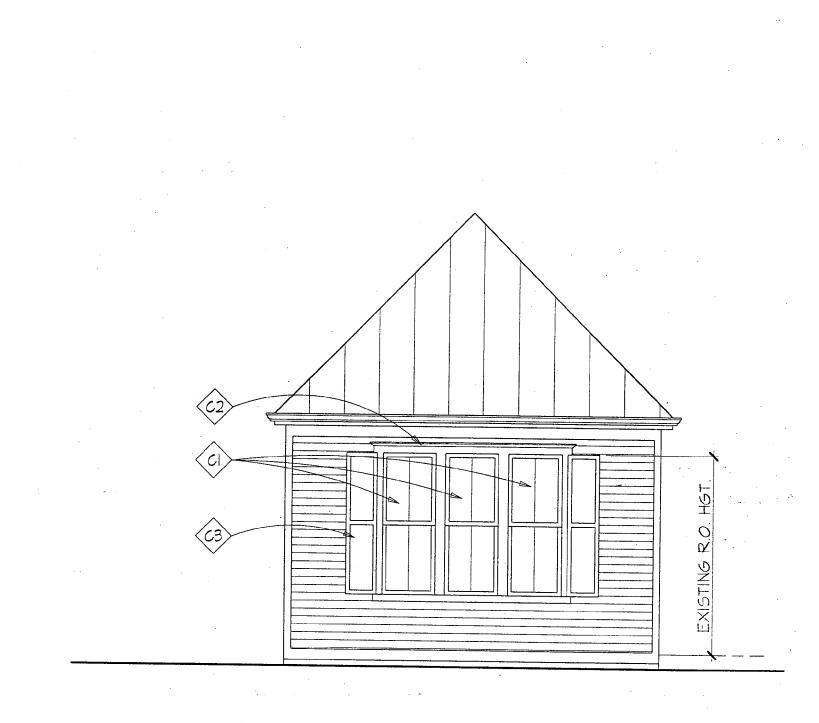


EXISTING PARTIAL KITCHEN PLAN

SCALE: 1/4"=1'-0"







4 PROPOSED ELEVATION

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