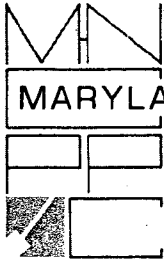


33/24-98A 811 East Randolph Rd. S.Sp.
Colesville/Smithville Colored School
(MP #33-24)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

23/24

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Richard Brand FAX NUMBER: 410.987.4071

FROM: Robin Zitek

DATE: 9-17-02

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 7

NOTE:

Hope this is helpful - R

N A V Y, M A R S H A L L & A S S O C I A T E S, P. C.
A R C H I T E C T S • P L A N N E R S
T W E L V E T W E N T Y - O N E M A S S A C H U S E T T S A V E N U E, N W • S U I T E 1
W A S H I N G T O N, D C 2 0 0 0 5 - 5 3 0 2 T E L E P H O N E (2 0 2) 3 9 3 • 8 6 1 4

15 July 1998

Maryland-National Capital Park and
Planning Commission
Montgomery County Office of Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Attn: Ms. Robin Ziek, Preservation Planner

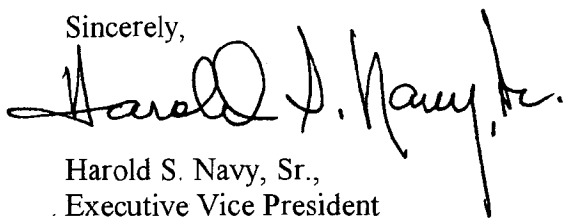
Ref: Smithville Colored School
811 East Randolph Road
Silver Spring, Maryland

Dear Ms. Ziek:

Enclosed, you will find one complete set of Permit Drawings for the above referenced project (not including the Mechanical, Electrical and Plumbing drawings), which are being submitted to the Montgomery County Department of Permitting Services on this date.

If you determine that you need the Mechanical, Plumbing and Electrical drawings, please let us know and we will submit them to you as soon as possible.

Sincerely,

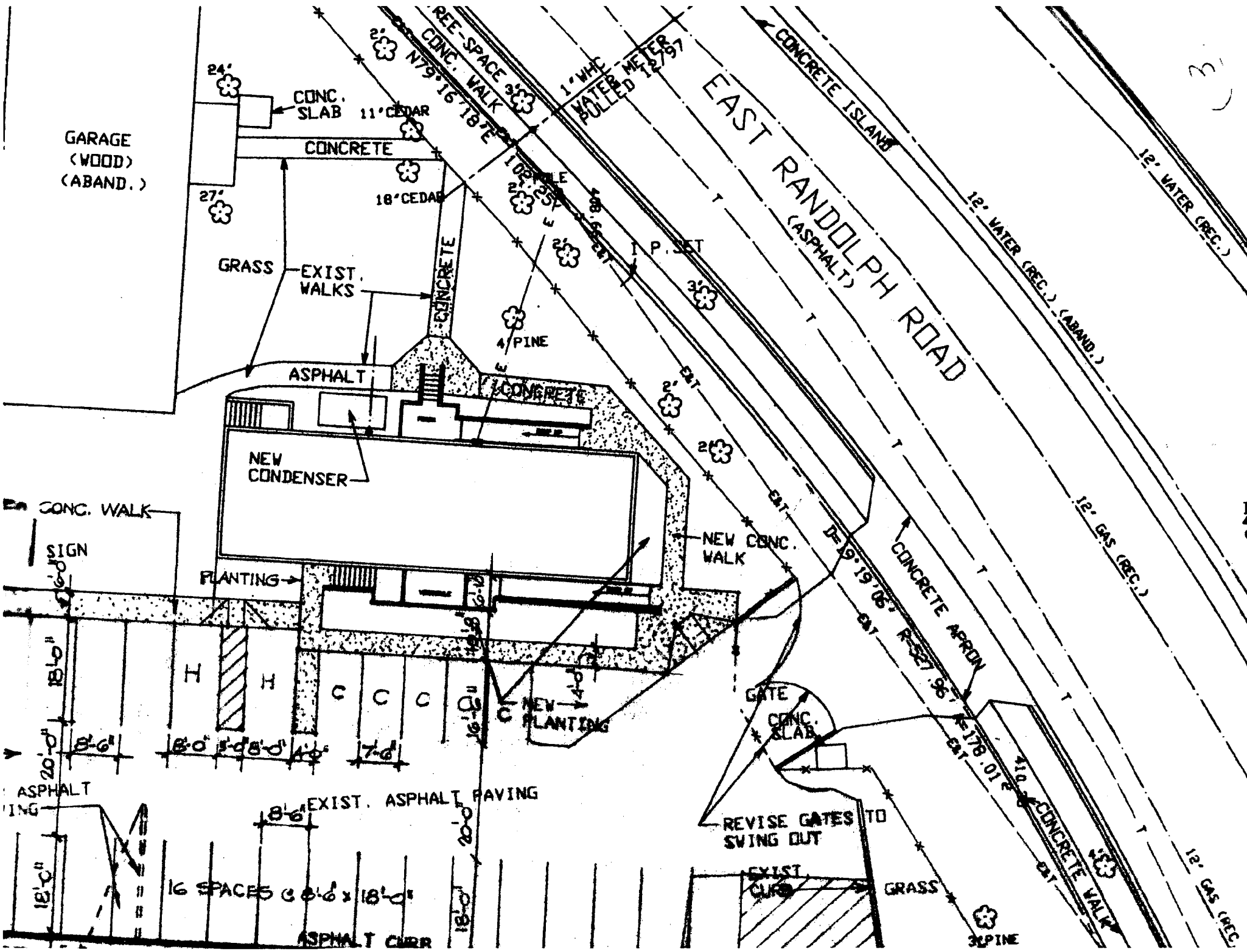


Harold S. Navy, Sr.,
Executive Vice President

cc: Mr. Alfred C. Bailey



3



N A V Y , M A R S H A L L & A S S O C I A T E S , P . C .
A R C H I T E C T S P L A N N E R S
T W E L V E T W E N T Y - O N E M A S S A C H U S E T T S A V E N U E , N W • S U I T E 1
W A S H I N G T O N , D C 2 0 0 0 5 - 5 3 0 2 T E L E P H O N E (2 0 2) 3 9 3 • 8 6 1 4

25 June 1998

33/24

Maryland-National Capital Park and
Planning Commission
Montgomery County Office of Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Attn: Ms. Robin Ziek, Preservation Planner

Ref: Smithville Colored School
811 East Randolph Road
Silver Spring, Maryland

Dear Ms. Ziek:

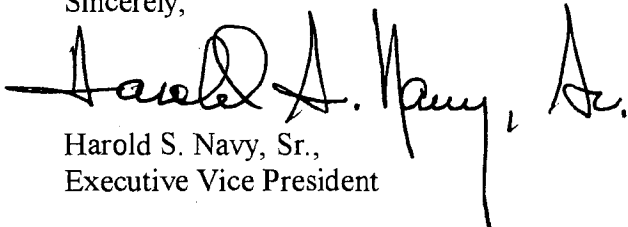
This letter is in reference to our telephone conversation on Tuesday, June 23, 1998. At that time, I informed you that I had met with Mr. Gary Miller of the Montgomery County Department of Permitting Services on that same date, for a preliminary review on the above referenced project prior to submitting for a Building Permit.

The reviewers said that we need another egress from the Meeting Room that is more remote from the two egress locations that are presently shown on the East and West sides of the Building because we do not meet the County Code's requirement of not traveling more than 20'-0" on a common passageway before you have an option of two directions to an egress point. This requirement is creating a development hardship and destroying the original historical aesthetics on the West side of this Building by adding another egress doorway.

I am sending you sketches of the revised Floor Plan and West Elevation to show the new egress doorway solution, which includes adding a covered egress doorway on the northwest corner of the Building, similar to the existing covered egress doorway on the southwest corner of the Building.

Please let me know if the proposed changes will be acceptable to the Historic Commission, or if you think we can get any relief on this requirement from the County since this is an Historical Building.

Sincerely,



Harold S. Navy, Sr.,
Executive Vice President

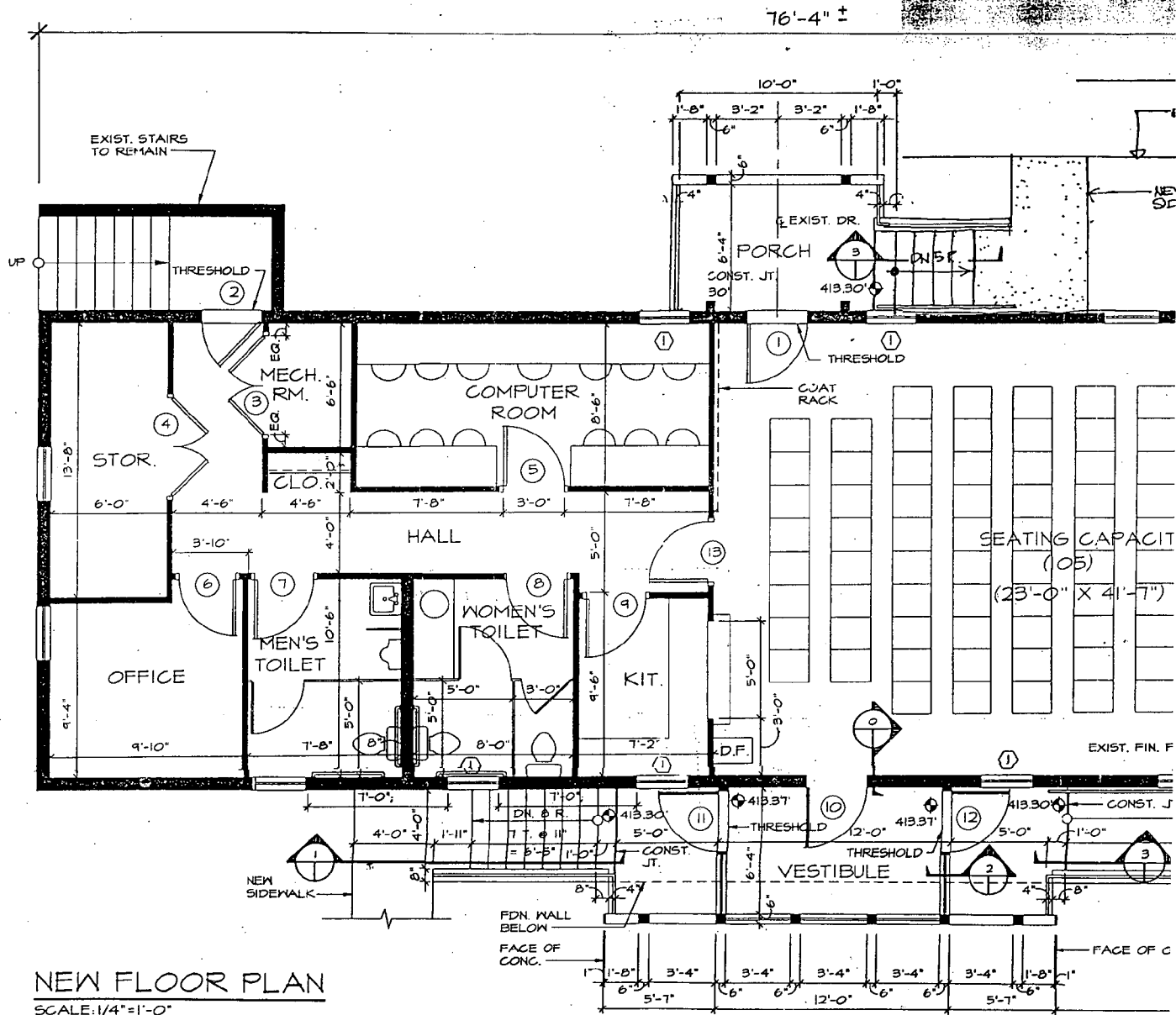
cc: Mr. Alfred C. Bailey

4

HAROLD S. NAVY, SR.

RANDALL S. MARSHALL

6



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

N A V Y , M A R S H A L L & A S S O C I A T E S , P . C .
A R C H I T E C T S P L A N N E R S
T W E L V E T W E N T Y - O N E M A S S A C H U S E T T S A V E N U E , N W • S U I T E 1
W A S H I N G T O N , D C 2 0 0 0 5 - 5 3 0 2 T E L E P H O N E (2 0 2) 3 9 3 - 8 6 1 4

25 June 1998

301. 933.7034

33/24

Maryland-National Capital Park and
Planning Commission
Montgomery County Office of Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Attn: Ms. Robin Ziek, Preservation Planner

Ref: Smithville Colored School
811 East Randolph Road
Silver Spring, Maryland

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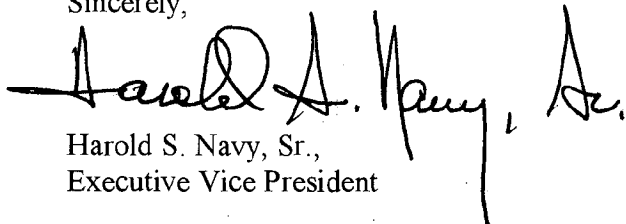
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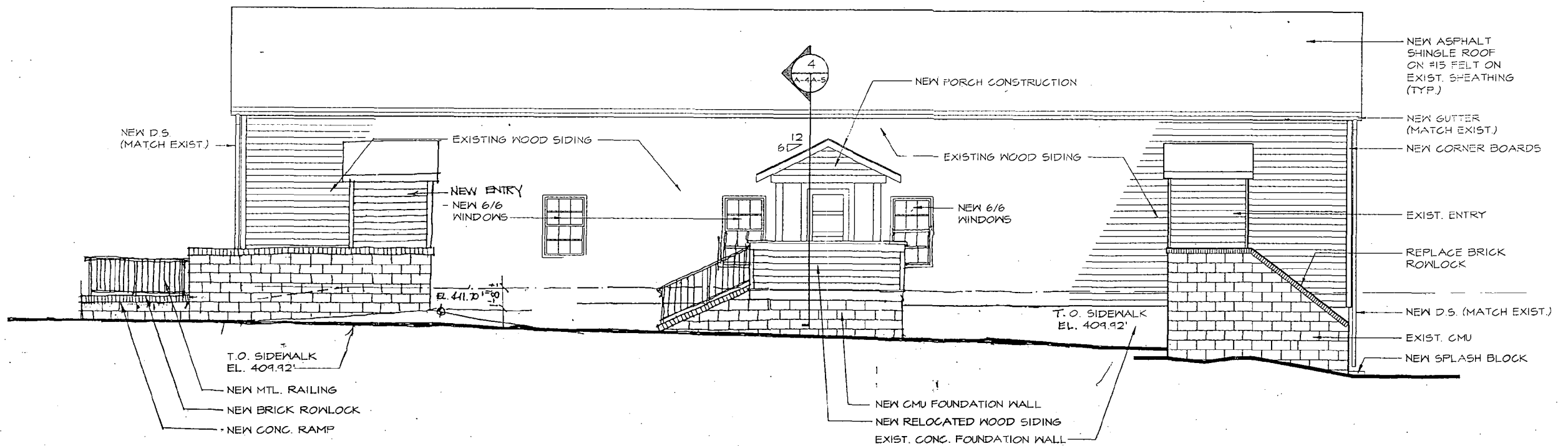

Harold S. Navy, Sr.,
Executive Vice President

9/18/02 - talked with Harold Navy.

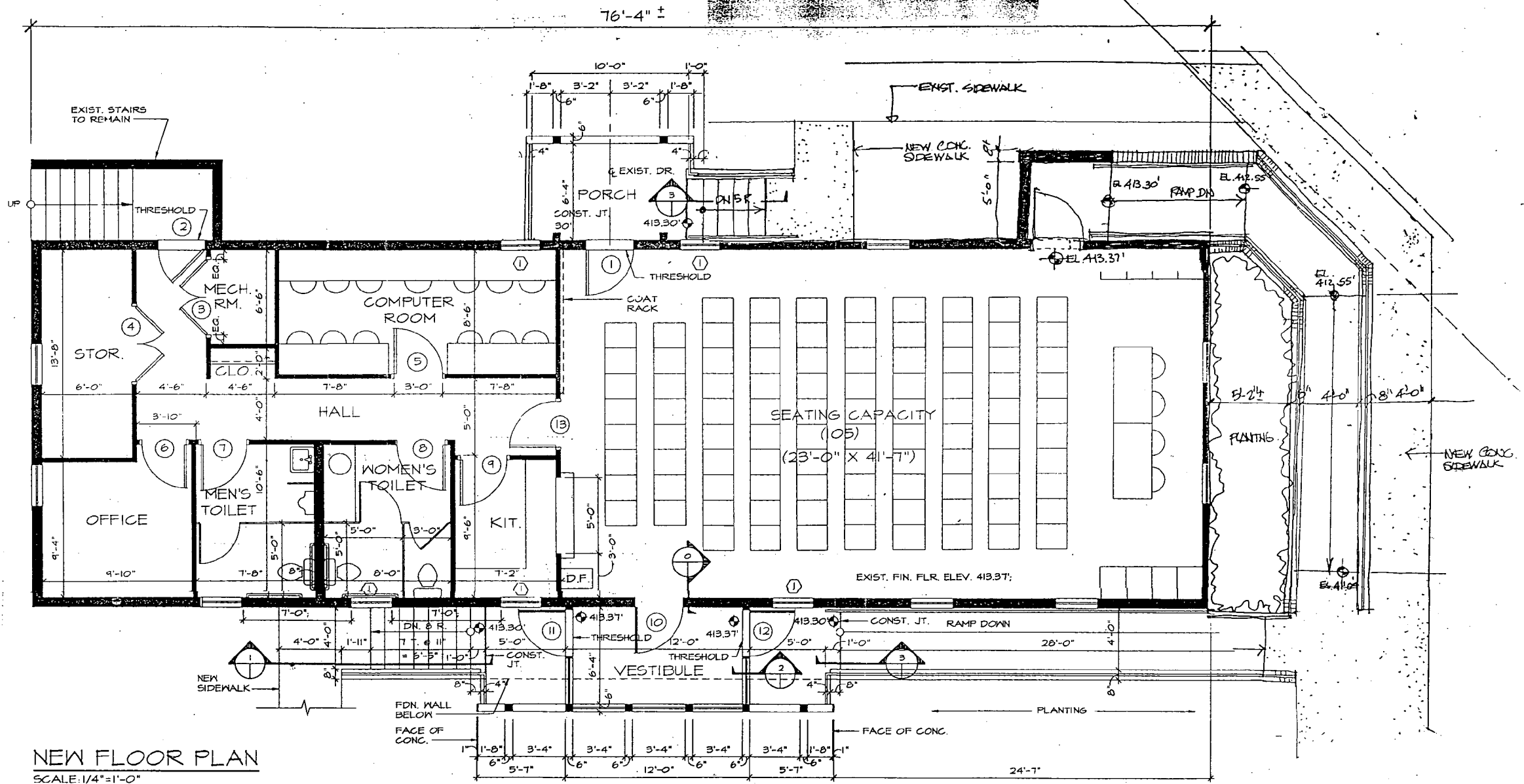
cc: Mr. Alfred C. Bailey

HAROLD S. NAVY, SR.

RANDALL S. MARSHALL



WEST ELEVATION (NEW CONDITIONS)
 SCALE: 1/4"=1'-0"



NEW FLOOR PLAN
 SCALE: 1/4" = 1'-0"

N A V Y , M A R S H A L L & A S S O C I A T E S , P . C .
A R C H I T E C T S • P L A N N E R S
T W E L V E T W E N T Y - O N E M A S S A C H U S E T T S A V E N U E , N W • S U I T E 1
W A S H I N G T O N , D C 2 0 0 0 5 - 5 3 0 2 T E L E P H O N E (2 0 2) 3 9 3 • 8 6 1 4

15 July 1998

Maryland-National Capital Park and
Planning Commission
Montgomery County Office of Historic Preservation
8787 Georgia Avenue
Silver Spring, Maryland 20910

Attn: Ms. Robin Ziek, Preservation Planner

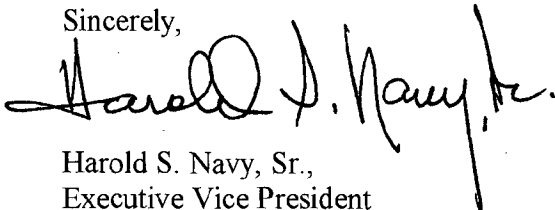
Ref: Smithville Colored School
811 East Randolph Road
Silver Spring, Maryland

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If you determine that you need the Mechanical, Plumbing and Electrical drawings, please let us know and we will submit them to you as soon as possible.

Sincerely,



Harold S. Navy, Sr.,
Executive Vice President

cc: Mr. Alfred C. Bailey



HAROLD S. NAVY, A.I.A.
Executive
Vice President



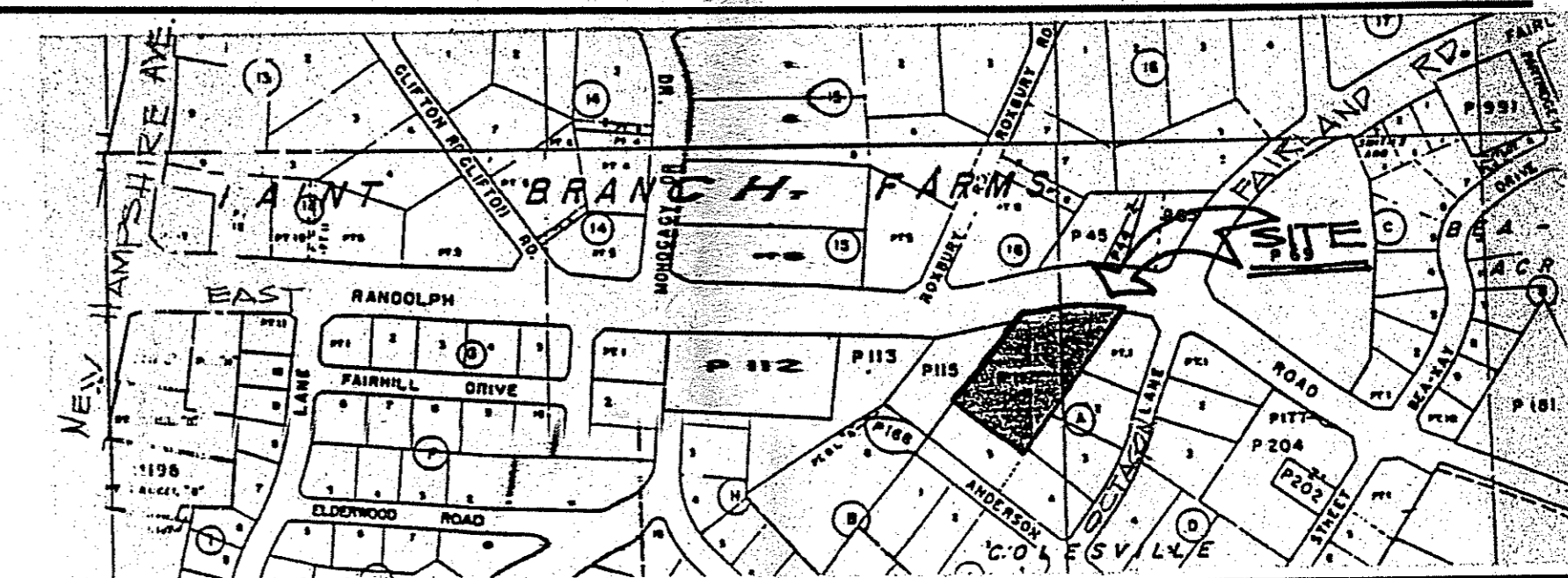
NAVY • MARSHALL & ASSOCIATES PC
ARCHITECTS • PLANNERS
1221 MASS. AVE., NW • SUITE 1
WASHINGTON D C 20005
TELEPHONE 202 393 • 8614
FACSIMILE 202 393 • 8619

SMITHVILLE COLORED SCHOOL

811 EAST RANDOLPH RD.

SILVER SPRING, MD.

VICINITY MAP



MATERIALS/SYMBOL INDEX

FINISHES (PLAN & SECTION INDICATIONS)		

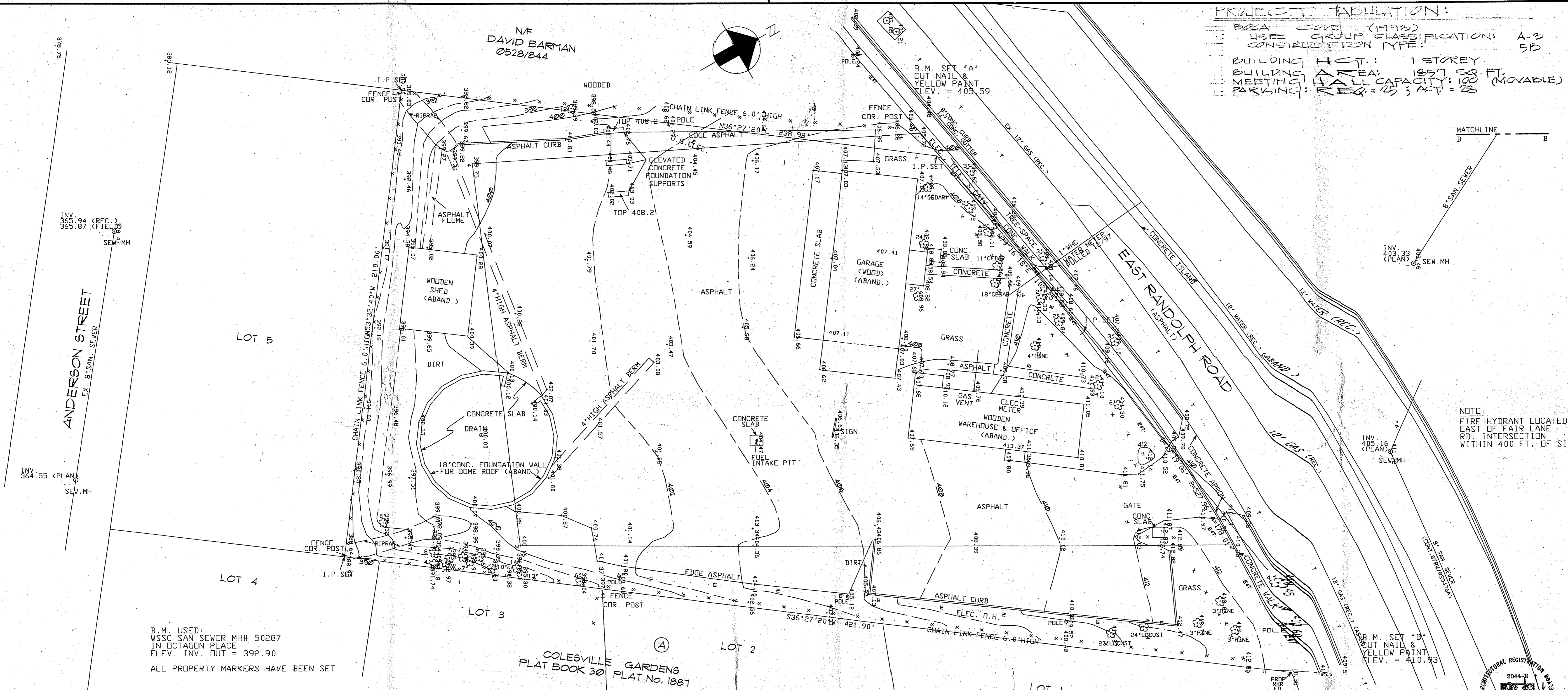
DRAWING INDEX

LIST OF DRAWINGS	
CO-1	COVER SHEET / TOPO. & BOUNDARY SURVEY / LOCATION PLAN, ETC.
SD-1	SITE DEVELOPMENT PLAN
ARCHITECTURAL	
A-1	EXISTING CONDITIONS / DEMOLITION FLOOR PLAN FOUNDATION PLAN DEMOLITION NOTES
A-2	NEW FLOOR PLAN NEW REFLECTED CEILING PLAN FINISH SCHEDULE DOOR SCHEDULE / NOTES
A-3	EXISTING CONDITIONS / DEMOLITION - ELEVATIONS
A-4	NEW CONDITIONS - ELEVATIONS
A-5	SECTIONS / DETAILS (PORCH, VEST. SECTIONS & VEST. WINDOW DETS.)
A-6	SECTIONS / DETAILS (RAMP & STAIR DETS. / MISC. DETS.)
MECHANICAL	
M-1	MECHANICAL FLOOR PLANS & NOTES
PLUMBING	
P-1	PLUMBING FLOOR PLAN, RISERS, SITE PLAN & NOTES
ELECTRICAL	
E-1	ELECTRICAL SPECIFICATIONS & RISERS
E-2	ELECTRICAL FLOOR PLANS, SCHEDULES & SYMBOLS

PROJECT TABULATION:

BOCA CODE (1995)
 USE GROUP CLASSIFICATION: A-3
 CONSTRUCTION TYPE: 5B

BUILDING HGT.: 1 STOREY
 BUILDING AREA: 1257.58 FT.
 MEETING HALL CAPACITY: 100 (MOVABLE)
 PARKING: REQ = 25; ACT = 28

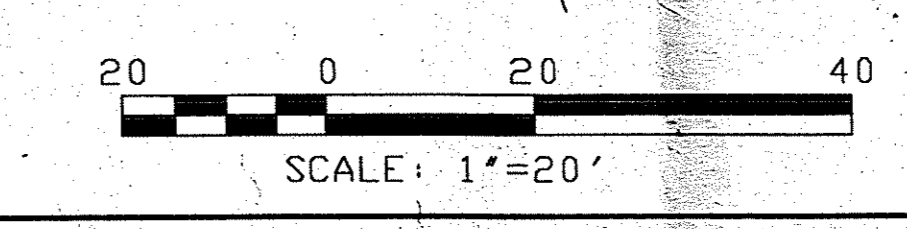


NOTE:
 FIRE HYDRANT LOCATED
 EAST OF FAIR LANE
 RD. INTERSECTION
 WITHIN 400 FT. OF SITE

PROJECT NAME SMITHVILLE COLORED SCHOOL 811 EAST RANDOLPH ROAD SILVER SPRING, MARYLAND	ASSOCIATED ENGINEERS, INC. 8535 SIXTEENTH STREET SILVER SPRING, MARYLAND 20910 TEL. 301-599311	JOB NO. 3337
DRAWING TITLE TOPOGRAPHIC & BOUNDARY SURVEY	SCALE 1"=20' DATE MARCH 30, 1998 REVISED -	SHEET NO.

TOPOGRAPHIC & BOUNDARY SURVEY
 SCALE: 1"=20'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 7/14/98



3044-P
 811 EAST RANDOLPH RD.
 SILVER SPRING, MD.
 PERMIT SET 7/14/98
 SEW.MH

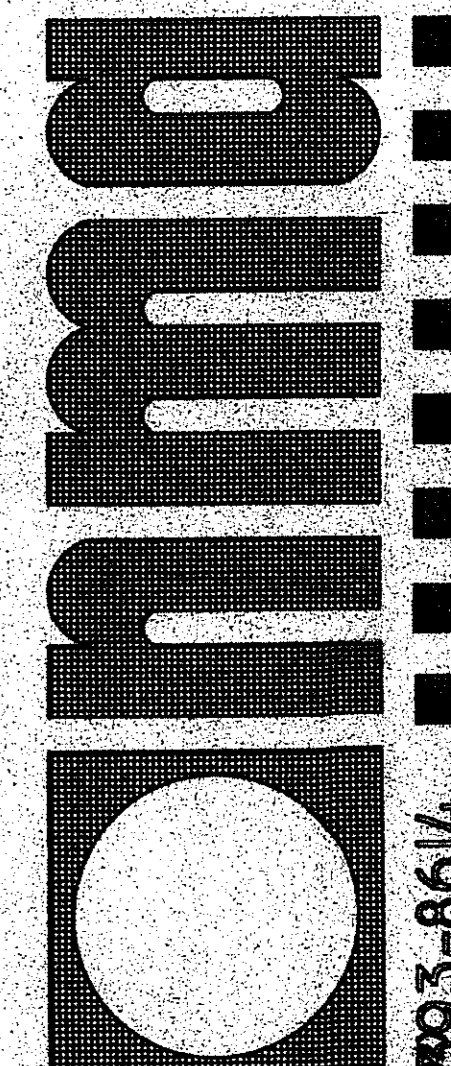
emmo

SMITHVILLE COLORED SCHOOL
 811 EAST RANDOLPH RD.
 SILVER SPRING, MD.
 (MUSEUM)

COVER SHEET

NAVY, MARSHALL & ASSOCIATES, P.C. - ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - (202) 393-8614

CO-1



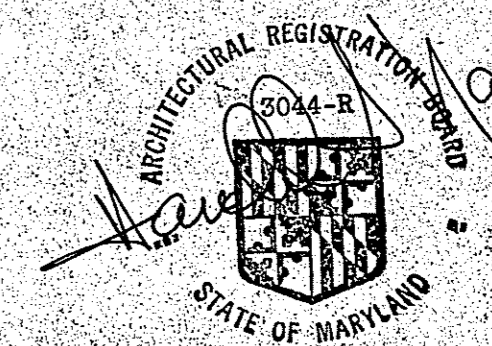
NNAVY, MARSHALL & ASSOCIATES, P.C. - ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - 202-993-8614

SMITHVILLE COLORED SCHOOL
811 EAST RANDOLPH RD.
SILVER SPRING MD.

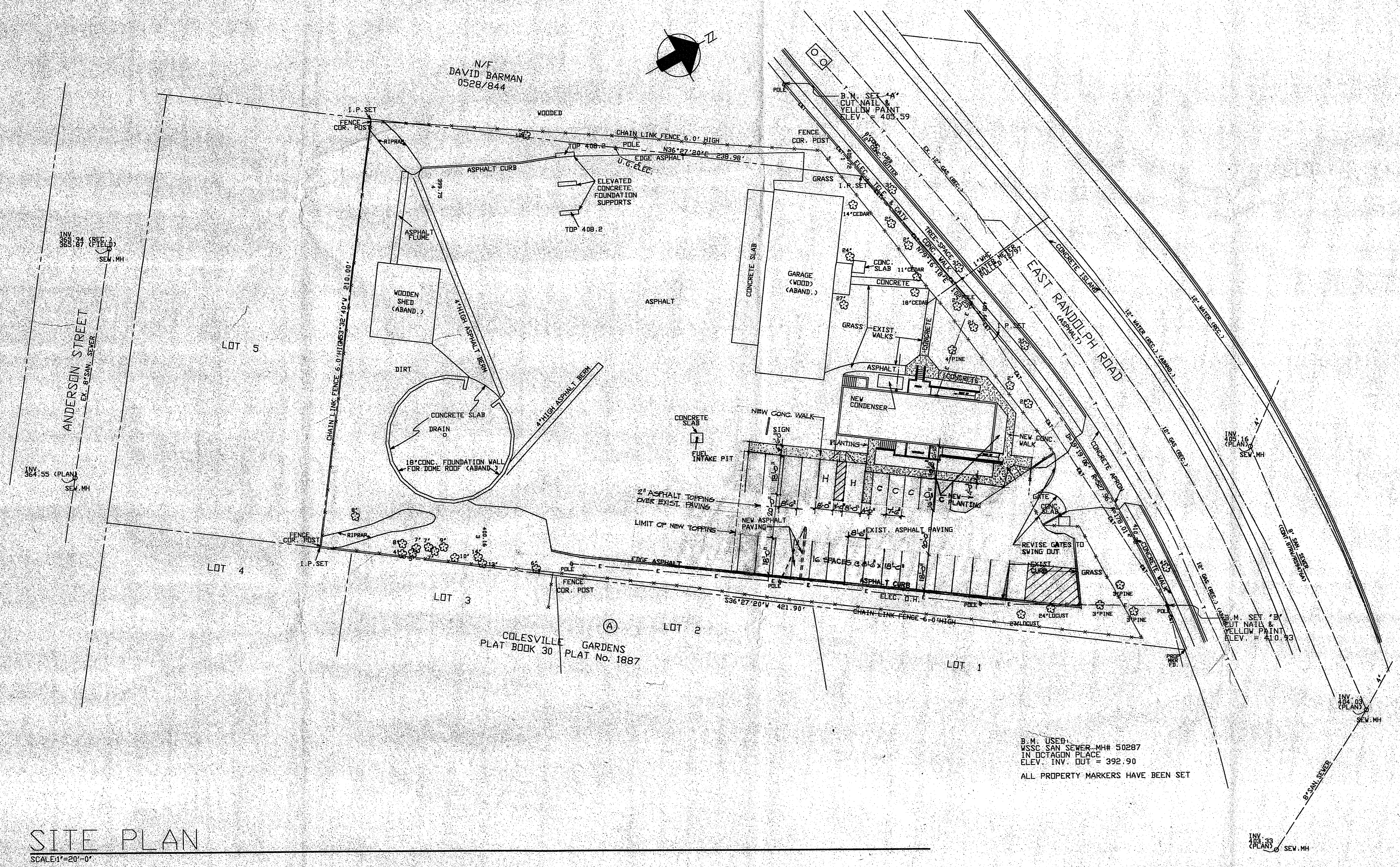
NEW SITE PLAN

PERMIT SET: 7/14/12

SD-1



APPROVED
Montgomery County
Historic Preservation Commission
3/11/12



SITE PLAN
SCALE: 1"=20'-0"

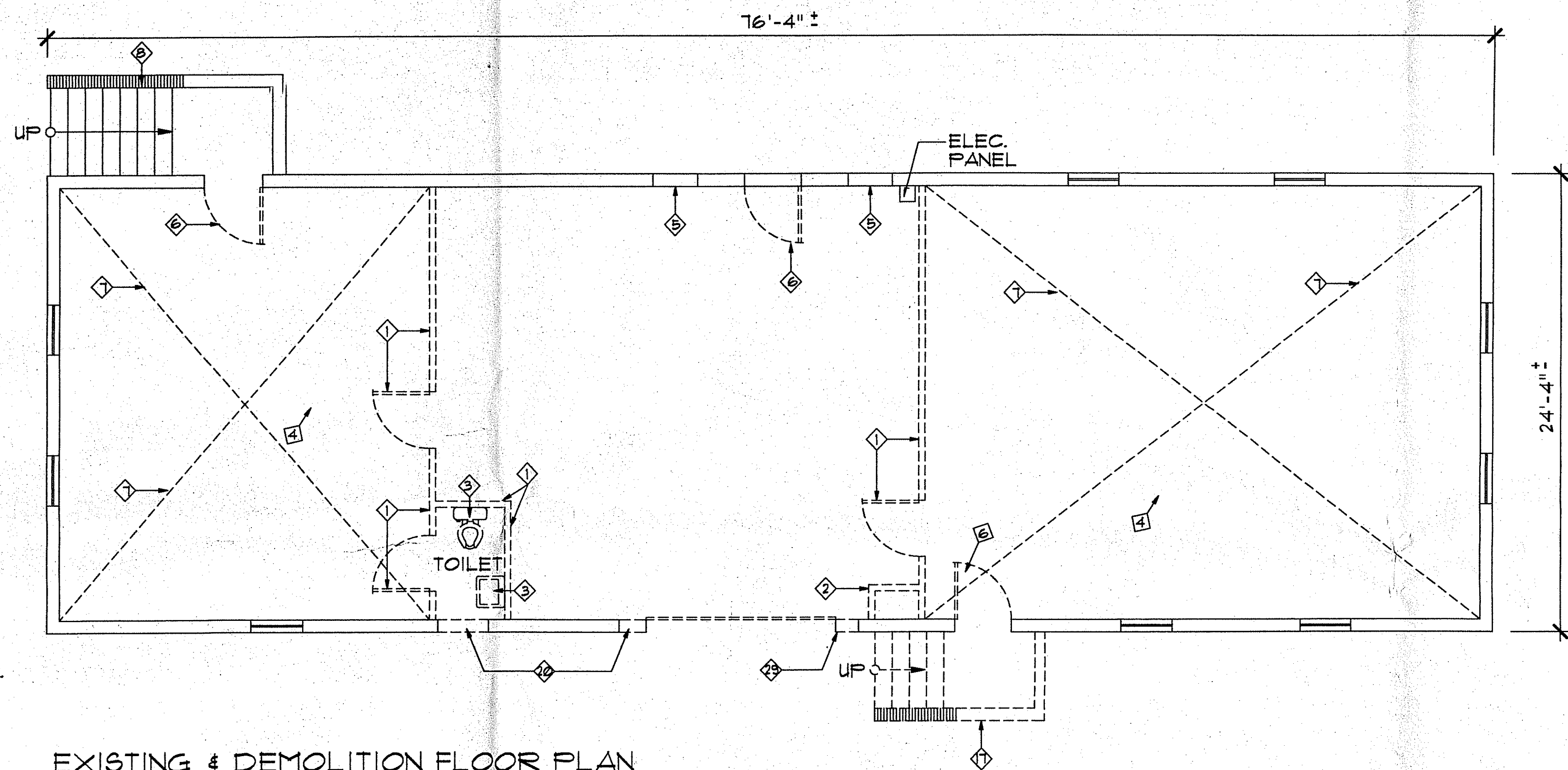
B.M. USED:
VSSC SAN SEWER MHH 50287
IN OCTAGON PLACE
ELEV. INV. OUT = 392.90
ALL PROPERTY MARKERS HAVE BEEN SET

DEMOLITION / ALTERATION NOTES

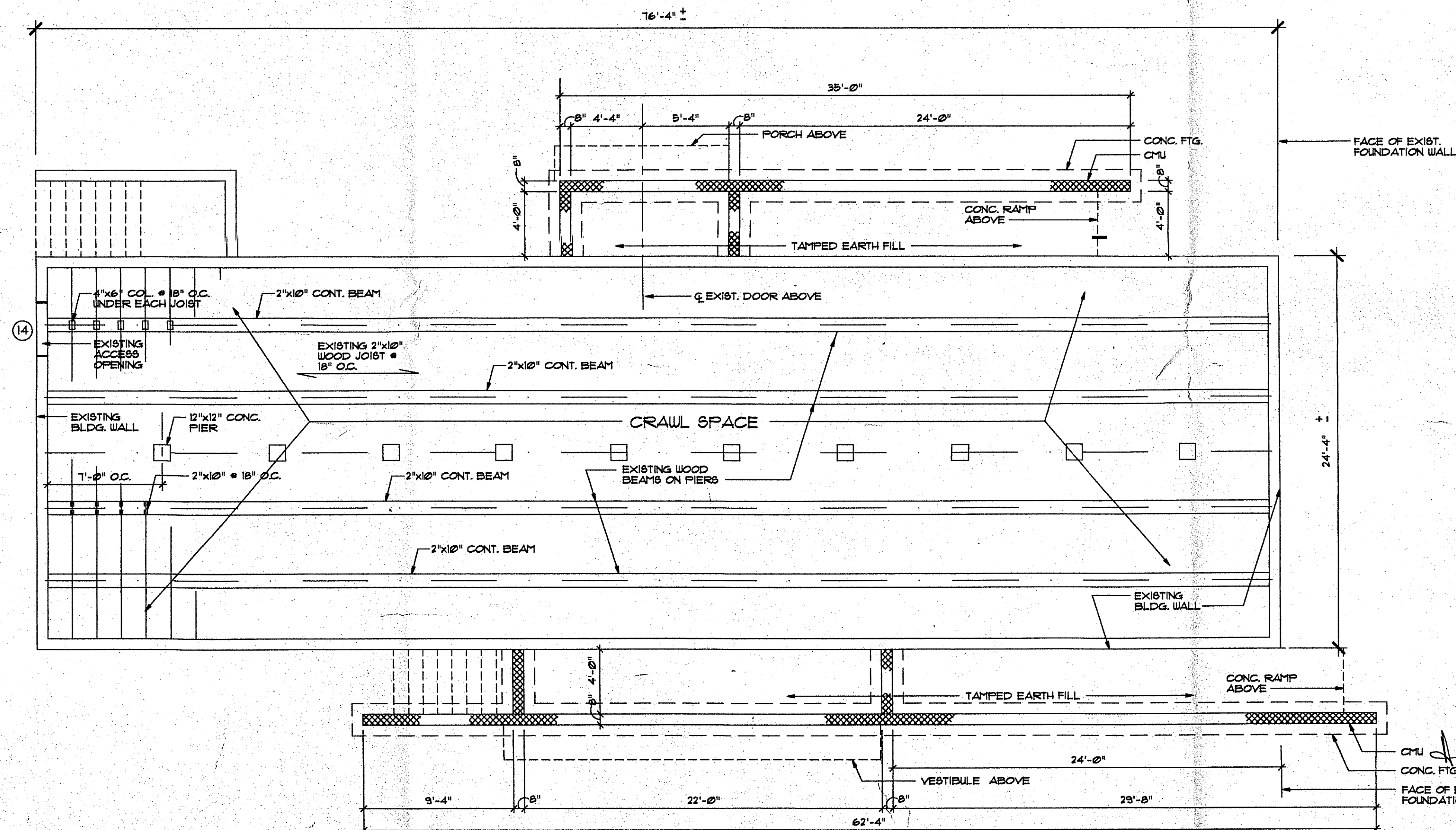
- 1 REMOVE EXIST. PARTITIONS AND DOORS FROM FLOOR TO ROOF STRUCTURE.
- 2 REMOVE BRICK CHIMNEY FROM BELOW THE FLOOR STRUCTURE TO ROOF.
- 3 REMOVE PLUMBING FIXTURES AND CAP ALL PIPING BELOW FLOOR.
- 4 REMOVE ALL LAYERS OF VCT. TO WOOD SUBFLOOR. INSTALL PLYWOOD UNDERLAYMENT AS REQUIRED TO ALIGN THE FLOOR THROUGHOUT WITH NEW UNDERLAYMENT ALREADY INSTALLED IN CENTER PORTION OF BUILDING.
- 5 REMOVE EXIST. WOOD BOARDS FROM WINDOW OPENING.
- 6 REMOVE EXIST. WOOD DOOR. INSTALL NEW DOOR TO MATCH EXISTING AND NEW TRIM TO MATCH OTHER EXISTING DOORS.
- 7 REMOVE EXIST. CEILING AND LIGHT FIXTURES THIS AREA.
- 8 REMOVE EXIST. BRICK ROWLOCK.
- 9 REMOVE ALL EXPOSED ELEC. WIRING.
- 10 REMOVE EXIST. ELEC. FIXT.
- 11 REMOVE EXISTING GUTTER & DOWNSPOUTS.
- 12 REPLACE EXISTING 1/2 ROUND GUTTERS & HANGERS TO MATCH EXISTING.
- 13 REMOVE EXISTING CLOSED IN WINDOW FILL W/ INSULATION AND COVER WITH WOOD SHEATHING, BUILDING PAPER, AND WOOD SIDING TO MATCH EXISTING DRYWALL FINISH ON INTERIOR.
- 14 REMOVE EXISTING OVERHEAD DOOR AND FRAME IN OPENING W/ 2X4 STUDS, FILL W/ INSULATION & COVER W/ WOOD SHEATHING, BUILDING PAPER, AND WOOD SIDING ON EXTERIOR TO MATCH EXISTING DRYWALL FINISH ON INTERIOR.
- 15 REMOVE EXISTING WOOD BUMPER STRIP.
- 16 REMOVE EXISTING WOOD HAND RAIL.
- 17 REMOVE EXISTING COVERED ENTRY & CONCRETE STEPS.
- 18 REPLACE EXISTING ELEC. LIGHT FIXTURE TO MATCH EXISTING.
- 19 RENAILED ALL WOOD SIDING TO REMAIN.
- 20 CUT NEW WINDOW OPENING.
- 21 REMOVE EXISTING LITE FIXTURE.
- 22 REPLACE EXISTING WOOD LOUVER TO MATCH EXISTING. COVER INTERIOR W/ INSECT SCREEN.
- 23 REPLACE EXISTING 1" x 4" WOOD CORNER BOARD.
- 24 REMOVE ABANDONED ELEC. CONDUIT.
- 25 REMOVE EXISTING THRU WALL GAS HEATER & ASSOCIATED PIPING. FILL WITH INSULATION & COVER W/ WOOD SIDING ON EXTERIOR TO MATCH EXISTING.
- 26 REMOVE THRU WALL A/C FILL W/ INSULATION & PATCH WITH SIDING TO MATCH ON EXTERIOR.
- 27 REMOVE EXISTING WINDOW.
- 28 REMOVE EXISTING ASPHALT SHINGLE ROOF.
- 29 CUT NEW DOOR OPENING.

GENERAL CONSTRUCTION NOTES

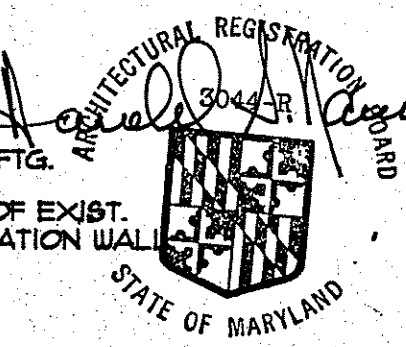
1. ALL GWB SURFACES WHERE PARTITIONS ARE REMOVED, OPENINGS ARE ADDED, AND WHERE THRU WALL ITEMS ARE REMOVED SHALL BE FINISHED TO MATCH ADJACENT GWB SURFACES TO REMAIN.
2. WOOD SIDING TO BE USED FOR INFILL, PATCHING, AND REPLACEMENT OF EXISTING DAMAGED SIDING SHALL BE REMOVED CAREFULLY WHERE NEW OPENINGS ARE CREATED IN EXTERIOR WALLS AND SHALL BE REMOVED FROM THE ADJACENT BUILDING AT LOCATIONS INDICATED BY THE OWNER. REMOVE EXISTING SIDING CAREFULLY, AND REINSTALL AT LOCATIONS INDICATED. VERTICAL JOINTS IN WOOD SIDING SHALL BE STAGGERED TO THE GREATEST EXTENT POSSIBLE. SIDING SHALL BE "TOOTHED" INTO EXISTING SIDING WITH JOINTS STAGGERED WHERE WINDOW, DOOR, OR REMOVED EQUIPMENT OPENINGS ARE CLOSED WITH NO "THROUGH" JOINTS IN SIDING ALLOWED.
3. ALL CORNER BOARDS AND TRIM TO BE ADDED OR REPLACED SHALL MATCH EXISTING.
4. ALL WINDOWS AND DOOR TRIM SHALL MATCH EXISTING.
5. INSULATE ALL CLOSED OPENINGS IN EXTERIOR WALL WITH BATT INSULATION (R11)
6. INSULATE ALL CEILING AREAS WITH AN ADDITIONAL LAYER OF UNFACED BATT INSULATION OVER EXISTING. (R-19)
7. INSULATE BETWEEN ALL FLOOR JOISTS (@ 18" O.C.) WITH BATT INSULATION (R-13)



EXISTING & DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FOUNDATION PLAN
SCALE: 1/4"=1'-0"

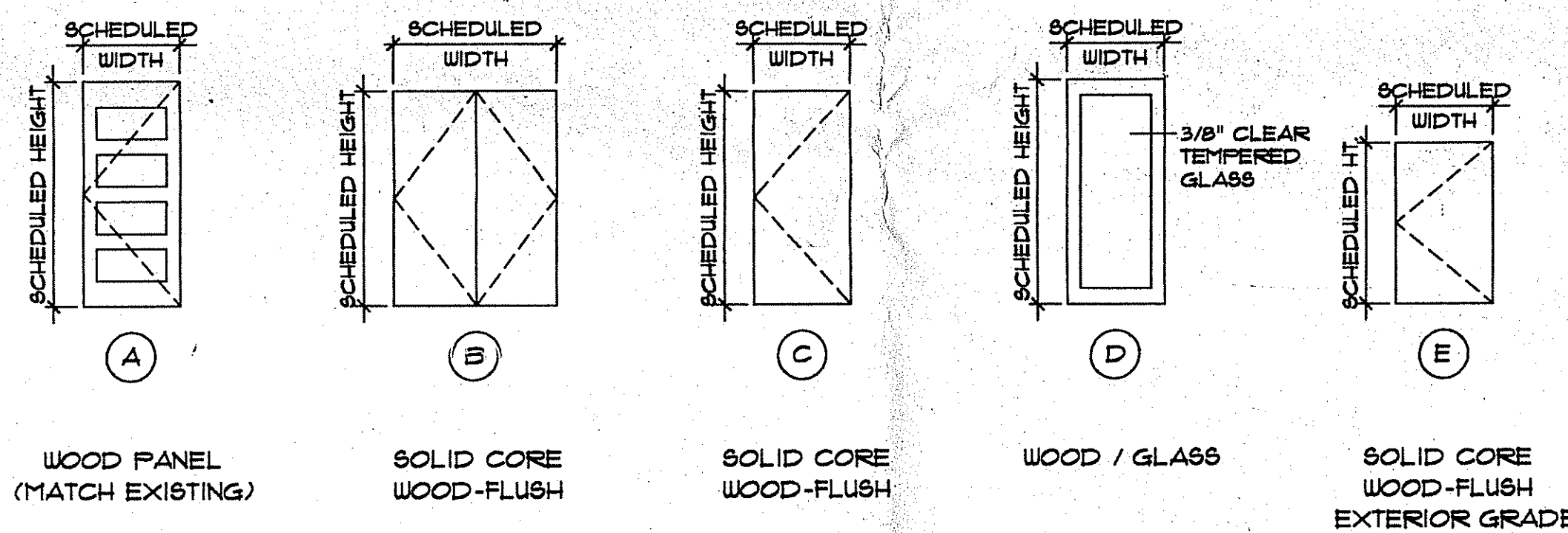


mm
 SMITHVILLE COLORED SCHOOL
 811 EAST RANDOLPH RD.
 SILVER SPRING MD.
 ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - 202993-8614
 EXISTING & DEMOLITION FLOOR PLAN
 FOUNDATION PLAN
 DEMOLITION NOTES
 DRAWN BY: L.E.C. CHECKED: APPROVED:

A-1

DOOR & HARDWARE SCHEDULE

DOOR NO.	DOOR			FRAME			LABEL FIRE RATING	HARDWARE SET	REMARKS
	TYPE	MATL.	SIZE WxH	TYPE	MATL.	OPNG SIZE WxH			
1	A	WOOD	5'x7'x1/4"	WOOD	5'x7'				WEATHER STRIP
2	A	WOOD	5'x7'x1/4"	WOOD	5'x7'				WEATHER STRIP
3	B	WOOD		WOOD	5'x6'				
4	B	WOOD		WOOD	5'x6'				
5	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
6	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
7	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
8	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
9	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
10	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
11	D	WOOD/GLASS	5'x7'x1/4"	WOOD	5'x7'				WEATHER STRIP
12	D	WOOD/GLASS	5'x7'x1/4"	WOOD	5'x7'				WEATHER STRIP
13	C	WOOD	5'x7'x1/4"	WOOD	5'x6'				
14	E	WOOD	5'x5'x1/4"	WOOD	5'x5'				VERIFY EXISTING OPNG. IN FOUNDATION WALL

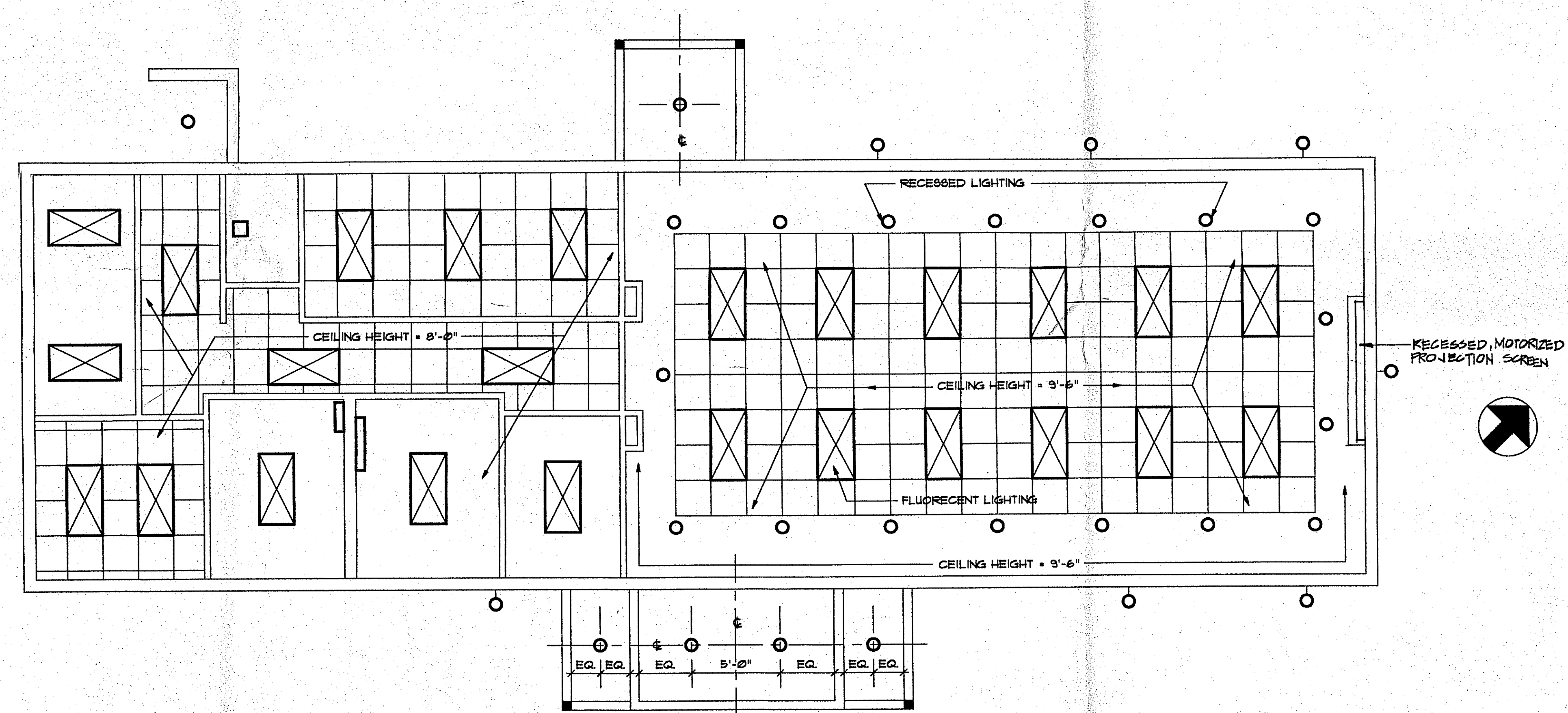
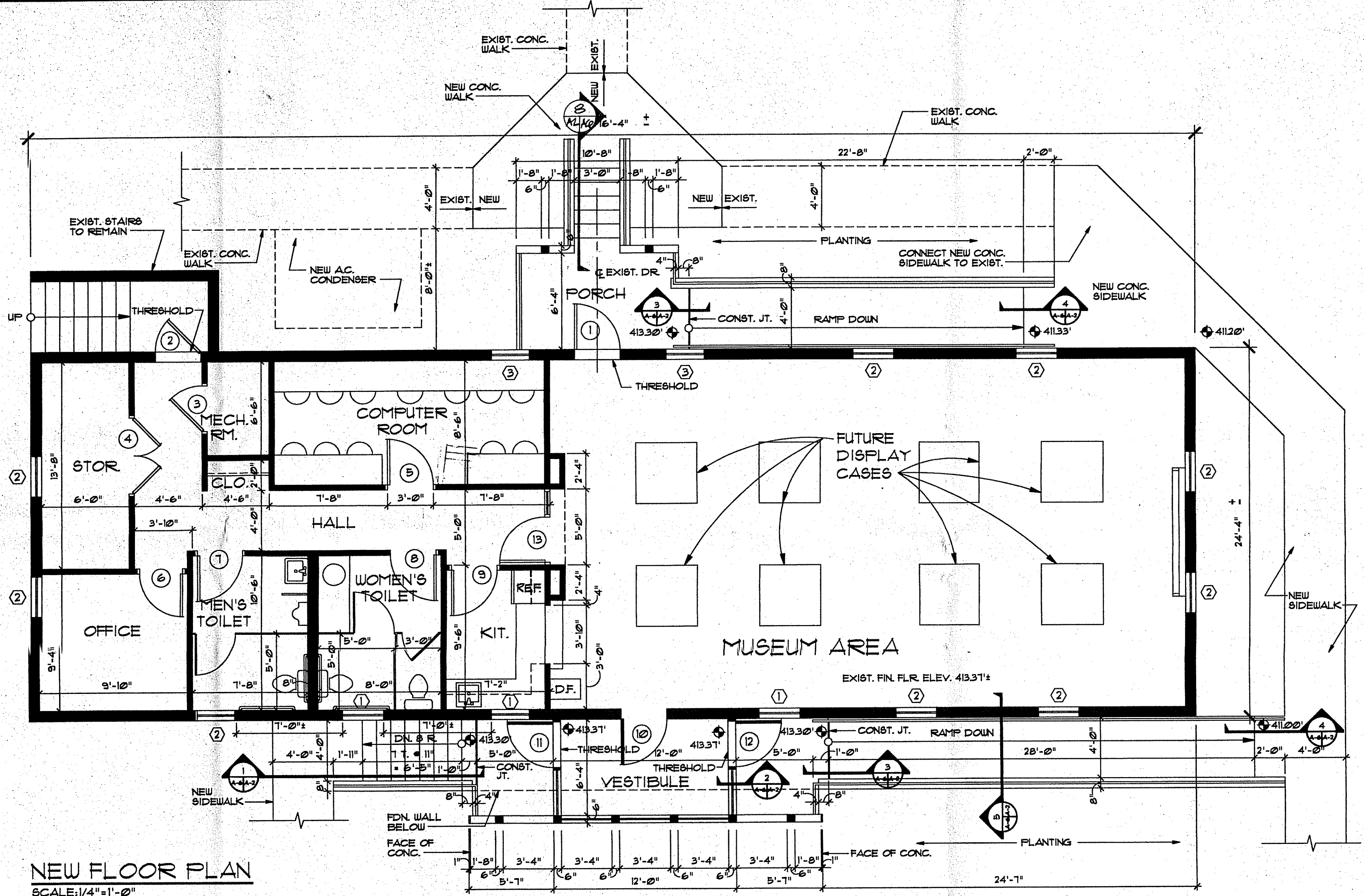
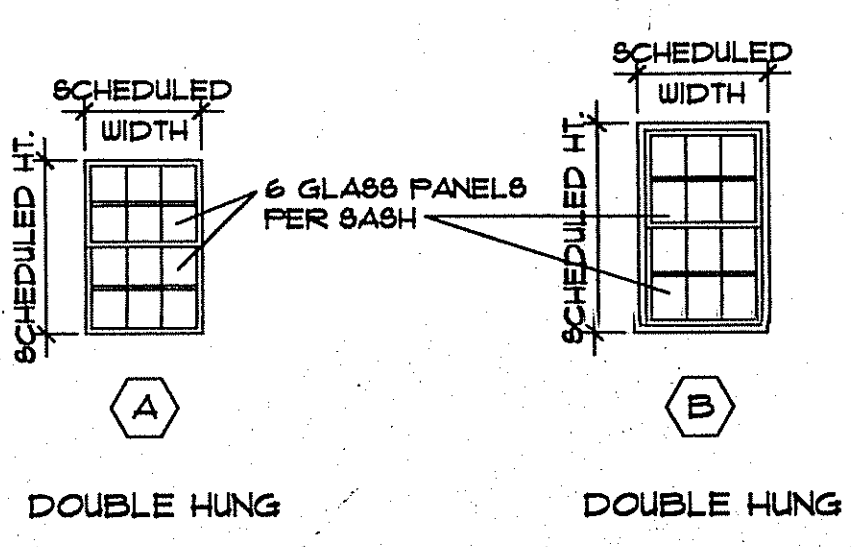


ROOM FINISH SCHEDULE

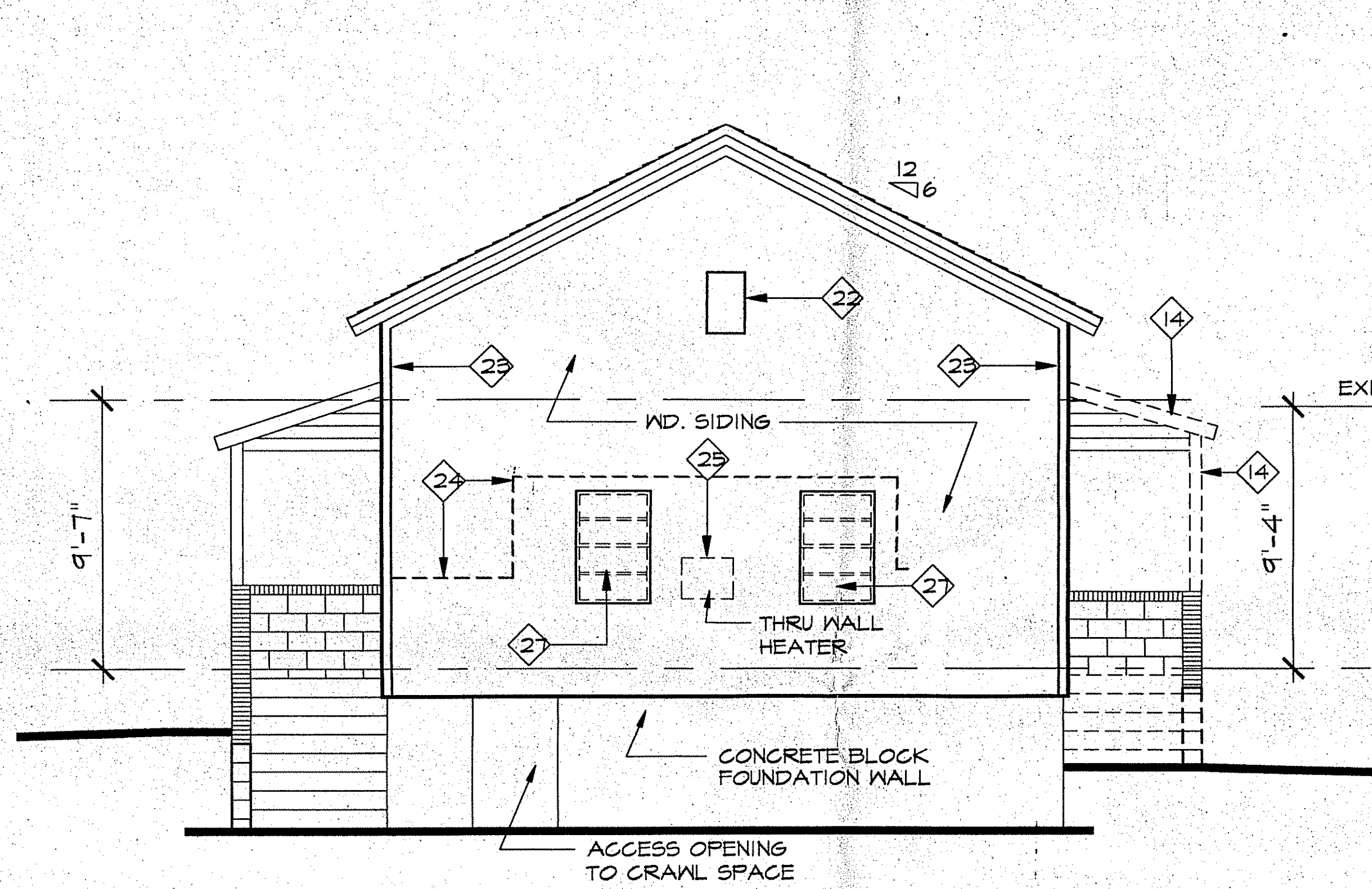
ROOM NAME	FLOOR		BASEBOARD		WALLS		CEILING		PAINT COLORS		REMARKS
	VNTL. COMP. TILE	CONCRETE	CARPET	CERAMIC TILE	CERAMIC TILE	WOOD	WOOD	WOOD	WOOD	WOOD	
STORAGE	•										
MECHANICAL ROOM	•										
CLOSET	•										
OFFICE	•										
HALL	•										
MEN'S TOILET	•										4'-0" HIGH WAINSCOT • ALL WALLS
WOMEN'S TOILET	•										4'-0" HIGH WAINSCOT • ALL WALLS
KITCHEN	•										
COMPUTER ROOM	•										
MEETING ROOM / MUSEUM	•										
VESTIBULE	•										WOOD SIDING • EXT. EXIST. WALL

WINDOW SCHEDULE

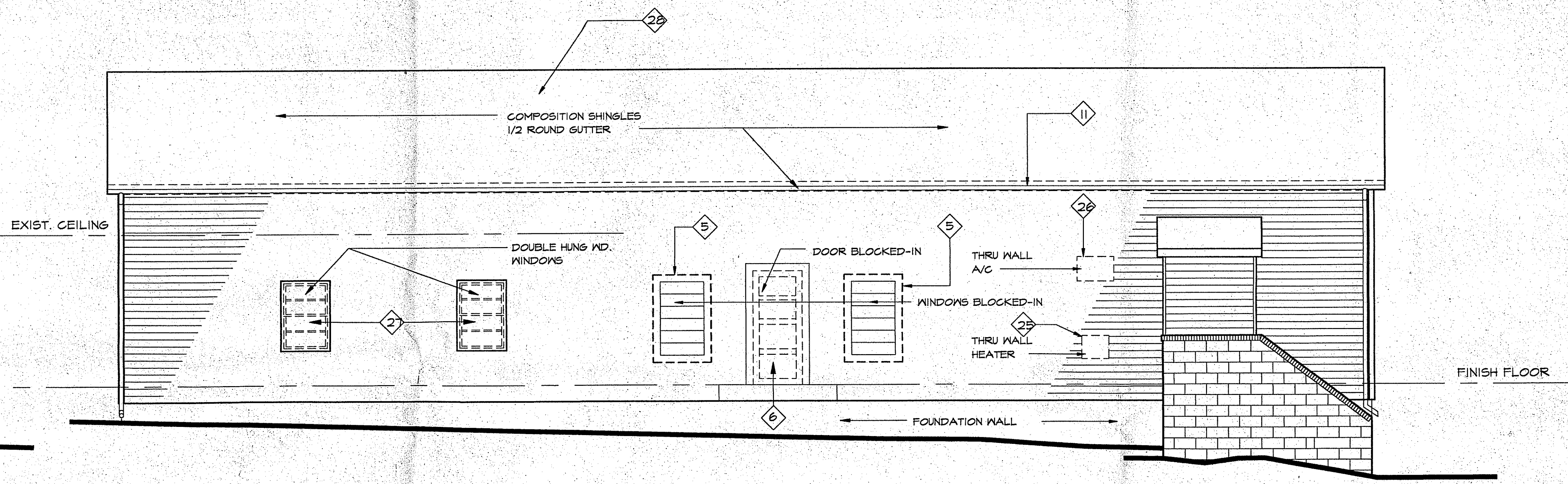
WINDOW NO.	WINDOW			FRAME			REMARKS
	TYPE	MATL.	SIZE WxH	TYPE	MATL.	DETAILS, SEE ()	
1	A	WOOD	2'x4'	WOOD			NEW WINDOW AND OPENING
2	A	WOOD	2'x4'	WOOD			NEW REPLACEMENT WINDOW IN EXISTING OPENING
3	B	WOOD	2'x5'	WOOD			NEW REPLACEMENT WINDOW IN EXISTING OPENING



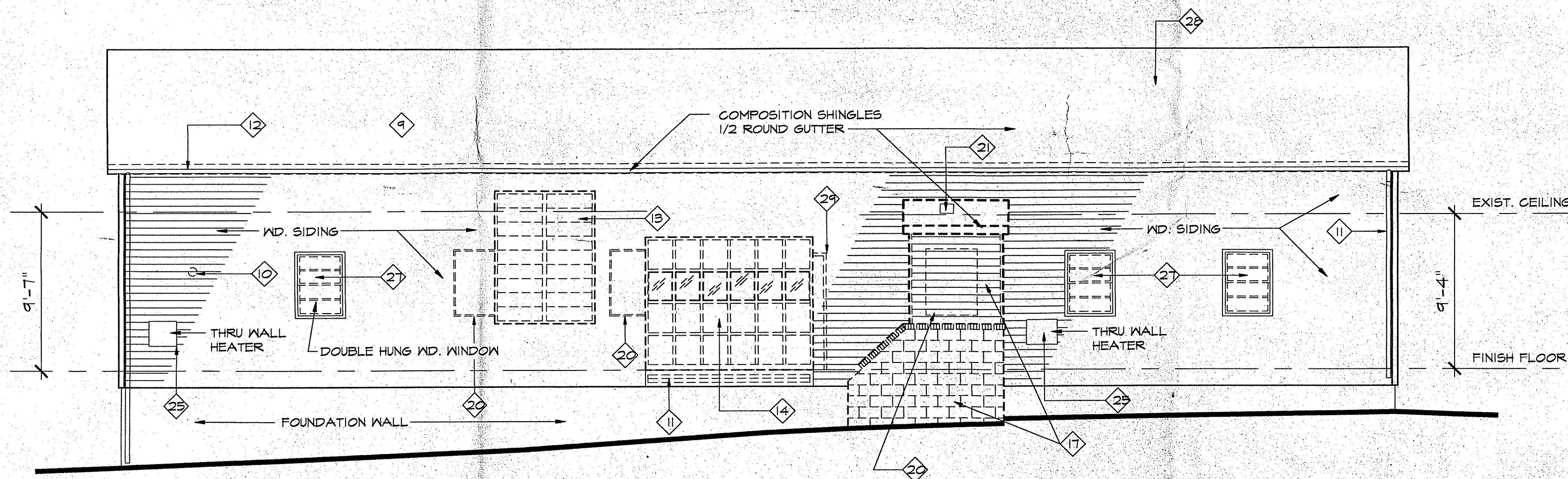
mm
 SMITHVILLE COLORED SCHOOL
 811 EAST RANDOLPH RD.
 SILVER SPRING MD.
 NEW FLOOR PLAN
 NEW REFLECTED CEILING PLAN
 FINISHED SCHEDULE
 DOOR SCHEDULE / NOTES
 PERMIT SET 7/14/98
 STATE OF MARYLAND
 NAVY, MARSHALL & ASSOCIATES, P.C. - ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - (202) 333-8614



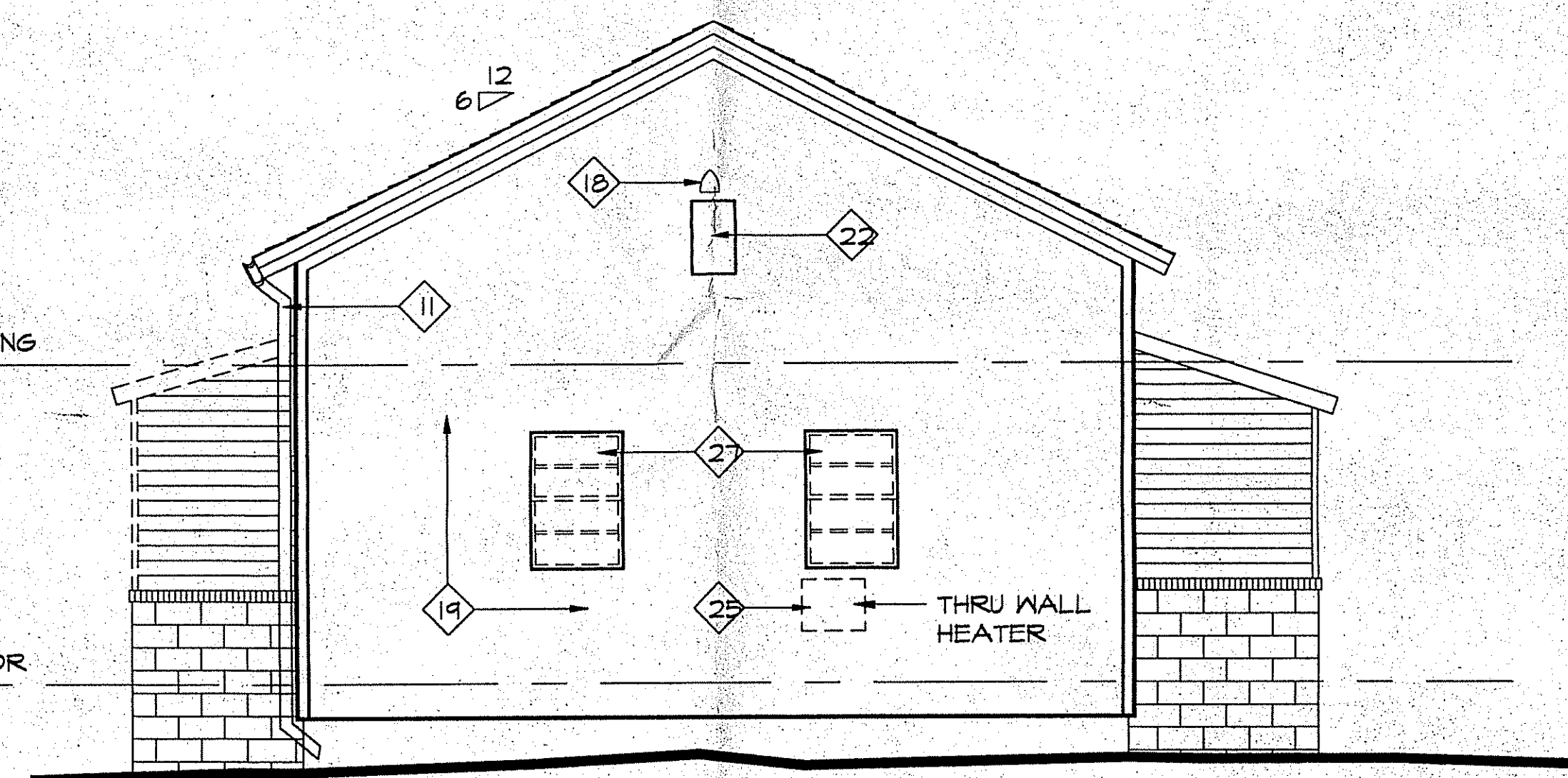
SOUTH ELEVATION (EXISTING CONDITIONS)
SCALE: 1/4"=1'-0"



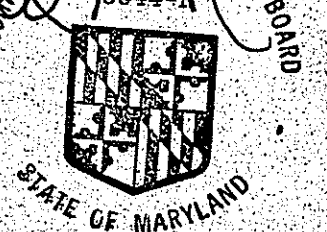
WEST ELEVATION (EXISTING CONDITIONS)
SCALE: 1/4"=1'-0"



EAST ELEVATION (EXISTING CONDITIONS)
SCALE: 1/4"=1'-0"



NORTH ELEVATION (EXISTING CONDITIONS)
SCALE: 1/4"=1'-0"


 H. Marshall & Associates, P.C.
 ARCHITECTS & PLANNERS

mm

REVISIONS
 NO. DESCRIPTION
 1.

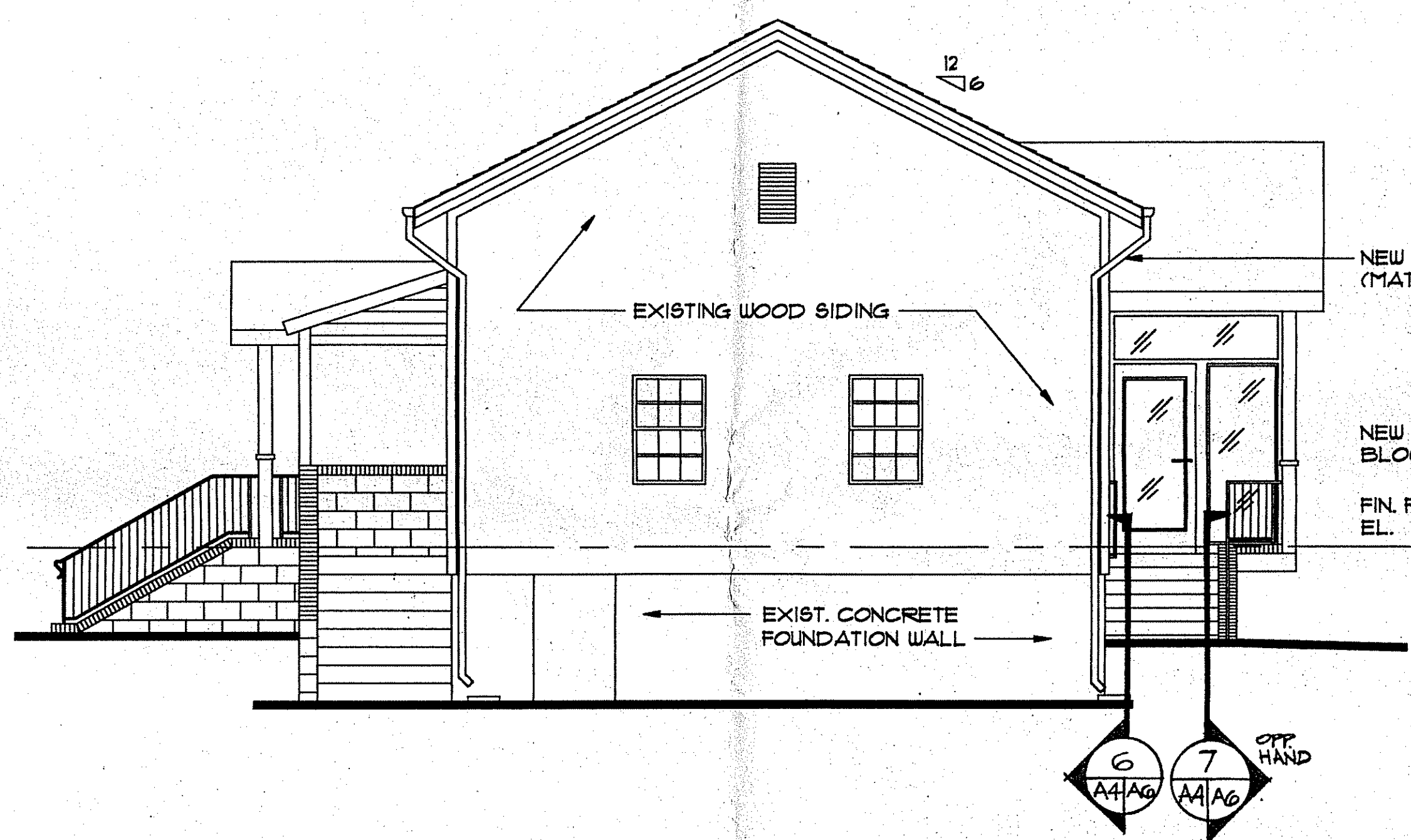
SMITHVILLE COLORED SCHOOL
 811 EAST RANDOLPH RD.
 SILVER SPRING MD.
 JOB NUMBER

EXISTING CONDITIONS / DEMOLITION
 ELEVATIONS
 DRAWN BY: L.E.C. CHECKED BY: J.M. APPROVED BY:

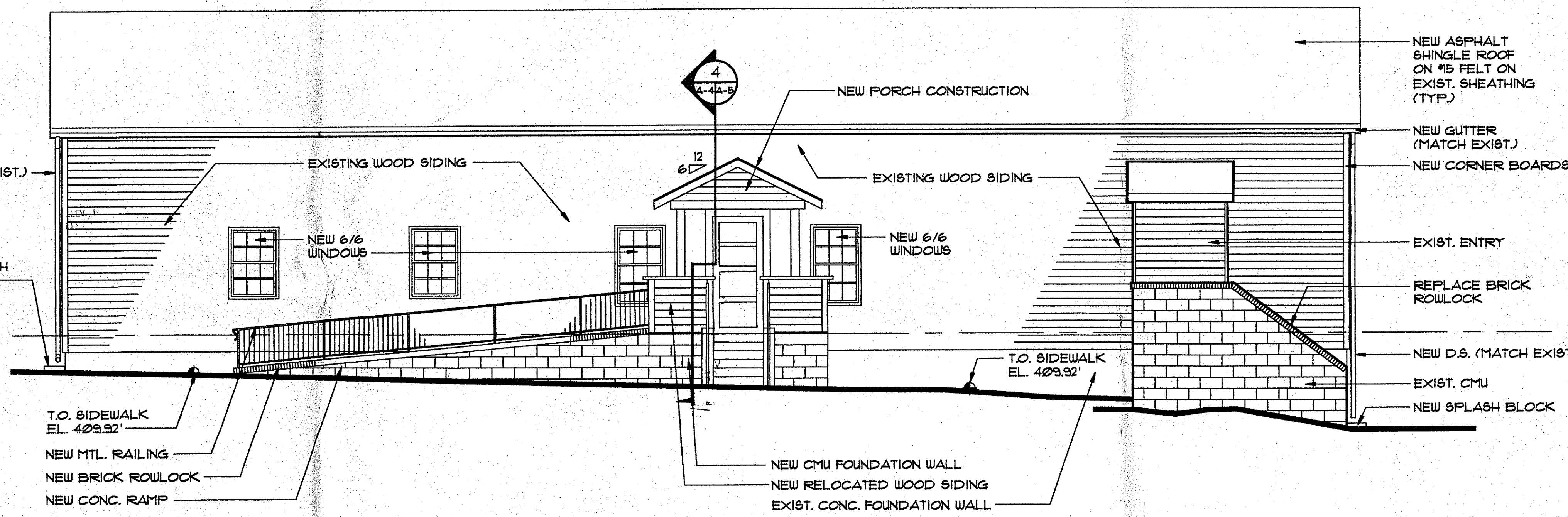
PERMIT SET
 ISSUED 2/2/98 7/14/98

A-3

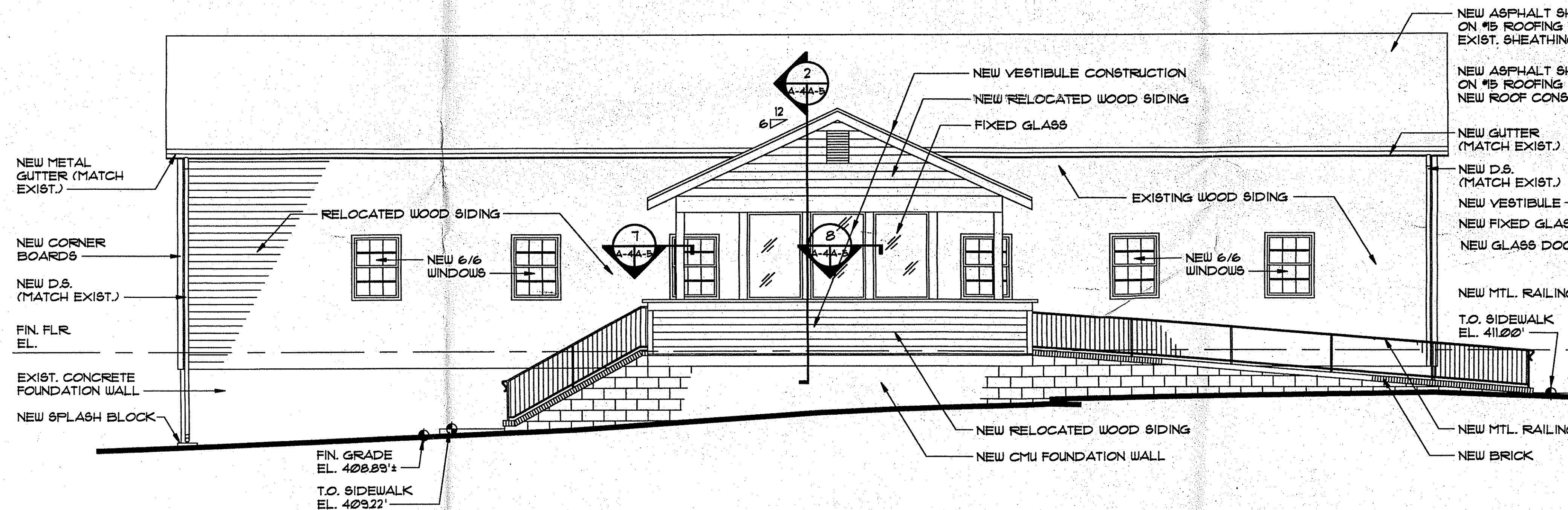
NAY, MARSHALL & ASSOCIATES, P.C. - ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - (202) 93-8614



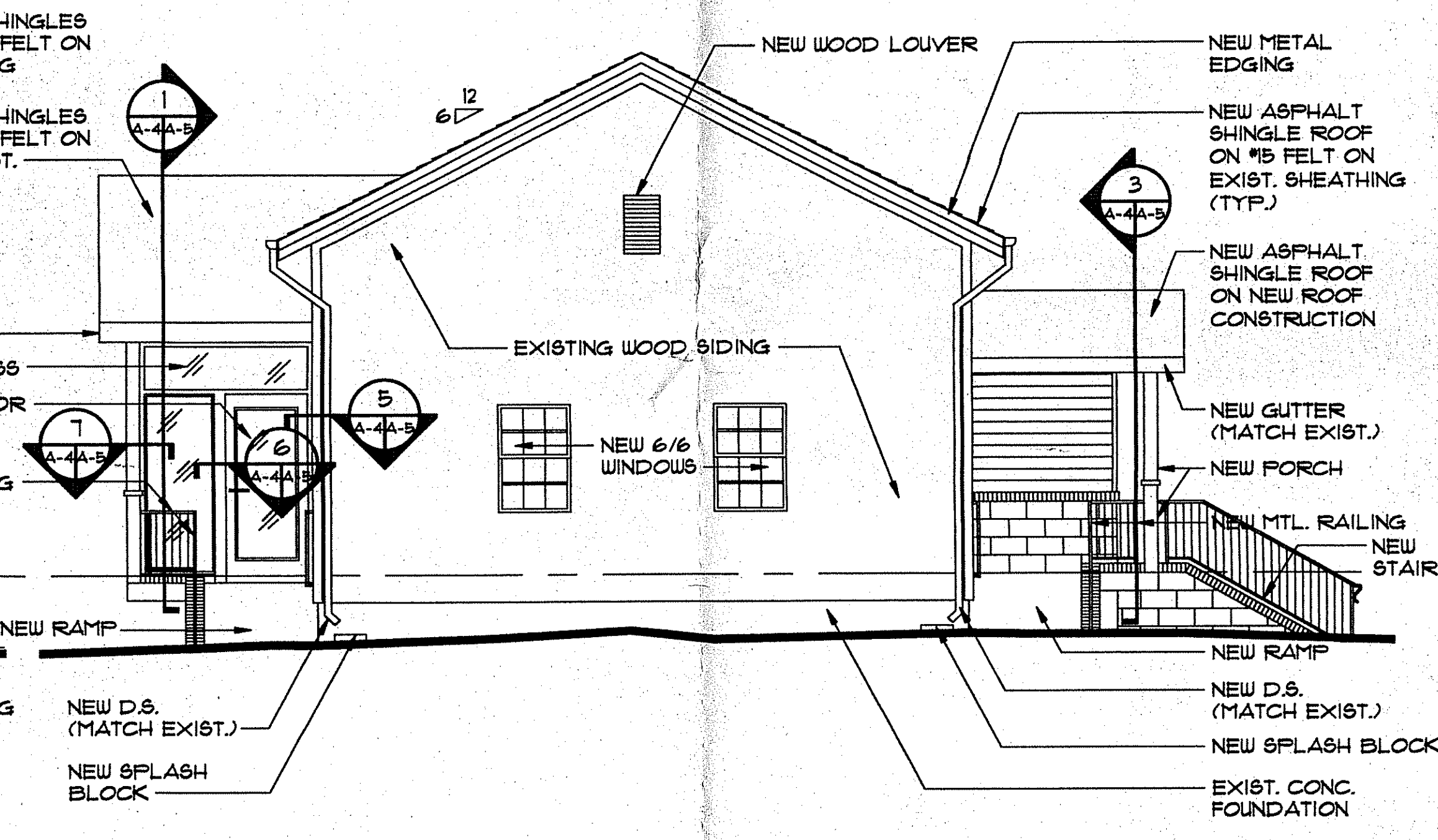
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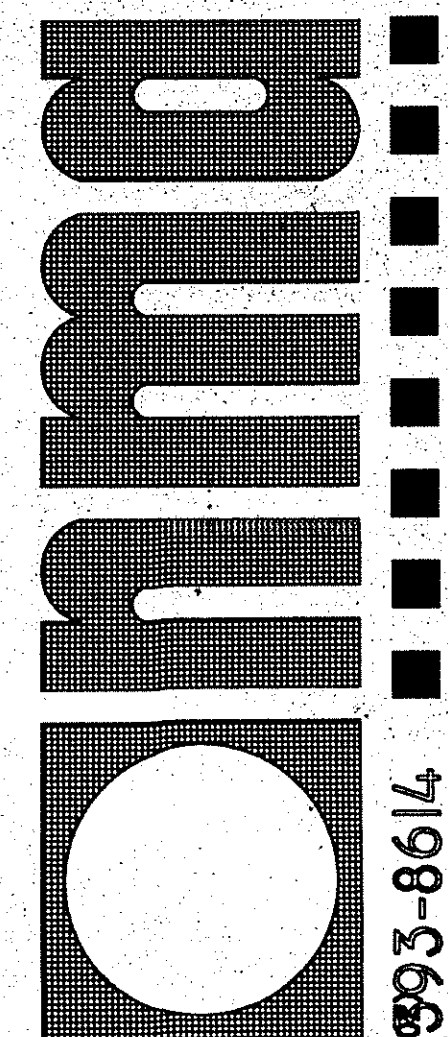
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EAST ELEVATION (NEW CONDITIONS)
SCALE: 1/4"=1'-0"



NORTH ELEVATION (NEW CONDITIONS)
SCALE: 1/4"=1'-0"



SMITHVILLE COLORED SCHOOL
811 EAST SANDY HOLLOW RD.
SILVER SPRING MD.

NEW CONDITIONS - ELEVATIONS

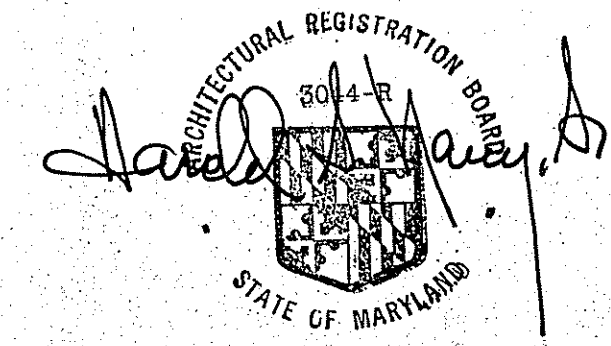
APPROVED
DRAWN BY: L.E.C. CHECKED BY: J.M.P.
DATE: 02/07/00

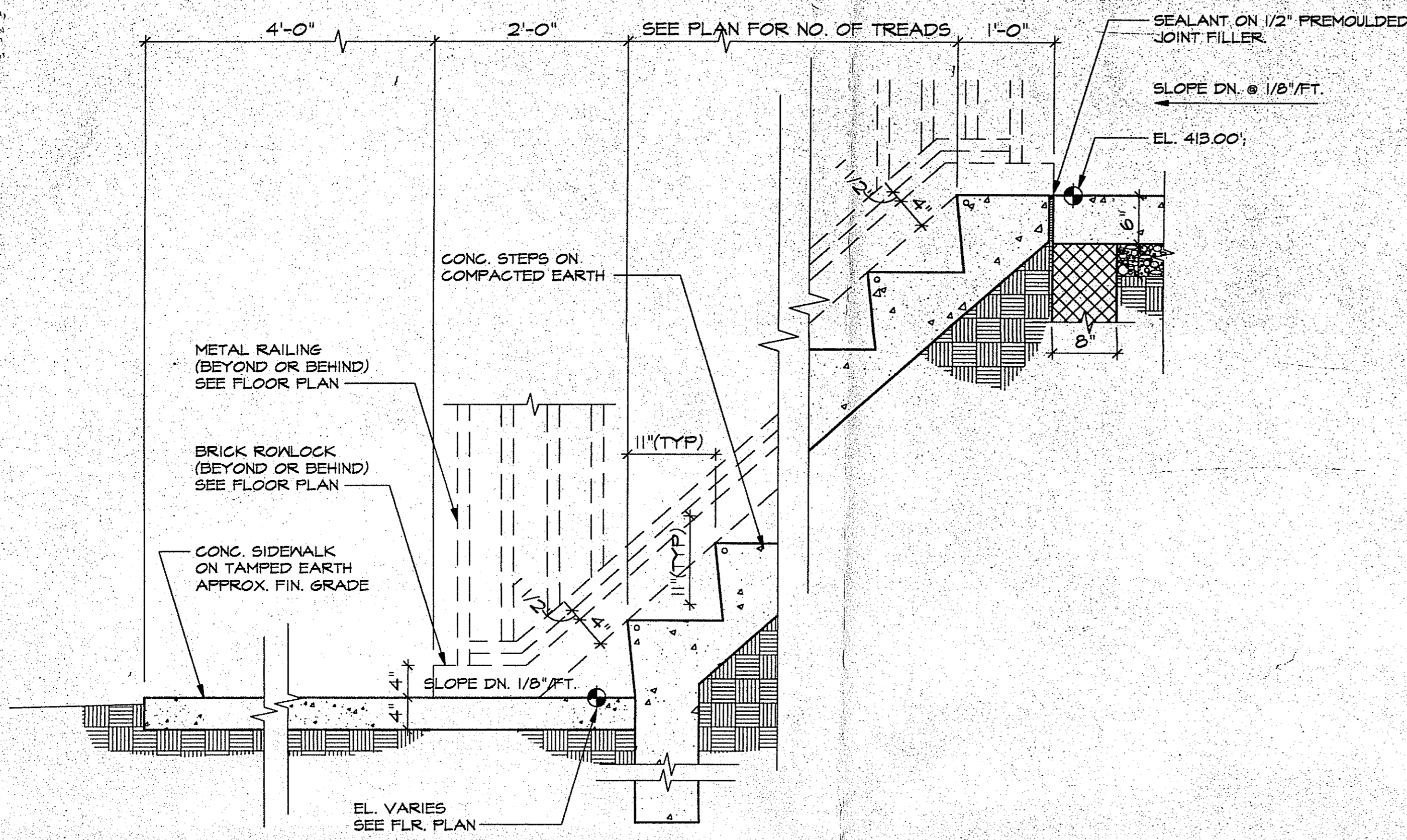
PERMIT SET 7/14/99
CASE NO. 0070700

A-4

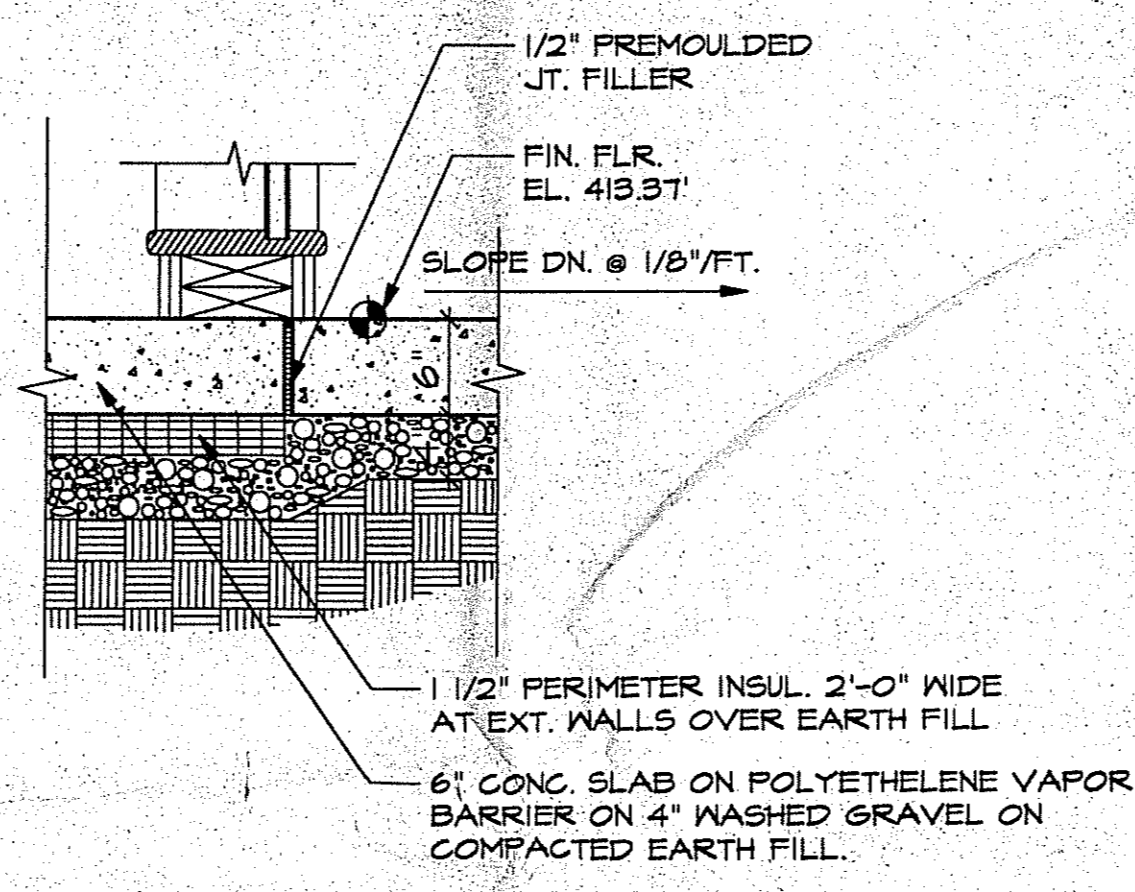
NAVY, MARSHALL & ASSOCIATES, P.C. - ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005 - SUITE 1 - (301) 993-8614

APPROVED
Montgomery County
Historic Preservation Commission
3/15/00

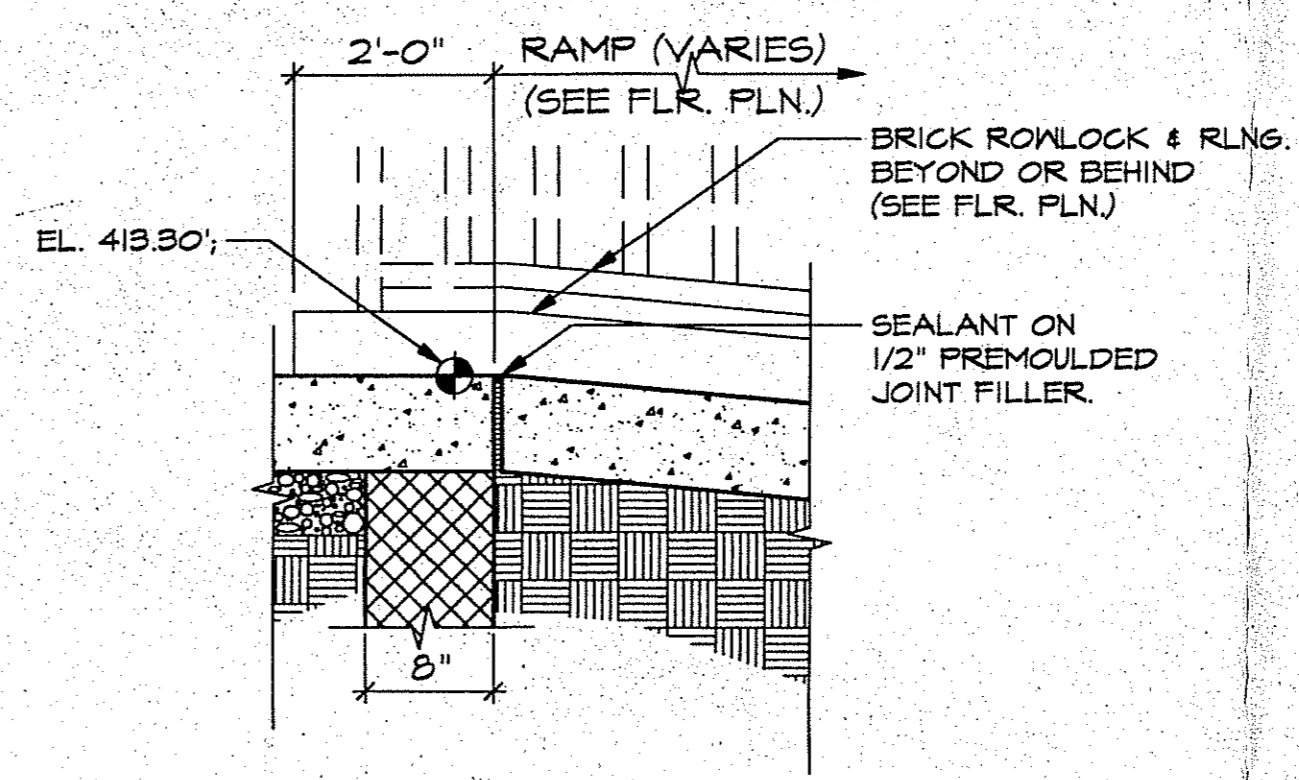




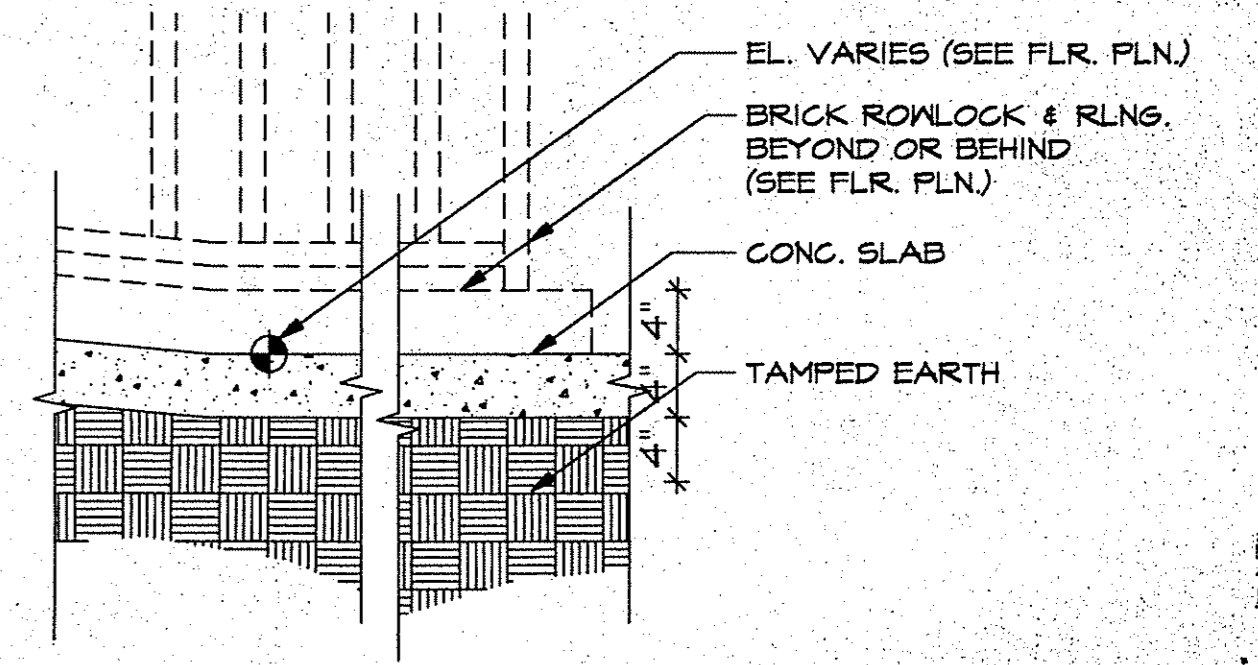
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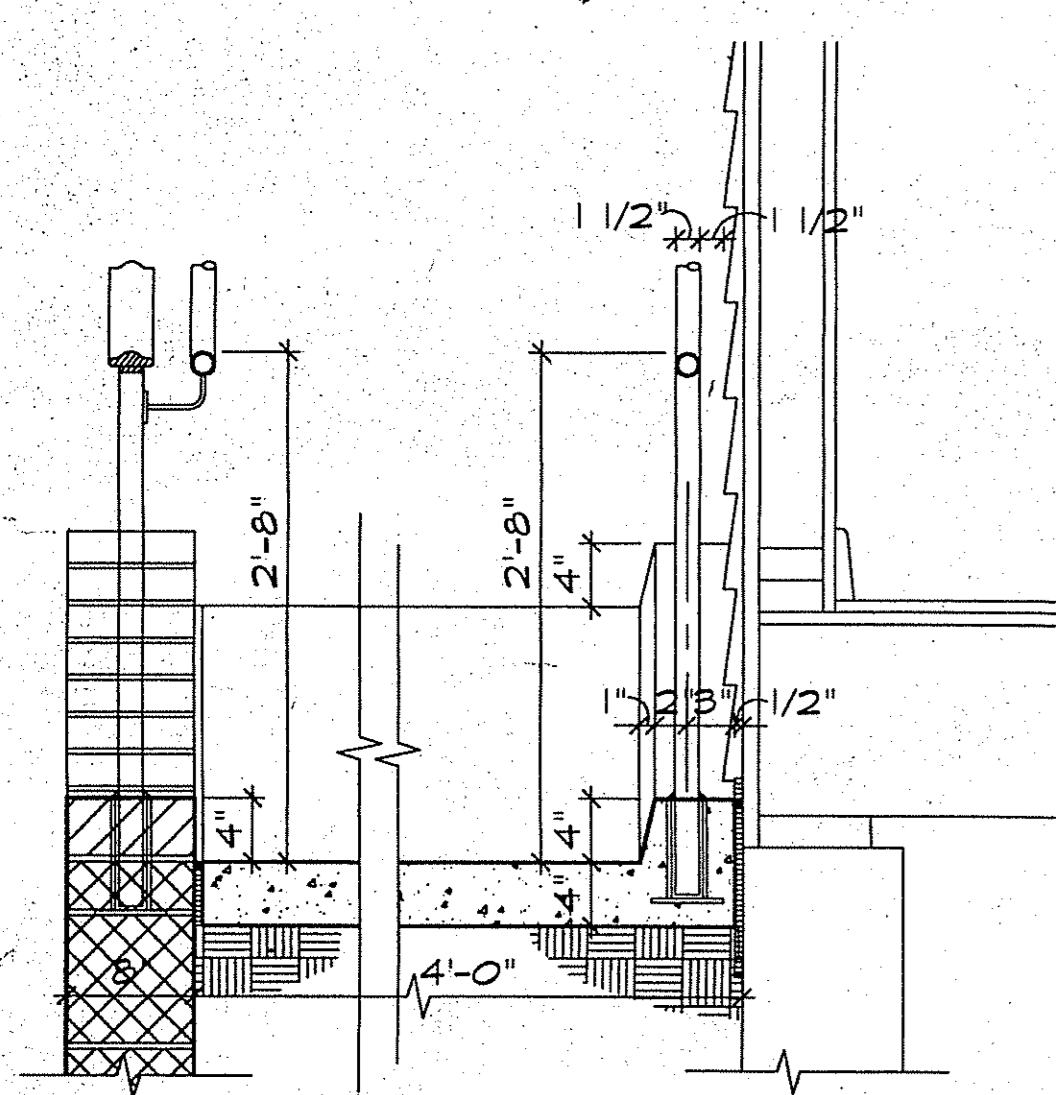
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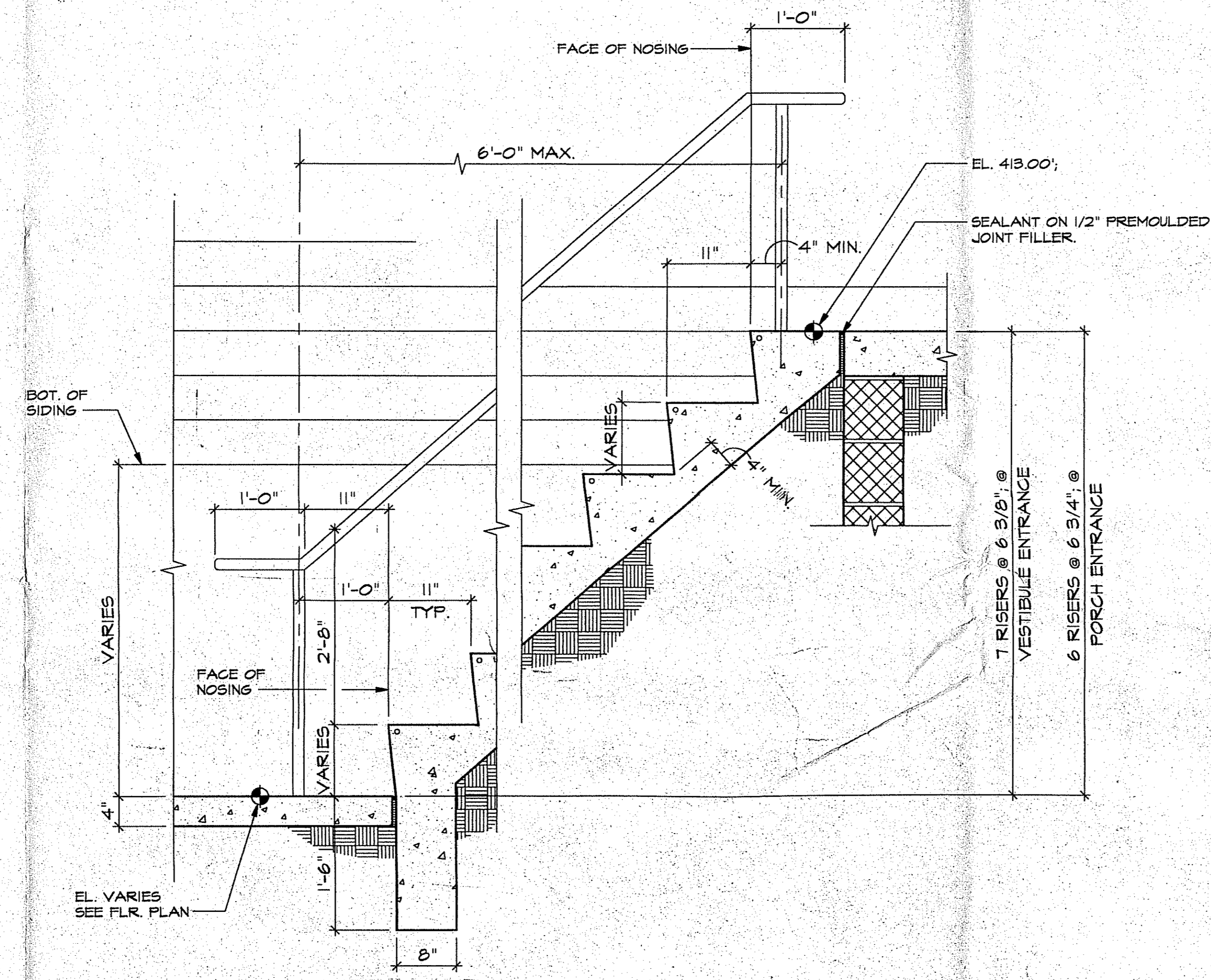
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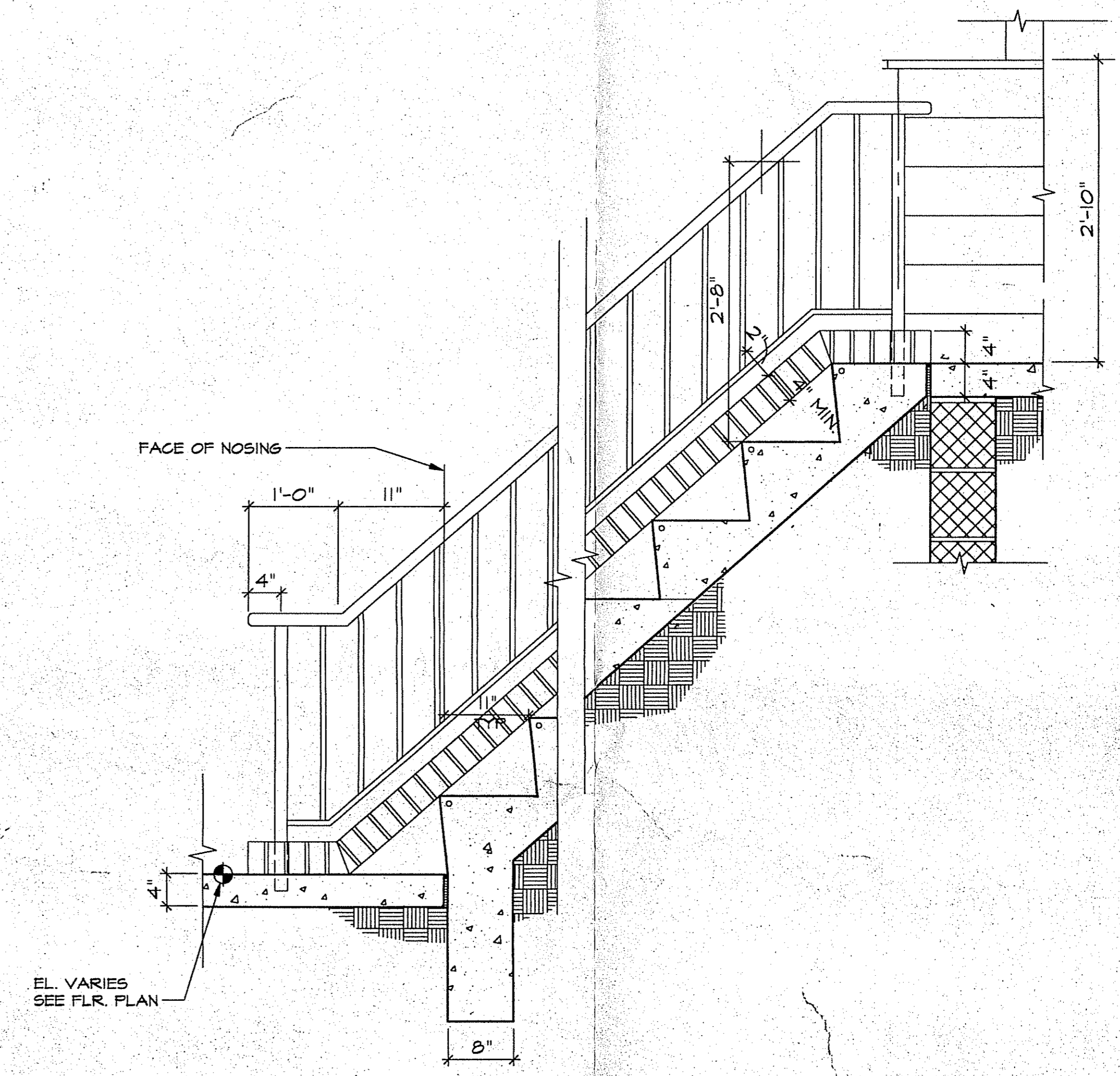
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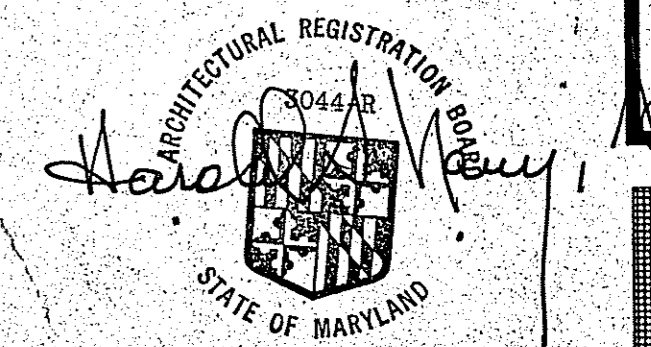
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STAIR AND WALLRAIL DETAIL
SCALE: 1"=1'-0"



STAIR AND HANDRAIL DETAIL
SCALE: 1"=1'-0"



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 933-8614
 SUITE 1 -
 ARCHITECTS & PLANNERS - 1221 MASSACHUSETTS AVENUE NW - WASH. DC 20005
 SMITHVILLE COLORED SCHOOL
 811 EAST RANDOLPH RD.
 SILVER SPRING MD.
 SECTIONS/DETAILS
 (RAMP & STAIR DETS.)
 (MISC. DETS.)
 DRAWN BY: L.E.C. CHECKED: APPROVED:
 PERMIT SET 7/14/96
 6/16/96
 04/00/00
 A-6

June 19, 2002



**Maryland
Department of
Housing and
Community
Development**

*Division of Historical and
Cultural Programs*

100 Community Place
Crownsville, Maryland 21032

410-514-7600
1-800-756-0119
Fax: 410-987-4071
Maryland Relay for the Deaf:
711 or 1-800-735-2258

<http://www.dhcd.state.md.us>

Parris N. Glendening
Governor

Raymond A. Skinner
Secretary

Marge Wolf
Deputy Secretary

Russell C. Campbell
Alpha Phi Alpha Smithville School Museum
811 East Randolph Road
Colesville, Maryland 20904

Re: Smithville School
Bond Bill Chapter 487, 2000

Dear Mr. Campbell:

Thank you and your associates for meeting with me at the Smithville School site on June 18, 2002. The purpose of the visit was to get acquainted with your project, review your proposed plans and prepare for the easement required by the bond bill.

Among the items we talked about yesterday were, the area of the easement, what to do with the maintenance building, handicapped access, replacement windows and the general rehabilitation of the building.

To help me better understand your project and your building please send me the following items:

A copy of the book, or sections, that you mentioned, written by the last principal of the school. (A full copy would be appreciated for our library)

Information about the age and previous use of the maintenance building

A set of current construction documents

Any photographs that might indicate what the building looked like when in use as a school

The above is in addition to the legal documents that will be necessary to draft the easement. Enclosed please find a draft easement for this project, a copy of the Maryland Historical Trust letter that was sent to you in November 2000, and some information about the installation and care of wood siding.

If you have any questions or concerns please contact me at 410 514-7634 or by email at brand@dhcd.state.md.us.

Sincerely

Richard J. Brand
Administrator
Financial Assistance & Easements

C Robin Ziek ✓





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Alfred C. Bailey

Daytime Phone No.: 301/434-3691

Tax Account No.: N/A

Name of Property Owner: Montgomery County Government
DPW&T Property Acquisition Section Daytime Phone No.: 301/217-2152

Address: 101 Monroe Street, 6th Floor Rockville, Maryland 20850
Street Number City State Zip Code

Contractor: Alpha Phi Alpha, Inc/I.U.L. Phone No.: 301/434-3691

Contractor Registration No.: N/A

Agent for Owner: Alfred C. Bailey Daytime Phone No.: 301/434-3691

LOCATION OF BUILDING/PREMISE

House Number: 811 Street: East Randolph Road

Town/City: Silver Spring Nearest Cross Street: Fairland Road & Octagon Lane

Lot: 1083 Block: 5 Subdivision: Colesville Gardens

Liber: 30 Folio: 1887 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 140,000.00 +

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: (Application in Process)

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alfred C. Bailey

Alfred C. Bailey
Signature of owner or authorized agent

5/20/98
Date

Approved: X w/conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6/10/98

Application/Permit No.: 9805200088 Date Filed: 5-20-98 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single floor three (3) room school building on Historical Register; built in 1927
by the Rosenwald Foundation; located in the Greater Colesville Community; 4 inch
wood siding, with "A" roof.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

School built by the Rosenwald Foundation for the education of African-American
school children; on the Historical Register of Montgomery County. To be renovated
into a museum, tutoring and meeting facility

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355). (See back of green copy and separate Attachment to Item 7)

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date:

6-10-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *GW*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

* When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 811 East Randolph Road Meeting Date: 6/10/98
Resource: Smithville Colored School Review: HAWP
Master Plan Site #33/24
Case Number: 33/24-98A Tax Credit: N/A
Public Notice: 5/27/98 Report Date: 6/3/98
Applicant: IUL, Inc. (Alfred Bailey, Agent) Staff: Robin D. Ziek
PROPOSAL: Construct new entrances RECOMMENDATIONS: APPROVAL
w/CONDITIONS

PROJECT DESCRIPTION

RESOURCE: Smithville Colored School
STYLE: Vernacular - Rosenwald School
DATE: 1927

The Smithville Colored School is a two-room schoolhouse built in 1927 under the Julius Rosenwald Fund/Rural School Building Program. Mr. Rosenwald, the president of Sears, Roebuck and Co., initiated this program in 1913. Between 1913 and 1932, 4,977 schools were built.

The site was used for the education of African-American children until 1952 when the county built new consolidated school buildings for African-American children. The county owns the property and it has been used for storage and other utilitarian uses since 1952. The county is now entering into a leasing agreement with the applicant to rehabilitate the property for public use as a museum, meeting space, and educational facility. The school building is part of a large piece of property which is largely paved, albeit with deteriorating asphalt. The adjacent work/storage building is not the subject of immediate concern, but will be utilized in the future by IUL.

The applicant came before the HPC on April 22, 1998 for a Preliminary Consultation for the proposed new entrances and handicapped ramp. At that point, the HPC was generally encouraging of the proposal.

PROPOSAL

The bulk of the work on the exterior involves assuring handicapped accessibility and accommodating the county's health and safety requirements to meet the new use as meeting space for approximately 100 people. In order to avoid the installation costs of an internal sprinkler

system, the applicants are required to install handicapped ramps at both the east and west exits, thereby providing two alternate exit routes.

The existing front door, on the SE elevation, will be moved to a more central location on the facade, and an entry vestibule constructed. This vestibule will consist of an enclosed landing with access provided by both stairs and a ramp. The structure will be built of concrete block, with metal railings and wood clapboard siding. Full-light windows and full-light doors will be used to enclose the entrance to present the aspect of an open porch. All of the trim will match the existing trim.

The doorway on the NW elevation is conceived as a back-door exit, with a handicapped ramp for egress. The materials will match those on the SE elevation, although this is an open porch and no windows/doors are required.

The applicant also proposes to replace all of the existing windows. The original windows were large and ganged to provide sufficient light for classroom space. The existing windows are down-sized from the original windows and are also spaced across the building's elevations for a storage function rather than the schoolhouse function. At this point, the applicant is not certain whether to replace the existing 2/2 windows in kind (see Circle 11-14), or replace them with 1/1 (see Circle 15-17) or 6/6 windows (see Circle 18-20). In addition, the applicant is considering either wood windows, with a storm panel (interior storms, exterior storms, etc.) or vinyl-clad wood windows which use insulated glass. Cost, maintenance and security are the major factors in their consideration of the choices.

STAFF DISCUSSION

The proposal is structured as a rehabilitation rather than a restoration. Funds are limited and the applicant wishes to offer public access to the building as quickly as possible. The proposal therefore takes advantage of the current siting for parking and entry to the site and utilizes the SE elevation for the primary entrance although, historically, the NW entrance was the "front door".

Limited research indicates that the existing SE entry is a non-original feature, based on the use of concrete block in contrast to the poured concrete foundations of the building. The interior plan, too, was altered when the building function changed; the existing doorways appear to accommodate the storage function that post-dates 1952. The applicants have relied, to some degree, on drawings of the original Rosenwald Schools for design guidance. While much more research will have to be undertaken to determine the specific history of the Smithville Colored School, the proposed design is in-keeping with the general character of the Rosenwald Schools, although the design is not replicative.

With that in mind, the proposed shifting of the entryway to a more central location is more typical of the entry to the 2-room schoolhouse building. In the same light, the proposed use of the gable entry porch on both the SE and NE elevations is also derivative of the typical Rosenwald School model. It would be conjecture at this point to say what exactly had been used for the entry

piece at this school building, and the determination of the architectural history of the building will hopefully be undertaken as an interesting research project in the future.

Staff feels that the proposed site development is appropriate given the approach of working with the existing conditions to develop a functional space. As such, the proposed development of the two entrances/exits is conservative in scope and design, and compatible with the structure.

Given the fact that the existing windows are non-original features, staff feels that any of the proposed fenestration patterns would be suitable. The existing 2/2 pattern is the most "modern" in feel but it is existing; either the 1/1 or 6/6 is probably more compatible with the overall character of the building. While the existing windows are non-original features, the original building certainly had wood windows. In light of the fact that there is no proposed schedule for the re-installation of the original windows (in terms of number, location and size), the proposed replacement windows will be utilized for what may be a considerable period of time. With that consideration, staff feels that the new windows and doors should use the wood material which is consistent with the resource.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this concept general consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

CONDITIONS:

1. The replacement doors and windows will be wood. They will be the same size as the existing windows, and will either be full-light windows, or true-divided light (TDL), or simulated TDL windows. Snap-in grills will not be utilized.
2. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Alfred C. Bailey

Daytime Phone No.: 301/434-3691

Tax Account No.: N/A

Name of Property Owner: Montgomery County Government
DPW&T Property Acquisition Section Daytime Phone No.: 301/217-2152

Address: 101 Monroe Street, 6th Floor Rockville, Maryland 20850
Street Number City State Zip Code

Contractor: Alpha Phi Alpha, Inc/I.U.L. Phone No.: 301/434-3691

Contractor Registration No.: N/A

Agent for Owner: Alfred C. Bailey Daytime Phone No.: 301/434-3691

LOCATION OF BUILDING/PREMISE

House Number: 811 Street: East Randolph Road

Town/City: Silver Spring Nearest Cross Street: Fairland Road & Octagon Lane

Lot: 1083 Block: 5 Subdivision: Colesville Gardens

Liber: 30 Folio: 1887 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 140,000.00 +

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: (Application in Process)

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alfred C. Bailey

Alfred C. Bailey
Signature of owner or authorized agent

5/20/98
Date

4

Approved: _____ For Chairperson, Historic Preservation Commission

**List of Property Owners and Addresses Adjacent to Smithville Colored School Site
811 East Randolph Road, Silver Spring, Maryland**

Garfield R. & M.E. Johnson Subdivision 1, Block A, Lot 4
13300 Octagon Lane
Silver Spring, Maryland 20904

Matthew & P.L. Tibbs Subdivision 1, Block A, Lot 3
13304 Octagon Lane
Silver Spring, Maryland 20910

David E. & Y.M. Walker Subdivision 1, Block A, Lot 2
13308 Octagon Lane
Silver Spring, Maryland 20904

William R. & J.D. Braxton Subdivision 1, Block A, Lot 1
13312 Octagon Lane
Silver Spring, Maryland 10904

Luis R. & V.G. Carretero Subdivision 1, Block A, Lot 5
706 Anderson Street
Silver Spring, Maryland 20904-3214

Barge N. & P.E. Davis Parcel P044
804 East Randolph Road
Silver Spring, Maryland 20904

Barge N. & P.E. Davis Parcel P045
804 East Randolph Road
Silver Spring, Maryland 20904

5

George L & I.B. Dickerson
810 East Randolph Road
Silver Spring, Maryland 20904

Parcel P065

Stanley A & S.B. Trumbower
804 East Randolph Road
Silver Spring, Maryland 20904

Subdivision B, Block 16, Lot P6

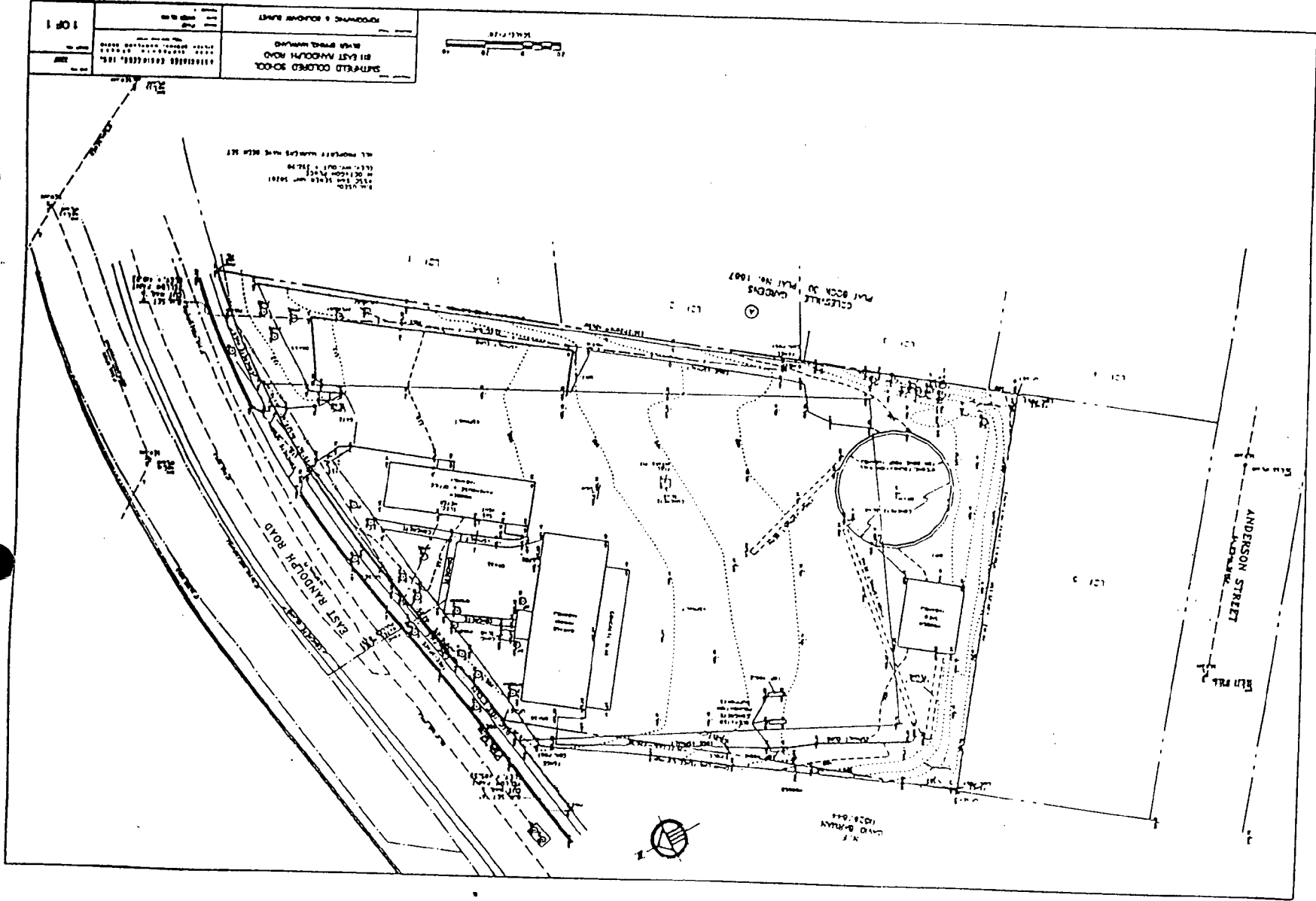
David Barman
10833 Willow Run Court
Potomac, Maryland 20852

1082/5

6

7

DWG No 1

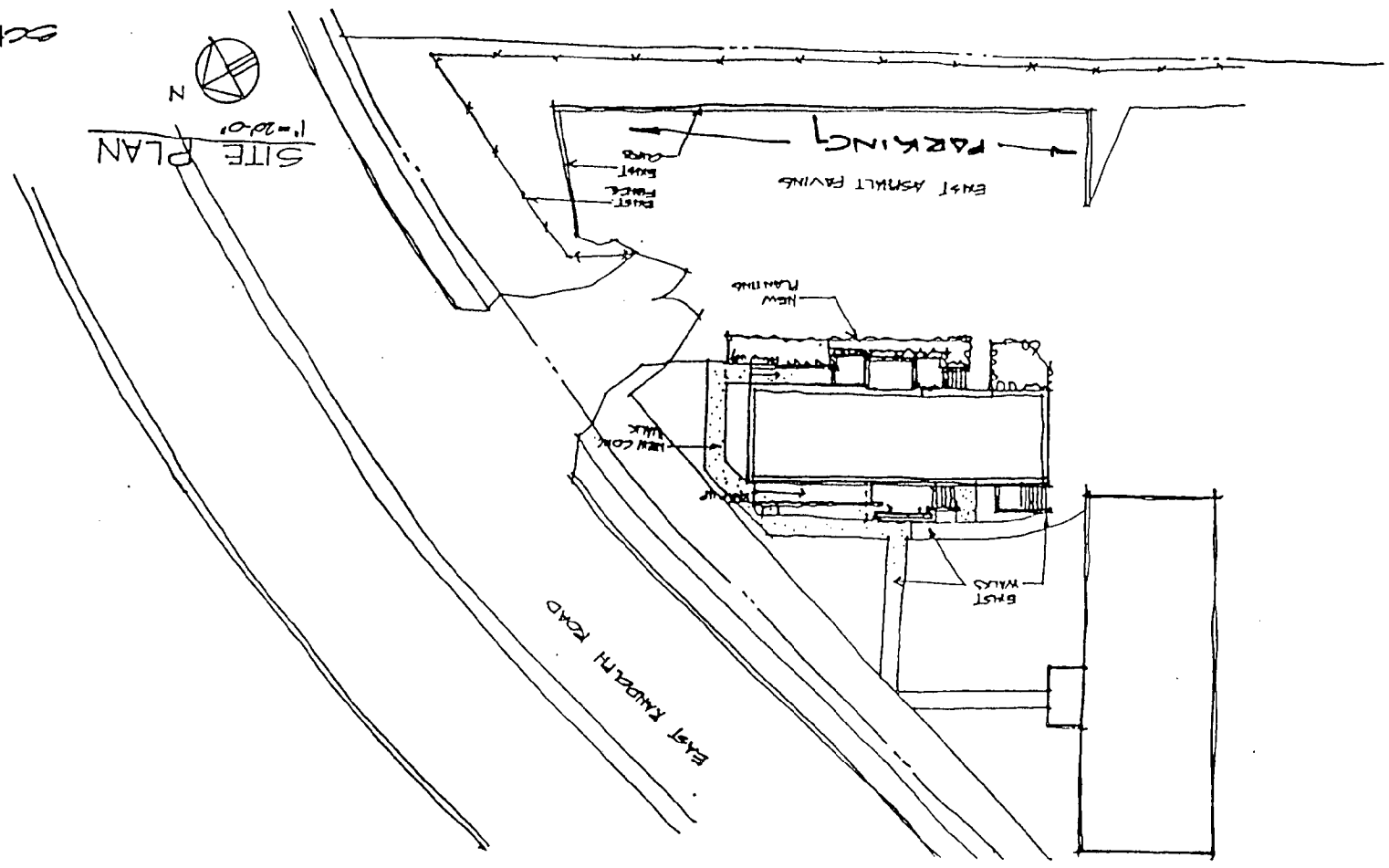


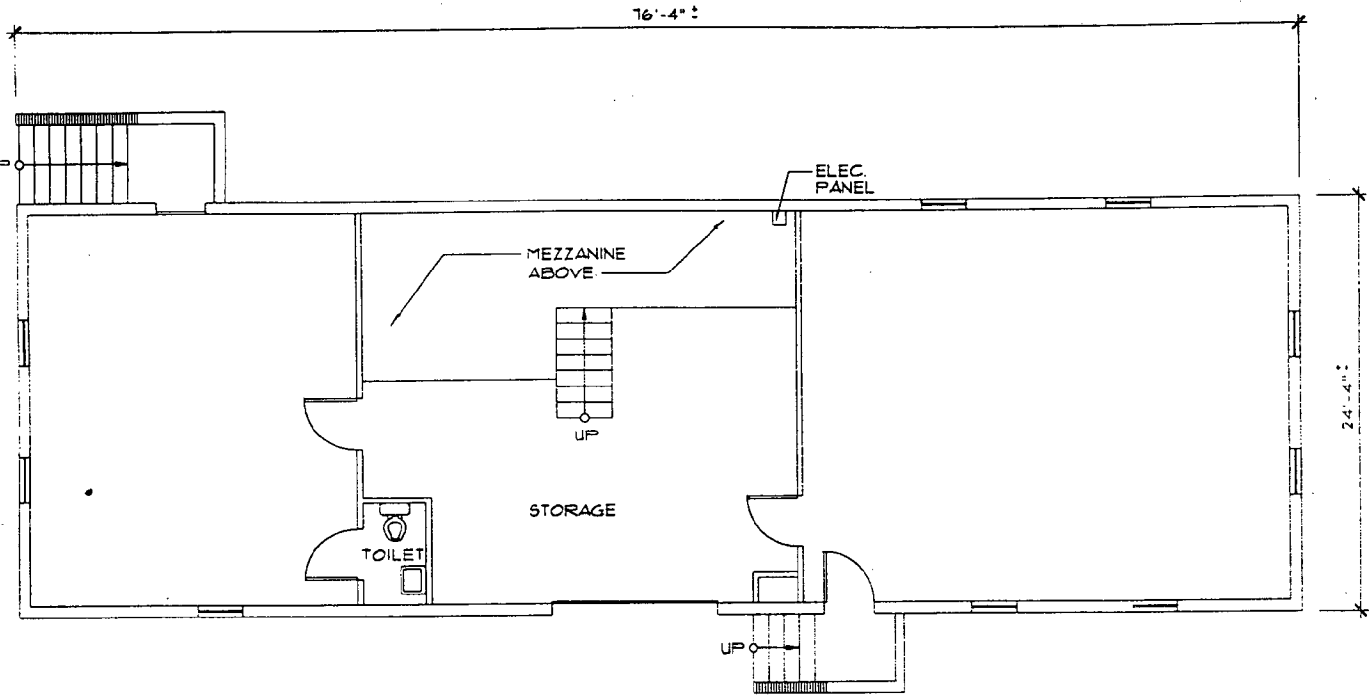
3/30/98
SITE PLAN

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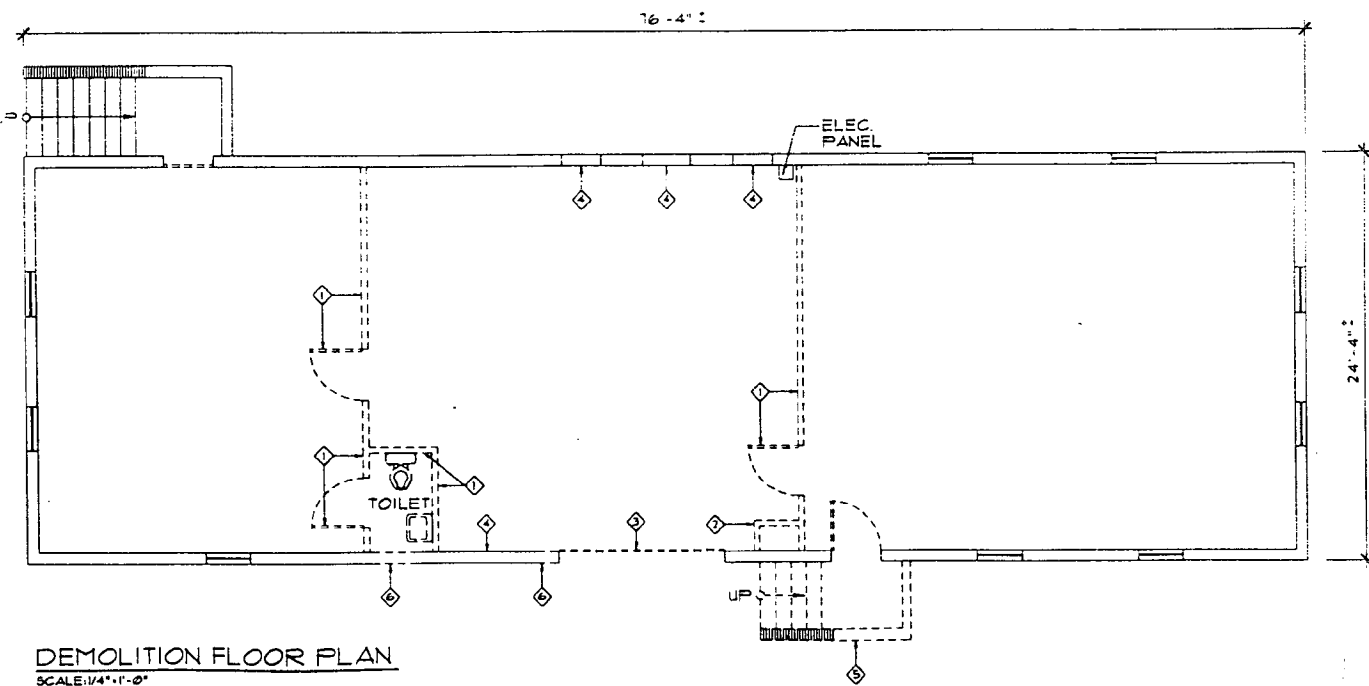
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SITE PLAN
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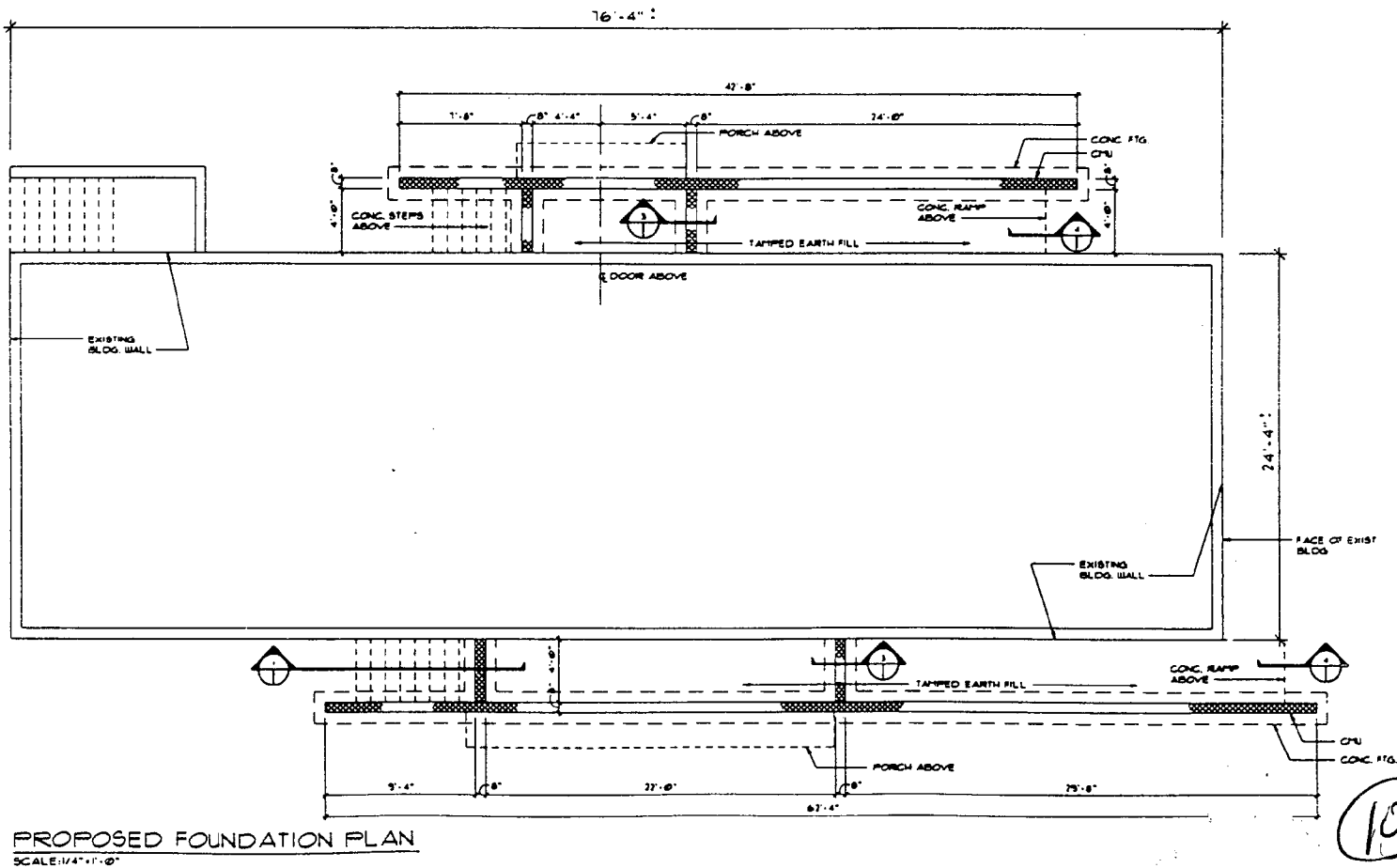
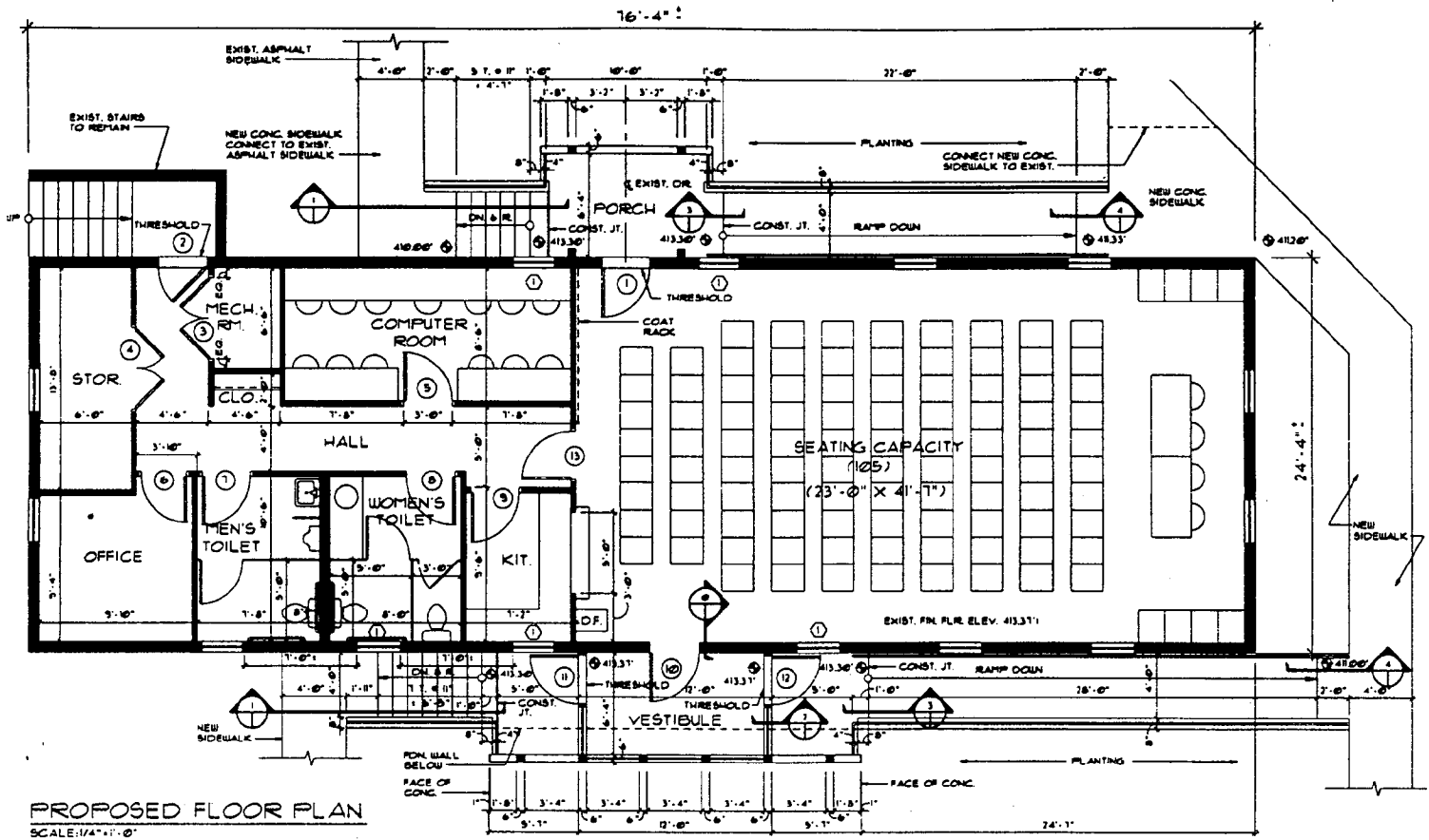


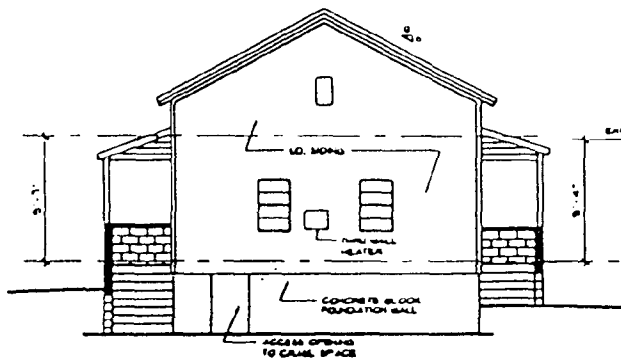
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SCALE: 1/4" = 1'-0"



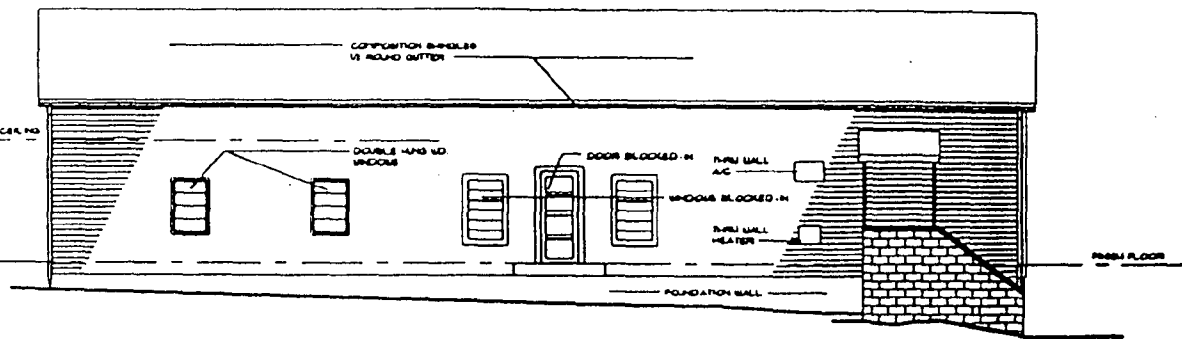
DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

9



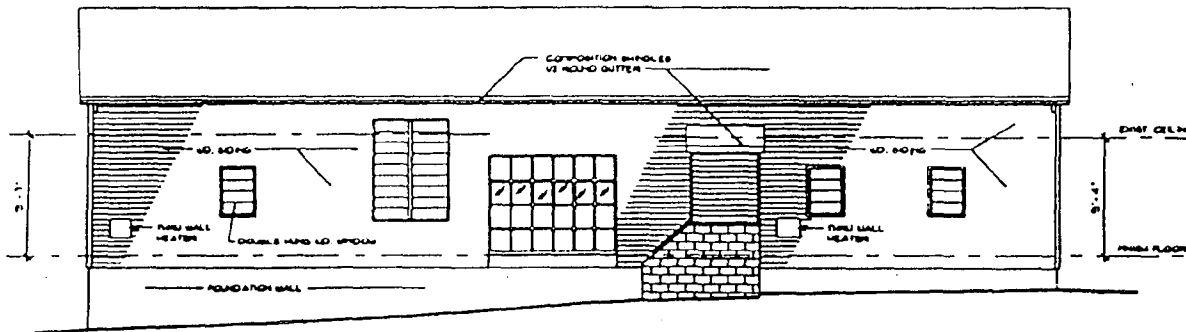


SOUTH ELEVATION (EXISTING CONDITIONS)
SCALE 1/4" = 1'-0"

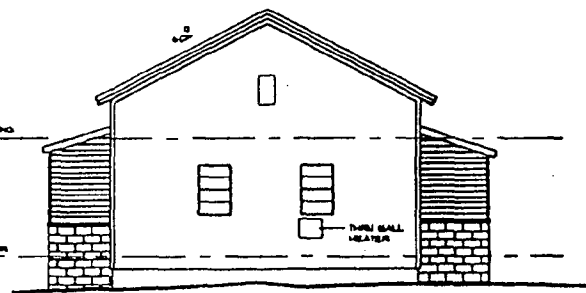


WEST ELEVATION (EXISTING CONDITIONS)
SCALE 1/4" = 1'-0"

EXISTING
CONDITIONS



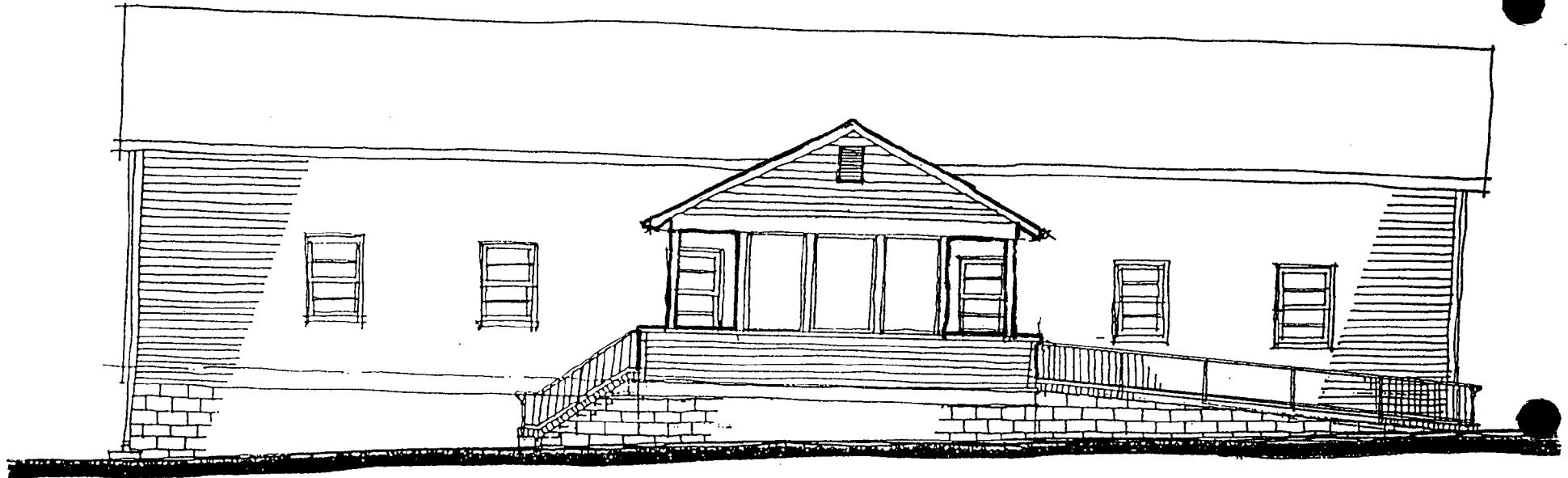
EAST ELEVATION (EXISTING CONDITIONS)
SCALE 1/4" = 1'-0"



NORTH ELEVATION (EXISTING CONDITIONS)
SCALE 1/4" = 1'-0"

DWG No 2

11



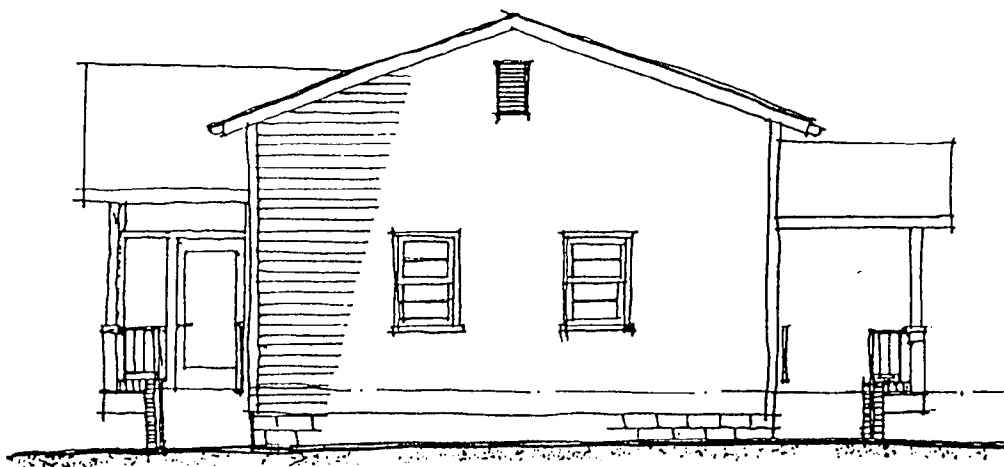
SOUTHEAST ELEVATION
1/4" = 1'-0"

SCHEME #2
DWG NO 12

REPLACE EXISTING
WINDOWS "IN KIND"

2/2

12



NORTHEAST ELEVATION

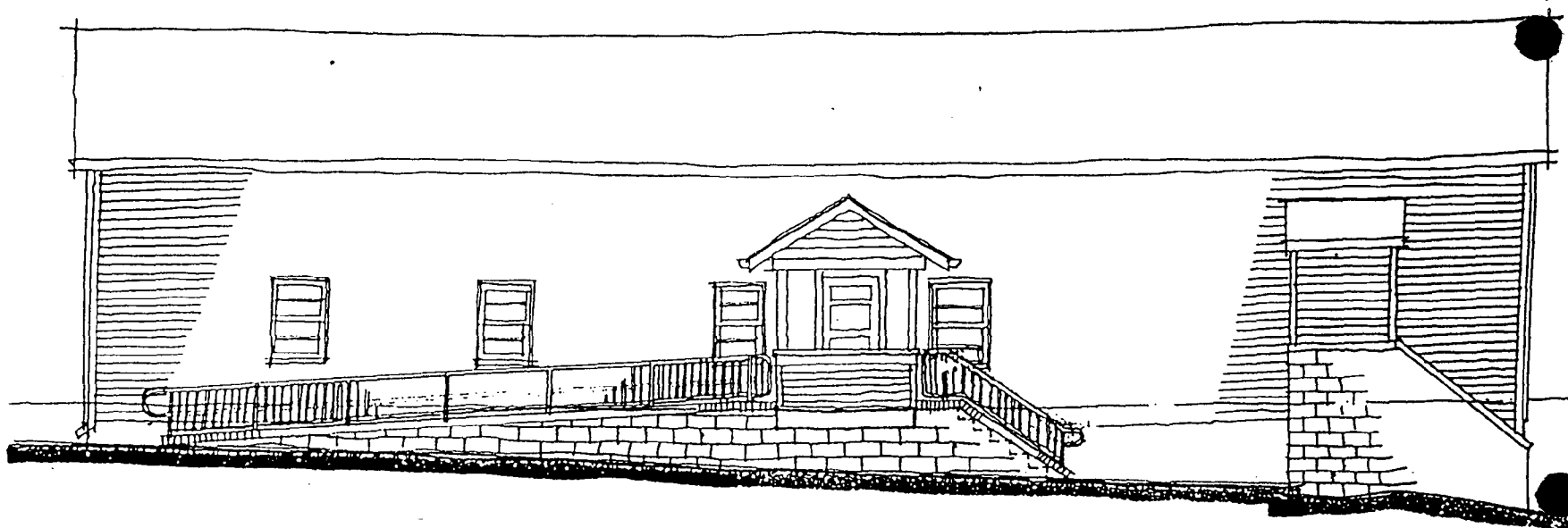
1/4" = 1'-0"

2/2

SCHEME #2

DWG NO 14

13



NORTH WEST ELEVATION
1/4" = 1'-0"

2/2

SCHEME #2

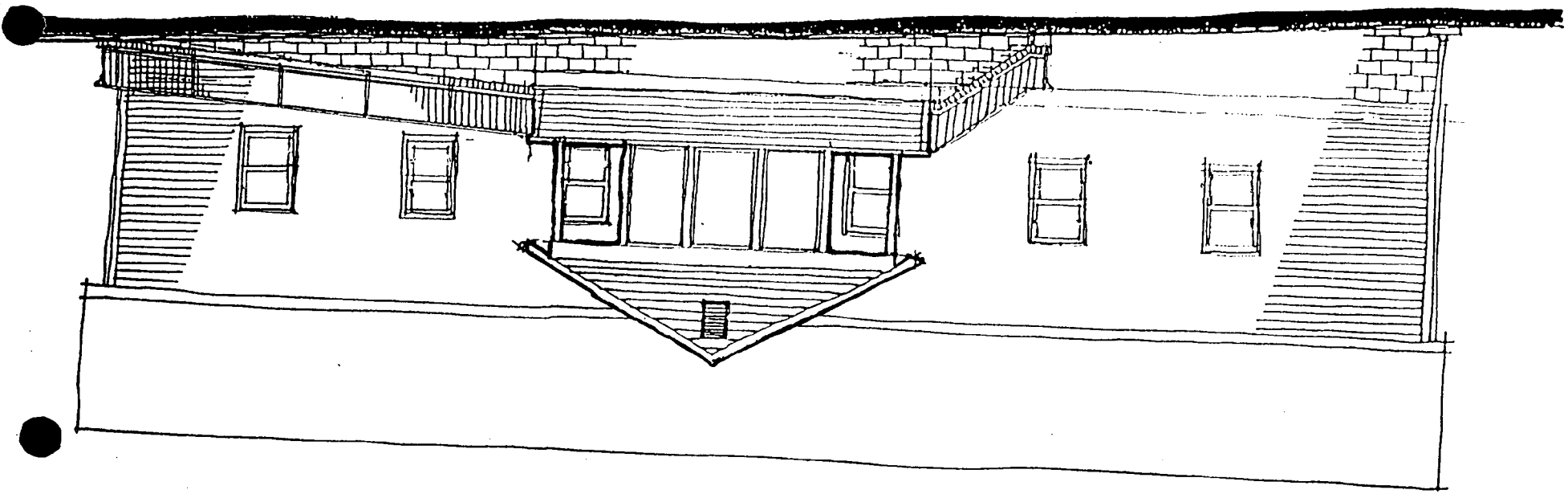
DWG No.

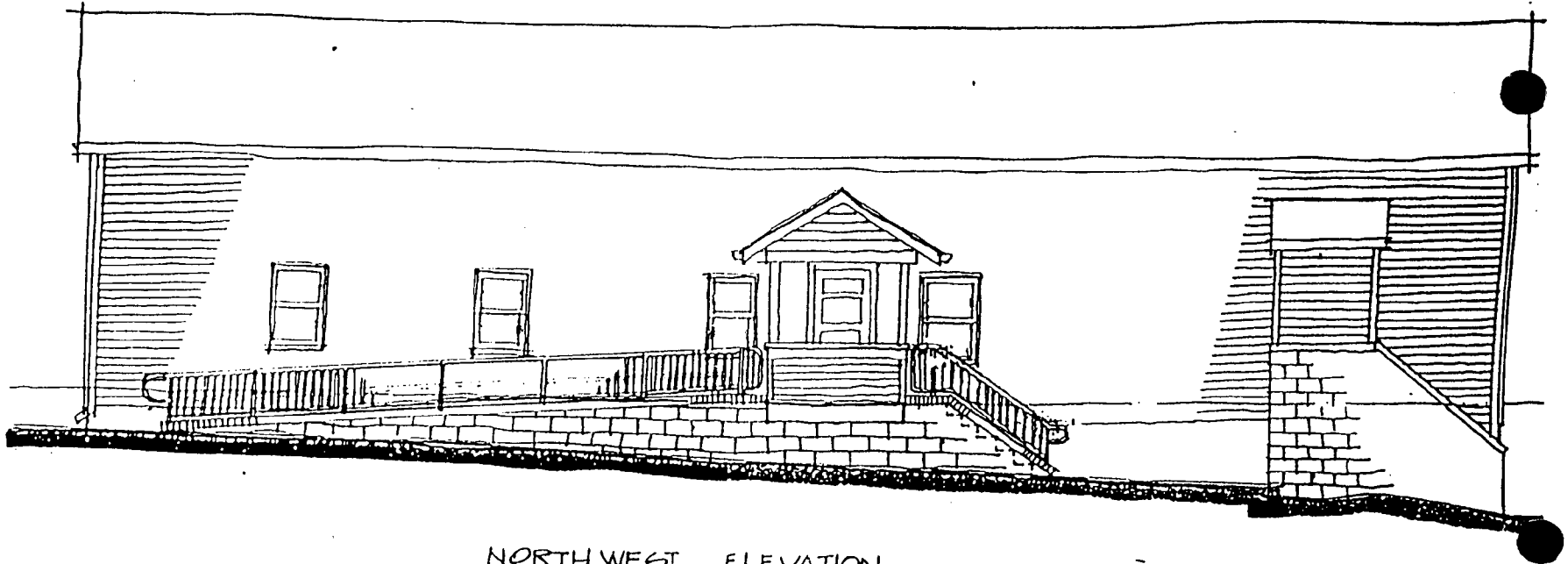
14

SCHEME 1
DWG NO 12

SOUTHEAST ELEVATION
1/2-1-00

1/1



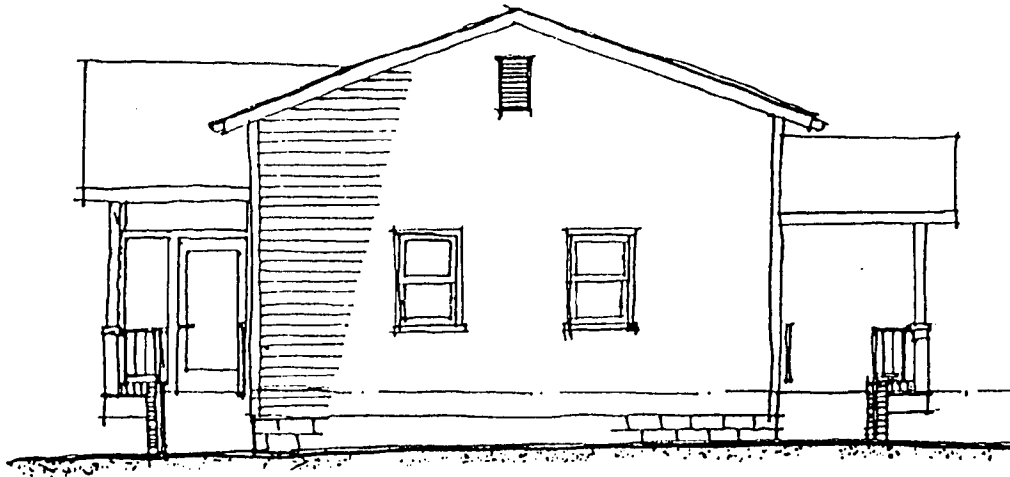


NORTH WEST ELEVATION
1/4" = 1'-0"

Y1

SCHEME Y1
DWG No.

16

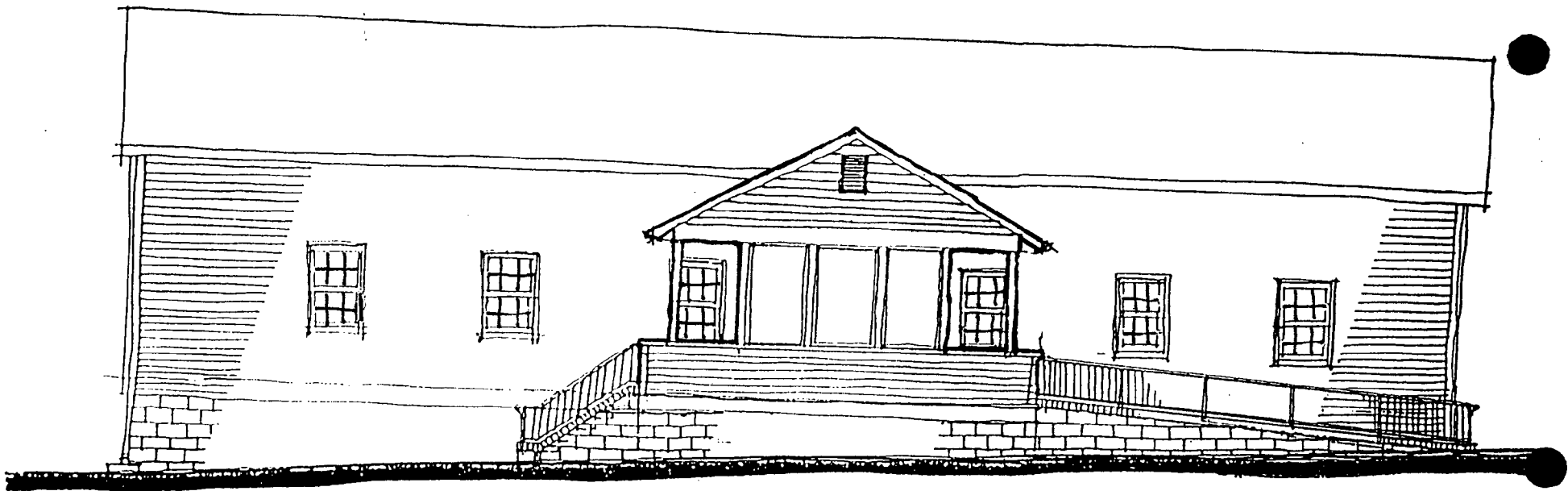


NORTHEAST ELEVATION
1/4" = 1'-0"

1/1

SCHEME 1/1
DWG. NO 14

(17)

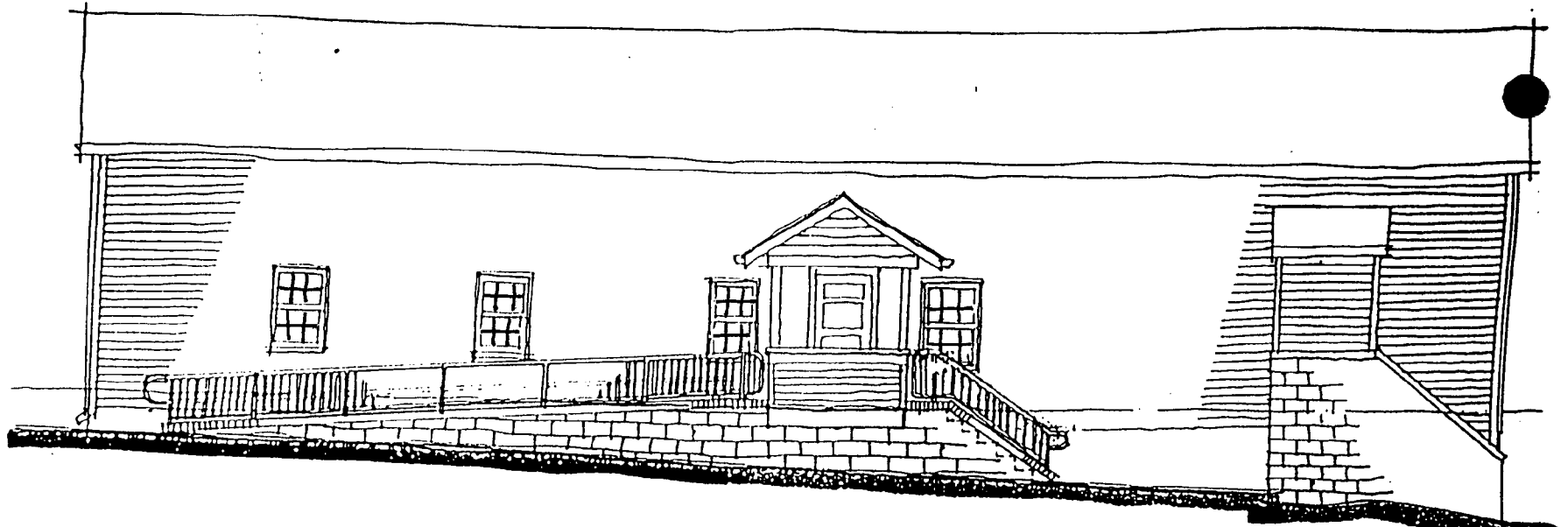


SOUTHEAST ELEVATION
1/2" = 1'-0"

SCHEME
DWG NO 12

6/6

18



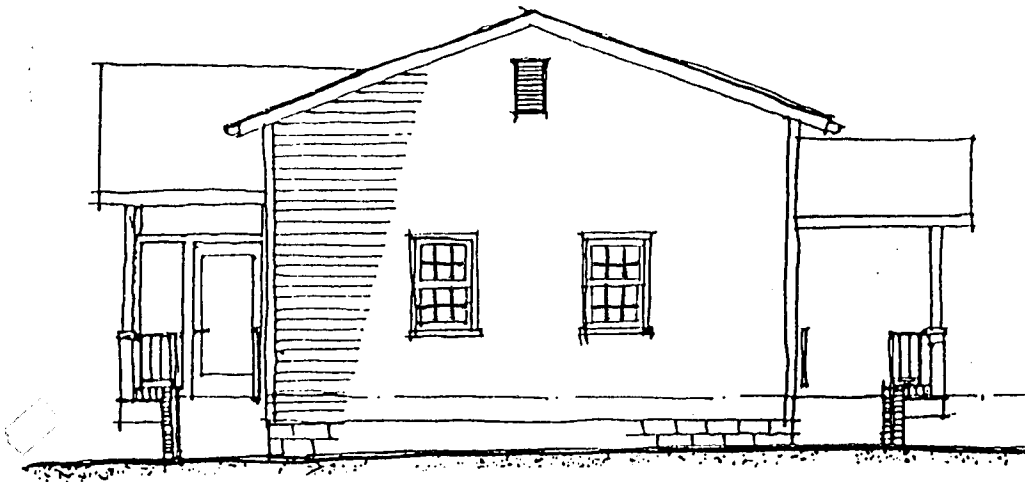
NORTH WEST ELEVATION
1/4" = 1'-0"

6/4

SCHEME

DWG No.

19



NORTHEAST ELEVATION
1/4" = 1'-0"

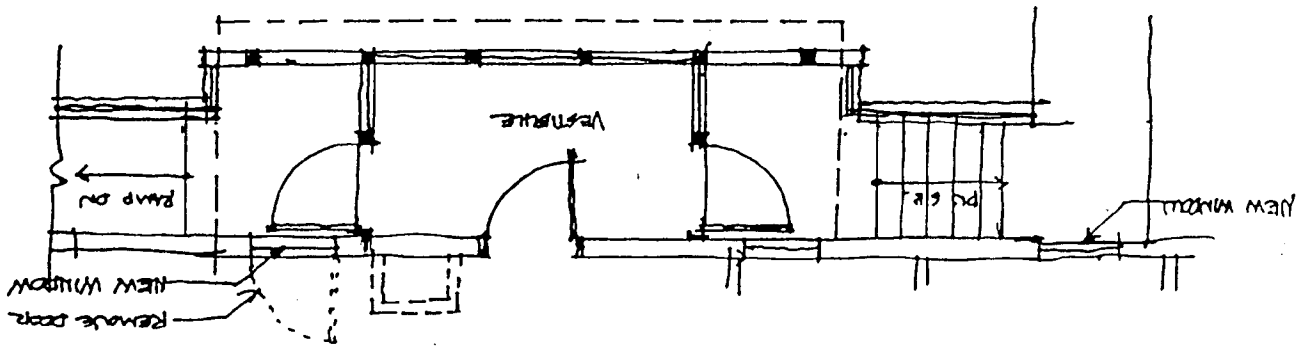
W/4

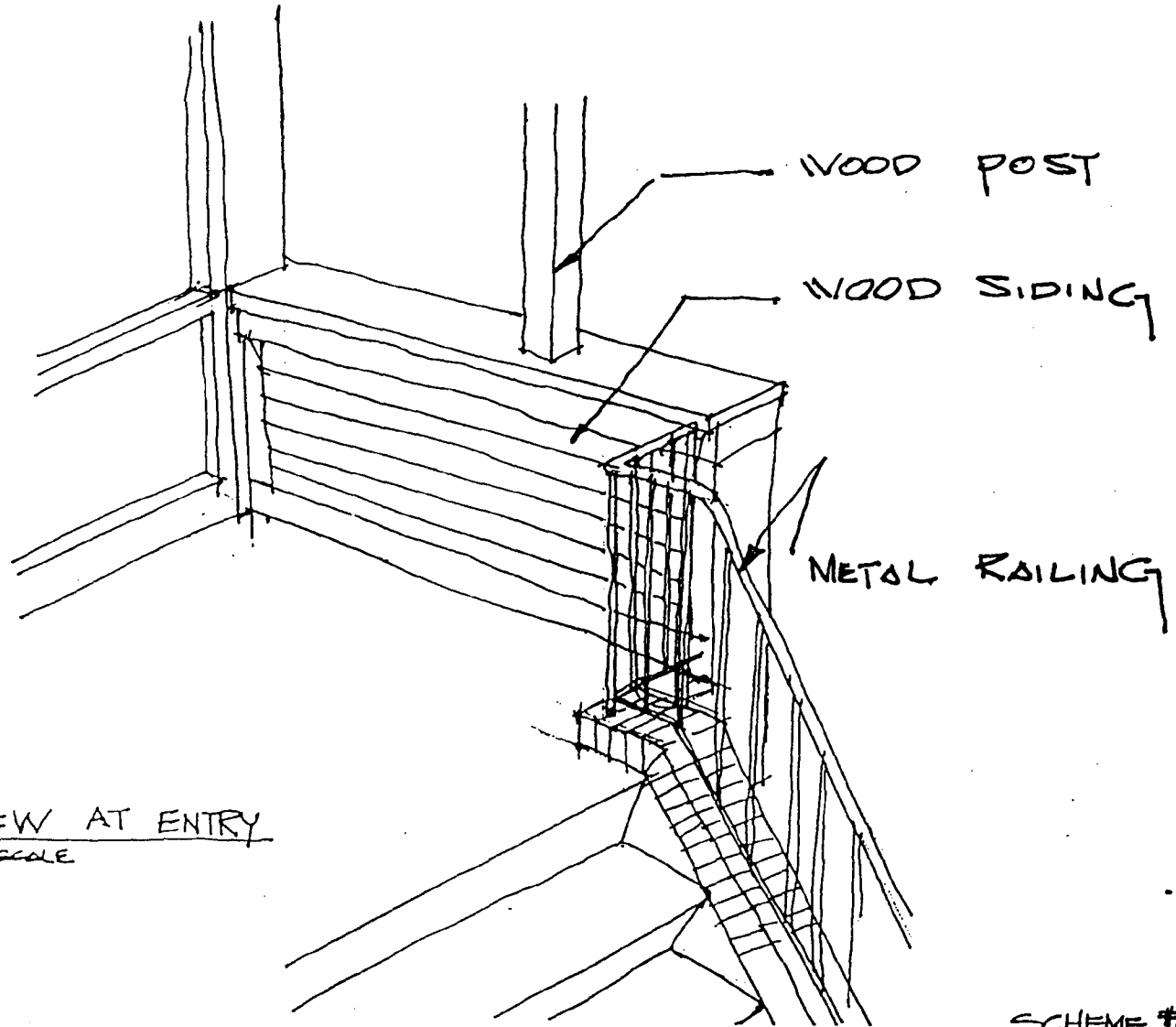
SCHEME
DWG No 14

20

SCHEME #2
DWG NO. 11

PLAN @ VESTIBULE
1/4" = 1'-0"

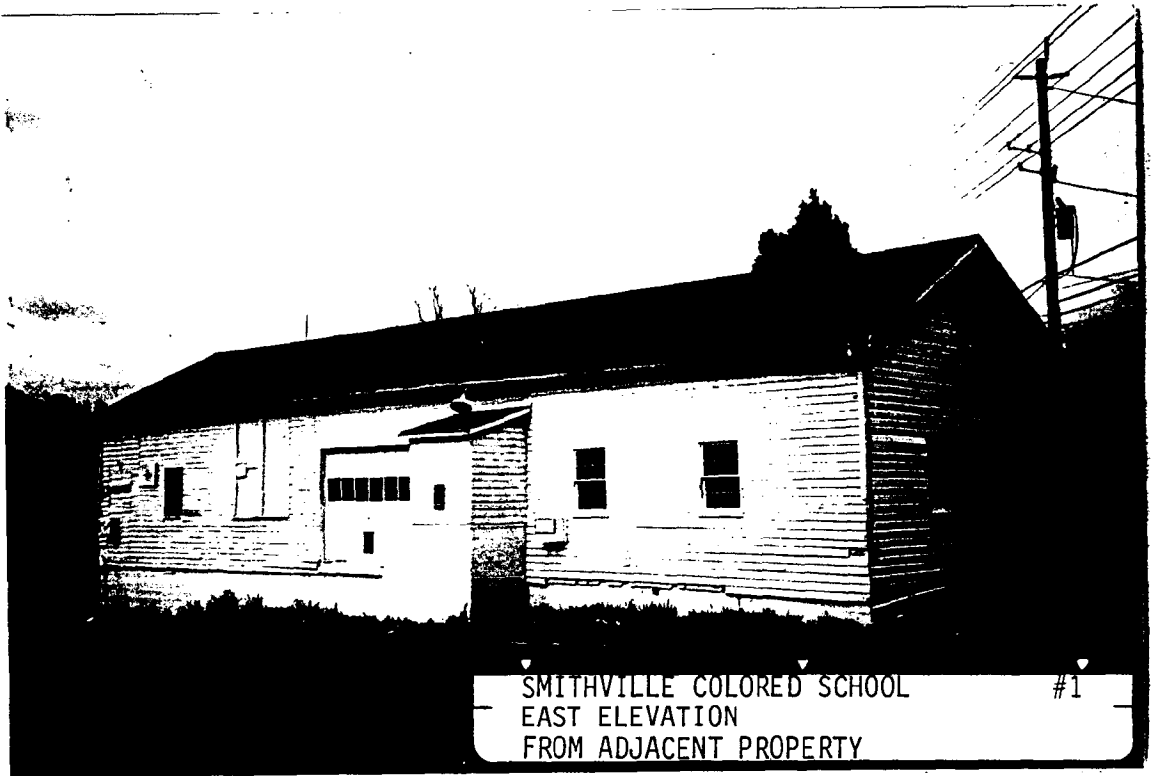




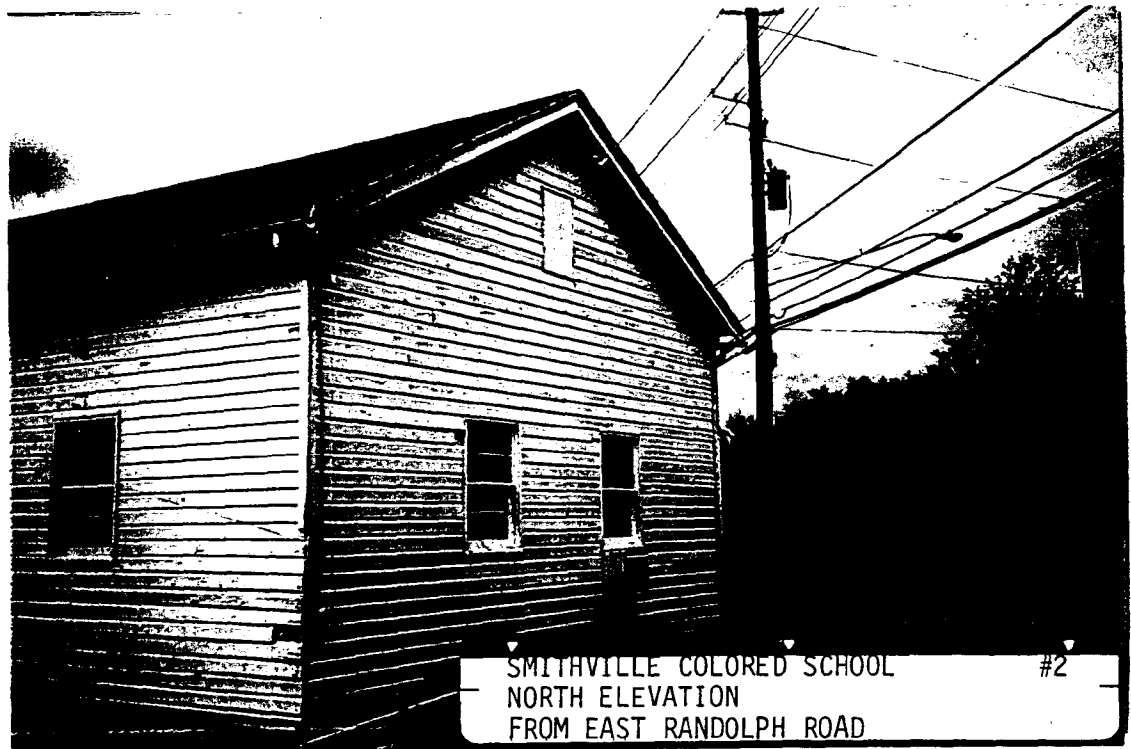
VIEW AT ENTRY
NO SCALE

SCHEME #2
DWG No 1

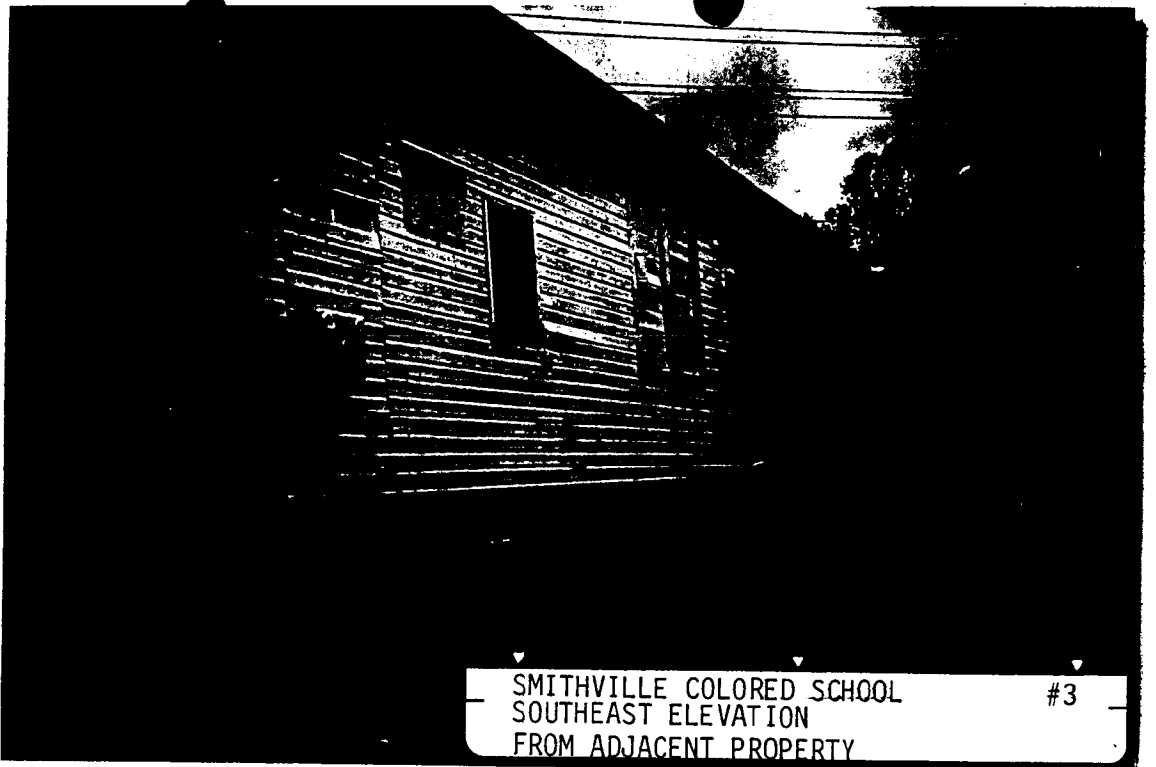
CONC. STEPS



SMITHVILLE COLORED SCHOOL #1
EAST ELEVATION
FROM ADJACENT PROPERTY

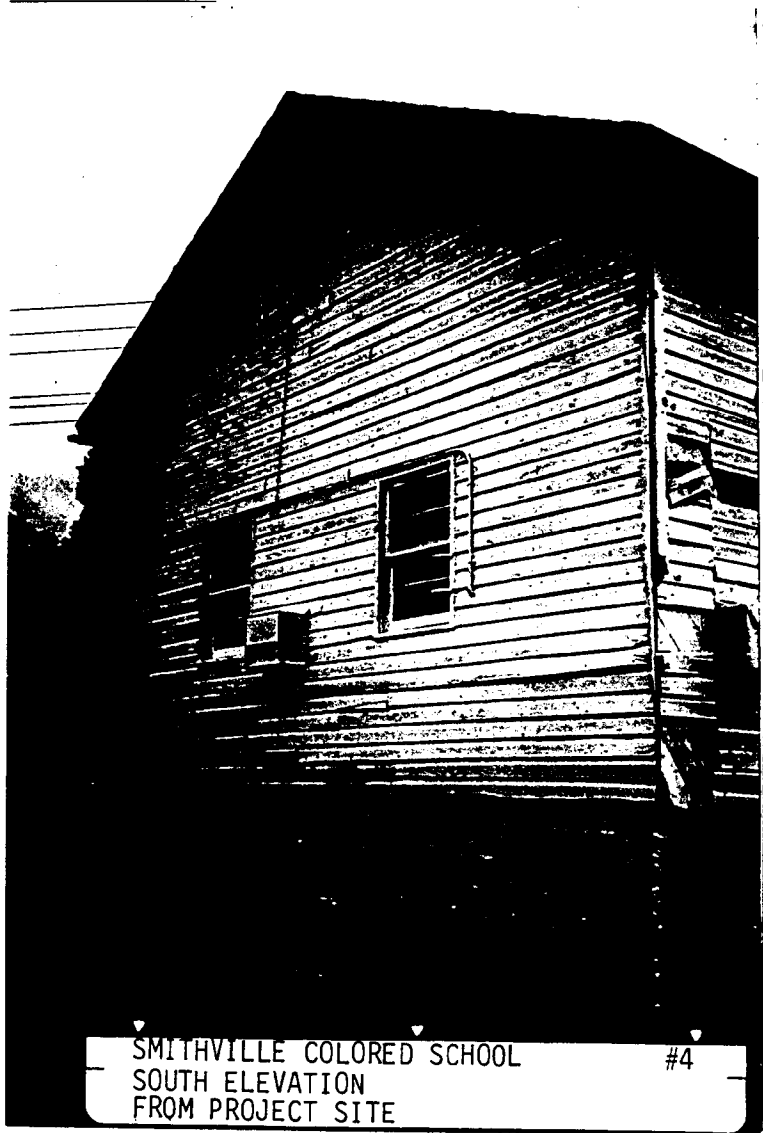


SMITHVILLE COLORED SCHOOL #2
NORTH ELEVATION
FROM EAST RANDOLPH ROAD



SMITHVILLE COLORED SCHOOL
SOUTHEAST ELEVATION
FROM ADJACENT PROPERTY

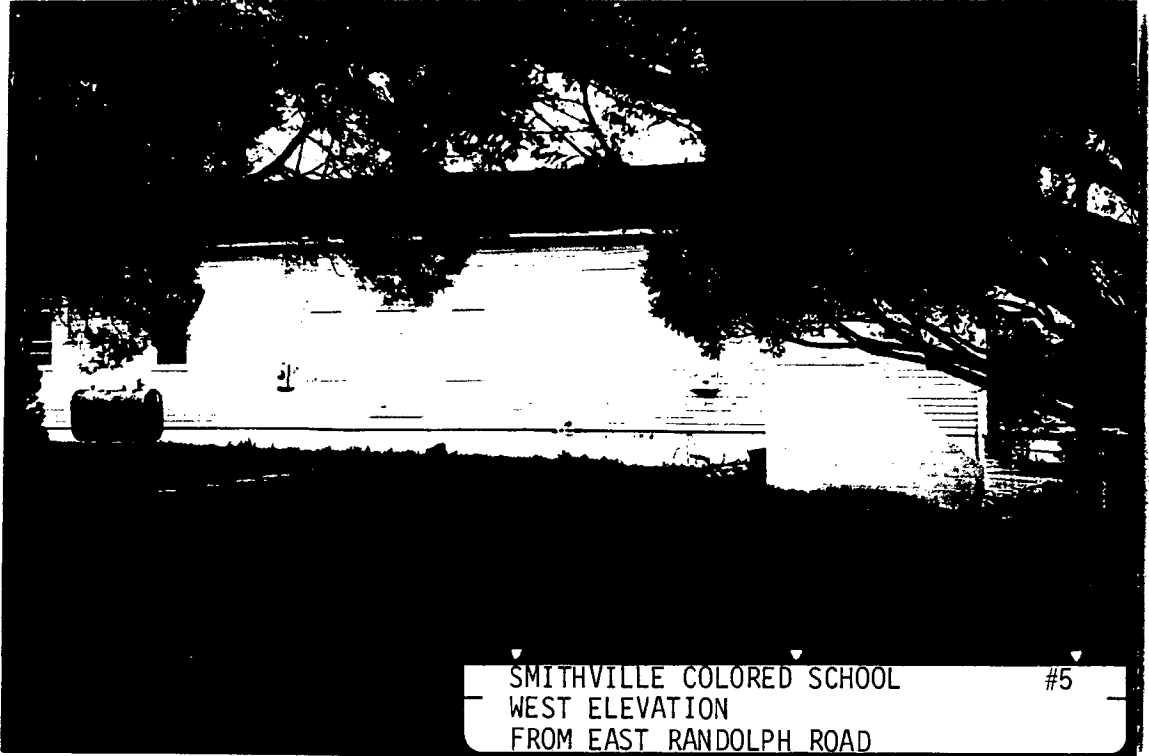
#3



SMITHVILLE COLORED SCHOOL
SOUTH ELEVATION
FROM PROJECT SITE

#4

24





SMITHVILLE SCHOOL GARAGE
SOUTH ELEVATION
FROM PROJECT SITE

#7

HISTORIC PRESERVATION COMMISSION STAFF REPORT
PRELIMINARY CONSULTATION

Address:	811 East Randolph Road	Meeting Date:	4/22/98
Resource:	Smithfield Colored School <u>Master Plan</u> Site #33/24	Review:	HAWP
Case Number:	N/A	Tax Credit:	No
Public Notice:	4/8/98	Report Date:	4/15/98
Applicant:	IUL, Inc. (Alfred Bailey, Agent)	Staff:	Robin D. Ziek
PROPOSAL:	Construct new entrance	RECOMMENDATIONS:	Proceed to HAWP

PROJECT DESCRIPTION

RESOURCE: Smithfield Colored School

STYLE: Vernacular - Rosenwald School

DATE: 1927

The Smithfield Colored School is a two-room schoolhouse built in 1927 with monies from the Julius Rosenwald Fund/Rural School Building Program. Mr. Rosenwald was the President of Sear, Roebuck and Company. He initiated this program in 1913, and funded the construction of 4,977 schools by the program's conclusion in 1932.

This was one of 15 one-and two-room frame structures built in the county between 1926 and 1928. The county now owns the building. It has been used for storage and other utilitarian uses since 1952 when the county built new consolidated school buildings for African-American children. Integration of the Montgomery County public schools began in 1954.

Alterations to the building include reorientation (the entrance was originally on the west elevation); removal of all the original doors and windows and replacement of the schoolroom-sized windows with downsized modern windows; and installation of a rolling loading dock door.

The building sits in a large piece of land which is largely paved with deteriorating asphalt. There is an adjacent work/storage building adjacent to the school building which will be utilized in the future by IUL.

At this point, the county has leased the property to IUL to rehabilitate the schoolhouse and use the site to promote public use of the property. The applicant has worked with an architect, Mr. Harold Navy, to design the interior space for their new program and to bring the building up to code to support this use.

PROPOSAL

The bulk of the work on the exterior involves assuring handicapped accessibility and accommodating the county's health and safety requirements to meet the new use as meeting space for approximately 100 people. In order to avoid the installation costs of an internal sprinkler system, the applicants are required to install handicapped ramps at both the east and west exits, thereby providing two alternate exit routes.

STAFF DISCUSSION

The applicant has been working closely with staff to develop the scope of the project and to work within the parameters of the preservation ordinance.

The building sits very close to Randolph Road due to road widening in the recent past. The building itself is not a prominent feature along the road as the building is oriented to the lot, with the small (north) side of the building facing Randolph Road. The west side of the building, which past students have indicated was the original entrance side of the school building, is also not readily apparent today as the entrance from Randolph Road directs one to the east side of the building.

The proposed new entry on the east side of the building involves development of the existing entrance. At this point, there is a concrete stoop with steep steps leading to a single doorway into the building. The grade of the site is such that a handicapped ramp built along the edge of the building from the doorway to the north edge would meet code.

The applicants propose to close the existing doorway on the east side, and open a new doorway at a new location a few feet further south on the elevation. They propose to extend the existing concrete stoop to accommodate entry from a ramp on the north end and steps on the south end. The stoop would be enclosed to form a vestibule for the building (see Circle (1)) with a simple gable roof. All of the building materials would match the existing, with wood siding, wood doors and wood windows. They propose to use a simple metal pipe railing along the steps and handicapped ramps.

The building plan originally probably had a central entry hall with a classroom on either side. This original plan was altered years ago when the building function changed. At this point, the applicant will utilize a new interior floor plan to accommodate the new function of meeting space and computer center. The history of the school building will be promoted through exhibitions, but the original plan will not be restored.

The proposed new vestibule is derived from sketches of the original Rosenwald School buildings, as seen on Circle 4-7. However, this is not a restoration as the building function

will be something other than the school function. The applicant has provided two different schemes which are basically the same except for the design of the doors and windows. Scheme #1 would utilize a fenestration scheme which mimics the existing fenestration with the small double-hung windows with their horizontal form of 2/2. The Scheme #2 would use a more open fenestration design of full-light doors and windows. *See Circle 14*

Staff feels that the basic design is a suitable one for the school building. The original building probably had a small gable entrance of simple design. The use of the more open fenestration Scheme #2 would provide the sense of an open porch more than with Scheme #1. In addition, staff notes that the original windows were very different from the existing windows, and these are not appropriate to the building. At some point, the applicant may be able to find funding to restore the original schoolhouse windows, and the open fenestration system would be more compatible with them.

STAFF RECOMMENDATION

Staff recommends that the Commission find this concept general consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

and with Secretary of the Interior's Standards for Rehabilitation #10:

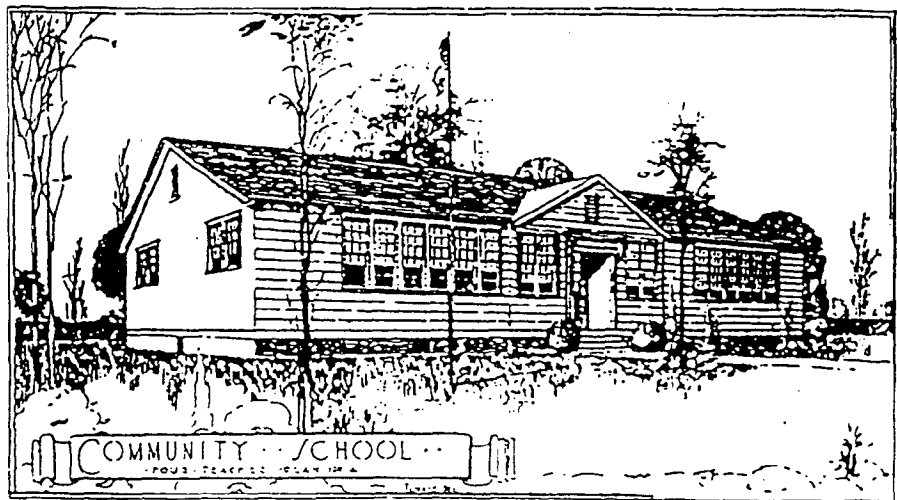
New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and that the applicant be directed to develop Scheme #2 for consideration for a HAWP.

ROSENWALD SCHOOL CONFERENCE

• • •

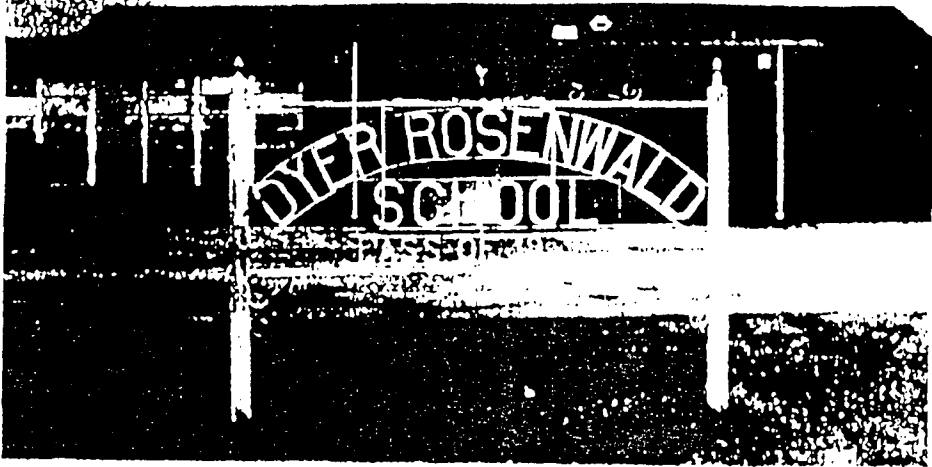
RESOURCE GUIDE



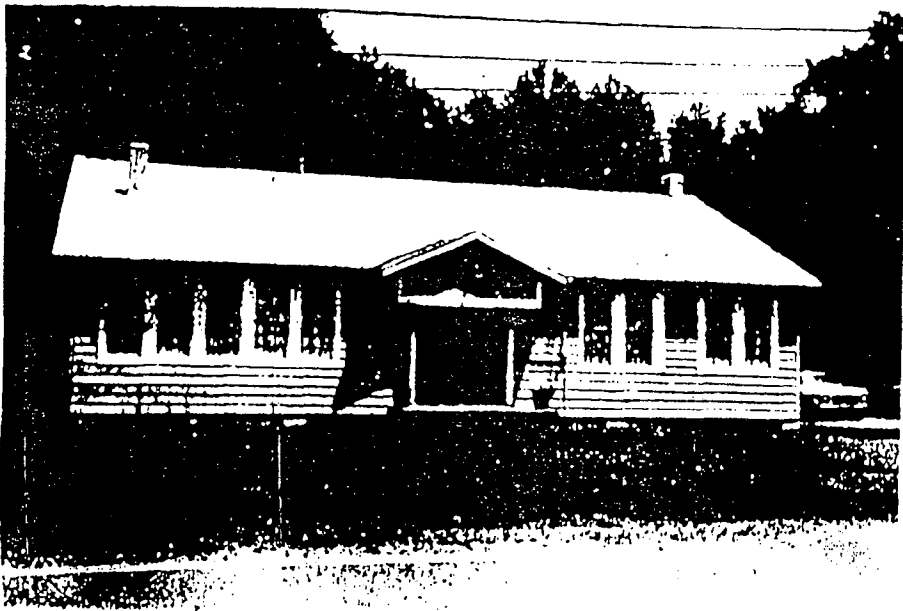
SATURDAY, OCTOBER 21, 1995
MIDDLE TENNESSEE STATE UNIVERSITY
MURFREESBORO, TENNESSEE

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4



Gibson County



Wells School, Shelby Co. 1924-25

5

ROSENWALD RURAL SCHOOL BUILDING PROGRAM

"We Built Better Than We Knew": The Julius Rosenwald Fund Rural School Building Program

In 1913, Sears, Roebuck and Company President Julius Rosenwald initiated the largest single program benefitting public schools for African Americans in the South since Reconstruction. His private contributions and the subsequent Julius Rosenwald Fund Rural School Building Program galvanized rural communities desiring better schools. By 1928, one in every five rural schools for black students in the South was a Rosenwald school. Rosenwald schools housed one third of the region's rural black schoolchildren and teachers. At the program's conclusion in 1932, Rosenwald's financial aid had produced 4,977 new schools, 217 teachers' homes, and 163 shop buildings in 883 counties of 15 states, representing a total investment of over \$28 million in contributions and tax revenues.

Rosenwald was one of a circle of wealthy white Americans—including industrialist John D. Rockefeller and banker George Foster Peabody—interested in the rural South. At the turn of the century, these northern philanthropists had joined forces with white southern education leaders to improve public education for African Americans in the southern states. Their concern was practical as well as humanitarian: the United States needed more productive agriculture to support urban and industrial development. They believed that in the South, this could be achieved only by creating a better-trained black labor force through vocational education, then known as industrial education, like that promoted by the Hampton Institute and Tuskegee Institute. The Julius Rosenwald Fund followed the Southern Education Board, the General Education Board, the Anna T. Jeanes Foundation, and the John F. Slater Fund in

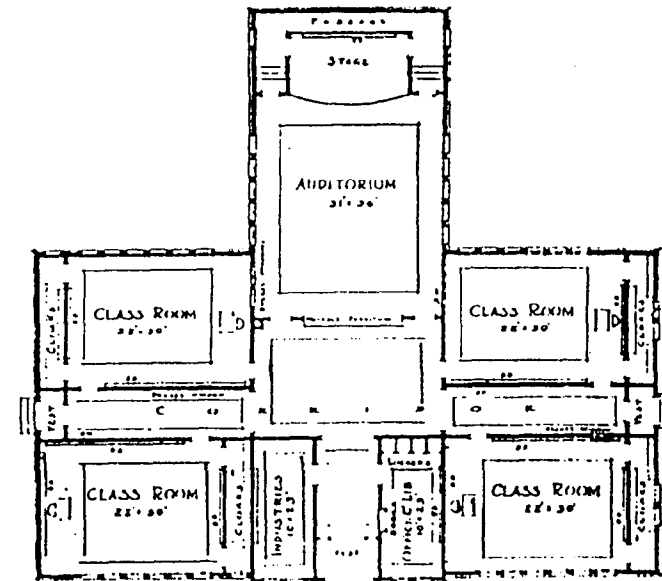
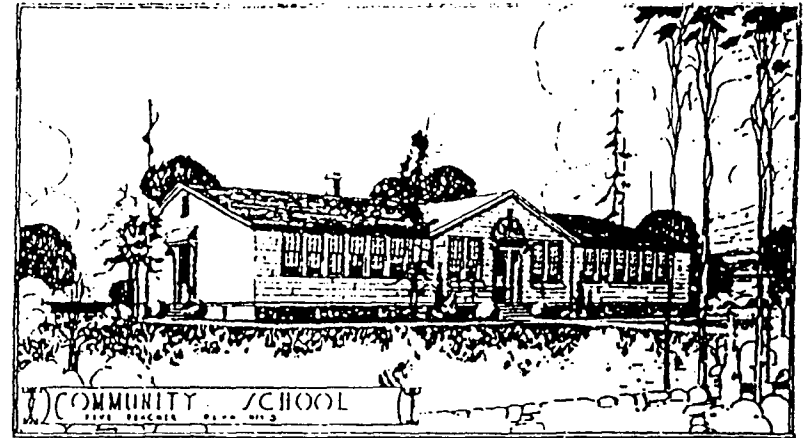
building's orientation on the site, construction materials, floor plan, exterior and interior finishes, and furniture. Sanitary outhouses had to be provided as well.

Community School Plans was available free of charge for any school building project. It also was reprinted in *For Better Schoolhouses* (1929) and *Community Units* (1941), both publications of the Rosenwald-funded Interstate School Building Service, and articles in school journals. Thus many schools for white and black students not aided by the Rosenwald Fund followed these designs. Because maintenance was a continual problem for under-funded black schools, the fund sponsored annual "Rosenwald Day" competitions among communities that cleaned up and repaired their schools and grounds. Even so, Rosenwald school buildings had few amenities and were particularly uncomfortable in the winter months. A former student in a Mecklenburg County, North Carolina, Rosenwald school recalled that "We'd put benches around the potbelly stove, and that's how we'd stay warm. We'd usually keep our coats on" (Hanchett, "The Rosenwald Schools in North Carolina," 420).

The school building requirements also reflected the Rosenwald Fund's philosophy of industrial education for rural black southerners. All schools had to stand on at least two acres of land to allow for school gardens as well as playgrounds. Every school plan included an industrial room in addition to the regular classrooms, and the fund offered plans for separate shop buildings, and teachers' homes where home economics lessons could be practiced. However, industrial rooms often lacked equipment and were used as additional classrooms. Relatively few shop buildings or teachers' homes were constructed, despite increased Rosenwald aid, as county school boards limited their expenditures to school buildings.

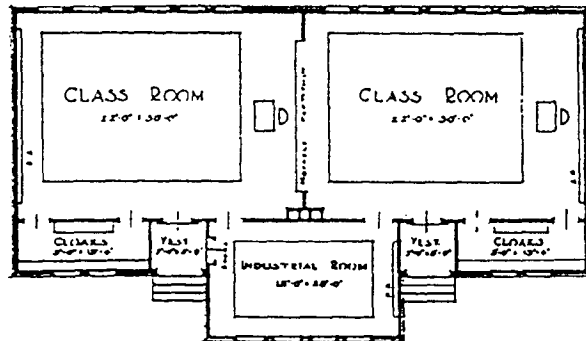
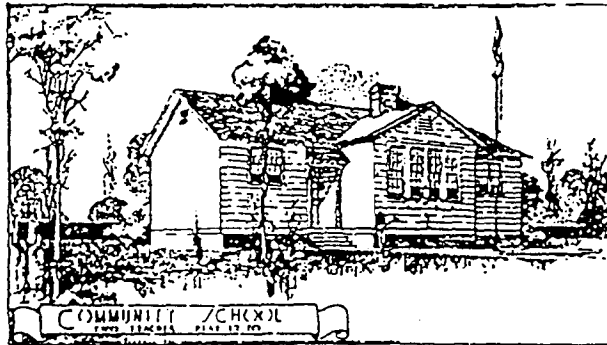
More importantly, the fund required that African-American school patrons raise a matching sum equal to or greater than the fund's contribution. Rosenwald officials believed that this requirement would strengthen rural blacks' commitment to their community. Then as they saw real improvements in their schools, African Americans would be less likely to leave the rural South and whites would appreciate their black laborers more and treat them better. A black minister in rural Virginia reportedly said that when first told about the Rosenwald program, "we did not think that we could do it. But here it is, nearly finished.... Now we know that we can build schoolhouses and do any other good thing that we make up our minds to do." (6)

COMMUNITY SCHOOL PLANS



FLOOR PLAN No 5
FIVE TEACHER COMMUNITY SCHOOL
To face East on West Corner

COMMUNITY SCHOOL PLANS



FLOOR PLAN No 20
TWO TEACHER COMMUNITY SCHOOL
TO FACE EAST OR WEST ONLY

Essay and Bibliography: Mary Hoffschwelle, MTSU Department of History
Project Coordinator: Caneta S. Hankins, MTSU Center for Historic Preservation

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Thaddeus Smith, Director

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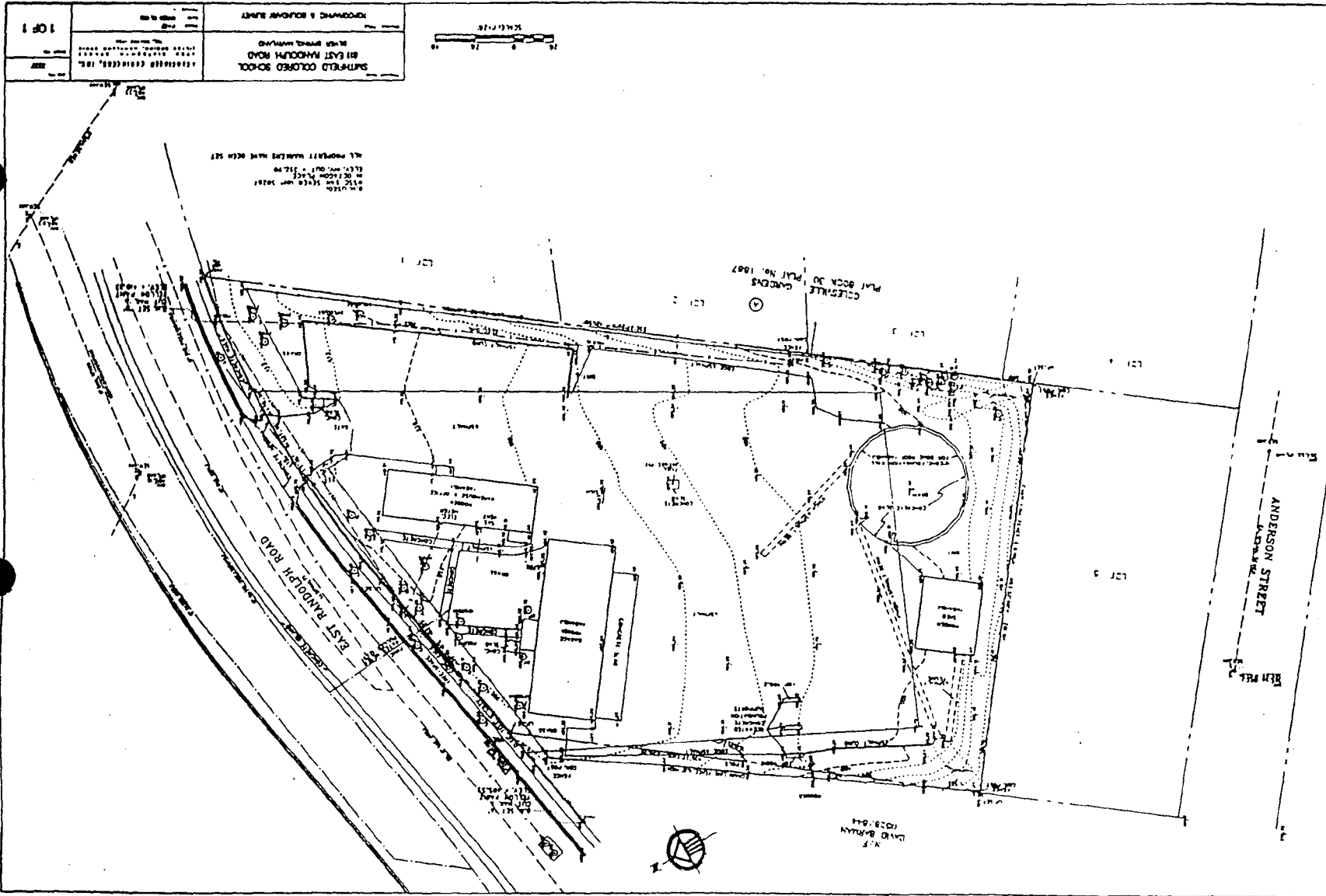
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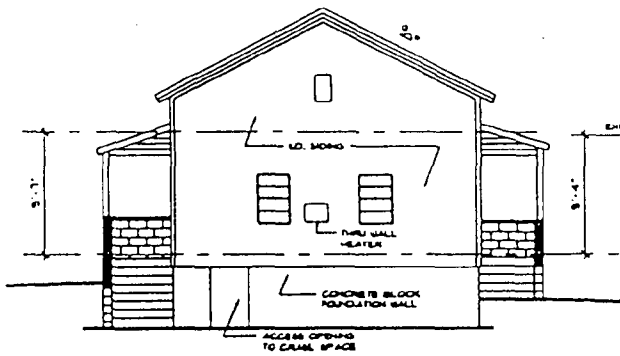
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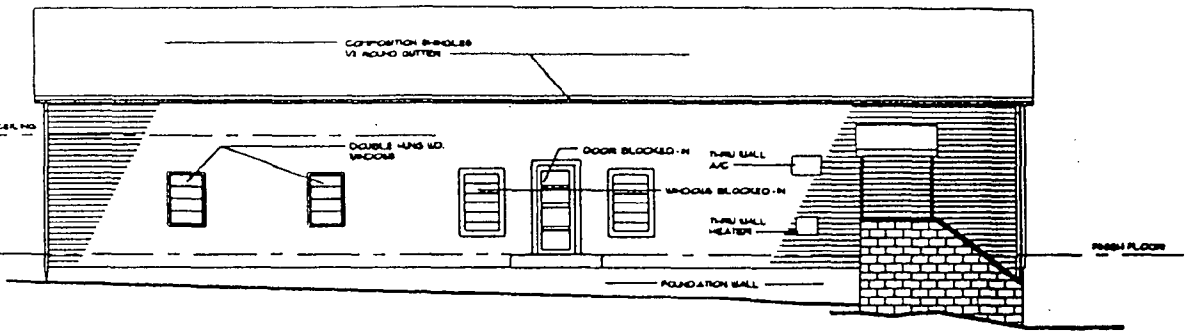
Page No 1

10

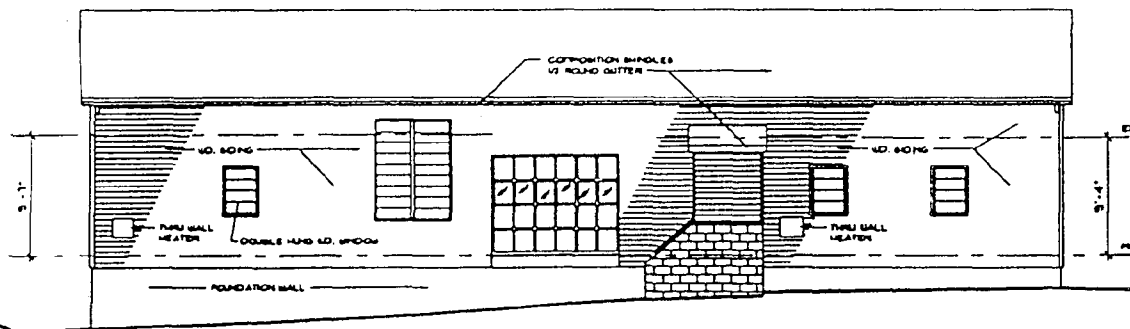




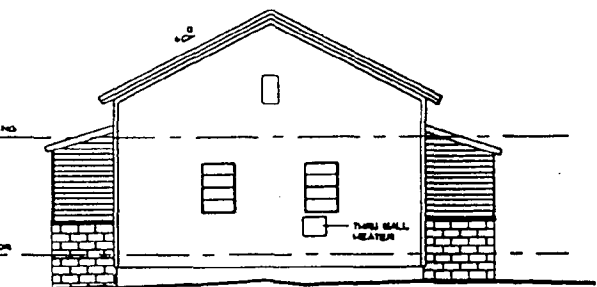
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SCALE: 1/4" = 1'-0"



WEST ELEVATION (EXISTING CONDITIONS)
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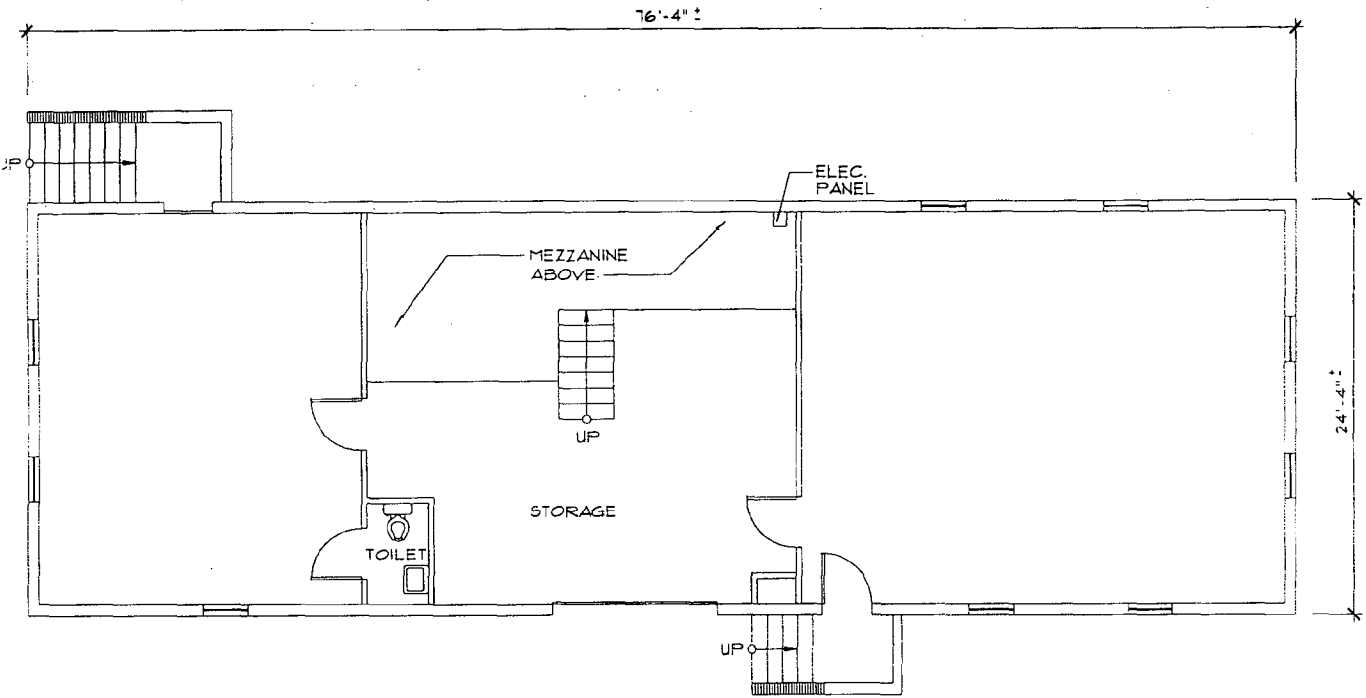


EAST ELEVATION (EXISTING CONDITIONS)
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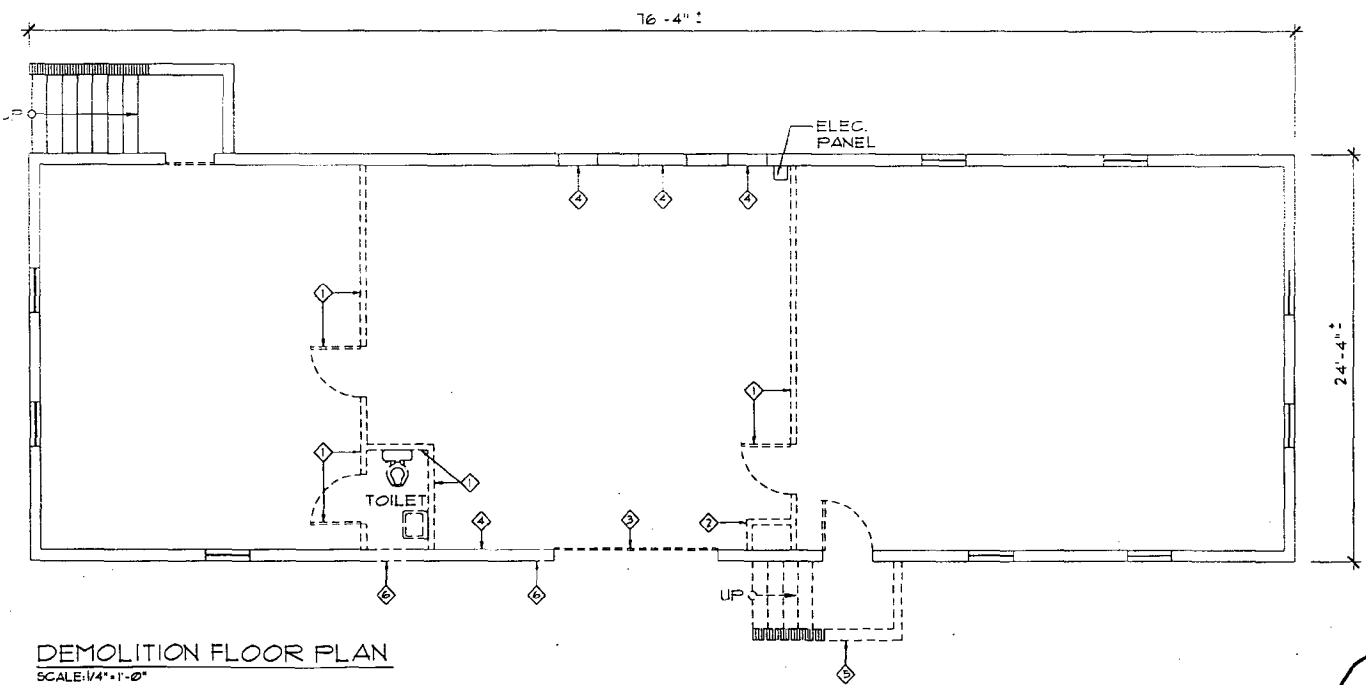


NORTH ELEVATION (EXISTING CONDITIONS)
SCALE: 1/4" = 1'-0"

9



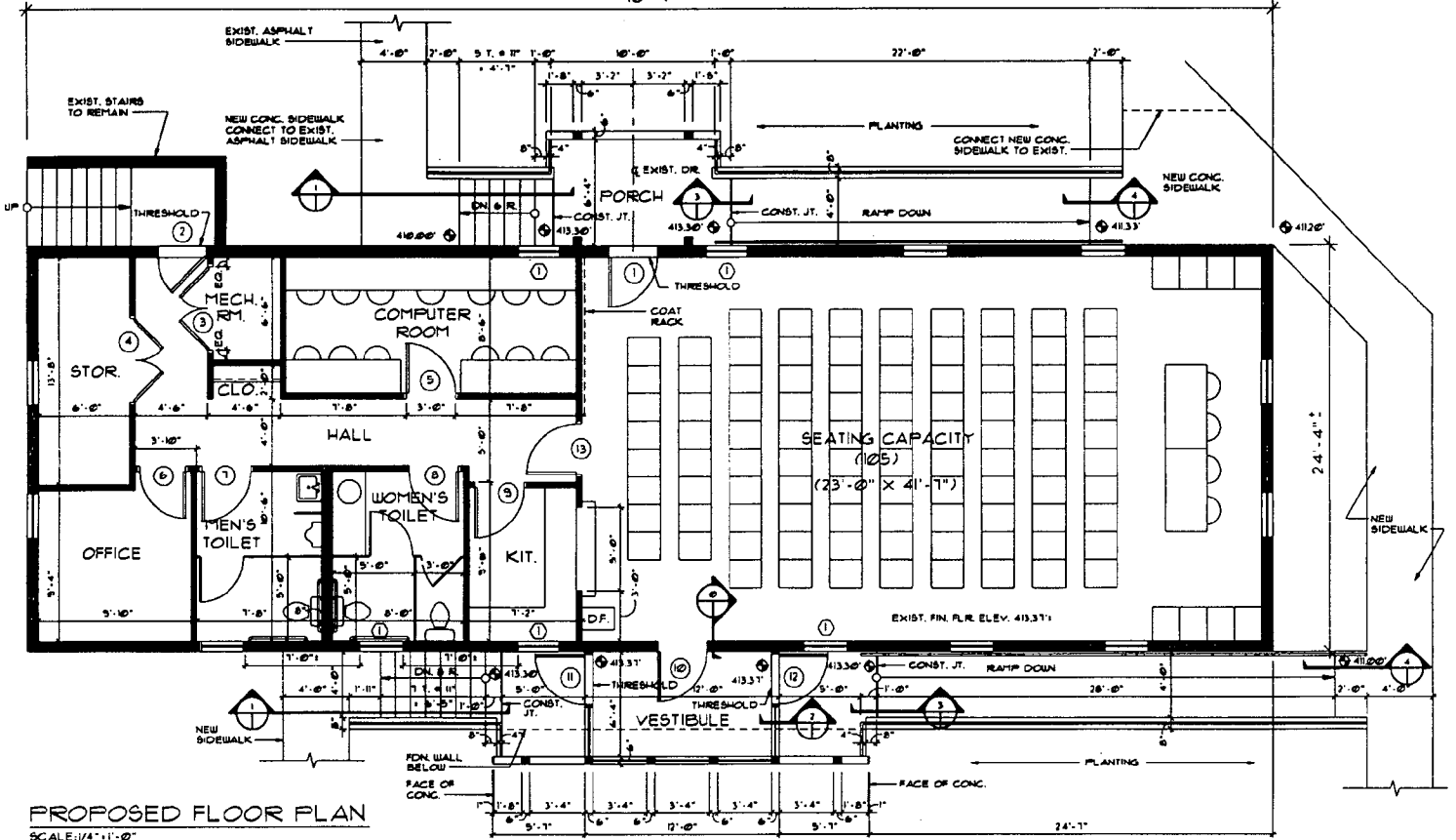
EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



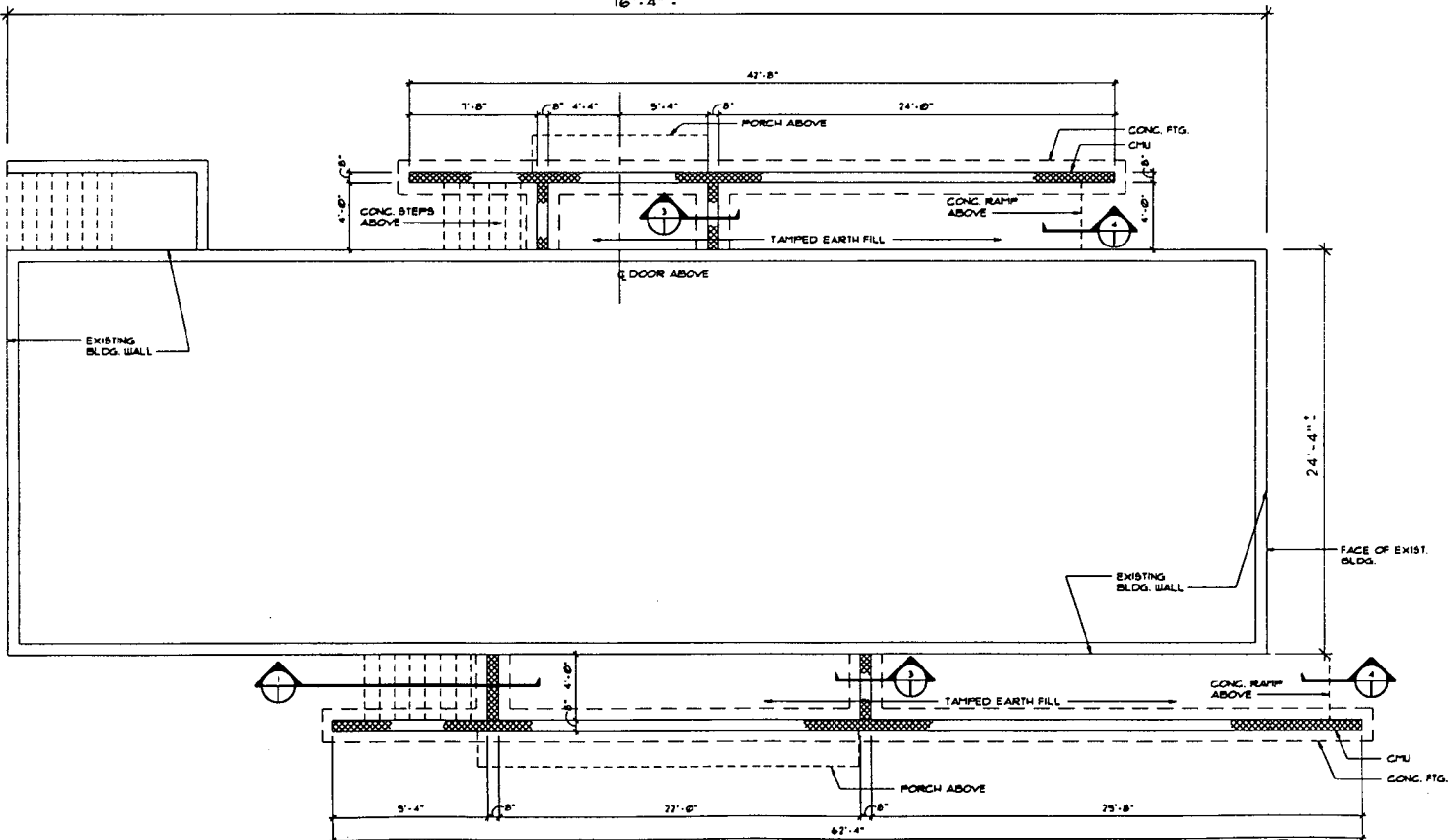
DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

10

76'-4"



76'-4"



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



12

VIEW AT ENTRY
1/8" SCALE

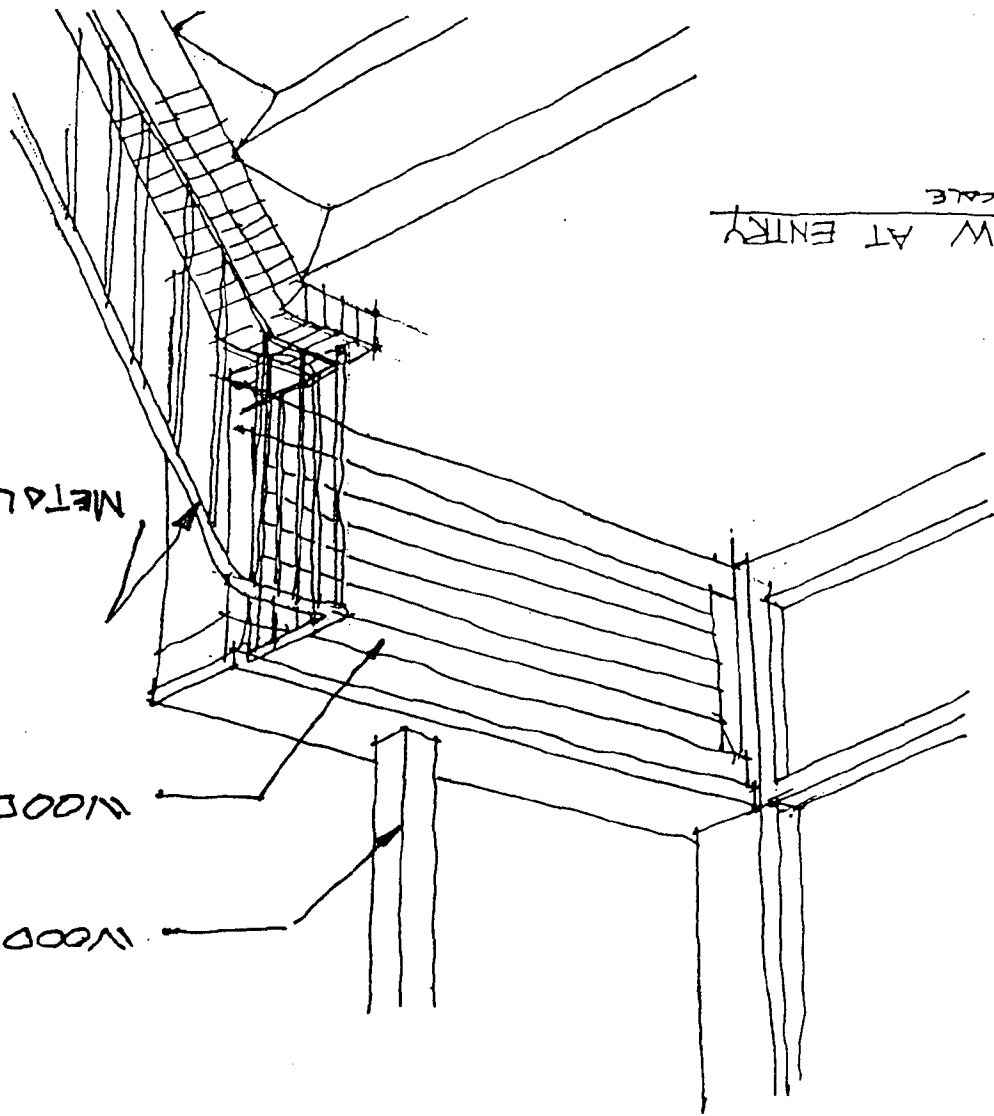
CONC. STEPS
→

SCHEME #2
Dwg No. 1

METAL RAILING

WOOD SIDING

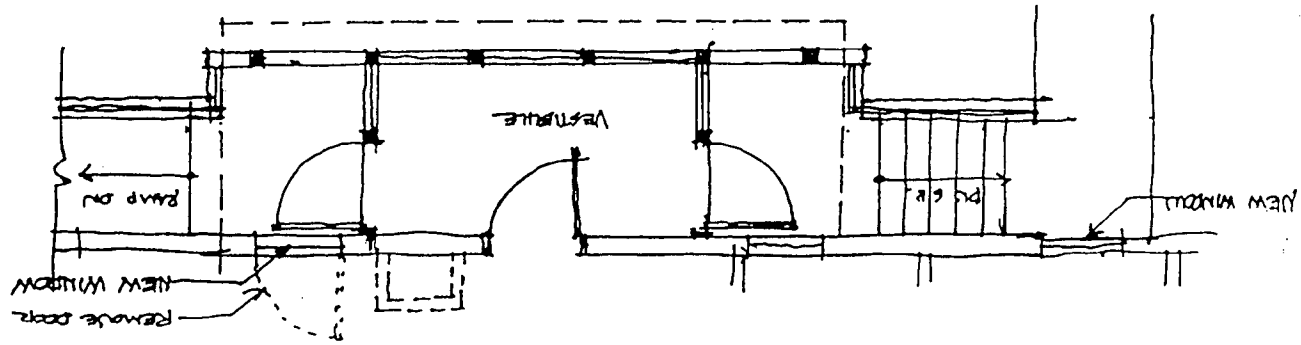
WOOD POST

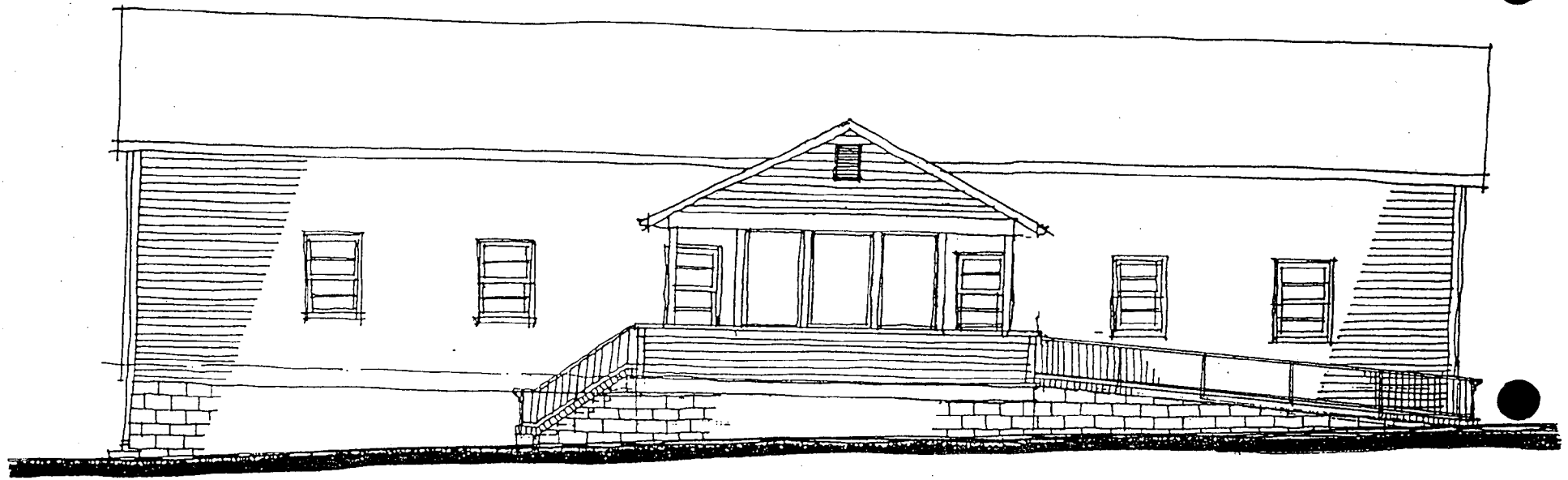


SCHEME #2
DWG NO. 11.00

13

PLAN @ VESTIBULE
1/4" = 1'-0"

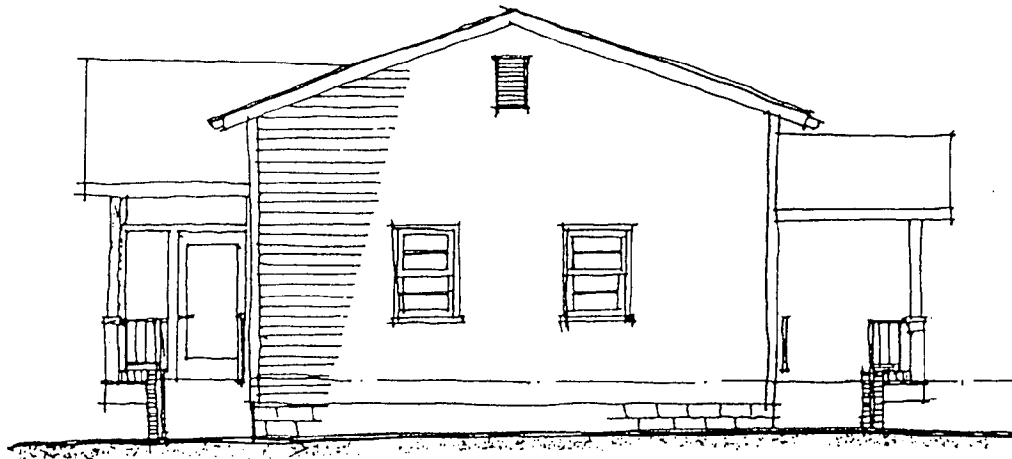




SOUTHEAST ELEVATION
1/21/04

17

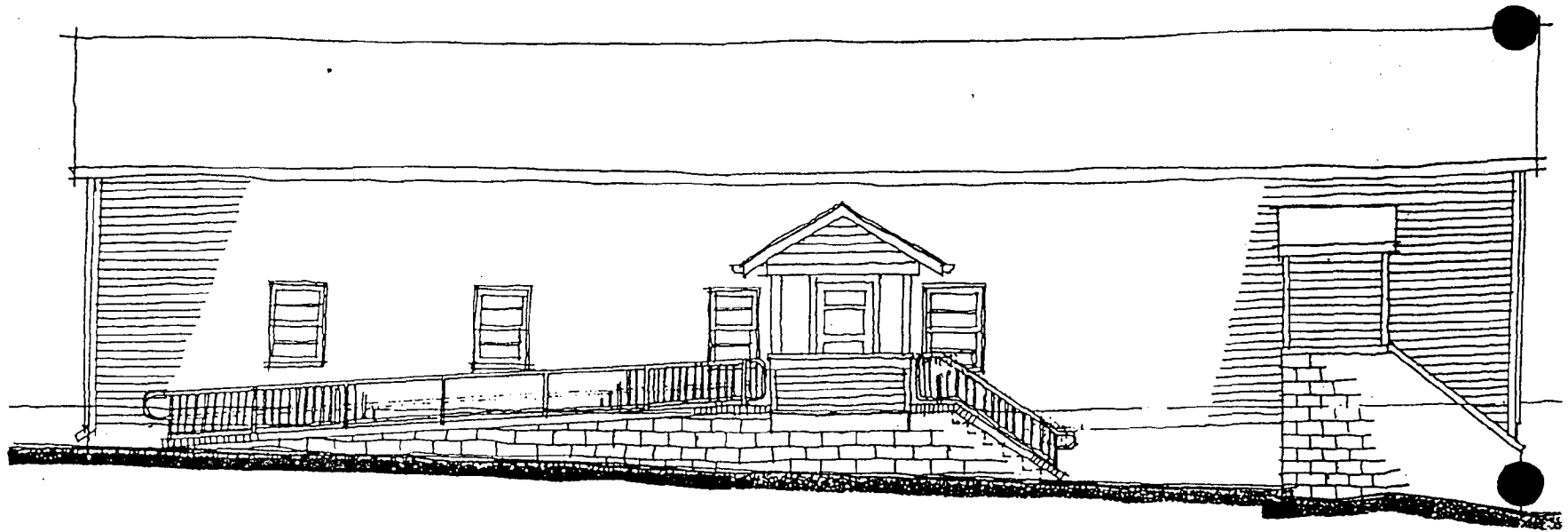
SCHEME #2
DWG NO 12



NORTHEAST ELEVATION
1/4" = 1'-0"

15

SCHEME #2
DWG NO 14



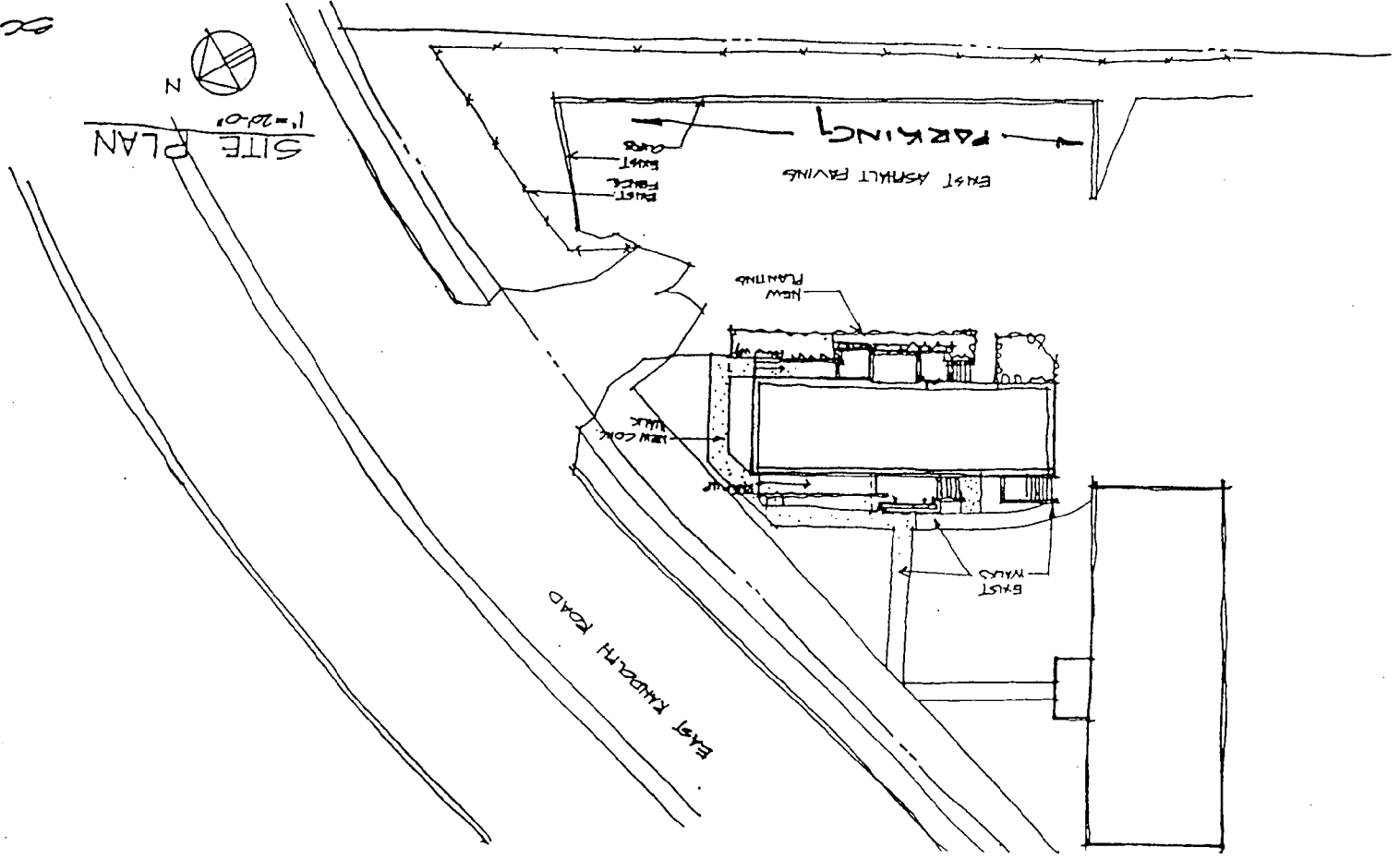
NORTH WEST ELEVATION
1/4" = 1'-0"

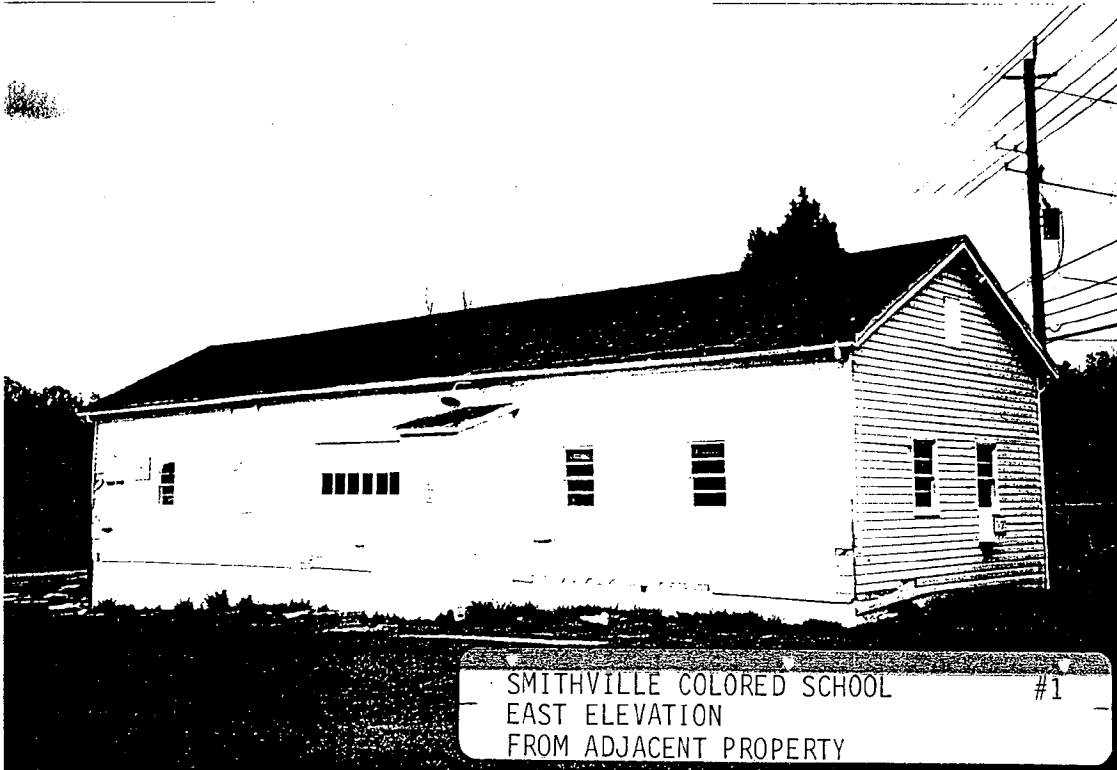
16

SCHEME #2

DWG No.

SCHEME #2
DWG # 10

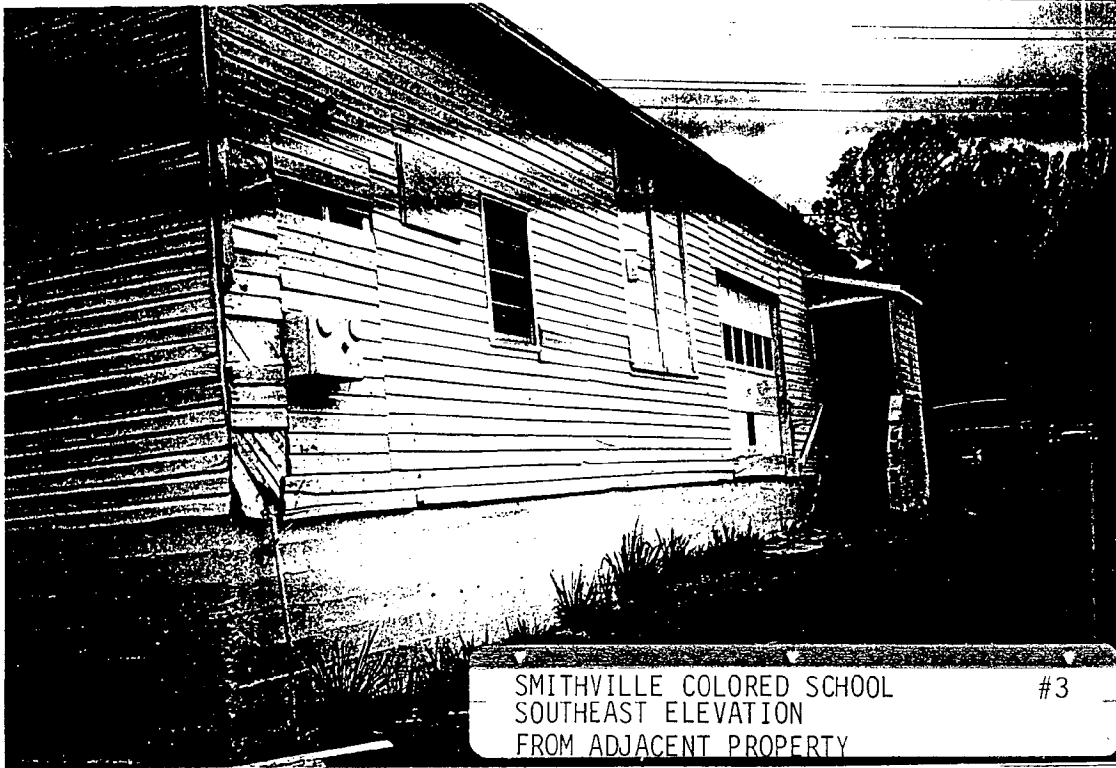




SMITHVILLE COLORED SCHOOL #1
EAST ELEVATION
FROM ADJACENT PROPERTY



SMITHVILLE COLORED SCHOOL #2
NORTH ELEVATION
FROM EAST RANDOLPH ROAD



SMITHVILLE COLORED SCHOOL
SOUTHEAST ELEVATION
FROM ADJACENT PROPERTY

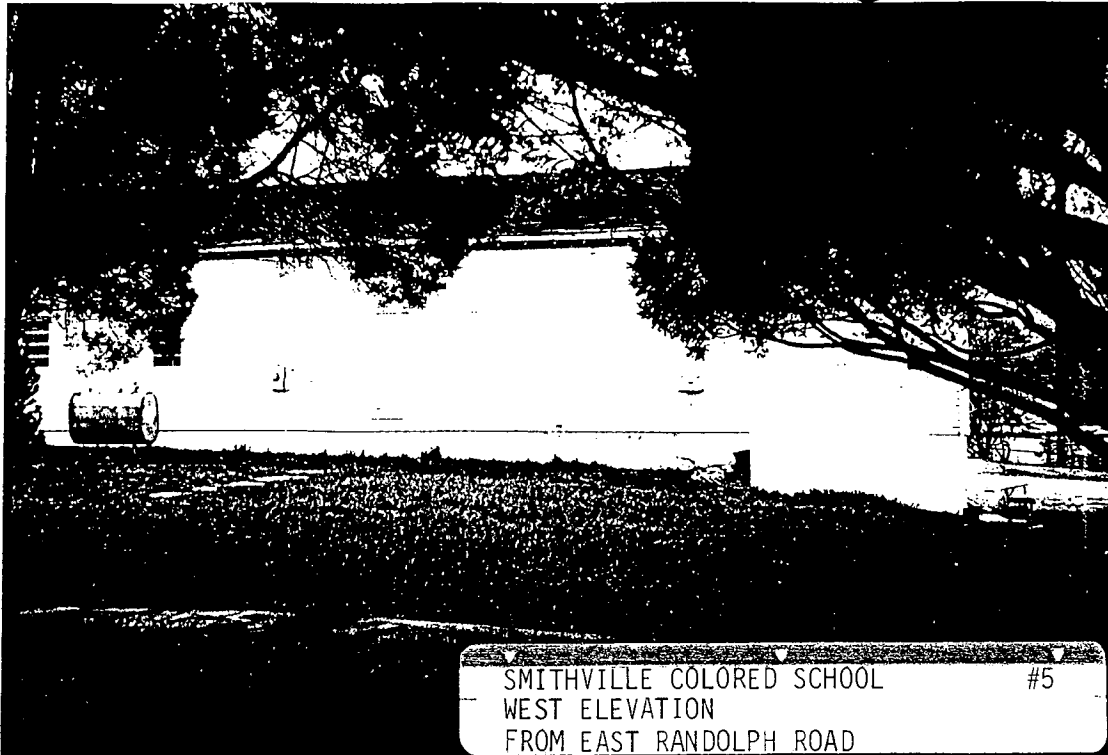
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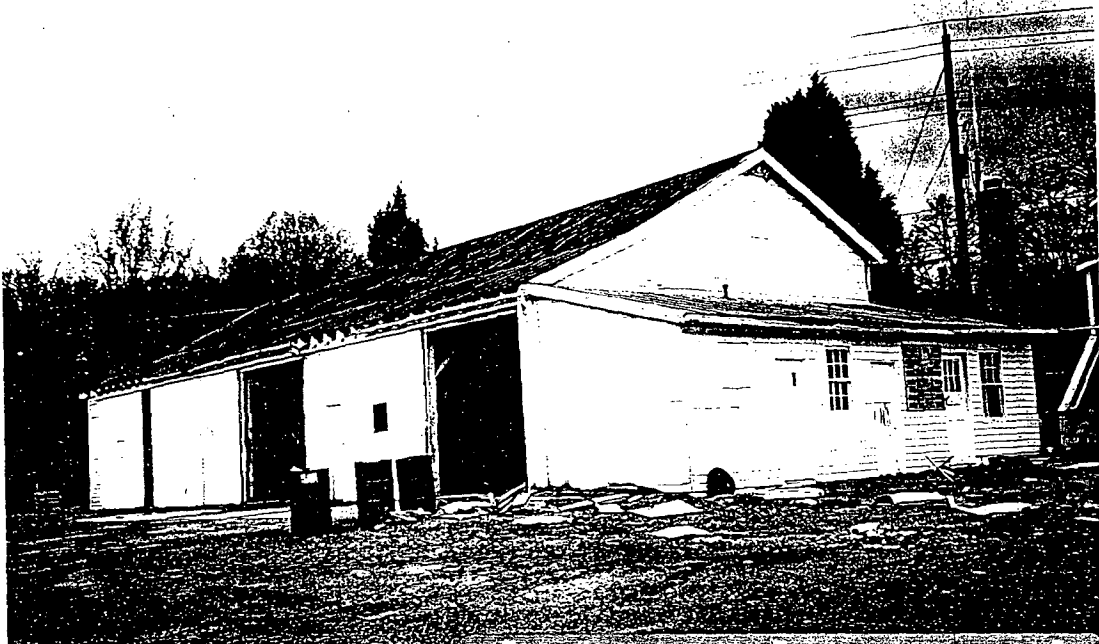


SMITHVILLE COLORED SCHOOL
SOUTH ELEVATION
FROM PROJECT SITE

#4

19





SMITHVILLE SCHOOL GARAGE #7
SOUTH ELEVATION
FROM PROJECT SITE

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SMITHVILLE COLORED SCHOOL

#1



SMITHVILLE COLORED SCHOOL
EAST ELEVATION
FROM ADJACENT PROPERTY

#1



SMITHVILLE COLORED SCHOOL
NORTH ELEVATION
FROM EAST RANDOLPH ROAD

#2



SMITHVILLE COLORED SCHOOL
SOUTHEAST ELEVATION
FROM ADJACENT PROPERTY

#3

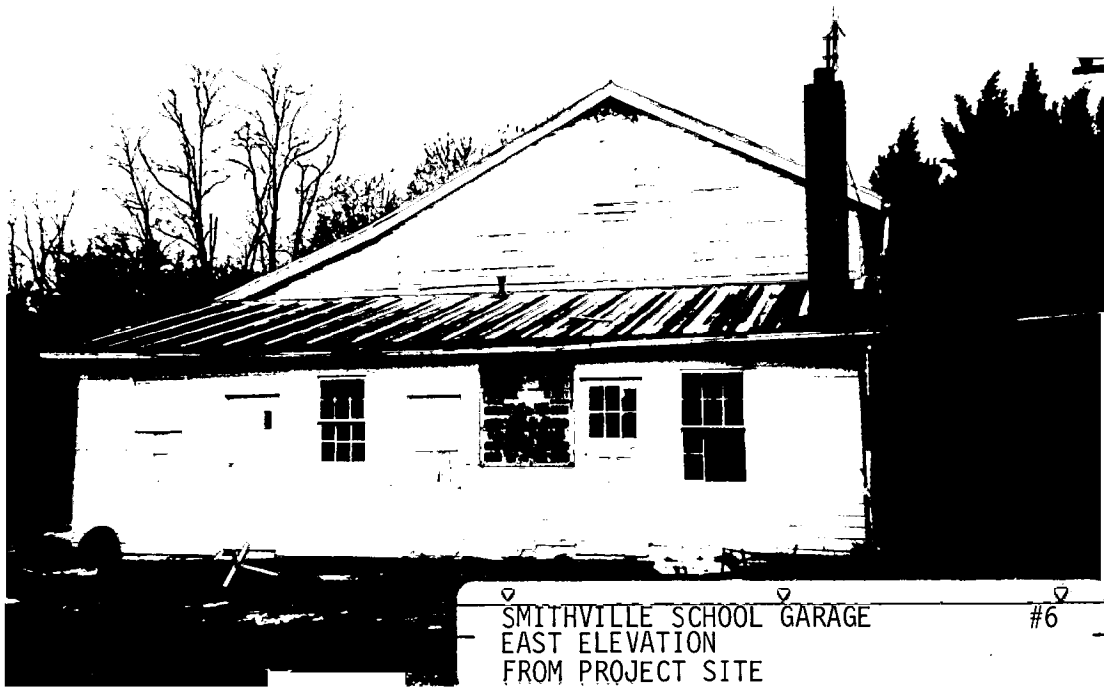


SMITHVILLE COLORED SCHOOL
SOUTH ELEVATION
FROM PROJECT SITE

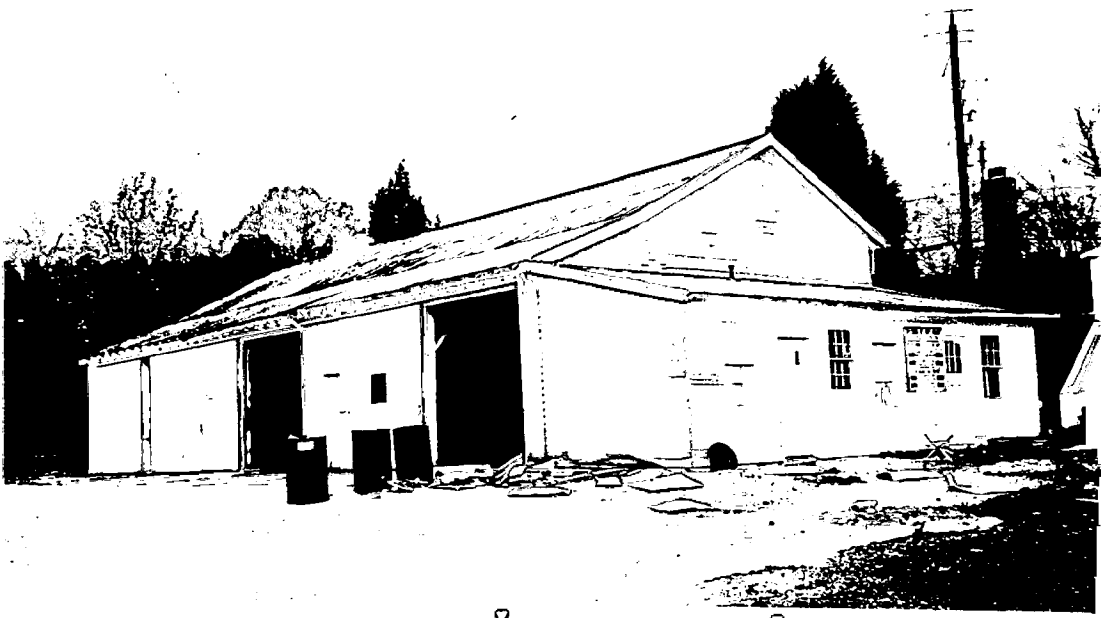
#4



SMITHVILLE COLORED SCHOOL #5
WEST ELEVATION
FROM EAST RANDOLPH ROAD



SMITHVILLE SCHOOL GARAGE #6
EAST ELEVATION
FROM PROJECT SITE



SMITHVILLE SCHOOL GARAGE
SOUTH ELEVATION
FROM PROJECT SITE

#7