

26 Oxford St. Quay Change 35/18-068
HAWP REVISION



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: April 12, 2007

MEMORANDUM

TO: Reggie Jetter
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #447979, Window and siding replacement and changes to approved plans—permit #418262

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the April 11, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Marc Weller

Address: 26 Oxford St, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR, ROCKVILLE, MD 20850
240 777-6376

DPS - #8

447979

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: RON SCHUECK
Daytime Phone No.: 202 328 0134

Tax Account No.: _____
Name of Property Owner: MARC WELLER Daytime Phone No.: 202 409 1551
Address: 26 OXFORD STREET CHEVY CHASE 20915
Street Number City Street Zip Code
Contractor: ELLIS PENNING CONST. Phone No.: 301 948 0523
Contractor Registration No.: 15215425
Agent for Owner: RON SCHUECK Daytime Phone No.: 202 328 0134

LOCATION OF BUILDING/PREMISE

House Number: 26 Street: OXFORD STREET
Town/City: CHEVY CHASE Nearest Cross Street: BROOKEVILLE ROAD
Lot: 6 Block: 55 Subdivision: SECTION 2
Liber: 29030 Folio: 637 Parcel: NA

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # 418262
SEE EXHIBIT B

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ronald Schneider Jr Signature of owner or authorized agent 3/20/07 Date

Approved: Julia O'Malley For, Chairman, Historic Preservation Commission Date: 4-12-07

Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 447979 Date Filed: _____ Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	26 Oxford Street, Chevy Chase	Meeting Date:	04/11/2007
Applicant:	Marc and Eileen Weller (Ron Schneck, Architect)	Report Date:	04/04/2007
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Public Notice:	03/28/2007
Review:	HAWP	Tax Credit:	None
Case Number:	RETROACTIVE REVISION 35/1 5 ³ -06Y	Staff:	Anne Fothergill

PROPOSAL: Window and siding replacement and changes to approved rear and side additions

RECOMMENDATION: Approve

BACKGROUND

The HPC approved a HAWP application for a rear and side addition to this house in 2006. The HPC also proved an additional HAWP for landscape alterations and a garage in 2007.

The applicant initially hired an architect to design an addition to submit to the HPC for review and those plans did not show any changes to the existing house. The applicant then hired another architect to do the final construction drawings after receiving HPC approval. The second architect was not aware of the HPC process and applied for—and received—building permits from the Department of Permitting Services (DPS) without the required HPC stamp. At that time, the builder went ahead and began doing work on the house that had not yet been approved by the HPC. The applicant is now coming to the HPC for retroactive approval of the revised plans.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource, Chevy Chase Village Historic District
STYLE: Modern Neo Colonial
DATE: 1951

PROPOSAL

The applicants are proposing to revise their approved application with the following changes:

- Replace all the windows in the existing non-historic house with wood SDL windows
- Replace all the wood siding on the existing house with new wood siding to match
- Expand the approved footprint of the additions -- 75 SF at the rear and 25 SF on left side.
- Replace three doors with windows on the rear elevation of the addition

See proposed revised plans in Circles 8-17 and the approved plans in Circles 23-29.

Chevy Chase Village has reviewed and approved these proposed revisions.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for Chevy Chase Village (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

Regarding Non-Contributing resources, the *Guidelines* state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these types of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale, massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of non-contributing/out-of-period resources should be permitted. However, any new building should be reviewed under the guidelines for new construction that follow.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time portrayed by the district.
- Preserving the integrity of contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

- Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

It is never ideal to review a retroactive application after the changes have been made especially with something as major as window and siding replacement. However, this house is a Non-Contributing resource and, according to the *Guidelines*, "HAWP applications for exterior alterations, changes, and/or additions to these types of resources should receive the most lenient level of design review."

The proposed replacement of the windows and siding with wood windows and siding is appropriate and in keeping with the historic district. The slight increase in footprint of the additions is a small change as is the rear elevation fenestration change and these revisions will not adversely affect the historic district.

Staff recommends retroactive approval of these changes to the approved plans.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and provided the conditions listed on Circle 1 are met;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850
246 777-4376

DPS - #8

447979

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RON SCHUECK
Daytime Phone No.: 202 320 0134

Tax Account No.: _____
Name of Property Owner: MARC WELLER Daytime Phone No.: 202 409 1551
Address: 26 OXFORD STREET CHEVY CHASE 20815
Street Number City State Zip Code
Contractor: ELLIS PENNING CONST. Phone No.: 301 948 0523
Contractor Registration No.: 15215425
Agent for Owner: RON SCHUECK Daytime Phone No.: 202 320 0134

LOCATION OF BUILDING/PREMISE

House Number: 26 Street: OXFORD STREET
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD
Lot: 6 Block: 55 Subdivision: SECTION 2
Liber: 29030 Folio: 637 Parcel: NA

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # 418262
SEE EXHIBIT B

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ronald Schueck 3 | 20 | 07
Signature of owner or authorized agent Date

Approved: L For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 447979 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE EXHIBIT A

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE EXHIBIT A

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS ON DRAWINGS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** NOT REQUIRED - PREVIOUS PERMIT UNDER

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** NOT REQUIRED - PREVIOUS PERMIT UNDER

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS** - NOT REQUIRED - UNDER PREVIOUS PERMIT

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**Application for Historic Area Work for
26 Oxford Street, Chevy Chase, MD 20815
Exhibit A**

1. Written Description of Project

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

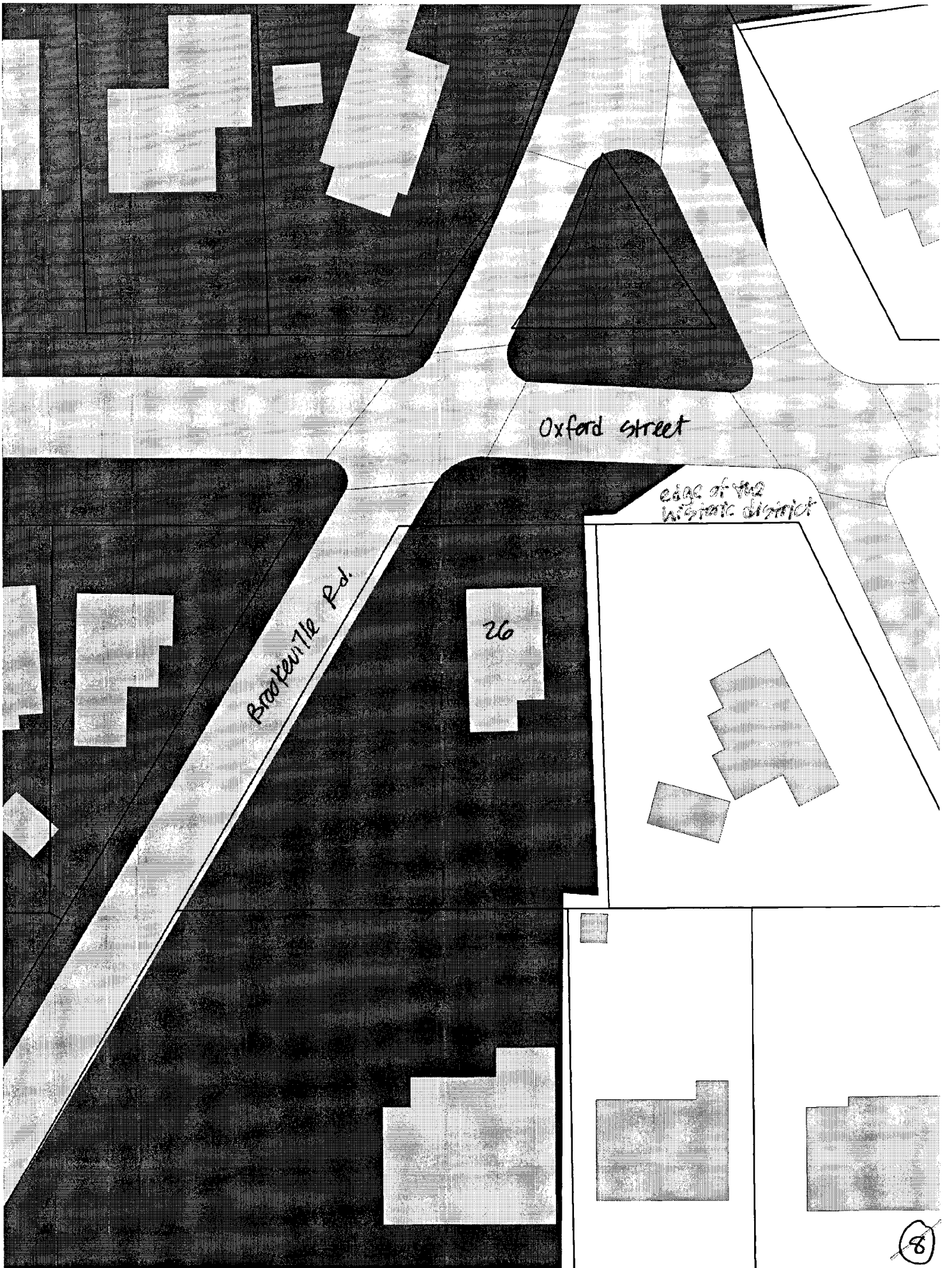
Description of Work under previous Application:

- Replace asphalt shingle roof with Vermont slate roof
- Remove one-story rear sunroom
- Remove existing brick/concrete patio at rear
- Realign driveway and install new brick herringbone strip driveway with grass center strip
- Construct 800 SF footprint two-story rear addition
- Construct 150 SF one-story left side addition
- Remove two sycamore trees at left side of house along driveway
- Transplant and plant new trees as part of landscape plan

b. General description of project and its effects on the historic resource(s), the environmental setting, and where applicable, the historic district:

Revisions to Work under previous Application:

- Increased 800 SF footprint two-story rear addition to the south 875 SF (Apparent in "bump-out" at rear of house)
- Increased 150 SF one-story left side addition to the north 175 SF (Apparent on East Elevation)
- Replacement of existing windows with new better-performing double hung windows with simulated divided lights. Sizes and detailing will be consistent with original windows and trim
- The existing wood siding will be replaced with new wood siding in kind, meaning that the board size, thickness and overlap will be similar to original



Oxford street

edge of the historic district

Brayville Rd.

26

GENERAL NOTES

- 1) WATER CATEGORY - 1 SEWER CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED DECEMBER, 2004.
- 3) TWO-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED DECEMBER, 2004.
- 4) TOTAL LOT AREA: LOT 6 = 12,440 SQ. FT.
- 5) PROPERTY SHOWN ON TAX MAP H564, LOT 4, BLOCK 55, CHEVY CHASE SECTION 2.
- 6) PROPERTY SHOWN ON H56C 2007 SHEET 205 NH 04.
- 7) PROPERTY SHOWN ON MONTGOMERY COUNTY BOLS SURVEY MAP NO. 27, SOIL TYPE(S): SUB.
- 8) FLOOD ZONE V1 PER FEMA FIRM MAPS, COMMUNITY PANEL NUMBER 26004 0191 C.
- 9) SITE IS LOCATED IN THE LOWER ROCK CREEK WATERSHED.
- 10) LOCAL UTILITIES INCLUDE:
WATER & SEWER - WASHINGTON SUBURBAN SANITARY COMMISSION
ELECTRIC - PEPCON
TELEPHONE - VERIZON
GAS - WASHINGTON GAS
- 11) ALL DOWNSPUTS TO BE DIRECTED AWAY FROM ALL STRUCTURES AND TOWARDS THE STREET.
- 12) IN ACCORDANCE WITH THE CHEVY CHASE VILLAGE CHARTER, SECTION 14-14 (C), THE SUBJECT PROPERTY IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS.

ZONING DATA

- 1) ZONING: R-60
MIN. LOT AREA = 6,000 SQ. FT.
MIN. LOT WIDTH AT R/W = 25 FT.
MIN. LOT WIDTH AT B.S.L. = 40 FT.
FRONT B.S.L. = 25 FT.
REAR B.S.L. = 30 FT.
SIDE B.S.L. = 7 FT. FOR EACH SIDE + PLAT RECORDED PGS
- 2) VERIFY BUILDING HEIGHT: IN ACCORDANCE WITH SECTION 54-C-1.02 OF ZONING ORDINANCE.
HEIGHT OF BUILDING FROM FIRST FLOOR TO PEAK = 25.0 FT. (PER ARCHITECT)
FIRST FLOOR ELEVATION = 56.90 FT. (EXISTING)
HEIGHT OF BUILDING TO PEAK ELEVATION @ PEAK HEIGHT OF BUILDING = 39.00 FT.
AVERAGE GRADE IN FRONT OF HOUSE = 56.00 FT.
HEIGHT OF BUILDING = 39.00 - 56.00 = 33.00 FEET
ALLOWABLE HEIGHT OF BUILDING = 35 FEET TO PEAK
PROPOSED HEIGHT OF BUILDING = 37.00 FEET TO PEAK
- 3) VERIFY LOT COVERAGE IN ACCORDANCE WITH SECTION 54-C-1.02B OF ZONING ORDINANCE.
ALLOWABLE LOT COVERAGE 50% ON TOTAL LOT AREA
LOT 6 = 12,440 SQUARE FEET (TOTAL PLAT)
12,440 * 0.50 = 6,220 SQUARE FEET
ALLOWABLE AREA TO BE COVERED BY BUILDINGS (INCL. ACCESSORY BUILDINGS) = 6,220 SQUARE FEET
TOTAL AREA COVERED BY BUILDINGS = 3,000 SQUARE FEET

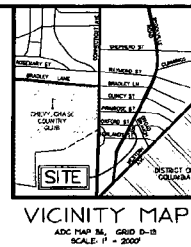
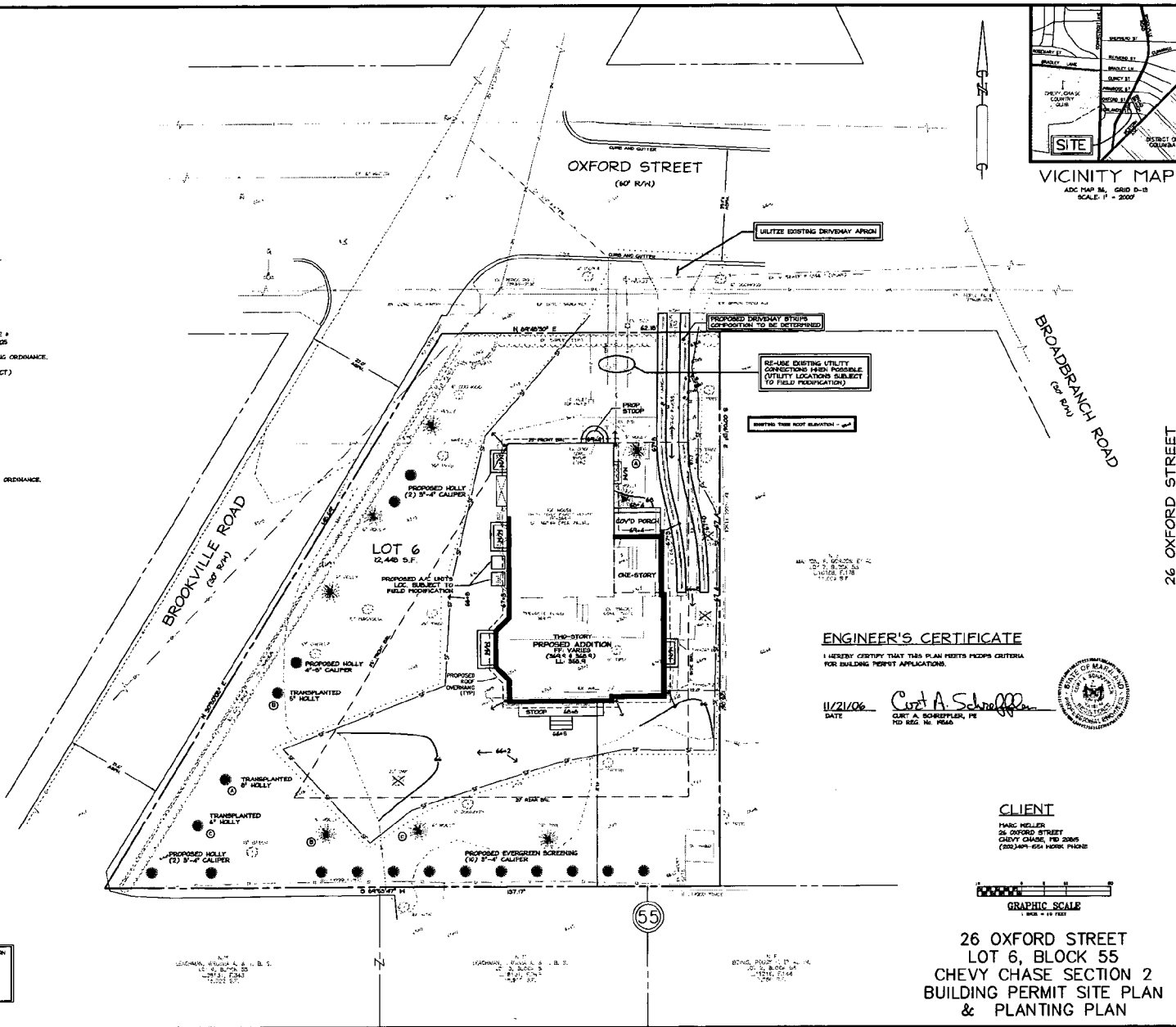
LEGEND

EXISTING FEATURES	
○	EX. STORY DRAIN WITH HANDLE
○	EX. SEWER LINE WITH CLEANOUT
○	EX. SEWER HANDLE AND INVERT
○	EX. WATER LINE WITH VALVE
○	EX. GAS LINE WITH VALVE
○	EX. OVERHEAD UTILITY WITH POLE
○	EX. UNDERGROUND UTILITY LINE
○	EX. TWO- AND TEN-FOOT CONTOURS
○	EX. SPOT ELEVATION
○	EX. DRAIN LINK OR WIRE FENCE
○	EX. WOOD FENCE
○	EX. TREES (TO BE REPAIRED)
○	EX. TREES (TO BE REMOVED)
○	EX. HEDGE

PROPOSED FEATURES	
---	PROP. IN-C
---	PROP. SEWER-HOUSE CONNECTION
---	PROP. GAS-HOUSE CONNECTION
---	PROP. ELECTRIC-HOUSE CONNECTION
---	PROP. CONTOUR WITH ELEVATION
○	PROP. SPOT ELEVATION
○	PROP. TREE OR TRANSPLANTED TREE
---	PROP. RETAINING WALL
---	PROP. 8" AND 4" PVC PIPE
---	PROP. CONCRETE AND FLOOR-PATH
---	PROP. SILT FENCE

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL MISS UTILITY AT 1-800-267-7777, OR LOG ON TO MISS-UTILITY. NOTICES 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE OCCUPANT MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THESE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE OCCUPANT IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 33A OF THE MONTGOMERY COUNTY CODE.



DATE	PROJECT	DATE	PROJECT
NOV. '06	LOT 6, BLOCK 55	NOV. '06	LOT 6, BLOCK 55
04-221	BUILDING PERMIT	04-221	BUILDING PERMIT
JAR	PREPARED BY	JAR	PREPARED BY
JAR	CHECKED BY	JAR	CHECKED BY
CAS	APPROVED BY	CAS	APPROVED BY

BUILDING PERMIT SITE PLAN

LOT 6, BLOCK 55
CHEVY CHASE SECTION 2
BETHESDA (TTL) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN MEETS PECPD CRITERIA FOR BUILDING PERMIT APPLICATIONS.

11/21/06
DATE
G. A. Schreffler
DATE & SIGNATURE, PE
NO REG. NO. 16566

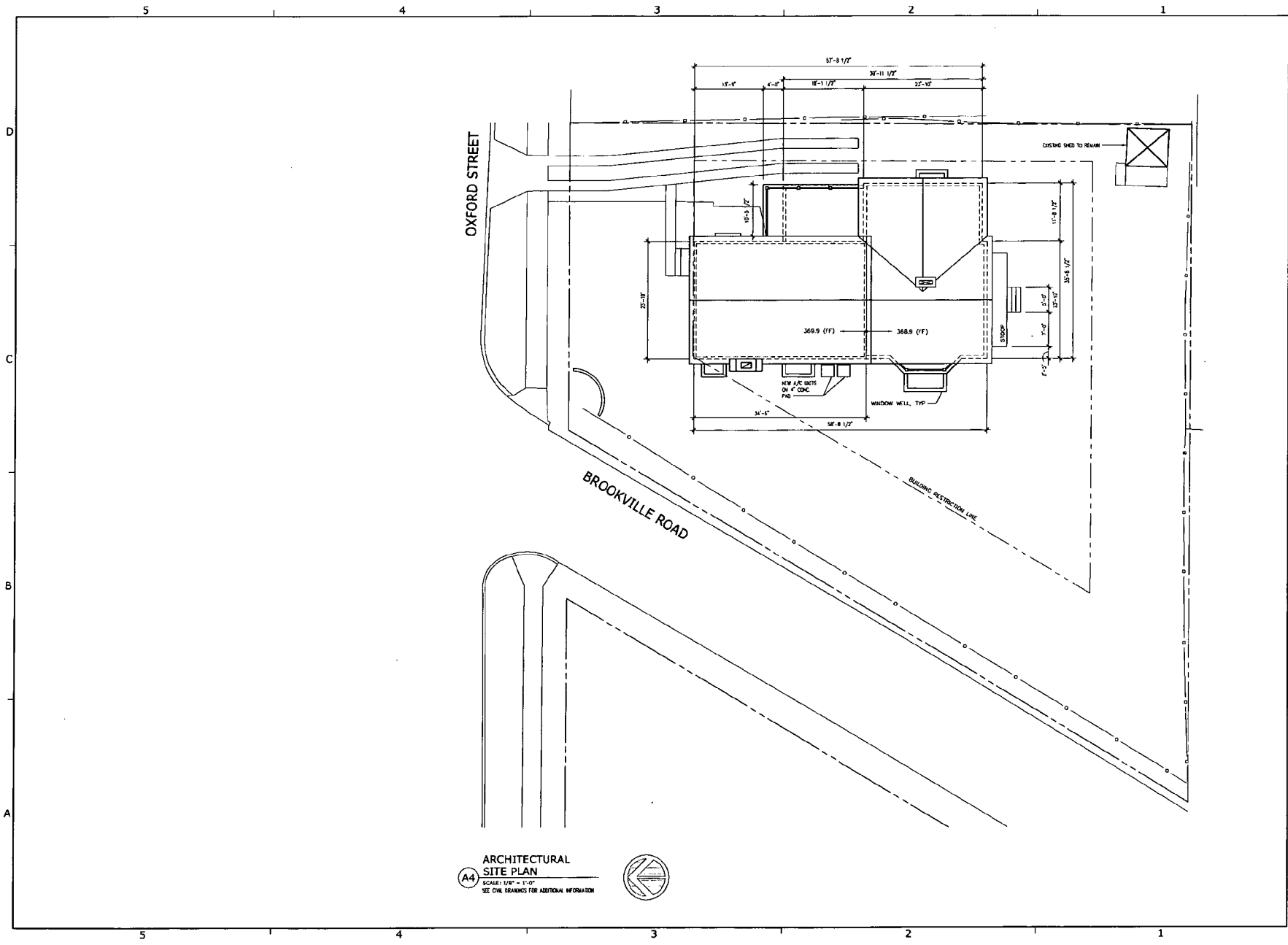


CLIENT

MARC NIELSEN
26 OXFORD STREET
CHEVY CHASE, MD 20815
(301)494-0514 WORK PHONE

26 OXFORD STREET
LOT 6, BLOCK 55
CHEVY CHASE SECTION 2
BUILDING PERMIT SITE PLAN
& PLANTING PLAN

ENGINEERING
CAS
CIVIL, SURVEYING & LAND PLANNING
A DIVISION OF CAS ENTERPRISES, INC.
100 West Ridgeview Boulevard, Suite 101, Mount Airy, Maryland 21771
DC Metro (301) 507-8031 FAX (301) 507-8045



ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"
 SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION



Square 134 Architects
 1316 First Street, Alexandria, Virginia 22314
 www.square134.com (202) 362-0134 • (800) 315-3615

CONSULTANTS

STAMP

PROJECT
Weller Residence
 26 Oxford Street
 Chevy Chase, MD 20815

DRAWING TITLE
ARCHITECTURAL SITE PLAN

REVISIONS
 Schematic Design Set: 09-27-06
 Permit Review Set: 10-25-06
 Planning Meeting: 11-13-06
 Permit Set: 12-06-06






PROJECT NO.
 06004.00
 DRAWN BY:
 -
 SCALE:
 As Noted
 DATE:
 12-01-06
 DWG. NO.

A1.00

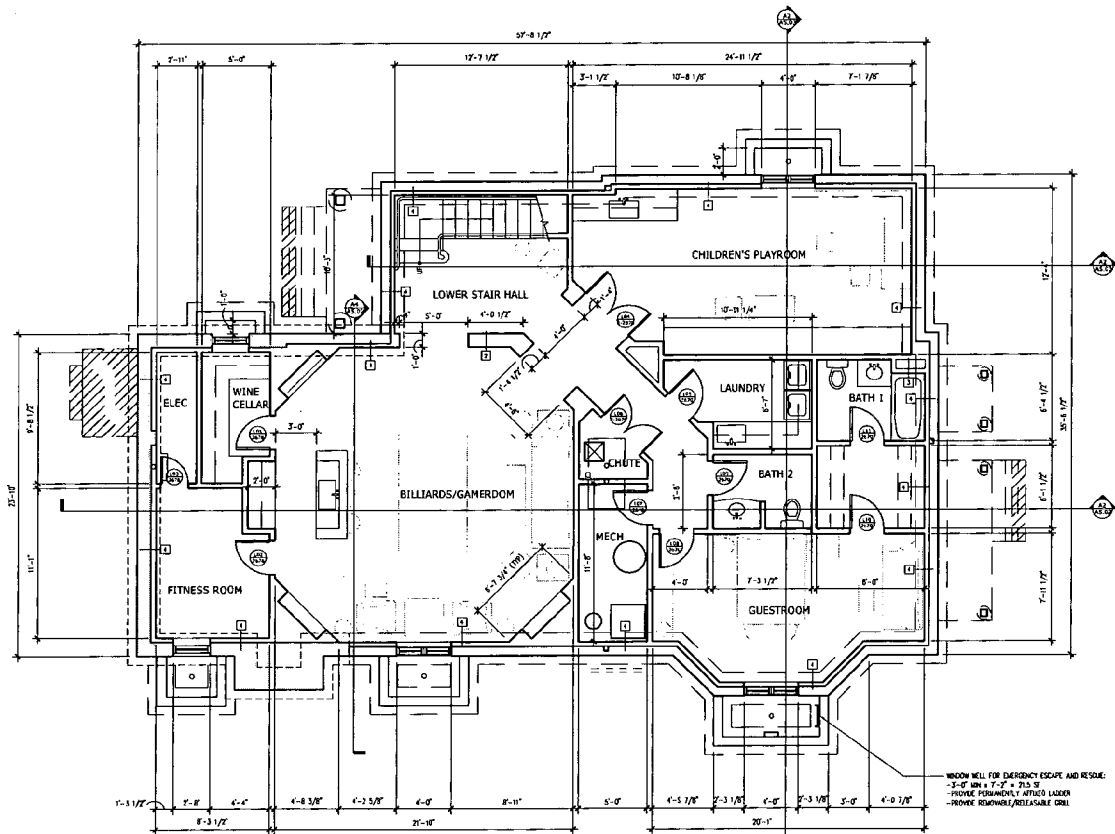
GENERAL FLOOR PLAN NOTES

1. ALL EXTERIOR WALLS TO BE STANDARD 2x6 CONSTRUCTION, 1/2" GIP BO INSIDE WITH VAPOR BARRIER ON WOOD SIDE, 1/2" EXTERIOR GRADE PLYWOOD, ROOF SING AND JOIN ASSEMBLY. PROVIDE CONTINUOUS R-21 INSULATION. PROVIDE TRIM OR EQUAL EXTERIOR VAPOR PERMEABLE WATERSTOPPING ON EXTERIOR SIDE OF PLYWOOD. CONTINUE TRIM AND ALL OPENINGS AND SEAL WITH WATERPROOF TAPE. KEEP MANUFACTURER'S NAME IN HORIZONTAL POSITION AT ALL TRIMS FOR PROPER GRAIN DIRECTION - 1" TOTAL THICKNESS.
2. ALL INTERIOR PARTITION WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GIP BO BOTH SIDES. BLOCKING WHERE REQUIRED FOR BILLYCASKS. PROVIDE SOUND ATTENUATION BARRIERS BETWEEN CHILDREN'S ROOM, BEDROOMS, BATHROOMS, AND BILLIARD ROOM - 6-1/2" TOTAL THICKNESS, PARTITION TYPE 2.
3. ALL INTERIOR INTERIOR WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GIP BO BOTH SIDES. BLOCKING WHERE REQUIRED FOR MILLWORK - 4 1/2" TOTAL THICKNESS, PARTITION TYPE 1.
4. ALL INTERIOR PLUMBING WALLS TO BE STANDARD 2x4 CONSTRUCTION TO ACCOMMODATE KEYS AND SOLE STACKS. PROVIDE SOUND ATTENUATION INSULATION AROUND ALL STACKS.
5. PROVIDE R-30 BATT INSULATION IN ALL INTERIOR/ EXTERIOR CEILING.
6. PROVIDE BLOCKING FOR ELECTRICAL WIRE REQUIRED.
7. COMPLETE PLUMBING LINES AND RISERS TO HANDED ROOF, FLOOR AND WALL FINISHINGS WORK TIES.
8. PATCH AND REPAIR ANY INDENTATIONS OR DAMAGE TO CEILING, WALLS OR FLOORS, INCLUDING ATIC PANELS.
9. REFER TO ADR FOR SYMBOL LEGENDS AND GENERAL NOTES.
10. SEE A3 SERIES FOR MPE NOTES.

INTERIOR PARTITION TYPE LEGEND

-  EXISTING PARTITION TO REMAIN
-  PARTITION TYPE 1
-  PARTITION TYPE 2
-  PARTITION TYPE 3
-  PARTITION TYPE 4

SEE WALL SECTIONS ON A4 SERIES SHEETS FOR EXTERIOR WALL TYPES








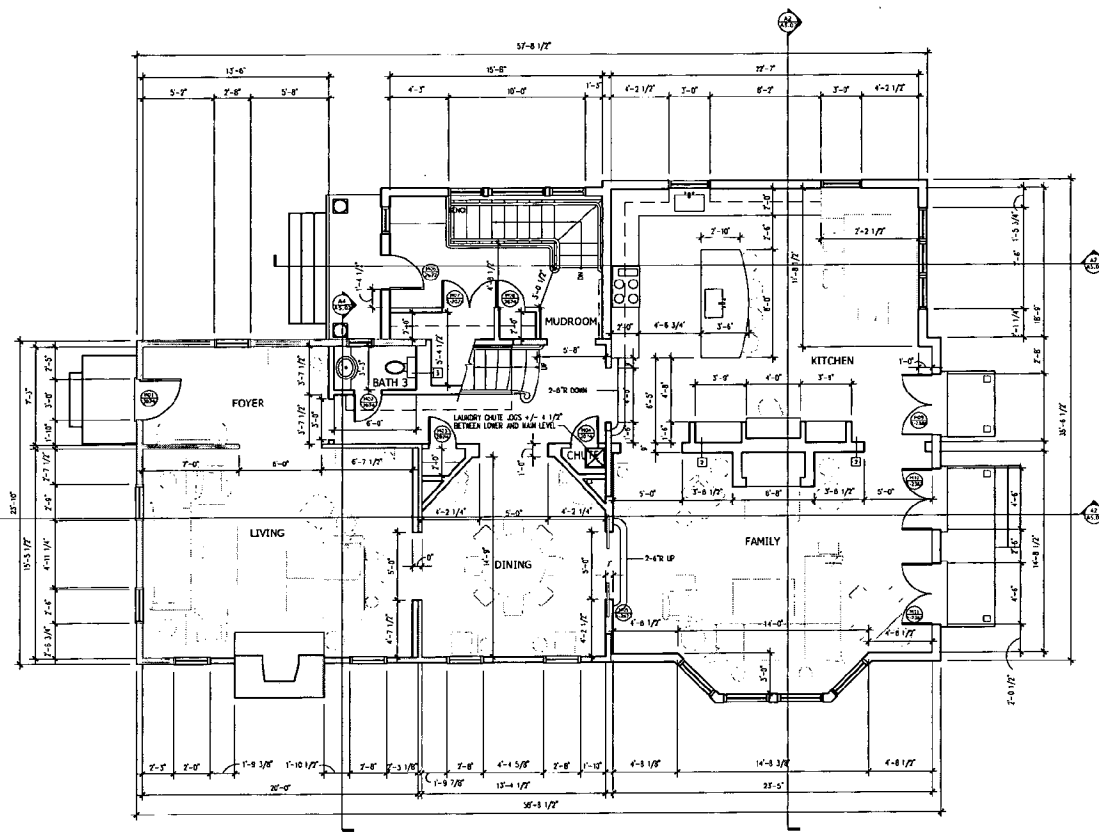
LOWER LEVEL FLOOR PLAN
 A4 SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. ALL EXTERIOR WALLS TO BE STANDARD 2x6 CONSTRUCTION, 1/2" GYP BD INTERIOR WITH VAPOR BARRIER ON WARM SIDE, 1/2" EXTERIOR BRICK PL-MOOD, WOOD SINGE AND TIE ASSEMBLY. PROVIDE CONTINUOUS 8-25 BIRN BATT INSULATION. PROVIDE TYVEK OR EQUAL EXTERIOR VAPOR PERMEABLE WATERPROOFING ON EXTERIOR EXPOSED SIDE OF BRICK. FOR BATH TYPE W/DO ALL OPENINGS AND SEAL WITH WATERPROOF TAPE. KEEP MANUFACTURES NAME IN HORIZONTAL POSITION AT ALL TIMES FOR PROPER GRAIN DIRECTION - 8" TOTAL THICKNESS.
2. ALL INTERIOR BEARING WALLS TO BE STANDARD 2x6 CONSTRUCTION, 1/2" GYP BD BOTH SIDES, BLOCCING WHERE REQUIRED FOR WALLWORK - 1 1/2" TOTAL THICKNESS, PARTITION TYPE "Y".
3. ALL NONBEARING INTERIOR WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GYP BD BOTH SIDES, BLOCCING WHERE REQUIRED FOR WALLWORK - 1 1/2" TOTAL THICKNESS, PARTITION TYPE "Y".
4. ALL INTERIOR PLUMBING WALLS TO BE STANDARD 2x4 CONSTRUCTION TO ACCOMMODATE VENTS AND SOIL STACKS. PROVIDE SOUND ATTENUATION INSULATION AROUND ALL STACKS.
5. PROVIDE R-30 BATT INSULATION IN ALL INTERIOR/ EXTERIOR CEINGS.
6. PROVIDE BLOCCING FOR ELECTRICAL WHERE REQUIRED.
7. COORDINATE PLUMBING LINES AND RISERS TO MANAGE ROOF, FLOOR AND WALL PENETRATIONS WHERE FEASIBLE.
8. PATCH AND REPAIR ANY HOLES/PLUGS OR DAMAGE TO CEILING WALLS OR FLOORS, INCLUDING ATRE FINISHES.
9. REFER TO ADRS FOR SYMBOL LEGENDS AND GENERAL NOTES.
10. SEE A3 SERIES FOR W/P NOTES.

INTERIOR PARTITION TYPE LEGEND

-  EXISTING PARTITION TO REMAIN
 -  PARTITION TYPE 1
 -  PARTITION TYPE 2
 -  PARTITION TYPE 3
 -  PARTITION TYPE 4
- SEE WALL SECTIONS IN A3 SERIES SHEETS FOR EXTERIOR WALL TYPES



MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Square 134 Architects

1219 First Street - Alexandria, Virginia, 22314
www.square134.com - (703) 210-0134 - (703) 210-0135

CONSULTANTS

STAMP

PROJECT
Weller Residence

26 Oxford Street
Chevy Chase, ND 20815

DRAWING TITLE
MAIN LEVEL FLOOR PLAN

REVISIONS
Schematic Design Set 09-27-06
Permit System Set 10-25-06
Process Permitting 11-13-06
Permit Set 12-06-06

PROJECT NO.
06004.00
DRAWN BY:
SCALE:
As Noted
DATE:
12-01-06
DWG. NO.

A1.02

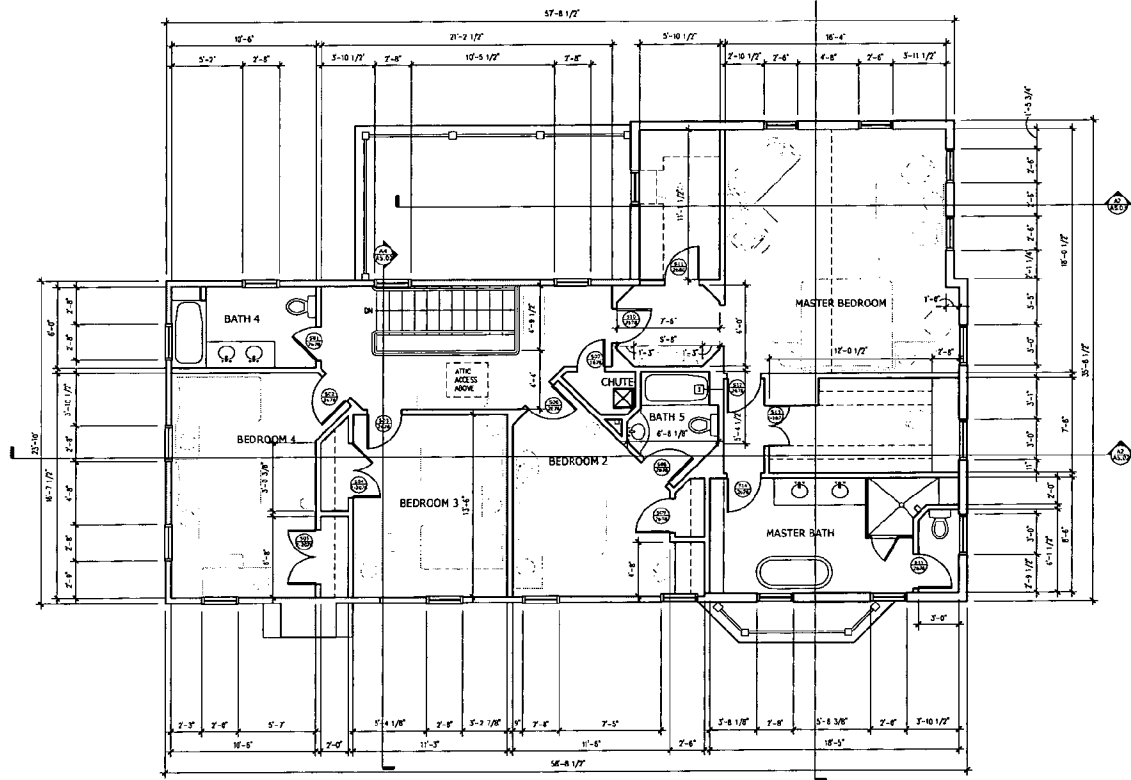
GENERAL FLOOR PLAN NOTES

1. ALL EXTERIOR WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GYP BD INTERIOR WITH VAPOR BARRIER OR WARM SEAL, 1/2" EXTERIOR GRADE PLYWOOD, WOOD SOILING AND 1x6 SOAKERS. PROVIDE CONTINUOUS R-13 MIN BATT INSULATION. PROVIDE TRIM OR EQUAL EXTERIOR VAPOR BARRIER. WATERPROOFING ON EXTERIOR SIDE OF PLYWOOD. CONTINUE TRIM INTO ALL OPENINGS AND SEAL WITH WATERPROOF TAPE. KEEP MANUFACTURER'S NAME IN HORIZONTAL POSITION AT ALL TIMES FOR PROPER GRAB DIRECTION - 8" TOTAL THICKNESS.
2. ALL INTERIOR BEARING WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GYP BS BOTH SIDES. BLOCKING WHEN REQUIRED FOR WALLS - 4" 1/2" TOTAL THICKNESS. PARTITION TYPE 7.
3. ALL NON-BEARING INTERIOR WALLS TO BE STANDARD 2x4 CONSTRUCTION, 1/2" GYP BS BOTH SIDES. BLOCKING WHEN REQUIRED FOR WALLS - 4" 1/2" TOTAL THICKNESS. PARTITION TYPE 7.
4. ALL INTERIOR PLUMBING WALLS TO BE STANDARD 2x4 CONSTRUCTION TO ACCOMMODATE KITS AND SIZ. STACKS. PROVIDE SOUND ATTENUATION INSULATION AROUND ALL STACKS.
5. PROVIDE R-30 BATT INSULATION IN ALL INTERIOR/ EXTERIOR CEILINGS.
6. PROVIDE BLOTTING FOR ELECTRICAL WHERE REQUIRED.
7. COORDINATE PLUMBING LINES AND RISERS TO KITCHEN ROOF, FLOOR AND WALL PENETRATIONS WHERE FEASIBLE.
8. PATCH AND REPAIR ANY HOLES/CRACKS OR DAMAGE TO CEILING, WALLS OR FLOORS, INCLUDING ATE PANELS.
9. REFER TO AEO FOR SYMBOL LEGENDS AND GENERAL NOTES.
10. SEE A3 SERIES FOR WFE NOTES.

INTERIOR PARTITION TYPE LEGEND

- EXISTING PARTITION TO REMAIN
- PARTITION TYPE 1
- PARTITION TYPE 2
- PARTITION TYPE 3
- PARTITION TYPE 4

SEE WALL SECTIONS ON A4 SERIES SHEETS FOR EXTERIOR WALL TYPES



SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Square 134 Architects

1314 First Street, Annapolis, MD 21401
www.square134.com (410) 338-0134 • (410) 315-8615 F

CONSULTANTS

STAMP

PROJECT
Weller Residence

25 Oxford Street
Chevy Chase, MD 28815

DRAWING TITLE
SECOND LEVEL FLOOR PLAN

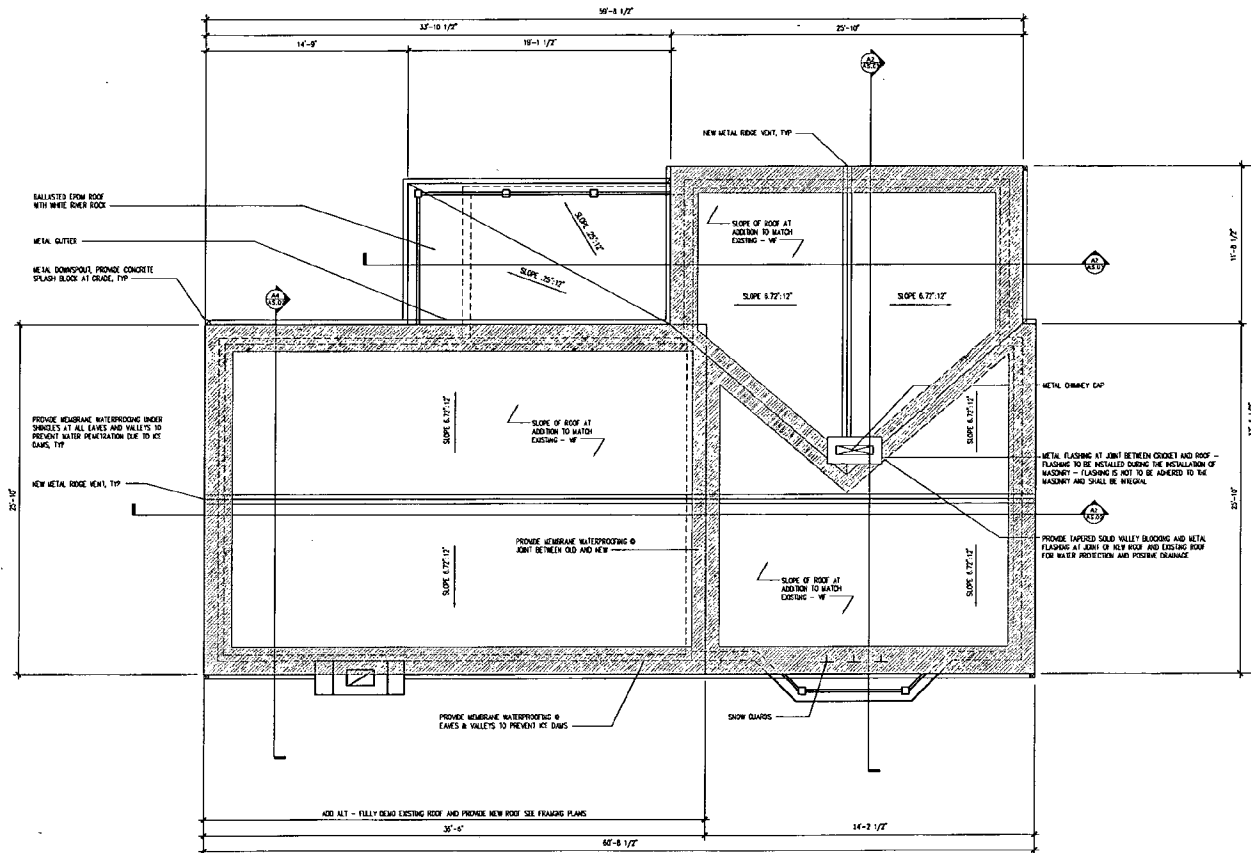
REVISIONS
Schematic Design Set 09-27-06
Permit Review Set 10-13-06
Pre-construction Set 11-13-06
Permit Set 12-08-06

PROJECT NO.
05004.80
DRAWN BY:
SCALE:
As Noted
DATE:
12-01-06
DWG. NO.

A1.03

GENERAL ROOF PLAN NOTES

1. PROVIDE NEW SLATE SHINGLES ON BRACING PAPER, AND, ASSURE PROPER DIRECTION OF SLOPE. PROVIDE DROPPETS AROUND FIREPLACE AS REQUIRED.
2. PROVIDE METAL FLASHING AROUND ALL ROOF PENETRATIONS.



A3 ROOF PLAN
SCALE: 1/4" = 1'-0"

CONSULTANTS

STAMP

PROJECT
Weller Residence
26 Oxford Street
Chevy Chase, MD 20815

DRAWING TITLE
ROOF PLAN

REVISIONS
Schematic Design Set 09-27-06
Permit Review Set 10-25-06
Permitting Meeting 11-13-06
Permit Set 12-05-06

PROJECT NO.
06004.00
DRAWN BY:
-
SCALE:
As Noted
DATE:
12-01-06
DWG. NO.

CONSULTANTS

STAMP

PROJECT
Weller Residence
26 Oxford Street
Chevy Chase, MD 20815

DRAWING TITLE
EAST & WEST ELEVATIONS

REVISIONS
Schematic Design Set 09-27-06
Interior Review Set 10-23-06
Progress Photos 11-13-06
Permit Set 12-05-06

PROJECT NO.
CGDD4.00

DRAWN BY:

SCALE:
As Noted

DATE:
12-01-06

DWG. NO.

A4.02

GENERAL ELEVATION NOTES

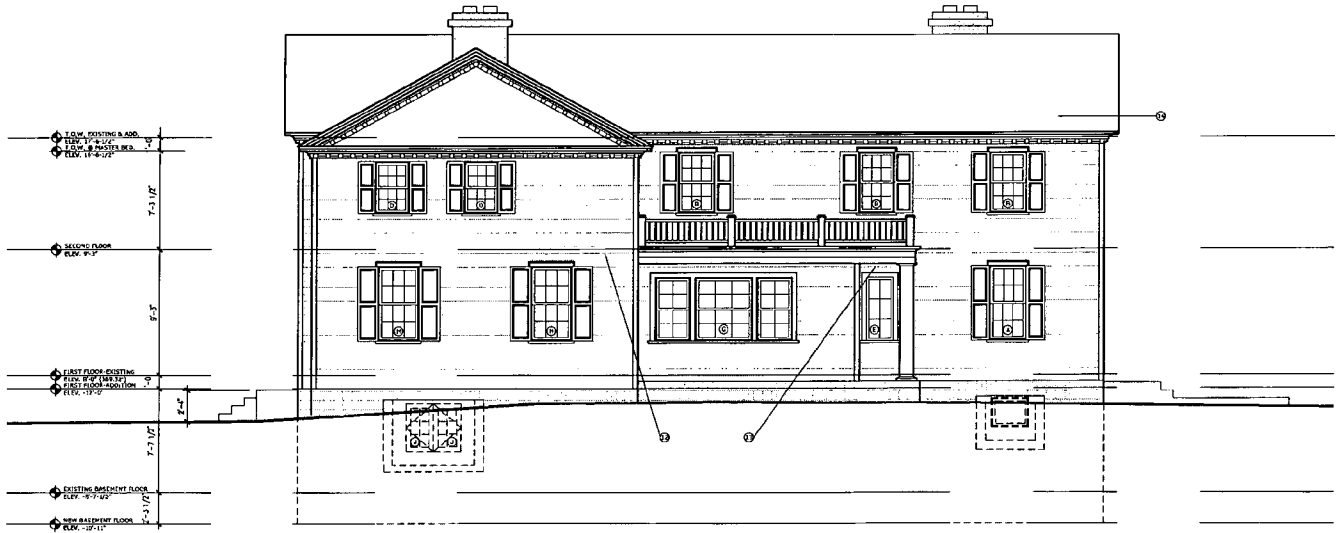
1. ALL PENETRATIONS AT THE ROOF/EAVES OR EXTERIOR WALL TO HAVE INSECT SCREENS.
2. ALL MECHANICAL PENETRATIONS AT THE EXTERIOR WALL TO HAVE METAL BRIDGEMENT SCREENS.
3. TRILLETS AND EAVES LINES WITH TWO BALDING PRODUCTS, OPERATED SELF-ADHERING MEMBRANE, OR EQUAL SUBSTITUTE (AS APPROVED BY THE OWNER).
4. SINGLE UNDERLAYMENT (FIBER BUILDING PRODUCTS GLASSFIBER ROLL ROOFING OR EQUAL SUBSTITUTE (AS APPROVED BY THE OWNER).
5. PROVIDE WHITE ALUMINUM CRSP EDGE ON THE EAVES AND RAKED EDGES.
6. PROVIDE 6" WHITE ALUMINUM OUTLETS WITH REMOVABLE OUTER CAUSE. USE WHITE VINYL LOCK-IN SHUTTER SCREENS AND 3/4" WHITE ALUMINUM DOWN SPOUTS.
7. SEE AS DS FOR NEW DOOR AND WINDOW TYPES.

ELEVATION KEYED NOTES

1. EXISTING MASONRY CHIMNEY
2. NEW CHIMNEY - VENEERED FACE BRICK TO MATCH EXISTING
3. EXISTING FRAM/ROOFINGS TO BE REPLACED OR REPAIRED AS REQUIRED
4. EXISTING WOOD SIDING TO BE REPLACED WITH NEW - 1/2" LAP SIDING
5. NEW WOOD PANELED SHUT
6. NEW EXTERIOR LIGHT FIXTURES - RED
7. LOCATION OF NEW VENTS FOR LAUNDRY AND OTHER LINED BATHROOM FANS
8. EXISTING ROOF SURROUND TO BE REPLACED OR REPAIRED AS REQUIRED
9. LOCATION OF NEW VENTS FOR VENT
10. LOCATION OF NEW COMPRESSOR UNITS FOR A/C - COOL WITH OWNER
11. NEW WINDOW WELL WITH DRAIN AND REMOVABLE GRATE, TYP FOR ALL
12. NEW VENT FOR KITCHEN RANGE HOOD
13. NEW VENT FOR BATHROOM FAN
14. NEW VENT FOR BATHROOM FAN
15. NEW SLATE ROOF

C4 WEST ELEVATION

SCALE: 1/4" = 1'-0"



A4 EAST ELEVATION

SCALE: 1/4" = 1'-0"



5

4

3

2

1

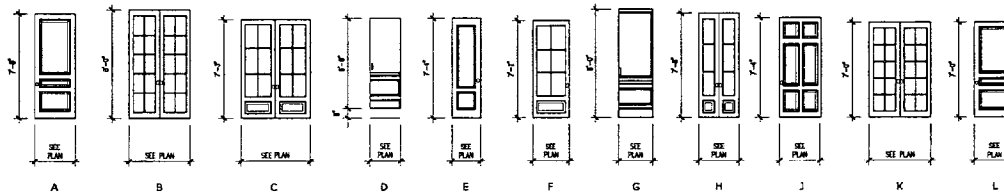
DOOR SCHEDULE

Mark	Type	Opening	Manufacturer	Door			Frame		Details			Label	Hardware	Remarks
				Material	Finish	Thickness	Material	Finish	Head	Jamb	Threshold			
L01	Q	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L02	D	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L03	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L04	X	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L05	K	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L06	L	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L07	K	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	PROVIDE LOWER AL DOOR FOR RETURN AIR
L08	L	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L09	L	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
L10	K	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W01	J	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W02	D	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W03	D	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W04	D	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W05	C	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W06	F	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W07	E	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W08	E	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W09	H	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W10	B	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
W11	B	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S01	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S02	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S03	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S04	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S05	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S06	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S07	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S08	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S09	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S10	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S11	C	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S12	A	SEE PLAN	--	WD	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--
S13	X	SEE PLAN	--	WD/GLASS	PNT	1 3/8"	WD	PNT	--	--	--	N/A	--	--

SEE SHEETS A7.01 THROUGH A7.11 FOR ADDITIONAL INFORMATION

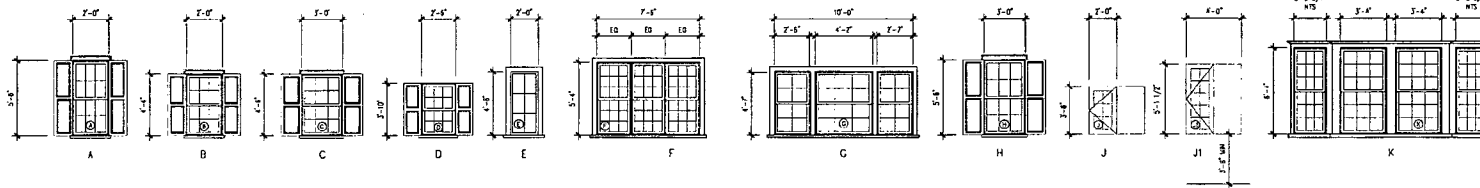
DOOR SCHEDULE NOTES AND KEY:
PNT - PAINT
WD - WOOD

- [1] DIMENSION, MATERIALS & INSTALLATION AS PER MANUFACTURER'S SPECIFICATION AND RECOMMENDATION
- [2] MATCH INTERIOR FINISH OF WINDOW TYPE, COLOR AND TYPE
- [3] CONTRACTOR TO COORDINATE DOOR FRAME DEPTH WITH PARTITION SIZE



CONCEALED
DOOR OPER-
ATION BASE
BOARD - SEE
A7.07.02

B1 DOOR TYPES
SCALE: 1/4" = 1'-0"



EMERGENCY ESCAPE/RESQ
WINDOW AT BASEMENT

A1 WINDOW TYPES
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

Mark	Frame Size	Type	Manuf.	Series Number	Frame		Details			Label	Hardware	Remarks
					Material	Finish	Head	Jamb	Threshold			
A	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	PROVIDE ATLANTIC PREMIUM SHUTTERS OR EQUIV.
B	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	PROVIDE ATLANTIC PREMIUM SHUTTERS OR EQUIV.
C	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	PROVIDE ATLANTIC PREMIUM SHUTTERS OR EQUIV.
D	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	PROVIDE ATLANTIC PREMIUM SHUTTERS OR EQUIV.
E	SEE ROUGH OPENING BELOW	CASHERMNT	CUSTOM	--	WOOD	PNT	--	--	--	--	--	--
F	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	--
G	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	--
H	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	PROVIDE ATLANTIC PREMIUM SHUTTERS OR EQUIV.
J	SEE ROUGH OPENING BELOW	CASHERMNT	CUSTOM	--	WOOD	PNT	--	--	--	--	--	--
J1	SEE ROUGH OPENING BELOW	CASHERMNT	CUSTOM	--	WOOD	PNT	--	--	--	--	--	EMERGENCY ESCAPE/RESQ WINDOW AT BASEMENT
K	SEE ROUGH OPENING BELOW	DOUBLE HUNG	CUSTOM	--	WOOD	PNT	--	--	--	--	--	--

NOTES:

1. BASE PRICING TO BE CUSTOM HIGH PERFORMANCE LOW-E WINDOWS, EQUAL TO OR EXCEEDING PERFORMANCE RATING OF ANDERSEN 400 SERIES. PROFILES TO MATCH EXISTING WINDOWS.
2. DEDUCT ALTERNATE: PROVIDE ANDERSEN 400 SERIES W/ SCREENS IN LIEU OF CUSTOM WINDOWS
3. ALL NEW OPERABLE WINDOWS TO HAVE INTEGRAL SCREENS.

Square 134 Architects

1119 First Street - Alexandria Virginia, 22314
www.square134.com - (703) 328-5134 P - (703) 311-3615 F

CONSULTANTS

STAMP

PROJECT

Weller Residence

25 Oxford Street
Cherry Chase, MD 20815

DRAWING TITLE

DOOR AND WINDOW SCHEDULE

REVISIONS

Schematic Design Set: 02-22-06
Permit Review: 04-10-06
Progress Pricing: 11-13-06
Permit Set: 11-09-06
Progress Pricing: 01-21-07

PROJECT NO.

06004.00

DRAWN BY:

AK

SCALE:

AS NOTED

DATE:

01-21-07

DWG NO.

A0.03



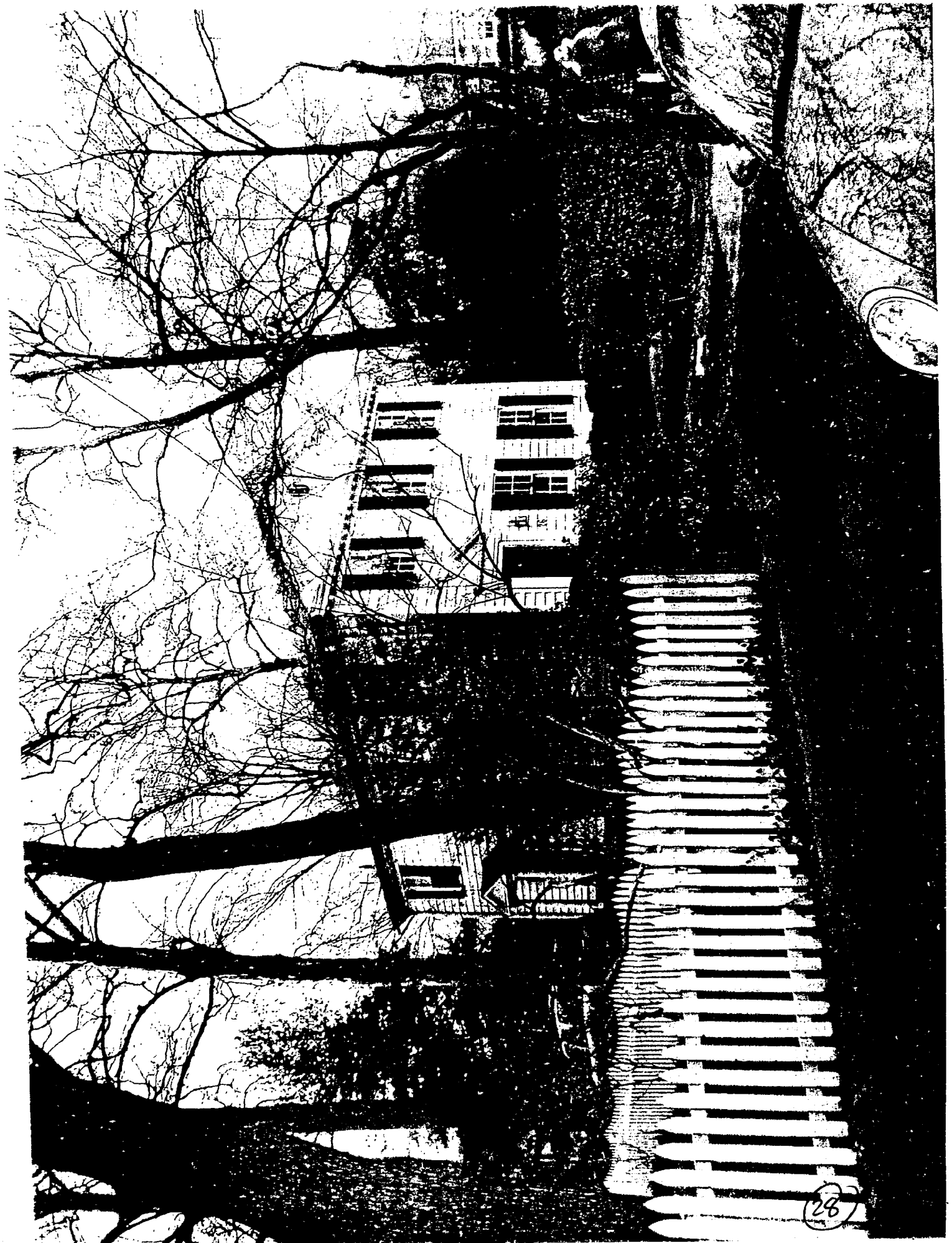
Weller Residence

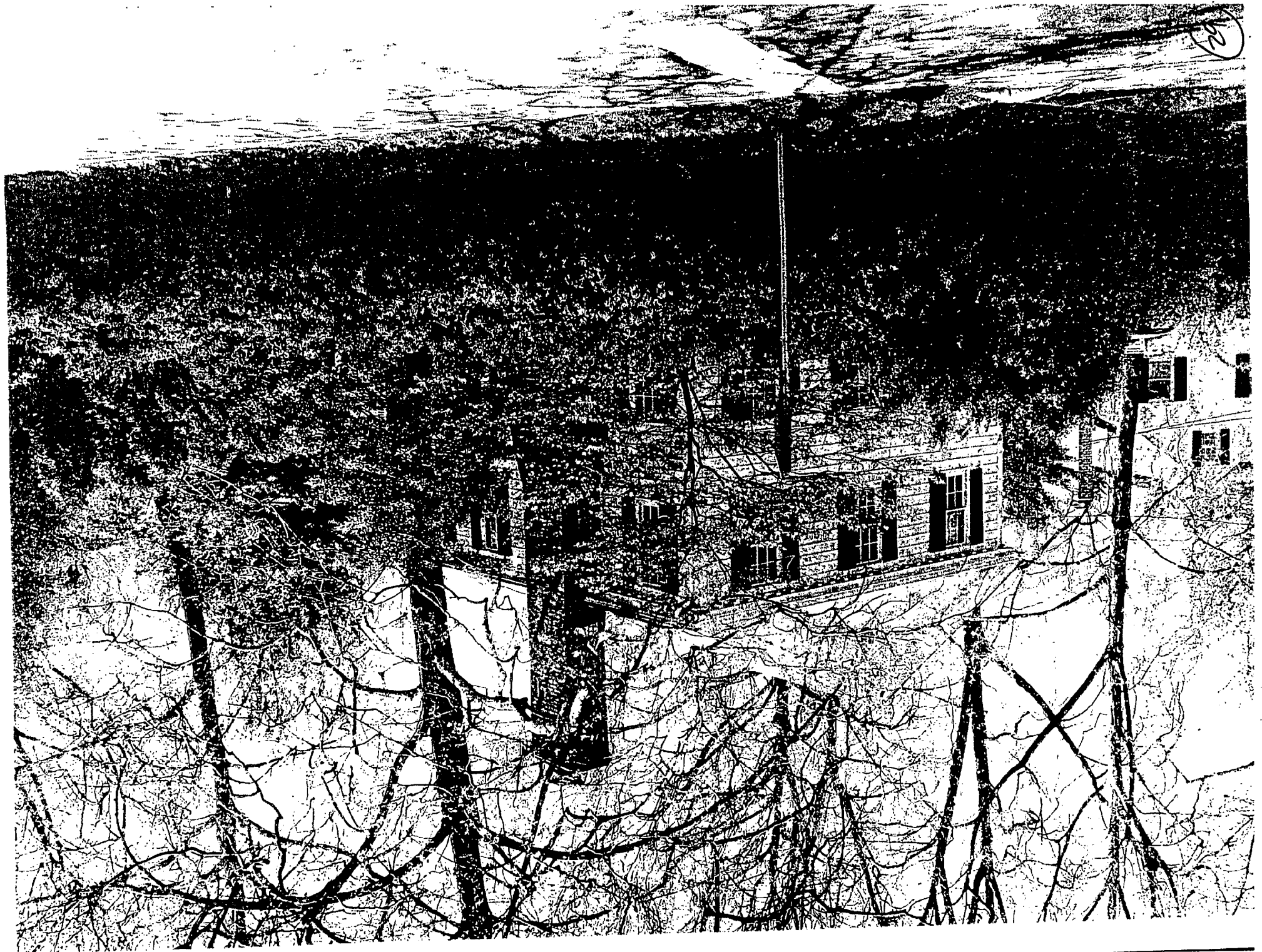
20 Oxford Street
Chevy Chase, Maryland

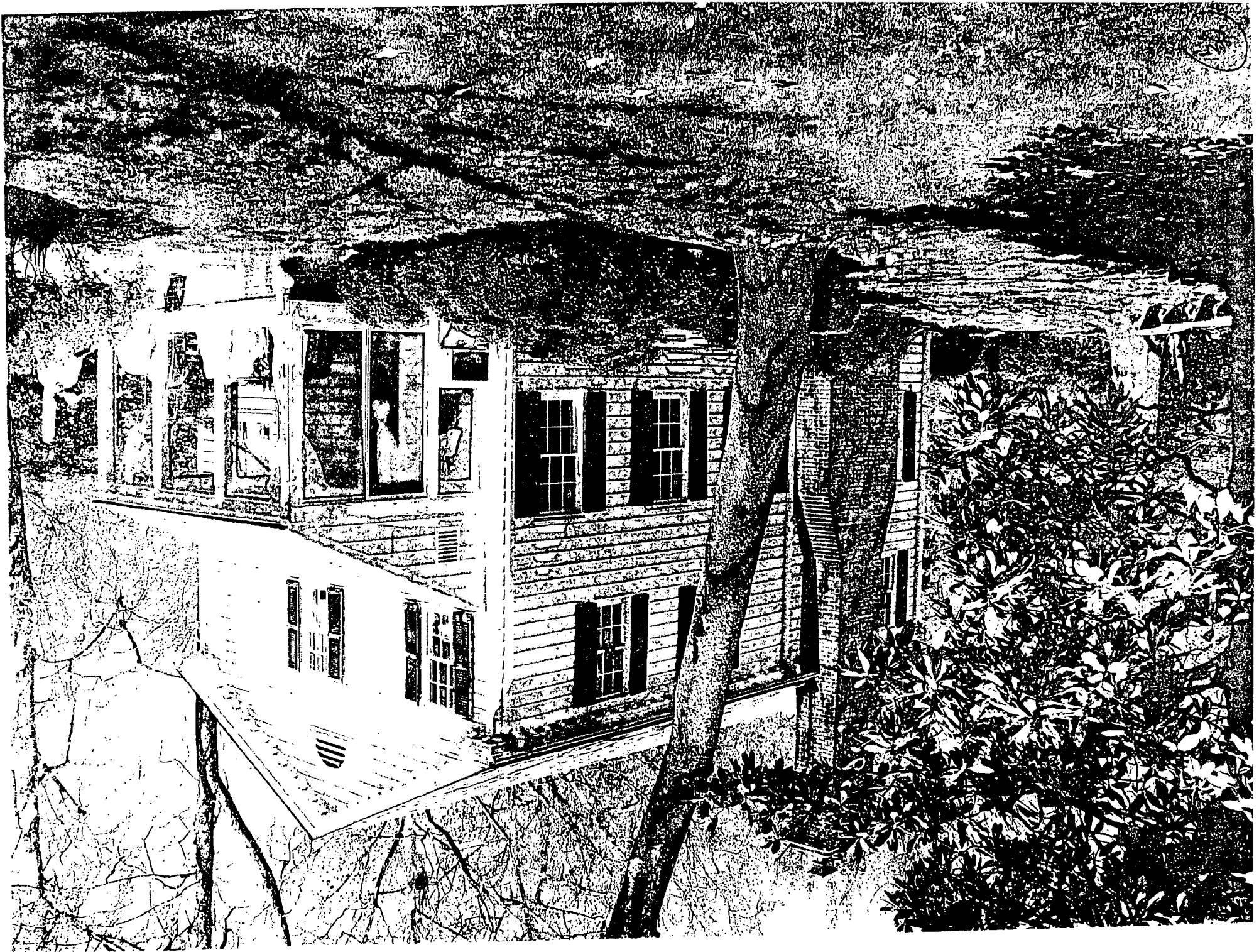
corrected west elevation

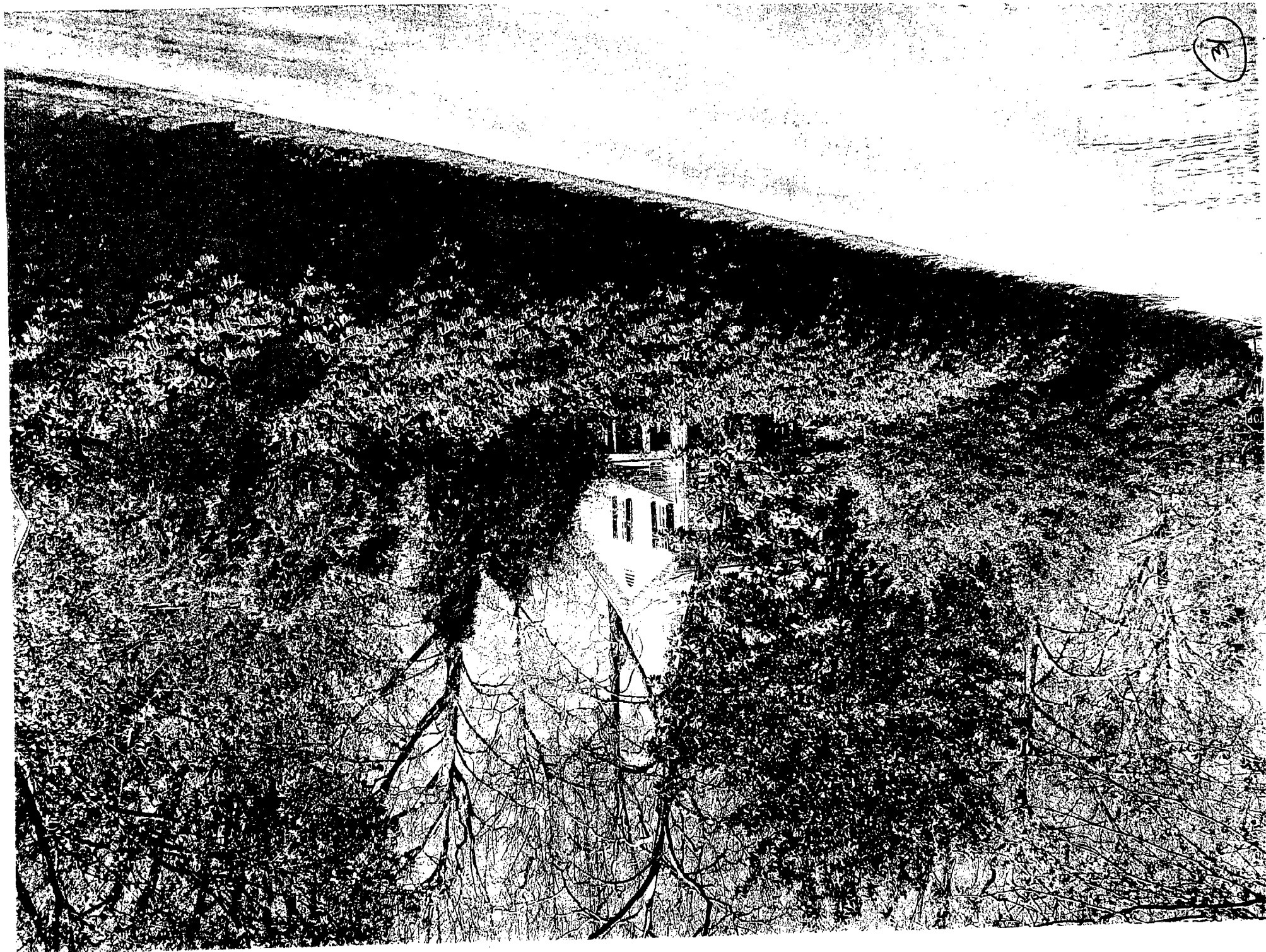
Square | 134 | Architects

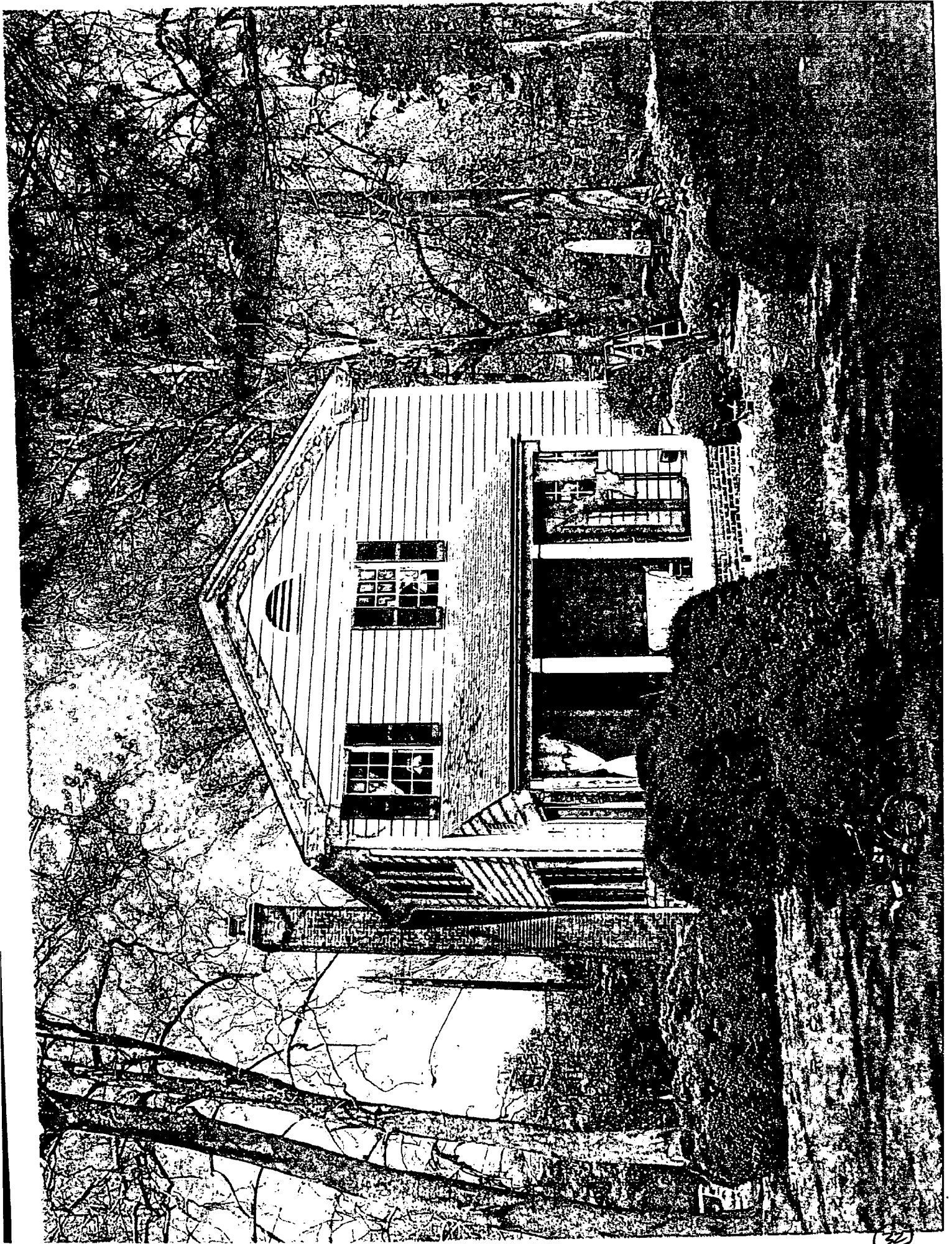
1219 First Street Alexandria Virginia, 22314 P (202) 328 0... F (202) 315 3615













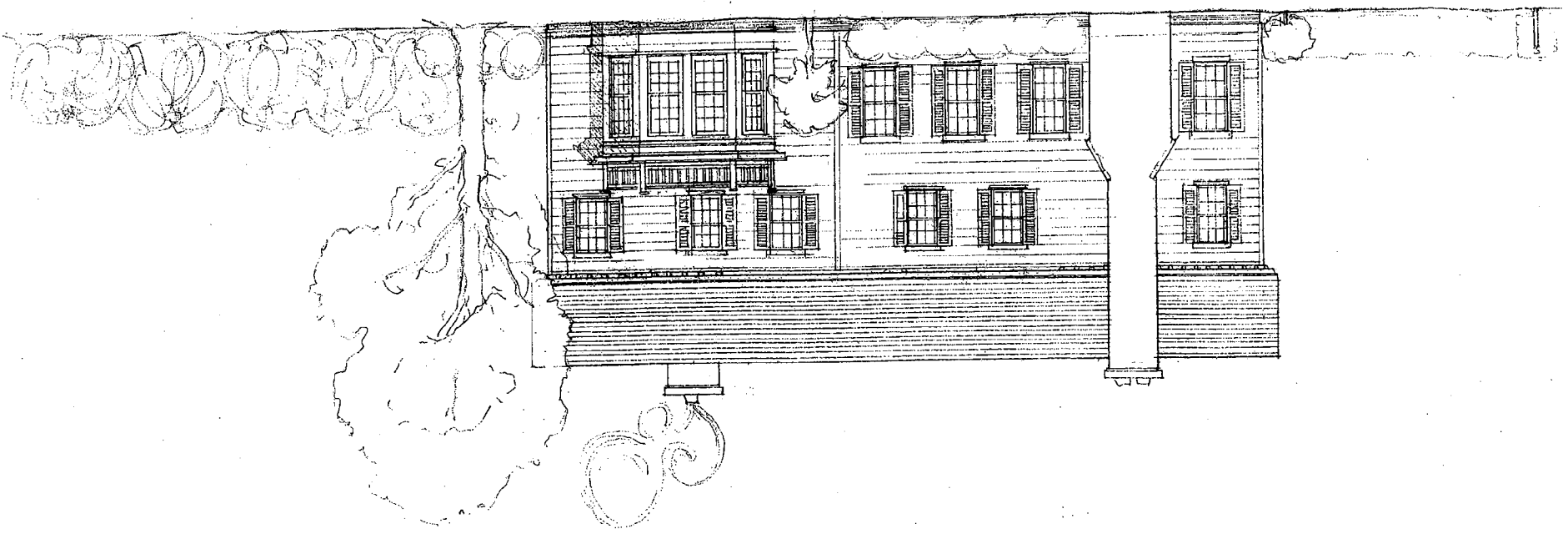
Proposed

Weller Residence • Front Elevation @ 1/8" = 1'-0" • David Lewis Architects • 4.12.06



14

proposed
Moller Residence • West Elevation @ 1/8"=1'-0" • David Jones Architects • 4-12-00

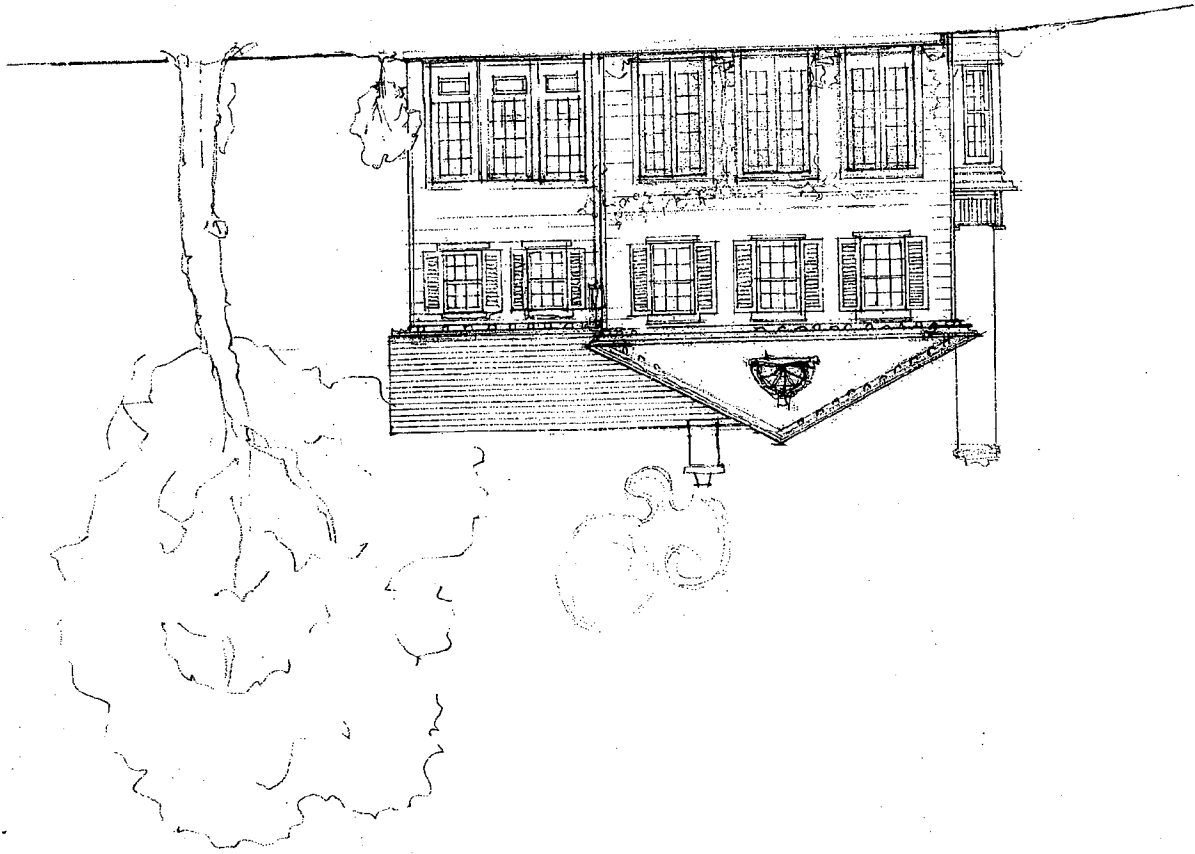




Weller Residence • Proposed East Elevation @ 1/8" = 1'-0" • David Jones Architects 4.12.06

23

proposed
Welles Residence • Garden Elevation @ 1/8" = 1'-0" • David Lewis Architects 4.12.06

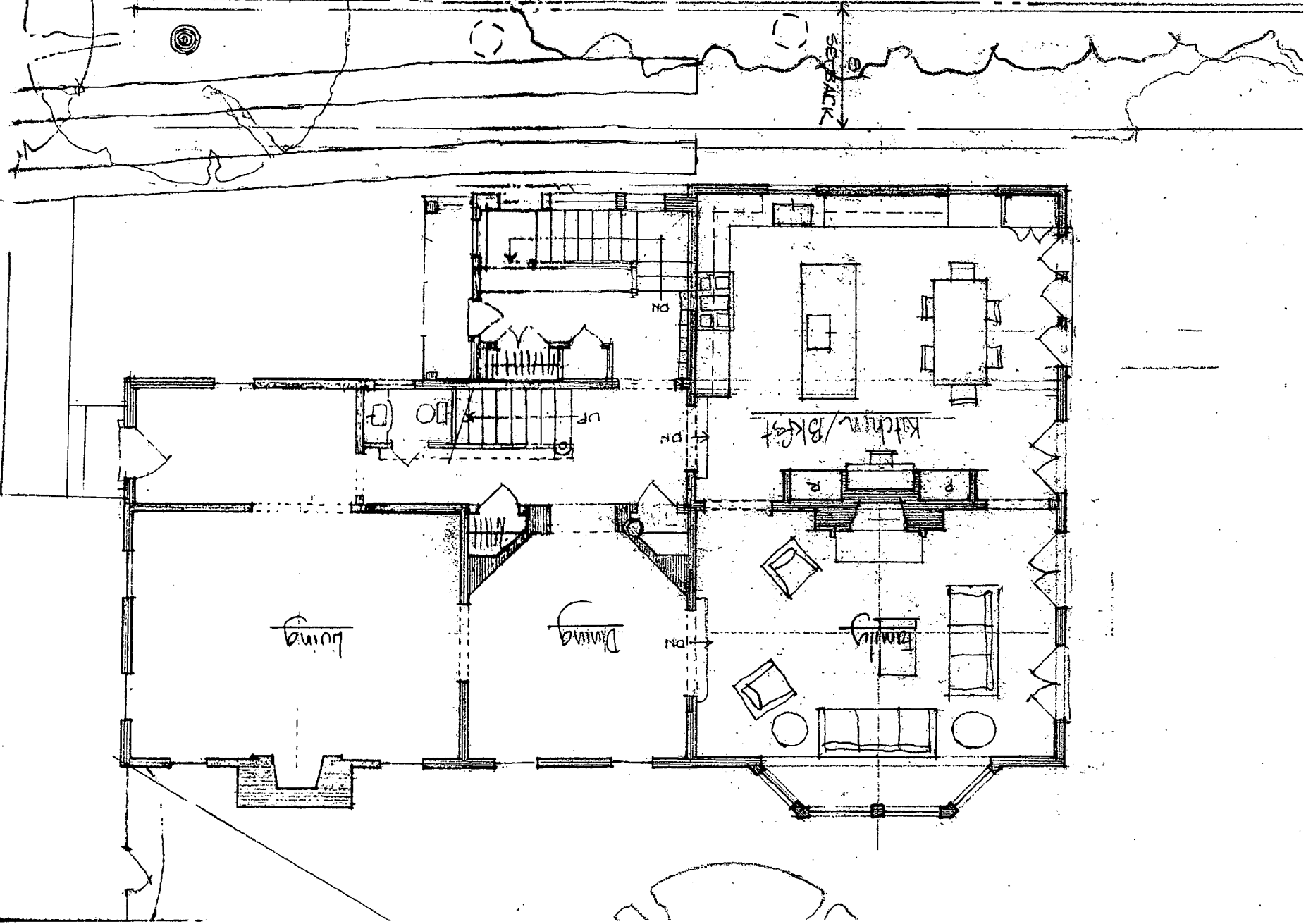


13

Proposed

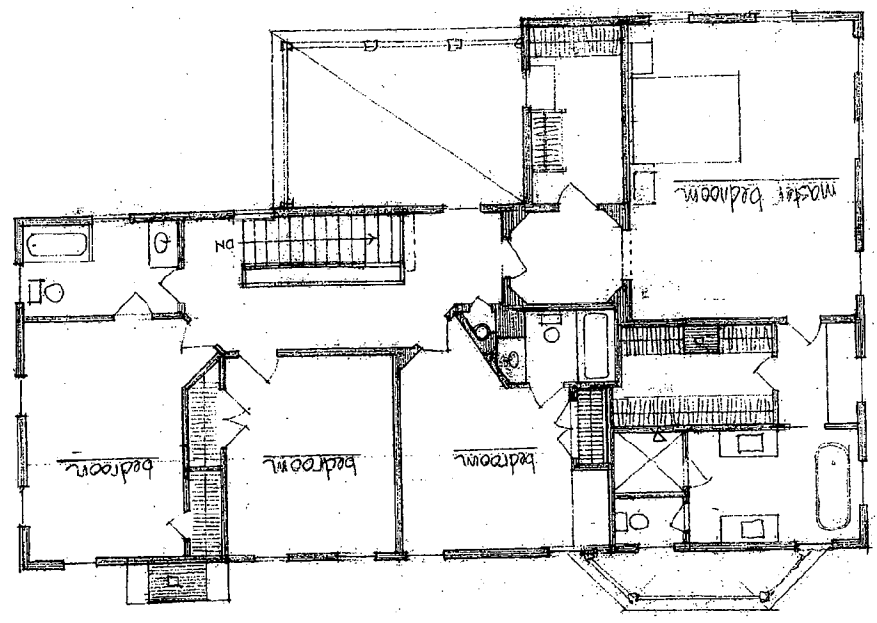
1st Floor Plan @ 1/8" = 1'-0"

David Jones Architects 4-12-02



21

Miller Residence • 2nd Floor Plan @ 1/8" = 1'-0" • David Lewis Architects 4.12.06
Proposed



Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, April 02, 2007 10:10 AM
To: 'gail.lucas@montgomerycountymd.gov'
Cc: 'reginald.jetter@montgomerycountymd.gov'
Subject: 26 Oxford

We wanted to let you know that 26 Oxford in Chevy Chase submitted Construction Drawings to DPS and they were able to receive building permits without the Historic Preservation Commission (HPC) stamp.

The owner had an approved Historic Area Work Permit (HAWP) from the HPC, but he had switched architects who did not know the HPC review process and the architect did not come to our office for stamping before applying for the building permits. After receiving the building permit from DPS, the owner took the plans to the Village of Chevy Chase and it was that office that noticed that the plans had not gotten final HPC approval. At that time our office was informed and staff noticed a number of changes that had been made to the plans since the HPC's review. The owner is now going back to the HPC for retroactive approval of another HAWP that reflects the changes.

We wanted to let you know that this had occurred. Please let me know if you have any questions.

Thanks,
Anne

Anne Fothergill
Historic Preservation Planner
Montgomery County Planning Department
Countywide Planning--Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>