

35/13-06H 3 Newlands St  
Chevy Chase Village Historic District, 35/13

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3 Newlands St, Chevy Chase	<b>Meeting Date:</b>	4/26/2006
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	4/19/2006
<b>Applicant:</b>	Dane Butswinkas (Mary Beth Elliott, Architect)	<b>Public Notice:</b>	4/12/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	none
<b>Case Number:</b>	35/13-06H	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	rear addition expansion		

**RECOMMENDATION:** Approve with Condition

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP application with the following condition:

- Tree protection measures, as necessary should be implemented prior to construction.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** c.1918

This property is one of the three large Craftsman residences built before World War I and set on multiple lots along the north side of Newlands Street. The subject property is a contributing resource despite changes to the front façade due to the quality of design and the degree of remaining integrity of the overall structure. The house and garage sit on a large relatively flat 12,500 SF lot.

**HISTORIC CONTEXT**

Excerpted from **Places from the Past: The Tradition of Gardez Bien in Montgomery County, MD**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

Chevy Chase is nationally recognized as a prototypical, turn-of-the-century streetcar suburb providing upscale residences in a comprehensively planned environment. The driving force behind the development of Chevy Chase was Senator Francis G. Newlands of Nevada. Newlands is recognized as one of the first entrepreneurs to appreciate the speculative implications of the streetcar. Chevy Chase gets its name from a 560-acre tract of land patented here in 1751 by Colonel Joseph Belt, known as "Cheivy Chace." The name has historic associations with a 1388 battle between England and Scotland that involved a border raid, or "chevauchee," of hunting grounds, known as a "chace."

Chevy Chase Village is an exceptional concentration of late nineteenth century and early twentieth century architectural styles, including the Colonial Revival, Neoclassical, Shingle, Tudor Revival, Italian Renaissance, and Craftsman. Locally and nationally known architects designed many of the houses.

Domestic architecture built between 1892 and 1930 is characterized by the combining of different academic architectural styles and forms. It is typical for buildings of this era to display elements of several different styles and types of ornamentation all on one structure. Academic Eclecticism is a term often used to describe this type of architecture - not meaning that buildings were designed with little forethought, but rather that the exuberance of the period led designers to break with rigid stylistic rules and freely combine the best of different forms and decorative motifs.

After [World War I], Chevy Chase benefited from the prosperity of the 1920s and the explosive growth of the federal government. As reflected in real estate advertisements of the period, Chevy Chase Village had emerged as an established, planned suburb by the early 1920s. Advertisements noticing sales of both new and existing houses identified the area as "Old Chevy Chase, Maryland" or the "Most Exclusive Section of Chevy Chase, Maryland." Lot sales were so good in Chevy Chase by 1922 that the Land Company struggled to keep up with demand by opening several new sections - including Section 5, Section 1, and Section 1-A. Chevy Chase Village gradually evolved from a scattering of exclusive seasonal houses for the well-to-do who built large country residences on spacious lots to a solid, middle-class residential district of upscale houses mixed with smaller, less costly Period houses.

Outstanding landscape features which bear testimony to Nathan Barrett's original landscape plan, include the arched canopy of trees framing West Irving Street, and triangular park-like lots at Magnolia Parkway and Chevy Chase Circle, and at Laurel Parkway and Kirke Street. A major landscape feature - Chevy Chase Circle, located on the DC-Maryland border - unites the two jurisdictions and provide a gateway to Chevy Chase. The sandstone Chevy Chase Circle Fountain, built in 1932 and dedicated to Newlands, was recently restored by the Chevy Chase Land Company.

Taken as a whole, the buildings in Chevy Chase Village - sited along the planned, curving street system and surrounded by mature landscaping - represent an important cultural expression of American wealth and power in the early twentieth century and reflect in their designs the optimism and comfort considered central to domestic architecture of the post-Victorian American suburb.

**PROPOSAL:** (Circles 9-16)

- Remove HAWP approved 2002 rear addition and deck.
- Enlarge breakfast room
- Small mudroom addition.

**Materials:**

- Roof: standing seam metal
- Foundations: painted brick
- Windows: Pozzi wood simulated divided light, double-hung, 12/1
- Trim: wood
- Columns: painted fiberglass
- Deck: Ipe wood

## **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

- The *Guidelines* state five basic policies that should be adhered to, including:
  - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
  - Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
  - Maintaining the variety of architectural styles and the tradition of architectural excellence.
  - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
  - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

**“Lenient Scrutiny”** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

**“Moderate Scrutiny”** involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

**“Strict Scrutiny”** means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

*Montgomery County Code; Chapter 24A*

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

*Secretary of the Interior's Standards for Rehabilitation (Circle 4A)*

**STAFF DISCUSSION**

At the October 24, 2001 HPC meeting the Commission approved a HAWP for window replacement, rear additions, and other rear alterations. The alterations to the front of the house removed non-historic incompatible features and replaced them with more compatible materials and enhancing the integrity of the streetscape. The rear alterations consisted of a 1-story addition, a 2-story addition, and a deck between the two additions. This proposal is to remove the 2002 1-story addition and deck and replace them with a larger 1-story addition and a new deck.

The lot coverage would increase by approximately 277 SF, materials and design are proposed to be the same as the existing new additions, and no additional basement space will be added. On Circle 8 it can be seen that the new addition extends no farther into the rear yard than the existing deck. The only aspect of the proposed new addition that merits discussion is the fact that it does extend beyond the width of the house and will be visible from the public right-of-way. As seen in the south elevation on Circle 14, the new addition will extend 6 feet beyond the side of the historic house. This portion of the addition contains a door and wood stoop and should read as an enclosed porch. The new addition will also connect the existing enclosed porch and the breakfast room allowing for more interior circulation.

The proposed new addition is 1-story, placed at the rear of the house, and compatible. The mass of the historic house is still evident despite the slight wrapping of the corner and helps in the differentiation from the historic house. All of the proposed materials are the same as those in the remaining HPC approved addition. This project is in keeping with the *Guidelines* set forth for contributing resources in the Chevy Chase Village Historic District. Staff is recommending approval.

**STAFF RECOMMENDATION:**

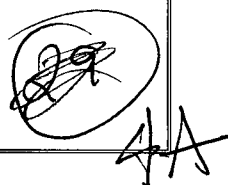
Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

## Secretary of the Interior's Standards for Rehabilitation

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

A handwritten signature, possibly "JG", is enclosed in a circle. Below it are the initials "AA".



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
340/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MARY BETH ELLIOTT, AIA

Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436

Name of Property Owner: DANE BUTSWINKAS Daytime Phone No.: 301-951-8587

Address: 3 NEWLANDS STREET CHEVY CHASE MD 20815  
Street Number City State Zip Code

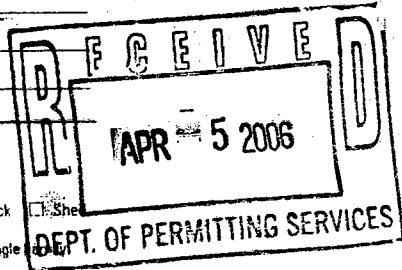
Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MARY BETH ELLIOTT, MUSE ARCH P.C. Daytime Phone No.: 202 966-6266

**LOCATION OF BUILDING/PREMISE**

House Number: 3 Street: NEWLANDS  
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE  
Lot: 4 Block: 54 Subdivision: 9  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_



**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |  |  |  |                                       |   |   |                                       |                              |
|------------------------------------|--|--|--|---------------------------------------|---|---|---------------------------------------|------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab         | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck         | <input type="checkbox"/> She |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace    | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single           | <input type="checkbox"/> Other: _____ |                              |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ |   |   |                                       |                              |

1B. Construction cost estimate: \$ 80,000.

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M.B. Elliott M.A. MUSE ARCHITECTS, P.C. 5 APRIL 2006  
Signature of owner or authorized agent Date

Approved: 416889 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Edit 6/21/99

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS WOOD FRAME W/ STUCCO FINISH and CLAY TILE ROOF, BUILT IN 1918. THE SET BACK FROM NEWLANDS STREET CURB TO THE FRONT DOOR IS  $\approx$  72 FEET. THE PRESENT OWNER COMPLETED A RENOVATION and ADDITION TO THE HOUSE IN 2002. THIS WORK INCLUDED THE REMOVAL OF TOO MODERN WINDOWS @ THE PORCH and LIVING ROOM and THEIR REPLACEMENT W/ WINDOWS MORE IN KEEPING WITH THE PERIOD & STYLE OF THE HOUSE. THE OWNER COMPLETED THE HAWP APPROVAL @ THAT TIME.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED WORK REMOVES THE PREVIOUS BREAKFAST ROOM and DECK ADDITION, ENLARGES THE 'EXISTING' BREAKFAST ROOM and ENCLOSSES A MUD ROOM LINK BETWEEN THE EXISTING PORCH, FOYER and PROPOSED ADDITION. WHERE VISIBLE, THE NEW WORK WILL BE SEEN AS CONSISTENT WITH THE EXISTING DESIGN VOCABULARY OF THE HOUSE IN SCALE & MATERIAL & FINISH.

**SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**3. TREE SURVEY**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 729-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

6



## ZONING SUMMARY

---

PROJECT LOCATION 3 Newlands Street  
Chevy Chase, Maryland 20815

DESIGN BASIS Code: 2003 ICC International Residential Code  
Zoning: Montgomery County, Maryland Zoning Ordinance  
Fire: 1997 NFPA 101 Life Safety Code

LEGAL DESCRIPTION Lot No.: 4 Block: 54 Town: Chevy Chase Village  
Map: HN41 Subdivision: 9

ZONE R-60

BUILDING SETBACKS Front: 25' min.  
Sides: one side 8' min.; total both sides 18' min.  
Rear: 20' min.

LOT AREA & COVERAGE Existing Lot Area: 12,500 SF  
Allowable Lot Coverage: 4,375 SF / 35 % (incl. Accessory buildings)  
Existing Lot Coverage: 3,091 SF / 24.7 %  
Proposed Lot Coverage: 3,366 SF / 26.9 %

BUILDING HEIGHT Permitted Height: 35.00 '  
Existing Height to Remain: 34.00 '

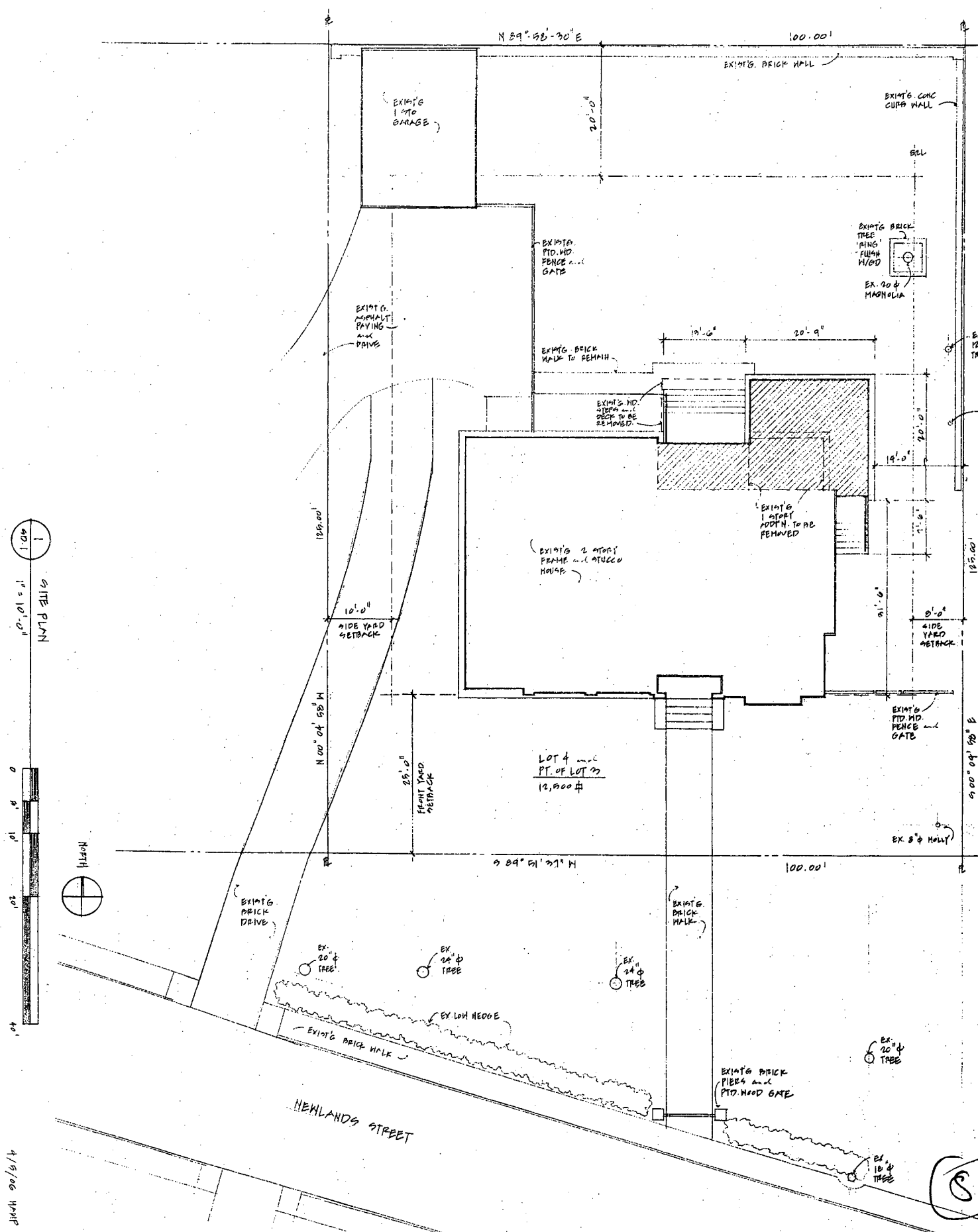
### NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

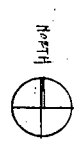
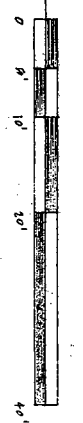
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.



40.1  
SITE PLAN  
1" = 10'-0"



HEWLANDS STREET

SD.1  
SITE PLAN  
SCALE: 1" = 10'-0"

AN ADDITION TO THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

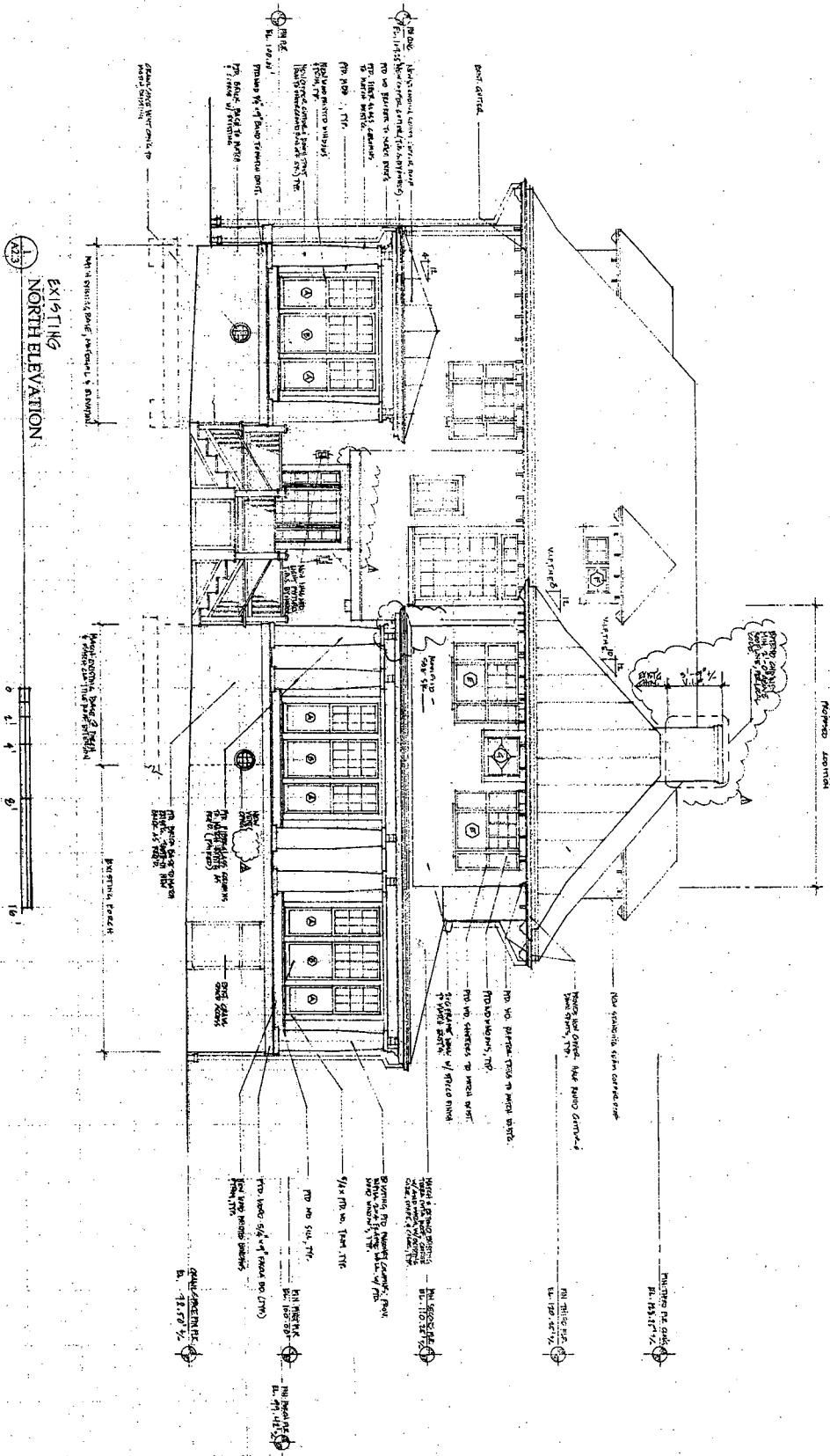
**MUSE ARCHITEC**  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Washington DC  
Facsimile 202

5 APRIL 2006

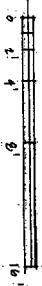
4/5/06 HMRP



6



EXISTING  
NORTH ELEVATION



5 APRIL 2006

ALTERNATE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

PRELIMINARY PLANNING  
23 SEPTEMBER 2006  
A.S.C. 1/16/06  
REV. 2/16/06

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

**MUSE ARCHITECTS**

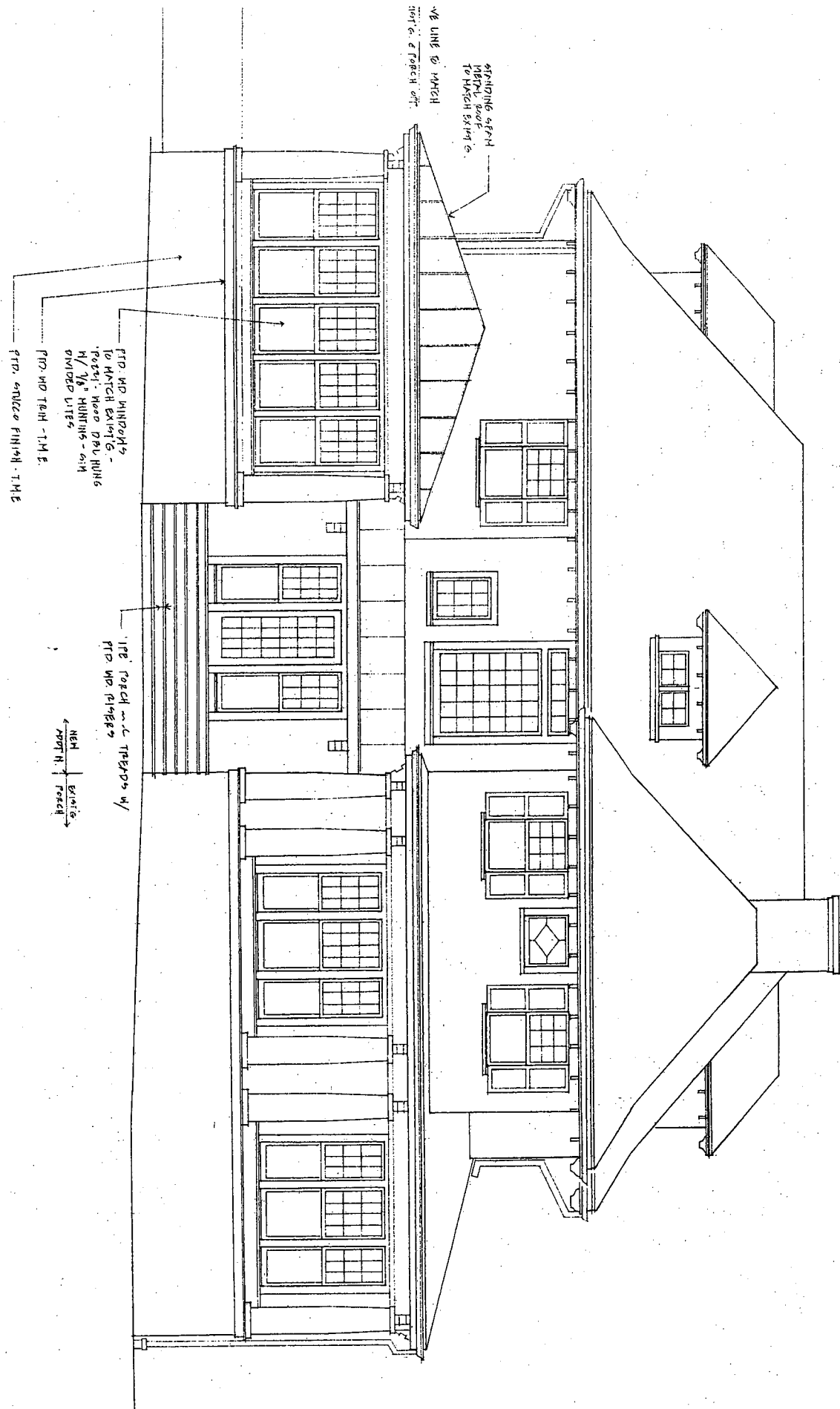
5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666

5

3

PROPOSED  
NORTH ELEVATION  
1/4" = 1'-0"



4/6/06 HAWP  
3/2/06  
8/24/05

5 APRIL 2006

BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

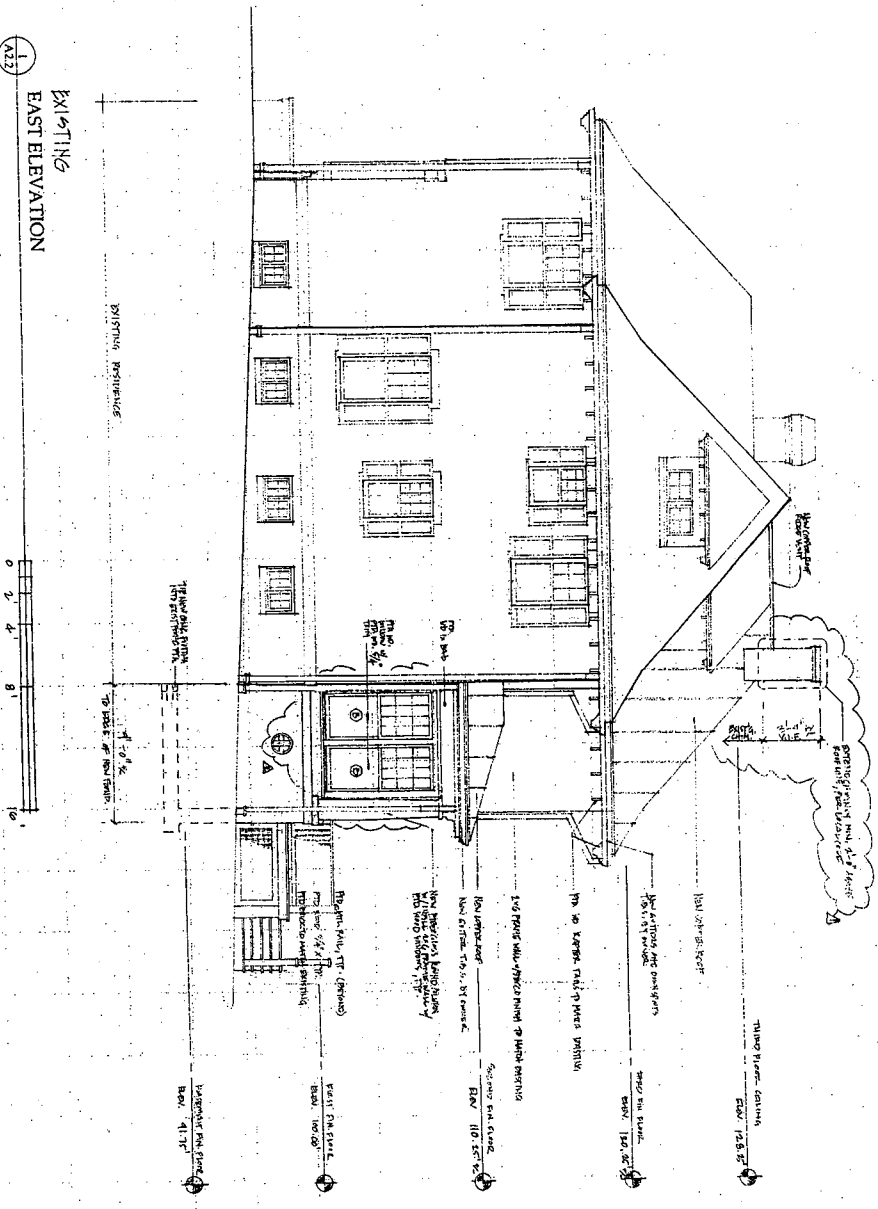
ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Washington 1  
Facsimile 202.

3

11

EXISTING EAST ELEVATION



5 APRIL 2006

T: NOVEMBER 16, 2001

EAST ELEVATION

SCALE 1/4" = 1'-0"

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

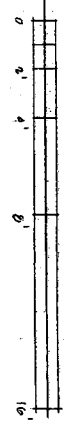
5630 Connecticut Avenue NW  
 Phone 202.966.6266

Washington DC 20015  
 Facsimile 202.966.9666

12

1  
4

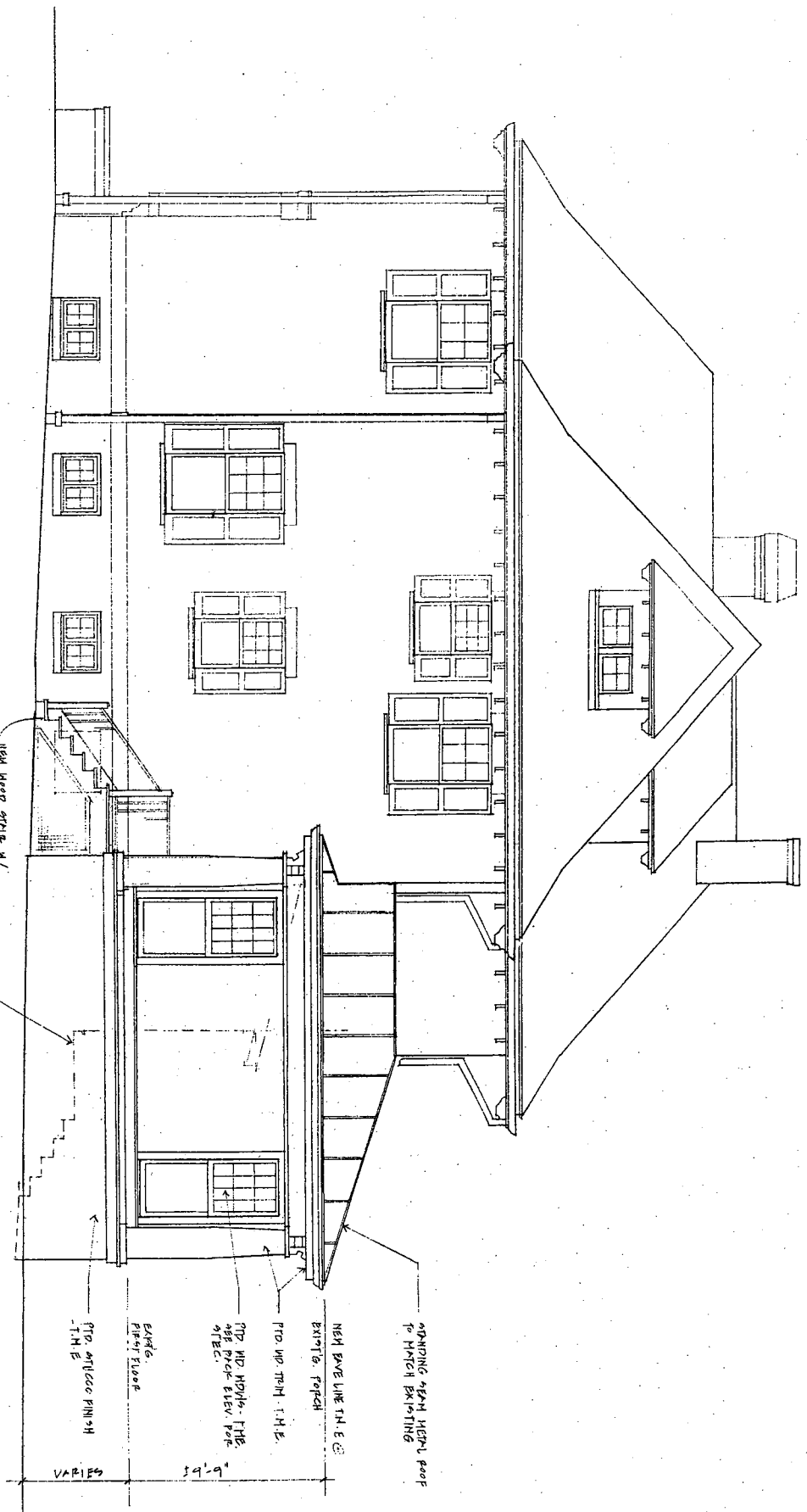
PROPOSED  
EAST ELEVATION  
1/4" = 1'-0"



NEW wood grille w/  
FR. AND BRASS FLTS  
w/ LITTLE AND  
PANEL TO MATCH  
EXIST. EXTER.  
NEW POOL  
IN ORIGINAL POSITION

RECESSED PORCH AND STAIRS  
NEW ENLARGED  
RIP POOL THROUGH  
PARTIAL

ADVANCING FROM HEAVY ROOF  
TO WHICH EXISTING  
NEW EAVE LINE TH. E.  
EXTER. PORCH  
FR. UP. TRIM - T.H.B.  
FR. MID HOUSE - FR.  
AND FR. ELEV. FOR  
9' B.C.  
EXTER. FLOOR  
FR. ARTICO FINISH  
VARIES  
39'-9"



4/5/06 HWF  
9/9/06  
8/24/05  
5 APRIL 2006

4	BUILDING ELEVATIONS
	SCALE: 1/4" = 1'-0"

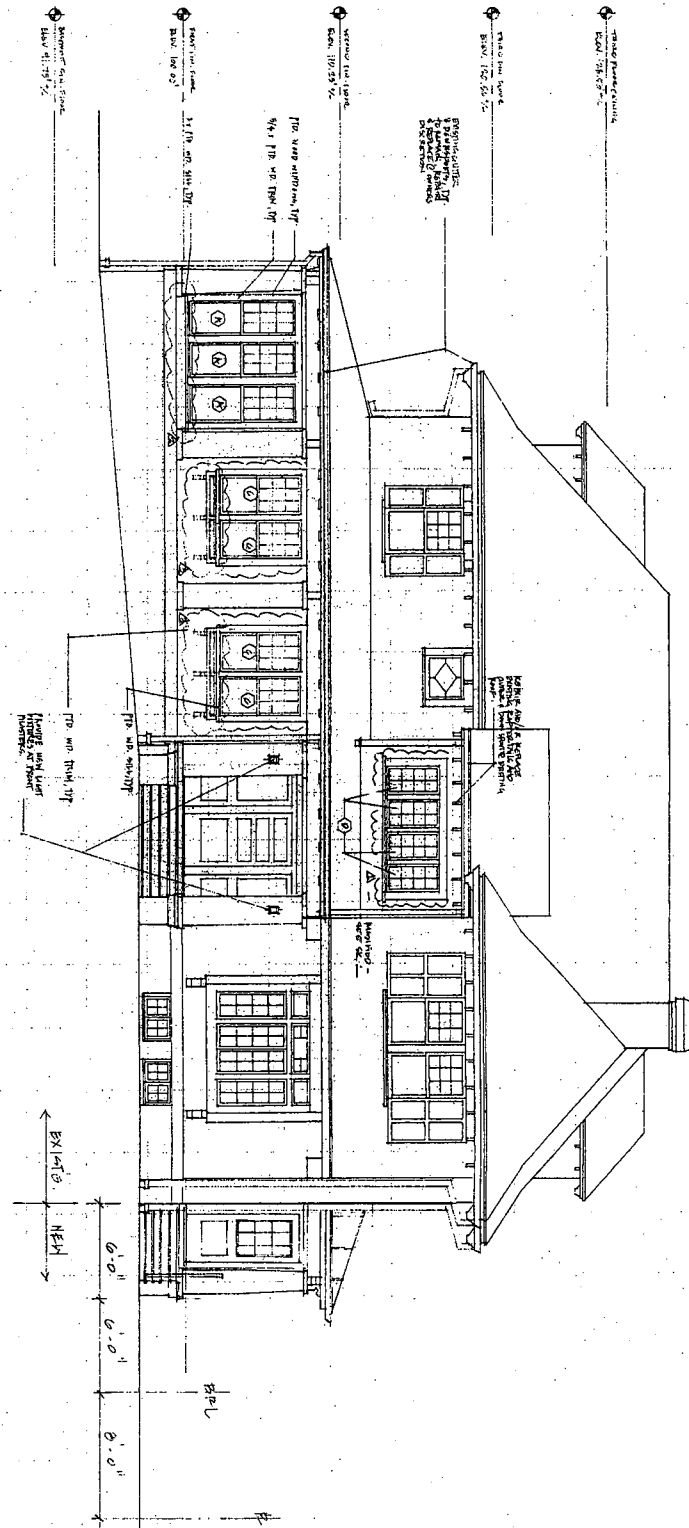
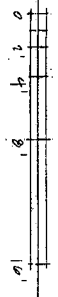
ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
 5630 Connecticut Avenue NW  
 Phone 202.966.6266  
 Washington D.C.  
 Facsimile 202



71

PROPOSED SOUTH ELEVATION



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
6	...	...	...	...	...
7	...	...	...	...	...
8	...	...	...	...	...
9	...	...	...	...	...
10	...	...	...	...	...
11	...	...	...	...	...
12	...	...	...	...	...
13	...	...	...	...	...
14	...	...	...	...	...
15	...	...	...	...	...
16	...	...	...	...	...
17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
6	...	...	...	...	...
7	...	...	...	...	...
8	...	...	...	...	...
9	...	...	...	...	...
10	...	...	...	...	...
11	...	...	...	...	...
12	...	...	...	...	...
13	...	...	...	...	...
14	...	...	...	...	...
15	...	...	...	...	...
16	...	...	...	...	...
17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...

IT SET: NOVEMBER 16, 2001

5

PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

PRELIMINARY DRAWING  
3 JULY 2001  
MUSE ARCHITECT  
3000 CONNECTICUT AVENUE, N.W.  
WASHINGTON, D.C. 20008  
TEL: 202-966-6286  
FAX: 202-966-6286

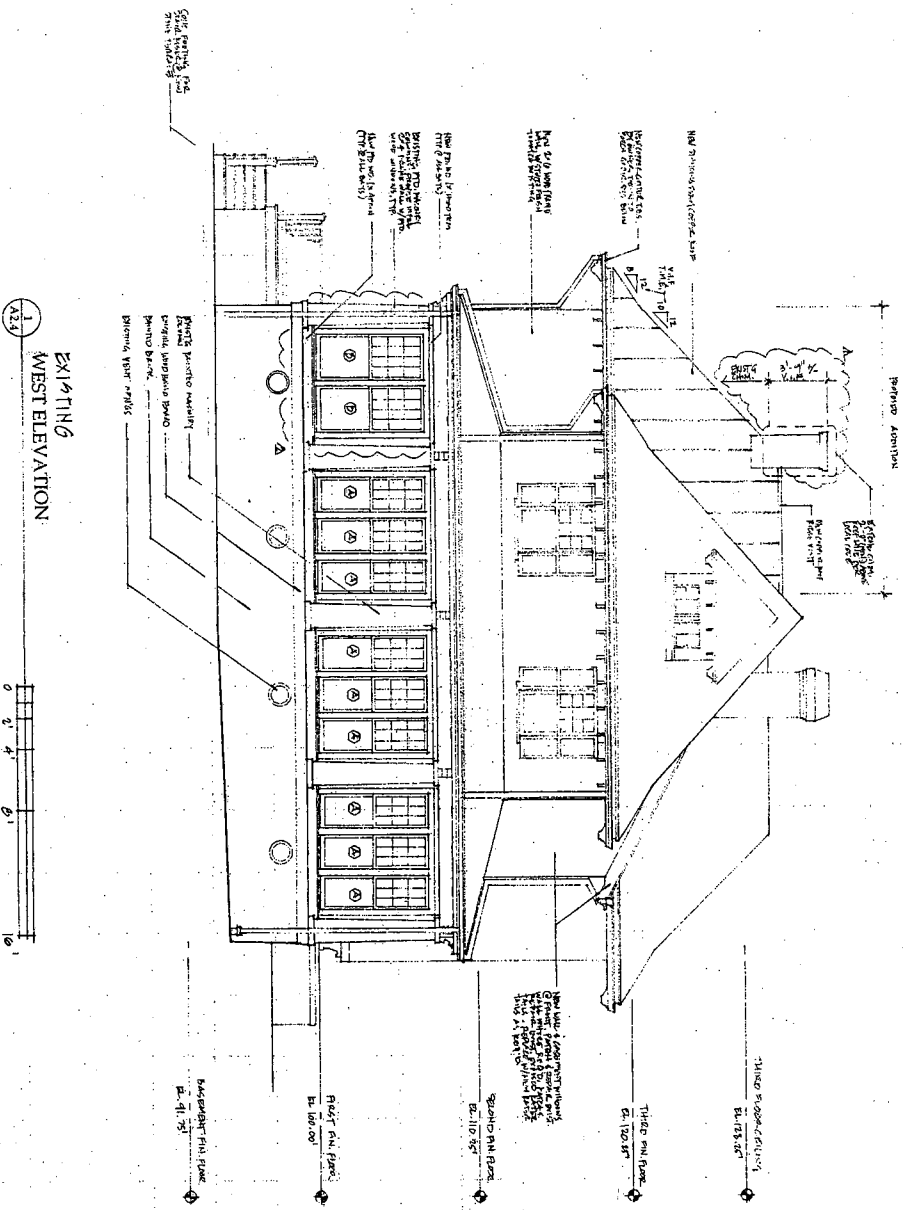
ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

**MUSE ARCHITECT**  
5630 Connecticut Avenue NW  
Phone 202-966-6286  
Washington D  
Facsimile 202-

4/10/06 JJK

5 APRIL 2006





EXISTING WEST ELEVATION



T: NOVEMBER 16, 2001

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

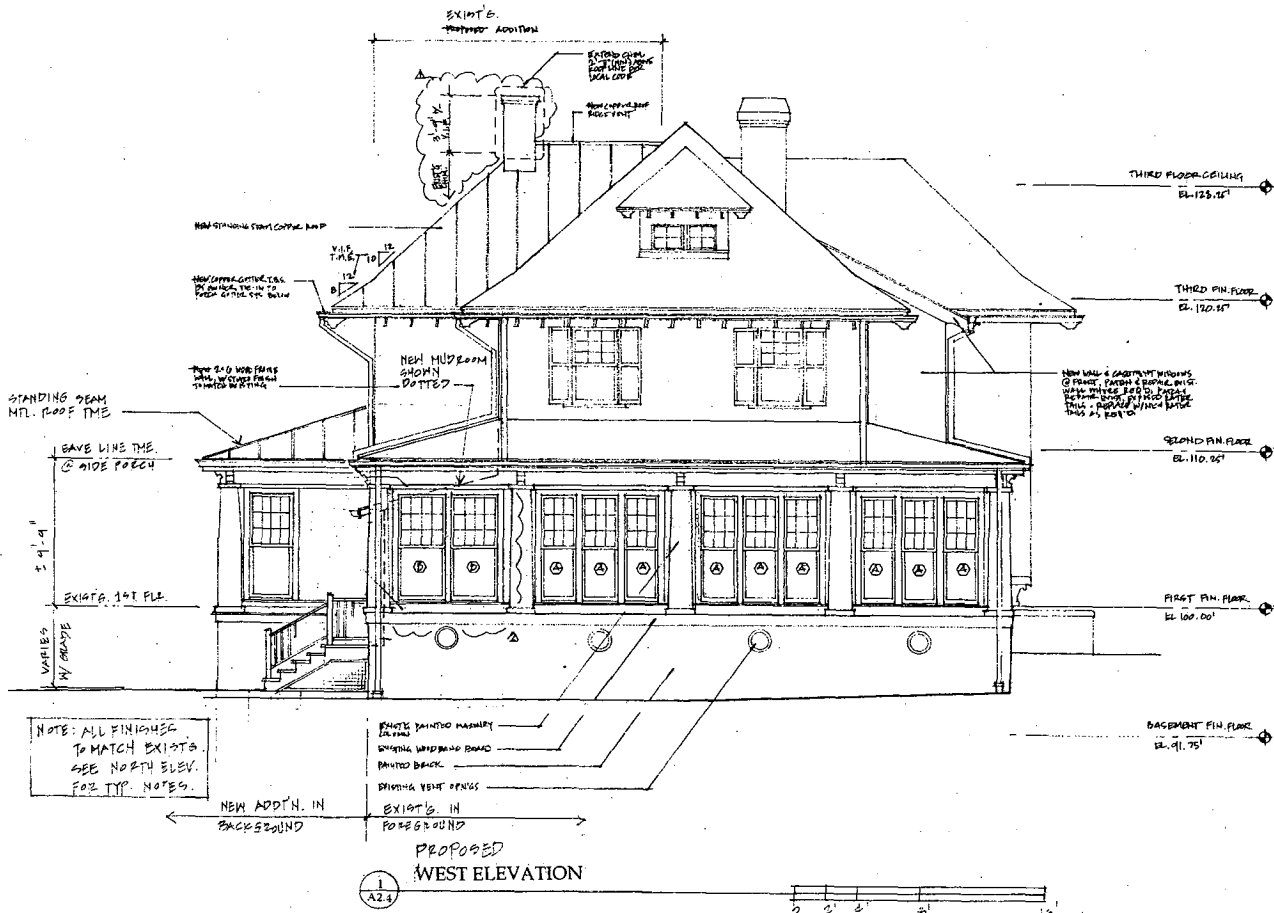
THE RUPP/BUTSWINKAS RESIDENCE  
3 NEWLANDS STREET  
CHEVY CHASE, MARYLAND  
NOV 16 2001

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

**MUSE ARCHITECTS**

5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC 20015  
Facsimile 202.966.9666



MUSE ARCHITECTS  
500 Commercial Avenue NW  
Washington, DC 20015  
Phone 202.966.6266  
Facsimile 202.966.9666

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET  
CHEVY CHASE, MARYLAND

This Project Drawn  
Reviewed  
Date: 4/8/06  
Scale: 1/4" = 1'-0"

WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NOVEMBER 16, 2001

5.1

4/8/06 HAMP

5 APRIL 2006

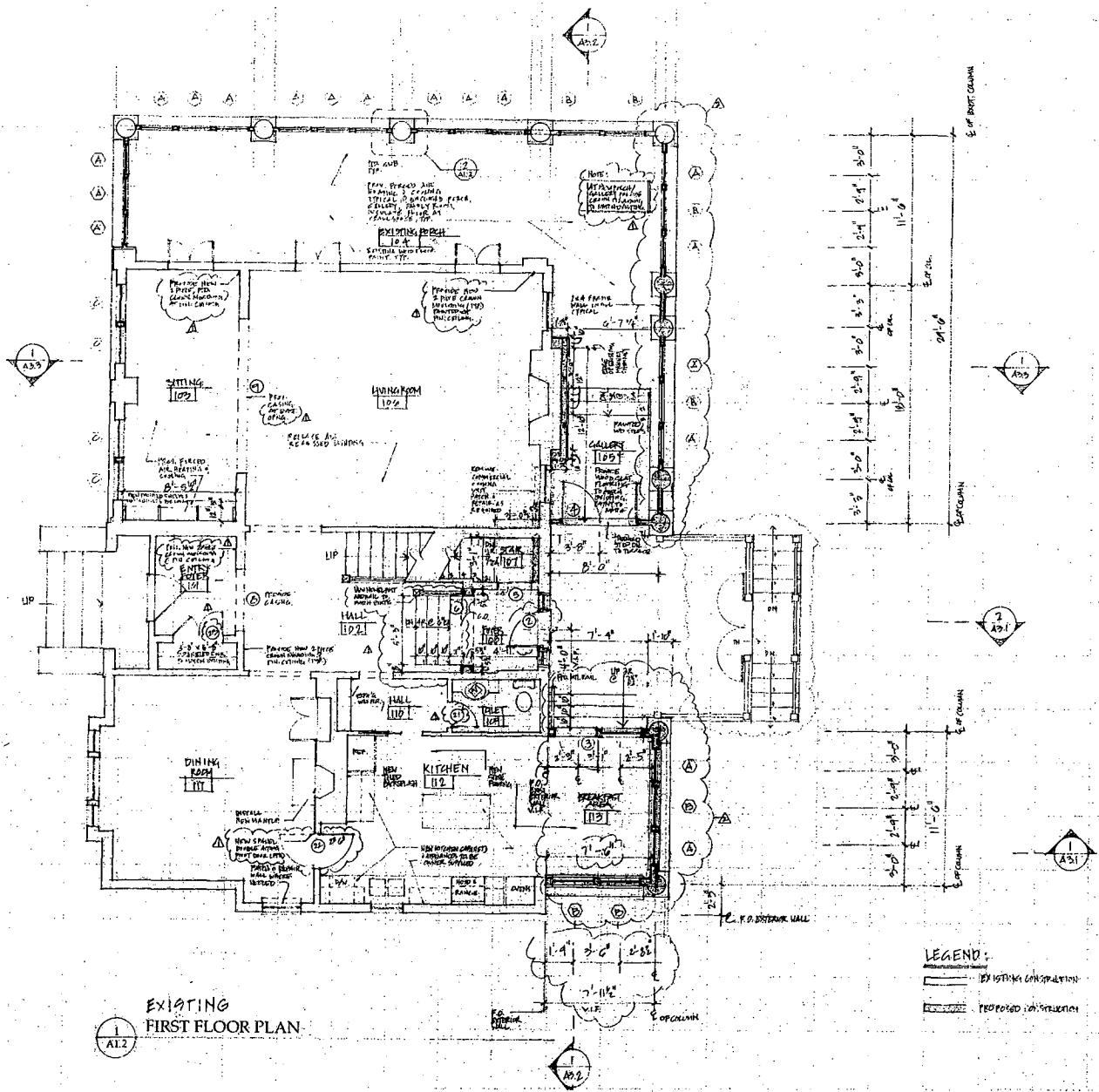
16

**ADDITION TO AND RENOVATION OF THE  
 RUPP/BUTSWINKAS RESIDENCE  
 3 NEWLANDS STREET  
 CHEVY CHASE, MARYLAND**

PRELIMINARY PRICING  
 20 SEPTEMBER 2001  
 NOT FOR CONSTRUCTION  
 (AUTOMATICALLY GENERATED)  
 REVIEW: 5/20/01  
 Δ REVIEW: 11 JAN 2002

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

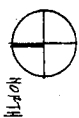
NOVEMBER 16, 2001



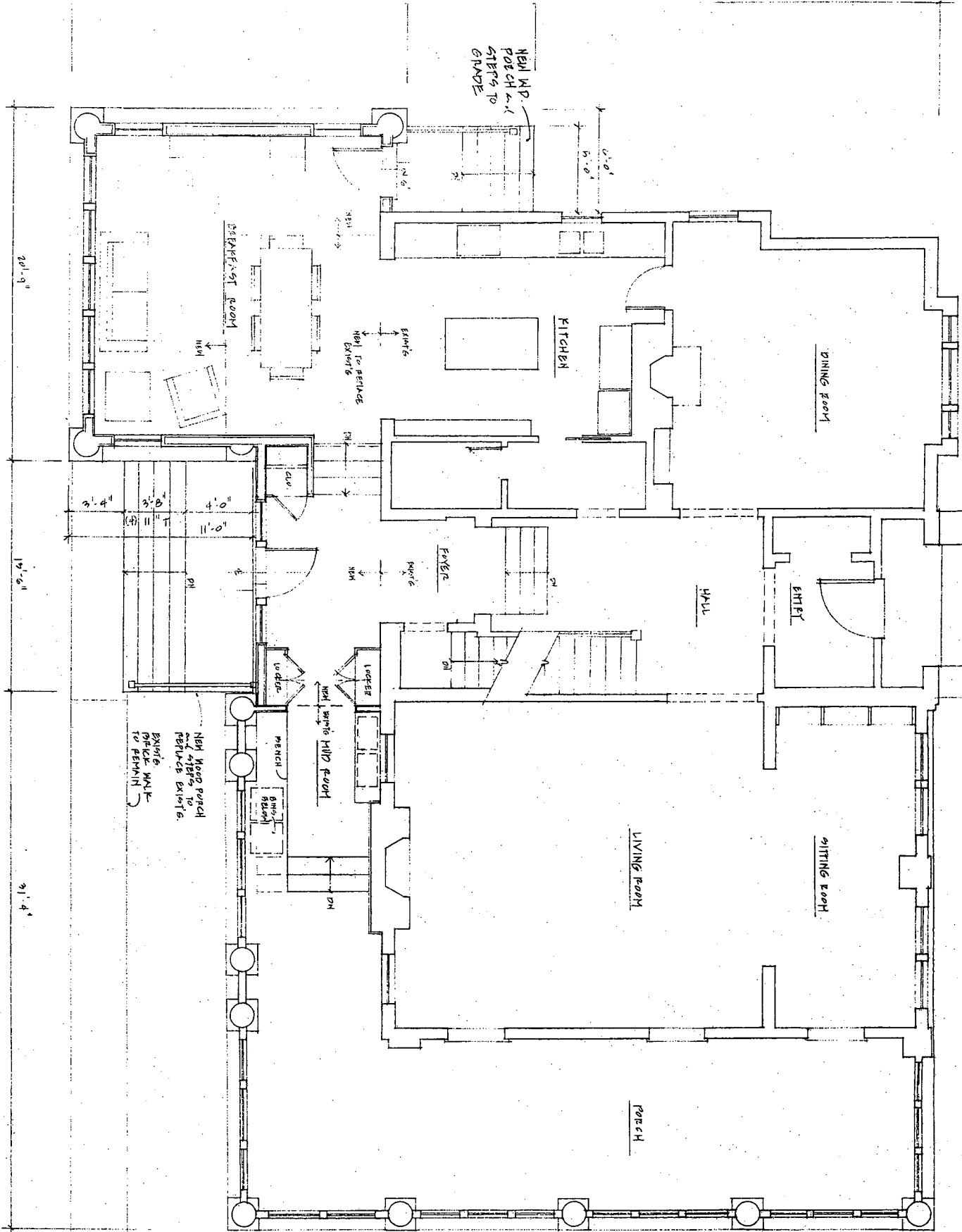
5 APRIL 2006

16

FIRST FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



4/9/06 HWV  
9/11/06  
1/10/06  
8/24/06

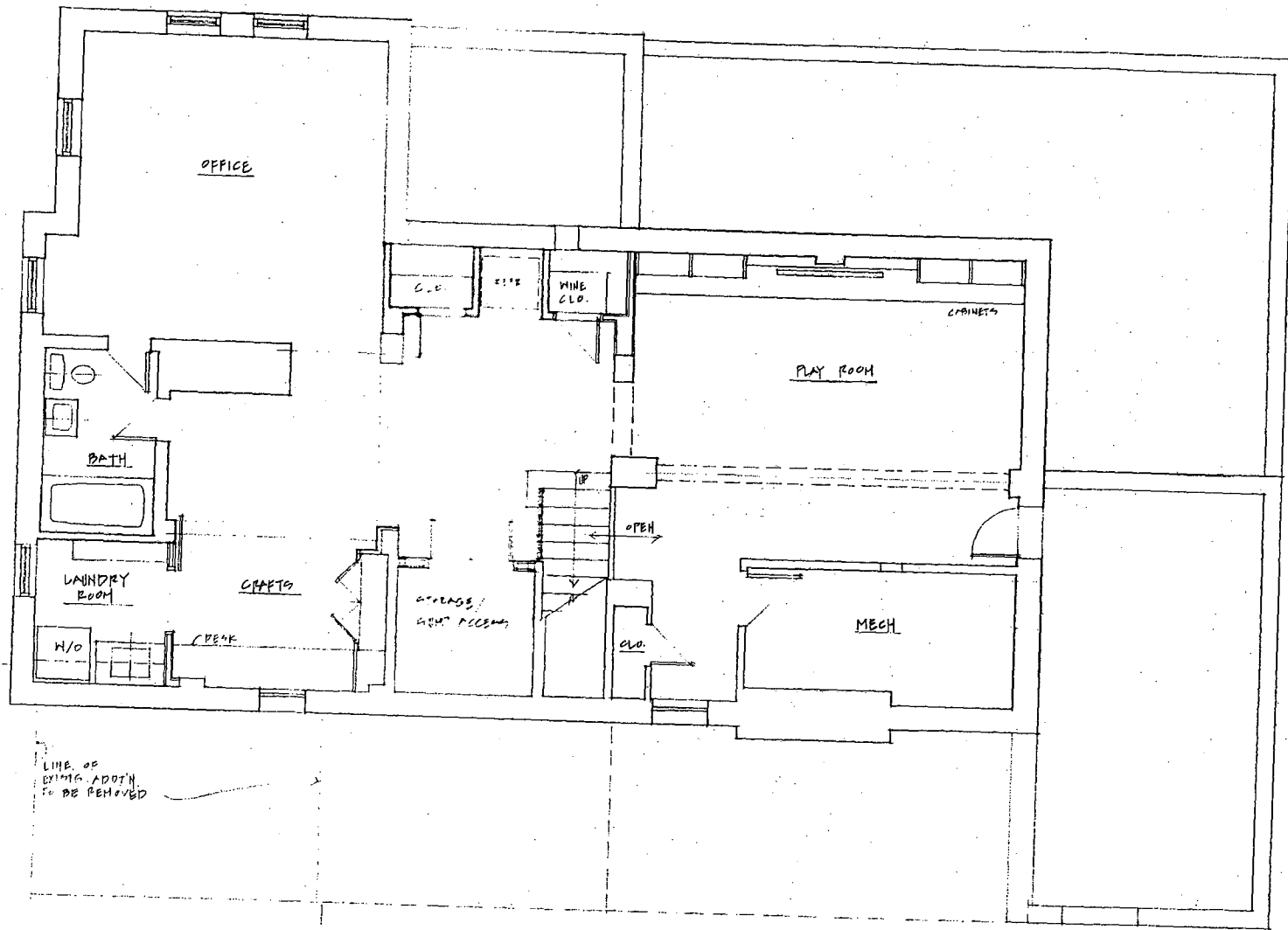


5 APRIL 2006

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

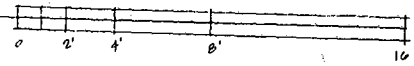
**MUSE ARCHITECT**  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Washington  
Facsimile 202.966.6266



1  
2

**BASEMENT PLAN - PROPOSED**

1/4" = 1'-0"



61

4/8/06 HAMP  
3/1/06  
1/10/06  
8/24/06

BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

2

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVYCHASE, MD 20815

**MUSE ARCHITECT**  
Washington  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Facsimile 20

5 APRIL 2006



NORTH ELEVATION

NEWLANDS STREET  
MOUNTAIN VIEW, MD 20815



© 1985





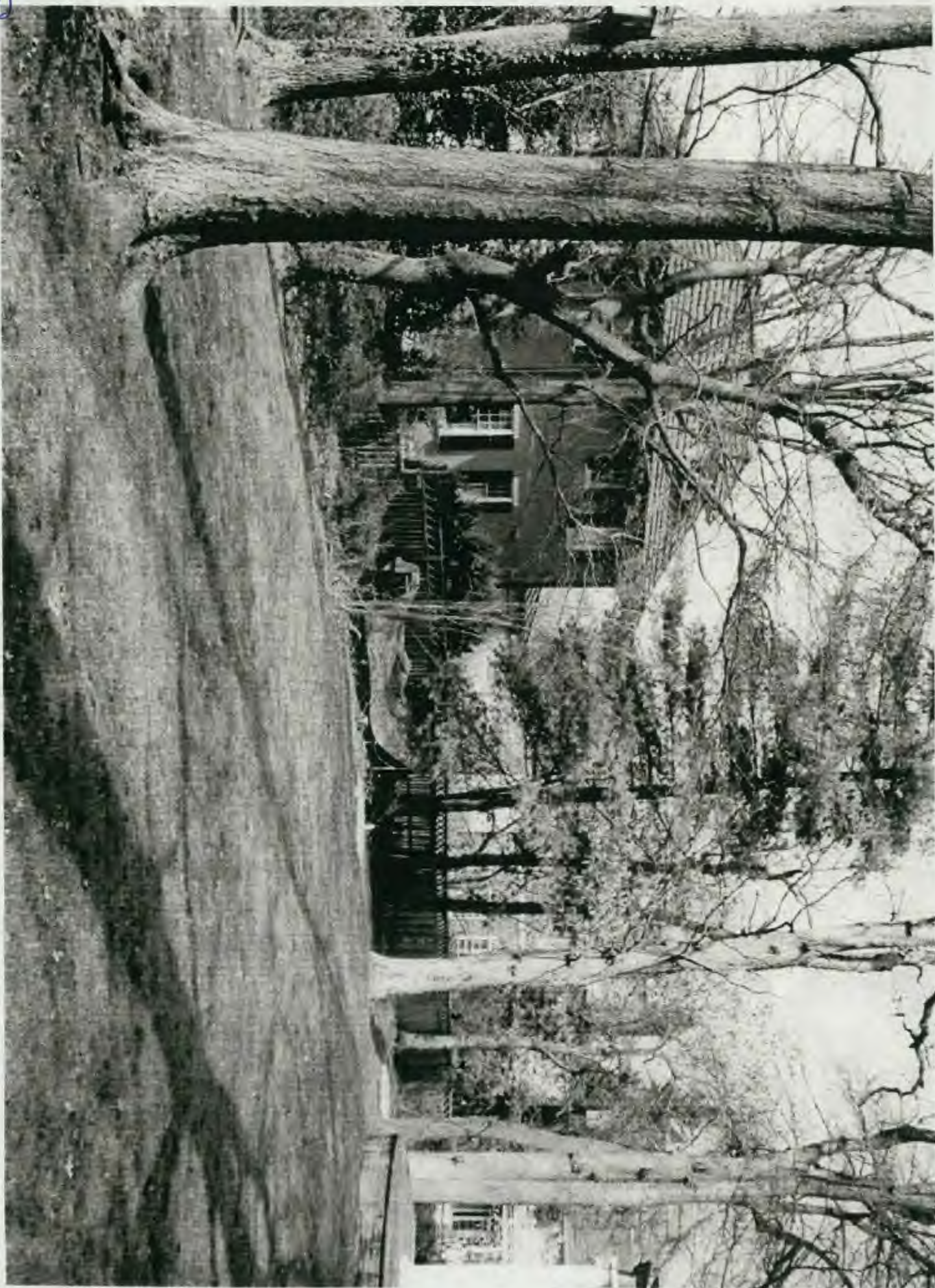
3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

VIEW OF SIDE YARD FROM  
NEWLANDS STREET

(23)

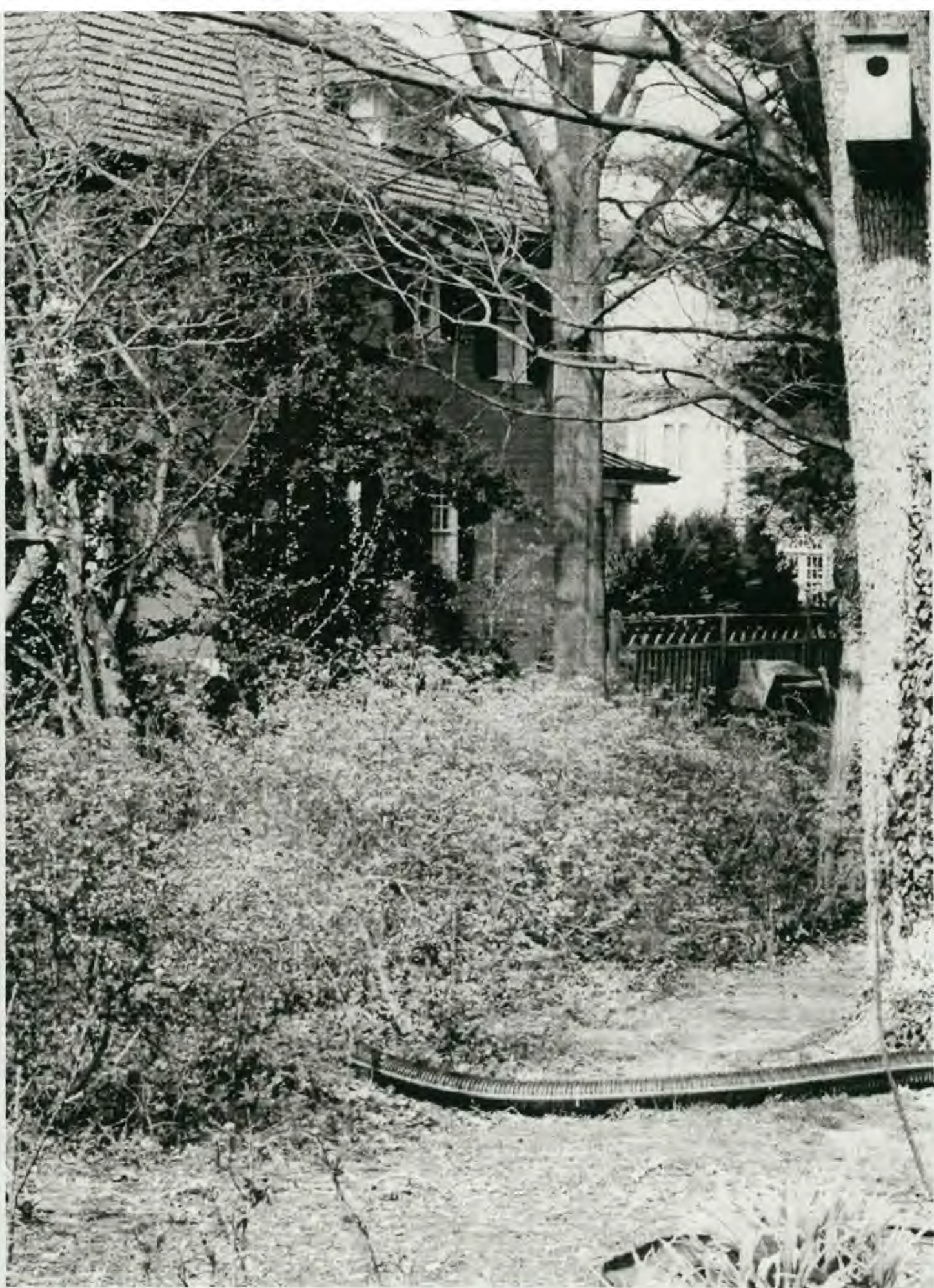


NEW LANDS STREET  
CHENY WAGE, MD 20815



VIEW TOWARDS EAST ELEVATION





3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

EAST ELEVATION CLOSE-UP (25)



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>DANE BUTSWINKAS          3 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p> <p>MARY BETH ELLIOTT, AIA          MUSE ARCHITECTS, P.C.          5030 CONNECTICUT AVE, N.W.          WASHINGTON, DC. 20015</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>ROBERT L. JONES          1 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>	<p>RICHARD McMILLAN, JR.          2 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>
<p>BYRON E. ANDERSON          5 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>	<p>HARRIET KLOSSON          4 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>
<p>JOHN C. MURPHY          6 NEWLANDS STREET          CHEVY CHASE, MD 20815</p>	<p>MARCUS MONTGOMERY          2 OXFORD STREET          CHEVY CHASE, MD. 20815</p>

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

SEE PREV. PG.  
FOR  
BUTSWINKAS

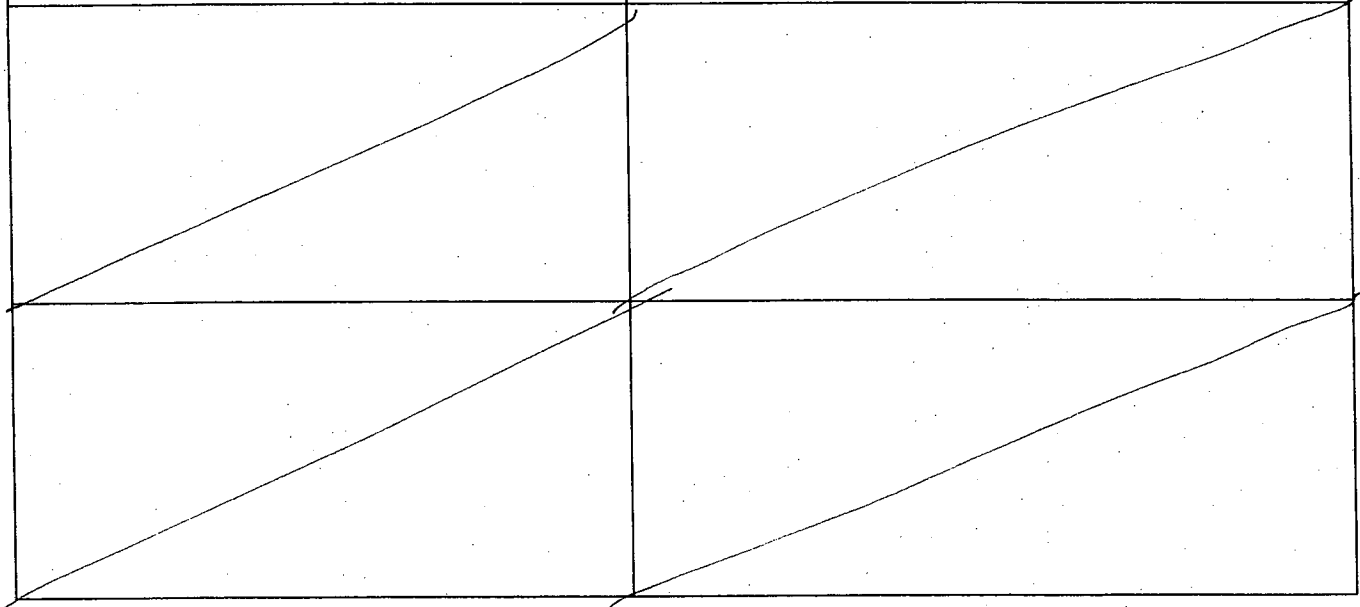
**Owner's Agent's mailing address**

SEE PREV. PG.  
FOR  
MUSE ARCHITECTS

**Adjacent and confronting Property Owners mailing addresses**

JAY MARTIN  
4-A OXFORD STREET  
CHEVY CHASE, MD 20815

PORTER K. WHEELER  
4 OXFORD STREET  
CHEVY CHASE, MD 20815





FILE COPY

## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 4/27/2006

### MEMORANDUM

TO: Dane Butswinkas  
3 Newlands St, Chevy Chase

FROM: Tania Tully, Senior Planner <sup>TGT</sup>  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #416889

Your Historic Area Work Permit application for rear addition expansion was **Approved with Conditions** by the Historic Preservation Commission at its 4/26/2006 meeting.

The conditions of approval were:

1. Tree protection measures, as necessary should be implemented prior to construction.

Prior to applying for a county building permit, if applicable, from the Montgomery County Department of Permitting Services, you must contact your assigned staff person to arrange for your three (3) sets of final permit drawings to be stamped at the Historic Preservation Office at 1109 Spring Street. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another town government agency before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval memo (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!





## HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 4/27/2006

### MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Tania Tully, Senior Planner <sup>JCT</sup>  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #416889, rear addition expansion

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Conditions at the 4/26/2006 meeting.

1. Tree protection measures, as necessary should be implemented prior to construction.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Dane Butswinkas

Address: 3 Newlands St, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Julia O'Malley  
Chairperson

Date: March 30, 2007

### MEMORANDUM

TO: Reggie Jetter, Acting Director  
Department of Permitting Services

FROM: Tania Tully, Senior Planner *TG*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #447039, installation and construction of fence and wall

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 28, 2007 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Dane Butswinkas

Address: 3 Newlands St, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





DEPARTMENT OF PERMITTING SERVICES  
255 ROCK ZEPHYRUS DRIVE, SUITE 200  
BETHESDA, MD 20814

DPS - #8

A  
DPS

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: Lila Fendrick  
Daytime Phone No.: (301) 907-7700

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Dane Butswinkas Daytime Phone No.: (202) 302-0195 Megan Rupp

Address: 3 Newlands <sup>+ Megan Rupp</sup> Street Cherry Chase MD. 20815  
Street Number City Street Zip Code

Contractor: Alfred Builders Phone No.: (301) 588-1837

Contractor Registration No.: MD. 65095

Agent for Owner: Lila Fendrick Daytime Phone No.: (301) 907-7700

**LOCATION OF BUILDING/PREMISE**

House Number: 3 Newlands St. Street: Newlands St.

Town/City: Cherry Chase MD. Nearest Cross Street: \_\_\_\_\_

Lot: 4+pt. of 3 Block: 54 Subdivision: 9 MAP HN41

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 25,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 1 feet 10 inches Max. WALL ; 6'-5" MAX. FENCE

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lila Fendrick for Megan Rupp 3-8-07  
Signature of owner or authorized agent Date

Approved: Julia O'Malley Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 3/28/07

Application/Permit No.: 447039 Date Filed: 3/8/07 Date Issued: \_\_\_\_\_



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MARY BETH ELLIOTT, AIA

Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436

Name of Property Owner: DANE BUTSWINKAS Daytime Phone No.: 301-951-8587

Address: 3 NEWLANDS STREET CHEVY CHASE MD 20815  
Street Number City State Zip Code

Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MARY BETH ELLIOTT, MUSE ARCH P.C. Daytime Phone No.: 202 966-6266

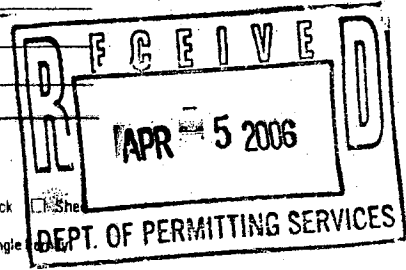
**LOCATION OF BUILDING/PREMISE**

House Number: 3 Street: NEWLANDS

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: 4 Block: 54 Subdivision: 9

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_



**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |  |  |  |                                    |   |   |                                 |                              |
|------------------------------------|--|--|--|------------------------------------|---|---|---------------------------------|------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck   | <input type="checkbox"/> She |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input type="checkbox"/> Single           | <input type="checkbox"/> Other: |                              |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair            | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Well (complete Section 4) | <input type="checkbox"/> Other:    |   |   |                                 |                              |
- CHECK ALL APPLICABLE:

1B. Construction cost estimate: \$ 80,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and except this to be a condition for the issuance of this permit.

M.B. Ells MA, MUSE ARCHITECTS, P.C. 5 APRIL 2006  
Signature of owner or authorized agent Date

Approved: 416 889 with conditions  
For Chairperson Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 4/26/06  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS WOOD FRAME W/ STUCCO FINISH and CLAY TILE ROOF, BUILT IN 1918. THE SET BACK FROM NEWLANDS STREET CURB TO THE FRONT DOOR IS  $\approx$  72 FEET. THE PRESENT OWNER COMPLETED A RENOVATION and ADDITION TO THE HOUSE IN 2002. THIS WORK INCLUDED THE REMOVAL OF TOO MODERN WINDOWS @ THE PORCH and LIVING ROOM and THEIR REPLACEMENT W/ WINDOWS MORE IN KEEPING WITH THE PERIOD & STYLE OF THE HOUSE. THE OWNER COMPLETED THE HAWP APPROVAL @ THAT TIME.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED WORK REMOVES THE PREVIOUS BREAKFAST ROOM and DECK ADDITION, ENLARGES THE 'EXISTING' BREAKFAST ROOM and ENCLOSSES A MUD ROOM LINK BETWEEN THE EXISTING PORCH, FOYER and PROPOSED ADDITION. WHERE VISIBLE, THE NEW WORK WILL BE SEEN AS CONSISTENT W/ THE EXISTING DESIGN VOCABULARY of THE HOUSE IN SCALE & MATERIAL & FINISH.

**SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**PHOTOGRAPHS**

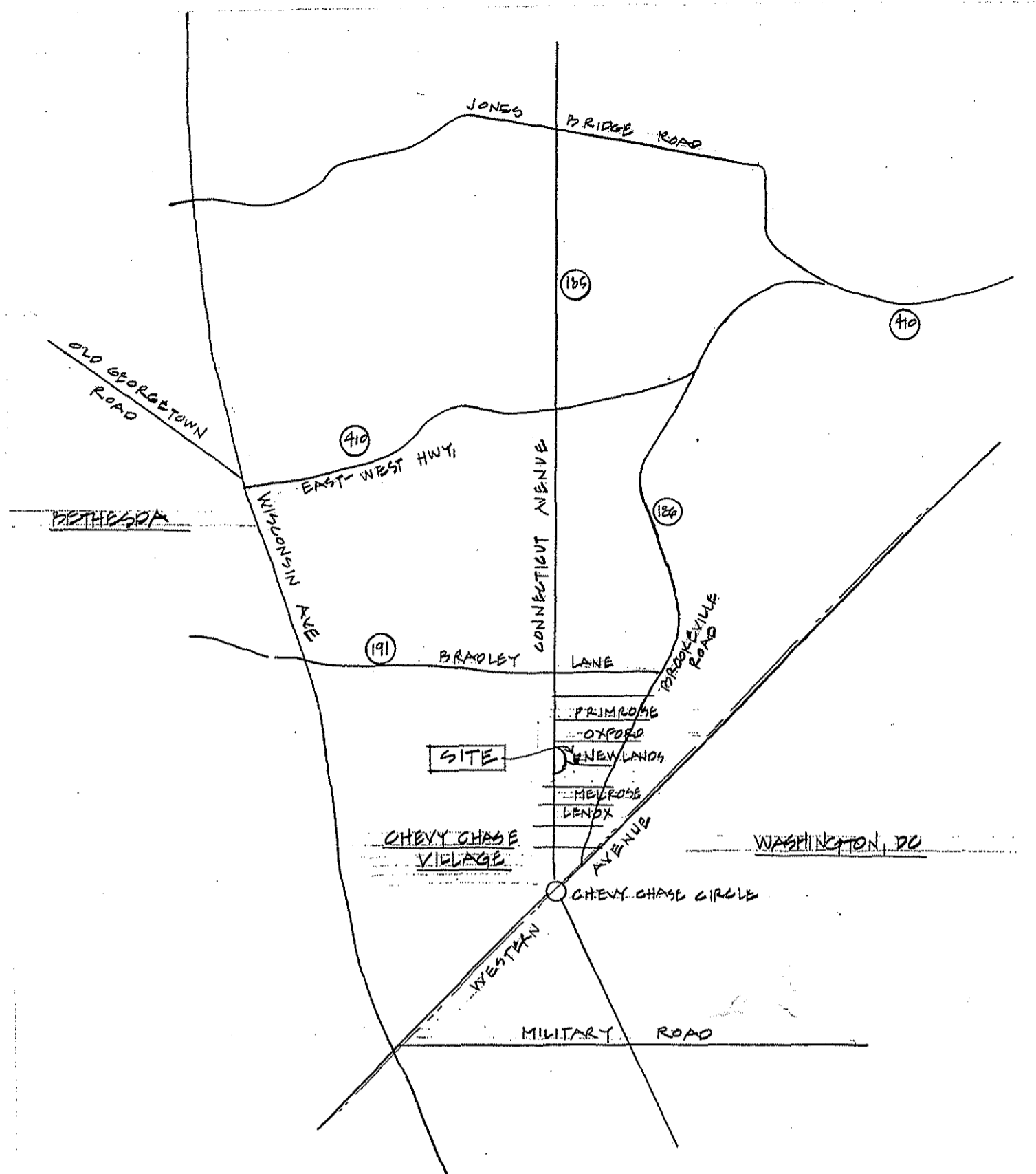
- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**3. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).



2 LOCATION MAP  
C.1 NO SCALE

**LIST OF ABBREVIATIONS**

Abbreviation	Item	Abbreviation	Item
@	At	M.	Masonry
A.F.F.	Above Finish Floor	MDO	Medium Density Overlay
ABV.	Above	MDF	Medium Density Fiberboard
APPROX.	Approximate	M.O.	Masonry Opening
BD.	Board (or Bead)	MECH.	Mechanical
Bldg.	Building	MIL.	1/1000 inch
BLKG.	Blocking	MIN.	Minimum
BM.	Beam	O.C.	On Center
C.	Concrete	O.W.T.	Open Web Truss
CLG.	Ceiling	PLY	Plywood
C.J.	Ceiling Joist	P.T.	Pressure Treated
CMU	Concrete Masonry Unit	PTD.	Painted
COL.	Column	R.	Riser(s)
CONC.	Concrete	R.O.	Rough Opening
CONT.	Continuous	REINF.	Reinforcing
CPR.	Copper	S.	Stud
DS.	Dawnspout	SHTG.	Sheathing
DWG.	Drawing	SIM.	Similar
EX./EXIST.	Existing	STD.	Standard
EXT.	Exterior	STL.	Steel
FIN.	Finish	STOR.	Storage
FLASHG.	Flashing	STRUC.	Structure
FLR.	Floor	T	Tread(s)
FLRG.	Flooring	T&G	Tongue and Groove
F.O.	Face of	TJI	Truss Joists
FRMG.	Framing	T.O.	Top of
FTG.	Footing	T.O. ARCH	Top of Arch
GALV.	Galvanized	U.N.O.	Unless Otherwise Noted
GWB.	Gypsum Wall Board	W/	With
HT.	Height	WD.	Wood
IN.	Inch	WDW.	Window
JST.	Joist	WWF	Welded Wire Fabric

**ZONING SUMMARY**

<b>PROJECT LOCATION</b>	3 Newlands Street Chevy Chase, Maryland 20815		
<b>DESIGN BASIS</b>	Code:	2003 ICC International Residential Code	
	Zoning:	Montgomery County, Maryland Zoning Ordinance	
	Fire:	1997 NFPA 101 Life Safety Code	
<b>LEGAL DESCRIPTION</b>	Lot No.:	Block:	Town:
	Map: HN41	Subdivision: 9	Chevy Chase Village
<b>ZONE</b>	R-60		
<b>BUILDING SETBACKS</b>	Front:	25' min.	
	Sides:	one side 8' min.; total both sides 18' min.	
	Rear:	20' min.	
<b>LOT AREA &amp; COVERAGE</b>	Existing Lot Area:	12,500 SF	
	Allowable Lot Coverage:	4,375 SF / 35 % (incl. Accessory buildings)	
	Existing Lot Coverage:	3,091 SF / 24.7 %	
	Proposed Lot Coverage:	3,366 SF / 26.9 %	
<b>BUILDING HEIGHT</b>	Permitted Height:	35.00'	
	Existing Height to Remain:	34.00'	

**NOTES:**

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.

**KEY TO MATERIALS AND SYMBOLS**

Wood/Metal Stud Partition		Ferrous Metals	
Unfinished Stud Partition		Non-Ferrous Metals	
Earth or Compact Fill		Batt/Loose Insulation	
Porous Fills		Rigid Insulation	
Gravel		Window Type	
Common/Face Brick		Door Type	
Concrete Block		Note Reference	
Cast-In Place or Precast Concrete		Revision Number	
Dimension Stone		Plumbing Fixture Type	
Marble/Granite/Limestone		Dimension to Centerline	
Finish Wood		Dimension to Face	
Rough Wood Blocking or Shim		Elevation above given datum	
Rough Wood Continous/Framing		Spot Elevation in plan	
GWB or Stucco (in elevation)		Detail or Section Reference	
Ceramic Tile		Plan or Elevation Key to Building Section or Elevation	

**INDEX TO DRAWINGS**

T.1	Index, Legends, Location Map & Zoning Summary
SD.1	Site Plan
D.0	Basement Demolition Plan and Notes
D.1	Basement Demolition Plan and Notes
A.0	Basement Plan
A.1	First Floor Plan
A.2	Second Floor Plan/ Low Roof Plan
A.3	Exterior Elevation - North
A.4	Exterior Elevation - East & Partial South
A.5	Building Sections
A.6	Wall Section & Details
A.S	Schedules & Details

**GENERAL NOTES**

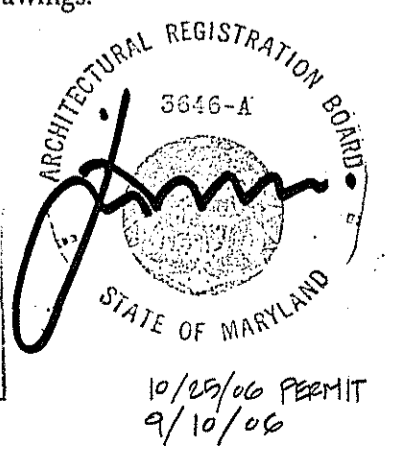
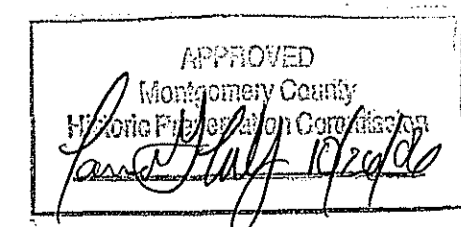
The following notes shall apply to all drawings made part of the Contract for construction for this project, including those drawings listed in the Index:

- Contractor to field verify all dimensions and existing conditions.
- DO NOT SCALE DRAWINGS to obtain construction dimensions.
- Dimensions shown are to face of structure (or face of stud [f.o.s.]), face of masonry (f.o.m.), face of footing, or face of existing construction unless noted otherwise.
- All construction resulting from execution of the work described by these drawings shall be in conformance with IBC, 2003 Edition, with amendments, and with any other requirements established by the State of Maryland and Montgomery County.
- All work represented in the drawing set for this project shall be considered part of the Work required by the Contract Documents for the project, and shall be executed in a manner consistent with the provisions described in the Specifications and General Requirements portions of the Contract Documents.
- The construction work described in these drawings is applicable only to the project for which the drawings were made. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract for Construction based on all the drawn and written documents prepared for the project and enumerated in the Contract Agreement executed between the Owner and the Contractor; or if that work is executed for any project other than the one for which these drawings were made.

**PROJECT DESCRIPTION**

The proposed work at 3 Newlands Street, Chevy Chase, Maryland includes:

- Demolition of existing one story breakfast room addition and wood deck & steps in rear yard of existing house.
- Construction of a new, wood framed, one story breakfast room addition and mudroom enclosure, w/ exterior porch and steps to grade at back of existing house, with full basement below a portion of the addition. The floor level of the addition aligns w/ those of the existing house. The new basement room steps down 15 inches from the existing basement level for headroom.
- Refinishing and replacement of interior finishes and electrical fixtures at basement level as noted on drawings.

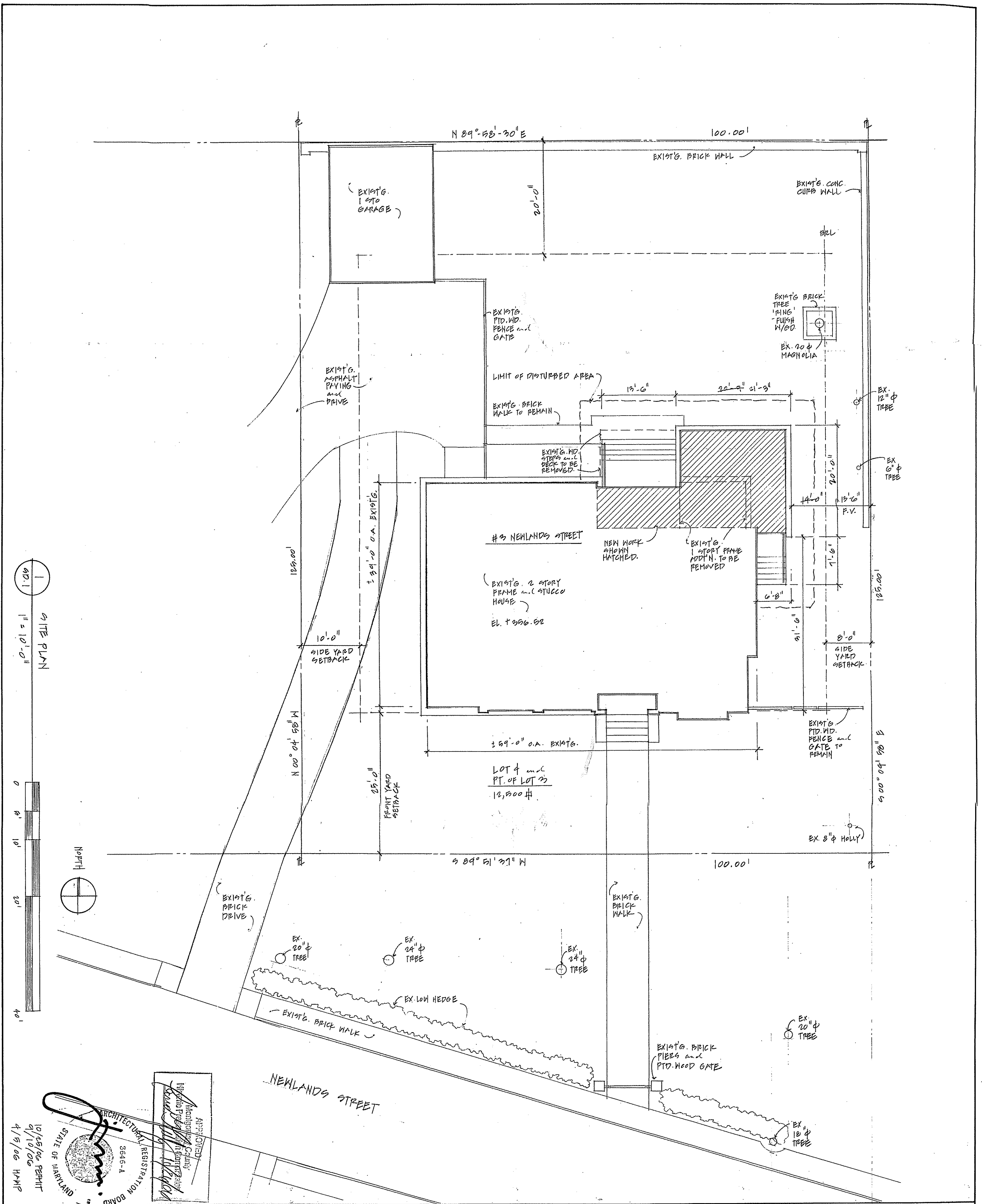


**MUSE ARCHITECTS**  
Washington DC 20015  
5630 Connecticut Avenue NW  
Phone 202-966-6266  
Facsimile 202-966-9666

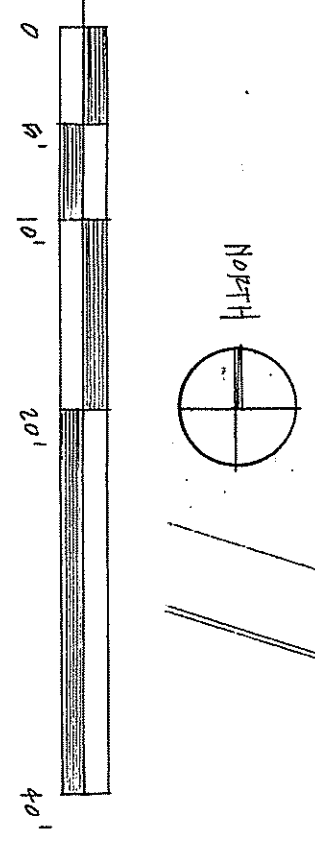
AN ADDITION TO THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

INDEX, LEGENDS, LOCATION MAP  
& ZONING SUMMARY  
SCALE: AS NOTED

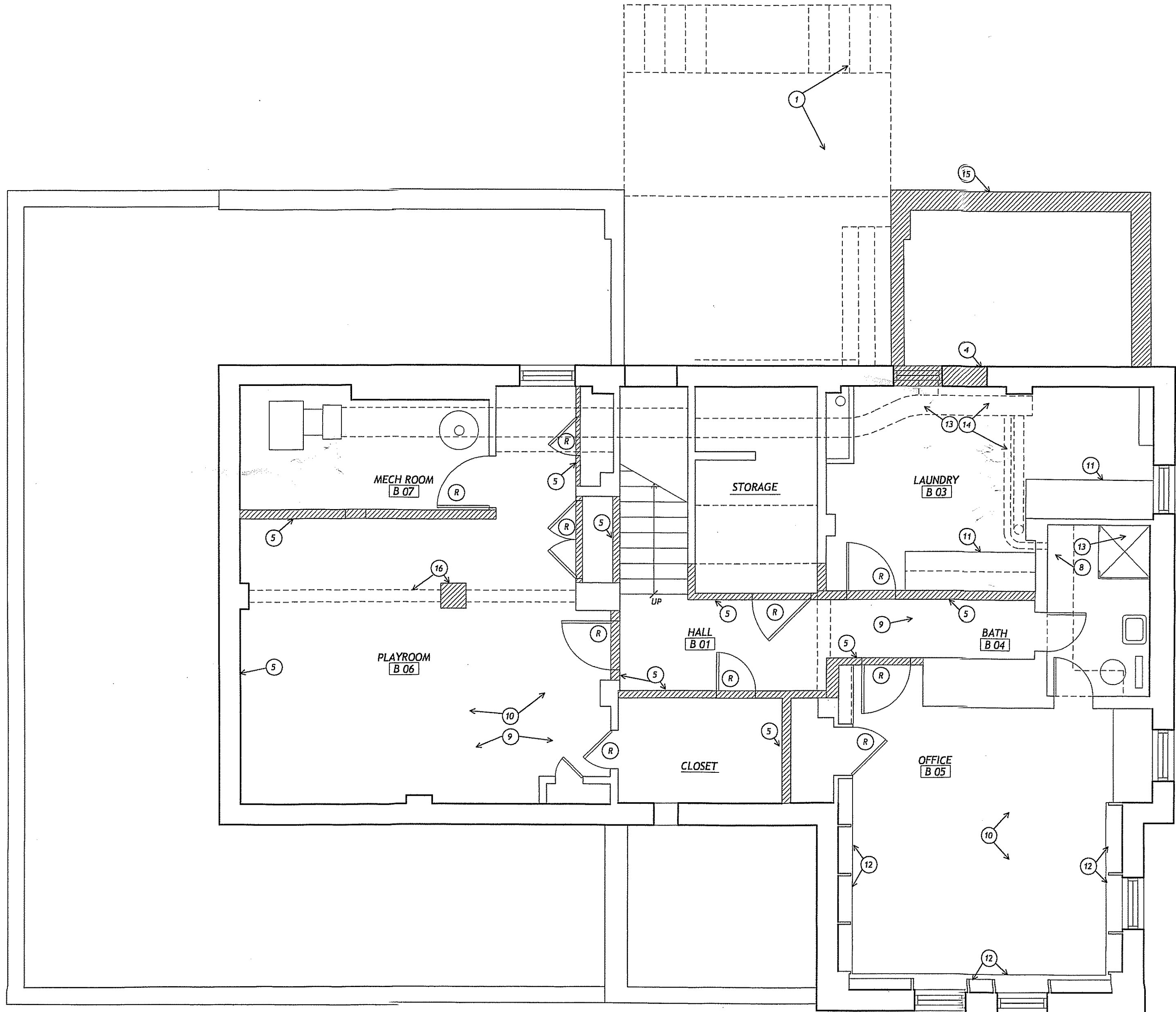
T.1



SD.1  
SITE PLAN  
1" = 10'-0"



APPROVED  
MUSE ARCHITECTS  
3646-A  
STATE OF MARYLAND  
ARCHITECTURAL REGISTRATION BOARD  
10/25/06 PERMIT  
9/10/06  
4/19/06 HAMP



**DEMOLITION NOTES**

HATCHED AREAS REPRESENT WALLS FOR DEMOLITION.

**GENERAL NOTES**

- A.1 REMOVE HATCHED AND / OR DOTTED PORTION OF EXISTING WALL, TYPICAL. COORDINATE W/ NEW WORK AS REQD. PROVIDE TEMPORARY BRACING AS REQD.
- A.2 SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
- A.3 COORDINATE WITH OWNER ON REMOVAL OF ITEMS TO BE SALVAGED / SAVED FOR RE-USE, TYPICAL.
- A.4 ANY PORTION OF HOUSE EXPOSED BY REMOVAL OF EXISTING WORK SHALL BE PATCHED TO MATCH ADJACENT EXISTING OR NEW SURFACE, AS REQD.
- A.5 SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING TREES DURING CONSTRUCTION. NO MATERIAL SHALL BE STORED OR PLACED WITHIN DRIP ZONE OF TREES.

- (R) REMOVE EXISTING WINDOW, CASING AND TRIM.
  - (R) REMOVE EXISTING DOOR, CASING AND TRIM.
1. REMOVE EXISTING WOOD DECK, STEPS, DECK FRAMING AND ASSOCIATED FOOTINGS.
  2. REMOVE EXISTING BRICK WALK AT AREA OF NEW WORK. STORE IN SECURE PLACE FOR RE-USE BY OWNER.
  3. REMOVE EXISTING EXTERIOR WOOD FRAMED WALL WHERE NOTED ON PLAN. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL NEW STRUCTURAL WORK IS IN PLACE.
  4. REMOVE MASONRY WALL AT AREA OF NEW OPENING. PROVIDE TEMP. BRACING AS REQD.
  5. REMOVE EXISTING INTERIOR WOOD FRAMED AND WOOD PANEL / GWB WALL WHERE NOTED ON PLAN.
  6. SALVAGE EXISTING WINDOWS FOR RE-USE.
  7. SALVAGE EXISTING DOORS FOR RE-USE IF / WHERE POSSIBLE.
  8. REMOVE CERAMIC TILE FLOORING WHERE NOTED. PROTECT EXISTING FLOORING TO REMAIN.
  9. REMOVE VINYL TILE FLOORING WHERE NOTED.
  10. REMOVE ACOUSTICAL TILE CEILING WHERE NOTED.
  11. REMOVE BASE AND WALL CABINETS AND P. LAM. COUNTERTOPS.
  12. REMOVE BOOKSHELVES AND BUILT-INS WHERE NOTED.
  13. REMOVE PLUMBING FIXTURES AND FITTINGS, SUPPLY AND WASTE LINES AS REQD. BY NEW WORK.
  14. REMOVE AND / OR RECONFIGURE EXPOSED DUCT WORK AT LAUNDRY ROOM AS INDICATED ON PLANS.
  15. REMOVE BREAKFAST ROOM ADDITION & ASSOCIATED FOOTINGS.
  16. REMOVE EXISTING INTERIOR MASONRY COLUMN. PROVIDE TEMP. BRACING AS REQD. UNTIL NEW STRUCTURAL WORK IS IN PLACE.

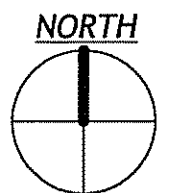
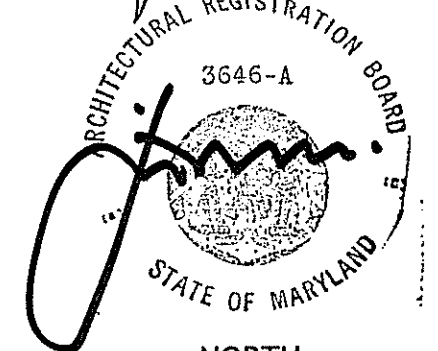
**MUSE ARCHITECTS**  
 Bethesda, MD 20814  
 7401 Wisconsin Avenue Suite 500  
 Phone 301.718.8118 FAX 301.718.8112

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND 20815

21 JUNE 2006 BID  
 10/25/06 PEKMY

BASEMENT DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"

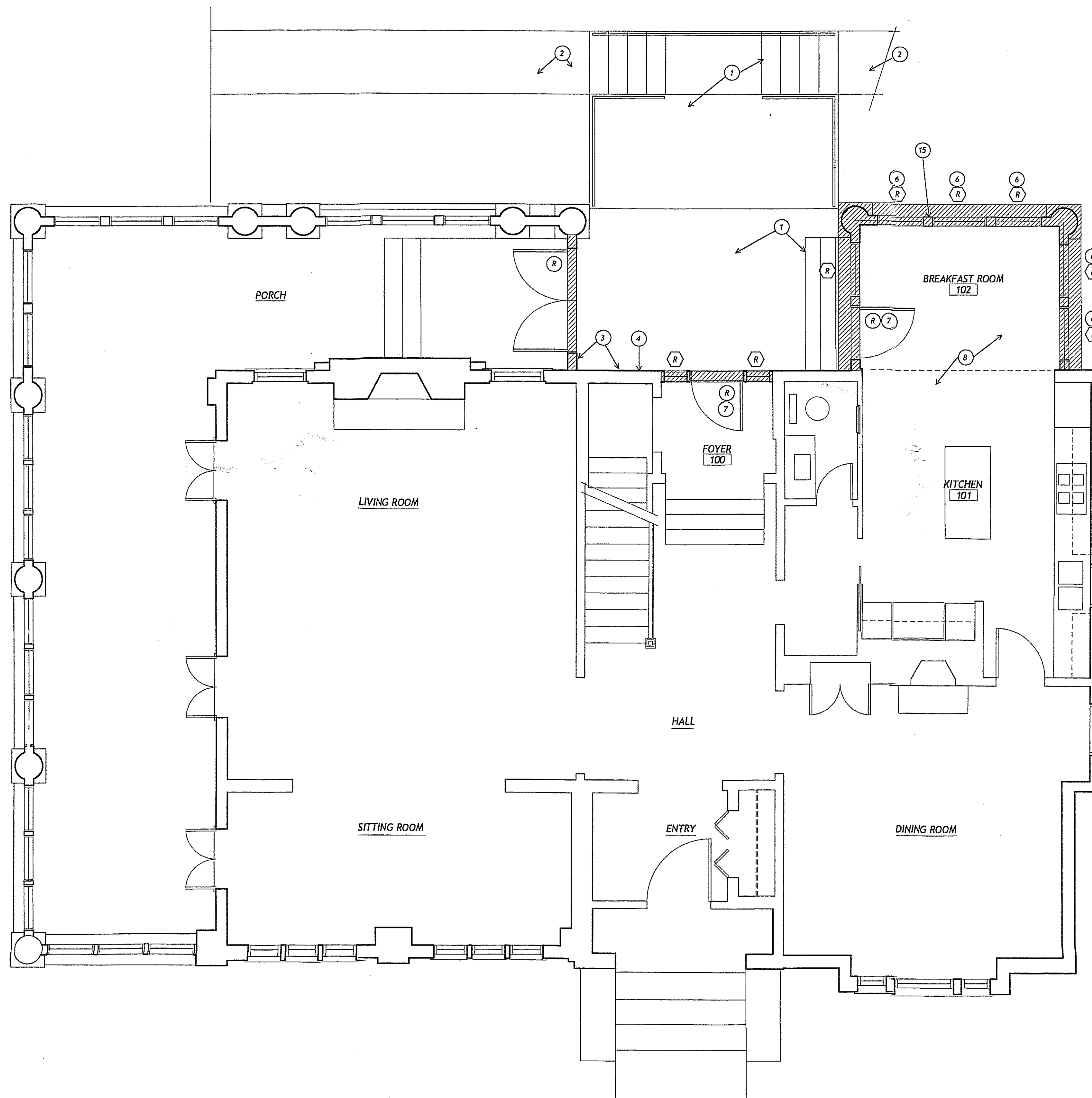
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



**BASEMENT DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

1  
 D.1

D.0

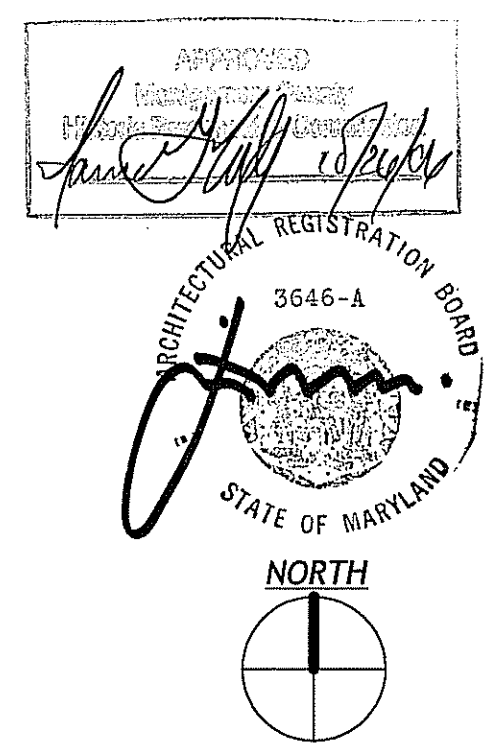


- DEMOLITION NOTES**
- ▨ HATCHED AREAS REPRESENT WALLS FOR DEMOLITION.
- GENERAL NOTES**
- A.1 REMOVE HATCHED AND / OR DOTTED PORTION OF EXISTING WALL, TYPICAL. COORDINATE W/ NEW WORK AS REQD. PROVIDE TEMPORARY BRACING AS REQD.
  - A.2 SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
  - A.3 COORDINATE WITH OWNER ON REMOVAL OF ITEMS TO BE SALVAGED / SAVED FOR RE-USE, TYPICAL.
  - A.4 ANY PORTION OF HOUSE EXPOSED BY REMOVAL OF EXISTING WORK SHALL BE PATCHED TO MATCH ADJACENT EXISTING OR NEW SURFACE, AS REQD.
  - A.5 SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING TREES DURING CONSTRUCTION. NO MATERIAL SHALL BE STORED OR PLACED WITHIN DRIP ZONE OF TREES.
- (R) REMOVE EXISTING WINDOW, CASING AND TRIM.
  - (R) REMOVE EXISTING DOOR, CASING AND TRIM.

- 1. REMOVE EXISTING WOOD DECK, STEPS, DECK FRAMING AND ASSOCIATED FOOTINGS.
- 2. REMOVE EXISTING BRICK WALK AT AREA OF NEW WORK. STORE IN SECURE PLACE FOR RE-USE BY OWNER.
- 3. REMOVE EXISTING EXTERIOR WOOD FRAMED WALL WHERE NOTED ON PLAN. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL NEW STRUCTURAL WORK IS IN PLACE.
- 4. REMOVE EXTERIOR WALL FINISH AS REQUIRED IN PREPARATION FOR NEW PTD. GWB FINISH.
- 5. REMOVE EXISTING INTERIOR WOOD FRAMED AND WOOD PANEL / GWB WALL WHERE NOTED ON PLAN.
- 6. SALVAGE EXISTING WINDOWS FOR RE-USE.
- 7. SALVAGE EXISTING DOORS FOR RE-USE IF / WHERE POSSIBLE.
- 8. REMOVE CERAMIC TILE FLOORING WHERE NOTED. PROTECT EXISTING FLOORING TO REMAIN.
- 9. REMOVE VINYL TILE FLOORING WHERE NOTED.
- 10. REMOVE ACOUSTICAL TILE CEILING WHERE NOTED.
- 11. REMOVE BASE AND WALL CABINETS AND P. LAM. COUNTERTOPS.
- 12. REMOVE BOOKSHELVES AND BUILT-INS WHERE NOTED.
- 13. REMOVE PLUMBING FIXTURES AND FITTINGS, SUPPLY AND WASTE LINES AS REQD. BY NEW WORK.
- 14. REMOVE AND / OR RECONFIGURE EXPOSED DUCT WORK AT LAUNDRY ROOM AS INDICATED ON PLANS.
- 15. REMOVE BREAKFAST ROOM MASONRY COLUMN. PROVIDE TEMP. BRACING AS REQD. UNTIL NEW STRUCTURAL WORK IS IN PLACE.

**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

1  
D.1





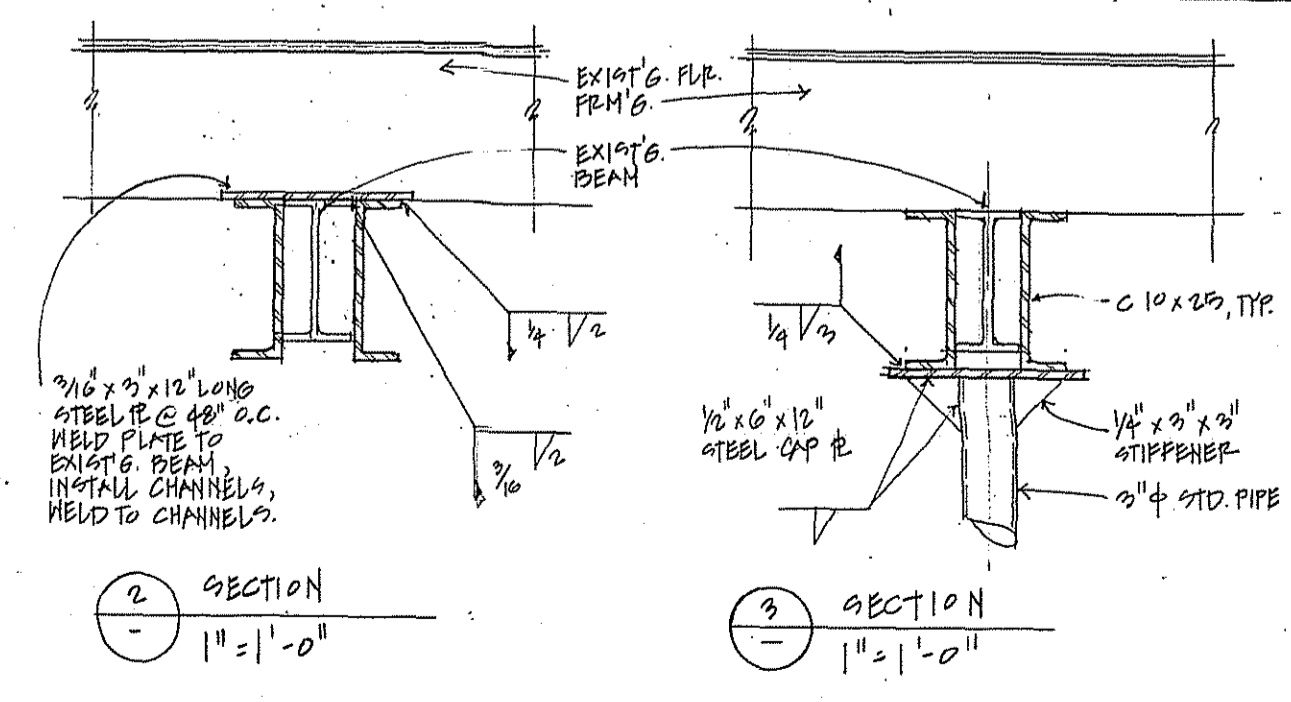
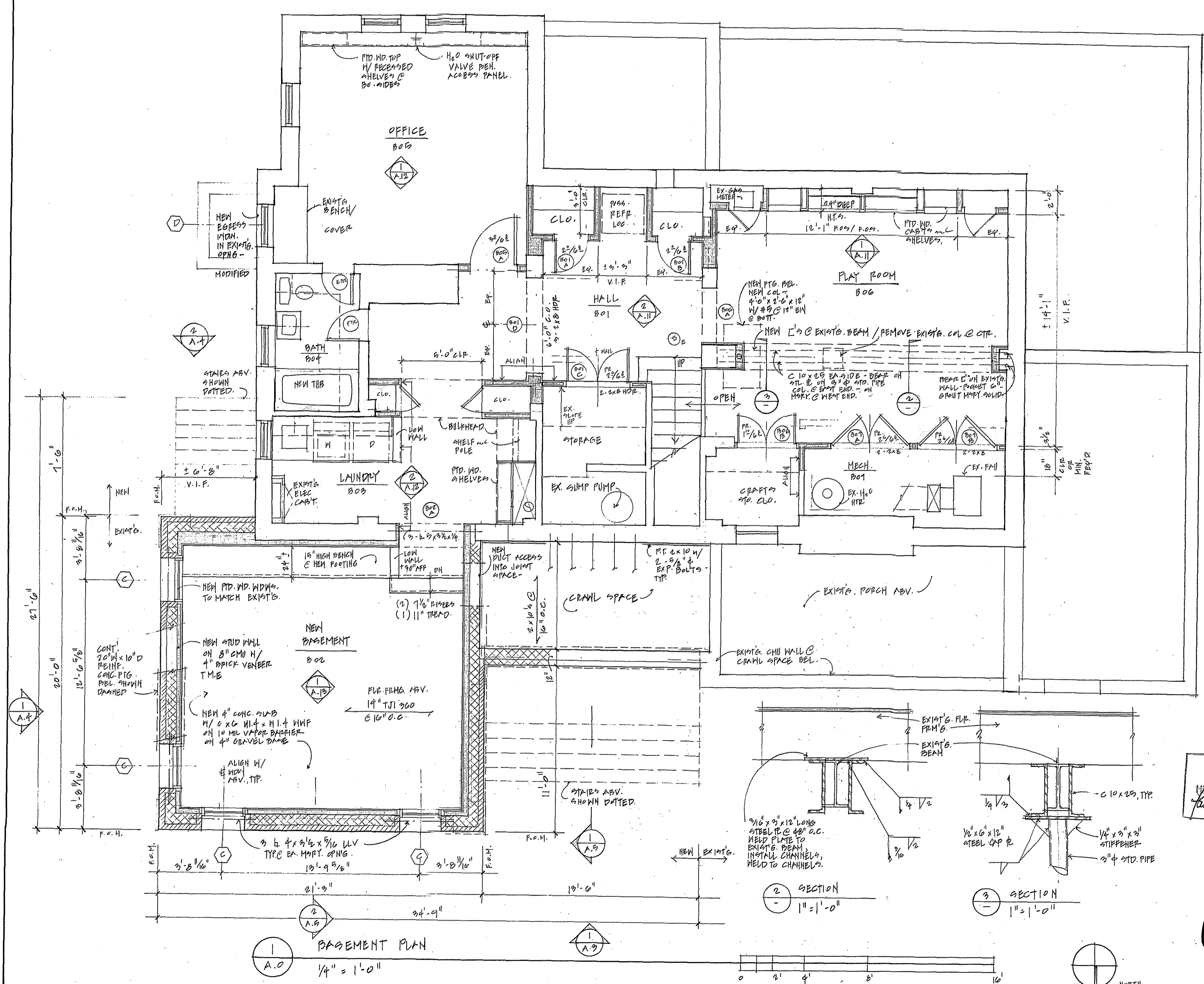
NOTES: 1. ALL NEW INTERIOR WALL FRAMING AND C.FLOORING TO BE 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE.

**MUSE ARCHITECTS**  
 5630 Connecticut Avenue NW  
 Washington DC 20015  
 Phone 202.966.6266  
 Facsimile 202.966.9666

**RUPP / BUTSWINKAS RESIDENCE**  
 ADDITION TO & RENOVATION OF THE  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"

A.0



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*

ARCHITECTURAL REGISTRATION BOARD  
 3646-A  
 STATE OF MARYLAND  
*[Signature]*

10/25/06 PERMIT  
 9/10/06  
 6/1/06 BID  
 4/5/06 HAMP

GROSS SQUARE FOOTAGE CALC.

	DEMO	NEW	NET ADD
FIRST FLOOR	1200 SF	400 SF	880 SF
BASEMENT	0	350 SF	350 SF

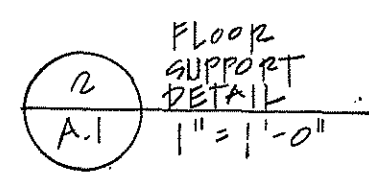
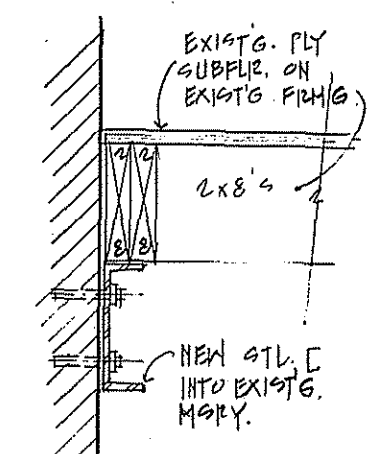
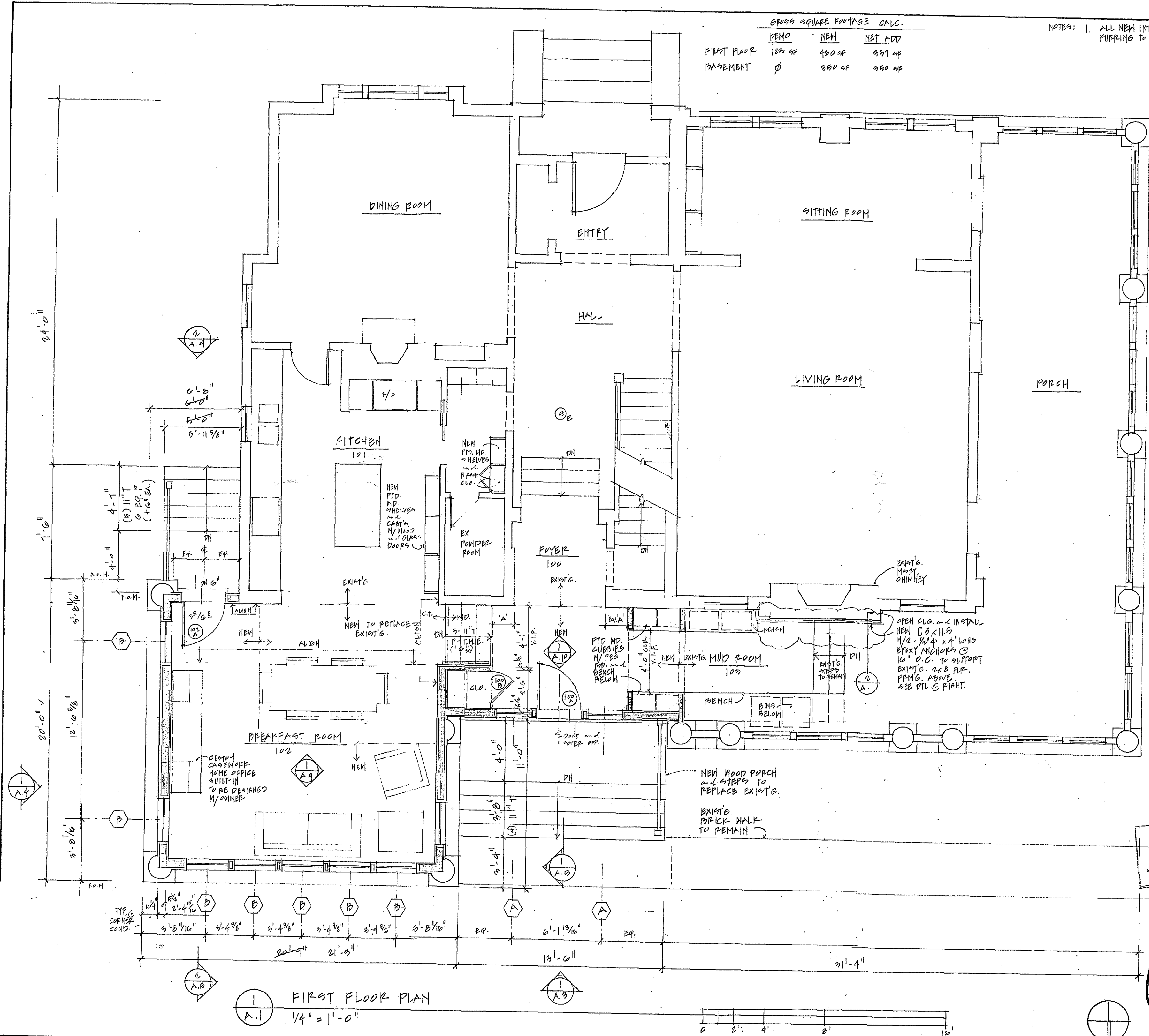
NOTES: 1. ALL NEW INTERIOR WALL FRAMING AND FURRING TO BE 2x4 @ 16" O.C., UNO.

**MUSE ARCHITECTS**  
 5630 Connecticut Avenue NW  
 Washington DC 20015  
 Phone 202.966.6266  
 Facsimile 202.966.9666

**RUPP / BUTSWINKAS RESIDENCE**  
 ADDITION TO & RENOVATION OF THE  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

A.1

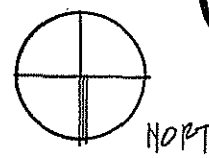
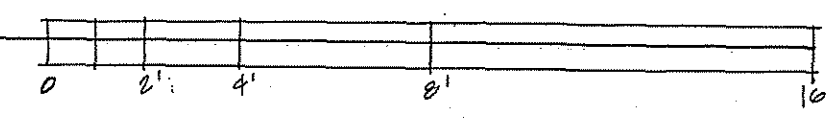


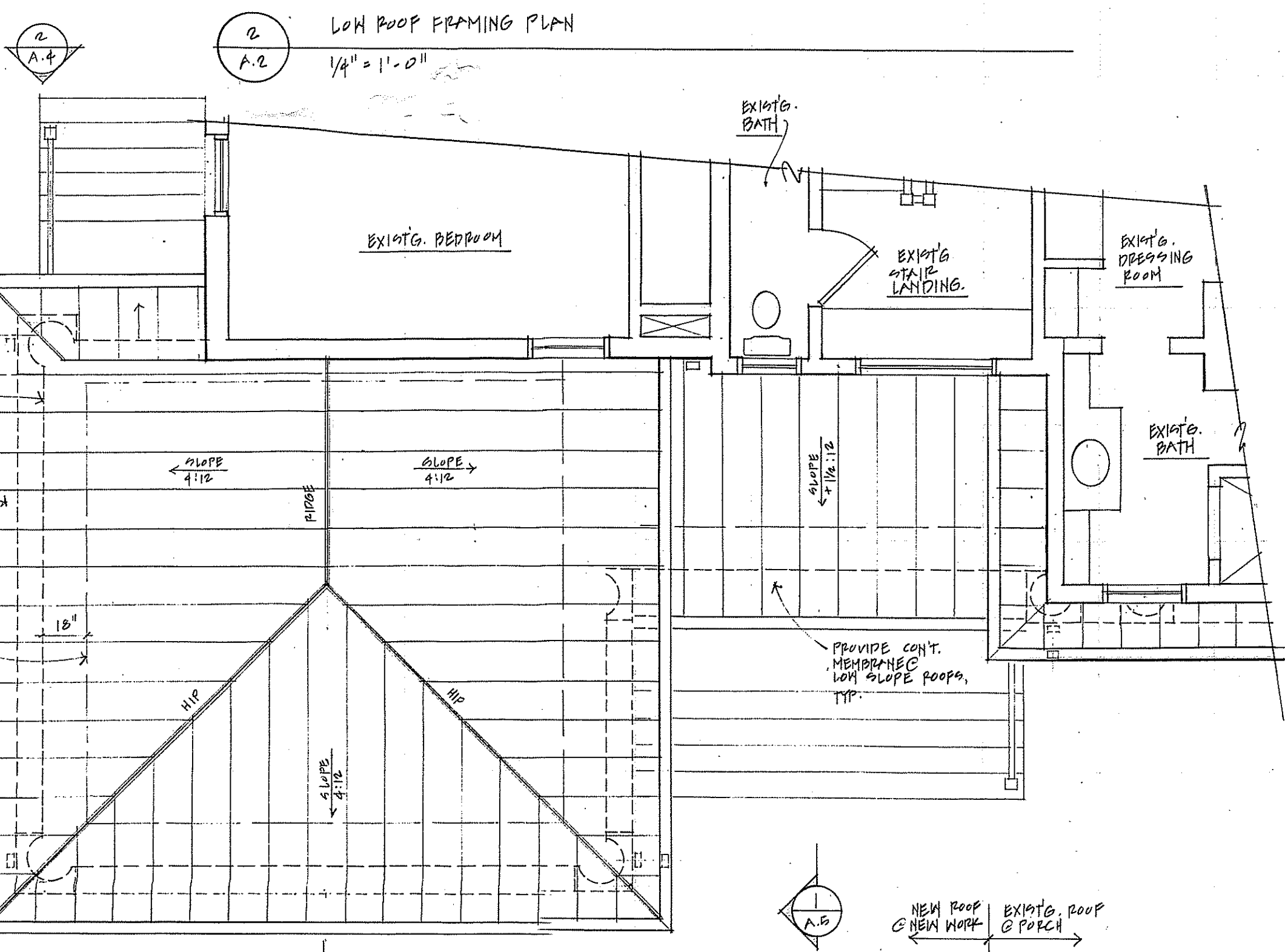
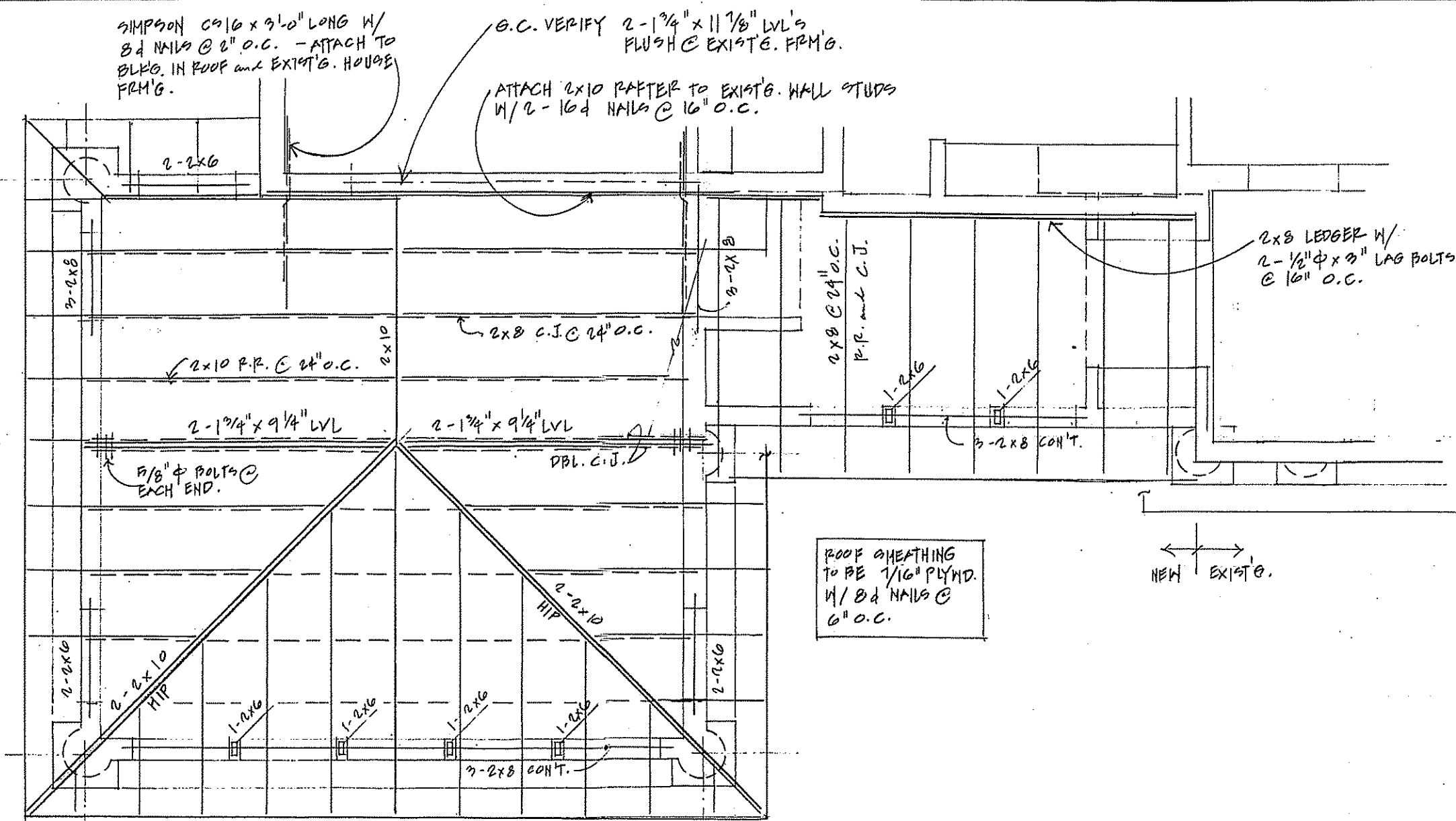
APPROVED  
 Montgomery County  
 Howard County  
 Anne Arundel County

ARCHITECTURAL REGISTRATION BOARD  
 3646-A  
 STATE OF MARYLAND  
 10/25/06 PERMIT  
 9/10/06  
 6/1/06 BID  
 4/5/06 HAMP

PERM  
 W/OUT 2004 A  
 W/AN 2004 A  
 2004 A

FIRST FLOOR PLAN  
 1/4" = 1'-0"





1 A.2 PARTIAL SECOND FLOOR PLAN / ROOF PLAN @ ADD'TN.  
1/4" = 1'-0"



STRUCTURAL NOTES

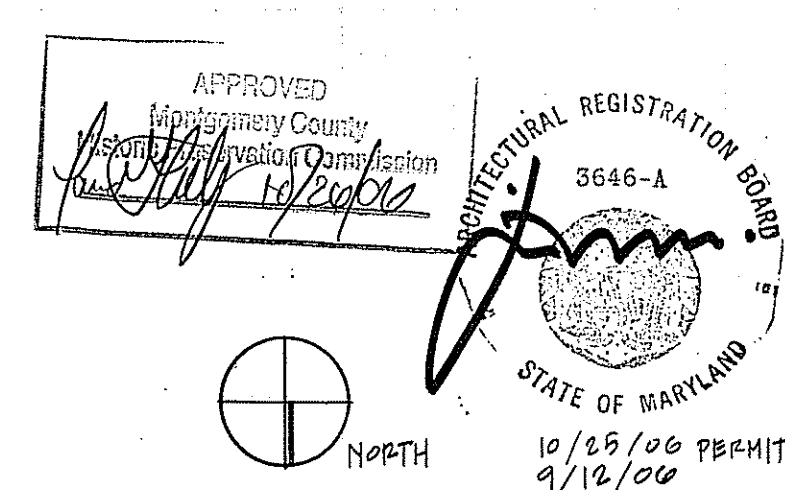
- The basic stability of the structure is dependent upon the diaphragm action of the floors, walls and roof acting together. The Contractor shall provide all guys, braces, struts, etc. as required to accommodate all Live, Dead, and Wind Loads until all final connections between structural elements are made.
- Basement and foundation walls are dependent upon the completed installation of free-draining foundation system, of floor framing and of subflooring for their stability. Contractor shall not place backfill until foundation drainage, floor framing, and subfloorings are completely installed or until Contractor has provided appropriate shoring and bracing.
- Contractor shall be solely responsible for all precautions for safety and for all temporary shoring, bracing, sequencing, and means and methods of construction.
- Contractor shall be responsible for coordination of all work between the different trades. All openings, holes, sleeves, box outs, etc. shall be submitted for Architect/Engineer approval.
- All existing conditions and built-progress conditions shall be verified by the Contractor and any discrepancies with the Contract Documents shall be referred to the Architect/Engineer for approval.
- Design loads are:
 

Roof:	30 psf, for drifting per BOCA
Living Areas:	40 psf
Bedroom:	30 psf
Areas:	
Exterior Deck:	60 psf
Dead Load:	10 psf, minimum
- Footings shall bear on undisturbed earth, at minimum of 2'-6" below finish grade, with a minimum bearing capacity of 2000 psf. Soil bearing to be verified in the field prior to pouring footings by a registered engineer experienced in soils engineering or by a qualified inspector. Where required, step footings in a ratio of 2 horizontal to 1 vertical.
- At intersections between new and existing walls, step new footing to match existing. Drill and grout two -#5 bars x 1'-6" long into the existing footings.
- Foundation walls are designed for a lateral earth pressure of 30 pcf assuming a free-draining material or drainage board behind wall with a perimeter foundation drainage system. Notify Structural Engineer if soil conditions differ.
- Steel lintel angles shall be installed with long legs vertical, with one angle for each 4" of wall thickness. Unless noted otherwise, lintels shall be as follows:
 

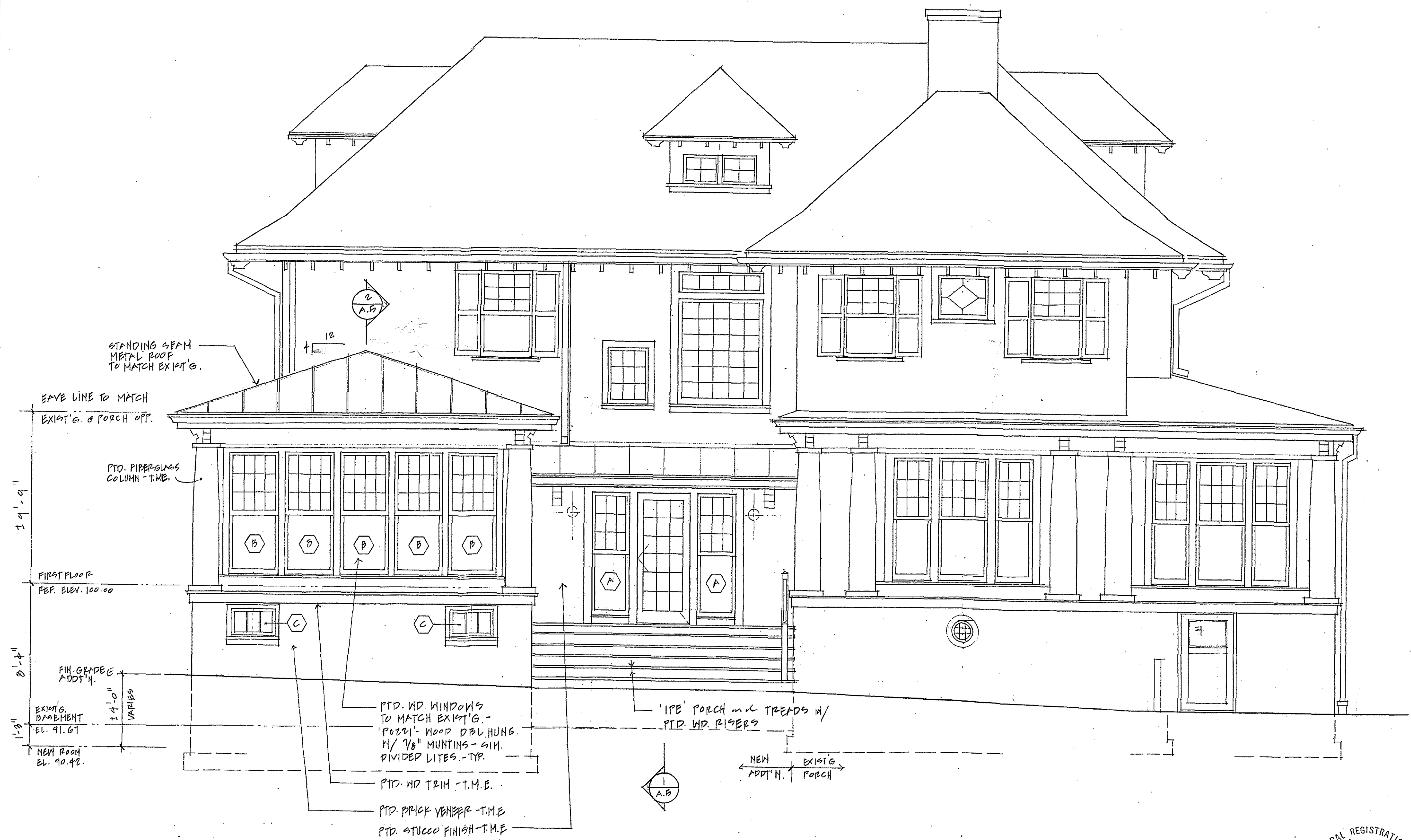
less than 3'-0":	1-L 3 1/2" x 3 1/2" x 1/4"
less than 6'-0":	1-L 4" x 3 1/2" x 5/16"
less than 8'-0":	1-L 6" x 3 1/2" x 5/16"

 Lintels shall bear each end, 1" per foot of span, but not less than 4", and shall bear on a minimum of 8" x 8" solid masonry, unless noted otherwise.
- All expansion bolts or sleeve anchors in masonry walls shall be placed in grouted solid masonry.
- Headers, in frame walls shall be 2-2x8, minimum, unless otherwise indicated.
- Rough Carpentry: Conform to NFOPA's "Manual of House Framing". Material within 12" of grade to be preservative treated.
- Framing materials:
 

Lumber:	#2 Hemfir or #2 SYP, S4S, kiln dried
Sheathing:	1/2" CDX APA-marked plywood or as noted
Subfloor:	3/4" CD fir plywood, T&G APA-marked, exterior glue
Wood T Joist:	Trus-Joist MacMillan
Manufactured Lumber:	Micro-Lam or Timberstrand



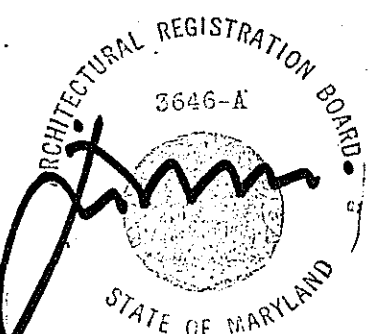




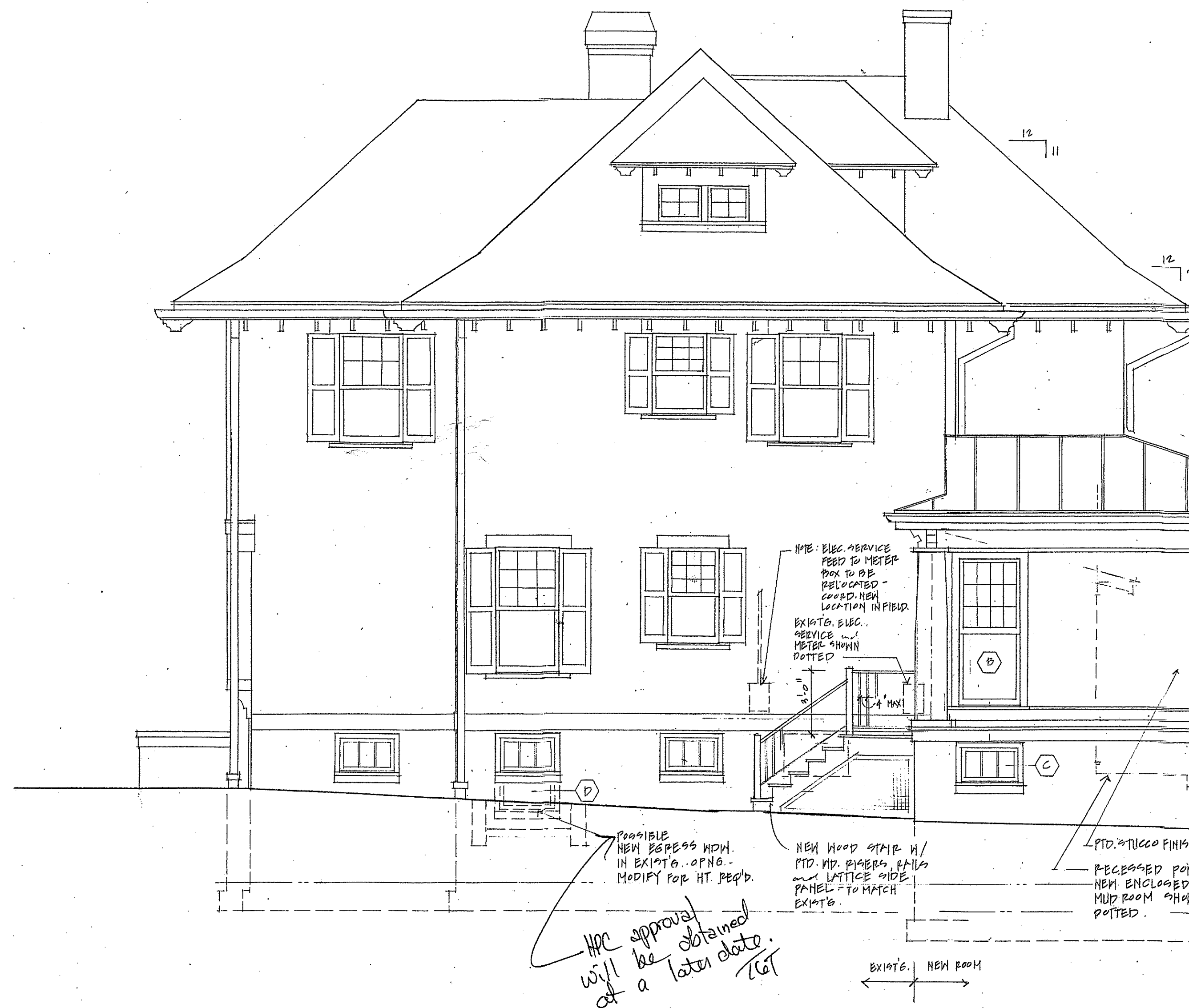
1 NORTH ELEVATION  
 A-3  
 1/4" = 1'-0"



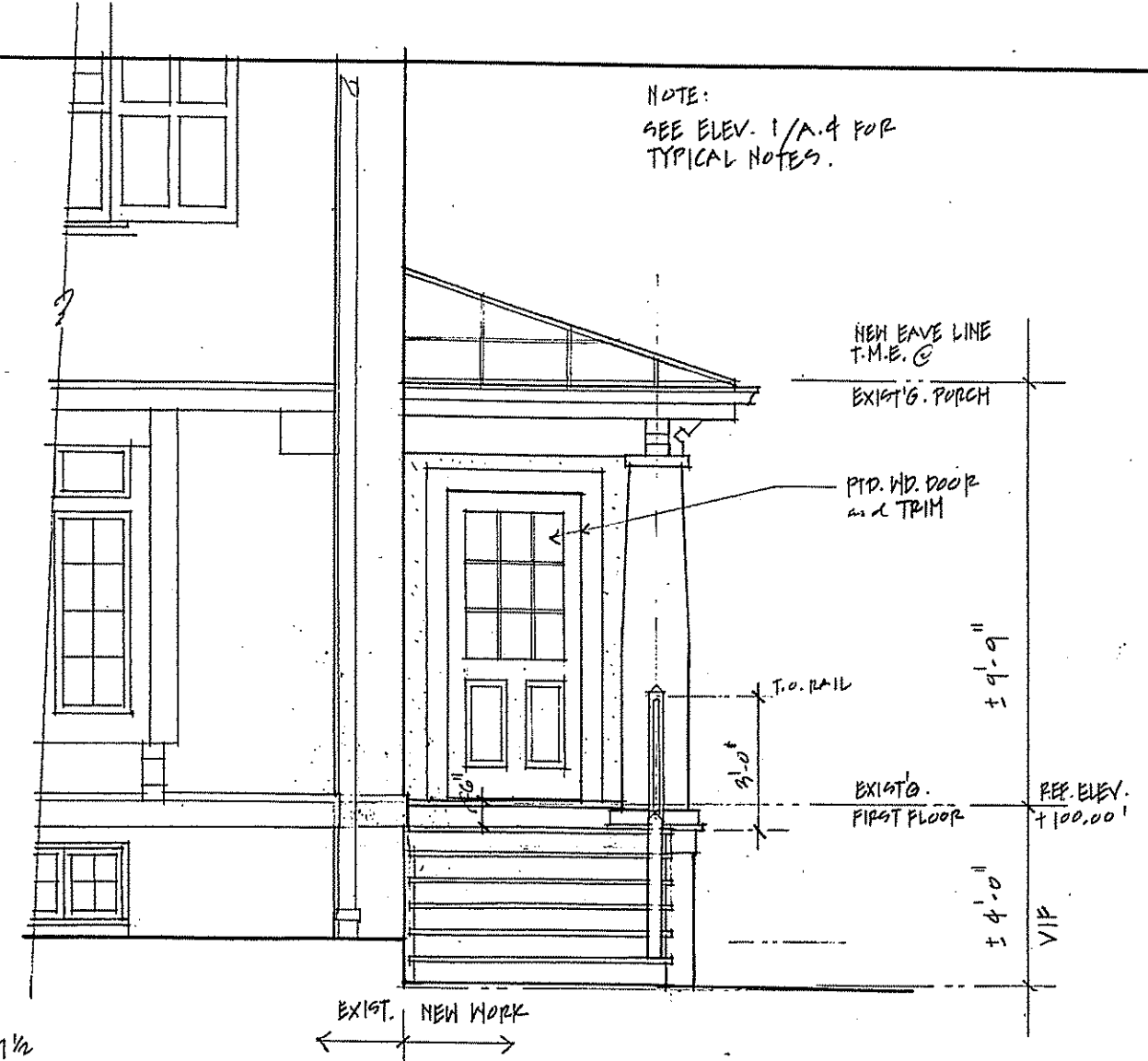
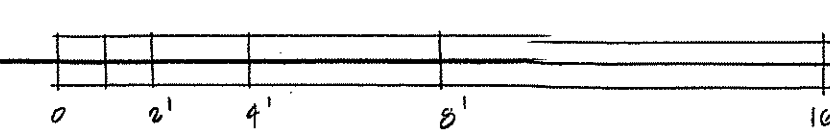
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



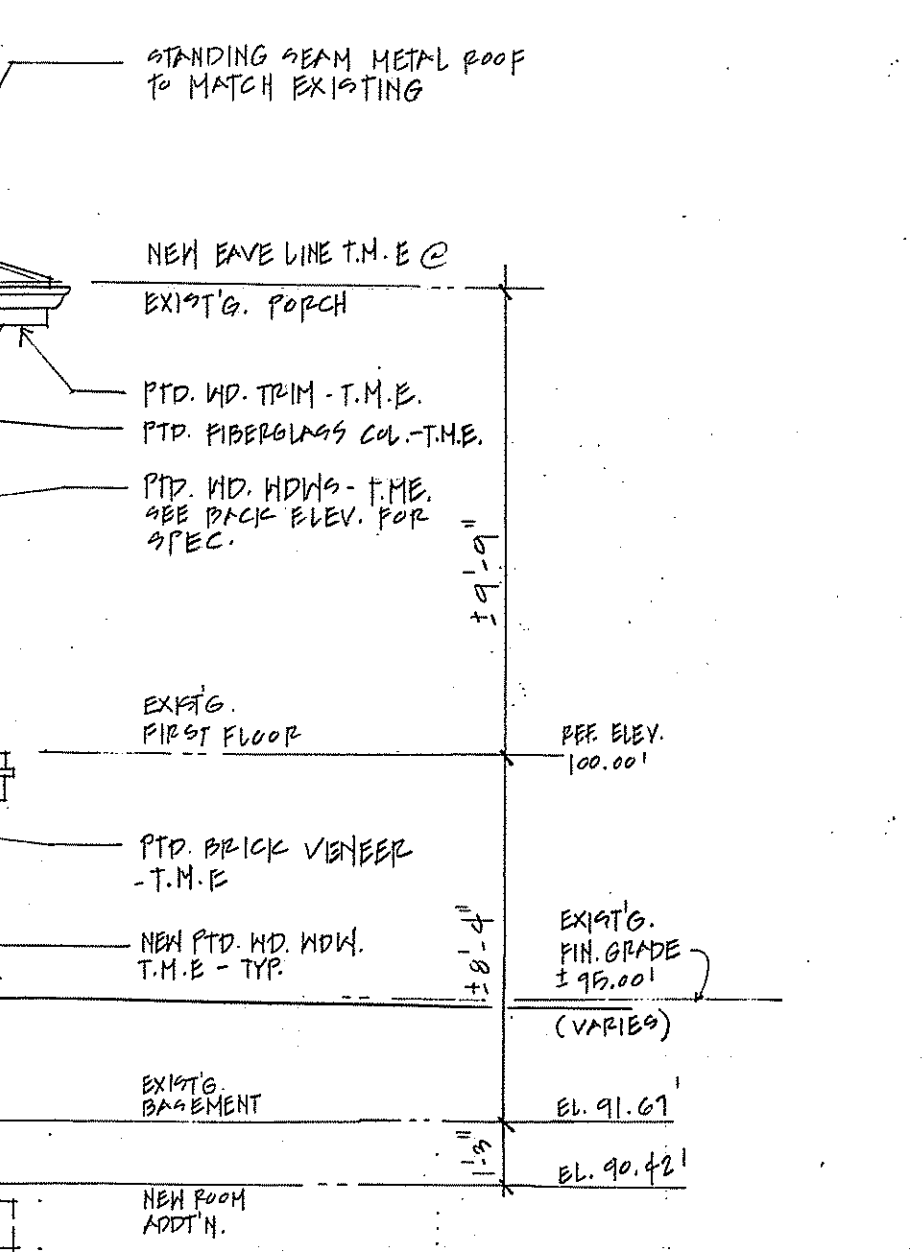
10/25/06 PERMIT  
 9/10/06  
 6/1/06 BID  
 4/18/06 HAMP



1  
A.4  
EAST ELEVATION  
1/4" = 1'-0"



2  
A.4  
PARTIAL SOUTH ELEVATION @ NEW WORK  
1/4" = 1'-0"



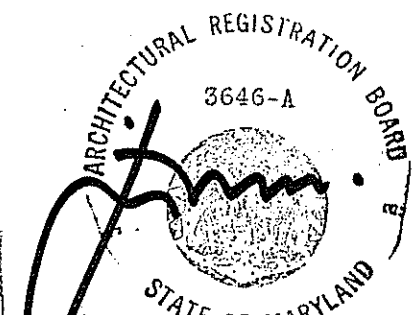
NOTE:  
SEE ELEV. 1/A.4 FOR  
TYPICAL NOTES.

**MUSE ARCHITECTS**  
Washington DC 20015  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Facsimile 202.966.9666

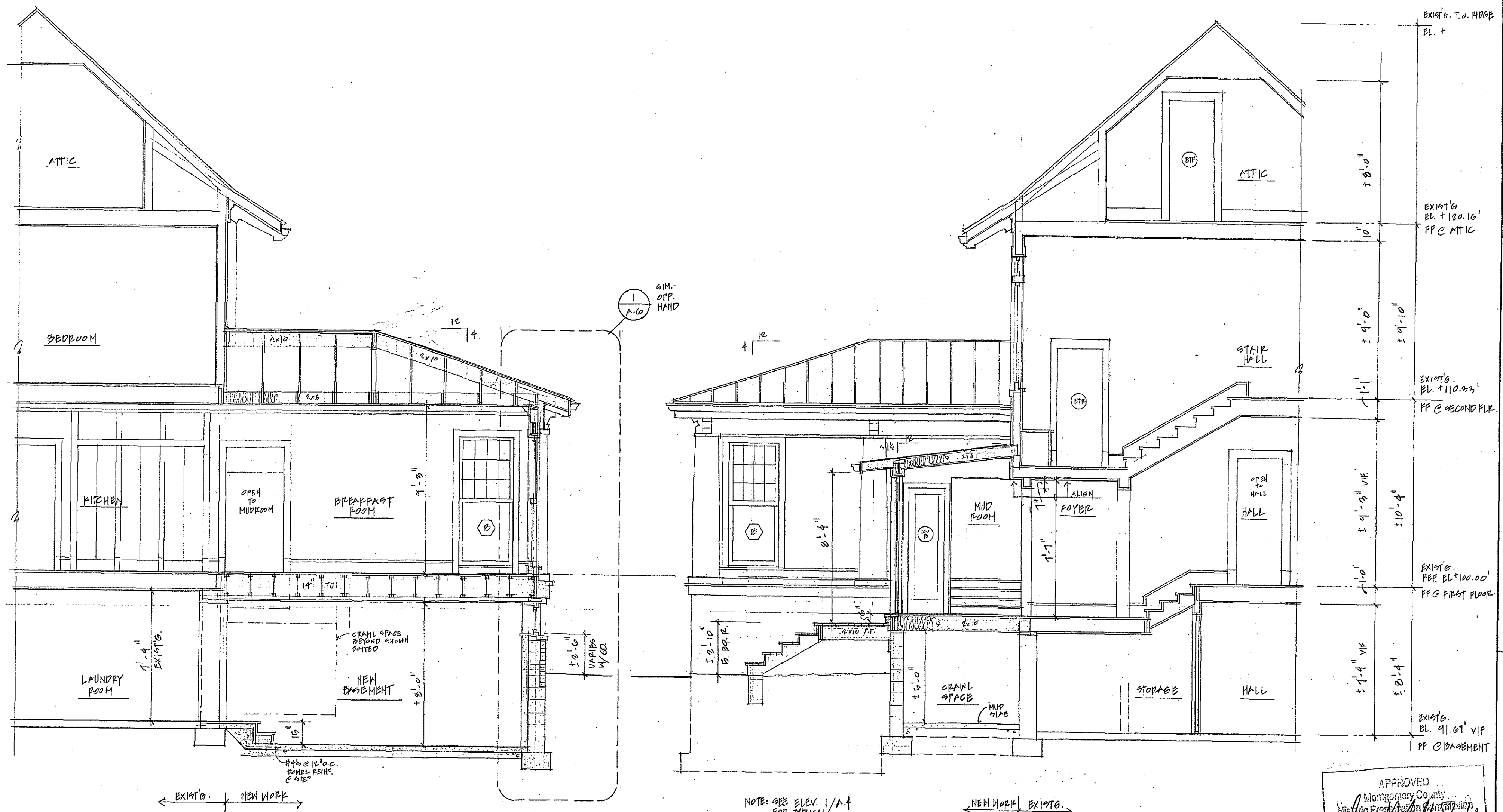
ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

BUILDING ELEVATIONS  
SCALE: 1/4" = 1'-0"  
A.4

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



10/25/06 PERMIT  
9/10/06  
01/10/06 BID  
4/18/06 HAMP



2 SECTION @ BREAKFAST ROOM ADDITION  
 A.5 1/4" = 1'-0"

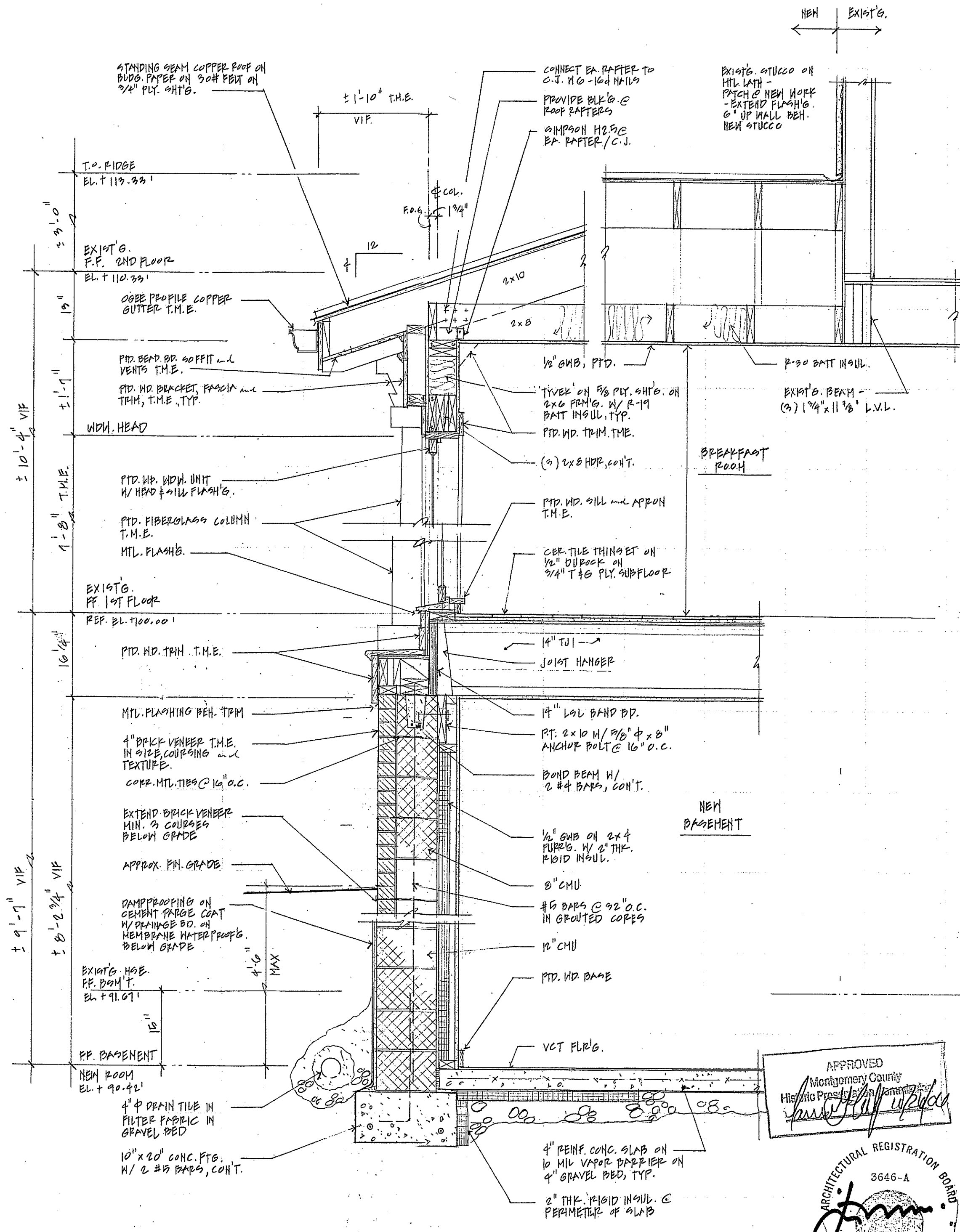
1 SECTION @ MUDROOM ADDITION  
 A.5 1/4" = 1'-0"

NOTE: SEE ELEV. 1/A+4 FOR TYPICAL FINISH NOTES.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*

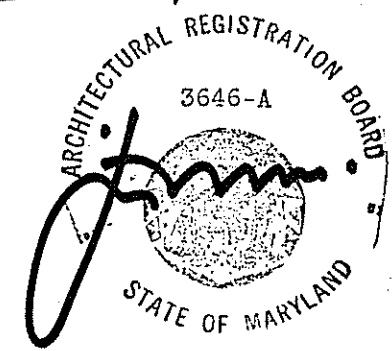
ARCHITECTURAL REGISTRATION BOARD  
 3646-A  
*[Signature]*  
 STATE OF MARYLAND

10/25/06 PERMIT  
 9/29/06



1 WALL SECTION @ ADDITION  
 A.6 3/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



10/25/06 PERMIT



**WINDOW SCHEDULE**

SYMBOL	DESCRIPTION	FRAME SIZE	LITES	REMARKS
A	DOUBLE HUNG	29 3/8" x 88 11/16" WDH2440	3w x 3h/ 1	Notes 3 & 4.
@ Breakfast Room	2 total *	R.O. 29 7/8" x 89 3/16"		* Re-use salvaged 'A' windows where shown on plan, if possible.
B	DOUBLE HUNG	37 3/8" x 88 11/16" WDH3240	3w x 4h/ 1	Notes 3 & 4.
@ Breakfast Room	8 total *	R.O. 37 7/8" x 89 3/16"		* Re-use salvaged 'B' windows where shown on plan, if possible.
C	AWNING	30" x 18" A3018-11	3w x 1h	Notes 3 & 4.
@ New Playroom	4 total	M.O. 33 1/4" x 21 5/16"		
D	CASEMENT	30" x 42" (or 30" x 48") WC3042 (or WC3048)	3w x 3h	Notes 3 & 4. Satisfies egress requirements.
@ Office	1 total	M.O. 33 1/4" x 45 5/16"		
E	FRENCH DOOR	3'-0" x 7'-6" nom. ** similar to WISWT3080	3w/6h	Notes 3 & 4. Provide wood framed screen door w/ removable stop. ** Custom height to align w/ type A windows adjacent.
@ Back Entry Hall	1 total	R.O. 37 15/16" x 89 3/16"		

**NOTES:**

- All windows shall be Pozzi, Standard Series, thermal glazed, simulated divided light, w/ Low-E coating, unless noted otherwise.
- Contractor to verify all dimensions in field prior to placing order, typical.
- Finished window heads shall align w/ adjacent door heads as indicated in the Drawings.
- Provide tempered glazing where required by code.
- Provide screens at all operable windows.
- Provide window units with manufacturer's standard hardware and/or to match existing, uno.
- Refer to Specification Division 8 for glazing, muntin bar, hardware, screens and finishes.
- Provide shop drawings for architect's review prior to placing order.

**FINISH SCHEDULE**

SYMBOL	ROOM	FLOOR	WALL	BASE	CEILING	CEILING HT	TRIM TYPE	REMARKS
FIRST FLOOR							typ. base, uno: 1 x 8 w/ Smoot 1 3/8" hooked ogee cap, ptd.	Note: Existing finishes to remain noted ETR
100	Foyer		Wood ETR	GWB, Ptd.	Wood, Ptd.	GWB, Ptd.	Slopes -9'-0" to 8'-0"	Refinish existing wood floor. Re-paint.
101	Kitchen		Ceramic Tile ETR	GWB, Ptd. ETR	Wood, Ptd. ETR	GWB, Ptd. ETR	9'-3" ETR	
102	Breakfast Room		Ceramic Tile	GWB, Ptd.	Wood, Ptd.	GWB, Ptd.	9'-3" to match exist'g.	2 piece crown TME New tile to match exist'g at Kitchen. Transition pattern to be determined.
103	Mud Room		Wood w/ Stone or Ceramic tile inset	MR GWB, Ptd.	Ptd. Wd.	GWB, Ptd.	Varies	T & G beaded board, Ptd patching at joint w/ exist'g ceiling.
104	Stair Landing Bath		Wood ETR	GWB, Ptd. ETR	Wood, Ptd. ETR	GWB, Ptd. ETR	-8'-0" ETR	

**BASEMENT**

SYMBOL	ROOM	FLOOR	WALL	BASE	CEILING	CEILING HT	TRIM TYPE	REMARKS
B01	Basement Hall		Ceramic OR Vinyl tile	GWB, Ptd.	1x4, ptd	GWB, Ptd.	-7'-4"	typ. base, uno: 1 x 4, ptd. Note: Existing finishes to remain noted ETR
B02	New Basement Room		Ceramic OR Vinyl tile	GWB, Ptd.	1x4, ptd	GWB, Ptd.	8'-0"	
B03	Laundry Room		Ceramic OR Vinyl tile	GWB, Ptd.	1x4, ptd	GWB, Ptd.	-7'-4"	
B04	Bath		Ceramic tile ETR	CT/ MR GWB, Ptd.	1x4, ptd	GWB, Ptd. ETR	-7'-4"	
B05	Office		Carpet	GWB, Ptd.	1x4, ptd	GWB, Ptd.	-7'-4"	
B06	Play Room		Ceramic OR Vinyl tile	GWB, Ptd.	1x4, ptd	GWB, Ptd.	-7'-4"	
B07	Mech. Room		Conc. ETR				varies	

**DOOR SCHEDULE**

NUMBER	LOCATION	TYPE	SIZE	MATERIAL & FINISH	FRAME TYPE	HRDW	REMARKS
FIRST FLOOR							Note: ** All frames Ptd. Wd. U.N.O. Per Div. 1 allowances
100 A Exterior	Back Entry Hall	A	3'-0" x 7'-6" x 1 3/4"	Wd. & Glass lites 3w/6h	Pozzi - see Wdw. Sched.	SC 1	Note: Door and window heads to align. Re-use existing door if poss.
100 B Exterior	Back Entry Hall	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	
102 A Exterior	Breakfast Room	C	3'-0" x 7'-0" x 1 3/4"	Wd. & Glass, ptd.		E 1	

NOTE: PROVIDE MANUFACTURER'S HANDLE EXTENDERS AT INTERIOR OF FRENCH DOORS.

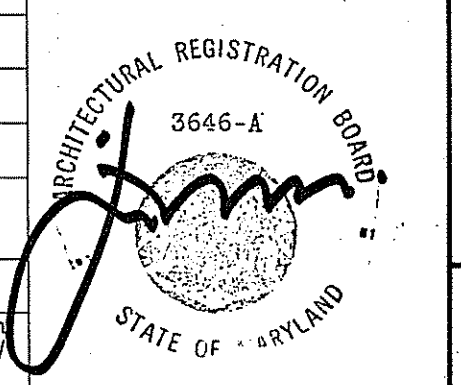
**BASEMENT**

NUMBER	LOCATION	TYPE	SIZE	MATERIAL & FINISH	FRAME TYPE	HRDW	REMARKS
B01 A	Hall	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	
B01 B	Hall	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	
B01 C	Hall	B	Pr. 2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		Dummy D1	
B01 D	Hall	-	-6'-0" x 6'-8"	-		C.O.	
B02 A	New Play Room	-	-3'-8" x 6'-6"	-		C.O.	Max. width possible
B03 A	Laundry	B	1'-6" x 6'-0" x 1 3/8"	Wd. Panel, ptd.		PA 1	Or Dummy
B03 B	Laundry	B	1'-6" x 6'-0" x 1 3/8"	Wd. Panel, ptd.		PA 1	Or Dummy
B04 A ETR?	Bath	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PR 1	
B04 B ETR?	Bath	B	2'-6" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PR 1	
B05 A	Office	B	3'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PR 1	
B06 A	TV / Play Room	-	-3'-4" x 6'-8"	-		C.O.	Max. width possible
B06 B	Crafts Closet	B	Pr. 1'-10" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	Lock
B06 C	TV / Play Room	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	
B06 D	TV / Play Room	B	2'-0" x 6'-8" x 1 3/8"	Wd. Panel, ptd.		PA 1	
B07 A	Mech. Room	B or D	Pr. 2'-6" x 6'-8" x 1 3/8"	Wd. Panel, ptd. or Wd. Louver		Dummy D1	
B07 B	Mech. Room	B or D	Pr. 2'-6" x 6'-8" x 1 3/8"	Wd. Panel, ptd. or Wd. Louver		Dummy D1	

**HARDWARE SCHEDULE**

Type	Location	Description	Manufacturer & model #	Finish	Remarks
E 1	Breakfast Room	Entrance set Deadbolt	5202 Classic - Baldwin 'Images' 8031 Traditional low profile		
PA 1	Typical, U.N.O.	Passage Set	5405 Classic Baldwin 'Images'	Unlaquered Brass?	2 1/8" diam. knob
PR 1	Office & Bath	Privacy Set	5405 Classic Baldwin 'Images'	Unlaquered Brass	Note: Confirm if Split finish req'd.
D 1	where noted	Dummy set Adjustable ball catch	5405 Classic - Baldwin 'Images' 347	Unlaquered Brass	Use closet spindle @ interior of closet.
DS	Where applicable	Base mtd. door stop or Floor mtd. door stop	Baldwin 4045 OR Baldwin 4000 series	Unlaquered Brass	Coordinate type & location w/ owner. Do not use hinge or door mounted stops.
Door Stop	Where required	Deadbolt	8031 Traditional low profile		To match knobset
SC 1 Screen Door	Mud Room	Storm Door Latch ** (optional Push bar)	Ives #980 (Trimco #1643)	Unlaquered Brass	Stagger knobs of main & screen doors. If used** Coordinate w/ screen door design; Specify center to center dimension.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



10/29/06 PERMIT  
9/10/06

RUPP / BUTSWINKAS 05-04 16 JUNE 2006 / REV 10/5/06

FOR CONTRACT - CONFIRM FINAL SELECTIONS PRIOR TO PLACING ORDER

**LIGHT FIXTURE SCHEDULE**

NOTE: PROVIDE SAMPLE OF EACH LAMP TYPE FOR ALL RECESSED FIXTURES BEFORE ORDERING.

SYMBOL	FIXTURE	MANUFACTURER	LAMP	REMARKS
1	5" RECESSED DOWN LIGHT @ Basement 1012 w/ frame-in kit as req'd. by site conditions.	Lightolier	Westinghouse 'Halogen SpectraLite' 75W R30 FL/SL	Specular gold reflector. Coordinate fixture depth with insulated ceiling and joist depth.
23 total				
1 A	6 3/4" RECESSED SHOWER LIGHT @ Bath 1126 Fresnel Lenslite w/ non-IC frame-in kit	Lightolier	(1) 100 W incandescent	Coordinate fixture depth with insulated ceiling and joist depth.
1 total				
2	5" RECESSED DOWN LIGHT @ Kitchen 1013CD w/ 1004ICX frame-in kit	Lightolier	Westinghouse 'Halogen SpectraLite' 75W R30 FL/SL	Clear diffuse reflector. Coordinate fixture depth with insulated ceiling and joist depth.
6 total				
3	SURFACE MOUNTED FIXTURE @ Foyer		incandescent	Owner provide. Contractor install.
1 total				
4	Allowance: \$200.00 per fixture SURFACE MOUNTED FIXTURE @ Basement # M338 - Jesolo Flush - opal glass 12" wide x 4" high	Nemo Meltemi/ Lighting Forum	(2) 60 W incandescent	
5 total				
5	SURFACE MOUNTED FIXTURE @ New Room # M342 - Jesolo Flush - opal glass 14 1/2" wide x 5" high	Nemo Meltemi/ Lighting Forum	(2) 60 W incandescent	
1 total				
6	WALL MOUNTED FLUORESCENT STRIP #4983-15, 36" OR # 4982-15, 24" or as required; white	Sea Gull Lighting	(1) 30W T-12 35K	Center over door. Locate on wall if possible. Provide jamb switch only where noted on plan.
6 total				
7	UNDER CABINET TASK LIGHT # 4976-15, 21" long or as req'd.-White	Sea Gull Lighting	(1) 13W T-5	w/ self switch. @ laundry.
1 total				
8	PENDANT FIXTURE @ Kitchen		incandescent	Owner provide. Contractor install. Provide chain length as req'd., typ. Provide appropriate crossbar structure in ceiling for hanging.
2 total				
9	Allowance: \$200.00 per fixture EXTERIOR WALL MOUNTED FIXTURE 'French Quarter' - 14" or 18" electric wall bracket mounted lantern. Verify size in field.	Bevolo	100W incandescent or as req'd.	Relocate existing fixtures. Provide 1 new fixture to match existing at new side steps.
3 total				
10	EXTERIOR SECURITY LIGHT 'Westwood' - 903-2, dbl. head white	Lumiere	50W MR16 / GU.5.3 120/12	Field located w/ electrical subcontractor.
1 total				
FI	EXHAUST FAN FV-07VQ2; 70 CFM; White	Panasonic	Fan- 21W I20v	w/ 4" rmd. duct connector. confirm size req'd. w/ length of duct
If req'd.				
M.D.	MOTION DETECTOR - exterior	RAB		Field located w/ electrical subcontractor.
If req'd.				
C.D.	CARBON MONOXIDE DETECTOR			Exact location to be determined.
As req'd.				
S.D.	SMOKE DETECTOR			Exact location to be determined.
As req'd.				

**NOTES:**

- Lamps for Fixtures are to be included for pricing purposes. Contractor shall adjust and aim all adjustable fixtures as directed, cost of which is to be included in Contract Price.
- Furnish frame-in kit for each fixture, where required. Contractor shall coordinate and provide kits for insulated ceilings where appropriate.
- Contractor shall coordinate framing with electrical, HVAC and plumbing systems as required to allow accurate placement of all system components.
- Refer to plan for fixtures required to be on dimmers. All dimmer switches to be compatible with each fixture, typical.
- All fixtures to align as shown.

**MUSE ARCHITECTS**  
Washington DC 20015  
Facsimile 202.966.9666

AN ADDITION TO THE  
**RUPP / BUTSWINKAS RESIDENCE**  
5630 Connecticut Avenue NW  
Phone 202.966.6266

SCHEDULES  
N.T.S.

A.S.



3 NEWLANDS STREET  
CHEVY CHASE, MD 20815



PARTIAL WEST ELEVATION





3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

VIEW TOWARDS WEST and SOUTH ELEVATION



SOUTH ELEVATION

3 NEWLANDS STREET  
CHEM CHASE, MD 20815







3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

VIEW OF SIDE YARD FROM  
NEWLANDS STREET





3 NEW LANDS STREET  
CHEVY CHASE, MD 20815

VIEW TOWARDS EAST ELEVATION





3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

EAST ELEVATION CLOSE-UP



III.B

MUSE ARCHITECTS

*Principals*

STEPHE MUSE FAIA  
WILLIAM KIRWAN AIA

*Associates*

KUK-JA C. KIM AIA  
NANCY S. MCCARREN AIA  
R. WARREN SHORT AIA

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910

RE: HAWP Application for 3 Newlands Street, Chevy Chase, MD

Ms. Tully,

The Owners of the property at 3 Newlands Street have reviewed the Staff report for their HAWP application. In the staff discussion section on page 4, it says that no additional basement will be added.

The Owners have mentioned to us that they would like to have the option to extend the basement into the area below the addition. The First floor of the house is approximately 5 feet above the adjacent grade at the back of the current addition.

There would not be any access to the outside from this basement.  
Should they choose to build the basement, they would like to place some windows in this room. The windows would replicate the existing basement windows and vents on the existing house, porch and previous addition.

Please let us know if you have any questions or require further information.

Thank you,

Mary Beth Elliott, AIA

**MUSE ARCHITECTS**

MBE/emb

MUSE ARCHITECTS, PC 5630 CONNECTICUT AVE NW WASHINGTON DC 20015 T.202.966.6266 F.202.966.9666

MUSEARCHITECTS.COM

**Tully, Tania**

---

**From:** Mary Beth Elliott [mbelliott@musearchitects.com]

**Sent:** Thursday, April 27, 2006 2:53 PM

**To:** Tully, Tania

**Subject:** Muse Architects Office move

Tania,

Thanks again for your help and guidance on the Rupp application.

As I mentioned, the office is moving!

Moving day is this Friday / Saturday, the 28th / 29th April, but serious packing should be happening this afternoon.

We plan to be up and running on Monday.

Email will be working Friday, but only a few phone lines.

Should you need to reach me, my cell phone number is 703/ 622-7761

Below is our new address and phone / fax numbers:

**Muse Architects**

**7401 Wisconsin Avenue**

**Suite 500**

**Bethesda, MD 20814**

**Phone: (301) 718-8118**

**Fax: (301) 718-8112**

Talk to you soon,  
Mary Beth

Mary Beth Elliott, AIA

MUSE ARCHITECTS 5630 Connecticut Ave NW Washington DC 20015 T.202.966.6266  
F.202.966.9666

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>DANE BUTSWINKAS        3 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p> <p>MARY BETH ELLIOTT, AIA        MUSE ARCHITECTS, P.C.        5030 CONNECTICUT AVE, N.W.        WASHINGTON, DC 20015</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>ROBERT L. JONES        1 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>	<p>RICHARD McMILLAN, JR.        2 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>
<p>BYRON E. ANDERSON        5 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>	<p>HARRIET KLOSSON        4 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>
<p>JOHN C. MURPHY        6 NEWLANDS STREET        CHEVY CHASE, MD 20815</p>	<p>MARCUS MONTGOMERY        2 OXFORD STREET        CHEVY CHASE, MD. 20815</p>

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

SEE PREV. PG.  
FOR  
BUTSWINKAS

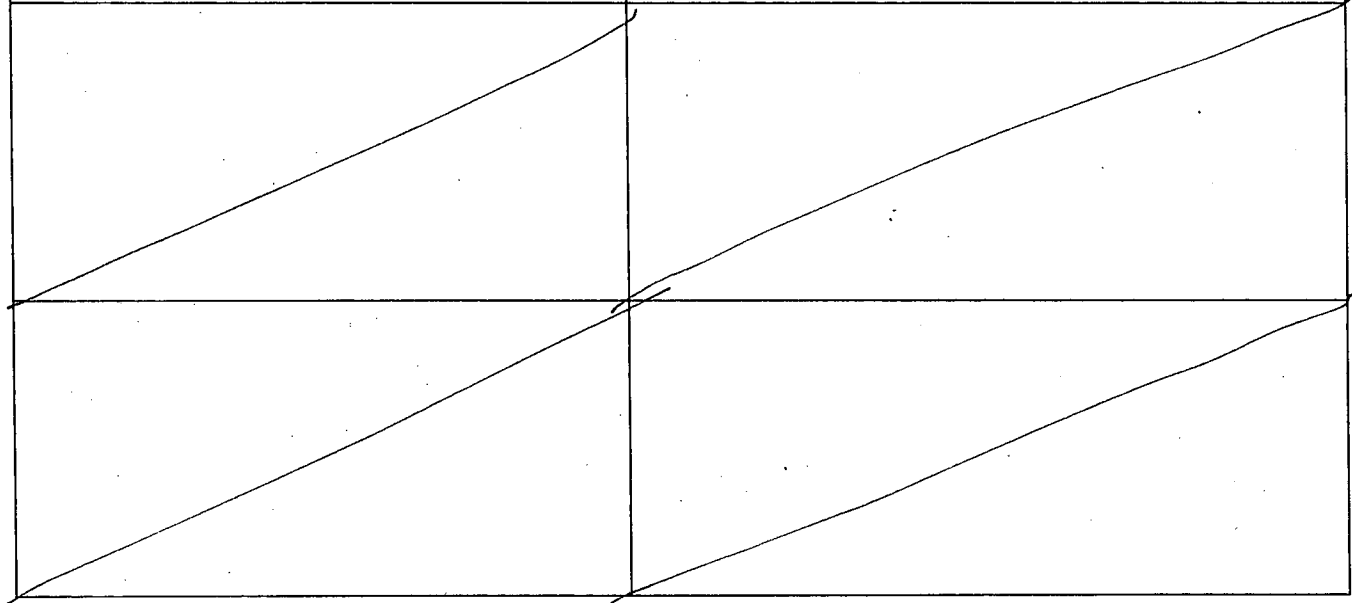
**Owner's Agent's mailing address**

SEE PREV. PG.  
FOR  
MUSE ARCHITECTS

**Adjacent and confronting Property Owners mailing addresses**

JAY MARTIN  
4-A OXFORD STREET  
CHEVY CHASE, MD 20815

PORTER K. WHEELER  
4 OXFORD STREET  
CHEVY CHASE, MD 20815



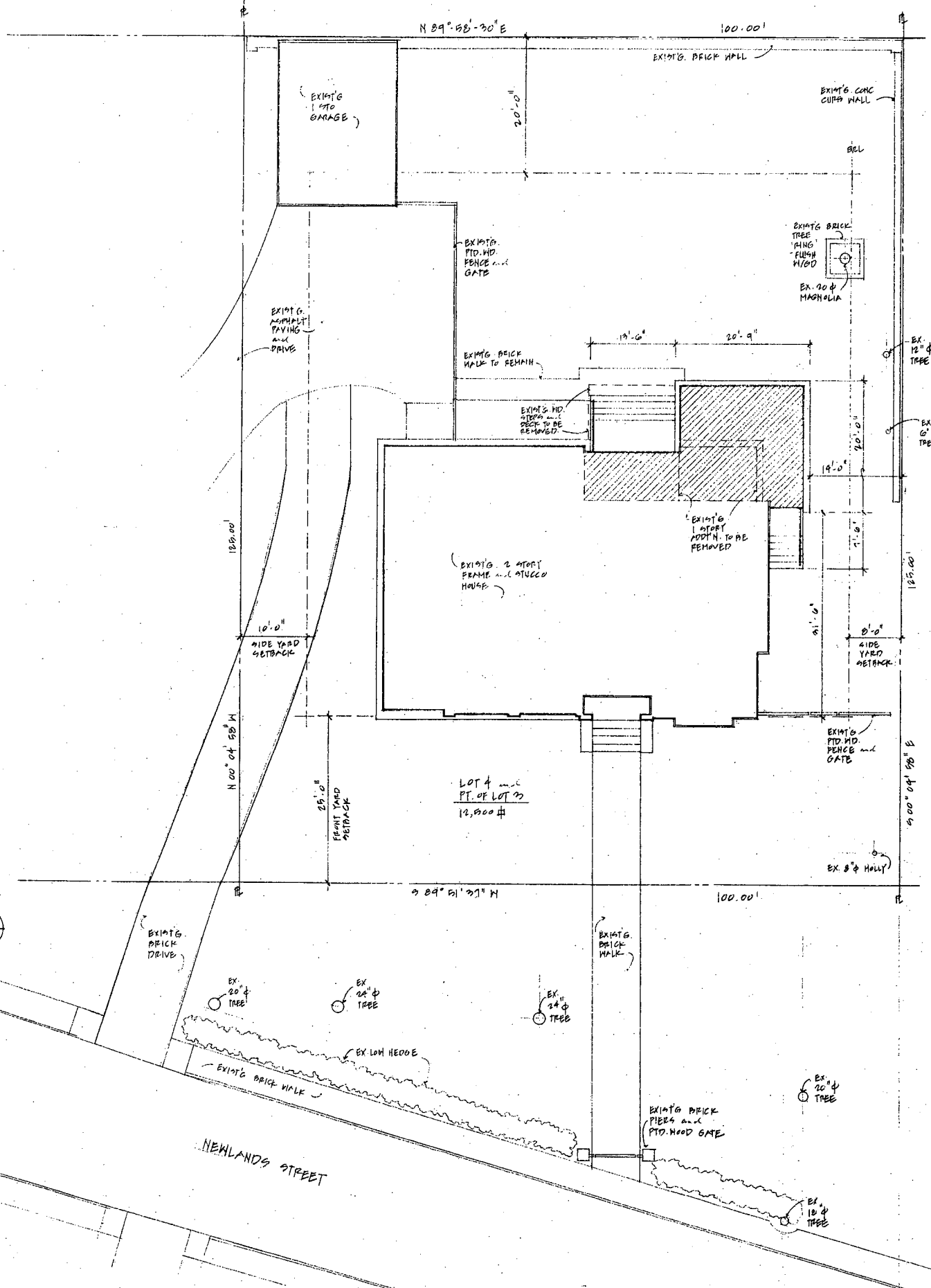
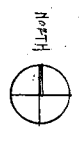
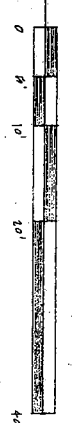


NORTH ELEVATION

3 NEWLANDS STREET  
CHRY CHASE, MD 20815



1  
401  
SITE PLAN  
1" = 10'-0"

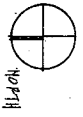
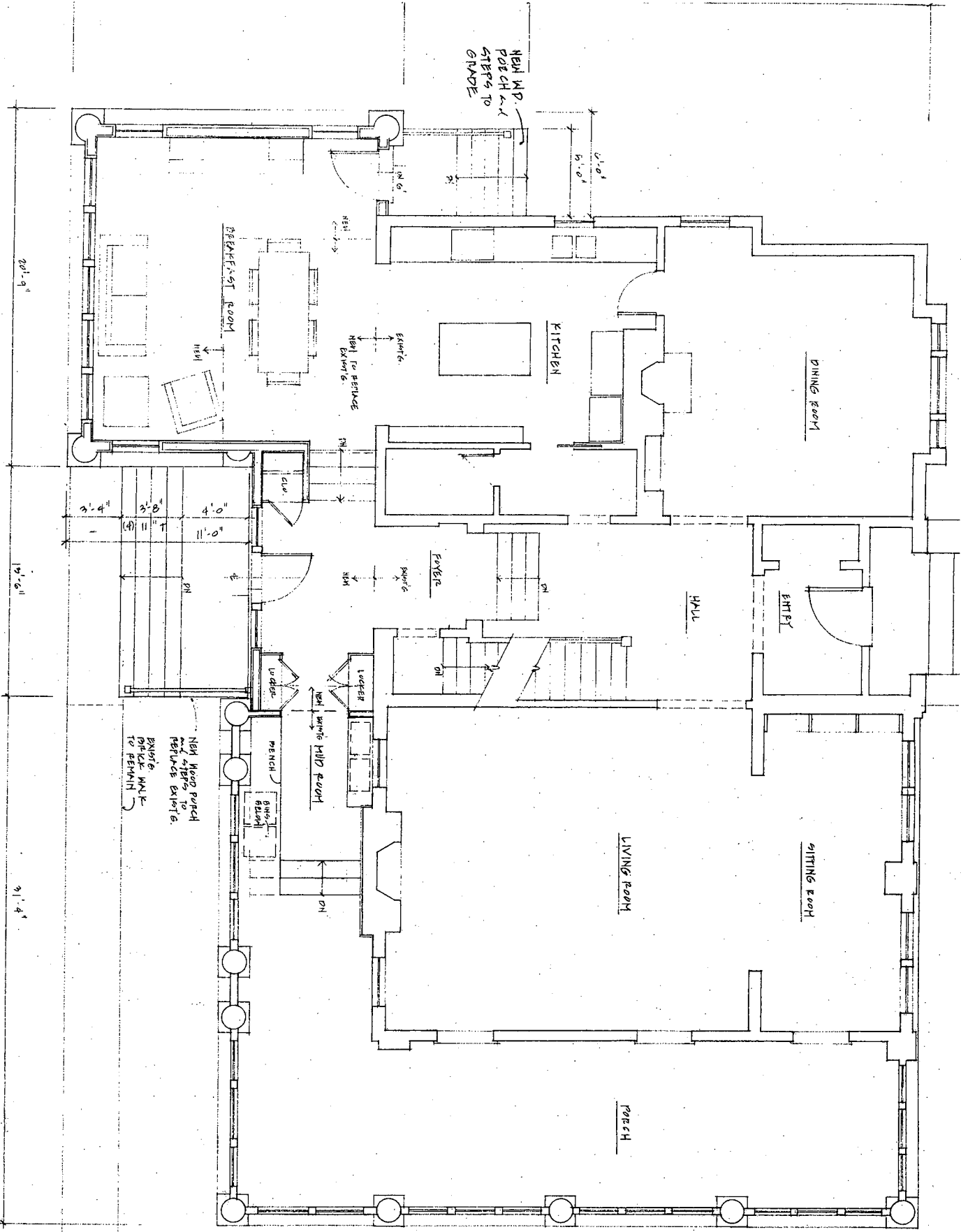
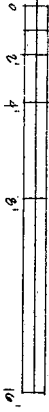


4/9/06 HMP

5 APRIL 2006

FIRST FLOOR PLAN - PROPOSED

1/4" = 1'-0"



4/9/06 HWP  
 3/1/06  
 1/10/06  
 8/24/06

5 APRIL 2006

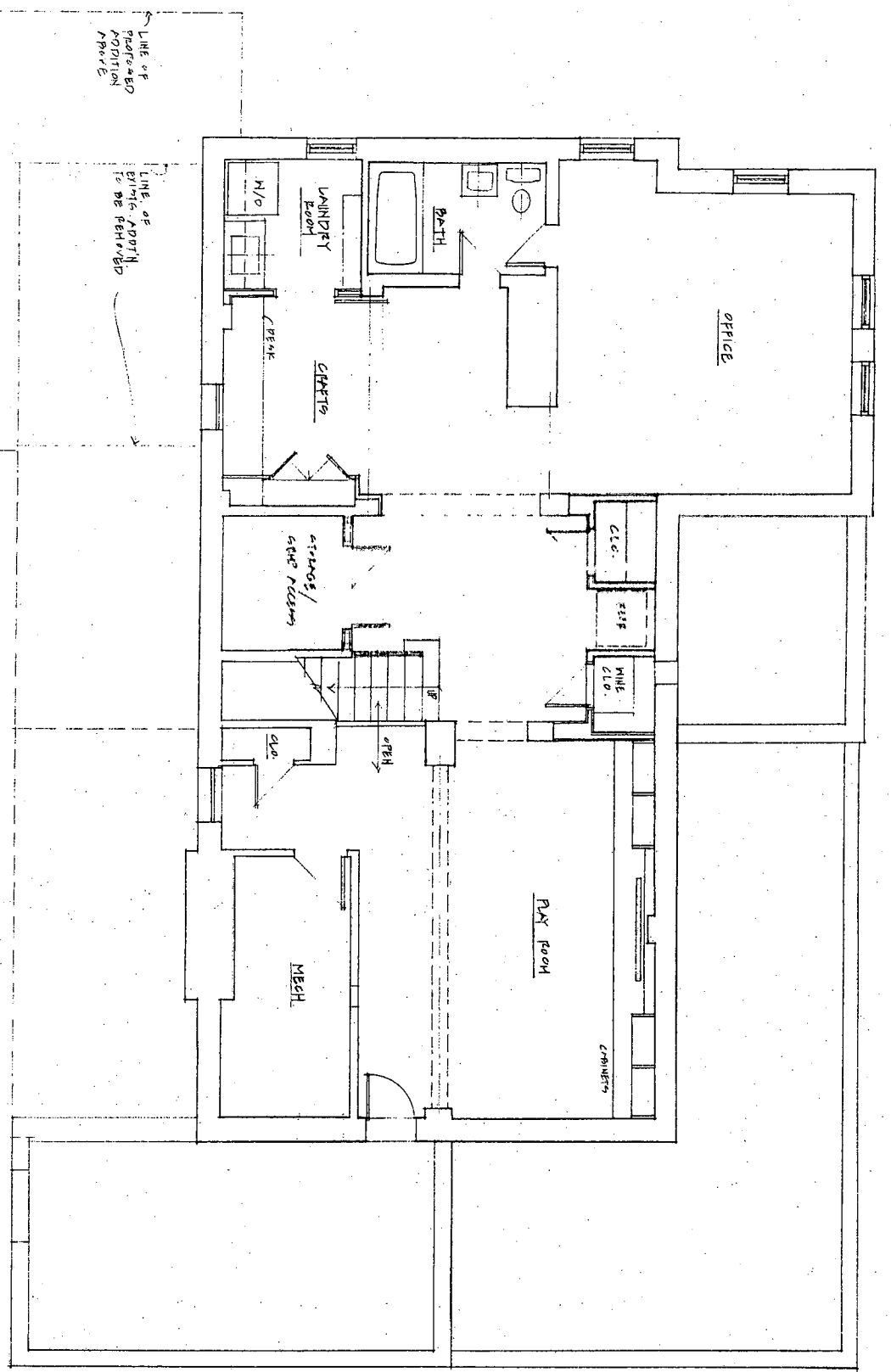
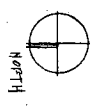
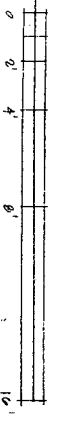
FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
 5630 Connecticut Avenue NW  
 Phone 202.966.6266  
 Washington DC  
 Facsimile 202.



1  
2  
BASEMENT PLAN - PREPARED  
1/4" = 1'-0"



5 APRIL 2006

4/5/06 BHM  
4/1/06  
1/10/06  
8/24/05

2	BASEMENT PLAN
	SCALE: 1/4" = 1'-0"

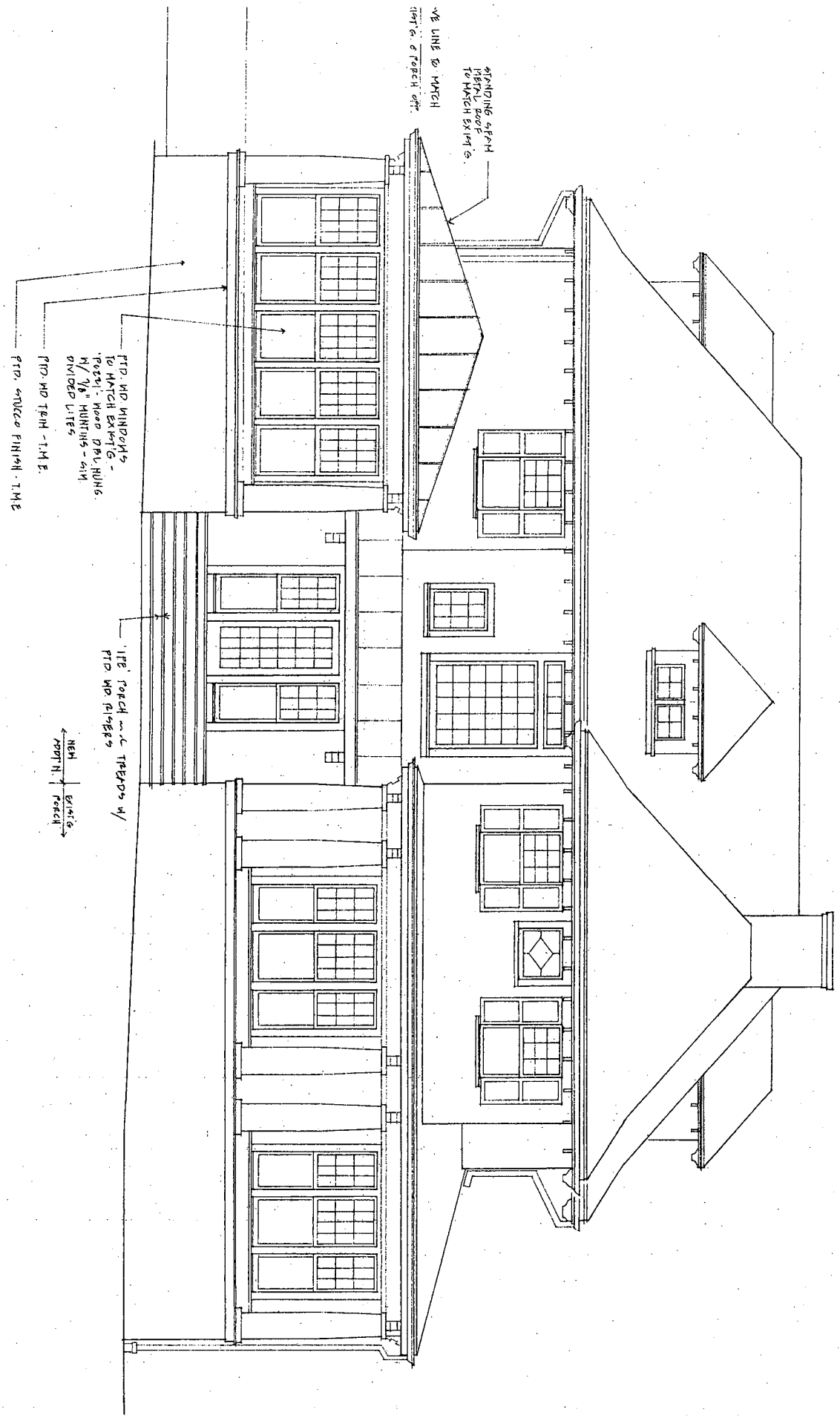
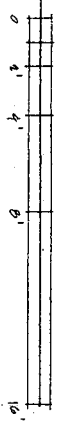
ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
 5630 Connecticut Avenue NW  
 Phone 202.966.6266  
 Washington D.C.  
 Facsimile 202.966.6266

1  
3

PROPOSED  
NORTH ELEVATION

1/4" = 1'-0"



PTD. MD TRIM - T.M.E.  
PTD. GUTTER FINISH - T.M.E.  
PTD. MD HANDRAILS -  
TO MATCH EXISTING -  
RECALL: 1" X 1" OVAL HANDRAILS  
W/ 1/8" SPACERS - 6mm  
DIVIDER LINES

1 1/2" TYPICAL TRIM  
PTD. MD SLAB

NEW  
EXISTING  
PORCH

1/2" LINE TO MATCH  
EXIST'G. E TYPICAL  
APPROXIMATE SPACING  
TYPICAL ROOF  
TO WHICH EXIST'G.

4/5/06 HMM  
3/1/06  
8/24/05

5 APRIL 2006

BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

3

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
5630 Connecticut Avenue NW Washington DC  
Phone 202.966.6266 Facsimile 202.5

1  
4

PROPOSED  
EAST ELEVATION  
1/4" = 1'-0"



NEW wood stairs w/  
FR. TP. string, fills  
FR. LATTICE and  
EXISTS. TO MATCH  
EXISTS.  
NEW POOL  
IN REAR  
ADDITION

RECESSED PORCH AND STAIRS  
NEW ENCLOSED  
HURD POOL SHOWN  
PATTED.

FR. BRILLIANT FINISH  
T.M.B.

EXIST. FLOOR  
FR. BRILLIANT FINISH  
T.M.B.

FR. BRILLIANT FINISH  
T.M.B.

STANDING SEAM METAL ROOF  
TO MATCH EXISTING

VARIES

3'-9"

4/19/06 HWHR  
3/1/06  
8/24/05

5 APRIL 2006

BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"

4

ADDITION TO & RENOVATION OF THE  
RUPP / BUTSWINKAS RESIDENCE  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECT

5630 Connecticut Avenue NW  
Phone 202.966.6266

Washington DC  
Facsimile 202.966.6266

Rep: [unclear]  
 November 20, 2001 (Rev. 0)

NUMBER	LOCATION	TYPE	GLASS	MATERIAL & FINISH	GLASS	MARK	REMARKS
1	Entry	1	1/2" x 1/2"	Wood Panel	Paint		All items per the L&S
2	Living	1	1/2" x 1/2"	Wood Panel	Paint		Per DSI, if otherwise

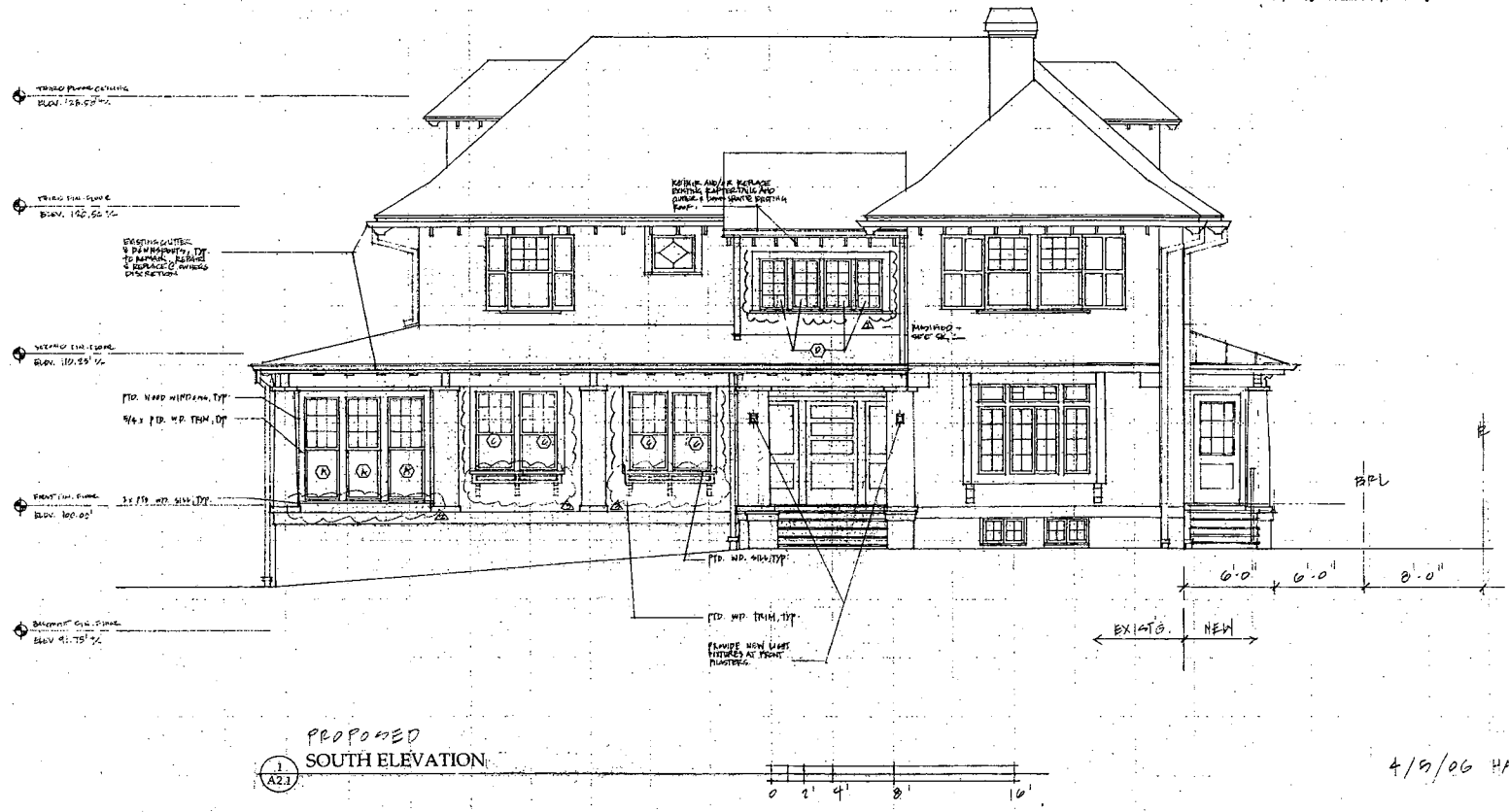
  

FIRST FLOOR	SECOND FLOOR	THIRD FLOOR
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
6	6	6
7	7	7
8	8	8
9	9	9
10	10	10
11	11	11
12	12	12
13	13	13
14	14	14
15	15	15
16	16	16
17	17	17
18	18	18
19	19	19
20	20	20

WINDOW SCHEDULE (Post Designation)  
 November 20, 2001 (Rev. 0)

SYMBOL	DESCRIPTION	SASH OPENING U.O.D.	SCREEN	REMARKS
A	Wood Double Hung WDH 2140			
B	Wood Double Hung WDH 3640			
C	Wood Double Hung WDH 2128			
D	Wood Casement WC 2128			Make 4 units together at factory
E	Wood Double Hung WDH 3226			
F	Wood Casement (6pk unit) WC 1116 x 1116 x 1116			Site to match existing
G	Wood Casement (6pk unit) WC 1116 x 1116 x 1116			Site to match existing 1116 x 1116

General Contractor to verify all dimensions prior to ordering of windows, etc.  
 Window Note:  
 1. All windows and doors to be installed 3/4" finished mortar beds in the openings as shown on drawings.  
 2. Provide safety glass in hazardous locations as accordance with Code regulations.  
 3. Provide all window units painted white by manufacturer.  
 4. Provide all window units with manufacturer's rubber weatherstripping.  
 5. Provide sash and jamb finishes to accommodate installation details and seal thicknesses at locations indicated in drawings.  
 6. Provide shop drawings for architect's review prior to ordering windows.



PROPOSED  
 SOUTH ELEVATION  
 A2.1

4/9/06 HAWP

**MUSE ARCHITECT**  
 5630 Connecticut Avenue NW  
 Bethesda, MD 20814

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET  
 CHEYNY CHASE, MARYLAND

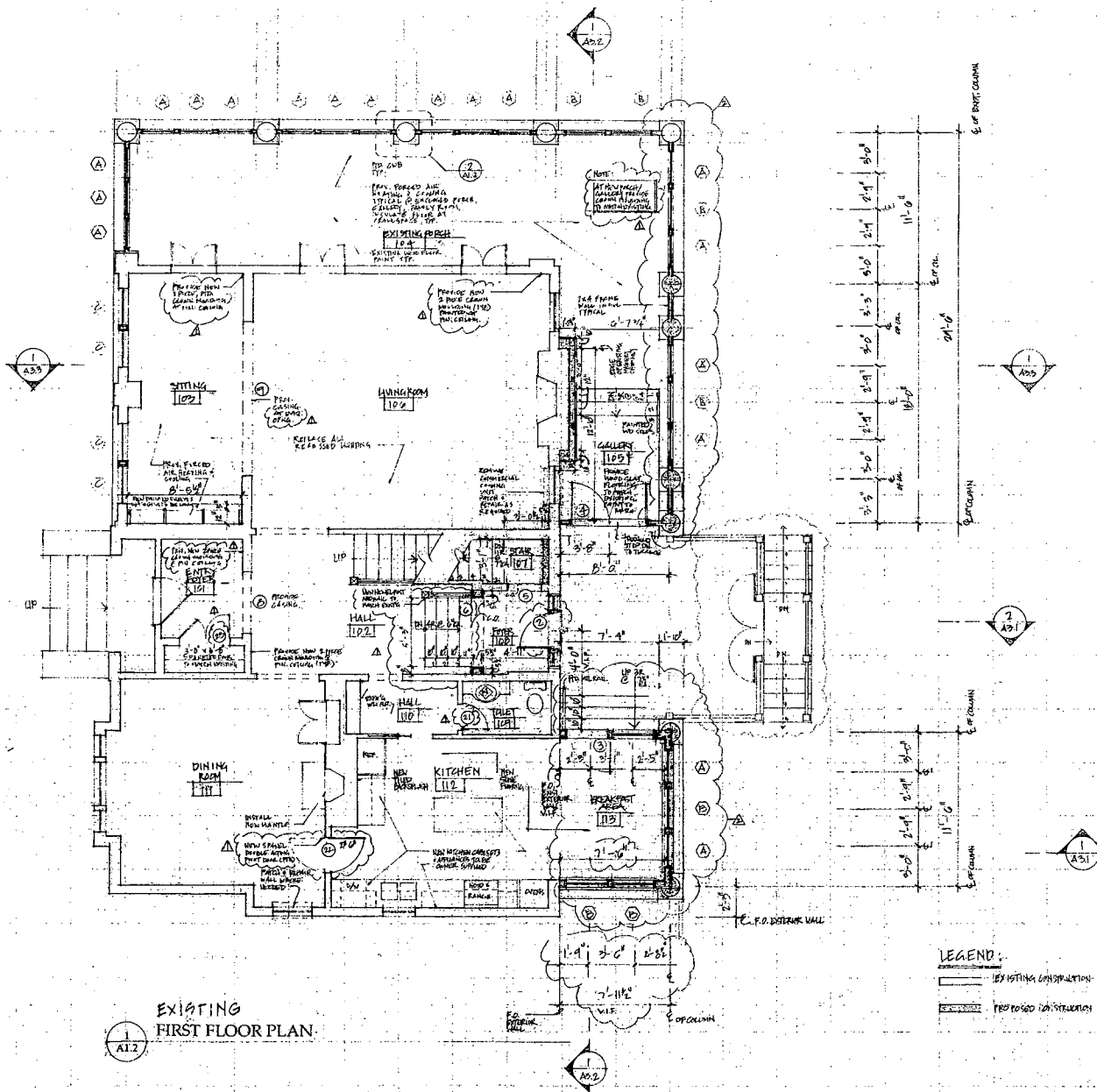
PRELIMINARY PRICING  
 4 JULY 2001  
 HNTB (RPM)  
 1000 K Street, N.W.  
 Washington, D.C. 20004  
 202.638.2000  
 202.638.2002  
 202.638.2002

PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"  
 5

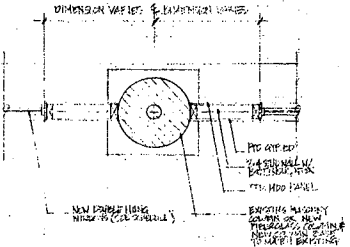
IT SET: NOVEMBER 16, 2001

5 APRIL 2006





EXISTING  
FIRST FLOOR PLAN



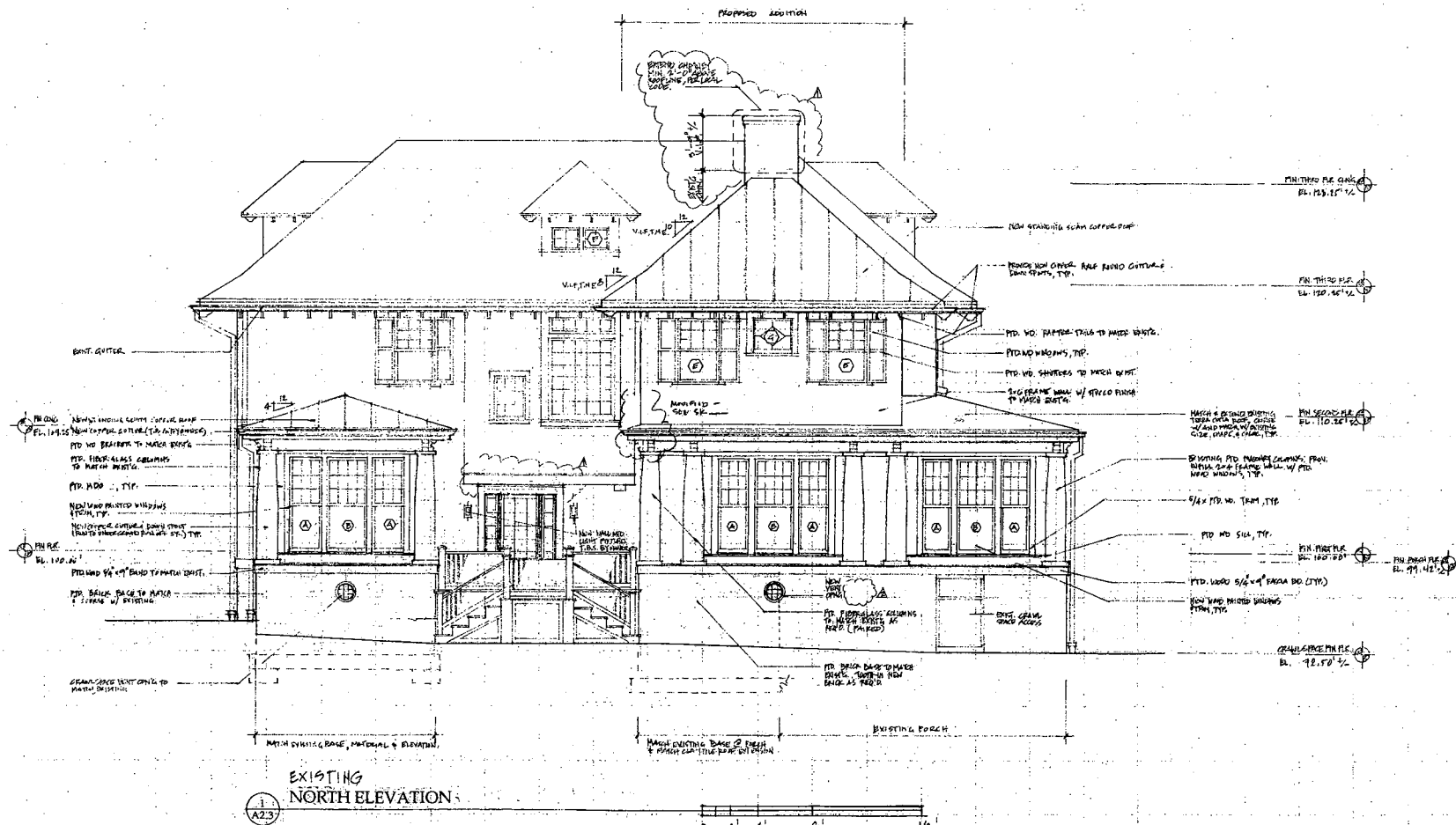
2  
A1.2  
DETAIL OF PORCH COLUMN  
SCALE: 3/4" = 1'-0"

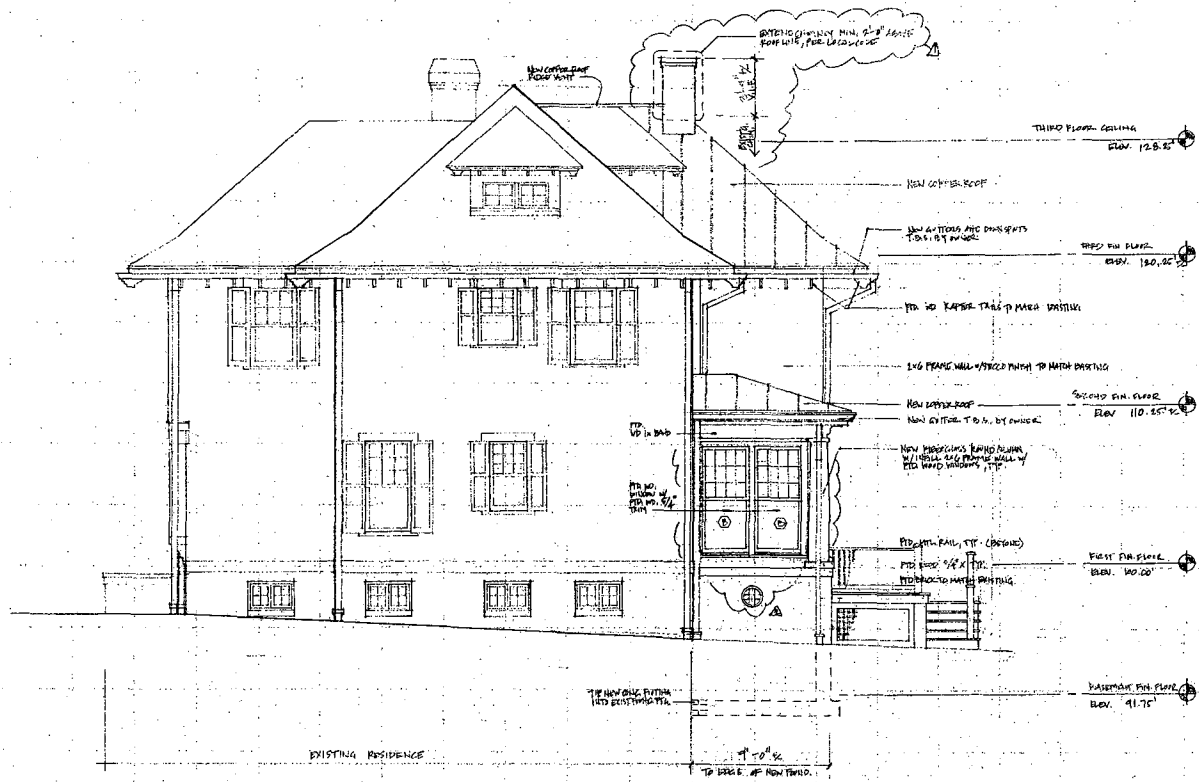
**LEGEND:**  
 - - - - - EXISTING CONSTRUCTION  
 - - - - - PROPOSED CONSTRUCTION

PRELIMINARY PRICING  
 20 SEPTEMBER 2005  
 BY: [Signature]  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]

(NOT FOR CONSTRUCTION)  
 REVIEW: 7/24/06  
 REVISED: 8/10/06  
 REVIEW: 1/15/07

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"





EXISTING EAST ELEVATION

Sheet Number:  
November 20, 2001

DOOR SCHEDULE

NUMBER	LOCATION	TYPE	SIZE	MATERIAL FINISH	HINGE GROUP	REMARKS
1	Entry	Clasp	3'0" x 3'0"	Wood Panel	Pair	ALL DOORS FOR THE HOUSE TO BE 3/4" x 1 1/2" MINIMUM.

FIRST FLOOR

NO.	DESCRIPTION	SIZE	MATERIAL FINISH	TYPE	REMARKS
1	Living	11'0" x 12'0"	Wood & Glass	Fixed	
2	Dining	11'0" x 12'0"	Wood & Glass	Fixed	
3	Kitchen	11'0" x 12'0"	Wood & Glass	Fixed	
4	Breakfast	11'0" x 12'0"	Wood & Glass	Fixed	
5	Entry	11'0" x 12'0"	Wood & Glass	Fixed	
6	Front Porch	11'0" x 12'0"	Wood & Glass	Fixed	
7	Back Porch	11'0" x 12'0"	Wood & Glass	Fixed	

SECOND FLOOR

NO.	DESCRIPTION	SIZE	MATERIAL FINISH	TYPE	REMARKS
8	Bedroom	11'0" x 12'0"	Wood Panel	Fixed	
9	Bath	11'0" x 12'0"	Wood Panel	Fixed	
10	Hall	11'0" x 12'0"	Wood Panel	Fixed	
11	Bedroom	11'0" x 12'0"	Wood Panel	Fixed	
12	Bath	11'0" x 12'0"	Wood Panel	Fixed	
13	Hall	11'0" x 12'0"	Wood Panel	Fixed	
14	Bedroom	11'0" x 12'0"	Wood Panel	Fixed	
15	Bath	11'0" x 12'0"	Wood Panel	Fixed	
16	Hall	11'0" x 12'0"	Wood Panel	Fixed	
17	Bedroom	11'0" x 12'0"	Wood Panel	Fixed	
18	Bath	11'0" x 12'0"	Wood Panel	Fixed	
19	Hall	11'0" x 12'0"	Wood Panel	Fixed	
20	Bedroom	11'0" x 12'0"	Wood Panel	Fixed	

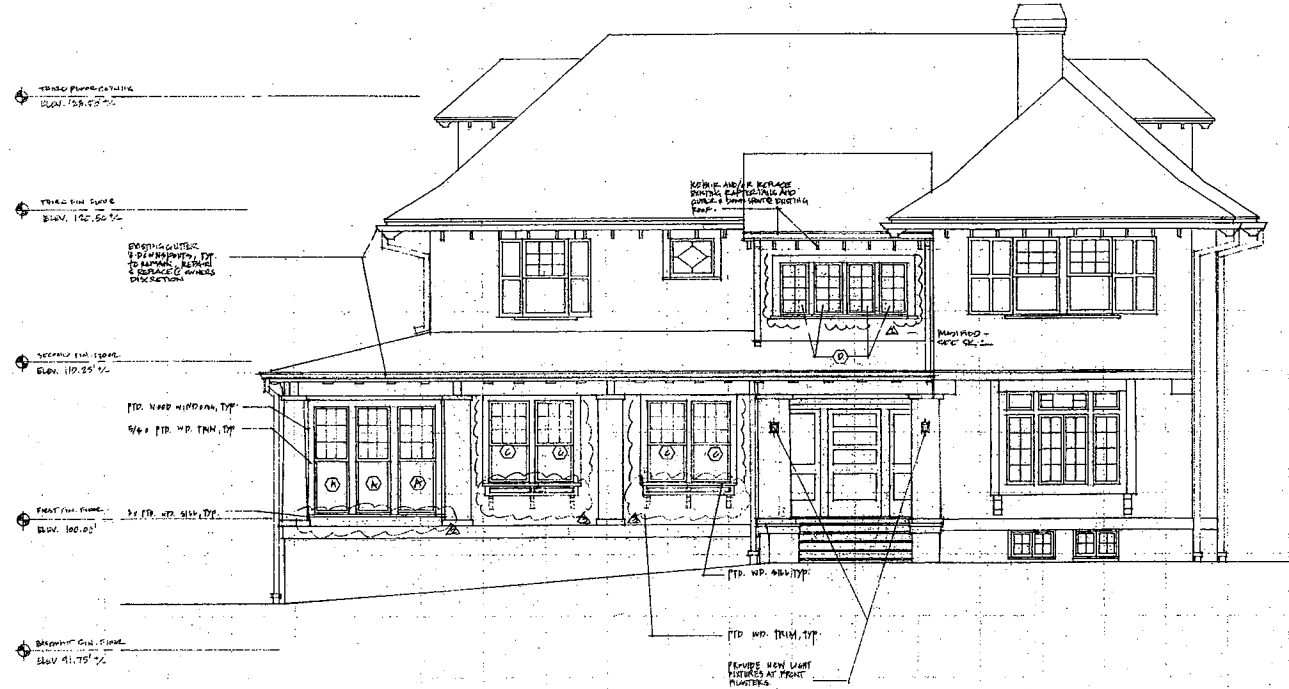
WINDOW SCHEDULE (Post Designations)

SYMBOL	DESCRIPTION	SASH OPENING (S.O.)	SCREEN	REMARKS
A	Wood Double Hung W/WH 3140			
B	Wood Double Hung W/WH 3140			
C	Wood Double Hung W/WH 3174			
D	Wood Casement W/WH 3174			Match existing at entry
E	Wood Double Hung W/WH 3174			
F	Wood Casement (sash only) Size to match existing window @ Entry	3'-0" x 4'-0"		
G	Wood Casement (sash only) Size to match existing window @ Entry	3'-0" x 4'-0"		

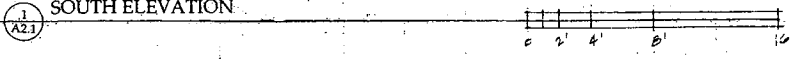
General Contractor to verify all dimensions prior to ordering of windows, etc.

Window Notes:

- All windows to be installed 3/4" minimum in front of exterior wall as shown on drawings.
- Provide safety glass in hazardous locations in accordance with Code regulations.
- Provide all window units prime painted white by manufacturer.
- Provide all window units with manufacturer's name hardware.
- Provide sash and pulley systems to accommodate installation details, and wall thicknesses as locations indicated on drawings.
- Provide shop drawings to architect on window units as indicated on drawings.



EXISTING SOUTH ELEVATION



MUSE ARCHITECTS  
5630 Connecticut Avenue NW  
Washington DC 20015  
Phone: 202.966.6266

ADDITION TO AND RENOVATION OF THE  
RUPP/BUTSWINKAS RESIDENCE  
3 NEWLANDS STREET  
CHEVY CHASE, MARYLAND

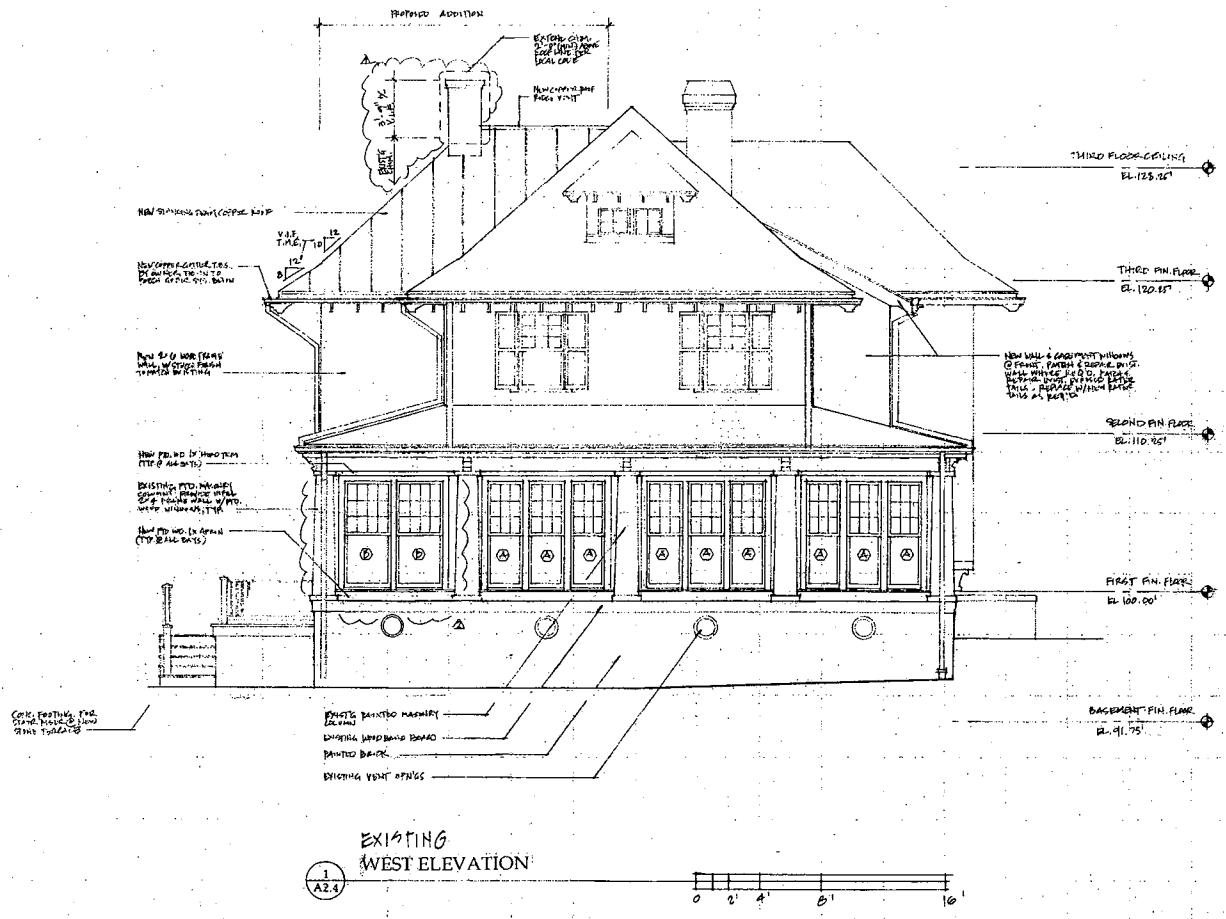
PRELIMINARY PRICING  
\$14,100.00  
NET (20% DISCOUNT)  
\$11,280.00  
TOTAL  
\$14,100.00

PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

F. NOVEMBER 16, 2001

5 APRIL 2006

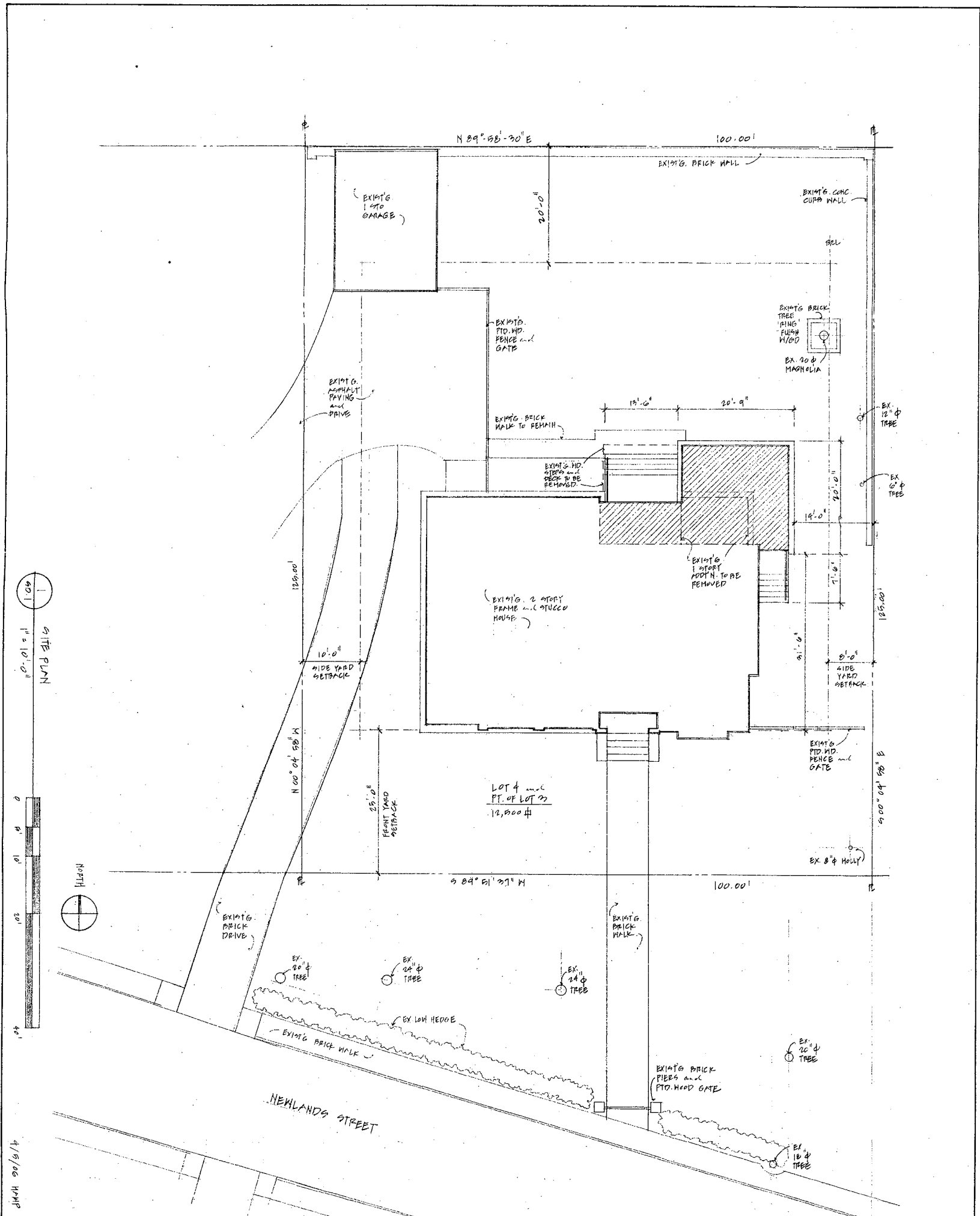




THIS DRAWING IS THE PROPERTY OF MUSE ARCHITECTS  
 REVIEWED BY J. H. S. 2/11/2005  
 REV. 0. 2/11/2005

Rear addition  
expansion

Contnt



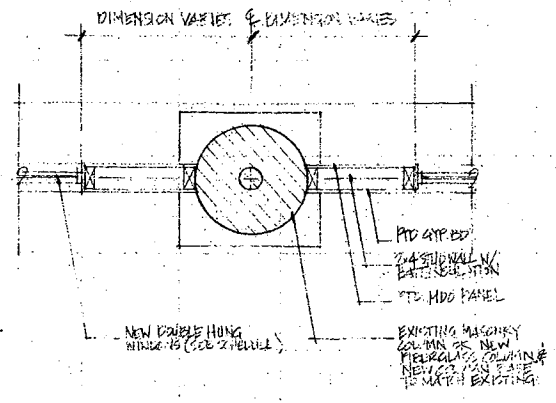
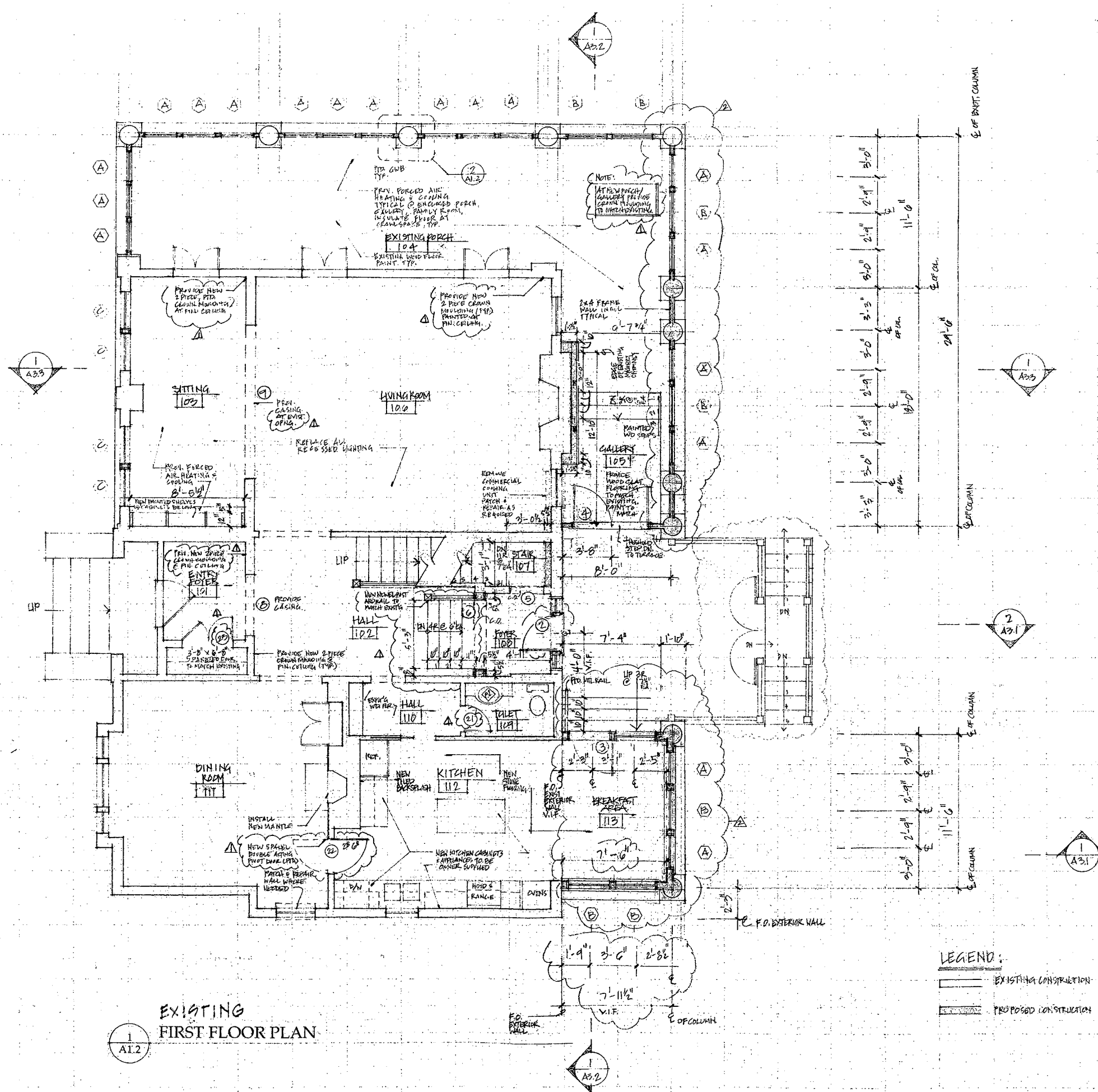
SD.1	SITE PLAN	AN ADDITION TO THE <b>RUPP / BUTSWINKAS RESIDENCE</b> 3 NEWLANDS STREET CHEVY CHASE, MD 20815	<b>MUSE ARCHITECTS</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Facsimile 202.966.9666
	SCALE: 1" = 10'-0"		

5 APRIL 2006

PRELIMINARY PRICING  
 20 SEPTEMBER 2001  
 FIRST REVIEW 20 OCTOBER 2001  
 PRELIMINARY REVIEW 30 OCTOBER 2001  
 (NOT FOR CONSTRUCTION)  
 REVISION 7 NOV 2001  
 REV. 8 DEC 2001  
 REVIEW 2 JAN 2002

FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

5 APRIL 2006

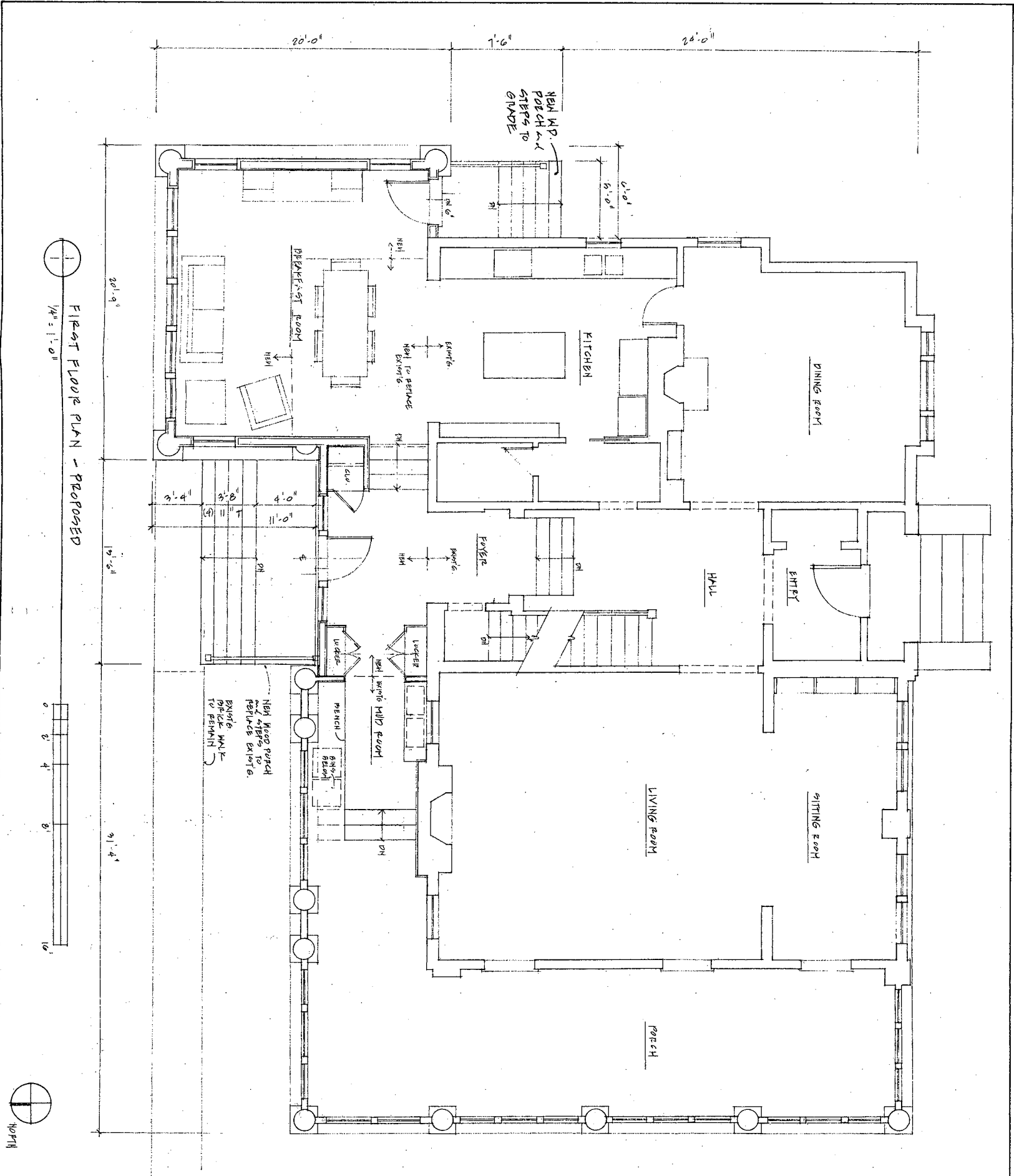


2 A1.2 DETAIL OF PORCH COLUMN  
 SCALE: 3/4" = 1'-0"

1 A1.2 EXISTING FIRST FLOOR PLAN

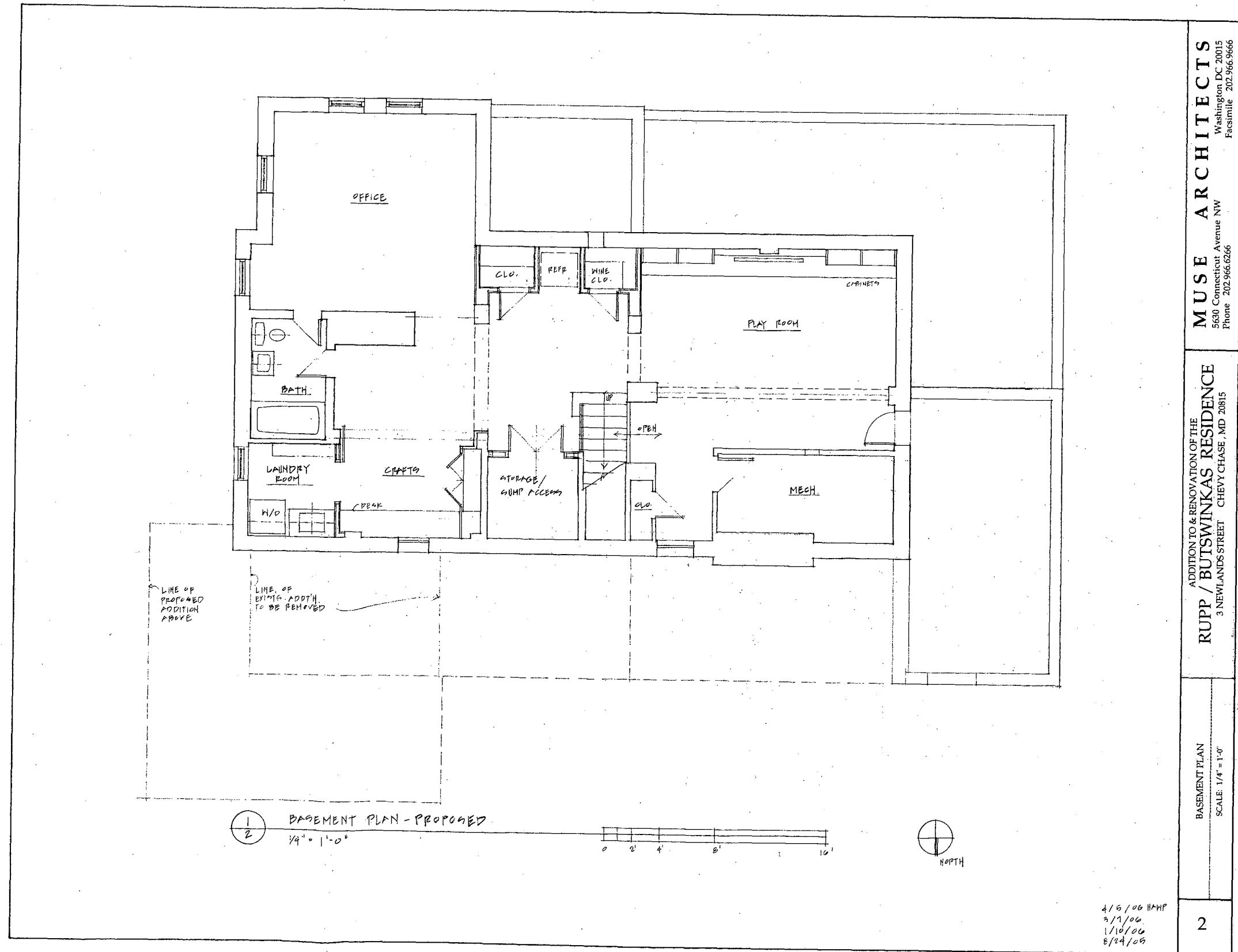


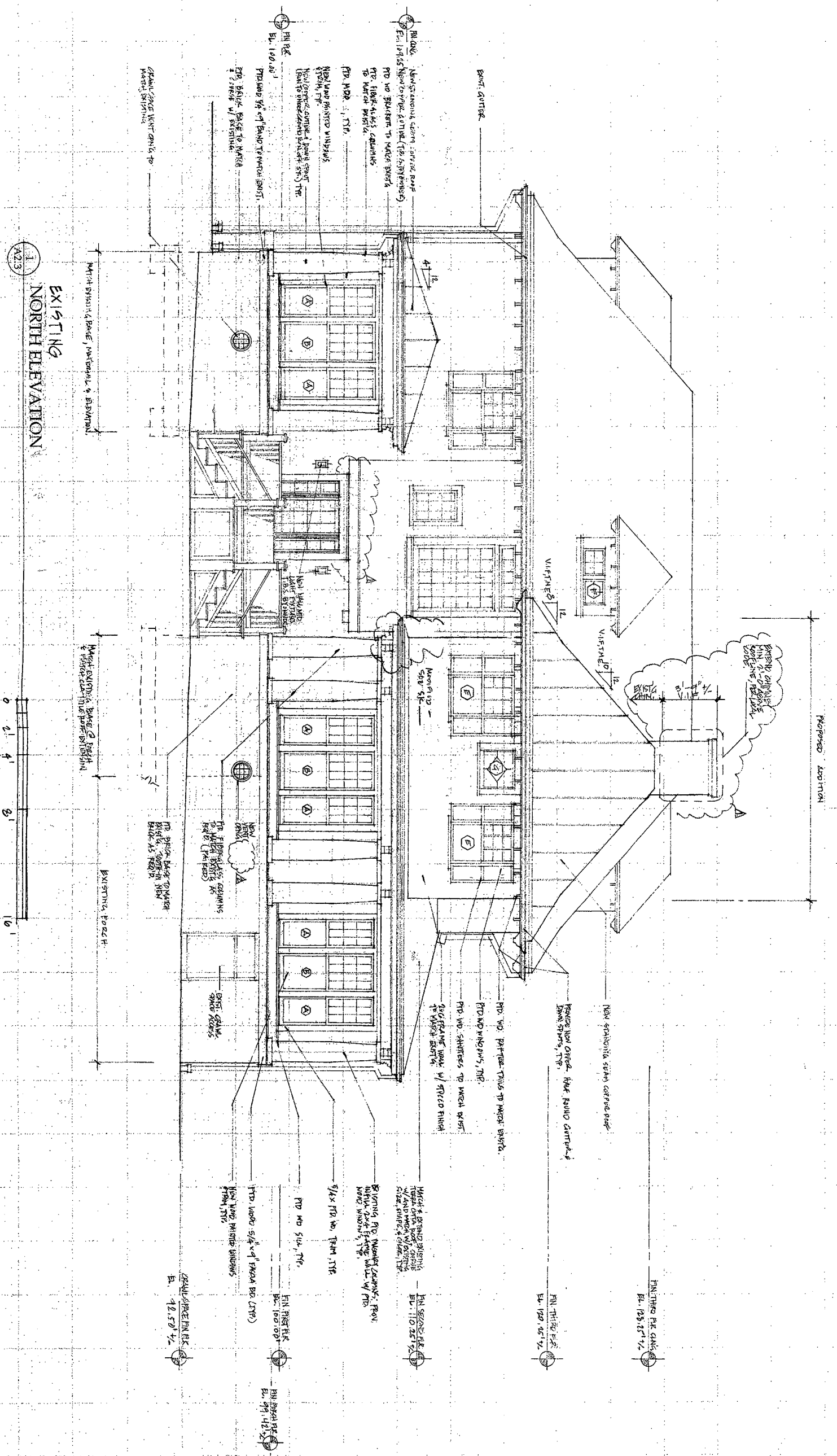
REVISED  
 3/20/06  
 1/10/06  
 4/15/06



FIRST FLOOR PLAN - PROPOSED  
 1/4" = 1'-0"

4/15/06 HWMP  
 3/11/06  
 1/10/06  
 5/24/05





EXISTING NORTH ELEVATION

EXISTING PORCH

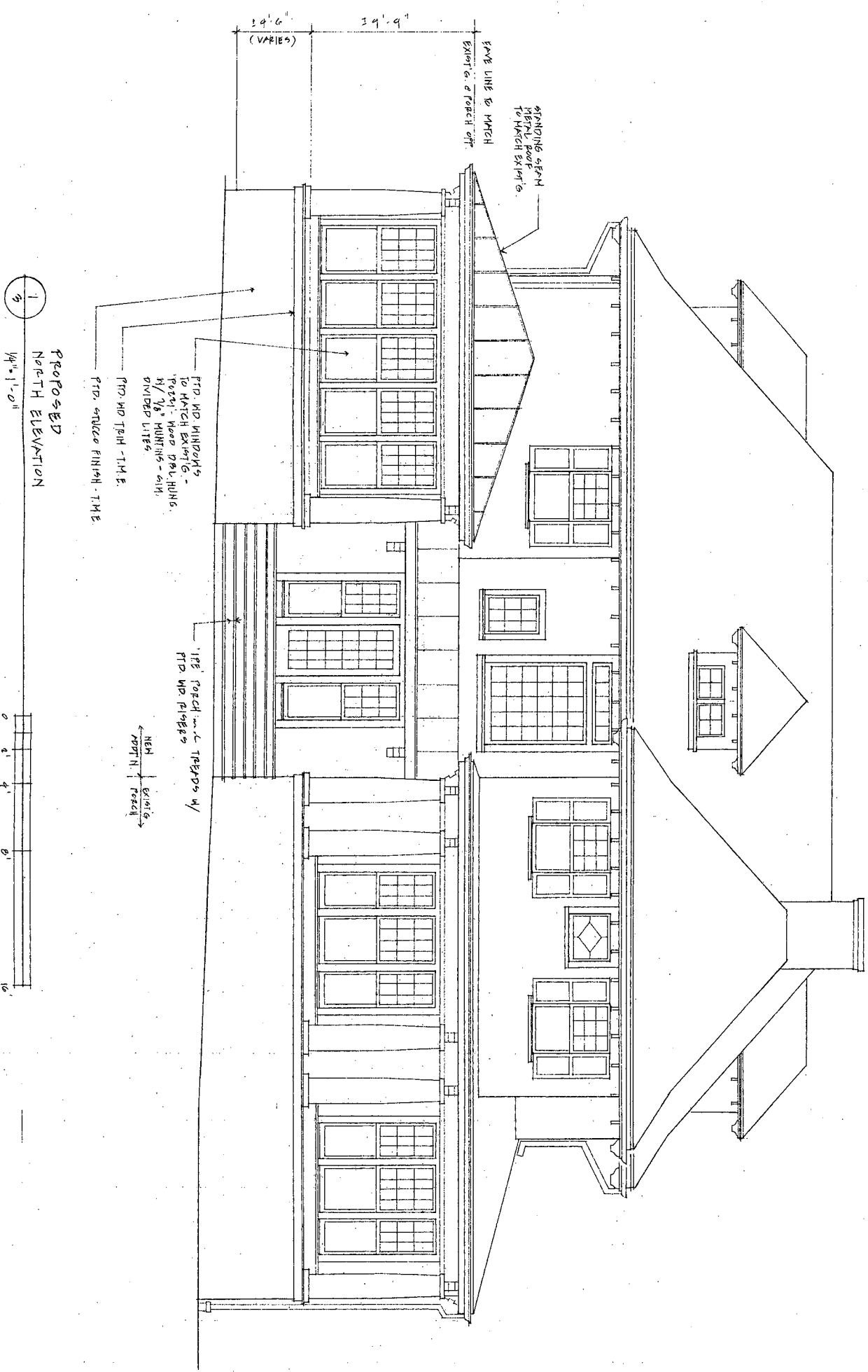
SCALE: 1/4" = 1'-0"

ALTERNATE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

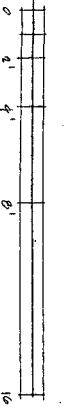
PRELIMINARY PRICING  
20 SEPTEMBER 2001

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW Washington DC 20015  
Phone 202.966.6266 Facsimile 202.966.9666

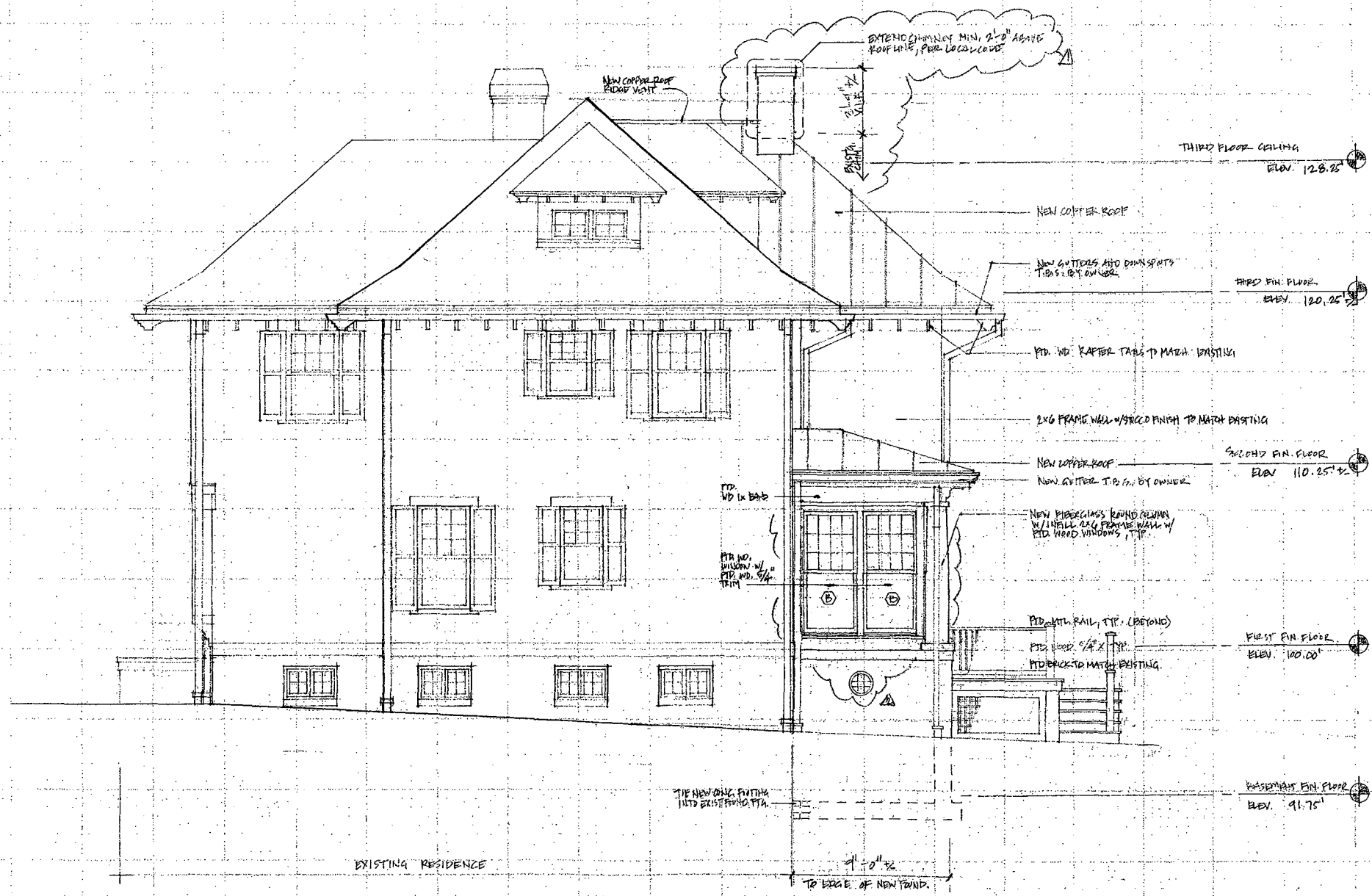


PROPOSED  
NORTH ELEVATION  
1/4" = 1'-0"

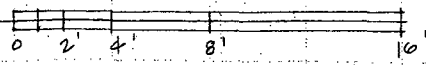


PRO. MD. TRIM - T.M.E.  
PRO. SILLICE FINISH - T.M.E.  
PRO. MD. WINDOWS TO MATCH EXIST'g. - PASTEL - WOOD GRILL HANDS. 1/2" DIVIDED LITES  
1 1/2" POACH IN & TRIMMED w/ PRO. MD. FINISHES  
NEW EXIST'g. POACH





1  
A2.2  
EXISTING  
EAST ELEVATION



US DES 2004  
 2004/04/05 SET

EAST ELEVATION  
 SCALE: 1/4" = 1'-0"



PRELIMINARY PRICING  
 5 JULY 2001  
 6 AUG. 2001 (REV.)  
 HST PRELIM REVIEW  
 1 OCTOBER 2001  
 REVIEW 17 NOV 2001  
 REV 21 JAN 2002  
 REV 16 APRIL 2002

PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

**WINDOW SCHEDULE (Pozzi Designations)**  
 November 20, 2001 (Permit)

SYMBOL	DESCRIPTION	SASH OPENING (S.O.)	SCREEN	REMARKS
A	Wood Double Hung WDH 2440			
B	Wood Double Hung WDH 3640			
C	Wood Double Hung WDH3228			
D	Wood Casement CC3842			Mull 4 units together at factory
E	Wood Double Hung WDH 3226			
F	Wood Casement (sash only) Size to match existing	1'-10" x 1'-7 1/2" +/- VIF		
G	Wood Casement (sash only) Size to match existing window @ front	2'-10" x 2'-6 1/2" +/- VIF		

General Contractor to verify all dimensions prior to ordering of windows, typ.

Window Notes:

- All windows and doors to be insulated 3/4" simulated muntin bars in lite patterns as shown on drawings.
- Provide safety glass at hazardous locations in accordance with Code regulations.
- Provide all window units prime painted white by manufacturer.
- Provide all window units with manufacturer's white hardware.
- Provide subsills and jamb extensions to accommodate installation details and wall thicknesses at locations indicated in drawings.
- Provide shop drawings for architect's review prior to ordering windows.

Repp Residence  
 November 20, 2001

**DOOR SCHEDULE**

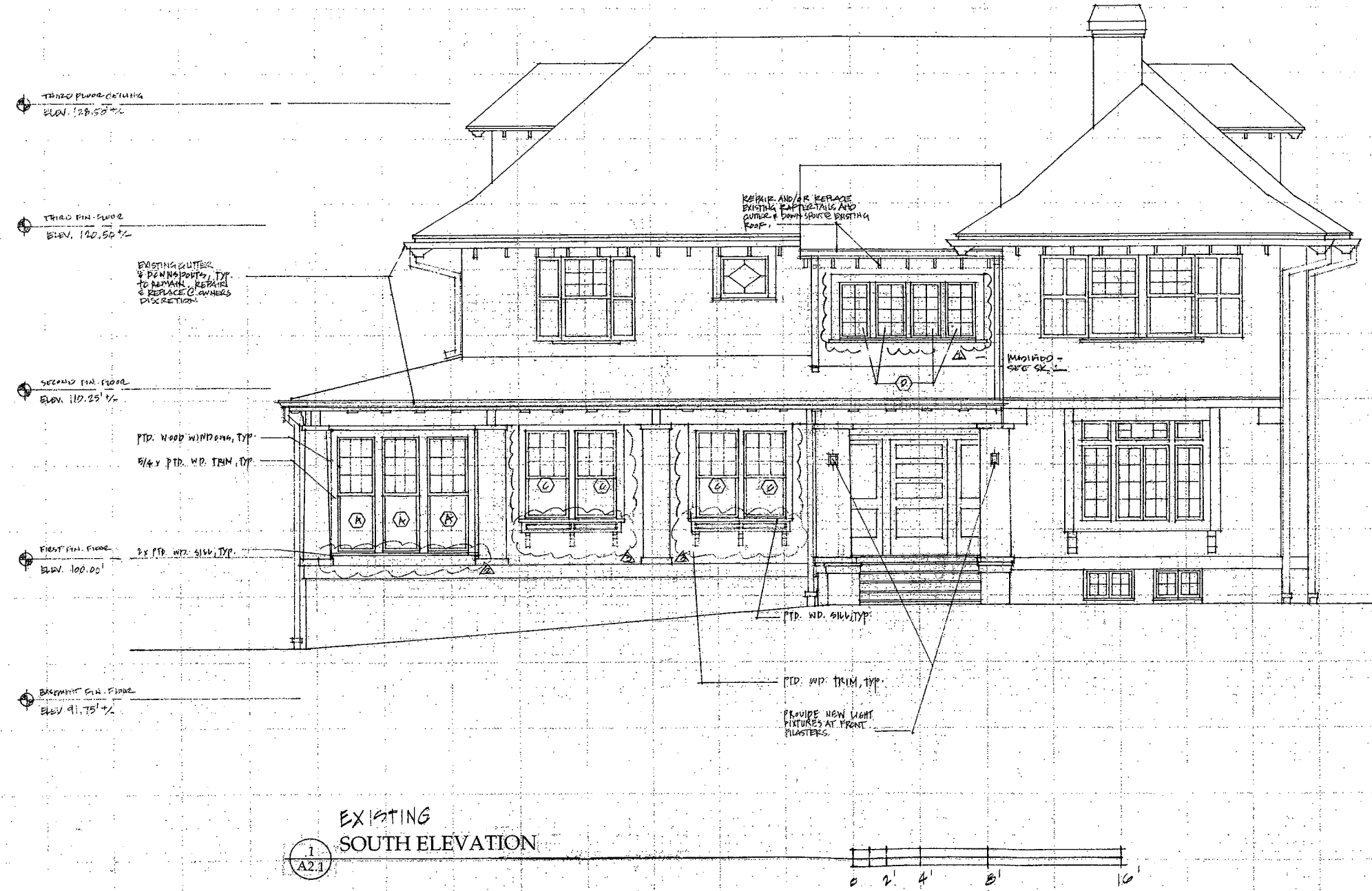
NUMBER	LOCATION	TYPE	SIZE	MATERIAL & FINISH	FRAME	HWDR GROUP	REMARKS
1	Closet		3'-0" x 6'-6"	Wood Panel		Passage	** All Frames Ptd. Wd. U.N.O. ** For Div. 1 allowances

FIRST FLOOR							
2	Power		2'-10" x 7'-0"	Wood & Glass		Entrance	
3	Breakfast		2'-10" x 7'-0"	Wood & Glass		Entrance	
4	Gallery		Pair 2'-10" x 7'-0"	Wood & Glass		Patio Ext.	
5	Stair		2'-6" x 7'-0"	Cased Opening			
6	Power/Hall		5'-0" x 7'-0"	Cased Opening			
7	Power/Kr.		4'-0" x 7'-0"	Cased Opening			
8	Power		4'-0" x 7'-0"	Cased Opening			
9	Sitting Room		11'-8" x 7'-0"	Cased Opening			

SECOND FLOOR							
10	Closet		1'-4" x 7'-0"	Wood Panel		Privacy	
11	Line		1'-4" x 7'-0"	Wood Panel		Privacy	
12	Office		Pair 2'-6" x 7'-0"	Wood & Glass		Patio	Double Acting Pivot
13	Closet		Pair 1'-4" x 7'-0"	Wood Panel		Privacy	
14	Bath		2'-8" x 7'-0"	Wood Panel		Pocket	
15	Cabinet		1'-4" x 7'-0"	Wood Panel		Passage	
16	Shower		2'-4" x 6'-8"	Glass		Passage	
17	Shower		2'-0" x 6'-8"	Glass		Passage	
18	Cabinet		1'-4" x 7'-0"	Wood Panel		Passage	
19	Bath		2'-8" x 7'-0"	Wood Panel		Pocket	
20	Closet		Pair 1'-4" x 7'-0"	Wood Panel		Privacy	



Rupp Residence  
November 20, 2001

**DOOR SCHEDULE**

NUMBER	LOCATION	TYPE	SIZE	MATERIAL & FINISH	FRAME	HINGE GROUP	REMARKS
<b>BASEMENT</b>							
1	Clset		3'-0" x 6'-8"	Wood Panel		Passage	All frames Std. Wd. L.I.N.O. ** Per D.O.I. allowances
<b>FIRST FLOOR</b>							
2	Foyer		2'-10" x 7'-0"	Wood & Glass		Entrance	
3	Breakfast		2'-10" x 7'-0"	Wood & Glass		Entrance	
4	Galleries		Pair 2'-10" x 7'-0"	Wood & Glass		Patio Ext.	
5	Stair		2'-4" x 7'-0"	Cased Opening			
6	Power/Hall		2'-0" x 7'-0"	Cased Opening			
7	Power/Hall		4'-0" x 7'-0"	Cased Opening			
8	Foyer		4'-0" x 7'-0"	Cased Opening			
9	Sitting Room		11'-4" x 7'-0"	Cased Opening			
<b>SECOND FLOOR</b>							
10	Clset		1'-6" x 7'-0"	Wood Panel		Privacy	
11	Linen		1'-4" x 7'-0"	Wood Panel		Privacy	
12	Office		Pair 2'-6" x 7'-0"	Wood & Glass		Patio	Double Acting Pivot
13	Clset		Pair 1'-4" x 7'-0"	Wood Panel		Privacy	
14	Bath		2'-6" x 7'-0"	Wood Panel		Pocket	
15	Cabinet		1'-4" x 7'-0"	Wood Panel		Passage	
16	Shower		2'-4" x 6'-3"	Glass		Passage	
17	Shower		2'-0" x 6'-3"	Glass		Passage	
18	Cabinet		1'-4" x 7'-0"	Wood Panel		Passage	
19	Bath		2'-4" x 7'-0"	Wood Panel		Pocket	
20	Clset		Pair 1'-4" x 7'-0"	Wood Panel		Privacy	

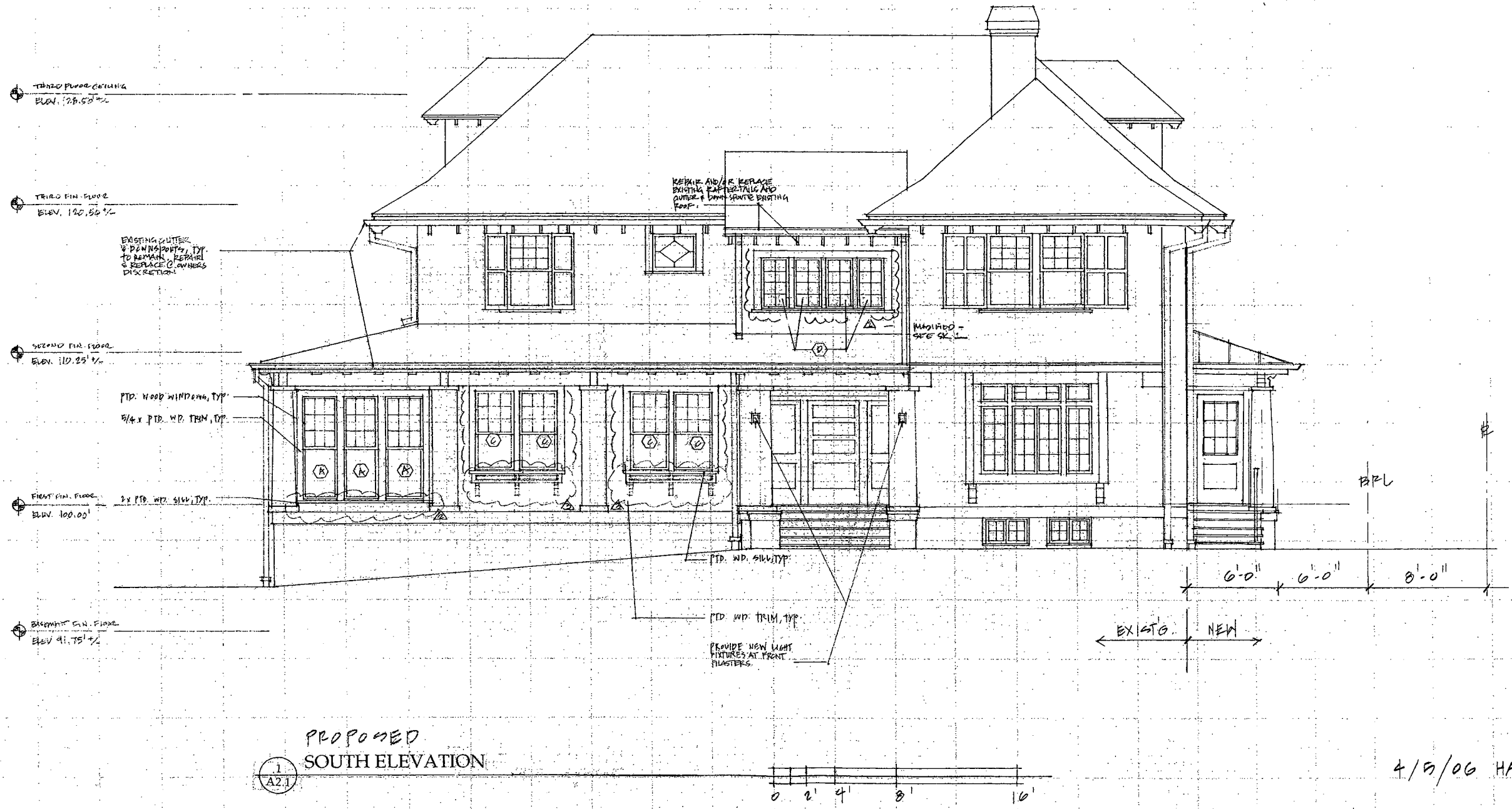
**WINDOW SCHEDULE** (Pozzi Designations)  
November 20, 2001 (Permit)

SYMBOL	DESCRIPTION	SASH OPENING (S.O.)	SCREEN	REMARKS
A	Wood Double Hung WDH 2440			
B	Wood Double Hung WDH 3640			
C	Wood Double Hung WDH3228			
D	Wood Casement CC2641			Mull 4 units together at factory
E	Wood Double Hung WDH 3226			
F	Wood Casement (sash only) Size to match existing window @ front	1'-10" x 1'-7 1/2" +/- VIF		
G	Wood Casement (sash only) Size to match existing window @ front	2'-10" x 2'-4 1/2" +/- VIF		

General Contractor to verify all dimensions prior to ordering of windows, typ.

Window Notes:

- All windows and doors to be insulated 3/4" simulated unwin bars in line patterns as shown on drawings.
- Provide safety glass at hazardous locations in accordance with Code regulations.
- Provide all window units prime painted white by manufacturer.
- Provide all window units with manufacturer's white hardware.
- Provide subills and jamb extensions to accommodate installation details and wall thicknesses at locations indicated in drawings.
- Provide shop drawings for architect's review prior to ordering windows.



1  
A2.1  
PROPOSED  
SOUTH ELEVATION

4/5/06 HAWP

**MUSE ARCHITECT**  
Washington DC 200  
Facsimile 202.966.96

5630 Connecticut Avenue NW  
Phone 202.966.6266

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET  
CHEVY CHASE, MARYLAND

PRELIMINARY PRICING  
5 JULY 2001

6 AUG. 2001 (REV.)  
HOT REVIEW REVIEW  
1 OCTOBER 2001  
REVISION 1 MAY 2001

REV 01 JAN 2002  
REV 16 APRIL 2002

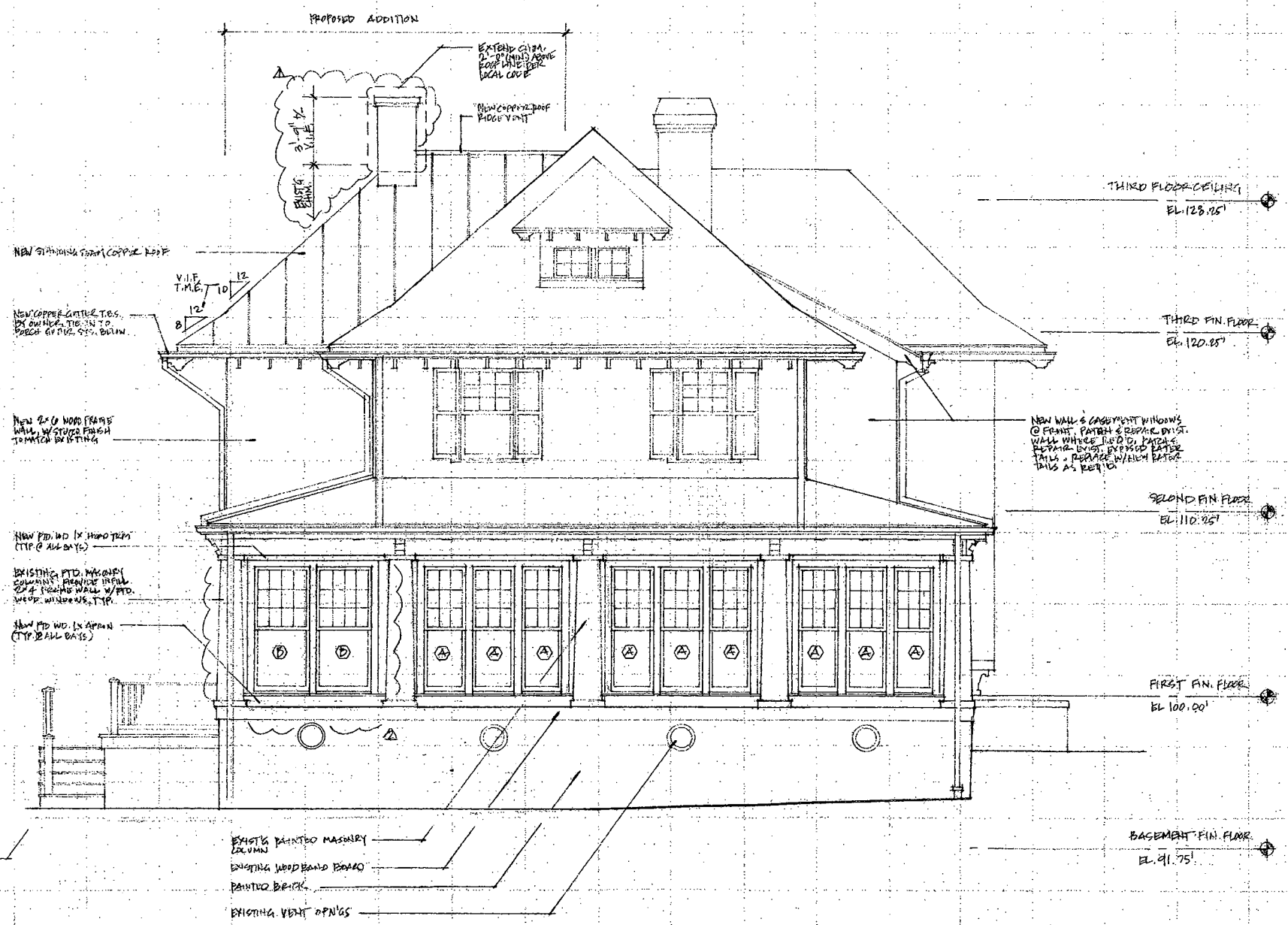
PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

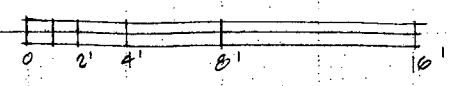
11/9. PROPOSED ADDITION  
 9/16/2004  
 DIVISION 7 MAY 2001  
 REV 2 JAN 2007

WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



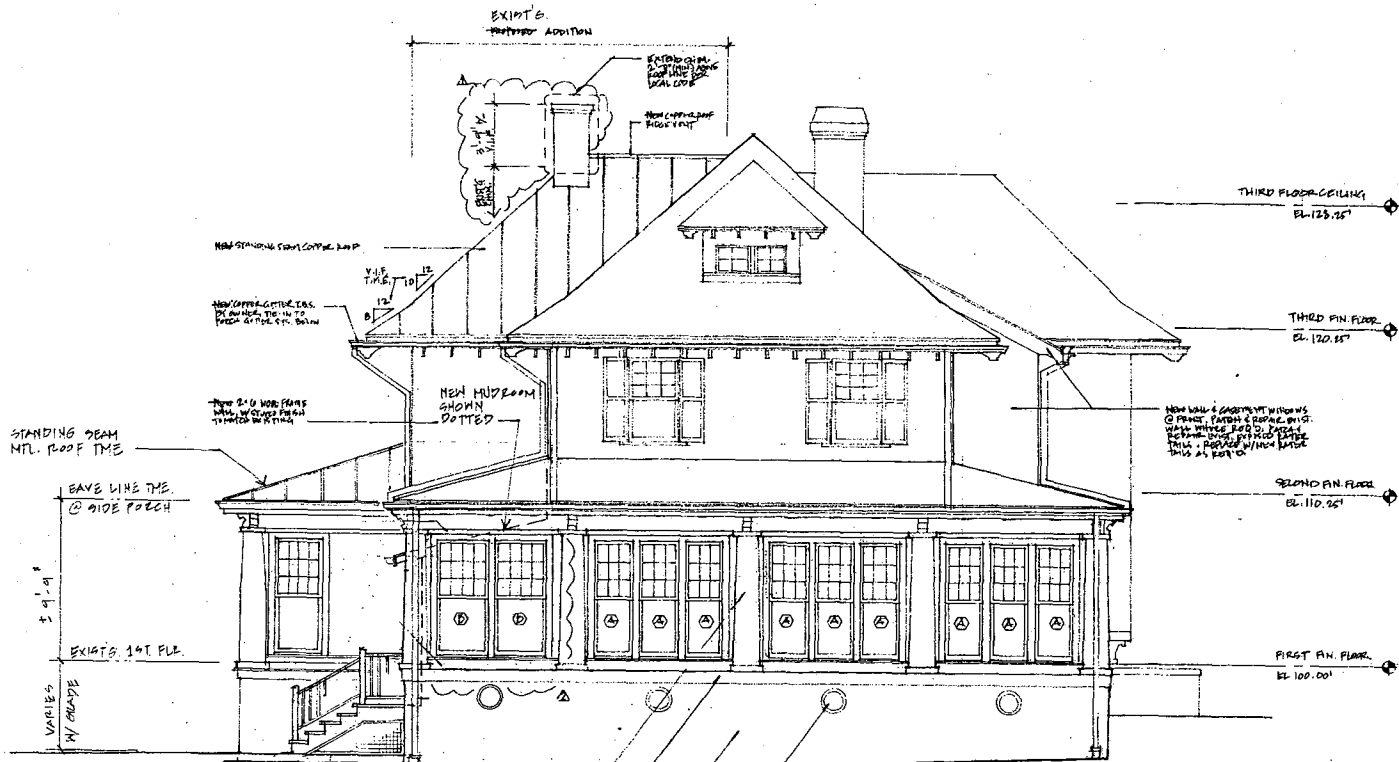
**EXISTING WEST ELEVATION**

1  
 A2.4



5 APRIL 2006

SET: NOVEMBER 16, 2001



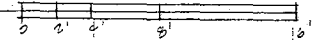
NOTE: ALL FINISHES TO MATCH EXISTING SEE NORTH ELEV. FOR TYP. NOTES.

- EXISTING PAINTED MANSARD
- EXISTING WOOD SHED BOARD
- PAINTED BRICK
- EXISTING VENT OPENINGS
- EXISTING IN PORCH BACKGROUND

NEW ADDITION IN BACKGROUND

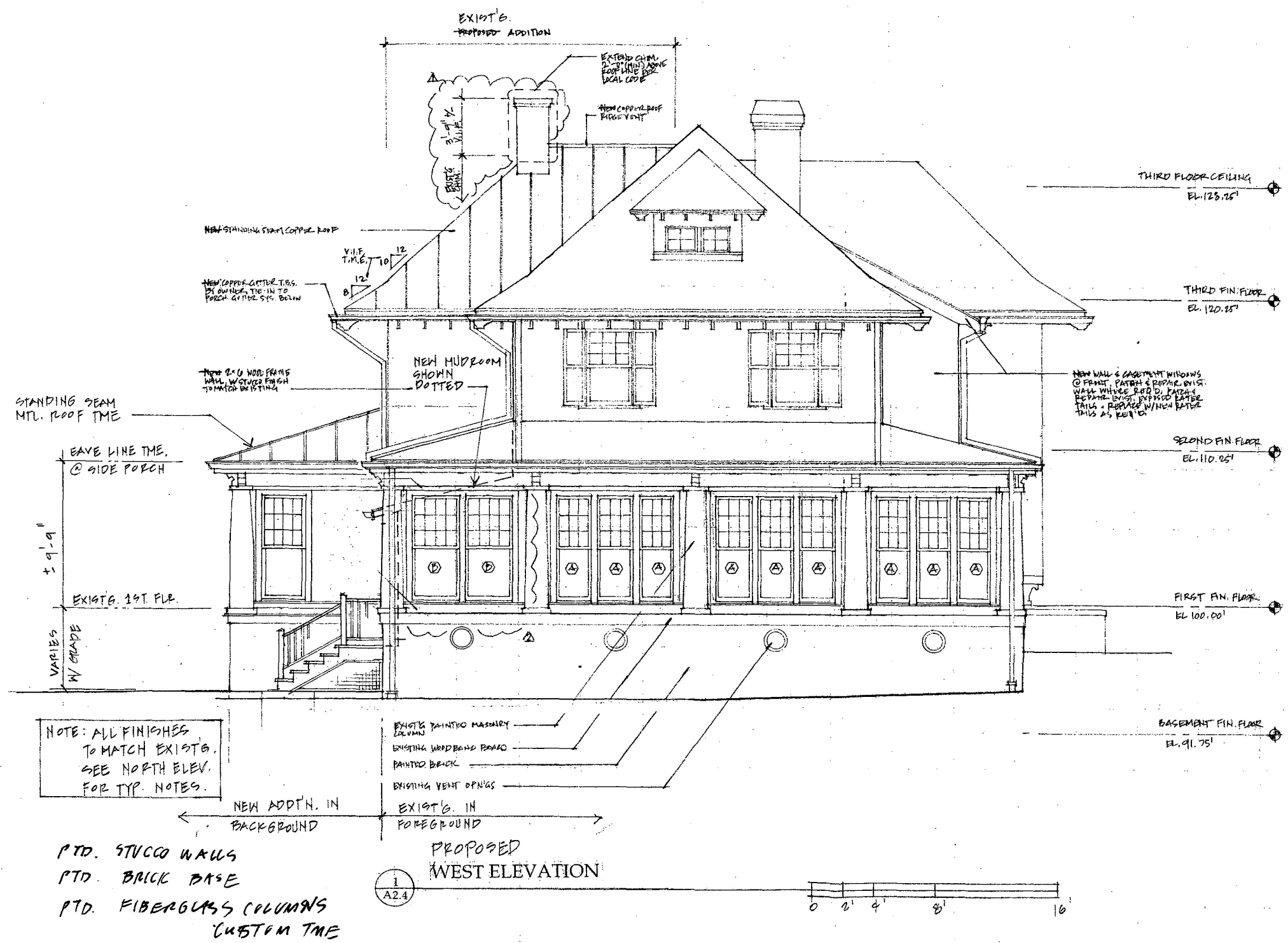
PROPOSED WEST ELEVATION

1  
A2.3



4/9/06 HAMP



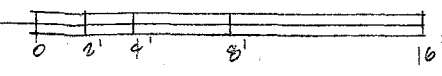


NOTE: ALL FINISHES TO MATCH EXIST'G. SEE NORTH ELEV. FOR TYP. NOTES.

PTD. STUCCO WALLS  
 PTD. BRICK BASE  
 PTD. FIBERGLASS COLUMNS  
 CUSTOM TME

EXIST'G. PAINTED MASONRY  
 EXIST'G. WOOD BOND BRACK  
 PAINTED BRICK  
 EXIST'G. VENT OPENINGS  
 EXIST'G. IN FOREGROUND  
 NEW ADD'N. IN BACKGROUND

1  
A2.4



HSA, Project Review  
 2/1/02  
 Review 7/14/2001  
 REV 2 JAN 2002

WEST ELEVATION  
 SCALE: 1/4" = 1'-0"

NOVEMBER 16, 2001

4/5/06 HAMP

5 APRIL 2006



## ZONING SUMMARY

---

PROJECT LOCATION	3 Newlands Street Chevy Chase, Maryland 20815		
DESIGN BASIS	Code:	2003 ICC International Residential Code	
	Zoning:	Montgomery County, Maryland Zoning Ordinance	
	Fire:	1997 NFPA 101 Life Safety Code	
LEGAL DESCRIPTION	Lot No.: 4	Block: 54	Town: Chevy Chase Village
	Map: HN41	Subdivision: 9	
ZONE	R-60		
BUILDING SETBACKS	Front:	25' min.	
	Sides:	one side 8' min.; total both sides 18' min.	
	Rear:	20' min.	
LOT AREA & COVERAGE	Existing Lot Area:	12,500 SF	
	Allowable Lot Coverage:	4,375 SF / 35 % (incl. Accessory buildings)	
	Existing Lot Coverage:	3,091 SF / 24.7 %	
	Proposed Lot Coverage:	3,366 SF / 26.9 %	
BUILDING HEIGHT	Permitted Height:	35.00'	
	Existing Height to Remain:	34.00'	

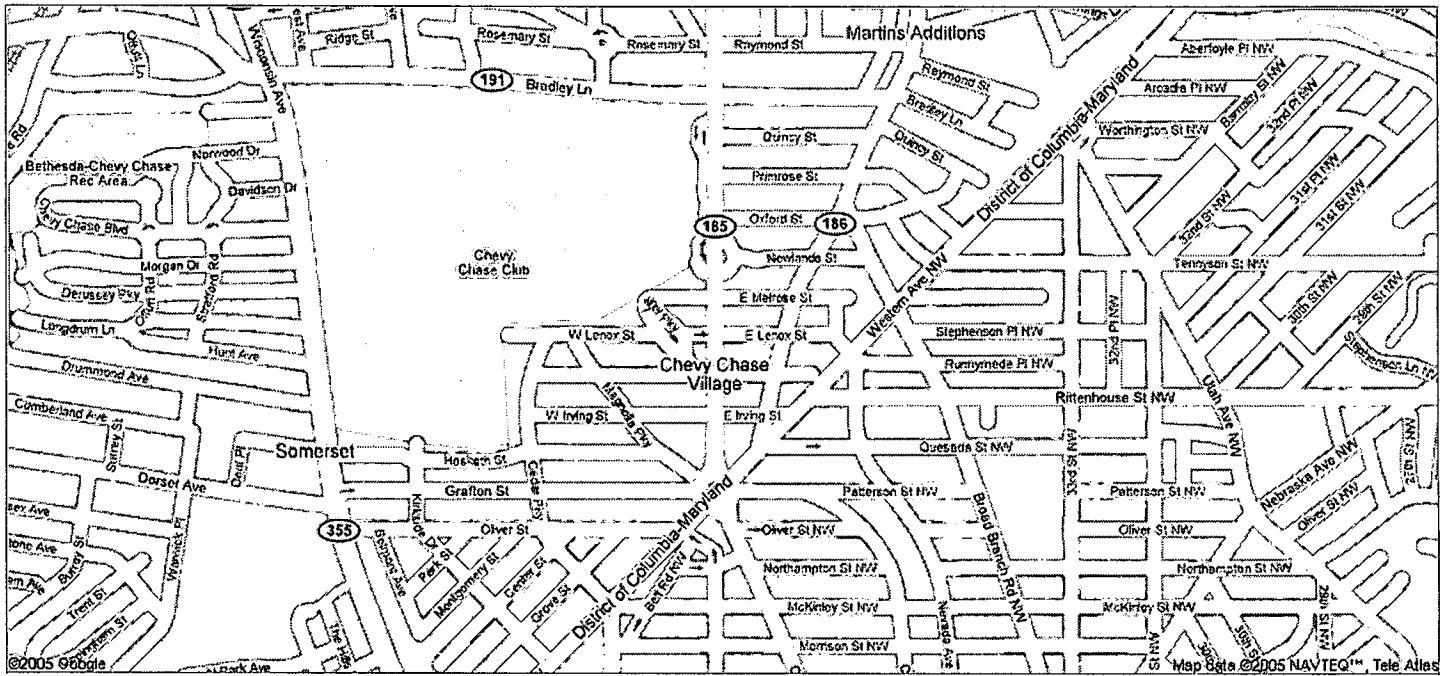
### NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.



## Tully, Tania

---

**Subject:** 3 Newlands  
**Location:** Chevy Chase  
**Start:** Fri 4/14/2006 2:00 PM  
**End:** Fri 4/14/2006 2:30 PM  
**Recurrence:** (none)  
**Categories:** Site Visit

Call Mary Beth Elliott when on my way over. 202-966-6266.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	3 Newlands St, Chevy Chase	<b>Meeting Date:</b>	4/26/2006
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	4/19/2006
<b>Applicant:</b>	Dane Butswinkas (Mary Beth Elliott, Architect)	<b>Public Notice:</b>	4/12/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	none
<b>Case Number:</b>	35/13-06H	<b>Staff:</b>	Tania Tully

**PROPOSAL:** rear addition expansion

**RECOMMENDATION:** Approve with Condition

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP application with the following condition:

- Tree protection measures, as necessary should be implemented prior to construction.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Craftsman  
**DATE:** c.1918

This property is one of the three large Craftsman residences built before World War I and set on multiple lots along the north side of Newlands Street. The subject property is a contributing resource despite changes to the front façade due to the quality of design and the degree of remaining integrity of the overall structure. The house and garage sit on a large relatively flat 12,500 SF lot.

**HISTORIC CONTEXT**

Excerpted from **Places from the Past: The Tradition of Gardez Bien in Montgomery County, MD**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.



Chevy Chase is nationally recognized as a prototypical, turn-of-the-century streetcar suburb providing upscale residences in a comprehensively planned environment. The driving force behind the development of Chevy Chase was Senator Francis G. Newlands of Nevada. Newlands is recognized as one of the first entrepreneurs to appreciate the speculative implications of the streetcar. Chevy Chase gets its name from a 560-acre tract of land patented here in 1751 by Colonel Joseph Belt, known as "Cheivy Chace." The name has historic associations with a 1388 battle between England and Scotland that involved a border raid, or "chevauchee," of hunting grounds, known as a "chace."

Chevy Chase Village is an exceptional concentration of late nineteenth century and early twentieth century architectural styles, including the Colonial Revival, Neoclassical, Shingle, Tudor Revival, Italian Renaissance, and Craftsman. Locally and nationally known architects designed many of the houses.

Domestic architecture built between 1892 and 1930 is characterized by the combining of different academic architectural styles and forms. It is typical for buildings of this era to display elements of several different styles and types of ornamentation all on one structure. Academic Eclecticism is a term often used to describe this type of architecture - not meaning that buildings were designed with little forethought, but rather that the exuberance of the period led designers to break with rigid stylistic rules and freely combine the best of different forms and decorative motifs.

After [World War I], Chevy Chase benefited from the prosperity of the 1920s and the explosive growth of the federal government. As reflected in real estate advertisements of the period, Chevy Chase Village had emerged as an established, planned suburb by the early 1920s. Advertisements noticing sales of both new and existing houses identified the area as "Old Chevy Chase, Maryland" or the "Most Exclusive Section of Chevy Chase, Maryland." Lot sales were so good in Chevy Chase by 1922 that the Land Company struggled to keep up with demand by opening several new sections - including Section 5, Section 1, and Section 1-A. Chevy Chase Village gradually evolved from a scattering of exclusive seasonal houses for the well-to-do who built large country residences on spacious lots to a solid, middle-class residential district of upscale houses mixed with smaller, less costly Period houses.

Outstanding landscape features which bear testimony to Nathan Barrett's original landscape plan, include the arched canopy of trees framing West Irving Street, and triangular park-like lots at Magnolia Parkway and Chevy Chase Circle, and at Laurel Parkway and Kirke Street. A major landscape feature - Chevy Chase Circle, located on the DC-Maryland border - unites the two jurisdictions and provide a gateway to Chevy Chase. The sandstone Chevy Chase Circle Fountain, built in 1932 and dedicated to Newlands, was recently restored by the Chevy Chase Land Company.

Taken as a whole, the buildings in Chevy Chase Village - sited along the planned, curving street system and surrounded by mature landscaping - represent an important cultural expression of American wealth and power in the early twentieth century and reflect in their designs the optimism and comfort considered central to domestic architecture of the post-Victorian American suburb.

#### **PROPOSAL:** (Circles 9-16)

- Remove HAWP approved 2002 rear addition and deck.
- Enlarge breakfast room
- Small mudroom addition.

#### **Materials:**

- Roof: standing seam metal
- Foundations: painted brick
- Windows: Pozzi wood simulated divided light, double-hung, 12/1
- Trim: wood
- Columns: painted fiberglass
- Deck: Ipe wood

## **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the Chevy Chase Village Historic District (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

- The *Guidelines* state five basic policies that should be adhered to, including:
  - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
  - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
  - Maintaining the variety of architectural styles and the tradition of architectural excellence.
  - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
  - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Decks should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

*Montgomery County Code; Chapter 24A*

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

*Secretary of the Interior's Standards for Rehabilitation* (Circle 4A)

**STAFF DISCUSSION**

At the October 24, 2001 HPC meeting the Commission approved a HAWP for window replacement, rear additions, and other rear alterations. The alterations to the front of the house removed non-historic incompatible features and replaced them with more compatible materials and enhancing the integrity of the streetscape. The rear alterations consisted of a 1-story addition, a 2-story addition, and a deck between the two additions. This proposal is to remove the 2002 1-story addition and deck and replace them with a larger 1-story addition and a new deck.

The lot coverage would increase by approximately 277 SF, materials and design are proposed to be the same as the existing new additions, and no additional basement space will be added. On Circle 8 it can be seen that the new addition extends no farther into the rear yard than the existing deck. The only aspect of the proposed new addition that merits discussion is the fact that it does extend beyond the width of the house and will be visible from the public right-of-way. As seen in the south elevation on Circle 14, the new addition will extend 6 feet beyond the side of the historic house. This portion of the addition contains a door and wood stoop and should read as an enclosed porch. The new addition will also connect the existing enclosed porch and the breakfast room allowing for more interior circulation.

The proposed new addition is 1-story, placed at the rear of the house, and compatible. The mass of the historic house is still evident despite the slight wrapping of the corner and helps in the differentiation from the historic house. All of the proposed materials are the same as those in the remaining HPC approved addition. This project is in keeping with the *Guidelines* set forth for contributing resources in the Chevy Chase Village Historic District. Staff is recommending approval.

**STAFF RECOMMENDATION:**

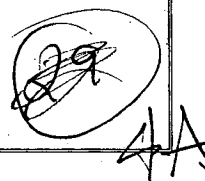
Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.

## Secretary of the Interior's Standards for Rehabilitation

1. A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Handwritten signature and initials in the bottom right corner of the page.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MARY BETH ELLIOTT, AIA

Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436

Name of Property Owner: DANE BUTSWINKAS Daytime Phone No.: 301-951-8587

Address: 3 NEWLANDS STREET CHEVY CHASE MD 20815  
Street Number City Street Zip Code

Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: MARY BETH ELLIOTT, MUSE ARCH. P.C. Daytime Phone No.: 202 966-6266

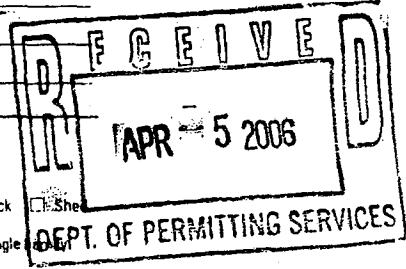
### LOCATION OF BUILDING/PREMISE

House Number: 3 Street: NEWLANDS

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: 4 Block: 54 Subdivision: 9

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_



### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Teaze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- She
- Solar
- Fireplace
- Woodburning Stove
- Single
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 80,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

M.B. Elliott AIA MUSE ARCHITECTS, P.C.  
Signature of owner or authorized agent

5 APRIL 2006  
Date

Approved: 416 889 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS WOOD FRAME W/ STUCCO FINISH and CLAY TILE ROOF, BUILT IN 1918. THE SET BACK FROM NEWLANDS STREET CURB TO THE FRONT DOOR IS  $\approx$  72 FEET. THE PRESENT OWNER COMPLETED A RENOVATION and ADDITION TO THE HOUSE IN 2002. THIS WORK INCLUDED THE REMOVAL OF TOO MODERN WINDOWS @ THE PORCH and LIVING ROOM and THEIR REPLACEMENT W/ WINDOWS MORE IN KEEPING WITH THE PERIOD & STYLE OF THE HOUSE. THE OWNER COMPLETED THE HAWP APPROVAL @ THAT TIME.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED WORK REMOVES THE PREVIOUS BREAKFAST ROOM and DECK ADDITION, ENLARGES THE 'EXISTING' BREAKFAST ROOM and ENCLOSSES A MUD ROOM LINK BETWEEN THE EXISTING PORCH, FOYER and PROPOSED ADDITION. WHERE VISIBLE, THE NEW WORK WILL BE SEEN AS CONSISTENT W/ THE EXISTING DESIGN VOCABULARY of THE HOUSE IN SCALE & MATERIAL & FINISH.

**SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**7. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)779-1355).

**ZONING SUMMARY**

---

PROJECT LOCATION	3 Newlands Street Chevy Chase, Maryland 20815		
DESIGN BASIS	Code:	2003 ICC International Residential Code	
	Zoning:	Montgomery County, Maryland Zoning Ordinance	
	Fire:	1997 NFPA 101 Life Safety Code	
LEGAL DESCRIPTION	Lot No.: 4	Block: 54	Town: Chevy Chase Village
	Map: HN41	Subdivision: 9	
ZONE	R-60		
BUILDING SETBACKS	Front:	25' min.	
	Sides:	one side 8' min.; total both sides 18' min.	
	Rear:	20' min.	
LOT AREA & COVERAGE	Existing Lot Area:	12,500 SF	
	Allowable Lot Coverage:	4,375 SF / 35 % (incl. Accessory buildings)	
	Existing Lot Coverage:	3,091 SF / 24.7 %	
	Proposed Lot Coverage:	3,366 SF / 26.9 %	
BUILDING HEIGHT	Permitted Height:	35.00'	
	Existing Height to Remain:	34.00'	

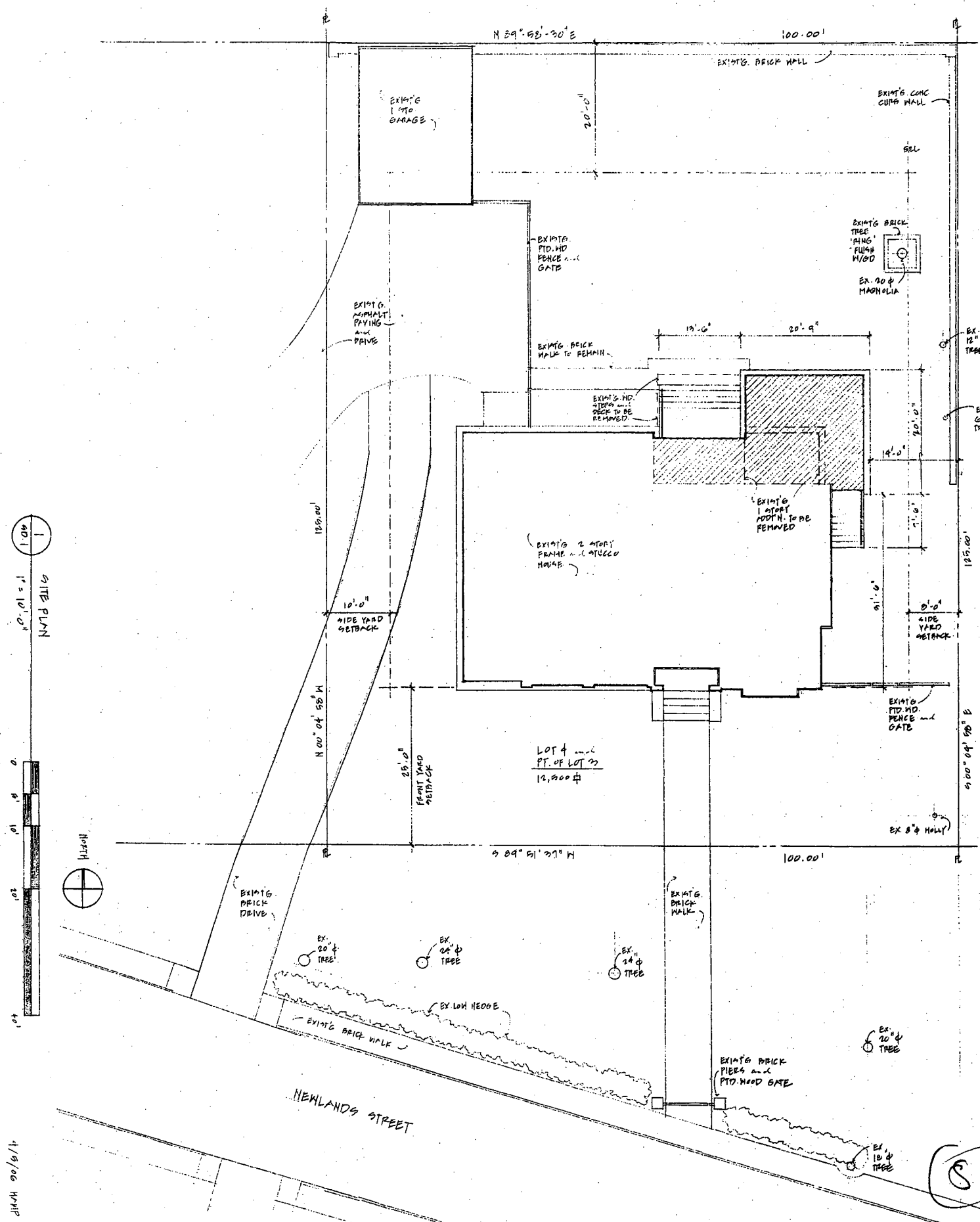
NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

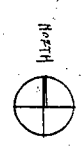
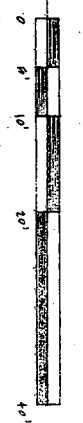
CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.



SITE PLAN  
1" = 10'-0"



NEWLANDS STREET

SD.1 SITE PLAN SCALE: 1" = 10'-0"	AN ADDITION TO THE <b>RUPP / BUTSWINKAS RESIDENCE</b> 3 NEWLANDS STREET CHEVY CHASE, MD 20815	<b>MUSE ARCHITECT</b> 5630 Connecticut Avenue NW Phone 202.966.6266 Washington Facsimile 20
---	---	---

5 APRIL 2006

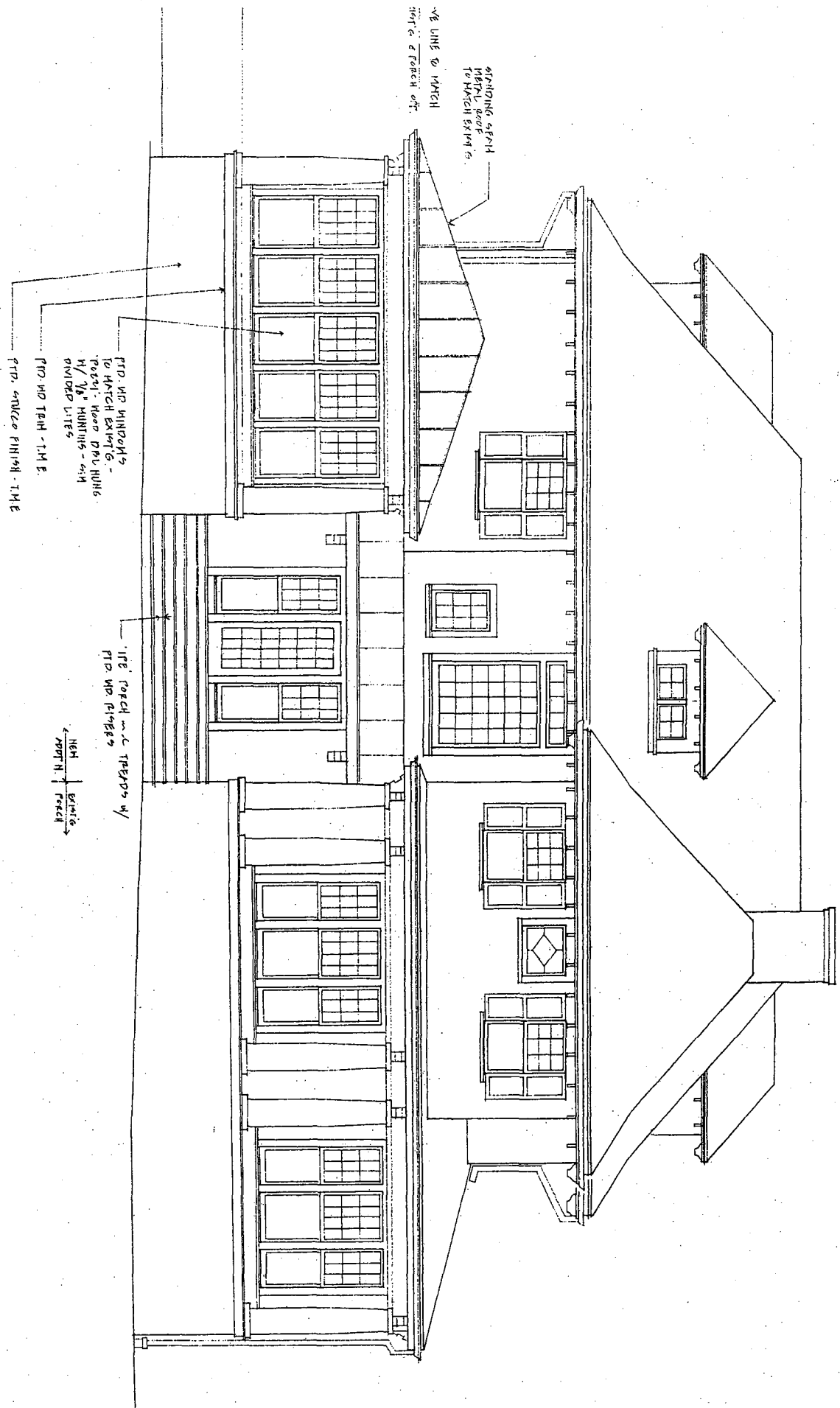
4/5/06 HWHP



2

1

PROPOSED  
NORTH ELEVATION  
1/4" = 1'-0"



4/5/06 HWF  
3/2/06  
8/24/05

5 APRIL 2006

3	BUILDING ELEVATIONS
	SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECT**  
 5630 Connecticut Avenue NW  
 Phone 202.966.6266  
 Washington  
 Facsimile 202.966.6266

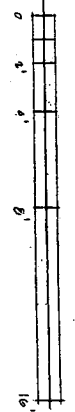




12

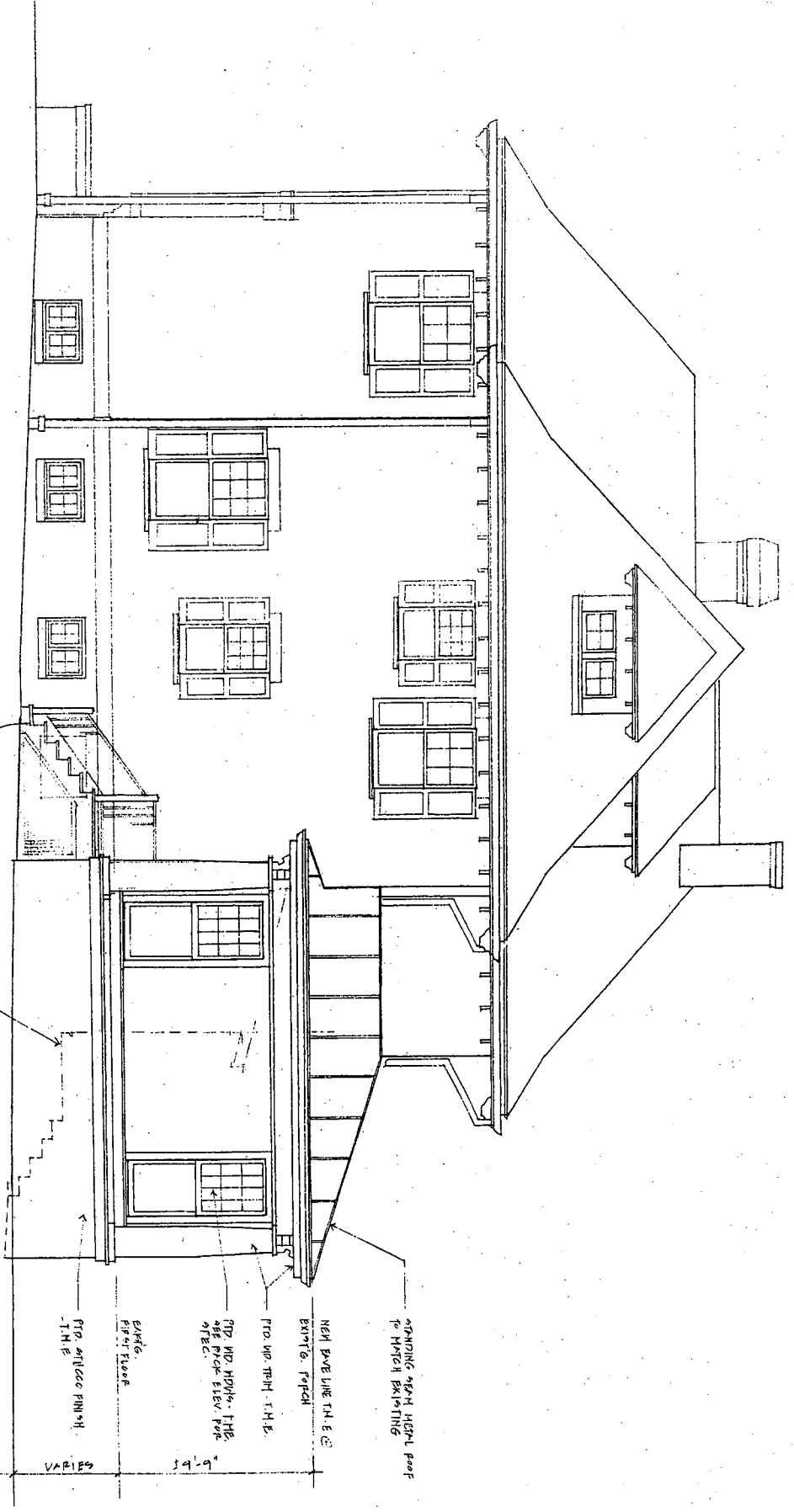
4

PROPOSED EAST ELEVATION  
1/4" = 1'-0"



NEW head office N /  
PRO. NO. 10000, 10110  
FLOOR - 10' HIGH  
EXIST. IN  
EXIST. IN  
IN PROPOSED ADDITION

PROPOSED porch and stairs  
NEW entrance  
NEW porch  
PORTED



VARIES  
39'-9"  
EXIST. FLOOR  
PRO. NO. 10000, 10110  
NEW BAY LINE IN E. E.  
EXP. PORCH  
EXPANDING OPEN HIGH ROOF TO MATCH EXISTING

4/5/06 JWH/1  
9/1/06  
8/24/05  
5 APRIL 2006

4  
BUILDING ELEVATIONS  
SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
RUPP / BUTSWINKAS RESIDENCE  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECT  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Washington  
Facsimile 202.966.6266

Shop Drawings  
November 16, 2001

**DOOR SCHEDULE**

NUMBER	LOCATION	TYPE	SIZE	MATERIAL	FINISH	HANDLE	STICKER	MARKER
1	Entrance	6'0" x 8'0"		Wood Panel	Paint	Brass		See Notes For Top Detail

**WINDY FLOOR**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	Window	12	Sq Ft	1.50	18.00
2	Door	1	Sq Ft	1.50	1.50
3	Trim	10	Lf	1.00	10.00
4	Paint	100	Sq Ft	0.10	10.00
5	Hardware	10	Each	1.00	10.00
6	Glazing	12	Sq Ft	1.00	12.00
7	Sealant	12	Lf	1.00	12.00
8	Finish	10	Sq Ft	1.00	10.00
9	Paint	100	Sq Ft	0.10	10.00
10	Hardware	10	Each	1.00	10.00
11	Glazing	12	Sq Ft	1.00	12.00
12	Sealant	12	Lf	1.00	12.00
13	Finish	10	Sq Ft	1.00	10.00
14	Paint	100	Sq Ft	0.10	10.00
15	Hardware	10	Each	1.00	10.00
16	Glazing	12	Sq Ft	1.00	12.00
17	Sealant	12	Lf	1.00	12.00
18	Finish	10	Sq Ft	1.00	10.00
19	Paint	100	Sq Ft	0.10	10.00
20	Hardware	10	Each	1.00	10.00

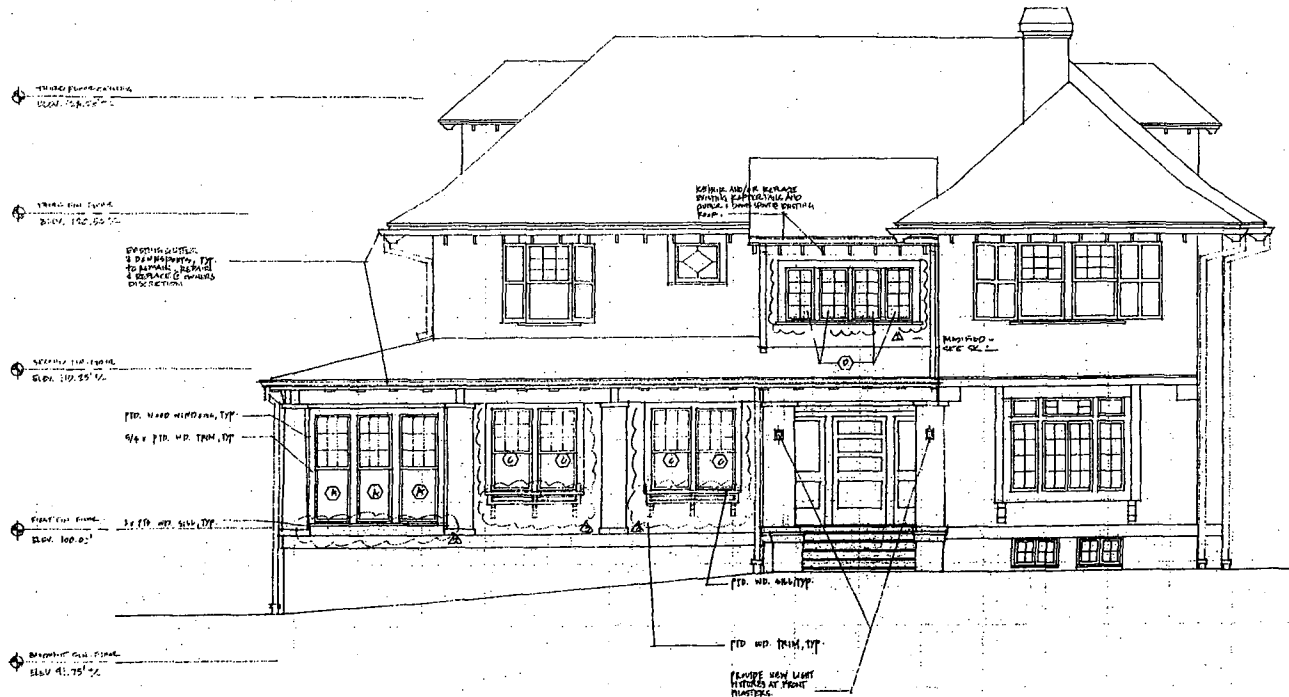
  

**SCREEN FLOOR**

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	Window	12	Sq Ft	1.50	18.00
2	Door	1	Sq Ft	1.50	1.50
3	Trim	10	Lf	1.00	10.00
4	Paint	100	Sq Ft	0.10	10.00
5	Hardware	10	Each	1.00	10.00
6	Glazing	12	Sq Ft	1.00	12.00
7	Sealant	12	Lf	1.00	12.00
8	Finish	10	Sq Ft	1.00	10.00
9	Paint	100	Sq Ft	0.10	10.00
10	Hardware	10	Each	1.00	10.00
11	Glazing	12	Sq Ft	1.00	12.00
12	Sealant	12	Lf	1.00	12.00
13	Finish	10	Sq Ft	1.00	10.00
14	Paint	100	Sq Ft	0.10	10.00
15	Hardware	10	Each	1.00	10.00
16	Glazing	12	Sq Ft	1.00	12.00
17	Sealant	12	Lf	1.00	12.00
18	Finish	10	Sq Ft	1.00	10.00
19	Paint	100	Sq Ft	0.10	10.00
20	Hardware	10	Each	1.00	10.00

**WINDOW SCHEDULE (Paint Designation)**  
November 20, 2001 (Rev)

SYMBOL	DESCRIPTION	GLASS OPENING (G.O.)	SCREEN	REMARKS
A	Wood Double Hung WPH1 36x42			
B	Wood Double Hung WPH1 36x42			
C	Wood Double Hung WPH1 36x42			
D	Wood Double Hung WPH1 36x42			
E	Wood Double Hung WPH1 36x42			
F	Wood Double Hung WPH1 36x42			
G	Wood Double Hung WPH1 36x42			
H	Wood Double Hung WPH1 36x42			
I	Wood Double Hung WPH1 36x42			
J	Wood Double Hung WPH1 36x42			
K	Wood Double Hung WPH1 36x42			
L	Wood Double Hung WPH1 36x42			
M	Wood Double Hung WPH1 36x42			
N	Wood Double Hung WPH1 36x42			
O	Wood Double Hung WPH1 36x42			
P	Wood Double Hung WPH1 36x42			
Q	Wood Double Hung WPH1 36x42			
R	Wood Double Hung WPH1 36x42			
S	Wood Double Hung WPH1 36x42			
T	Wood Double Hung WPH1 36x42			
U	Wood Double Hung WPH1 36x42			
V	Wood Double Hung WPH1 36x42			
W	Wood Double Hung WPH1 36x42			
X	Wood Double Hung WPH1 36x42			
Y	Wood Double Hung WPH1 36x42			
Z	Wood Double Hung WPH1 36x42			



EXISTING  
SOUTH ELEVATION

1  
A2.1

0 2' 4' 6' 8' 10'

**MUSE ARCHITECTS**  
Washington, DC 20015  
5630 Connecticut Avenue NW  
Bethesda, MD 20814  
Phone: 301.946.9666

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET  
CHEVY CHASE, MARYLAND

PRELIMINARY PRICING  
\$ JULY 2001

REV 1 11/16/01 (REV)  
REV 2 11/16/01 (REV)  
REV 3 11/16/01 (REV)  
REV 4 11/16/01 (REV)  
REV 5 11/16/01 (REV)  
REV 6 11/16/01 (REV)  
REV 7 11/16/01 (REV)  
REV 8 11/16/01 (REV)  
REV 9 11/16/01 (REV)  
REV 10 11/16/01 (REV)

PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NOVEMBER 16, 2001

5 APRIL 2006

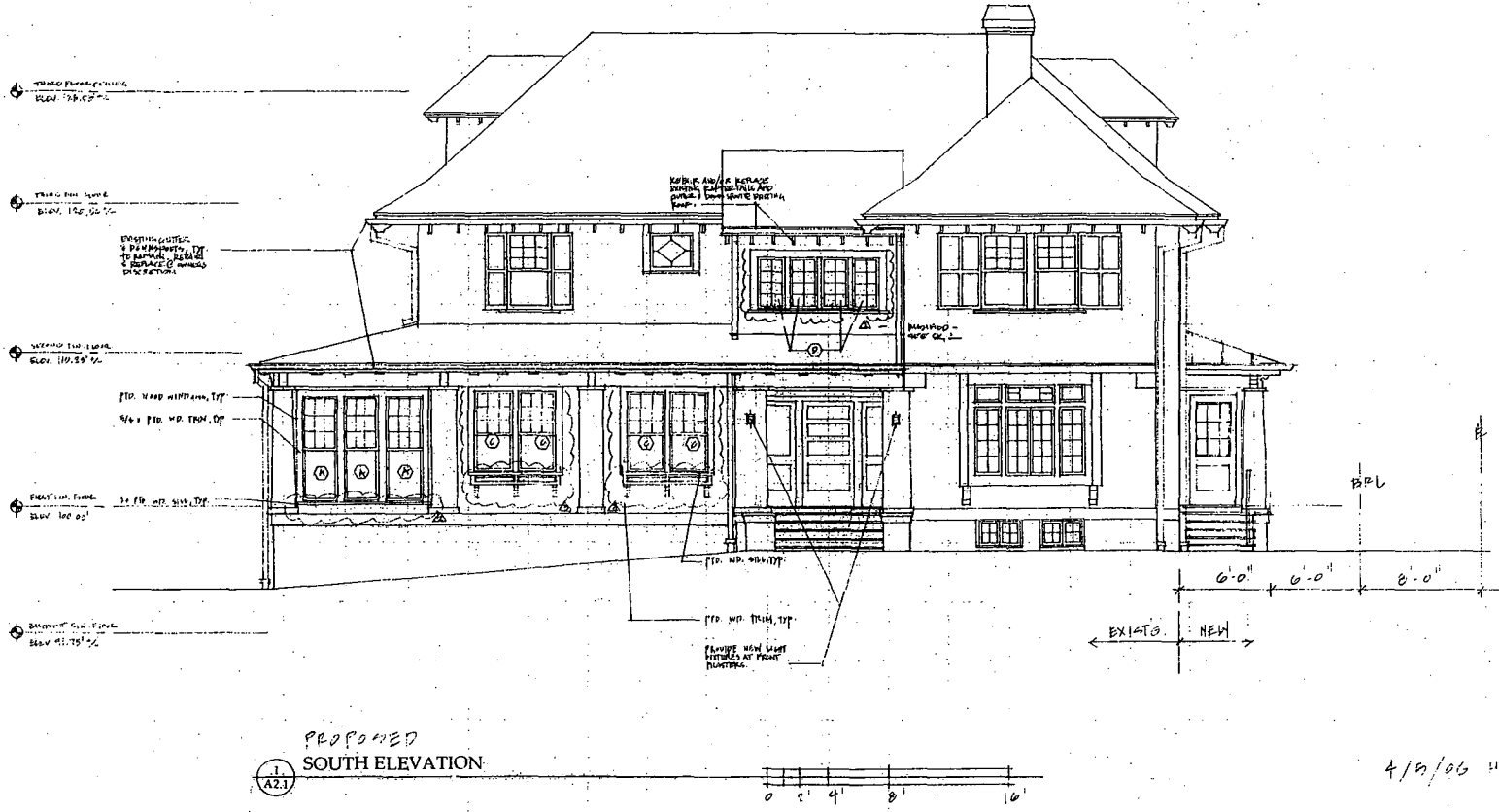
9

8-11-06  
 DOOR SCHEDULE

NUMBER	LOCATION	TYPE	SIZE	MATERIAL & FINISH	PAINT	HANDLE	REMARKS
1	Entry	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	See Section 101.02.10
<b>BASE FLOOR</b>							
1	Entry	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
2	Living	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
3	Dining	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
4	Kitchen	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
5	Bedroom	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
6	Bath	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
7	Bedroom	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
8	Bath	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
9	Bedroom	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	
10	Bath	Swing	3'0" x 7'0"	Wood Panel	Paint	Brass	

ITEM	DESCRIPTION	QUANTITY	UNIT	REMARKS
A	Wood Double Hung WDH1 360			
B	Wood Double Hung WDH1 360			
C	Wood Double Hung WDH1 360			
D	Wood Double Hung WDH1 360			
E	Wood Double Hung WDH1 360			
F	Wood Casement (6/6) 600	1	SF	See to match existing
G	Wood Casement (6/6) 600	1	SF	See to match existing

- General Contractor to verify all dimensions prior to ordering of windows.
- Notes:
- All windows and doors to be installed 3/4" finished square but in the pattern of above all drawings.
  - Provide safety glass at head/casement in accordance with Code regulations.
  - Provide all window units painted white by manufacturer.
  - Provide all window units with manufacturer's white hardware.
  - Provide hardware and jamb assemblies to accommodate installation details and wall thicknesses as shown indicated in drawings.
  - Provide shop drawings for contractor's review prior to ordering windows.



**MUSE ARCHITECT**  
 Washington  
 5630 Connecticut Avenue NW  
 Phone: 202-366-6266

ADDITION TO AND RENOVATION OF THE  
**RUPP/BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET  
 CHEVY CHASE, MARYLAND

PRELIMINARY PRICING  
 5 JULY 2001  
 NOT TO BE USED FOR BIDDING  
 1 (REVISED SET)  
 REVIEW 1/20/02  
 2 (REVISED SET)  
 2 (REVISED SET)

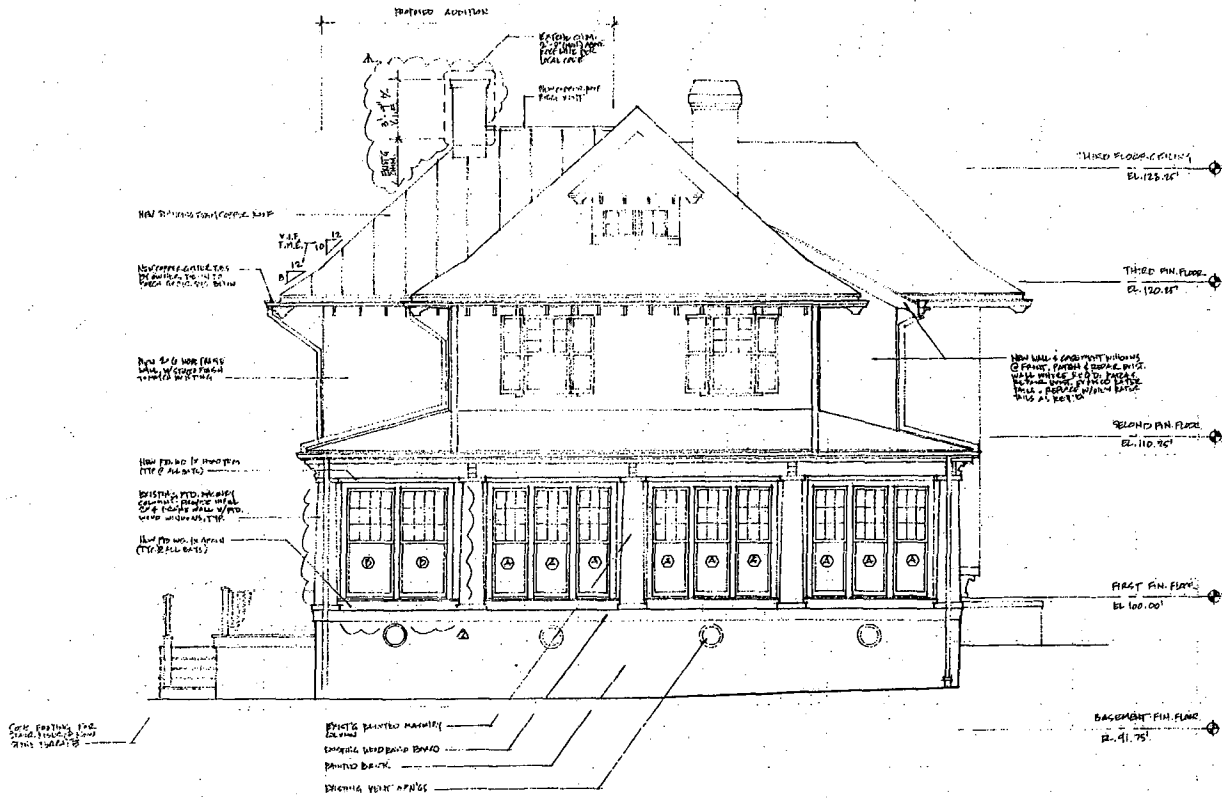
PROPOSED SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

5

IT SET: NOVEMBER 16, 2001

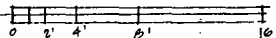
5 APRIL 2006

(41)



EXISTING  
WEST ELEVATION

1  
A2.4



THESE PLANS WERE PREPARED BY MUSE ARCHITECTS FOR THE ARCHITECTURAL RECORD, NOVEMBER 2007

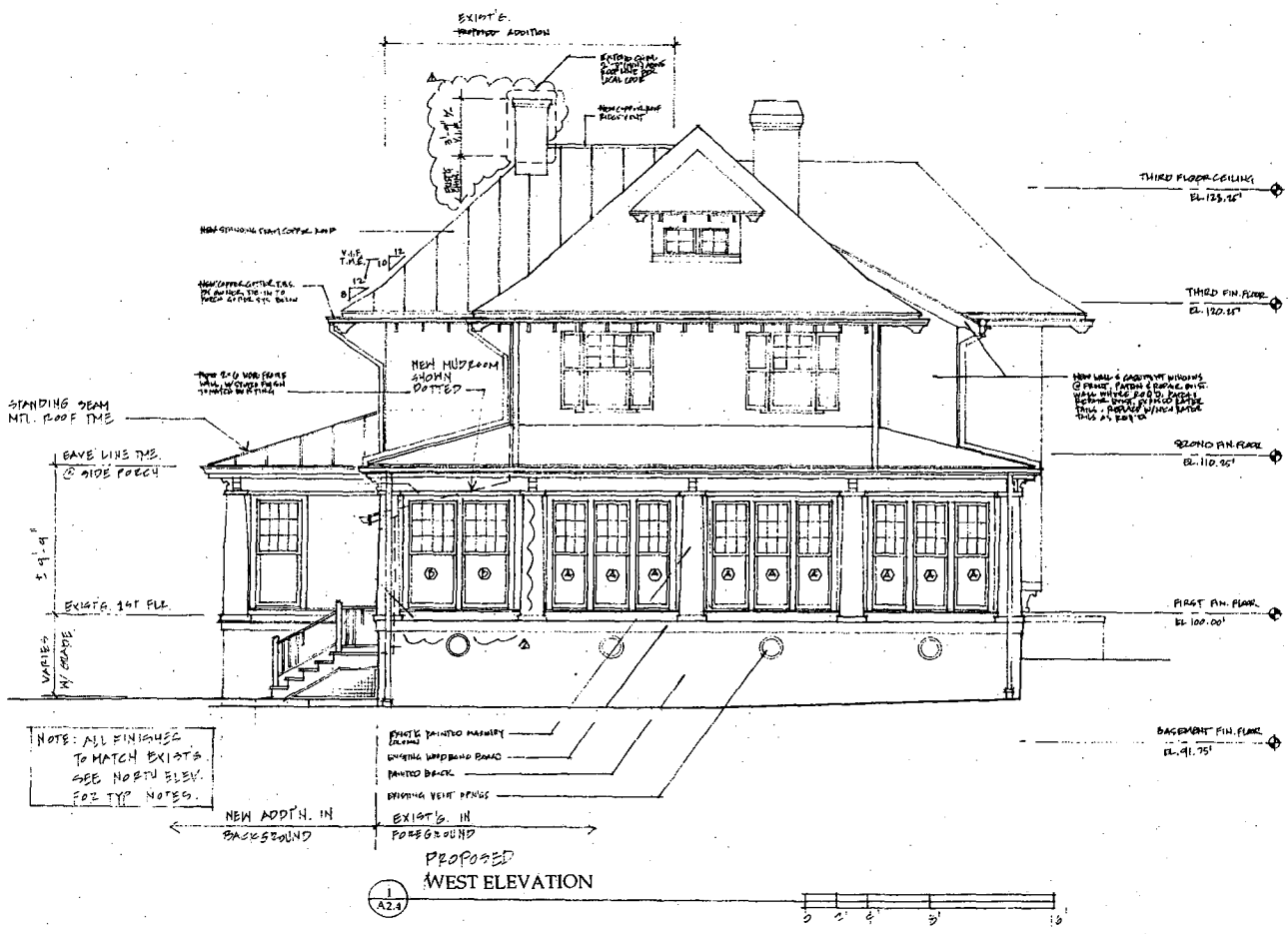
WEST ELEVATION  
SCALE: 1/4" = 1'-0"

15



Plot, P100-02-0000  
 1/10/06  
 2/10/06  
 3/10/06

WEST ELEVATION  
 SCALE 1/4" = 1'-0"



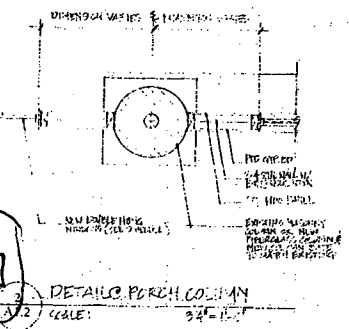
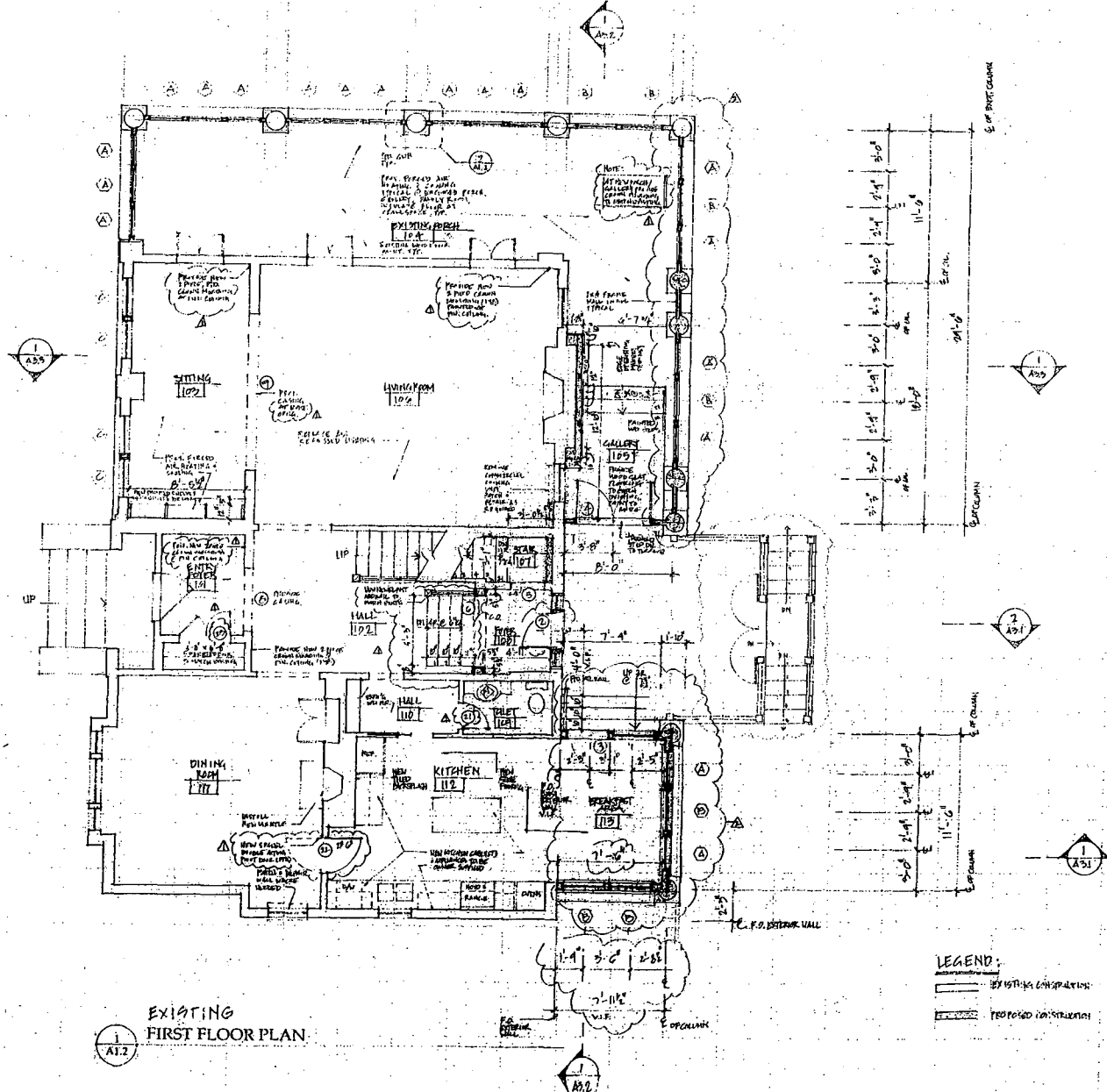
NOTE: ALL FINISHES TO MATCH EXIST'S. SEE NORTH ELEV. FOR TYP. NOTES.

1  
A24



3/8/06 HAMP

16



EXISTING  
FIRST FLOOR PLAN

**LEGEND:**  
 ——— EXISTING CONSTRUCTION  
 - - - - - PROPOSED CONSTRUCTION

**ADDITION TO AND RENOVATION OF THE  
 RUPP/BUTSWINKAS RESIDENCE**  
 3 NEWLANDS STREET  
 CHEVY CHASE, MARYLAND

PRELIMINARY PRICING  
 30 SEPTEMBER 2001  
 NOT TO BE USED FOR  
 PERMITS OR CONTRACTS  
 (NOT TO BE CONSTRUCTION)  
 REVIEW: 1/18/02  
 REVIEW: 1/18/02

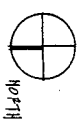
FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

NOVEMBER 16, 2001

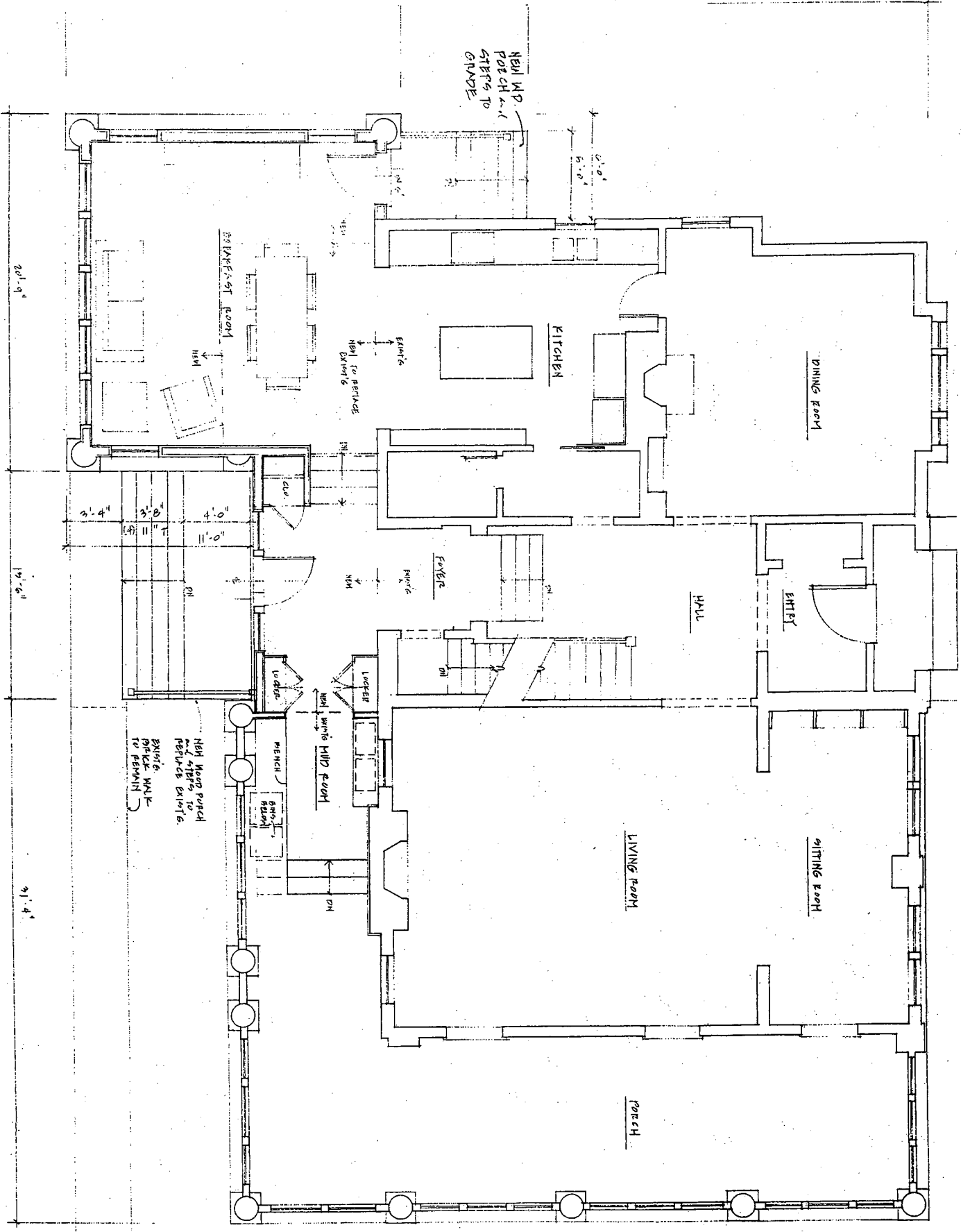
5 APRIL 2006

18

FIRST FLOOR PLAN - PROPOSED  
1/4" = 1'-0"



4/05/06 HRP  
9/1/06  
1/10/06  
8/24/05



5 APRIL 2006

1

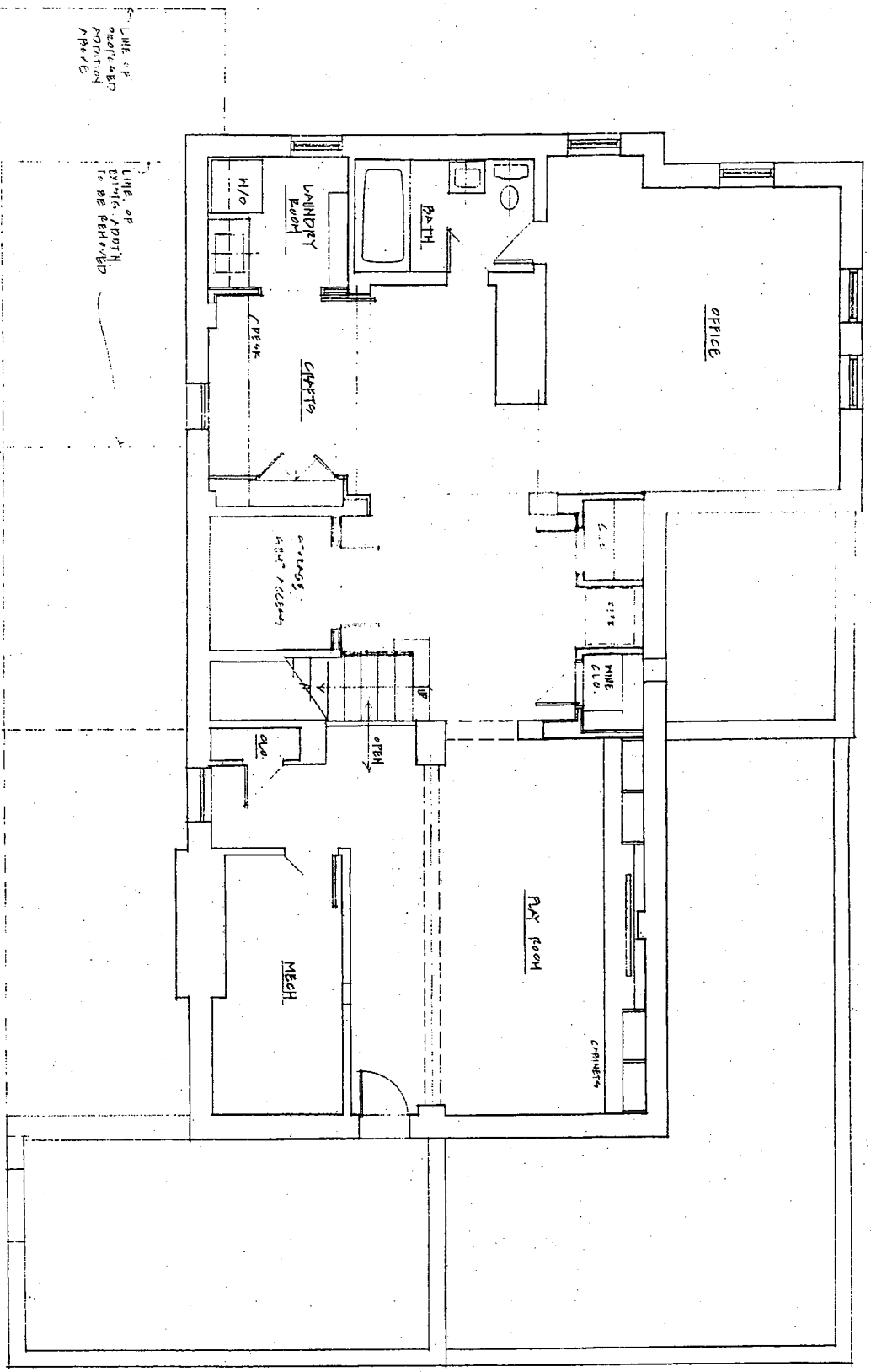
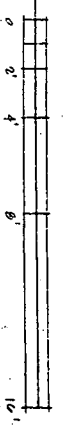
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
**RUPP / BUTSWINKAS RESIDENCE**  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

**MUSE ARCHITECTS**  
5630 Connecticut Avenue NW  
Phone 202.966.6266  
Washington  
Facsimile 202.966.6266

bl

1  
2  
BASEMENT PLAN - PROPOSED  
1/4" = 1'-0"



4/5/06 BHP  
5/4/06  
1/16/06  
8/24/06

5 APRIL 2006

2	BASEMENT PLAN
	SCALE: 1/4" = 1'-0"

ADDITION TO & RENOVATION OF THE  
RUPP / BUTSWINKAS RESIDENCE  
3 NEWLANDS STREET CHEVY CHASE, MD 20815

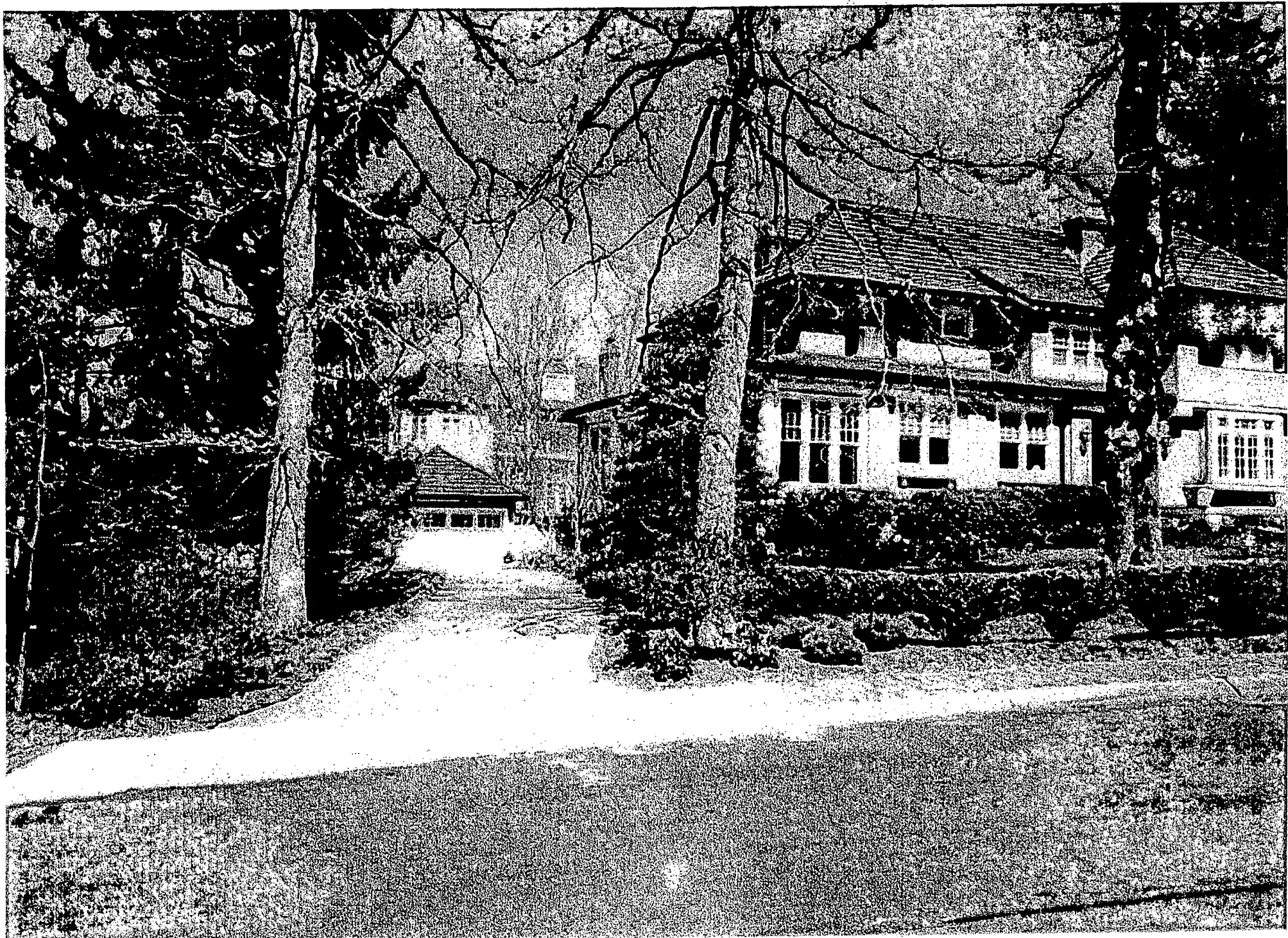
MUSE ARCHITECTS  
5630 Connecticut Avenue NW Washington  
Phone 202.966.6266 Facsimile 202.966.6266

NORTH ELEVATION

NEWLANDS STREET







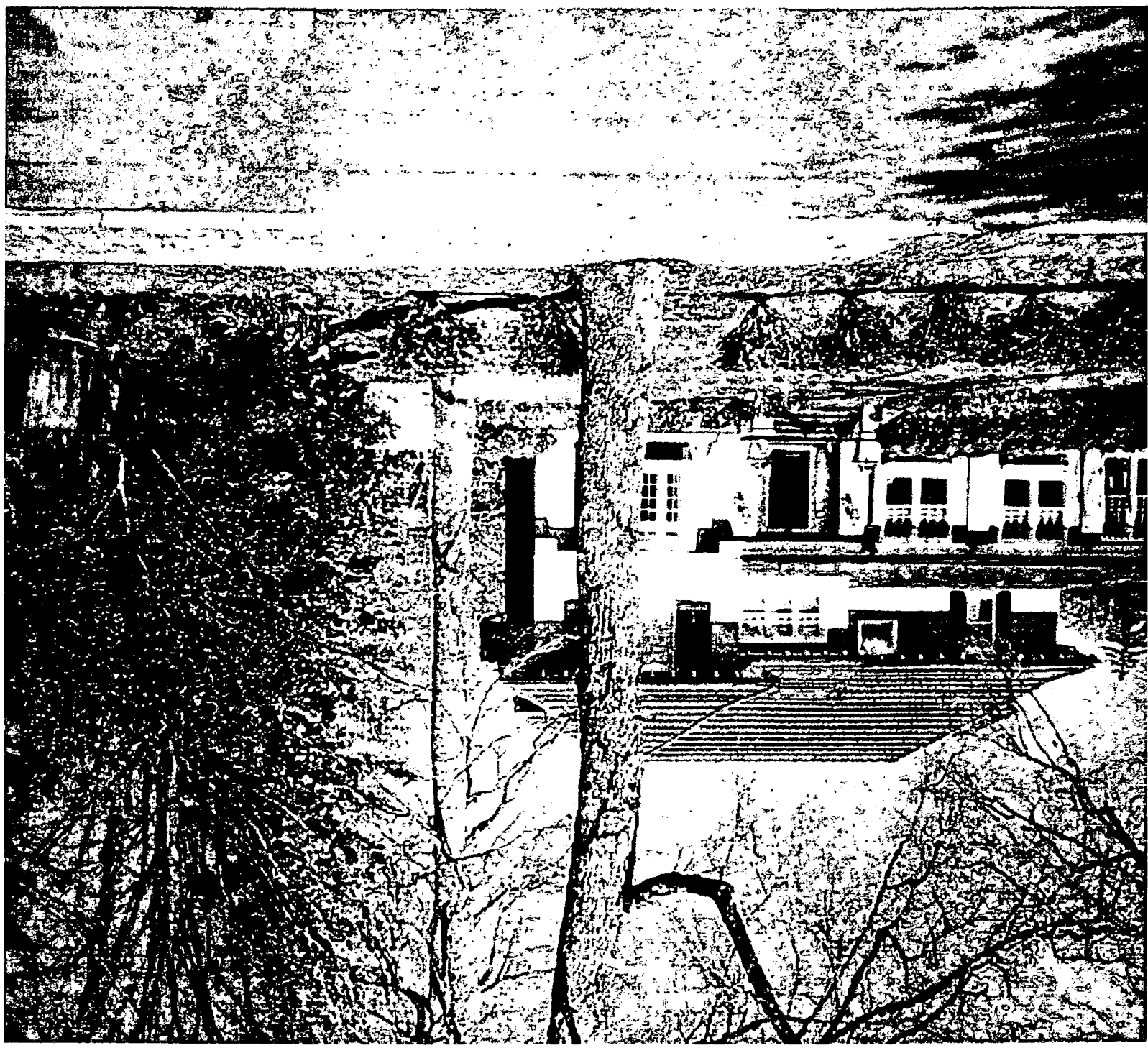
3 NEWLANDS STREET  
DUBLIN

VIEW TOWARDS WEST and SOUTH ELEVATION

(2)

SOUTH ELEVATION

3 NEWLANDS STREET  
CHEW CHASE, MD 20815



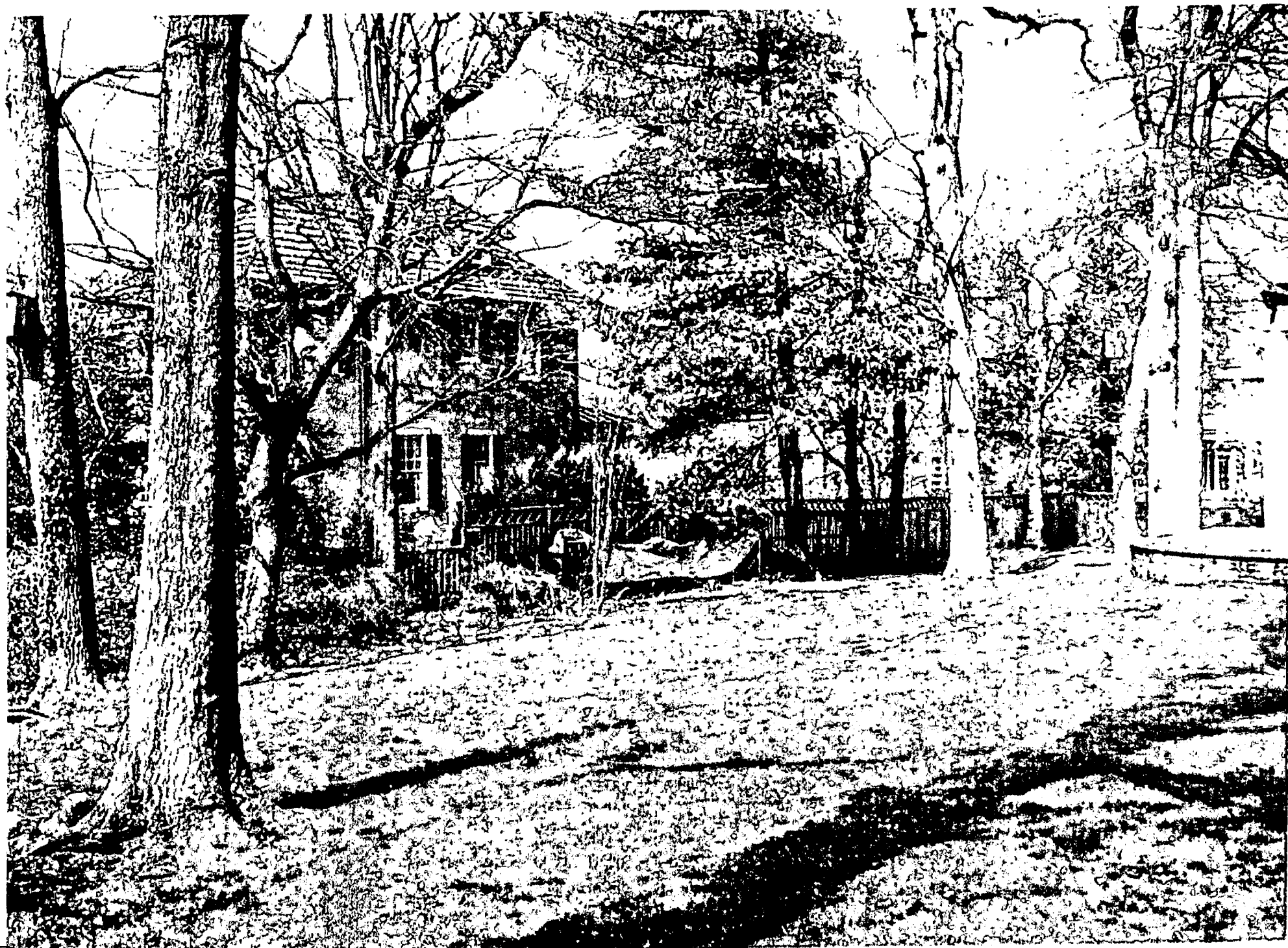


3 NEWLANDS STREET  
CHEVY CHASE, MD 20815

VIEW OF SIDE YARD FROM  
NEWLANDS STREET

(23)





NEW LANDS STREET

VIEW TOWARDS EAST ELEVATION



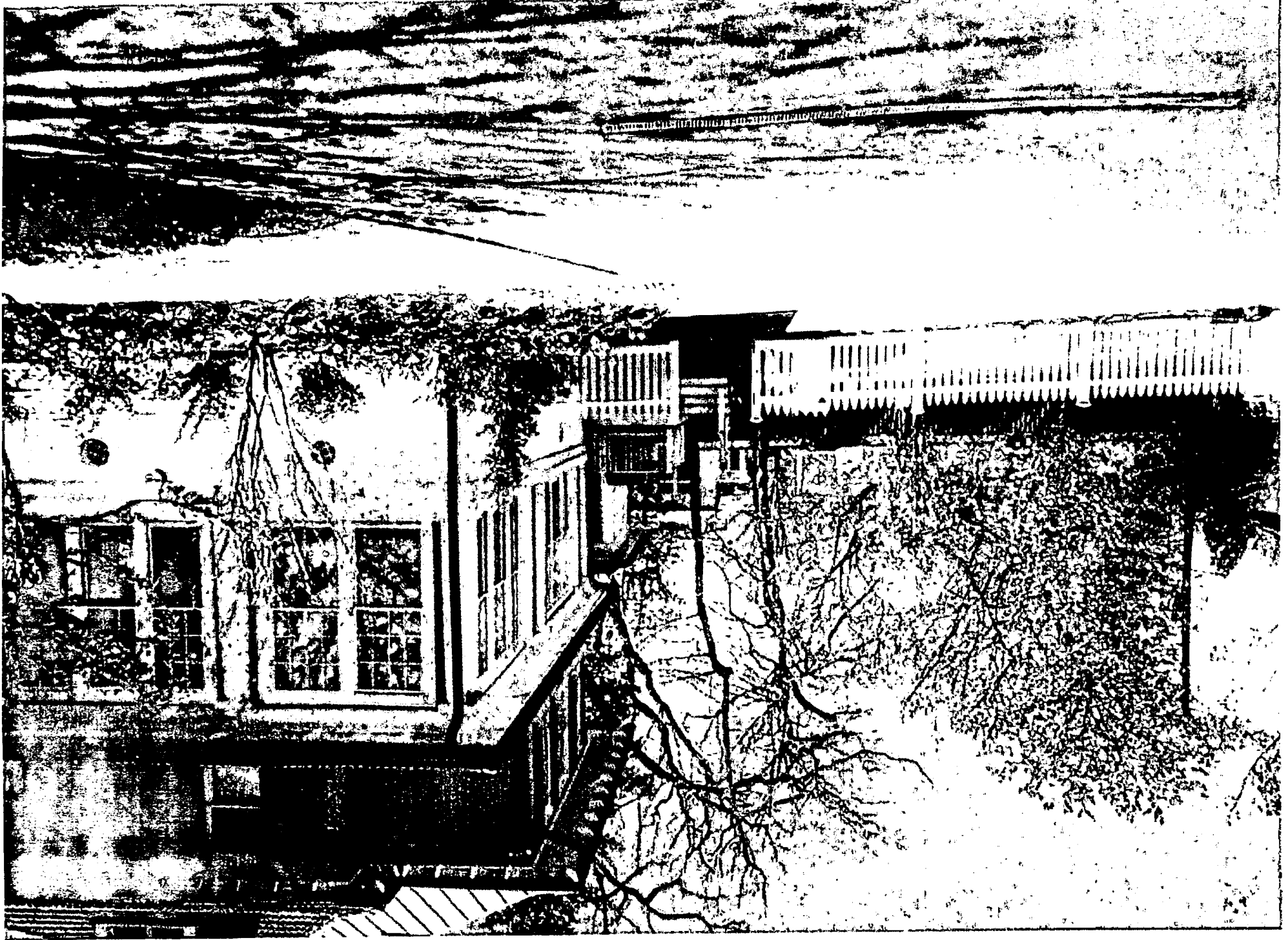
3 NEWLANDS STREET  
CHEW CHASE, MD 20815

EAST ELEVATION CLOSE-UP



PARTIAL WEST ELEVATION

3 NEWLANDS STREET



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b></p> <p>DANE BUTSWINKAS                  3 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>	<p><b>Owner's Agent's mailing address</b></p> <p>MARY BETH ELLIOTT, AIA                  MUSE ARCHITECTS, P.C.                  5030 CONNECTICUT AVE, N.W.                  WASHINGTON, DC. 20015</p>
--	---

**Adjacent and confronting Property Owners mailing addresses**

<p>ROBERT L. JONES                  1 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>	<p>RICHARD McMILLAN, JR.                  2 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>
<p>BYRON E. ANDERSON                  5 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>	<p>HARRIET KLOSSON                  4 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>
<p>JOHN C. MURPHY                  6 NEWLANDS STREET                  CHEVY CHASE, MD 20815</p>	<p>MARCUS MONTGOMERY                  2 OXFORD STREET                  CHEVY CHASE, MD. 20815</p>

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

SEE PREV. PG.  
FOR  
BUTSWINKAS

**Owner's Agent's mailing address**

SEE PREV. PG.  
FOR  
MUSE ARCHITECTS

**Adjacent and confronting Property Owners mailing addresses**

JAY MARTIN  
4-A OXFORD STREET  
CHEVY CHASE, MD 20815

PORTER K. WHEELER  
4 OXFORD STREET  
CHEVY CHASE, MD 20815