Summary of Case:

HAWP was approved at June 13, 2007. The decision letter has been transmitted. The drawings have not been stamped, the approval letter has not been created, and the HAWP has not been stamped.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett County Executive Jef Fuller Chairperson

Date: June 14, 2007

MEMORANDUM

TO:

J.W. Rayder

14 Oxford St, Chevy Chase

FROM:

Michele Oaks, Planner Coordinator

Historic Preservation Section

Maryland-National Capital Park & Planning Commission

SUBJECT:

Historic Area Work Permit Application #452448

The Historic Preservation Commission at its June 13, 2007 meeting <u>approved</u> your Historic Area Work Permit (HAWP) application for the <u>installation of a rear dormer</u>.

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in <u>any way</u> from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

14 Oxford Street, Chevy Chase

Chevy Chase Village Historic District

Meeting Date:

6/13/2007

Resource:

Contributing Resource

Report Date:

6/6/2007

Applicant:

J.W. Rayder

Public Notice:

5/30/2007

(Mike Sullivan, Architect)

Tax Credit:

N/A

Review:

HAWP 35/13-07W

Staff:

Michele Oaks

Case Number: PROPOSAL:

Dormer Replacement

STAFF RECOMMENDATION:

Staff is recommending that the Commission approve this Historic Area Work Permit application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:

Contributing Resource

STYLE:

Colonial Revival

DATE OF CONSTRUCTION:

1911

The original house is a three-bay, side-gable roof, frame dwelling. The asphalt roof contains a whitewashed, brick, interior-end chimney extending from the east elevation of the house. The windows are 6/6 double hung and are flanked by two, paneled louvered shutters. The front elevation is also ornamented with a flat roof entry portico detailed with a roof top balustrade and square columns. A two-story side extension protrudes from the east elevation of the house. The house has had some alterations to its original design including the construction of a rear addition.

The house is sited in the center of a 59' wide and 123'6" deep lot. An existing asphalt driveway runs along the east property line. A 19' wide x 18' deep garage is positioned at the rear southeast corner of the property. This building was originally a smaller, one car garage that has been significantly altered into its current form. The property contains several large, mature trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The project proposes to remove and replace an existing, shed dormer located on the rear roof slope of the house with three, new shed dormers. The new dormers will be clad in clapboard siding and sheathed in asphalt shingles. The dormers will also be detailed with new, four-light wood windows.

APPLICABLE GUIDELINES

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Chevy Chase Village Historic District Master Plan – Expansion, approved and adopted in August 1997, Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account.

Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

- The proposal will not substantially alter the exterior features of a historic site or historic resource within
 a historic district.
- The proposal is compatible in character and nature with the historical archaeological, architectural or
 cultural features of the historic site or the historic district in which a historic resource is located and
 would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject projects are all located on the rear roof slope - not visible from the public right-of-way. The removal and replacement of the dormers will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

STAFF RECOMMENDATION:

Staff recommends that the Commission approve with conditions the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the Chevy Chase Village Historic District Master Plan - Expansion, Adopted April 1998

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
2401777-6370

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

			Contact Person:	IKE SULL	VaV_
			Daytime Phone No.: 3	201-299-6	,500
Tax Account No.:			_	•	
Name of Property Owner: 1.00.	PAYDER		Daytime Phone Nd.:	301-299-4	,500
Address: 14 Ox Fo Q	.p. 9	T. Ch	EVY CHOSE	2	D815
Contractor: JeMorne	Day, N	ity	Phone No.:		Zip Coda
Contractor Registration No.: 15	280				
Agent for Owner: <u>JeMsens</u>	E 4 Day,	,NC	Daytime Phone No.:	301-299-	4500
LOCATION OF BUILDING/PREMISE				_	
House Number:				ST	
TOWN/City: Chevy CHOSE	Neare	st Cross Street:	CONHECTIC	UT AU	<u> </u>
Lot: Block:	Subdivision:				
Liber: Folio:	Parcel:				
PART ONE: TYPE OF PERMIT ACTION	I AND USE				
1A. CHECK ALL APPLICABLE:		CHECK ALL A	PLICABLE:		
☐ Construct ☐ Extend	Alter/Renovate	□ A/C □	Slab 🔲 Room Ad	Idition 🗆 Porch	□ Deck □ Shed
☐ Move ☐ Install ☐	Wreck/Raze	□ Solar □	Fireplace Woodbur	ning Stove	Single Family
☐ Revision ☐ Repair ☐	Revocable	☐ Fence/Wal	(complete Section 4)	Other: A	16 PREMER
1B. Construction cost estimate: \$	50,000				···
1C. If this is a revision of a previously appr	oved active permit, see Per	rmit #	40		
PART TWO: COMPLETE FOR NEW CO	INSTRUCTION AND EX	TEND/ADDITIO	VS		
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PART THREE: COMPLETE ONLY FOR		<u>T</u>			
3A. Height feet	_inches				
38. Indicate whether the fence or retaining	_		_		
On party line/property line	Entirely on land of	owner	On public right of w	ay/easement	
I hereby certify that I have the authority to approved by all agencies listed and University of Significant of Owner or		cation, that the ap, pt this to be a cor	olication is correct, and to dition for the issuance of	that the construction with this permit. 5 / 2 / 0 Da	ill comply with plans
				n Commission	
	Signature:			Date:	
Application/Permit No. 4524	48	Date File	d:	Date issued:	

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1.	WRITTEN	DESCRIPTION	OF PROJECT

1.	a. Description of existing structure(s) and environmental setting, including their historical features and significance:
	· REGIDENCE IN CHEUV CHOSE. ATTIC REHOUSTON TO INCLUDE HEW EXTENDED ROOF DORMERS AT PEOP ELEUSTION.
	b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district: A FICE PEROUNTION W FICH PROPERTY ONED ORDER OF PROPERTY ON FRONT RELEASTION.
2.	SITE PLAN - No REVISION TO EXISTING SITE DE BUI DING FOOTPENT. Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
	a. the scale, north arrow, and date; b. dimensions of all existing and proposed structures; and
	c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
3.	PLANS AND ELEVATIONS
	You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.
	 Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and othe fixed features of both the existing resource(s) and the proposed work.
	b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
4.	MATERIALS SPECIFICATIONS V
	General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on you design drawings.
5.	PHOTOGRAPHS V
	a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
	 b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed of the front of photographs.
6.	TREE SURVEY HA
	If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PROPERTY IN QUESTION:
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EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION



NEW EXTERIOR ELEVATIONS - BACK ELEVATION

MICHAEL GRAVES ARCHITECT P.C.

540 BROADWAY, SUITE 401 NEW YORK CITY NY 10012 [212] 941-5690

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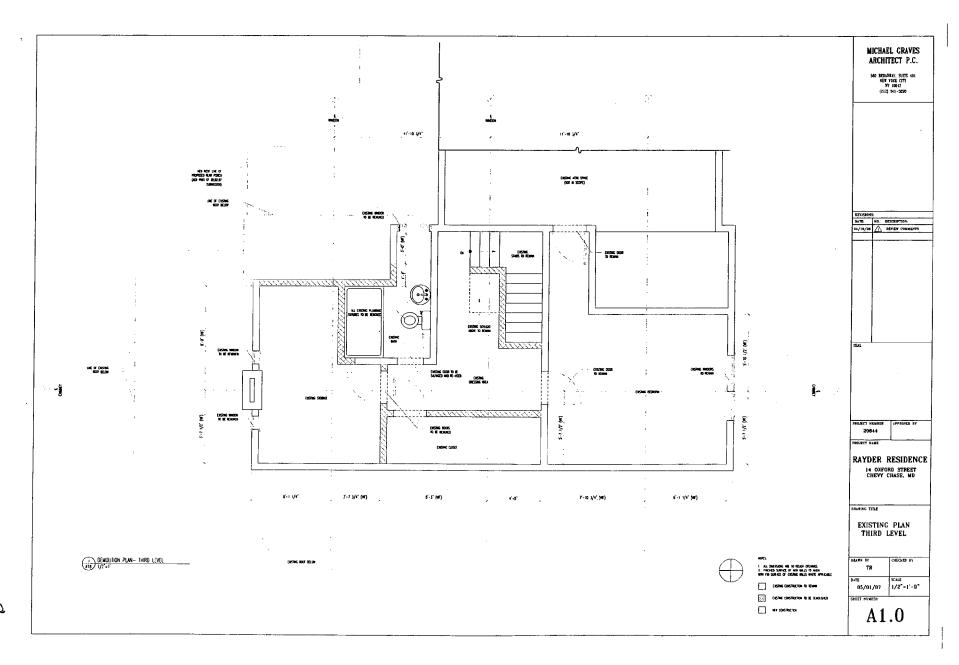
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DATE: NO. DESCRIPTION:

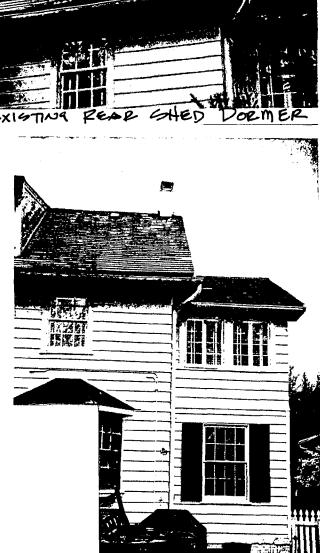
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ELEVATION

DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

The state of the state of the state of the	Contact Person: MIKE SU//VON (CELL)
and the second of the second o	Daytime Phone No.: 301-299-6500
Tax Account No.:	
Name of Property Owner: J.W. Pay DER	Daytime Phone Not.: 301-299-6500
Address: 14 Oxforp. ST.	Chevy CHOSE 20815
Street Number City	Staet Zip Code
Contractori - DENET DENET , , NC.	Phone No.: 30 - 299 - 6500
Contractor Registration No.: 1525	
Agent for Owner: CRINGRAFE 4 Jay, M	Daytime Phone No.: 30 -299-6500
LOCATION OF BUILDING/PREMISE	
House Number:	Street: ()XFORD ST
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Lot: Subdivision:	
Liber: Folio: Parcel:	
PART ONE: TYPE OF PERMIT ACTION AND USE	1- 4
	HECK ALL APPLICABLE:
	☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
1~	Solar Fireplace Woodburning Stove Single Family
	Fence/Wall (complete Section 4) Other: ATTL PRINER
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3A. Heightinches 3B. Indicate whether the fence or retaining wall is to be constructed on or On party line/property line Entirely on land of owner. I hereby certify that I have the authority to make the foregoing application, approved by all agencies listed and University acknowledge and accept this Signature of owner or authorized agent Approved:	that the application is correct, and that the construction will comply with plans to be a condition for the issuance of this permit. To To Date Da

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

WRITTEN	DESCRIPTION OF PROJECT

Rockville, (301/279-1355).

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street,



ETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd/FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: MIKE Sullive N
and the second s	Daytime Phone No.: 301-299-6500
Tax Account No.	
Name of Property Owner: J. W. Pay DER	Daytime Phone No.: 201-299-4-500
Address: 14 Dx fold D. OT.	CIFVY CHOCK ZDS/Z Steet Zip Code
Street Number City	
	Phone No.: 20 299-6500
Contractor Registration No.: 1526	7/200
Agent for Owner: CRIMERNEY AND	Daytime Phone No.: 201-299-6500
LOCATION OF BUILDING/PREMISE	The second secon
House Number: Str	eet- DKFORD STILL
Town/City: CHOCK Nearest Cross Str	eet: CONNECTICUT AUE.
Lot: Subdivision:	
Liber: Folio: Parcel:	en de la composition della com
PART ONE: TYPE OF PERMIT ACTION AND USE	
	ALL APPLICABLE:
☐ Construct ☐ Extend ☐ Alter/Renovate ☐ A/C	The state of the s
	ar 🗆 Fireplace 🚨 Woodburning Stove
	ice/Wall (complete Section 4) Other:
1B. Construction cost estimate: \$ 50,000	Solver (complete scenario)
IC. If this is a revision of a previously approved active permit, see Permit #	A CONTRACTOR OF THE PROPERTY O
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PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADI	
2A. Type of sewage disposal: 01 ₩SSC 02 □ Septic	03
2B. Type of water supply: 01 ₩ WSSC 02 □ Well	03
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	 In the Property of the State of the Artist of
3A. Heightinches	
3B. Indicate whether the fence or retaining wall is to be constructed on one of	the following locations:
☐ On party line/property line ☐ Entirely on land of owner	☐ On public right of way/easement
I hereby certify that I have the authority to make the foregoing application, that approved by all agencies listed and I hereby acknowledge and accept this to be	the application is correct, and that the construction will comply with plans e a condition for the issuance of this permit.
MA KILL	1 / 2 2000 20 30
	5/2/07
Signature of ewner or authorized agent	Date
Approved: For C	hairperson, Historic Preservation Commission
Disapproved: Signature:	Date:
The second of th	ate Filed: Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

14 Oxford Street, Chevy Chase

Meeting Date:

6/13/2007

Resource:

Contributing Resource

Report Date:

6/6/2007

Chevy Chase Village Historic District

Public Notice:

5/30/2007

Applicant:

J.W. Rayder

(Mike Sullivan, Architect)

Review:

HAWP

Tax Credit:

N/A

Case Number:

35/13-07W

Staff:

Michele Oaks

PROPOSAL:

Dormer Replacement

STAFF RECOMMENDATION:

Staff is recommending that the Commission approve this Historic Area Work Permit application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:

Contributing Resource

STYLE:

Colonial Revival

DATE OF CONSTRUCTION:

1911

The original house is a three-bay, side-gable roof, frame dwelling. The asphalt roof contains a whitewashed, brick, interior-end chimney extending from the east elevation of the house. The windows are 6/6 double hung and are flanked by two, paneled louvered shutters. The front elevation is also ornamented with a flat roof entry portico detailed with a roof top balustrade and square columns. A two-story side extension protrudes from the east elevation of the house. The house has had some alterations to its original design including the construction of a rear addition.

The house is sited in the center of a 59' wide and 123'6" deep lot. An existing asphalt driveway runs along the east property line. A 19' wide x 18' deep garage is positioned at the rear southeast corner of the property. This building was originally a smaller, one car garage that has been significantly altered into its current form. The property contains several large, mature trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The project proposes to remove and replace an existing, shed dormer located on the rear roof slope of the house with three, new shed dormers. The new dormers will be clad in clapboard siding and sheathed in asphalt shingles. The dormers will also be detailed with new, four-light wood windows.

APPLICABLE GUIDELINES

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Chevy Chase Village Historic District Master Plan – Expansion, approved and adopted in August 1997, Montgomery County Code Chapter 24A (Chapter 24A) and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

"Lenient Scrutiny" means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

"Moderate Scrutiny" involves a higher standard of review than "lenient scrutiny." Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account.

Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure's existing design, but should not be required to replicate its architectural style.

"Strict Scrutiny" means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The Guidelines that pertain to this project are as follows:

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

- 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
- The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject projects are all located on the rear roof slope - not visible from the public right-of-way. The removal and replacement of the dormers will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

STAFF RECOMMENDATION:

Staff recommends that the Commission approve with conditions the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the Chevy Chase Village Historic District Master Plan - Expansion, Adopted April 1998

and with the Secretary of the Interior's Standards for Rehabilitation;

and with the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850 240/777-6370

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

				, Contact Person:	MIKE	SullivaN
				Daytime Phone N	0: 30/-29	9-6500
Tax Account No.:						
Name of Property Own	ner: J. C.	PAYDER		Daytime Phone No	1: 301-29	9-6500
Address:		FORD.	ST. (hevy CH	>5E	20815
Contractor:	Street Number	E TDay	INC:	•		79-6500
Contractor Registratio	1	5280				
Agent for Owner:	JeMos	LAE 4 Da	7,120	Daytime Phone N	0: 301-2	99-6500
LOCATION OF BUIL	DING/PREMI	SE	7			
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	•	Subdivision:			11001	<i>p. 02</i> :
	Folio:	Parcel				
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☐ Move	☐ Instali	☐ Wreck/Raze		☐ Fireplace ☐ Wo		1
☐ Revision	☐ Repair	☐ Revocable		Wall (complete Section	4) 🧏 Other:	ATTIC PRIMER
1B. Construction cos	t estimate: \$	50,000		7/-		
1C. If this is a revision	on of a previous!	y approved active permit, s	ee Permit #	NO		
PARTTWO: COM	PLETE FOR NO	W CONSTRUCTION A	ID EXTEND/ADDI	rions		
2A. Type of sewage	e disposal:	01 Wssc	02 🗀 Septic	03 🗔 Other:		
2B. Type of water s	upply:	01 WSSC	02 🗀 Well	03 🗍 Other:		
PART THREE: CON	MDI ETE ONI V	FOR FENCE/RETAINING	C VAVALL			
3A. Height	feet	inches) WALL			
		retaining wall is to be cons	tructed on one of the	following locations:		
On party line		☐ Entirely on is			t of way/easement	
Ст он разгуние	e/property inte	in the training of the	ing or owner	on padic right	t or way/sasement	
I hereby certify that I approved by all agen	icies listed and	ority to make the foregoing I hereby acknowledge and the foregoing acknowledge and mer or authorized agent	application, that the f accept this to be a	application is correct, condition for the issua	and that the constr rice of this permit.	ouction will comply with plans
Approved:			For Cha	rperson, Historic Preser	rvation Commission	
	UE	2446				

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1	WRITTEN	DESCRIPTION	OF PROJECT

	Description of existing structure(s) and environmental setting, including their historical features and significance:
	· REGIVENCE IN CHEUN (HASE. ATTIC REHOUNTION) TO INCLUDE HEW EXTENDED POOF DORMERS AT PEDR ELEUDTION.
	o. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
	LOEMER AT FRAR ELEVATION.
2.	SITE PLAN - No REJISION TO EXISTING SITE DE BUILDING FOOTPEINT. Site and environmental setting, drawn to scala. You may use your plat. Your site plan must include:
	a. the scale, north arrow, and date;
	b. dimensions of all existing and proposed structures; and
	c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
3.	PLANS AND ELEVATIONS
	You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred,
	a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
	b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
4.	MATERIALS SPECIFICATIONS
	General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on yo

- design drawings.

 5. <u>PHOTOGRAPHS</u>
 - a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
 - Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.
- 6. TREE SURVEY HA

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

PROPERTY IN QUESTION:

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33 OXFORD ST.
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111. 20815

C.C. MD. 20815



EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION



NEW EXTERIOR ELEVATIONS - BACK ELEVATION

MICHAEL GRAVES ARCHITECT P.C.

560 BRULDAY), STITE (6) MEN YORA CITY MY 10012 [212] M11-5860

REVISIONS.

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PROJECT NUMBER APPROVED BY

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, ND

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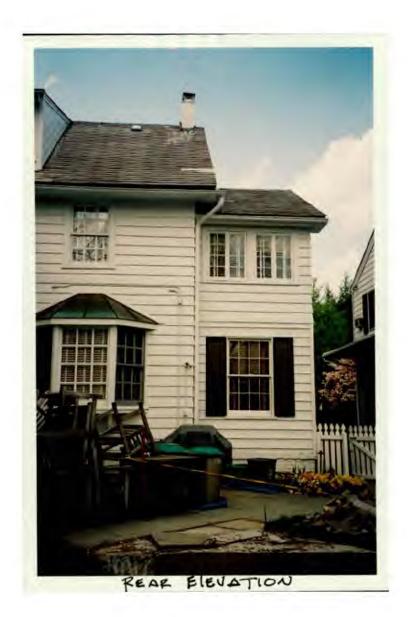






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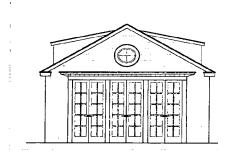








MICHAELGRAVESARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET CHEVY CHASE, MARYLAND.

PRESENTATION SET

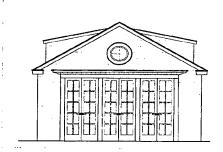
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(*) PADICATES NOT INCLUDED IN SET WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT * 560 BROADWAY, SUITE 401 NEW YORK, NY. 10012

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET CHEVY CHASE, MARYLAND.

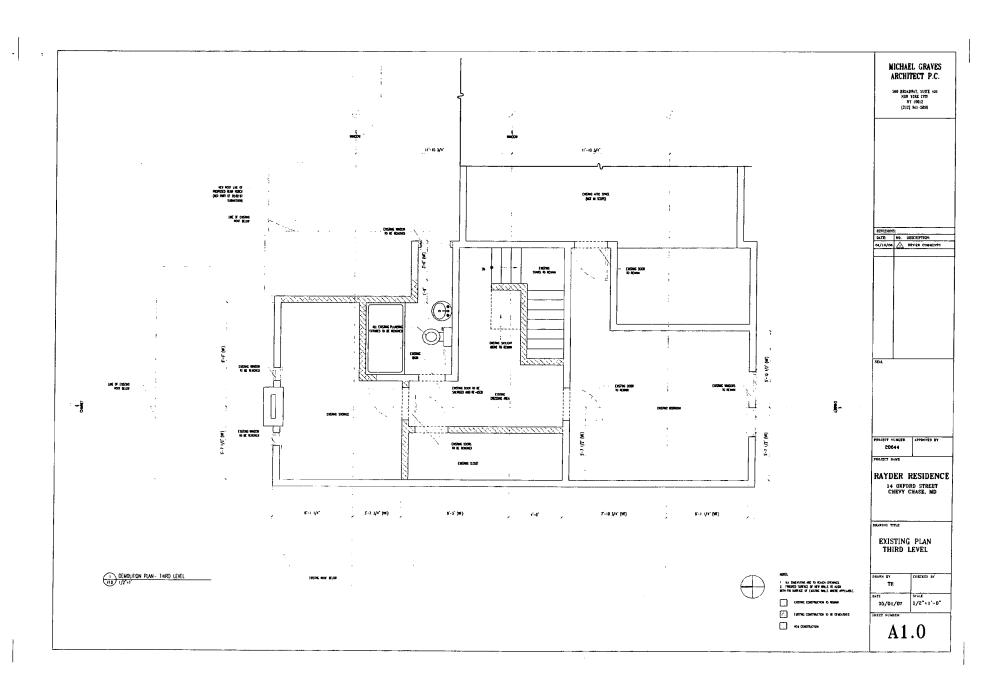
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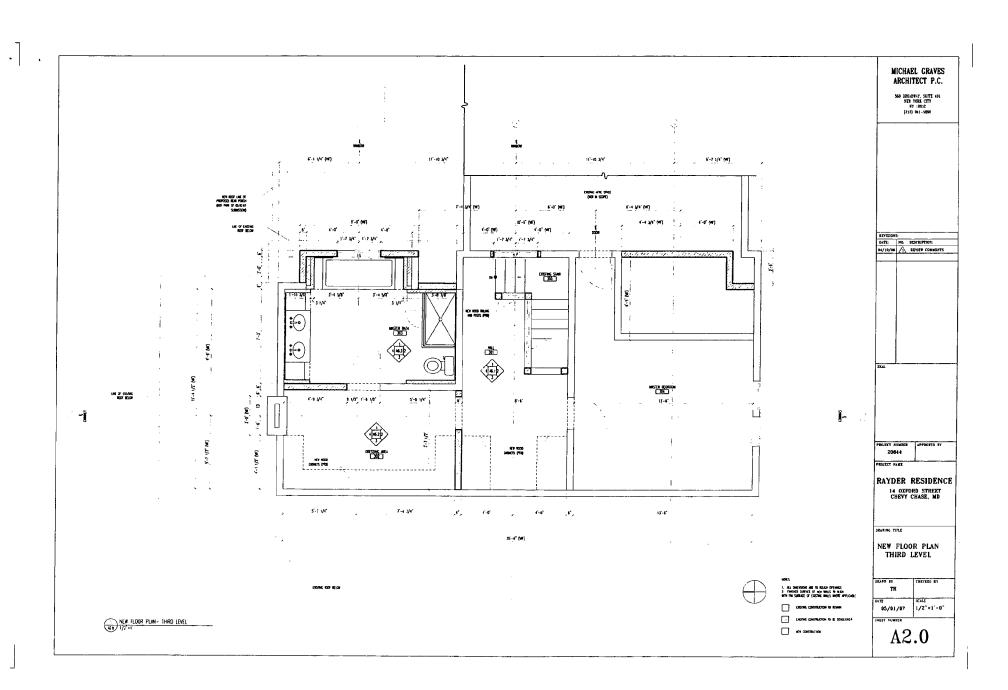
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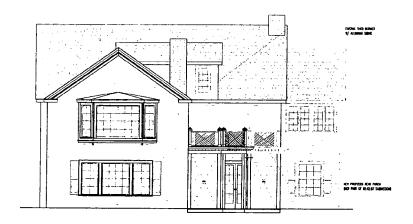
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MICHAEL GRAVES ARCHITECT 560 BROADWAY, SUITE 401 NEW YORK, NY, 10012







EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION



NEW EXTERIOR ELEVATIONS - BACK ELEVATION

MICHAEL GRAVES ARCHITECT P.C.

960 BROADRAY, SUITE MET YORK CITY NY 10012 (212) 941-5890

REVISIONS:
DATE: HO DESCRIPTION:
04/10/06 A REVIEW COMMENTS

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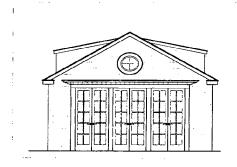
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MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET CHEVY CHASE, MARYLAND.

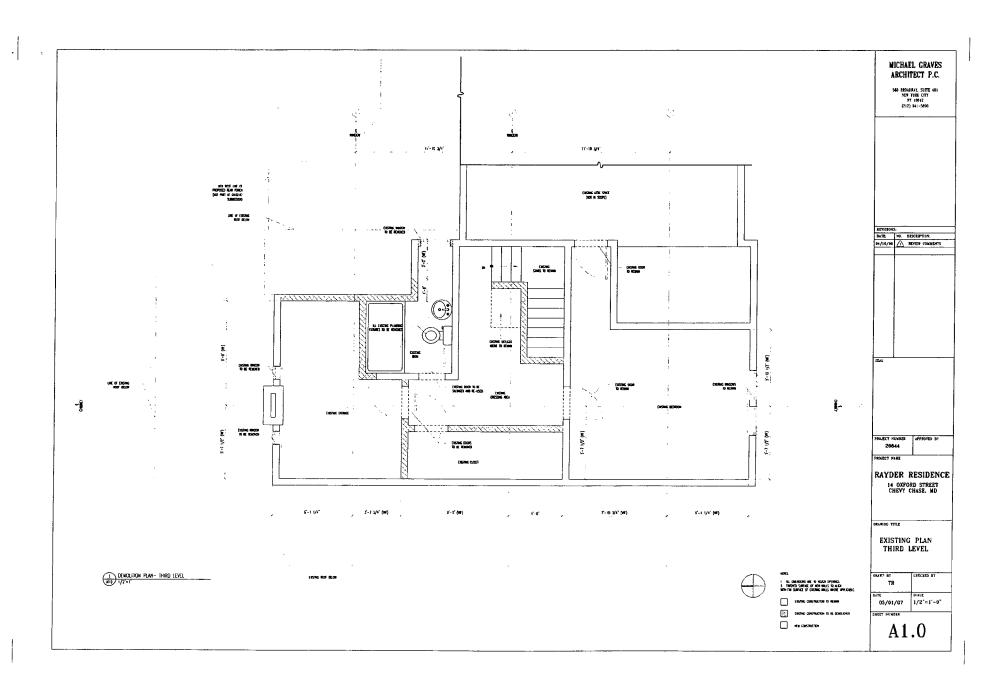
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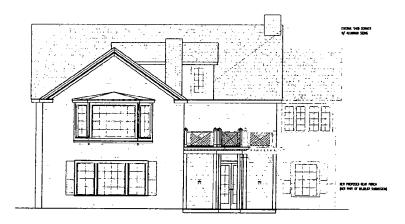
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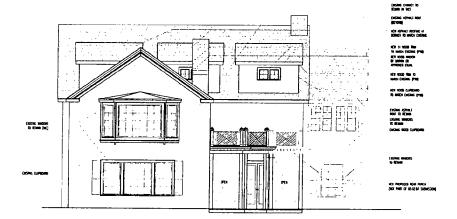
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EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION



NEW EXTERIOR ELEVATIONS - BACK ELEVATION

MICHAEL GRAVES ARCHITECT P.C.

540 BROADWAY, SUITE 401 MEW YORK CITY NY 10012 (212) 941-3890

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RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MD

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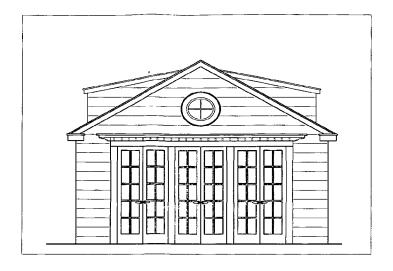
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BEET NUMBER

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MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET CHEVY CHASE, MARYLAND.

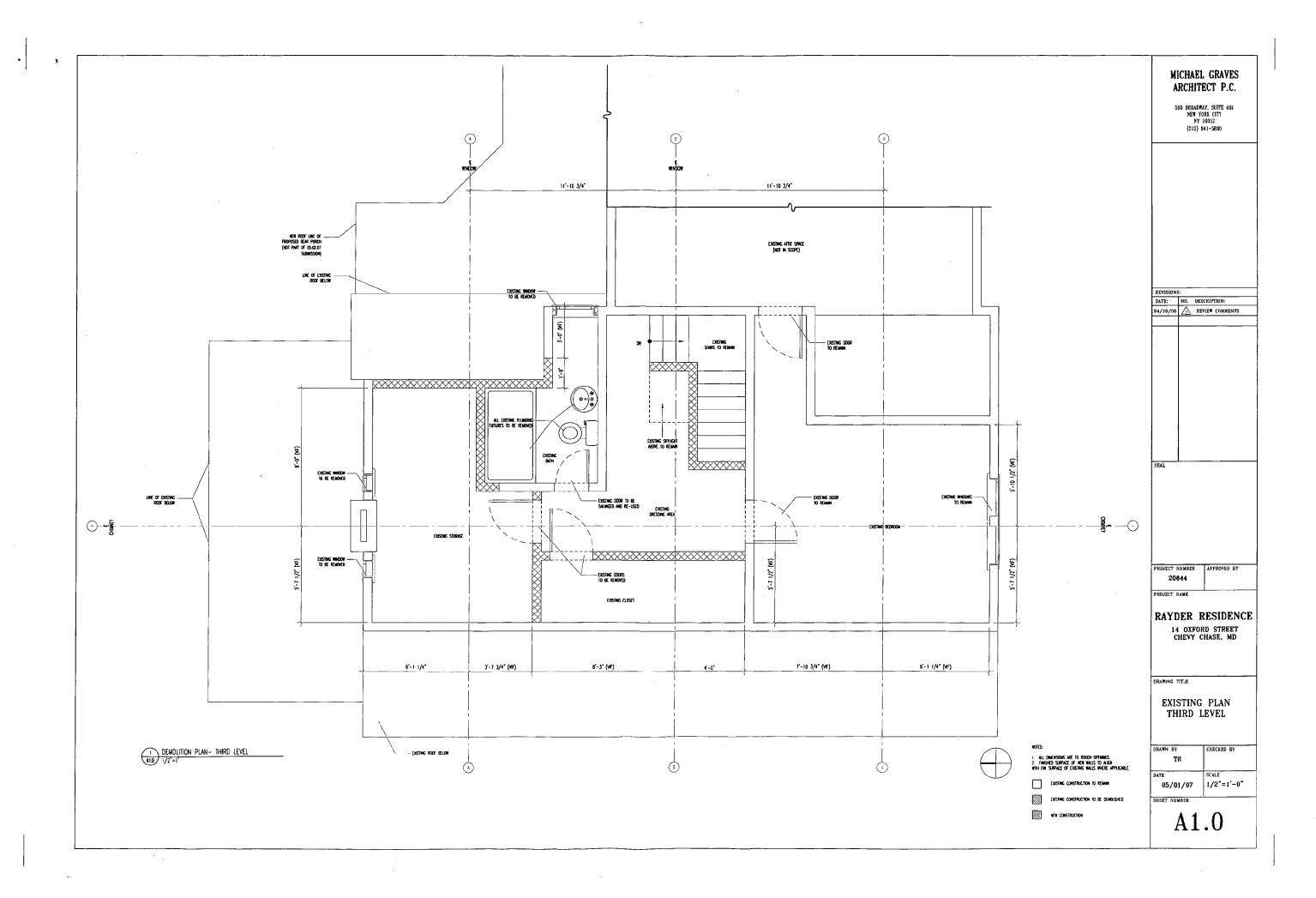
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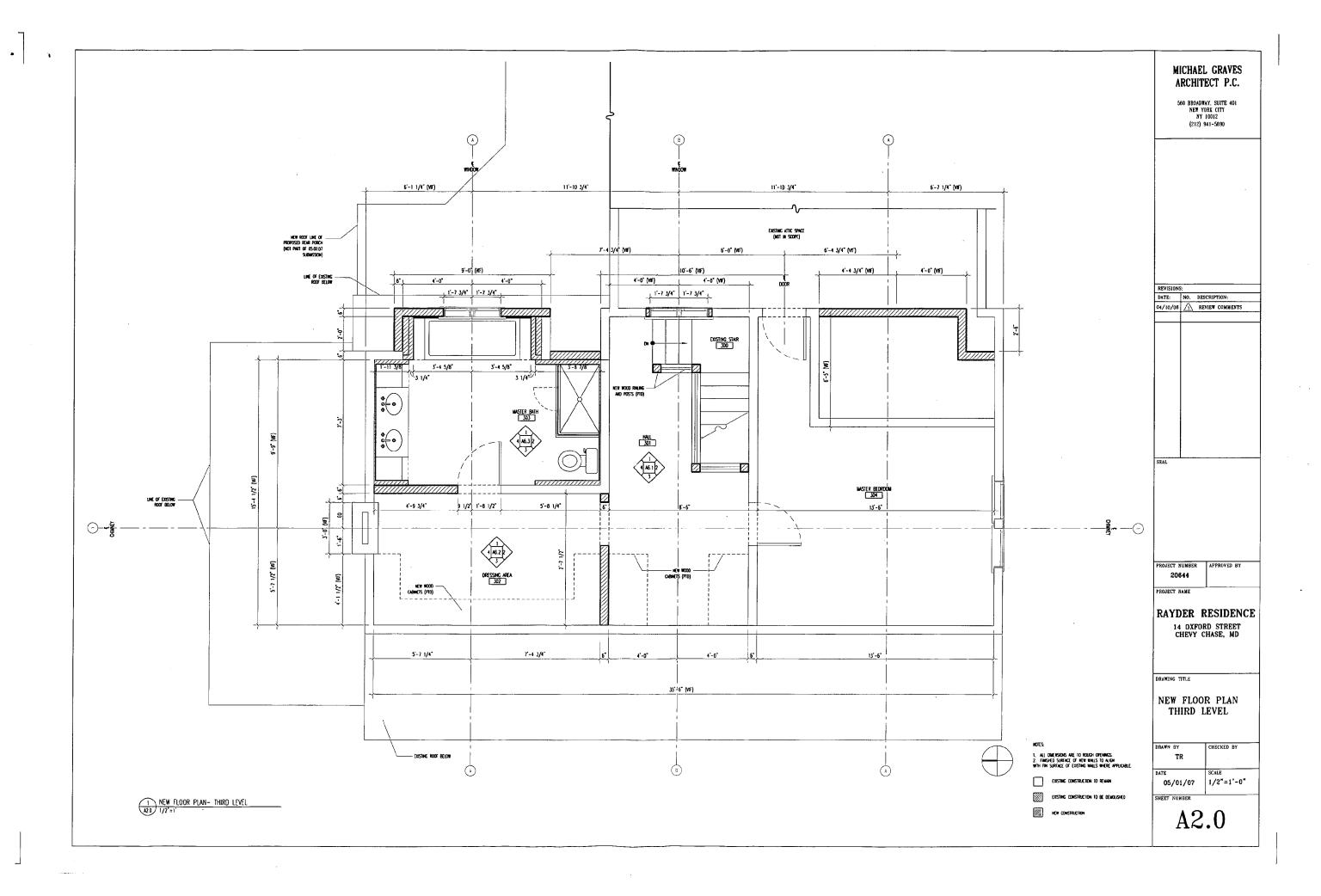
MAY 2007

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(*) INDICATES NOT INCLUDED IN SET WOOD FRAME CONSTRUCTION

MICHAELGRAVESARCHITECT 560 BROADWAY, SUITE 401 NEW YORK, NY. 10012







EXISTING EXTERIOR ELEVATIONS— BACK ELEVATION 1/4"=1"



NEW EXTERIOR ELEVATIONS - BACK ELEVATION

1/4"=1"

MICHAEL GRAVES ARCHITECT P.C.

560 BROADWAY, SUITE 401 NEW YORK CITY NY 10012 (212) 941-589D

REVISIONS:

DATE: NO. DESCRIPTION:

04/10/06 A REVIEW COMMENTS

PROJECT NUMBER APPROVED 1

PROJECT NAME

RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE

EXISTING EXTERIOR ELEVATIONS

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