


35/3-87W 14 OXFORD ST.



Summary of Case:

HAWP was approved at June 13, 2007. The decision letter has been transmitted. The drawings have not been stamped, the approval letter has not been created, and the HAWP has not been stamped.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: June 14, 2007

MEMORANDUM

TO: J.W. Rayder
14 Oxford St, Chevy Chase

FROM: Michele Oaks, Planner Coordinator
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #452448

The Historic Preservation Commission at its June 13, 2007 meeting **approved** your Historic Area Work Permit (HAWP) application for the installation of a rear dormer.

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	14 Oxford Street, Chevy Chase	Meeting Date:	6/13/2007
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/6/2007
Applicant:	J.W. Rayder (Mike Sullivan, Architect)	Public Notice:	5/30/2007
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-07W	Staff:	Michele Oaks
PROPOSAL:	Dormer Replacement		

STAFF RECOMMENDATION:

Staff is recommending that the Commission approve this Historic Area Work Permit application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Contributing Resource
STYLE:	Colonial Revival
DATE OF CONSTRUCTION:	1911

The original house is a three-bay, side-gable roof, frame dwelling. The asphalt roof contains a whitewashed, brick, interior-end chimney extending from the east elevation of the house. The windows are 6/6 double hung and are flanked by two, paneled louvered shutters. The front elevation is also ornamented with a flat roof entry portico detailed with a roof top balustrade and square columns. A two-story side extension protrudes from the east elevation of the house. The house has had some alterations to its original design including the construction of a rear addition.

The house is sited in the center of a 59' wide and 123'6" deep lot. An existing asphalt driveway runs along the east property line. A 19' wide x 18' deep garage is positioned at the rear southeast corner of the property. This building was originally a smaller, one car garage that has been significantly altered into its current form. The property contains several large, mature trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The project proposes to remove and replace an existing, shed dormer located on the rear roof slope of the house with three, new shed dormers. The new dormers will be clad in clapboard siding and sheathed in asphalt shingles. The dormers will also be detailed with new, four-light wood windows.

APPLICABLE GUIDELINES

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject projects are all located on the rear roof slope - not visible from the public right-of-way. The removal and replacement of the dormers will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Chevy Chase Village Historic District Master Plan – Expansion, Adopted April 1998*

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MIKE SULLIVAN
Daytime Phone No.: 301-299-6500

Tax Account No.: _____
Name of Property Owner: J.W. RAYDER Daytime Phone No.: 301-299-6500
Address: 14 OXFORD ST. CHEVY CHASE 20815
Street Number City State Zip Code
Contractor: DEMORENE & DAY, INC. Phone No.: 301-299-6500
Contractor Registration No.: 15280
Agent for Owner: DEMORENE & DAY, INC. Daytime Phone No.: 301-299-6500

LOCATION OF BUILDING/PREMISE

House Number: 14 Street: OXFORD ST.
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE.
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Attic Dormer
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 5/2/07
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 452448 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

• RESIDENCE IN CHEVY CHASE. ATTIC RENOVATION TO INCLUDE NEW/EXTENDED ROOF DORMERS AT REAR ELEVATION.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

• ATTIC RENOVATION w/ NEW/EXTENDED SHED DORMER AT REAR ELEVATION.
• NOT SEEN FROM FRONT ELEVATION.

2. **SITE PLAN** - NO REVISION TO EXISTING SITE OR BUILDING FOOTPRINT.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** ✓

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** ✓

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** ✓

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

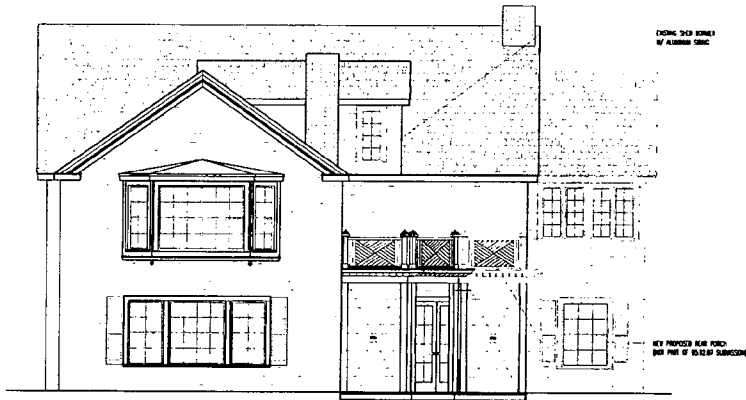
PROPERTY IN QUESTION : 14 OXFORD ST.
(RAYDER RESIDENCE) CHEVY CHASE, MD. 20815

PROPERTY DIRECTLY TO REAR: 15 NEWLANDS ST.
C.C., MD. 20815

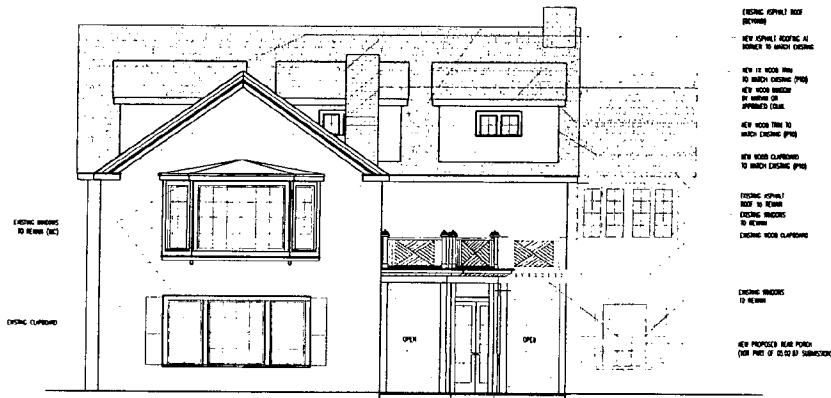
PROPERTY TO LEFT: 16 OXFORD ST.
C.C., MD. 20815

PROPERTY TO RIGHT: 12 OXFORD ST.
C.C. MD. 20815

2 PROPERTIES ACROSS STREET:
33 OXFORD ST.
35 OXFORD ST.
C.C. MD. 20815



1 EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION
A30 / 1/4"=1'



2 NEW EXTERIOR ELEVATIONS - BACK ELEVATION
A30 / 1/4"=1'

**MICHAEL GRAVES
ARCHITECT P.C.**

548 BROOKLYN, SUITE 401
NEW YORK, CITY
NY 10012
(212) 941-5890

DATE:	NO.	DESCRIPTION:
04/19/08	1	REVIEW COMMENTS

SEAL

PROJECT NUMBER: 20044 APPROVED BY:

PROJECT NAME:
RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE:
**EXISTING EXTERIOR
ELEVATIONS**

DRAWN BY: TR CHECKED BY:
DATE: 05/01/07 SCALE: 1/4"=1'-0"

SHEET NUMBER:
A3.0

4

**MICHAEL GRAVES
ARCHITECT P.C.**

540 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 904-5000

REVISIONS	NO.	DESCRIPTION
04/18/07	1	REVIEW COMMENTS

SCALE

PROJECT NUMBER
20044

PROJECT NAME

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE
**NEW FLOOR PLAN
THIRD LEVEL**

DRAWN BY
TR

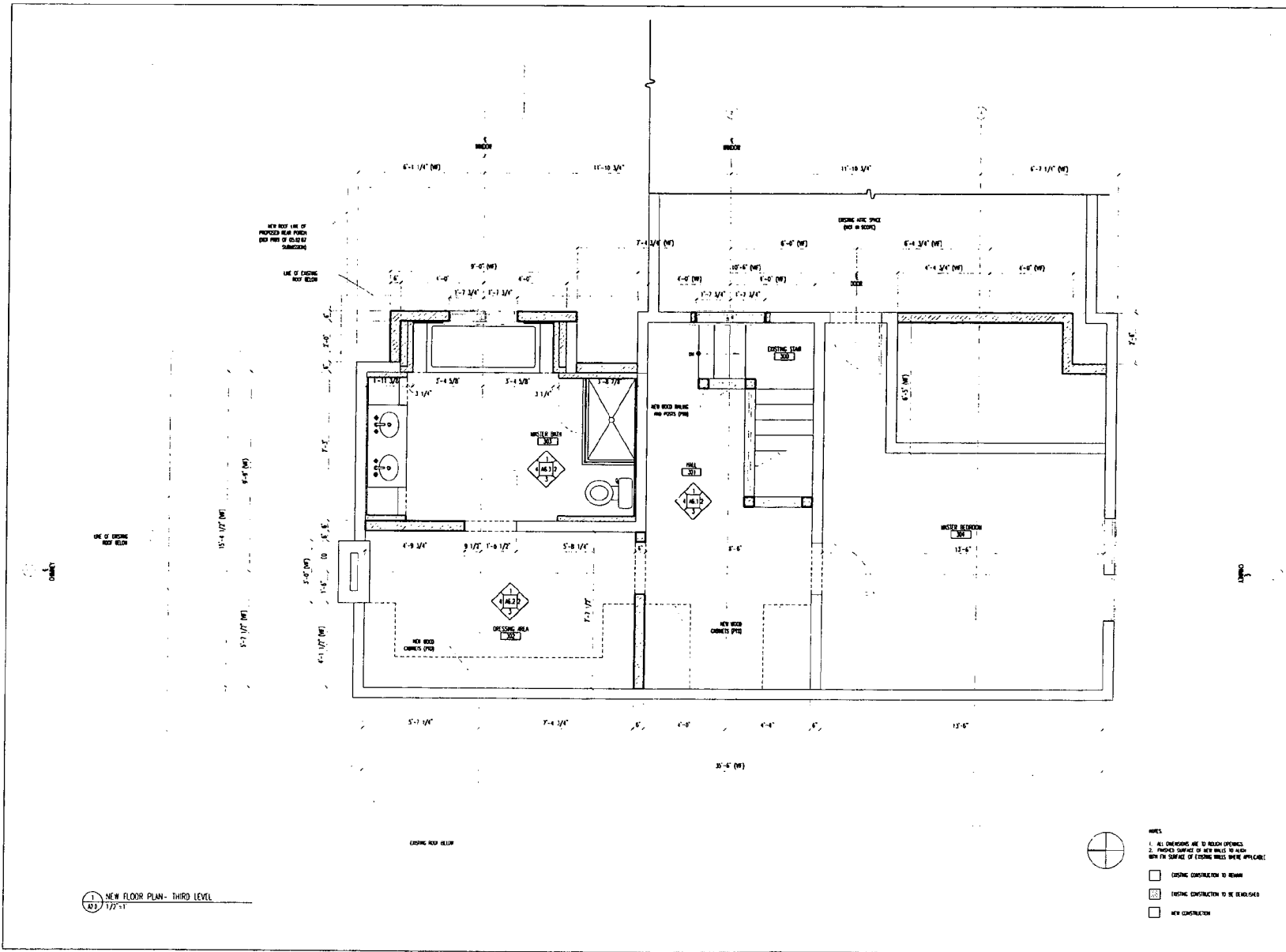
CHECKED BY

DATE
05/01/07

SCALE
1/2" = 1'-0"

SHEET NUMBER

A2.0



1 NEW FLOOR PLAN - THIRD LEVEL
03 1/2-11

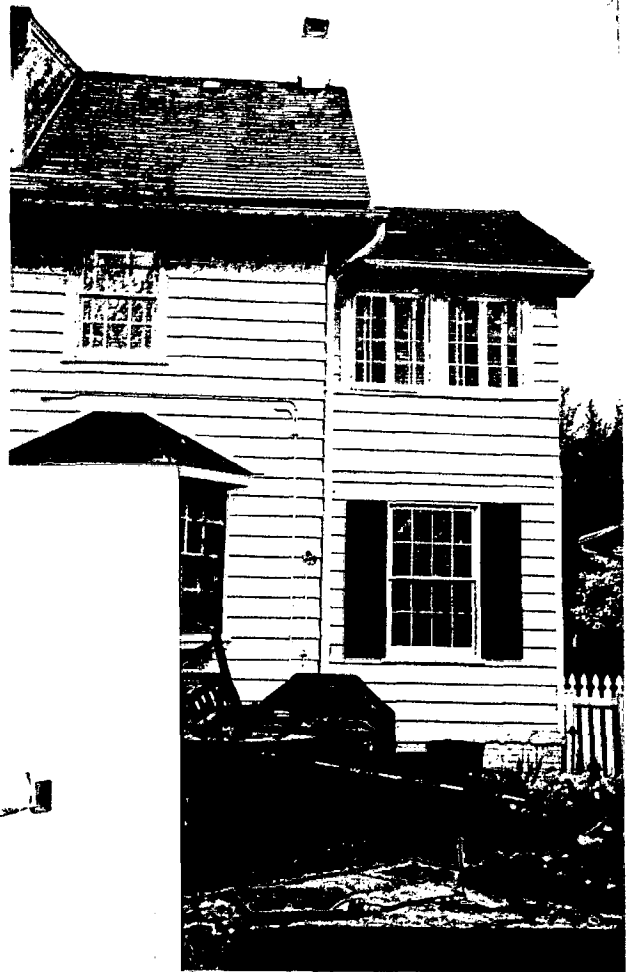
6



REAR ELEVATION



EXISTING REAR SHED DORMER



REAR ELEVATION





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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301/563-3400

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Contractor Registration No.: 15280

Agent for Owner: DEMORNEY & DAY, INC. Daytime Phone No.: 301-299-6500

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Lot: _____ Block: _____ Subdivision: _____
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1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # NO

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[Signature]
Signature of owner or authorized agent

5/2/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 452448 Date Filed: _____ Date Issued: _____

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

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301/563-3400

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Daytime Phone No.: 301-299-6500

Tax Account No.: _____

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Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: ATTIC DOWNER

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # NO

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[Signature]
Signature of owner or authorized agent

5/2/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 452448 Date Filed: _____ Date Issued: _____

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Address:	14 Oxford Street, Chevy Chase	Meeting Date:	6/13/2007
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/6/2007
Applicant:	J.W. Rayder (Mike Sullivan, Architect)	Public Notice:	5/30/2007
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-07W	Staff:	Michele Oaks
PROPOSAL:	Dormer Replacement		

STAFF RECOMMENDATION:

Staff is recommending that the Commission approve this Historic Area Work Permit application.

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SIGNIFICANCE:	Contributing Resource
STYLE:	Colonial Revival
DATE OF CONSTRUCTION:	1911

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“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject projects are all located on the rear roof slope - not visible from the public right-of-way. The removal and replacement of the dormers will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Chevy Chase Village Historic District Master Plan – Expansion, Adopted April 1998*

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MIKE SULLIVAN
Daytime Phone No.: 301-299-6500

Tax Account No.: _____
Name of Property Owner: J.W. RAUDER Daytime Phone No.: 301-299-6500
Address: 14 OXFORD ST. CHEVY CHOSE 20815
Street Number City Street Zip Code
Contractor: DeMORNE & Day, INC. Phone No.: 301-299-6500
Contractor Registration No.: 15280
Agent for Owner: DeMORNE & Day, INC. Daytime Phone No.: 301-299-6500

LOCATION OF BUILDING/PREMISE

House Number: 14 Street: OXFORD ST.
Town/City: CHEVY CHOSE Nearest Cross Street: CONNECTICUT AVE.
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: ATTIC ROOMER
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent
5/2/07 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 452448 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

• RESIDENCE IN CHEVY CHASE. ATTIC RENOVATION TO INCLUDE NEW/EXTENDED ROOF DORMERS AT REAR ELEVATION.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

• ATTIC RENOVATION w/ NEW/EXTENDED SHED DORMER AT REAR ELEVATION.
• NOT SEEN FROM FRONT ELEVATION.

2. **SITE PLAN** - NO REVISION TO EXISTING SITE OR BUILDING FOOTPRINT.

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** ✓

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** ✓

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** ✓

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

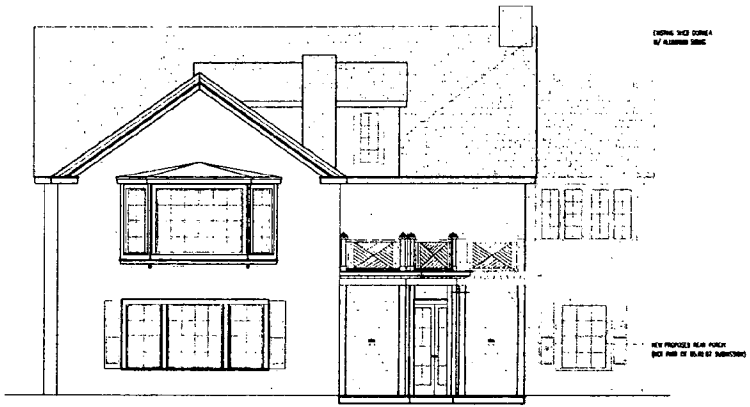
PROPERTY IN QUESTION : 14 OXFORD ST.
(RAyder RESIDENCE) CHEVY CHASE, MD. 20815

PROPERTY DIRECTLY TO REAR: 15 NEWLANDS ST.
C.C., MD. 20815

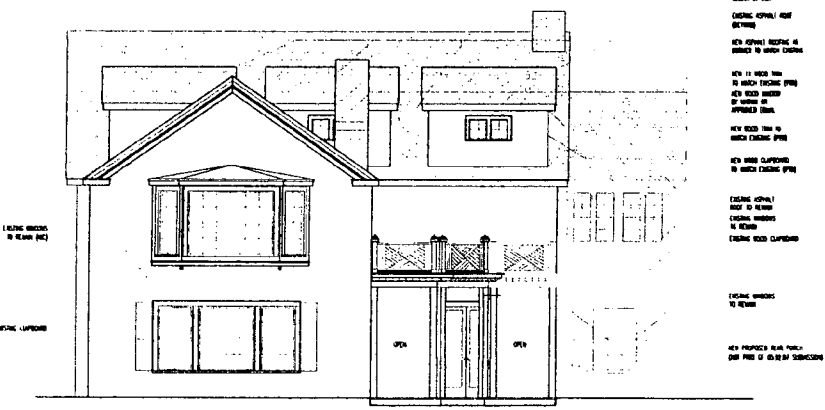
PROPERTY TO LEFT: 16 OXFORD ST.
C.C., MD. 20815

PROPERTY TO RIGHT: 12 OXFORD ST.
C.C. MD. 20815

2 PROPERTIES ACROSS STREET:
33 OXFORD ST.
35 OXFORD ST.
C.C. MD. 20815



1 EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION
 1/8" = 1'-0"



2 NEW EXTERIOR ELEVATIONS - BACK ELEVATION
 1/8" = 1'-0"

**MICHAEL GRAVES
 ARCHITECT P.C.**
 568 BROADWAY, SUITE 601
 NEW YORK, CITY
 NY 10012
 (212) 641-5800

DATE	NO.	DESCRIPTION
02/18/08	1	REVISED COMMENTS

PROJECT NUMBER 20044	APPROVED BY
-------------------------	-------------

PROJECT NAME
RAYDER RESIDENCE
 14 OXFORD STREET
 CHEVY CHASE, MD

DRAWING TITLE
**EXISTING EXTERIOR
 ELEVATIONS**

DRAWN BY TR	CHECKED BY
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DATE 05/01/07	SCALE 1/4" = 1'-0"
------------------	-----------------------

SHEET NUMBER
A3.0

4

**MICHAEL GRAVES
ARCHITECT P.C.**

340 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 944-3400

DATE	BY	DESCRIPTION
04/15/08		REVIEW COMMENT

PROJECT NUMBER	APPROVED BY
20644	

PROJECT NAME

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

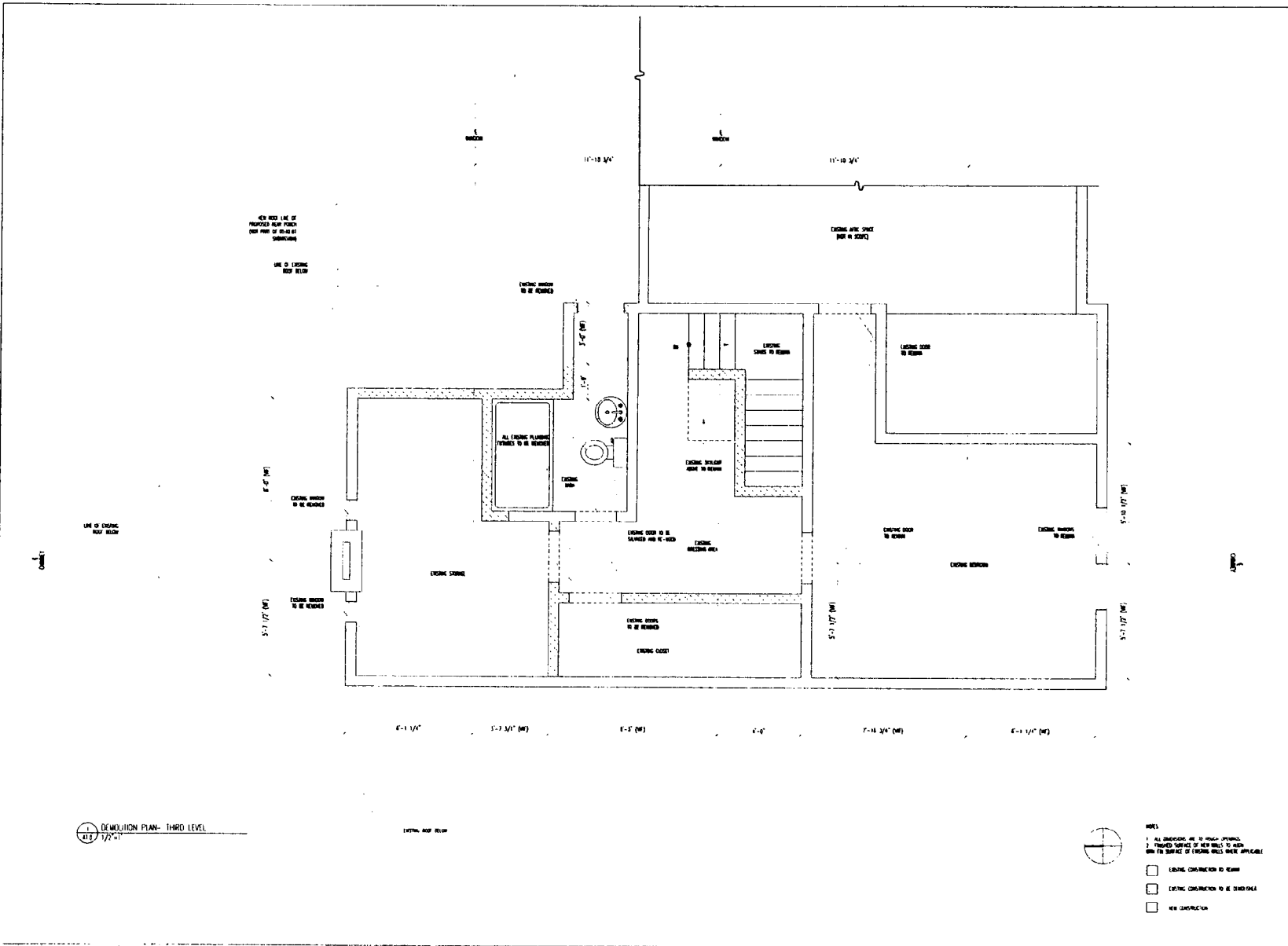
DRAWING TITLE
**EXISTING PLAN
THIRD LEVEL**

DESIGNED BY	CHECKED BY
TR	

DATE	SCALE
05/01/07	1/2" = 1'-0"

SHEET NUMBER

A1.0



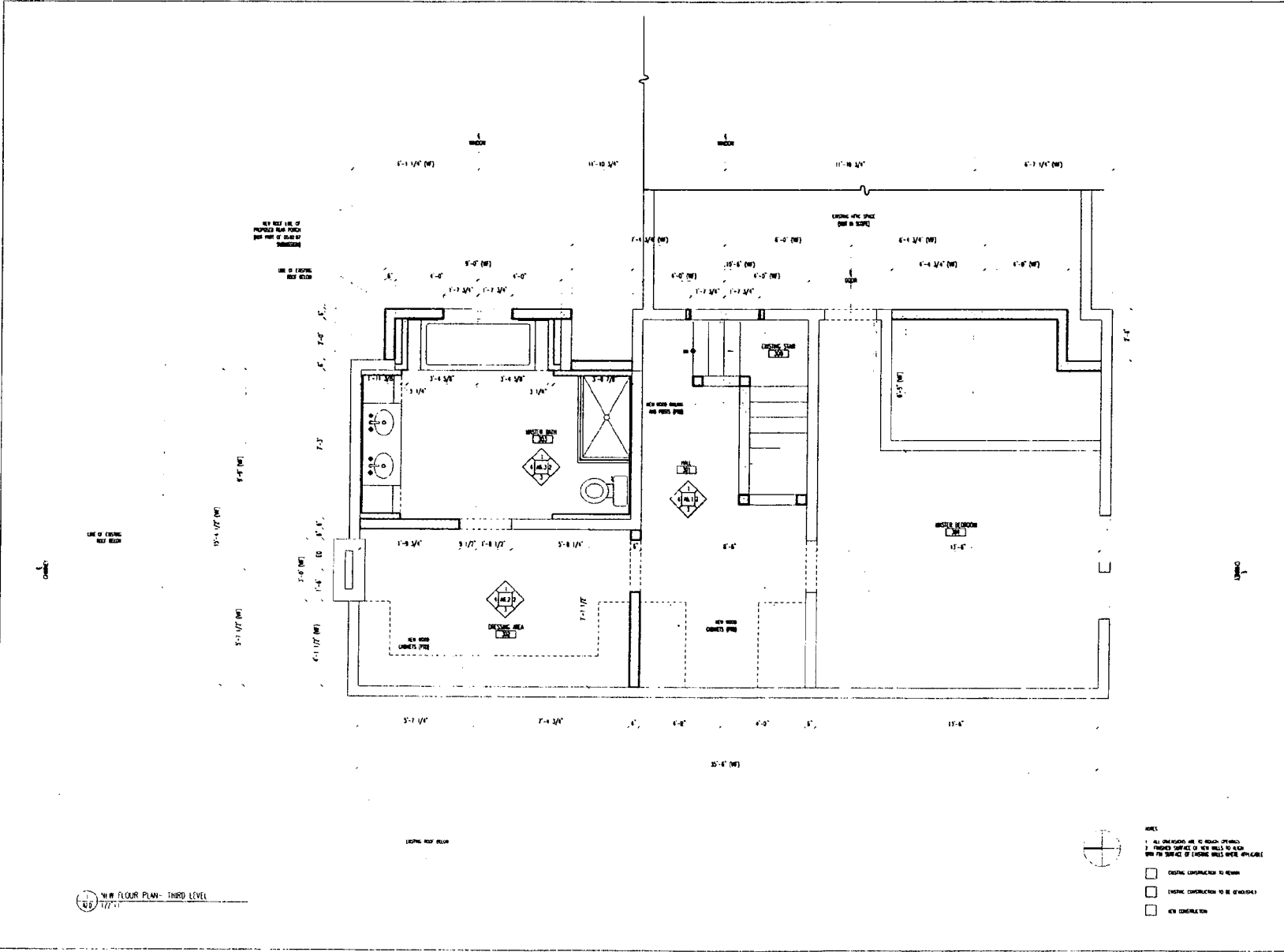
DEMOLITION PLAN- THIRD LEVEL
1/07/07

- KEY**
- 1 ALL DIMENSIONS ARE TO FINISH SURFACES.
 - 2 FINISHED SURFACES OF NEW WALLS TO BE SHOWN ON ITS SURFACE OF FINISH WALL UNLESS SPECIFIED.
 - EXISTING CHARACTER TO REMAIN
 - EXISTING CHARACTER TO BE DEMOLISHED
 - NEW CONSTRUCTION



2

6



MICHAEL GRAVES ARCHITECT P.C.
 540 BROADWAY, SUITE 401
 NEW YORK CITY
 NY 10012
 (212) 941-5800

REVISIONS	
DATE	NO. DESCRIPTION
04/10/06	1 REVISION COMMENTS

SCALE

PROJECT NUMBER: 20044 APPROVED BY: [Signature]

PROJECT NAME: **RAYDER RESIDENCE**
 14 OXFORD STREET
 CHEVY CHASE, MD

DRAWING TITLE: **NEW FLOOR PLAN
 THIRD LEVEL**

DRAWN BY: TR CHECKED BY: [Signature]

DATE: 05/01/07 SCALE: 1/2" = 1'-0"

SHEET NUMBER: **A2.0**

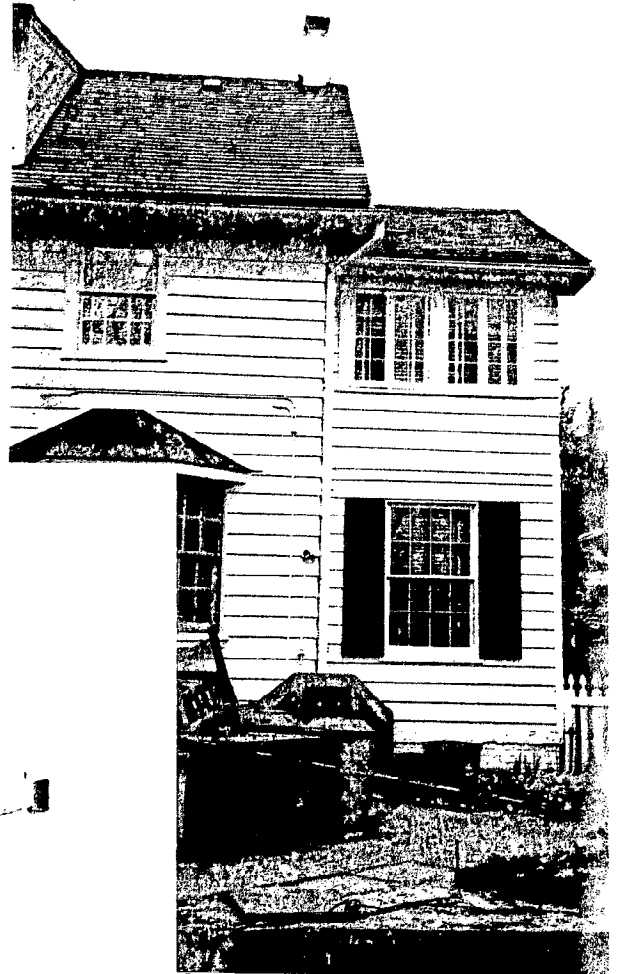
- NOTES:
- ALL DIMENSIONS ARE TO FINISH SURFACES.
 - FINISH SURFACES OF NEW WALLS TO MATCH EXISTING SURFACES OF EXISTING WALLS UNLESS SPECIFIED.
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE DEMOLISHED
 - NEW CONSTRUCTION



REAR ELEVATION



EXISTING REAR SHED DORMER



REAR ELEVATION



PROPERTY IN QUESTION : 14 OXFORD ST.
(RAYDER RESIDENCE) CHEVY CHASE, MD. 20815

PROPERTY DIRECTLY TO REAR: 15 NEWLANDS ST.
C.C., MD. 20815

PROPERTY TO LEFT: 16 OXFORD ST.
C.C., MD. 20815

PROPERTY TO RIGHT: 12 OXFORD ST.
C.C. MD. 20815

2 PROPERTIES ACROSS STREET:
33 OXFORD ST.
35 OXFORD ST.
C.C. MD. 20815



REAR ELEVATION



REAR ELEVATION

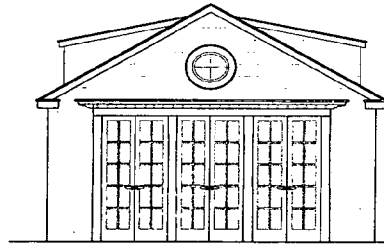


EXISTING REAR SITED DORMER



REAR ELEVATION

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MARYLAND.

PRESENTATION SET

MAY 2007

- A 0.0 LEGEND/ SYMBOLS/SCHEDULES (*)
- A 1.0 EXISTING FLOOR PLAN- THIRD LEVEL
- A 2.0 NEW FLOOR PLAN- THIRD LEVEL
- A 3.0 EXTERIOR ELEVATION

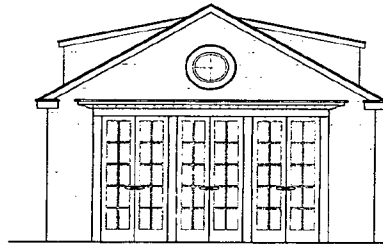
- A 6.1 INTERIOR ELEVATIONS (*)
- A 6.2 INTERIOR ELEVATIONS (*)
- A 6.3 INTERIOR ELEVATIONS (*)

- E 2.0 ELECTRICAL PLAN- THIRD FLOOR (*)
- S 2.0 STRUCTURAL PLAN- THIRD FLOOR (*)

(*) INDICATES NOT INCLUDED IN SET
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT
560 BROADWAY, SUITE 401
NEW YORK, NY. 10012

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MARYLAND.

PRESENTATION SET

MAY 2007

A 00 LEGEND/ SYMBOLS/SCHEDULES (*)
A 1.0 EXISTING FLOOR PLAN- THIRD LEVEL
A 2.0 NEW FLOOR PLAN- THIRD LEVEL
A 3.0 EXTERIOR ELEVATION

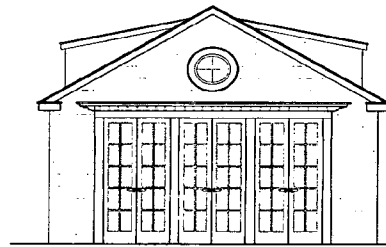
A 6.1 INTERIOR ELEVATIONS (*)
A 6.2 INTERIOR ELEVATIONS (*)
A 6.3 INTERIOR ELEVATIONS (*)

E 2.0 ELECTRICAL PLAN- THIRD FLOOR (*)
S 2.0 STRUCTURAL PLAN- THIRD FLOOR (*)

(*) INDICATES NOT INCLUDED IN SET
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT
560 BROADWAY, SUITE 401
NEW YORK, NY, 10012

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MARYLAND.

PRESENTATION SET

MAY 2007

- A 0.0 LEGEND/ SYMBOLS/SCHEDULES (*)
- A 1.0 EXISTING FLOOR PLAN- THIRD LEVEL
- A 2.0 NEW FLOOR PLAN- THIRD LEVEL
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- S 2.0 STRUCTURAL PLAN- THIRD FLOOR (*)

(*) INDICATES NOT INCLUDED IN SET
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT
560 BROADWAY, SUITE 401
NEW YORK, NY. 10012

**MICHAEL GRAVES
ARCHITECT P.C.**

340 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 941-5000

REVISIONS	
DATE	NO. DESCRIPTION
04/10/08	1 REVISION COMMENTS

SEAL

PROJECT NUMBER
20044

APPROVED BY

PROJECT NAME

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASS, MD

DRAWING TITLE
**NEW FLOOR PLAN
THIRD LEVEL**

DRAWN BY
TR

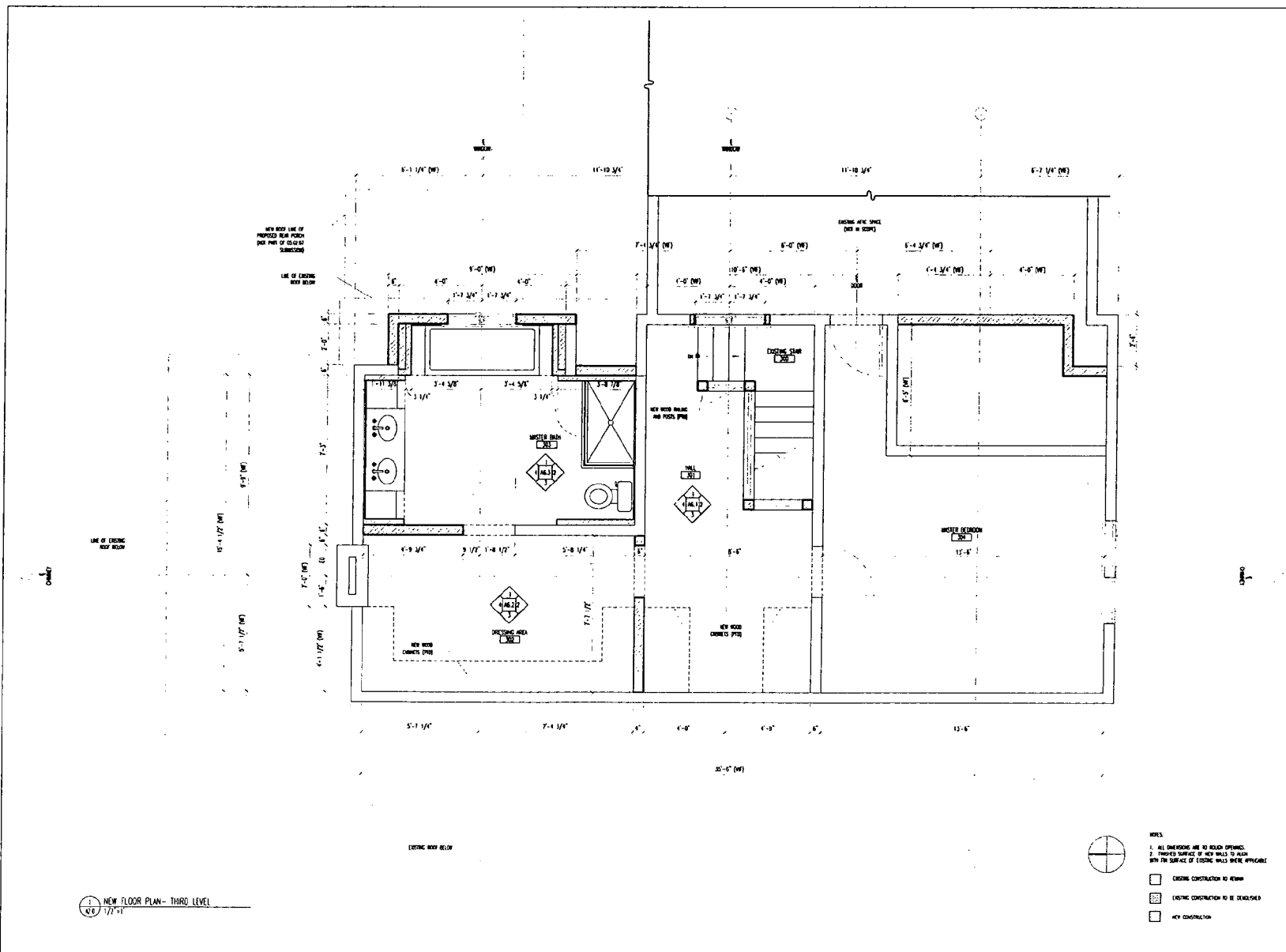
CHECKED BY

DATE
05/01/07

SCALE
1/2" = 1'-0"

SHEET NUMBER

A2.0

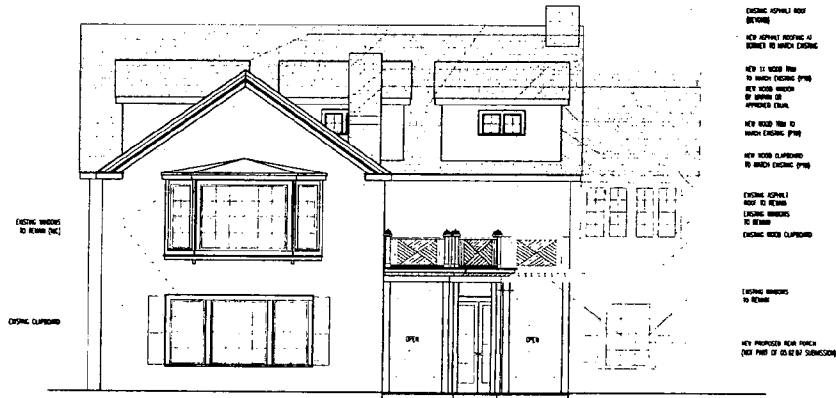


- NOTES:
1. ALL DIMENSIONS ARE TO UNLESS OTHERWISE NOTED.
 2. FINISHED SURFACE OF NEW WALLS TO MATCH WITH THE SURFACE OF EXISTING WALLS WHERE APPLICABLE.
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE DEMOLISHED
 - NEW CONSTRUCTION

NEW FLOOR PLAN - THIRD LEVEL
1/2" = 1'-0"



1
A/E
EXISTING EXTERIOR ELEVATIONS - BACK ELEVATION
1/4"=1'



2
A/E
NEW EXTERIOR ELEVATIONS - BACK ELEVATION
1/4"=1'



MICHAEL GRAVES
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540 BEDFORD SQUARE SUITE 401
NEW YORK CITY
NY 10012
(212) 941-2000

REVISIONS		
DATE	NO.	DESCRIPTION
04/18/06	1	REVIEW COMMENTS

PROJECT NUMBER

20644

APPROVED BY

PROJECT NAME

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE

EXISTING EXTERIOR
ELEVATIONS

DRAWN BY

TR

CHECKED BY

DATE

05/01/07

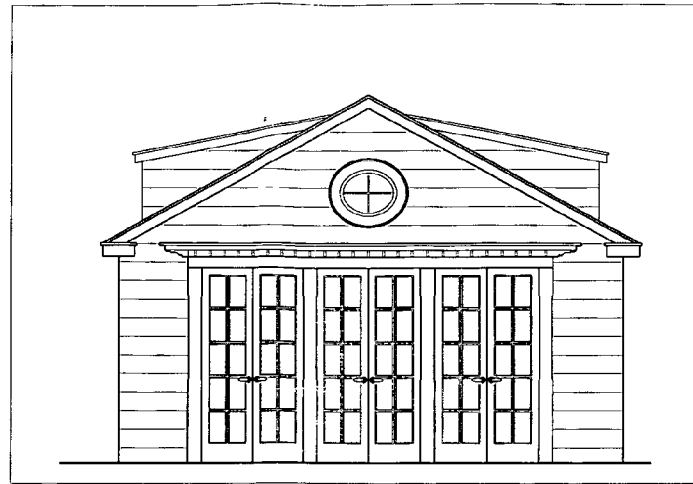
SCALE

1/4"=1'-0"

SHEET NUMBER

A3.0

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

14 OXFORD STREET
CHEVY CHASE, MARYLAND.

PRESENTATION SET

MAY 2007

- A 0.0 LEGEND/ SYMBOLS/SCHEDULES (*)
- A 1.0 EXISTING FLOOR PLAN- THIRD LEVEL
- A 2.0 NEW FLOOR PLAN- THIRD LEVEL
- A 3.0 EXTERIOR ELEVATION

- A 6.1 INTERIOR ELEVATIONS (*)
- A 6.2 INTERIOR ELEVATIONS (*)
- A 6.3 INTERIOR ELEVATIONS (*)

- E 2.0 ELECTRICAL PLAN- THIRD FLOOR (*)
- S 2.0 STRUCTURAL PLAN- THIRD FLOOR (*)

(*) INDICATES NOT INCLUDED IN SET
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT
560 BROADWAY, SUITE 401
NEW YORK, NY. 10012

**MICHAEL GRAVES
ARCHITECT P.C.**

560 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 941-5890

REVISIONS:		
DATE:	NO.	DESCRIPTION:
04/10/06	1	REVIEW COMMENTS

SEAL

PROJECT NUMBER
20644

APPROVED BY

PROJECT NAME
RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE
**EXISTING PLAN
THIRD LEVEL**

DRAWN BY
TR




CHECKED BY

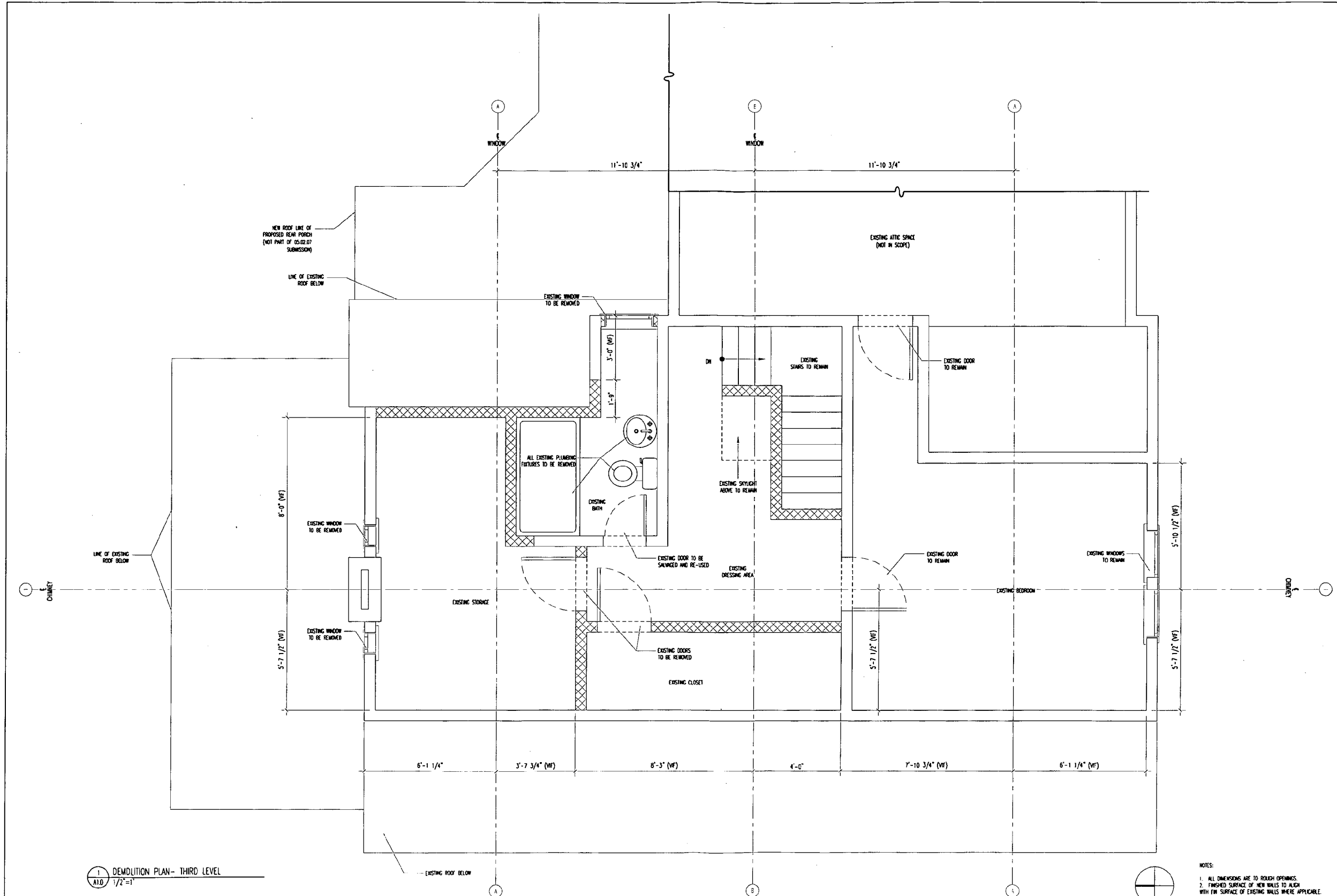
DATE
05/01/07

SCALE
1/2"=1'-0"

SHEET NUMBER
A1.0

1 DEMOLITION PLAN- THIRD LEVEL
A1.0 1/2"=1'

- NOTES:
- ALL DIMENSIONS ARE TO ROUGH OPENINGS.
 - FINISHED SURFACE OF NEW WALLS TO ALIGN WITH FINISHED SURFACE OF EXISTING WALLS WHERE APPLICABLE.
-  EXISTING CONSTRUCTION TO REMAIN
 -  EXISTING CONSTRUCTION TO BE DEMOLISHED
 -  NEW CONSTRUCTION



**MICHAEL GRAVES
ARCHITECT P.C.**

560 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 941-5890

REVISIONS:		
DATE:	NO.	DESCRIPTION:
04/10/08	1	REVIEW COMMENTS

SEAL

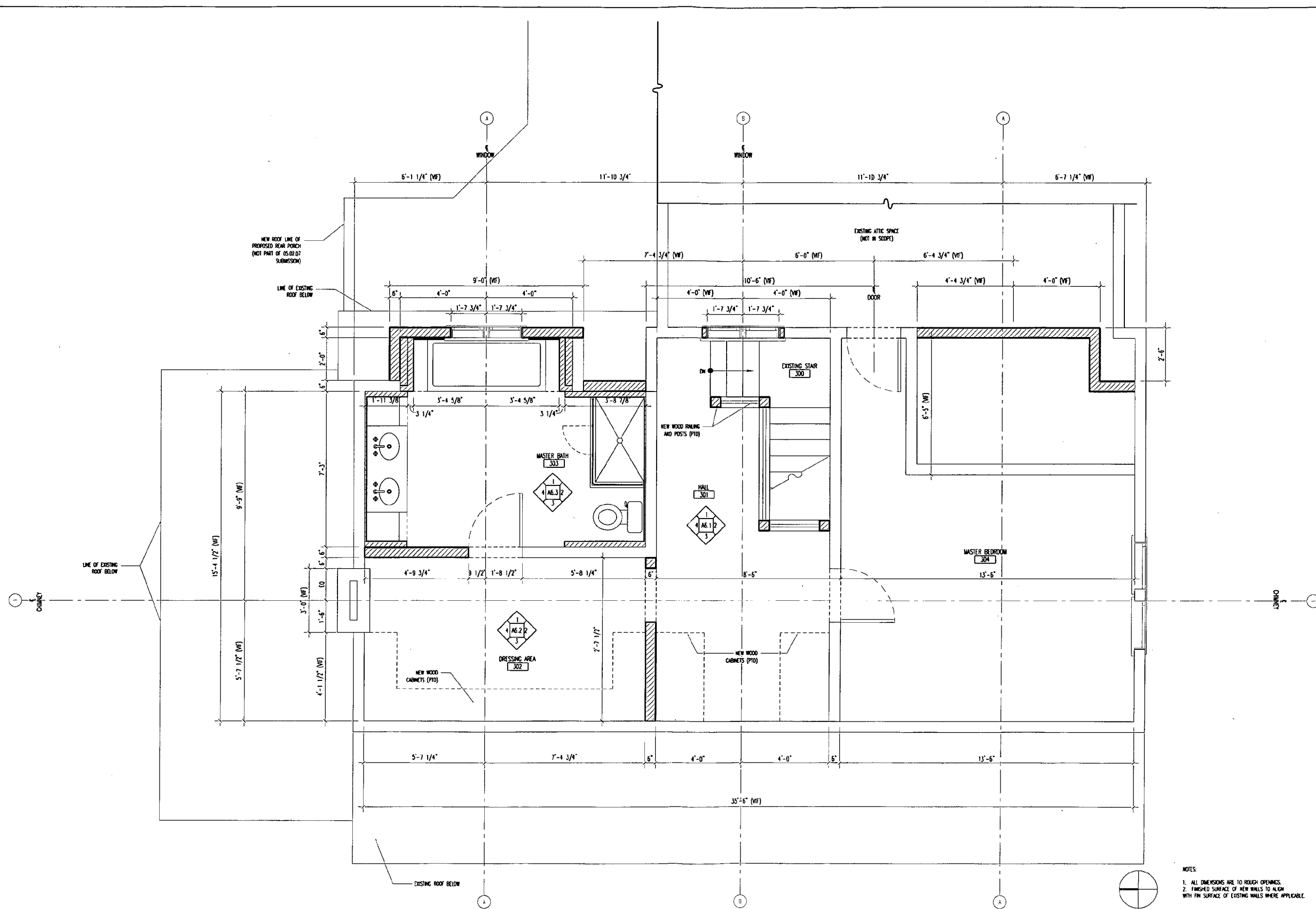
PROJECT NUMBER 20644	APPROVED BY
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PROJECT NAME
RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE
**NEW FLOOR PLAN
THIRD LEVEL**

DRAWN BY TR	CHECKED BY
DATE 05/01/07	SCALE 1/2"=1'-0"

SHEET NUMBER
A2.0



- NOTES:
- ALL DIMENSIONS ARE TO ROUGH OPENINGS.
 - FINISHED SURFACE OF NEW WALLS TO ALIGN WITH FIN SURFACE OF EXISTING WALLS WHERE APPLICABLE.
- EXISTING CONSTRUCTION TO REMAIN
 - EXISTING CONSTRUCTION TO BE DEMOLISHED
 - NEW CONSTRUCTION

1 NEW FLOOR PLAN- THIRD LEVEL
A2.0 1/2"=1'

**MICHAEL GRAVES
ARCHITECT P.C.**

560 BROADWAY, SUITE 401
NEW YORK CITY
NY 10012
(212) 941-5890



1 EXISTING EXTERIOR ELEVATIONS- BACK ELEVATION
A3.0 1/4"=1'



2 NEW EXTERIOR ELEVATIONS- BACK ELEVATION
A3.0 1/4"=1'



REVISIONS:		
DATE:	NO.	DESCRIPTION:
04/10/06	1	REVIEW COMMENTS

SEAL

PROJECT NUMBER
20644

PROJECT NAME

RAYDER RESIDENCE
14 OXFORD STREET
CHEVY CHASE, MD

DRAWING TITLE

**EXISTING EXTERIOR
ELEVATIONS**

DRAWN BY
TR

DATE
05/01/07

CHECKED BY

SCALE
1/4"=1'-0"

SHEET NUMBER

A3.0