

10 Newlands street
Chery Chase

MAWP 35/13-08P
+ 2009 revision

SPECIFICATIONS

GENERAL NOTES

- The General Conditions of the Contract for Construction, AIA A201, 1997 Edition published by the American Institute of Architects is made part of this specification.
- The General Conditions are modified as follows: Article 1, Section 1.2 Execution Correlates and Intent, add: All discrepancies and ambiguities in the Contract Documents shall be interpreted as that which results in the most complete performance. Contractors shall examine the site before submitting any bids, as no extras will be allowed due to failure to understand all conditions or due to any discrepancies between actual conditions and those indicated. Refer differences to the Architect for resolution before beginning work. All structural, mechanical, plumbing and electrical details and devices necessary to comply with local and state regulations shall be supplied under this contract without additional cost to the Owner.
- Prior to commencement of construction, General Contractor (G.C.) to meet with Owner and Architect to review Contract Documents and Schedule.
- All work shall be performed in accordance with the BOCA Code, applicable edition, the CABO One and Two Family Dwelling Code, applicable edition, and all other applicable codes and ordinances as adopted by the State of Maryland, Montgomery County and the Village of Chevy Chase.
- Owner to secure and pay for general building permit. G.C. shall secure and pay for all other related permits, inspections and fees.
- All dimensions are to finish face of wall unless noted otherwise. Drawings at a larger scale shall take precedence over drawings at a smaller scale. Notify Architect of any inconsistencies before proceeding.
- G.C. to coordinate schedule of Owner supplied items with Owner to ensure timely arrival at job site. G.C. responsible for scheduling and coordination of the trades to avoid unnecessary delays.
- G.C. responsible for the proper discontinuance of utilities as required and for new utility hook-ups, including water, sewer, electric, gas, telephone and cable tv as necessary.
- Site is to be maintained in a clean and orderly manner. G.C. to remove and dispose of trash and debris in a timely fashion.
- G.C. responsible for restoring finish grade and furnishing a 4" layer of new topsoil around addition. Owner shall be responsible for grass seeding and landscaping.
- Provide batt insulation with the following R values: for floors and ceilings R-30C or R-38C foil or kraft paper face to interior surface; for 2x4 walls R-21 kraft paper face to interior surface; for 2x4 walls R-15 kraft paper face to interior surface. Insulate laundry rooms and interior bathroom walls and floor cavities with batt insulation to reduce sound transmission.
- Provide blocking as required for attachment of bath accessories prior to beginning drywall work.
- Gypsum wallboard shall be 1/2" thick and shall be attached to wood studs with gypsum board screws or ring shank nails only. GWB shall have allowable tolerance of 1/4" in 8'-0" maximum length variation from plumb or level.
- Provide brass door stops throughout, mounted on baseboard or hinge depending on condition.
- Running trim to be paint-grade. Wood trim to be filled and sanded smooth prior to painting.
- New wood flooring: Premium Grade White Oak, 3/4" T&G, Hand scraped Edge, Hickory or Maple surface, 5 1/2" nominal widths, Lengths 4' to 14' with an average of 8', provided by Carlisle Wide Plank Floors, installed & finished by G.C. stain by Carlisle Wide Plank Floors, "Vintage Brown" for new & refinished floors with tongue oil or tinted urethane sealer.
- Allowable tolerances for doors: 1/8" size plus or minus; maximum warp: 1/4" plus or minus. Undercut interior doors minimum amount necessary to ensure proper function.
- Provide aluminum interlocking thresholds and complete copper weatherstripping on all doors which lead into unconditioned spaces.
- G.C. to install flashing at all new window heads, horizontal wood trim stops, window sills and at bottom of cavity walls.
- G.C. to ensure flush transition from existing work to new work.
- G.C. to provide soil treatment for termite control for new work. Warn workers that soil has been applied to soil and comply with manufacturer's recommendations.
- Provide "T-astagraf" on any pairs of french doors with two edge bolts, top and bottom, mortised on door edge, of inactive leaf. Each pair french doors to have knobs/levers on both leafs, active and inactive.
- Pocket door hardware shall be extra heavy duty of best quality. Wobblers and catches in operation are not acceptable.
- Hardware shall be removed and reinstalled after finish painting.
- Prior to beginning painting, Architect shall furnish color schedule. All surfaces requiring painting shall have one primer coat and two finish coats. Finish coats must be rolled and may not be sprayed. All paint to be Benjamin Moore or Sherwin Williams of the types listed:
 - Metal: 1 coat metal primer, 2 coats high gloss oil based enamel
 - Wood (Interior): 1 coat oil based wood primer, 2 coats semi-gloss oil based enamel
 - Wood (Exterior): 1 coat oil based wood primer, 2 coats semi-gloss super latex exterior paint
 - Masonry (Exterior): 1 coat masonry primer, 2 coats masonry flat paint
- GWB: 1 coat latex wall primer, tinted as required, 2 coats flat latex wall paint
- Stained Wood (Interior): 2 coats oil based stain by Behlens or Minwax as needed to cover evenly, sand, seal and apply satin finish

DEMOLITION NOTES

- Brace structure as necessary during demolition to prevent structural damage to new and existing work. Protect the existing exterior facing, roof and trim from damage during demolition; also protect interior walls, doors, trim, ceilings, floors and stairs from unnecessary damage. Extreme care shall be taken to protect the integrity of the existing construction at all times. G.C. shall bear the cost of repairs or replacement for all damage to any part of the existing construction or adjoining properties.
- Provide temporary water-proofing and security following all exterior wall and roof demolition work.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to, nails, hooks, wires, etc. G.C. to remove all demolished material from the jobsite as soon as possible following demolition.
- Coordinate removal of personal belongings or furnishings from affected areas with Owner.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect and Structural Engineer specifying location and requesting consent to proceed with cutting or drilling.

STRUCTURAL NOTES

- All work and materials shall comply with the requirements of all local codes and ordinances in effect.
- Live loads:
 - Floors: 40 psf
 - Roof: 30 psf
 - Decks: 40 psf
 - Dead loads:
 - Floors: 10 psf
 - Roof: 17 psf
 - Decks: 20 psf
 - Lateral loads: Wind: 20 psf, speed 90 mph, exposure C
 - Height and exposure adjustment coefficient: one story - 1.29 two story - 1.40
- Seismic: Design Category A
 - Design Codes: (Latest Editions)
 - NDS National Design Specification for Wood Construction
 - NCMA Specification for the Design and Construction of Load Bearing Concrete Masonry
 - AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings
 - ACI 301 Specifications for Structural Concrete for Buildings
- Footings: Footings are designed to bear on undisturbed soil with an assumed bearing value of 2000 psf. Bottoms of footings shall extend 1'-0" minimum into undisturbed soil, and where subject to frost action, at least 2'-0" below finished grade. Footings shall be extended below elevations shown where necessary to reach the design soil bearing value. Unless otherwise indicated on the drawings, all wall footings shall be 24" wide x 12" thick. All column footings shall be 36" x 36" x 12" thick.
- Foundation anchorage: All wood plates shall be anchored to the foundation with 1/2" diameter anchor bolts spaced 6'-0" on center (maximum of 12" from end of plate). Bolts shall extend a minimum of 7" into concrete or grouted masonry. Foundation anchor straps, equivalent to anchor bolts, may be used.
- Foundation walls: Unless otherwise indicated on the drawings, foundation walls shall conform to Tables R404.1.1(1), R404.1.1(2), R404.1.1(3) or R404.1.1(4) of the IRC 2000 Code for type SM soil.
 - Concrete shall be 3000 psi normal weight "controlled concrete", except slabs which shall be 3500 psi (at 28 days and 6% air) and shall have a minimum cement content of 5.5 bags per cubic yard. Slump shall be 4" maximum plus or minus 1".
 - Grade slab shall be 4" thick reinforced with 6x6 W2.0xW2.0 WWM poured on 6 mil vapor barrier over 4" minimum of 3/4" washed crushed stone.
 - Reinforcement to be ASTM A-615 Grade 60 supported on proper bar supports.
 - Filling under slabs on grade shall be made with material approved by the Geotechnical Engineer and shall be compacted in a manner that will not damage foundation walls. It should be well tamped in 8" layers in rough thickness, to 95% maximum dry density per ASTM D-998 or D-1557.
- Masonry:
 - Concrete masonry units shall be hollow load bearing units (ASTM C90) Grade N-1, rated 1350 psi.
 - All joints to be filled solid. Mortar to comply with ASTM C270 Type M or S.
 - Use 9 gage "Duro-wall" at 16" o.c. Lap 6" minimum.
 - Fill solidly with grout to top of footing under any concentrated loads (beams, posts, columns).
 - Provide 3 courses of solid brick or one course of 100% solid block continuous by 6" width under all wood joists bearing on masonry walls.
 - Grout for reinforced block work shall be only 2500 psi (minimum) pea gravel concrete with a slump of 8" to 9". Height of pour shall not exceed 4 feet. Reinforcing bars shall be lapped 24" minimum. Grouting shall be done in a continuous manner and shall be consolidated by rodding or vibrating during placement and then reconsolidated after excess moisture has been absorbed. Architect shall be notified after reinforcement is in place, but before concrete is poured. Reinforcement shall be "Duro-wall" in such a manner that it will not be displaced during pour.
- Structural Lumber:
 - All framing timber shall be Hem-Fir No. 2 (except studs and pressure treated material); studs (load bearing walls) shall be Spruce-Pine-Fir S-Dry construction grade Fb = 975 psi, Fo = 1850 psi, E = 1,300,000 psi; studs (non-load bearing walls) shall be Spruce-Pine-Fir S-Dry stud grade; pressure treated shall be Southern Yellow Pine No. 2.
 - Use 18 gage joist hangers or clips for all connections where there is no direct bearing.
 - Provide bridging at 8 foot maximum centers.
 - Glue and nail all subfloor (3/4" minimum, tongue and groove).
 - Use double joists under all partitions parallel to joists.
 - Plywood Sheathing: Roof 3/4" T & G DFPA C-C exterior panel index 32/16; Floor 5/8" T & G DFPA C-C exterior panel index 32/16; Walls 1/2" DFPA C-D exterior, panel index 32/16.
- Exterior Load Bearing Walls: Unless otherwise indicated on the drawings, stud size and spacing shall conform to Table R602.3(5) of the IRC 2000 Code. Walls shall have a continuous double top plate and a continuous sill plate. Walls shall have continuous solid 2 x blocking at mid-height or 4'-0" on center maximum vertically. Walls shall have a minimum of 1/2" gypsum board sheathing and 15/32" OSB sheathing. Where less than 4'-0" of sheathing is provided at a corner, conform with the Structural Engineer.
- All wood in contact with concrete or masonry shall be pressure treated.
- Coordinate structural framing and header-off as necessary for:
 - Light fixture locations where recessed
 - Sightlines
 - Mechanical ductwork and plumbing
- No holes shall be allowed in any joists, T's, J's, beams, posts, columns or any other structural members without prior approval of the Architect and Structural Engineer.
- Provide side anchorage into bearing walls with metal strap anchors 6 feet on center maximum attached to 3 wood joists. Provide wood floor joist end anchorages at masonry bearing walls with metal Tee anchors on every third joist with at least (4) 8 penny nails at 6" o.c. Provide TECO framing anchors at each roof joist bearing end. Framing connections shall be per Table R602.3 (1) of the IRC 2000 Code.
- Prefabricated/pre-engineered roof and floor components: Shop drawings prepared by a licensed Engineer shall be submitted to the Structural Engineer for approval prior to fabrication and installation.
- Any deviations from assumed conditions or design details to be reviewed by the Architect and Structural Engineer prior to construction.
- Where microlam members are specified, beams shall be bolted with 1/2" through bolts at 10" on center at 3" from top and ends at top of beam and at 20" on center at 3" from bottom and ends of beam at bottom.
- Steel Lintel Schedule (Unless Otherwise Noted): Lengths to 8'-0" : one 5"x3-1/2"x5/16" (3-1/2" leg horizontal) for each 4" of masonry wall thickness. Provide minimum 6" bearing at each end for spans 6'-0" or less and 8" bearing for spans 6'-0" to 8'-0".
- G.C. to submit structural steel shop drawings to Architect for review prior to steel fabrication. Structural steel to be A36.
- Structural Engineer for this project is JGK Structural Engineers, P.C., 2338 Walnut Street, Falls Church, Virginia, 22046, telephone 703-536-2053, Jim Krivnick, PE.

MECHANICAL NOTES

- Mechanical drawings are schematic and intended for bidding purposes only. All components or systems are not necessarily shown. The Contractor shall furnish all labor and materials to provide complete operating and serviceable systems as approved by the Architect and Owner.
- Refer to Architectural drawings for accurate plans: the Contractor shall be responsible for reviewing the Architectural drawings to coordinate routing of ductwork and piping. Field verify all ductwork sizes and locations; coordinate all mechanical work with structural framing. Make adjustments as required to fit into space available.
- Prior to execution of HVAC work, G.C. to submit duct lay-out for approval by Architect and Owner.
- Perform all work in accordance with applicable codes; obtain all permits required for the work.
- Hot water piping shall be Schedule 40 black steel with 125 lb cast iron threaded fittings. Support piping with manufactured hangers in compliance with MSS Standard SP-58. Valves shall be Class 125 Bronze body NIBCO or Crane. Slope all heating water piping for drainage.
- Insulate ductwork in attic with 1-1/2" flexible duct wrap. All ductwork at floor and wall penetrations to be wrapped in 1" thick ARMAFLEX to maintain acoustic separation.
- Ductwork shall be designed and installed in accordance with SMACNA Manual, ASHRAE Standards and NESCA Manual "L".
- Location of all registers and grilles to be verified in field with Architect and Owner and shall be centered as shown.
- G.C. to execute all cutting and patching for installation of HVAC system and restore all finishes to match existing.
- HVAC Performance Specification: Heating and cooling design to be adequate to maintain as a minimum an inside air temperature of 72 degrees when the outside temperature is 0 degrees; and an inside temperature of 75 degrees dry bulb and 65 degrees relative humidity when the outside temperature is 95 degrees dry bulb and 78 degrees wet bulb. System to be balanced to provide adequate air quantities.
- System Design: extend existing system to serve addition.

PLUMBING NOTES

- All plumbing work shall be installed in accordance with all applicable local codes and ordinances. Obtain all required permits and pay all fees. Arrange for required inspections by local authorities at the proper time during the progress of work.
- Plumbing includes the furnishing and installing of all new plumbing fixtures, water heaters, soil/waste and vent, storm drainage, hot and cold water piping and gas piping, insulation, fittings, valves, traps, drains and all required hardware. New plumbing site service piping shall be provided as required, to and from existing street utilities including required excavations and backfill.
- All sanitary drainage piping shall be pitched at minimum 1/4" fall per foot, unless otherwise permitted by code.
- Sanitary drainage piping within the building above ground shall be cast iron service weight no-hub piping and fittings with mechanical joints. Vent piping shall be SCH. 40 galvanized steel or DWV copper and cast iron. Underground and exterior sanitary drainage piping shall be of service weight cast iron-ball and spigot type.
- Hot and cold water piping shall be of 1/2" thick ARMAFLEX or approved equal covering. Vapor barrier shall be included for covering on cold water pipe.
- Gas piping shall be of Schedule 40 black steel with malleable iron fittings.
- Hangers shall be split ring CLEVIS type spaced as required and recommended for pipe sizes. Hangers for water piping shall be of copper plated type. Hangers for all water piping shall be oversized to suit outside of insulation with shields. Perforated strap or wire hangers not permitted.
- All domestic hot and cold water piping shall be insulated with minimum of 1/2" thick ARMAFLEX or approved equal covering. Vapor barrier shall be included for covering on cold water pipe.
- Contractor shall visit site to determine conditions affecting his work and shall plan his work accordingly.
- After completion of work, Contractor shall clean all equipment, fixtures, trim, etc. and shall remove and dispose of all rubbish as directed.
- All water piping shall be flushed and tested before closing walls and concealment in ceiling spaces. All water piping after tests shall be sterilized in accordance with local codes.
- Plumbing fixtures and fittings are specified on the drawings. Provide all roughing-in, setting and final connections as required. All P-traps, nipples and all escutcheons shall be of cast brass with polished chrome finish, except where otherwise required by Architect. All supplies to be of flexible or rigid type, to suit condition, with finish to match fittings.

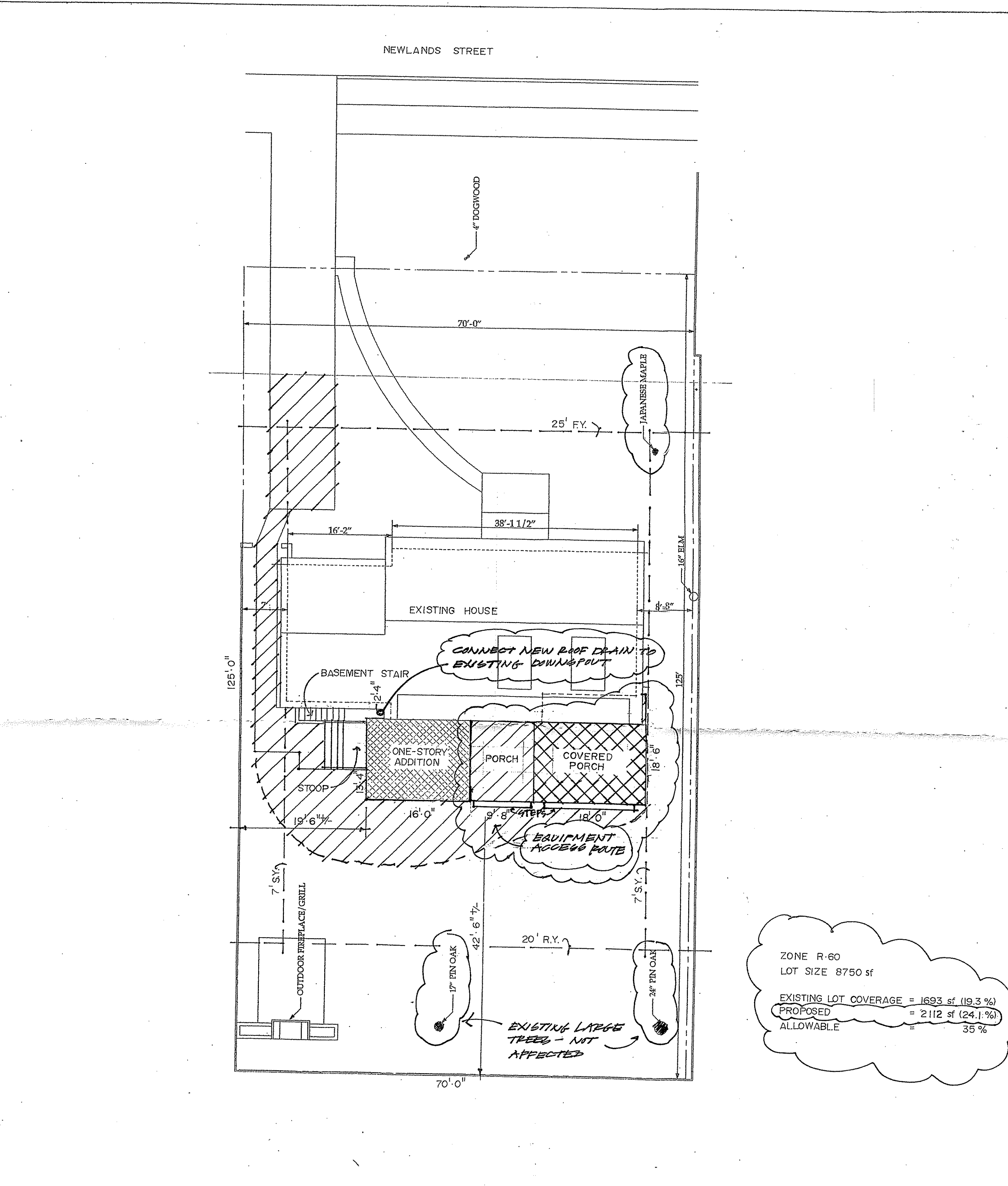
ELECTRICAL NOTES

- Provide all labor, materials, equipment devices, permits and pay all fees necessary for the complete electrical system indicated. Include all work associated with equipment shown on architectural, mechanical and plumbing drawings and specifications.
- Comply with latest edition of the National Electric Code (NEC) and with all applicable local codes, ordinances and regulations, except where plans or specifications are more strict.
- Upon completion of work adjust all equipment and test all systems. Provide Owner with final electrical inspection certificate.
- Refer to Architectural drawings for accurate plans: the Contractor shall be responsible for reviewing the Architectural drawings to coordinate routing of ductwork and piping. Field verify all ductwork sizes and locations; coordinate all mechanical work with structural framing. Make adjustments as required to fit into space available.
- Work includes furnishing and installing all lighting and electrical fixtures shown, including lamps, except those specifically noted to be furnished by Owner and installed by G.C.
- All circuit breakers shall be full module size. A neatly typed schedule shall be framed under clear plastic at panel, with approved legend identifying each circuit and what it controls. Loads shall be connected for best phase balance.
- All wiring shall be with copper conductors full rated for load served. Minimum wire size shall be #12 AWG. Circuits shall be connected with loads not to exceed 80% of breaker trip rating.
- All receptacle outlets shall be 20A, 125V grounding type. Provide ground fault circuit interrupter receptacles in areas as required by code.
- Finish of device plates and color of wiring device plastic shall match existing.
- Safety switches shall be provided where required by code. Use general duty type such as manufactured by General Electric or Westinghouse.
- All wiring shall be routed in a concealed manner.
- All materials and equipment shall be new, of first class quality and approved under applicable standards. All materials of types for which U.L. Labeling service is established shall bear U.L. Label.
- Contractor shall be responsible for all power, control, temperature control and interlock wiring complete. Install all such wiring as indicated on approved equipment manufacturer's wiring diagrams for the operation indicated.
- Provide all breakers as required to complete each electric panelboard.
- All interior conduit shall be EMT. All exterior conduit including underground conduit shall be Schedule 40 PVC.
- All switches to be mounted at 48" aff unless noted.
- All outlets to be mounted at 12" aff where permitted by code.
- Contractor to coordinate work which may not be performed by his own forces, including cable tv wiring and hook-up which may be performed by local cable tv company and installation of security system as selected by Owner.
- Smoke detectors to be ionization type manufactured by Pyrotechnics or BRK. All smoke detectors to be hard wired.

ELECTRICAL/MEP SYMBOLS

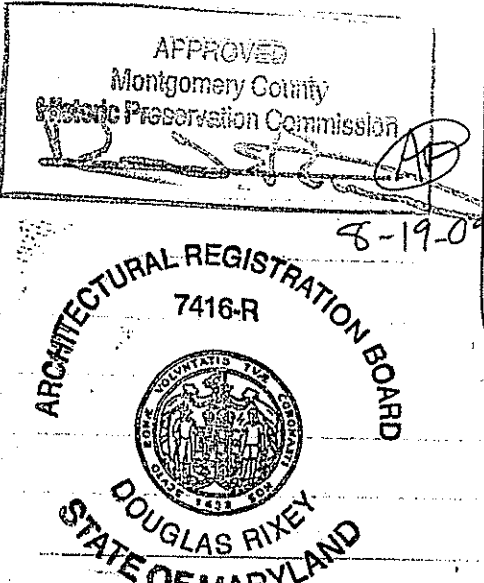
⊖	switch (toggle-type dimmers where specified)
⊕	duplex receptacle
⊕⊕	quad duplex receptacle
⊕⊕⊕	switched duplex receptacle (bottom half only)
⊕⊕⊕⊕	dedicated circuit for equipment or appliance (as labelled)
⊕⊕⊕⊕⊕	weather proof/gf receptacle
☎	telephone
⊕⊕⊕	cable/satellite tv
⊕⊕⊕⊕	exterior junction box for site lighting
⊕⊕⊕⊕⊕	smoke detector (hard wired with battery back-up)
⊕⊕⊕⊕⊕⊕	thermostat
⊕⊕⊕⊕⊕⊕⊕	hvac ceiling supply register
⊕⊕⊕⊕⊕⊕⊕⊕	hvac floor supply register
⊕⊕⊕⊕⊕⊕⊕⊕⊕	hvac wall supply register
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	hvac return air grille
⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕⊕	frost-proof hose bib

SITE PLAN



INDEX OF DRAWINGS

- Cover Sheet
- Notes, Site Plan, Symbols
- Demolition, Structural, Wall Section
- Plan, Elevation & Sections
- Basement Interior Elevations
- Merriellou's Bath & Powder Room
- Basement Demolition, Plan, RCP /Electric
- Interior Elevations & Details
- Schedules



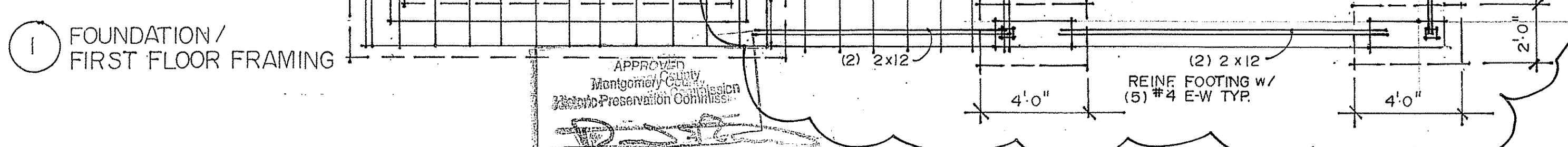
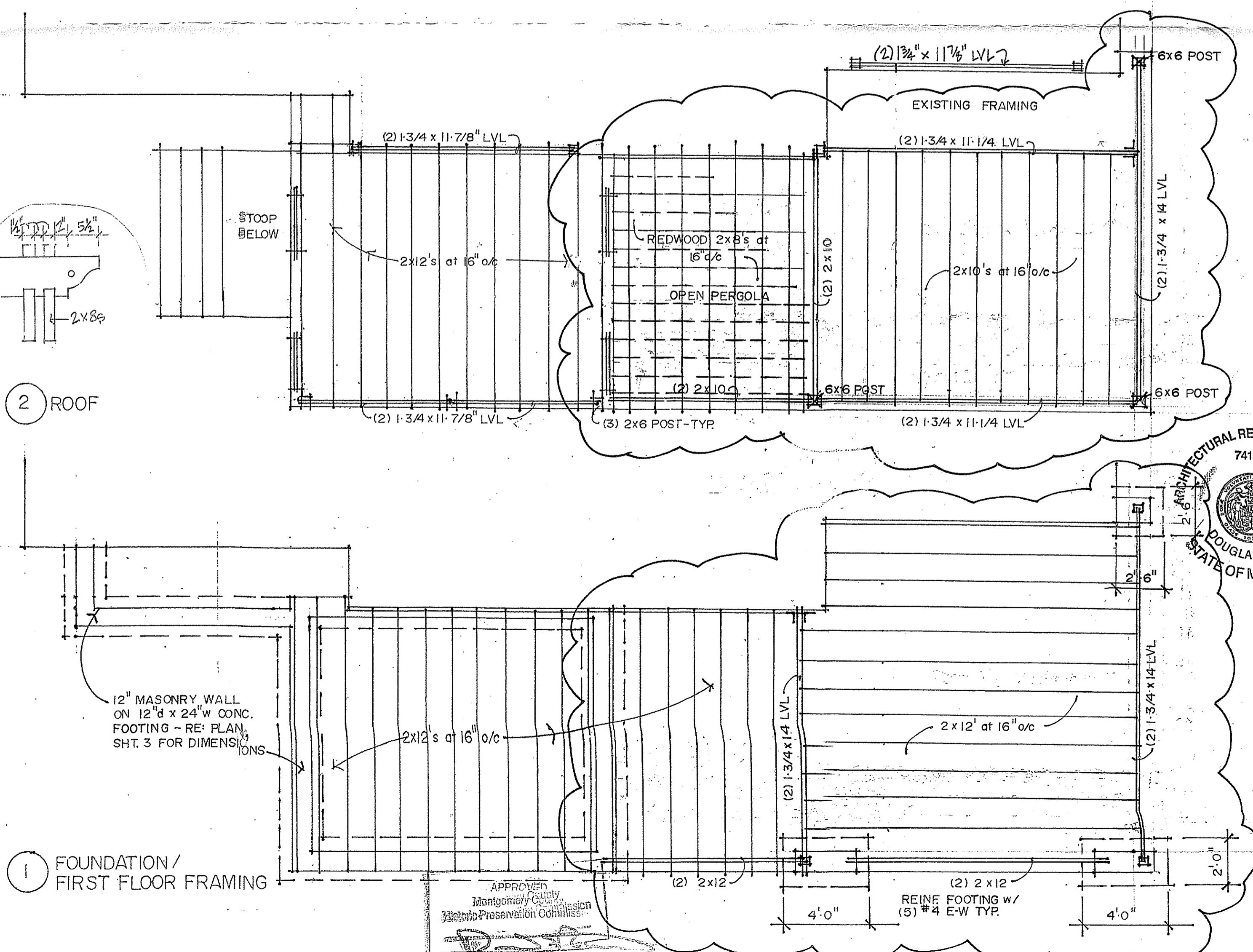
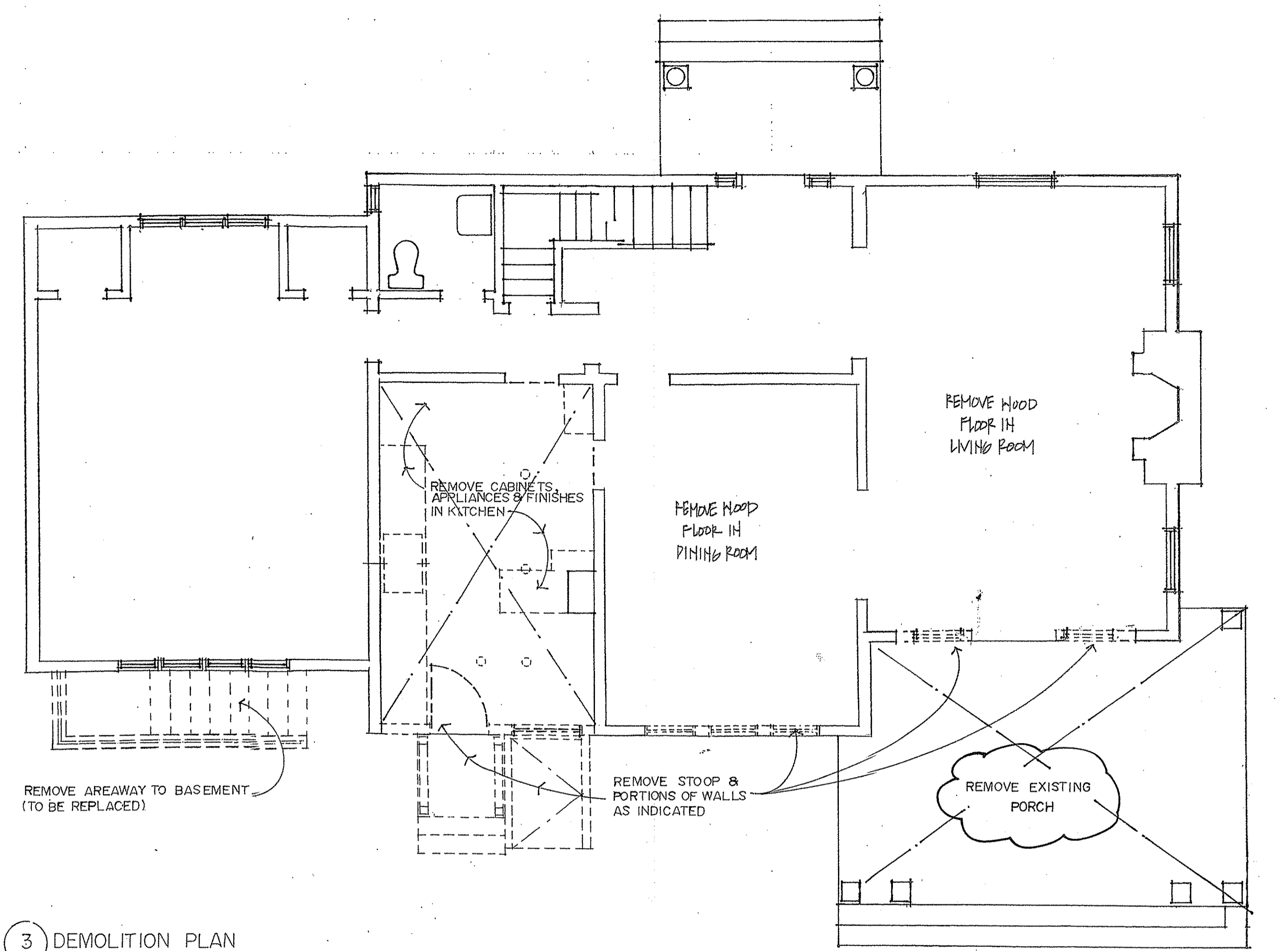
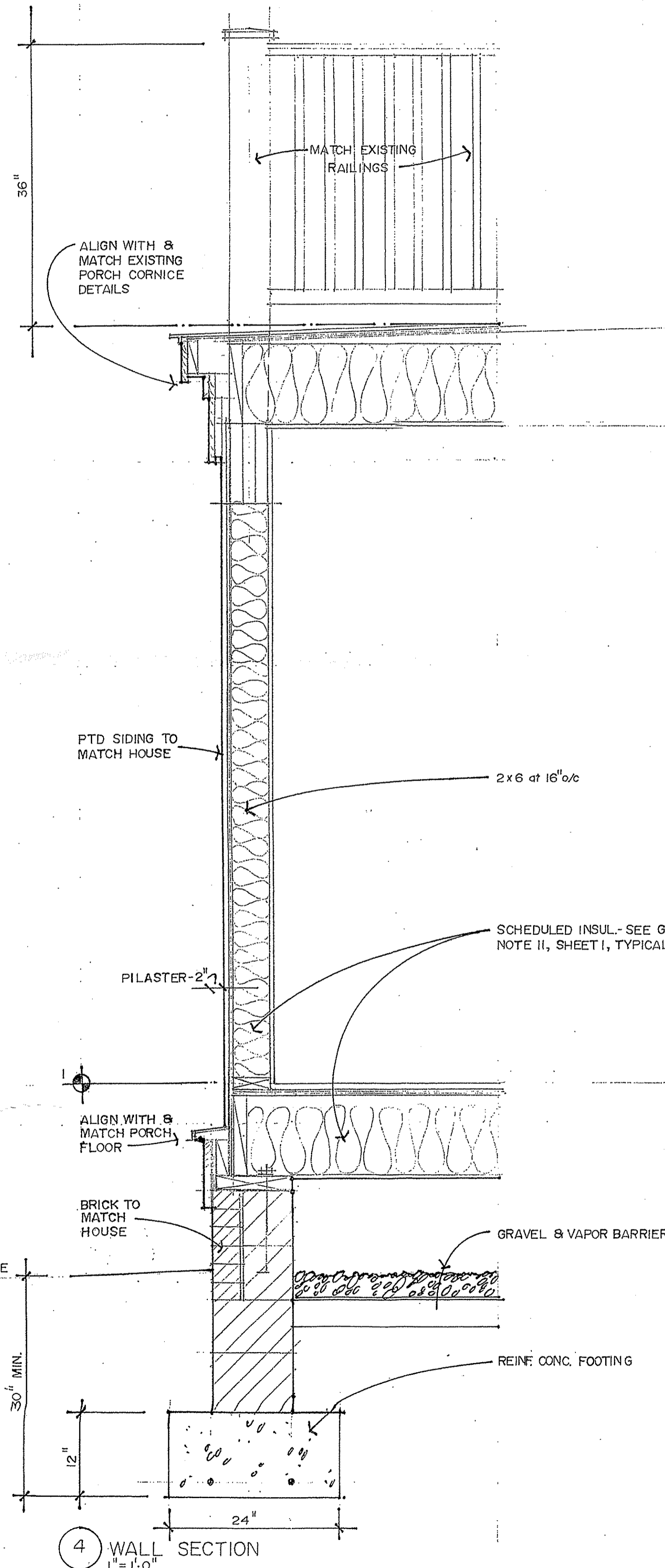
SYMES
10 NEWLANDS STREET
CHEVY CHASE, MD 20815

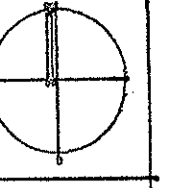
RILEY-RILEY ARCHITECTS
P.O. Box 3760
Washington, DC 20007-0260
202-333-2626

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 7416-R, expiration date 06/30/2028.

PERMIT REVISION 2 29-JUNE-09
PERMIT 08-JULY-08

SCHEDULES & NOTES
12 DEC, 2028
1" = 10'-0"




 S'YMES
 10 NEWLANDS STREET
 CHEVY CHASE, MD 20815

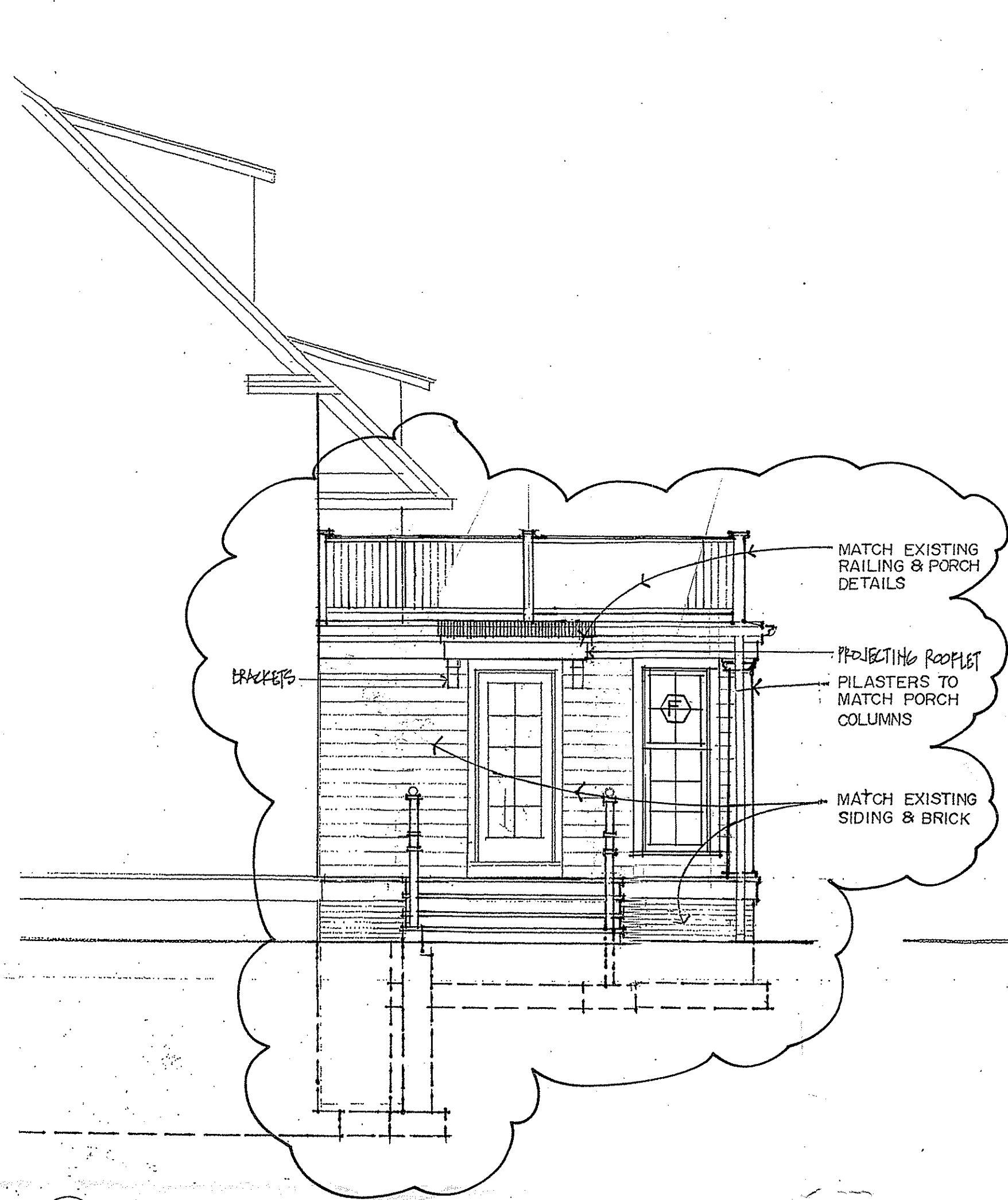
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 P.O. Box 3750
 Washington, DC 20007-0250
 202-333-2626

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 7416-R, expiration date: 7/31/2009.

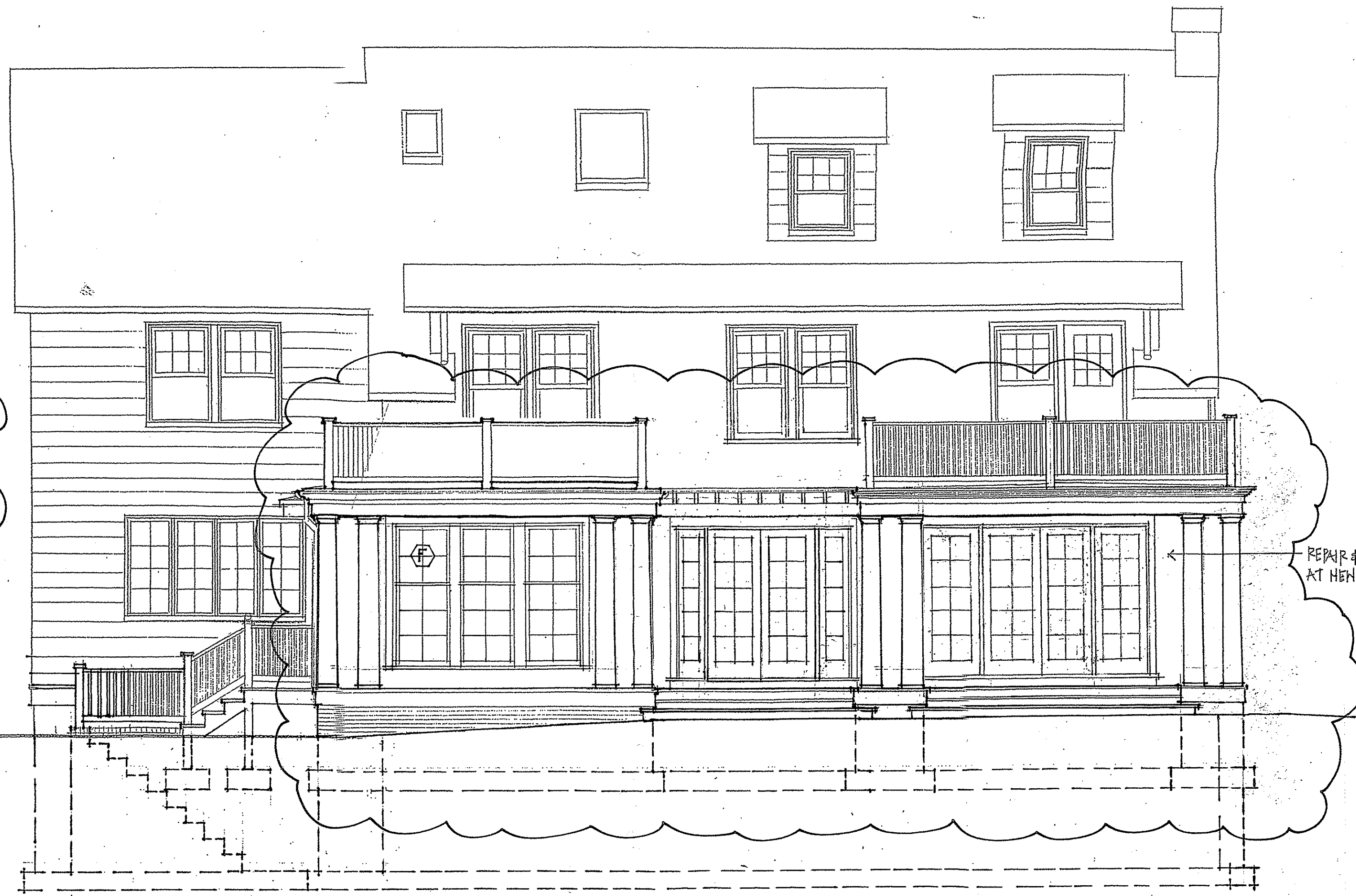
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ARCHITECTURAL REGISTRATION 7416-R
 DOUGLAS RIXEY
 STATE OF MARYLAND

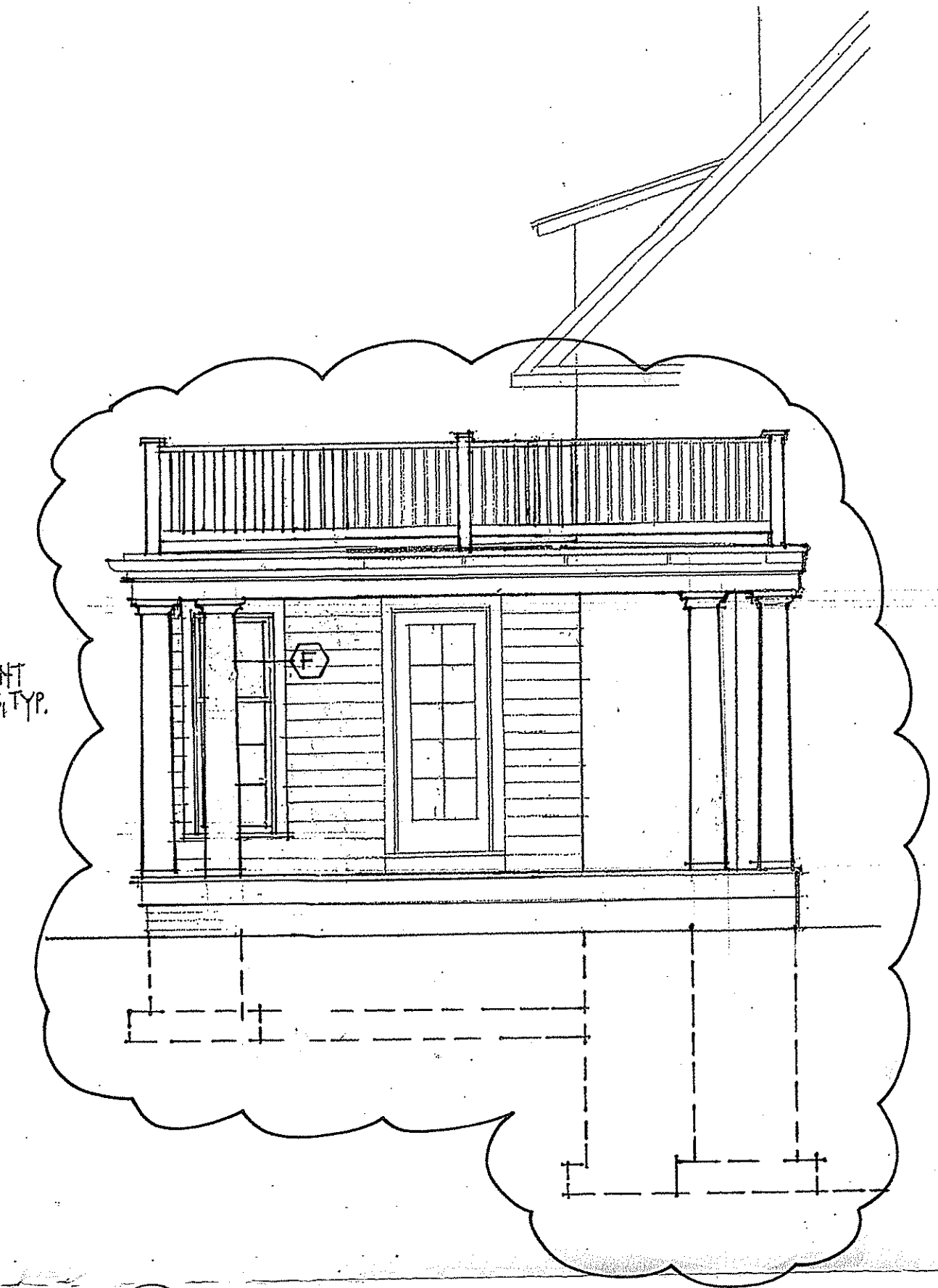
DEMOLITION, STRUCTURE & WALL SECTIONS
 1/4" = 1'-0" or AS NOTED 2.12.2008



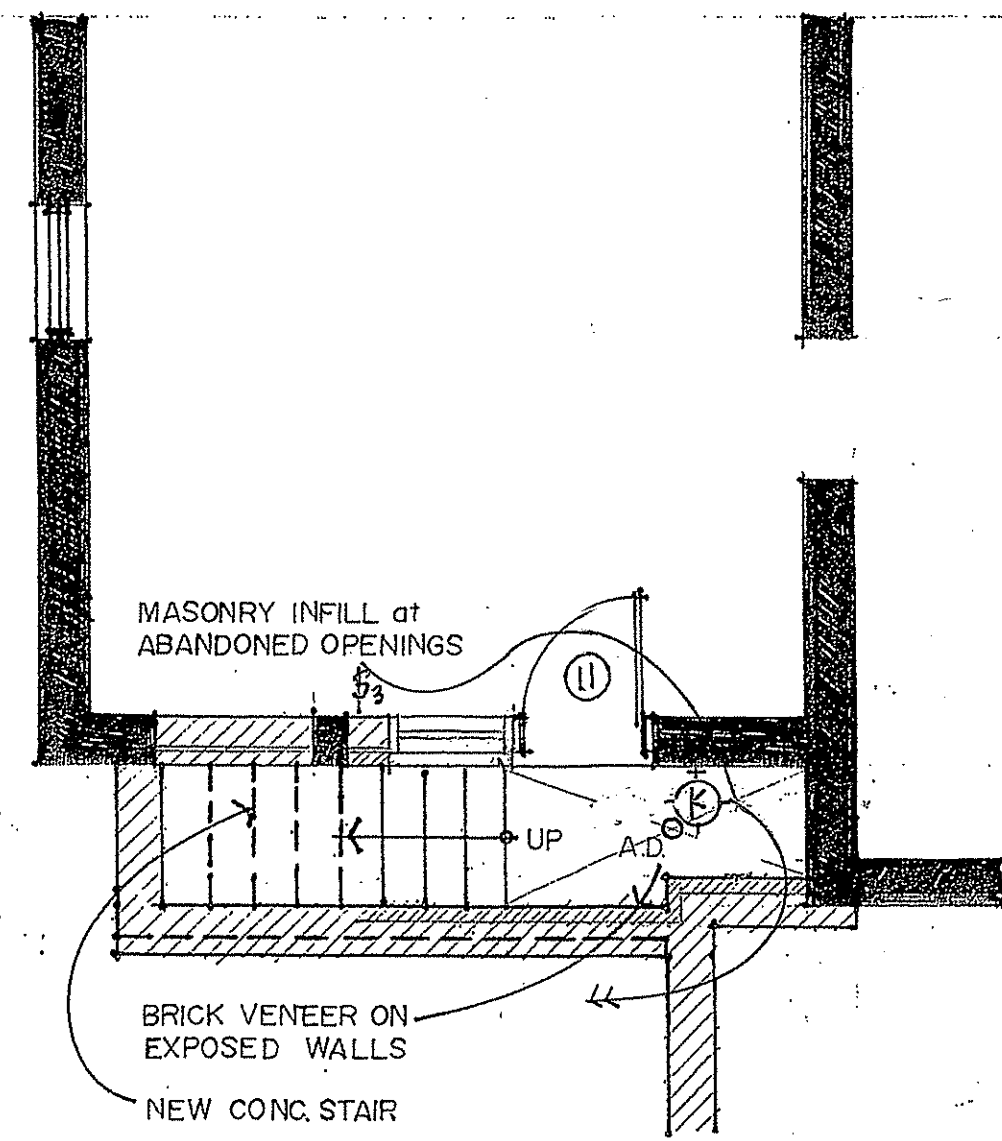
6 WEST



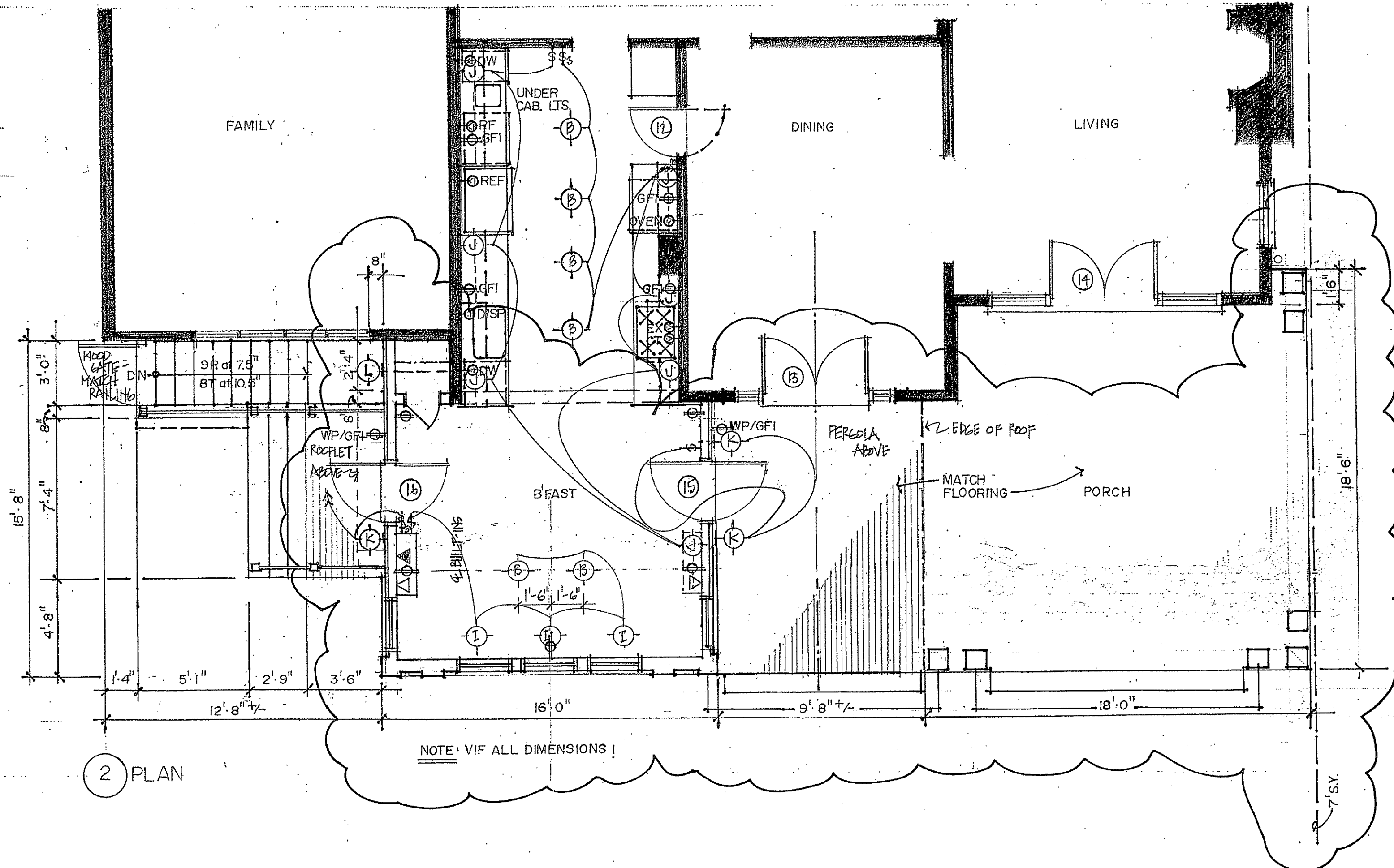
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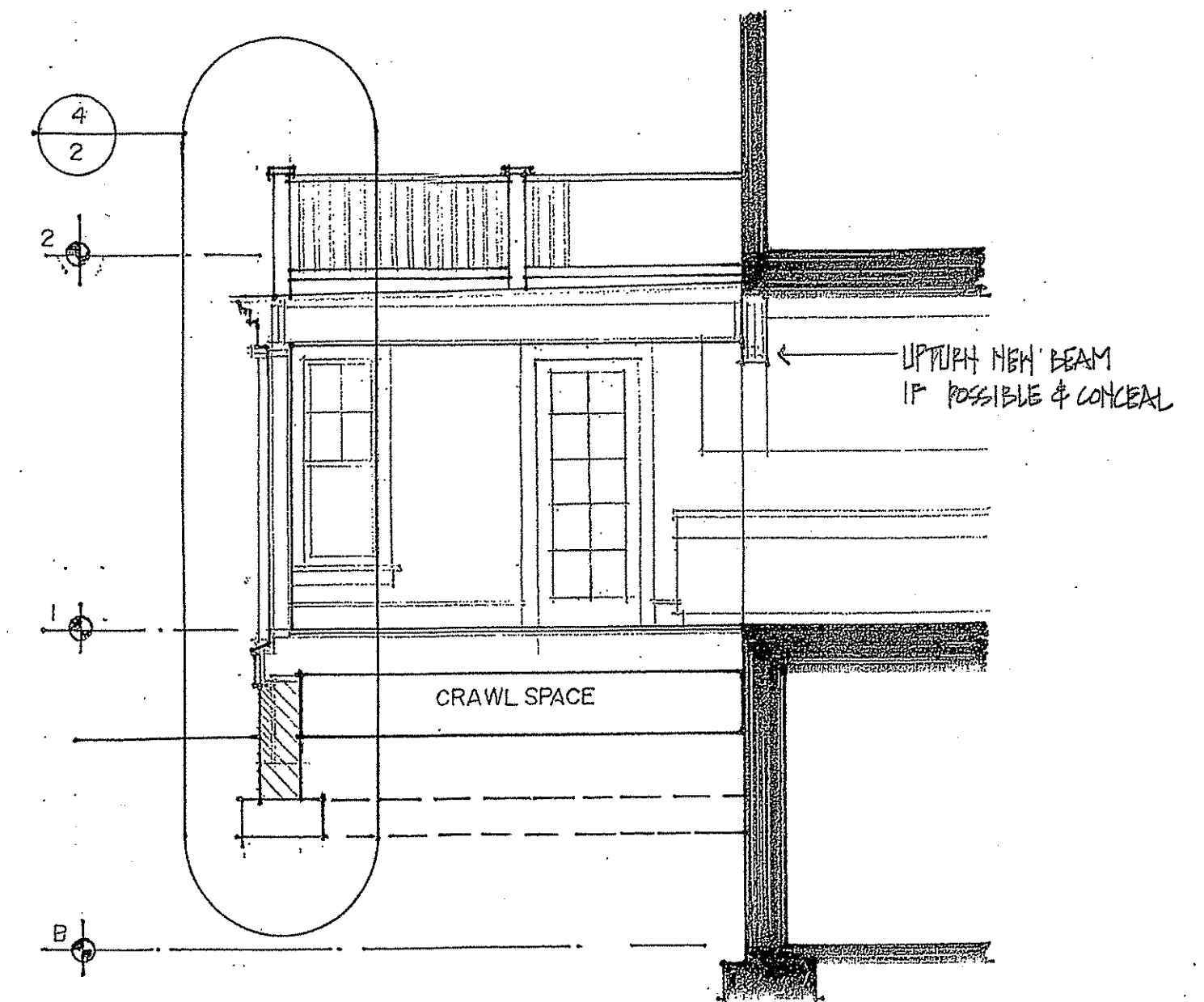
4 EAST



3 PARTIAL BASEMENT PLAN

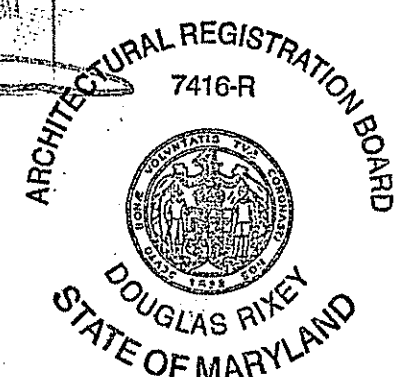


2 PLAN



1 S-N BLDG. SECTION

APPROVED
Montgomery County
Historic Preservation Commission



PLAN, ELEVATIONS &
SECTIONS
1/4" = 1'-0"

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 7416-R, expiration date 12/31/2025.

PERMIT REVISION 2 29-JUNE-09
2 DEC 2008

SYMES
10 NEVLANDS STREET
CHEVY CHASE, MD 20815

RIXEY-RIXEY ARCHITECTS
P.O. Box 3750
Washington, DC 20007-0250
202-333-2626

~~HAAR~~
8/12/09 revision
HPC approved

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10 Newlands Street, Chevy Chase	Meeting Date:	8/12/09
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	8/05/09
Applicant:	Merriellou and Edward Symes III (Douglas Rixey, Architect)	Public Notice:	7/29/09
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-08P REVISION	Staff:	Anne Fothergill
Proposal:	Revisions to approved addition		

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1908

BACKGROUND

In 2007 the HPC approved a HAWP for a two-story rear addition and alterations to this house. In 2008 the HPC approved a smaller one-story rear addition.

PROPOSAL

The applicants are proposing the following changes to the approved plans:

- Remove the existing one-story rear porch and construct a new 18' x 18'6" porch to conform with the side yard setback; materials and details to match existing porch
- Add wood sidelights to the rear doors
- Reduce number of windows in addition from four to three and increase pilasters from two to four

APPLICABLE GUIDELINES

When reviewing alterations and additions within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in March 1998, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.
- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character. It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.

The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed changes are entirely at the rear of the house and the design and material selections will be compatible with the existing house. Staff recommends that the HPC approve this HAWP revision.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



FOR PERMIT REVISION 29 JUNE 09

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DOUGLAS FIXEN, AIA

Daytime Phone No.: 202 333 2626

Tax Account No.: 00 4576 55

Name of Property Owner: MERRIELOU & EDWARD LYNNE TR Daytime Phone No.: 301 656 2130

Address: 10 NEULAND STREET, CHEVY CHASE, MD 20815
Street Number City State Zip Code

Contractor: MADSEN CONSTRUCTION Phone No.: 301 881 6669

Contractor Registration No.: 19778

Agent for Owner: DOUGLAS FIXEN, AIA Daytime Phone No.: 202 333 2626

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: NEULAND

Town/City: CHEVY CHASE Nearest Cross Street: MANKEVILLE ROAD

Lot: PT 11 Block: 47 Subdivision: SEC. 11, CHEVY CHASE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # 493590 MINT. CO. 490845 HISTORIC

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Merrielou H. Symes
Signature of owner or authorized agent

6-24-09
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE PREVIOUS APPLICATIONS

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE PREVIOUS APPLICATIONS

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

Owner's mailing address

MERRIELOU &
EDWARD SYMES III
10 NEWLANDS STREET
CHEVYCHASE, MD
20815

Owner's Agent's mailing address

DOUGLAS RIXEY, KIA
P.O. BOX 3750
WASHINGTON, DC
20007

Adjacent and confronting Property Owners mailing addresses

CHRISTOPHER DUNN
c/o CHRISTINE VAUGHN
8 NEWLANDS STREET
CHEVY CHASE, MD
20815

FRANCIS SAUL
14 NEWLANDS STREET
CHEVY CHASE, MD
20815

PAUL PERITO
7 NEWLANDS STREET
CHEVY CHASE, MD
20815

BYRON ANDERSON
5 NEWLANDS STREET
CHEVY CHASE, MD
20815

JOHN RIDENOUR
11 E. MELROSE
CHEVY CHASE, MD
20815

DARWIN CURTIS
13 E. MELROSE
CHEVY CHASE, MD
20815

CHARLES FARMER
15 E. MELROSE
CHEVY CHASE, MD
20815

R I X E Y - R I X E Y A R C H I T E C T S

Symes Residence
10 Newlands Street

08 July 08
revised 29 June 09

Description of Project

a. Existing Condition: The existing 2-1/2 story frame house dates from c. 1908, with a later 2-story addition. The house is classified as a contributing resource to historic Chevy Chase Village.

b. Proposed Addition: The project consists of a small, one-story breakfast room addition on the south (rear) of the house. The addition is integrated into the existing massing via an extension of the existing porch, and the exterior is articulated with pilasters based on the existing porch columns. Materials and details match existing, including painted wood trim and windows, flat porch roof with railings, shingle siding and brick base. Other miscellaneous alterations include reconfiguration of the basement access stair and renovated kitchen. Our intent is for the addition to be sympathetic with the existing condition, and to minimize the impact on the resource and the historic district.

Note: This proposal is a greatly reduced alternative to a prior scheme reviewed 19 December 2007.

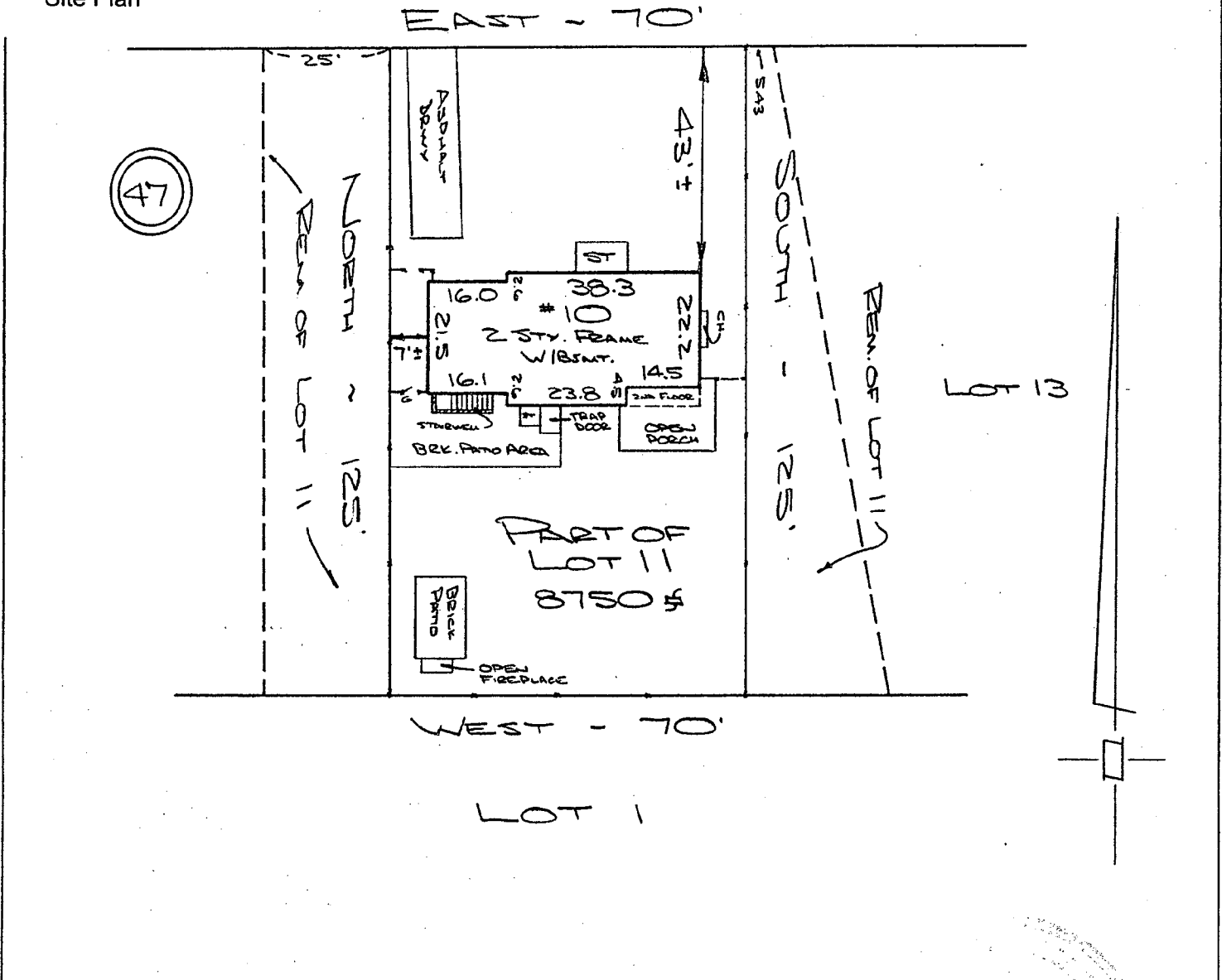
Permit Revision #2

The following revisions are proposed to the existing permit:

1. Remove the existing one-story rear porch. The porch is structurally deficient and does not comply with zoning setbacks.
2. Replace the porch with a new porch matching existing details and materials. The new porch is more narrow to conform to the side yard setback, and deeper to align with the breakfast room.
3. Add sidelights to the rear dining room doors.
4. Change the four rear windows in the breakfast room to three.
5. Adjust the pilaster detailing on the breakfast room to coordinate with the window revision in 4. above.

NEWLANDS STREET

*
Site Plan



Existing

Note: This property does not lie within the limits of a flood hazard area as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.
NOTE: This survey prepared for title purposes only.

CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines. It cannot be used for construction purposes. All information shown hereon taken from the land records of the county or city in which the property is located and field work performed.

HOUSE LOCATION
PART OF LOT 11 BLOCK 47
SEC. II
CHEVY CHASE
MONTGOMERY COUNTY, MARYLAND
Recorded in Plat Book B Plat 50 Scale 1" = 30'

I hereby certify that the position of all the existing improvements on the above described property have been established by accepted field practices, and that unless otherwise shown there are no visible encroachments.

Louis Cohen
LOUIS COHEN
Registered Land Surveyor
Maryland No. 1961

DATE: OCT. 15, 1992

CASE: 2300-92

FILE: 44744

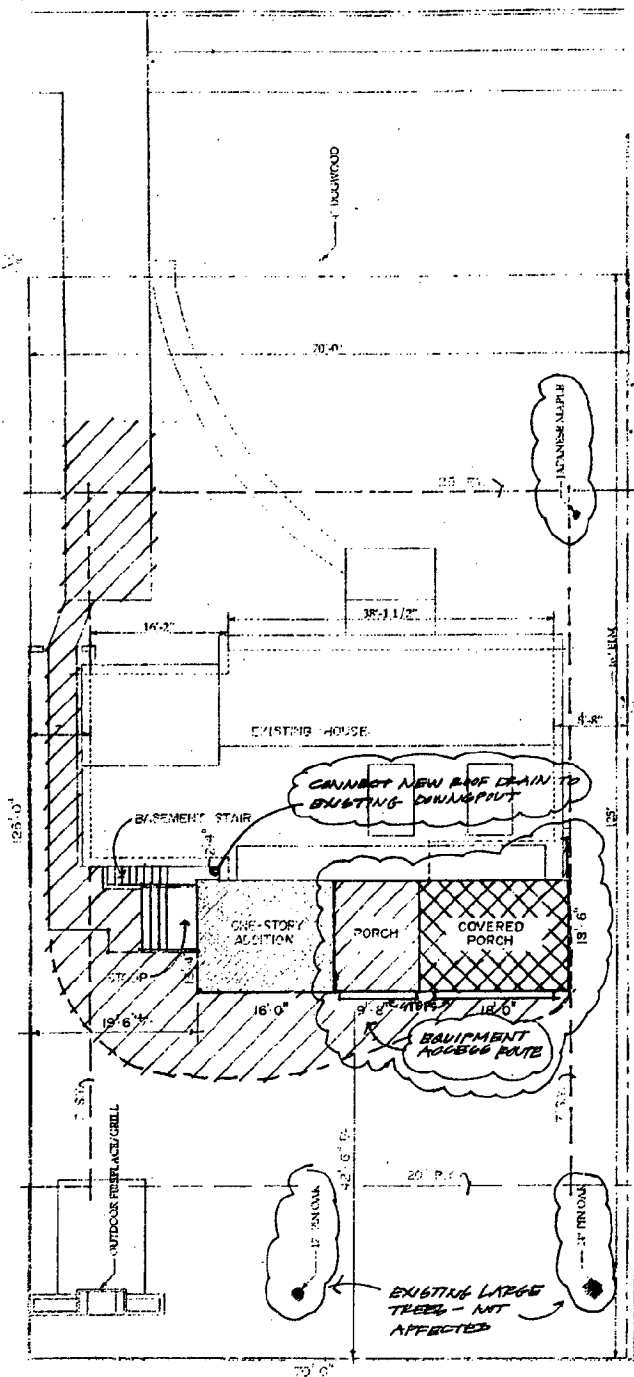
Applicant: MERRIE LOU & EDWARD SYMES III

Page: 4 of 8

* PLEASE SEE SHEET 1 OF DRAWINGS - ATTACHED

9

NEWLAYS STREET



Proposed revision



SYMES

10 NEWLAYS STREET
CHEVY CHASE, MD 20815

RIXEY-RIXEY ARCHITECTS

P.O. Box 3730
Washington, DC 20007-0230
302-333-2626

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 7416 R, expiration 06/30/2009.

PERMIT REVISION 2 29-JUNE-09
PERMIT 08-JULY-08

SCHEDULES & NOTES

2 DEC 2008

INDEX OF DRAWINGS

- 0 Cover Sheet
- 1 Notes, Site Plan, Symbols
- 2 Demolition, Structural, Wall Section
- 3 Plan, Elevation & Sections
- 7 Basement Interior Elevations
- 8 Merriellou's Bath & Powder Room
- 9 Basement Demolition, Plan, RCP /Electric
- 10 Interior Elevations & Details
- 11 Schedules

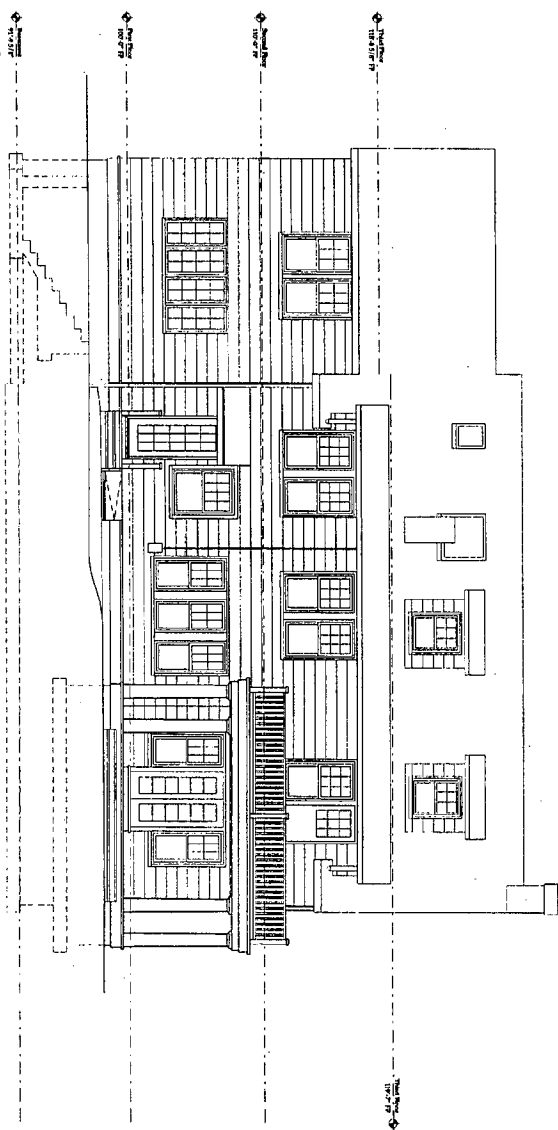


11

12

rear - Existing

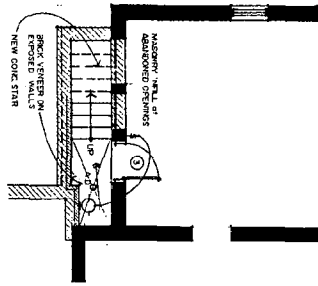
1 SOUTH
SCALE: 1/8" = 1'-0"



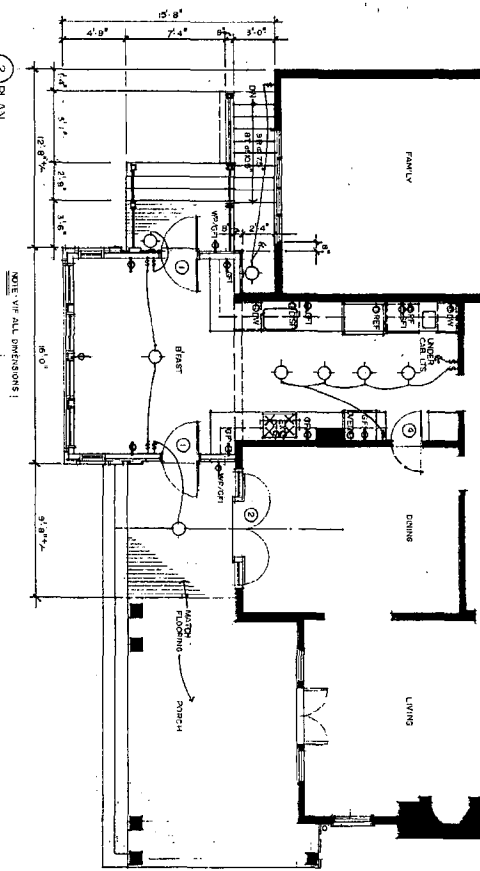
SHEETS 12 23	SCALE DATE	DRAWING TITLE EXISTING ELEVATIONS SCALE	Symes House 10 Newlands Chevy Chase, MD	
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13

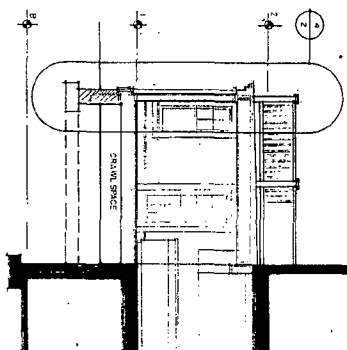
3) PARCHMENT BASEMENT PLAN



2) PLAN

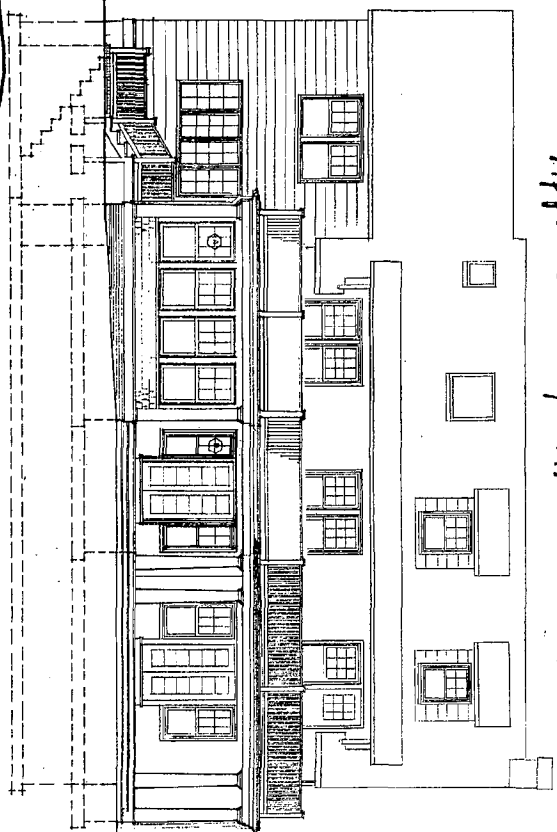


1) S-N BLDG. SECTION

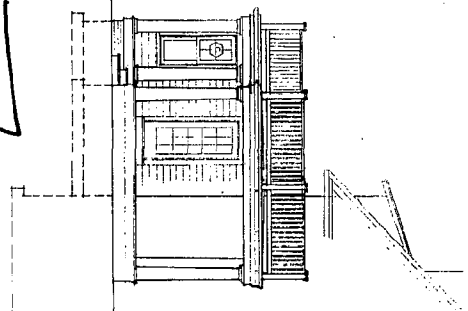


5) SOUTH

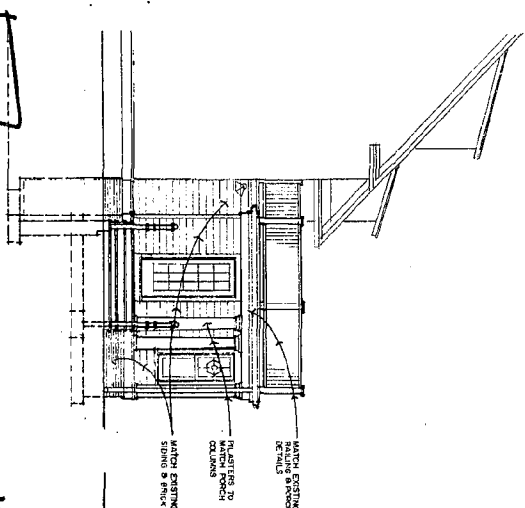
pear



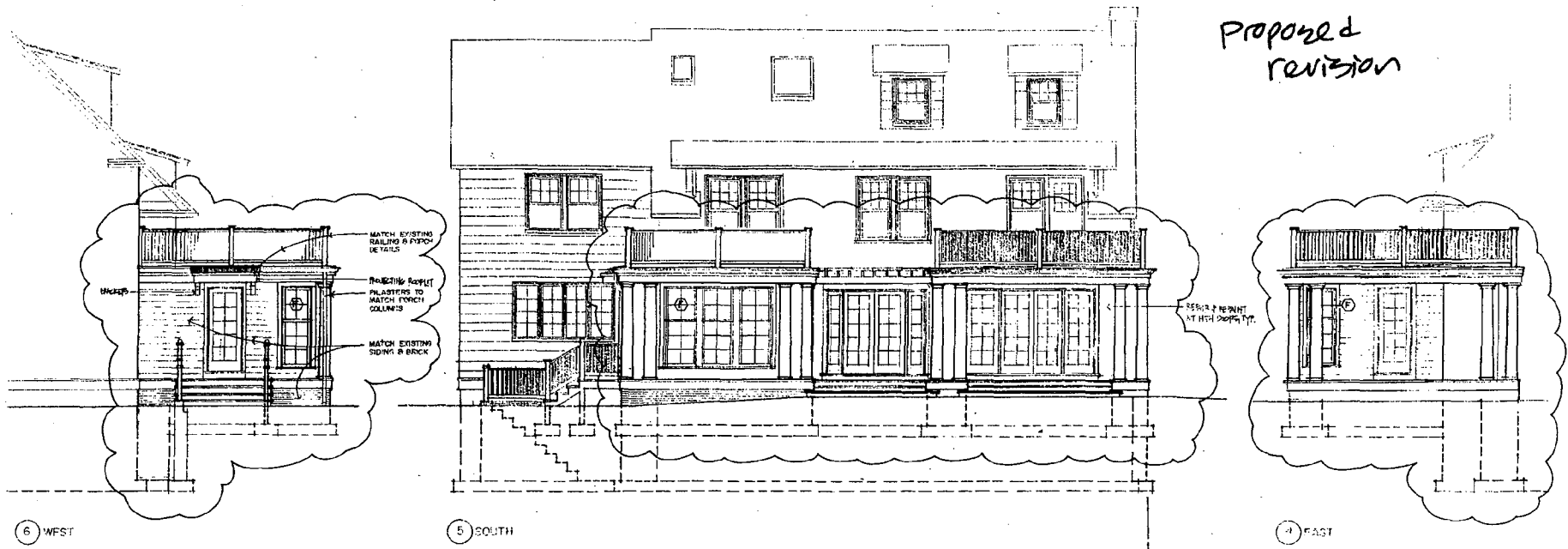
4) EAST



6) WEST



Approved by APC in 2008

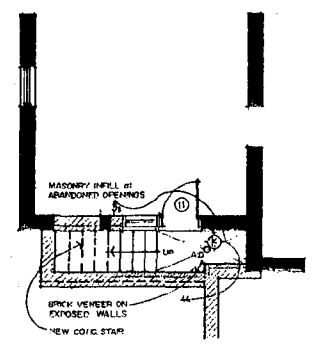


Proposed
revision

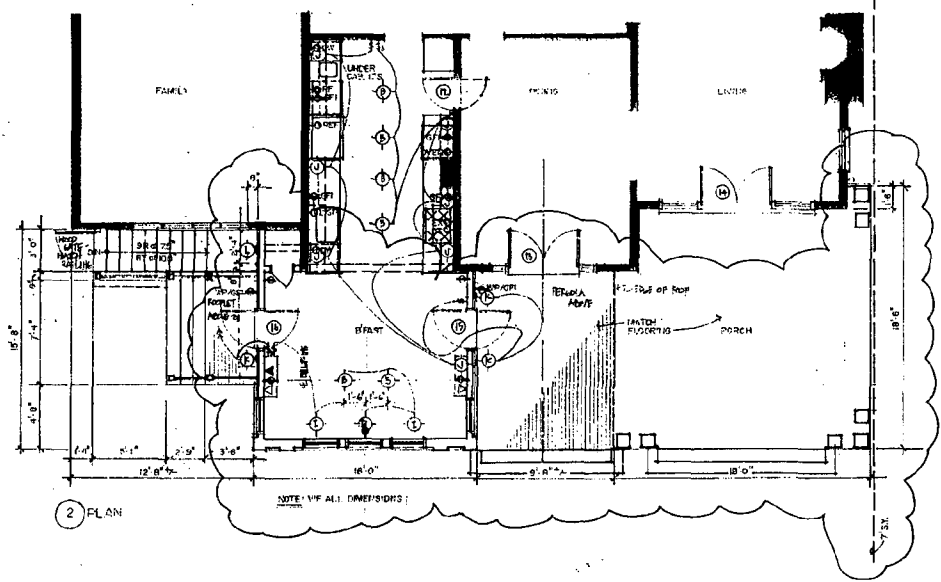
6 WEST

5 SOUTH

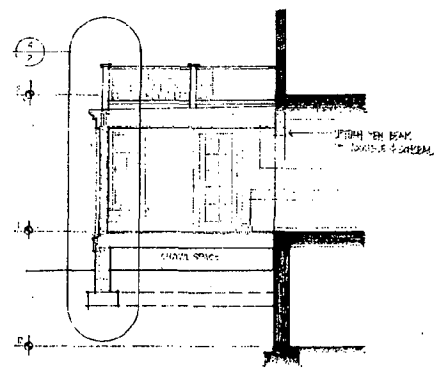
4 EAST



3 PARTIAL BASEMENT PLAN



2 PLAN



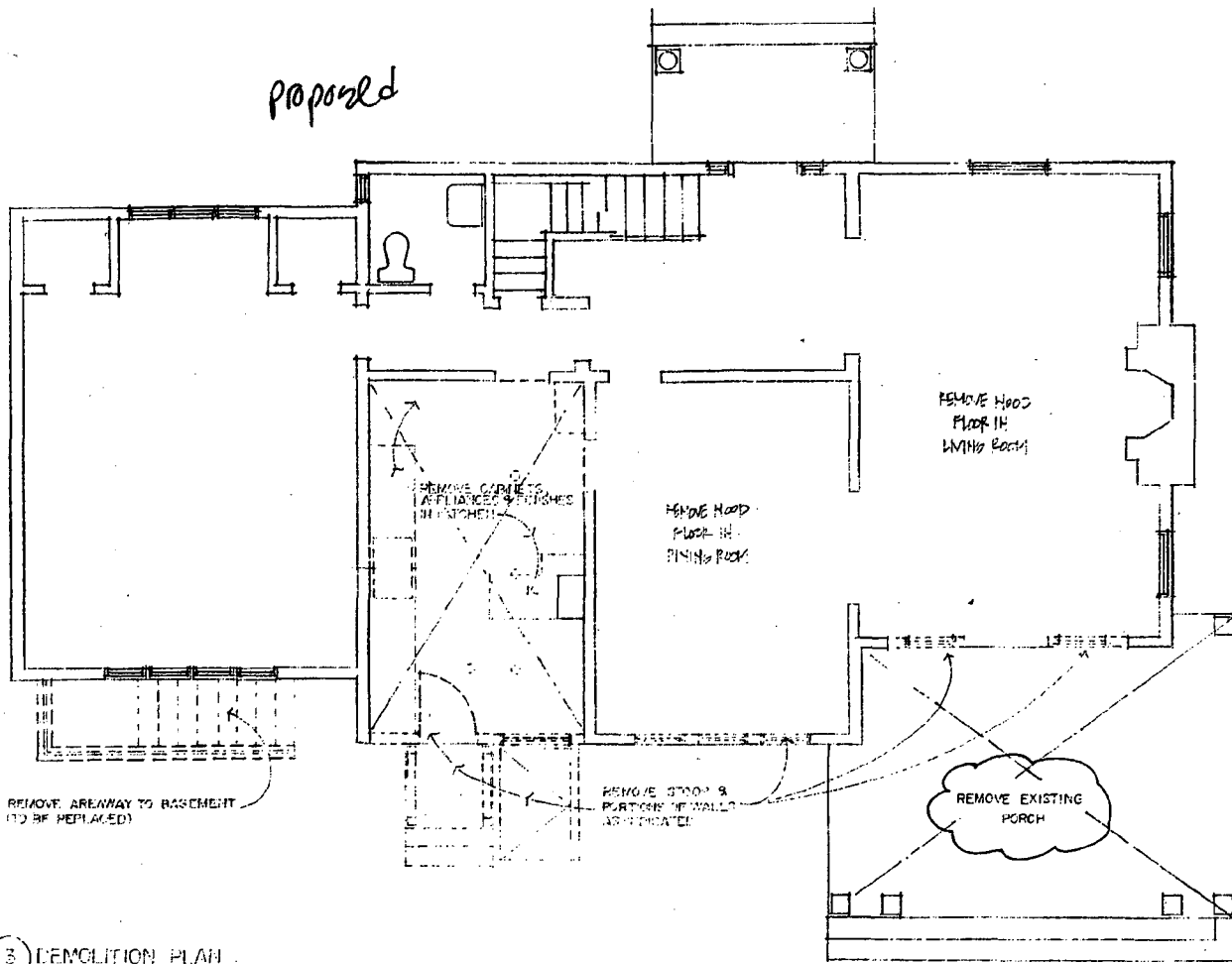
1 S11 FLOOR SECTION

14

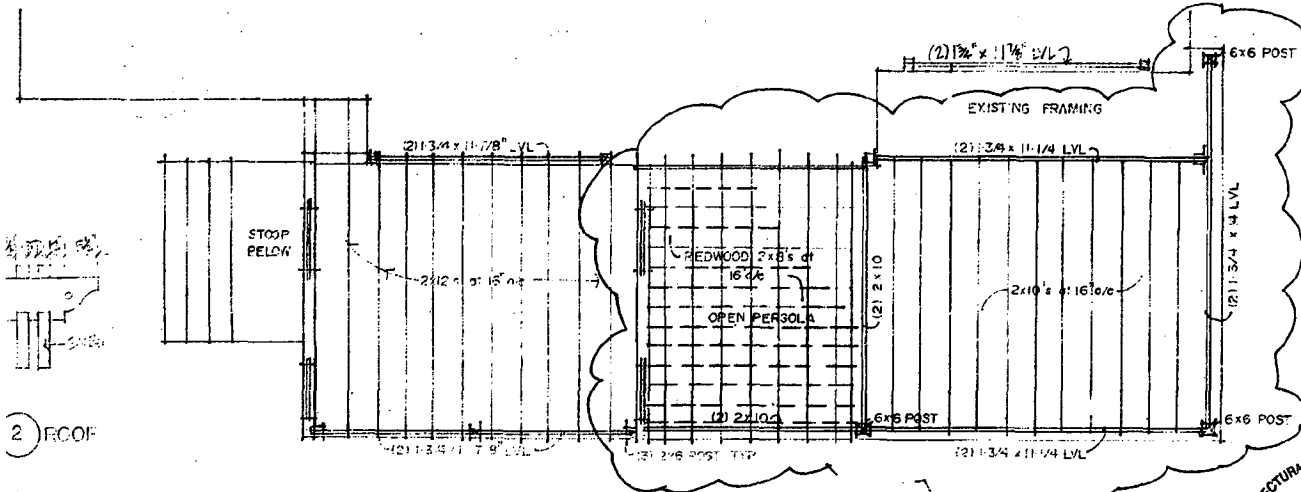


E. JAMES
 ARCHITECTS
 100 WILMINGTON STREET
 BALTIMORE, MARYLAND 21201
 P. O. Box 3750
 BALTIMORE, MARYLAND 21208
 I certify that these documents were prepared or prepared by me, and that I am a duly Licensed Professional Architect in the State of Maryland.
 License Number: 14814, expiring 06/30/2028
 PROJECT REVISION 2, 20-JUNE-19
 E. JAMES
 ARCHITECTS & INTERIORS
 100 WILMINGTON STREET
 BALTIMORE, MARYLAND 21201
 REGISTERED PROFESSIONAL ARCHITECT
 STATE OF MARYLAND
 License No. 14814

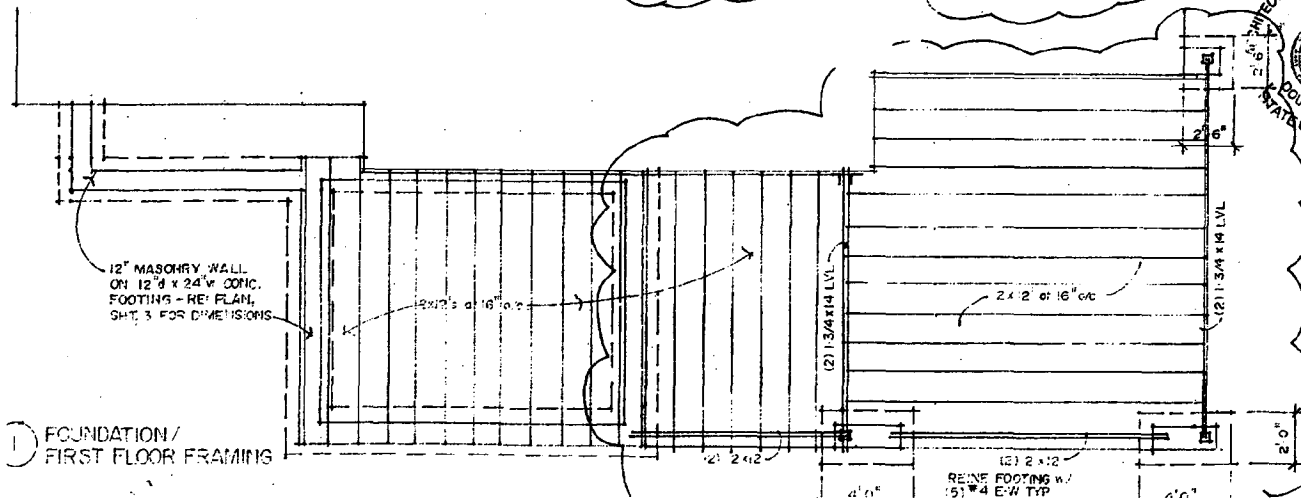
Proposed



3 DEMOLITION PLAN



2 ROOF



1 FOUNDATION / FIRST FLOOR FRAMING

SYMES
10 REYLANDS
CHEVY CHASE, MD

RIXEY RIXEY ARCHITECTS
P.O. Box 3750
Washington, DC 20007-0850
202-333-2626

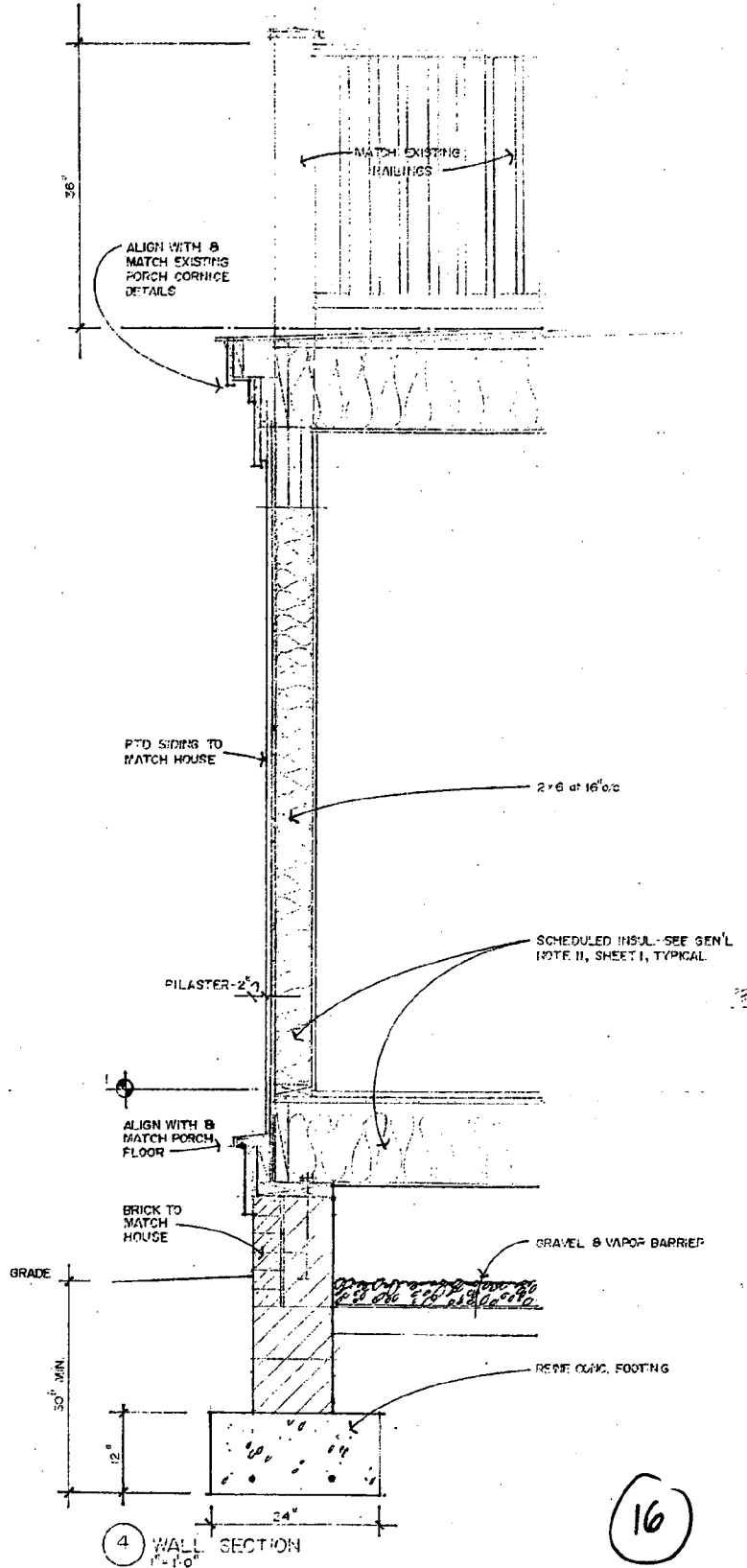
I certify that these documents were prepared or approved by the undersigned as a duly Licensed Architect under the laws of the State of Maryland. License number 7416 R, expiration date 2/29/09

PERMIT REGISTRATION BOOK 2 29 JUNE 09
PERMIT # 2009-0710-CR

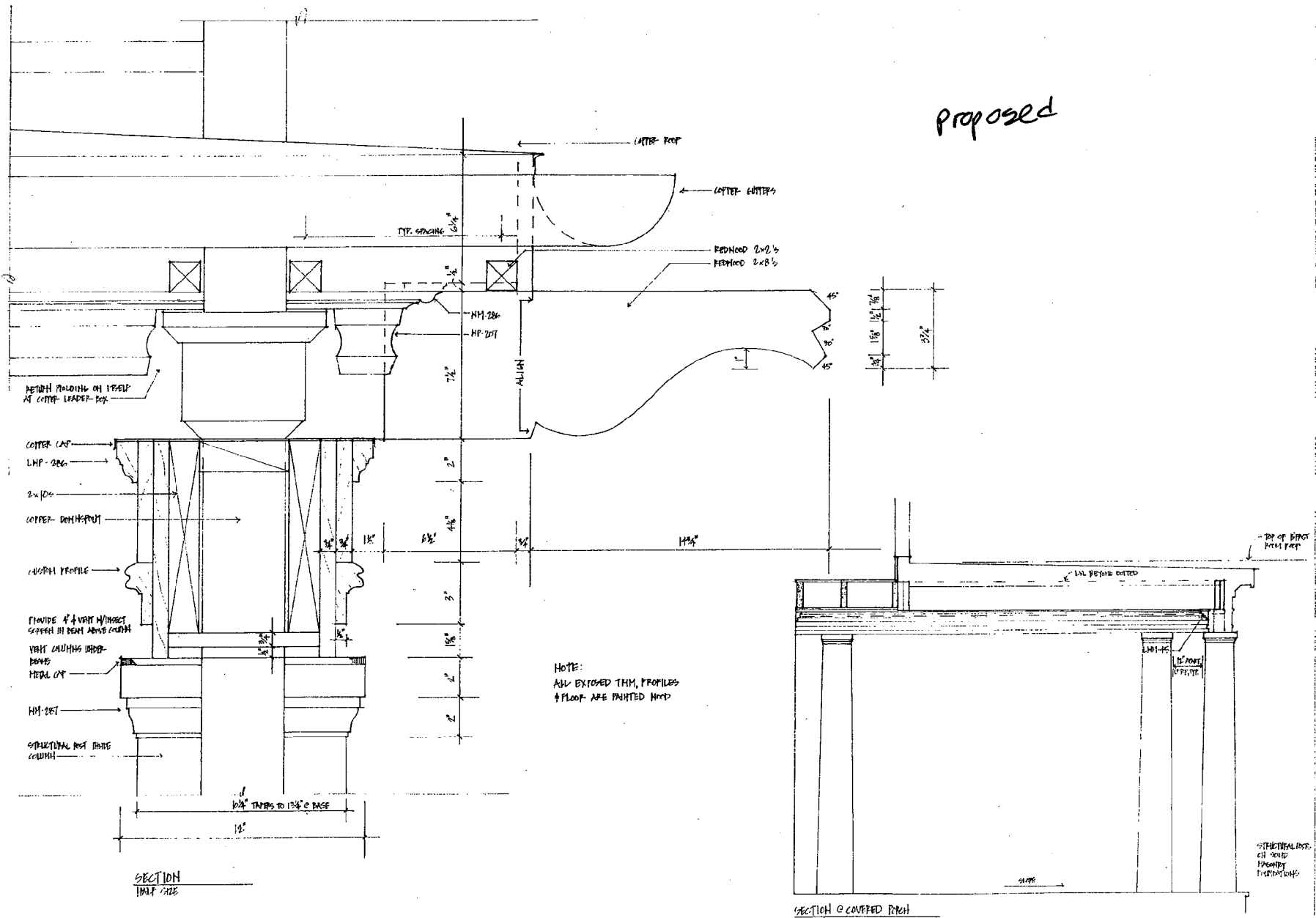


DEMOLITION STRUCT. & WALL SECTIONS
DATE AS NOTED 2-DEC-2008

proposed



Proposed



ARCHITECTURAL PROJECTS
 P.O. Box 1228
 WASHINGTON, DC 20004-0128

STRUCTURAL DETAIL
 17 JULY 2007

17

Existing Property Condition Photographs (duplicate as needed)



Detail: NORTH (FRONT) FACING NEWLANDS



Detail: NORTH (FRONT) - NO CHANGES PROPOSED

Applicant: MERRIELOU & EDWARD SYMES III

Existing Property Condition Photographs (duplicate as needed)



Detail: SOUTH (REAR)



Detail: SOUTH (REAR)

Applicant: MERRIQU & EDWARD SYMES III

(19)

Existing Property Condition Photographs (duplicate as needed)



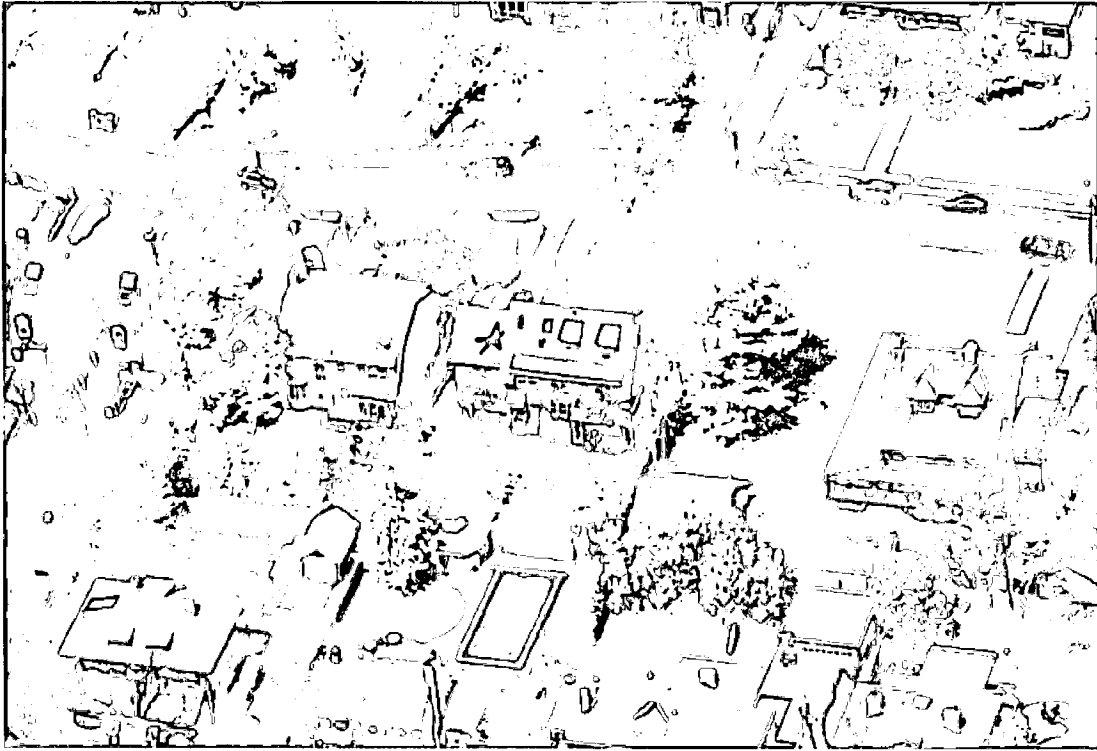
Detail: EAST (SIDE) - NO CHANGES PROPOSED

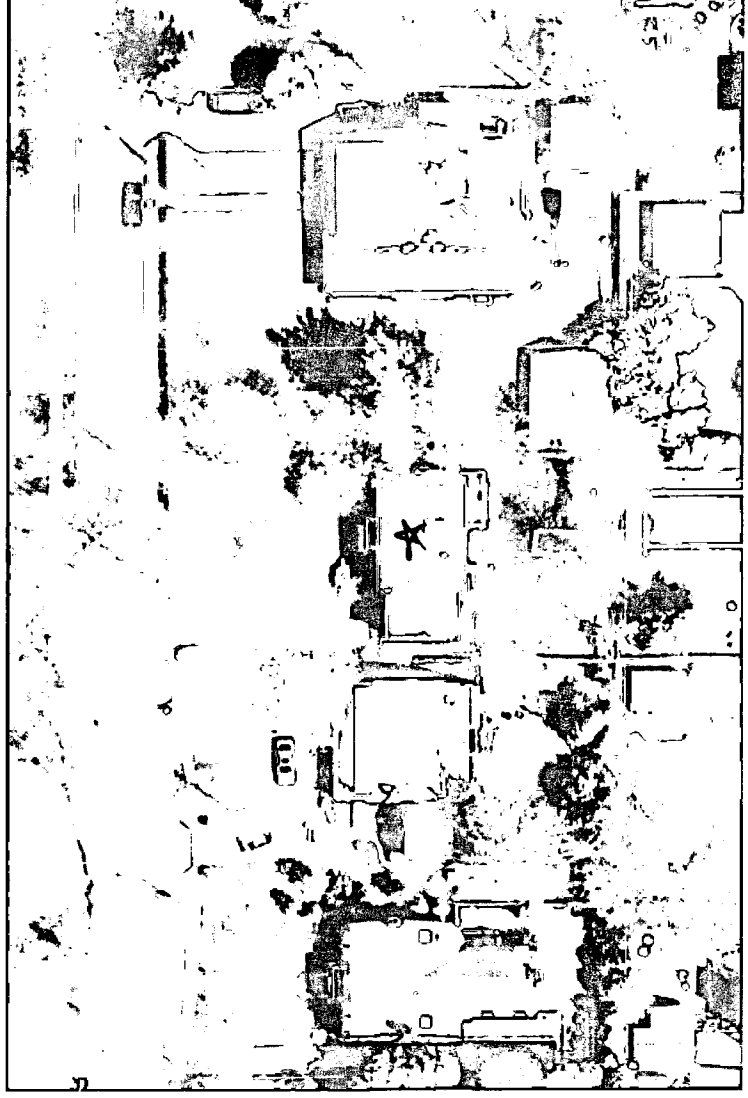


Detail: WEST (SIDE) - NO CHANGES PROPOSED

Applicant: MERRIFIELD & EDWARD SYMES III

10 Newlands











25



Fothergill, Anne

Subject: FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

LAP comments for Cases II-B, F, G, I, K, and L

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [mailto:tom.bourke@whihomes.com]

Sent: Wednesday, August 12, 2009 3:00 PM

To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua

Cc: Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)

Subject: FW: HPC Hearing 8/12/09 - 4 Qu, 23 W Irving, 33 Ox, 3810 Br, 10 New

The following are the comments from the Chevy Chase Village LAP for items on the HPC agenda for 8/12/09. Due to vacations etc, we were able to receive comments from only 3 members of the LAP:

4 Quincy

Non-contributing resource

New house construction

Staff recommendation - approval with conditions related to tree protection, new fence to be wood, 3 replacement trees

LAP comments: We had understood from Staff that the HPC on June 10th HPC had requested additional front yard setback for the main facade of the house, and we see in the minutes that there was extensive discussion of the front setback. We were disappointed that the location of the house in this submission does not appear to have been revised. In terms of square footage this will be one of the largest, if not the largest house, on Quincy St and its current location places it further forward than any of the other houses shown on the applicant's exhibit (21). All of the LAP members who were able to review this application were in agreement that the project not be approved unless the setback is increased to continue the contribute to the "park-like setting" recognized in the Guidelines. If a specific number is required, we suggest that the setback of the main front plane of the house be increased from 38.1' to the lesser of the setbacks of the two adjacent houses: 44.6'.

23 West Irving

Contributing Resource

Alterations to hardscape, shed, retaining wall, fencing

Staff recommends approval and had expedited this.

LAP concurs with Staff recommendation for approval. The LAP commends Staff for using the Expedited Approval process.

33 Oxford St

Contributing Resource

Fence installation - across side yards, 5' wooden picket

Staff recommends approval

LAP concurs with Staff recommendation

3810 Bradley

Outstanding Resource

Revision to approved addition, non-contributing garage

Staff recommends approval

LAP concurs with Staff recommendation

10 Newlands

Contributing Resource

Revisions to approved addition (in rear)

Staff recommends approval

LAP concurs with Staff recommendation

Staff Item—Anne Fothergill
10 Newlands Street, Chevy Chase
January 14, 2009

The HPC approved a HAWP in August 2008 for a rear addition to the house at 10 Newlands Street (Contributing Resource). The applicants are now proposing minor changes at the rear of the house—changes to the pattern of the wood French doors on the rear addition and a wood pergola instead of a porch in the center connecting the two rear porches. They also propose to replace the below-grade basement windows with wood windows. All of these changes are allowable and staff is asking the HPC to approve staff level approval of these changes.

HPC approved 1-14-09

Fothergill, Anne

From: Douglas Rixey [drixey@verizon.net]
Sent: Thursday, January 08, 2009 11:55 AM
To: Fothergill, Anne
Subject: Symes Residence - 10 Newlands Street

The revisions to the previously approved design are:

- 1) Replace (7) basement windows (below grade, not visible) to match existing
- 2) Alter the design of (2) rear French door openings to result in equal door sizes
- 3) Alter the design of the rear porch extension to have a pergola connector (adjacent to the dining room) between the two railed porch roof elements

Douglas Rixey, AIA
RIXEY-RIXEY Architects
mail PO Box 3750
street 3409 1/2 M Street NW
Washington, DC 20007
202-333-2626 tel
202-333-0688 fax
www.rixeyrixeyarchitects.com

Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, January 09, 2009 12:41 PM
To: 'Lucas, Gail'
Cc: 'Douglas Rixey'
Subject: HAWP to purge

Gail,

Please purge HAWP # 502965 for 10 Newlands Street, Chevy Chase. The changes that are proposed to the already approved HAWP (# 490845) are very minor and do not require a revised HAWP. The applicants will bring the stamped revised plans to DPS once they have been reviewed and approved by the HPC on January 14th.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Historic Preservation Section - Countywide Planning
Montgomery County Planning Department
The Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Douglas Rixey AIA
Daytime Phone No.: 202-333-2626

Tax Account No.: 000457655

Name of Property Owner: MERILOU & EDWARDS Symes III Daytime Phone No.: 301-656-2030

Address: 10 NEWLANDS ST. CHEVY CHASE 20815
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Douglas Rixey AIA Daytime Phone No.: 202-333-2626

DAVID ISAAC PERMIT PROCESSOR 571-217-1879

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: NEWLANDS STREET

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD

Lot: 11 Block: 47 Subdivision: SECT II CHEVY CHASE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # 493590

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

12-30-09
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 490845 502965 Date Filed: 1/2/09 Date Issued: _____

Revision



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 08/14/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #490845 – Rear addition and alterations to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the August 13, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Merriellou and Edward Symes III
Address: 10 Newlands Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
301-563-3400

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: DOUGLAS RIXEY, AIA

Daytime Phone No.: 202.333.2626

Tax Account No.: 00457655
Name of Property Owner: MERRILL EDWARD SYMES III Daytime Phone No.: 301.656.2030
Address: 10 NEWLANDS ST., CHEVY CHASE 20615
Street Number City Street Zip Code
Contractor: KEN IVEY/IVEY BLDGS., INC. Phone No.: 703.851.2090
Contractor Registration No.: 51541
Agent for Owner: DOUGLAS RIXEY, AIA Daytime Phone No.: 202.333.2626

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: NEWLANDS
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD
Lot: 11 Block: 47 Subdivision: SEC. 11, CHEVY CHASE
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Well (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Merrill H. Symes
Signature of owner or authorized agent

7-11-08
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 8-14-08

Application/Permit No.: 490845 Date Filed: 7-21-08 Date Issued: _____

Manarolla, Kevin

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Wednesday, August 13, 2008 9:21 AM
To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua
Cc: CCV@montgomerycountymd.gov; Bob Elliott; FeldmanGS@aol.com; abjdoe@gmail.com; r.marshes@verizon.net; Stephens, Betsy; Wellington, P. (ccv)
Subject: CCV LAP comments for 8/13/08: 10 Newlands, 3800 Bradley; 31 W Irv.

The following are the comments by the Chevy Chase Village LAP for submissions on the HPC agenda for 8/13/08:

10 Newlands
Contributing Resource
rear addition and alterations

Staff recommends approval; LAP concurs with approval recommendation; as a Contributing Resource, "most changes to the rear of the property should be approved as a matter of course" and exterior trim, doors and windows, should be subject to lenient scrutiny since it not visible from the public ROW.

Expedited Reviews
3800 Bradley (rear deck) and 31 W Irving (wrought iron handrail):
LAP concurs with approval by Expedited Review and encourages the use of Expedited Review whenever possible.

The LAP is attempting to send a representative to tonight's hearing to testify on the proposed guidelines. However as this is the vacation month of August we are having difficulty locating an attendee. We do wish to reiterate firmly our written testimony already provided on 8/4/08.

i/ Submitted for the LAP by
Tom Bourke
Chair

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10 Newlands Street, Chevy Chase	Meeting Date:	8/13/08
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	8/6/08
Applicant:	Merriellou and Edward Symes III (Douglas Rixey, Architect)	Public Notice:	7/30/08
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-08P	Staff:	Anne Fothergill
Proposal:	Rear addition and alterations to house		

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: 1908

The existing house is a two-story, three-bay, side gable roof dwelling with an entry portico detailed with a roof balustrade, a broad denticulated cornice and supported by Corinthian columns. A one-bay, side extension protrudes from the west elevation of the house. The house is clad in cedar shingles and the roof is sheathed in slate. The house is detailed with a variety of windows including single, and paired 6/6 double hung, 6/1, 8/1, 9/1 double hung, multi-light casements, and arched windows. Most of the windows have operable louvered shutters.

The lot contains a driveway stretching along the west, front property line and a curved brick walkway leads from the driveway to the front door. Several mature trees and shrubbery decorate the existing lot.

BACKGROUND

In 2007 the HPC approved a HAWP for a rear addition and alterations to this house. The approved rear addition was two-story and larger than the current proposal. The approved plans are in Circles 24-27.

PROPOSAL

The applicants are proposing changes at the rear of the house: construction of a one-story addition and open porch and reconfiguration of the existing basement stairs. The porch and addition will have materials to match the house including wood shingles, wood windows and doors with simulated divided lights, brick base, wood pilasters, and wood inset picket railings.

APPLICABLE GUIDELINES

When reviewing alterations and additions within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in March 1998, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

- Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.
- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village's open park-like character. It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The Commission previously approved a rear addition to this house that was larger than the current proposal. The proposed additions are located at the rear of the house and the design and material selections will be compatible with the existing house. Staff recommends that the HPC approve this HAWP application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural

or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240.777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: DOUGLAS RIXEY, AIA

Daytime Phone No.: 202.333.2626

Tax Account No.: 00457655

Name of Property Owner: MERPELON EDWARD SYMES III Daytime Phone No.: 301.656.2030

Address: 10 NEWLANDS CT., CHEVY CHASE 20915
Street Number City State Zip Code

Contractor: KEN IVEY/IVEY BLDGS., INC. Phone No.: 703.851.2090

Contractor Registration No.: 51541

Agent for Owner: DOUGLAS RIXEY, AIA Daytime Phone No.: 202.333.2626

LOCATION OF BUILDING/PREMISE

House Number: 10 Street: NEWLANDS

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE ROAD

Lot: 11 Block: 47 Subdivision: SEC. 11, CHEVY CHASE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 100,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Merpeleon H. Symes
Signature of owner or authorized agent

7-11-08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 490845 Date Filed: 7/16/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

(5)

1 OF 8

R I X E Y - R I X E Y A R C H I T E C T S

Symes Residence
10 Newlands Street

08 July 08

Description of Project

a. Existing Condition: The existing 2-1/2 story frame house dates from c. 1908, with a later 2-story addition. The house is classified as a contributing resource to historic Chevy Chase Village.

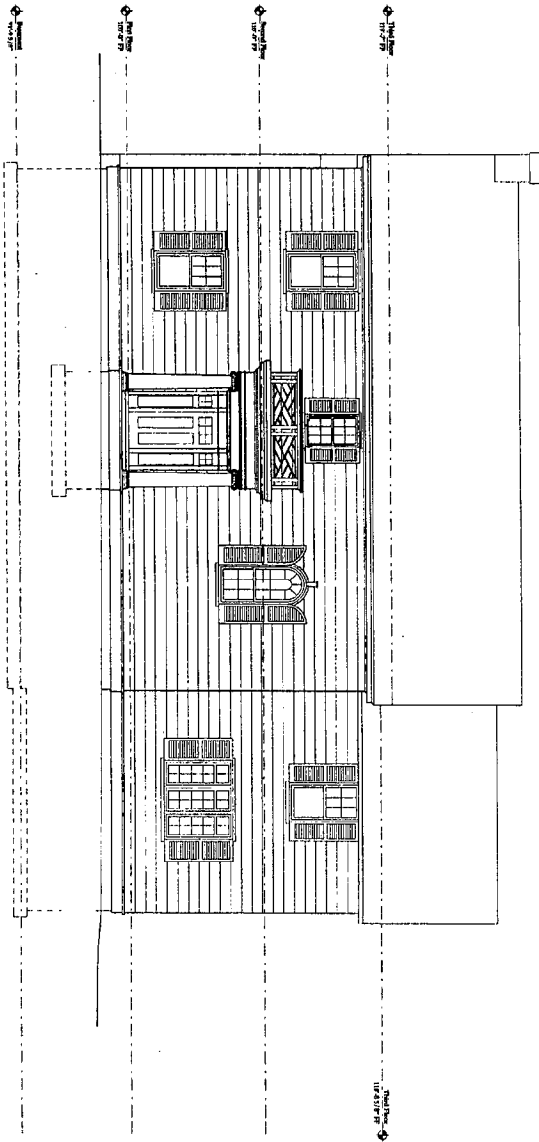
b. Proposed Addition: The project consists of a small, one-story breakfast room addition on the south (rear) of the house. The addition is integrated into the existing massing via an extension of the existing porch, and the exterior is articulated with pilasters based on the existing porch columns. Materials and details match existing, including painted wood trim and windows, flat porch roof with railings, shingle siding and brick base. Other miscellaneous alterations include reconfiguration of the basement access stair and renovated kitchen. Our intent is for the addition to be sympathetic with the existing condition, and to minimize the impact on the resource and the historic district.

Note: This proposal is a greatly reduced alternative to a prior scheme reviewed 19 December 2007.

21

Front - Existing / Proposed

1 NORTH
SCALE 1/8" = 1'-0"



	ARCHITECT
	DATE

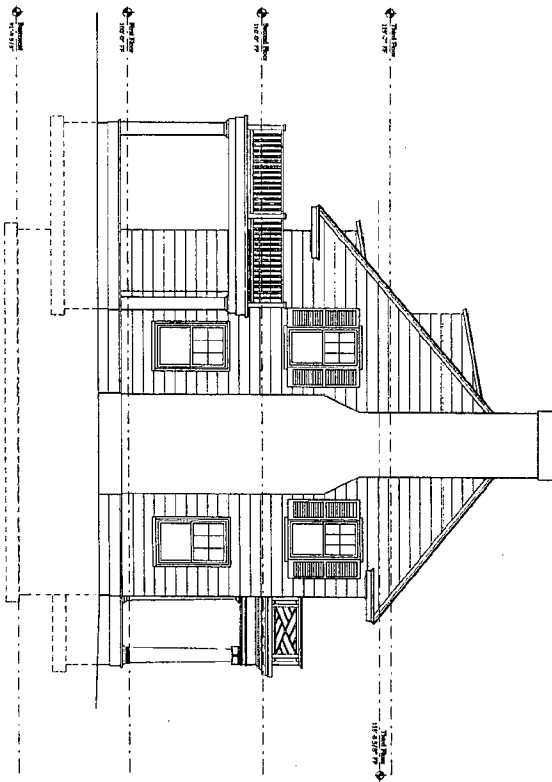
REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING TITLE
EXISTING ELEVATIONS
SCALE

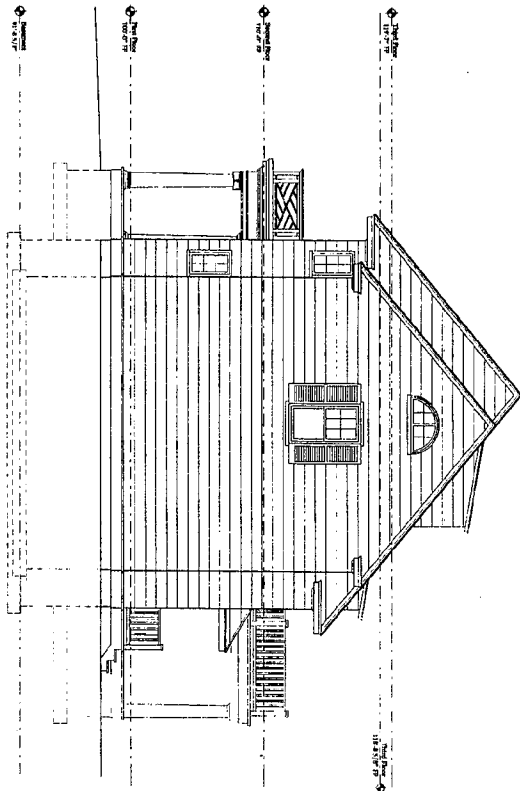
Symes House
10 Newlands Chevy Chase, MD

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13



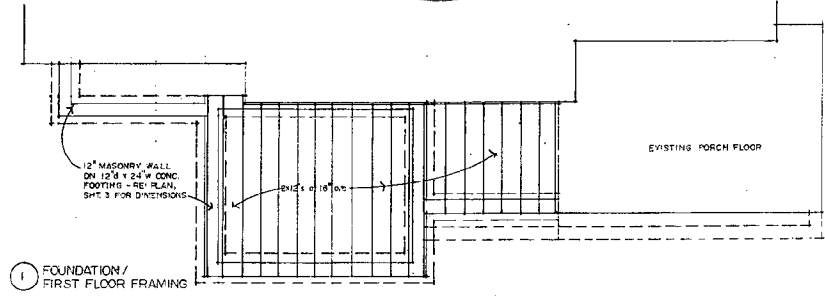
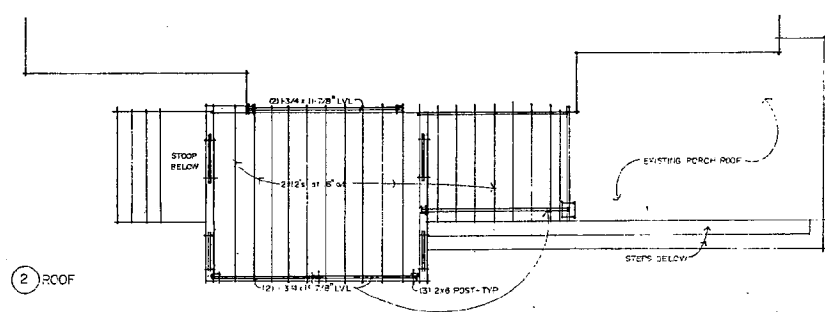
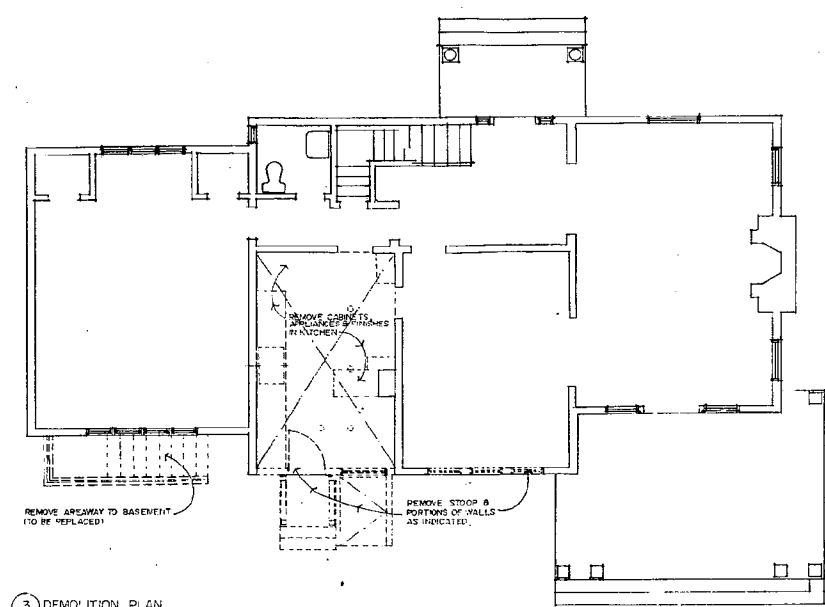
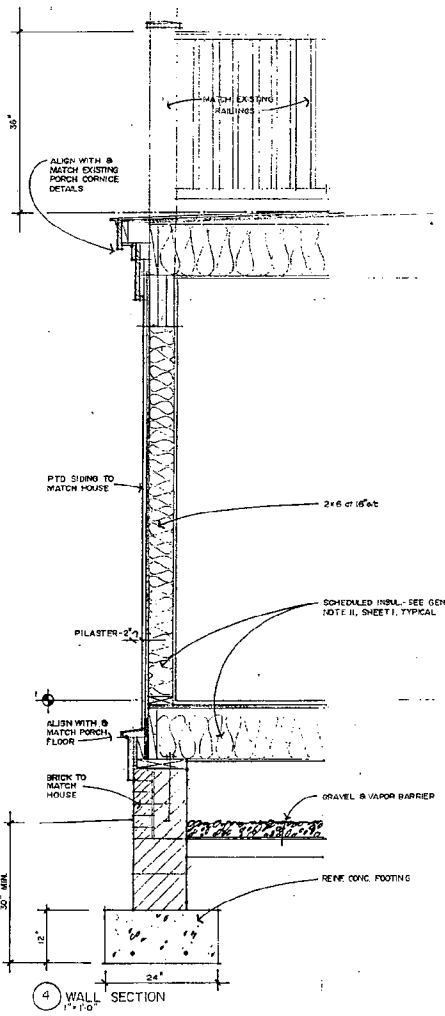
2 EAST
SCALE: 1/8" = 1'-0"



1 WEST
SCALE: 1/8" = 1'-0"

EXISTING
(see proposed in circle 11)

	DRAWING TITLE EXISTING ELEVATIONS	SCALE: 1/8" = 1'-0"	DRAWING TITLE Symes House 10 Newlands Chevy Chase, MD	
--	---	------------------------	---	--



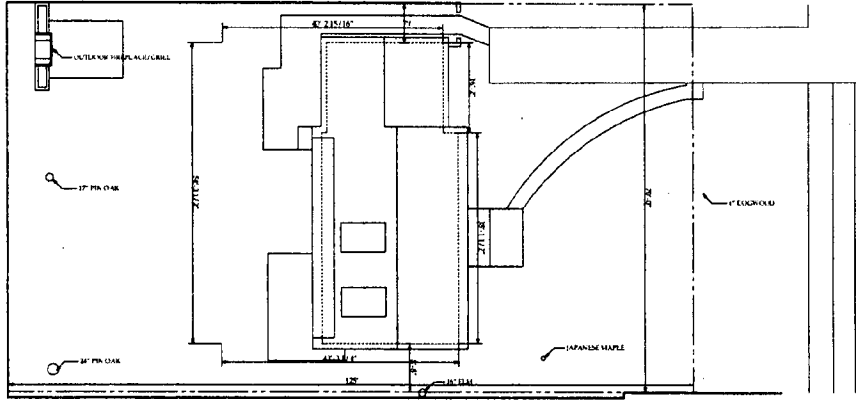
proposed

14

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h2

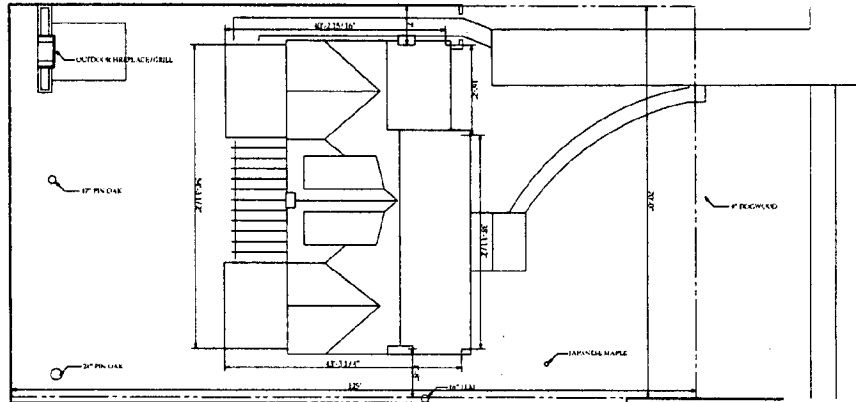


1 EXISTING CONDITIONS SITE PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

Approved in 2007



SHEET NO.
A-0.1

PRINT DATE: 2/21/07
SCALE: 1/8" = 1'-0"

NOISE
DATE

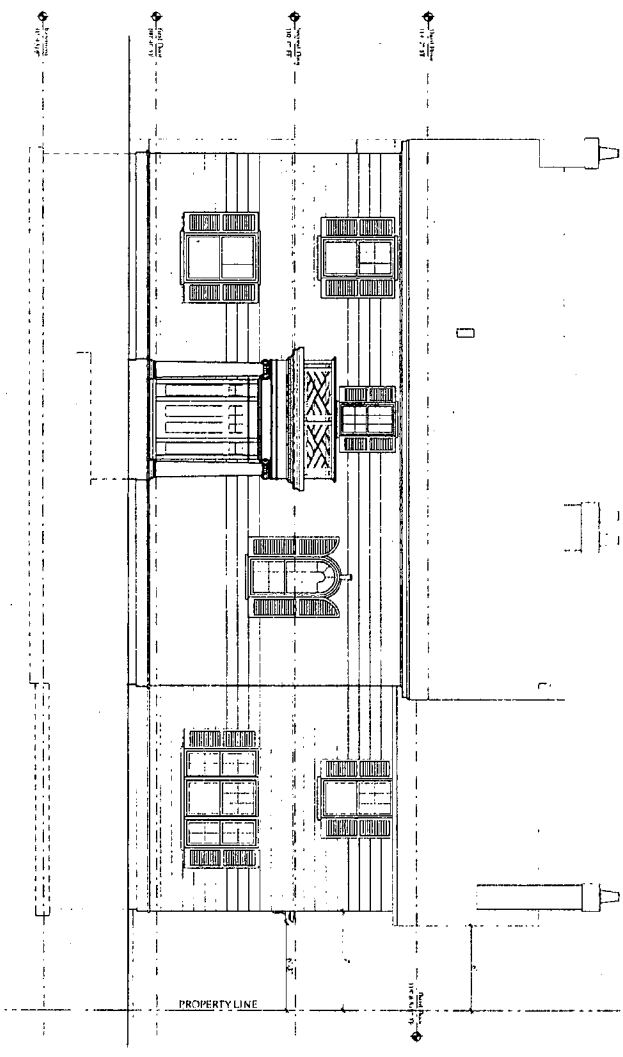
DRAWING TITLE:
SITE PLAN
SCALE:

Symes House
10 Newlands
Chevy Chase, MD

OUTERBRIDGE HORSEY ASSOCIATES, PLLC.
1228 11/2 31ST STREET, NW
WASHINGTON DC, 20007
TEL: 202.337.7334 FAX: 202.337.7331
COPYRIGHT 2007 OUTERBRIDGE HORSEY ASSOCIATES, PLLC.

52

2 NORTH ELEVATION



~~PROPOSED~~ Approved in 2007

SHEET NO. A-2.11	PRELIMINARY ELEVATION	DRAWING TITLE PROPOSED OPTION B ELEVATIONS	Symes House 10 Newlands Chevy Chase, MD	OUTERBRIDGE HORSEY ASSOCIATES, PLLC. 1225 11/23/07 STREET NW WASHINGTON, DC 20007 TEL 202.337.7334 FAX 202.337.7331
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OUTERBRIDGE HORSEY ASSOCIATES, PLLC
 125-1/2 1ST STREET, NY
 WASHINGTON, DC 20002
 TEL: 202-477-7334 FAX: 202-477-7331
 E-MAIL: OHA@OUTERBRIDGEHORSEY.COM WWW.OHA.COM

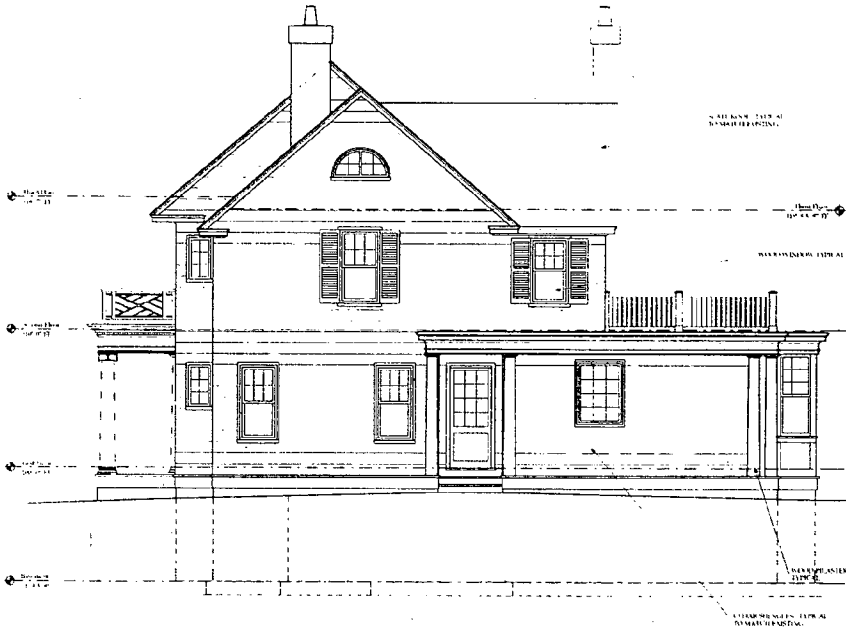
Symes House
 10 Newlands
 Chevy Chase, MD

PROPOSED OPTION
 B ELEVATIONS

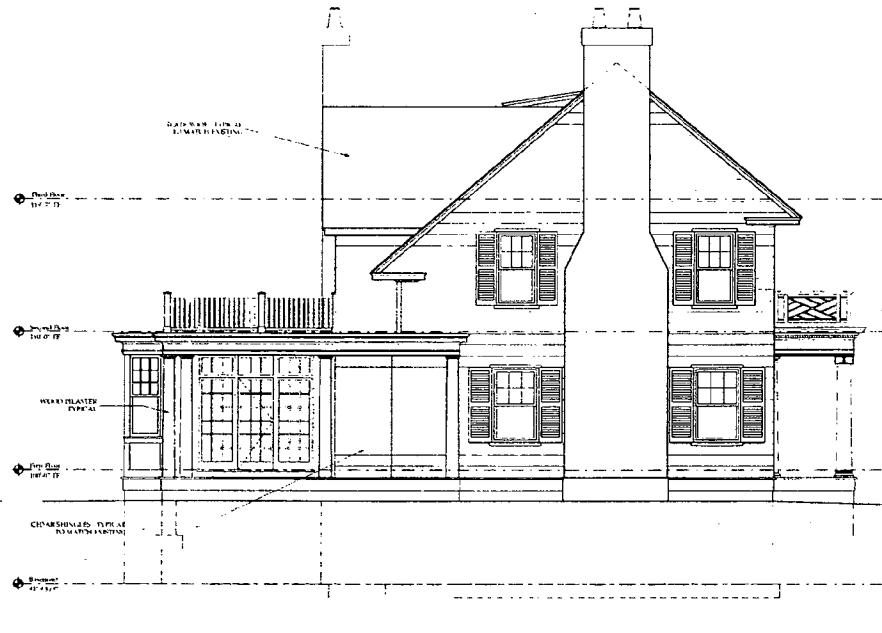
DATE	BY

PRINT DATE: 12-11-07

SHEET NO.
 A-2.1.3



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



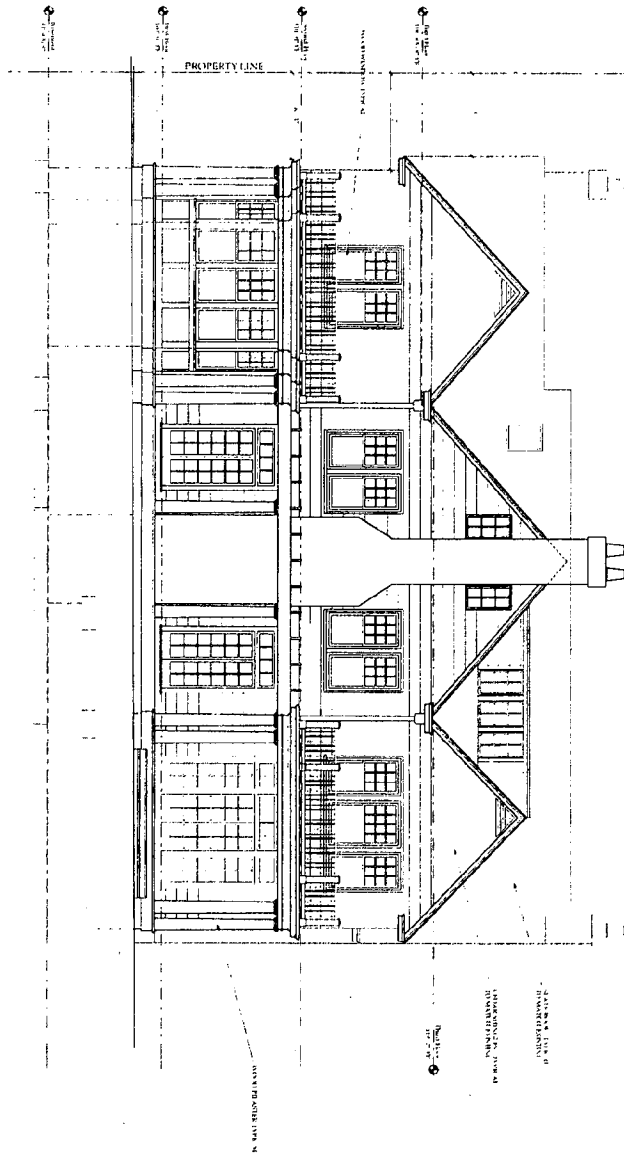
2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

~~PROPOSED~~ Approved M 2007

36
 26

51
t2

2 SOUTH ELEVATION



~~PROPOSED~~ Approved M 2007

DATE: 11/11/07
A-2.1.2

SCALE: 1/8" = 1'-0"

NO. 1
DATE: 11/11/07

DRAWING TITLE
**PROPOSED OPTION
B ELEVATIONS**

Symes House
10 Newlands
Chevy Chase, MD

OUTERBRIDGE HORSEY ASSOCIATES, PLLC.
125-112 21ST STREET, NW
WASHINGTON, DC, 20007
TEL: 202 337 7334 FAX: 202 337 7331

890 845
Historic

SYMIES

10 NEWLANDS STREET
CHEVY CHASE, MD 20815

PERMIT
08 JULY 08

RILEY · RILEY ARCHITECTS

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 8-13-08

SPECIFICATIONS

GENERAL NOTES

- The General Conditions of the Contract for Construction, AIA A201, 1997 Edition published by the American Institute of Architects is made part of this specification.
- The General Conditions are modified as follows: Article 1, Section 1.2 Execution Correlation and Intent, add: All discrepancies and ambiguities in the Contract Documents shall be interpreted as that which results in the most complete performance. Contractors shall examine the site before submitting any bids, as no extras will be allowed due to failure to understand all conditions or due to any discrepancies between actual conditions and those indicated. Refer differences to the Architect for resolution before beginning work. All structural, mechanical, plumbing and electrical details and devices necessary to comply with local and state regulations shall be supplied under this contract without additional cost to the Owner.
- Prior to commencement of construction, General Contractor (G.C.) to meet with Owner and Architect to review Contract Documents and Schedule.
- All work shall be performed in accordance with the BOCA Code, applicable edition, the CABO One and Two Family Dwelling Code, applicable edition, and all other applicable codes and ordinances as adopted by the State of Maryland, Montgomery County and the Village of Chevy Chase.
- Owner to secure and pay for general building permit. G.C. shall secure and pay for all other related permits, inspections and fees.
- All dimensions are to finish face of wall unless noted otherwise. Drawings at a larger scale shall take precedence over drawings at a smaller scale. Notify Architect of any inconsistencies before proceeding.
- G.C. to coordinate schedule of Owner supplied items with Owner to ensure timely arrival at job site. G.C. responsible for scheduling and coordination of the trades to avoid unnecessary delays.
- G.C. responsible for the proper discontinuance of utilities as required and for new utility hook-ups, including water, sewer, electric, gas, telephone and cable tv as necessary.
- Site is to be maintained in a clean and orderly manner; G.C. to remove and dispose of trash and debris in a timely fashion.
- G.C. responsible for restoring finish grade and furnishing a 4" layer of new topsoil around addition. Owner shall be responsible for grass seeding and landscaping.
- Block insulation with the following R values: for floors and ceilings R-30 or R-38C foil or kraft paper face to interior surface; for 2x6 walls R-21 kraft paper face to interior surface; for 2x4 walls R-15 kraft paper face to interior surface. Insulate laundry rooms and interior bathroom walls and floor cavities with batt insulation to reduce sound transmission.
- Provide blocking as required for attachment of bath accessories prior to beginning drywall work.
- Gypsum wallboard shall be 1/2" thick and shall be attached to wood studs with gypsum board screws or ring shank nails only. GWB shall have allowable tolerance of 1/4" in 8'-0" maximum length variation from plumb or level.
- Provide brass door stops throughout, mounted on baseboard or hinge depending on condition.
- Running trim to be paint-grade. Wood trim to be filled and sanded smooth prior to painting.
- Wood flooring shall be 27/32 x 2-1/4" in Second and Better, T & G and EM, KD Quarter sawn red or white oak to match existing. Board lengths shall be 5'-0" minimum. Finish shall be two coats polyurethane to match existing.
- Allowable tolerances for doors: 1/8" size plus or minus; maximum warp: 1/4" plus or minus. Undercut interior doors minimum amount necessary to ensure proper function.
- Provide aluminum interlocking thresholds and complete copper weatherstripping on all doors which lead into unconditioned space.
- G.C. to install flashing at all new window heads, horizontal wood trim stops, window sills and at bottom of cavity walls.
- G.C. to ensure flush transition from existing work to new work.
- G.C. to provide soil treatment for termite control for new work. Warn workers that poison has been applied to soil and comply with manufacturer's recommendations.
- Provide "T-estragal" on any pairs of french doors with two edge bolts, top and bottom, mortised on door edge, of inactive leaf. Each pair french doors to have knobs/levers on both leafs, active and inactive.
- Pocket door hardware shall be extra heavy duty of best quality. Wobblers and catches in operation are not acceptable.
- Hardware shall be removed and reinstalled after finish painting.
- Prior to beginning painting, Architect shall furnish color schedule. All surfaces requiring painting shall have one primer coat and two finish coats. Finish coats must be rolled and may not be sprayed. All paint to be Benjamin Moore or Sherwin Williams of the types listed:
 - Metak: 1 coat metal primer, 2 coats high gloss oil based enamel
 - Wood (Interior): 1 coat oil based wood primer, 2 coats semi-gloss oil based enamel
 - Wood (Exterior): 1 coat oil based wood primer, 2 coats semi-gloss super latex exterior paint
 - Masonry (Exterior): 1 coat masonry primer, 2 coats masonry flat paint
 - GWB: 1 coat latex wall primer, tinted as required, 2 coats flat latex wall paint
- Stained Wood (Interior): 2 coats oil based stain by Behlens or Minwax as needed to cover evenly, sand, seal and apply satin finish

DEMOLITION NOTES

- Brace structure as necessary during demolition to prevent structural damage to new and existing work. Protect the existing exterior facing, roof and trim from damage during demolition; also protect interior walls, doors, trim, ceilings, floors and stairs from unnecessary damage. Extreme care shall be taken to protect the integrity of the existing construction at all times. G.C. shall bear the cost of repairs or replacement for all damage to any part of the existing construction or adjoining properties.
- Provide temporary water-proofing and security following all exterior wall and roof demolition work.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to, nails, hooks, wires, etc. G.C. to remove all demolished material from the jobsite as soon as possible following demolition.
- Coordinate removal of personal belongings or furnishings from affected areas with Owner.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect and Structural Engineer specifying location and requesting consent to proceed with cutting or drilling.

STRUCTURAL NOTES

- All work and materials shall comply with the requirements of all local codes and ordinances in effect.
- Live loads: Floors 40 psf
Roof 30 psf
Decks 40 psf
Dead loads: Floors 10 psf
Roof 17 psf
Decks 20 psf
Lateral loads: Wind 20 psf, speed 90 mph, exposure C
Height and exposure adjustment coefficient: one story - 1.29
two story - 1.40
- Seismic: Design Category A
Design Codes: (Latest Editions)
a. NDS National Design Specification for Wood Construction
b. NCMAS Specification for the Design and Construction of Bearing Concrete Masonry
c. AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings
d. ACI 301 Specifications for Structural Concrete for Buildings
4. Footing condition at existing house to be verified during excavation. Any deviations from assumed condition or design details to be reviewed by Architect and Structural Engineer prior to construction.
- Foundations: Footings are designed to bear on undisturbed soil with an assumed bearing value of 2000 psf. Bottoms of footings shall extend 1'-0" minimum into undisturbed soil, and where subject to frost action, at least 2'-0" below finished grade. Footings shall be extended below elevations shown where necessary to reach the design soil bearing value. Unless otherwise indicated on the drawings, all wall footings shall be 24" wide x 12" thick. All column footings shall be 36" x 36" x 12" thick.
- Foundation anchorage: All wood plates shall be anchored to the foundation with 1/2" diameter anchor bolts spaced 6'-0" on center (maximum of 12" from end of plate). Bolts shall extend a minimum of 7" into concrete or grouted masonry. Foundation anchor straps, equivalent to anchor bolts, may be used.
- Foundation walls: Unless otherwise indicated on the drawings, foundation walls shall conform to Tables R404.1.1(1), R404.1.1(2), R404.1.1(3) or R404.1.1(4) of the IRC 2000 Code for type SM soil.
- Cast-in-Place Concrete:
a. Concrete shall be 3000 psi normal weight "controlled crushed stone", with an assumed unit weight of 150 pcf (at 28 days and 6% air entrainment and shall have a minimum cement content of 5.5 bags per cubic yard). Slump shall be 4" maximum plus or minus 1".
b. Grade slab shall be 4" thick reinforced with 6x6 W2.0xW2.0 WWM poured on 6 mil vapor barrier over 4" minimum of 3/4" washed crushed stone.
c. Reinforcement to be ASTM A-615 Grade 60 supported on precast bar supports.
d. Filling under slabs on grade shall be made with material approved by the Geotechnical Engineer and shall be compacted in a manner that will not damage foundation walls. It should be well tamped in 8" layers in rough thickness, to 95% maximum dry density per ASTM D-698 or D-1557.
e. Masonry:
1. Concrete masonry units shall be hollow load bearing units (ASTM C90) Grade N-1, rated 1350 psi.
2. All joints to be filled solid. Mortar to comply with ASTM C270 Type M or S.
3. Use 9 gage "Dur-o-wall" at 16" o.c. Lap 6" minimum.
4. Fill solidly with grout to top of footing under any concentrated loads (beams, posts, columns).
5. Provide 3 courses of solid brick or one course of 100% solid block continuous by 8" width under all wood joists bearing on masonry walls.
6. Grout for reinforced block work shall be only 2500 psi (minimum) pea gravel concrete with a slump of 8" to 9". Height of pour shall not exceed 4 feet. Reinforcing bars shall be lapped 24" minimum. Grouting shall be done in a continuous pour filling all cells and shall be consolidated by rodding or vibrating during placement and then reconsolidated after excess moisture has been absorbed. Architect shall be notified after reinforcement is in place, but before concrete is poured. Reinforcement shall be tied to "Dur-o-wall" in such a manner that it will not be displaced during pour.
- Structural Lumber:
a. All framing timber shall be Hem-Fir No. 2 (except studs and pressure treated material); studs (load bearing walls) shall be Spruce-Pine-Fir S-Dry construction grade Fb = 975 psi, Fc = 1350 psi, E = 1,300,000 psi; studs (non-load bearing walls) shall be Spruce-Pine-Fir S-Dry stud grade; pressure treated shall be Southern Yellow Pine No. 2.
b. Use 18 gage joist hangers or clips for all connections where there is no direct bearing.
c. Provide bridging at 8 foot maximum centers.
d. Gas and nail all subfloor (9/4" minimum, tongue and groove).
e. Use double joists under all partitions parallel to joists.
f. Plywood Sheathing: Roof 3/4" T & G DFPA C-C exterior panel index 32/16; Floors 3/4" T & G DFPA C-C exterior panel index 32/16; Walls 1/2" DFPA C-D exterior, panel index 32/16.
- Exterior Load Bearing Walls: Unless otherwise indicated on the drawings, stud size and spacing shall conform to Table R602.3(5) of the IRC 2000 Code. Walls shall have a continuous double top plate and a continuous sill plate. Walls shall have continuous solid 2 x blocking at mid-height or 4'-0" on center maximum vertically. Walls shall have a minimum of 1/2" gypsum board sheathing and 15/32" OSB sheathing. Where less than 4'-0" of sheathing is provided at a corner, center with the Structural Engineer.
- All wood in contact with concrete or masonry shall be pressure treated.
- Coordinate structural framing and header-off as necessary for:
a. Light fixture locations where recessed
b. Skylights
c. Mechanical ductwork and plumbing
- No holes shall be allowed in any joists, TJs, TJ's, beams, posts, columns or any other structural members without prior approval of the Architect and Structural Engineer.
- Provide side anchorage into bearing walls with metal strap anchors 6 feet on center maximum attached to 3 wood joists. Provide wood floor joist end anchorage at masonry bearing walls with metal Tee anchors on every third joist with at least (4) 8 penny nails at 6" o.c. Provide TECO framing anchors at each roof joist bearing end. Framing connections shall be per Table R602.3 (1) of the IRC 2000 Code.
- Prefabricated/pre-engineered roof and floor components: Shop drawings prepared by a licensed Engineer shall be submitted to the Structural Engineer for approval prior to fabrication and installation.
- Any deviations from assumed conditions or design details to be reviewed by the Architect and Structural Engineer prior to construction.
- Where microlam members are specified, beams shall be bolted with 1/2" through bolts at 10" on center at 3" from top and ends at top of beam and at 20" on center at 3" from bottom and ends of beam at bottom.
- Steel Lintel Schedule (Unless Otherwise Noted): Lengths to 8'-0" : one 5"x3-1/2"x5/16" (3-1/2" leg horizontal) for each 4" of masonry wall thickness. Provide minimum 6" bearing at each end for spans 6'-0" or less and 8" bearing for spans 6'-0" to 8'-0".
- G.C. to submit structural steel shop drawings to Architect for review prior to steel fabrication. Structural steel to be A36.
- Structural Engineer for this project is JGK Structural Engineers, P.C., 2338 Walnut Street, Falls Church, Virginia, 22046, telephone 703-536-2033, Jim Konnick, P.E.

MECHANICAL NOTES

- Mechanical drawings are schematic and intended for bidding purposes only. All components or systems are not necessarily shown. The Contractor shall furnish all labor and materials to provide complete operating and serviceable systems as approved by the Architect and Owner.
- Refer to Architectural drawings for accurate plans; the Contractor shall be responsible for reviewing the Architectural drawings to coordinate routing of ductwork and piping. Field verify all ductwork sizes and locations; coordinate all mechanical work with structural framing. Make adjustments as required to fit into space available.
- Prior to execution of HVAC work, G.C. to submit duct lay-out for approval by Architect and Owner.
- Perform all work in accordance with applicable codes; obtain all permits required for the work.
- Hot water piping shall be Schedule 40 black steel with 125 lb cast iron threaded fittings. Support piping with manufactured hangers in compliance with MSS Standard SP-58. Valves shall be Class 125 Bronze body NIBCO or Crane. Slope all heating water piping for drainage.
- Insulate ductwork in attic with 1-1/2" flexible duct wrap. All ductwork at floor and wall penetrations to be wrapped in 1" thick ARMAFLEX to maintain acoustic separation.
- Ductwork shall be designed and installed in accordance with SMACNA Manual, ASHRAE Standards and NESCA Manual "L".
- Location of all registers and grilles to be verified in field with Architect and Owner and shall be centered as shown.
- G.C. to execute all cutting and patching for installation of HVAC system and restore all finishes to match existing.
- HVAC Performance Specification: Heating and cooling design to be adequate to maintain an inside air temperature of 72 degrees when the outside temperature is 0 degrees; and an inside temperature of 75 degrees dry bulb and 50% relative humidity when the outside temperature is 95 degrees dry bulb and 78 degrees wet bulb. System to be balanced to provide adequate air quantities.
- System Design: extend existing system to serve addition.

PLUMBING NOTES

- All plumbing work shall be installed in accordance with all applicable local codes and ordinances. Obtain all required permits and pay all fees. Arrange for required inspections by local authorities at the proper time during the progress of work.
- Plumbing includes the furnishing and installing of all new plumbing fixtures, water heaters, soil/waste and vent, storm drainage, hot and cold water piping and gas piping, insulation, fittings, valves, faucets, drain and all required hardware. New plumbing site service piping shall be provided as required, to and from existing street utilities including required excavations and backfill.
- All sanitary drainage piping shall be pitched at minimum 1/4" fall per foot, unless otherwise permitted by code.
- Sanitary drainage piping within the building above ground shall be cast iron service weight no-hub piping and fittings with mechanical joints. Vent piping shall be SCH. 40 galvanized steel or DWV copper and cast iron. Underground and exterior sanitary drainage piping shall be of service weight cast iron-ball and spigot type.
- All hot and cold water piping within the building above ground shall be type "L" hard tempered copper tubing with wrought or cast bronze 95/5 solder fittings. Underground and exterior service water piping shall be of type "K" copper tubing with flared type joints.
- Gas piping shall be of Schedule 40 black steel with malleable iron fittings.
- Hangers shall be split ring CLEVIS type spaced as required and recommended for pipe sizes. Hangers for water piping shall be of copper plated type. Hangers for air water piping shall be oversized to suit outside of insulation with shields. Perforated strap or wire hangers not permitted.
- All domestic hot and cold water piping shall be insulated with minimum of 1/2" thick ARMAFLEX or approved equal covering. Vapor barrier shall be provided for covering on cold water pipe. Provide acoustic type insulation to all soil/waste piping over bedrooms, living rooms, kitchen and dining areas.
- Contractor shall visit site to determine conditions affecting his work and shall plan his work accordingly.
- After completion of work, Contractor shall clean all equipment, fixtures, trim, etc. and shall remove and dispose of all rubbish as directed.
- All water piping shall be flushed and tested before closing walls and concealment in ceiling spaces. All water piping after tests shall be sterilized in accordance with local codes.
- Plumbing fixtures and fittings are specified on the drawings. Provide all roughing-in, setting and final connections as required. All P-traps, nipples and all escutcheons shall be of cast brass with polished chrome finish, except where otherwise required by Architect. All supplies to be of flexible or rigid type, to suit condition, with finish to match fittings.

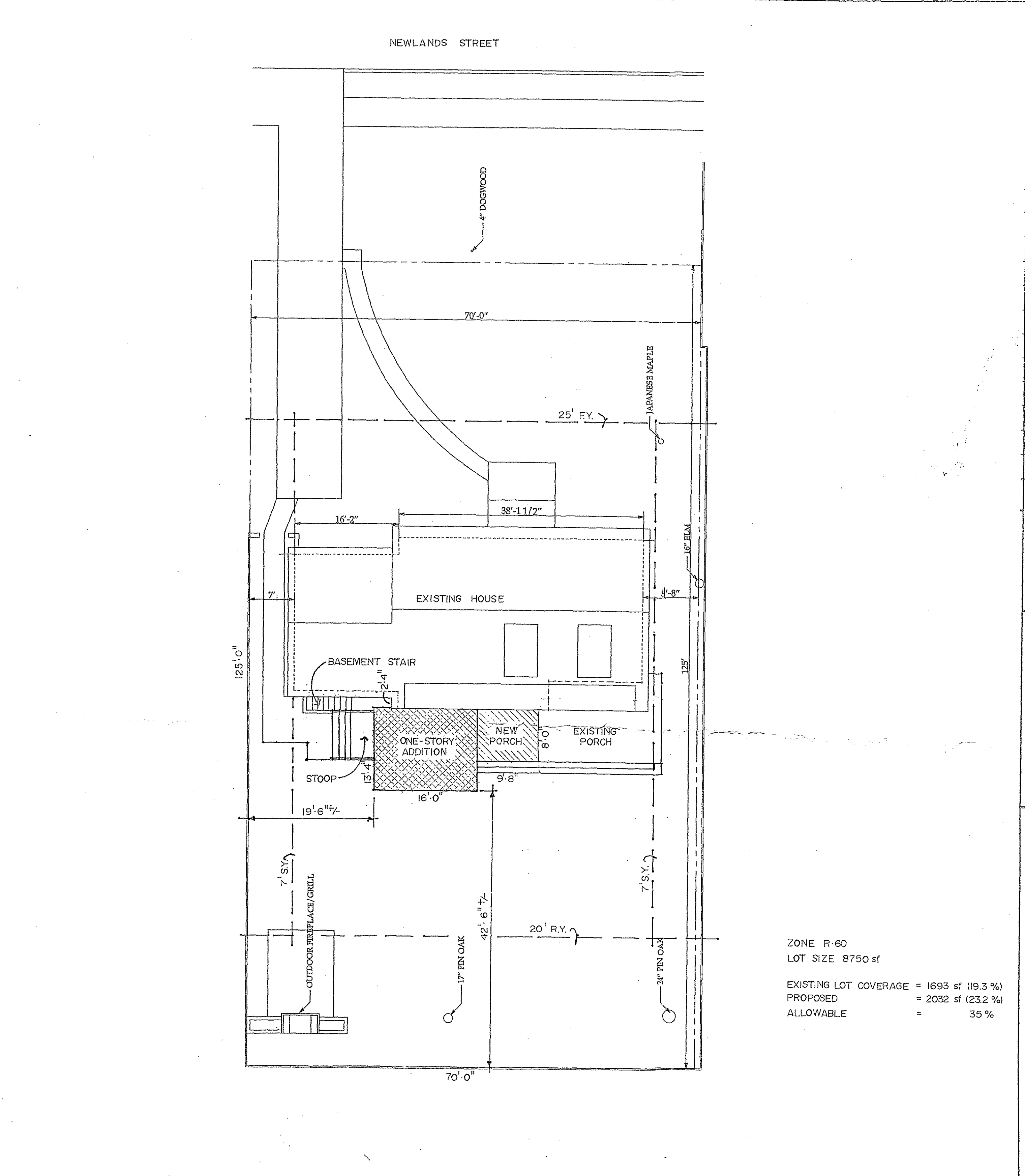
ELECTRICAL NOTES

- Provide all labor, materials, equipment devices, permits and pay all fees necessary for the complete electrical system indicated, including all work associated with equipment shown on architectural, mechanical and plumbing drawings and specifications.
- Comply with latest edition of the National Electric Code (NEC) and with all applicable local codes, ordinances and regulations, except where plans or specifications are more strict.
- Upon completion of work adjust all equipment and test all systems. Provide Owner with final electrical inspection certificate.
- G.C. to inspect existing electrical service and notify Owner if it needs upgrading. Coordinate work with electrical utility for additions to service as shown. Pay all costs involved with power company work or requirements.
- Work includes furnishing and installing all lighting and electrical fixtures shown, including lamps, except those specifically noted to be furnished by Owner and installed by G.C.
- All circuit breakers shall be full module size. A neatly typed schedule shall be framed under clear plastic at panel, with approved legend identifying each circuit and what it controls. Loads shall be connected for best phase balance.
- All wiring shall be with copper conductors full rated for load served. Minimum wire size shall be #12 AWG. Circuits shall be connected with loads not to exceed 80% of breaker trip rating.
- All receptacle outlets shall be 20A, 125V grounding type. Provide ground fault circuit interrupter receptacles in areas as required by code.
- Finish of device plates and color of wiring device plastic shall match existing.
- Safety switches shall be provided where required by code. Use general duty type such as manufactured by General Electric or Westinghouse.
- All wiring shall be routed in a concealed manner.
- All circuit breakers and equipment shall be new, of first class quality and approved under applicable standards. All materials of types for which U.L. Labeling service is established shall bear U.L. Label.
- Contractor shall be responsible for all power, control, temperature control and interlock wiring complete. Install all such wiring as indicated on approved equipment manufacturer's wiring diagrams for the operation indicated.
- Provide all breakers as required to complete each electric panelboard.
- All interior conduit shall be EMT. All exterior conduit including underground conduit shall be Schedule 40 PVC.
- All switches to be mounted at 48" all unless noted.
- All outlets to be mounted at 12" all where permitted by code.
- Contractor to coordinate work which may not be performed by his own forces, including cable tv wiring and hook-up which may be performed by local cable tv company and installation of security system as selected by Owner.
- Smoke detectors to be ionization type manufactured by Pyrotech or BRK. All smoke detectors to be hard wired.

ELECTRICAL/MEP SYMBOLS

	switch (toggle-type dimmers where specified)
	duplex receptacle
	quad duplex receptacle
	switched duplex receptacle (bottom half only)
	dedicated circuit for equipment or appliance (as labelled)
	weather proof/gfi receptacle
	telephone
	cable/satellite tv
	exterior junction box for site lighting
	smoke detector (hard wired with battery back-up)
	thermostat
	hvac ceiling supply register
	hvac floor supply register
	hvac wall supply register
	hvac return air grille
	frost-proof hose bib

SITE PLAN



WINDOWS & DOORS

TYPE	MANUF.	SIZE	OTHER
(A)	MARVIN	VIF	PTD WD TO MATCH EXISTING
(B)			
(C)			
(1)		2-8 x 7-0	FRENCH DOOR w/ PTD WD SCREEN
(2)	PAIR	2-0 x 7-0	VIF TO MATCH LIVING ROOM DOORS
(3)		2-8 x 6-8	
(4)			

INDEX of DRAWINGS

No.	TITLE
	COVER
1	SCHEDULES & NOTES
2	DEMOLITION & STRUCTURE
3	PLANS & ELEVATIONS
4	EXISTING ELEVATIONS
5	"
6	"

SYMES
10 NEWLANDS STREET
CHEVY CHASE, MD 20815

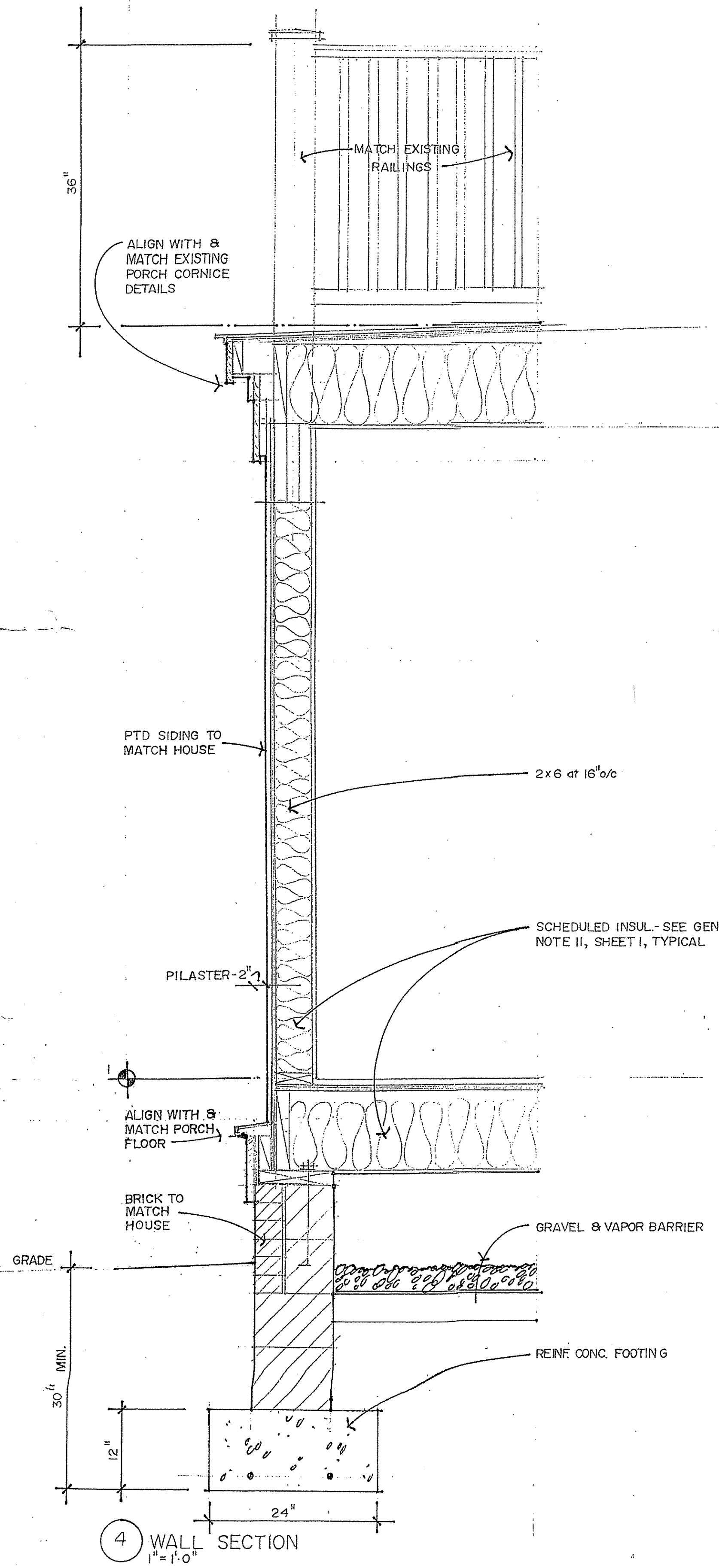
RIXEY-RIXEY ARCHITECTS
P.O. Box 3760
Washington, DC 20007-0260
202-333-2626

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 7416 R, expiration date: 06/30/2008.

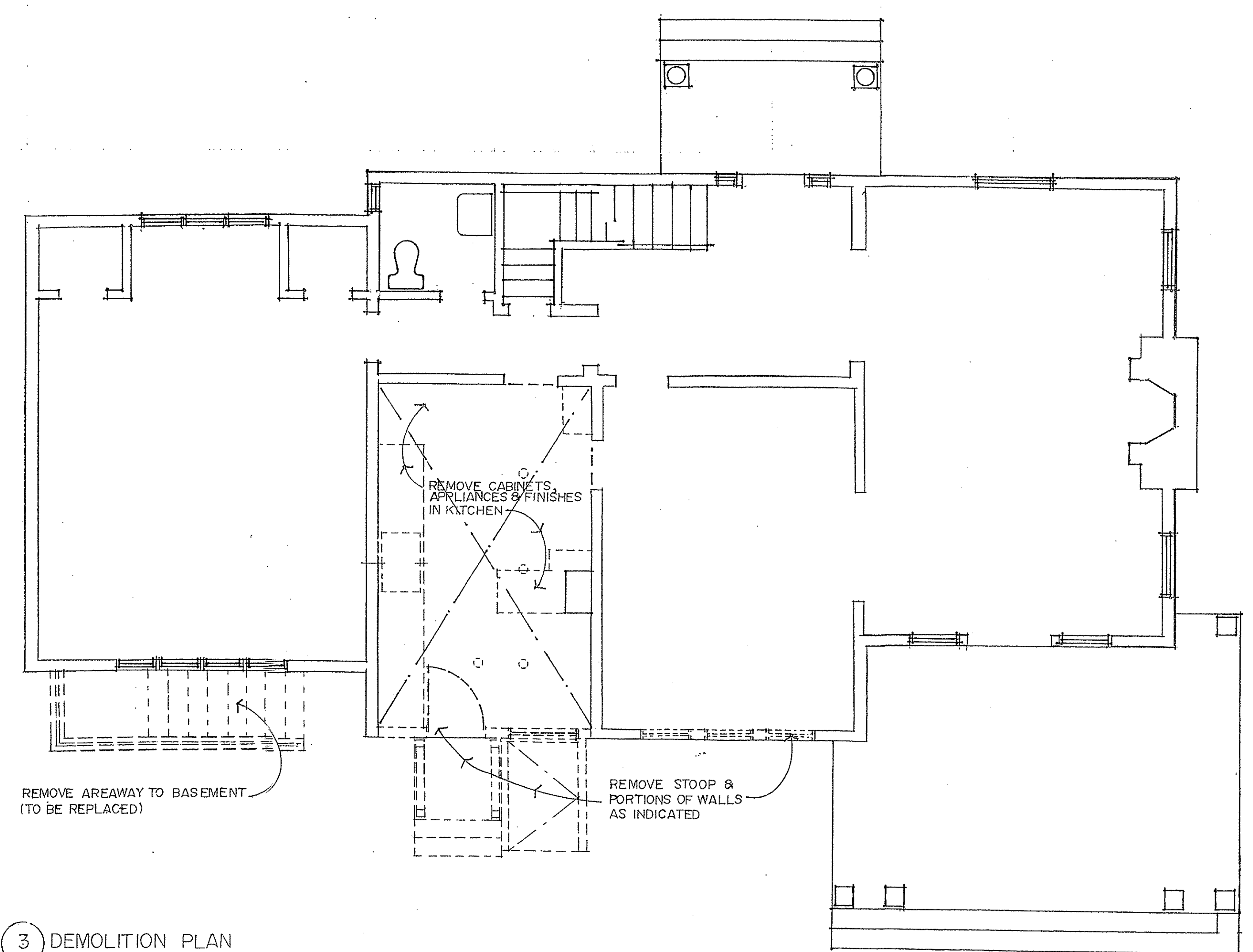
ARCHITECTURAL REGISTRATION BOARD
STATE OF MARYLAND
7416-R

SCHEDULES & NOTES
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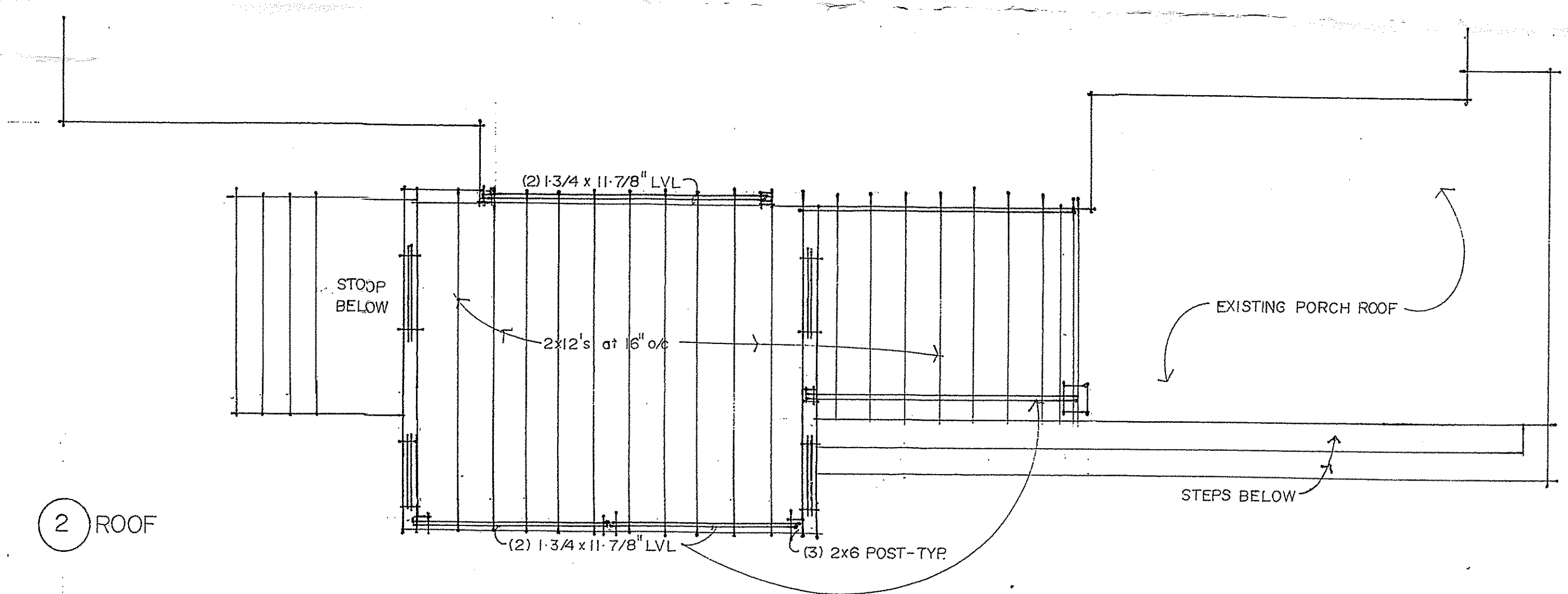
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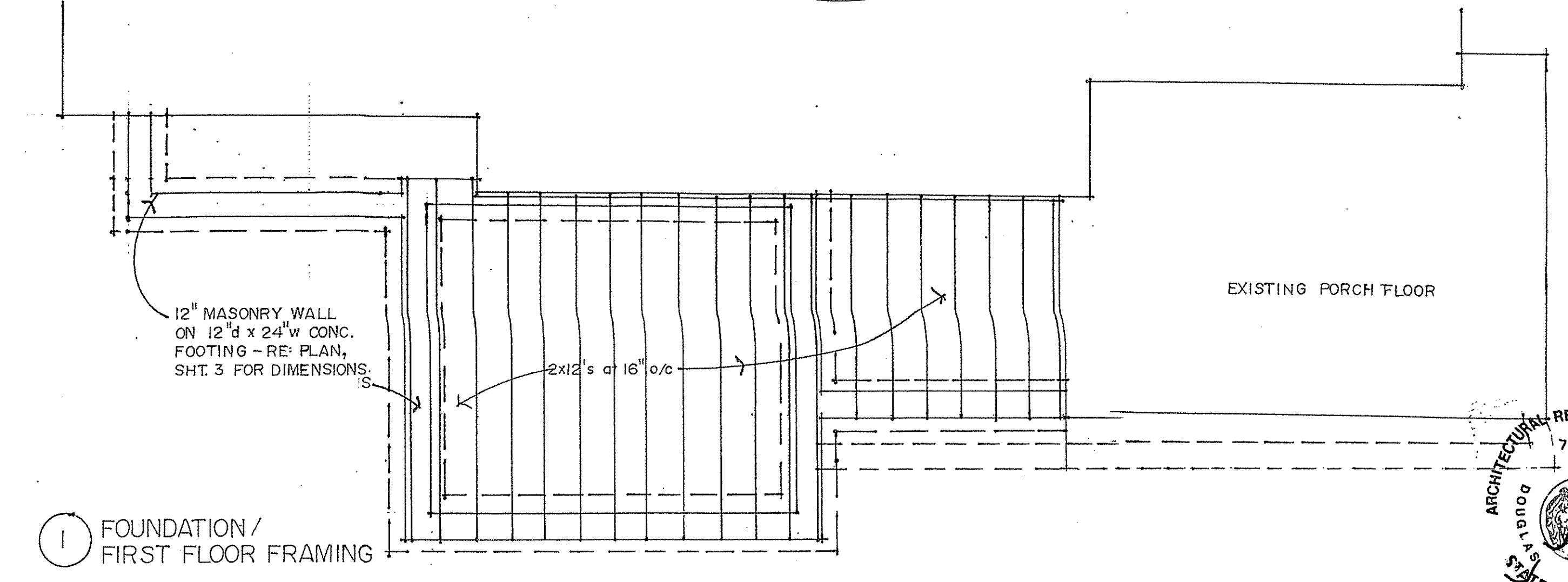
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1"=1'-0"



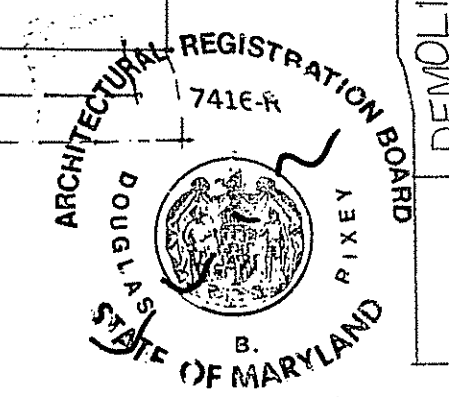
3 DEMOLITION PLAN



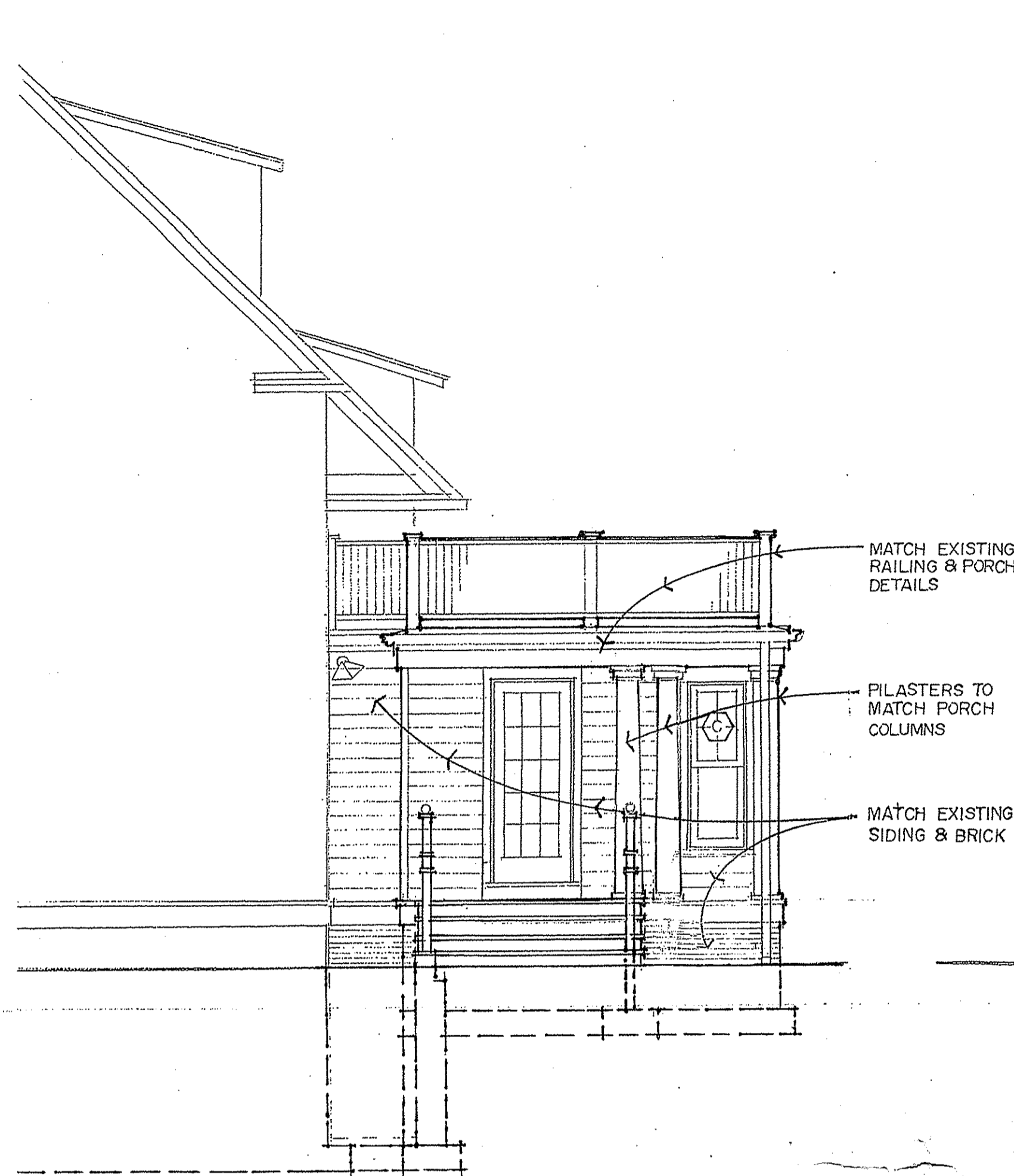
2 ROOF



1 FOUNDATION / FIRST FLOOR FRAMING



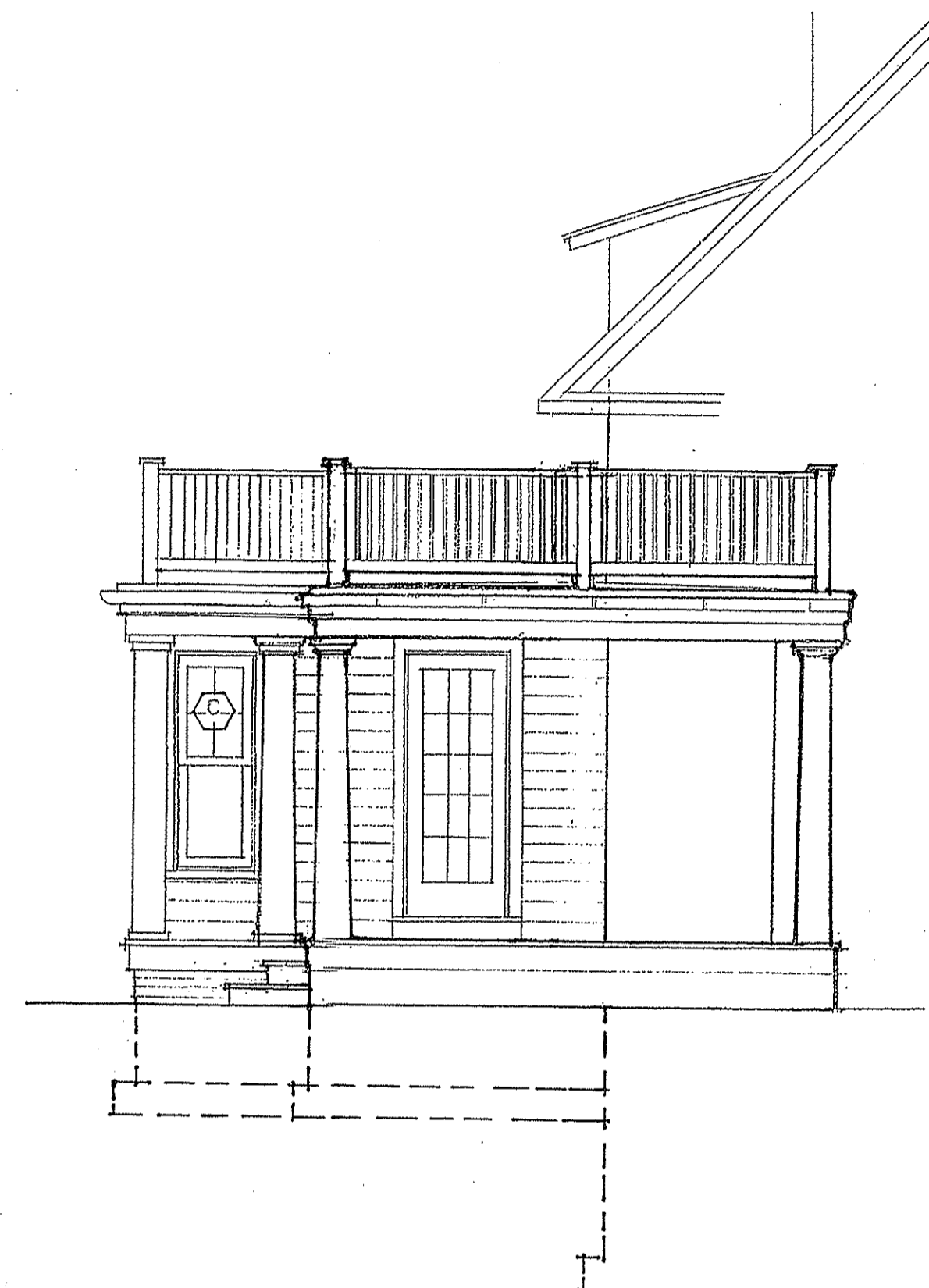
SYMES
 10 NEWLANDS STREET
 CHEVY CHASE, MD 20815
 RIXEY-RIXEY ARCHITECTS
 P.O. Box 9700
 Washington, DC 20007-0250
 License number 7416 R, expiration date 12/31/2008
 I certify that these documents were prepared or supervised by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 7416 R, expiration date 12/31/2008
 PERMIT 08-JULY-08
 DEMOLITION, STRUCT. & WALL SECTIONS
 1/4"=1'-0" or AS NOTED



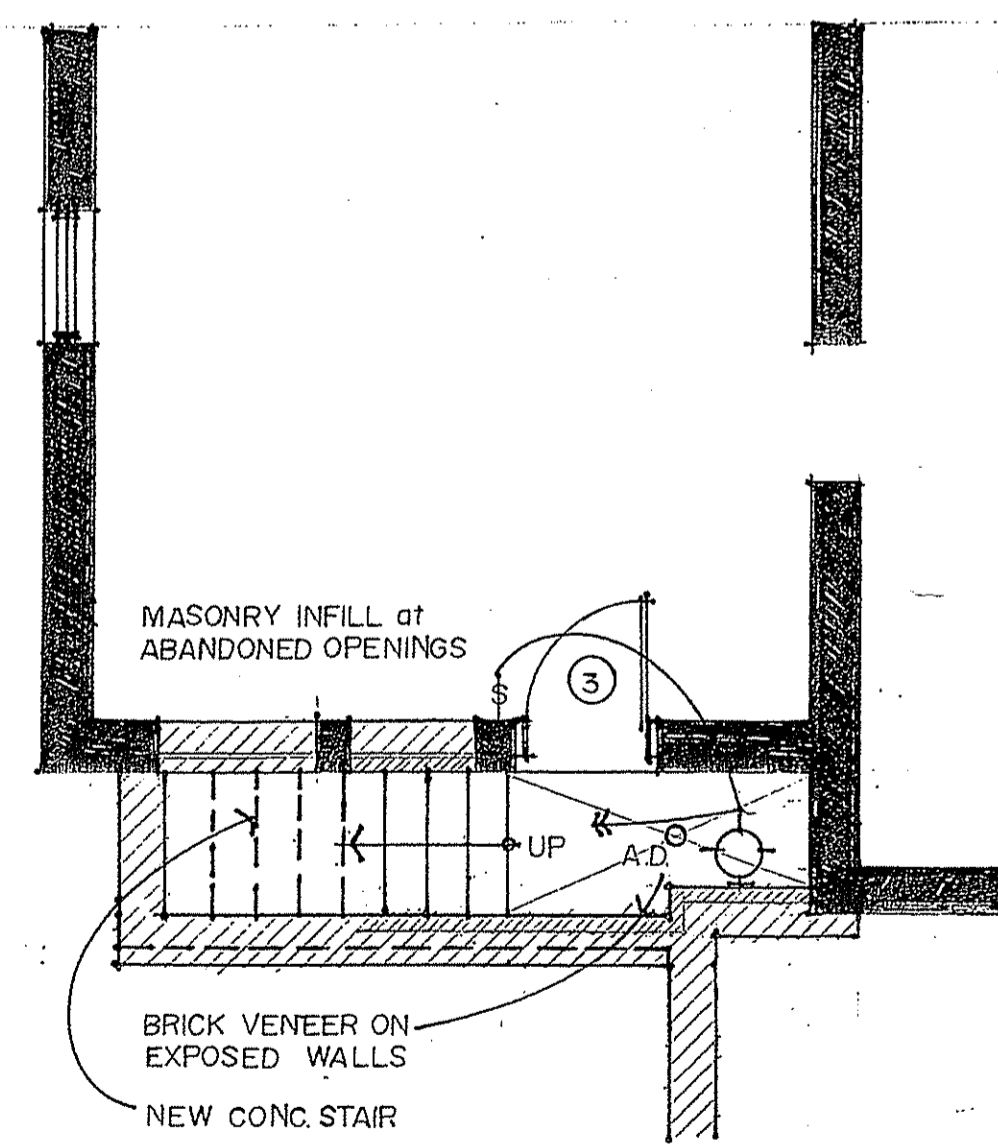
6 WEST



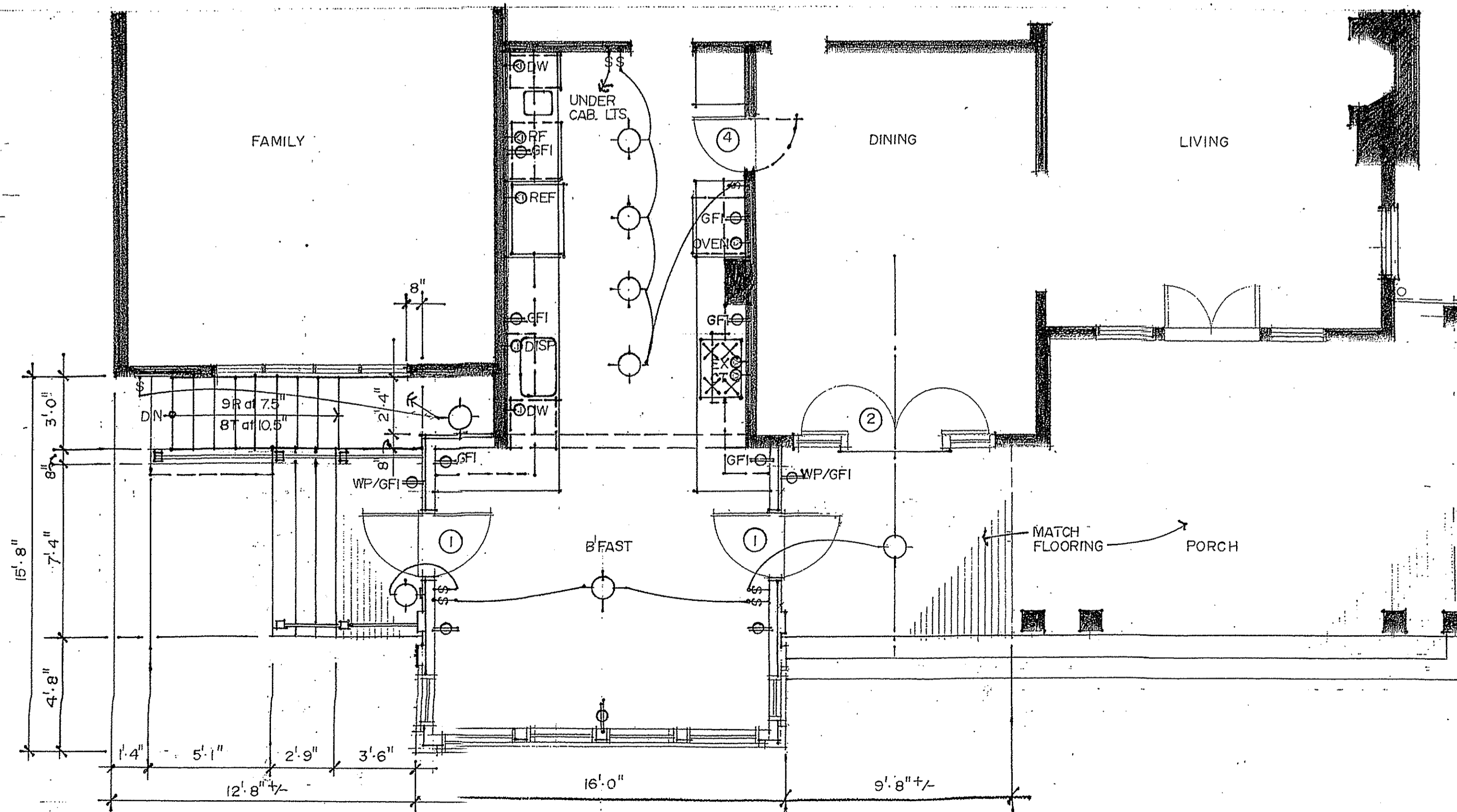
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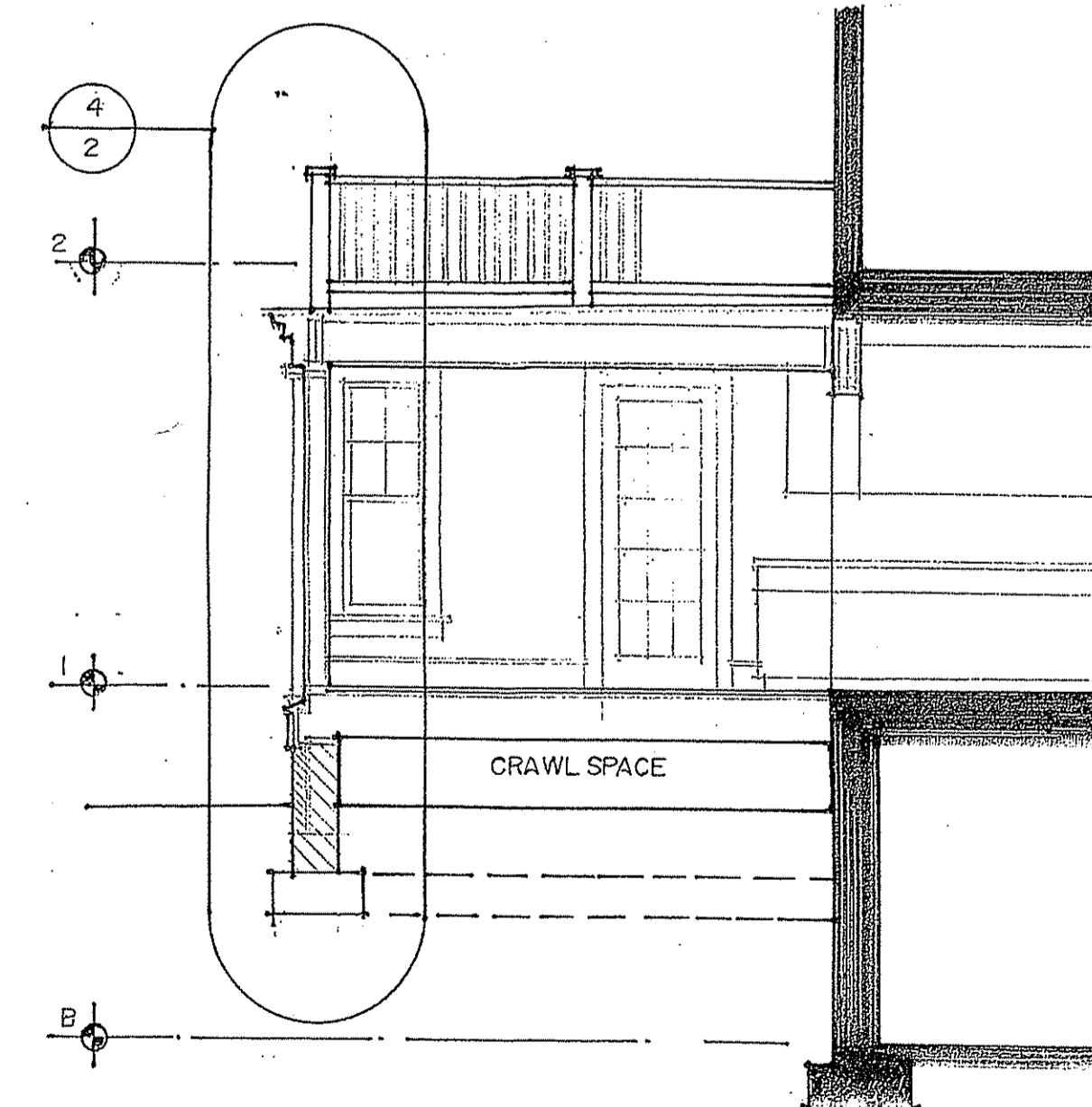
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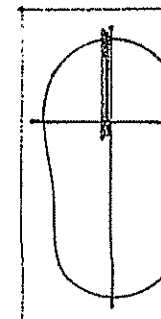
3 PARTIAL BASEMENT PLAN



2 PLAN



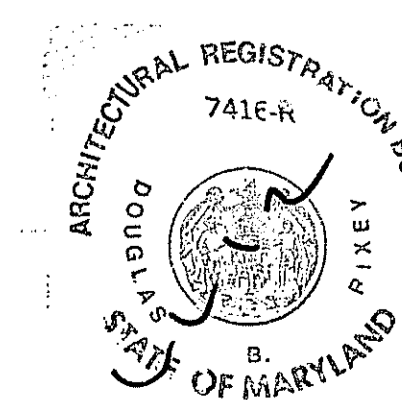
1 S-N BLDG. SECTION



SYMES
10 NEVLANDS STREET
CHEVY CHASE, MD 20815

RIXEY-RIXEY ARCHITECTS
P.O. Box 3750
Washington, DC 20007-0250
202-333-2626

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 7416-R, expiration date 12/31/2024.



PLAN, ELEVATIONS & SECTIONS
1/4" = 1'-0"



1 NORTH
SCALE: 1/4" = 1'-0"

Symes House
10 Newlands
Chevy Chase, MD

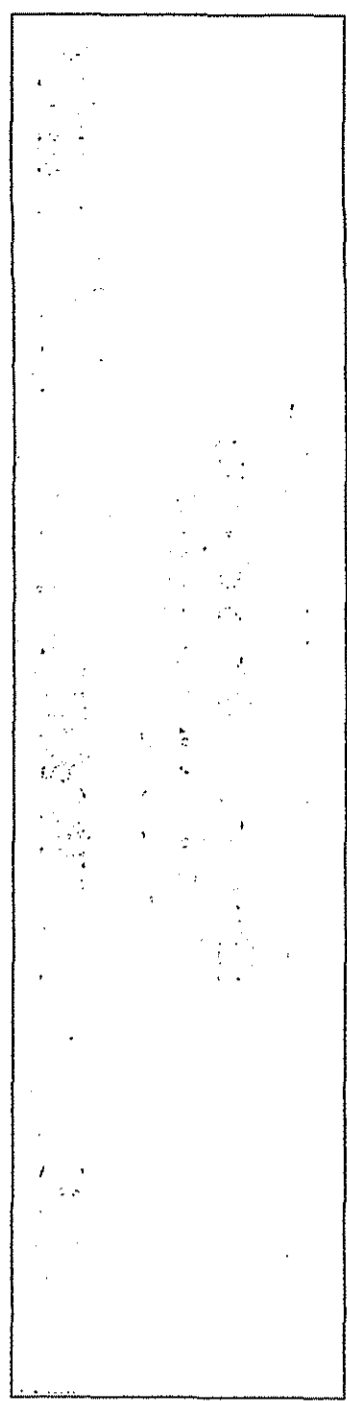
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**EXISTING
ELEVATIONS**
SCALE

ISSUE	DATE

SHEET NO.
4



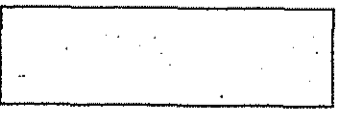
① SOUTH
SCALE 1/4" = 1'-0"



Symes House
10 Newlands
Chevy Chase, MD

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**EXISTING
ELEVATIONS**
SCALE:

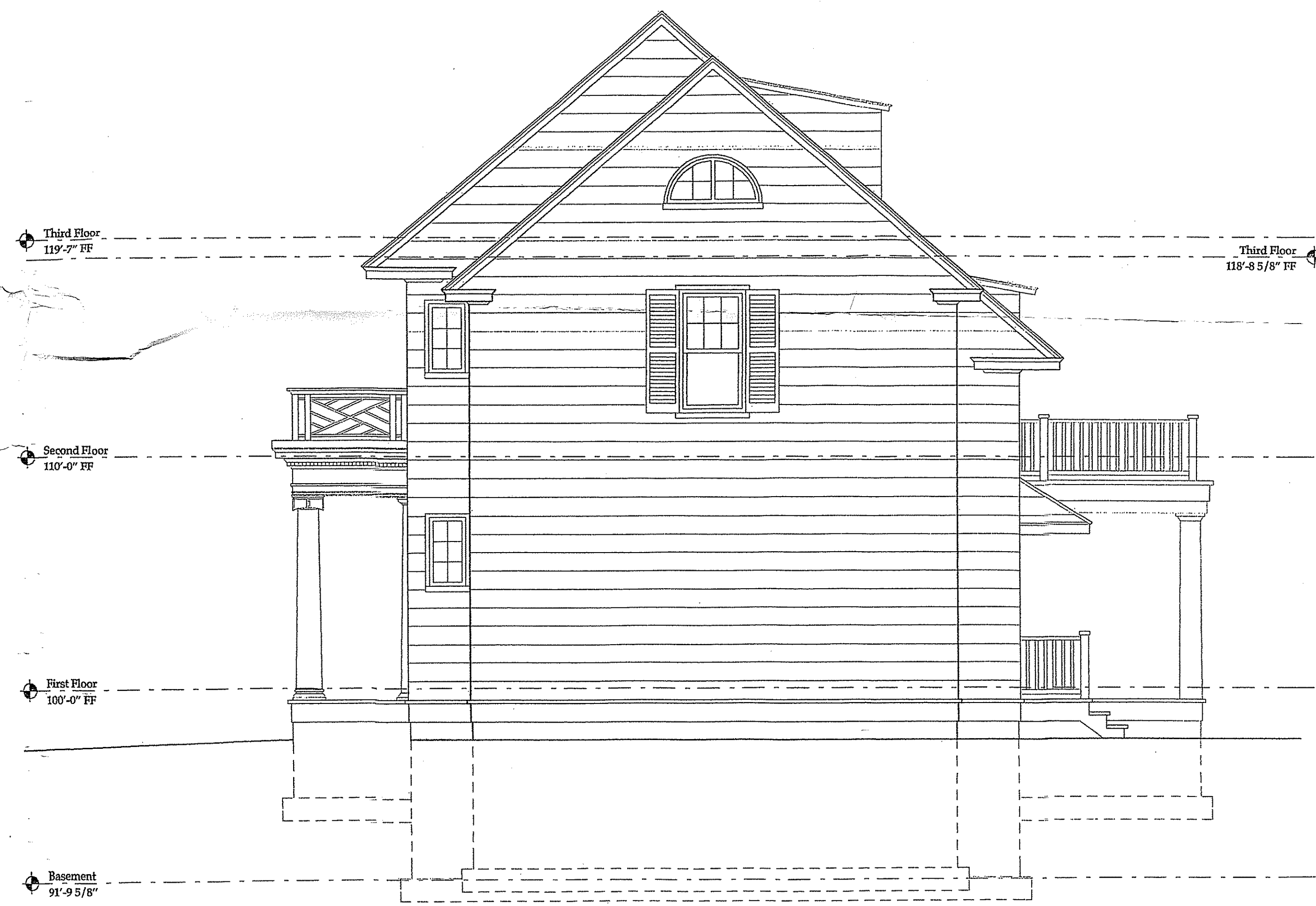
ISSUE	DATE



SHEET NO.
76



② EAST
SCALE: 1/4" = 1'-0"



① WEST
SCALE: 1/4" = 1'-0"

Symes House
10 Newlands
Chevy Chase, MD

DRAWING TITLE
**EXISTING
ELEVATIONS**
SCALE:

ISSUE	DATE

SHEET NO.
S