

2513-07 Q2

14 OXFORD - GARAGE



5/11/07

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	14 Oxford Street, Chevy Chase	<b>Meeting Date:</b>	<del>12/29/2006</del> 5/09/07
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	12/13/2006 5/02/07
<b>Applicant:</b>	J.W. Rayder (Mike Sullivan, Architect)	<b>Public Notice:</b>	12/6/2006 4/25/07
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	35/13-07Q	<b>Staff:</b>	Michele Oaks

**PROPOSAL:** Alterations to detached garage and construction of rear porch

**RECOMMENDATION:** Approve with conditions

**STAFF RECOMMENDATION:**

Staff is recommending that the Commission approve this Historic Area Work Permit application with the conditions that:

1. The applicant will contact the Chevy Chase Village arborist to discuss if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. The detail for the proposed cedar flooring for the covered porch will be tongue and groove.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource  
**STYLE:** Colonial Revival  
**DATE OF CONSTRUCTION:** 1911

The original house is a three-bay, side-gable roof, frame dwelling. The asphalt roof contains a whitewashed, brick, interior-end chimney extending from the east elevation of the house. The windows are 6/6 double hung and are flanked by two, paneled louvered shutters. The front elevation is also ornamented with a flat roof entry portico detailed with a roof top balustrade and square columns. A two-story side extension protrudes from the east elevation of the house. The house has had some alterations to its original design including the construction of a rear addition.

The house is sited in the center of a 59' wide and 123'6" deep lot. An existing asphalt driveway runs along the east property line. A 19' wide x 18' deep garage is positioned at the rear southeast corner of the property. This building was originally a smaller, one car garage that has been significantly altered into its current form. The property contains several large, mature trees.

## **HISTORIC CONTEXT**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

## **PROPOSAL:**

The project proposes to:

1. Remove and replace an existing, bay window located on the rear elevation of the house with a French door.
2. Replace an existing French door on the rear addition.
3. Construct a new, covered porch at the rear of the house. The porch will have a flat roof and detailed with a roof top balustrade. The porch will be fabricated entirely of wood, including trim and column details.
4. Alter the existing non-contributing garage by replacing the existing doors and windows on the front façade, install new, dormers on the roof of the west and east elevations, replace windows and people doors on the east and west elevations and replace trim work on the entire building as needed. Materials include painted, wood windows and doors with wood trim installed into the existing clapboard sided walls.

## **APPLICABLE GUIDELINES**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

### ***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibility designed.

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Garages and accessory buildings, which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.

***Montgomery County Code; Chapter 24A***

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation***

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject projects are all located in the rear yard - not visible from the public right-of-way. The modifications to the non-contributing garage and the installation of the proposed covered porch will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Chevy Chase Village Historic District Master Plan – Expansion, Adopted April 1998*

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850  
240-777-9370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

5/9/07  
4/18 revision

Contact Person: MIKE SULLIVAN  
Daytime Phone No.: 301-299-6500

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: J.W. RAIDER Daytime Phone No.: 301-656-6436  
Address: 14 OXFORD ST. CHEVY CHASE 20815  
Street Number City State Zip Code  
Contractor: DeMARNE & Day, INC. Phone No.: 301-299-6500  
Contractor Registration No.: 1528  
Agent for Owner: MIKE SULLIVAN Daytime Phone No.: 301-299-6500

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: OXFORD ST.  
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  Move  Install  Wreck/Raze  Revision  Repair  Revocable  
CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  Solar  Fireplace  Woodburning Stove  Single Family  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 75,000  
1C. If this is a revision of a previously approved active permit, see Permit # H/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 4/16/07  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 450803 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single Family Dwelling w/ Detached Rear Garage on  
Residential Street in Chevy Chase.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Rear Garage: 3/4 of existing garage space being turned  
into a 3 season sitting room. Balance  
of space to remain as storage room.  
Rear Porch: New wooden porch to gain better  
access to landscaped rear yard.

**2. SITE PLAN CD**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS CD**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS CD**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS Attached**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY H/A**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS Attached**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



de Marne & Day, Inc.

ARCHITECTURE □ REMODELING

10112 River Road □ Potomac, MD 20854

Eugene R. Dare, *President*

Michael J. Sullivan, *Senior Vice*

*President*

Alfred E. Goldschmidts, *Vice President*

## Ryder Residence

14 DXFORD ST.  
CHEVY CHASE, MD. 20815

- Neighbor(s) directly across street  
#31 & #33 DXFORD STREET
- Neighbor to left & right of property  
#12 & #14 DXFORD STREET
- Neighbor directly behind  
#15 Newlands STREET



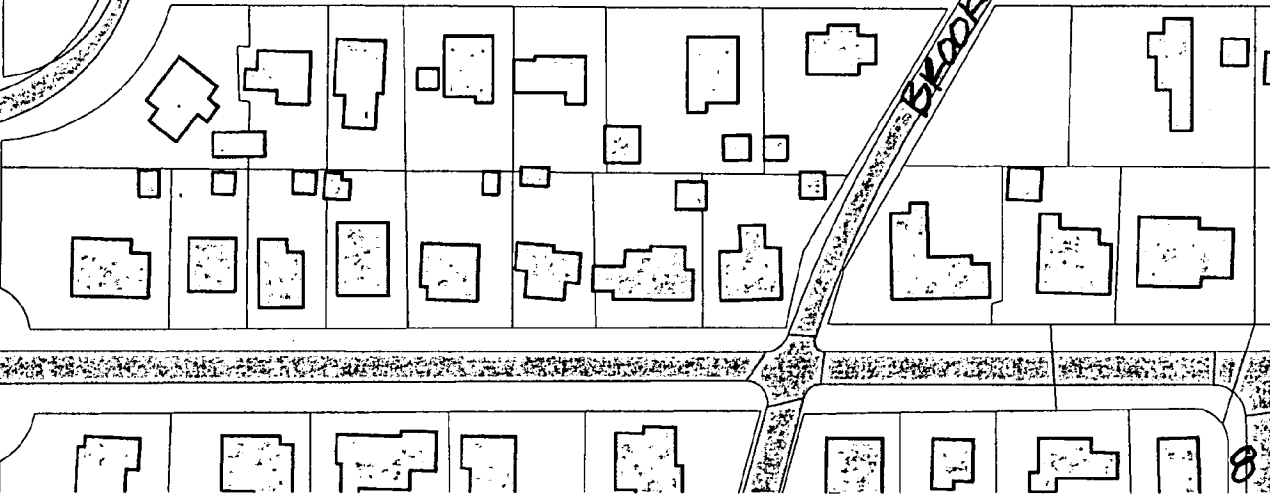
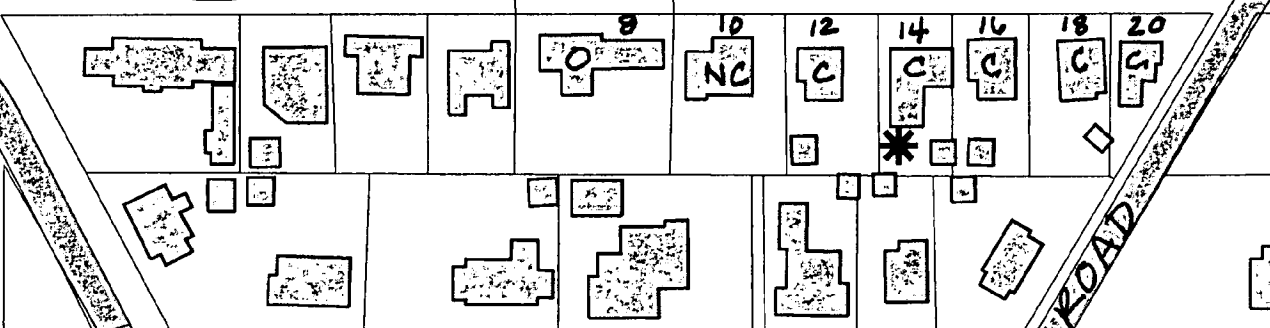
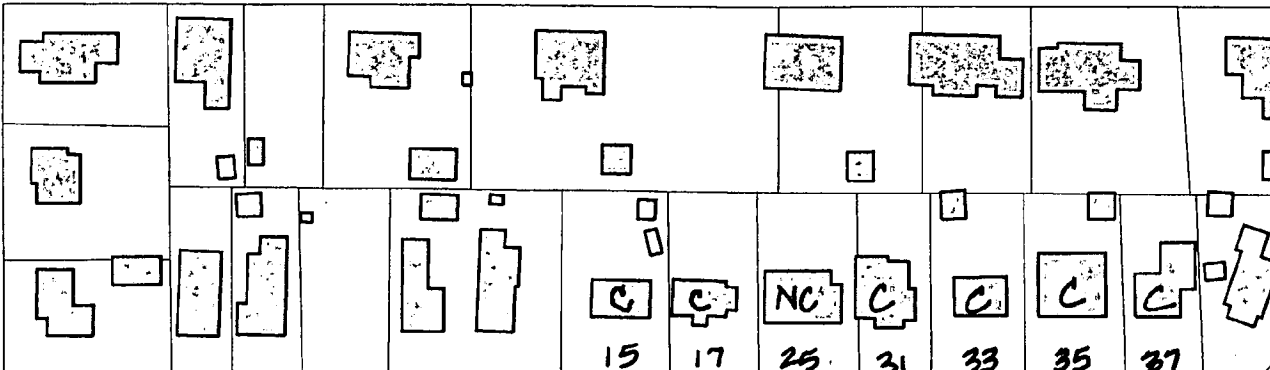
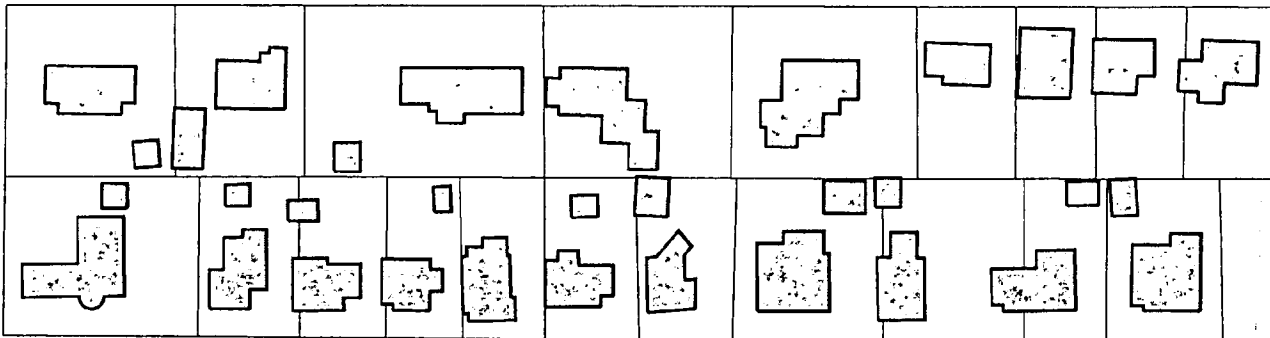
CONNECTICUT

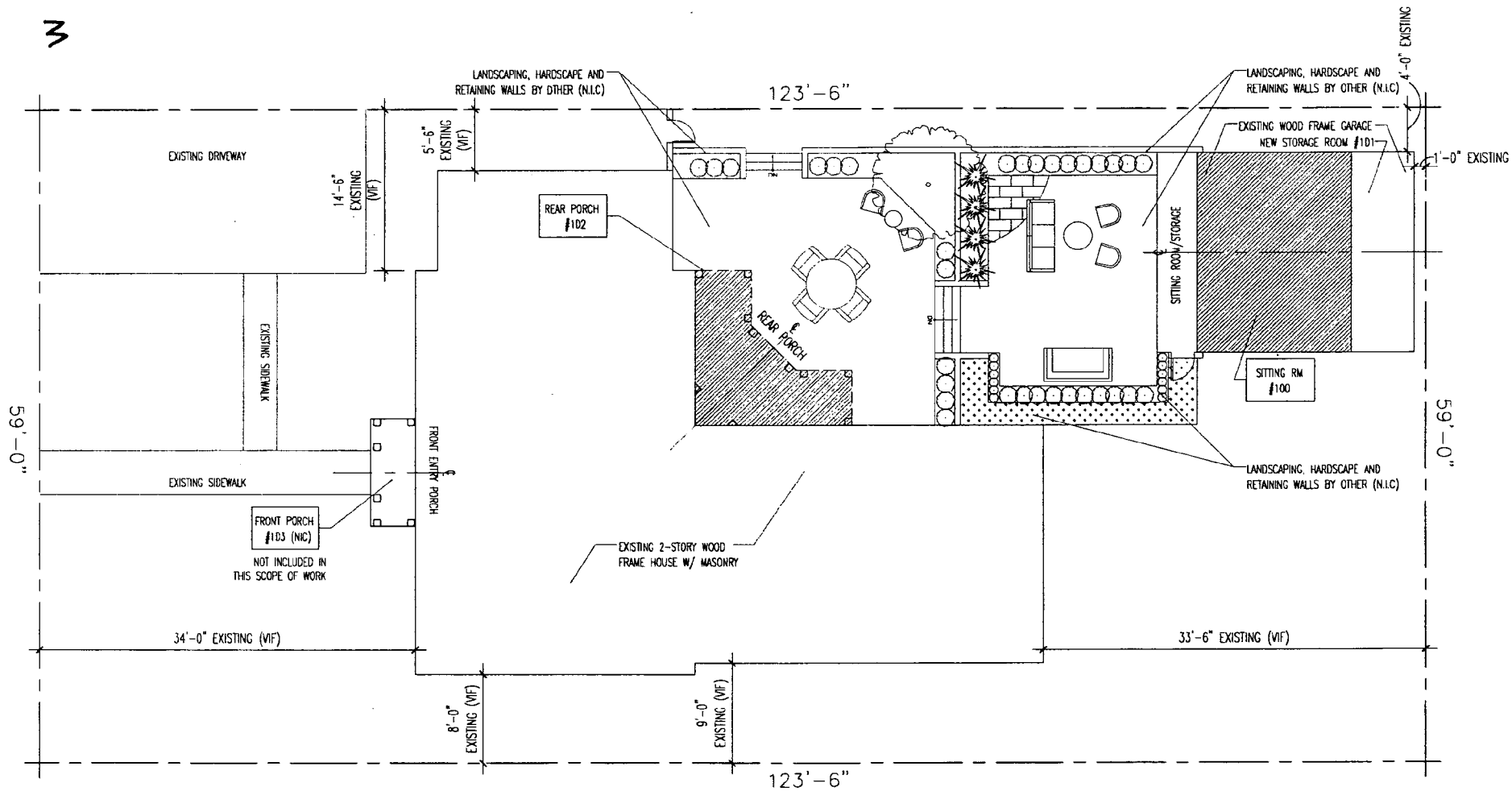
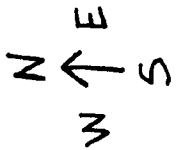
PRIMROSE

OXFORD STREET

NEWLANDS

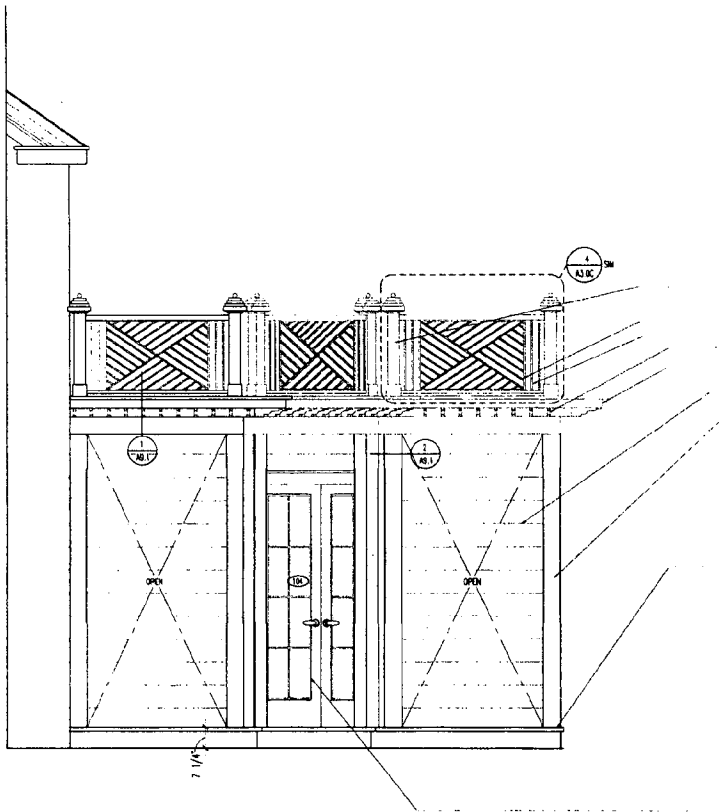
BROOKVILLE ROAD





□ EXISTING CONSTRUCTION TO REMAIN  
▨ NEW CONSTRUCTION

b

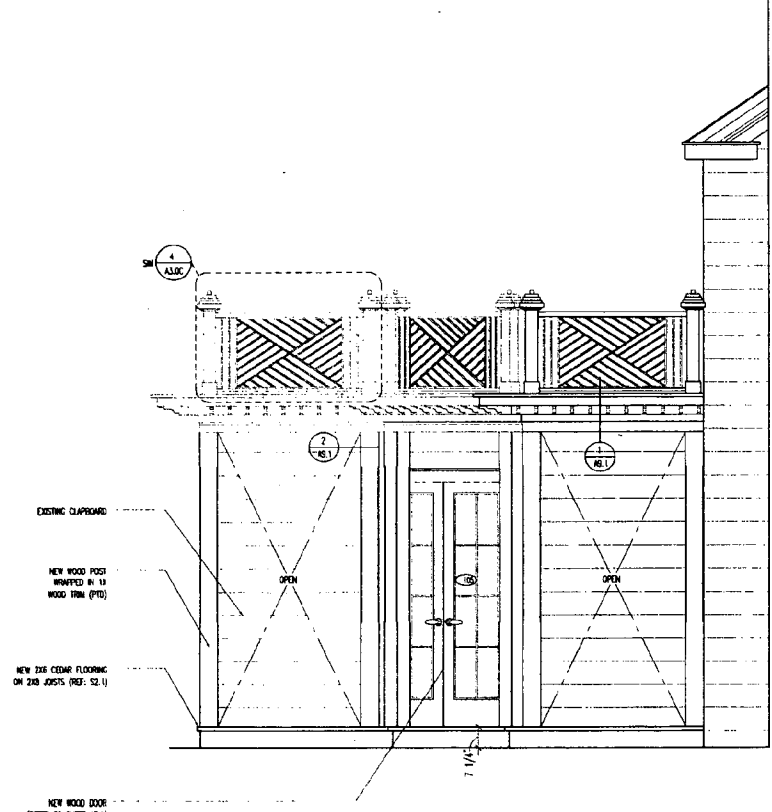


1 LEFT ELEVATION - REAR PORCH  
A3.06 1/2"=1"

- NEW 1 1/2" WOOD POST & CAP (PFD)
- NEW WOOD RAILING (PFD)
- 3/4" WOOD PICKET (PFD)
- NEW 1 1/2" WOOD HANDED BAL
- NEW 1 1/2" WOOD TRIM
- EXISTING CLAPBOARD
- NEW WOOD POST WRAPPED IN 1 1/2" WOOD TRIM (PFD)

NEW 2x6 CEDAR FLOORING ON 2x8 JOISTS (REF: S2.1)

NEW WOOD DOOR (REFER TO SHEET A7.1)



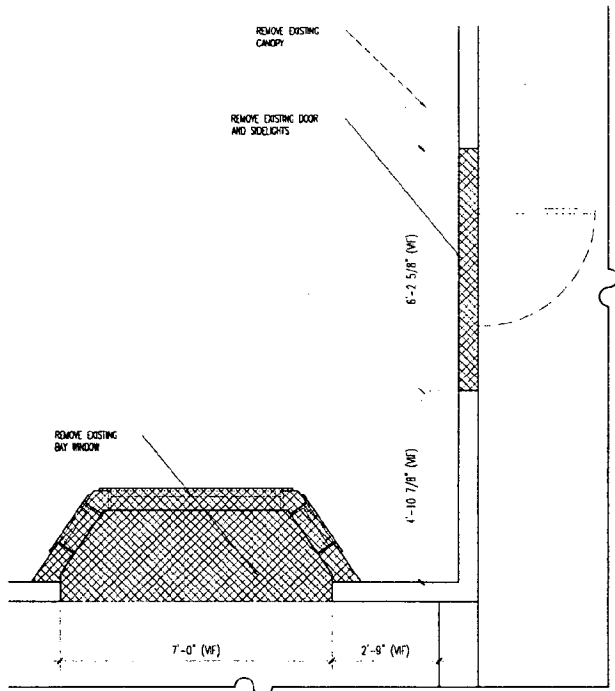
EXISTING CLAPBOARD

NEW WOOD POST WRAPPED IN 1 1/2" WOOD TRIM (PFD)

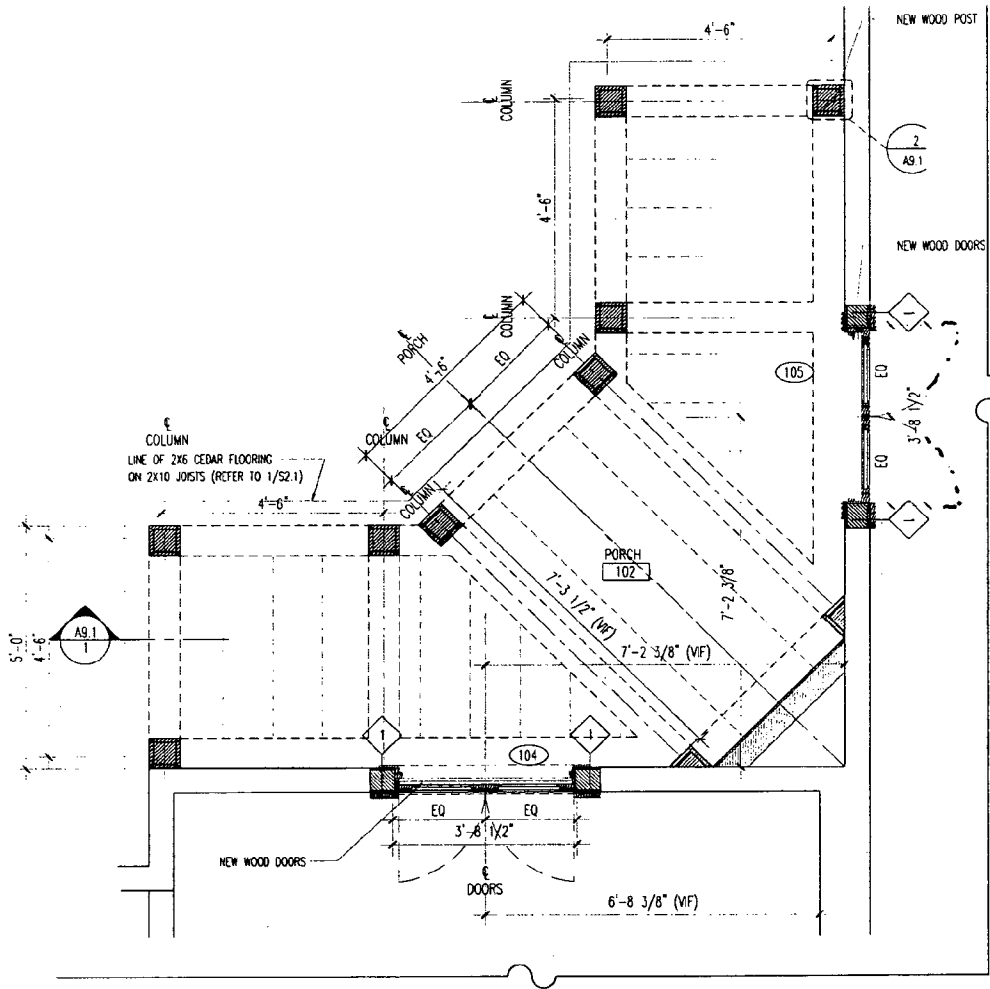
NEW 2x6 CEDAR FLOORING ON 2x8 JOISTS (REF: S2.1)

NEW WOOD DOOR (REFER TO SHEET A7.1)

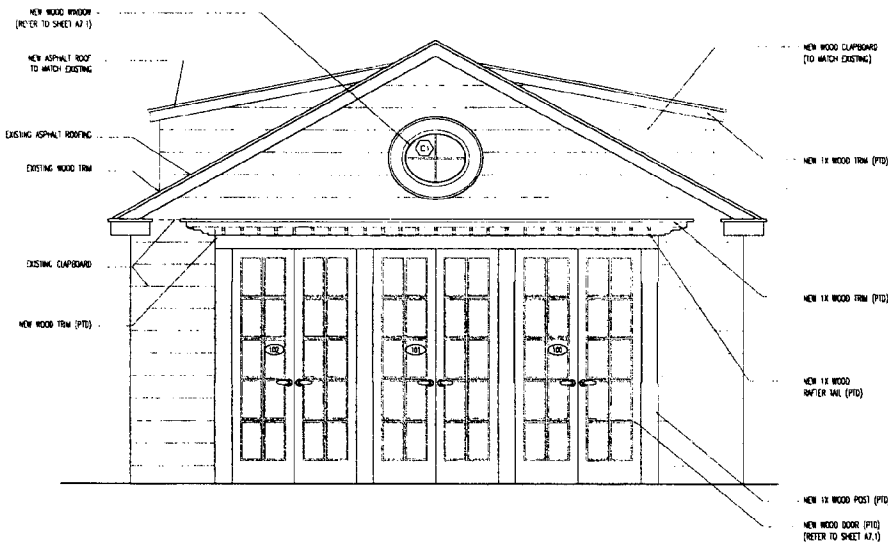
2 RIGHT ELEVATION - REAR PORCH  
A3.06 1/2"=1"



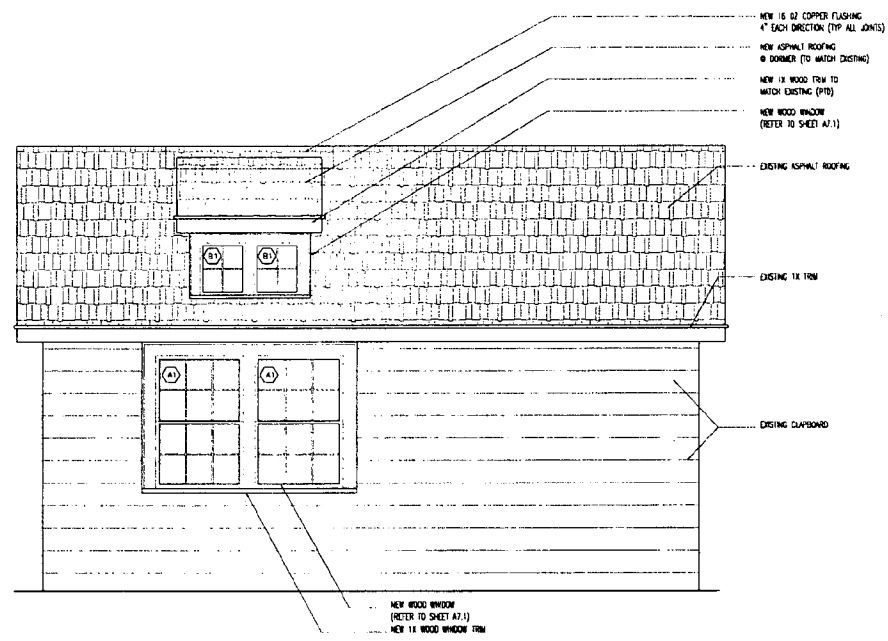
1 DEMOLITION PLAN - REAR PORCH  
A2.08 / 1/2"=1"



2 FLOOR PLAN - REAR PORCH  
A2.08 / 1/2"=1"

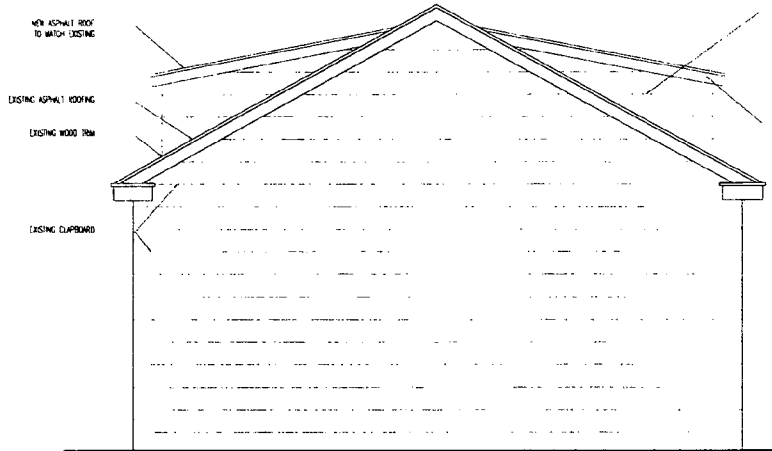


1 FRONT ELEVATION - FAMILY ROOM  
ASB 1/2"=1'



2 RIGHT ELEVATION - FAMILY ROOM  
ASB 1/2"=1'

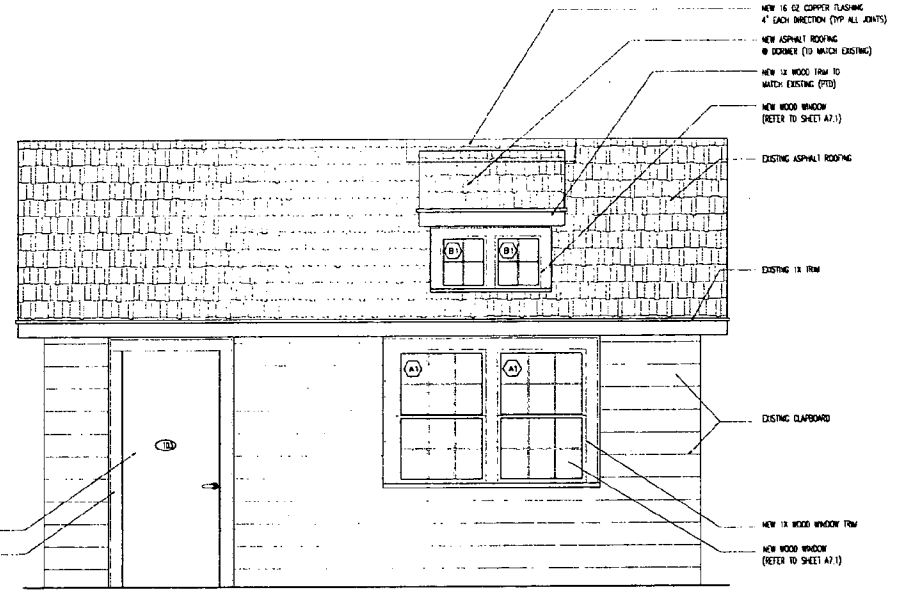
12



3 REAR ELEVATION - FAMILY ROOM  
 A3.04 1/2"=1'

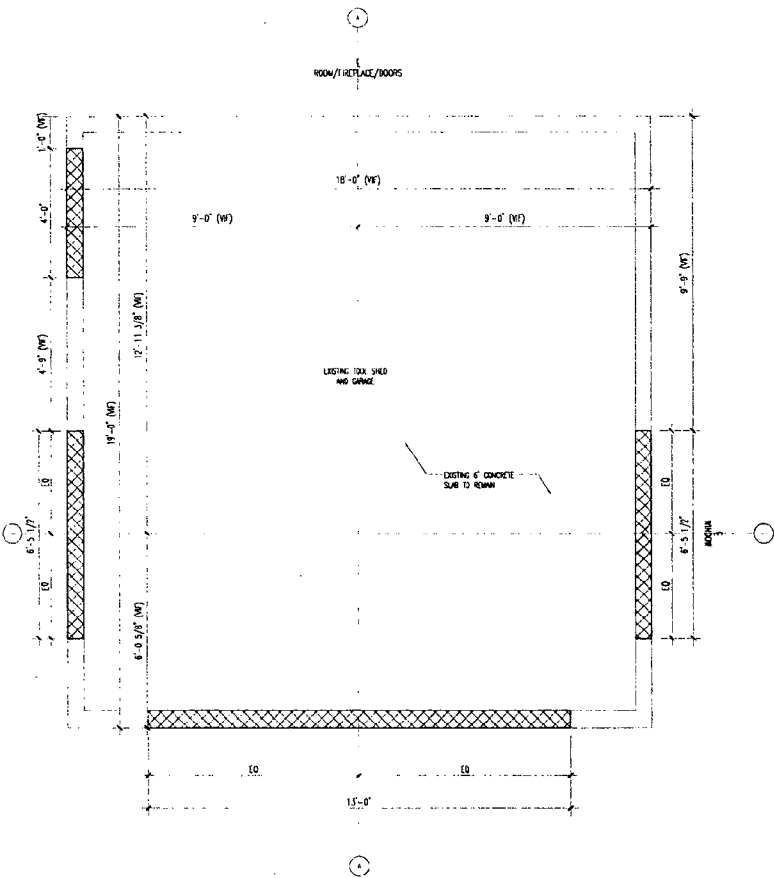
NEW WOOD CLAPBOARD  
 (TO MATCH EXISTING)

NEW 1x WOOD TRIM (PTD)

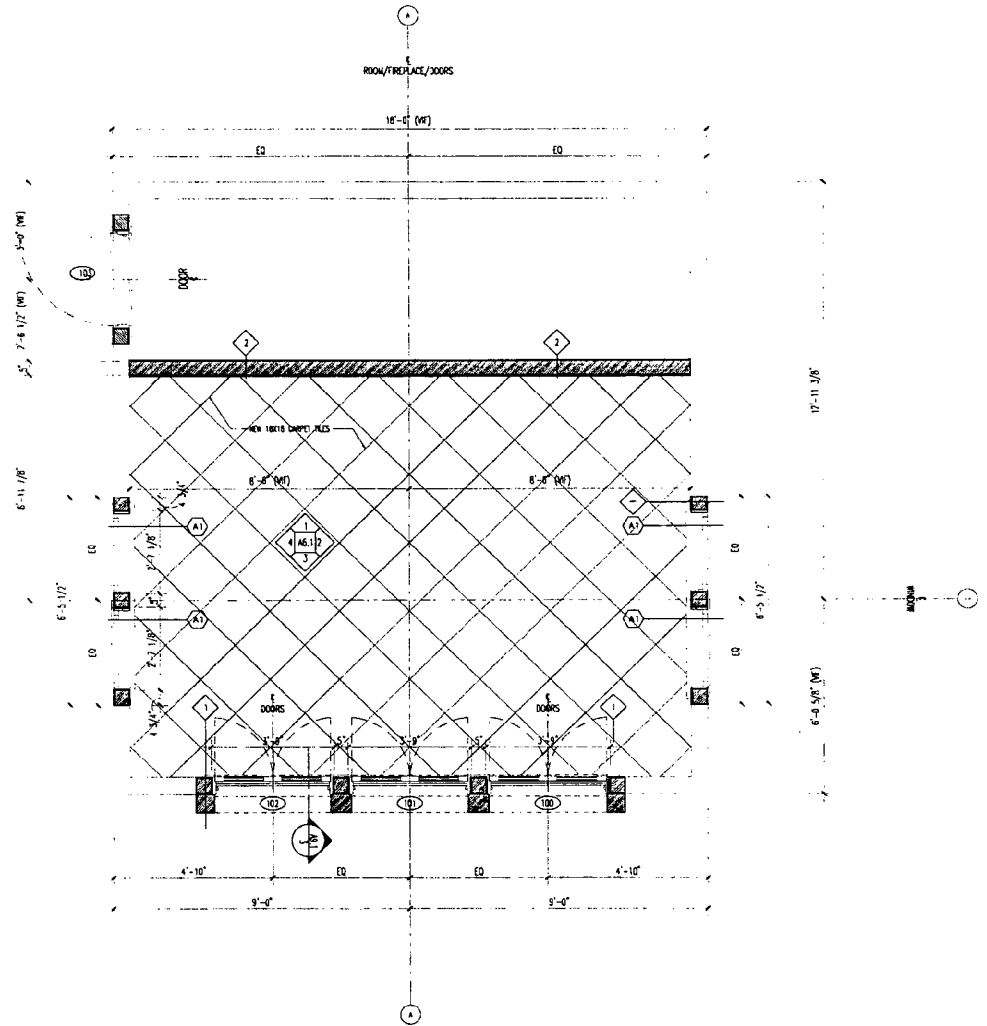


4 LEFT ELEVATION - FAMILY ROOM  
 A3.04 1/2"=1'

134



1  
2.0 DEMOLITION PLAN- SITTING ROOM  
1/2"=1'



2  
2.0 PROPOSED FLOOR PLAN- SITTING ROOM  
1/2"=1'

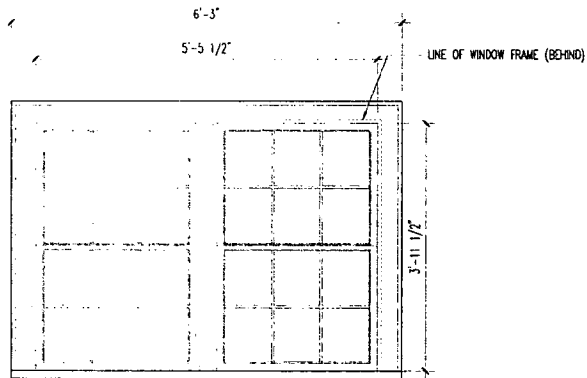
NOTES

1. ALL DIMENSIONS ARE TO FINISH OPENINGS.
2. FINISHED SURFACE OF NEW WALLS TO ALIGN WITH FIN SURFACE OF EXISTING WALLS WHERE APPLICABLE.

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

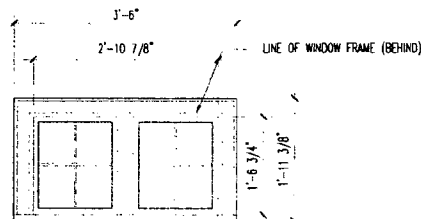
## WINDOW SCHEDULE

NO.	TYPE	LOCATION	W X H X D	HEAD	SILL	JAMB	NOTES	MANUFACTURER	FINISH	HARDWARE SET
#100	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD
#101	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD
#102	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD



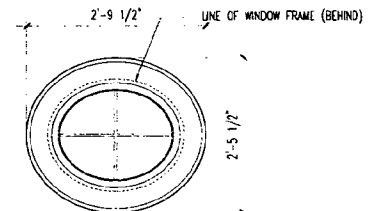
- 1) 12 - LITE WOOD DOUBLE-HUNG
- 2) 1/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR LOW E INSULATED GLAZING

4 WINDOW TYPE A1  
A7.1 3/4"=1'-0"



- 1) 8 - LITE WOOD AWNING (FIXED)
- 2) 7/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR LOW E INSULATED GLAZING

5 WINDOW TYPE B1  
A7.1 3/4"=1'-0"



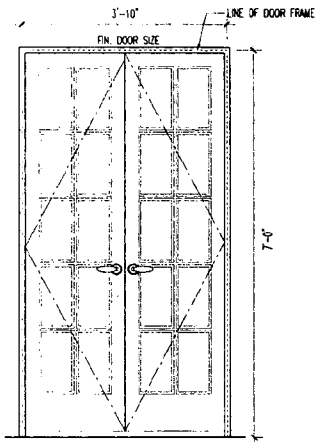
- 1) 4 - LITE WOOD ROUND WINDOW (FIXED)
- 2) 1 1/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR INSULATED GLAZING

6 WINDOW TYPE C1  
A7.1 3/4"=1'-0"



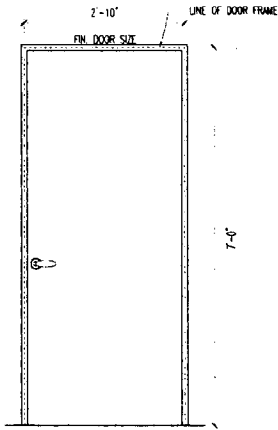
### DOOR AND HARDWARE SCHEDULE

NO.	TYPE	LOCATION	W X H X D	HEAD	SILL	JAMB	DESCRIPTION	NOTES	MANUFACTURER	FINISH	HARDWARE SET
#100	A1	EXTERIOR TO SITTING ROOM #100		1/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#101	A1	EXTERIOR TO SITTING ROOM #100		1/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#102	A1	EXTERIOR TO SITTING ROOM #100		1/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#103	B1	EXTERIOR TO STORAGE ROOM #101		2/4" x 2"	TBD	TBD	TBD	BY OWNER	TBD	PTD	TBD (BY OWNER)
#104	A1	EXTERIOR TO REAR PORCH ENTRY		2/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#105	A1	EXTERIOR TO REAR PORCH ENTRY		2/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#106 (NC)	C1	EXTERIOR TO FRONT ENTRY		2/4" x 2"	TBD	TBD	SIMULATED DIVIDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)

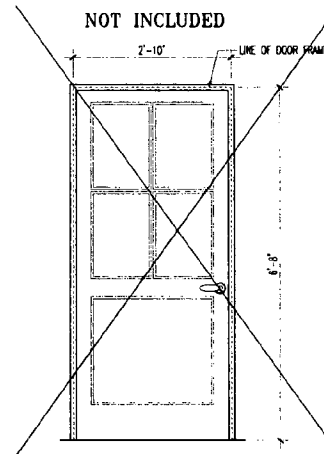


NEW 20-LITE 7/8" SIMULATED DIVIDED LIGHT (LOW E)  
WOOD FRENCH DOOR (HISWING), MARVIN OR EQUAL

1 DOOR TYPE A1  
A7.1 3/4" x 1'-0"



2 DOOR TYPE B1  
A7.1 3/4" x 1'-0"



NEW 4-LITE 7/8" SIMULATED DIVIDED LITE HISWING DOOR  
BY MARVIN OR EQUAL

3 DOOR TYPE C1  
A7.1 3/4" x 1'-0"

**GENERAL NOTES**

- 1) ALL SCHEDULE DIMENSIONS ARE TO DOOR UNIT FRAME AND DO NOT INCLUDE CASINGS OR SUBSILLS.
- 2) ALL DOOR SILLS ARE TO BE PROVIDED BY DOOR MANUF. UNLESS OTHERWISE NOTED.
- 3) ALL INTERIOR AND EXTERIOR DOOR CASINGS ARE BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- 4) DOOR MANUF. TO PROVIDE TEMPERED GLASS AT DOOR UNITS AS NOTED.

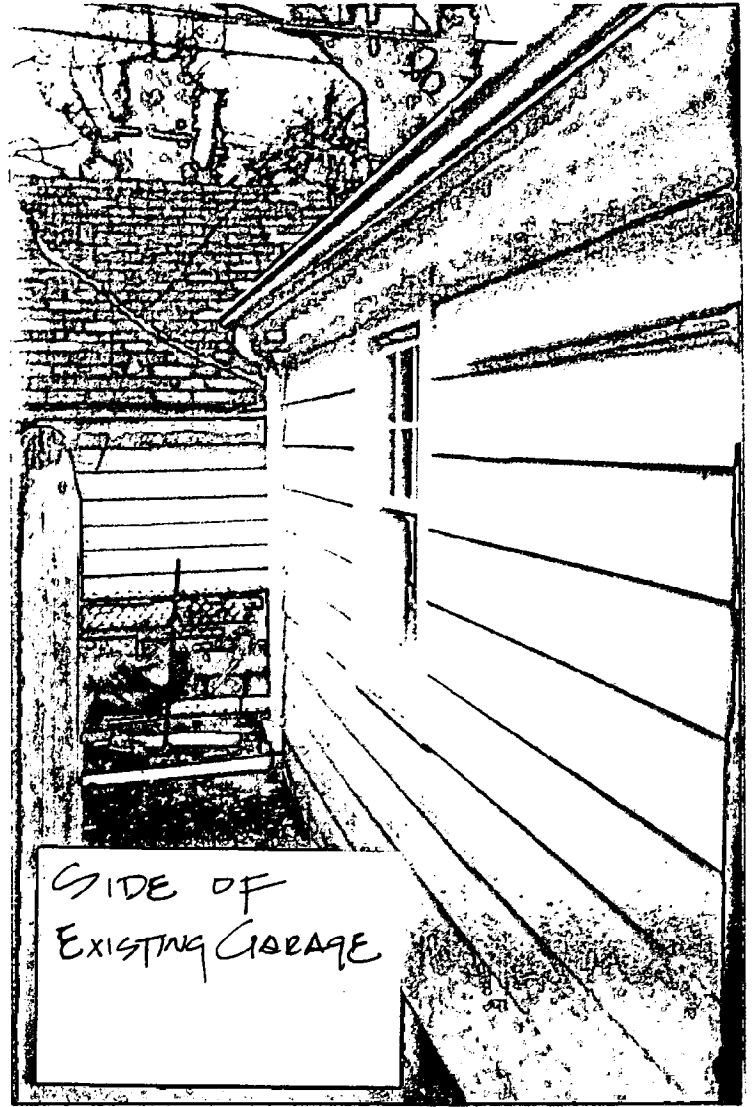


FRONT ELEVATION  
MAIN HOUSE

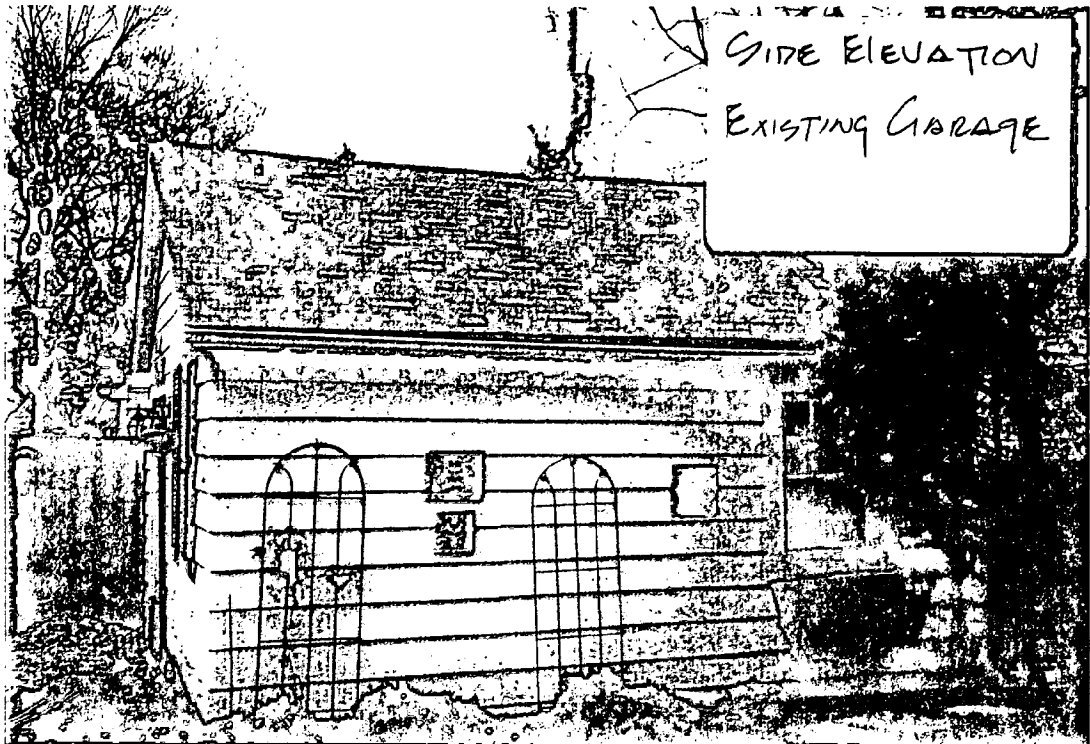


REAR OF  
EXISTING GARAGE

REAR OF  
EXISTING GARAGE



SIDE OF  
EXISTING GARAGE

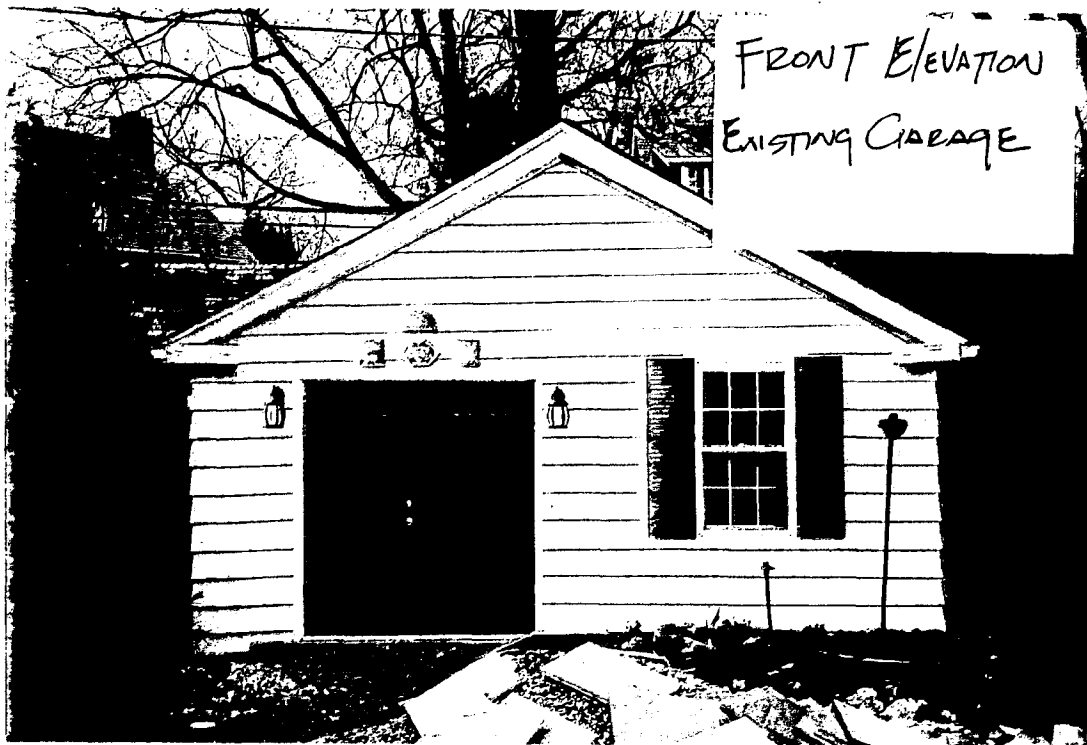
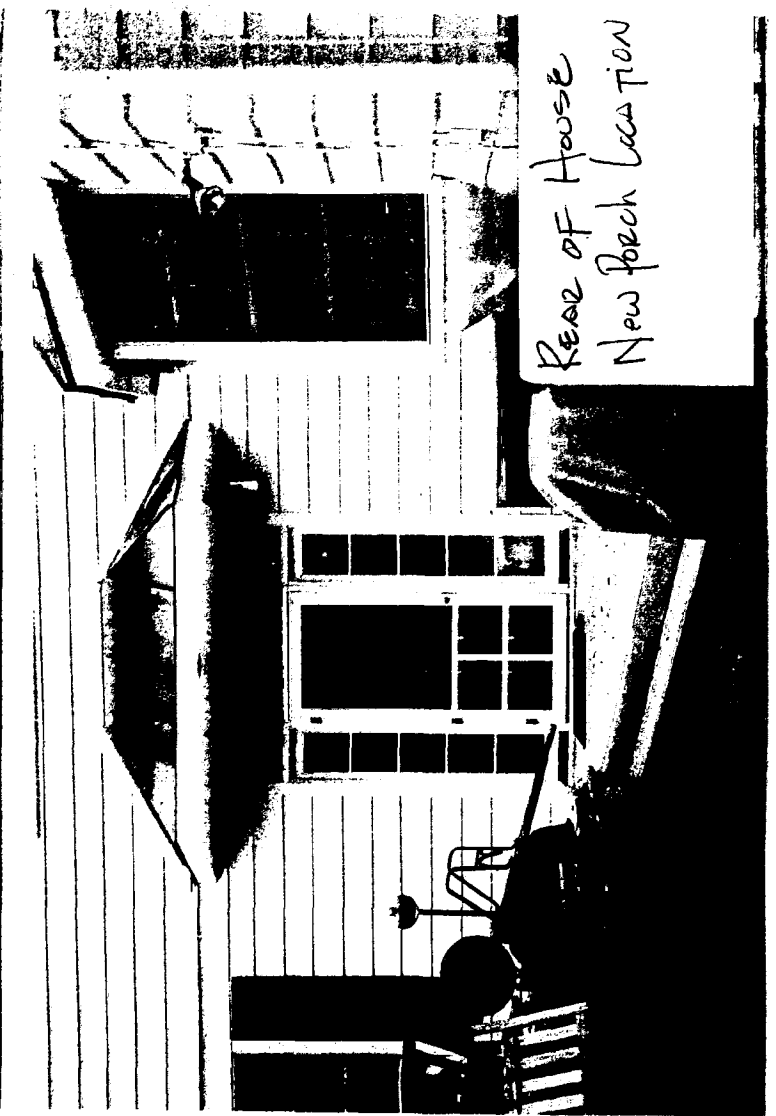


SIDE ELEVATION  
EXISTING GARAGE

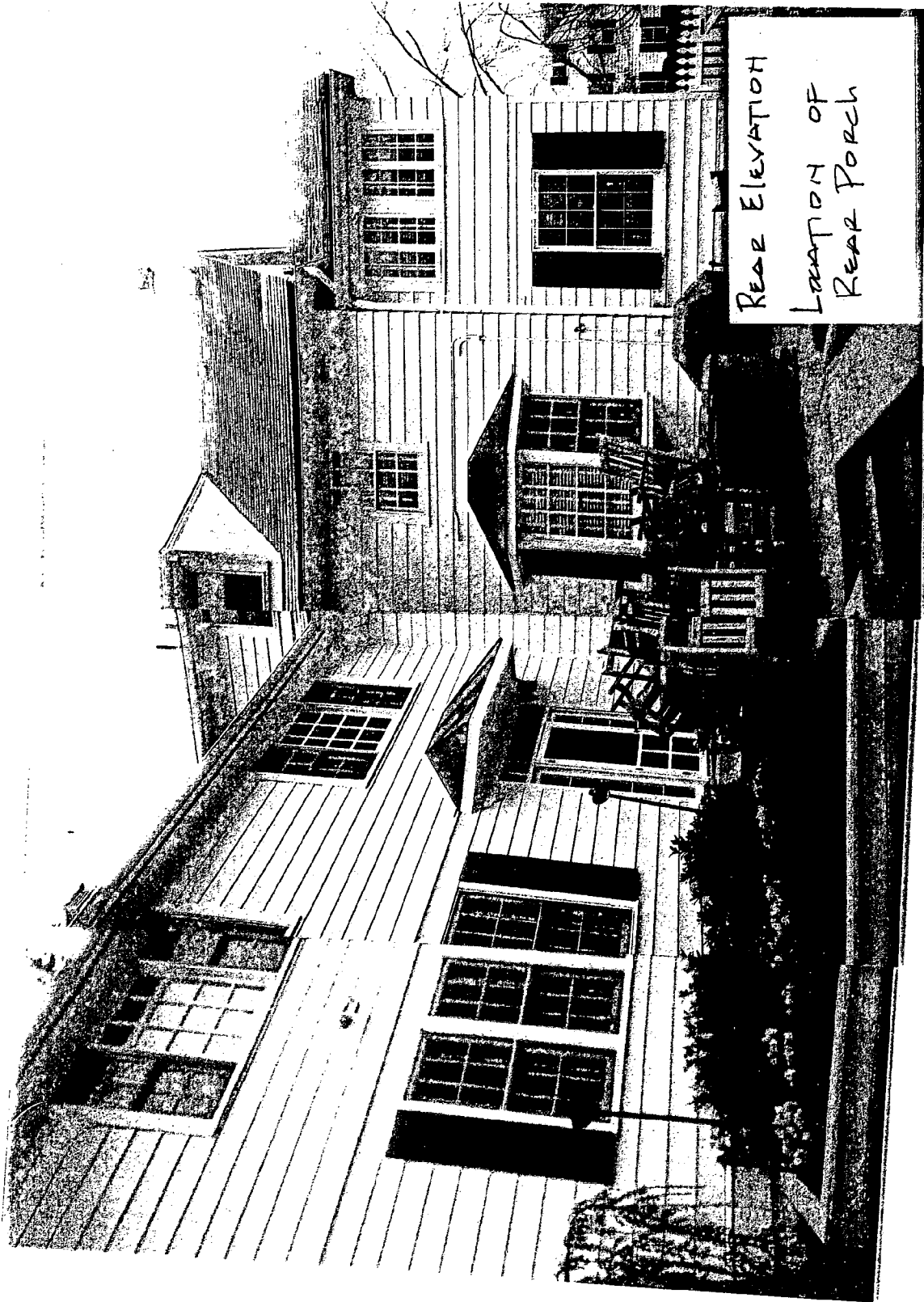
Rear of House  
New Porch Location



Rear of House  
New Porch Location



FRONT ELEVATION  
EXISTING GARAGE



REAR ELEVATION  
LOCATION OF  
REAR PORCH



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Jef Fuller  
Chairman

April 26, 2007

### MEMORANDUM

TO: Reggie Jetter, Acting Director  
Department of Permitting Services

FROM: Michele Oaks, Planner Coordinator   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #449495 Concrete Slab

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the April 25, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: J.W. Rayder (Marjorie Kehne, Agent)

Address: 14 Oxford St, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 301/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MARJORIE KEHNE  
 Daytime Phone No.: 240-882-1828

Fax Account No.: \_\_\_\_\_

Name of Property Owner: JW + HELENE RAYGER Daytime Phone No.: \_\_\_\_\_

Address: 14 ~~OXFORD~~ ST. CHEVY CHASE OXFORD ST 20815  
Street Number City State Zip Code

Contractor: MASON KEHNE LANDSCAPE DESIGN Phone No.: 240-882-1828

Contractor Registration No.: 33845

Agent for Owner: MARJORIE KEHNE Daytime Phone No.: 240-882-1828

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: OXFORD  
 Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD  
 Lot: 20 + 21 Block: 54 Subdivision: SECTION 2  
 Liber: 25379 Folio: 253 ~~4001~~ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input checked="" type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input checked="" type="checkbox"/> Install	<input type="checkbox"/> Wreck/Tear	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 2,400.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Marjorie M Kehne 4/3/07  
Signature of owner or authorized agent Date

Approved: X Chairperson Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: Date: 4/26/07

Application/Permit No.: 449495 Date Filed: 4/4/07 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structural(s) and environmental setting, including their historical features and significance:

REMOVE GRAVEL, ~~AND~~ FORM + POUR 3" THICK CONCRETE SLAB  
ON WEST + SOUTH SIDE OF GARAGE. SLAB TO BE REINFORCED  
W/ WIRE MESH INSIDE. ~~SUBMIT~~ SLABS TO BE 3'6" WIDE,  
21' LONG ON WEST SIDE + 20' LONG ON SOUTH SIDE OF GARAGE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NO IMPACT ON HISTORIC ~~AREA~~ OR ENVIRONMENTAL TO MY KNOWLEDGE

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS OF FRONT ELEVATION OF HOUSE**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

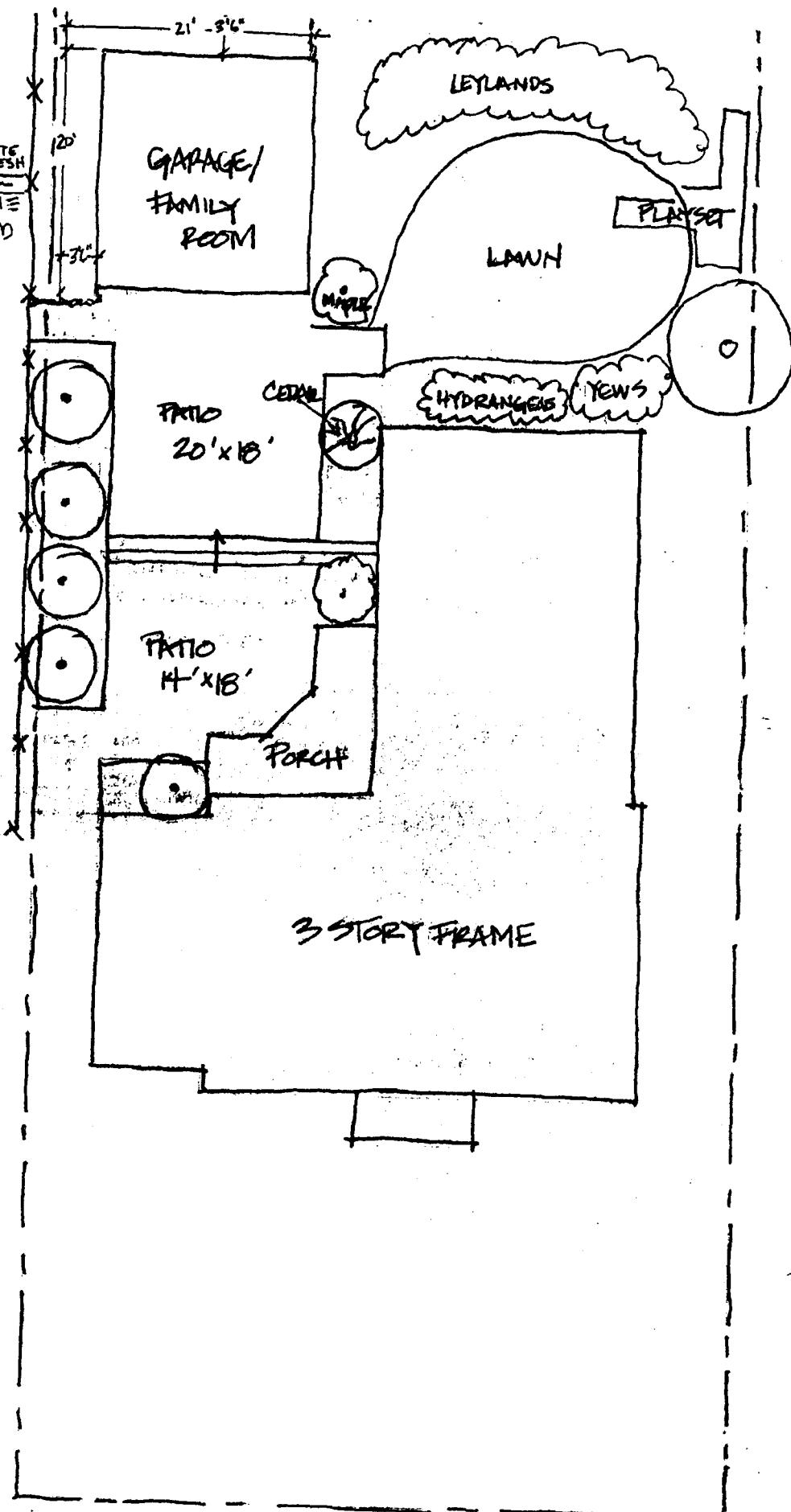
If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.





SECTION OF SLAB

3" CONCRETE  
W/ WIRE MESH  
UNDISTURBED  
SOIL

GARAGE/  
FAMILY  
ROOM

LEYLANDS

PLAYSET

LAWN

MAPLE

PATIO  
20' x 18'

CEDAR

HYDRANGEAS

YEW'S

PATIO  
14' x 18'

PORCH

3 STORY FRAME

05/09/07  
05/09/07

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	14 Oxford Street, Chevy Chase	<b>Meeting Date:</b>	<del>12/20/2006</del>
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	<del>12/13/2006</del>
<b>Applicant:</b>	J.W. Rayder (Mike Sullivan, Architect)	<b>Public Notice:</b>	<del>12/6/2006</del>
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	N/A
<b>Case Number:</b>	35/13-07Q	<b>Staff:</b>	Michele Oaks

**PROPOSAL:** Alterations to detached garage and construction of rear porch

**RECOMMENDATION:** Approve with conditions

**STAFF RECOMMENDATION:**

Staff is recommending that the Commission approve this Historic Area Work Permit application with the conditions that:

1. The applicant will contact the Chevy Chase Village arborist to discuss if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. The detail for the proposed cedar flooring for the covered porch will be tongue and groove.

**ARCHITECTURAL DESCRIPTION**

<b>SIGNIFICANCE:</b>	Contributing Resource
<b>STYLE:</b>	Colonial Revival
<b>DATE OF CONSTRUCTION:</b>	1911

The original house is a three-bay, side-gable roof, frame dwelling. The asphalt roof contains a whitewashed, brick, interior-end chimney extending from the east elevation of the house. The windows are 6/6 double hung and are flanked by two, paneled louvered shutters. The front elevation is also ornamented with a flat roof entry portico detailed with a roof top balustrade and square columns. A two-story side extension protrudes from the east elevation of the house. The house has had some alterations to its original design including the construction of a rear addition.

The house is sited in the center of a 59' wide and 123'6" deep lot. An existing asphalt driveway runs along the east property line. A 19' wide x 18' deep garage is positioned at the rear southeast corner of the property. This building was originally a smaller, one car garage that has been significantly altered into its current form. The property contains several large, mature trees.

## **HISTORIC CONTEXT**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

## **PROPOSAL:**

The project proposes to:

1. Remove and replace an existing, bay window located on the rear elevation of the house with a French door.
2. Replace an existing French door on the rear addition.
3. Construct a new, covered porch at the rear of the house. The porch will have a flat roof and detailed with a roof top balustrade. The porch will be fabricated entirely of wood, including trim and column details.
4. Alter the existing non-contributing garage by replacing the existing doors and windows on the front façade, install new, dormers on the roof of the west and east elevations, replace windows and people doors on the east and west elevations and replace trim work on the entire building as needed. Materials include painted, wood windows and doors with wood trim installed into the existing clapboard sided walls.

## **APPLICABLE GUIDELINES**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

### ***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibility designed.

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.

Windows should be subject to strict scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Vinyl and aluminum windows should be discouraged.

Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.

Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient if they are not.

Garages and accessory buildings, which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.

### ***Montgomery County Code; Chapter 24A***

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

*Secretary of the Interior's Standards for Rehabilitation*

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject projects are all located in the rear yard - not visible from the public right-of-way. The modifications to the non-contributing garage and the installation of the proposed covered porch will not negatively impact the historic integrity of this resource as their detailing are sympathetic to the architectural design of the house and the materials proposed are consistent with the Commission's policies. The Chevy Chase Village Guidelines encourage leniency when reviewing alterations and changes to portions of the building, which are not visible from the public right-of-way. These proposals meet the criteria outlined in the *Chevy Chase Village Guidelines*.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Chevy Chase Village Historic District Master Plan – Expansion, Adopted April 1998*

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

• E/9/1/07  
• 4/18/07

Contact Person: MIKE SULLIVAN  
Daytime Phone No.: 301-299-6500

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: J.W. RAJDER Daytime Phone No.: 301-656-6430  
Address: 14 OXFORD ST. CHEVY CHASE 20815  
Street Number City State Zip Code  
Contractor: deMARNE & Day, INC. Phone No.: 301-299-6500  
Contractor Registration No.: 1528  
Agent for Owner: MIKE SULLIVAN Daytime Phone No.: 301-299-6500

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: OXFORD ST.  
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # H/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

4/16/07  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 450803 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family dwelling w/ detached rear garage on  
residential street in Chevy Chase.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Rear Garage: 3/4 of existing garage space being turned  
into a 3 season sitting room. Balance  
of space to remain as storage room.  
Rear Porch: New wooden porch to gain better  
access to landscaped rear yard.

2. **SITE PLAN** CD

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS** CD

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS** CD

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS** Attached

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY** H/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS** Attached

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
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de Marne & Day, Inc.

ARCHITECTURE □ REMODELING

10112 River Road □ Potomac, MD 20854

Eugene R. Dare, *President*

Michael J. Sullivan, *Senior Vice*

*President*

Alfred E. Goldschmidts, *Vice President*

RYDER RESIDENCE

14 DXFORD ST.  
CHEVY CHASE, MD. 20815

- Neighbor(s) directly across STREET  
#31 & #33 DXFORD STREET
- Neighbor to left & right of PROPERTY  
#12 & #14 DXFORD STREET
- Neighbor directly behind  
#15 Newlands STREET





8

BROOKVILLE ROAD

NEWLANDS

CONNECTICUT

OXFORD STREET

PRIMROSE

20

18

16

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12

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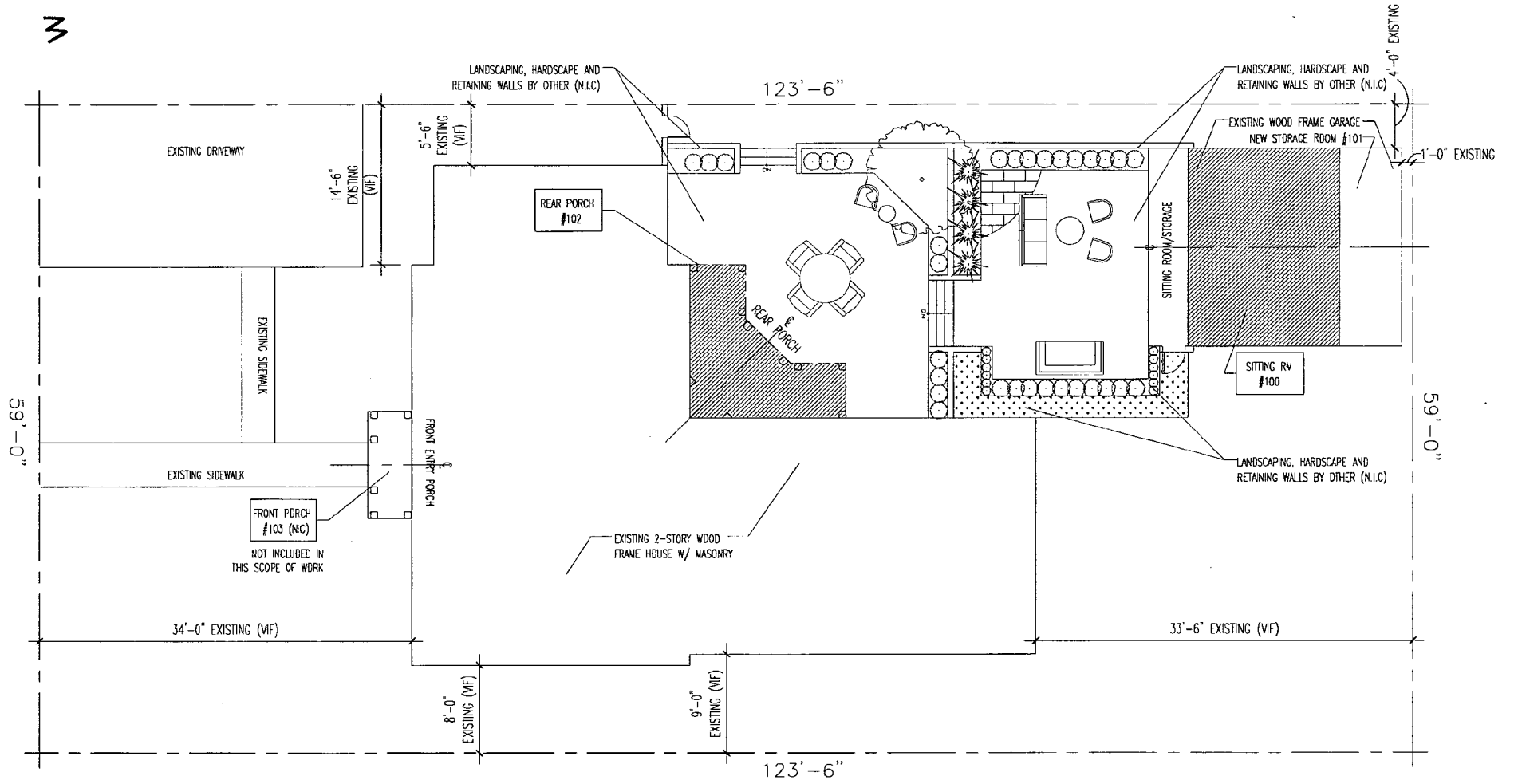
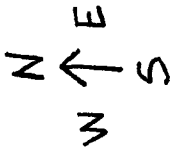
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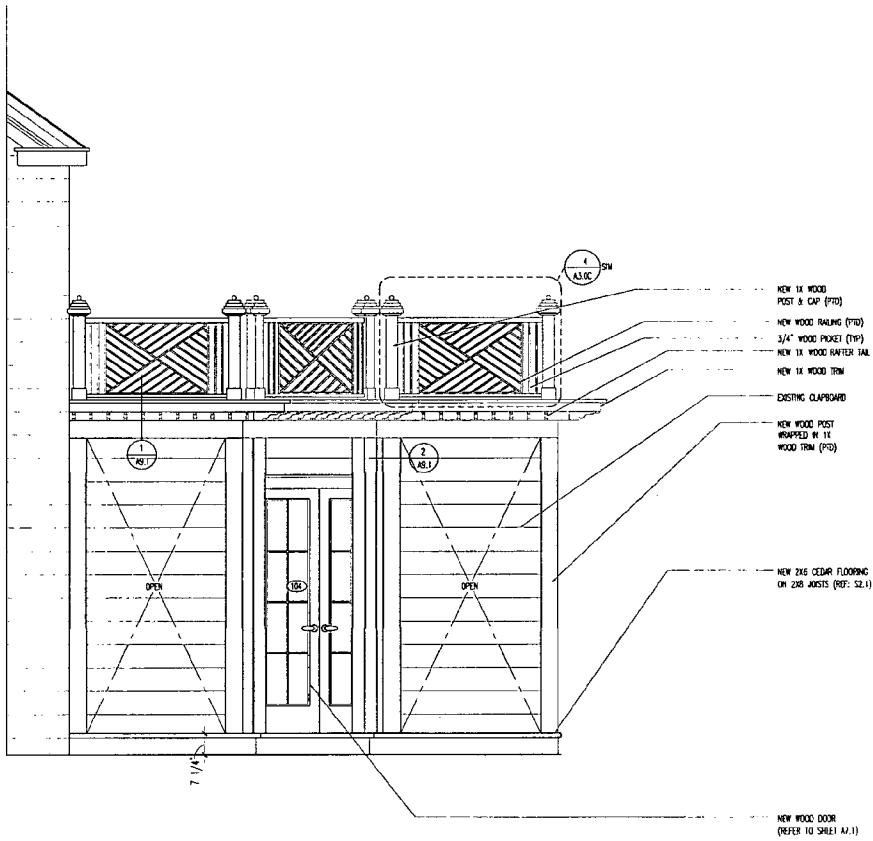
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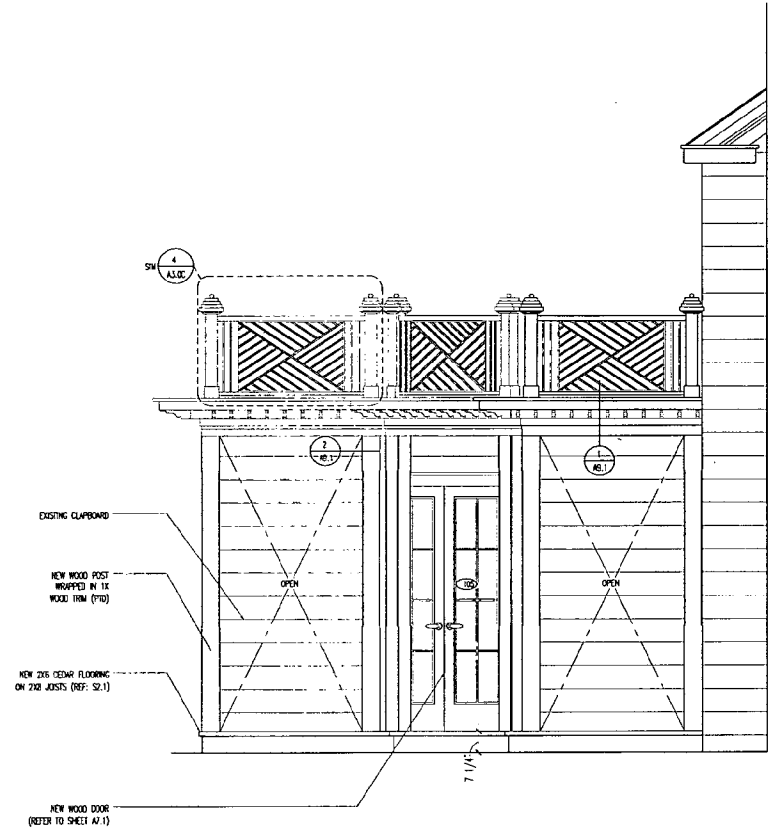
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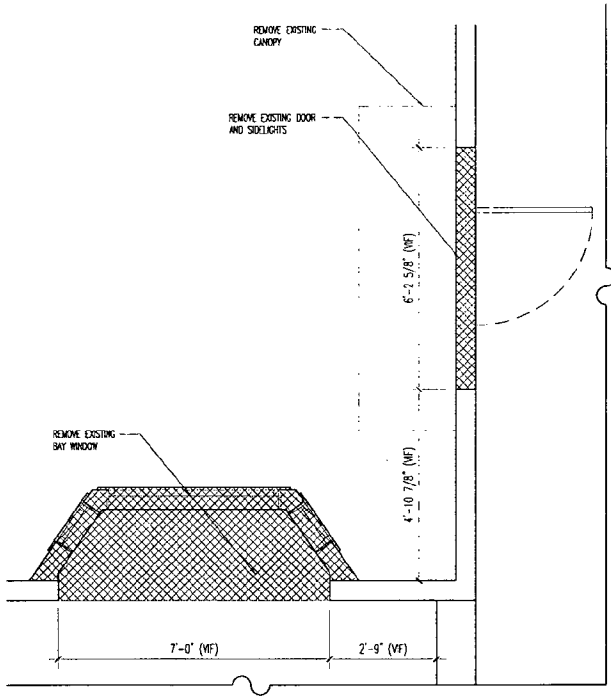
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



1 LEFT ELEVATION- REAR PORCH  
A3.08 1/2"=1'

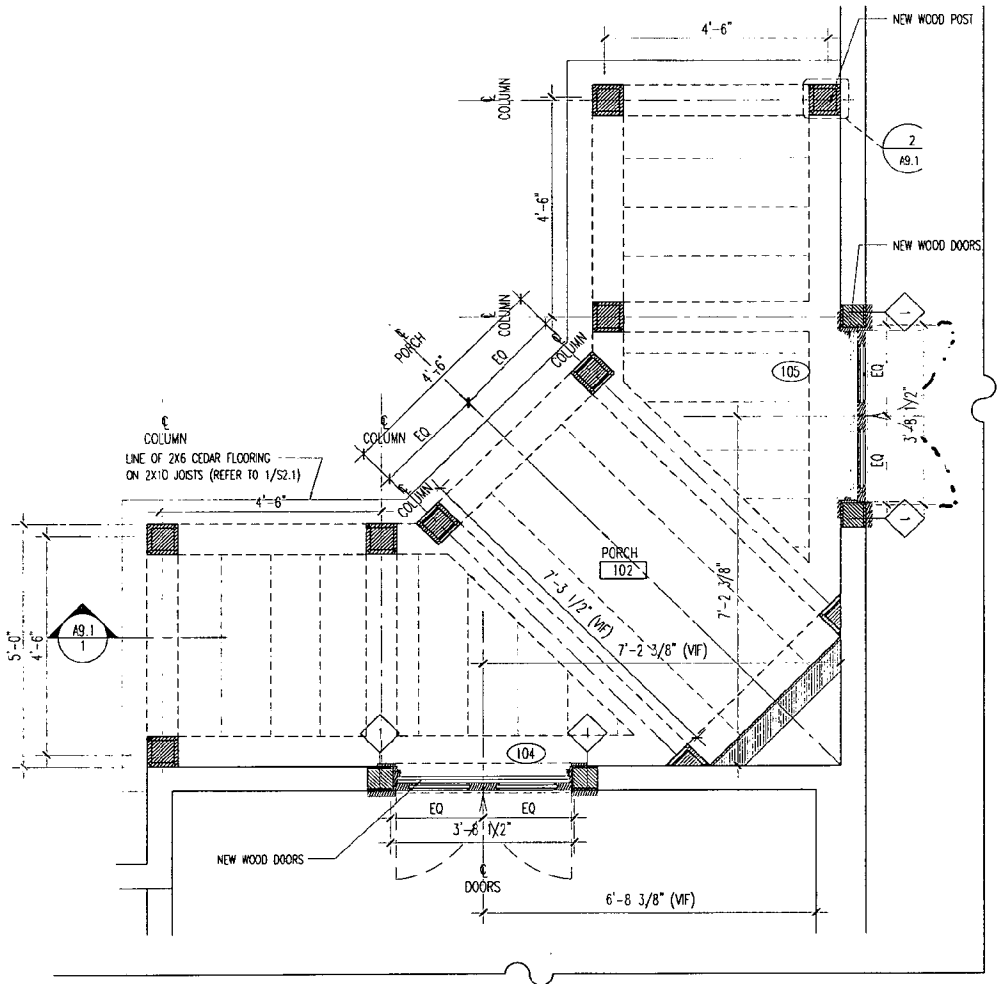


2 RIGHT ELEVATION - REAR PORCH  
A3.08 1/2"=1'



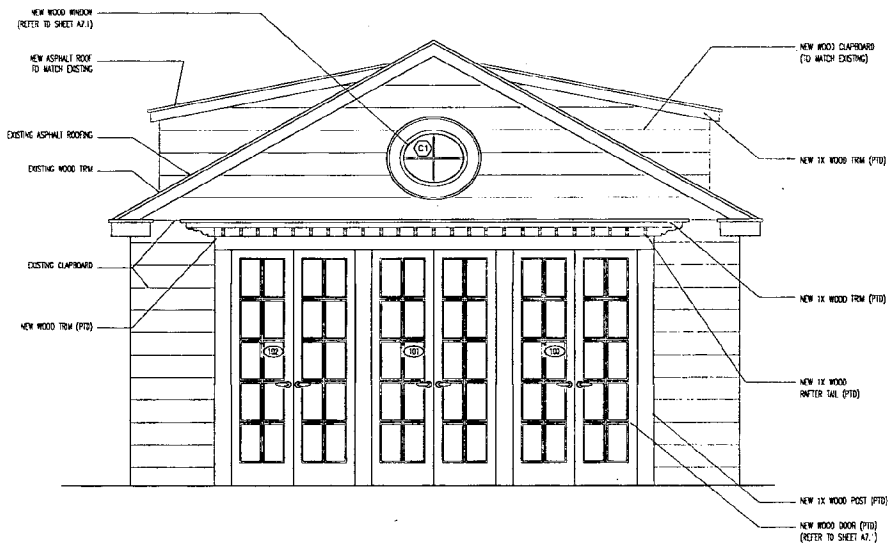
1 DEVOLUTION PLAN - REAR PORCH

A2.06 1/2"=1'

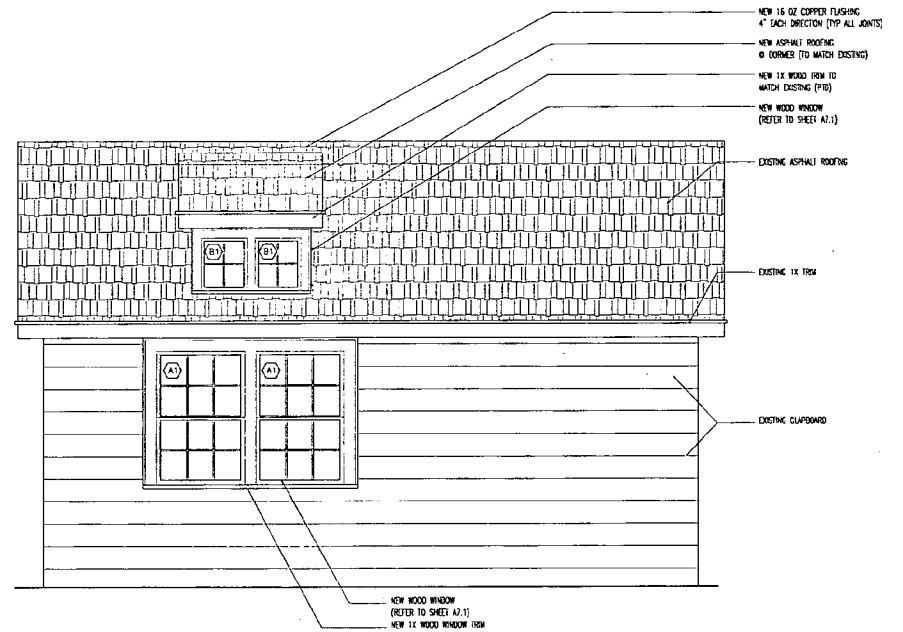


2 FLOOR PLAN - REAR PORCH

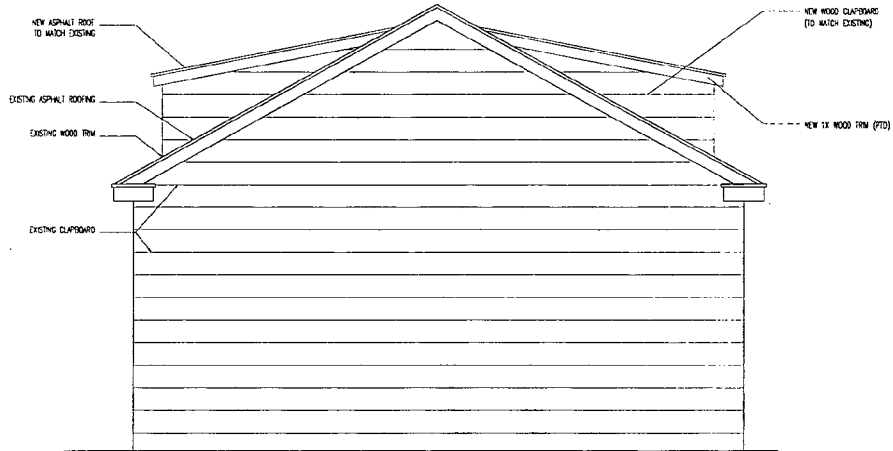
A2.08 1/2"=1'



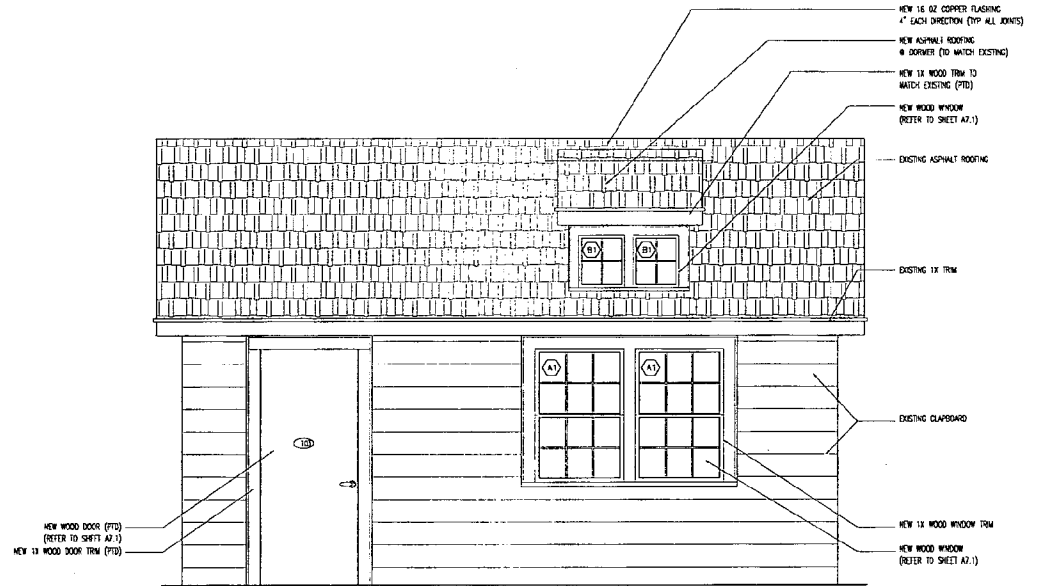
1 FRONT ELEVATION - FAMILY ROOM  
 AS/A 1/2" = 1"



2 RIGHT ELEVATION - FAMILY ROOM  
 AS/A 1/2" = 1"

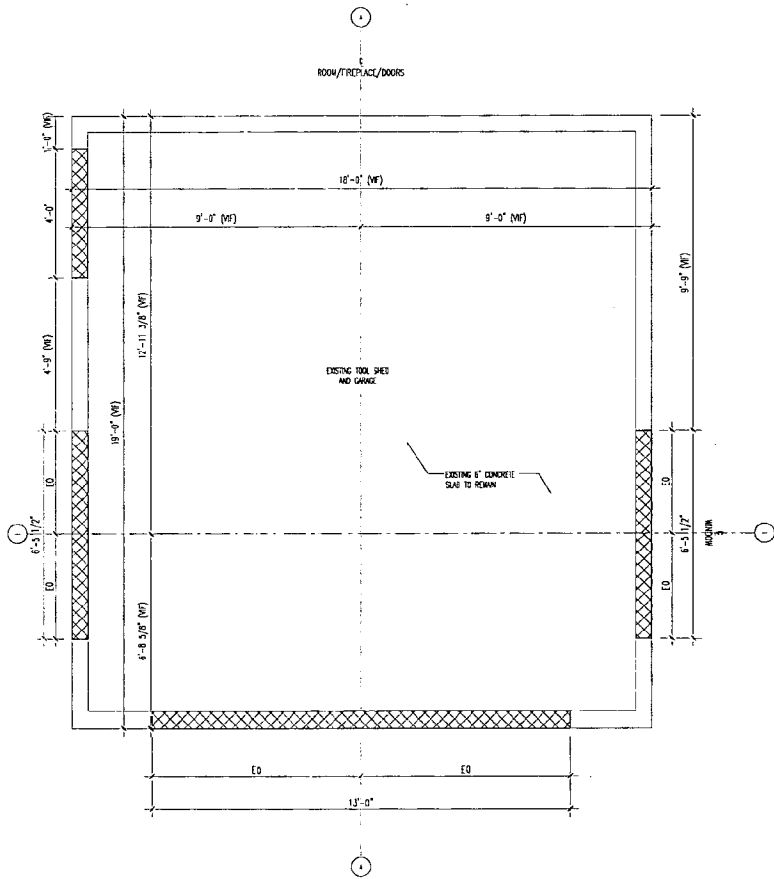


3 REAR ELEVATION - FAMILY ROOM  
 A3.0A 1/2"=1'

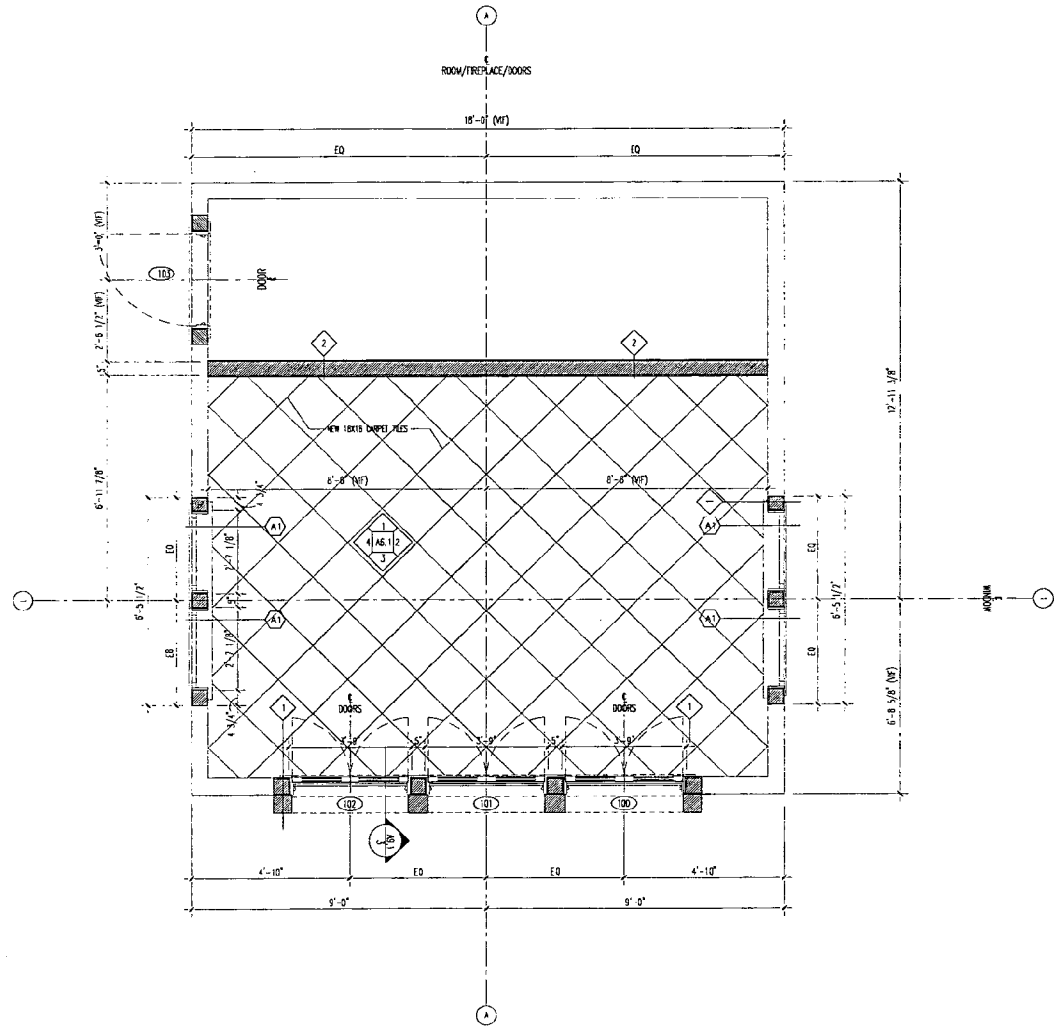


4 LEFT ELEVATION - FAMILY ROOM  
 A3.0A 1/2"=1'

41



1 DEMOLITION PLAN- SITTING ROOM  
1/2"=1'



2 PROPOSED FLOOR PLAN- SITTING ROOM  
1/2"=1'

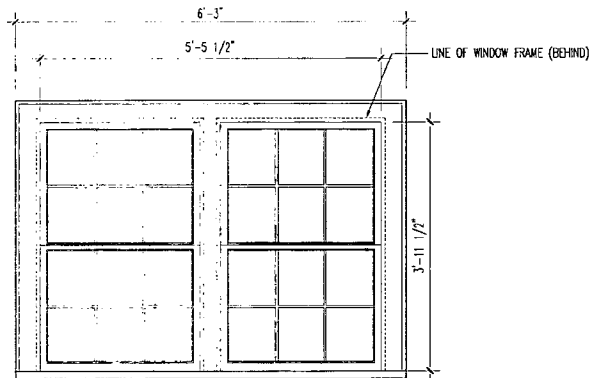


- NOTES:
1. ALL DIMENSIONS ARE TO ROUGH OPENINGS.
  2. FINISHED SURFACE OF NEW WALLS TO ALIGN WITH FIN SURFACE OF EXISTING WALLS WHERE APPLICABLE.
- EXISTING CONSTRUCTION TO REMAIN
  - EXISTING CONSTRUCTION TO BE DEMOLISHED
  - NEW CONSTRUCTION

41

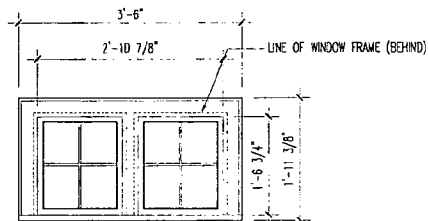
## WINDOW SCHEDULE

NO.	TYPE	LOCATION	W X H X D	HEAD	SILL	JAMB	NOTES	MANUFACTURER	FINISH	HARDWARE SET
#100	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD
#101	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD
#102	A1	EXTERIOR TO SITTING ROOM #100		TBD	1/A7.3	TBD	BY OWNER	TBD	TBD	TBD



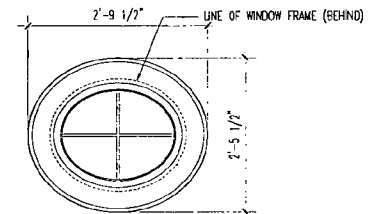
- 1) 12 - LITE WOOD DOUBLE-HUNG
- 2) 7/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR LOW E INSULATED GLAZING

4 WINDOW TYPE A1  
A7.1 3/4"=1'-0"



- 1) 8 - LITE WOOD ARCHING (FIXED)
- 2) 7/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR LOW E INSULATED GLAZING

5 WINDOW TYPE B1  
A7.1 3/4"=1'-0"



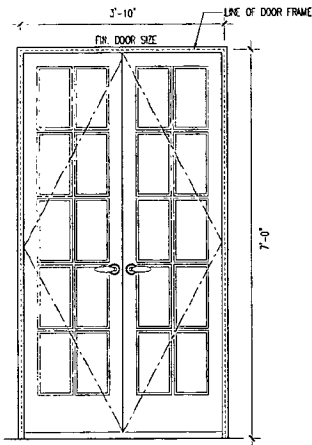
- 1) 4 - LITE WOOD ROUND WINDOW (FIXED)
- 2) 1 1/8" SIMULATED DIVIDED LITE WINDOW
- 3) CLEAR INSULATED GLAZING

6 WINDOW TYPE C1  
A7.1 3/4"=1'-0"



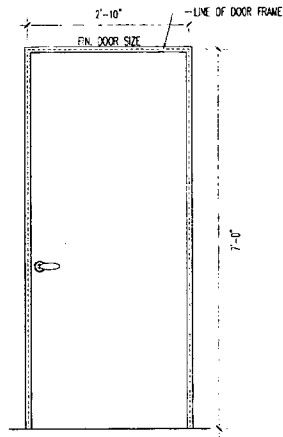
### DOOR AND HARDWARE SCHEDULE

NO.	TYPE	LOCATION	W X H X D	HEAD	SILL	JAMB	DESCRIPTION	NOTES	MANUFACTURER	FINISH	HARDWARE SET
#100	A1	EXTERIOR TO SITTING ROOM #100		1/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#101	A1	EXTERIOR TO SITTING ROOM #100		1/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#102	A1	EXTERIOR TO SITTING ROOM #100		1/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#103	B1	EXTERIOR TO STORAGE ROOM #101		2/4"±2	TBD	TBD	TBD		TBD	PTD	TBD (BY OWNER)
#104	A1	EXTERIOR TO REAR PORCH ENTRY		2/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#105	A1	EXTERIOR TO REAR PORCH ENTRY		2/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)
#106 (NC)	C1	EXTERIOR TO FRONT ENTRY		2/4"±2	TBD	TBD	SMULATED DIVDED LITE	BY OWNER	MARVIN OR SIMILAR APPROVED	PTD	TBD (BY OWNER)

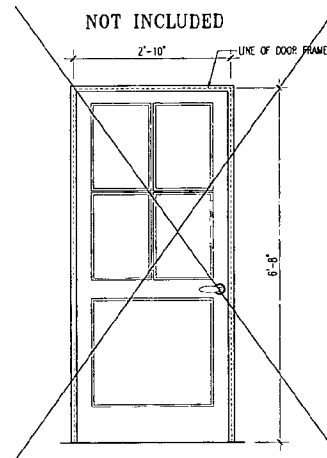


NEW 20-LITE 2/8" SMULATED DIVDED LIGHT (LOW E)  
WOOD FRENCH DOOR (NEWING), MARVIN OR EQUAL

1 DOOR TYPE A1  
A7.1 3/4"±1'-0"



2 DOOR TYPE B1  
A7.1 3/4"±1'-0"



NEW 4-LITE 2/8" SMULATED DIVDED LITE INSWING DOOR  
BY MARVIN OR EQUAL

3 DOOR TYPE C1  
A7.1 3/4"±1'-0"

**GENERAL NOTES**

- 1) ALL SCHEDULE DIMENSIONS ARE TO DOOR UNIT FRAME, AND DO NOT INCLUDE CASINGS OR SUBSILLS.
- 2) ALL DOOR SILLS ARE TO BE PROVIDED BY DOOR MANUF. UNLESS OTHERWISE NOTED.
- 3) ALL INTERIOR AND EXTERIOR DOOR CASINGS ARE BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- 4) DOOR MANUF. TO PROVIDE TEMPERED GLASS AT DOOR UNITS AS NOTED.

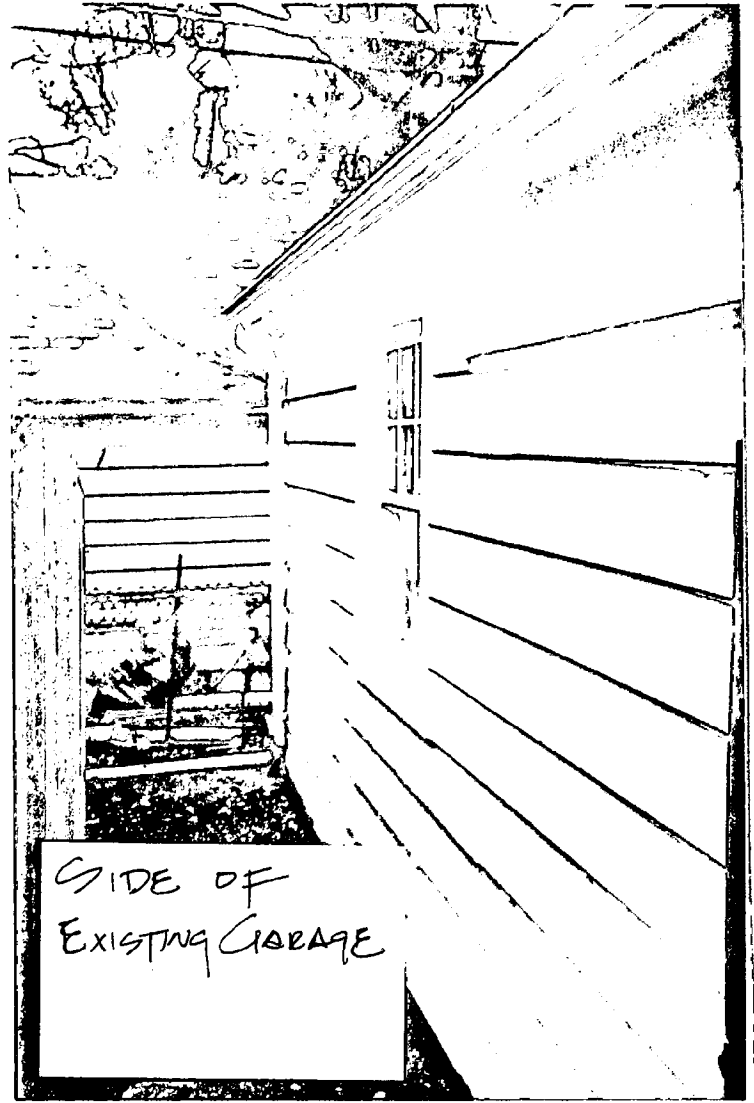


FRONT ELEVATION  
MAIN HOUSE



REAR OF  
EXISTING GARAGE

REAR OF  
EXISTING GARAGE



SIDE OF  
EXISTING GARAGE

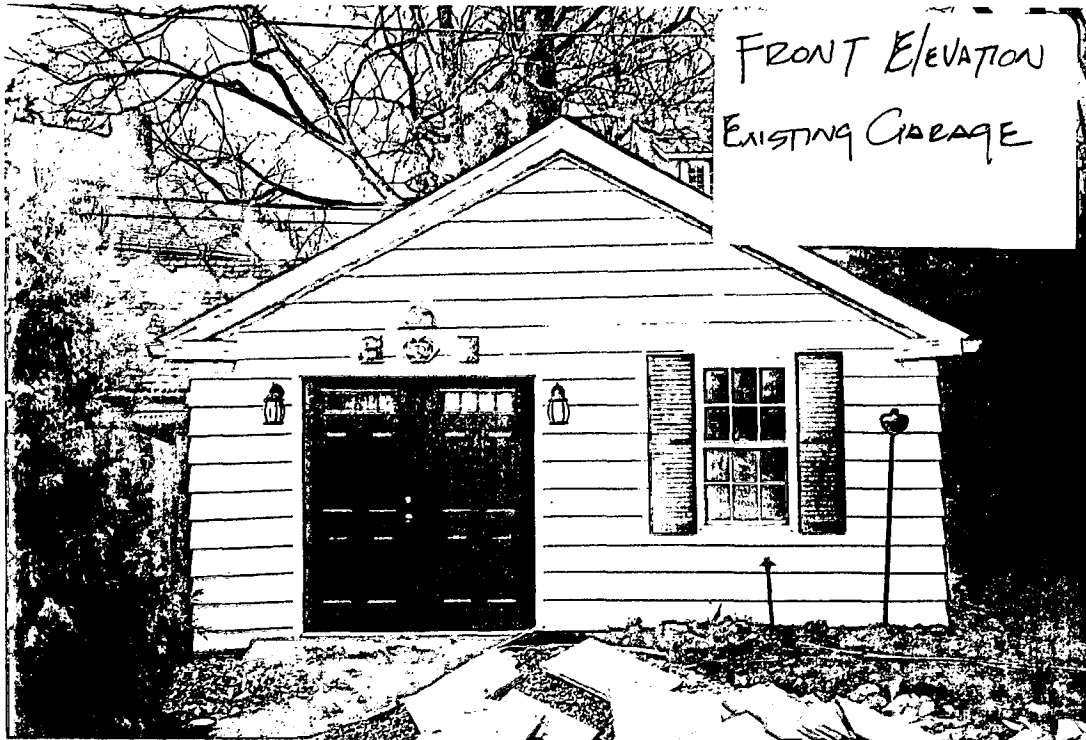


SIDE ELEVATION  
EXISTING GARAGE

REAR OF HOUSE  
NEW PORCH LOCATION

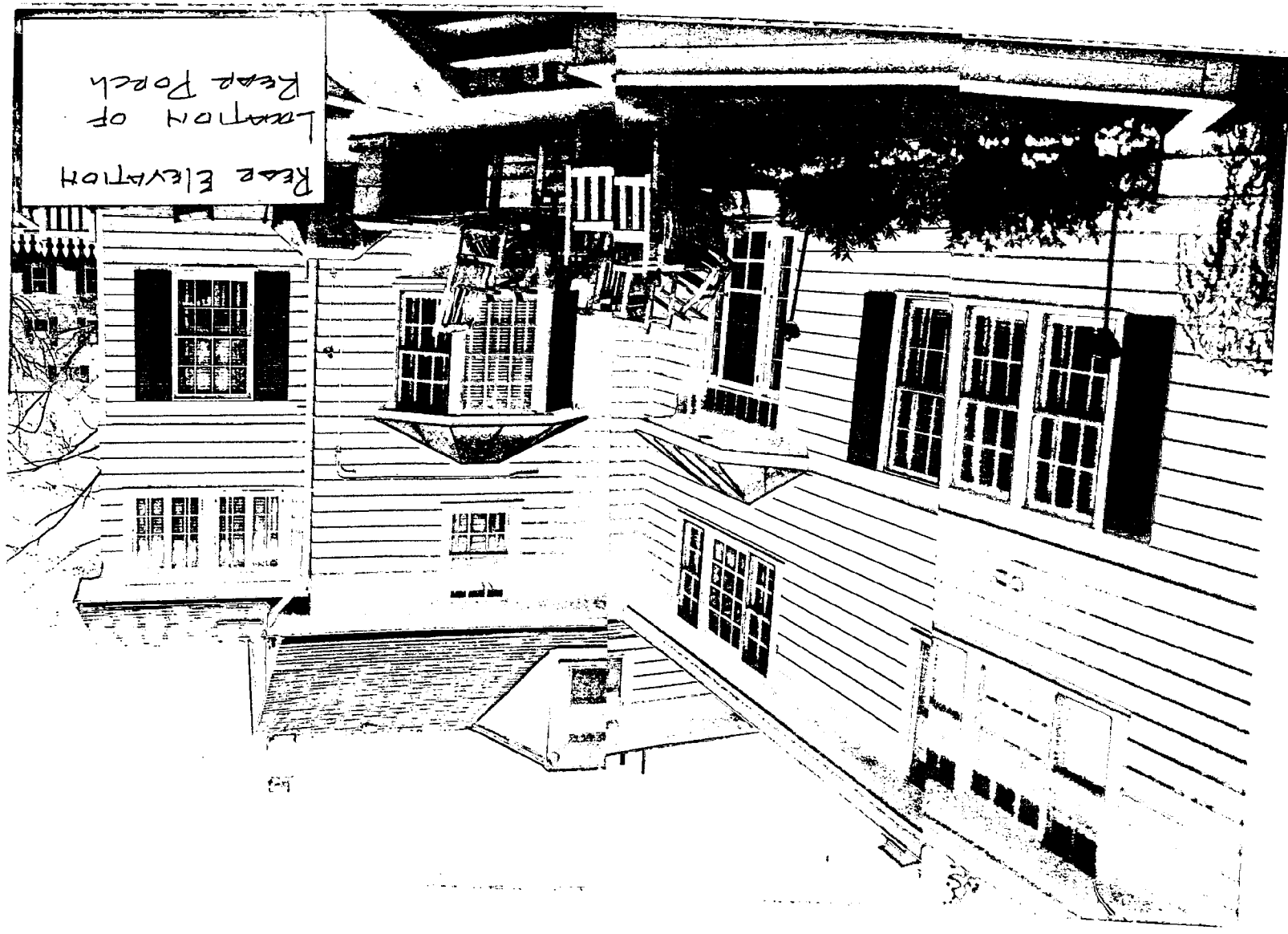


REAR OF HOUSE  
NEW PORCH LOCATION



FRONT ELEVATION  
EXISTING GARAGE

REAR ELEVATION  
LOCATION OF  
REAR PORCH





SIDE OF  
EXISTING GARAGE



REAR OF  
EXISTING GARAGE





REAR OF  
EXISTING GARAGE





FRONT ELEVATION  
MAINT HOUSE



REAR OF HOUSE  
New Porch Location



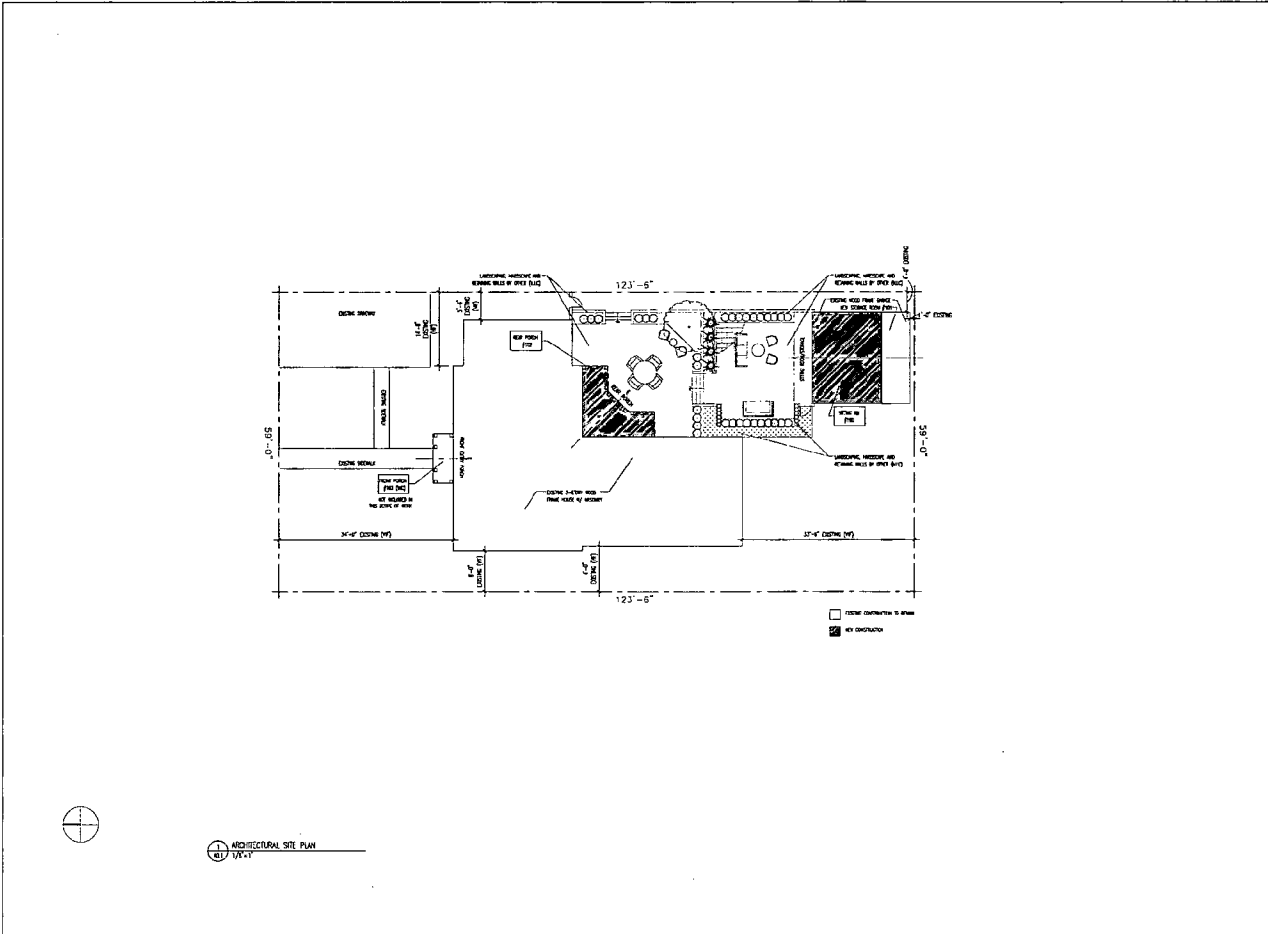








REAR ELEVATION  
LOCATION OF  
REAR PORCH



**MICHAEL GRAVES  
ARCHITECT P.C.**  
360 UNIVERSITY BLVD. #201  
WYOMING, WY 83001  
307.462.1234  
1992 INC. 0004

REVISIONS:  
DATE NO. DESCRIPTION

DATE	NO.	DESCRIPTION
	1	ISSUE FOR PERMIT

PROJECT NUMBER: 20044

PROJECT NAME:  
**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

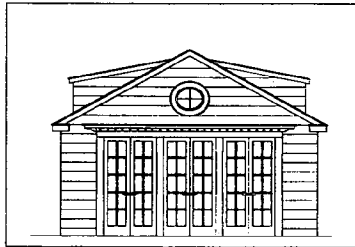
DRAWING TITLE:  
**ARCHITECTURAL  
SITE PLAN**

DRAWN BY: TR  
CHECKED BY:  
DATE: 03/21/07 SCALE: 1/8"=1'-0"

PROJECT NUMBER:  
**A0.1**

1 ARCHITECTURAL SITE PLAN  
1/8"=1'-0"

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

24 CONDUK STREET  
WASHINGTON, D.C.

PERMIT SET  
MARCH 2007

A 00	LEGEND/SYMBOLS/SCHEDULES
A 01	SITE PLAN
A 2.0A	FLOOR PLAN- SITTING ROOM
A 2.0B	FLOOR PLAN- REAR PORCH
A 2.0C	FLOOR PLAN- FRONT PORCH
A 1.0A	EXTERIOR ELEVATIONS- SITTING ROOM
A 1.0B	EXTERIOR ELEVATIONS- REAR PORCH
A 1.0C	EXTERIOR ELEVATIONS- FRONT PORCH
A 01	INTERIOR ELEVATIONS
A 2.1	DOOR/WINDOW SCHEDULE
A 2.2	DOOR/WINDOW DETAIL
A 2.3	DOOR/WINDOW DETAIL
A 00	DETAILS (*)
A 01	DETAILS
E 1.0	ELECTRICAL LEGEND
E 2.0	ELECTRICAL PLANS
S 1.0	STRUCTURAL PLANS
S 2.1	STRUCTURAL PLANS

(\*) INDICATES NOT INCLUDED IN SET  
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT  
560 BROADWAY, SUITE 401  
NEW YORK, NY 10012



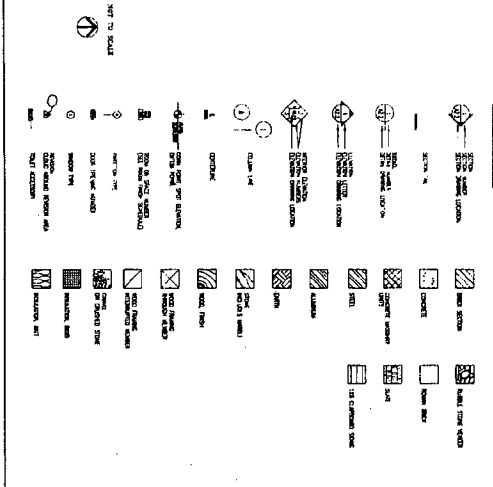
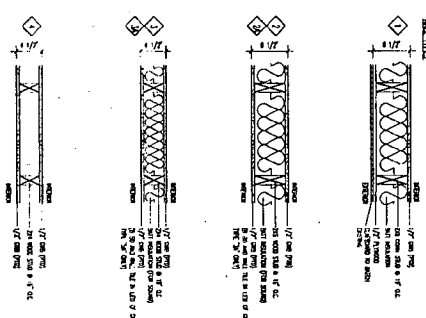
**MICHAEL BAYNES**  
**ARCHITECT P.L.C.**  
 1000 WEST 10TH AVENUE  
 SUITE 1000  
 DENVER, CO 80202

**PROJECT NUMBER** 00000000  
**PROJECT NAME** [REDACTED]  
**PROJECT DATE** [REDACTED]

**OWNER** [REDACTED]  
**ARCHITECT** [REDACTED]  
**DATE** [REDACTED]

**LEGEND/SYMBOLS SCHEDULES**

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16
17	18	19	20
21	22	23	24
25	26	27	28
29	30	31	32
33	34	35	36
37	38	39	40
41	42	43	44
45	46	47	48
49	50	51	52
53	54	55	56
57	58	59	60
61	62	63	64
65	66	67	68
69	70	71	72
73	74	75	76
77	78	79	80
81	82	83	84
85	86	87	88
89	90	91	92
93	94	95	96
97	98	99	100



**LEGEND/SYMBOLS SCHEDULES**

1. 1/2" Gypsum Board on 2x4 Studs

2. 1/2" Gypsum Board on 2x6 Studs

3. 1/2" Gypsum Board on 2x8 Studs

4. 1/2" Gypsum Board on 2x10 Studs

5. 1/2" Gypsum Board on 2x12 Studs

6. 1/2" Gypsum Board on 2x14 Studs

7. 1/2" Gypsum Board on 2x16 Studs

8. 1/2" Gypsum Board on 2x18 Studs

9. 1/2" Gypsum Board on 2x20 Studs

10. 1/2" Gypsum Board on 2x22 Studs

11. 1/2" Gypsum Board on 2x24 Studs

12. 1/2" Gypsum Board on 2x26 Studs

13. 1/2" Gypsum Board on 2x28 Studs

14. 1/2" Gypsum Board on 2x30 Studs

15. 1/2" Gypsum Board on 2x32 Studs

16. 1/2" Gypsum Board on 2x34 Studs

17. 1/2" Gypsum Board on 2x36 Studs

18. 1/2" Gypsum Board on 2x38 Studs

19. 1/2" Gypsum Board on 2x40 Studs

20. 1/2" Gypsum Board on 2x42 Studs

21. 1/2" Gypsum Board on 2x44 Studs

22. 1/2" Gypsum Board on 2x46 Studs

23. 1/2" Gypsum Board on 2x48 Studs

24. 1/2" Gypsum Board on 2x50 Studs

25. 1/2" Gypsum Board on 2x52 Studs

26. 1/2" Gypsum Board on 2x54 Studs

27. 1/2" Gypsum Board on 2x56 Studs

28. 1/2" Gypsum Board on 2x58 Studs

29. 1/2" Gypsum Board on 2x60 Studs

30. 1/2" Gypsum Board on 2x62 Studs

31. 1/2" Gypsum Board on 2x64 Studs

32. 1/2" Gypsum Board on 2x66 Studs

33. 1/2" Gypsum Board on 2x68 Studs

34. 1/2" Gypsum Board on 2x70 Studs

35. 1/2" Gypsum Board on 2x72 Studs

36. 1/2" Gypsum Board on 2x74 Studs

37. 1/2" Gypsum Board on 2x76 Studs

38. 1/2" Gypsum Board on 2x78 Studs

39. 1/2" Gypsum Board on 2x80 Studs

40. 1/2" Gypsum Board on 2x82 Studs

41. 1/2" Gypsum Board on 2x84 Studs

42. 1/2" Gypsum Board on 2x86 Studs

43. 1/2" Gypsum Board on 2x88 Studs

44. 1/2" Gypsum Board on 2x90 Studs

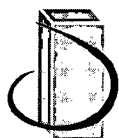
45. 1/2" Gypsum Board on 2x92 Studs

46. 1/2" Gypsum Board on 2x94 Studs

47. 1/2" Gypsum Board on 2x96 Studs

48. 1/2" Gypsum Board on 2x98 Studs

49. 1/2" Gypsum Board on 2x100 Studs



de Marne & Day, Inc.

ARCHITECTURE □ REMODELING

10112 River Road □ Potomac, MD 20854

Eugene R. Dare, *President*

Michael J. Sullivan, *Senior Vice*

*President*

Alfred E. Goldschmidts, *Vice President*

## Ryder Residence

14 DxFORD ST.  
CHEVY CHASE, MD. 20815

- Neighbor(s) directly across STREET  
#31 & #33 DxFORD STREET
- Neighbor to left & right of PROPERTY  
#12 & #14 DxFORD STREET
- Neighbor directly behind  
#15 Newlands STREET

A0.1

DATE: 02/21/07  
SCALE: 1/8"=1'-0"

ARCHITECTURAL  
SITE PLAN

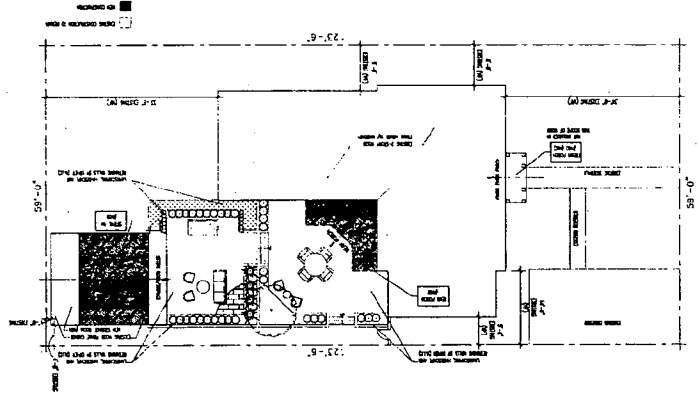
RAYDER RESIDENCE  
14 GARDEN STREET  
WASHINGTON, D.C.

PROJECT NO: 200604

DATE

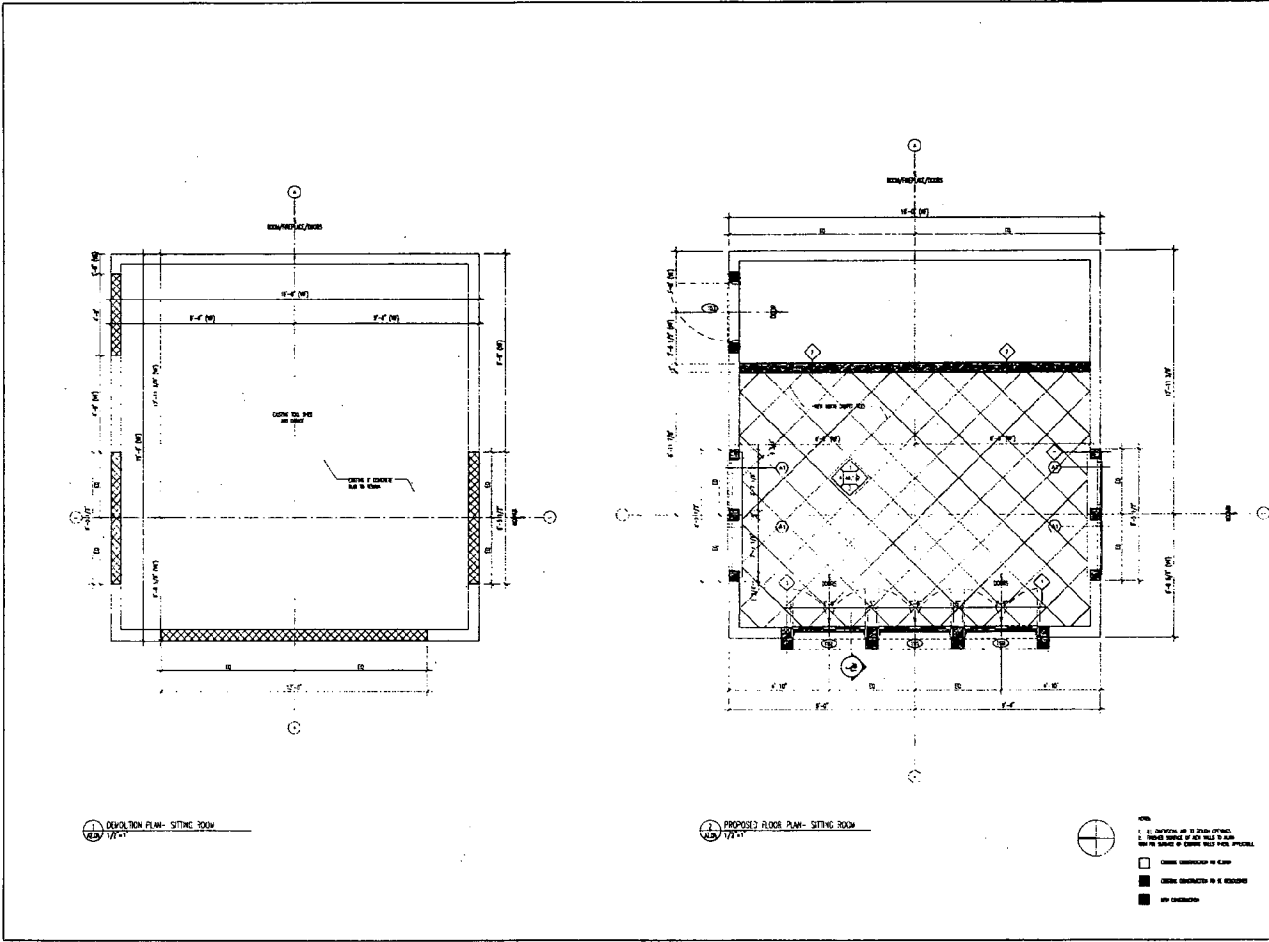
SCALE: 1/8"=1'-0"

MICHAEL GRAYSON ARCHITECT P.C.  
1400 WASHINGTON AVENUE  
N.W. WASHINGTON, D.C. 20004  
(202) 462-8888



SECTION SEE PLAN





EXISTING FLOOR PLAN - SITTING ROOM

PROPOSED FLOOR PLAN - SITTING ROOM

- NOTES
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
  2. FINISH FLOOR IS 4" BELOW FINISH CEILING.
  3. SEE THE GENERAL NOTES FOR MORE INFORMATION.
- CONC. FOUNDATION IN CLIP
  - CONC. FOUNDATION IN S. ROOM
  - NEW CONCRETE

**MICHAEL GRAVES  
ARCHITECT P.C.**  
140 BROADWAY, SUITE 400  
NEW YORK, NY 10038  
(212) 941-8888

NO.	DESCRIPTION
1	REVISION
2	REVISION

PROJECT NUMBER: 20844

PROJECT NAME:  
**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

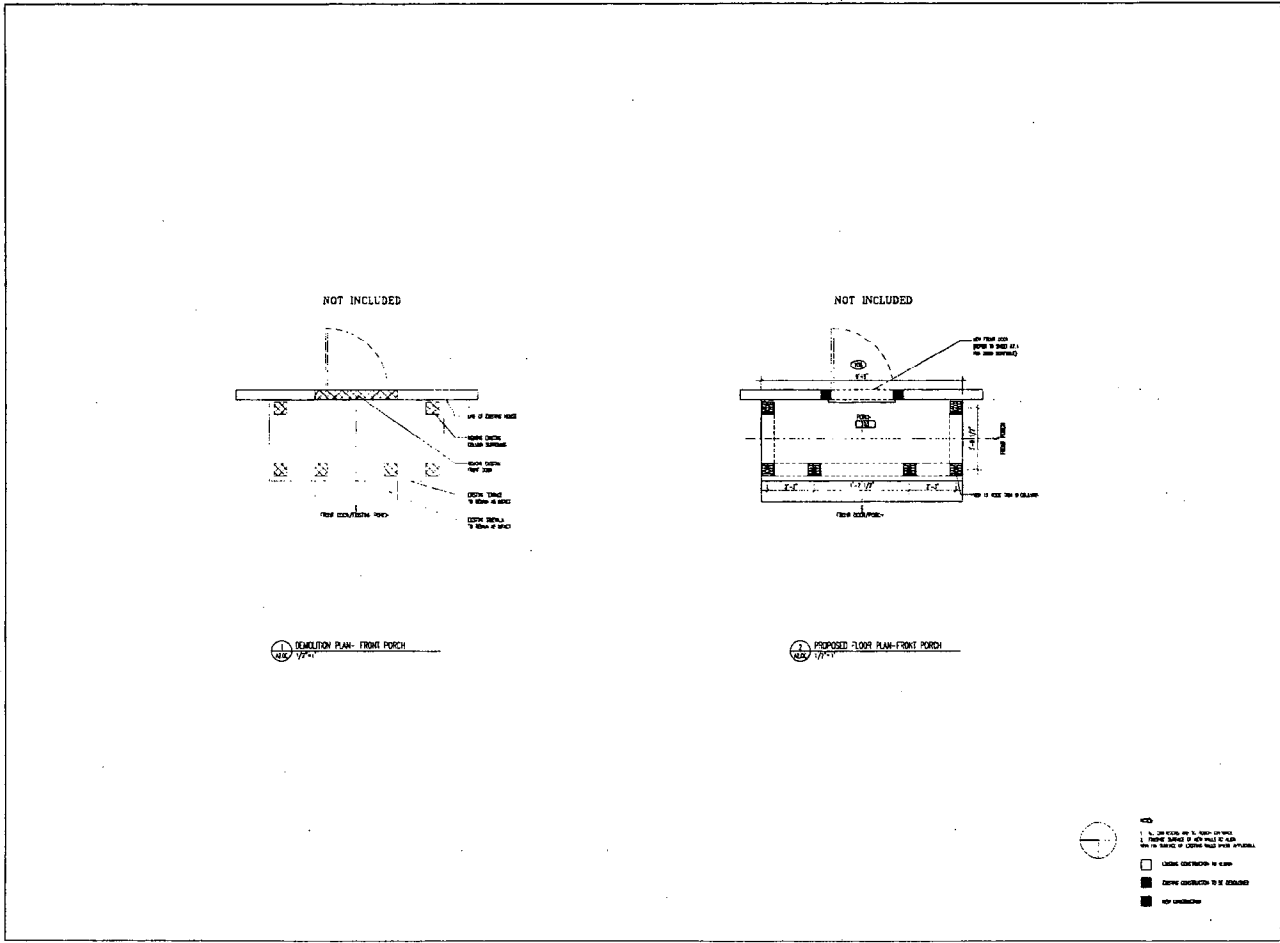
PLANNING TITLE:  
**FLOOR PLANS  
SITTING ROOM**

DATE: 02/21/07

SCALE: 1/8" = 1'-0"

SHEET NUMBER:  
**A2.0A**





**MICHAEL GRAVES  
ARCHITECT P.C.**

180 NEWPORT SQUARE EAST  
1ST FLOOR  
WASHINGTON, D.C. 20004

DATE: 02/21/07  
SCALE: 1/8" = 1'-0"

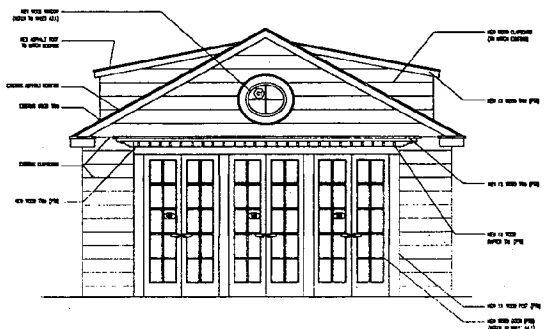
PROJECT NUMBER: 2006A  
APPROVED BY: [Signature]

PROJECT NAME:  
**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

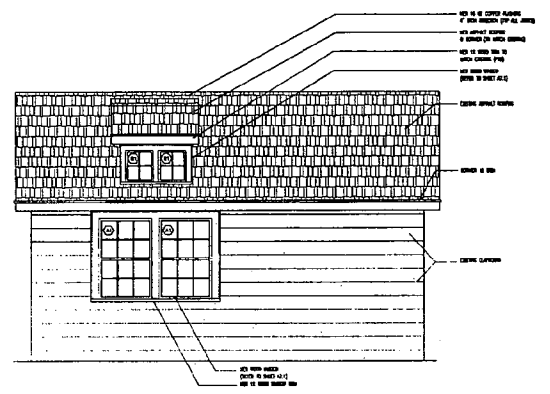
DATE: 02/21/07  
SCALE: 1/8" = 1'-0"

DATE: 02/21/07  
SCALE: 1/8" = 1'-0"

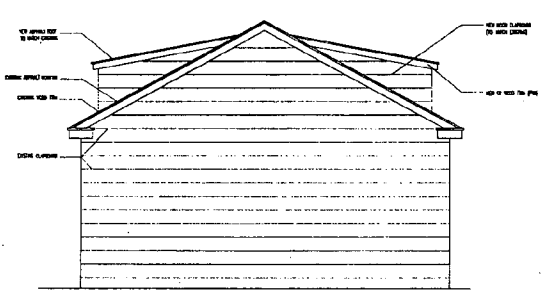
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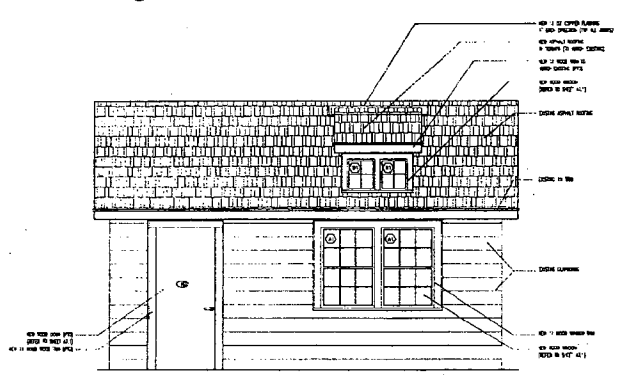
FRONT ELEVATION - FAMILY ROOM  
1/8" = 1'-0"



RIGHT ELEVATION - FAMILY ROOM  
1/8" = 1'-0"



REAR ELEVATION - FAMILY ROOM  
1/8" = 1'-0"



LEFT ELEVATION - FAMILY ROOM  
1/8" = 1'-0"

**MICHAEL GRAVES  
ARCHITECT P.C.**

100 BROADWAY, SUITE 302  
NEW YORK, NY 10004  
212 691-1000

DATE: 10/21/07  
SCALE: AS SHOWN

PROJECT NO: 200446

PROJECT NAME:  
**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

EXTERIOR  
ELEVATIONS  
SITTING ROOM

DATE: 10/21/07

SCALE: 1/8" = 1'-0"

**A3.0A**

**MICHAEL GRAVES  
ARCHITECT P.C.**  
399 BRIMFIELD CIRCLE, N.E.  
ATLANTA, GEORGIA 30312  
(404) 524-0888

OWNER  
NAME: UNDESIGNATED  
NO./DATE: 8/19/04

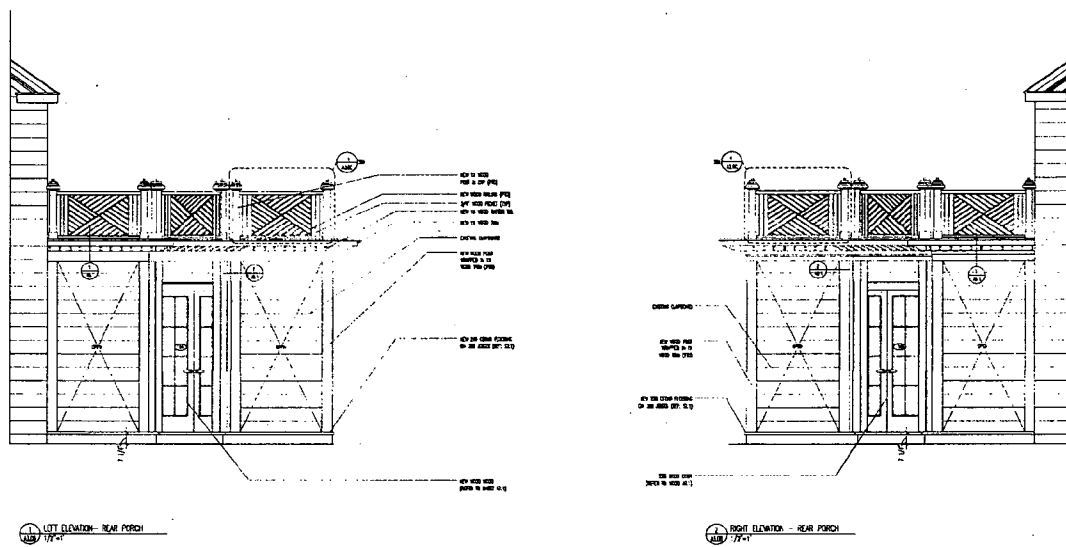
PROJECT NUMBER: 200404  
PROJECT NAME:

**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

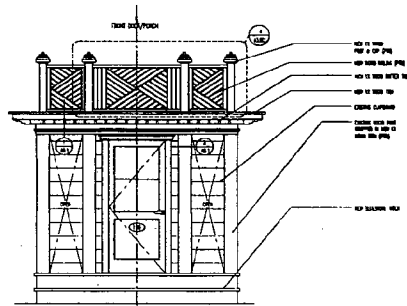
DRAWING TITLE  
**EXTERIOR  
ELEVATIONS  
REAR PORCH**

DESIGNED BY TG	DESIGNED BY MG
DATE 03/23/07	SCALE 1/2"=1'-0"
SHEET NUMBER	

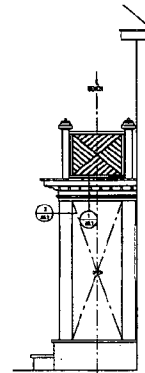
**A3.0B**



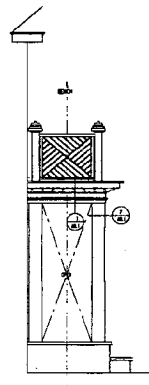




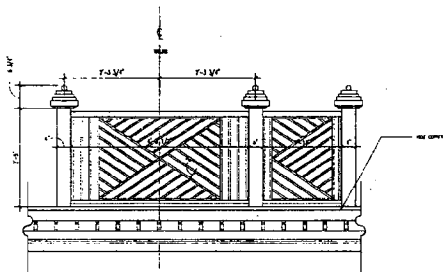
1 FRONT ELEVATION - FRONT PORCH  
1/2" = 1'-0"



2 RIGHT ELEVATION - FRONT PORCH  
1/2" = 1'-0"



3 LEFT ELEVATION - FRONT PORCH  
1/2" = 1'-0"



4 DETAILED ELEVATION  
1/2" = 1'-0"

**MICHAEL GRAVES  
ARCHITECT P.C.**

200 NEWCASTLE AVENUE, SUITE 201  
1000 15TH STREET, N.W.  
WASHINGTON, D.C. 20004  
PHONE: 202-331-8888

EXTERIOR  
DATE: 02/21/2012  
DRAWN BY: M. GRAVES  
CHECKED BY: M. GRAVES

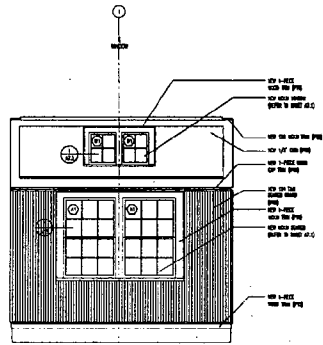
PROJECT NUMBER: 20044  
PROJECT NAME:

**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

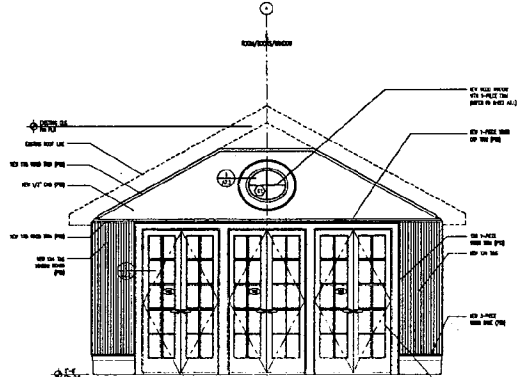
DRAWING TITLE:  
**EXTERIOR  
ELEVATIONS  
FRONT PORCH**

DRAWN BY: M. GRAVES  
DATE: 02/21/2012  
PROJECT NUMBER: 20044

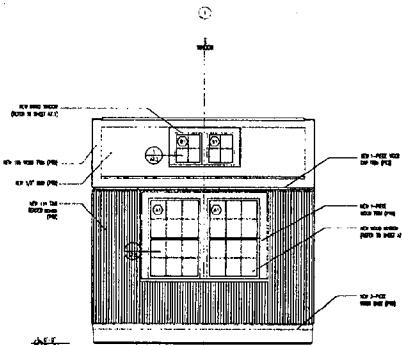
**A3.0C**



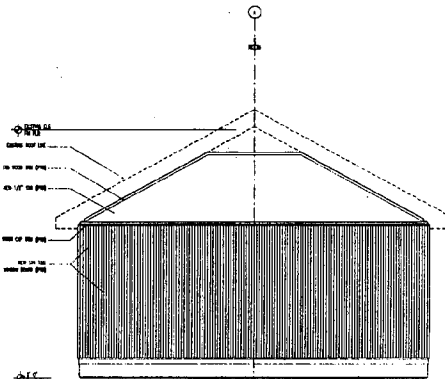
④ SITTING ROOM #100- EAST ELEVATION  
12'-0"



④ SITTING ROOM #100- SOUTH ELEVATION  
7'-0"



④ SITTING ROOM #100- WEST ELEVATION  
12'-0"



④ SITTING ROOM #100- NORTH ELEVATION  
7'-0"

MICHAEL GRAVES  
ARCHITECT P.C.

300 UNIVERSITY CITY AVE  
3RD FLOOR CITY  
OF WASH  
(202) 961-9888

DATE: 02/21/07  
PROJECT NUMBER: 20646

RAYDER RESIDENCE  
14 OXFORD STREET  
WASHINGTON, D.C.

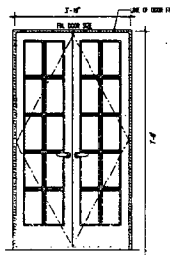
INTERIOR  
ELEVATIONS  
SITTING ROOM

DATE: 02/21/07  
SCALE: 1/2"=1'-0"

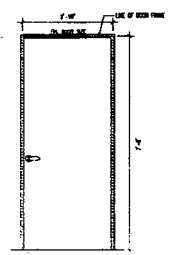
A6.1

DOOR AND HARDWARE SCHEDULE

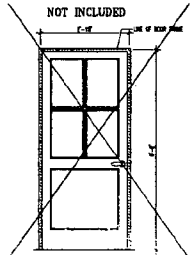
NO.	TYPE	LOCATION	FINISH	GLASS	SWITCH	KEY	NOTES	FINISH	FINISH	FINISH
101	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
102	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
103	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
104	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
105	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
106	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
107	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
108	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
109	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
110	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101



DOOR TYPE A1  
1/2" x 1/2"



DOOR TYPE B1  
1/2" x 1/2"

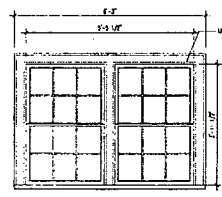


DOOR TYPE C1  
1/2" x 1/2"

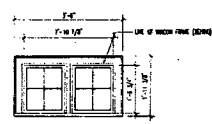
GENERAL NOTES:  
 1. ALL SCHEDULE DRAWINGS ARE TO BE CHECKED FOR CONFLICTS AND TO BE REVISED AS NECESSARY.  
 2. ALL DOOR SIZES ARE TO BE CHECKED BY OTHER TRADES.  
 3. ALL WINDOWS AND DOORS ARE TO BE CHECKED BY ARCHITECT AND CONTRACTOR.  
 4. DOOR SIZES TO BE CHECKED BY ARCHITECT AND CONTRACTOR.

WINDOW SCHEDULE

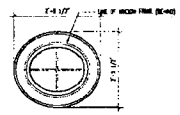
NO.	TYPE	LOCATION	FINISH	GLASS	SWITCH	KEY	NOTES	FINISH	FINISH	FINISH
101	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
102	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101
103	A	ENTRANCE TO STAIRWAY	101	1/2"	1/2"	1/2"	1/2"	101	101	101



WINDOW TYPE A1  
1/2" x 1/2"



WINDOW TYPE B1  
1/2" x 1/2"



WINDOW TYPE C1  
1/2" x 1/2"

MICHAEL GRAVES ARCHITECT P.C.

200 WASHINGTON STREET, N.W.  
 WASHINGTON, D.C. 20004  
 (202) 638-1000

PROJECT NUMBER: 200446  
 PROJECT NAME: RAYDER RESIDENCE

14 OXFORD STREET  
 WASHINGTON, D.C.

DOOR AND WINDOW SCHEDULES

DATE: 02/21/01  
 SCALE: 3/4" = 1'-0"

A7.1



A7.3

PROJECT NUMBER  
DATE  
REVISION  
BY  
DESCRIPTION  
REVISION  
DATE  
BY  
DESCRIPTION  
REVISION  
DATE  
BY  
DESCRIPTION

RAYDER RESIDENCE  
14 OGDON STREET  
WASHINGTON, D.C.

PROJECT NUMBER  
DATE  
REVISION  
BY  
DESCRIPTION

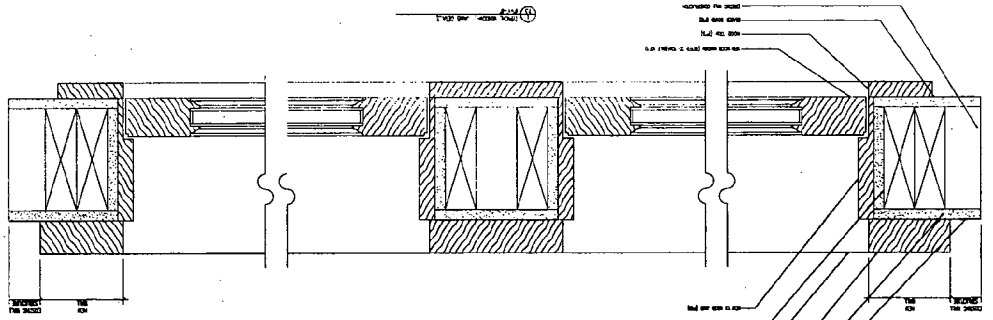
DATE  
BY  
DESCRIPTION

DATE  
BY  
DESCRIPTION

DATE  
BY  
DESCRIPTION

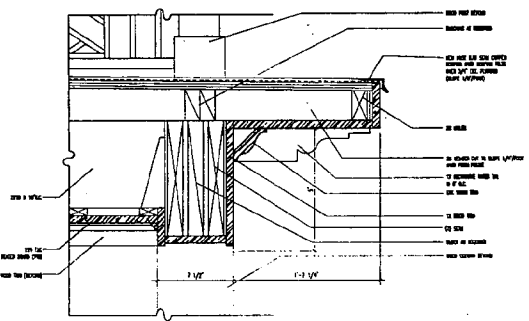
DATE  
BY  
DESCRIPTION

MICHAEL GRAVES  
ARCHITECT P.C.

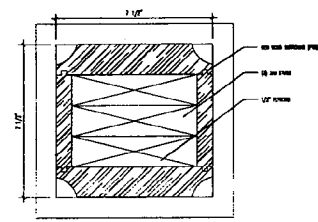


- 1. WINDOW FRAME
- 2. GLASS
- 3. INSULATION
- 4. WEATHER STRIPPING
- 5. FINISH
- 6. ...
- 7. ...
- 8. ...
- 9. ...
- 10. ...
- 11. ...
- 12. ...
- 13. ...
- 14. ...
- 15. ...
- 16. ...
- 17. ...
- 18. ...
- 19. ...
- 20. ...

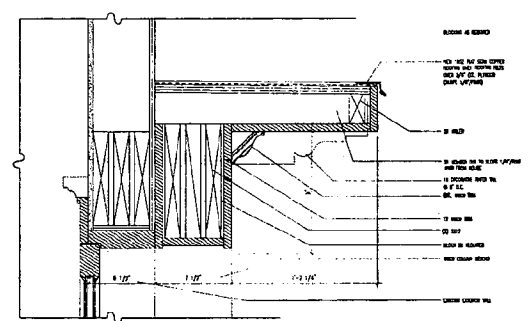
SECTION THROUGH WINDOW



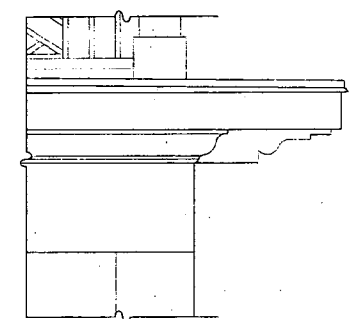
EXTERIOR SOFFIT DETAIL - REAR PORCH #102  
3/11/02



COLUMN SECTION  
3/11/02



EXTERIOR SOFFIT DETAIL - SITTING ROOM #100  
3/11/02



EXTERIOR SOFFITS ELEVATIONS - REAR PORCH #102  
3/11/02

**MICHAEL GRAVES**  
**ARCHITECT P.C.**  
300 UNIVERSITY SQUARE #602  
WEST WASHINGTON CITY  
DISTRICT OF COLUMBIA  
20037-5428

DATE: 03/11/02  
SCALE: AS SHOWN

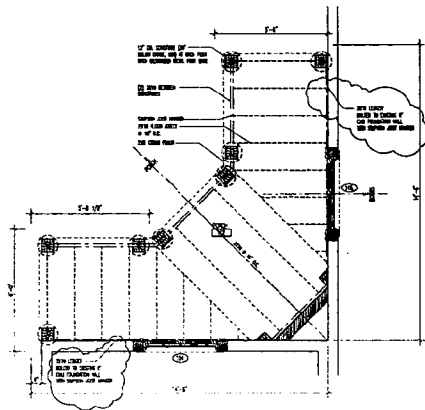
PROJECT NUMBER: 02B-44

**RAYDER RESIDENCE**  
14 CUPERT STREET  
WASHINGTON, D.C.

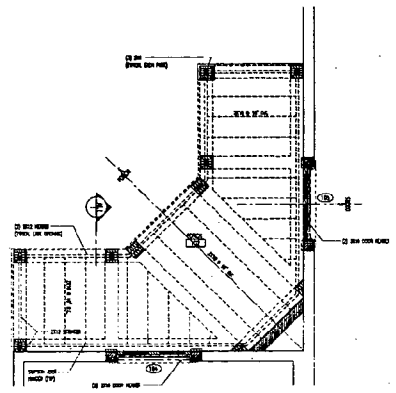
**DETAILS**

DATE: 03/11/02  
SCALE: 1/8\"/>

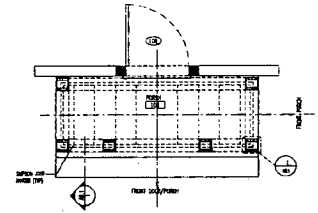
**A9.1**



① STRUCTURAL PLAN - FOUNDATION  
1/4" = 1'-0"



② STRUCTURAL PLAN - REAR PORCH CEILING  
1/4" = 1'-0"



③ STRUCTURAL PLAN - FRONT PORCH  
1/4" = 1'-0"

- NOTES
1. ALL DIMENSIONS ARE TO FINISH POINTS.
  2. FINISH HEIGHTS OF ALL WALLS TO BE SHOWN ON SEPARATE DRAWINGS SHALL HAVE APPROVAL.
- CHECK DIMENSIONS IN SHOP
  - CHECK DIMENSIONS IN FIELD
  - NO DIMENSIONS

**MICHAEL CRAVES  
ARCHITECT P.C.**  
200 BROADWAY, SUITE 402  
NEW YORK, NY 10038  
(212) 643-0888

NO.	REVISION

PROJECT NUMBER: 200444  
APPROVED BY: [Signature]

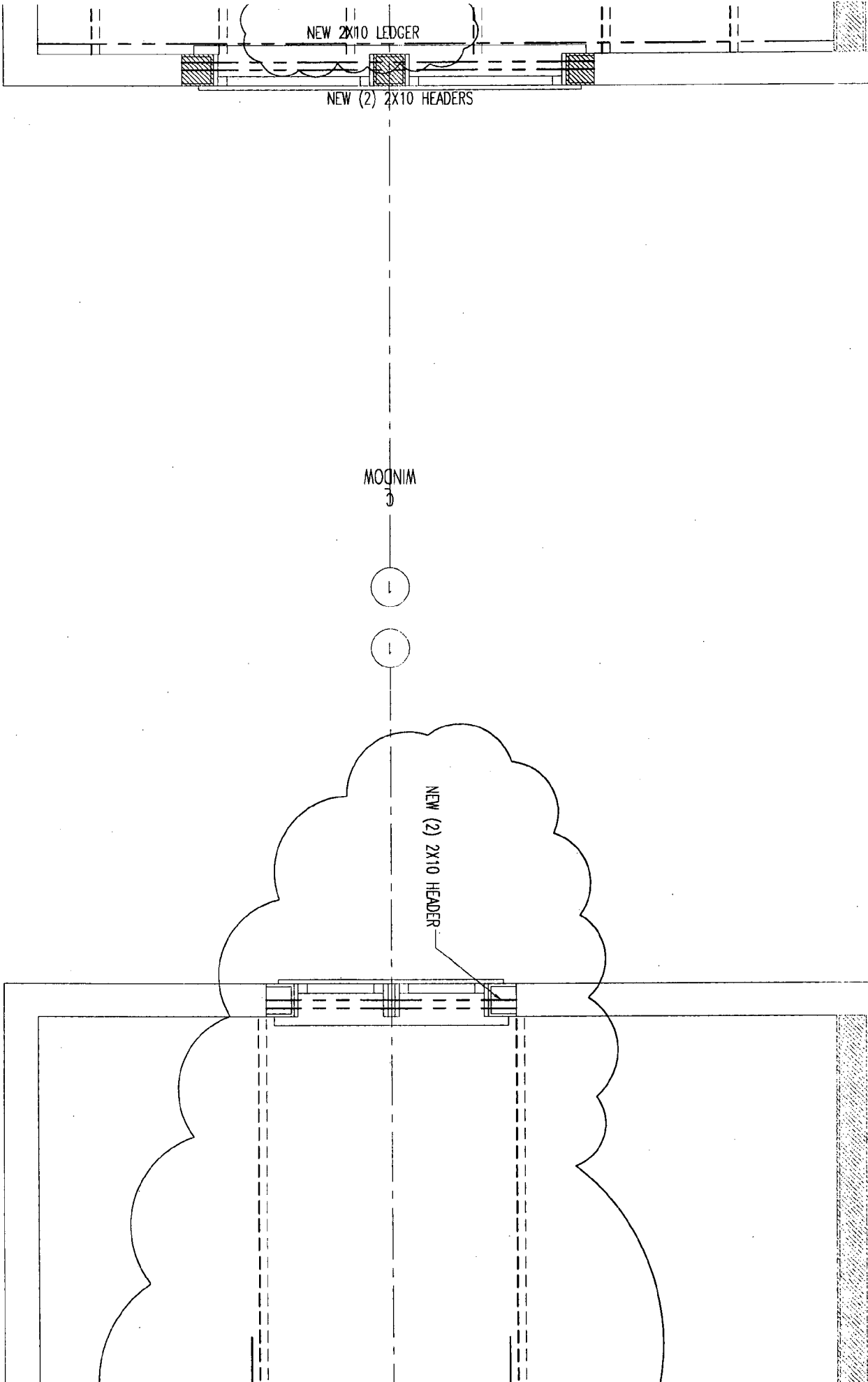
PROJECT NAME:  
**RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

DRAWING TITLE:  
**STRUCTURAL  
PLANS**

DRAWN BY: TJS  
CHECKED BY: [Signature]

DATE: 04/21/21  
SCALE: 1/4" = 1'-0"

HEET NUMBER:  
**S2.1**





<b>E2.0</b>	
DATE: 02/17/07	SCALE: 1/2" = 1'-0"
PROJECT NO: 20144	DATE: 02/17/07
<b>ELECTRICAL PLANS</b>	
<b>RAYDER RESIDENCE</b>	
14 BOND STREET WASHINGTON, D.C.	
PROJECT NO: 20144	DATE: 02/17/07
<b>ARCHITECT P.C.</b>	
1000 PENNSYLVANIA AVENUE, N.W. WASHINGTON, D.C. 20004 TEL: 202-637-6000	

**LEGEND**

- NO CONNECTION
- CONNECTION TO NEIGHBORING SPACE
- CONNECTION TO THIS SPACE

1. ALL SYMBOLS TO BE INSTALLED UNLESS NOTED OTHERWISE.

**110 ELECTRICAL PLAN - FRONT PORCH**

**111 ELECTRICAL PLAN - REAR PORCH**

**112 ELECTRICAL PLAN - DINING ROOM**

**113 ELECTRICAL PLAN - SITTING ROOM**

**NOTE: LIGHT FIXTURES TO BE SUPPLIED BY OTHER.**

**NOTE: WS EX-10, SWITCH 1 AND SINK 2 TO BE CHECKED.**

**114 ELECTRICAL PLAN - KITCHEN**

**MICHAEL GRAVES  
ARCHITECT P.C.**

500 BRIDGEMAN DRIVE, SUITE 401  
NEW YORK, NY 10019  
(212) 691-6888

DATE	NO.	DESCRIPTION
03/21/07	1	ISSUE FOR PERMIT

PROJECT NUMBER	20864
PROJECT NAME	RAYDER RESIDENCE

14 COLFORD STREET  
WASHINGTON, D.C.

**ELECTRICAL  
LEGEND**

DATE	03/21/07
SCALE	1/8" = 1'-0"

**E1.0**

**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO START OF WORK.
- ALL DIMENSIONS AND HEIGHTS SHALL BE GIVEN UNLESS BY LEVITON BRAND, OR, UNLESS NOTED ALL DIMENSIONS SHALL BE PERFORMED ACCORDING TO LEVITON BRAND.
- ALL DIMENSIONS AND HEIGHTS SHALL BE GIVEN ON WALLS OR PARTITION WALLS, AND AS SHOWN ON INTERIOR ELEVATIONS.
- ALL RECEPTACLES SHALL BE MOUNTED HORIZONTALLY WITH COVERAGE OF OUTLET AT COVERAGE OF BACKGROUND AND AS SHOWN ON INTERIOR ELEVATIONS.
- ALL SWITCHES SHALL BE GIVEN NEW COVERAGE AT 4'-0" A.F.T. UNLESS OTHERWISE NOTED, AND AS SHOWN ON INTERIOR ELEVATIONS.
- ALL DEVICES SHALL BE GANGED TOGETHER INTO SINGLE PLYS UNLESS OTHERWISE NOTED, AND AS SHOWN ON INTERIOR ELEVATIONS.

**ELECTRICAL SYMBOLS LEGEND**

SYMBOL	DESCRIPTION	NOTE
Ⓜ	OUTLET RECEPTOR WALL MOUNTED	TYPE
Ⓜ	OUTLET RECEPTOR WALL MOUNTED, NEW LOCATION	NEW
Ⓜ	OUTLET RECEPTOR FLUSH FLOOR MOUNTED	BRASS FRESH COVER
Ⓜ	OUTLET GFI / FRESH JACK, WALL MOUNTED	NEW
Ⓜ	WALL MOUNTED SWITCH	NEW

**LIGHTING SCHEDULE:**

- 20W, "RECORDED" BY RECALCULATION LOGGING (LENGTH OF 12 IN.) CAT. # 1012 - (1) 100W - FRESH TO BE BRASS MODEL, W/WHITE GLASS SHADE (GROUP 2) FPL 100
- 20W, "RECORDED" BY RECALCULATION LOGGING (LENGTH OF 12 IN.) CAT. # 1012 - (1) 100W - FRESH TO BE BRASS MODEL, W/WHITE GLASS SHADE (GROUP 2) FPL 100
- 20W, "RECORDED" BY RECALCULATION LOGGING (LENGTH OF 12 IN.) CAT. # 1012 - (1) 100W - FRESH TO BE BRASS MODEL, W/WHITE GLASS SHADE (GROUP 2) FPL 100
- 20W, "RECORDED" BY RECALCULATION LOGGING (LENGTH OF 12 IN.) CAT. # 1012 - (1) 100W - FRESH TO BE BRASS MODEL, W/WHITE GLASS SHADE (GROUP 2) FPL 100

NOTE: ALL LIGHTING FIXTURES TO BE SUPPLIED BY OWNER, INSTALLED BY GC.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

M  
DPS - #8

HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

4/9/07  
4/18/07

Contact Person: MIKE SULLIVAN

Daytime Phone No.: 301-299-6500

Tax Account No.: \_\_\_\_\_

Name of Property Owner: J.W. RAYDER Daytime Phone No.: 301-656-6436

Address: 14 OXFORD ST CHEVY CHASE 20815  
Street Number City State Zip Code

Contractor: DEMARNE DAY INC Phone No.: 301-299-6500

Contractor Registration No.: 1528

Agent for Owner: MIKE SULLIVAN Daytime Phone No.: 301-299-6500

LOCATION OF BUILDING/PREMISE

House Number: 14 Street: OXFORD ST

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # H/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

4/16/07  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 45080.3 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Single family dwelling w/ detached rear garage off residential street in Chevy Chase.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Rear Garage: 3/4 of existing garage space being turned into a 3 season sitting room. Balance of space to remain as storage room.  
Rear Porch: New wooden porch to gain better access to landscaped rear yard.

**2. SITE PLAN CD**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS CD**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS CD**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS Attached**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY H/A**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS Attached**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 240/777-6370

M  
 DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

Contact Person: MIKE SULLIVAN  
 Daytime Phone No.: 301-299-6500  
 Tax Account No.: \_\_\_\_\_  
 Name of Property Owner: J.W. RADER Daytime Phone No.: 301-656-6436  
 Address: 14 OXFORD ST CHEVY CHASE 20815  
Street Number City State Zip Code  
 Contractor: DeMARNE DAY INC. Phone No.: 301-299-6500  
 Contractor Registration No.: 1528  
 Agent for Owner: MIKE SULLIVAN Daytime Phone No.: 301-299-6500

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: OXFORD ST  
 Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVENUE  
 Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  Move  Install  Wreck/Raze  Revision  Repair  Revocable

CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  Solar  Fireplace  Woodburning Stove  Single Family  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 75,000

1C. If this is a revision of a previously approved active permit, see Permit # H/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

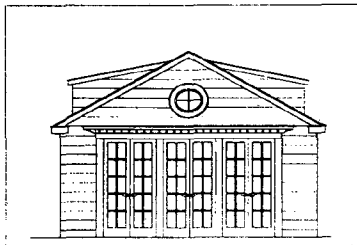
3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent 4/16/07 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No. 450803 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

MICHAEL GRAVES ARCHITECT



RAYDER RESIDENCE

100 WEST 10TH STREET  
NEW YORK, NY 10011

PERMIT SET  
MARCH 2007

- A 00 LEGEND/FABRIC/SCHEDULE
- A 01 SITE PLAN
- A 10A FLOOR PLAN - SITTING ROOM
- A 10B FLOOR PLAN - REAR PORCH
- A 10C FLOOR PLAN - FRONT PORCH
- A 10A EXTERIOR ELEVATIONS - SITTING ROOM
- A 10B EXTERIOR ELEVATIONS - REAR PORCH
- A 10C EXTERIOR ELEVATIONS - FRONT PORCH
- A 01 INTERIOR ELEVATIONS
- A 11 DOOR/WINDOW SCHEDULE
- A 12 DOOR/WINDOW DETAIL
- A 13 DOOR/WINDOW DETAIL
- E 00 ELECTRICAL LEGEND
- E 01 ELECTRICAL PLAN
- S 00 STRUCTURAL LEGEND
- S 01 STRUCTURAL PLAN
- S 02 STRUCTURAL PLAN

IN INDICATES NOT INCLUDED IN SET  
WOOD FRAME CONSTRUCTION

MICHAEL GRAVES ARCHITECT  
500 BROADWAY, SUITE 401  
NEW YORK, NY 10012

**MICHAEL GRAVES  
ARCHITECT P.C.**  
100 WASHINGTON STREET, 4TH FLOOR  
NEW YORK, NY 10038  
TEL: 212 677-1600

PROJECT NAME: **RAYDER RESIDENCE**  
14 CEDAR STREET  
NEW YORK, NY

DATE: 07/21/09  
SCALE: 1/4" = 1'-0"

**A0.0**

**WALL TYPES**

**LEGEND/SYMBOLS SCHEDULES**

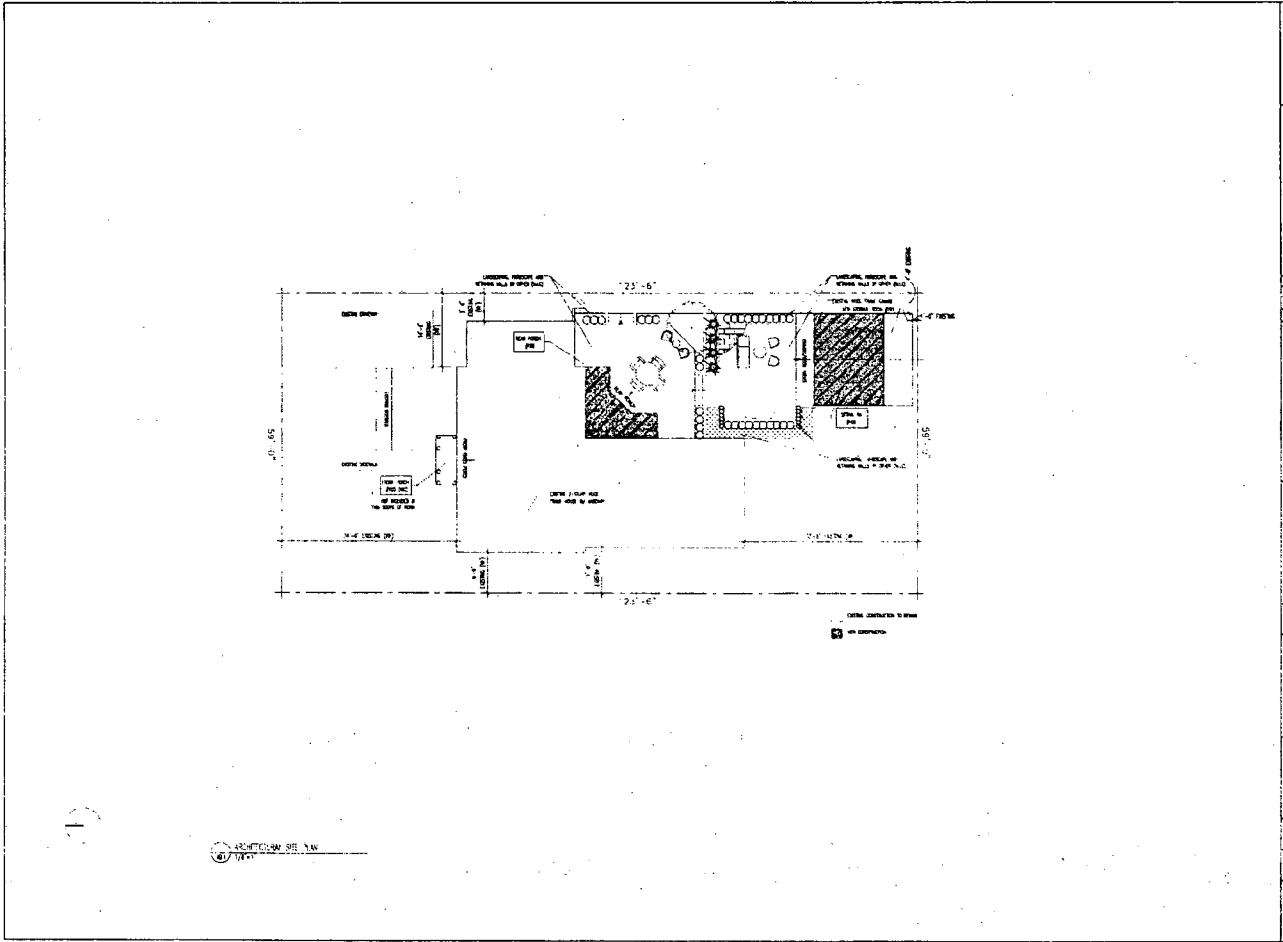
SYMBOL	DESCRIPTION
[Symbol]	1/2\"/>

**GENERAL NOTES**

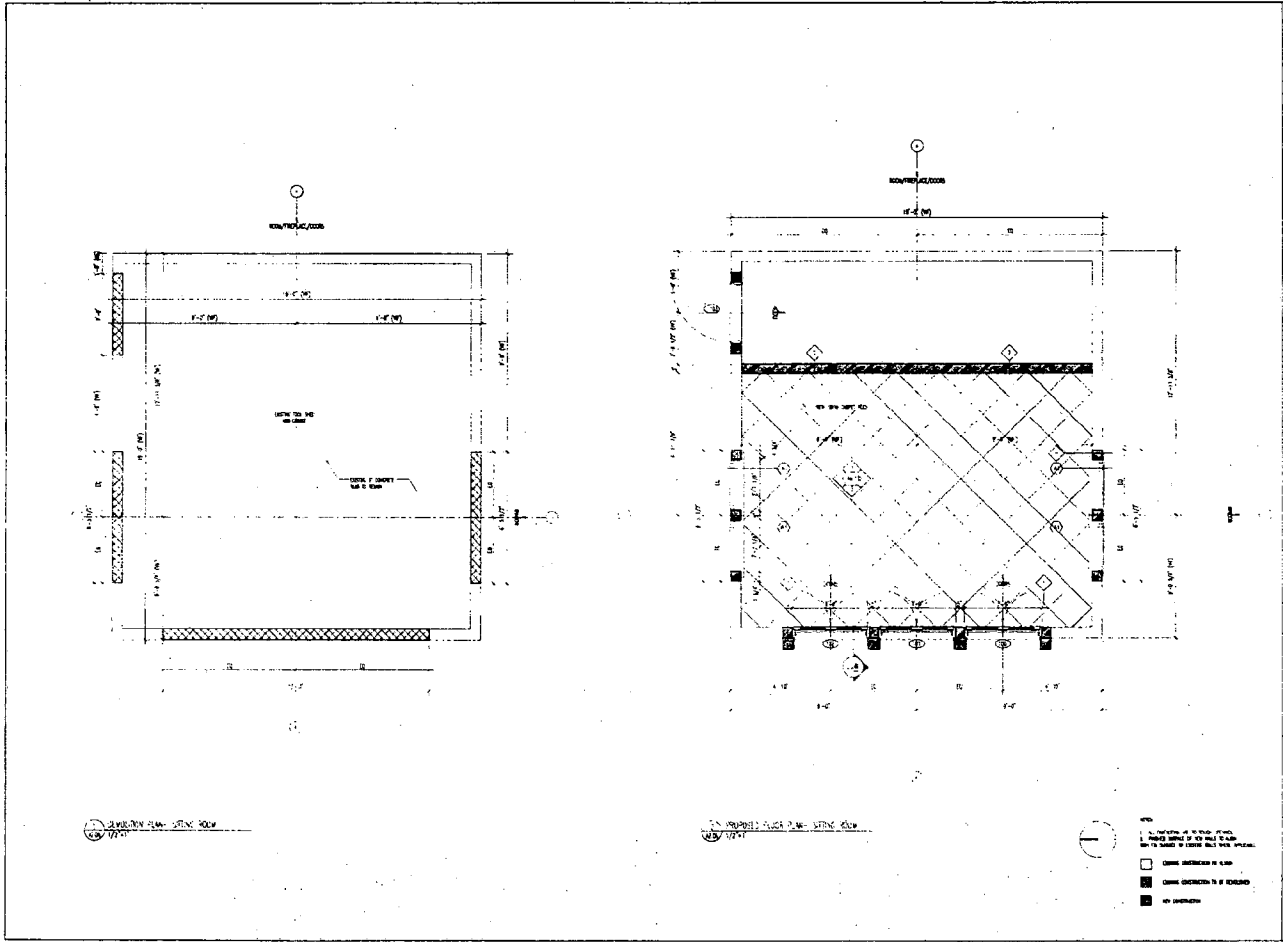
1. SEE ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. PROTECT ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO COMMENCEMENT OF WORK.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT AREAS.
9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ARCHITECT'S INTENT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT AREAS.
13. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
14. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
15. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE ARCHITECT'S INTENT.

**GENERAL SYMBOLS**



<b>MICHAEL GRAVES ARCHITECT P.C.</b> 500 WASHINGTON BLVD. NW WASHINGTON, D.C. 20001 DATE: 04/11/07	
PROJECT NO. 20044 PROJECT NAME: RAYDER RESIDENCE	
<b>RAYDER RESIDENCE</b> 14 ONYX STREET WASHINGTON, D.C.	
<b>ARCHITECTURAL SITE PLAN</b>	
DRAWN BY: TG	CHECKED BY:
DATE: 03/21/07	SCALE: 1/8"=1'-0"
<b>A0.1</b>	





**MICHAEL GRAVES  
ARCHITECT P.C.**  
100 WASHINGTON STREET, N.W.  
NEW YORK CITY  
NY 10011  
TEL: 212 941-5888

---

PROJECT NO. 20844  
PROJECT NAME  
**RAYDER RESIDENCE**  
14 CLIFTON STREET  
WASHINGTON, D.C.

---

DRAWING TITLE  
**FLOOR PLANS  
SITTING ROOM**

---

DATE: 03/21/97  
SCALE: 1/2" = 1'-0"

---

**A2.0A**

REVISIONS  
DATE: 03/21/97  
BY: M.G.

PROJECT NO. 20844  
PROJECT NAME

DRAWING TITLE  
**FLOOR PLANS  
SITTING ROOM**

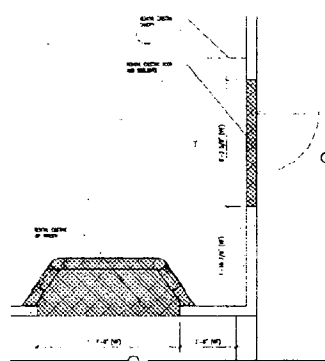
DATE: 03/21/97  
SCALE: 1/2" = 1'-0"

**A2.0A**

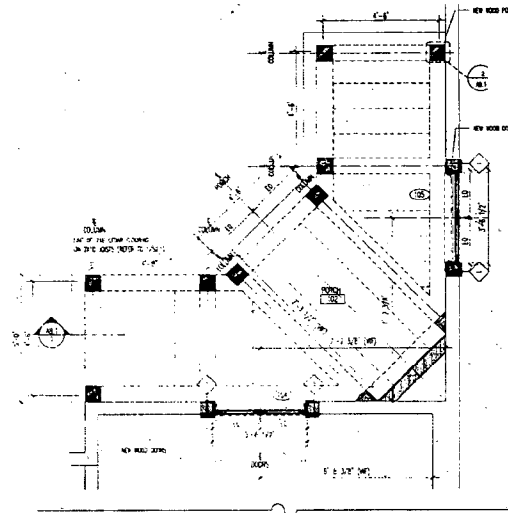
- KEY
- 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
  - 2. DIMENSIONS OF 0" TO 1/2" ARE TO FACE UNLESS NOTED OTHERWISE.
  - 3. DIMENSIONS OF 1/2" TO 1" ARE TO FACE UNLESS NOTED OTHERWISE.
- DIMENSIONS IN 1/2"
  - DIMENSIONS IN 1"
  - DIMENSIONS IN 1/4"
  - DIMENSIONS IN 1/8"

03/21/97 M.G.

03/21/97 M.G.



REAR PORCH ELEVATION



FLOOR PLAN - REAR PORCH

- NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
  2. FINISH FLOOR TO BE 3/4\"/>
- EXISTING CONSTRUCTION
  - ▨ NEW CONSTRUCTION
  - NEW CONSTRUCTION

**MICHAEL GRAVES ARCHITECT P.C.**  
 300 NEWCASTLE DRIVE, N.W.  
 WASHINGTON, D.C. 20001  
 (202) 462-4000

---

**RAYDER RESIDENCE**  
 14 GARFORD STREET  
 WASHINGTON, D.C.

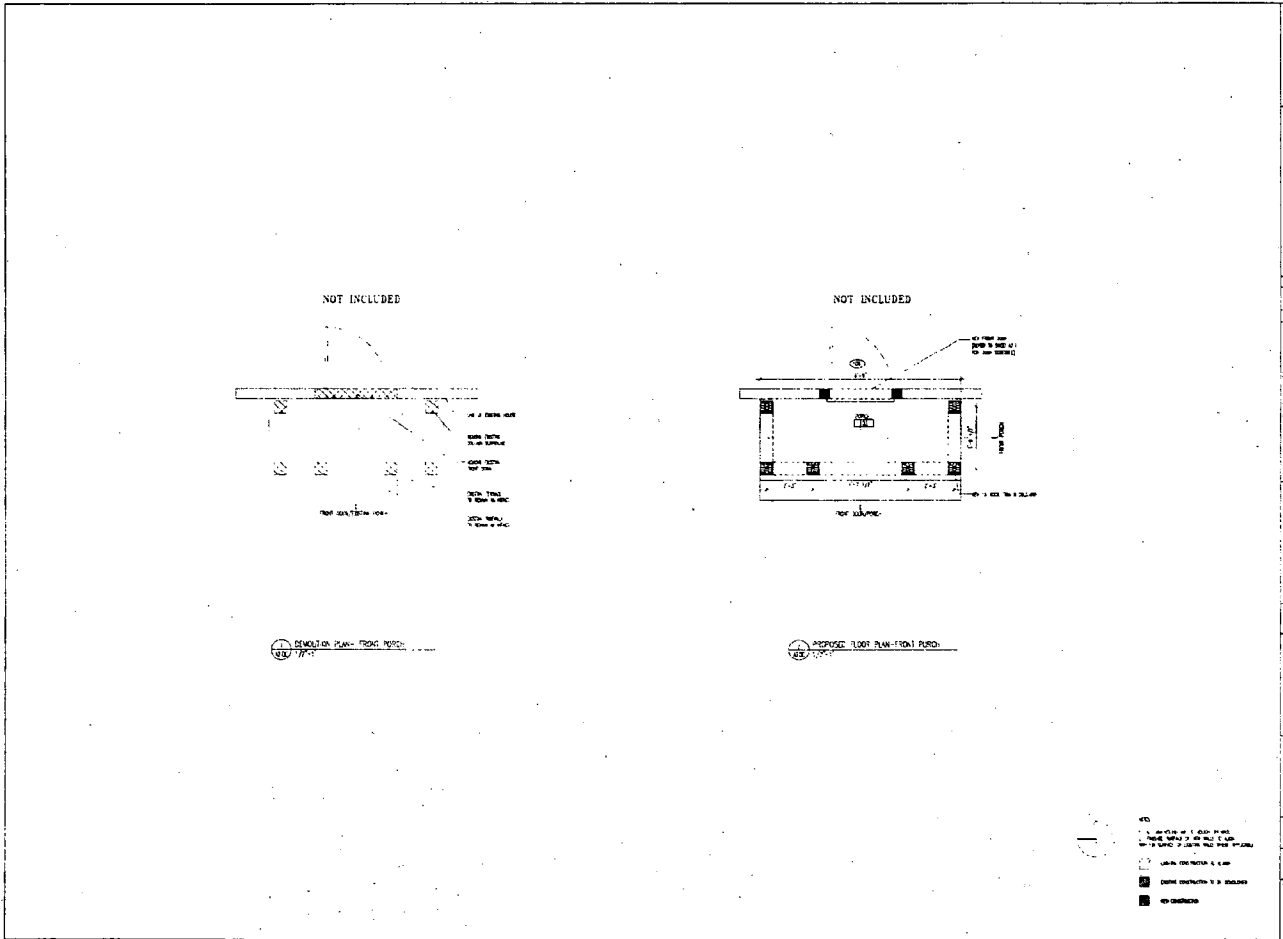
---

**FLOOR PLANS  
 REAR PORCH**

---

DATE: 02/21/07  
 SCALE: 1/8" = 1'-0"

**A2.0B**



**MICHAEL GRAVES ARCHITECT P.C.**  
 100 WASHINGTON SQUARE  
 WASHINGTON, D.C. 20004  
 (202) 462-1000

---

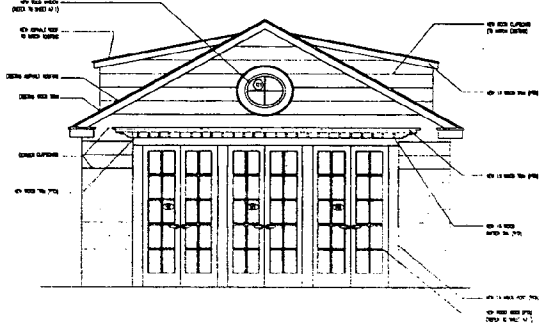
PROJECT NO. 200844

PROJECT NAME  
**RAYDER RESIDENCE**  
 14 OXFORD STREET  
 WASHINGTON, D.C.

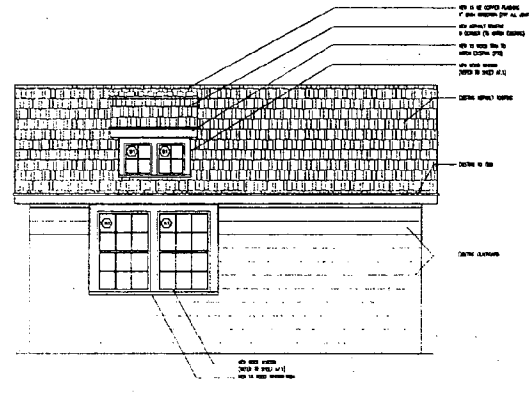
DATE: 07/11/07

SCALE: 1/8" = 1'-0"

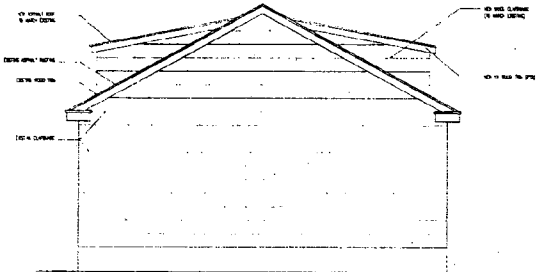
**A2.0C**



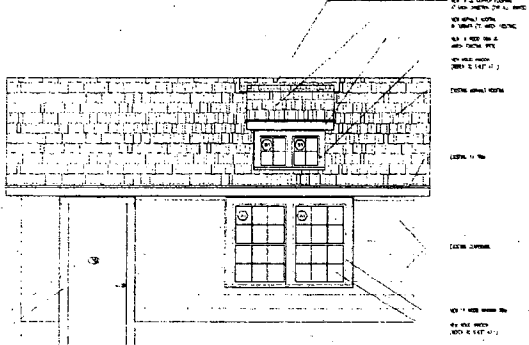
FRONT ELEVATION - FAMILY ROOM



RIGHT ELEVATION - FAMILY ROOM



REAR ELEVATION - FAMILY ROOM



LEFT ELEVATION - FAMILY ROOM

**MICHAEL GRAVES ARCHITECT P.C.**  
 1400 BROADWAY, SUITE 401  
 NEW YORK, NY 10013  
 (212) 691-6888

---

DATE: 07/11/07  
 PROJECT: RAYDER RESIDENCE

---

TITLE: EXTERIOR ELEVATIONS - SITTING ROOM

---

PROJECT NAME: RAYDER RESIDENCE  
 14 OLDFORD STREET  
 WASHINGTON, DC

---

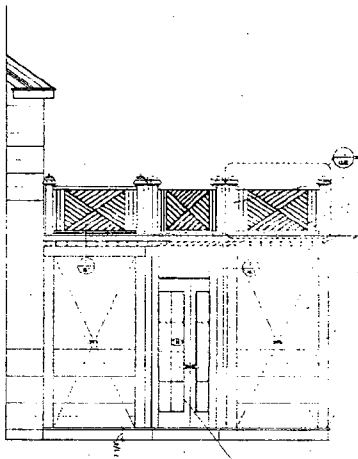
DATE: 07/11/07

---

SCALE: AS SHOWN

---

**A3.0A**

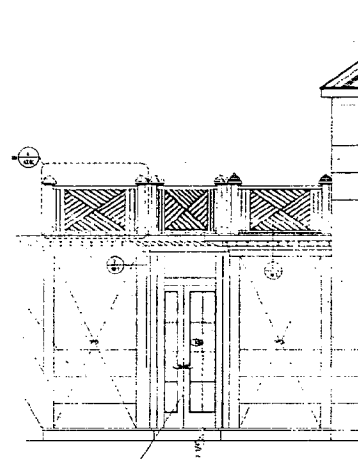


112-1 LEFT ELEVATION - REAR PORCH

112-1.000  
 112-1.010  
 112-1.020  
 112-1.030  
 112-1.040  
 112-1.050  
 112-1.060  
 112-1.070  
 112-1.080  
 112-1.090  
 112-1.100

112-1.000  
112-1.010  
112-1.020

112-1.000  
112-1.010



112-2 RIGHT ELEVATION - REAR PORCH

112-2.000  
112-2.010  
112-2.020

112-2.000  
112-2.010  
112-2.020

112-2.000  
112-2.010

**MICHAEL GRAVES**  
**ARCHITECT P.C.**  
 300 MICHIGAN, SUITE 400  
 WASHINGTON, D.C. 20001  
 (202) 462-3888

SHEET NO. 112-1  
 OF 112-1

PROJECT NUMBER: 20044  
 PROJECT NAME:

**RAYDER RESIDENCE**  
 14 GUYARD STREET  
 WASHINGTON, D.C.

DRAWING TITLE:  
**EXTERIOR ELEVATIONS REAR PORCH**

DRAWN BY: TR  
 CHECKED BY:

DATE: 01/21/07  
 SCALE: 1/8" = 1'-0"

SHEET NUMBER:  
**A3.0B**

A3.00

DATE: 02/12/20

BY: [Signature]

PROJECT NO: 20044

CLIENT: [Name]

LOCATION: [Address]

CITY: [City]

STATE: [State]

COUNTRY: [Country]

SCALE: [Scale]

PROJECT NAME: BAYDER RESIDENCE

14 BAYDER STREET

WASHINGTON, DC

ARCHITECT: MICHAEL GRAYSON ARCHITECT P.C.

1000 BROADWAY, SUITE 2000

NEW YORK, NY 10018

TEL: 212 691-1000

FAX: 212 691-1001

WWW.MICHAELGRAYSON.COM

PROJECT NO: 20044

DATE: 02/12/20

BY: [Signature]

PROJECT NO: 20044

CLIENT: [Name]

LOCATION: [Address]

CITY: [City]

STATE: [State]

COUNTRY: [Country]

SCALE: [Scale]

PROJECT NAME: BAYDER RESIDENCE

14 BAYDER STREET

WASHINGTON, DC

ARCHITECT: MICHAEL GRAYSON ARCHITECT P.C.

1000 BROADWAY, SUITE 2000

NEW YORK, NY 10018

TEL: 212 691-1000

FAX: 212 691-1001

WWW.MICHAELGRAYSON.COM

PROJECT NO: 20044

DATE: 02/12/20

BY: [Signature]

PROJECT NO: 20044

CLIENT: [Name]

LOCATION: [Address]

CITY: [City]

STATE: [State]

COUNTRY: [Country]

SCALE: [Scale]

PROJECT NAME: BAYDER RESIDENCE

14 BAYDER STREET

WASHINGTON, DC

ARCHITECT: MICHAEL GRAYSON ARCHITECT P.C.

1000 BROADWAY, SUITE 2000

NEW YORK, NY 10018

TEL: 212 691-1000

FAX: 212 691-1001

WWW.MICHAELGRAYSON.COM

PROJECT NO: 20044

DATE: 02/12/20

BY: [Signature]

PROJECT NO: 20044

CLIENT: [Name]

LOCATION: [Address]

CITY: [City]

STATE: [State]

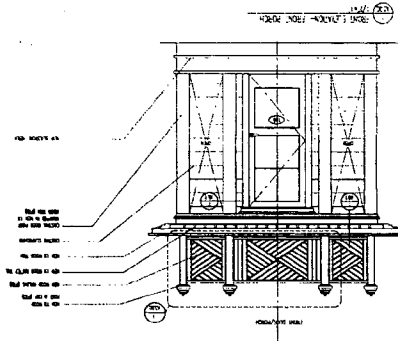
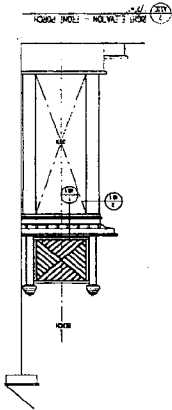
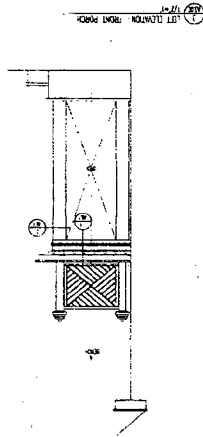
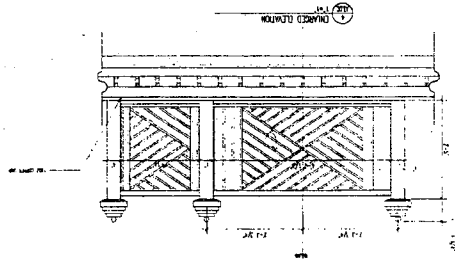
COUNTRY: [Country]

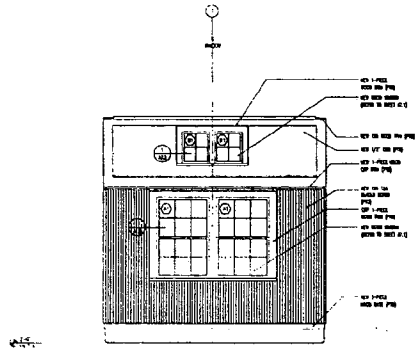
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PROJECT NAME: BAYDER RESIDENCE

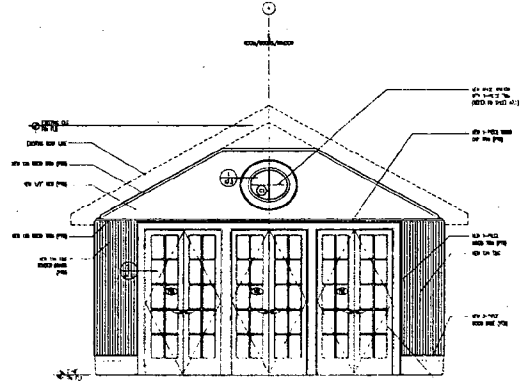
14 BAYDER STREET

WASHINGTON, DC

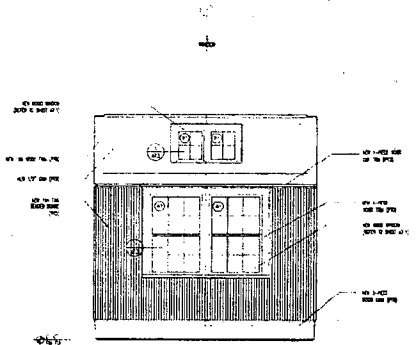




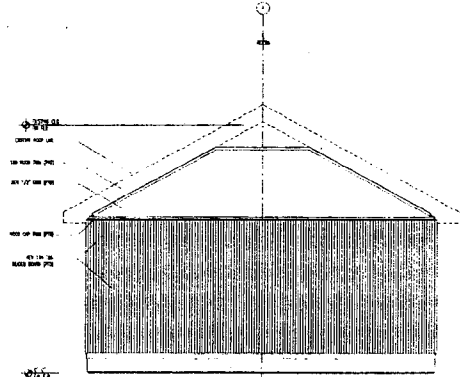
100 SITTING ROOM #100 - EAST ELEVATION  
1/8" = 1'-0"



100 SITTING ROOM #100 - SOUTH ELEVATION  
1/8" = 1'-0"



100 SITTING ROOM #100 - WEST ELEVATION  
1/8" = 1'-0"



100 SITTING ROOM #100 - NORTH ELEVATION  
1/8" = 1'-0"

**MICHAEL GRAVES  
ARCHITECT P.C.**  
100 PENNSYLVANIA AVENUE, N.W.  
WASHINGTON, D.C. 20004  
(202) 637-3300

---

REVISIONS

NO.	DATE	DESCRIPTION

---

PROJECT NUMBER: 20044    APPROVED BY: [Signature]

PROJECT NAME: **RAYDER RESIDENCE**  
14 GILFORD STREET  
WASHINGTON, D.C.

DRAWING TITLE: **INTERIOR ELEVATIONS SITTING ROOM**

---

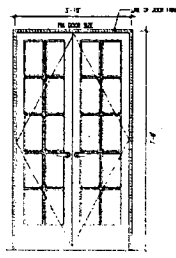
DRAWN BY: TS    CHECKED BY: [Signature]

DATE: 05/21/03    SCALE: 1/8" = 1'-0"

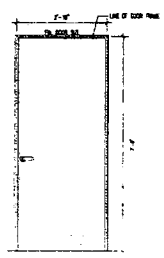
SHEET NUMBER: **A6.1**

DOOR AND HARDWARE SCHEDULE

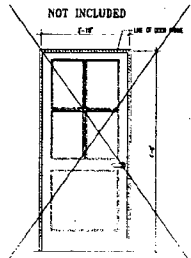
NO	TYPE	DESCRIPTION	QTY	UNIT	FINISH	LOCATION	REMARKS	PRICE	TOTAL
101	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
102	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
103	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
104	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
105	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
106	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
107	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
108	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
109	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100
110	AL	DOOR TO OFFICE	1	EA	01	OFFICE	DOOR TO OFFICE	100	100



DOOR TYPE A1  
1/2" THICK



DOOR TYPE B1  
1/2" THICK



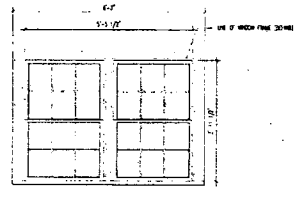
DOOR TYPE C1  
1/2" THICK

**NOTES:**

- 1) ALL DOORS TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
- 2) ALL DOORS TO BE FINISHED WITH 1/2" DOOR CASE.
- 3) ALL DOORS TO BE FINISHED WITH 1/2" DOOR CASE.
- 4) ALL DOORS TO BE FINISHED WITH 1/2" DOOR CASE.

WINDOW SCHEDULE

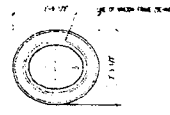
NO	TYPE	DESCRIPTION	QTY	UNIT	FINISH	LOCATION	REMARKS	PRICE	TOTAL
201	AL	WINDOW TO OFFICE	1	EA	01	OFFICE	WINDOW TO OFFICE	100	100
202	AL	WINDOW TO OFFICE	1	EA	01	OFFICE	WINDOW TO OFFICE	100	100
203	AL	WINDOW TO OFFICE	1	EA	01	OFFICE	WINDOW TO OFFICE	100	100
204	AL	WINDOW TO OFFICE	1	EA	01	OFFICE	WINDOW TO OFFICE	100	100



WINDOW TYPE A1  
1/2" THICK



WINDOW TYPE B1  
1/2" THICK



WINDOW TYPE C1  
1/2" THICK

MICHAEL GRAVES  
ARCHITECT P.C.

14 GUYSON STREET  
WASHINGTON, D.C.

PROJECT NO: 00044

PROJECT NAME: RAYDER RESIDENCE

14 GUYSON STREET  
WASHINGTON, D.C.

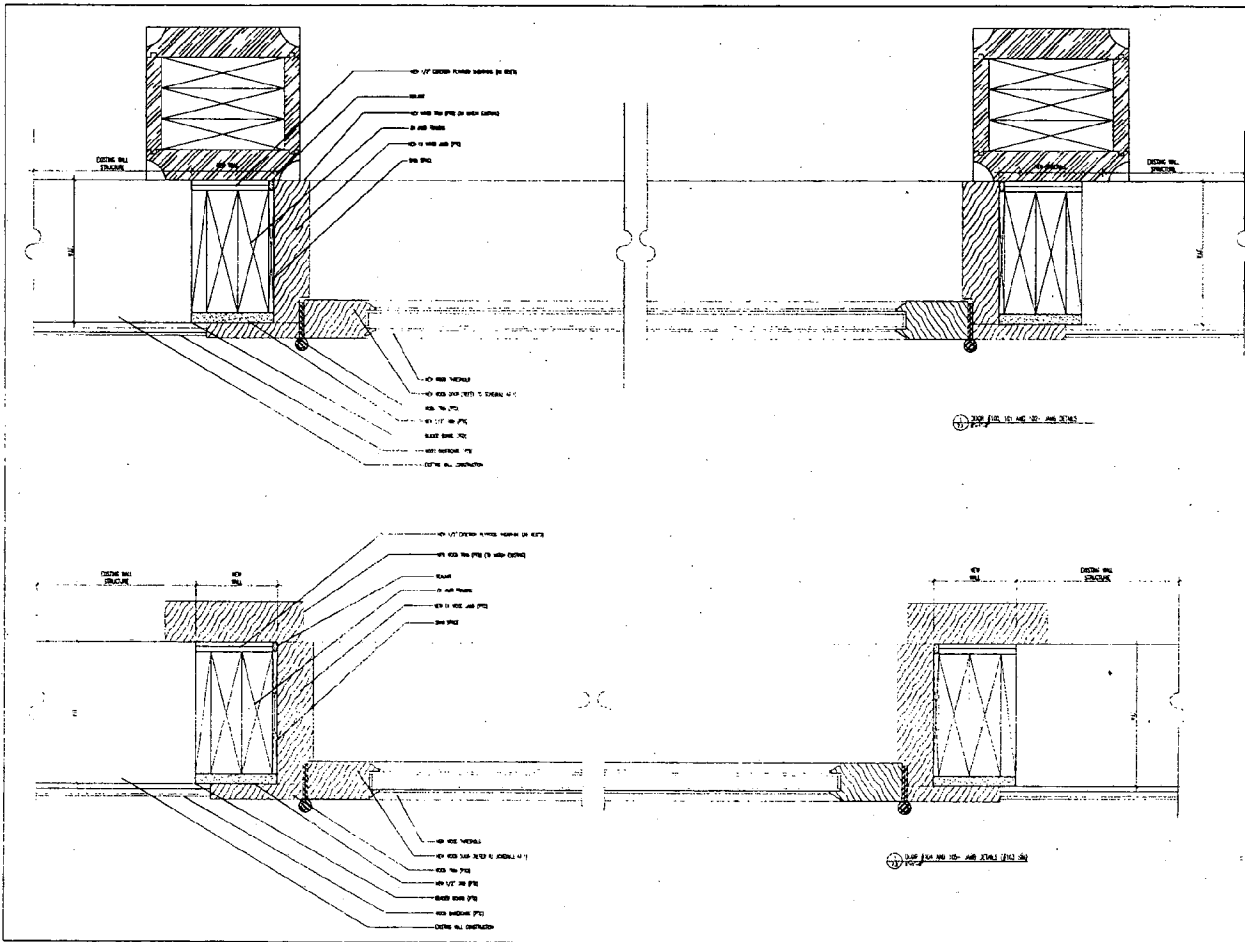
DOOR AND WINDOW  
SCHEDULES

DATE: 03/21/97

BY: [Signature]

A7.1





MICHAEL GRAVES  
ARCHITECT P.C.  
100 WASHINGTON CITY AVE  
NEW YORK CITY  
NY 10001  
(212) 641-0888

REVISIONS  
DATE NO. DESCRIPTION  
1 03/21/23 001

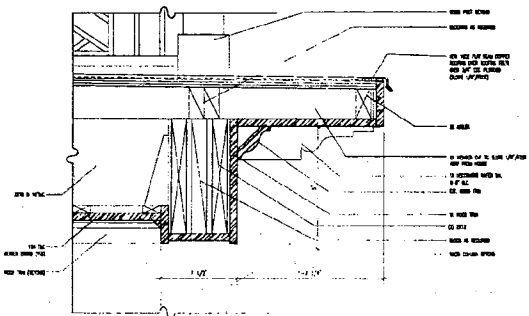
PROJECT NAME  
**RAYDER RESIDENCE**  
14 GLEBE STREET  
WASHINGTON, D.C.

DOOR JAMB  
DETAILS

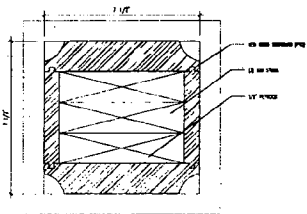
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SCALE: 8"=1'-0"

HEET NUMBER  
**A7.2**

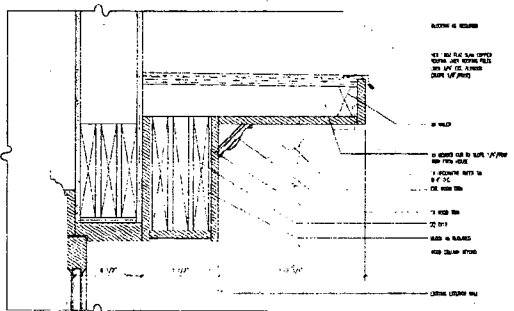




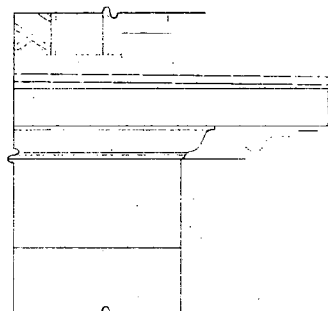
SECTION 1011 - W.D. - NEAR PORCH #102



SECTION 1012



SECTION 1013 - SITING ROOM #100



SECTION 1014 - NEAR PORCH #102

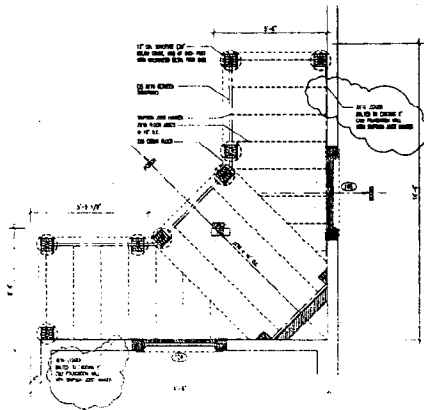
**MICHAEL GRAVES  
ARCHITECT P.C.**  
200 BROADWAY, SUITE 401  
NEW YORK, NY 10038  
TEL: 212 694-6800

DATE: 10/20/07  
BY: MGR  
CHECKED BY: MGR

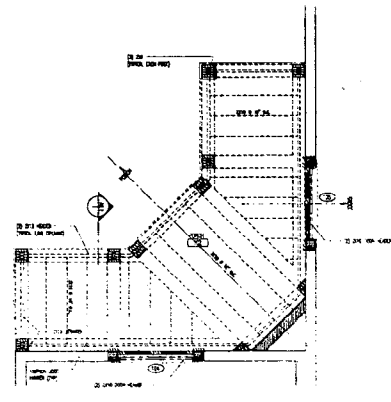
PROJECT NUMBER: 20044  
PROJECT NAME: **RAYDER RESIDENCE**  
14 OXFORD STREET  
WASHINGTON, D.C.

**DETAILS**  
DRAWN BY: TB  
CHECKED BY: MGR  
DATE: 10/21/07  
SCALE: 1/8\"/>

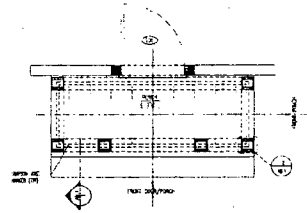
A9.1



1.1 STRUCTURAL PLAN - FOUNDATION  
1/2" = 1'



1.2 STRUCTURAL PLAN - REAR PORCH CEILING  
1/2" = 1'



1.3 STRUCTURAL PLAN - FRONT PORCH  
1/2" = 1'

- NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
  2. FINISH SURFACE OF ANY WALL IS SHOWN UNLESS NOTED OTHERWISE.
- CONCRETE CONSTRUCTION IS SHOWN
  - CONCRETE CONSTRUCTION IS TO BE RECONSTRUCTED
  - NEW CONSTRUCTION

**MICHAEL GRAVES ARCHITECT P.C.**  
 100 BELMONT, SUITE 401  
 NEW YORK CITY  
 NY 10012  
 (212) 633-8888

---

REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR PERMIT

---

DATE: 03/21/07

---

PROJECT NUMBER: 22044

PROJECT NAME: RAYDER RESIDENCE  
 14 GIFFORD STREET  
 WASHINGTON, D.C.

---

STRUCTURAL PLANS

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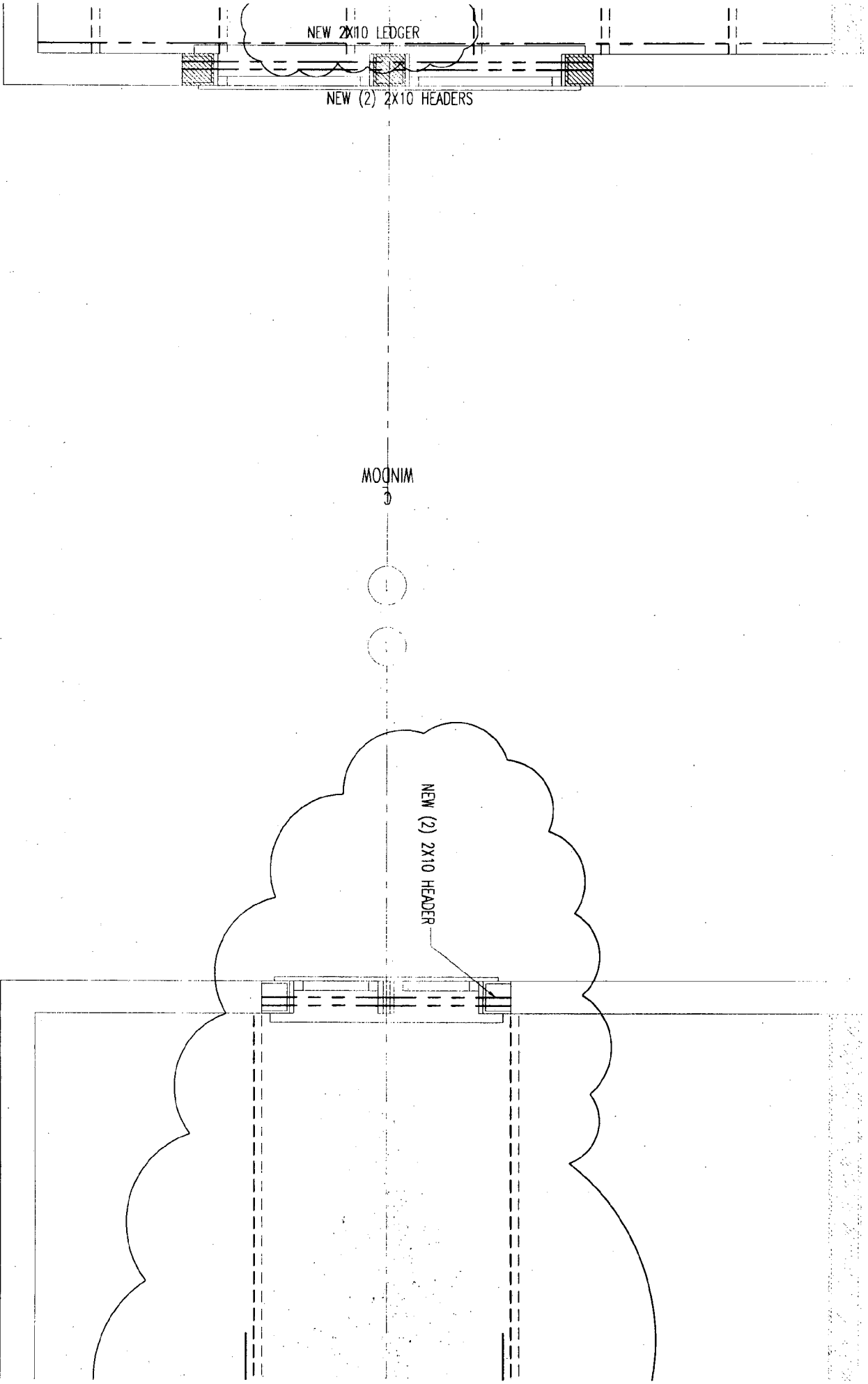
DRAWN BY: TR

CHECKED BY: TR

DATE: 03/21/07

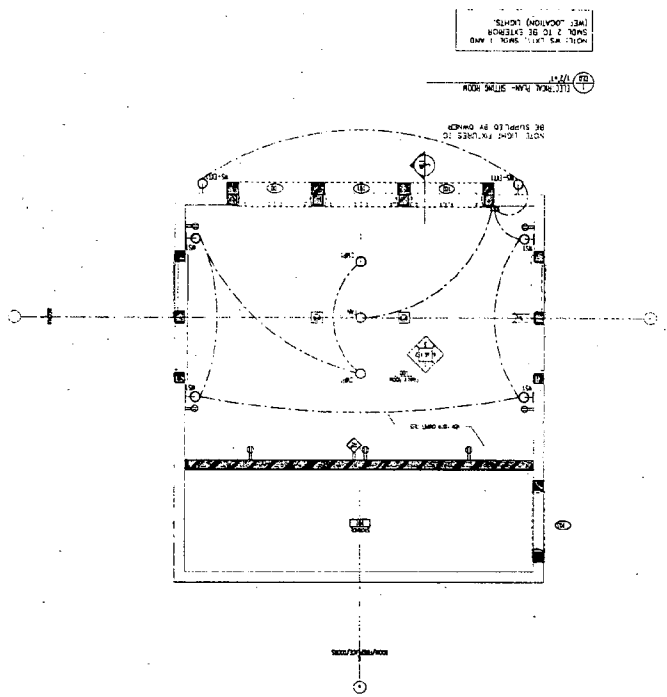
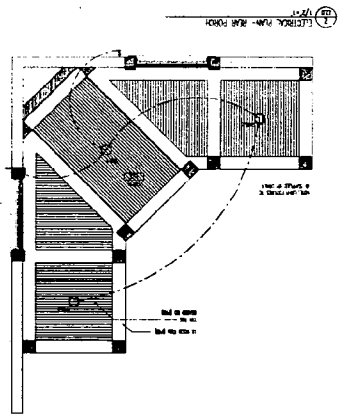
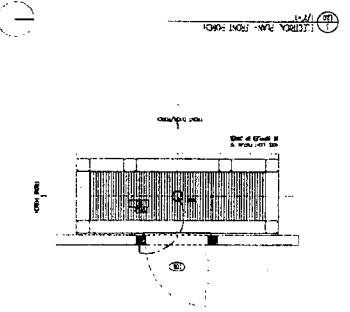
SCALE: 1/2" = 1'-0"

PROJECT NUMBER: S2.1



<b>E2.0</b>	
DATE: 02/12/99	BY: [Signature]
PROJECT: RAYDER RESIDENCE	NO. 123
LOCATION: 1400 14TH STREET WASHINGTON, D.C.	SCALE: AS SHOWN
DESIGNED BY: [Signature]	DATE: 02/12/99
CHECKED BY: [Signature]	DATE: 02/12/99
APPROVED BY: [Signature]	DATE: 02/12/99
MICHAEL GRAYES ARCHITECT P.C. 1400 14TH STREET, N.W. WASHINGTON, D.C. 20004 TEL: 202-331-1111 FAX: 202-331-1112	

- WORKING COPY
- REVIEWED BY ARCHITECT
- REVIEWED BY ENGINEER
- REVIEWED BY OWNER



**GENERAL NOTES:**

1. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
2. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO START OF WORK.
3. ALL SWITCHES AND RECEPTACLES SHALL BE IDENTIFIED BY LETTERS AND/OR NUMBERS AS SHOWN ON ALL CONDUIT RINGS SHALL BE IDENTIFIED BY LETTERS AND/OR NUMBERS.
4. ALL SWITCHES AND RECEPTACLES SHALL BE MOUNTED ON WALLS OR PORTLAND CEMENT, AND BE WORKED IN WORKER ELEVATION.
5. ALL RECEPTACLES SHALL BE MOUNTED HORIZONTALLY WITH CENTERLINE OF OUTLET AT CENTERLINE OF SWITCHING AND BE WORKED IN WORKER ELEVATION.
6. ALL SWITCHES SHALL BE MOUNTED WITH CENTERLINE AT 4'-0" AFF. UNLESS OTHERWISE NOTED AND AS SHOWN ON WORKER ELEVATIONS.
7. ALL SWITCHES SHALL BE GROUPED TOGETHER INTO SMALL PLACES WHEREVER POSSIBLE AND AS SHOWN ON WORKER ELEVATIONS.

**ELECTRICAL SYMBOLS LEGEND**

SYMBOL	DESCRIPTION	UNIT
□	SINGLE RECEPTOR WALL MOUNTED	WIRE
□	DOUBLE RECEPTOR WALL MOUNTED 15' O.C.K. MIN.	WIRE
□	DOUBLE RECEPTOR FLOOR FLOOR MOUNTED	BRASS TRIM COVER
□	SWITCH GFCI / PHASE LOCK - WALL MOUNTED	WIRE
□	WALL MOUNTED SWITCH	WIRE

**LIGHTING SCHEDULE**

1. ALL LIGHTING FIXTURES TO BE SUPPLIED BY OWNER, INSTALLED BY GC.
2. ALL LIGHTING FIXTURES TO BE SUPPLIED BY OWNER, INSTALLED BY GC.
3. ALL LIGHTING FIXTURES TO BE SUPPLIED BY OWNER, INSTALLED BY GC.

**MICHAEL GRAVES ARCHITECT P.C.**  
 300 PENNSYLVANIA AVENUE, SUITE 400  
 WASHINGTON, D.C. 20004  
 (202) 637-7000

---

**REVISIONS**

NO.	DATE	DESCRIPTION

---

**PROJECT CLASSIFICATION**

PROJECT CLASS	703444
PROJECT NAME	RAYDER RESIDENCE

14 OLDFORD STREET  
 WASHINGTON, D.C.

---

**DATE**

DATE	03/21/07
SCALE	1/2" = 1'-0"

**PROJECT NUMBER**

**E1.0**