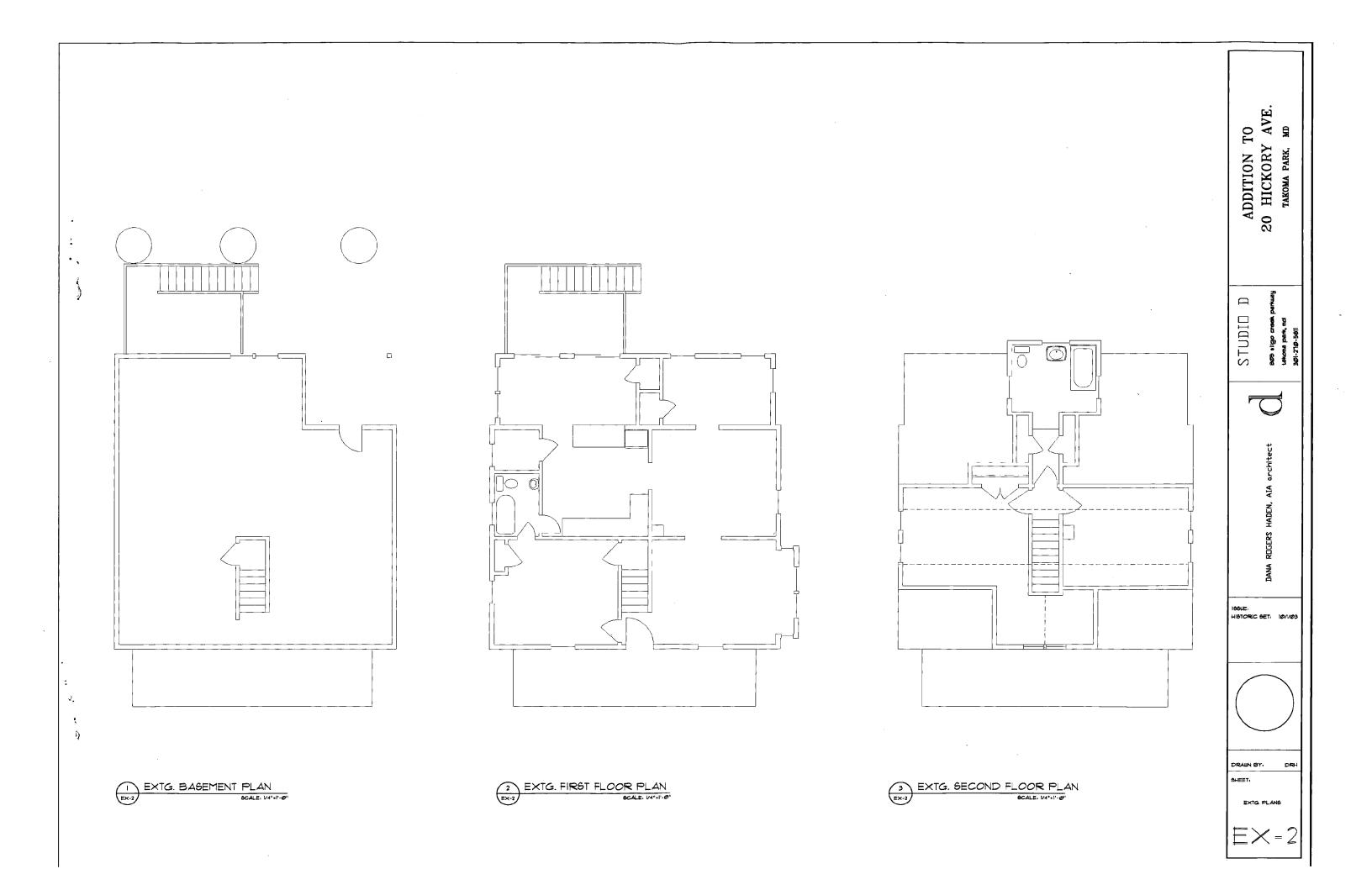
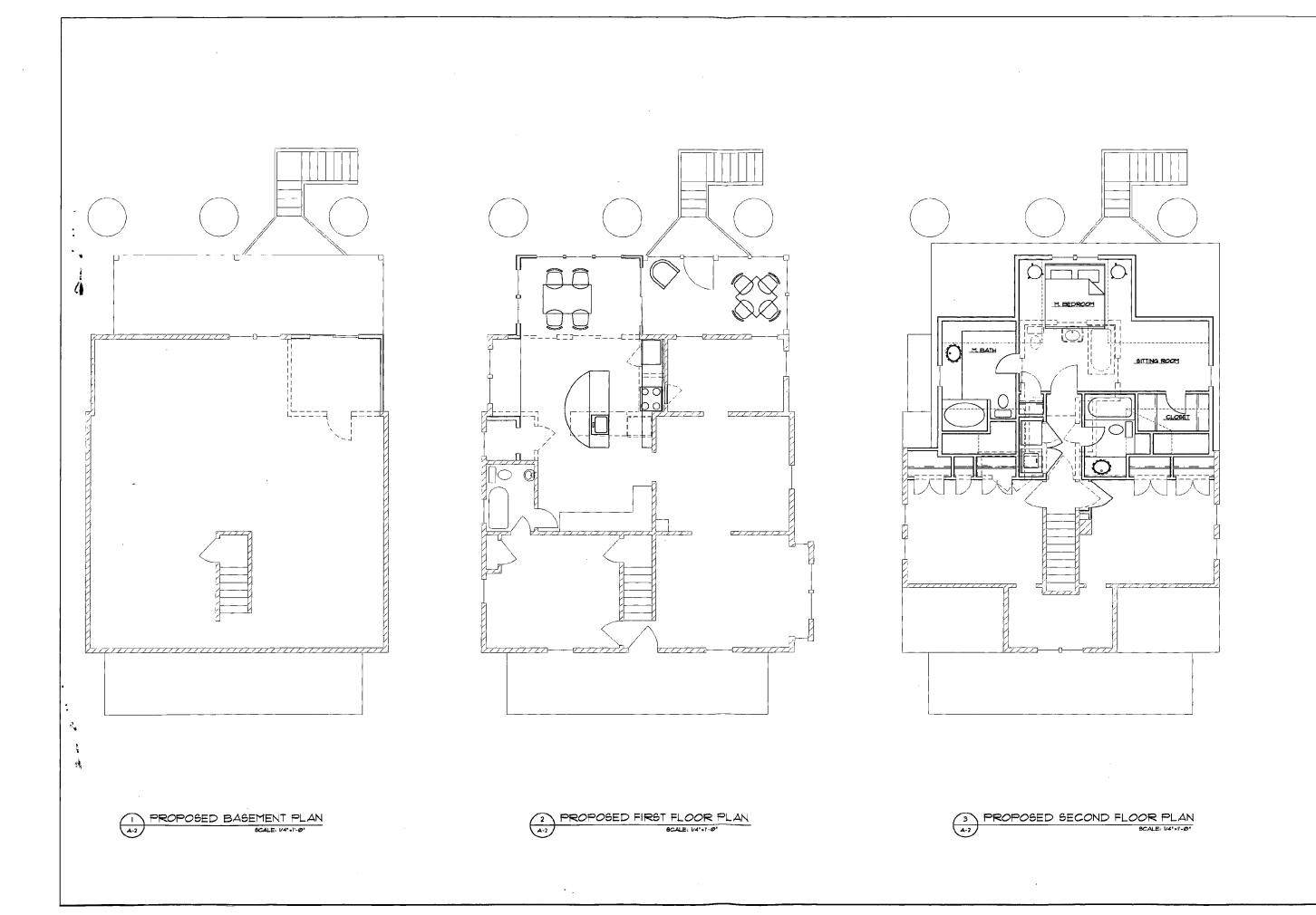
20 Hickory Avenue HPC#37/03-03SS Takoma Park Historic District









ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD

STUDIO D

DGERS HADEN, AIA architect

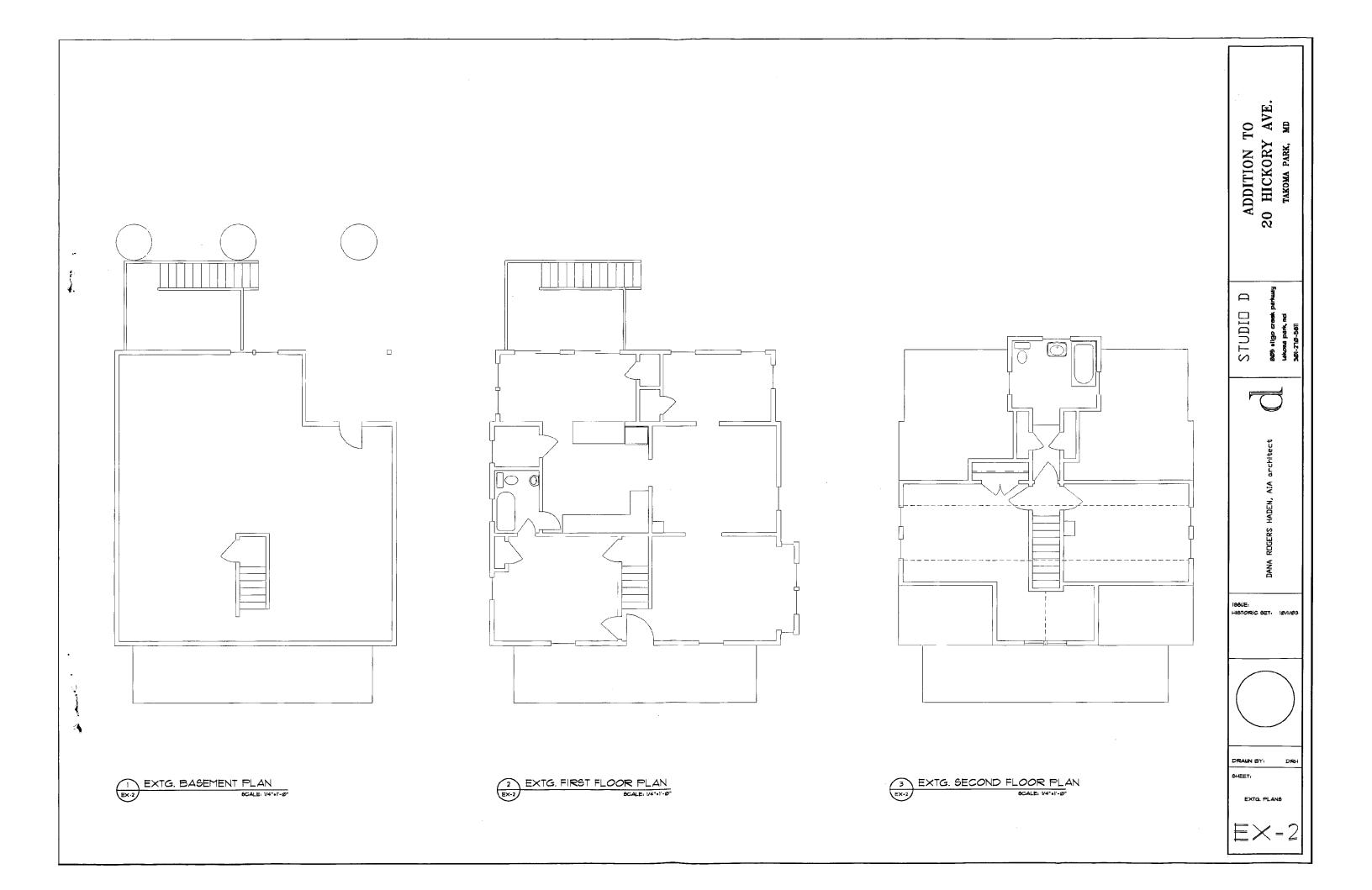
188UE: HISTORIC SET: 10/1/03

DRAWN BY:

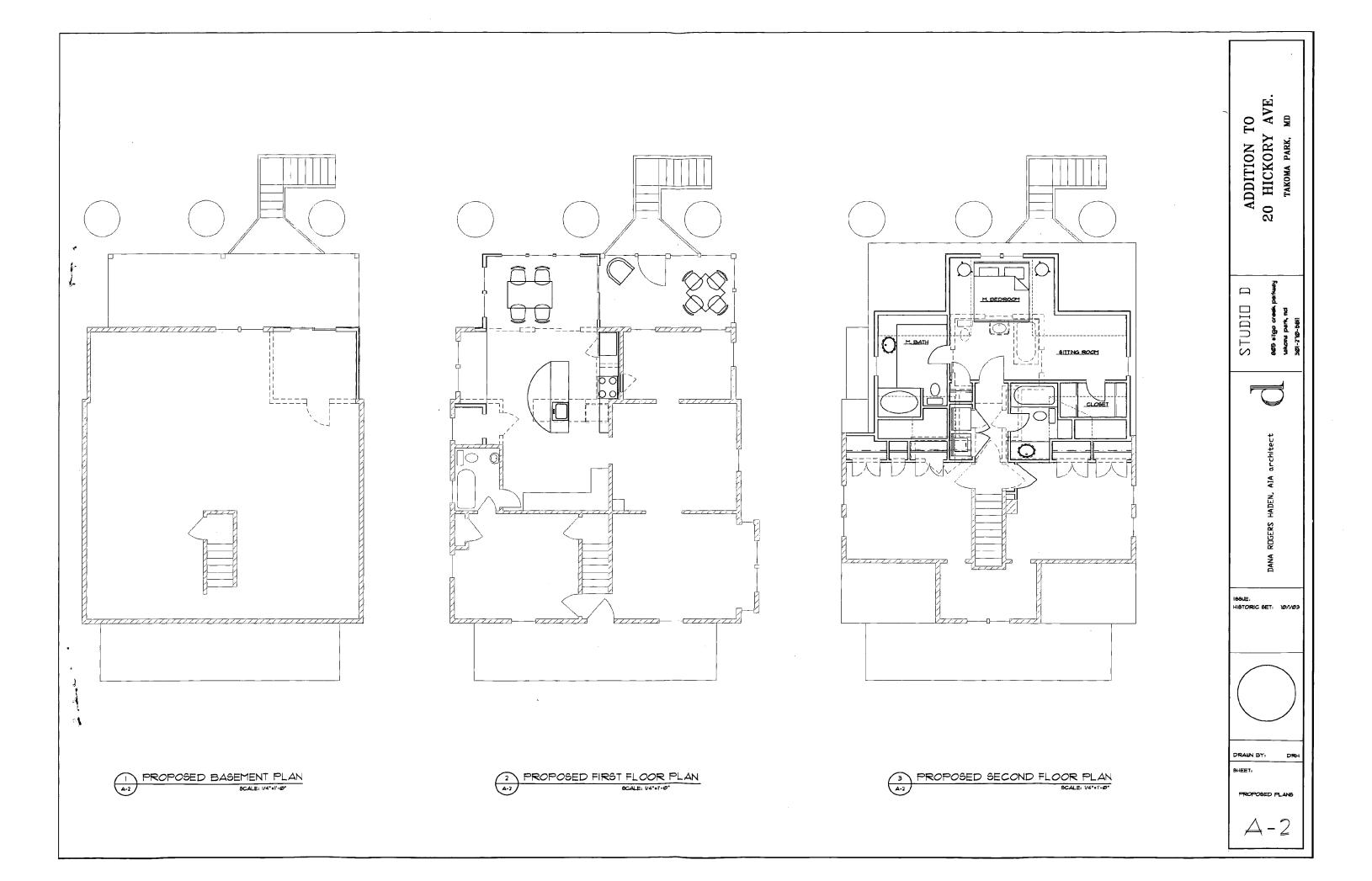
SHEET

PROPOSED PLANS











Date: 10-23-03

#### **MEMORANDUM**

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Wright, Coordinator

Historic Preservation Section

SUBJECT:

Historic Area Work Permit Application – Approval

Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at http://permits.emontgomery.org of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Date: October 23, 2003

#### **MEMORANDUM**

TO:

Robert Hubbard, Director

FROM:

Gwen Wright, Coordinator

Historic Preservation

SUBJECT:

Historic Area Work Permit # 320312

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>APPROVED</u>. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant:

Antonio and Julia Coronado

Address:

20 Hickory Avenue, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at http://permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work





DPS - #8

## HISTORIC PRESERVATION COMMISSION 301/563-3400

## APPLICATION FOR HISTORIC AREA WORK PERMIT

•			Contact Person:	DAMA H	ADEN	_
•	•		Daytime Phone No.:	301.270	.5811	
Tax Account No.: 0/06	4631		_	-		<del></del>
Name of Property Owner: ANTO		1 (DEONADO	Daytime Phone No.;	202.4	62- 309	14
1.1	cory Avc.		. ^	MD	20912	-
Street Number	201	City	Sinel		Zip Code	<del></del>
Contractors:			Phone No.:			<del></del>
Contractor Registration No.:		<del></del>			F	
Agent for Owner:			Daytime Phone No.:			- Street of the
Address: LOCATION OF BUILDING/PHEMI	<u> </u>					The state of the s
House Number: #20		Street	HILLORY	AUE.		Dept of Panamas Linios
Tawn/City: TAKOMA				10		Casework Management
	ZO Subdivision			·	· · · · · · · · · · · · · · · · · · ·	<del></del>
Lot: Black: Slock: Slock: Solice: Soli						<del></del>
Cider:rbiid	Tarco	··				<del></del>
PART ONE: TYPE OF PERMIT A	CTION AND USE					<del></del>
IA. CHECK ALL APPLICABLE:		CHECK ALL	APPLICABLE:			
□ Construct □ Extend	Ther/Renovate	EL ACT	Slab [] Room	Addition D Porc	ch 🖸 Oeck 🗆 Shi	ed .
☐ Move ☐ Install	☐ 'Wieck/Raze	[] Solar	] Fireplace   [] Woodb	urning Stave	Single Family	
☐ Revision ☐ Repair	☐ Revocable	[ ] Fence/V	Vall (complete Section 4)	Other.		
18. Construction cost estimate: \$	\$ 200,000					<del></del>
IC. Il this is a revision of a previous	y approved active permit.	see Permit #				<del>-</del>
PART TWO: COMPLETE FOR NE	WCONSTRUCTIONA	NO EXTEND/AUDITI	ONS	<del> </del>		
ZA. Type of sewage disposal:		07 I J Septic				
28. Type of water supply:	OI E WSSC	07     Well				
Co. Tipe of words only in						
PART THREE: COMPLETE ONLY	FOR FENCE/RETAININ	IG WALL				<del>.</del>
JA. Height leat	inches					
18. Indicate whether the lence or r	etaining wall is to be con	structed on one of the I	ollowing Incations:			
[] On party line/property line	[] Entirely an	land of owner	[] On public right of	way/easement .		
		timetim that the		d that the constantion	an will comply with ala	
f hereby cerbly that I have the antho approved by all agencies listed and	Thereby acknowledge ar	g application, but the o	publication for the issuance	of this permit.	an sout Courtyly south free	
>	11 1			. 1.1		
- Dana	Hader			191/03	Osto	<del></del>
Signature at aw	ner or authorized agent			· ,	Date	
American V		l for Chaire	erspe, Historic)PrySgrva	tion Commission		• •
Approved:	Simulation	Y Challe	# Wilds	Colle.		
Disapproved: 30/	Signature:	gusan	1112/13/		In 10210	·

#### 1. WRITTEN DESCRIPTION OF PROJECT

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	The property is an aristordine resource in the
	hyteric district described as wear bothie.
	It was built in 1909. It is a neary symetrical
	Cabled front design wi a front parch.
	An addition was home at some time creating
	an unatractive "bathroom tower" at the rear.
	There is also a see one story addition to the rear.
	The original house now has replacement parcy windows.
b.	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district
	The would like to build an addition onto
	the rear that would minic the main house
	and would also mente a cabled near.
	the rear addition would belone two story
	as well. We would like to create a 3rd bedroom
	and both on the second floor.

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b., dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping,

#### 3. - PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- 5. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If yer: the proposing construction adjacent to or within the dripline of any tree 5" of larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and op codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

#### HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

20 Hickory Avenue, Takoma Park

**Meeting Date:** 

10/22/03

Resource:

**Outstanding Resource** 

**Report Date:** 

10/15/03

Takoma Park Historic District

**Public Notice:** 

10/08/03

**Case Number: 37/03-03SS** 

Review:

**HAWP** 

Tax Credit:

None

Applicant:

Antonio and Julia Coronado

Staff:

Michele Naru

PROPOSAL: Rear Addition

**RECOMMEND:** Approval

#### PROJECT DESCRIPTION

SIGNIFICANCE:

**Outstanding Resource** 

STYLE:

Neo-Gothic

DATE:

1909

20 Hickory is an outstanding resource within the Takoma Park Historic District. The building is a 1-½ story frame Neo-gothic style house built by owner/carpenter Albert Burdette. The original windows on the main massing have been replaced with vinyl.

#### PROPOSAL:

The applicant is proposing to:

- 1. Demolish the existing non-contributing rear additions, and construct a new, rear addition. The proposed rear addition's roof height will be approx. 4" lower than the existing massing. Material Specifications include: Hardi-plank siding, asphalt shingles, 1/1 vinyl clad wood windows and wood decking materials.
- 2. Install vinyl clad wood windows in the foundation wall of the existing massing's left, side elevation.

#### **STAFF DISCUSSION:**

The Historic Preservation Commission utilizes the Approved and Adopted Takoma Park Historic District Guidelines and the Secretary of Interior's Standards for Rehabilitation when reviewing changes to resources within the historic district. The Takoma Park Guidelines define

#### outstanding resources as:

A resource that is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style.

However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following Takoma Park Guidelines pertain to this project:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- Emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- All changes and additions should respect existing environmental settings, landscaping and patterns of open space.

The following Secretary of the Interior's Standards pertain to this project:

- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction will be undertaken in such a manner that, if removed
  in the future, the essential form and integrity of the historic property and its environment would be
  unimpaired.

In general, staff believes that the proposed addition is in scale with the existing house. The proposed addition is very sympathetic to the style, scale and massing of the historic resource and will be located at the rear – not visible for the public right-of-way. The addition will be constructed in the location of the existing non-contributing addition and therefore, will not further disturb any of the house's original fabric whereby preserving the existing historic integrity of the resource. This proposal meets the above criteria outlined in the *Takoma Park Guidelines* and the *Secretary of the Interior's Standards*. Staff recommends approval.

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission approve the HAWP application as being consistent with

#### Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

With the general condition that the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits, if applicable, and after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at <a href="www.permits.emontgomery.org">www.permits.emontgomery.org</a> prior to commencement of work and not more than two weeks following completion of work.







## HISTORIC PRESERVATION COMMISSION 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

·	Contact Person: DAWA HADEN
	Daytime Phone No.: 301.270.5811
Tax Account No.: 0/06453/	
Name of Property Owner: ANTONIO & JULIA CORONADO	Davigue Phone No.: 202. 462 - 3044
Address: 20 Hickory Avc. TAKO	MA PARK MD 20912
Street Number City	Staet Zip Code
Contractor:	Phone No.:
Contractor Registration No.:	
Agent for Owner:	Daytime Phone No.;
Address:	OCT 017
House Number: #70 Street	HICKORY AVE. Dept of Permitting Security of Dept of Dept of Permitting Security of Dept
Town/City: TAKOMA PARK Nearest Cross Street:	ELM Ave.
Lot: 4 Block: ZO Subdivision: 25	
Liber: Parcel:	
4	
PART ONE: TYPE OF PERMIT ACTION AND USE	
	APPLICAGLE:
	☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
	[] Fireplace 1 Woodburning Slove Single Family
	Wall (complete Section 4)
IC. If this is a revision of a previously approved active permit, see Permit #	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/AUDIT	IONS
ZA. Type of sewage disposal: 01 CIWSSC 02 1.1 Septic	03 ! ! Other:
2B. Type of water supply: 01 @WSSC 02 (1 Well	03 1 1 Other:
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Height feet inches	
	fallousing for allings
<ul> <li>18. Indicate whether the fence or retaining wall is to be constructed on one of the</li> <li>17. On party line/property line</li> <li>17. Entirely on land of owner</li> </ul>	
i. ). On party unexproperty line 1.7. Ettinely on same of overles	1,1 Oil paper right of way/cosement
Unersty certify that I have the authority to make the laregoing application, that the	
approved by all agencies listed and I hereby acknowledge and accept this to be a	combine for the issuance of loss permit.
Tour Made	101/02
Signalise al owner or authorized agent	Oute
Approved;For Chair	rperson, Historic Preservation Commission
Disapproved: Signature:	Oate:
Application/Permit No.: 3803/2 Date	Filed: // S//-5 Date (ssued:

### THE FOLLOWING HEMS MUST ACCOMPANY THIS APPLICATION

#### 1. WRITTEN DESCRIPTION OF PROJECT

8.	Description of existing structura(s) and environmental setting, including their rustilities and significance:
	The property is an outstonding resource in the
	historic district described as wear bothing.
	If was built in 1909. It is a nery symetrical
	Cabled front design w/ a front porch.
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	There is also a do one story addition to the rear.
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	and both on the second floor.

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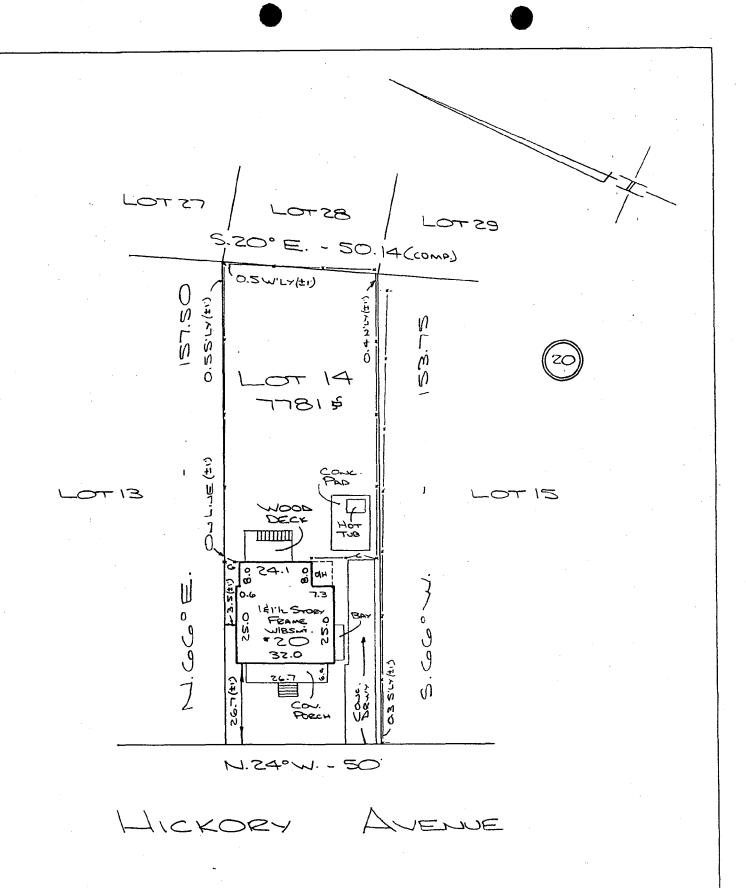
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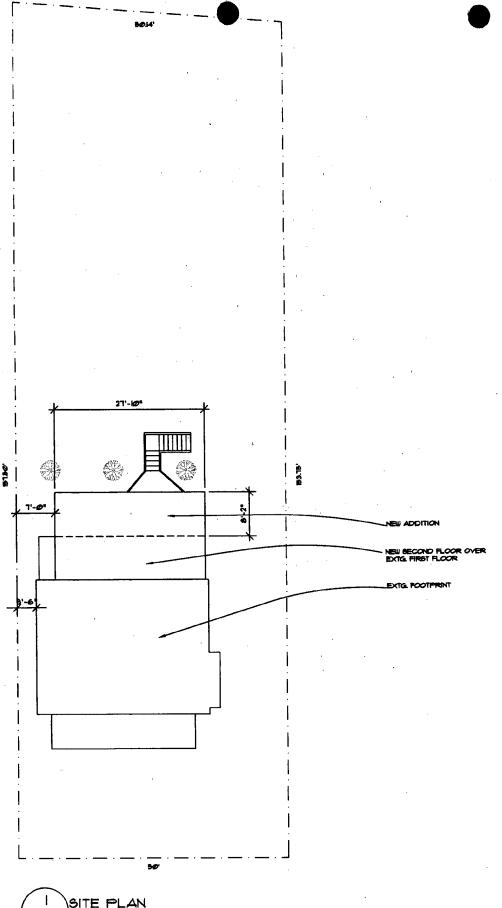
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(5)

### HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners] Owner's mailing address Owner's Agent's mailing address Antomo P Julia Coronado 20 Hickory Are. Takona Park MD, 20912 Adjacent and confronting Property Owners mailing addresses Make Michael Desantels James Parter 18 Hickory Ave. 22 Hickory Arec. Takoma Park, MD. 20912 Takoma Park, UD. 20912 David Christy 24 Montgomeny Ave. Deborah Zuckerman 7100 Poplar Ane Takona Park, UD Takoma Park, UD Elizabeth Pitcher 7016 Poplas Arue Susan Pitcher 7018 Poplar Ave Takoma Park, MTD Takoma Park, MD.



4







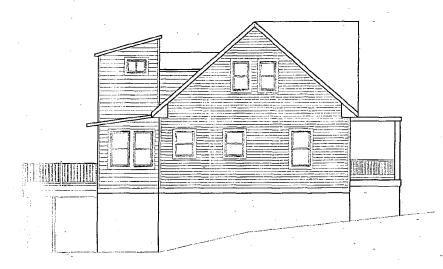


EXTG. REAR ELEVATION

SCALE: VAT-1-6



EXTG. RIGHT SIDE ELEVATION



EXTG. LEFT SIDE ELEVATION

SCALE, VA-1-6-

ADDITION TO 20 HICKORY AVE. TAKOMA PARK, ND

STUDIC D

C

A ROGERS HADEN, AIA <u>architect</u>

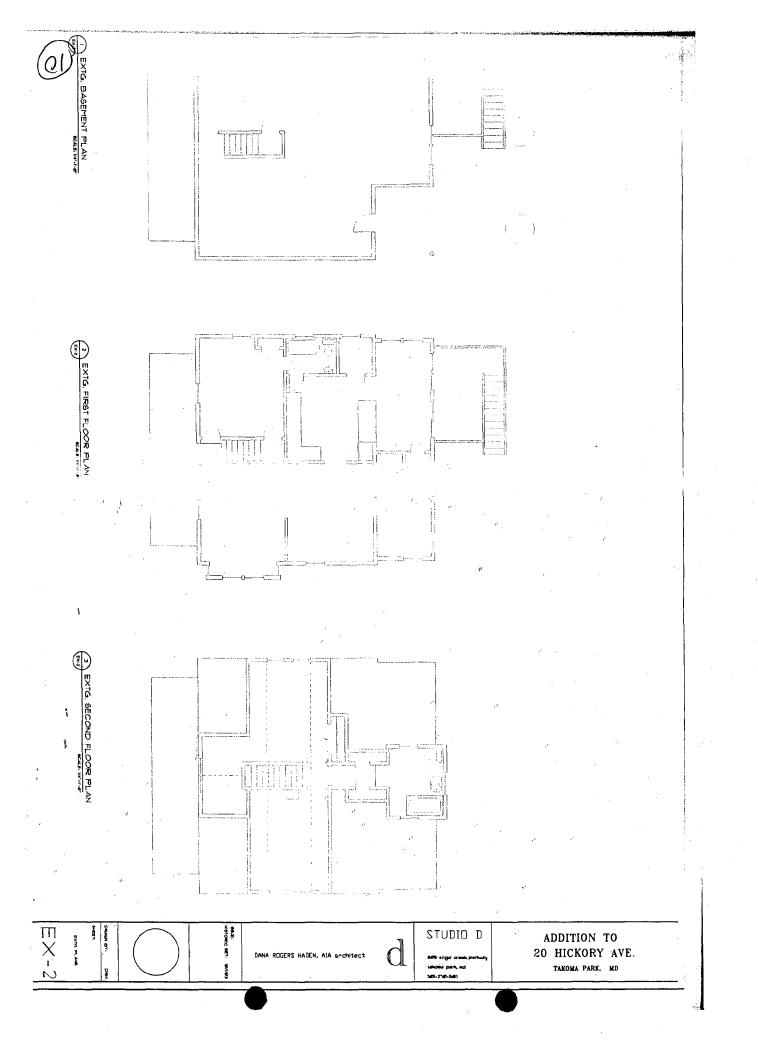
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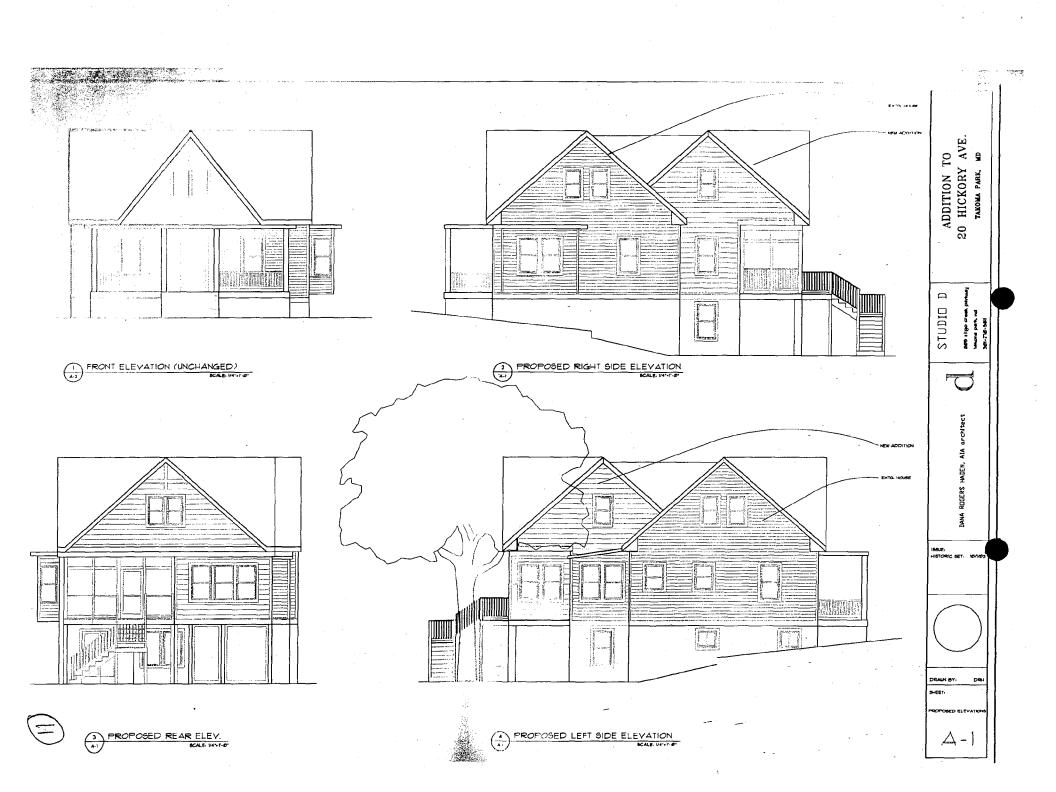


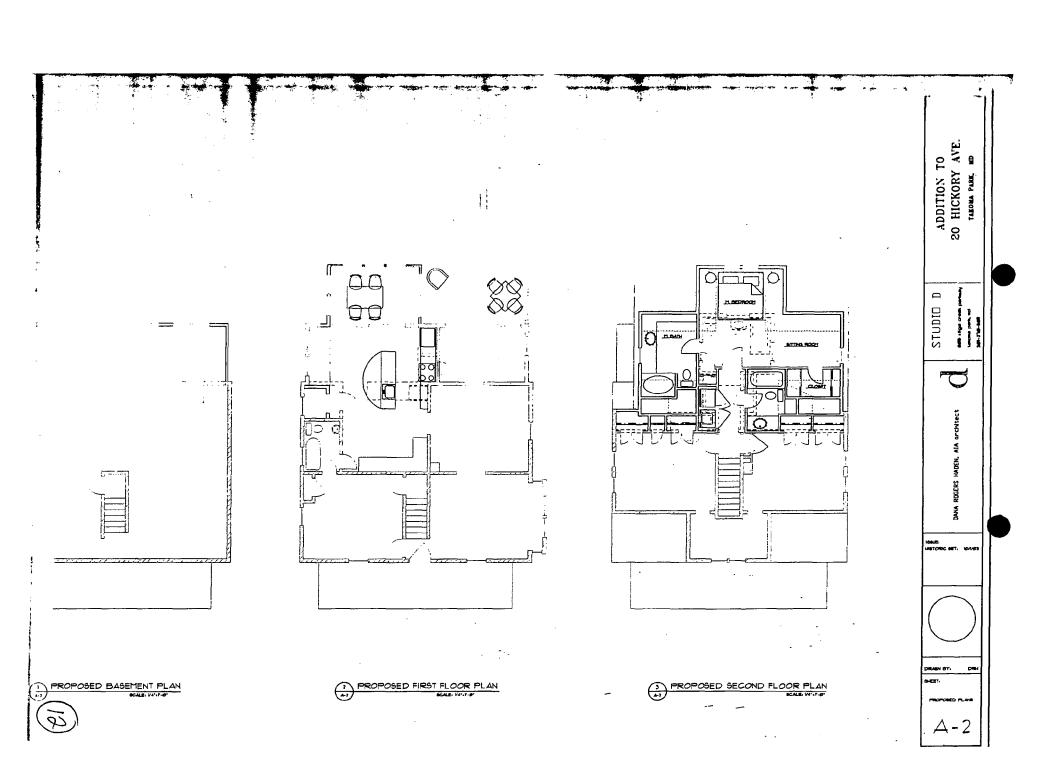
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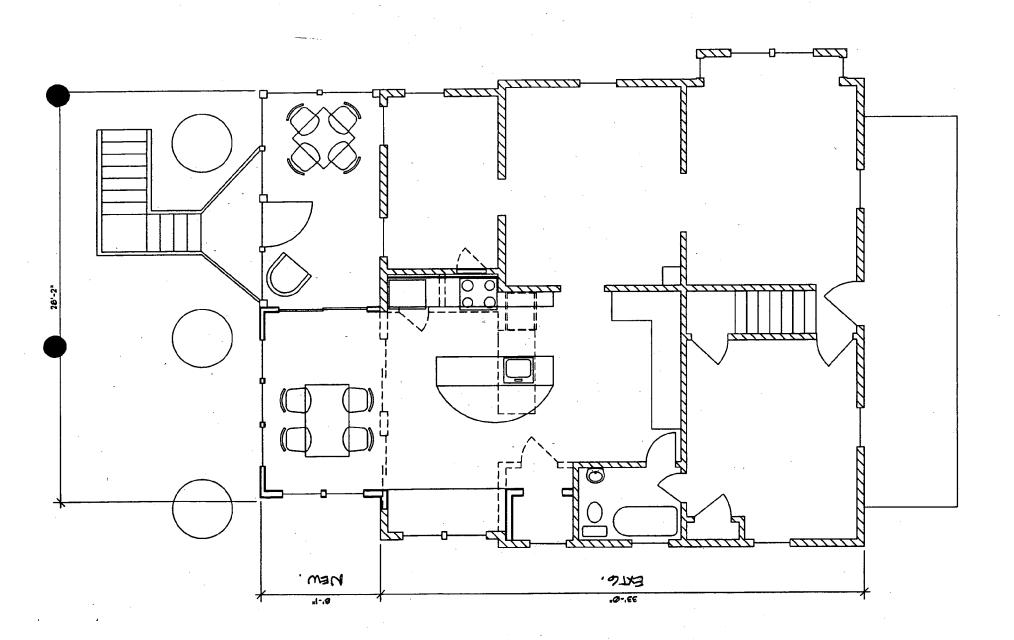
EXTG. BLEVATIONS

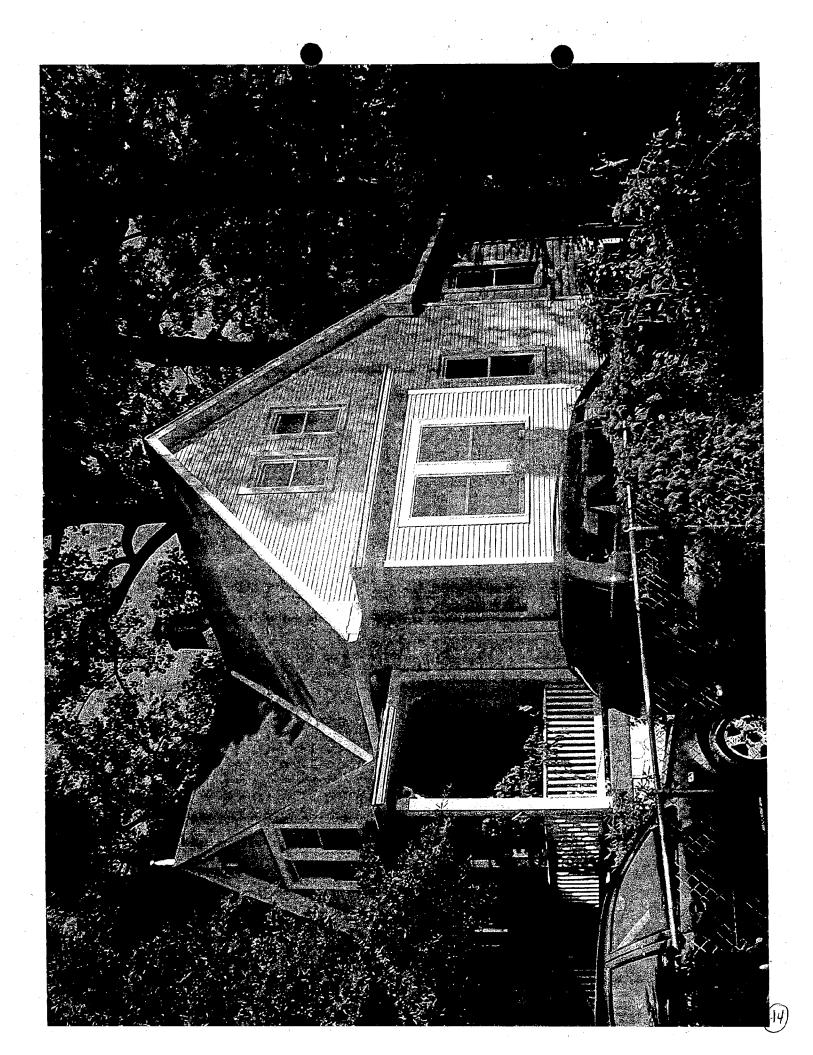
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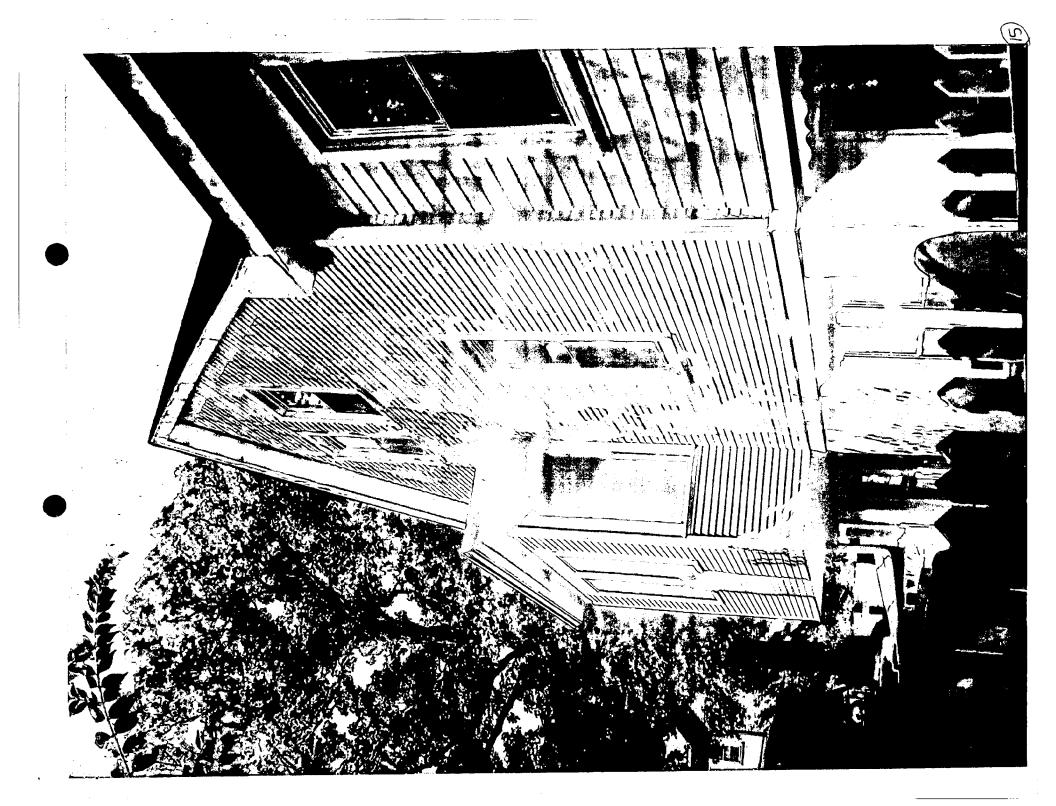


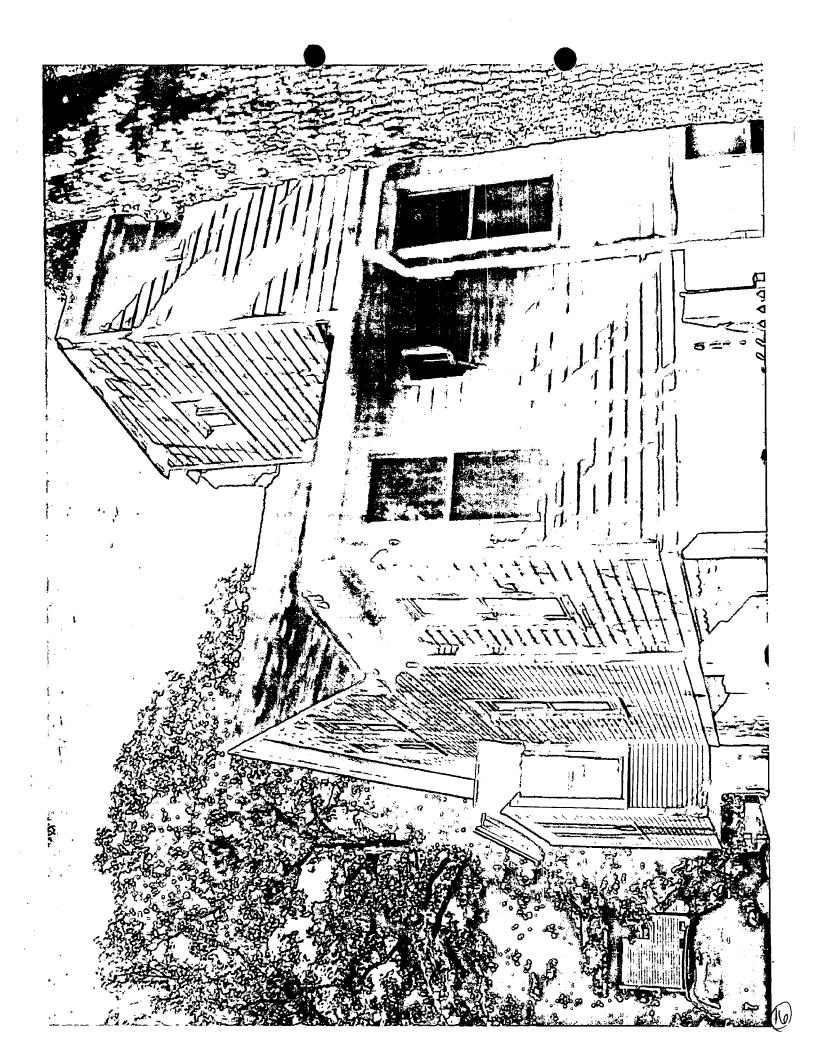


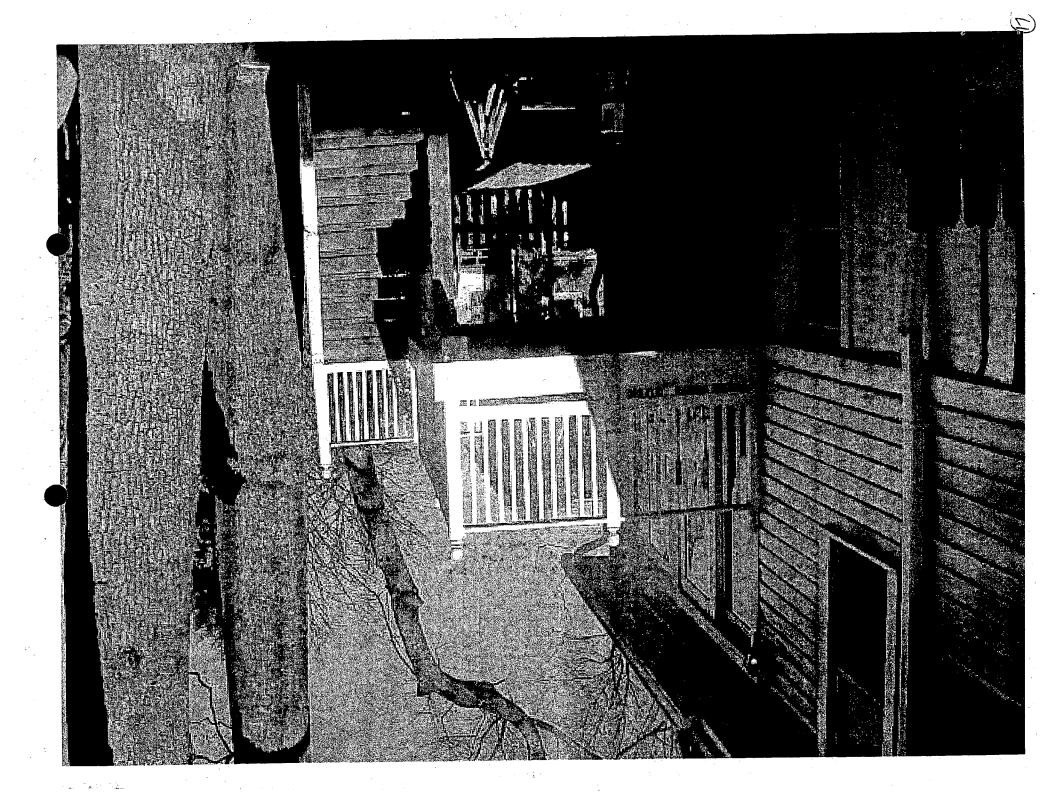


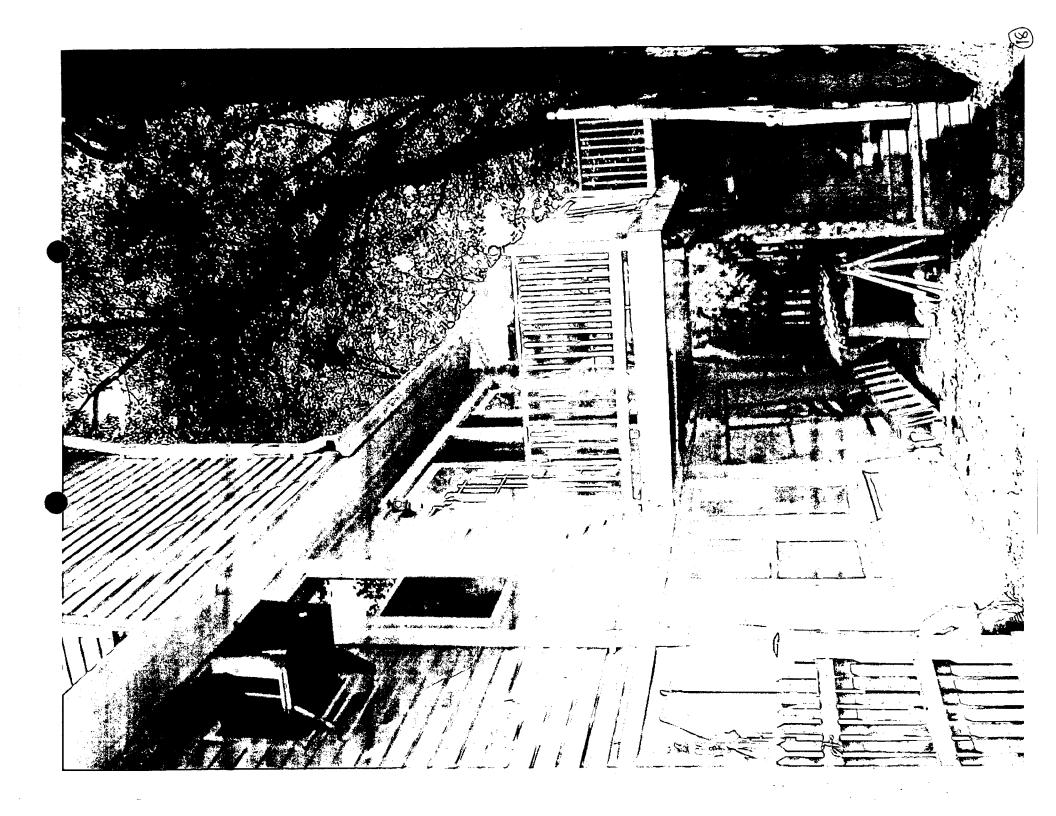






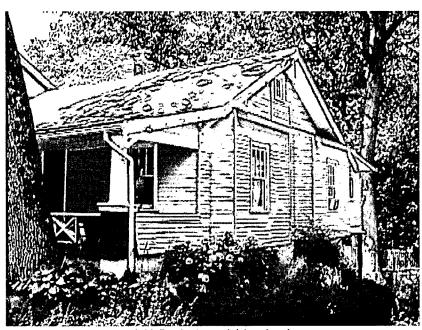




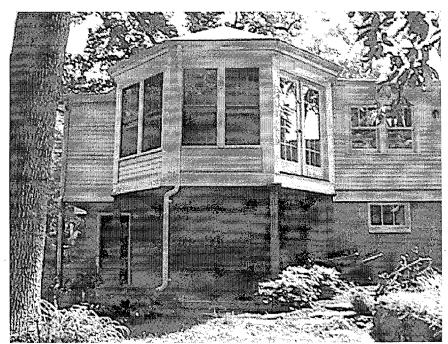




242 Park Ave. (front view)



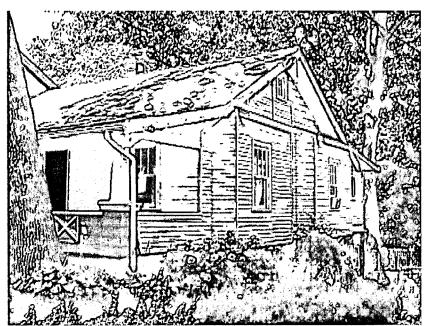
242 Park Ave. (side view)



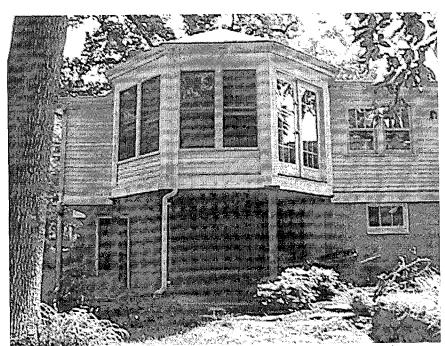
242 (back view)



242 Park Ave. (front view)



242 Park Ave. (side view)



242 (back view)

June 16, 2003

Donald Spence, Chair Montgomery County Board of Appeals 100 Maryland Avenue, Suite 217 Rockville, Maryland 20850

RE:

20 Hickory Avenue, Takoma Park

Outstanding Resource within the Takoma Park Historic District

Dear Mr. Spence and Board Members:

The Montgomery County Historic Preservation Commission strongly supports the request of Julia and Antonio Coronado for a variance to allow them to construct an addition extending directly from the rear of the existing house. The existing structure has a side yard setback of 3.5°. The existing rear addition to be extended has a side yard set back of 4.0°. The zoning setbacks currently require a side yard setback of 7°.

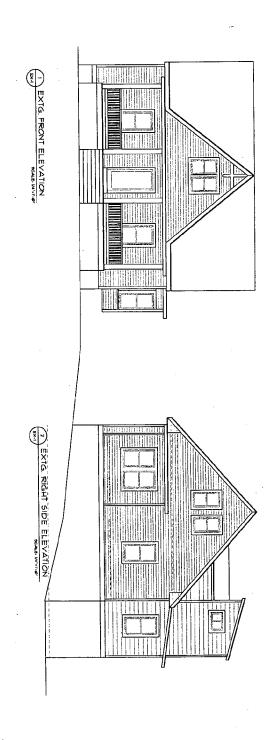
The applicant's proposed addition will line up with the current addition and will not extend beyond the side elevations of the house or its current addition. The Commission encourages this type of "telescoping" additions to be constructed onto its historic houses so it does not negatively affect historic landscape of the district by maintaining its existing side yard setbacks and the rhythm of the historic streetscape. Additionally, the use of telescoping additions helps to retain the majority of the historic house's integrity.

The Commission feels that this is a very appropriate location for the proposed addition, as it will be constructed to the rear of the house and not visible from the public-right-of way.

Thank you for your attention in this matter. If you have any additional questions, please do not hesitate to contact the Commission's staff at 301-563-3400.

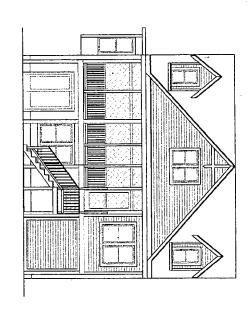
Sincerely,

Susan Velasquez, Chair Historic Preservation Commission

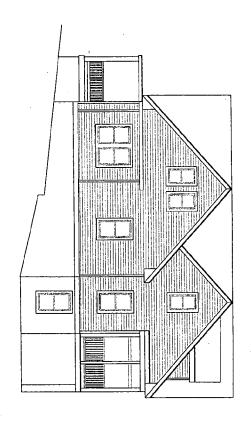


DANA ROGERS HADEN, AIA architect  20 HICKORY AVE.	3 8	. 7	STUDIO D	ADDITION TO	5
TIVOM DURY MD	( ) § DANA RE	RS HADEN, AIA architect	866 sligo creek parkway	20 HICKORY AVE.	· 1
9 8 35:70-961	\$		141.016 park, red 3.01-21-0-563	TAKOMA PARK, MD	





PROPOSED RIGHT SIDE ELEVATIO



Jules - Untonio Coronado

	Datasi en Datasi	DANA ROUGERS HADEN, AIA grothtect  STUDIO D  BOD Bilgo crash parkasy  Short-176-000	ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD
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# HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent	and Confronting Property Owners]
Owner's mailing address Antonio & Julia Coronado 20 Hickory Are. Takoma Park MD, 20912	Owner's Agent's mailing address
Adjacent and confronting Pro	perty Owners mailing addresses
James Parter 22 Hickory Arec. Takoma Park, Ut). 20912	Make Michael Desantels 18 Hickory Ave. Takoma Park, MD. 20912
David Christy 24 Montgomeny tre. Takoma Park, UD	Deberah Zuckerman 7100 Poplar Ane Takoma Park, UD
Gusan Pitcher 7018 Poplar Ave Takoma Park, MT	Elizabeth Pitcher 7016 Poplar Arve Takoma Park, MD.



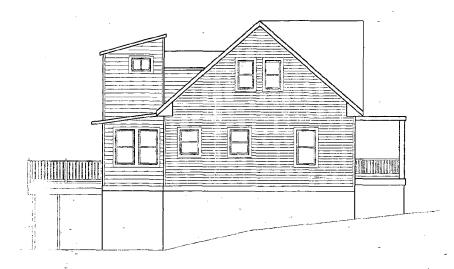




EXTG. REAR ELEVATION



EXTG. RIGHT SIDE ELEVATION



EXTG. LEFT SIDE ELEVATION

SCALE: VANDINGS

ADDITION TO 20 HICKORY AVE. 7AKOMA PARK, ND

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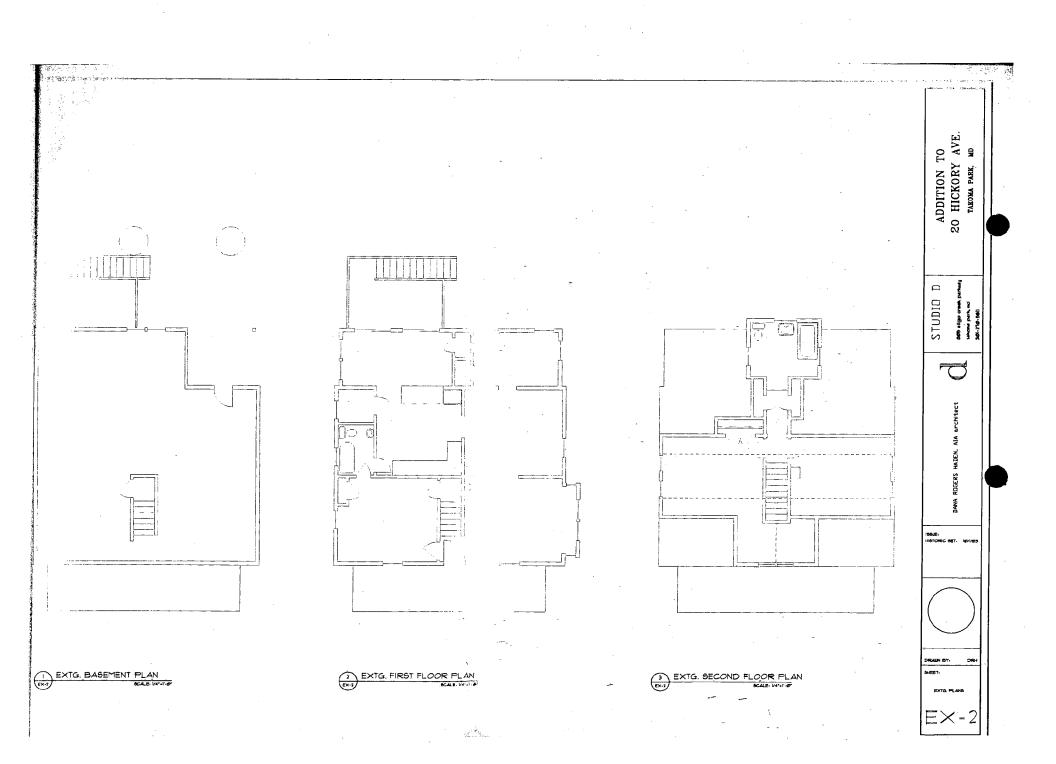
ROCERS HADEN, AIA architect

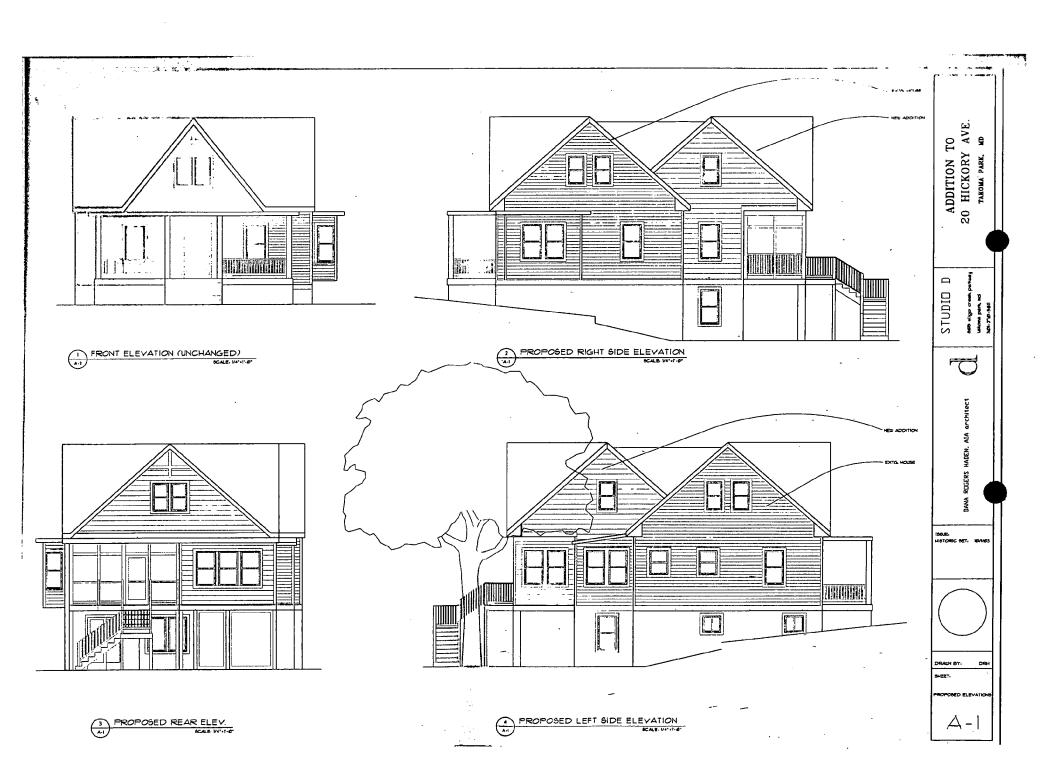
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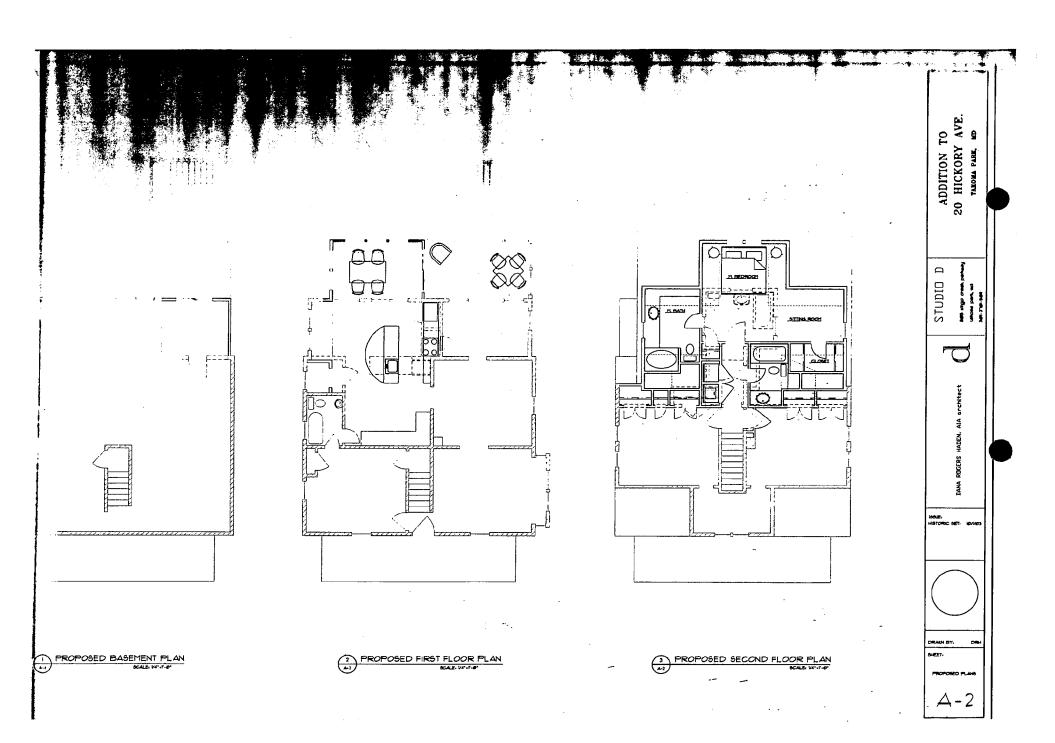
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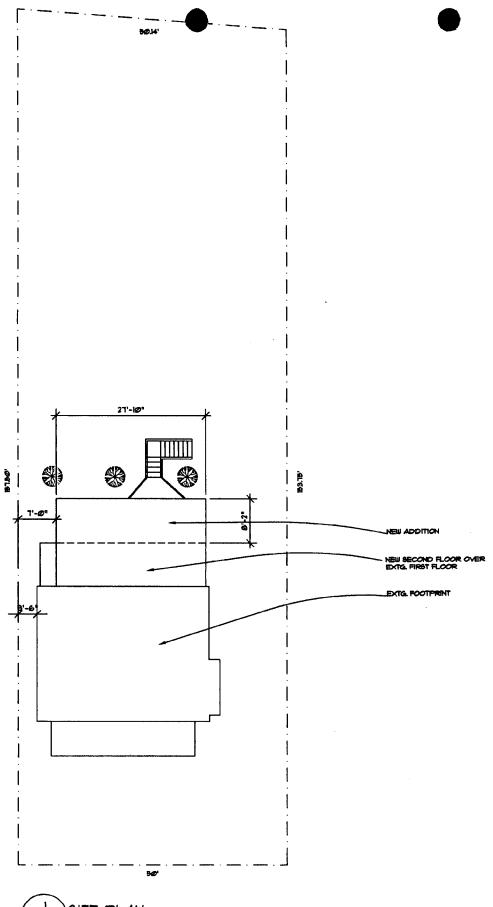
EXTG. ELEVATIONS

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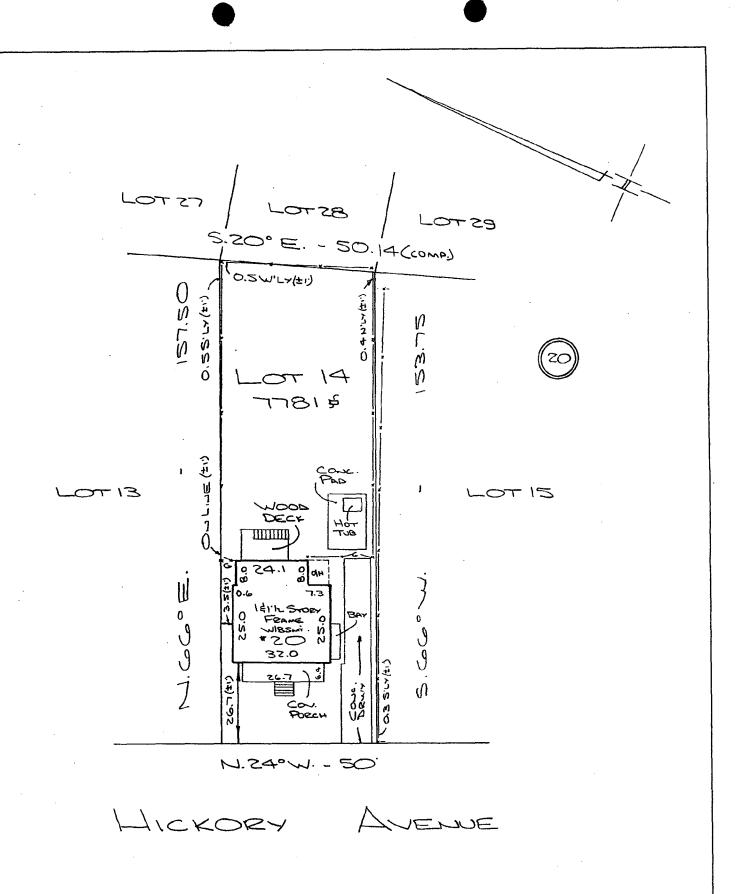






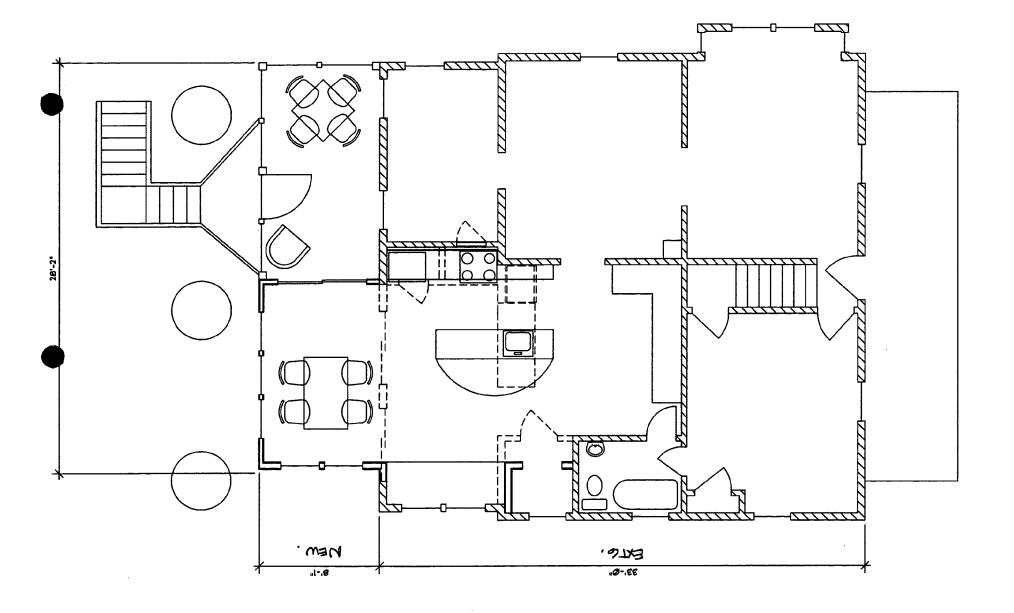


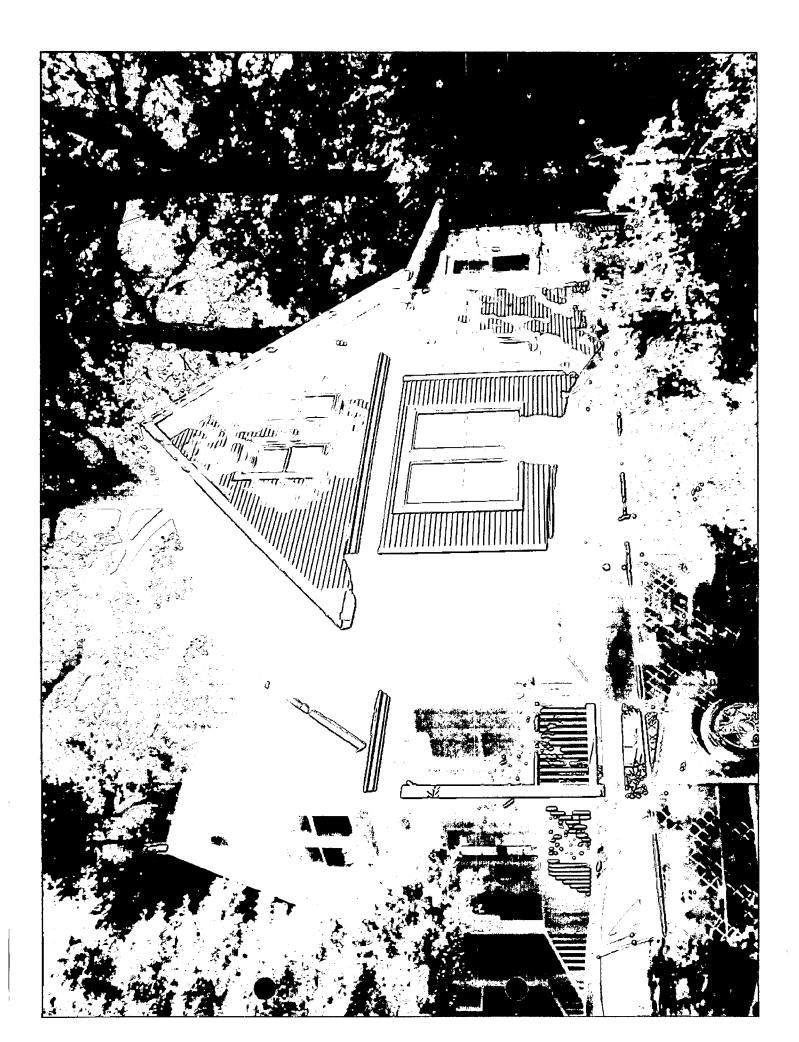
O SCALE: I"= 10'-0"



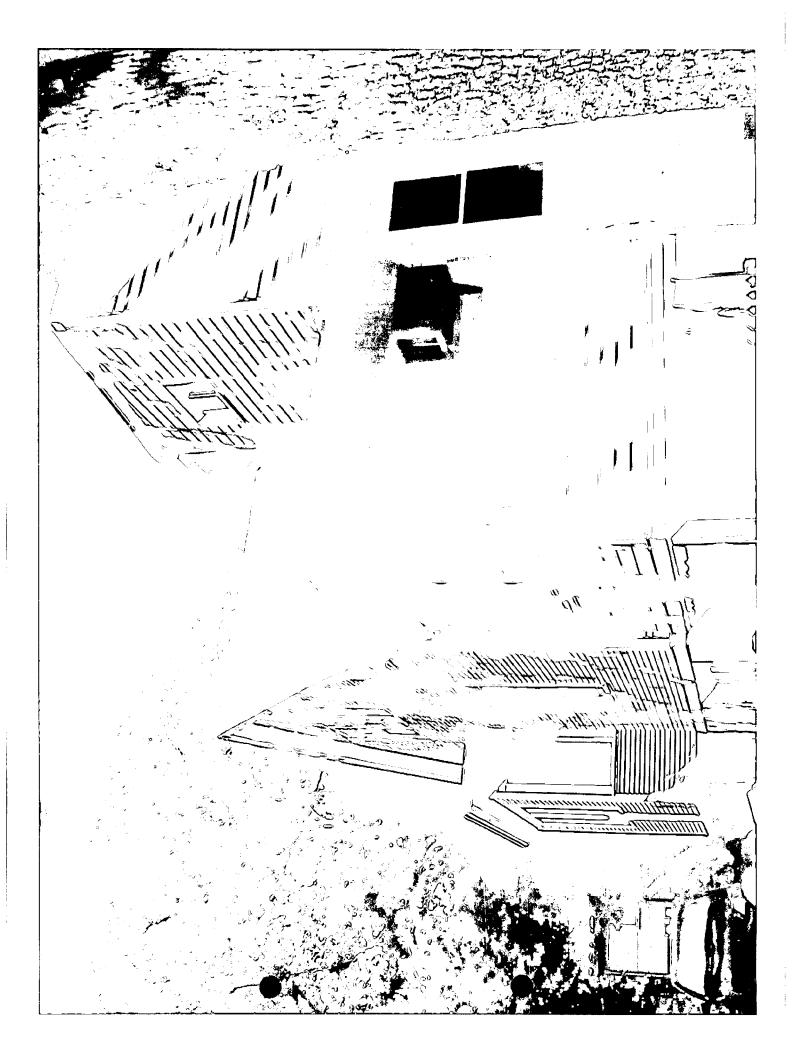
Capitol Surveys, Inc.

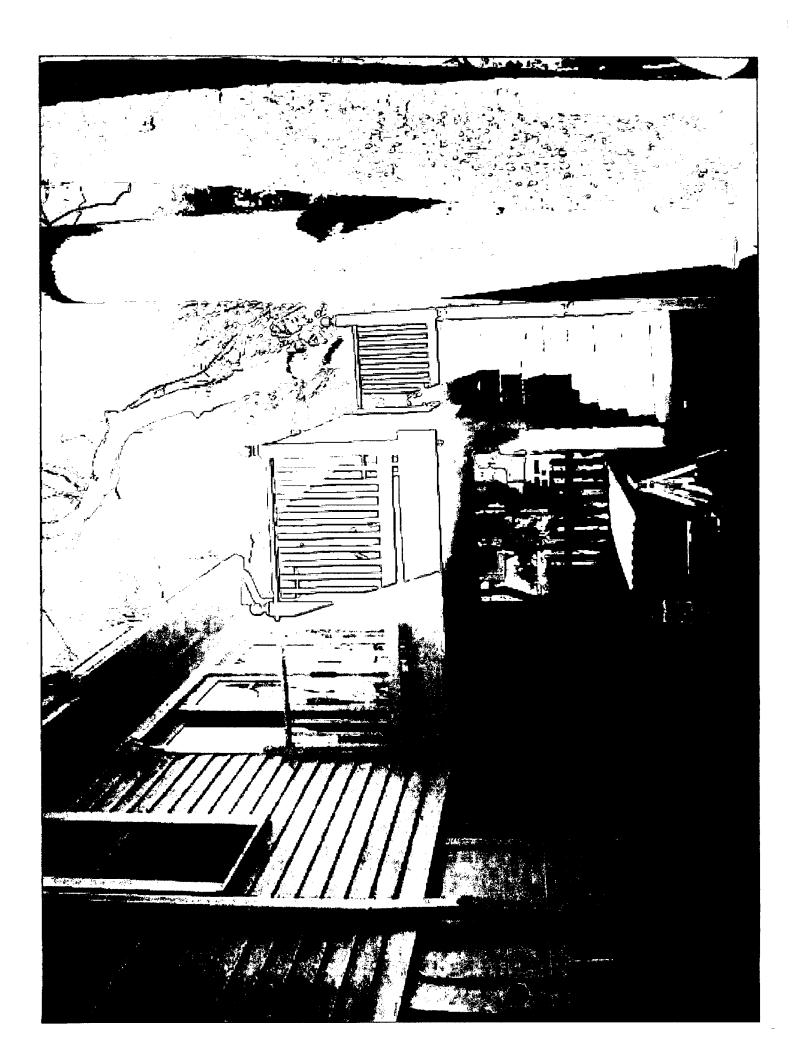
NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon

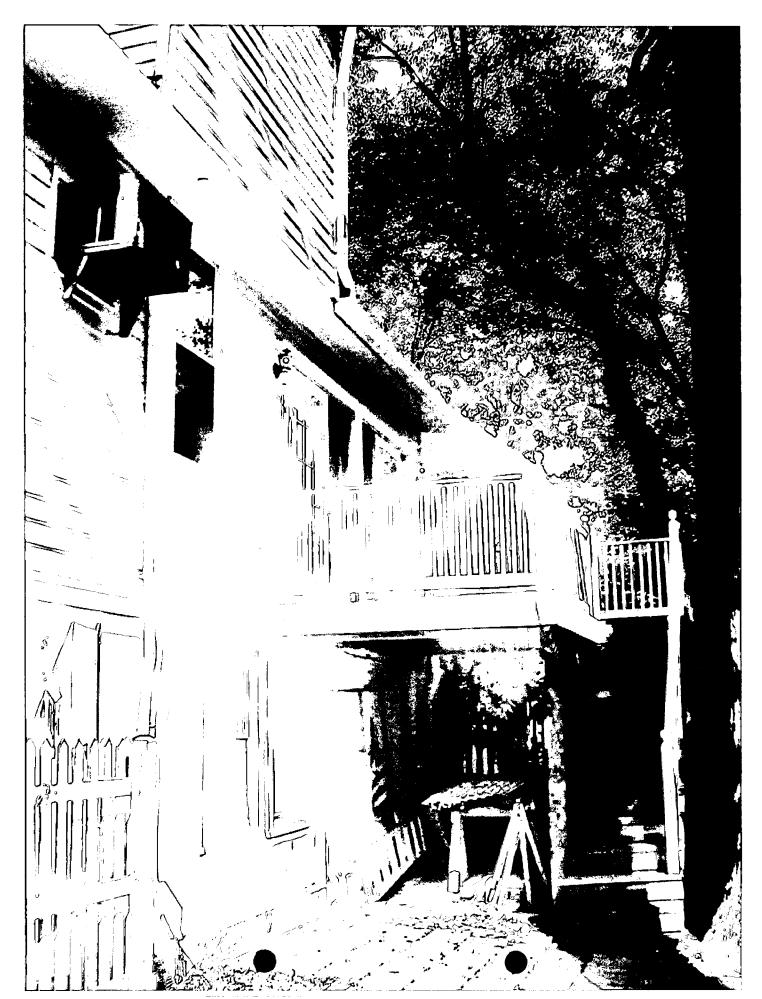












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June 26, 2003

Donald Spence, Chair Montgomery County Board of Appeals 100 Maryland Avenue, Suite 217 Rockville, Maryland 20850

RE: 20 Hickory Avenue, Takoma Park

Outstanding Resource within the Takoma Park Historic District

Dear Mr. Spence and Board Members:

The Montgomery County Historic Preservation Commission strongly supports the request of Julia and Antonio Coronado for a variance to allow them to construct an addition extending directly from the rear of the existing house. The existing structure has a side yard setback of 3.5'. The existing rear addition to be extended has a side yard set back of 4.0'. The zoning setbacks currently require a side yard setback of 7'.

The applicant's proposed addition will line up with the current addition and will not extend beyond the side elevations of the house or its current addition. The Commission encourages this type of "telescoping" additions to be constructed onto its historic houses so it does not negatively affect historic landscape of the district by maintaining its existing side yard setbacks and the rhythm of the historic streetscape. Additionally, the use of telescoping additions helps to retain the majority of the historic house's integrity.

The Commission feels that this is a very appropriate location for the proposed addition, as it will be constructed to the rear of the house and not visible from the public-right-of way.

Thank you for your attention in this matter. If you have any additional questions, please do not hesitate to contact the Commission's staff at 301-563-3400.

Sincerely,

Susan Velasquez, Chair

Historic Preservation Commission

usan Velasquez

# ADDITION TO #20 HICKORY AVE. TAKOMA PARK, MD

### ZONING INFORMATION

BF. GILBERT'S ADDITION TO TAKOMA PARK LOT 14 BLOCK:20 MONTGOMERY COUNTY, MD PLAT BOOK A PLAT 2

### GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY.

THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK

THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRAGTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONSTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK, EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED INACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:

ROOF- 30PS FLOORS- 40PS

WOOD STUDS (2x4 & 16" O.C.)- NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUN BEARING OF 1 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS # 16" O.C. WITH DOUBLE STUDS AT OPENING, 3 FULL MEMBERS # CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (SILLS, PLATES, SLEEPERS) SHALL BE PRESSURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR APPROVED FOR EXTERRIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" PELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR) WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GLUED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM! SIZE, SHAPE AND COLOR TO MATCH EXISTING.

INSTALL SPLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2"

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY ONCIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

INSTALL R-30 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUES AND THE FIRST FLOOR INSTALL R-19 BATT INSULATION IN THE 2X6 STUD WALL INSTALL R-13 BATT INSULATION IN THE REST OF THE NEW EXTERIOR 2X4 WALLS.

\*\*MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

# LIST OF DRAWINGS

SHEET TITLE

CO ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, 4 SITE PLAN

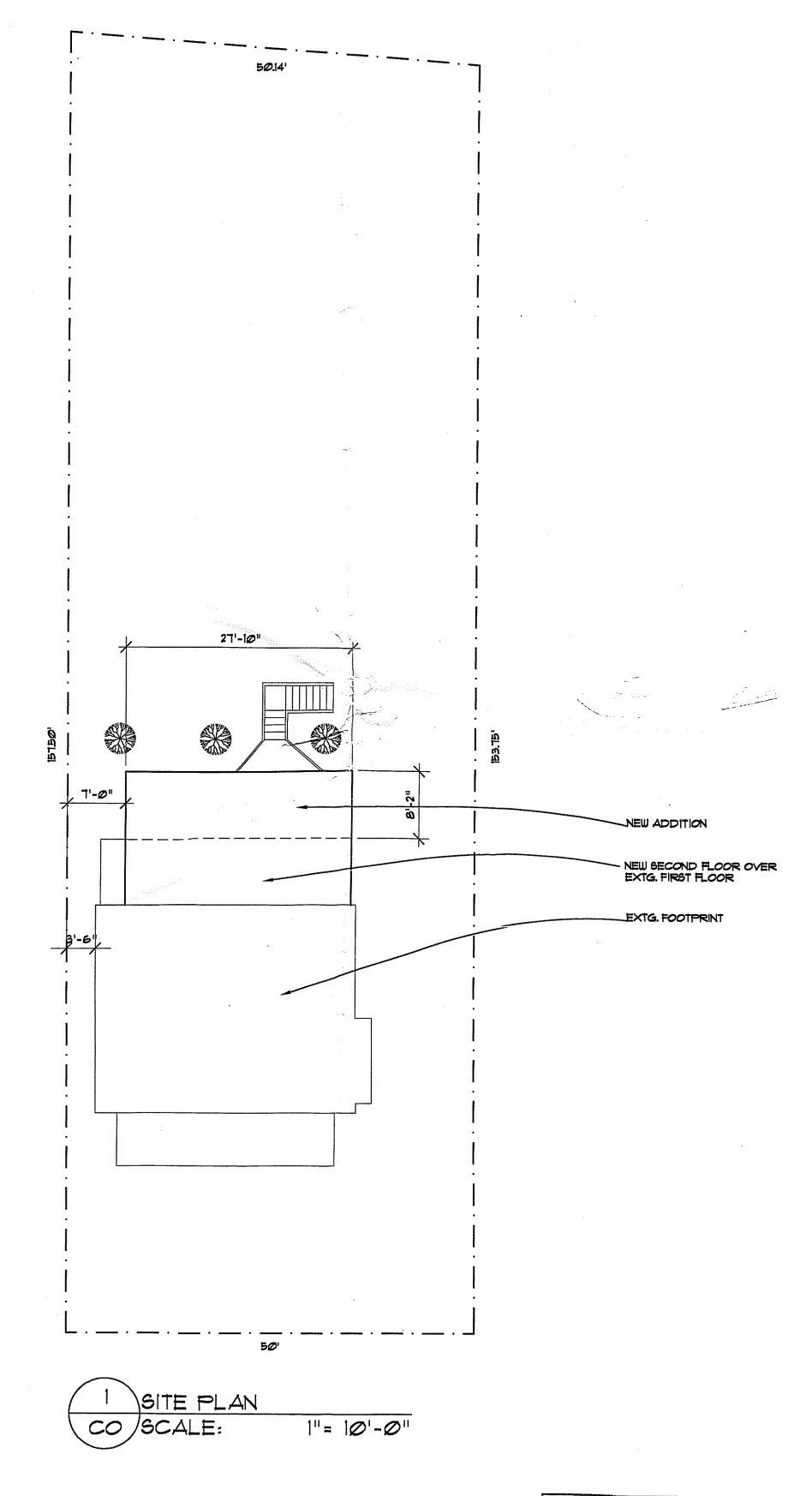
4-1 BASEMENT AND FIRST FLOOR ARCHITECTURAL PLANS
4-2 SECOND FLOOR ARCHITECTURAL PLAN AND ROOF PLAN

-3 ELEVATIONS

A-4 SECTION AND PLUMBING RISER
FR-1 FRAMING PLANS

FR-2 FRAMING FLANS

-! ELECTRICAL PLANS



 ADDITION TO 20 HICKORY AVE.

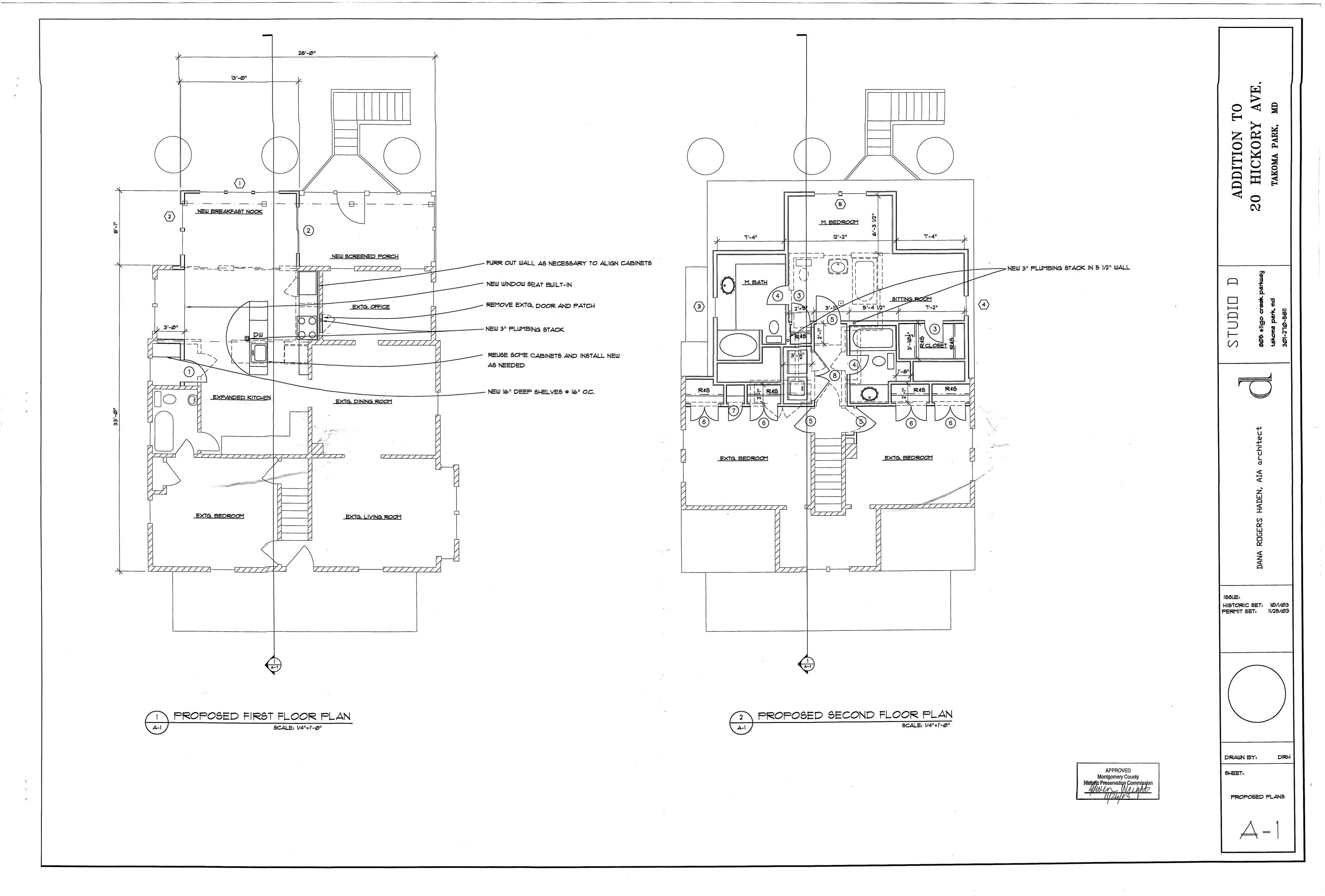
805 eligo cresk parkwa takoma park, md 20912

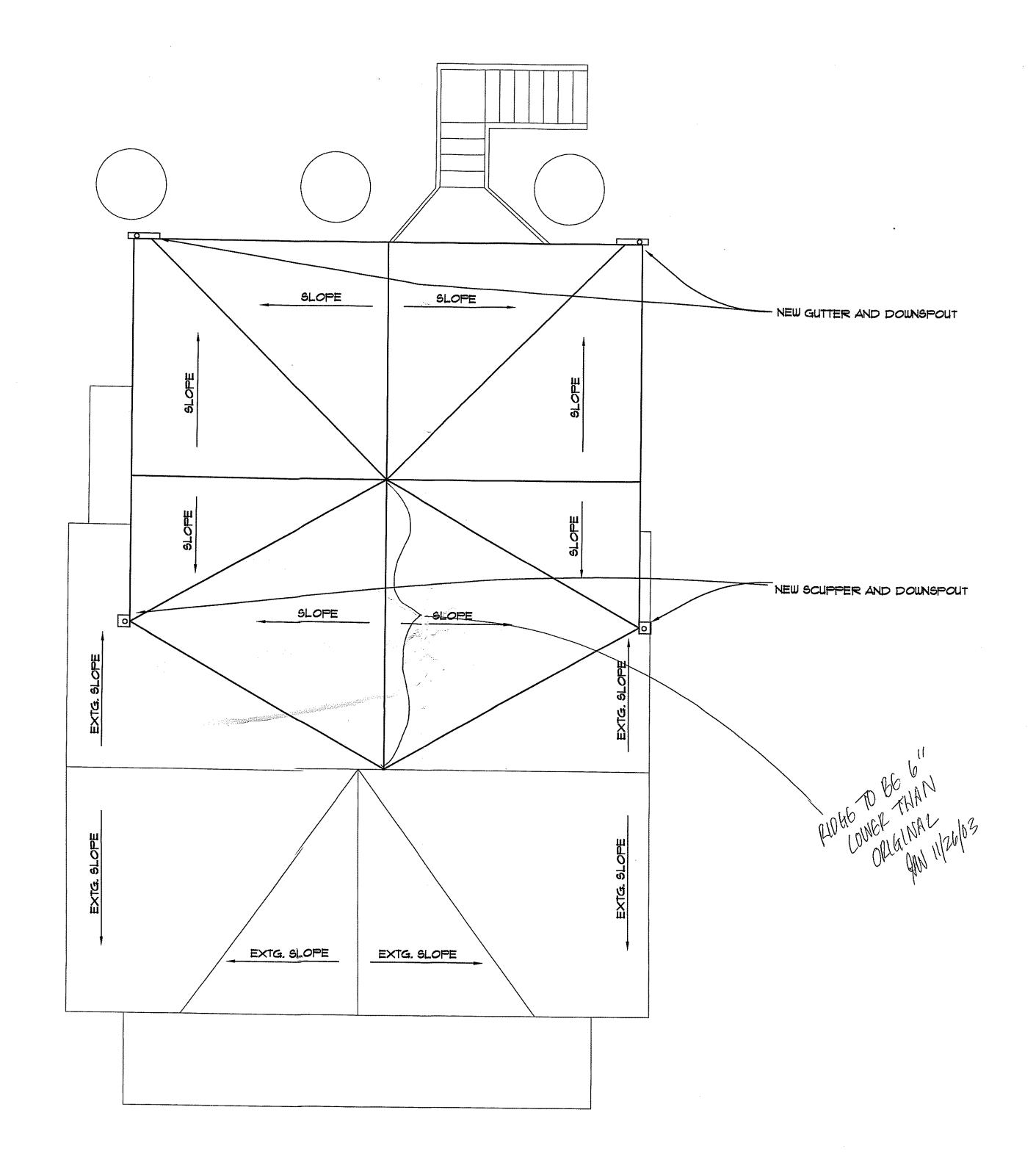
ADEN, AIA architect

ISSUE:
PRELIMINARY: 4/13/03
PERMIT 6ET: 11/25/03

SHEET:

ZONING INFORMATION GENERAL NOTES LIST OF DRAWINGS





	NEW	ROOF	PLAN	
A-2			SCALE:  /4"= '-6	D"

	•	DOOR SCHEDULE	
POOR TYPE	DOOR SIZE	DESCRIPTION	HARDWARE
<b>①</b>	2'-6" x 6'-8"	REUSE EXTG. CLOSET DOOR	PASSAGE SET
<b>②</b>	5'-0" × 6'-8"	REUSE EXTG. SLIDING GLASS DOOR	
3	2'-0" × 6'-8"	REUSE EXTG. CLOSET DOOR FROM DOWNSTAIRS	
•	2'-0" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	BATH PRIVACY SET
(5)	2'-8" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	PRIVACY SET
6	(2) '-6" × 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	DUMMY CATCH
Ø	]'-6" × 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	PASSAGE SET
8	(272'-8" × 6'-8"	INT. LOUVERED DOOR	DUMMY CATCH

WINDOW SCHEDULE				
WINDOW TYPE	ROUGH OPENING	DESCRIPTION		
	2'-8" × 4'-8"	DOUBLE HUNG WINDOWS BY OWNER		
2	2'-6" x 4'-8"	DOUBLE HUNG WINDOWS BY OWNER		
(3)	2'-Ø" × 3'-3"	DOUBLE HUNG WINDOWS BY OWNER		
4	2'-@" × 3'- @"	DOUBLE HUNG WINDOWS BY OWNER		
(5)	2'-8" × 5'-Ø"	DOUBLE HUNG WINDOWS BY OWNER (MUST MEET EGRESS)		
-				

AF	ARCHITECTURAL LEGEND				
A-1	SECTION INDICATOR				
<b>♦</b>	ELEVATION INDICATOR				
<u> </u> A-1	DETAIL INDICATOR				
① "A" 38"	DOOR TYPE, LABEL, AND WIDTH				
WINDOW TYPE					
<u></u>	WALL TYPE				

NEW 2 X 4 WOOD STUD WALL

EXTG. WALL TO BE REMOVED

EXTG. WALLS TO REMAIN



ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD

> 805 eligo creek parkud takoma park, md

STUDIO



DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03
PERMIT SET: 11/25/03

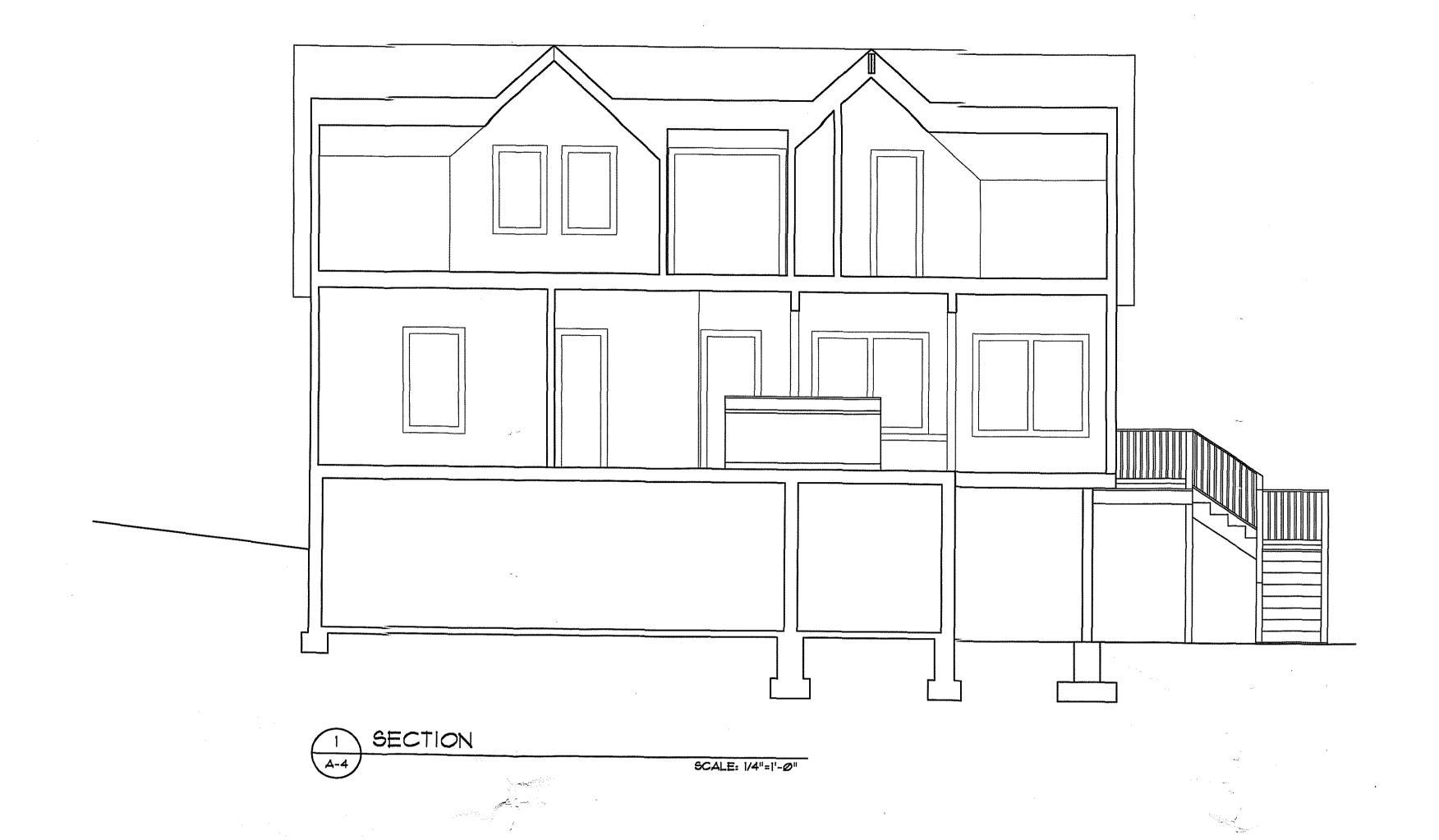
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STRUCTURAL ENGINEERS

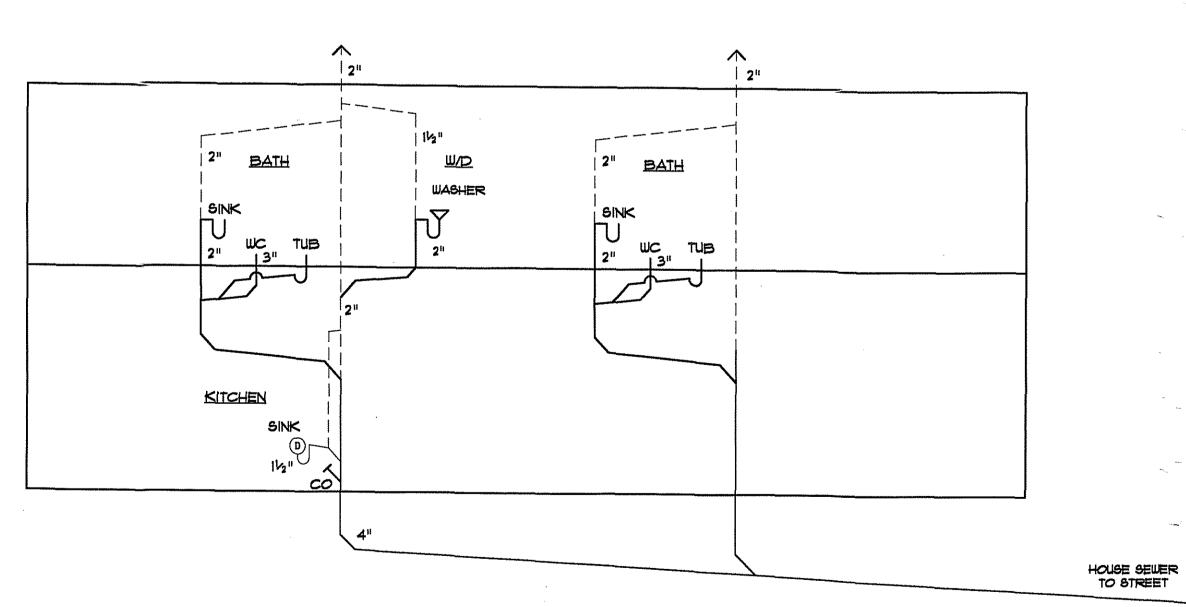
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PROPOSED PLANS

 $\triangle = 2$ 







NEW PLUMBING RISER DIAGRAM
SCALE: NA

APPROVED

Montgomery County

Historic Preservation Commission

HIMM MUGHT

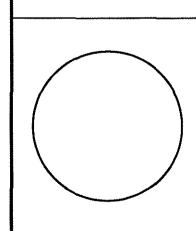
ADDITION TO 20 HICKORY AVE.

38 bryant etreet, nu washington, do 2000



ANA ROGERS HADEN, AIA architect

ISSUE:

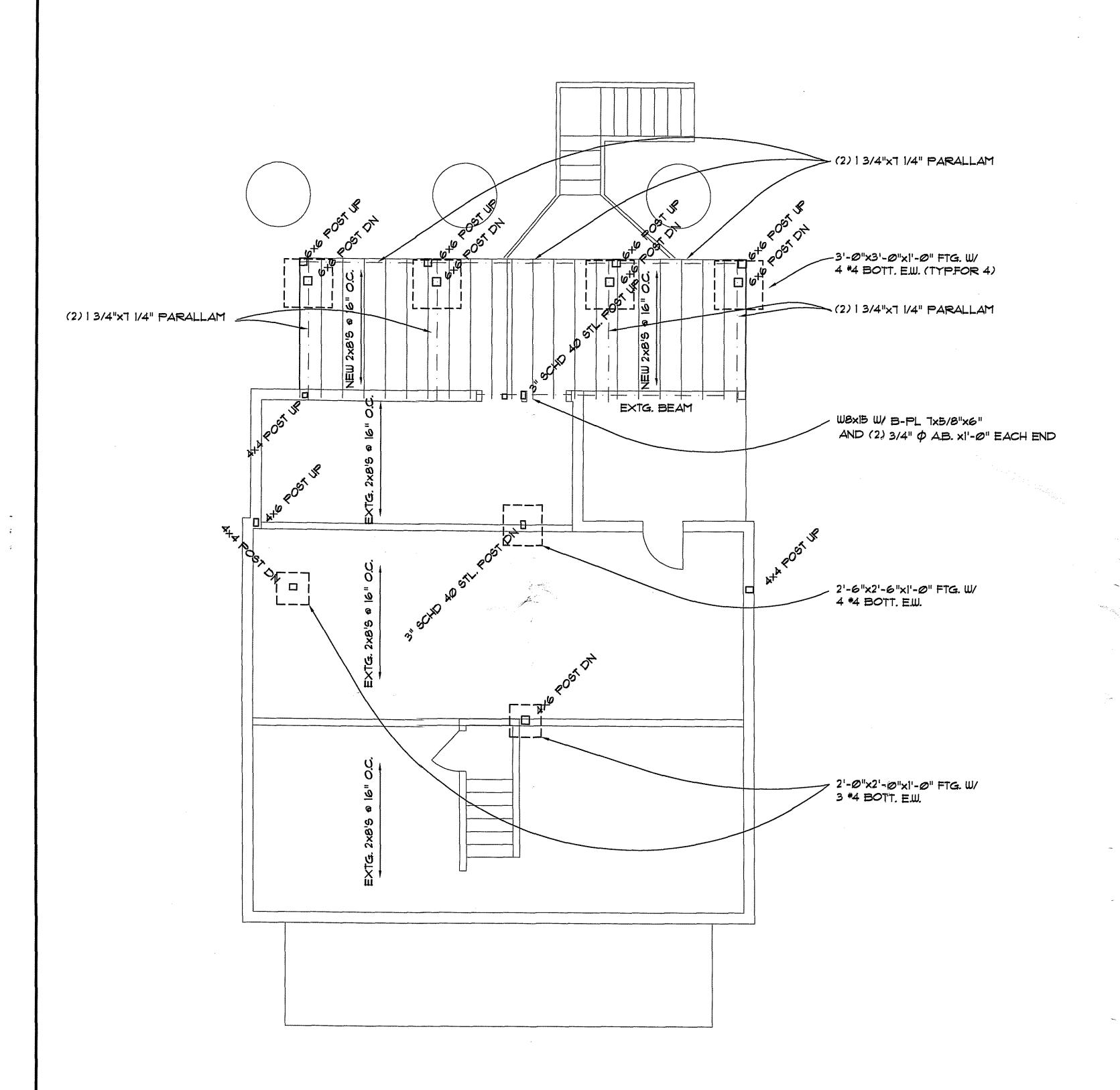


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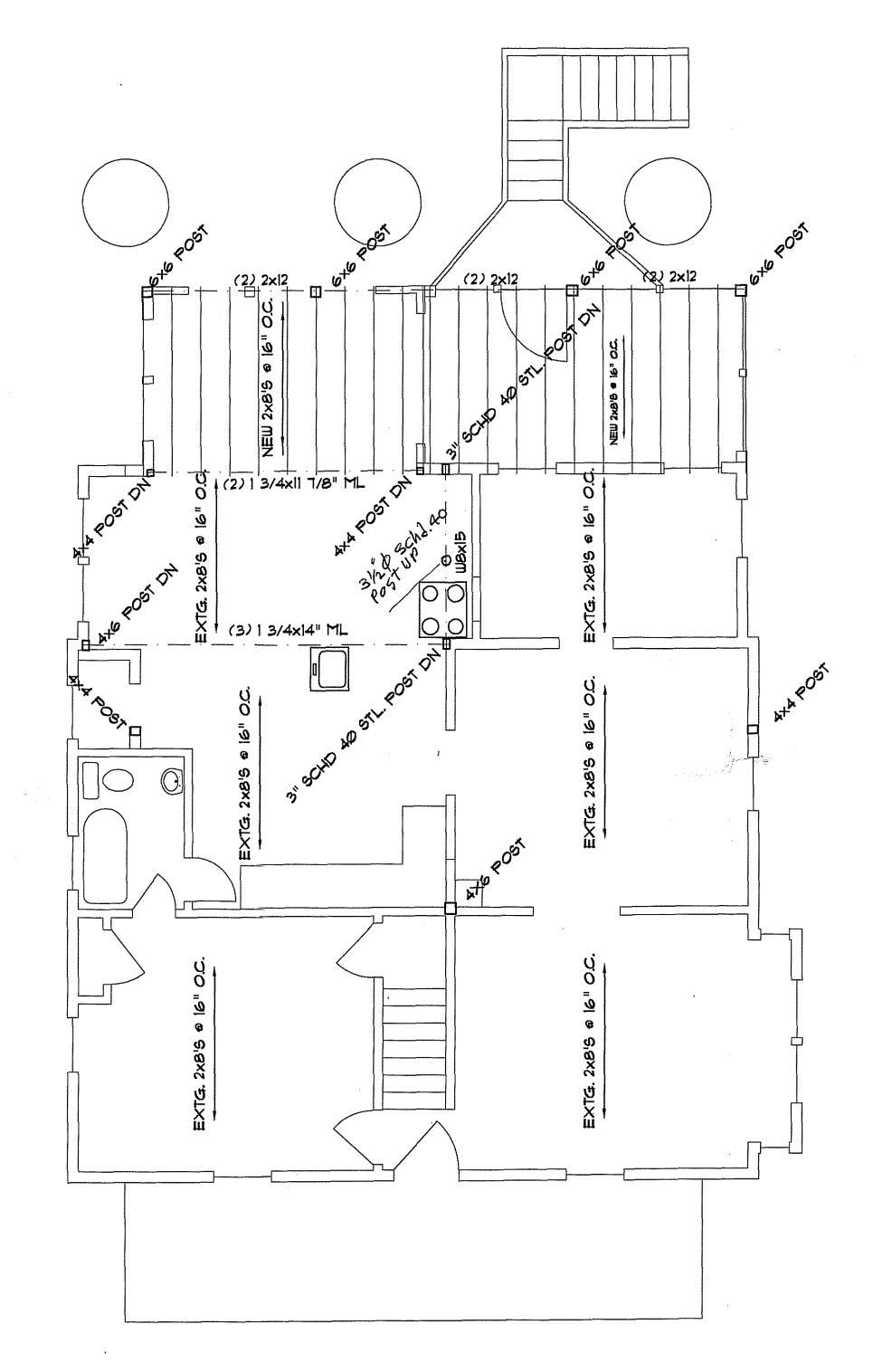
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SECTIONS DETAILS

A = 4



1 FIRST FLOOR FRAMING W/ FOUNDATION PIERS
FR-1 SCALE: 1/4"=1'-0"



2 SECOND FLOOR FRAMING FR-1 SCALE: 1/4"=1'-0"

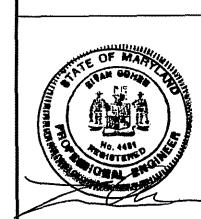


ADDITION TO
20 HICKORY AVE.

STUDIA Description

IGERS HADEN, AIA architect

| 199UE: | HISTORIC SET: | 10/1/03 | PERMIT SET: | 11/25/03



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FRAMING PLANS

ROOF FRAMING PLAN (FR-2/ SCALE: 1/4"=1'-@'

APPROVED Montgomery County Histofic Preservation Commission

## STRUCTURAL NOTES

LIVE LOADS ROOF (UNIFORM LIVE LOAD) DWELLING UNIT FLOORS

40 PSF

ROOF SNOW LOAD (PG) WIND LOAD - BASED ON: 80 MPH, EXPOSURE B AND IMPORTANCE FACTOR, 1= 1.0 MAING FRAME DESIGN PRESSURE P=15 PSF

2000 PSF - SHOULD BE VERIFIED BY GEOTECHNICAL ENGINEER IN THE FIELD.

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE ACI CODE 318-95. 28 DAY CONCRETE STRENGTH SHALL BE F'C=3000 PSI STONE CONCRETE: COARSE AGGREGATE SHALL CONFORM TO ASTM C33. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED WIHT 6% + 1%.

REINFORCEMENT STEEL:

ALL REINFORCING STEEL SHALL CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE MESH TO CONFORM TO ASTM-A185. FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315-88. ALL CONTINUOUS REINFORCING SHALL BE STAGGERED, UNLESS NOTED OTHERWISE. SUBMIT FOR APPROVAL SHOP DRAWING SHOWING ALL REINFORCING STEEL AND LOCATIONS OF COLD JOINTS FOR EXTENT OF THE CONCRETE POUR.

CONCRETE PROTECTION FOR REINFORCEMENT:

REINFORCING BARS AND MESH TO HAVE CONCRETE COVER AS FOLLOWS:

FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH - 3" SLABS ON GROUND, UNLESS OTHERWISE NOTED, TO HAVE REINFORECEMENT AT MID-DEPTH.

SOLID CONCRETE MASONRY SHALL BE GRADE 1 IN ACCORDANCE WITH ASTM C-145 AND MAY BE 75% SOLID, UNLESS OTHERWISE NOTED. HOLLOW CONCRETE MASONRY UNITS SHALL BE GRADE 1 CONFORMING TO ASTM C-90. CONCRETE MASONRY UNITS SHALL BE MADE WITH LIGHT WEIGHT CONCRETE. SEE SPECS FOR BRICK. ALL MORTAR SHALL BE TYPE "S" CONFORMING TO ASTM C-270 FOR ABOVE GRADE CONSTRUCTION. USE TYP "M" FOR BELOW GRADE. PROVIDE A MINIMUM OF 3 COURSES OF SOLID BRICK OR ONE COURSE 100% SOLID BRICK UNDER WALL BEARING ENDS OF ALL JOISTS AND SLABS THE FULL WIDTH OF THE WALL, UNLESS NOTED OTHERWISE, PROVIDE 100% SOLID MASONRY DOWN TO THE FOOTINGS UNDER ALL BEAMS AND LINTELS BEARING ON MASONRY, UNLESS NOTED. IN BEARING WALLS, PROVIDE SOLID BRICK OR 100% SOLID CONCRETE BLOCK EXTENDING 8" BEYOND WALL OPENINGS THE FULL WALL THICKNESS DOWN TO THE FLOOR, UNLESS NOTED. PROVIDE HORIZONTAL MASONRY REINFORCING AT 16" O.C. IN ALL MASONRY WALLS UNLESS NOTED. PROVIDE VERTICAL CONTROL JOINTS IN ALL MASONRY WALLS @ 30'-0" O.C., UNLESS NOTED. USE BUCKETS TO MEASURE MATERIALS FOR MIXING MORTAR. GROUT SHALL BE SAND AND CEMENT, 8 BAGS OF CEMENT PER CUBIC YARD. DESIGN OF MASONRY IS BASED ON INSPECTED CONSTRUCTION. OWNER SHALL HAVE INSPECTION OF THE CONSTRUCTION OF THE MASONRY.

FRAMING LUMBER FOR BEAMS AND JOISTS AND WALL STUDS SHALL HAVE MINIMUM ALLOWABLE STRESS VALUES EQUIVALENT TO (OR GREATER THAN) SPRUCE-PINE-FIR, NO. 1/NO. 2 GRADE, FOR SIZES INDICATED ON THE DRAWINGS--MIN E=1,400,000. ALL SOLID WOOD POSTS SHALL HAVE MINIMUM ALLOWABLE STRESS VALUES EQUIVALENT TO (OR GREATER THAN) SOUTHERN PINE, NO. 2 GRADE--MINIMUM PROVIDE CROSS-BRIDING FOR JOISTS AT 8'-O" INTERVALS. JOISTS SHALL HAVE MINIMUM 4" BEARING ON MASONRY WITH FIRE-CUT (BEVELED) END AND EVERY SECOND JOIST TO HAVE "T" SHAPED STEEL ANCHORS. JOISTS OR TRUSSES RUNNING PARALLEL TO MASONRY WALL TO BE ANCHORED WITH 3/16"x2" STEEL ANCHORS AT 4'-O" O.C. AND EXTENDED TO ENGAGE 3 JOISTS. WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE ARCHITECT. PROVIDE APPROVED HURRICAN CONNECTIONS BETWEEN FRAMING MEMEBERS. USE BALLOON CONSTRUCTION FOR STUD PARTITIONS AND POSTS (ONE-PIECE- CONTUNUOUS BETWEEN FLOOR LEVELS, AND BETWEEN FLOOR AND ROOF LEVEL). LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY. PROVIDE DOUBLE JOISTS BELOW NON-BEARING PARTITIONS PARALLEL TO JOISTS. FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT. BRUSH PRESERVATIVE SOLUTION ON ALL EDGES THAT ARE CUT OR IN MEMBERS THAT ARE IN CONTACT WITH CONCRETE OR MASONRY. PROVIDE MANUFACTURER'S STANDARD JOIST OR STANDARD BEAM HANGERS AT ALL WOOD TO WOOD CONNNECTIONS WHICH REQUIRE JOISTS OR BEAMS FRAMING INTO THE SIDE OR FACE OF THE SUPPORTING MEMEBER. THE CAPACITY OF THE HANGER SHALL BE FOR THE REACTION SHOWN ON PLANS. IF NO REACTION IS SHOWN, THE CAPACITY OF THE HANGER SHALL BE FOR THE MAXIMUM SHEAR CAPACITY OF THE JOIST OR BEAM.

ALL PLYWOOD SHEATHING SHALL BE CD-GRADE, UNLESS OTHERWISE SHOWN, WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH PRODUCT STANDARD PS183.

ROOF SHEATHING FLOOR

3/4" INDEX 32/16 3/4" INDEX 48/24

WALLS (WHERE SPECIFIED) 1/2" INDEX 32/16

PLYWOOD SHEATHING SHALL BE LAID WITH END JOINTS STAGGERED.

BLOCK ALL WALL SHEATHING WITH 2X4 FLAT BLOCKING AT ALL EDGES. LAYOUT PLYWOOD TO ELIMINATE ANY WIDTH LESS THAN 1'-O".

PROVIDE TEMPORARY EXPANSION JOINTS IN APA SPAN RATED SHEATHING DURING CONSTRUCTION IN ACCORDANCE WITH APA RECOMMENDATIONS (SEE APA BULLETIN NUMBER U425A). FOR PROLONGED PERIODS OF RAIN ADDITIONAL PROTECTION MAY BE REQUIRED.

MICROLAM (ML):

LAMINATED VENEER LUMBER (LEVEL) - SHALL HAVE Fb = 2800 PSI, E = 2,000,000 PSI. PARALLEL STRAND LUMBER (PSL) - SHALL HAVE Fb = 2900 PSI, E = 2,000,000 PSI.

LVL AND PSL BEAMS SHALL HAVE MIN. 3" BEARING AND LATERAL SUPPORT AT BEARING POINT. LVL AND PSL LUMBER SHALL BE PROTECTED FROM WEATHER DURING JOB SITE STORAGE AND AFTER INSTALLATION.

FOUNDATION:

ALL FOOTINGS SHALL PROJECT AT LEAST 1'-O" INTO UNDISTURBED NATURAL SOIL OR THE COMPACTED CONTROLLED FILL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE. SEE SOIL REPORT FOR SUB GRADE PREPARATION. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW FINISHED GRADE. WALL FOOTINGS SHALL BE 12" DEEP AND PROJECT 6" BEYOND EACH FACE OF WALL, UNLESS NOTED. ELEVATIONS OF BOTTOMS OF FOOTINGS HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND SHALL NOT BE CONSTRUED AS WAIVING ANY OF THE MINIMUM REQUIREMENTS STATED ABOVE. ALL MASONRY WALL FOOTINGS IN CONTROLLED FILL ARE TO BE REINFORCED WITH 3#5 LONGITUDINAL CONTINUOUS TOP AND BOTTOM BARS, INLESS NOTED. ALL DISTURBED EARTH UNDER FOOTINGS SHALL BE REPLACED WITH CONCRETE F'C = 2000 PSI. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS PLACED. NO EXCAVATION SHALL BE CLOSER THAN AT A SLOPE OF 2:1 (2 HORIZONTAL TO ONE VERTICAL) TO A FOOTING. DO NOT PLACE CONCRETE OVER FROZEN SOIL. THE OWNER SHALL RETAIN THE SERVICES OF A SOIL CONSULTANT APPROVED BY THE ARCHITECT TO CHECK AND VERIFY THE REQUIRED SOIL BEARING PRESSURE OF

PROVIDE, UNLESS NOTED OTHERWISE, PRECAST LIGHTWEIGHT CONCRETE LINTELS FOR ALL OPENINGS AND RECESSES IN CONCRETE MASONRY UNIT WALLS .:

A). ONE 4" X 8" LINTEL FOR EACH 4" OF WALL THICKNESS B). ONE 6" X 8" LINTEL FOR EACH 6" OF WALL THICKNESS.

REINFORCE EACH LINTEL UNIT WITH ONE #4 BAR TOP AND ONE #4 BAR BOTTOM, WITH #2 TIE BARS SPACED AT 8" O.C. CONCRETE LINTEL UNITS SHALL HAVE 8" MINIMUM BEARING AT ENDS AND MAY BE USED FOR OPENINGS UP TO 8'-O", FOR ALL OPENINGS AND RECESSES IN MASONRY WALLS, PROVIDE ONE STEEL ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

L 3 1/2" X 3 1/2" X 5/16" FOR OPENINGS UP TO 4'-0"

L 4 X 3 1/2" X 5/16" FOR OPENINGS 4'-1" TO 5'-11" PROVIDE W8X18 WITH SUSPENDED 1/4" PLATE SAME WIDTH AS WALL FOR OPENINGS GREATER THAT 6'-O" FOR STEEL ANGLE LINTELS AND FOR PRECAST LINTELS UNLESS NOTED OTHERWISE. PROVIDE 6" MINIMUM BEARING AT EACH END OR AS SHOWN ON PLAN.

IS TO BE CONTROLLED FILL. COMPACT FILL TO 95% IN ACCORDANCE WITH ASTM D-1557. LABORATORY TESTS ARE TO BE PERFORMED ON THE FILL MATERIAL PRIOR TO PLACING TO DETERMINE IF THE MATERIAL IS SUITABLE TO ACHIEVE 95% COMPACTION. PROVIDE FIELD TESTING DURING BACKFILL TO DETERMINE THAT THE FILL IS COMACTED TO 95%, SEE SOIL CONSULTANT'S RECOMMENDATIONS.

PROVIDE ALL CLIPS, INSERTS, TIES, ANCHOR STRAPS, HANGERS, BOLTS AND OTHER FASTENERS REQUIRED FOR THE SECTION. VERIFY ALL FLOOR AND ROOF OPENINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS: DETAIL AND SIZE TO SUIT EQUIPMENT FURNISHED. VERIFY ALL DEPRESSIONS AND SLOPES FRROM ARCHITECTURAL PLANS. THE CONTRACTOR SHALL VERY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

**ADDITIO** 

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HISTORIC SET: 10/1/03 PERMIT SET: 11/25/03

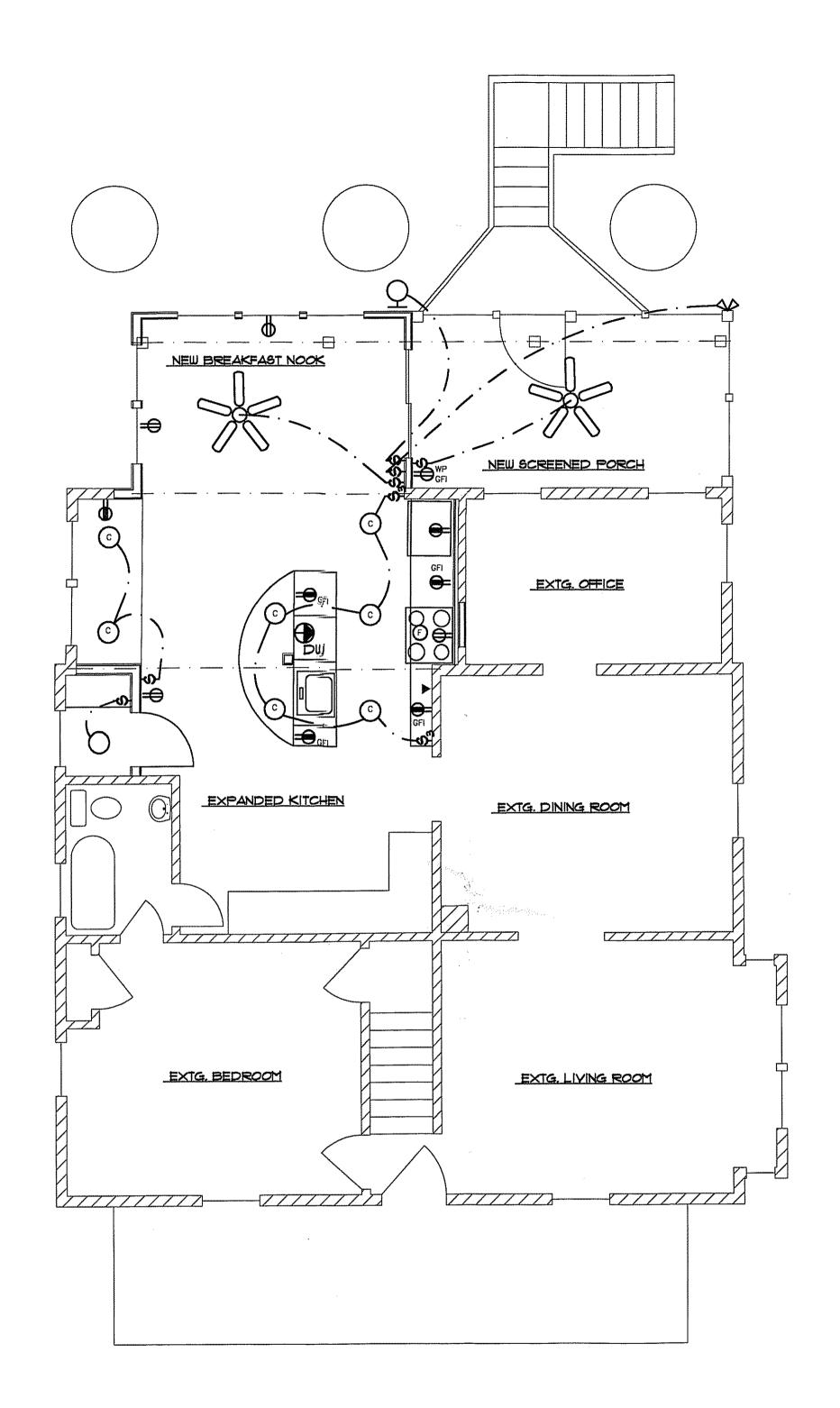


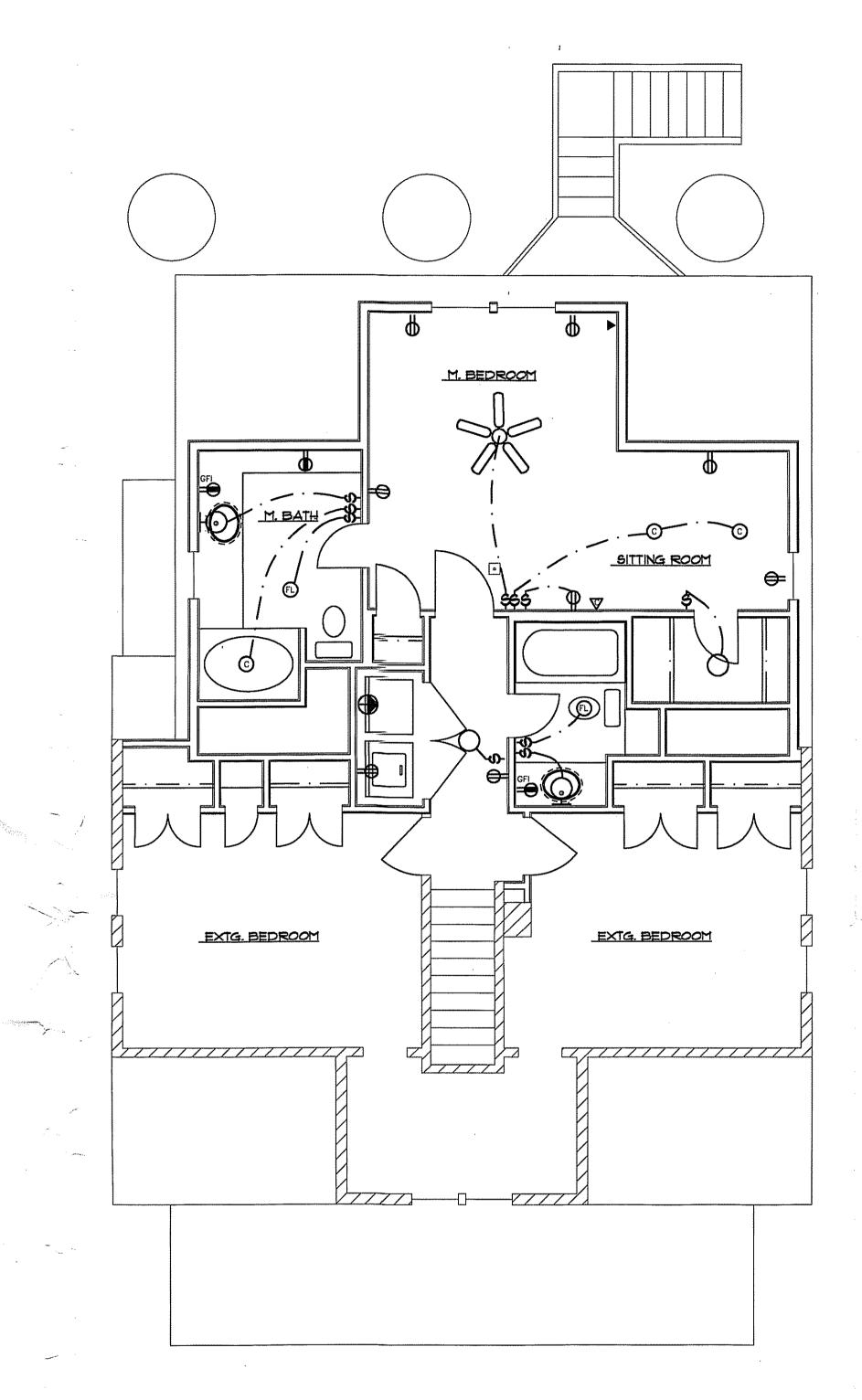
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SHEET:

FRAMING PLANS

FR-2





FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

	ELECTRICAL LEGEND				
<b>#</b>	120V DUPLEX RECEPTACLE	<>	FLOOD LIGHT		
-	RECEPTACLE AT 48" AFF	\$	SWITCH		
<b>→</b> GFI	RECEPTACLE WITH GROUND FAULT INTERUPTER	<b>\$</b> <sub>3</sub>	3-WAY BWITCH		
₩ <sub>P</sub> O <sub>WP</sub>	WATER-PROOF RECEPTACLE AND FIXTURE	E	EXHAUST FAN		
<b>(1)</b>	SPECIAL PURPOSE CONNECTION	0	GARBAGE DISPOSAL		
0	CEILING MOUNTED FIXTURE	€D.	FAN/LIGHT COMBINATION		
0	RECESSED CAN LIGHT	FLH	FAN/LIGHT/HEATER COMBINATION		
Ol	WALL-MOUNTED LIGHT FIXTURE	<b>A</b>	TELEPHONE JACK		
	FLUORESCENT FIXTURE	Δ	CABLE		



ADDITION TO 20 HICKORY AVE.

> 805 eligo creek parkway takoma park, md

STUDIO

ANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03
PERMIT SET: 11/25/03

MOV 2 5 2003

DRAWN BY: DRH SHEET: ELECTRICAL PLANS

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