

20 Hickory Avenue HPC#37/03-03SS
Takoma Park Historic District



1 EXTG. FRONT ELEVATION
EX-1 SCALE: 1/4"=1'-0"



2 EXTG. RIGHT SIDE ELEVATION
EX-1 SCALE: 1/4"=1'-0"



3 EXTG. REAR ELEVATION
EX-1 SCALE: 1/4"=1'-0"



4 EXTG. LEFT SIDE ELEVATION
EX-1 SCALE: 1/4"=1'-0"

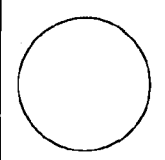
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
808 alige creek parkway
takoma park, md
301-270-5911



DANA ROGERS HADEN, AIA architect

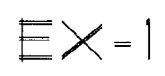
ISSUE:
HISTORIC SET: 10/1/03

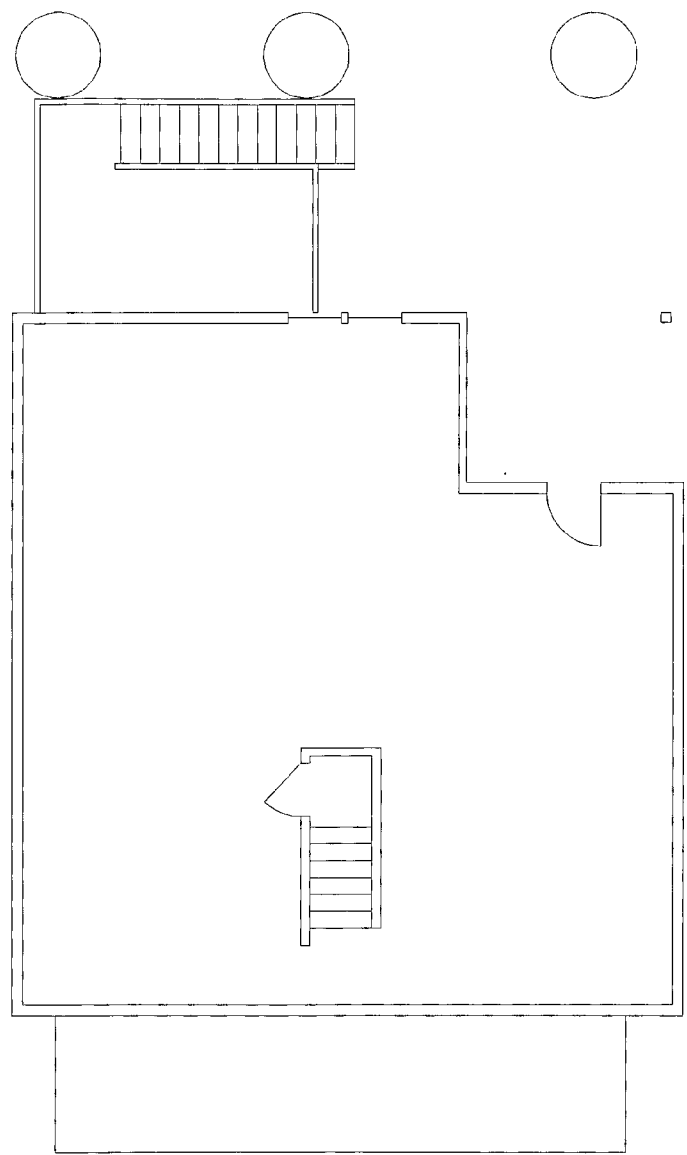


DRAWN BY: DRH

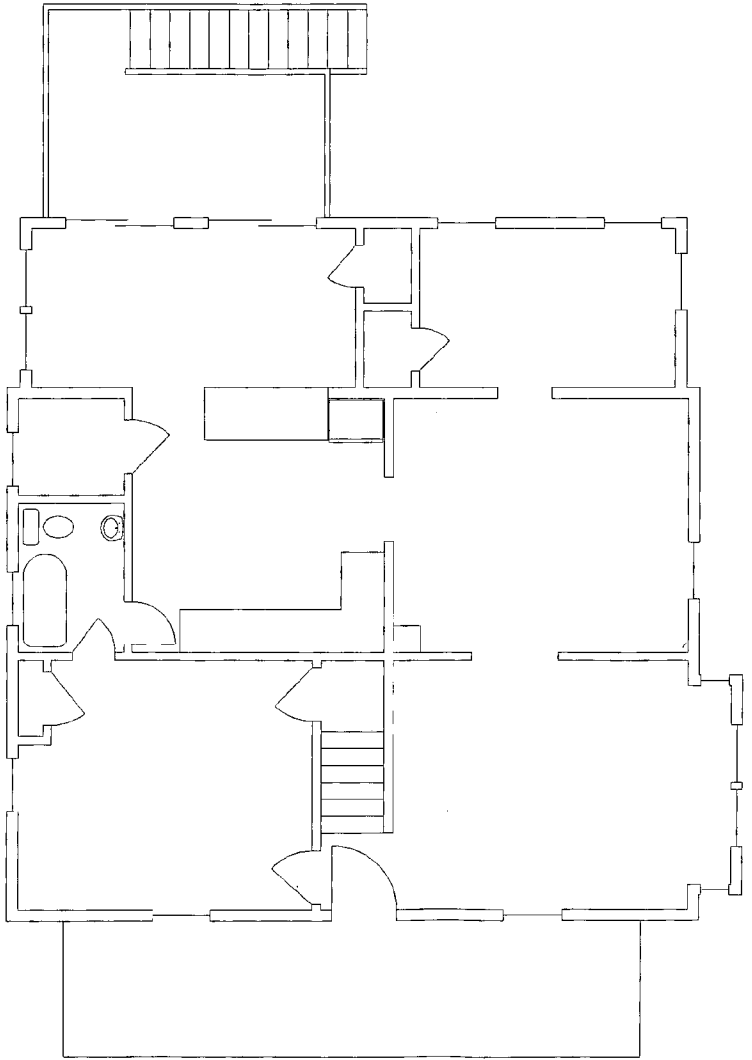
SHEET:

EXTG. ELEVATIONS

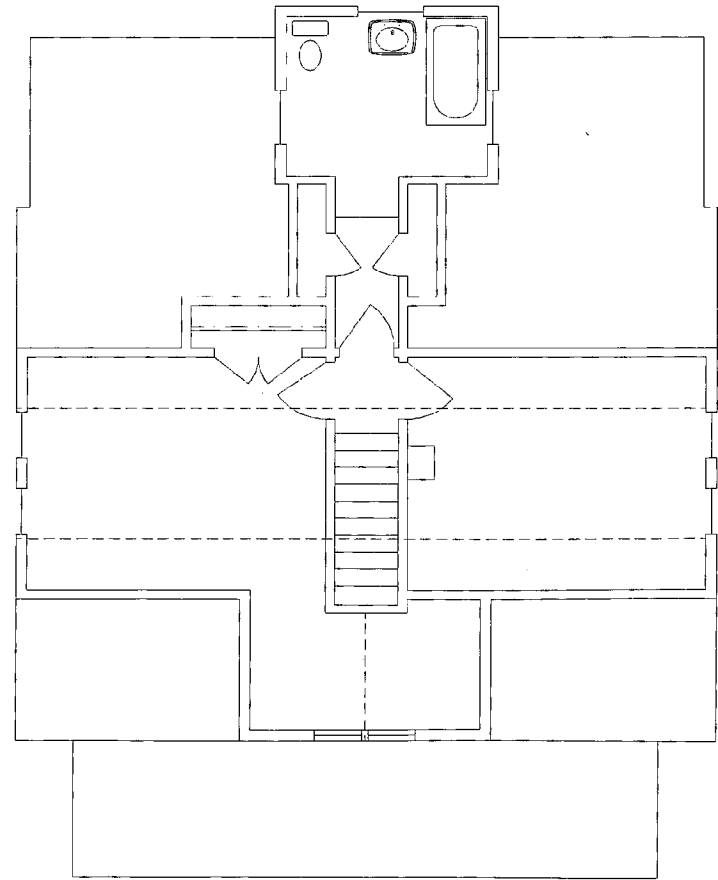




1 EXTG. BASEMENT PLAN
EX-2 SCALE: 1/4"=1'-0"



2 EXTG. FIRST FLOOR PLAN
EX-2 SCALE: 1/4"=1'-0"



3 EXTG. SECOND FLOOR PLAN
EX-2 SCALE: 1/4"=1'-0"

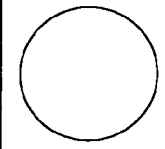
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
809 eligo creek parkway
Takoma Park, MD
301-719-5811



DANA RIGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/23



DRAWN BY: DRH

SHEET:

EXTG. PLANS

EX-2



1 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
8909 Allego Creek Parkway
Takoma Park, MD
301-710-5611

d

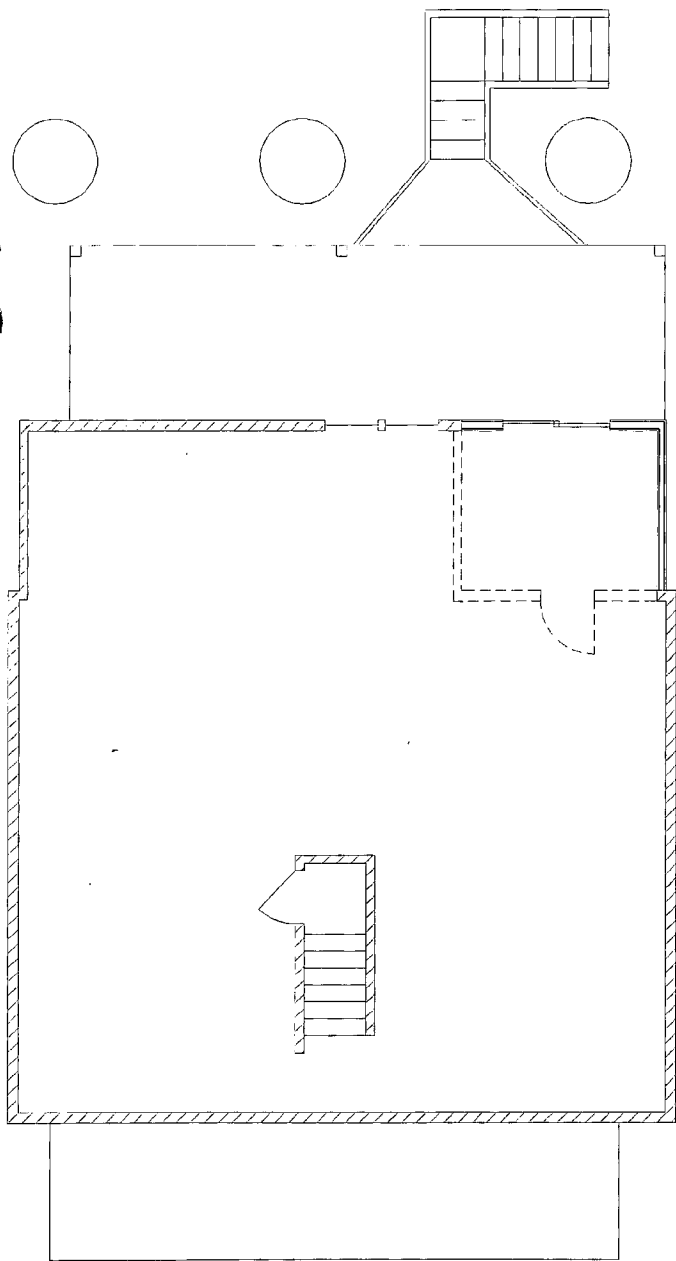
DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03

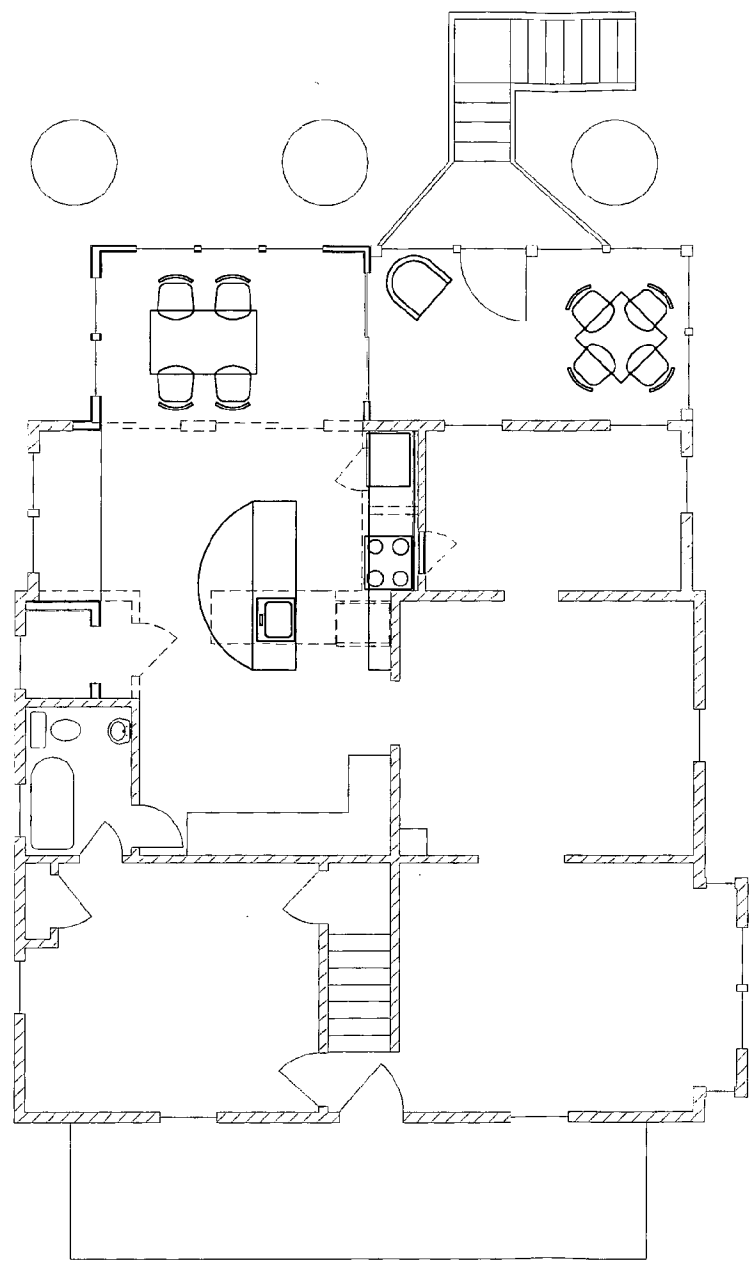
DRAWN BY: DRH

SHEET:
PROPOSED ELEVATIONS

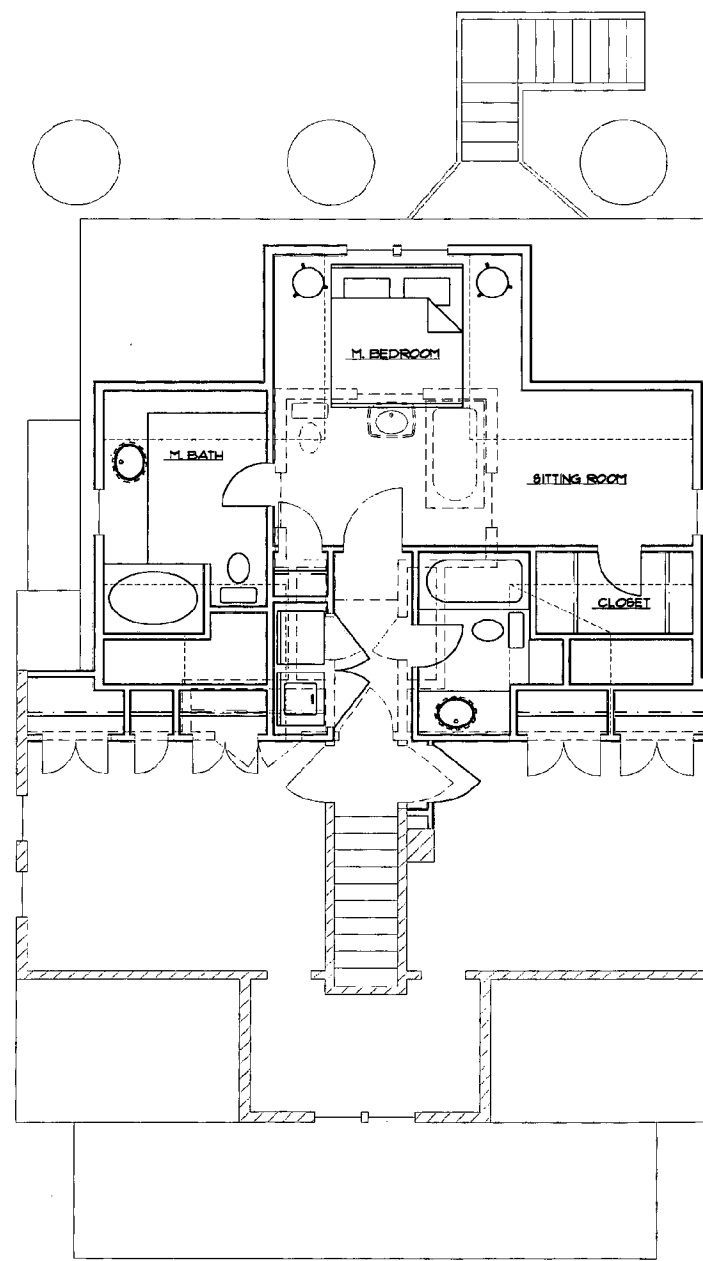
A-1



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

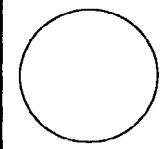
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
808 aligo creek parkway
takoma park, md
301-710-5811

d

DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/09



DRAWN BY: DRH

SHEET:

PROPOSED PLANS

A-2



1 EXTG. FRONT ELEVATION
EX-1 SCALE: 1/4"=1'-0"



2 EXTG. RIGHT SIDE ELEVATION
EX-1 SCALE: 1/4"=1'-0"



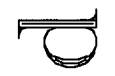
3 EXTG. REAR ELEVATION
EX-1 SCALE: 1/4"=1'-0"



4 EXTG. LEFT SIDE ELEVATION
EX-1 SCALE: 1/4"=1'-0"

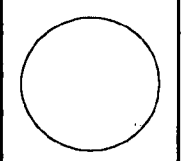
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
6025 eligo creek parkway
takoma park, md
301-719-9911



DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/23

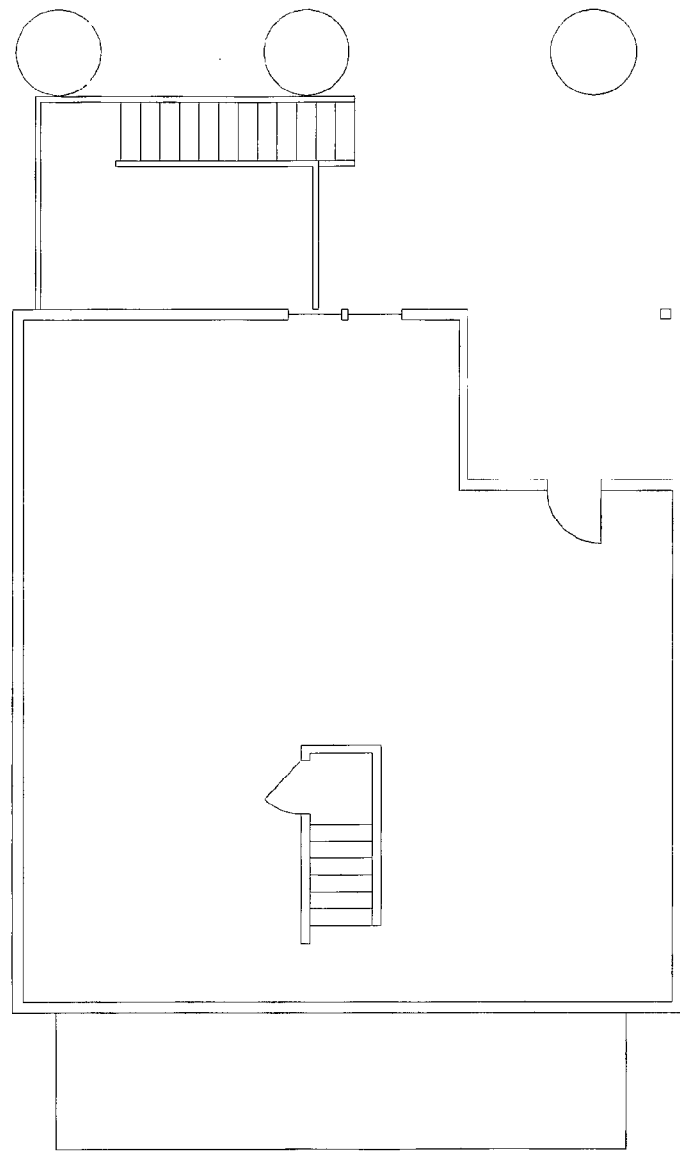


DRAWN BY: DRH

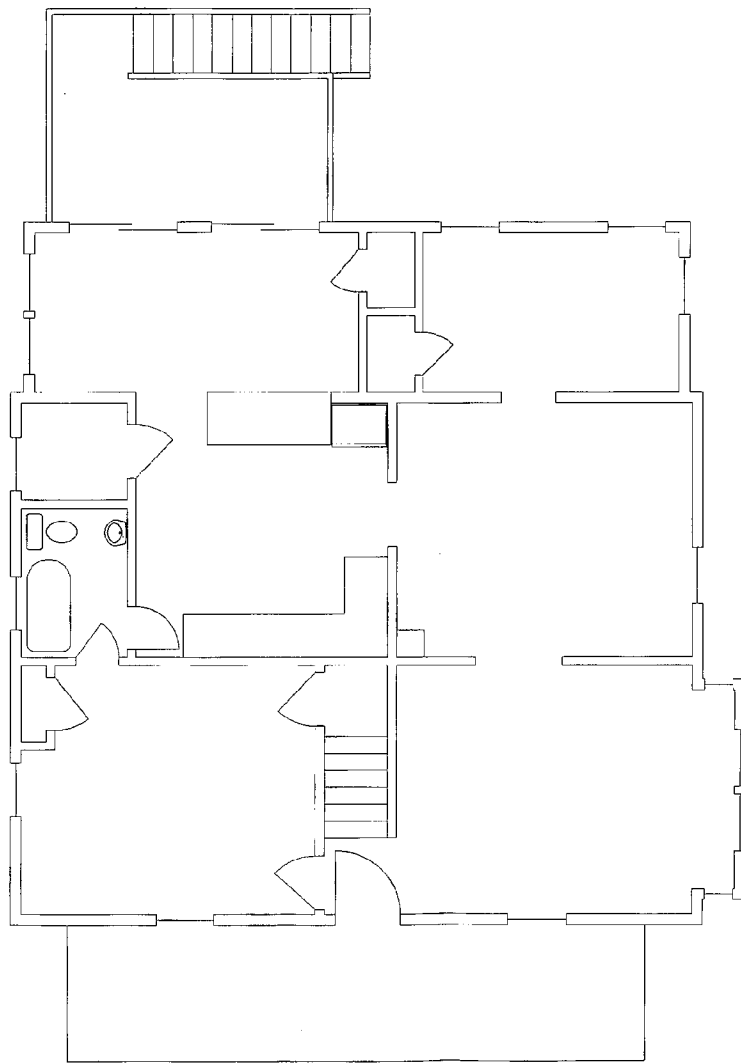
SHEET:

EXTG. ELEVATIONS

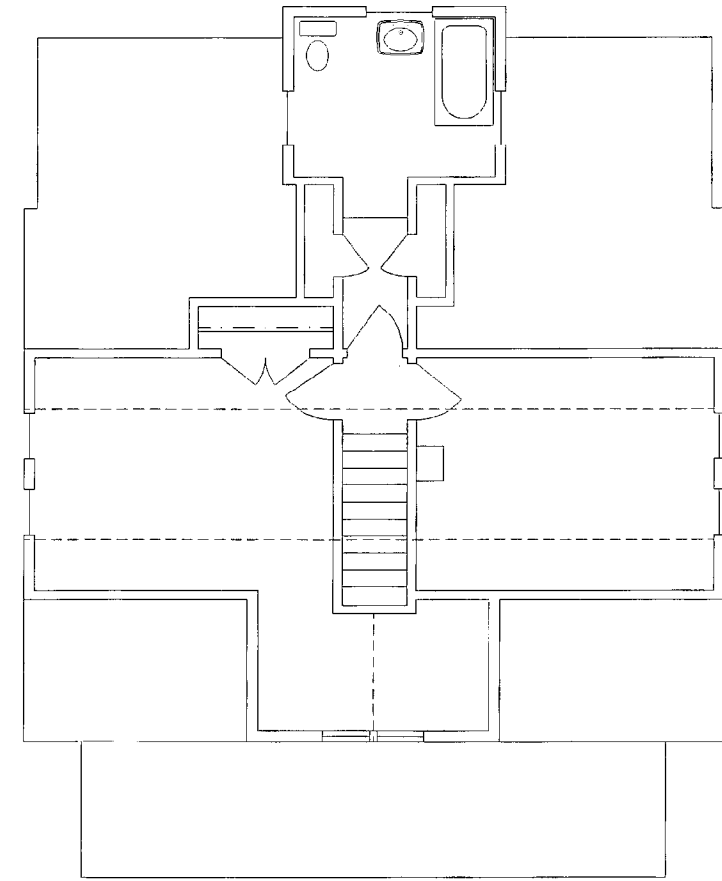
EX-1



1 EXTG. BASEMENT PLAN
EX-2 SCALE: 1/4"=1'-0"



2 EXTG. FIRST FLOOR PLAN
EX-2 SCALE: 1/4"=1'-0"



3 EXTG. SECOND FLOOR PLAN
EX-2 SCALE: 1/4"=1'-0"

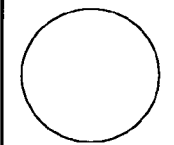
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
609 wigo creek parkway
takoma park, md
301-719-5811

d

DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 12/1/03



DRAWN BY: DRH

SHEET:

EXTG. PLANB

EX-2



1 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



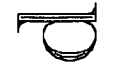
3 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

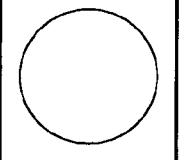
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
6925 aligo creek parkway
takoma park, md
301-710-5611



DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03

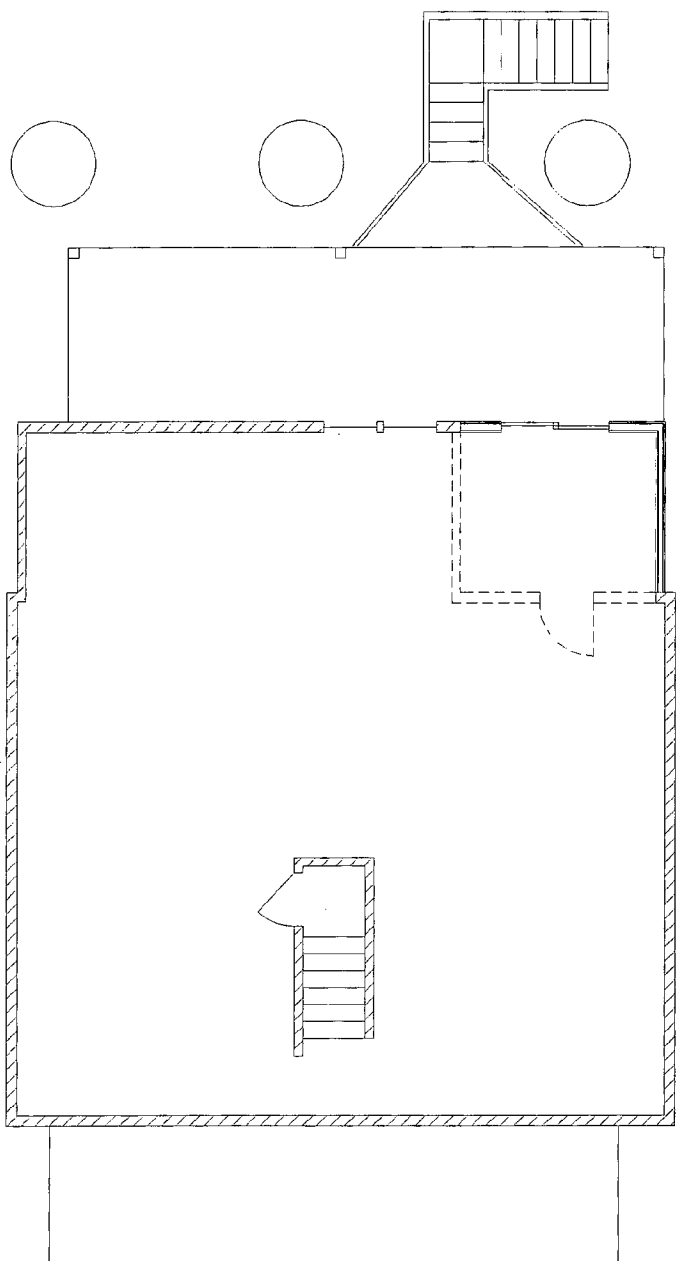


DRAWN BY: DRH

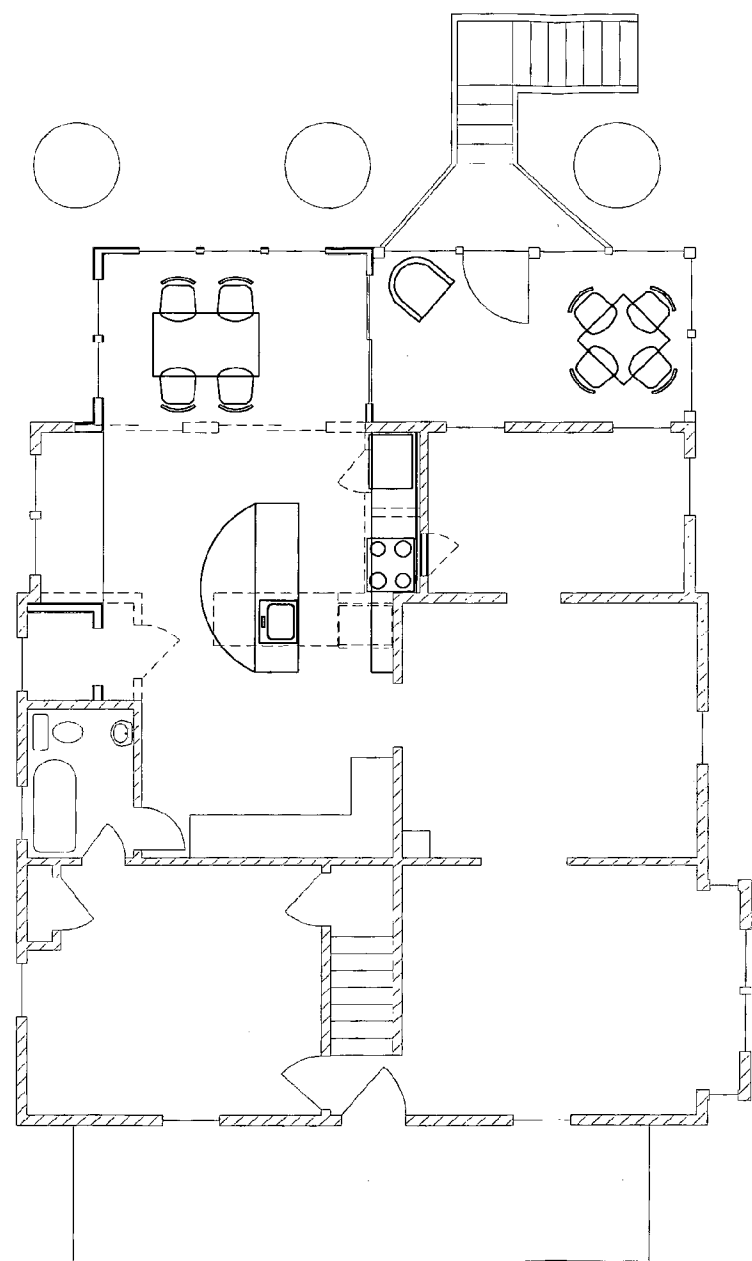
SHEET:

PROPOSED ELEVATIONS

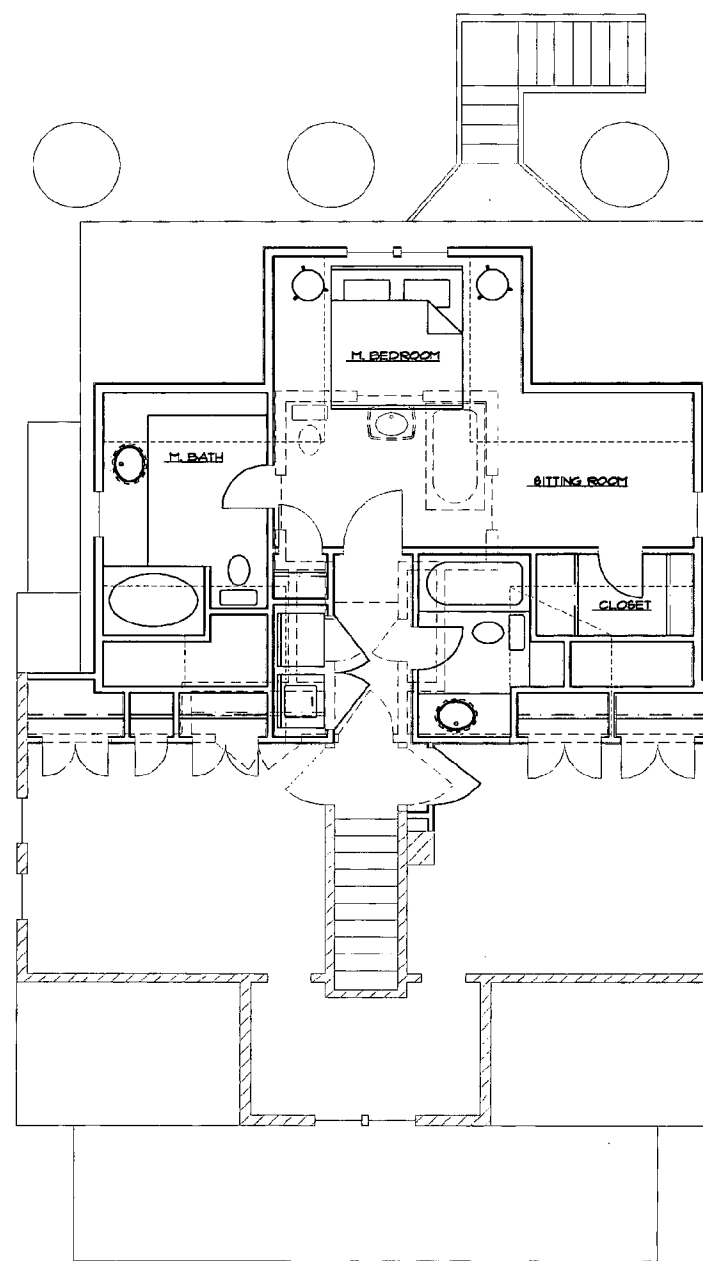
A-1



1 PROPOSED BASEMENT PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

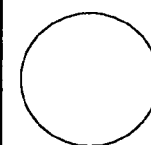
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
688 ridge creek parkway
takoma park, md
301-710-5811



DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03



DRAWN BY: DRH

SHEET:

PROPOSED PLAN

A-2



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: 10-29-03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application – Approval

Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: October 23, 2003

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit # 320312

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Antonio and Julia Coronado

Address: 20 Hickory Avenue, Takoma Park Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
740/777-6370

OPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEN

Daytime Phone No.: 301-270-5811

Tax Account No.: 01064531

Name of Property Owner: ANTONIO & JULIA CORONADO Daytime Phone No.: 202-462-3044

Address: 20 Hickory Ave. Takoma Park, MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

RECEIVED

LOCATION OF BUILDING/PREMISE

House Number: #20 Street: HICKORY AVE.

Town/City: TAKOMA PARK Nearest Cross Street: ELM AVE.

Lot: 14 Block: 20 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

Dept. of Permitting and
Division C
Construction Management

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ \$200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden _____
Signature of owner or authorized agent 10/1/03 _____
Date

Approved: X _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Juan C. Calabrese _____
Application/Permit No.: 320312 Date Filed: 10/2/03 Date Issued: 10/23/03

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE SUBMITTED
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The property is an outstanding resource in the historic district described as Neo Gothic. It was built in 1909. It is a very symmetrical gabled front design w/ a front porch. An addition was done at some time creating an unattractive "bathroom tower" at the rear. There is also a ~~so~~ one story addition to the rear. The original house now has replacement vinyl windows.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We would like to build an addition onto the rear that would mimic the main house and would also create a gabled rear. The rear addition would become two story as well. We would like to create a 3rd bedroom and bath on the second floor.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	20 Hickory Avenue, Takoma Park	Meeting Date:	10/22/03
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	10/15/03
Review:	HAWP	Public Notice:	10/08/03
Case Number:	37/03-03SS	Tax Credit:	None
Applicant:	Antonio and Julia Coronado	Staff:	Michele Naru

PROPOSAL: Rear Addition**RECOMMEND:** Approval**PROJECT DESCRIPTION**

SIGNIFICANCE: Outstanding Resource
STYLE: Neo-Gothic
DATE: 1909

20 Hickory is an outstanding resource within the Takoma Park Historic District. The building is a 1-½ story frame Neo-gothic style house built by owner/carpenter Albert Burdette. The original windows on the main massing have been replaced with vinyl.

PROPOSAL:

The applicant is proposing to:

1. Demolish the existing non-contributing rear additions, and construct a new, rear addition. The proposed rear addition's roof height will be approx. 4" lower than the existing massing. Material Specifications include: Hardi-plank siding, asphalt shingles, 1/1 vinyl clad wood windows and wood decking materials.
2. Install vinyl clad wood windows in the foundation wall of the existing massing's left, side elevation.

STAFF DISCUSSION:

The Historic Preservation Commission utilizes the *Approved and Adopted Takoma Park Historic District Guidelines* and the *Secretary of Interior's Standards for Rehabilitation* when reviewing changes to resources within the historic district. The *Takoma Park Guidelines* define

outstanding resources as:

A resource that is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style.

However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following *Takoma Park Guidelines* pertain to this project:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- Emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- All changes and additions should respect existing environmental settings, landscaping and patterns of open space.

The following *Secretary of the Interior's Standards* pertain to this project:

- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

In general, staff believes that the proposed addition is in scale with the existing house. The proposed addition is very sympathetic to the style, scale and massing of the historic resource and will be located at the rear – not visible for the public right-of-way. The addition will be constructed in the location of the existing non-contributing addition and therefore, will not further disturb any of the house's original fabric whereby preserving the existing historic integrity of the resource. This proposal meets the above criteria outlined in the *Takoma Park Guidelines* and the *Secretary of the Interior's Standards*. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with

Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

With the general condition that **the applicant shall present the 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits**, if applicable, and after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
355 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-6370

OPS #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DANA HADEN

Daytime Phone No.: 301-270-5811

Tax Account No.: 01064531

Name of Property Owner: ANTONIO & JULIA CORONADO Daytime Phone No.: 202-452-3098

Address: 20 HICKORY AVE. TAKOMA PARK, MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

RECEIVED

OCT 01 2003

Dept. of Permitting Services
Division of Casework Management

LOCATION OF BUILDING/PHEMISE

House Number: #20 Street: HICKORY AVE.

Town/City: TAKOMA PARK Nearest Cross Street: ELM AVE.

Lot: 14 Block: 20 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Blaze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ \$200,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden
Signature of owner or authorized agent

10/1/03
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 320312 Date filed: 10/2/03 Date issued: _____

(4)

**THE FOLLOWING ITEMS MUST BE SUBMITTED
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The property is an outstanding resource in the historic district described as Neo Gothic. It was built in 1909. It is a very symmetrical gabled front design w/ a front porch. An addition was done at some time creating an unattractive "bathroom tower" at the rear. There is also a one story addition to the rear. The original house now has replacement wavy windows.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

We would like to build an addition onto the rear that would mimic the main house and would also create a gabled rear. The rear addition would become two story as well. We would like to create a 3rd bedroom and bath on the second floor.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Antonio & Julia Coronado
20 Hickory Ave.
Takoma Park MD, 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

James Porter
22 Hickory Ave.
Takoma Park, MD. 20912

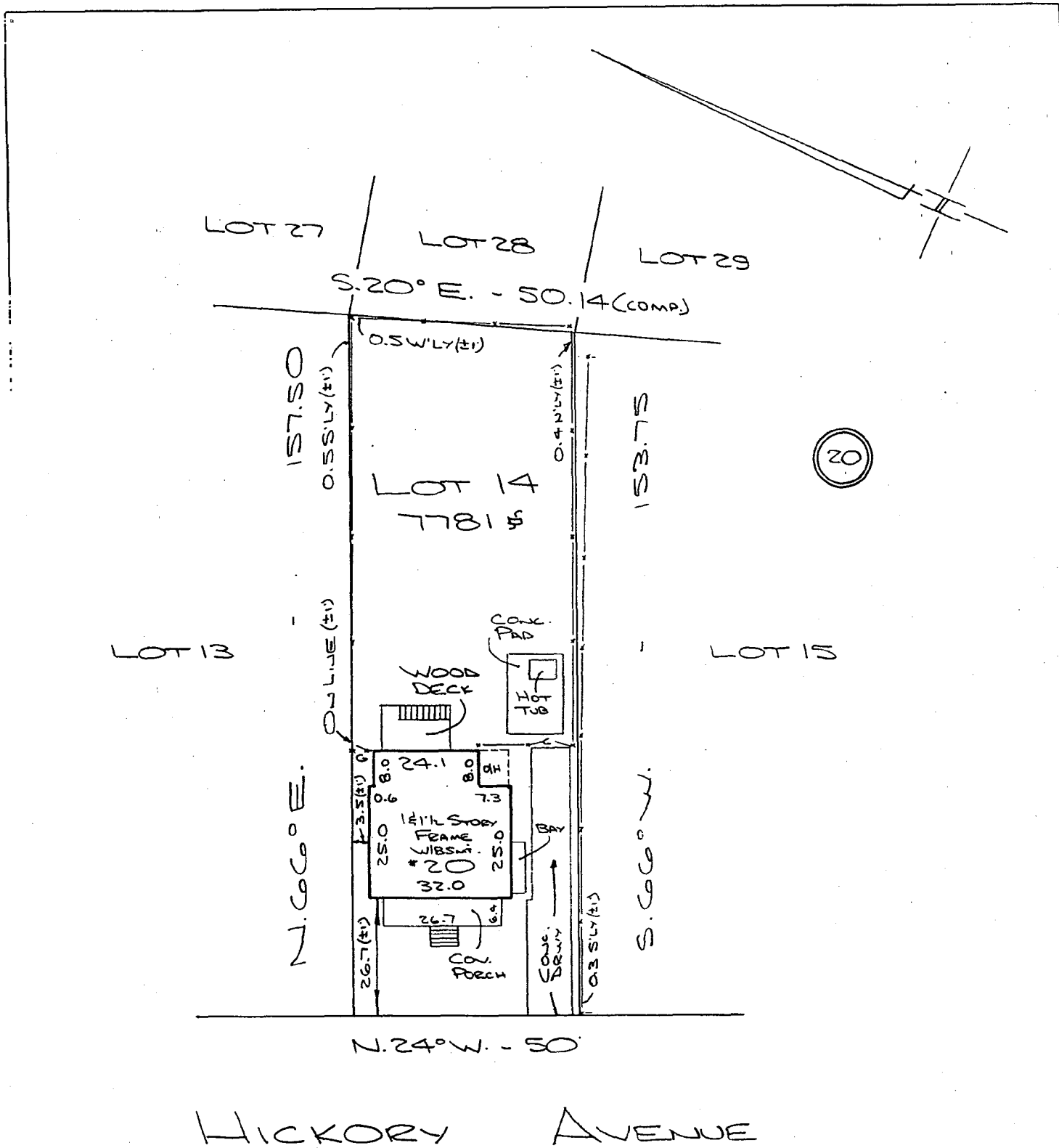
Mike Michael Desantels
18 Hickory Ave.
Takoma Park, MD. 20912

David Christy
24 Montgomery Ave.
Takoma Park, MD

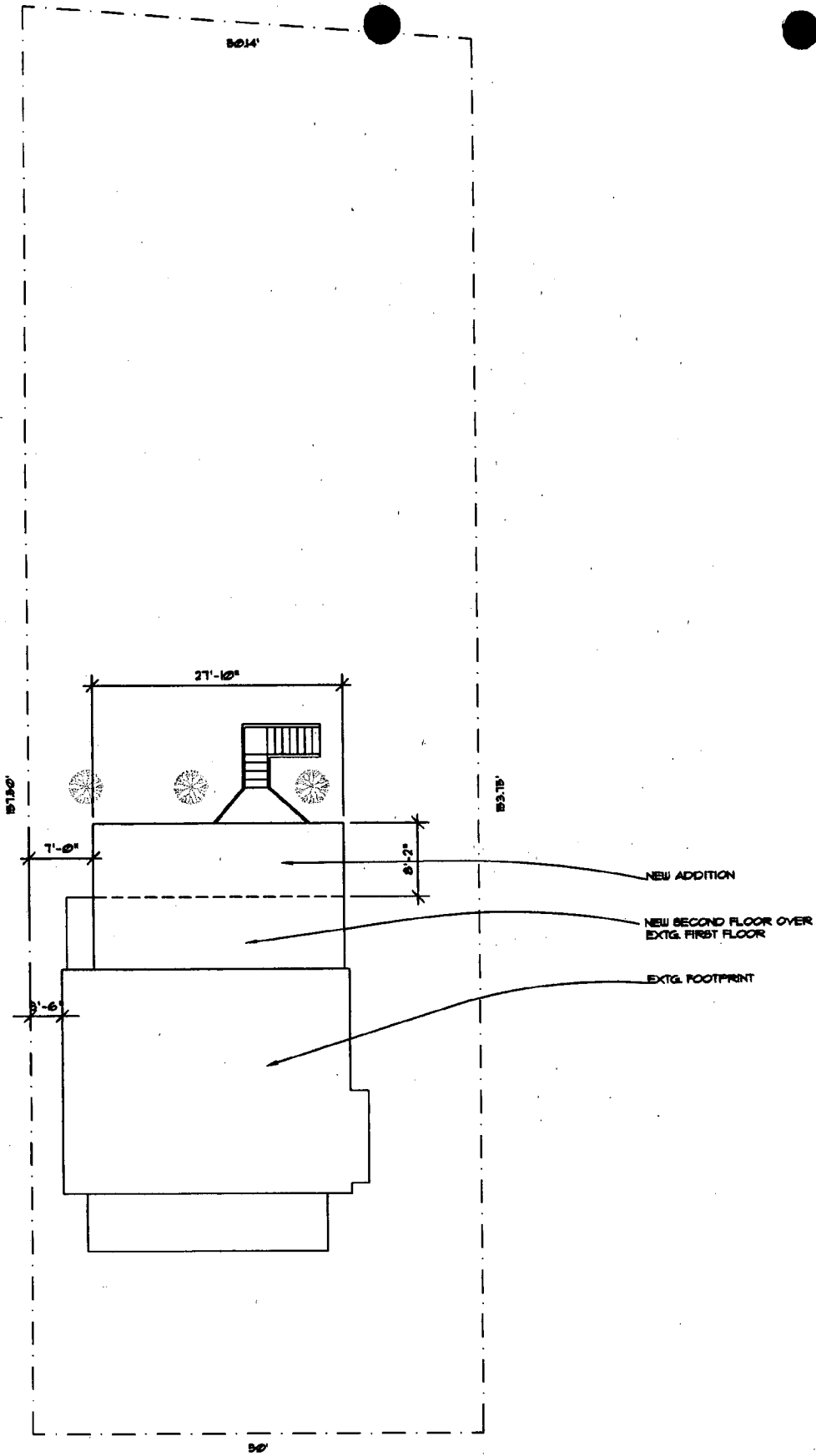
Deborah Zuckerman
7100 Poplar Ave
Takoma Park, MD

Susan Pitcher
7018 Poplar Ave
Takoma Park, MD

Elizabeth Pitcher
7016 Poplar Ave
Takoma Park, MD.

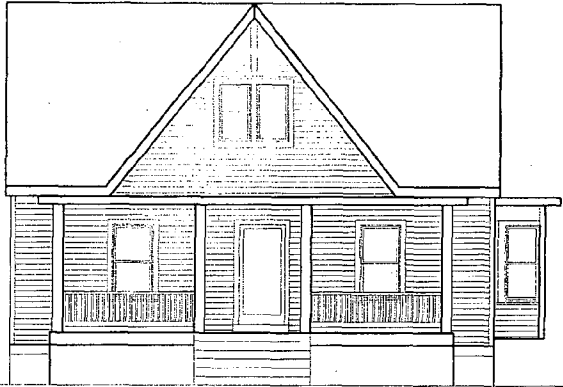


(4)



1 SITE PLAN
 CO SCALE: 1" = 10'-0"

8



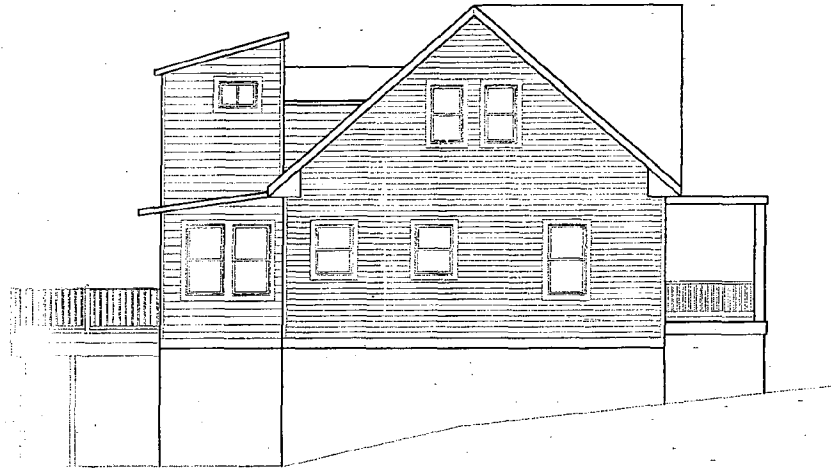
1 EXTG. FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 EXTG. RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 EXTG. REAR ELEVATION
SCALE: 1/4"=1'-0"



4 EXTG. LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

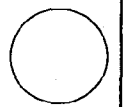
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
4000 HILLO CRANE PARKWAY
LARGO, MD 20775
301-718-1881

d

JANA ROGERS HAUDEN, AIA ARCHITECT

15A02
HISTORIC DET. 15A023



DRAWN BY: DRH

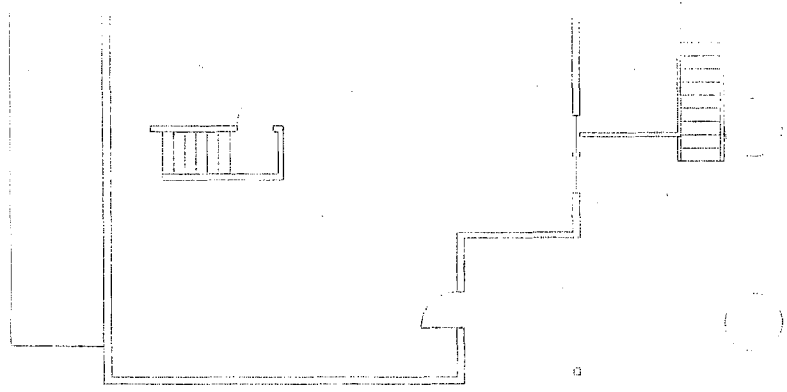
SHEET:

EXTG. ELEVATIONS

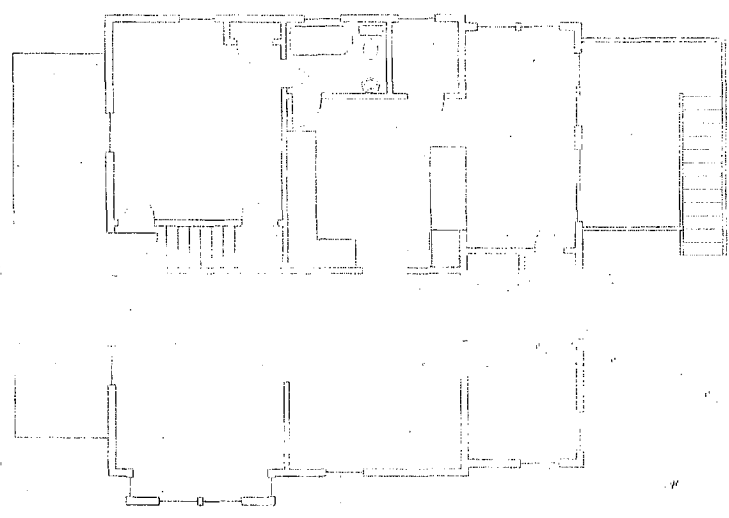
EX-1

8

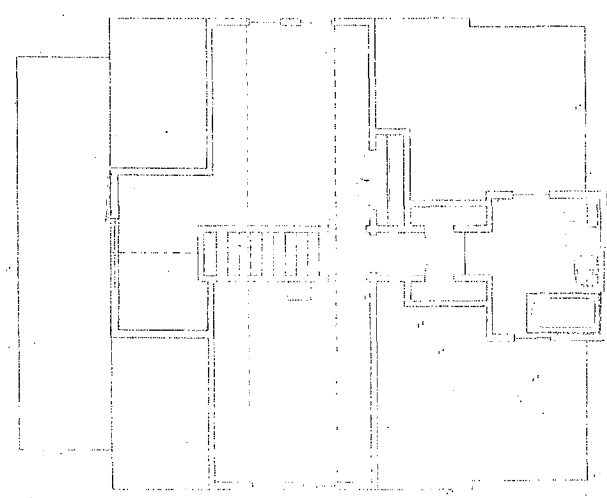
1
 EXTG. BASEMENT PLAN
 SCALE 1/8" = 1'-0"



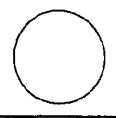
2
 EXTG. FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"



3
 EXTG. SECOND FLOOR PLAN
 SCALE 1/8" = 1'-0"



EX-2



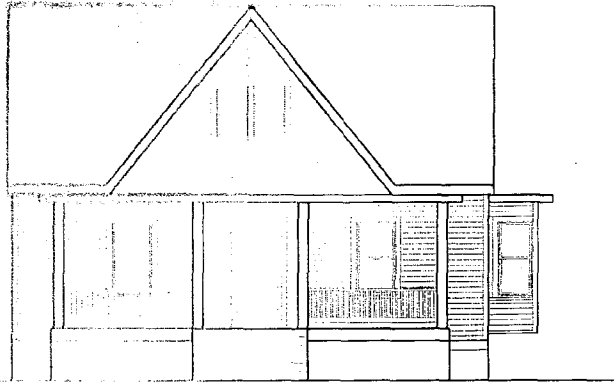
DATE:
 ARCHITECT:
 INTERIOR DESIG. NUMBER

DANA ROGERS HADEN, AIA architect

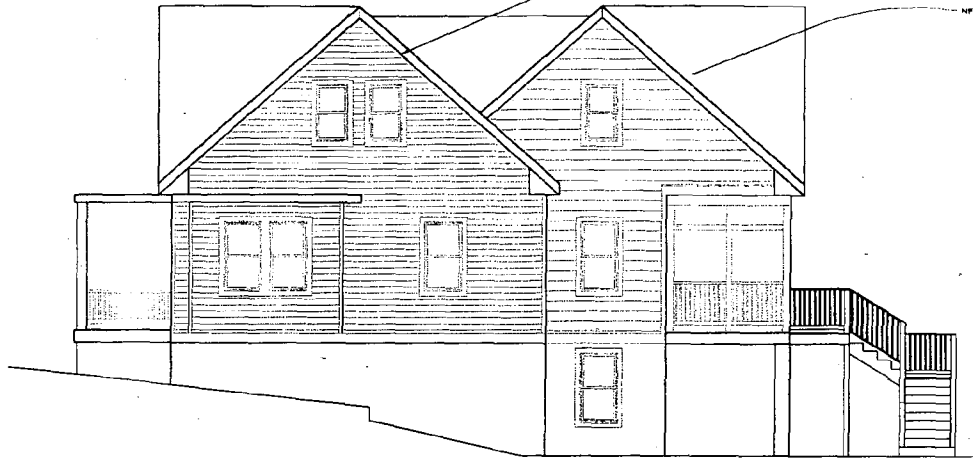


STUDIO D
 868 eligo creek parkway
 takoma park, md
 301-748-6881

ADDITION TO
 20 HICKORY AVE.
 TAKOMA PARK, MD



1 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

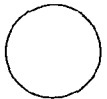
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
4000 HILLO CRANE PARKWAY
MOUNTAIN VIEW, MD
301-781-9811

d

DIANA ROGERS HALEN, AIA architect

ISSUE:
HISTORIC SET. 12/16/13

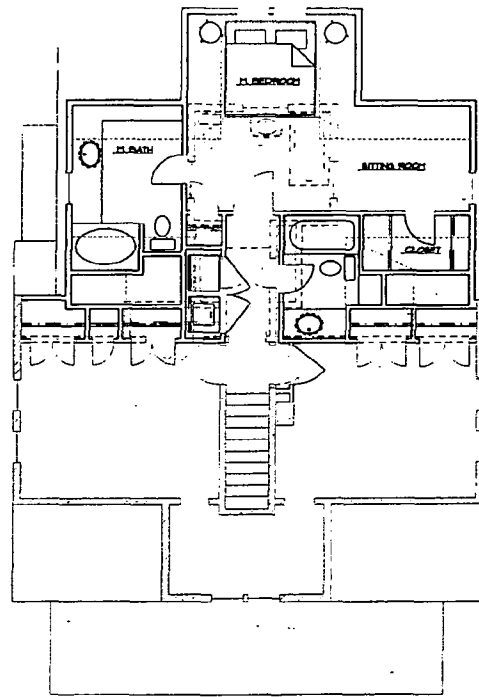
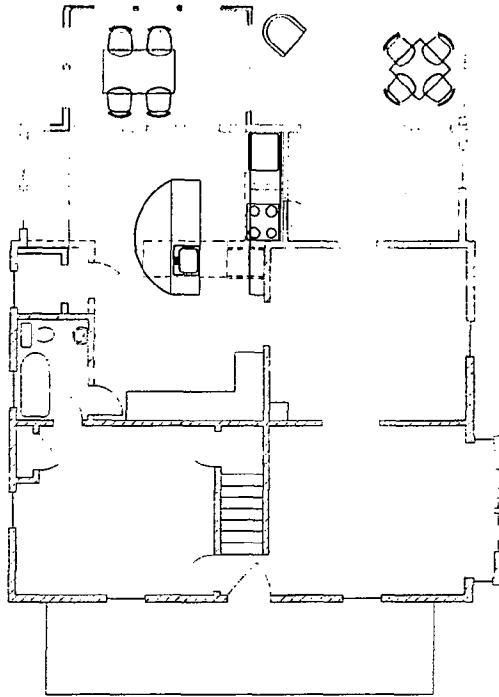
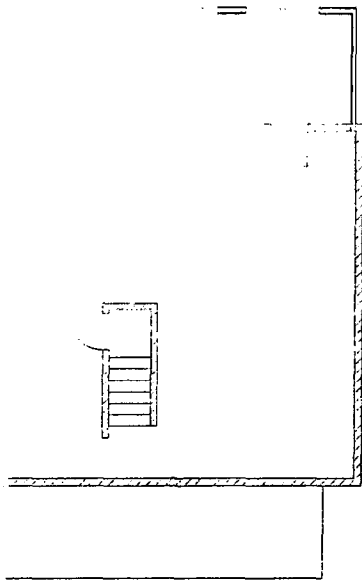


DRAWN BY: DSH

SHEET:

PROPOSED ELEVATIONS

A-1



1 PROPOSED BASEMENT PLAN
SCALE: 1/4"=1'-0"

2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

18

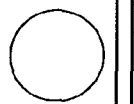
ADDITION TO
20 HICKORY AVE.
TALOMA PARK, MD

STUDIO D
688 High Creek Parkway
Towson Park, MD
410-718-8888

d

DANA ROGERS HADEN, AIA architect

HAIR: HISTORIC SET. 10/1/83

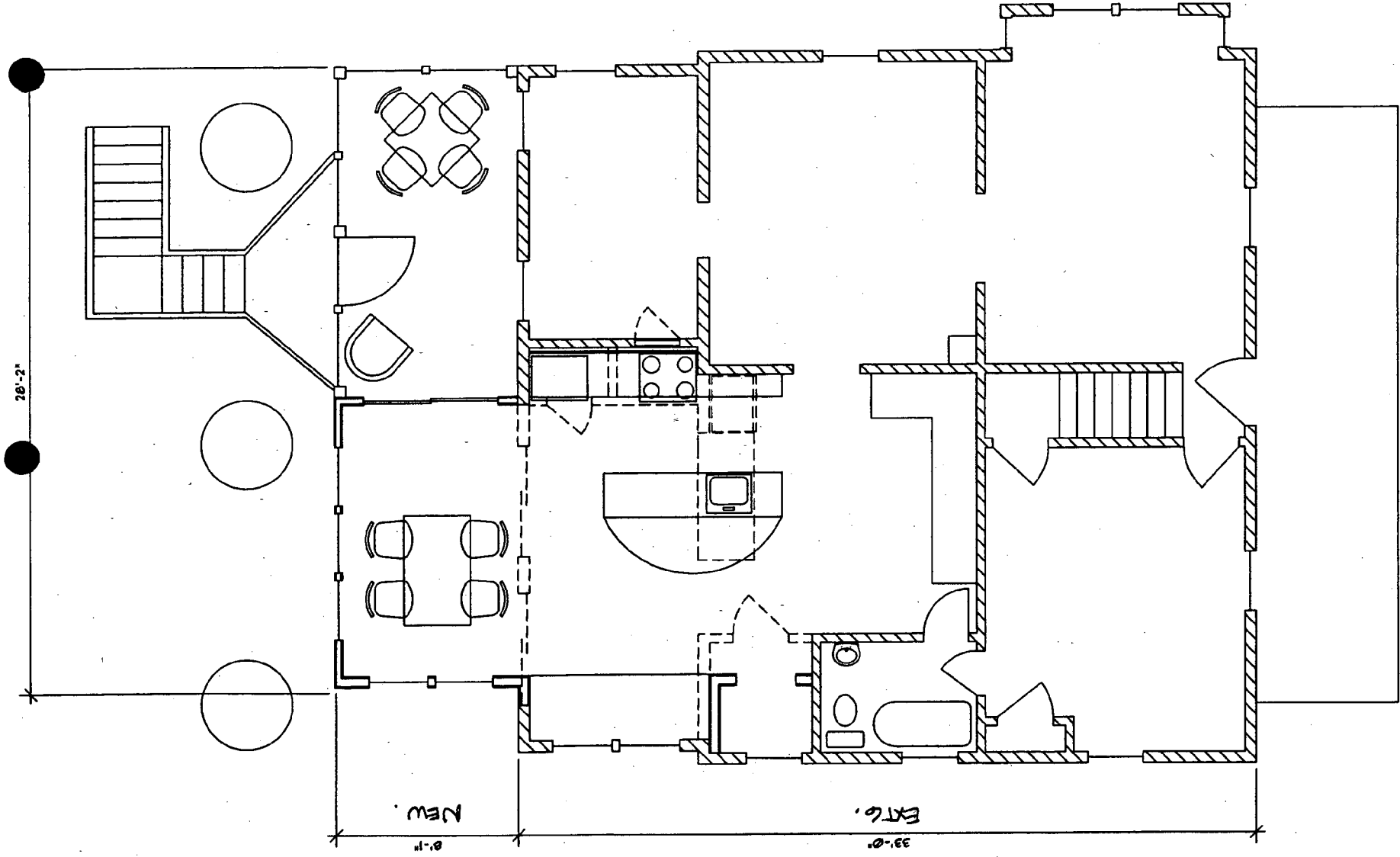


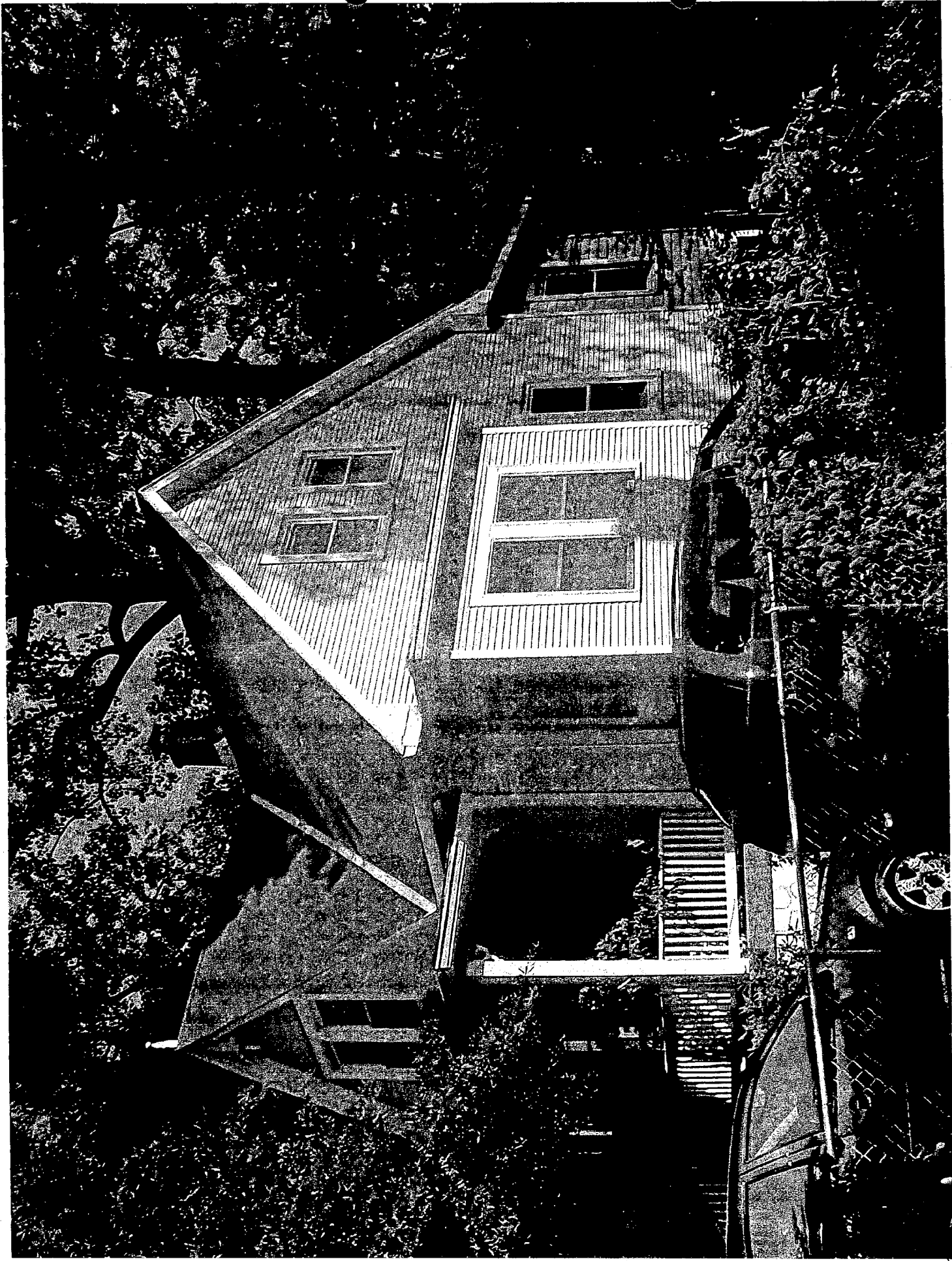
DRAWN BY: DRH

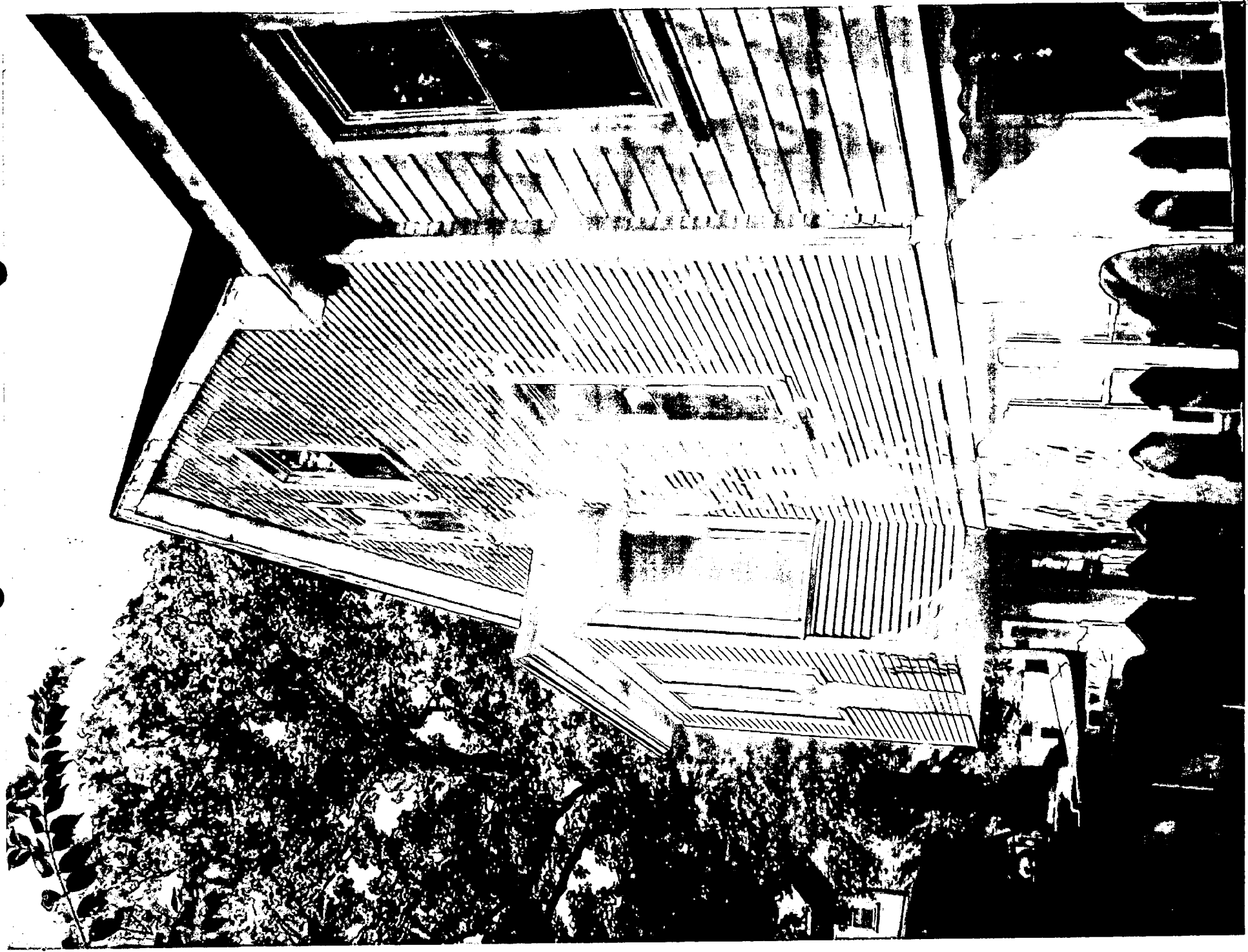
SHEET:

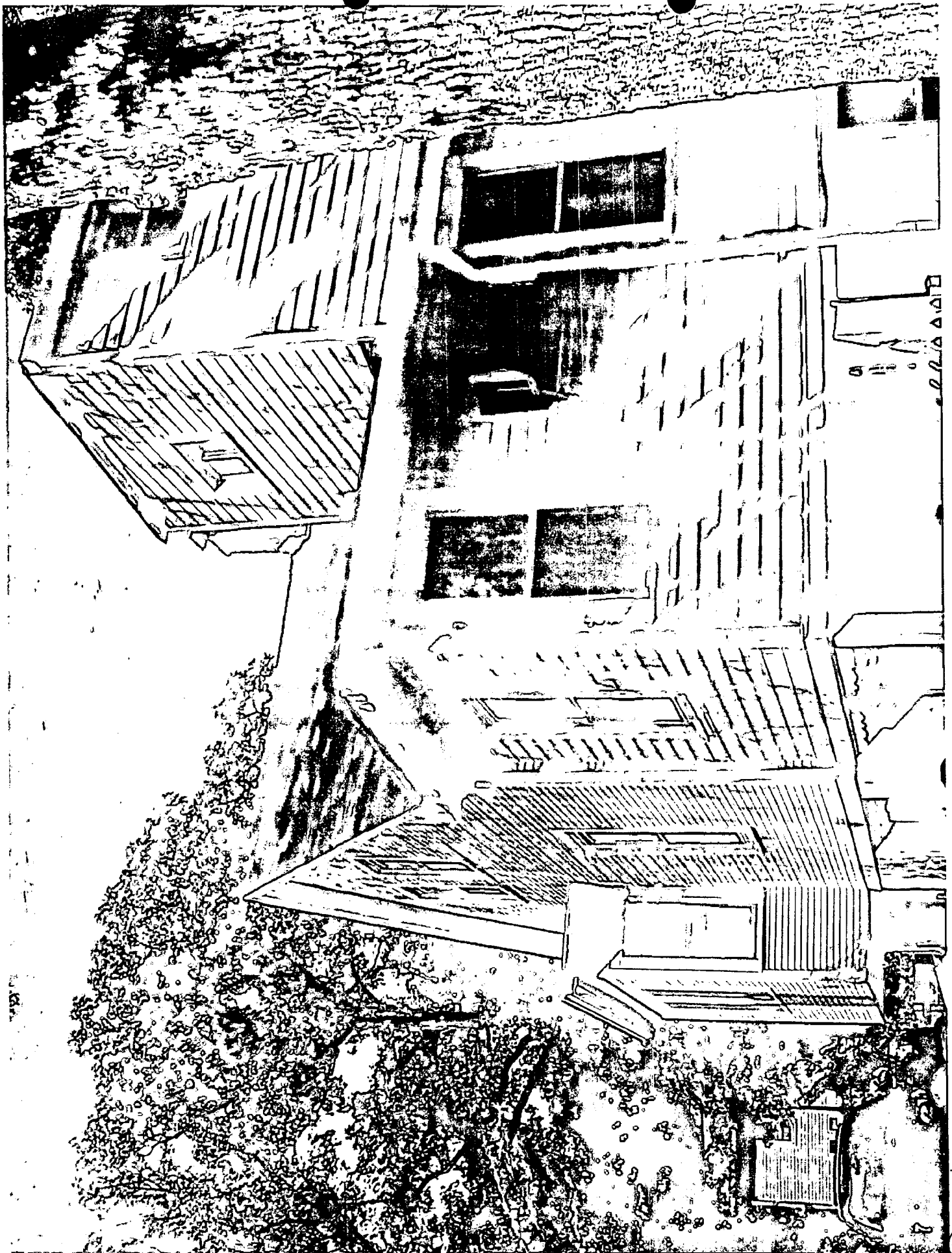
PROPOSED PLAN

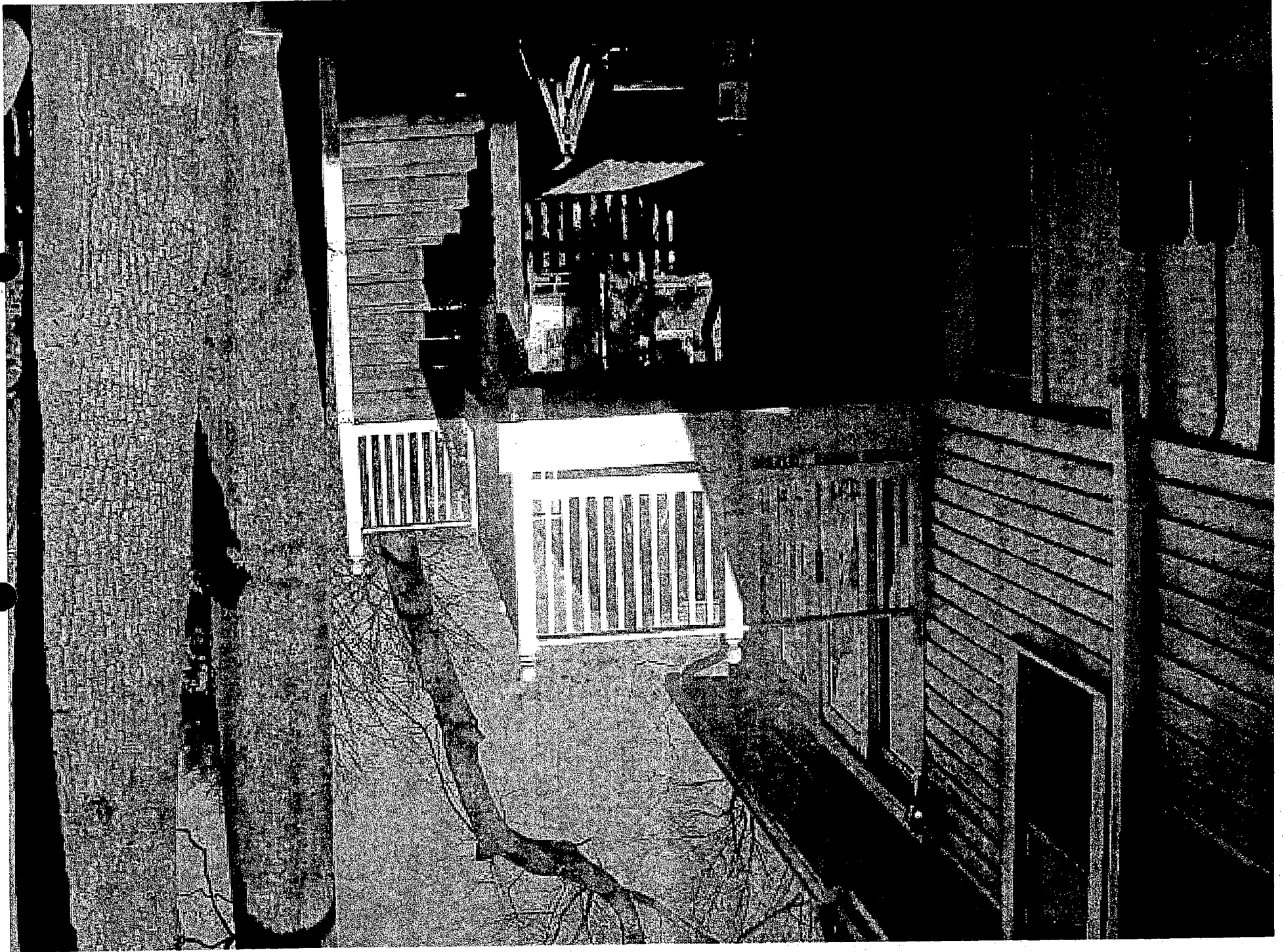
A-2

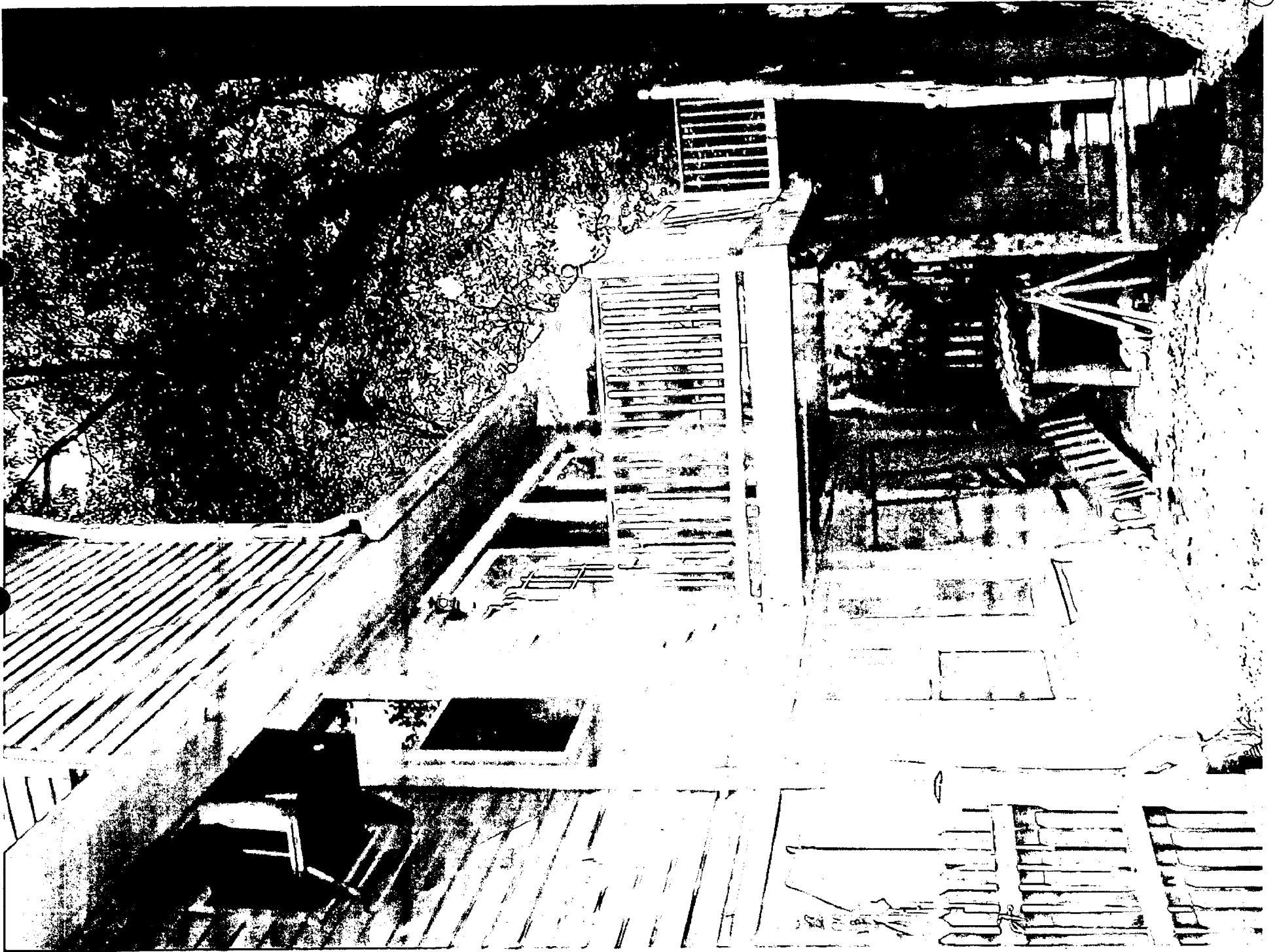






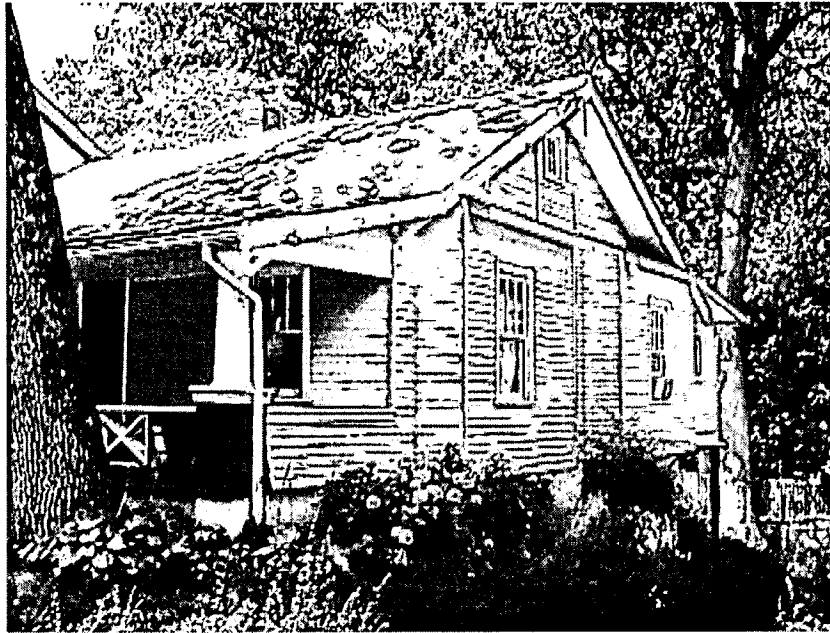




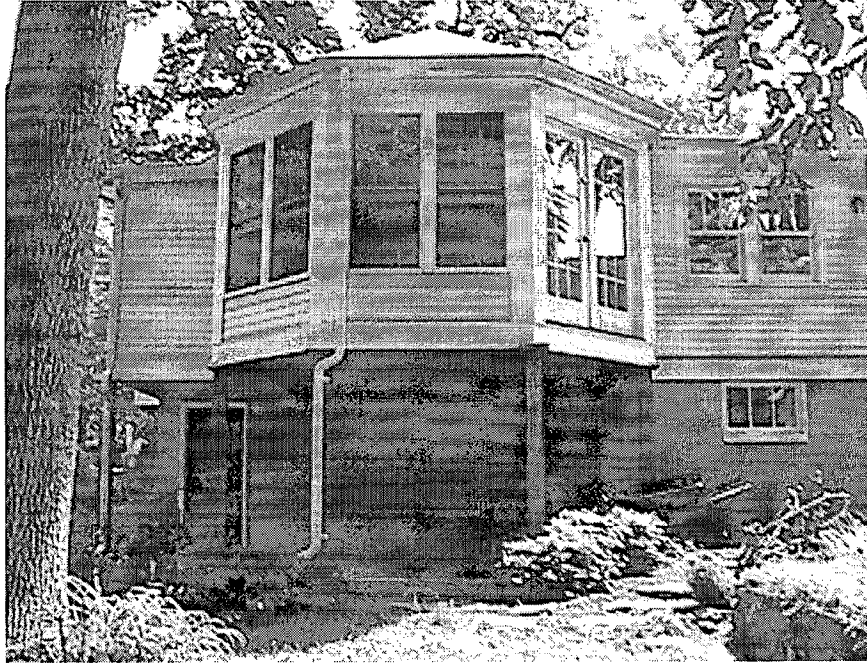




242 Park Ave. (front view)



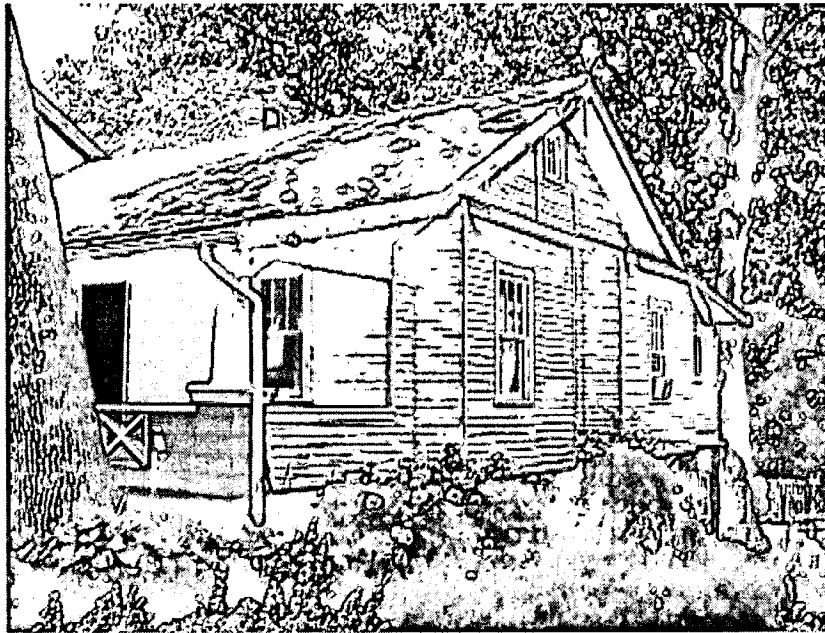
242 Park Ave. (side view)



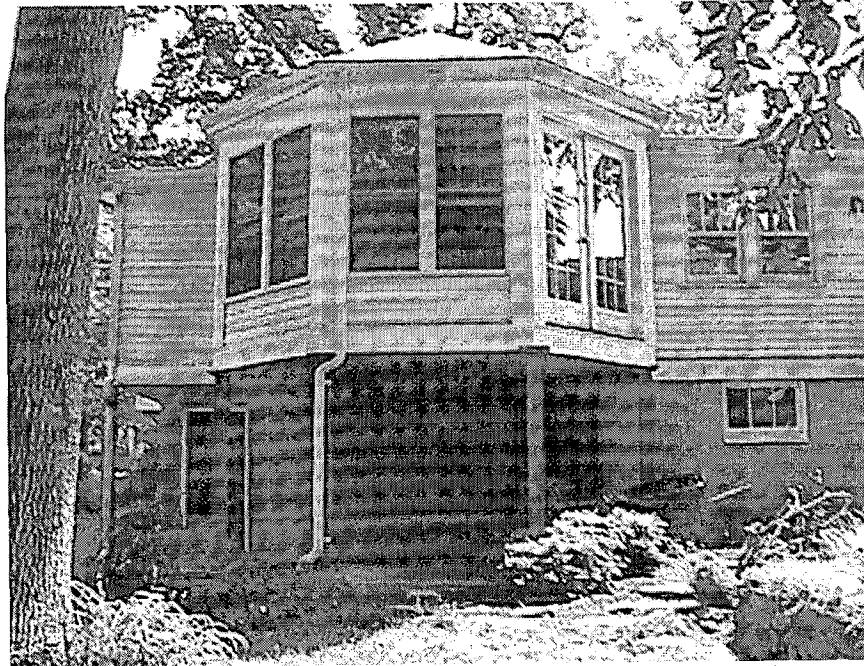
242 (back view)



242 Park Ave. (front view)



242 Park Ave. (side view)



242 (back view)

June 16, 2003

Donald Spence, Chair
Montgomery County Board of Appeals
100 Maryland Avenue, Suite 217
Rockville, Maryland 20850

RE: 20 Hickory Avenue, Takoma Park
Outstanding Resource within the Takoma Park Historic District

Dear Mr. Spence and Board Members:

The Montgomery County Historic Preservation Commission strongly supports the request of Julia and Antonio Coronado for a variance to allow them to construct an addition extending directly from the rear of the existing house. The existing structure has a side yard setback of 3.5'. The existing rear addition to be extended has a side yard setback of 4.0'. The zoning setbacks currently require a side yard setback of 7'.

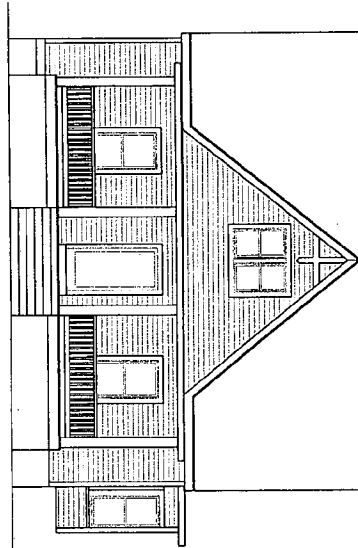
The applicant's proposed addition will line up with the current addition and will not extend beyond the side elevations of the house or its current addition. The Commission encourages this type of "telescoping" additions to be constructed onto its historic houses so it does not negatively affect historic landscape of the district by maintaining its existing side yard setbacks and the rhythm of the historic streetscape. Additionally, the use of telescoping additions helps to retain the majority of the historic house's integrity.

The Commission feels that this is a very appropriate location for the proposed addition, as it will be constructed to the rear of the house and not visible from the public-right-of way.

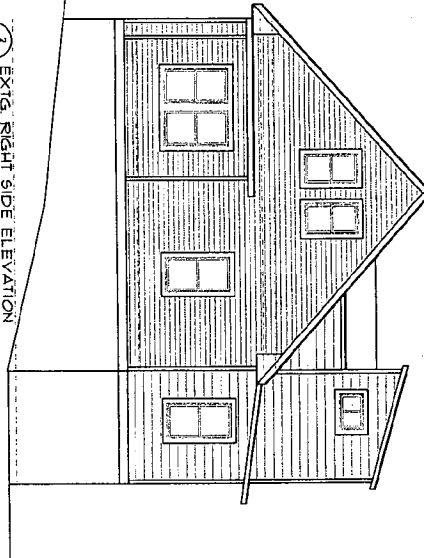
Thank you for your attention in this matter. If you have any additional questions, please do not hesitate to contact the Commission's staff at 301-563-3400.

Sincerely,

Susan Velasquez, Chair
Historic Preservation Commission

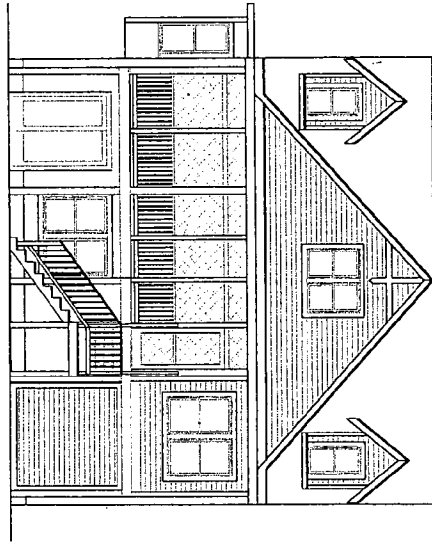


1 EXTG. FRONT ELEVATION
SCALE: 1/8" = 1'-0"

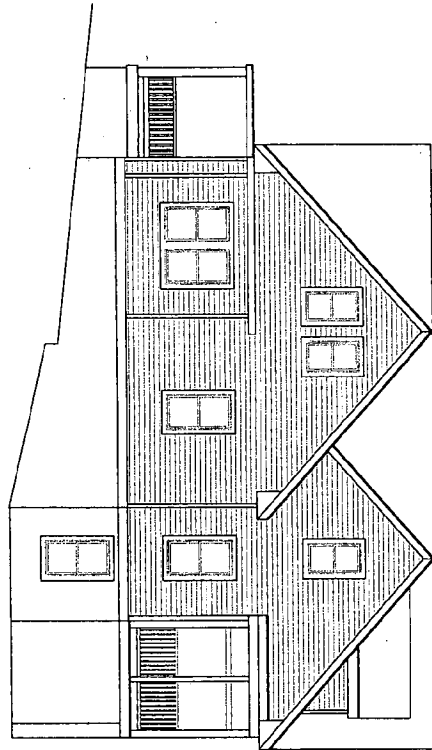


2 EXTG. RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

	STUDIO D 808 eligo creek parkway takoma park, md 301-746-563	ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD
	DANA ROGERS HADEN, AIA architect	MODEL: NUMBER: 202103
EX-1		



1 PROPOSED REAR ELEV.
SCALE: 1/8"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

Jules + Antonio Coronado,

<p>PROPOSED ELEVATIONS</p> <p>A-1</p>	<p>DRAWN BY: DMH</p> <p>DATE: 11/10/10</p>	<p>DATE: 11/10/10</p>	<p>DANA ROGERS HADEN, AIA architect</p> <p>d</p>	<p>STUDIO D</p> <p>805 aligo creek parkway takoma park, md 301-210-8911</p>	<p>ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD</p>
---------------------------------------	--	-----------------------	---	---	--

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Antonio & Julia Coronado
20 Hickory Ave.
Takoma Park MD, 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

James Porter
22 Hickory Ave.
Takoma Park, MD. 20912

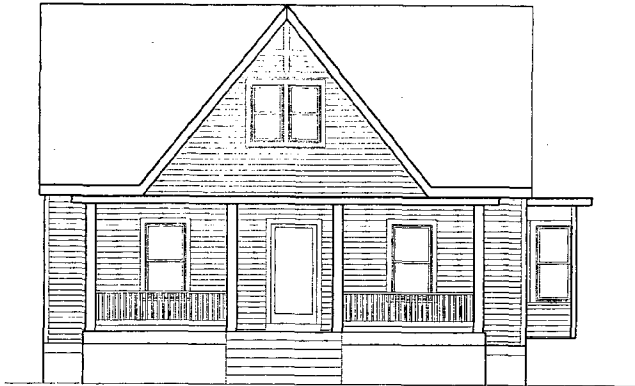
Walter Michael Desautels
19 Hickory Ave.
Takoma Park, MD. 20912

David Christy
24 Montgomery Ave.
Takoma Park, MD

Deborah Zuckerman
7100 Poplar Ave
Takoma Park, MD

Susan Pitcher
7018 Poplar Ave
Takoma Park, MD

Elizabeth Pitcher
7016 Poplar Ave
Takoma Park, MD.



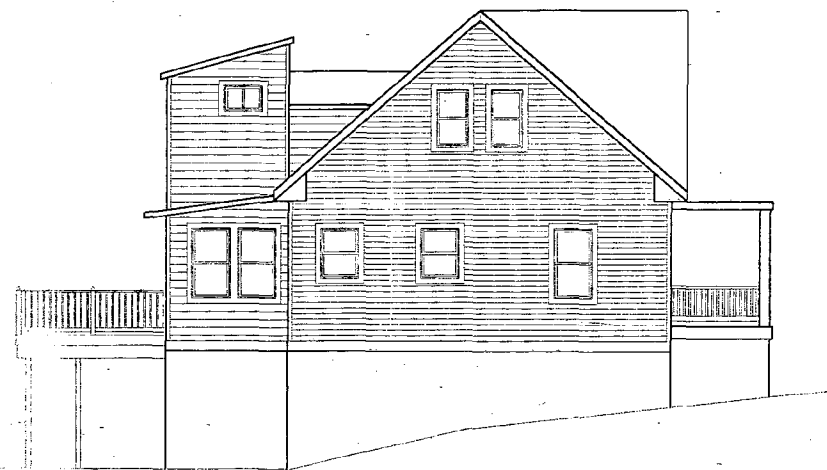
1 EXTG. FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 EXTG. RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 EXTG. REAR ELEVATION
SCALE: 1/4"=1'-0"



4 EXTG. LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

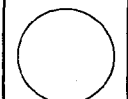
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
688 ridge creek parkway
takoma park, md
301-738-8411

d

DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC REF. 10/0/03

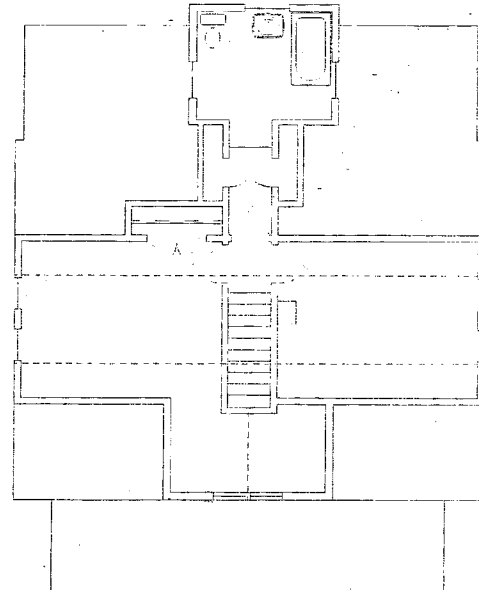
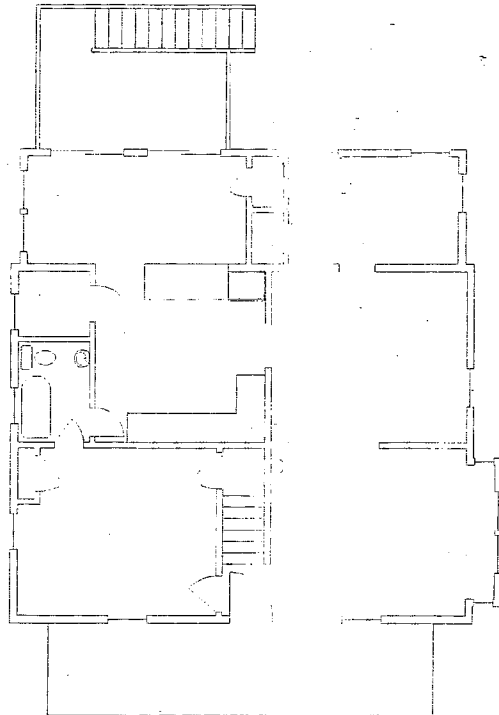
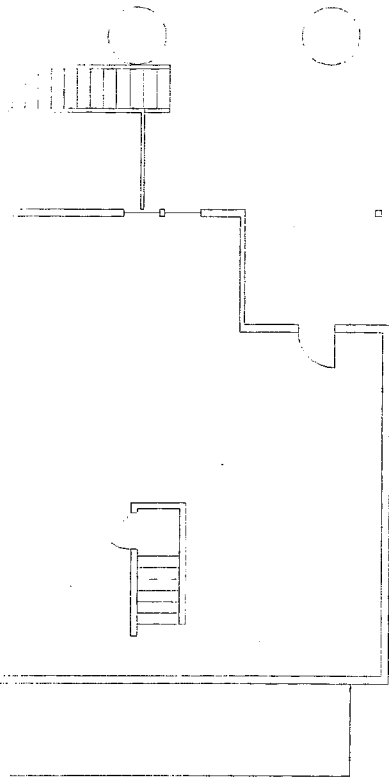


DRAWN BY: DRH

SHEET:

EXTG. ELEVATIONS

EX-1

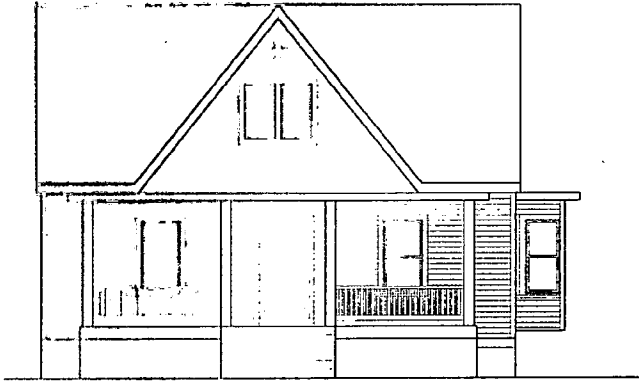


1 EXTG. BASEMENT PLAN
SCALE: 1/4"=1'-0"

2 EXTG. FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

3 EXTG. SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

<p>ADDITION TO 20 HICKORY AVE. TAKOMA PARK, MD</p>	<p>STUDIO D 600 aliso creek parkway takoma park, md 301-718-3811</p>	<p>d DANA ROGERS HAIEN, AIA architect</p>	<p>ISSUE: HISTORIC DET. 10/1/03</p>		<p>DRAWN BY: DR1</p>	<p>SHEET: EXTG. PLANS EX-2</p>
--	--	---	---	---	----------------------	--



1 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



3 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

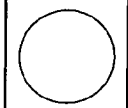
ADDITION TO
20 HICKORY AVE.
TAROMA PARK, MD

STUDIO D
200 High Creek Parkway
Takoma Park, MD
301-740-3411

d

DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET, REVISED

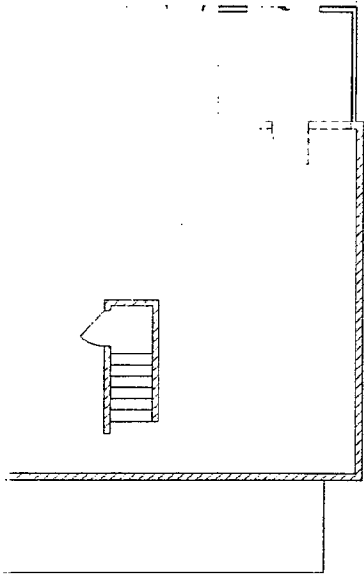


DRAWN BY: DRH

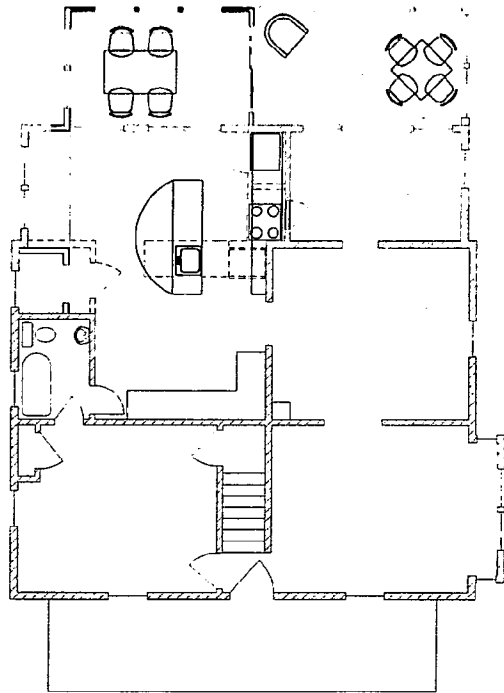
SHEET:

PROPOSED ELEVATIONS

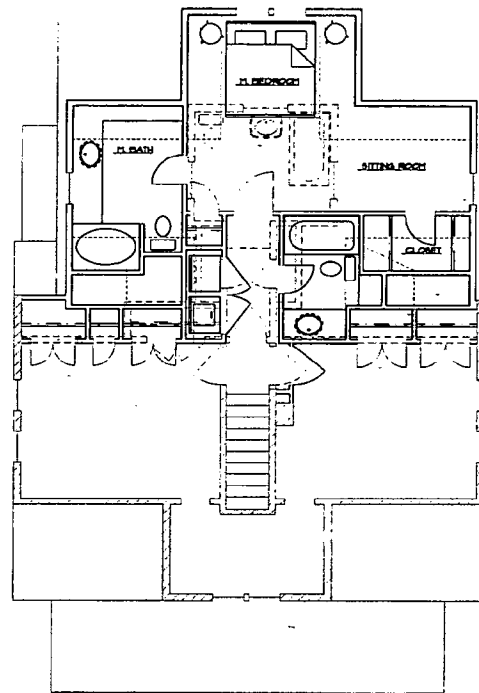
A-1



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

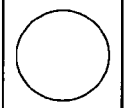
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
add sign over parking
ultra park, md
301-730-3441

d

DANA ROGERS, HADEN, AIA architect

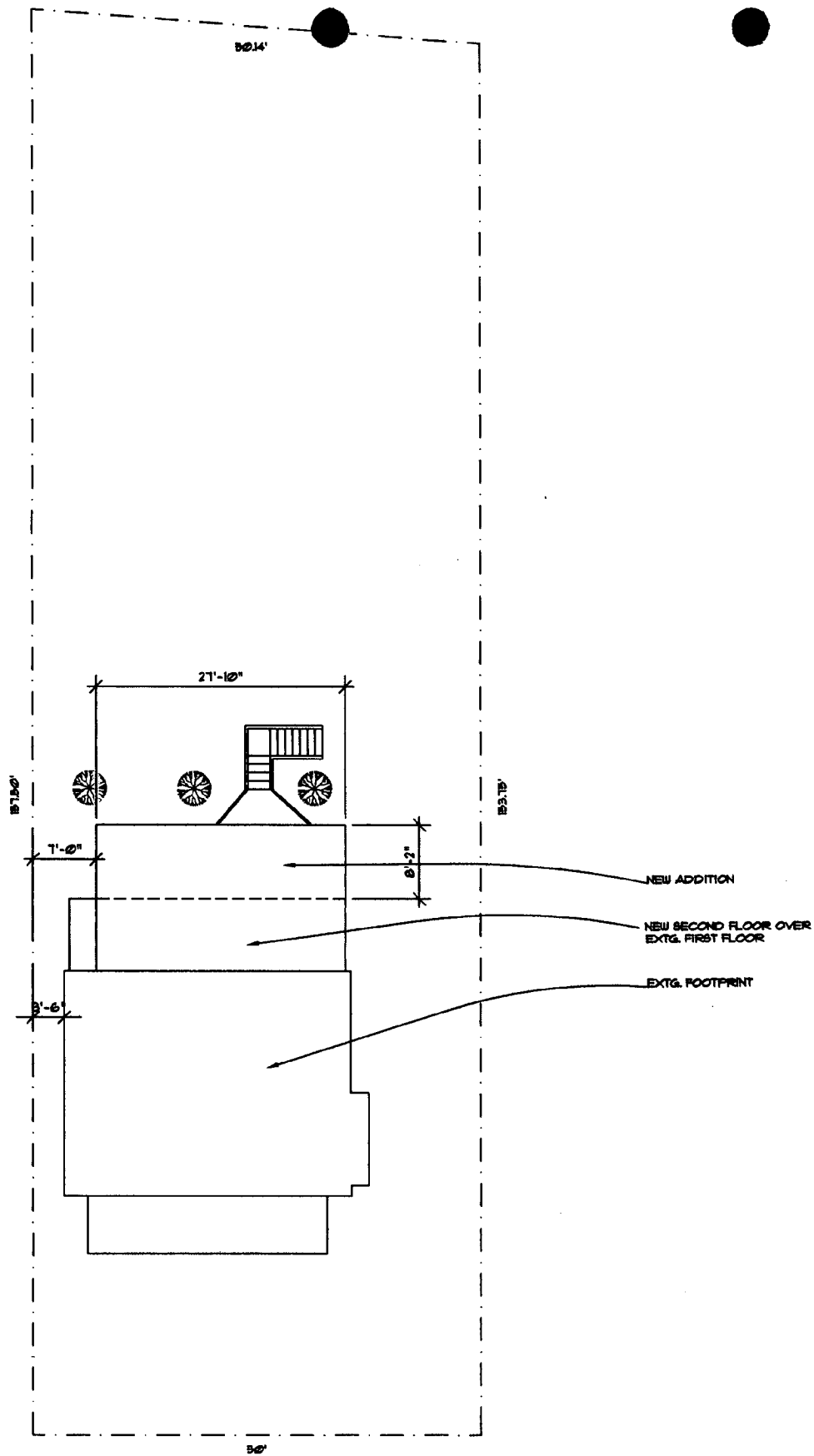
HOUSE:
HISTORIC NET: MDV483



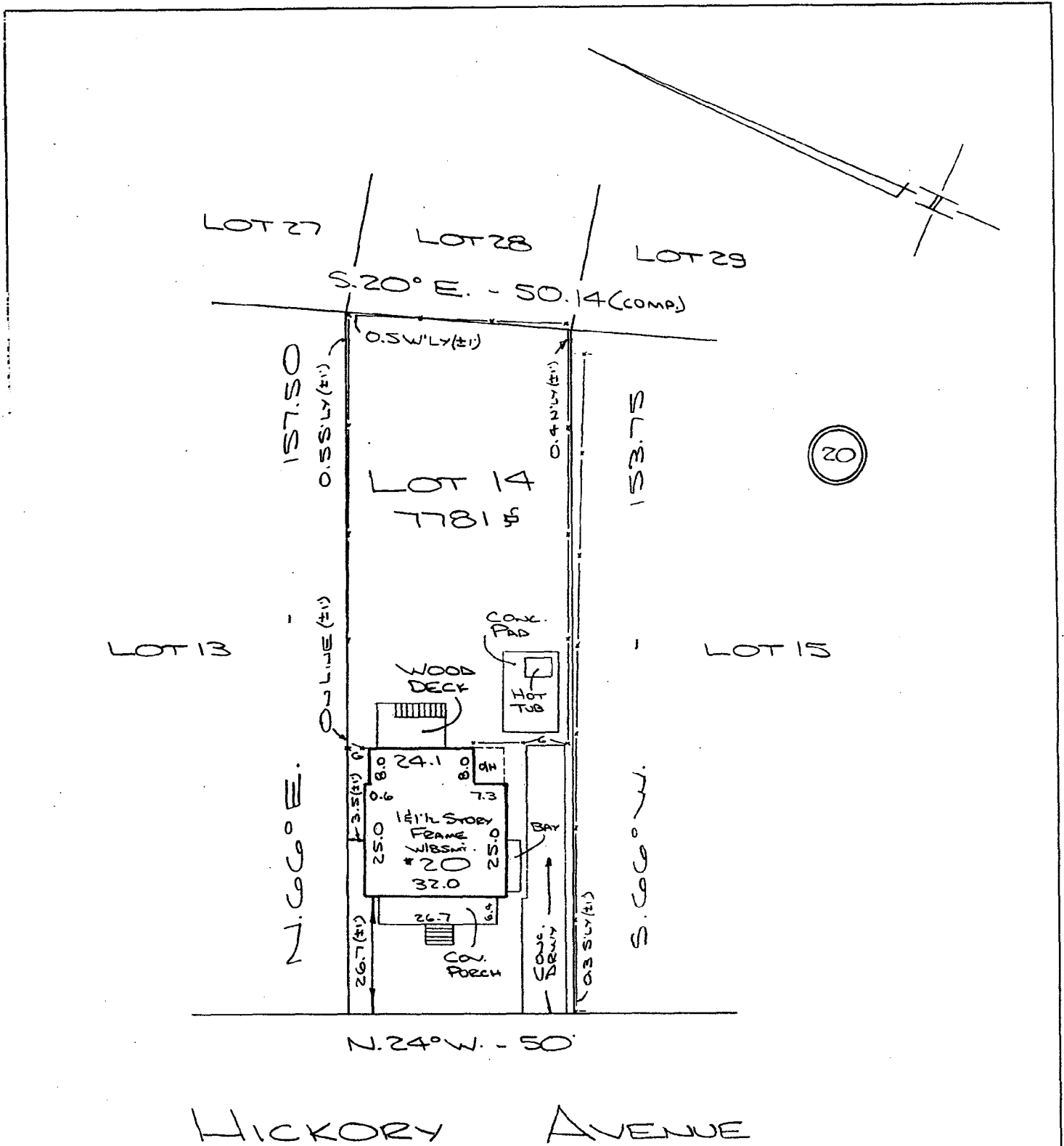
DRAWN BY: DRH
SHEET:

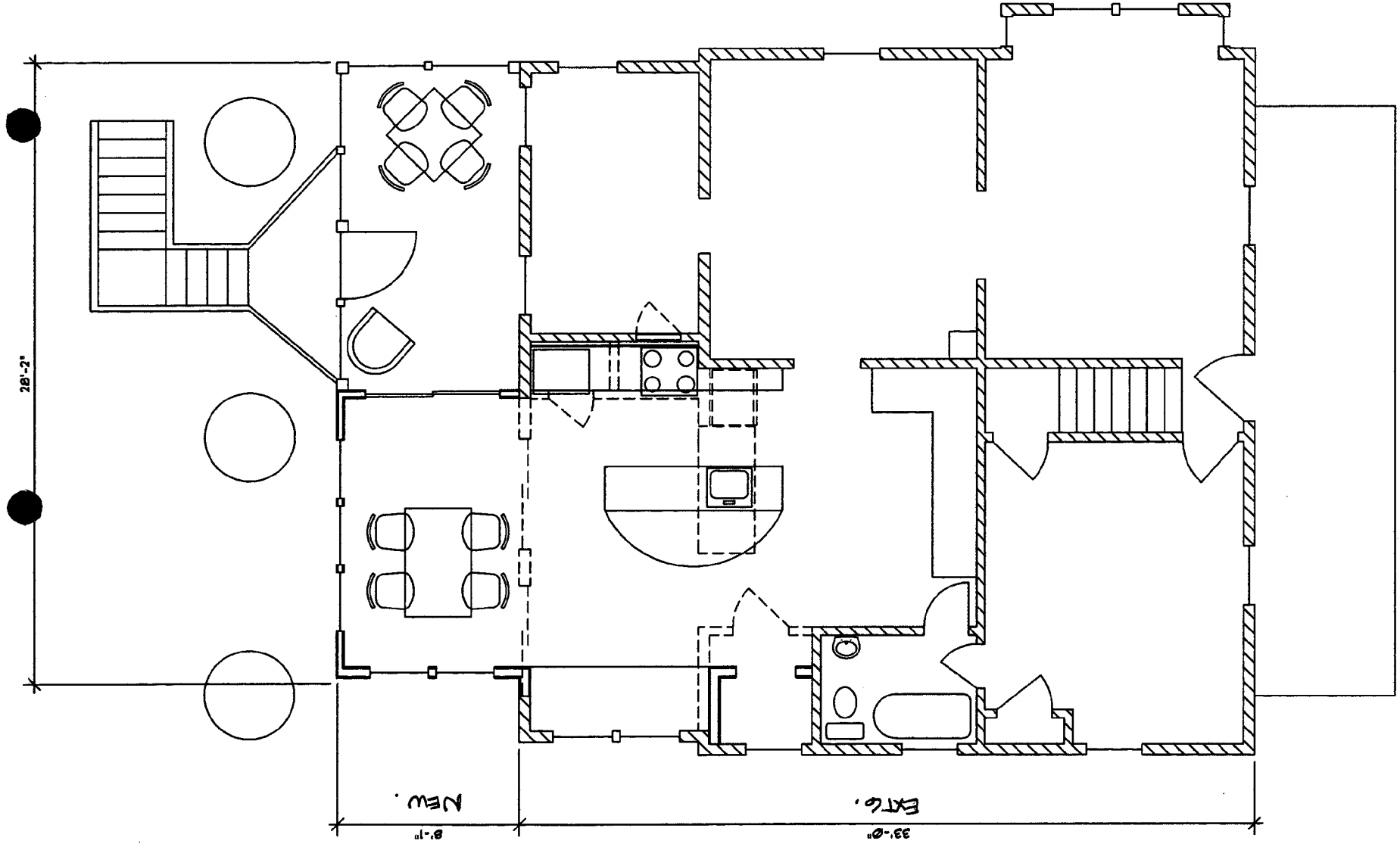
PROPOSED PLANS

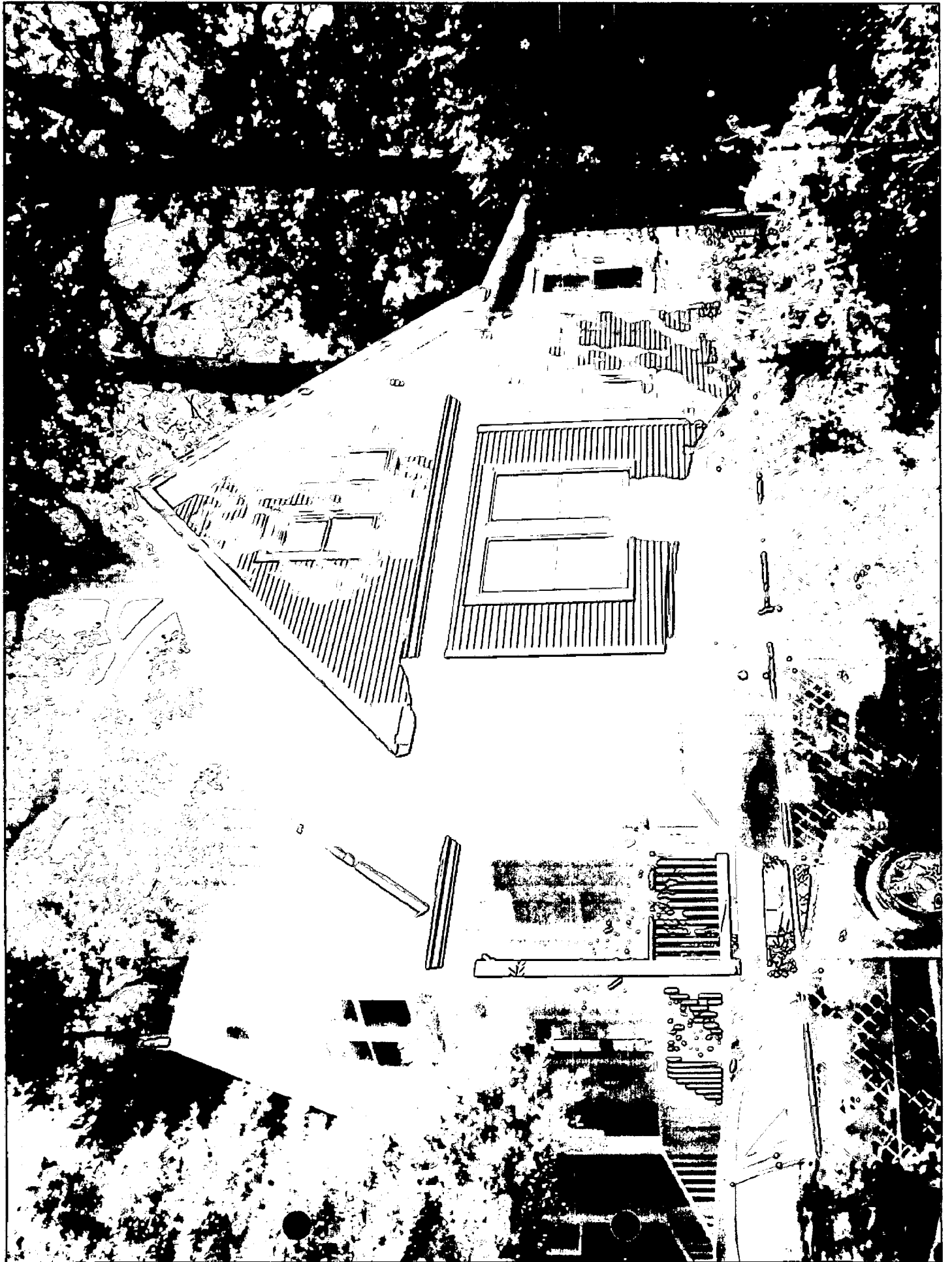
A-2

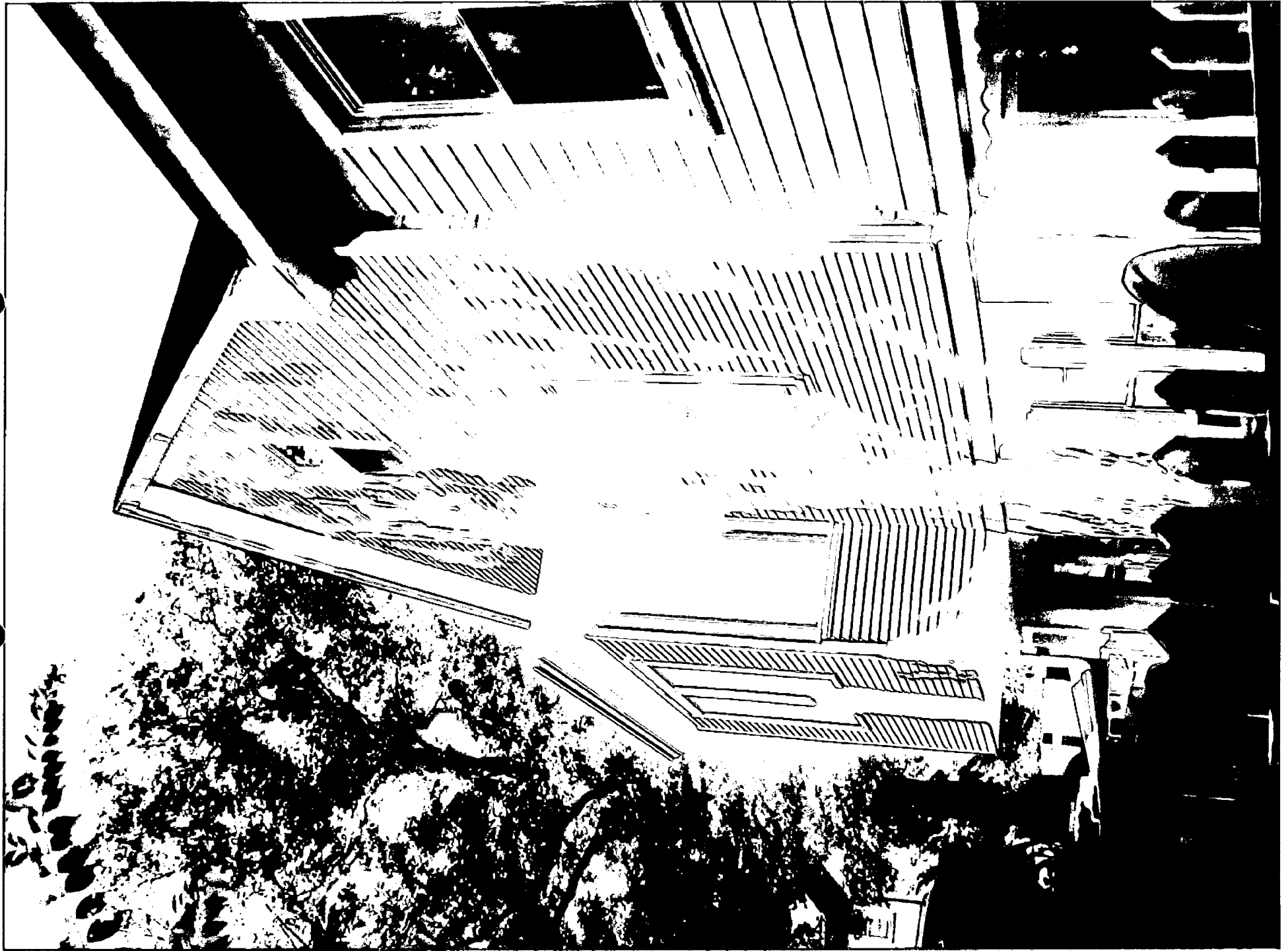


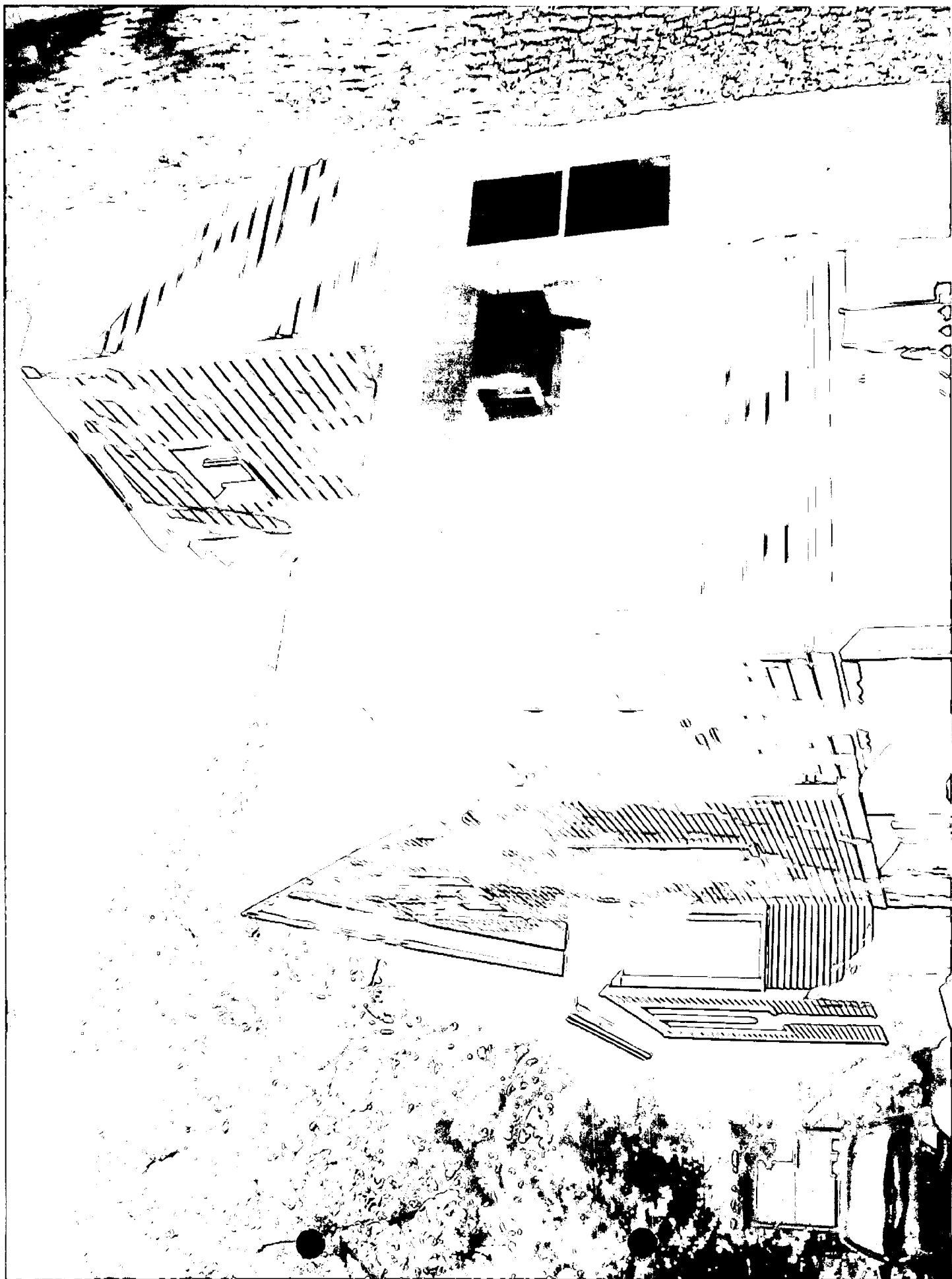
1 SITE PLAN
 CO SCALE: 1" = 10'-0"





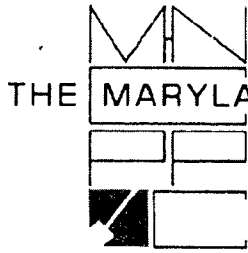












THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

June 26, 2003

Donald Spence, Chair
Montgomery County Board of Appeals
100 Maryland Avenue, Suite 217
Rockville, Maryland 20850

RE: 20 Hickory Avenue, Takoma Park
Outstanding Resource within the Takoma Park Historic District

Dear Mr. Spence and Board Members:

The Montgomery County Historic Preservation Commission strongly supports the request of Julia and Antonio Coronado for a variance to allow them to construct an addition extending directly from the rear of the existing house. The existing structure has a side yard setback of 3.5'. The existing rear addition to be extended has a side yard setback of 4.0'. The zoning setbacks currently require a side yard setback of 7'.

The applicant's proposed addition will line up with the current addition and will not extend beyond the side elevations of the house or its current addition. The Commission encourages this type of "telescoping" additions to be constructed onto its historic houses so it does not negatively affect historic landscape of the district by maintaining its existing side yard setbacks and the rhythm of the historic streetscape. Additionally, the use of telescoping additions helps to retain the majority of the historic house's integrity.

The Commission feels that this is a very appropriate location for the proposed addition, as it will be constructed to the rear of the house and not visible from the public-right-of way.

Thank you for your attention in this matter. If you have any additional questions, please do not hesitate to contact the Commission's staff at 301-563-3400.

Sincerely,

Susan Velasquez, Chair
Historic Preservation Commission

ADDITION TO #20 HICKORY AVE. TAKOMA PARK, MD

ZONING INFORMATION

BF. GILBERT'S ADDITION TO TAKOMA PARK
LOT 14
BLOCK:20
MONTGOMERY COUNTY, MD
PLAT BOOK A
PLAT 2

GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY.

THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.

THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:

ROOF- 30PSF
FLOORS- 40PSF

WOOD STUDS (2x4 @ 16" O.C.)- NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENING, 3 FULL MEMBERS @ CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (GILLS, PLATES, SLEEPERS) SHALL BE PRESSURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR) WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GLUED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM; SIZE, SHAPE AND COLOR TO MATCH EXISTING.

INSTALL SPLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2"

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

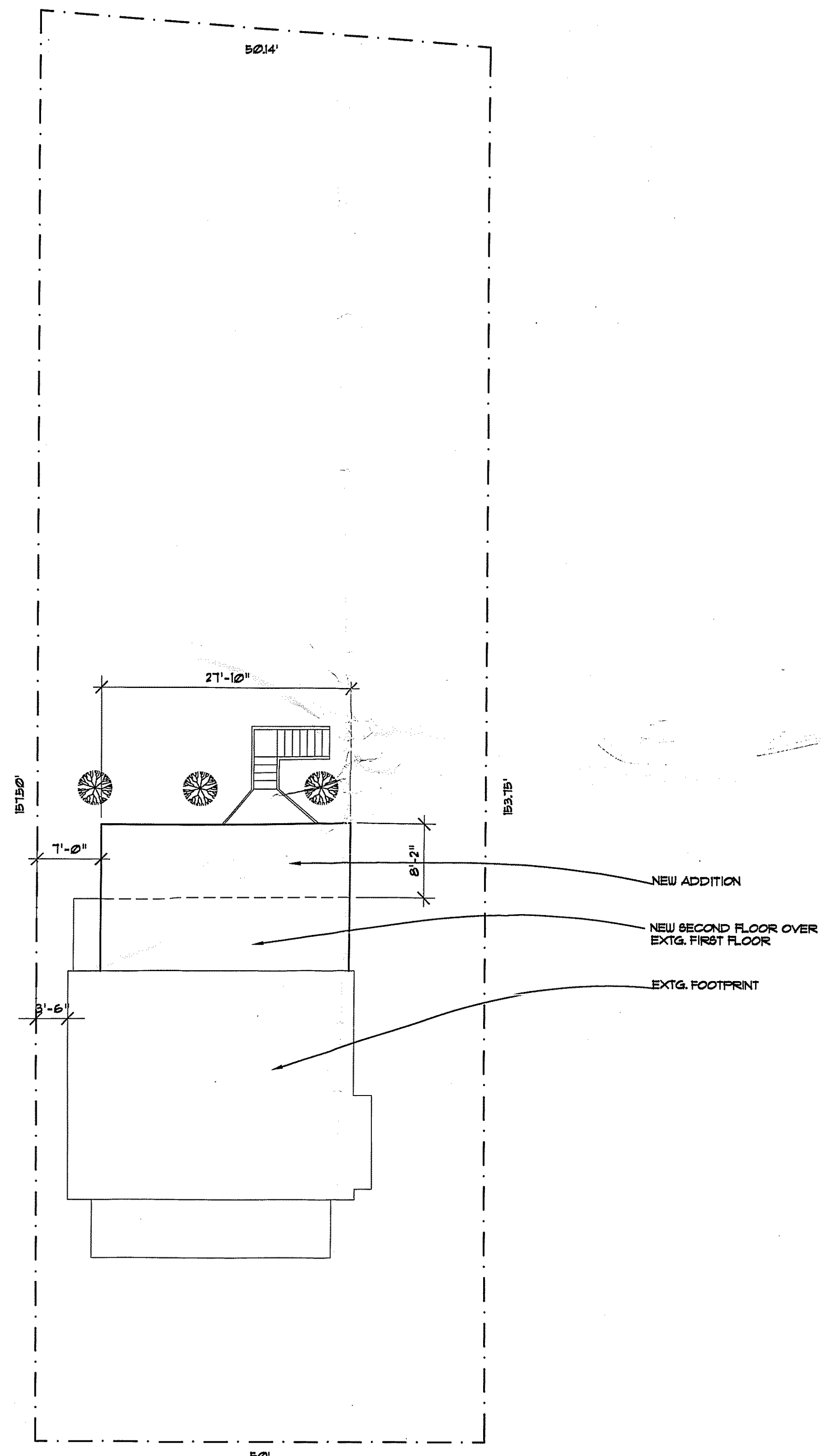
CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

INSTALL R-30 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUSS AND THE FIRST FLOOR. INSTALL R-19 BATT INSULATION IN THE 2x6 STUD WALL. INSTALL R-13 BATT INSULATION IN THE REST OF THE NEW EXTERIOR 2x4 WALLS.

***MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
A-1	BASEMENT AND FIRST FLOOR ARCHITECTURAL PLANS
A-2	SECOND FLOOR ARCHITECTURAL PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	SECTION AND PLUMBING RISER
FR-1	FRAMING PLANS
FR-2	FRAMING PLANS
E-1	ELECTRICAL PLANS



1 SITE PLAN
CO SCALE: 1" = 10'-0"

APPROVED
Montgomery County
History Preservation Commission
Anne M. Wilk
11/24/03

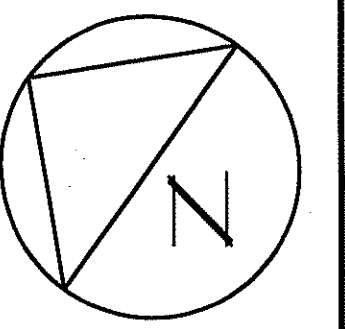
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
885 eligo creek parkway
takoma park, md 20912
301-270-5911



DANA ROGERS HADEN, AIA architect

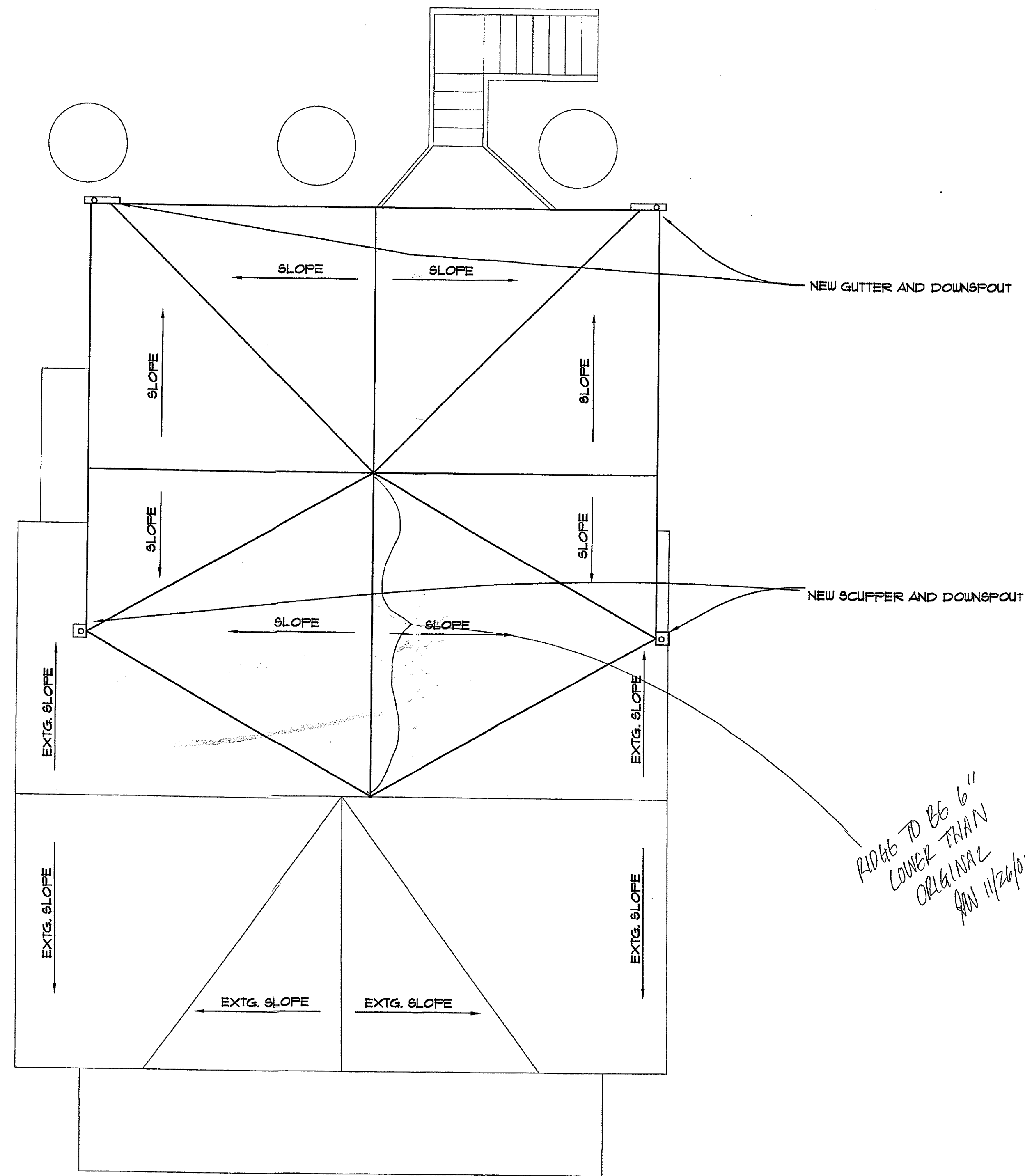
ISSUE:
PRELIMINARY: 4/13/03
PERMIT SET: 11/25/03



SHEET:

ZONING INFORMATION
GENERAL NOTES
LIST OF DRAWINGS

CO



1 NEW ROOF PLAN
A-2
SCALE: 1/4"=1'-0"

DOOR SCHEDULE			
DOOR TYPE	DOOR SIZE	DESCRIPTION	HARDWARE
①	2'-6" x 6'-8"	REUSE EXTG. CLOSET DOOR	PASSAGE SET
②	5'-0" x 6'-8"	REUSE EXTG. SLIDING GLASS DOOR	
③	2'-0" x 6'-8"	REUSE EXTG. CLOSET DOOR FROM DOWNSTAIRS	
④	2'-0" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	BATH PRIVACY SET
⑤	2'-8" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	PRIVACY SET
⑥	(2) 1'-6" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	DUMMY CATCH
⑦	1'-6" x 6'-8"	INT. WOOD DOOR TO MATCH EXTG.	PASSAGE SET
⑧	(2) 2'-8" x 6'-8"	INT. LOUVERED DOOR	DUMMY CATCH

WINDOW SCHEDULE		
WINDOW TYPE	ROUGH OPENING	DESCRIPTION
①	2'-8" x 4'-8"	DOUBLE HUNG WINDOW BY OWNER
②	2'-6" x 4'-8"	DOUBLE HUNG WINDOW BY OWNER
③	2'-0" x 3'-3"	DOUBLE HUNG WINDOW BY OWNER
④	2'-0" x 3'-10"	DOUBLE HUNG WINDOW BY OWNER
⑤	2'-8" x 5'-0"	DOUBLE HUNG WINDOW BY OWNER (MUST MEET EGRESS)

ARCHITECTURAL LEGEND	
	SECTION INDICATOR
	ELEVATION INDICATOR
	DETAIL INDICATOR
	DOOR TYPE, LABEL, AND WIDTH
	WINDOW TYPE
	WALL TYPE

	NEW 2 x 4 WOOD STUD WALL
	EXTG. WALL TO BE REMOVED
	EXTG. WALLS TO REMAIN

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
11/24/03

ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
805 eligo creek parkway
takoma park, md
301-210-5811

[Logo]

DANA RIGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03
PERMIT SET: 11/25/03

TAMER COHEN EDELSON
NOV 25 2003
STRUCTURAL ENGINEERS

DRAWN BY: DRH

SHEET:

PROPOSED PLANS

A-2



1 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



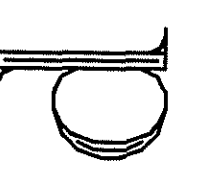
3 PROPOSED REAR ELEV.
SCALE: 1/4"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

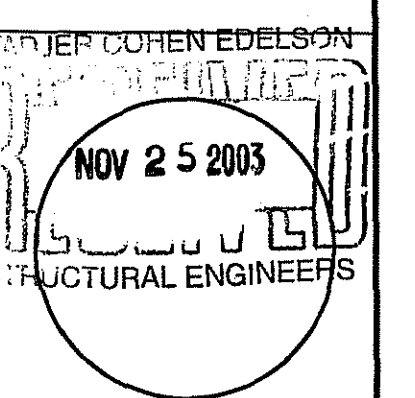
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
808 eligo creek parkway
takoma park, md
301-270-9811



DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03
PERMIT SET: 11/25/03

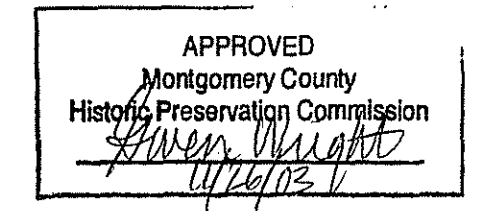


DRAWN BY: DRH

SHEET:

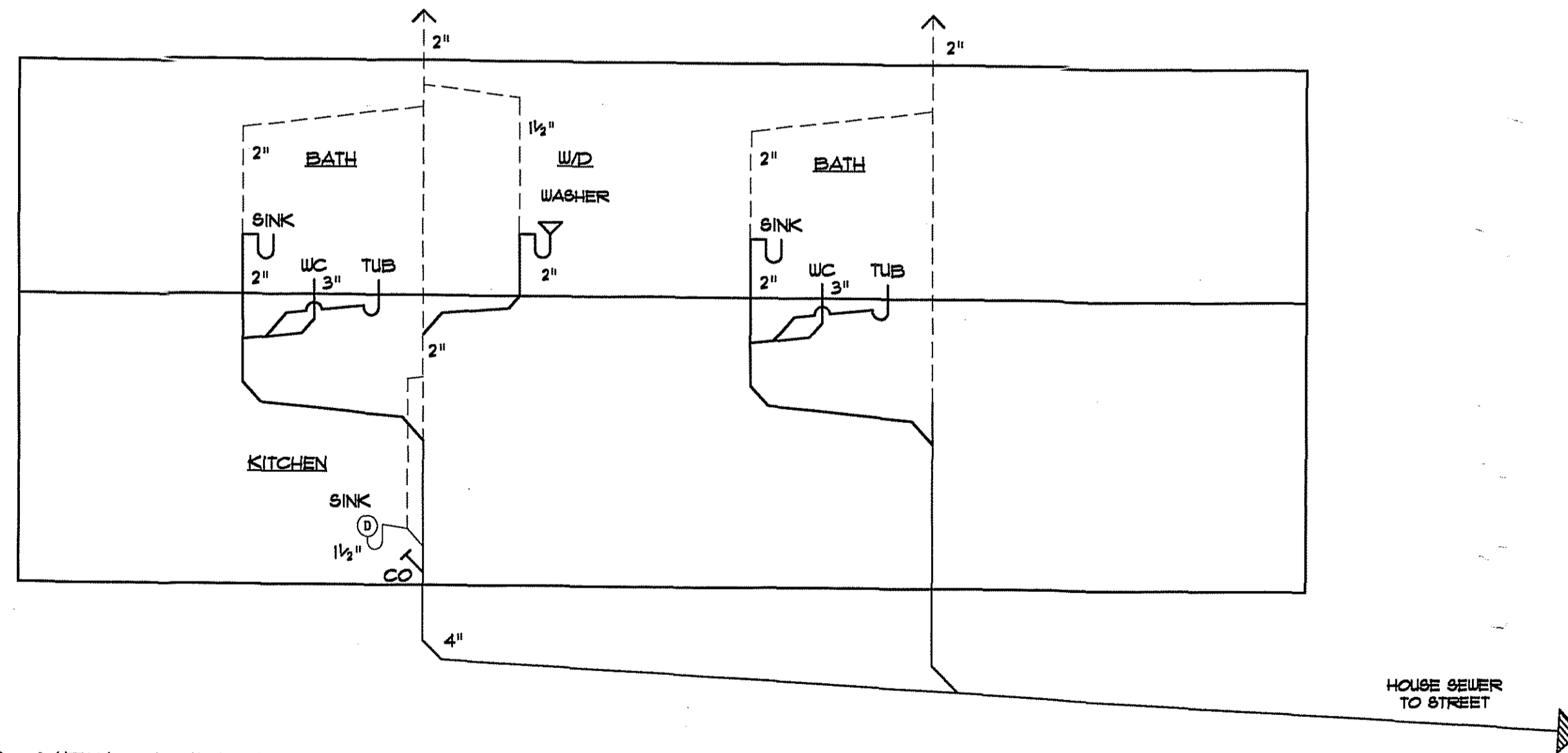
PROPOSED ELEVATIONS

A-3





1 SECTION
A-4 SCALE: 1/4"=1'-0"

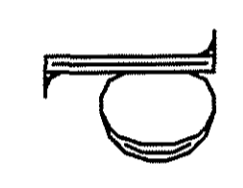


2 NEW PLUMBING RISER DIAGRAM
A-4 SCALE: NA

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
11/24/23

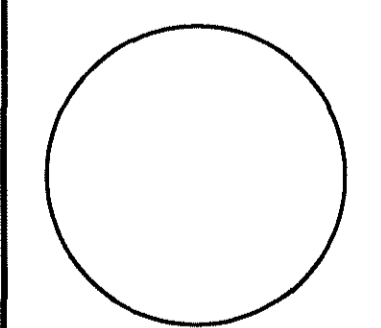
ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
38 Bryant Street, NW
Washington, DC 20001
202-886-1029



DANA ROGERS HADEN, AIA architect

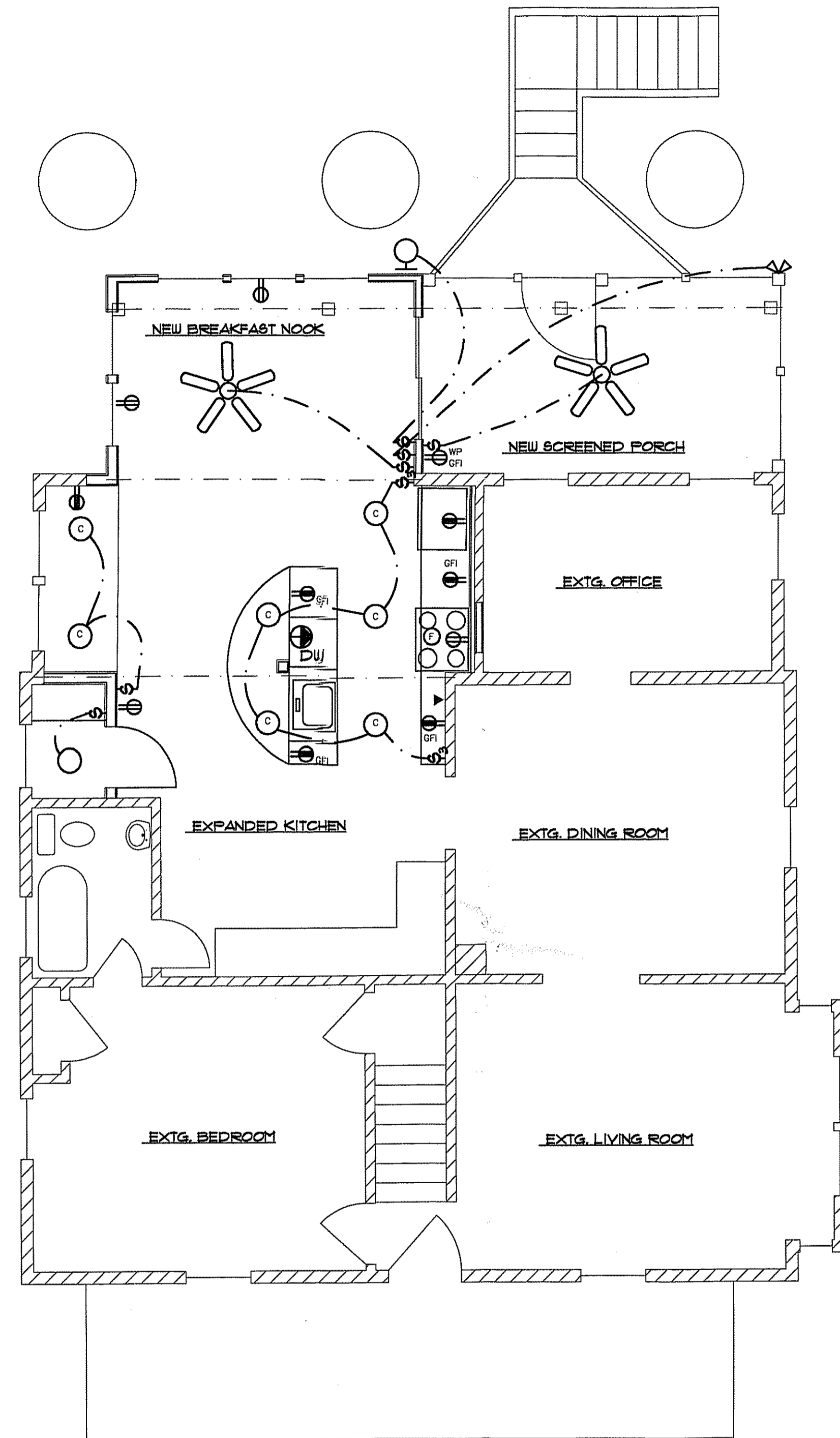
ISSUE:
REVISION SET: 1/29/23



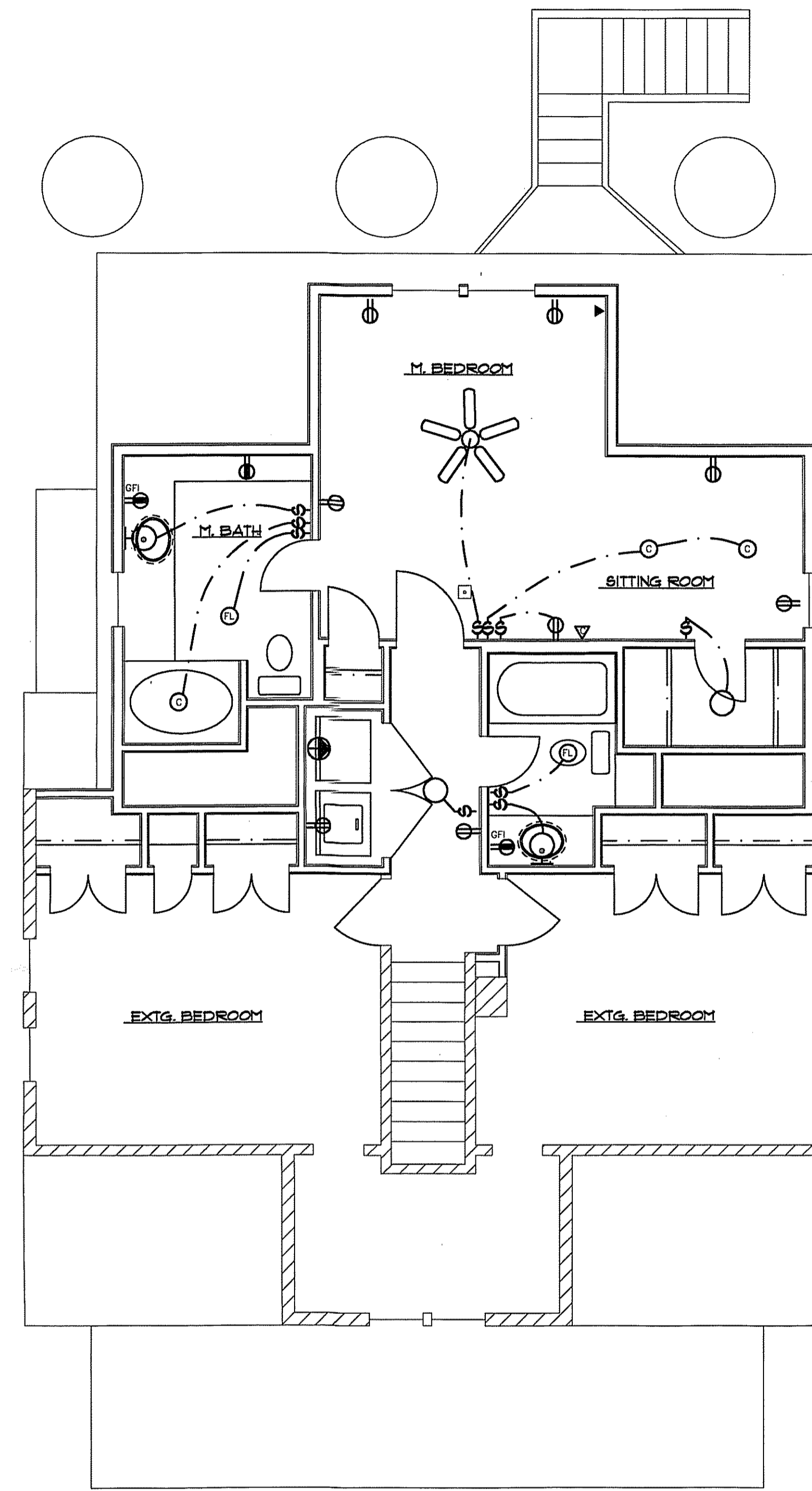
DRAWN BY: DRH

SHEET:

SECTIONS
DETAILS
A-4



1 FIRST FLOOR ELECTRICAL PLAN
E-1
SCALE: 1/4"=1'-0"



2 SECOND FLOOR ELECTRICAL PLAN
E-1
SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND			
⊖	120V DUPLEX RECEPTACLE	∇	FLOOD LIGHT
⊖	RECEPTACLE AT 48" AFF	⊞	SWITCH
⊖ _{GF}	RECEPTACLE WITH GROUND FAULT INTERRUPTER	⊞ ₃	3-WAY SWITCH
⊖ _{WP} ○ _{WP}	WATER-PROOF RECEPTACLE AND FIXTURE	⊖	EXHAUST FAN
⊖	SPECIAL PURPOSE CONNECTION	⊖	GARBAGE DISPOSAL
○	CEILING MOUNTED FIXTURE	⊖	FAN/LIGHT COMBINATION
○	RECESSED CAN LIGHT	⊖	FAN/LIGHT/HEATER COMBINATION
○	WALL-MOUNTED LIGHT FIXTURE	▲	TELEPHONE JACK
▭	FLUORESCENT FIXTURE	△	CABLE

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
11/25/03

ADDITION TO
20 HICKORY AVE.
TAKOMA PARK, MD

STUDIO D
8025 eligo creek parkway
takoma park, md
301-270-9811

d
DANA ROGERS HADEN, AIA architect

ISSUE:
HISTORIC SET: 10/1/03
PERMIT SET: 11/25/03

TAMER COHEN EDELSON
NOV 25 2003
STRUCTURAL ENGINEERS

DRAWN BY: DRH
SHEET:
ELECTRICAL PLANS

E-1