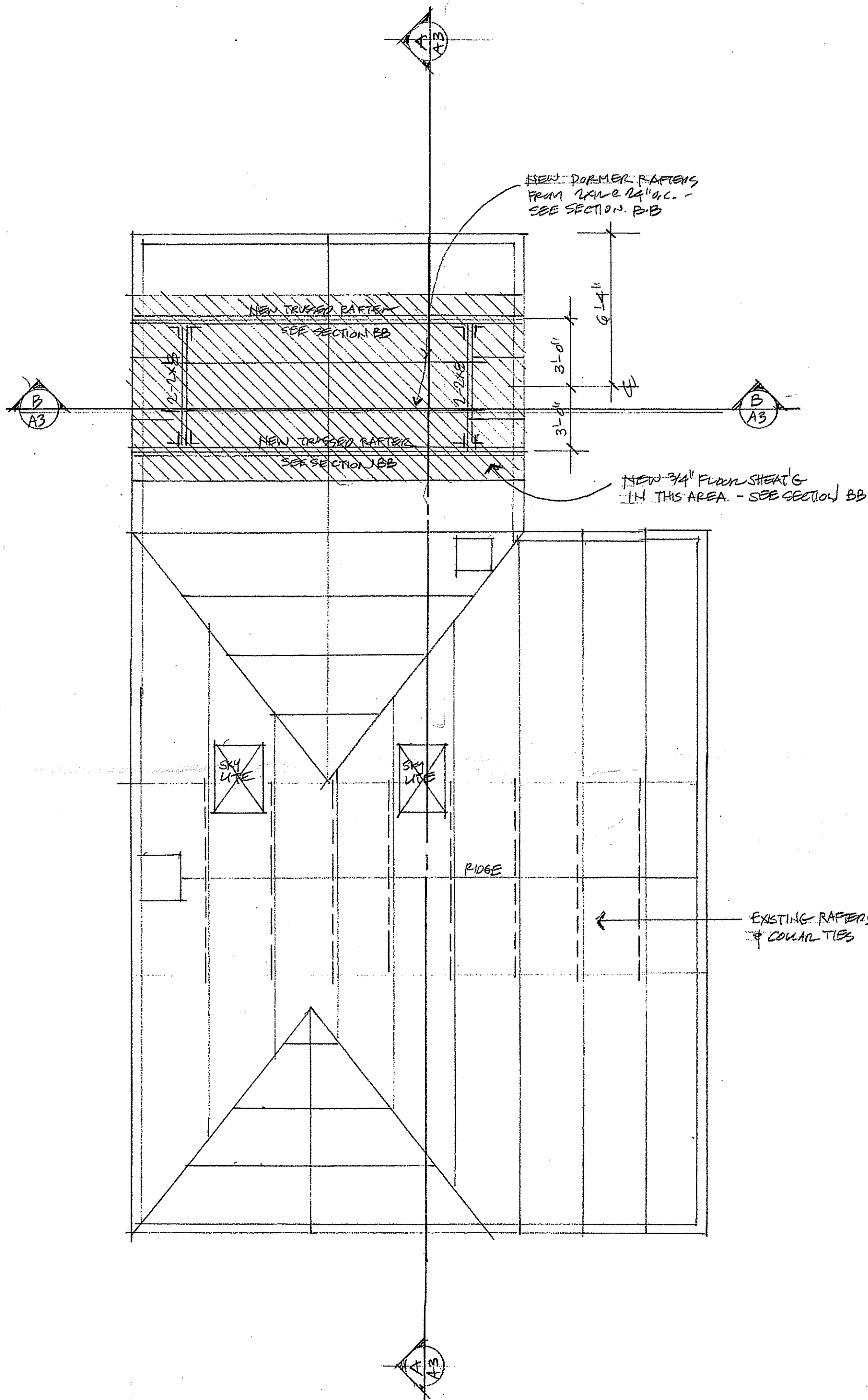
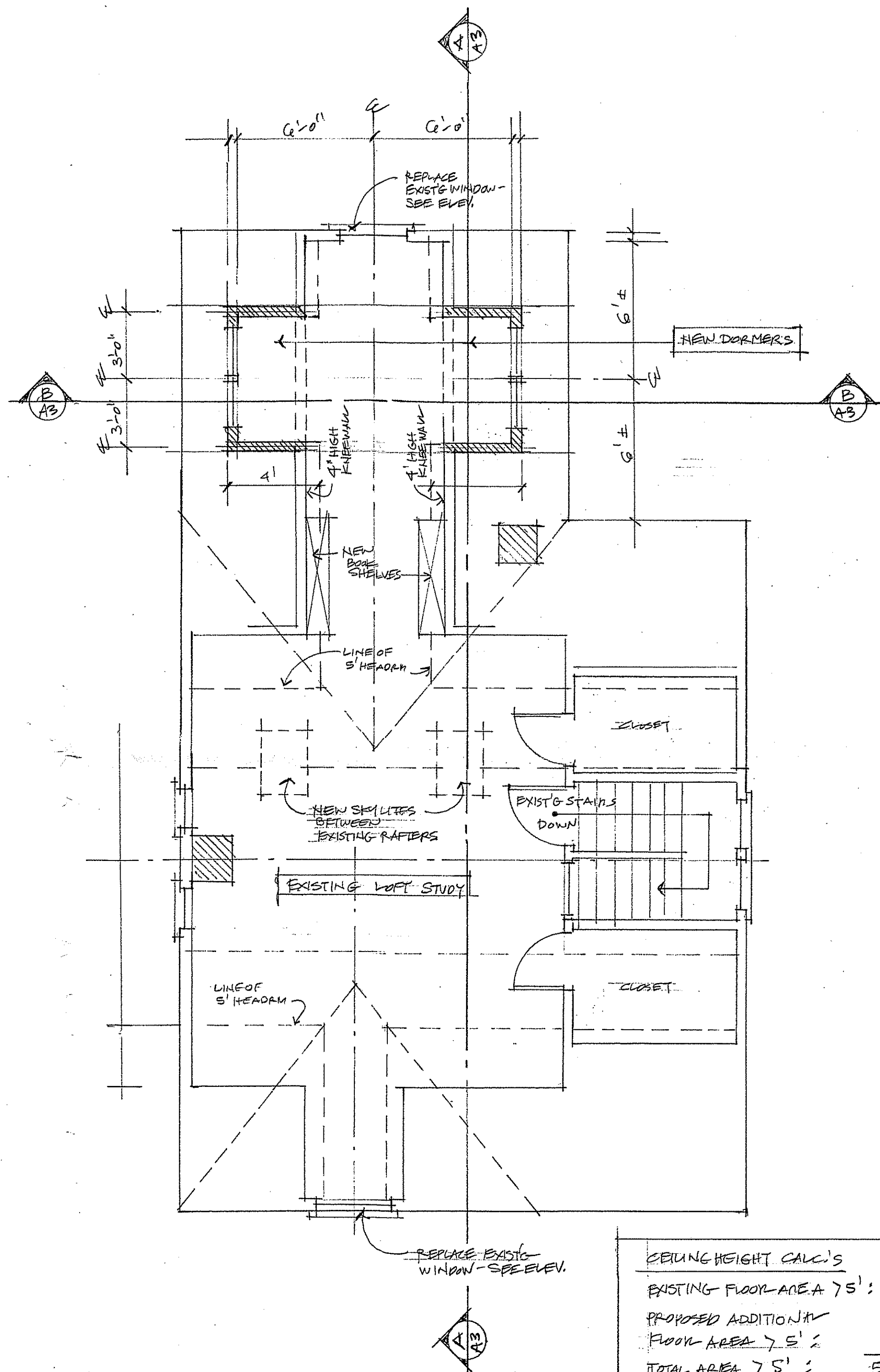


37/03-04P 7219 Holly Ave
Takoma Park Historic District



ROOF FRAMING PLAN



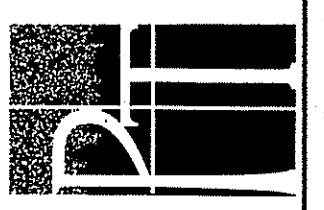
LOFT FLOOR PLAN

CEILING HEIGHT CALC'S

EXISTING FLOOR AREA 75'	481 SF.
PROPOSED ADDITIONAL FLOOR AREA 75'	48 SF.
TOTAL AREA 75'	529 SF.
TOTAL SECOND FLOOR AREA:	947 SF.
- LOFT AREA	529
- SECOND FLOOR AREA	947
	= 55.8%

APPROVED
Montgomery County
Historic Preservation Commission

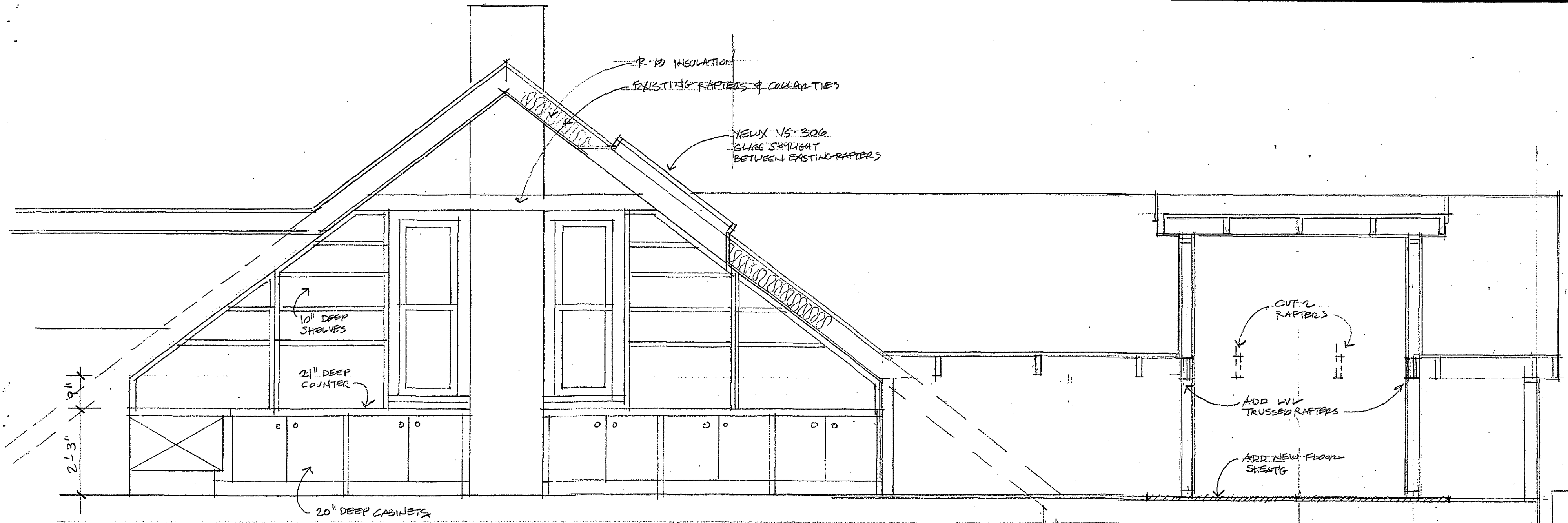
[Signature]
1-29-06



6320 Wisconsin Road
Bethesda, MD 20816
301-320-1580
301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

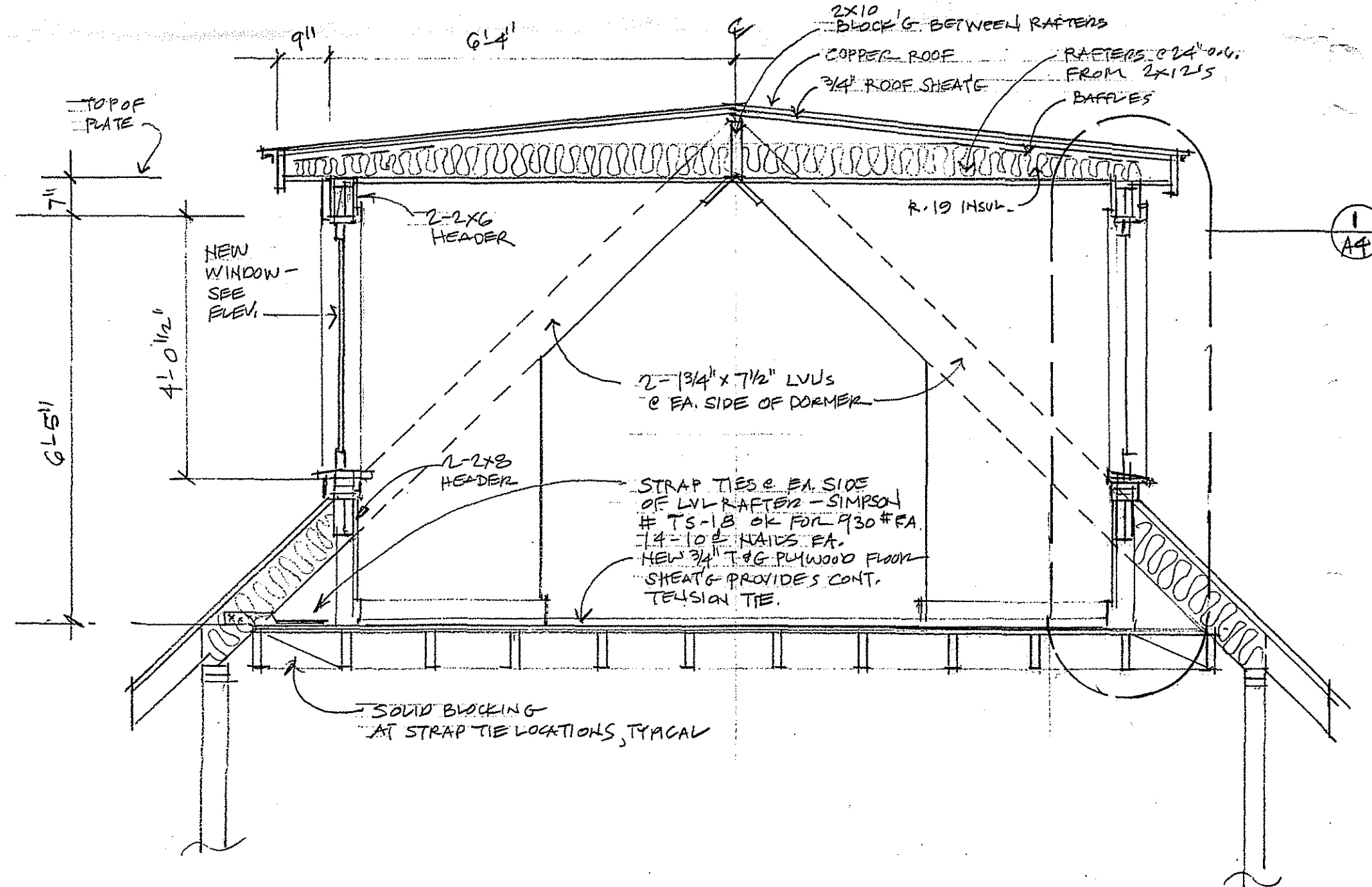
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Drawn	PT.
Job	BOOTHBY.
Sheet	<i>[Symbol]</i>
Of	6 Sheets



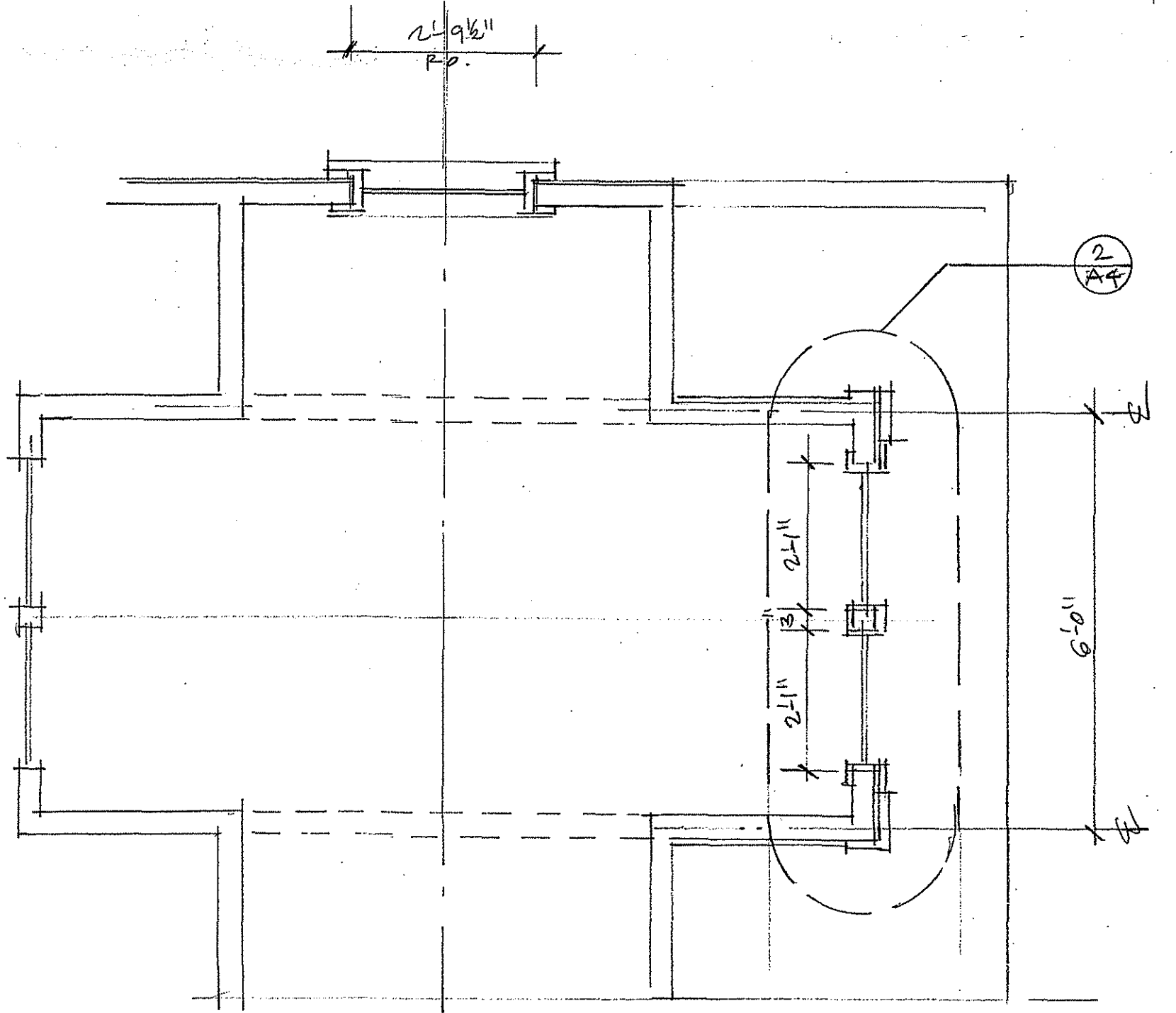
SECTION A A

APPROVED
Montgomery County
Historic Preservation Commission

APR 29-08



SECTION B B



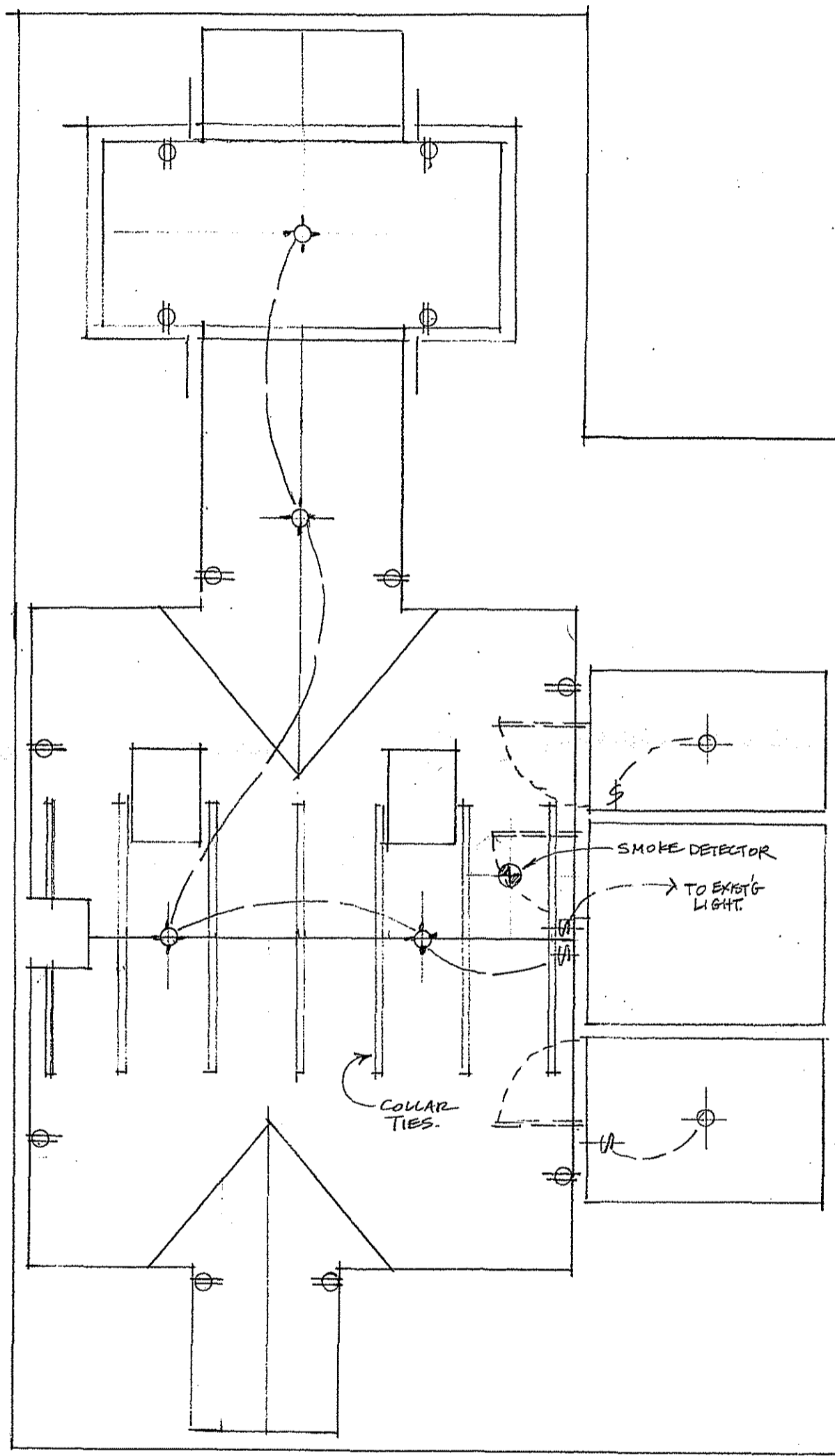
DORMER PLAN



6320 Wisconsin Road
Bethesda, MD 20816
301-320-1680
Fax - 301-320-1681
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

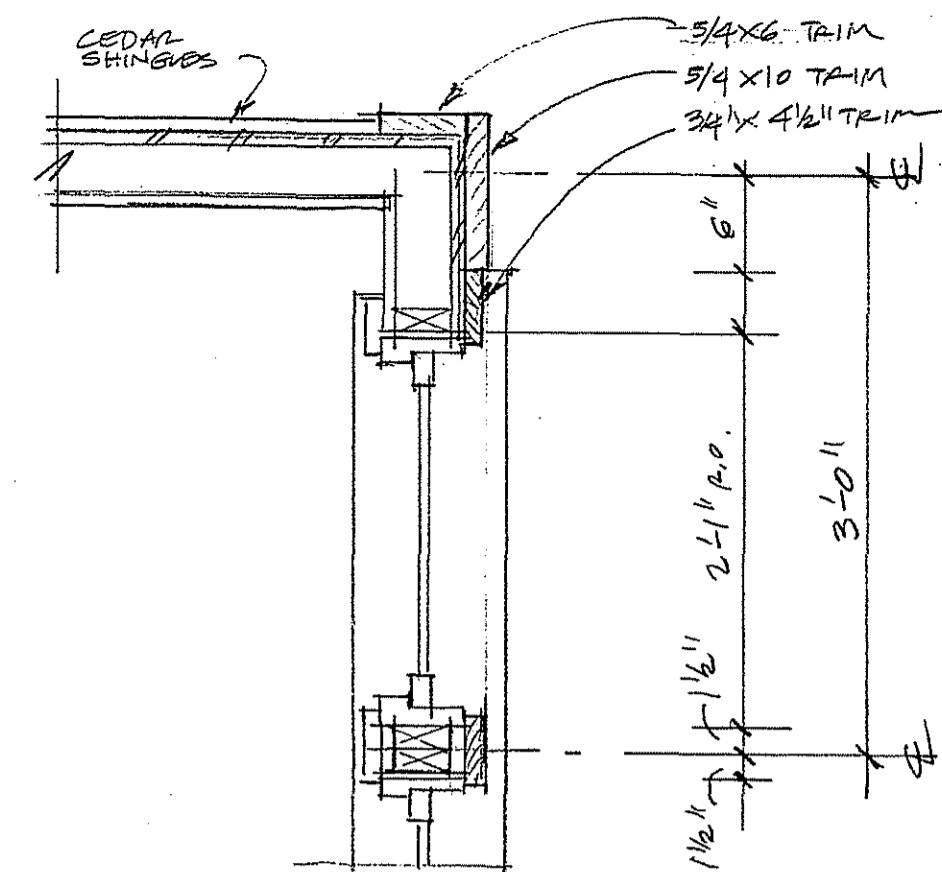
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Job	BOOTHBY
Sheet	3
Of	6 Sheets



ELECTRICAL PLAN

ELECTRICAL LEGEND

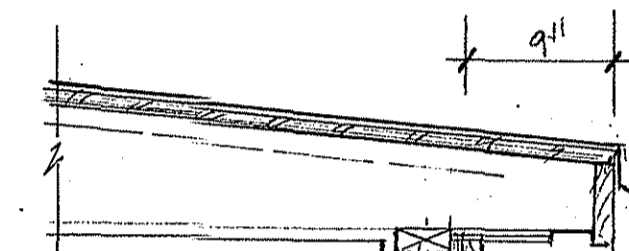
- ⊕ WALL OUTLET
- ⊕ SWITCH
- ⊙ CEILING LIGHT



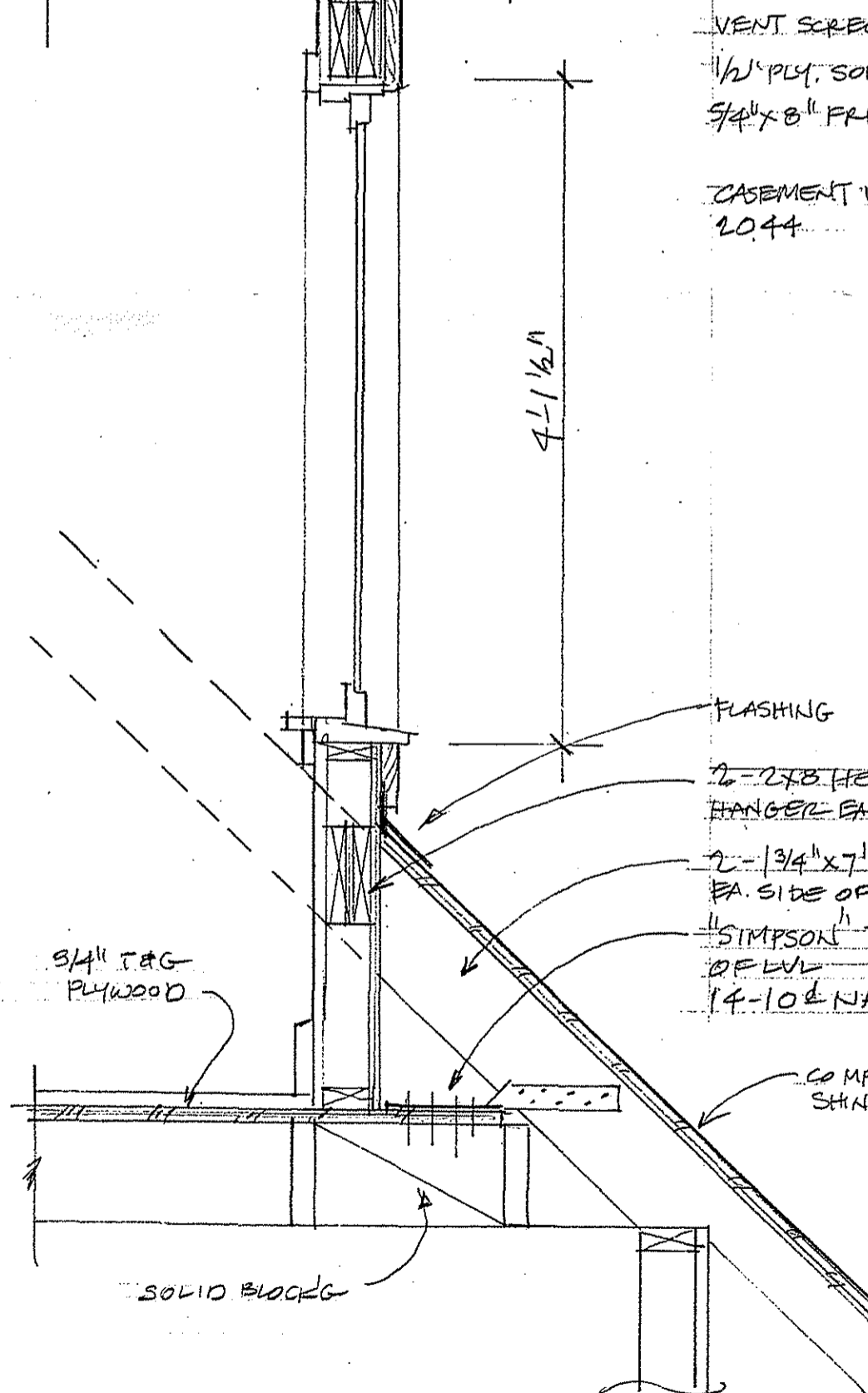
PULL DETAIL, DORMER CORNER

1" = 1'-0"

2
A4



- METAL DRIP EDGE
- 1 X 6 FASCIA
- VENT SCREEN
- 1/2 PLY. SOFFIT
- 5/4 X 8 FRIEZE
- CASEMENT WINDOW
- 2044



DORMER WALL DETAIL

1" = 1'-0"

1
A4

APPROVED
Montgomery County
Historic Preservation Commission
1-29-08



6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date	
Scale	
Drawn	PT
Job	Boothby
Sheet	4
Of	6 Sheets



PROPOSED RIGHT SIDE ELEVATION



PROPOSED FRONT ELEVATION

01	Sheet	Job	Scale	Date
6				
Sheets				

Paul Treseder
Architect AIA

6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
Fax - 301-320-1581
Paul.Treseder@verizon.net



APPROVED
Montgomery County
Architectural Commission
1-29-08

M.T.



PROPOSED LEFT SIDE ELEVATION

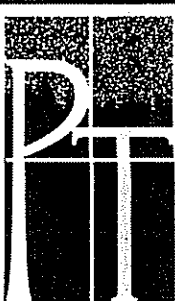


PROPOSED REAR ELEVATION

Of	Sheet	Job	Drawn	Scale	Date
6	9				

Paul Treseder
Architect AIA

6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
Fax— 301-320-1581
Paul.Treseder@verizon.net



APPROVED
Montgomery County
Historic Preservation Commission
1-29-08



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 12/21/07

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill (AF)
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #472235 - Dormer and skylight installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the December 19, 2007 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Gary Norvell and Colleen Boothby
Address: 7219 Holly Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Paul Tresedor - Architect
Daytime Phone No.: 301-320-1580

Tax Account No.: 01077704
Name of Property Owner: Gary NORVELL + Colleen Boothby Daytime Phone No.: 301-588-5680
Address: 7219 Holly Ave. Takoma Park, MD. 20912-4223
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7219 Street: Holly Ave.
Town/City: Takoma Park Nearest Cross Street: Tulip Ave.
Lot: 28 Block: 6 Subdivision: 25
Liber: _____ Folio: _____ Parcel: Map - JN42

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Attic
1B. Construction cost estimate: \$ 40,000.-
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Gary Norvell November 13, 2007
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 12-21-07
Application/Permit No.: 472235 Date Filed: 11/27/07 Date Issued: _____

7219 Holly Avenue, Takoma Park, Maryland

Description of existing structure and environmental setting

The existing house is a "Category 1" house dating from the 1890's, 2-1/2 stories high with a steeply pitched main roof. The exterior is distinguished by its porches and the decorative siding in the gable. The house is on a narrow, deep lot which slopes to the rear. It is on Holly Avenue in Takoma Park, a street with many similar vintage homes. There is a later addition and deck in the rear of the house.

General description of the project and its affect on the historic resource and district and environmental setting.

The proposed project is the addition of two six foot wide shed dormers on either side of the rear ell of the house. No changes are proposed in the footprint or height of the house. The dormers are designed to minimally visible from the street, being mostly obscured by the front roof of the house. The sides will be covered in cedar shingles stained to blend with the roof shingles. Two flat glazed skylights are proposed on the rear of the main roof, not visible from the street. A larger version of this scheme was proposed and approved about 3 years ago, but abandoned for cost reasons.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7219 Holly Avenue, Takoma Park	Meeting Date:	12/19/2007
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	12/12/2007
Applicant:	Gary Norvell and Colleen Boothby (Paul Treseder, Architect)	Public Notice:	12/05/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07-OO/ 37/3-04P-REVISION	Staff:	Anne Fothergill
PROPOSAL:	Rear dormer construction and front window replacement (revision to approved HAWP) and skylight installation		

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this HAWP application with the following condition:

1. The skylights will not be installed.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Stick Style
DATE: c. 1880s

BACKGROUND

In 2004 the HPC approved a Historic Area Work Permit for a rear roof expansion involving construction of a new side gable parallel to the existing side gable. The HPC also approved replacement of a non-original window in the front gable. The applicants are now requesting approval of a revised, smaller plan. The original, approved plans are in Circles 28-31 and the transcript is in Circles 25-27.

PROPOSAL

The applicants are proposing two six foot wide shed dormers on the rear ell of the house. The dormers will have cedar shingles, metal roofing, and wood windows. The applicants are also proposing to replace a non-original window in the front gable with a wood window in the same opening (decorative style to match other windows on first floor of house) and to install two skylights on the rear of the main roof. The original right side rear chimney which was approved for removal will be retained.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for

the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

The *Guidelines* define Outstanding Resources as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following *Takoma Park Guidelines* pertain to this project:

- plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- while additions should be compatible, they are not required to be replicative of earlier architectural styles.
- preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.
- preservation of original building materials and use of appropriate, compatible new materials is encouraged.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic

materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

This house is an Outstanding Resource and it is important to ensure that proposed alterations and additions are appropriate and compatible. The applicants received HPC approval for a larger roof expansion project and the proposed two rear dormers are smaller and will have less impact on this historic house than what had been approved. Skylights were not in the original approved plan and the Commission generally does not support them on Outstanding Resources.

Staff recommends approval with one condition.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
246 777-6377

DPS -#8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Paul Tresedor - Architect
Daytime Phone No.: 301-320-1580

Tax Account No.: 01077704
Name of Property Owner: Gary NORVELL + Colleen Boothby Daytime Phone No.: 301-588-5680
Address: 7219 Holly Ave. Takoma Park, MD. 20912-4223
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

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House Number: 7219 Street: Holly Ave.
Town/City: Takoma Park Nearest Cross Street: Tulip Ave.
Lot: 28 Block: 6 Subdivision: 25
Liber: _____ Folio: _____ Parcel: Map - JN42

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4). Other: AHIC
1B. Construction cost estimate: \$ 40,000.-
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Gary Norvell November 13, 2007
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 492235 Date Filed: 11/27/07 Date Issued: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Addresses may be acquired from "Real Property Data Search" online: <http://www.dat.state.md.us/>

Owner's mailing address

Gary Norvell + Colleen Boothby
7219 Holly Ave.
Takoma Park, MD. 20912

Owner's Agent's mailing address

PAUL TRESSEDER
6320 WISCASSET RD.
BETHESDA MD.
20816

Adjacent and confronting Property Owners mailing addresses

Steve Smith + J-Lee Newell
7301 Holly Ave.
Takoma Park, MD. 20912

John + Sharon Varnum
7217 Holly Ave.
Takoma Park, MD.
20912

Katherine Wakelyn
7218 Holly Ave.
Takoma Park, MD.
20912

James Epstein
4 Barclay Ave.
Takoma Park, MD.
20912

7219 Holly Avenue, Takoma Park, Maryland

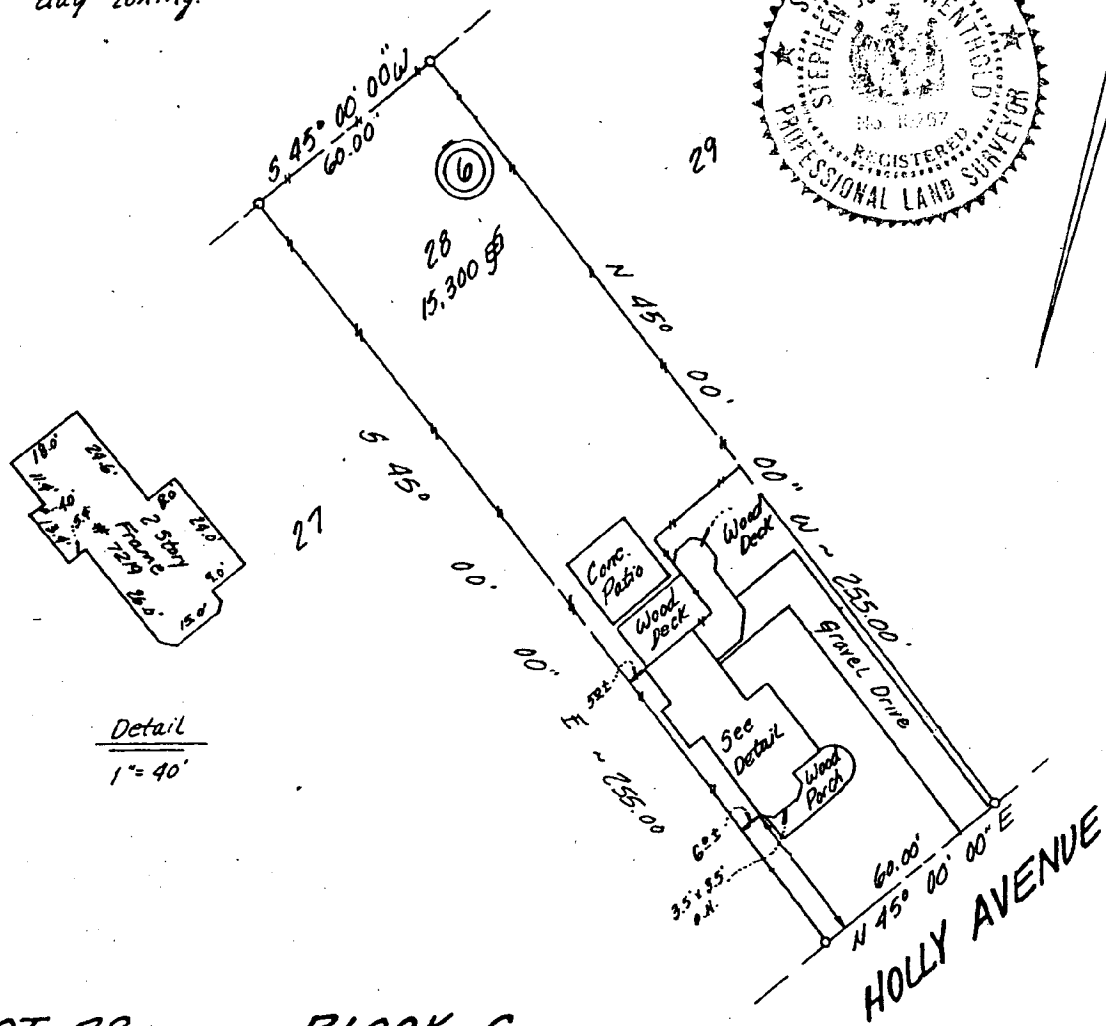
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Note: Property predates modern day zoning.



LOT 28 BLOCK 6
 B.F. GILBERT'S ADDITION TO TAKOMA PARK

Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

6-21-94
 Date

Stephen J. Wenthold
 Stephen J. Wenthold
 Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED



Meridian Surveys, Inc.
 2401 Research Boulevard
 Suite 270
 Rockville MD. 20850
 (301) 840-0025

Scale: 1" = 50', 1" = 40'
 Plat Book: B
 Plat No.: 24
 Work Order: 94-2704

Property
 Address: 7219 Holly Avenue
 Election District # 13
 Jurisdiction: Montgomery County, Maryland

7



EXISTING FRONT ELEVATION

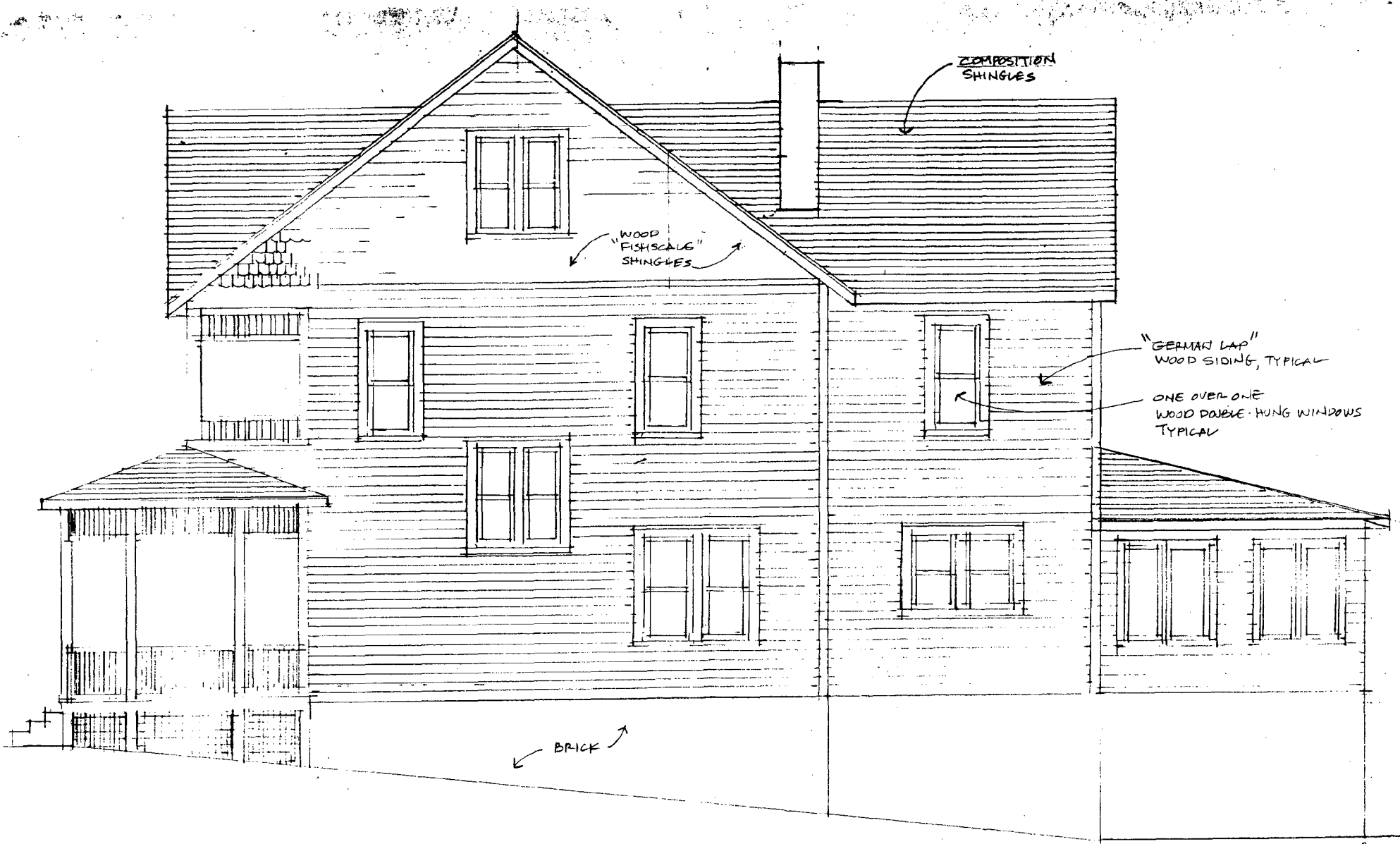
8

NEW DECORATIVE
WOOD WINDOW IN EXIST'G
ROUGH OPENING



PROPOSED FRONT ELEVATION

(9)



EXISTING RIGHT SIDE ELEVATION



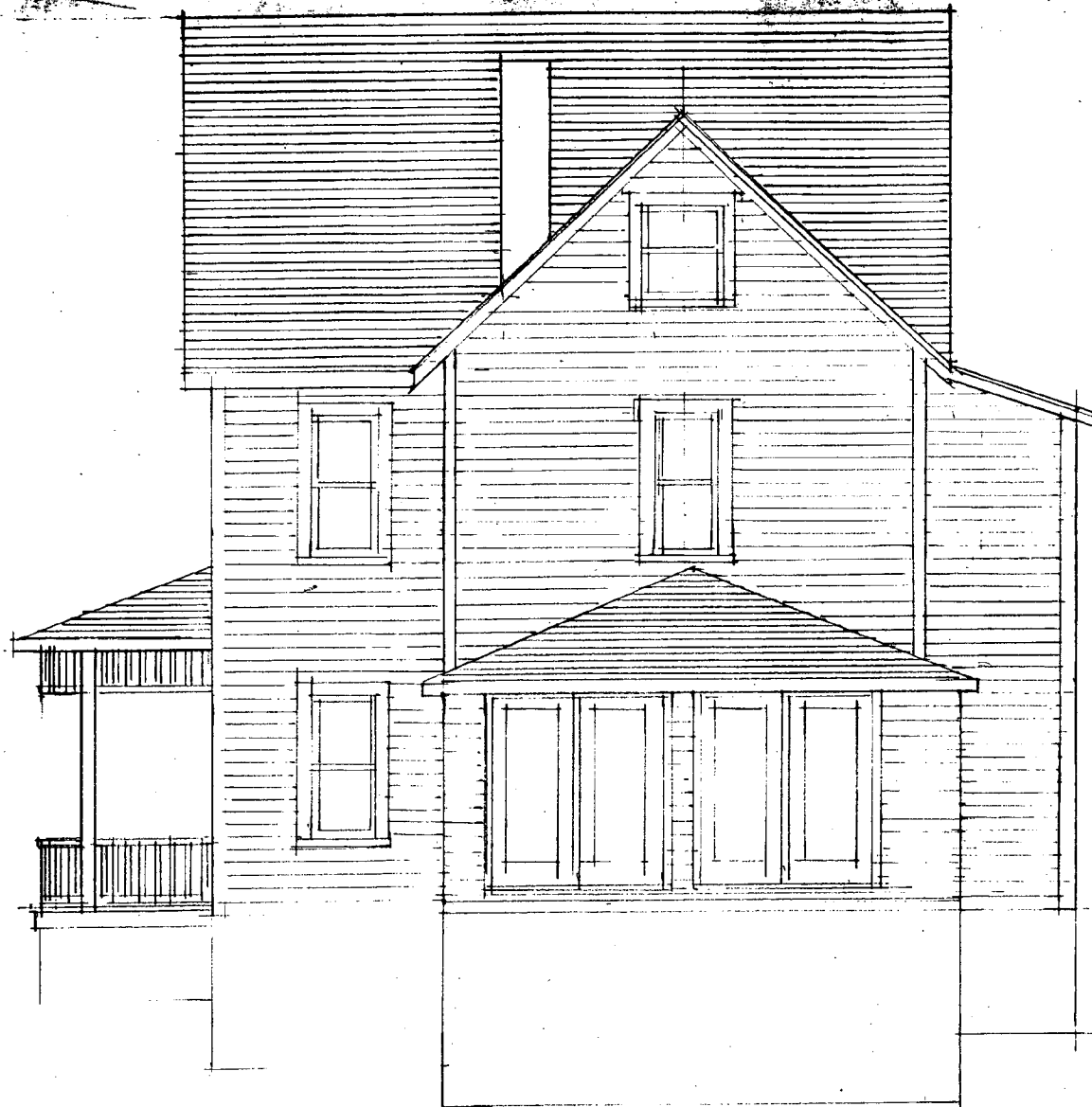
METAL ROOFING

PROPOSED DORMER
W/ WOOD
CASEMENT WINDOWS

COMPOSITION SHINGLES

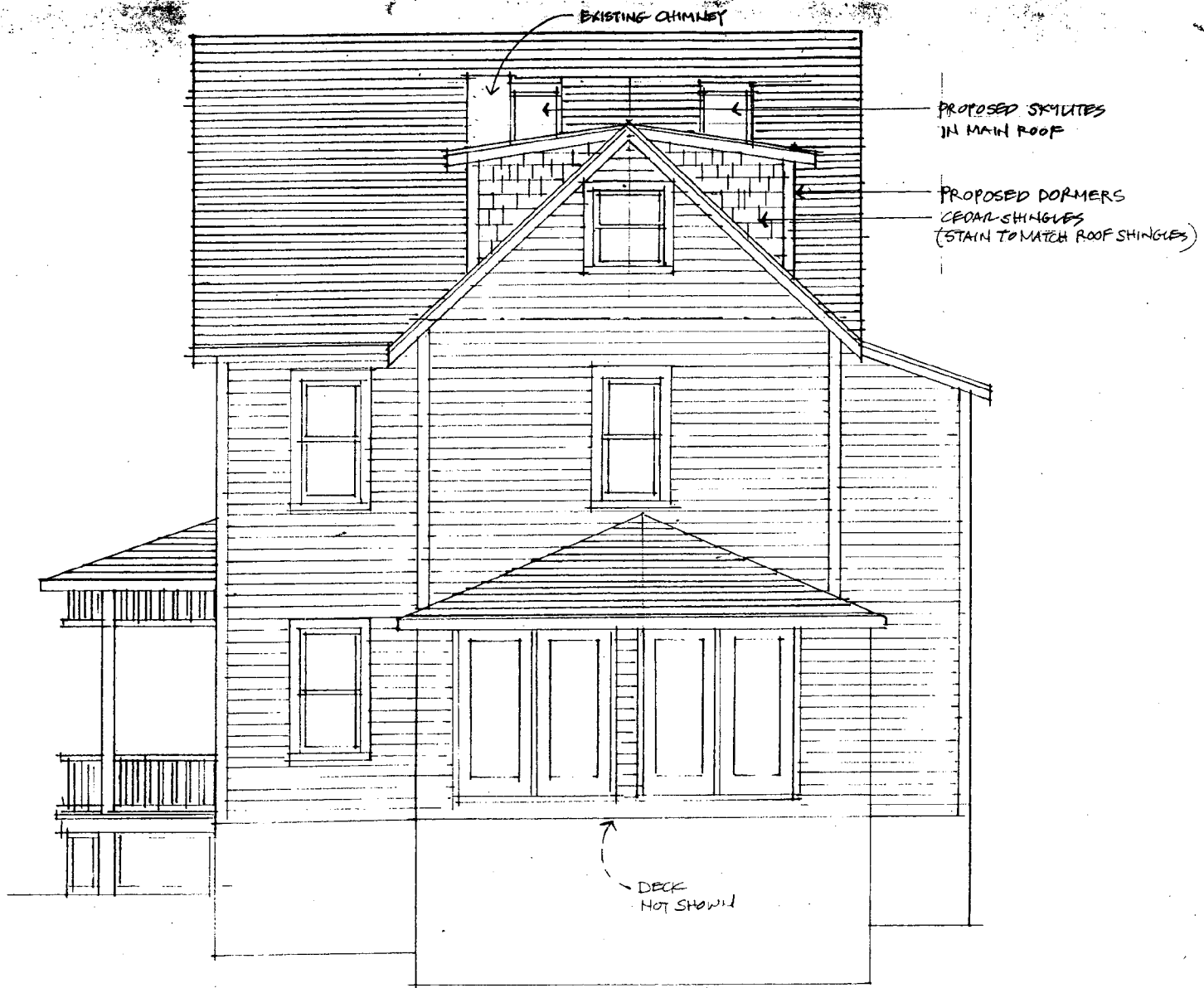
PROPOSED RIGHT SIDE ELEVATION

②



EXISTING REAR ELEVATION

12



PROPOSED REAR ELEVATION



EXISTING LEFT SIDE ELEVATION

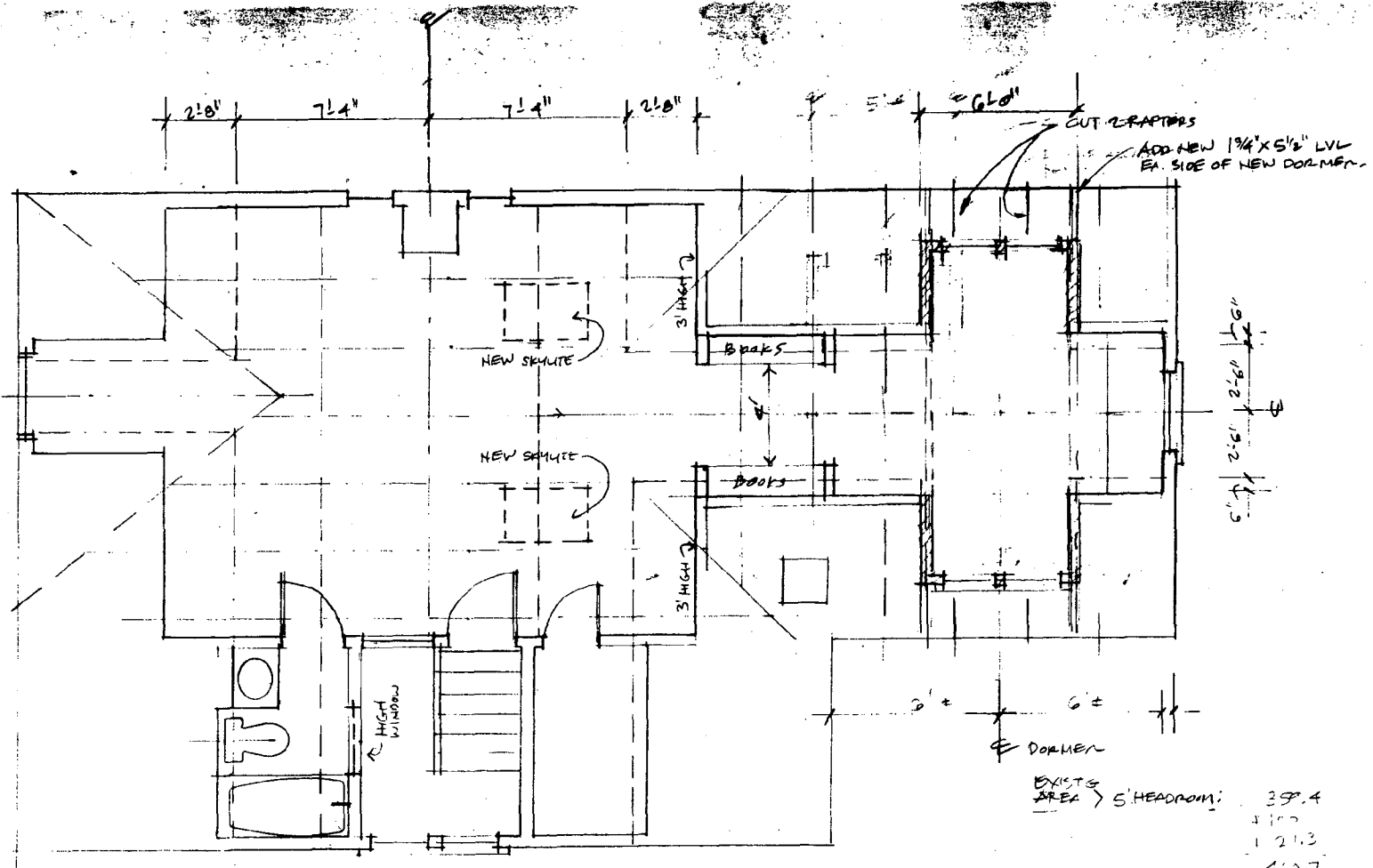
14



PROPOSED LEFT SIDE ELEVATION

15

5
 8' 11 1/4" 14' 8"
 1' 4" 2' 7"



REMODEL OF EXISTING LEFT

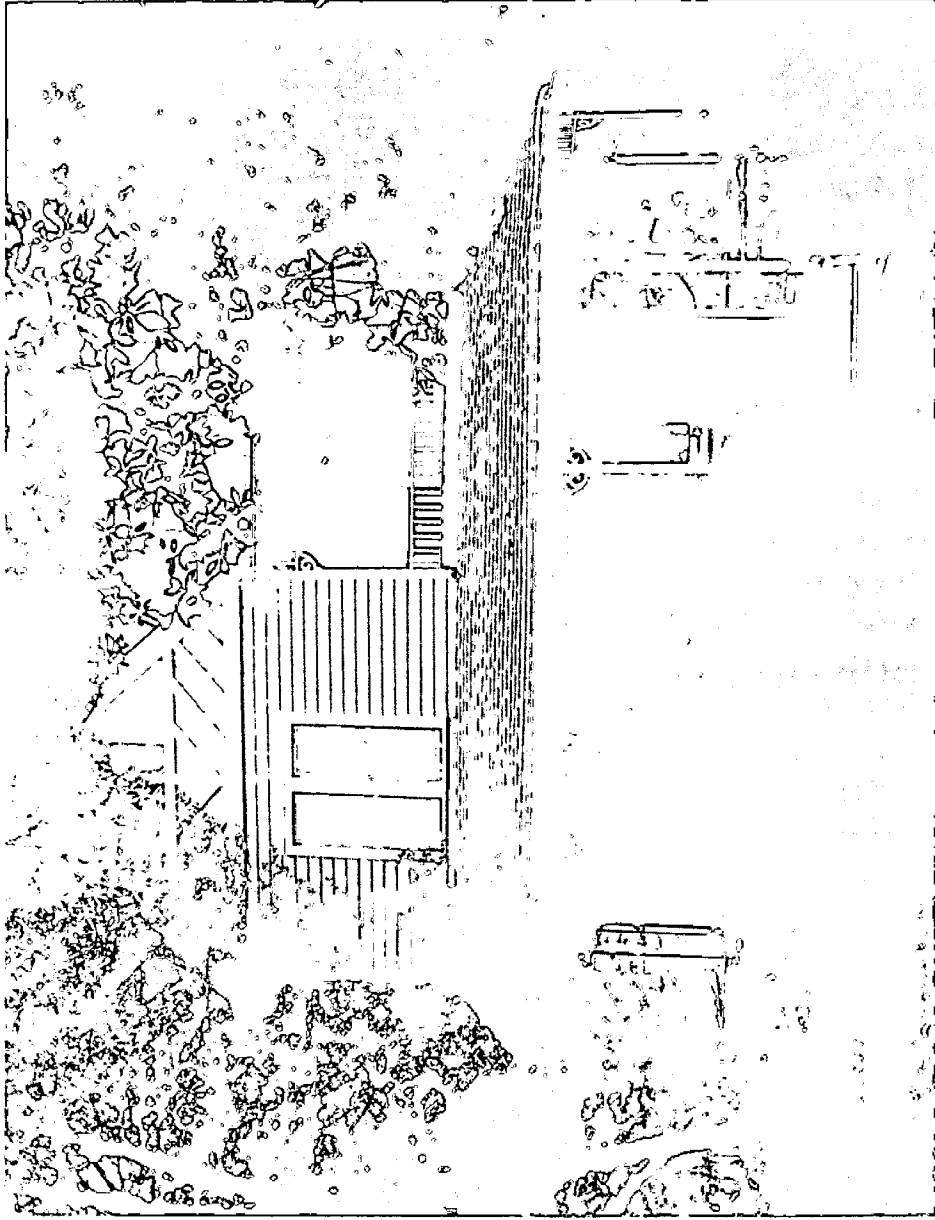
EXISTS AREA > 5' HEADROOM: 359.4
 1100
 1213
 410.7

EXISTING SECOND FLOOR AREA: 735
 211
 242

PROPOSED ADD'L LEFT AREA 7.5 HEADROOM: 36 SF

$\frac{481}{747} = 50.9\%$

$\frac{517}{747} = 54.6\% < 50\%$



FRONT VIEW



LEFT SIDE VIEW



RIGHT SIDE VIEW
(FROM FRONT)



RIGHT SIDE VIEW
(FROM REAR)



REAR VIEW



FRONT ENTRY DETAIL
SHOWING DECORATIVE
WINDOWS

7219 Holly



right side rear



left side of house



April 14, 2004 HPC meeting transcript

MS. O'MALLEY: Thank you. Case F we will hear later. We're going to Case I, 7219 Holly Avenue. If you'd like to come up and Staff can give your report, please?

MS. NARU: You can see on your screen, this is 7219 Holly Avenue, which is an outstanding resource in the Takoma Park Historic District. The applicants are proposing to expand the rear attic roof, which you can see better from this angle. They are trying to gain more interior head room and they want to construct a new side gable parallel to the existing side gable. The new gable would have French casement wood windows on both sides and be able to be clad in fish scale shingles and have composition roof and shingles to match the existing house.

They also are proposing the replacement of that top front gable window that you can see here. That is a non-original vinyl window and there's one on the rear gable as well. They want to replace those with two French casement wood windows. And I'll just show you, this is the right side of the house, the back that you saw, and this is the left side, taken from the street.

The applicants and their architect are here and there was some discussion at the worksession about removal of a chimney as well as possible change in cladding in the new gable so as to achieve more differentiation, perhaps a different shingle.

MS. BOOTHBY: And we'll be painting -- kind of distressing ■

MS. O'MALLEY: If you would like to state your name for the record, please?

MS. BOOTHBY: I'm Colleen Boothby.

MS. O'MALLEY: And did you have any comments about the Staff report?

MR. TRESEDER: I'm sorry, I'm Paul Treseder, the architect ■ I could ■ I realize that I could probably clarify, add a little detail on these windows if you'd like.

MS. O'MALLEY: Okay.

MR. TRESEDER: Because windows are important, and what we're proposing to do is to match the same exterior trim with the same four-and-a-half- inch wide wood trim and to order these

windows with the full two-inch thick historical style sill which I've found is -- it's funny, but the eye catches some things and that's one thing I really notice, so we plan to do that.

And the thought of -- the intent of -- on these French casement windows is to include a horizontal dividing bar halfway -- to make a true divided light window and try to mimic the -- long windows, so that there's -- at least the glass will have very similar proportions as the existing -- windows.

So, that's just an additional detail on those windows.

MS. WILLIAMS: I just have one comment. One thing that we try -- we strive for in putting new additions on historic buildings is distinguishing them from the historic building, and at the same time making them compatible and sympathetic, too. I think in your case you've done a very good job of making that sympathetic and compatible and I think we're still a little bit concerned about it being so sympathetic that it actually looks like the original, and maybe we can accomplish some distinction just by changing the material in the gable end addition. Instead of matching the fish scale shingle of the original, maybe we could just do a butt end shingle or even weatherboard or something like that.

MR. TRESEDER: Well, that certainly sounds fine to me. I would prefer to have shingles rather than weatherboard; probably painted shingles as well so that the paint color would probably be the same as the fish scale, but differentiate -- fact they're square butt shingles instead of fish scale. But that would be -- and that would probably be appropriate is that often, towards the rear of the house at least, you know materials were downgraded so that as you got to the less formal side of the house, then that would be the logical thing -- as well, so --

MS. ALDERSON: I'd like to add you just took the words out of my mouth, because I was seeing the finishes were simpler on the side and the rear. And also, because the pitch is shallower on the side to accommodate the larger area, the fish scale would kind of go with a steeply-pitched Victorian roof and I think that's why square shingles will actually look much more sympathetic with a shallow loose look.

MR. TRESEDER: Well, good. That will be an improvement.

MR. FULLER: Could you explain what happened to the chimney that shows up there?

MR. TRESEDER: Yes. There's two chimneys in the house. The fireplaces are served by the chimney on the left-hand side of the house, which is not being changed. The chimney that you see in the back, which is not visible from the front, is a small chimney that serves as the flue of the boiler - former boiler. Now we have a high-efficiency boiler, the flue is now banded and it's directly in the floor area of the area we're proposing, and so I was hoping to get rid of it to maximize the floor area.

MR. FULLER: It's an original chimney?

MR. TRESEDER: It's original chimney, yeah. It's the original flue -- chimney. But the fireplace chimney, which is visible in the front, is unchanged.

MS. O'MALLEY: Everybody see where that is on the roof? Any questions?

MS. WILLIAMS: I move we approve Case No. 37/03-04P with the added condition that the new gable end will be clad with square butt shingles as opposed to the fish scale shingles as delineated in the proposal.

MS. WATKINS: I'll second that.

MS. O'MALLEY: Any other discussion? All in favor? It's unanimous. Thank you.



NPC APPROVED

1/4" = 1'

PROPOSED FRONT ELEVATION



1/4" = 1'

HPC Approved



PROPOSED RIGHT SIDE ELEVATION

29
10

1/4" = 1'

APC APPROVED



~~21~~
30

PROPOSED LEFT SIDE ELEVATION

1/4" = 1'



MPC approved

31
14

PROPOSED REAR ELEVATION



FRONT ENTRY DETAIL
SHOWING DECORATIVE
WINDOWS

Panel.
@ veston n. nest

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7219 Holly Avenue, Takoma Park **Meeting Date:** 04/14/04
Applicant: Colleen Boothby and Gary Norvell **Report Date:** 04/07/04
Resource: Outstanding Resource **Public Notice:** 03/31/04
 Takoma Park Historic District
Review: HAWP **Tax Credit:** Partial
Case Number: 37/03-04P **Staff:** Anne Fothergill
PROPOSAL: Roof alterations and non-original window replacement
RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Outstanding Resource in the Takoma Park Historic District
STYLE: Stick Style
DATE: c. 1880s

PROPOSAL

The applicants are proposing to expand the rear attic roof to get more interior headroom by constructing a new side gable to the roof parallel to the existing side gable. The new gable would have French casement wood windows on both the left and right sides and it would be clad in fishscale shingles and have composition roofing shingles to match the existing house. They also propose the replacement of two non-original vinyl windows, one in the front gable and one in the rear gable, with two French casement wood windows. See existing and proposed elevations in Circles 7 - 14 .

STAFF DISCUSSION

An Outstanding Resource in the Takoma Park Historic District is subject to the highest level of design review, but it is within the district guidelines to make sympathetic alterations, changes, and additions to outstanding resources within the parameters of the Secretary of Interior's *Standards for Rehabilitation*. *Standard #9* states:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be

compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

While generally the HPC would rather not see changes made to the original massing of an Outstanding Resource, the proposed roof alterations are at the rear of the house and the new gable is lower than the existing gable peak. Both of these key details make the roof alterations approvable. The window replacement is approvable as the existing windows are not original and the proposed windows are an appropriate selection for this house.

The applicants' proposal is sensitive to the integrity of this resource and they have chosen a design and materials that are compatible with the house and its environment. The proposal complies with the District's guidelines and the Secretary of Interior's *Standards* and will not adversely impact the historic house, streetscape, or historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Paul Treseder

Daytime Phone No.: 301.320.1580

Tax Account No.: 01077704

Name of Property Owner: Colleen Boothby & Gary Norvell Daytime Phone No.: 202.857.2543 / 301-588-5680

Address: 7219 HOLLY AVE Takoma PK MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7219 Street: Holly Ave

Town/City: Takoma Park Nearest Cross Street: Tulip Ave

Lot: 28 Block: 6 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|---|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>Attic</u> | | | | |

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Colleen Boothby _____ 2/27/04
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 336375 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

So-called "stick" style home built in 1897
in Takoma Park historic district.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Renovate rear of attic roof to get more
headroom. Not visible from the street so
no impact on appearance of historic district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Colleen Boothby & Gary Norve II 7219 Holly Ave Takoma Park, MD 20912	
Adjacent and confronting Property Owners mailing addresses	
Steve Smith & J-Lee Newell 7301 Holly Ave Takoma Park MD 20912	John & Sharon Varnum 7217 Holly Ave Takoma Park, MD 20912
Katherine Wakelyn 7218 Holly Ave Takoma Park MD 20912	Nigel Purvis & Susan Pacholski 7300 Holly Ave Takoma Park, MD 20912
James Epstein 4 Barclay Avenue Takoma Park, MD 20912	

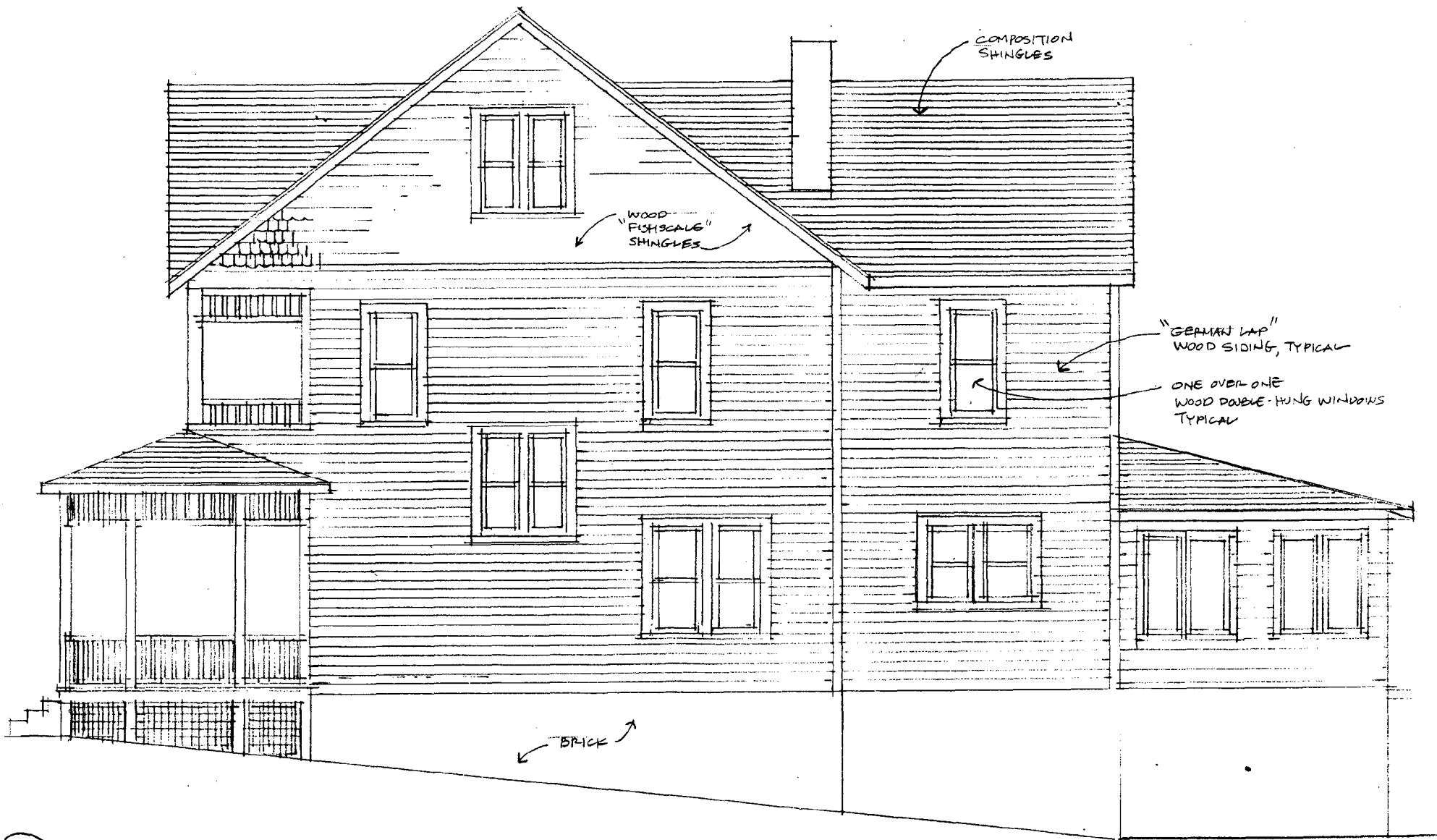


$\frac{1}{4}'' = 1''$

EXISTING FRONT ELEVATION

7

1/4" = 1'



(9)

EXISTING RIGHT SIDE ELEVATION

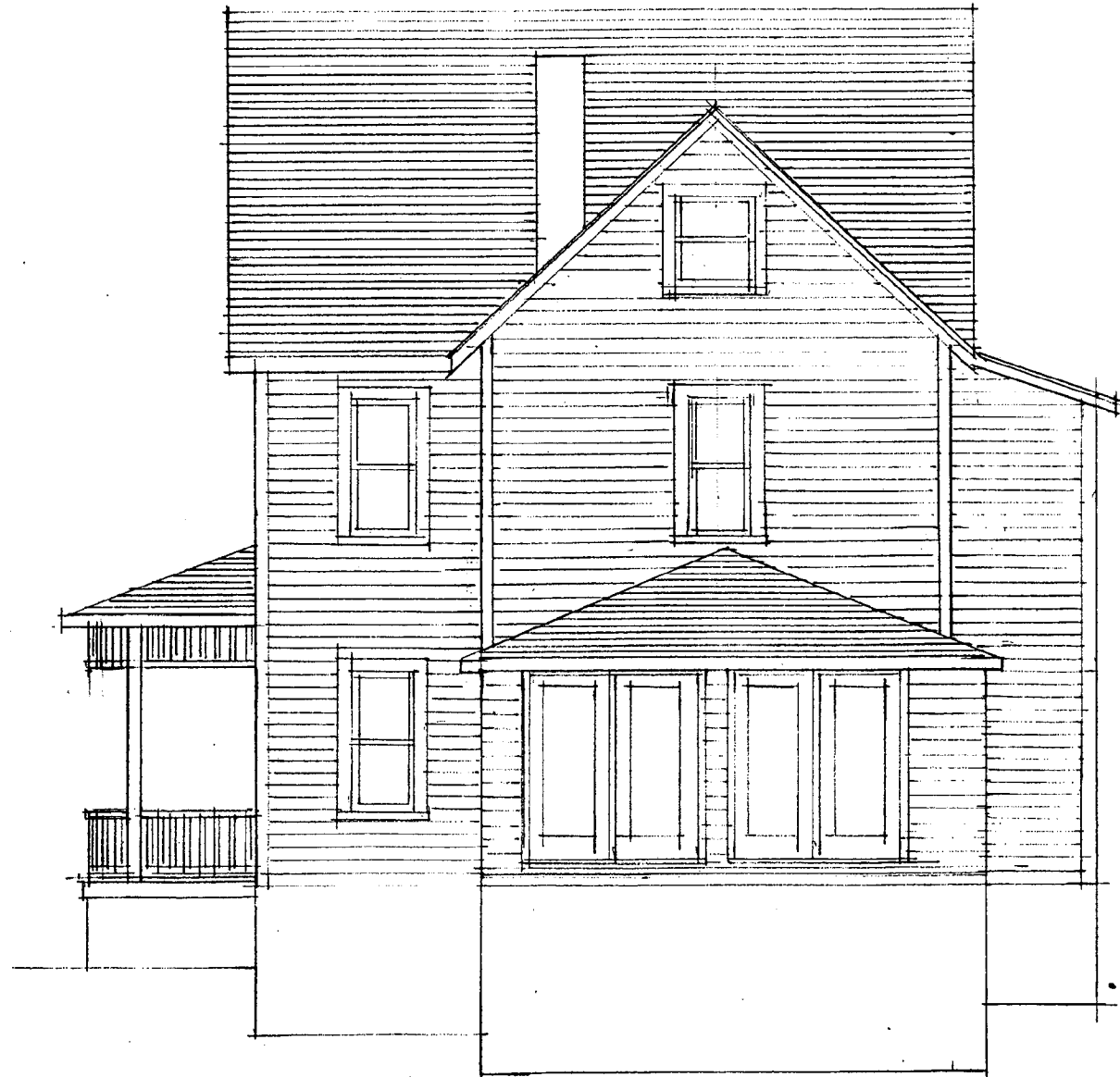
1/4" = 1'



(=)

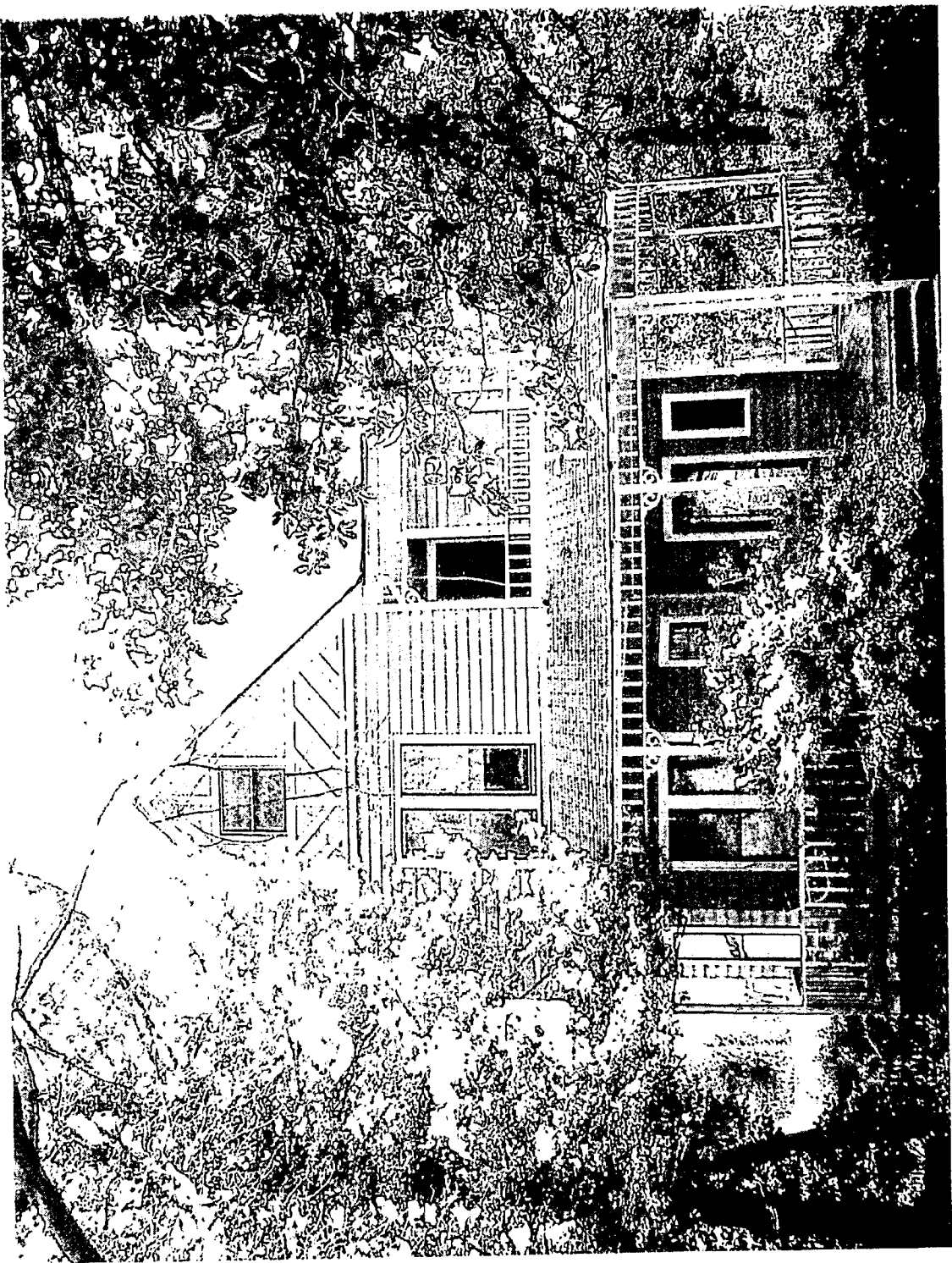
EXISTING LEFT SIDE ELEVATION

1/4" = 1'

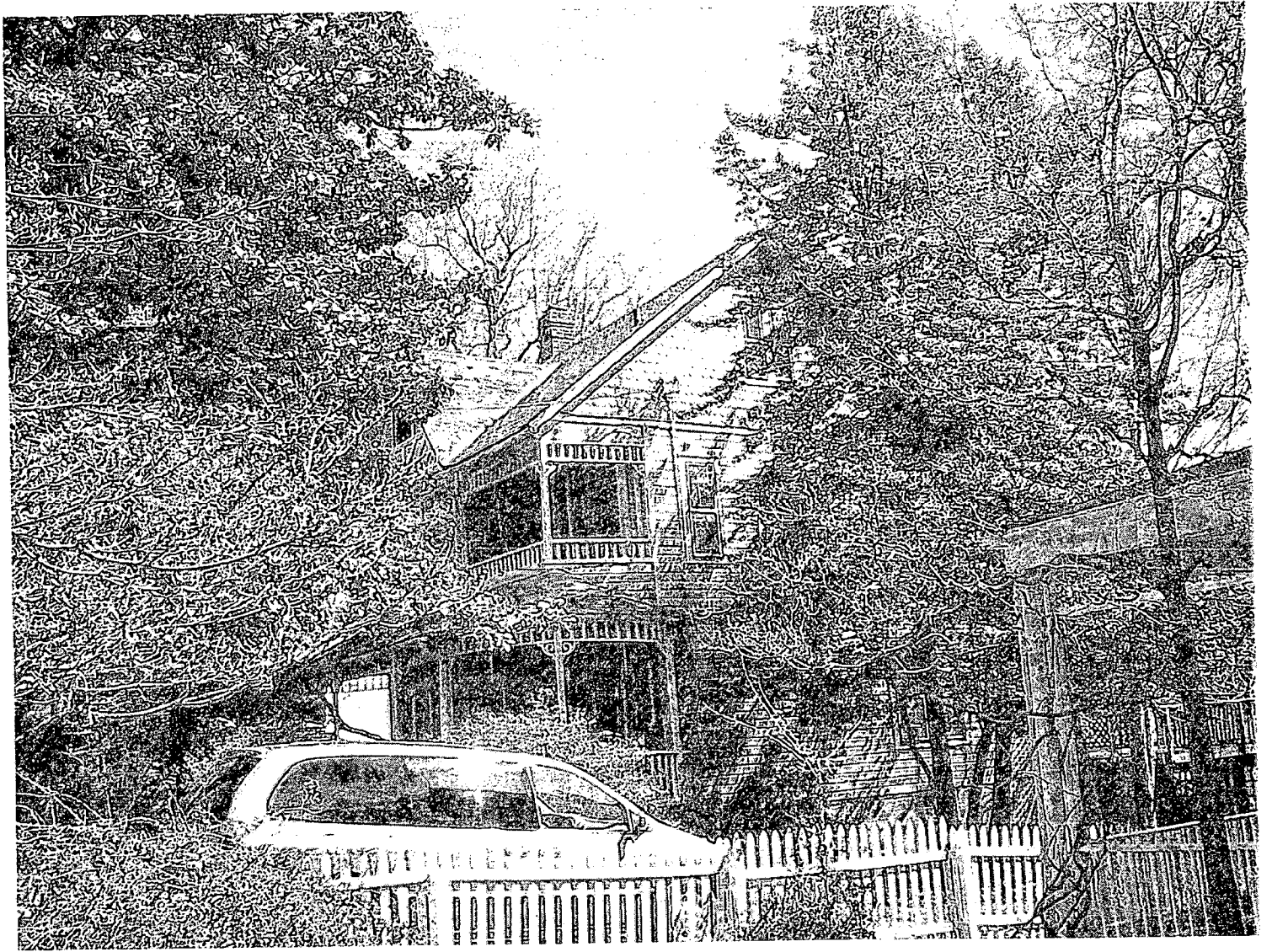


EXISTING REAR ELEVATION

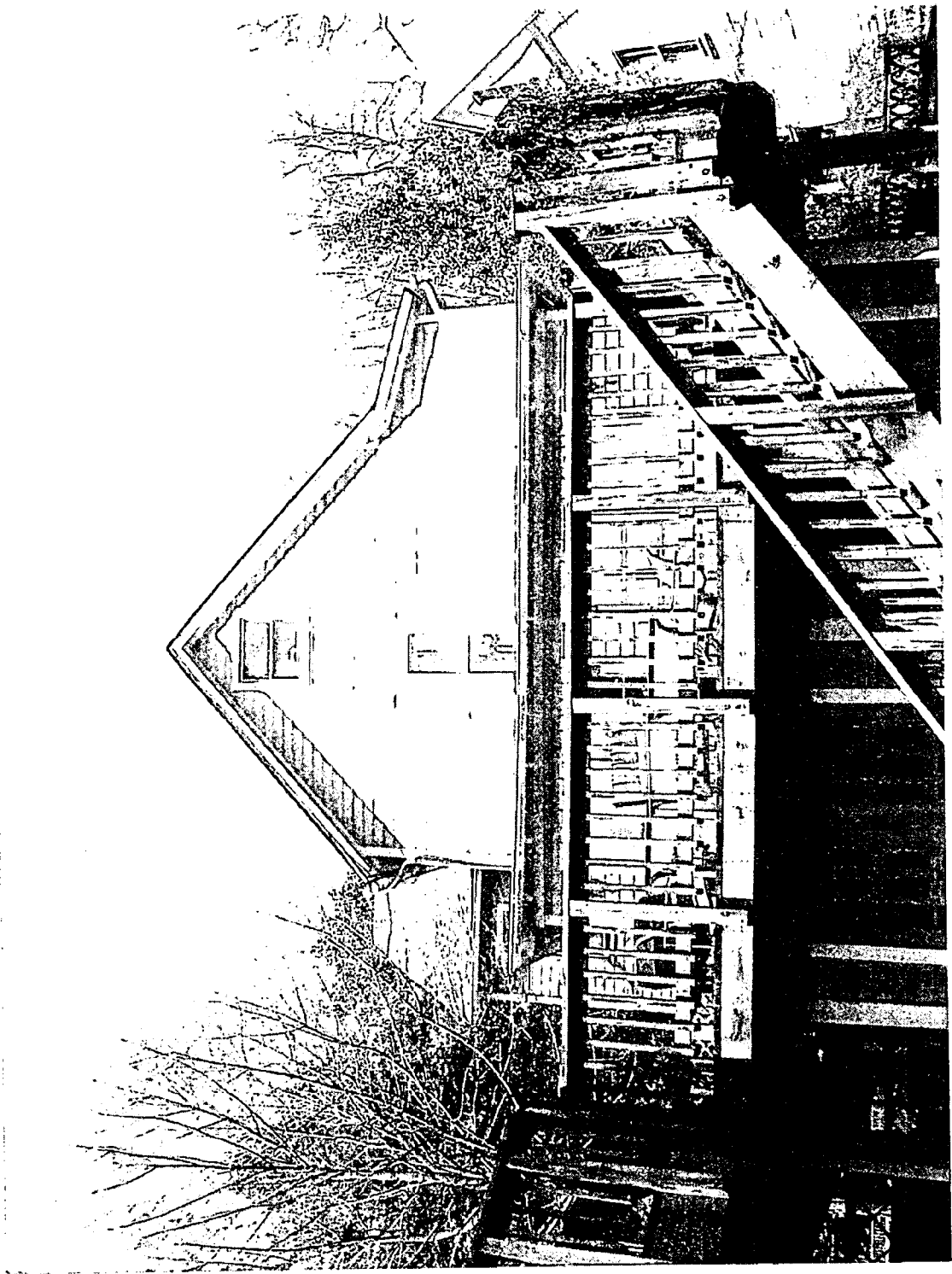
13



FRONT VIEW



RIGHT SIDE VIEW

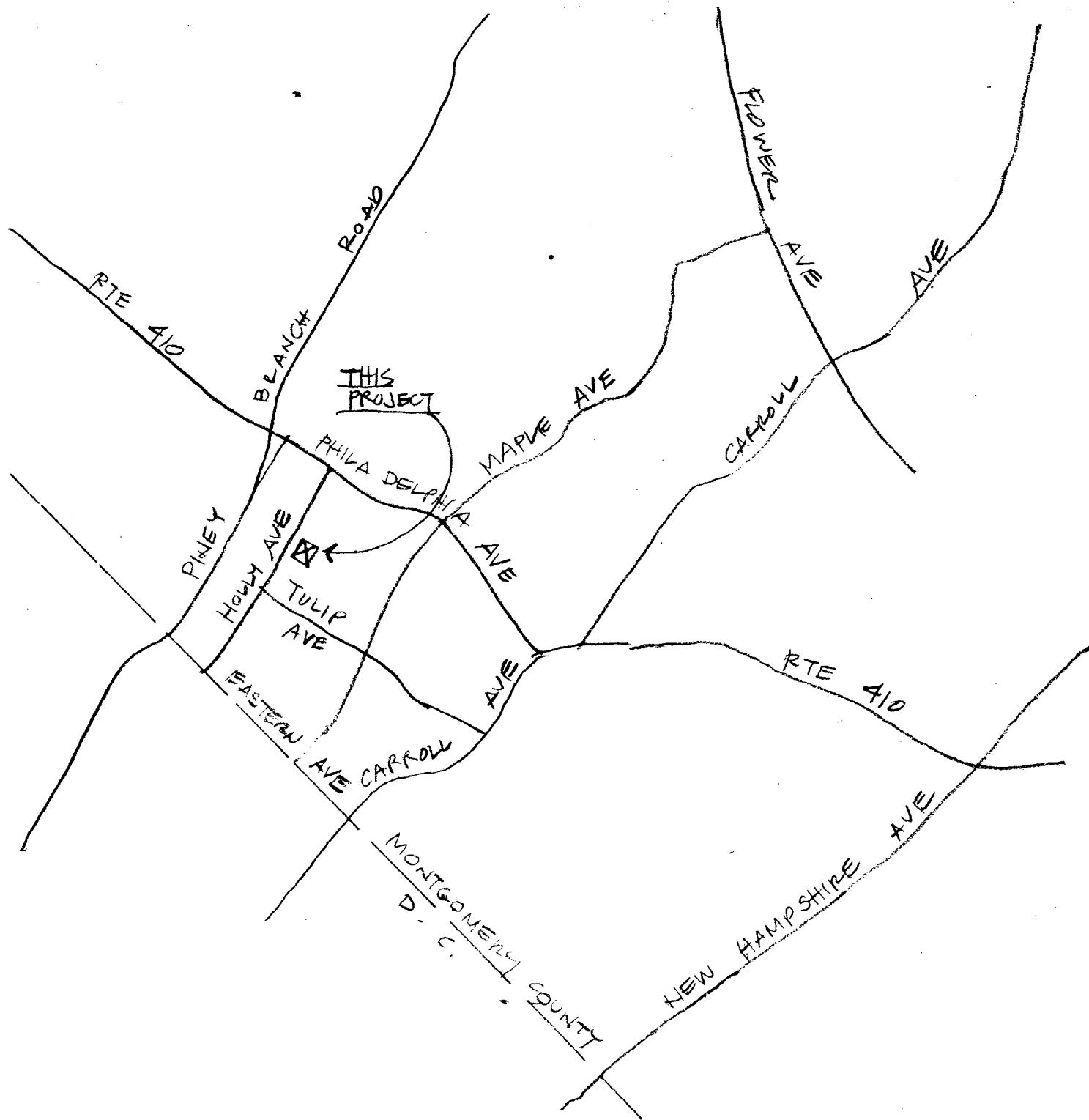


REAR VIEW

LEFT SIDE
VIEW



VICINITY PLAN



INDEX TO DRAWINGS

- 1 COVER PAGE & INDEX
- 2 SITE PLAN
- 3 DEMOLITION PLAN
- 4 NEW LOFT FLOOR PLAN
- 5 EXIST'G 2ND FLOOR PLAN W/ MODIFICATIONS
- 6 LOFT FRAMING PLAN
- 7 EXISTING FRONT ELEVATION
- 8 PROPOSED FRONT ELEVATION
- 9 EXISTING RIGHT (SOUTH) SIDE ELEVATION
- 10 PROPOSED RIGHT SIDE ELEVATION
- 11 EXISTING REAR ELEVATION
- 12 PROPOSED REAR ELEVATION
- 13 EXISTING LEFT (NORTH) SIDE ELEVATION
- 14 PROPOSED LEFT SIDE ELEVATION
- 15 CROSS SECTION A-A
- 16 LOFT LIGHTING PLAN

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE IRC, 2003 EDITION, AS AMENDED BY MONTGOMERY COUNTY.
2. DESIGN LIVE LOADS ARE:
 - 40 PSF 1ST FLOOR
 - 30 PSF 2ND FLOOR & LOFT
 - 30 PSF ROOF SNOW LOAD
3. DESIGN DEAD LOADS ARE:
 - 10 PSF FLOORS & WALLS
 - 15 PSF ROOF
4. DESIGN WIND LOAD IS: 15 PSF (90 MPH MAX WIND SPEED)
5. ASSUMED SOIL BEARING CAPACITY IS: 2000 PSF
6. ALL EXTERIOR FOOTINGS SHALL BE 24" DEEP, MIN.

Paul Treseder
Architect AIA

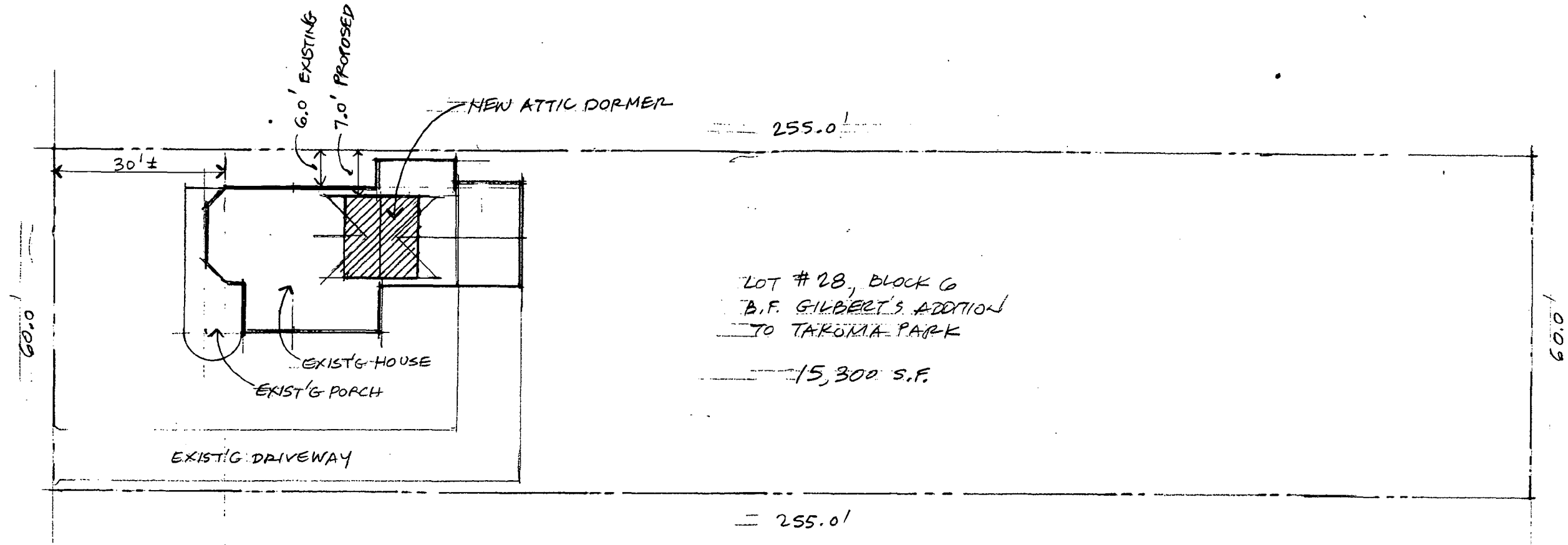
6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
Fax - 301-320-1581
Paul.Treseder@verizon.net



ADDITION to the BOOTHBY-NORWEN RESIDENCE
7219 HOLLY AVENUE, TAKOMA PARK, MD.

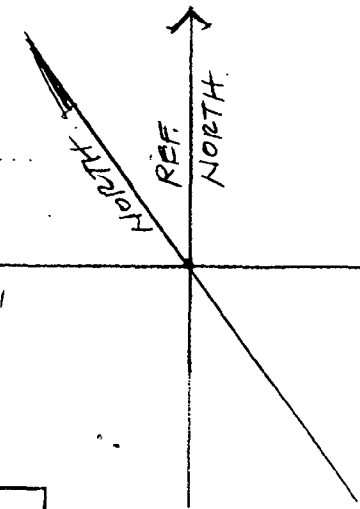
APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
3-30-05

HOLLY AVENUE



SITE PLAN

Scale: 1" = 20'-0"



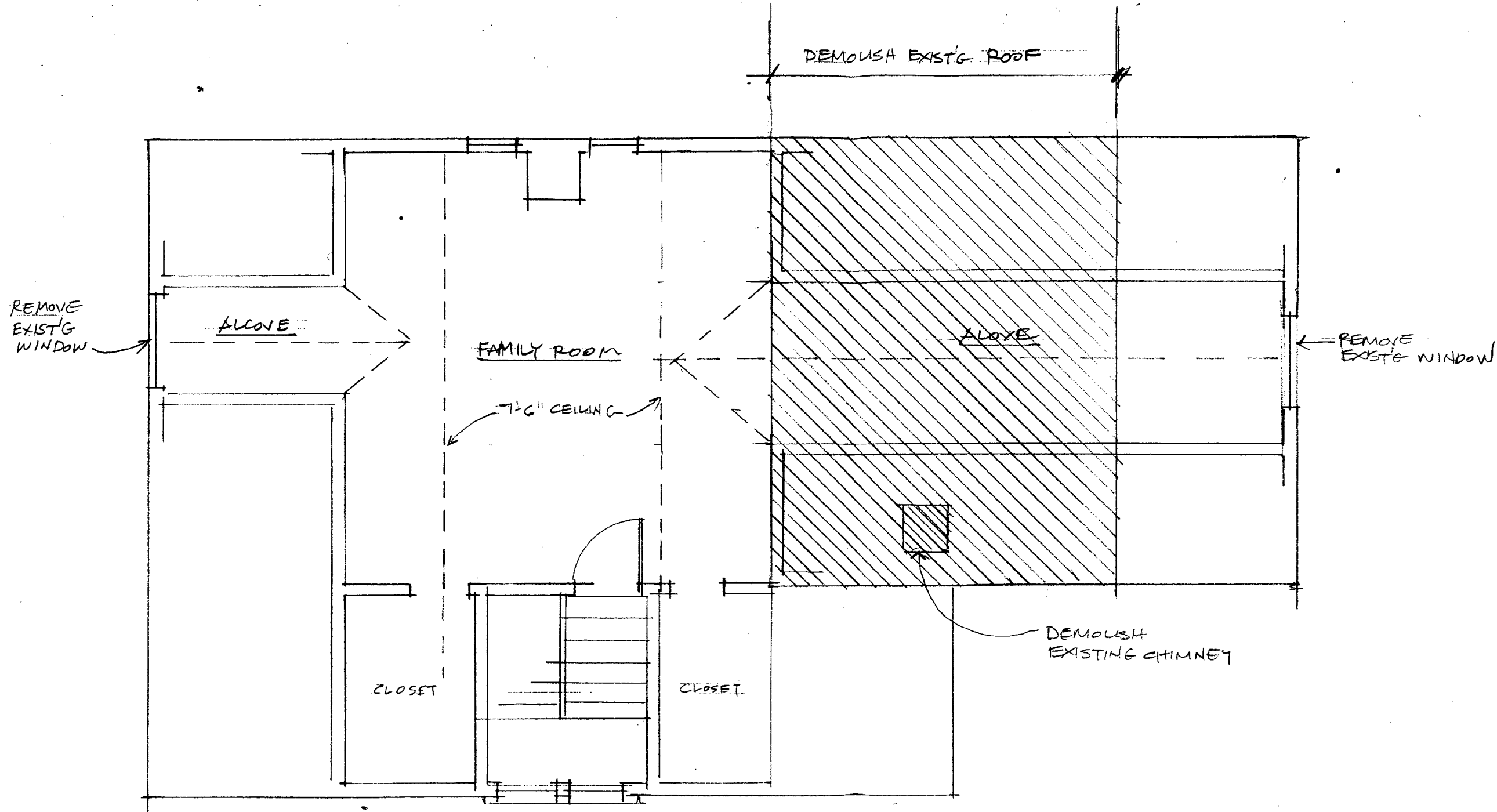
Paul Treseder
Architect AIA

6320 Wiscassel Road
Bethesda, MD 20816
301-320-1580
Fax— 301-320-1581
Paul.Treseder@verizon.net



APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

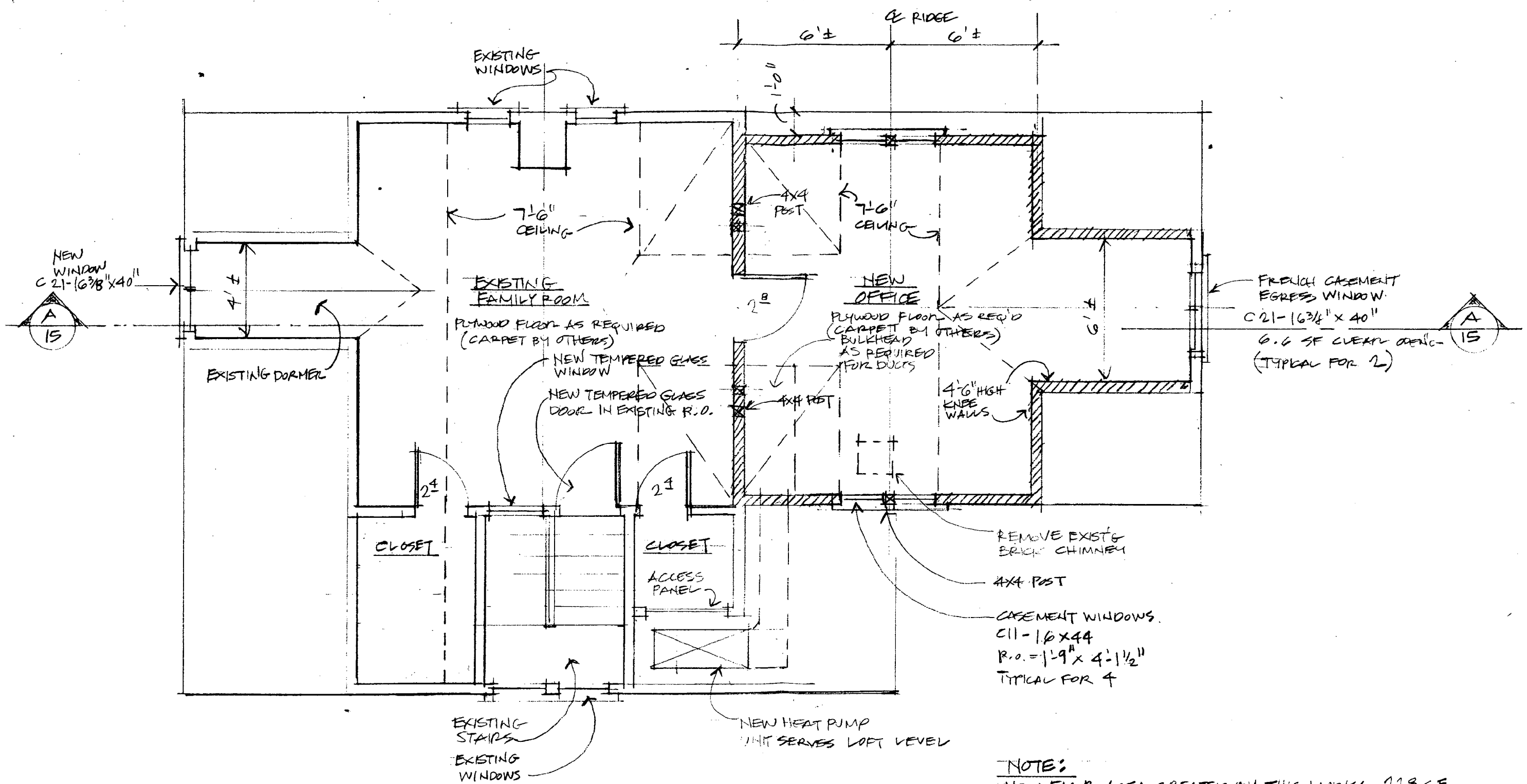




APPROVE:
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

LOFT DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



NOTE:
 NEW FLOOR AREA CREATED BY THIS WORK: 228 S.F.

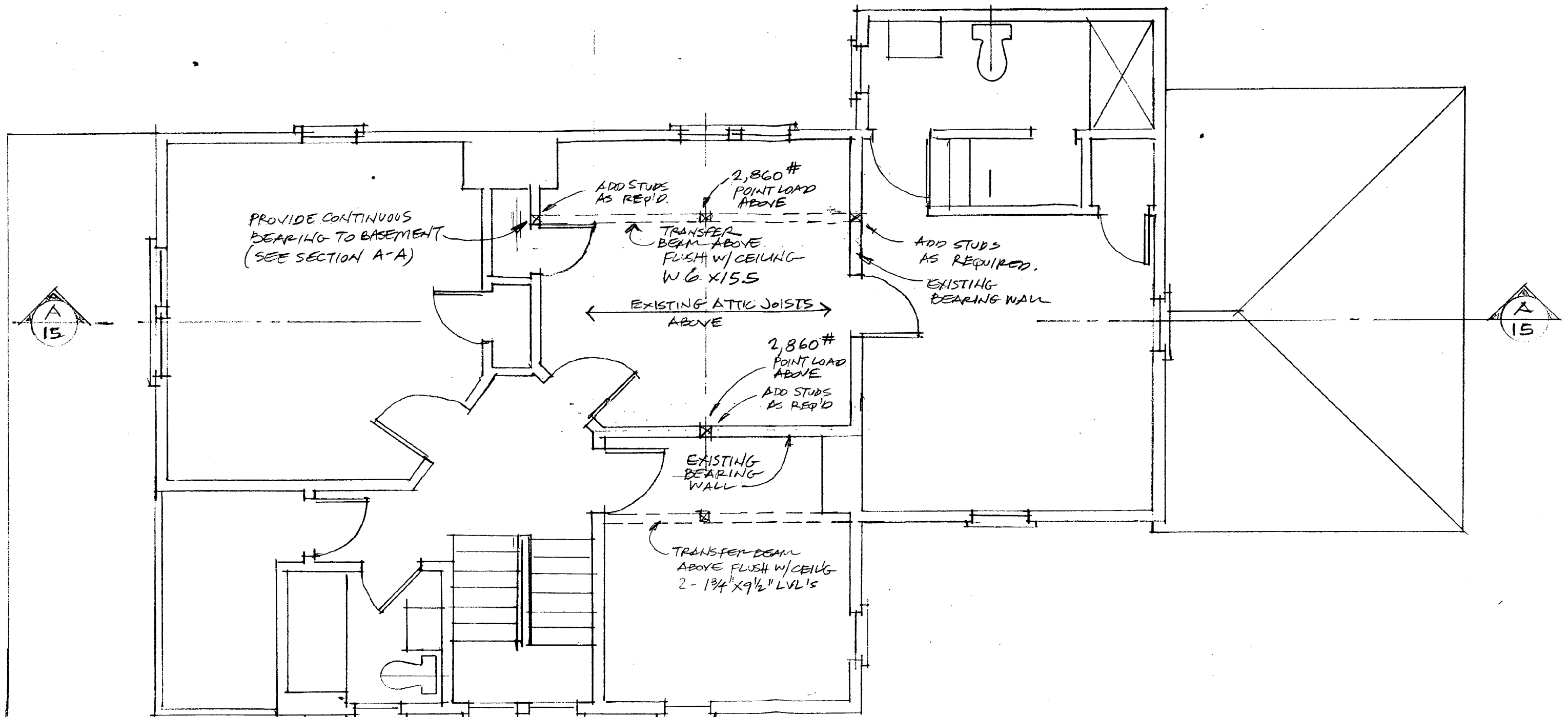
APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"

[Hatched pattern] NEW 2x4 WALLS SHOWN HATCHED

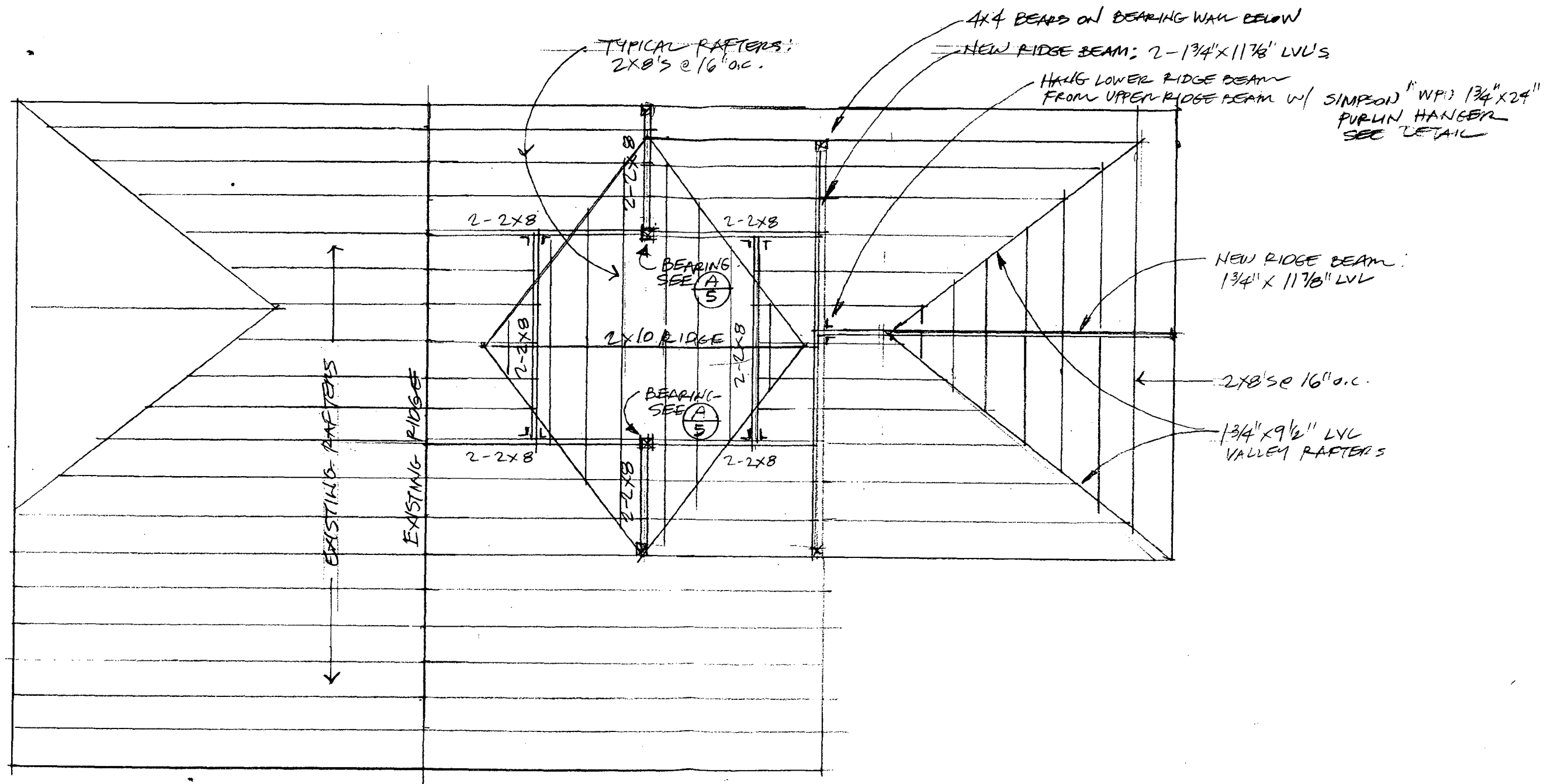




APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Malley

EXISTING SECOND FLOOR PLAN WITH MODIFICATIONS

SCALE: 1/4" = 1'-0"



APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

LOFT ROOF FRAMING PLAN

- NEW L.V.L. BEAMS ARE 2000 PSI
- NEW FRAMING IS #2 & BETTER S.P.F.





EXISTING FRONT ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley



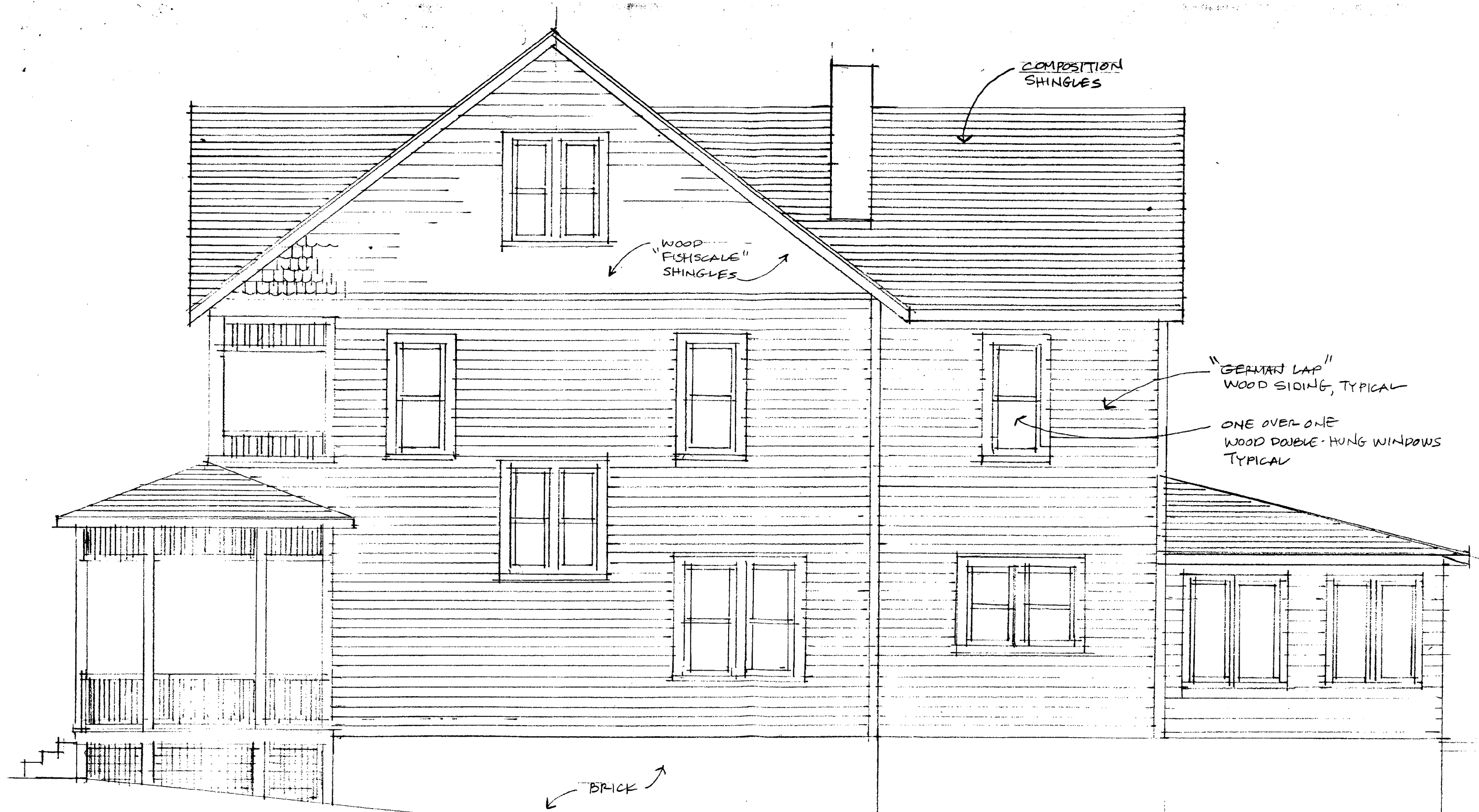
NEW FRENCH CASEMENT
WOOD WINDOW IN EXIST'G
ROUGH OPENING



PROPOSED FRONT ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley





EXISTING RIGHT SIDE ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission

Julia O'Malley



PROPOSED RIGHT SIDE ELEVATION

APPROVAL
Montgomery County
Historic Preservation Commission
Julia O'Malley



APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley



EXISTING LEFT SIDE ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission
Julia M. Malley

CII-1644 CASEMENTS
CEDAR SHINGLES

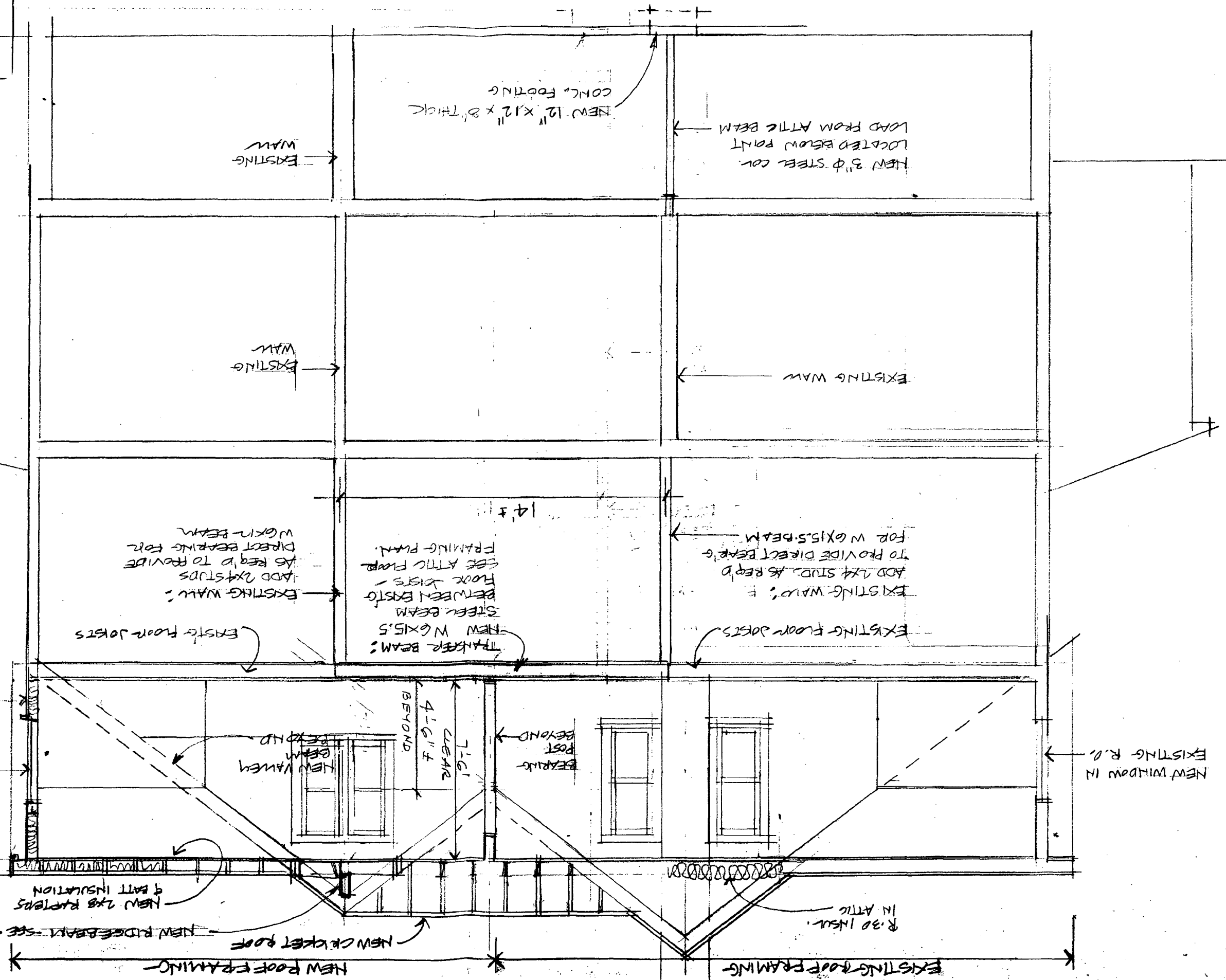


PROPOSED LEFT SIDE ELEVATION

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

BUILDING SECTION A A

APPROVED
 Montgomery County
 Historic Preservation Commission
 15



INSULATE WALLS
 W/ R-13 INSUL.
 NEW WINDOW IN
 EXISTING R.O.

NEW 2x8 RAFTERS
 9 BATT INSULATION

NEW RIDGE BEAM - SEE STRUCTURAL PLAN

NEW ROOF FRAMING

NEW CRACKET ROOF

EXISTING ROOF FRAMING

R-30 INSUL.
 IN ATTIC

NEW WINDOW IN
 EXISTING R.O.

EXISTING FLOOR JOISTS
 ADD 2x4 STUDS
 AS REQ'D TO PROVIDE
 DIRECT BEARING FOR
 WORKING BEAM
 EXISTING WALL

TRAPPER BEAM:
 NEW W 6x15.5
 STEEL BEAM
 BETWEEN EXISTO
 FLOOR JOISTS -
 SEE ATTIC FLOOR
 FRAMING PLAN.

EXISTING FLOOR JOISTS
 ADD 2x4 STUDS AS REQ'D
 TO PROVIDE DIRECT BEARING
 FOR W 6x15.5 BEAM
 EXISTING WALL

NEW 12" X 12" X 8" THICK
 CONCR. FOOTING

NEW 3" Ø STEEL COL.
 LOCATED BELOW POINT
 LOAD FROM ATTIC BEAM

EXISTING
 WALL

EXISTING
 WALL

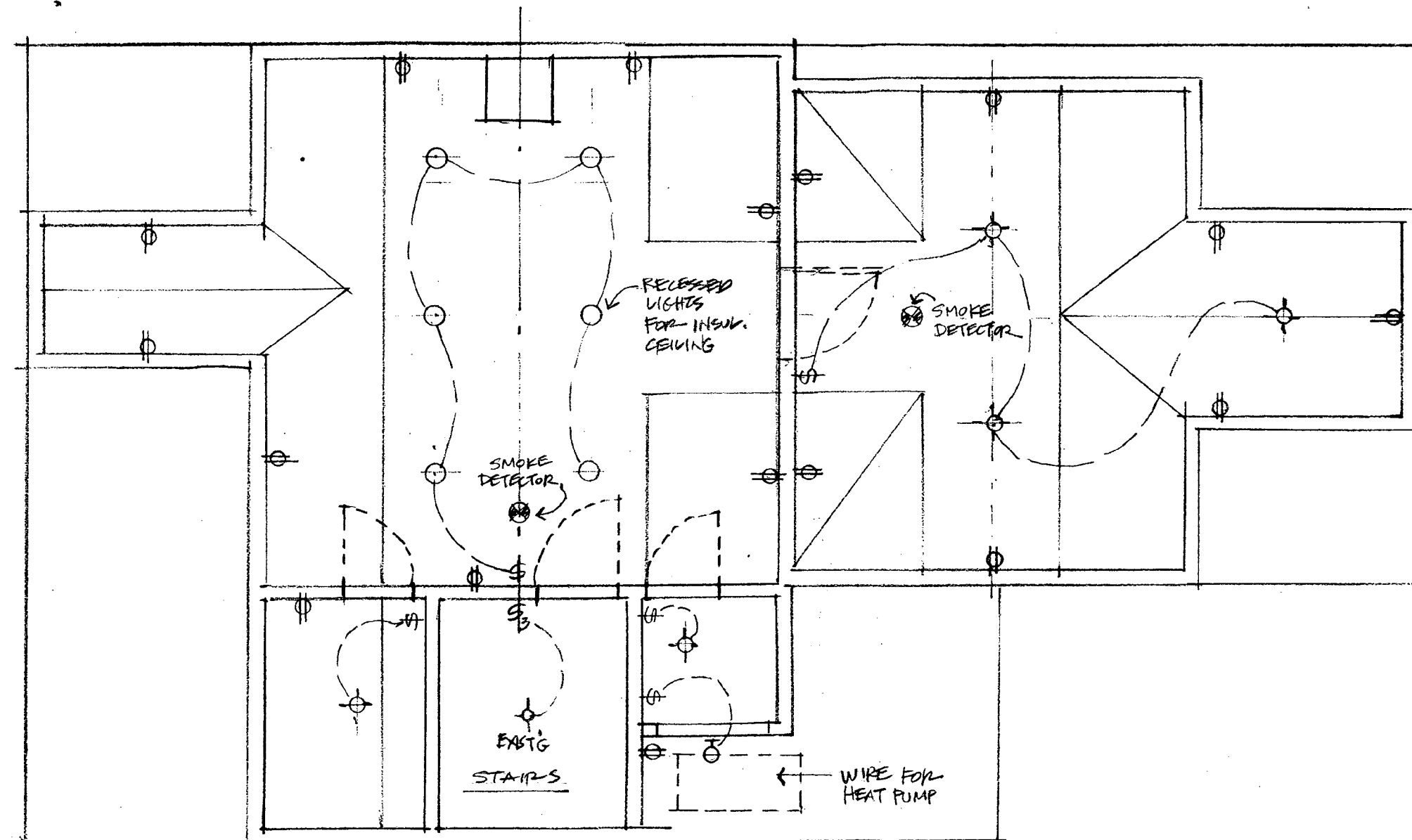
EXISTING WALL

14'±

7'-6"
 CLEAR
 4'-6"
 BEYOND

BEARINGS
 POST
 BEYOND

NEW WINDOW
 BEAM
 BEYOND



APPROVED
 Montgomery County
 Historic Preservation Commission
Julia Malley

LOFT LIGHTING PLAN

NOTE: WIRING SHALL CONFORM TO THE N.E.C. 2002 EDITION



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 6/7/2004

Permit No: 336375
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

GARY & COLLEEN BOOTHBY NORVELL
COLLEEN BOOTHBY 7219 HOLLY AVE
TAKOMA PARK MD 209120000

HAS PERMISSION TO: ALTER

PERMIT CONDITIONS: Remove rear of the attic roof to get more headroom - APPROVED WITH CONDITIONS: 1) THE NEW GABLE WILL BE CLAD IN WOOD SQUARE BUTT SHINGLES.

PREMISE ADDRESS 7219 HOLLY AVE
TAKOMA PARK MD 20912-

LOT 28 BLOCK 6 PARCEL ZONE R60
LIBER ELECTION DISTRICT PLATE GRID
FOLIO SUBDIVISION TAKOMA PARK
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services



Date: April 22, 2004

MEMORANDUM

TO: Colleen Boothby and Gary Norvell
7219 Holly Avenue, Takoma Park Historic District

FROM: Anne Fothergill, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 336375

Your Historic Area Work Permit application for roof alterations and window replacement was **approved with conditions** by the Historic Preservation Commission at its April 14, 2004 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and the official approval letter (enclosed). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 22, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit # 336375

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH CONDITION**. The condition of approval is:

- 1) The new gable will be clad in wood square butt shingles.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Colleen Boothby and Gary Norvell

Address: 7219 Holly Avenue, Takoma Park, MD 20912

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Paul Treseder
Daytime Phone No.: 301.320.1580

Tax Account No.: 01077704

Name of Property Owner: Colleen Boothby & Gary Norvell Daytime Phone No.: 202.857.2543 / 301-588-5680

Address: 7219 HOLLY AVE TAKOMA PK MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7219 Street: Holly Ave

Town/City: Takoma Park Nearest Cross Street: Tulip Ave

Lot: 28 Block: 6 Subdivision: 25

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Attic

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Colleen Boothby
Signature of owner or authorized agent

2/27/04
Date

Approved: with conditions Julia O'Malley For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4-22-04

Application/Permit No.: 336375 Date Filed: _____ Date Issued: _____



FRONT VIEW



REAR VIEW