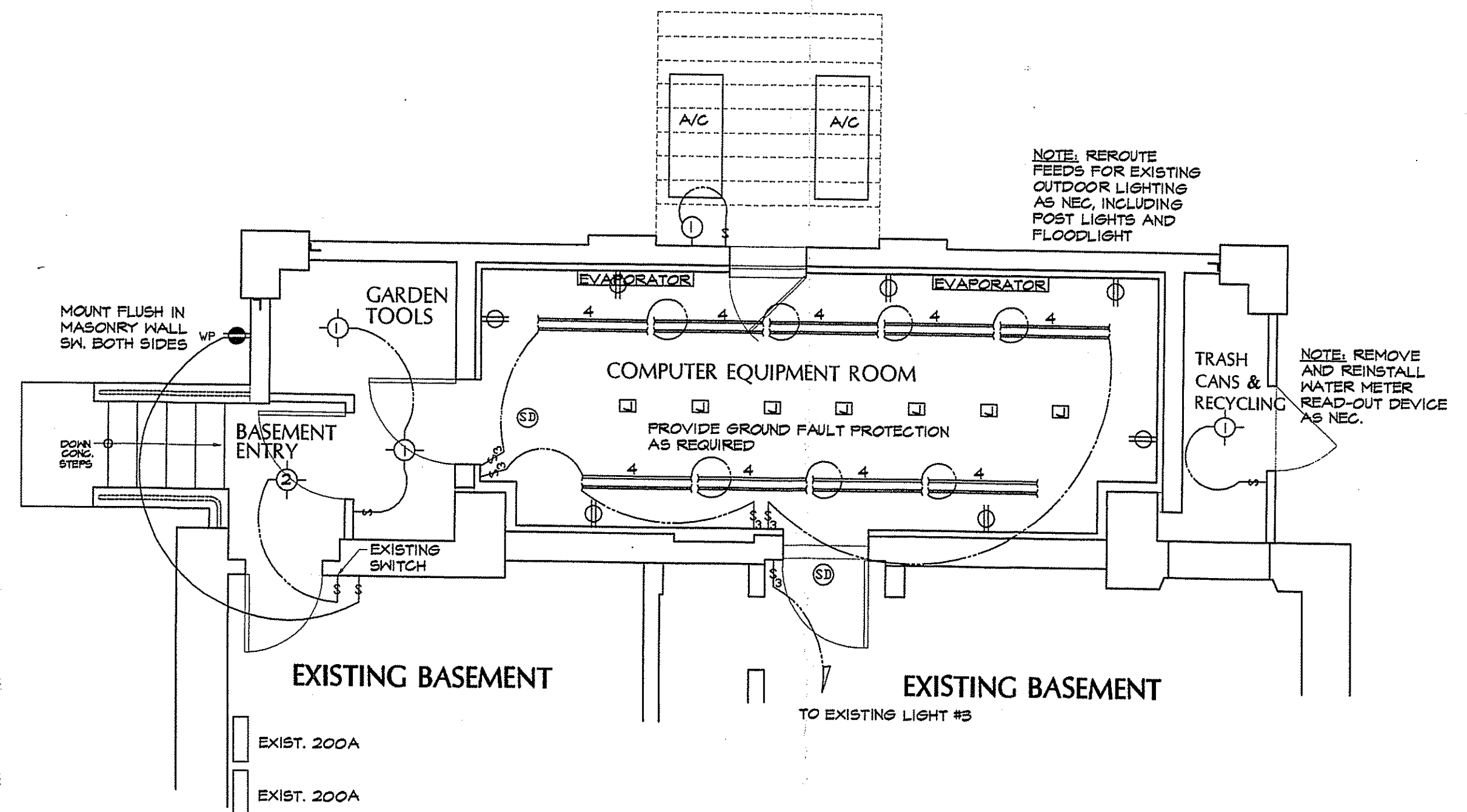
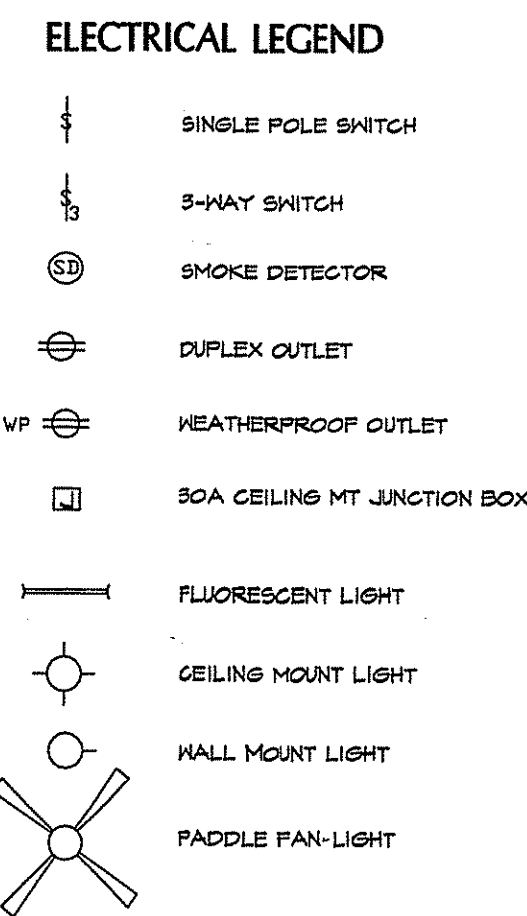
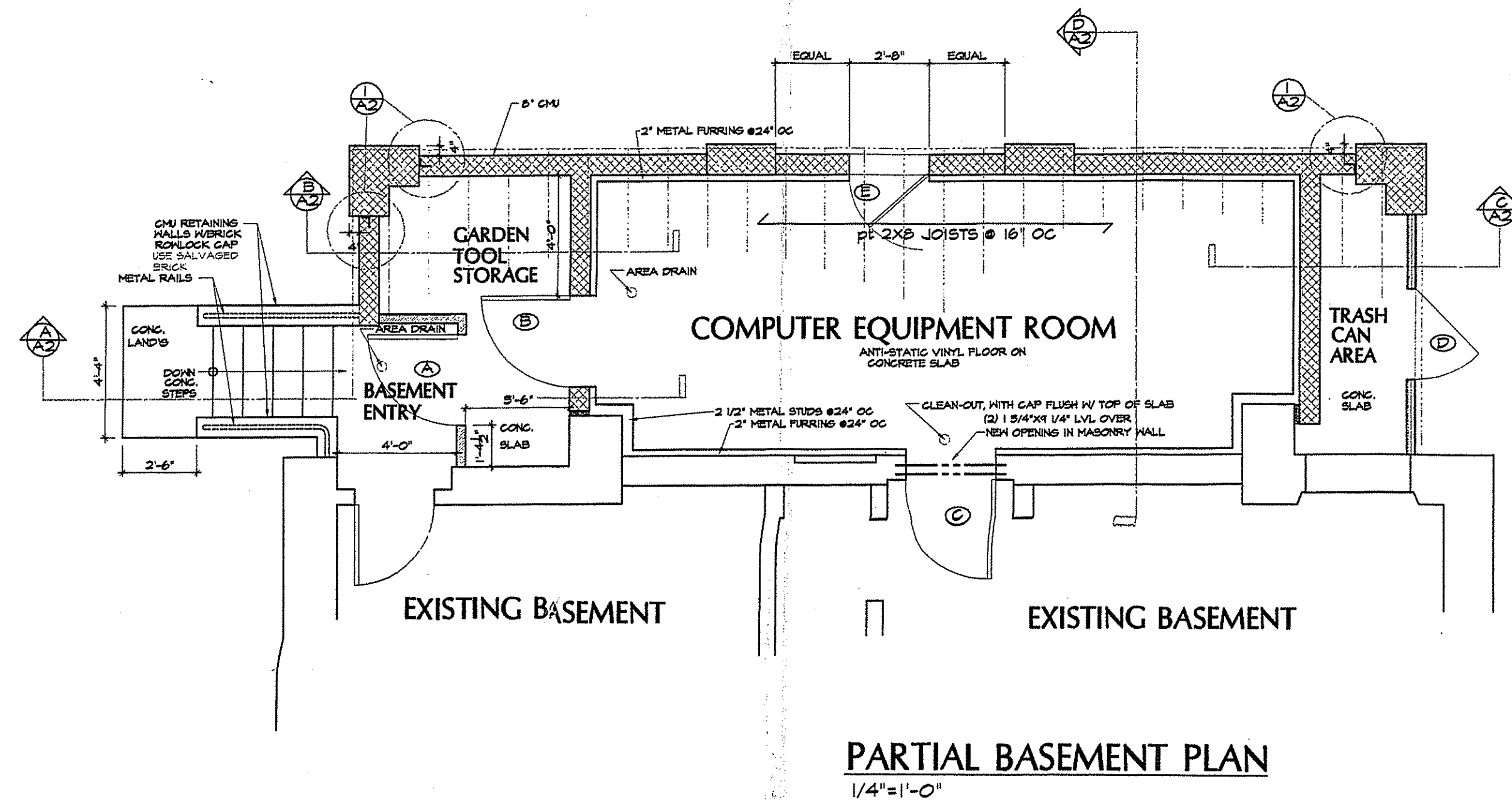
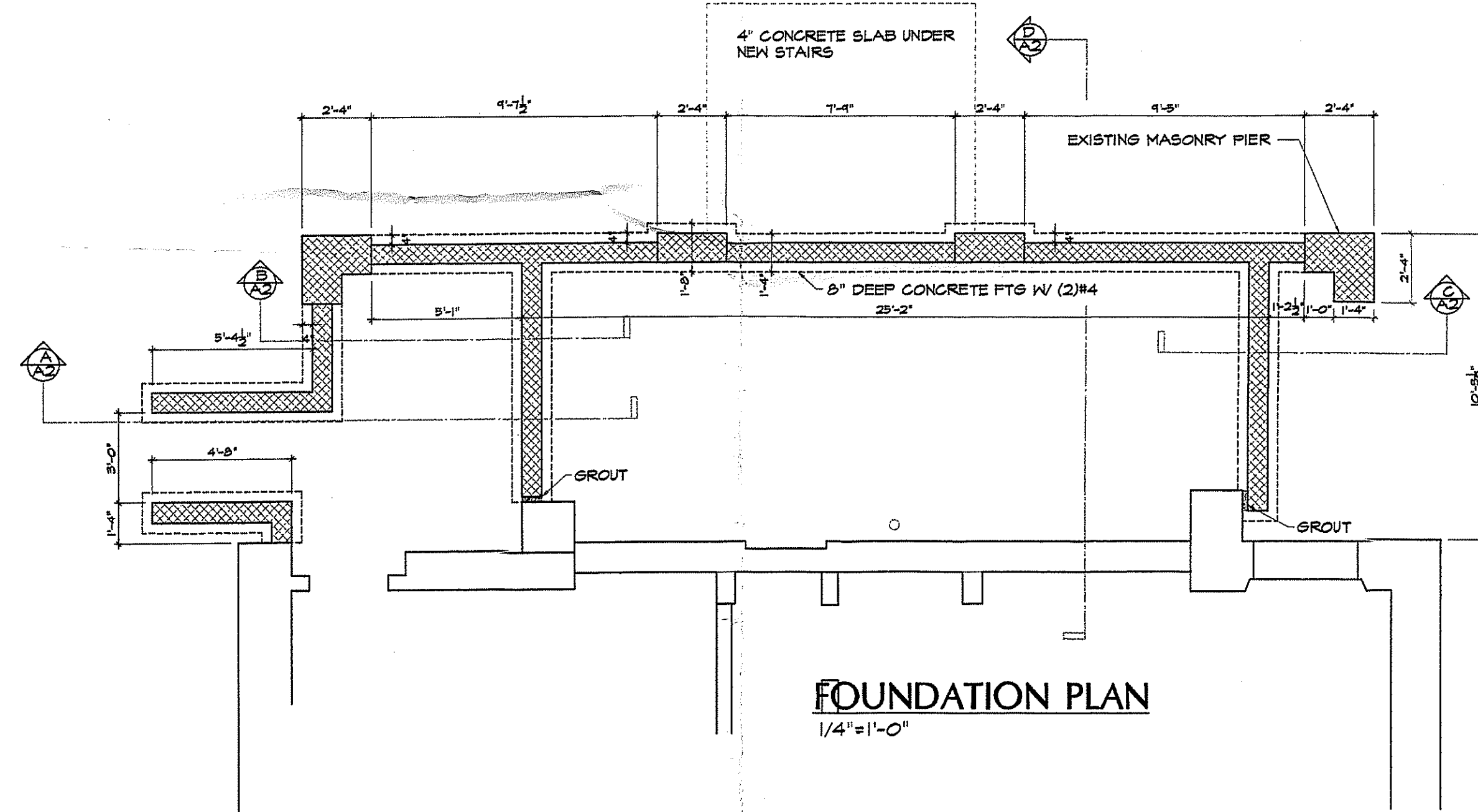
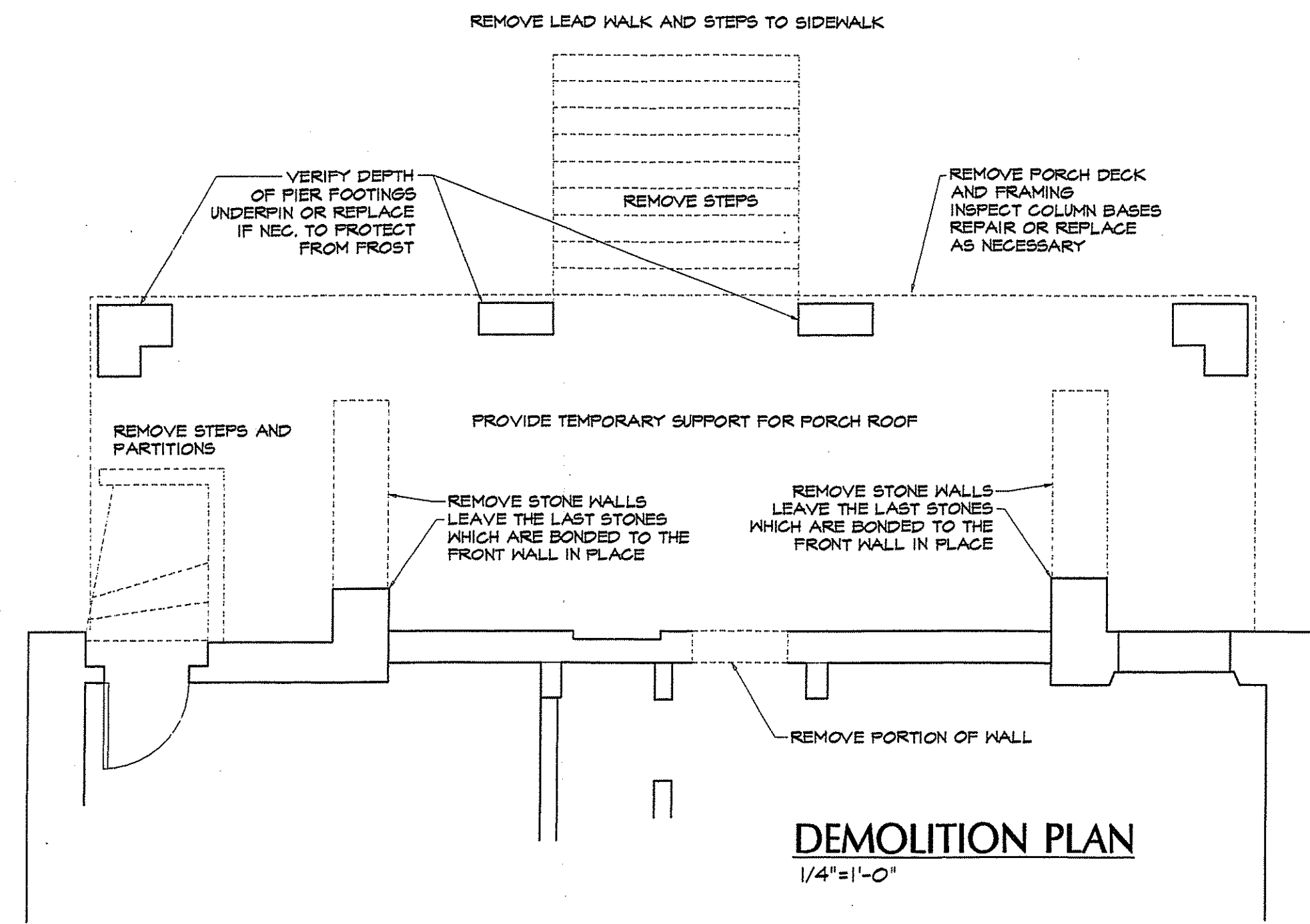


37/3-02BB 25 Holt Place

(Takoma Park Historic District)

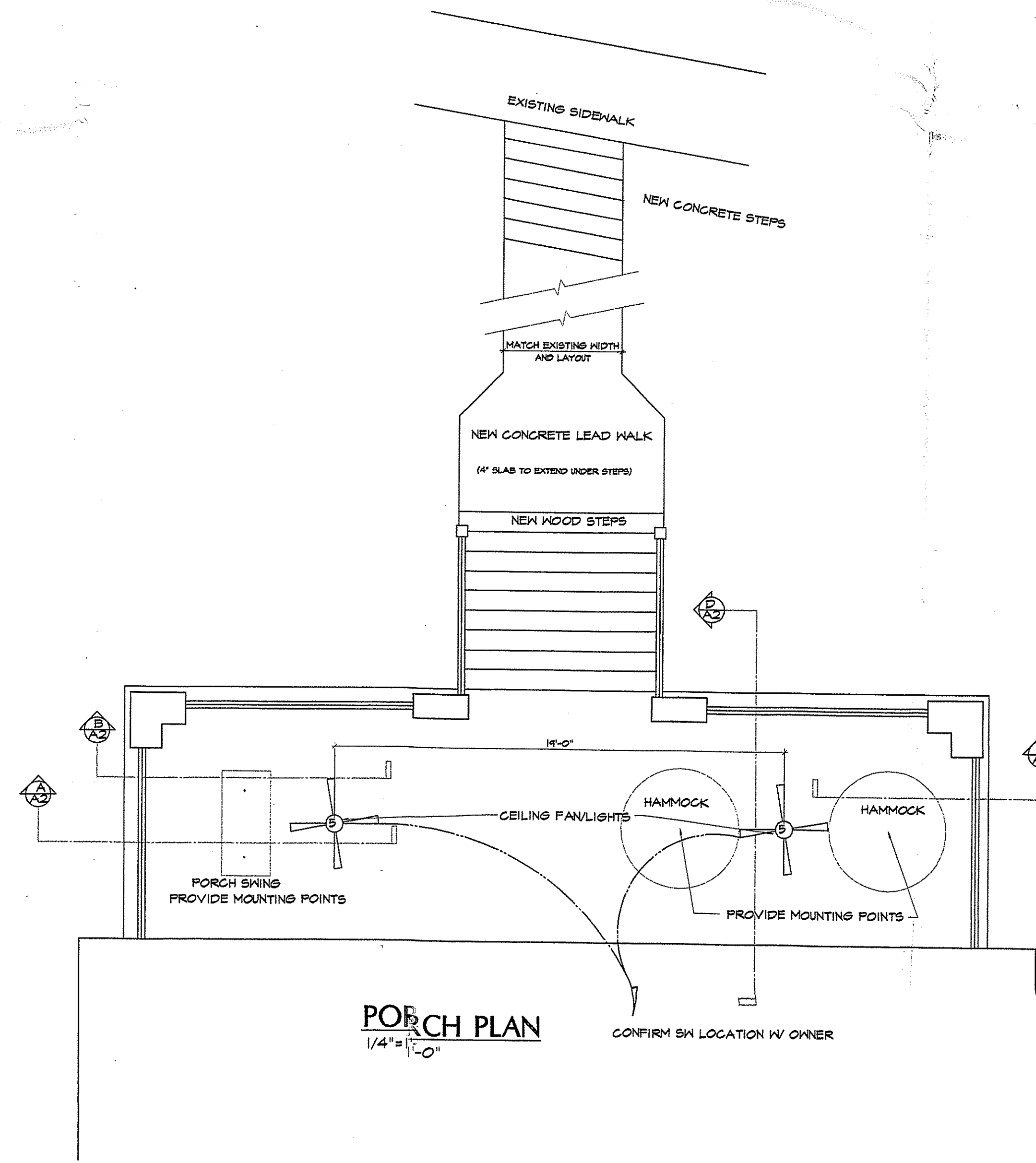
R

HISTORIC PRES.



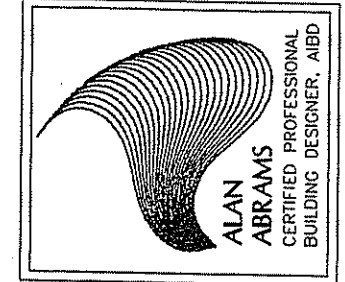
ELECTRICAL FIXTURE SCHEDULE

MARK	QNTY	LOCATION	DESCRIPTION	MANFR	CATALOG #	FINISH	LAMP
1	4	STORAGE AREAS	DAMP LOCATION UTILITY				
2	1	BASEMENT ENTRY	CEILING MOUNT, DAMP LOC.				
3	1	BASEMENT HALL (EXISTING-NOT SHOWN)	CEILING MOUNT				
4	4	COMPUTER ROOM	DOUBLE 48" SIDEOUT FLUORESCENT	MOBERN	40-2408CEL		(2) T12
5	2	FRONT PORCH	PADDLE FANS				



APPROVED
Montgomery County
Historic Preservation Commission

9/4/02



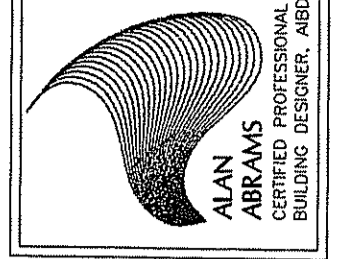
FLOOR PLANS
STRUCTURAL PLANS
ELECTRICAL PLANS
SCALE: 1/4"=1'-0"

Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4799 Fax: (301) 270-0166

ANDREW & KATYA
PARTAN RESIDENCE
25 HOLT PLACE
TAKOMA PARK, MD 20912

AUG 30, 2002

SHEET
A1
OF
3



SECTIONS

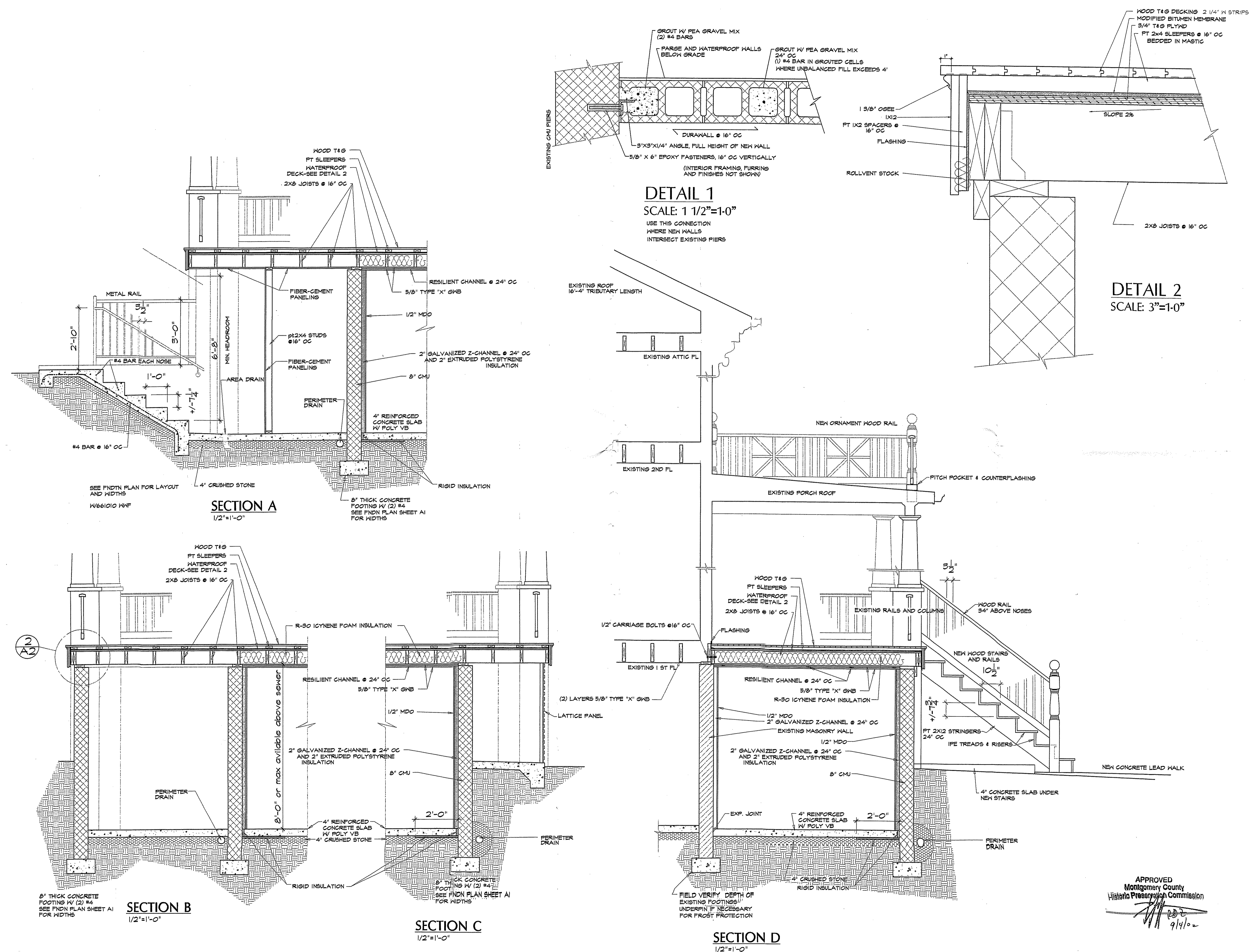
SCALE: 1/2" = 1'-0"

Heritage Building & Renovation, Inc.
208 Manor Circle
Takoma Park, MD 20912
(301) 270-4799 Fax: (301) 270-0166

ANDREW & KATYA
PARTAN RESIDENCE
25 HOLT PLACE
TAKOMA PARK, MD 20912

AUG 30, 2002

SHEET
A2
OF
3



DETAIL 1
SCALE: 1 1/2" = 1'-0"
USE THIS CONNECTION WHERE NEW WALLS INTERSECT EXISTING PIERS

DETAIL 2
SCALE: 3" = 1'-0"

SECTION A
1/2" = 1'-0"

SECTION B
1/2" = 1'-0"

SECTION C
1/2" = 1'-0"

SECTION D
1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
9/4/02



NORTHEAST ELEVATION
1/4" = 1'-0"



EXISTING NORTHWEST ELEVATION
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
7/1/02

ALAN ABRAMS AIBD
808 ASPEN ST N.W. WPC. 20012
202.726.5004

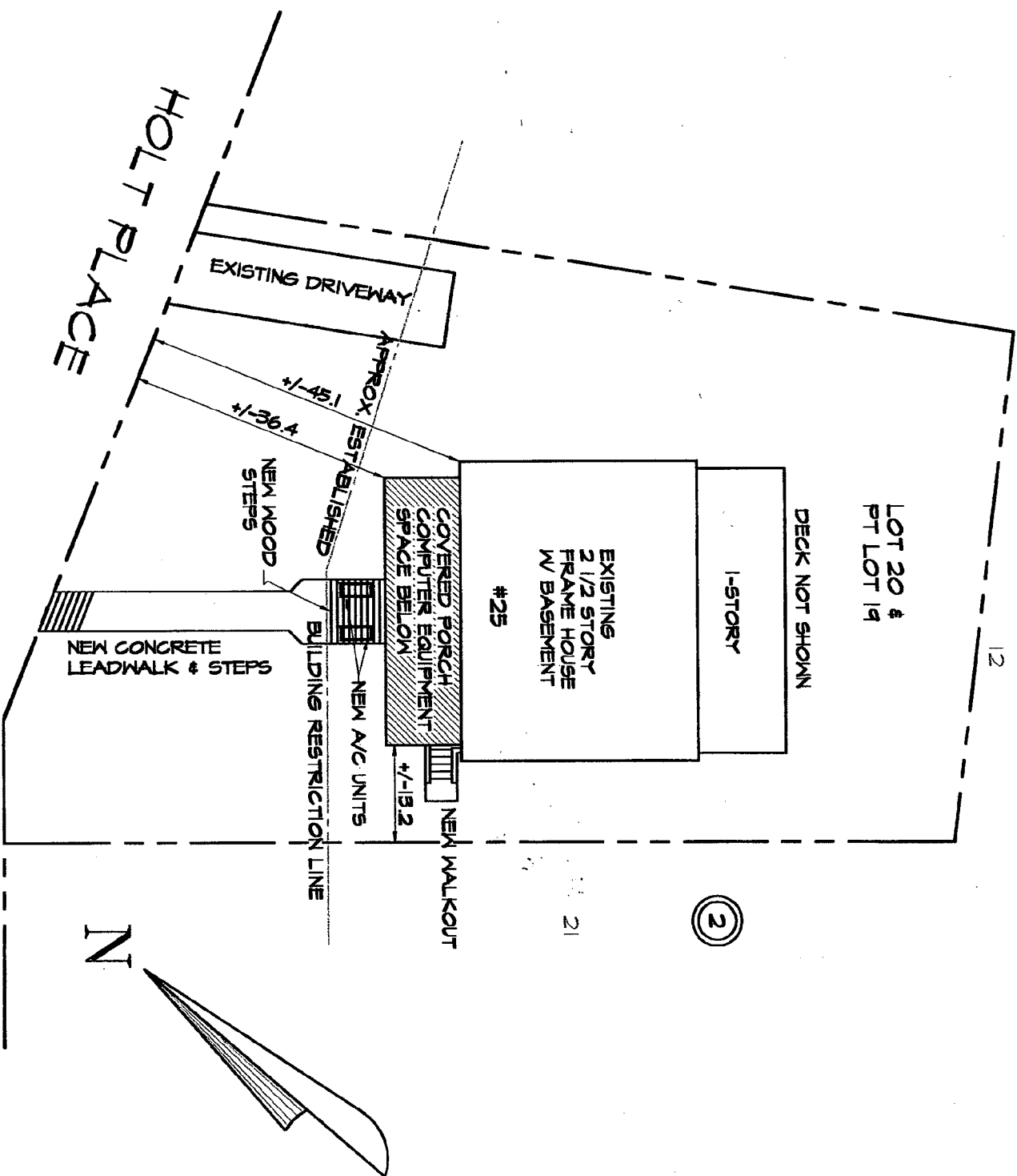
ELEVATIONS

REVISIONS
NEW RAILS & STAIRS
8-30-02

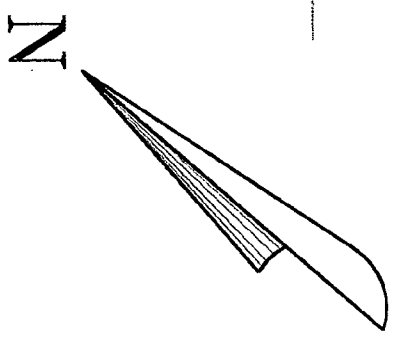
PARTAN RESIDENCE
RENOVATION
25 HOLT PLACE
TAKOMA PARK, MD 20912

A 5
AUGUST 3, 1997

SITE PLAN
 1"=20'
 9.4.02

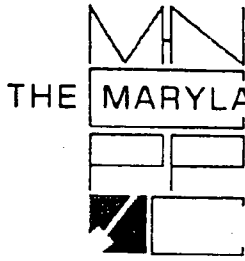


CRESCENT PLACE



(2)

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]
 9/4/02



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept. 14, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

- Approved with Conditions: 1. Release 2nd story porch railing to reflect the historic photographs. Either a single turned post, or a single boxed post. Details to be worked out with staff.
2. New wood window to be TDL or STD L.
3. Applicant to provide sample of Tensara flooring to HPC. Recommend Approval only if it matches exactly historic wood material in terms of width, appearance, character & feel. and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Andrew & Kate Partan

Address: 25 Holt Place, Takoma Park, MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

RECEIVED DPS-#8

HISTORIC PRESERVATION COMMISSION
301/563-3400

JUL 24 2002
Division of
Casework Management

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Alan Abrams
Daytime Phone No.: 301 270-4799

Tax Account No.: 521371968
Name of Property Owner: Andrew and Kate Postan Daytime Phone No.: _____
Address: 25 Holt Place Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Heritage Buildings and Renovation, Inc Phone No.: 301 270-4799
Contractor Registration No.: 32422
Agent for Owner: Heritage Buildings + Renovation, Inc Daytime Phone No.: 301 270-4799

LOCATION OF BUILDING/PREMISE

House Number: 25 Street: Holt Place
Town/City: Takoma Park Nearest Cross Street: Philadelphia
Lot: 21 Block: 2 Subdivision: 025
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James Cash
Signature of owner or authorized agent

July 24, 2002
Date

Approved: X of Conditions

Disapproved: _____ Signature: _____

Chairperson, Historic Preservation Commission

Date: 8/14/02

Application/Permit No.: 283546

Date Filed: _____

Date Issued: _____

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	25 Holt Place	Meeting Date:	08/14/02
Applicant:	Andrew and Kate Partan	Report Date:	08/7/02
Resource:	Takoma Park Historic District	Public Notice:	07/31/02
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/3-02BB	Staff:	Robin D. Ziek

PROPOSAL: Reconstruct front porch to accommodate basement storage area under the porch. Replace existing lattice with stuccoed masonry. Reconstruct new basement steps with metal railing. Reconstruct 2nd story porch railing. Replace existing vinyl window with wood window.

RECOMMEND: Approve with Conditions

CONDITIONS

1. Redesign the 2nd story porch railing to reflect the historic photographs. Either use a single turned post as per existing originals, or use a single boxed post. Details to be worked out at staff level.
2. The new wood window will be true-divided light or simulated TDL with muntins on the interior and exterior of the glass sandwich.
3. The applicant to provide a sample of the Tendura flooring to the HPC, as well as more detailed information about the existing porch floor. Staff recommends use of this material only if it matches exactly the historic wood flooring in terms of width, appearance, character and feel.

PROJECT DESCRIPTION

SIGNIFICANCE: Primary Resource
STYLE: Italianate
DATE: c1875-1885

The house is a 2-story Italianate with decorative brackets at the eaves which sits high above the street. The house is sided with stucco, has a full-width front porch, and has been much altered in the past. It predates the B.F. Gilbert subdivision of Takoma

Park, and originally faced Carroll Avenue. Now, it sits on a small suburban lot and fronts Holt Place. Historic photographs (see Circle 15/6) indicate railings at the 2nd floor level in the past, of two different styles. Currently, there is no railing at the 2nd floor level.

PROPOSAL

The applicant proposes to weatherize the area under the existing porch and expand the basement into this space for storage. The new storage room will be enclosed with concrete block, and this will be parged with stucco to match the house. Outside stairs will provide access directly to this basement space at the front right corner of the house. The steps will be protected with metal railing. To weatherize the storage room, the existing porch deck will be removed. After a watertight roof is constructed, new porch flooring will be laid down. The applicants propose using "Tendura" wood/plastic composition flooring. This will be painted.

The applicants wish to restore the 2nd floor railing at the porch as part of this project. Two alternatives are shown (see Circle 13, 14). Neither proposal matches the historic photographs. Proposal A would use straight posts and straight pickets, but with no direct relationship of 2nd story post to 1st floor column. Proposal B would use the starburst pattern for the pickets, but incorporated paired boxed posts set above the paired columns on the first floor.

The proposal also includes the replacement of an existing vinyl window at the 2nd floor level with a wood casement window (see Circle 14).

STAFF DISCUSSION

It is not very common that an applicant has found historic photographs of their house to provide visual documentation of early conditions. The applicant is fortunate, in this case, to have found two photographs which document different conditions through time. While the *Secretary of the Interior's Guidelines* encourage differentiation of new construction from old, restoration of lost features is encouraged when adequately documented, such as with a photograph.

The 1935 photograph shows the house with turned posts at the 2nd floor level (two of which remain in situ adjacent to the house – see Circle 23), and twin boxed columns at the first floor level. The posts are lined up from floor to floor, and work within an established hierarchy of doubled columns for strength on the first floor, with lighter single columns set directly above (see Circle 16). The starburst pattern of railing at the 2nd floor is quite distinct from the straight picket railing at the first floor level.

In the 1985 photograph, the 2nd floor railing has been changed to a straight picket and straight post style to match the 1st floor porch below. There is one post at the 2nd floor to match the doubled columns below on the 1st floor, conforming with the original design hierarchy.

Staff feels that neither of the applicant's proposals achieve restoration of the 2nd floor railing. Proposal A would be fine if the posts were installed as single posts only and the spacing were adjusted to match the paired columns below. This would be a match to the 1985 photograph. On the other hand, proposal B would be a match to the 1935 photograph if there were single turned columns set above the paired columns below. Staff would recommend approval of either of these modified proposals which would match the historic photographs. Since the original turned columns were retained in the recent renovation project at this site, staff would lean towards recommending the use of the turned post to match the original posts. This will help recall the earlier Italianate style of the house, which has been modified with the Revival style porch columns and pickets at the 1st floor level.

Staff has no concern with the use of either a metal or wood rail for the new basement steps. This element will clearly be a secondary element on the house. Perhaps the basement step railing should be painted as a foundation element, however, to draw less attention to it, but this should be the applicant's choice.

Staff is concerned with the proposed use of the plastic wood flooring for the porch. While the material will be painted, the 3-1/8" width is typically wider than historic strip flooring. In addition, staff is concerned that the appearance of the wood will be so regular as to appear artificial. If the applicant constructs the storage room with a weathertight roof, wood strip flooring can be installed on spacers to provide the necessary ventilation under the wood floor.

While the HPC has noted an interest in exploring the use of substitute materials, this is generally considered appropriate for additions and new construction. The HPC has been more strict in its requirement to use original materials on the original structures themselves. Staff would recommend that the applicant supply a sample of the proposed flooring, and more information about the existing porch flooring. Review of a Primary Resource is the most strict, and the significance of the particular building is equally considered as well as the effects of the proposed alterations on the historic district. Staff would recommend the use of wood flooring unless the plastic wood substitute material matches exactly the feel and character of the wood flooring.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b) 1:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Guidelines 9* :

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

with subject to the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office at 240-777-6210 prior to commencement of work, and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

RECEIVED

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

JUL 24 2002

Division of
Casework Management

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Alan Abrams
Daytime Phone No.: 301 270-4799

Tax Account No.: 521371968
Name of Property Owner: Andrew and Kate Postan Daytime Phone No.: _____
Address: 25 Holt Place Takoma Park MD 20912
Street Number City State Zip Code
Contractor: Heritage Building and Renovation, Inc Phone No.: 301 270-4799
Contractor Registration No.: 32422
Agent for Owner: Heritage Building + Renovation, Inc Daytime Phone No.: 301 270-4799

LOCATION OF BUILDING/PREMISE

House Number: 25 Street: Holt Place
Town/City: Takoma Park Nearest Cross Street: Philadelphia
Lot: 21 Block: 2 Subdivision: 025
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James Cash
Signature of owner or authorized agent

July 24, 2002
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 283546 Date Filed: _____ Date Issued: _____

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Addendum to Historic Area Work Permit Application
25 Holt Place, Takoma Park
July 23, 2002

Adjoining and Confronting Property Owners

District 13
Subdivision 025
Map JN52

Block 2, Lot 19 & 20
Partan, Andrew & K
25 Holt Pl
Takoma Park, MD 20912-4334

Block 2, Lot 21,
Alewine, Shana S
8 Crescent Pl
Takoma Park, MD 20912-4308

Block 2, Lot 11
Gorman, Gregory H & Elizabeth J Hisle-Gorman
7134 Carroll Ave
Takoma PARK, MD 20912-4638

Block 2, Lot 12
Rosenthal, Benjamin M & Nancy S Martin
7136 Carroll Ave
Takoma Park, MD 20912-4638

Block 2, Lot 13
Davis, Jeffrey B et al
7138 Carroll Ave
Takoma Park, MD 20912-4638

Block 4, Lot 11 (across street)
Hauck, David P & Mary M Voorhes
24 Holt Place
Takoma Park, MD 20912

Block 2, Lot 18
Rave, Walter et al
29 Holt Pl
Takoma Park, MD 20912-4334

DESCRIPTION OF PROJECT

Existing Structure and Setting

The subject house, a Category I resource in the Takoma Park Historic District, is a generously scaled two-and-one-half-story stucco clad, side gabled, (generally) bilaterally symmetric frame building with Italianate styled cornice. There is a full width porch across the front, with hip roof supported by pairs of tapered wood columns (tripled at the corners) on rectangular, stuccoed, wood-framed bases, supported by stuccoed masonry piers below the porch deck. A flight of 10 wood steps, centered at the front of the porch, descends to the terraced grade of the front yard.

The house has been modified many times; several different window styles suggest dates of renovation. Major structural and infrastructure repairs, and replacement of stucco were done in the late 1990's. It is notable that the house was originally oriented toward Carroll Avenue. The present front elevation included a wing housing a back stair, generally within the area of the present front porch.

The house sits prominently on a small, irregularly shaped lot. The surrounding housing stocks is generally bungalows and other vernacular styles of the early twentieth century.

Proposal and Effect

The proposal includes the following changes to the front porch:

A. To create a basement level storage area under the front porch. This will include restoration of the porch deck and stairs, which are beginning to rot. The porch deck will be wood or wood composite ("Tendura") tongue and groove, over a water proof substrate. The new stairs and stair rail will be wood. Piers will be replaced if the existing footings are not deep enough to provide frost protection where new grades are established. The perimeter of the porch will be stuccoed masonry, except at access areas on the two sides. The existing, non-code-compliant concrete steps (with steep, irregular, and severely tapered winders, and inadequate headroom) from grade to an existing basement door at the right front corner will be rebuilt with similar materials, conforming to all modern code requirements. This application proposes metal rails for the basement stairs. An alternate design for wood rails is included in the drawings.

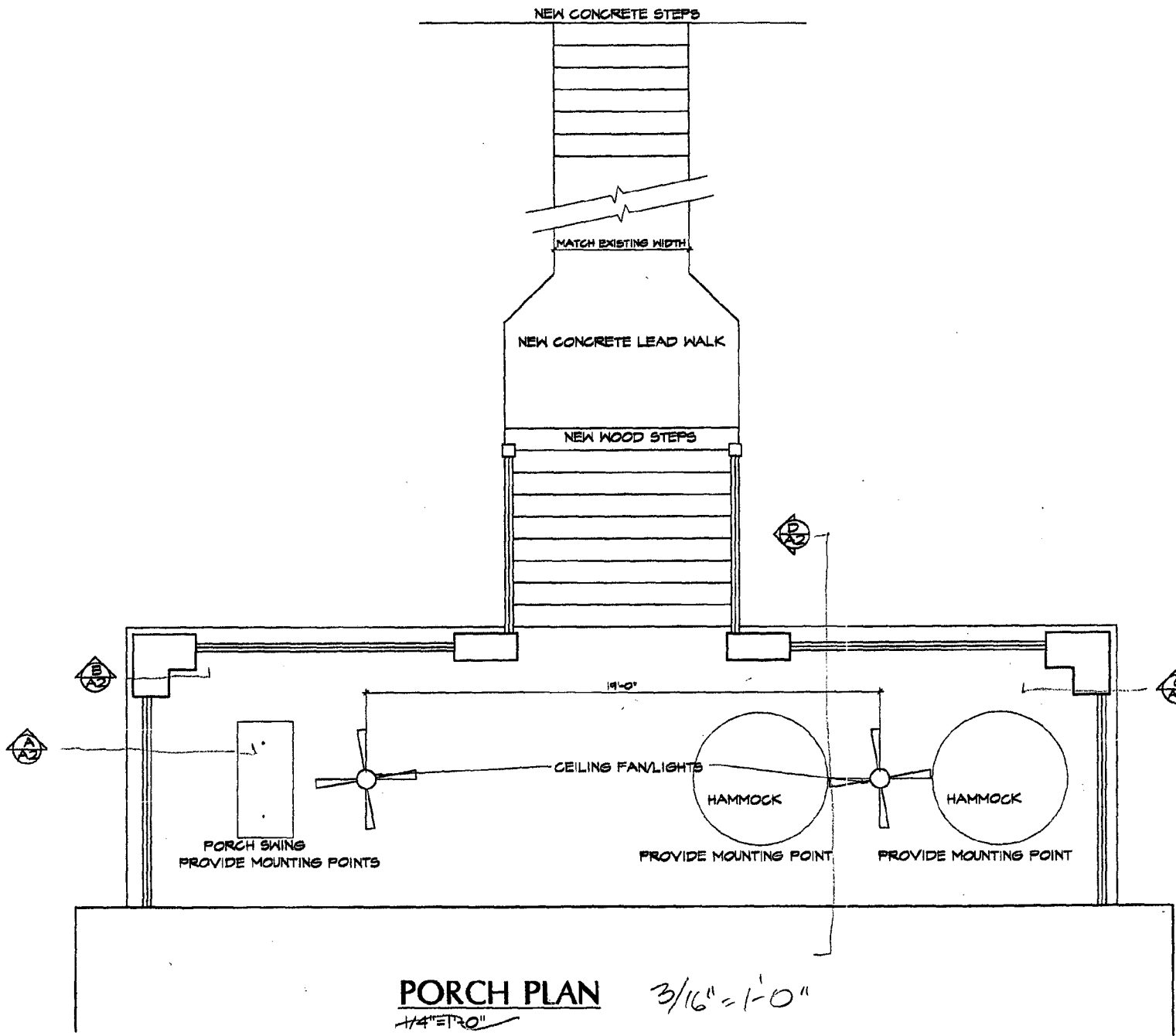
B. To construct an ornamental wood rail on the front and sides of the porch roof. Also, to replace the existing vinyl replacement window at the center of the front elevation above the porch roof with a wood window. This application proposes a hybrid design, based on a baluster pattern shown in a photograph from the mid 1930's. The intent is to fuse the "starburst" or "union jack" motif of the balusters with the paired and tripled columns supporting the roof. An alternate design, based on a photograph from the mid 1980's is also included in the drawings. It is notable that the turned newels engaged at the front

wall, and which appear in the earlier photo, were retained when the stucco was replaced approximately five years ago.

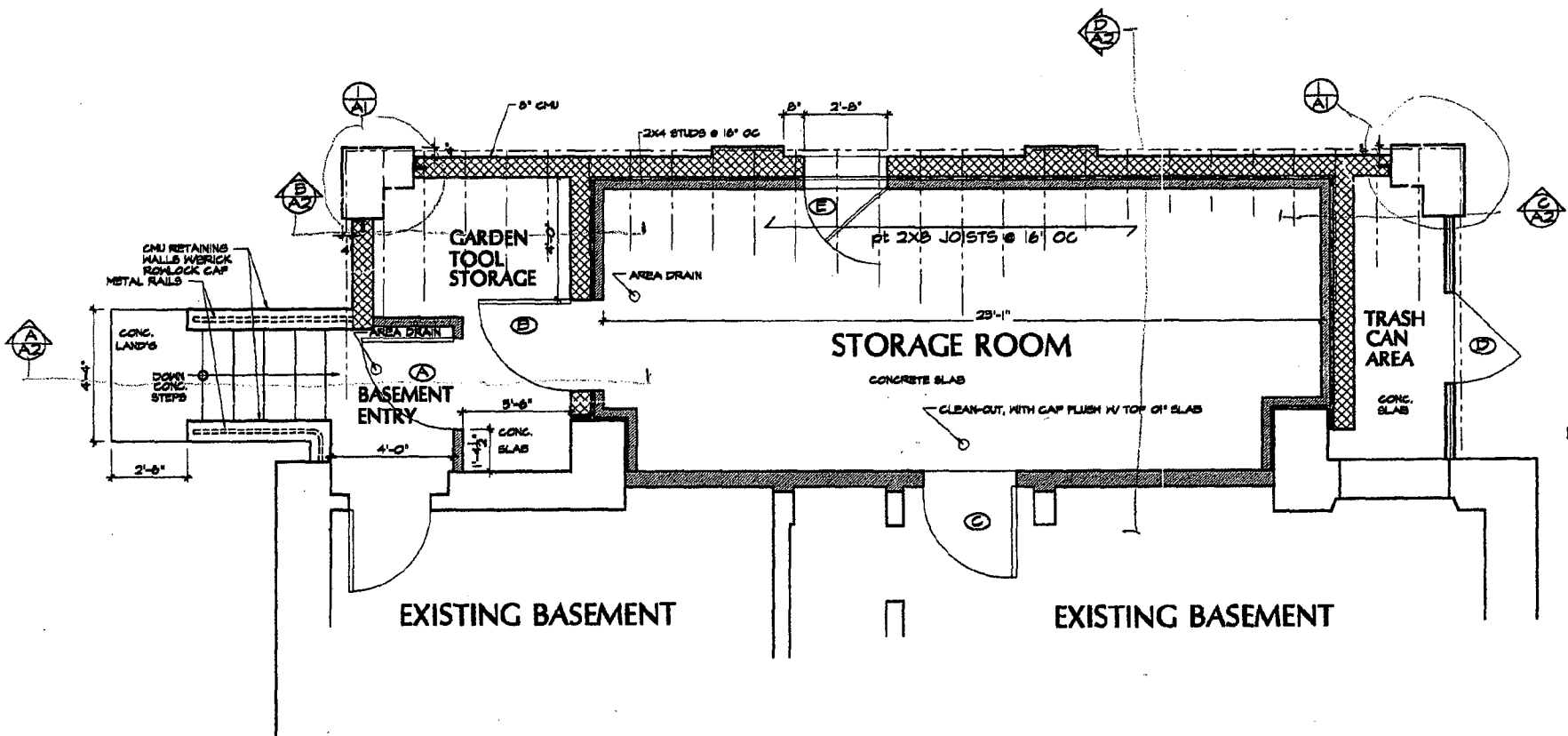
We submit that the proposed changes will have no adverse impact on the house or the historic district. The visible changes of the basement extension will closely resemble the condition indicated in the photographs, in which the underside of the front porch was enclosed by stuccoed wood panels. The basement stairs, although projecting farther beyond the right side of the house than the existing stairs, will be substantially below grade. Considering the elevated grade, the new steps will not be visible from the right-of-way. The porch roof railings are intended to resemble the existing conditions of seventy years ago.

Takoma Park Historic District





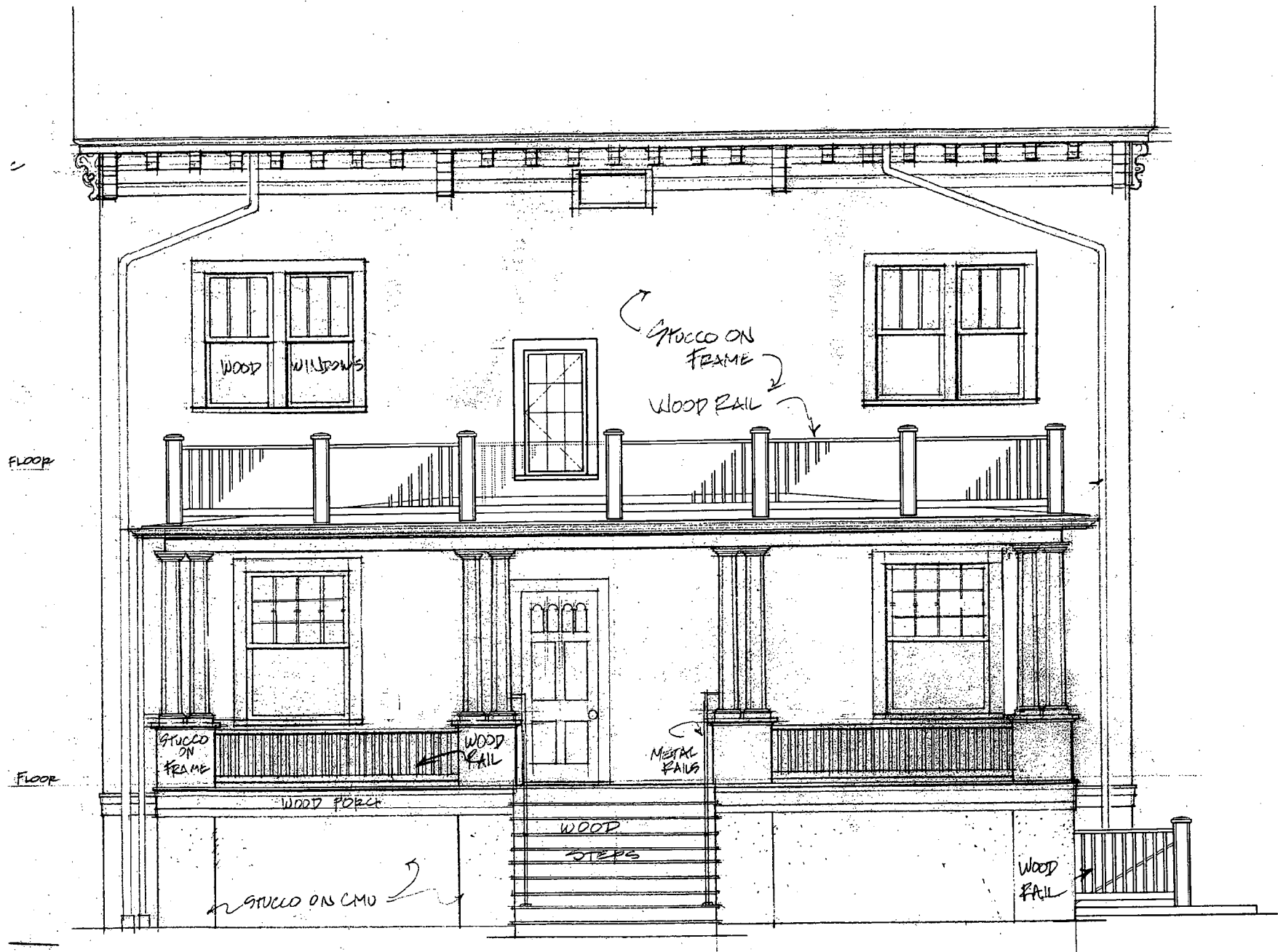
(11)



(R)

PARTIAL BASEMENT PLAN

1/4" = 1'-0" 3/16" = 1'-0"



FLOOR

FLOOR

EXISTING
 NORTHWEST ELEVATION
 1/4" = 1'-0"

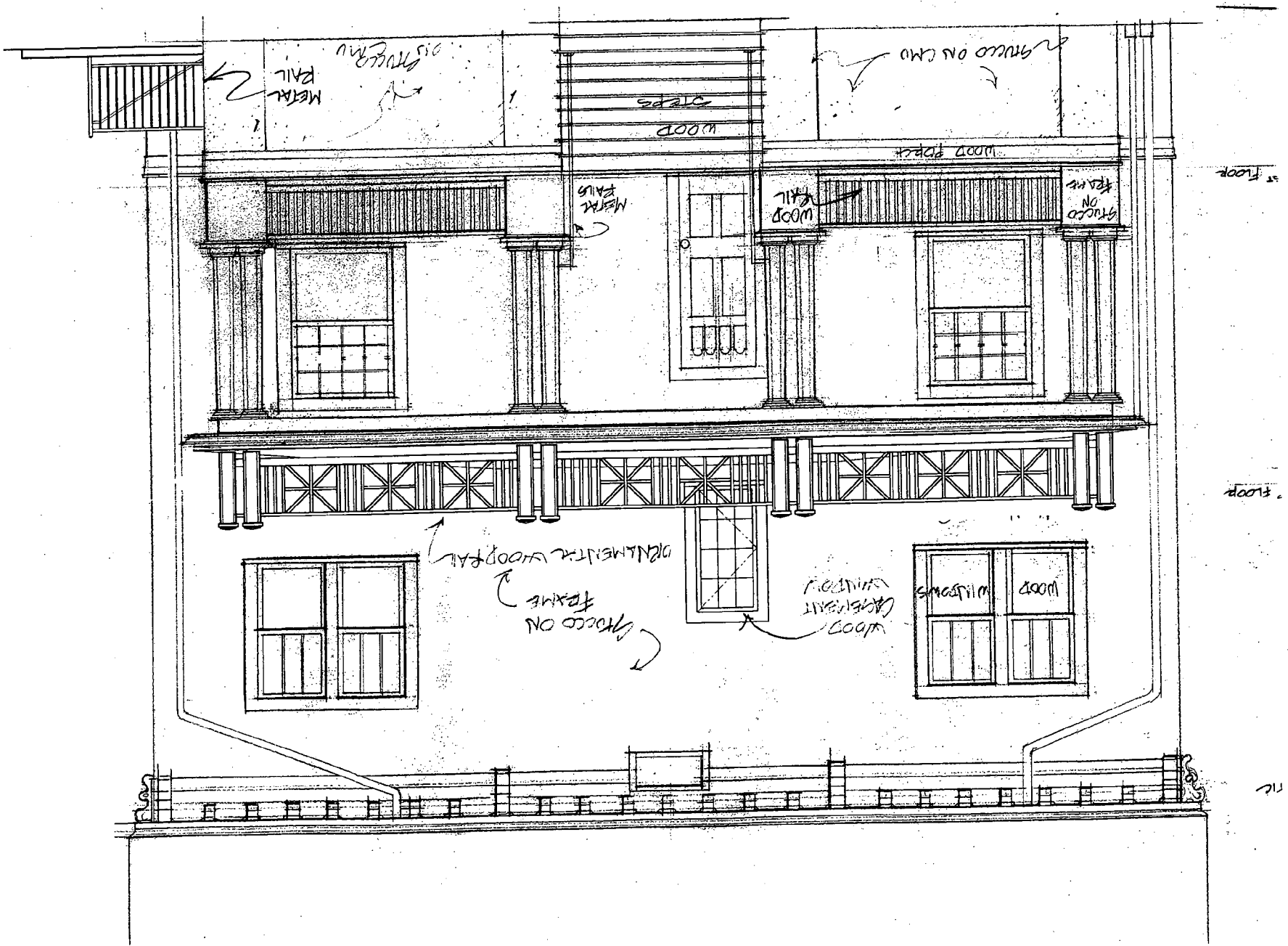
ALI. FRONT ELEVATION
 PROPOSED "A"

13

2/09/2

PROPOSED "B"

NORTH WEST ELEVATION
1/4" = 1'-0"



25 HOLT PL.



C. 1985

from "TP: a Victorian Suburb" / Ellen Morsch et al

15

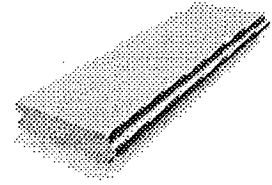


25 Holt Place

from H.T.I. Archives

C. 1935

(16)



ABOUT TENDURAPLANK

TenduraPlank provides the traditional beauty of a wood front porch without the expansion, contraction, warping, splitting, cracking, or splintering of tongue-and-groove lumber. Combining the warmth of wood with the durability of plastic in a composite material, TenduraPlank is made to last a lifetime.

TenduraPlank is historically and dimensionally authentic. It expands and contracts less than lumber or plastic. It doesn't rot or deteriorate and is vermin and fungus resistant. And, it's primed and ready for finish painting. The proprietary design of the TenduraPlank tongue-and-groove joint is engineered to provide a secure but visible seam, emulating the traditional fir lumber it replaces.

TENDURAPLANK – ENVIRONMENTAL BENEFITS

TenduraPlank is manufactured from plastic and by-product sawdust, which means that no new trees are timbered expressly for the purpose of creating it. Where possible, we use recycled plastic. TenduraPlank is a non-leaching product, which means that nothing filters out of TenduraPlank into the aquifer. In addition, TenduraPlank has a longer life than traditional timber products which means that every porch built from TenduraPlank saves trees.

TENDURAPLANK - PRODUCT SPECIFICATIONS

TenduraPlank provides the traditional beauty of a wood front porch without the expansion, contraction, warping, splitting, cracking, or splintering of tongue-and-groove lumber. Combining the warmth of wood with the durability of plastic in a composite material, TenduraPlank is made to last a lifetime.

Historic Authenticity

Handling

Dimensions & Lengths

Installation

Cutting

Fastening

Painting

Test Standard & SP Specifications

Historic Authenticity:

TenduraPlank is historically and dimensionally authentic. It expands and contracts less than lumber or plastic. It doesn't rot, deteriorate, grow fungus, or feed termites. And, it's primed and ready for finish painting. The proprietary design of the TenduraPlank tongue-and-groove joint is engineered to provide a secure but visible seam, emulating the traditional fir lumber it replaces.

↑ top

Handling:

TenduraPlank can be handled just like traditional porch flooring. Like wood, it should sit in the environment in which it is to be used for 24 hours so that it can adapt to any temperature changes. As with lumber, TenduraPlank should not be stored for a long time in extreme weather conditions. And care should be taken to protect its factory finish.

↑ top

Dimensions:

TenduraPlank is 7/8" X 3 1/8" and is available in 8', 10', and 12' lengths.

↑ top

Installation:

TenduraPlank is designed to be used with traditional floor joists. Unlike lumber products, TenduraPlank can also be installed directly on concrete slabs using sleepers.

[↑ top](#)

Cutting:

TenduraPlank can be cut using the same tools as wood. We recommend a standard, carbide-tip saw blade.

[↑ top](#)

Fastening:

TenduraPlank can be installed using a standard floor nailer, nail gun, or screws. We recommend galvanized or aluminum fasteners. Decking screws or nails with ring-shanks and heads are also recommended. We don't recommend finish nails.

[↑ top](#)

Painting:

TenduraPlank is primed and ready for finish painting. It may be top-coated with your choice of color in any high-quality exterior porch paint. Follow your paint manufacturer's instructions for best results.

[↑ top](#)

Test Standard & SP Specifications:

	Test Standard
Modulus of Elasticity (psi)	ASTM D1037
Modulus of Rupture (psi)	ASTM D1037
Coeff. of Thermal Expansion	ASTM D696
Water Absorption (% 24 hrs.)	ASTM D1037
Flame Spread Index	ASTM E84
Nail Withdrawal (lb)	ASTM D1037
Slip Resistance	ASTM F-1679-96
TenduraPlank meets or exceeds all testing standards.	

FREQUENTLY ASKED QUESTIONS

Q: How much does TenduraPlank cost?

A: TenduraPlank is competitively priced with other composite porch flooring products.

Q: Is TenduraPlank architecturally and historically authentic?

A: Yes. It is made to exacting dimensions to ensure historic beauty is achieved.

Q: Is TenduraPlank dimensionally consistent?

A: Yes. It is put through a strict quality-control regiment to ensure a dimensionally consistent product.

Q: What lengths are available?

A: TenduraPlank comes in 8', 10', 12', 14', and 16' lengths.

Q: Does TenduraPlank require any special tools for installation?

A: No. TenduraPlank is installed using the same methods and tools as standard porch flooring.

Q: How is TenduraPlank installed?

A: TenduraPlank can be installed using the standard flooring nailer, galvanized ring-shank nails, or galvanized screws.

Q: Does TenduraPlank expand or contract?

A: Yes. TenduraPlank is engineered to expand and contract less than standard porch flooring. Through our formulation we are able to reduce expansion and contraction significantly so your floor will not buckle (due to swelling) or show unsightly gaps (due to shrinking).

Q: How far will TenduraPlank span?

A: TenduraPlank should be installed 16" or less on center.

Q: Is TenduraPlank slippery?

A: No. TenduraPlank has a pre-finished, textured surface which, even when wet, provides better traction than standard wood products.

Q: Is TenduraPlank paintable?

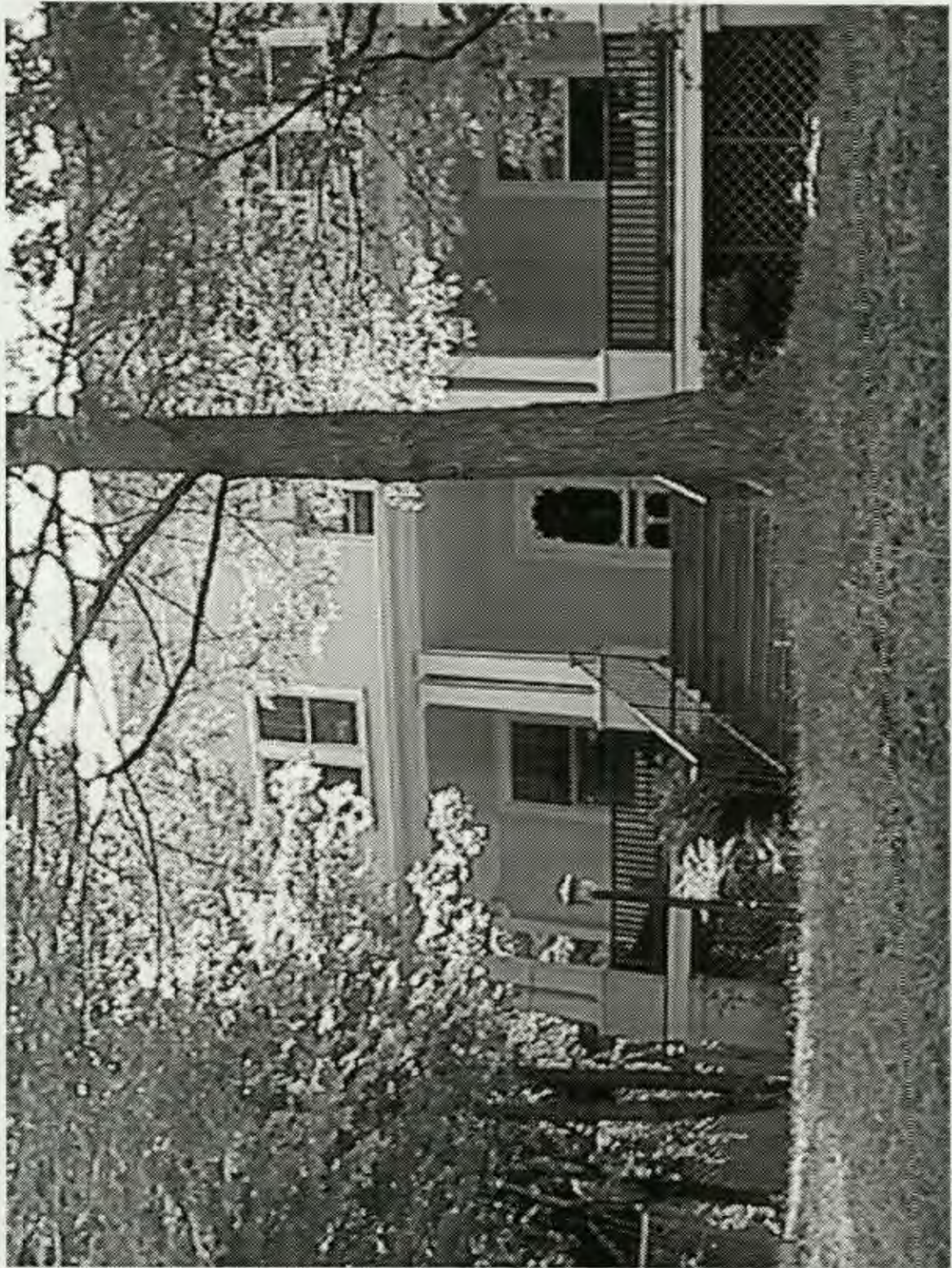
A: Yes. TenduraPlank is ready to be top-coated with any high-quality porch paint.

DO YOU HAVE A QUESTION WE HAVE NOT ANSWERED?

E-mail info@tendura.com and we'll respond ASAP.

21







PARTAN RESIDENCE 25 HOLT PL
NEWEL @ FRONT PORCH ROOF
SIM. TO 1930'S PHOTO

THE INSERTION
POINT OF THE TOP
RAIL INTO THE
NEWEL IS $\pm 3/32$ "
ABOVE THE ROOF
DECK

ATTD PHOTO: JUNE '02

0814300 428

PERIOD 02

PIX ARJ 110 37



PARTAN RESIDENCE 25 HOLT PL
NEWEL @ FRONT PORCH ROOF
SIM. TO 1930'S PHOTO

THE INSERTION
POINT OF THE TOP
RAIL INTO THE
NEVEL IS $\frac{1}{32}$ "
ABOVE THE ROOF
DECK

ATTD PHOTO: JUNE '02

0816300 825

PICTURE 37