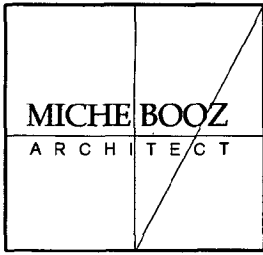


23/148-04A 20529 Riggs Hill Way
M.P. Site Brookville Mill Workers



MEMORANDUM

Date: 6/04/04

Project: Bufton House

To: Anne Fothergill
Senior Planner
MNCPPC-Historic Pres. Section
1109 Spring St. Ste. 801
Silver Spring, MD 20910

Anne,

Enclosed is a copy of the permit set of drawings for the Bufton addition (Brookeville Woolen Mill Workers' House), as you requested.

Please call if you have any questions.

It was nice meeting you yesterday. I'm sure we'll be in touch again soon.

Thanks,

Joe Harris

BUFTON HOUSE ADDITION

20529 RIGGS HILL WAY,
BROOKEVILLE, MARYLAND 20833

MICHE BOOZ

ARCHITECT

CS1

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

BUFTON HOUSE ADDITION

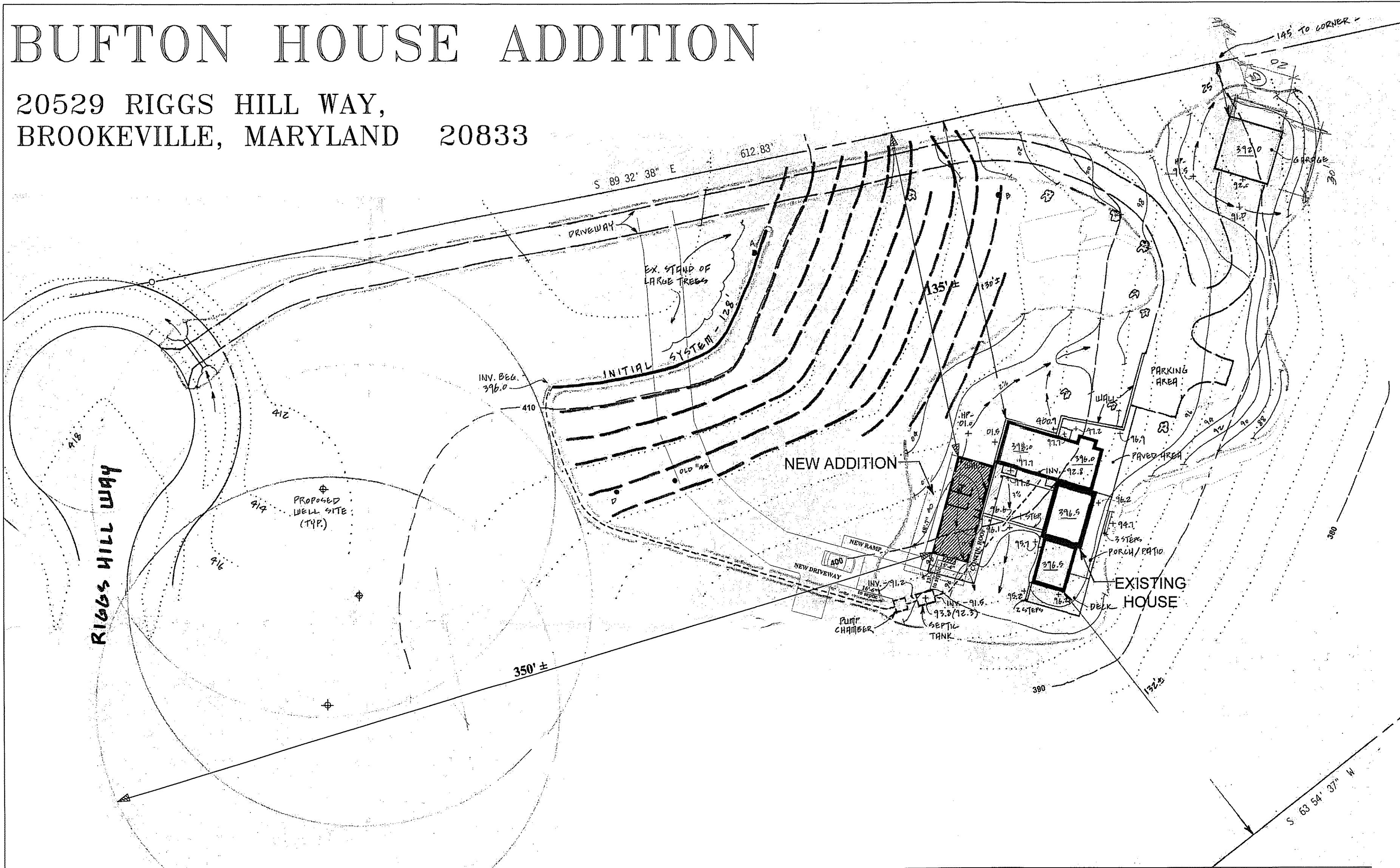
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

COVER SHEET

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF, 30 PSF SLEEPING
FROST LINE DEPTH:
30 IN.

LOADS

DECK: MIN. 40 PSF
ROOMS OTHER THAN SLEEPING:
40 PSF
ATTIC: MIN. 25 PSF
STAIRS: MIN. 40 PSF
FLOOR/ CEILING LIVE LOAD
DEFLECTION: L/360

FRAMING LUMBER:
ALL FRAMING SHALL BE SPRUCE
PINE FIR NO.1/NO.2 OR BETTER
UNLESS OTHERWISE NOTED.

ZONING

Owner: Jack & Carol Bufton
Address: 20529 Riggs Hill Way
Lot: 10
Subdivision: Hawlings River Estate
8th Election District
Zone: RC
Front BRL: 50' min.
Side BRL: 20' min.
Rear BRL: 35' min.
Lot Coverage: 10% max.
Bldg. Height: 50' max.
Lot: _____ Acres

CODES

IRC: International Residential Code 2000

ABBREVIATIONS

ABOVE APPROXIMATE	ABV	INTERIOR LIGHT	INT.
AT	APPROX.	MASONRY OPENING	LT
AVERAGES	©	MEDICINE CABINET	M.O.
BASEMENT	AVG	METAL	M.C.
BEAM	BSMT.	MINIMUM MISCELLANEOUS	MET.
BETWEEN	BM	NUMBER	MIN.
BLOCKING	BET.	ON CENTER	MISC.
BOARD	BLKG	OPENING	NO.
BOTTOM OF	BD	PAINTED	O.C.
BRICK	B.O.	PLYWOOD	OPNG
BUILDING	BR.	PLASTER	PTD
CEILING	BLDG	PLATE	PLYWD
CLEAN DUT	CLG	ROUGH OPENING	PLAS.
COLUMN	C.O.	RISER	PL.
CONCRETE	CDL	ROOM SECTION	R.O.
CONC. MASONRY UNIT	CONC.	SHEET	R.
CONTINUOUS	CMU	STEEL	RM
DETAIL	CONT.	STONE	SEC.
DIAMETER	DET.	THRESHOLD	SHT
DIMENSION	Ø	THICKNESS	STL
DOOR	DIM.	TO BE SPECIFIED	ST.
DOWNSPOUT	DR	TO MATCH EXISTING	THRES.
EACH	D.S.	TOP OF	THK
ELEVATION	EA.	TREAD	T.B.S.
ENTRANCE	EL.	TYPICAL	T.M.E.
EXISTING	ENT.	UNDERSIDE	T.O.
FEET	EXG	WITH	T.
FLOOR	FT		TYP.
FOUNDATION	FL		U/S
GLASS	FNDN		W/
GRADE	GL.		WD
HARDWOOD	GR.		
HEIGHT	HWWD		
INCH	HT		
INSULATION	IN.		
	INSUL.		

INDEX OF DRAWINGS

AB1	AS-BUILT PLANS
AB-2	AS-BUILT ELEVATIONS
A1	FIRST FLOOR PLAN
A2	ATTIC FLOOR PLAN
A3	NORTH & SOUTH ELEVS.
A4	EAST & WEST ELEVS.
A5	SECTIONS A-A & B-B
DT1	DETAIL PAGE 1
DT2	DETAIL PAGE 2
DT3	DETAIL PAGE 3
SC1	WINDOW & DOOR SCHED.
S-1	FNDN. & FRAMING PLAN
S-2	ROOF FRAMING & TRUSS

Consultants:

General Contractor:

T.B.D.

Mechanical Contractor:

T.B.D.

Electrical Contractor:

T.B.D.

Code:

IRC 2000

PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

ABI

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

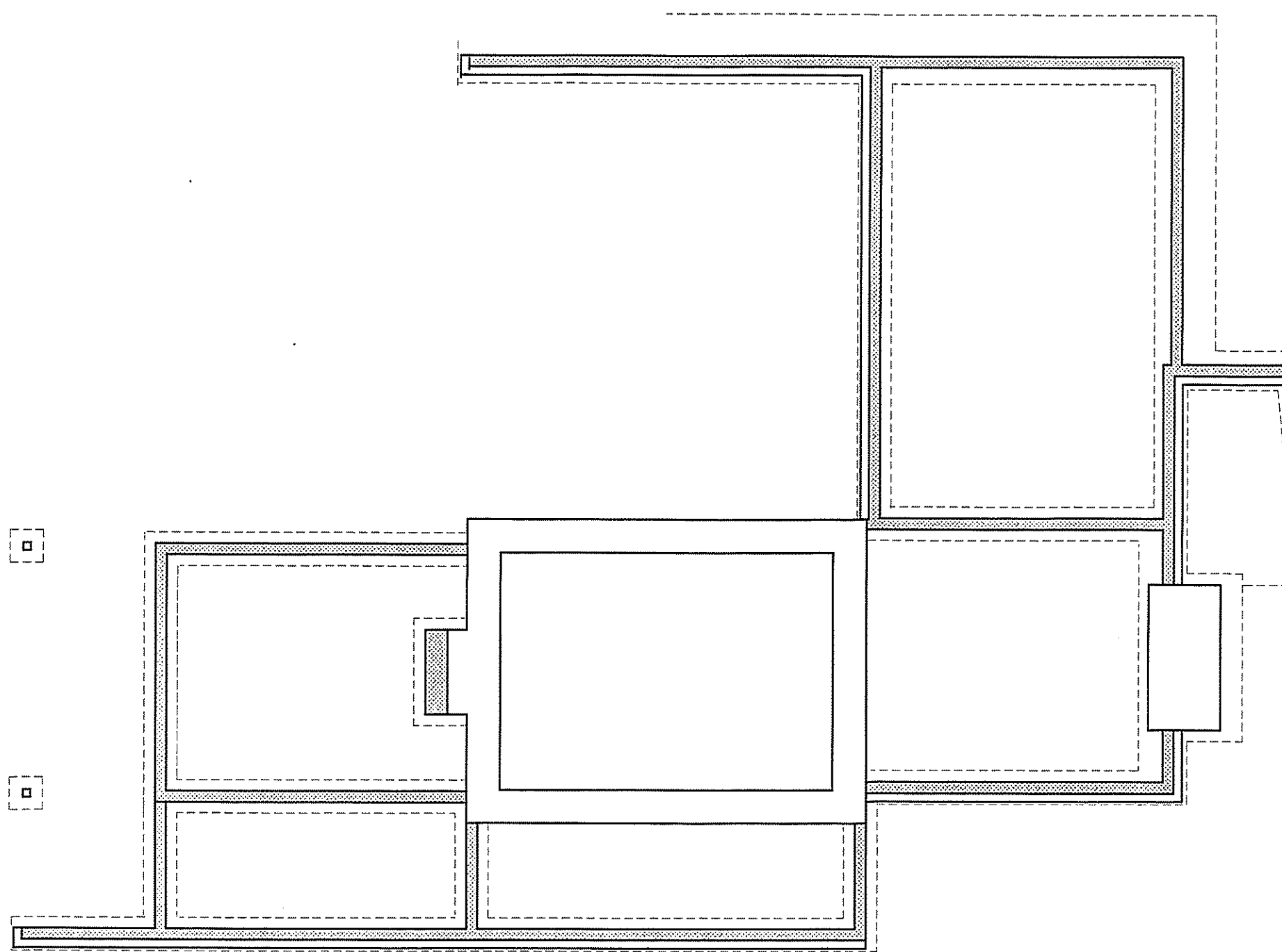
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

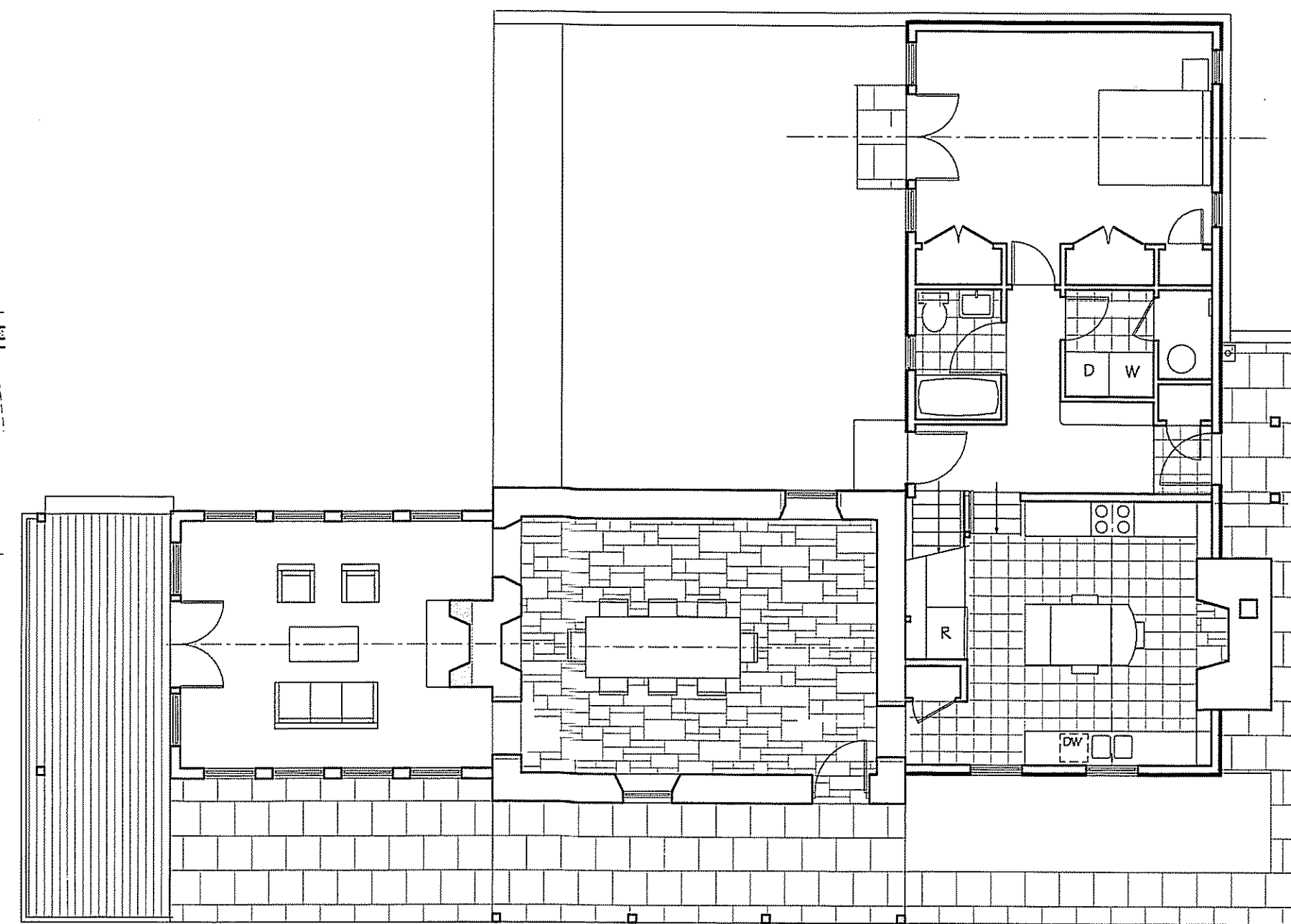
AS-BUILT PLANS

Dates:

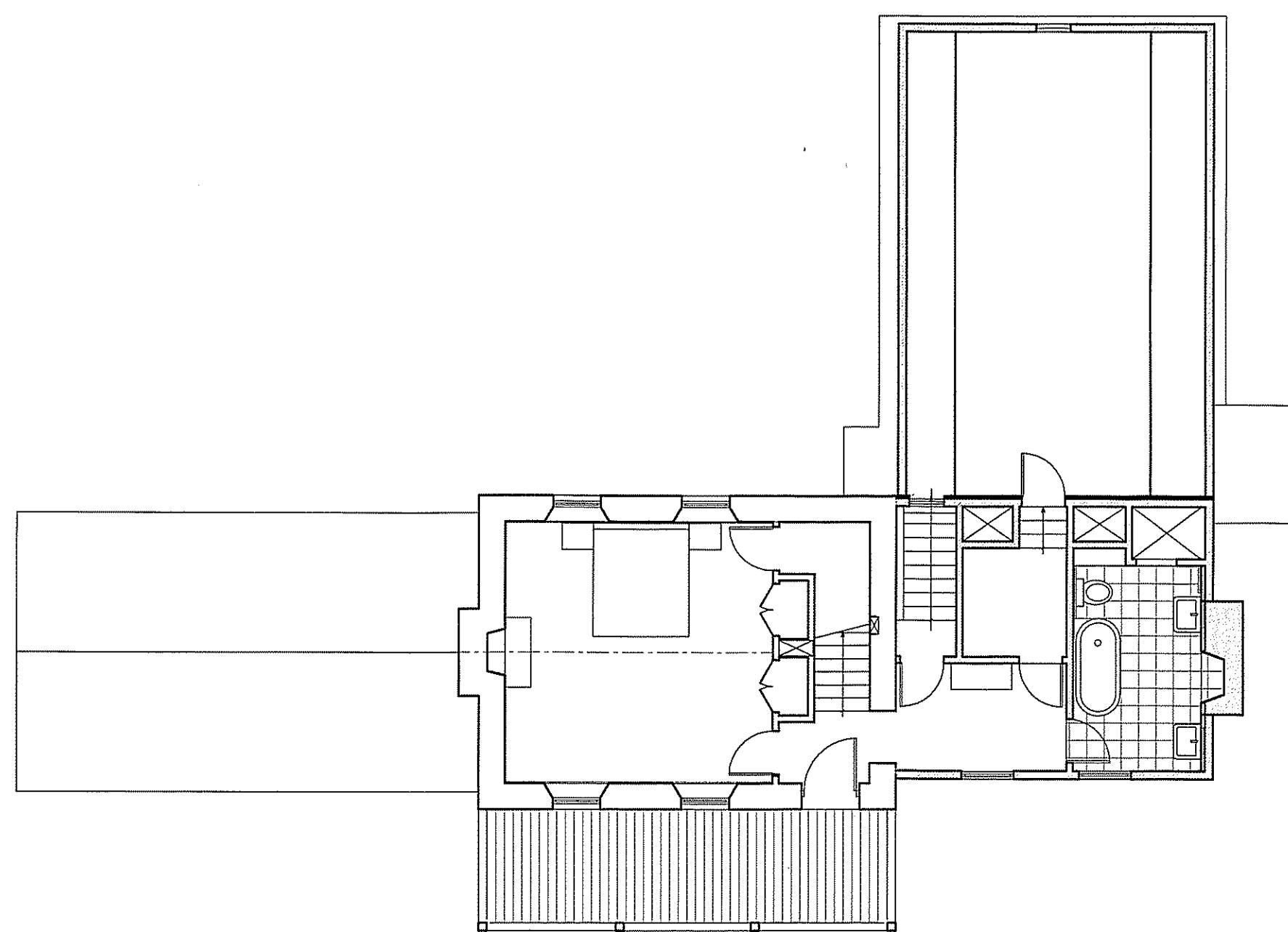
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SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



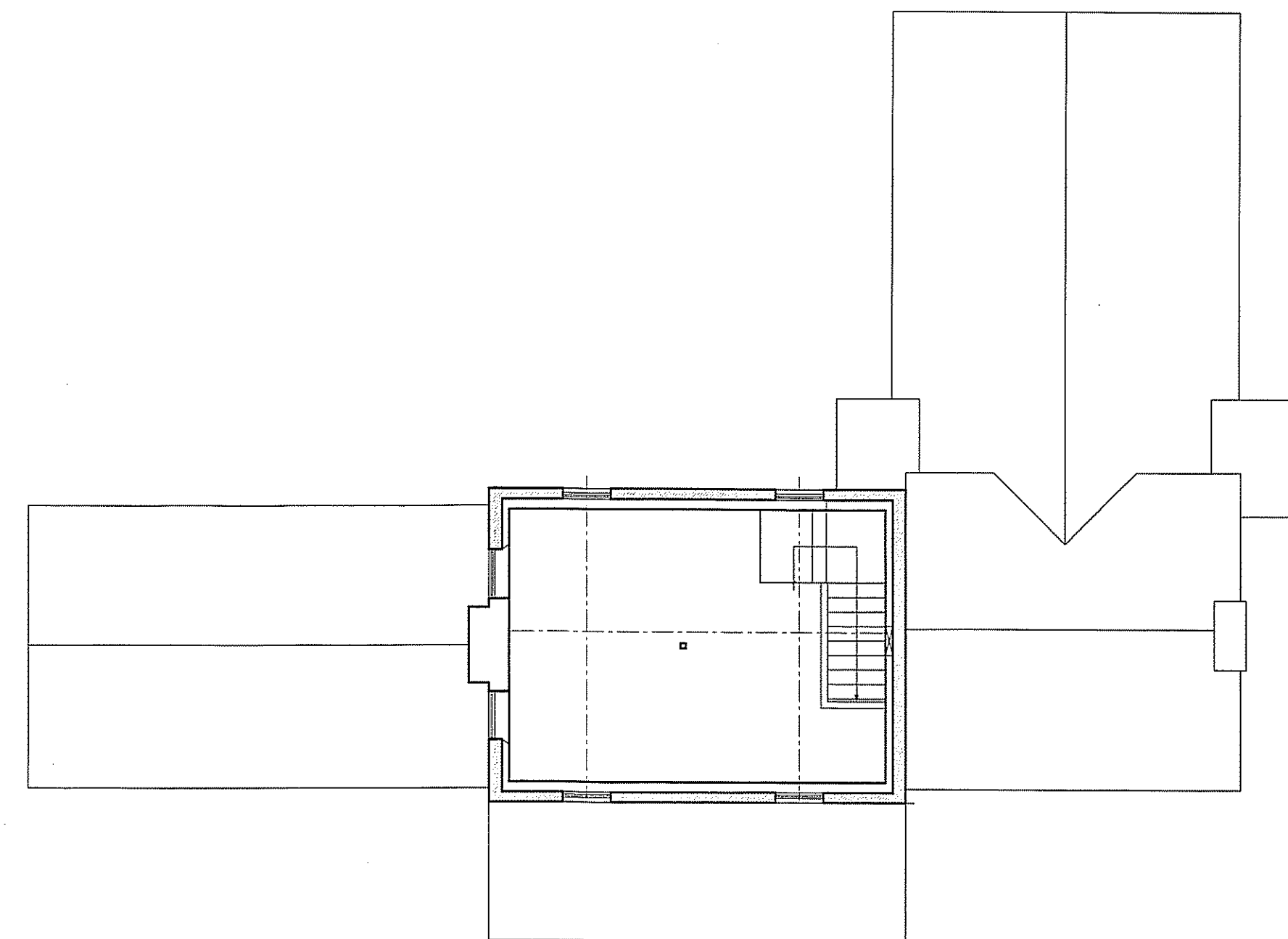
1 BASEMENT PLAN
ABI SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
ABI SCALE: 1/8" = 1'-0"



3 SECOND FLR. PLAN
ABI SCALE: 1/8" = 1'-0"



4 THIRD FLOOR PLAN
ABI SCALE: 1/8" = 1'-0"

PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

AB2

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

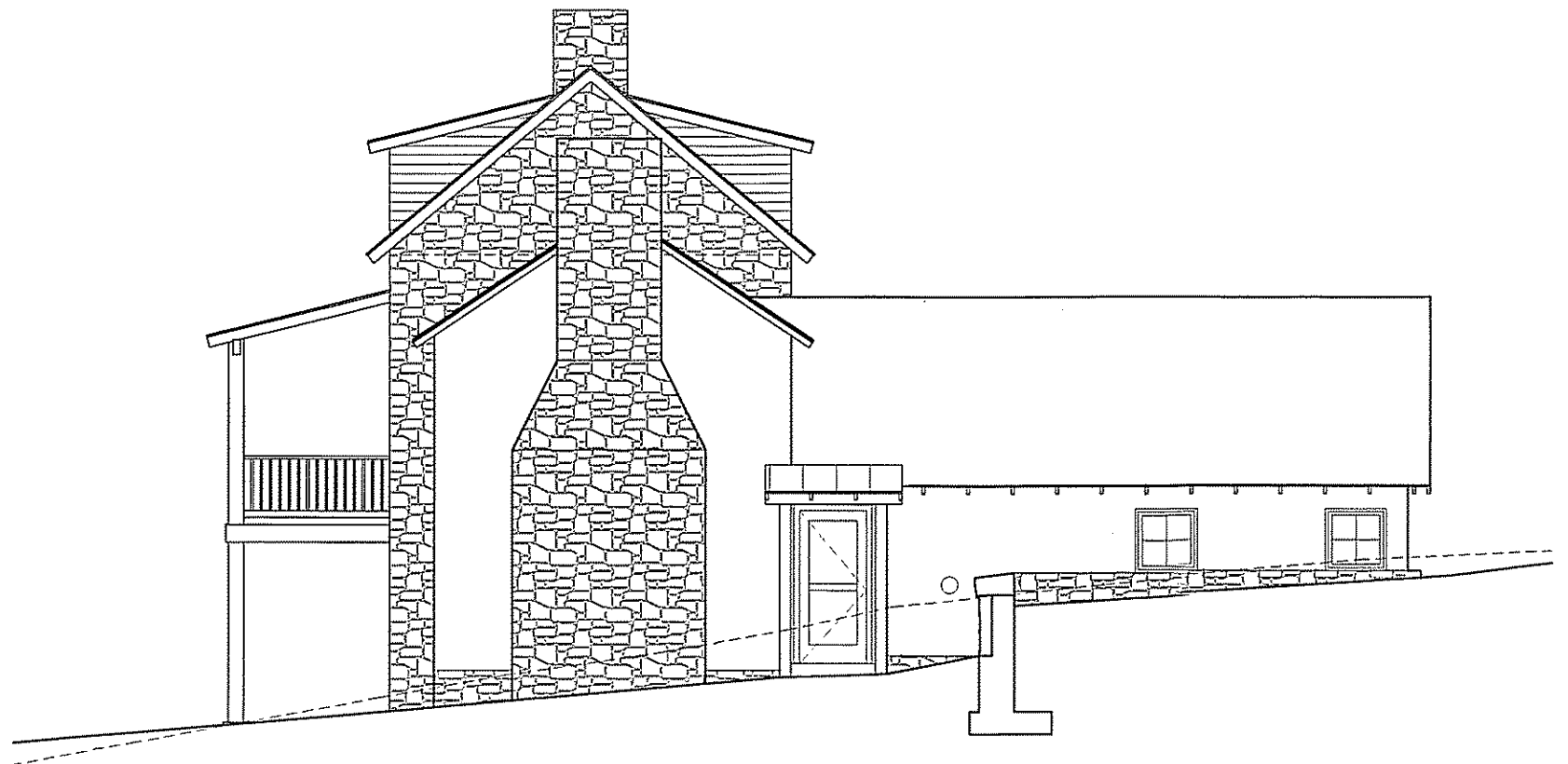
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

AS-BUILT ELEVATIONS

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 NORTH ELEVATION
AB2 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
AB2 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
AB2 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
AB2 SCALE: 1/8" = 1'-0"

PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

AI

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

BUFTON HOUSE ADDITION

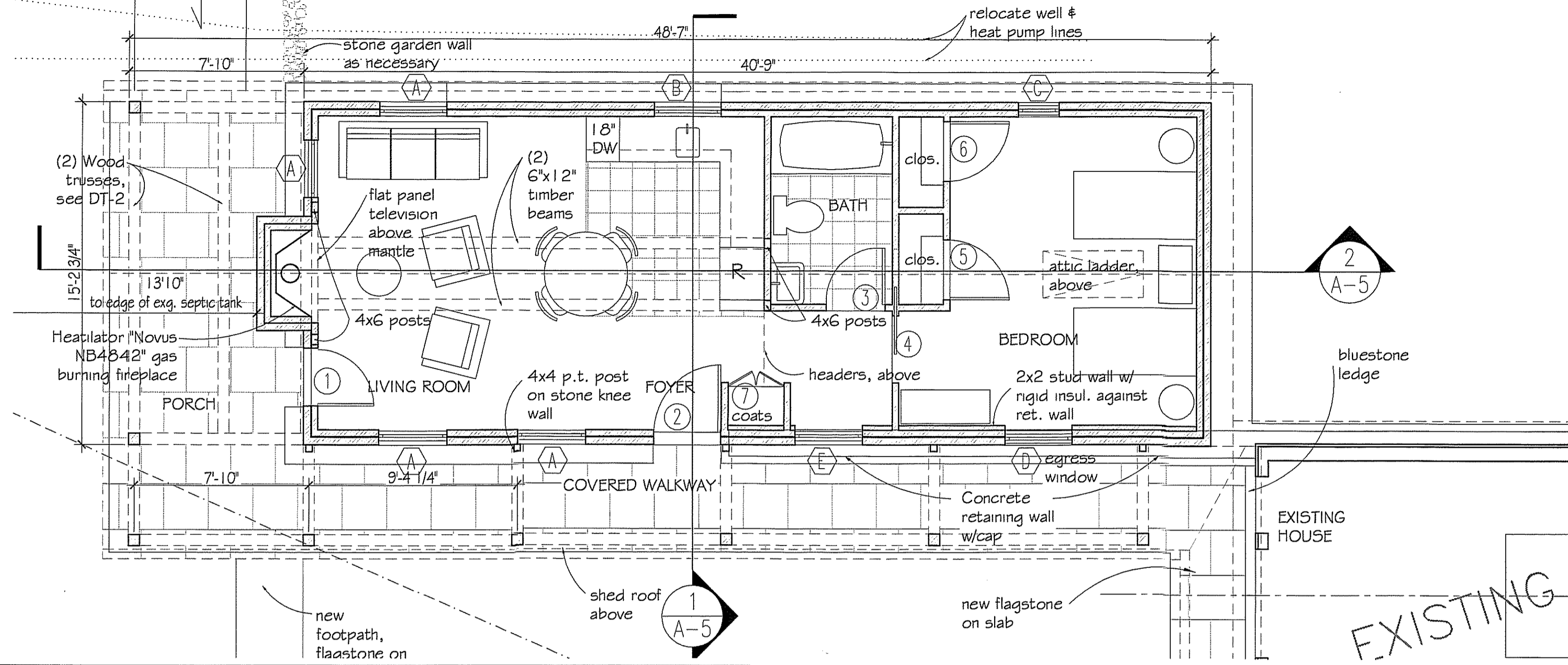
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

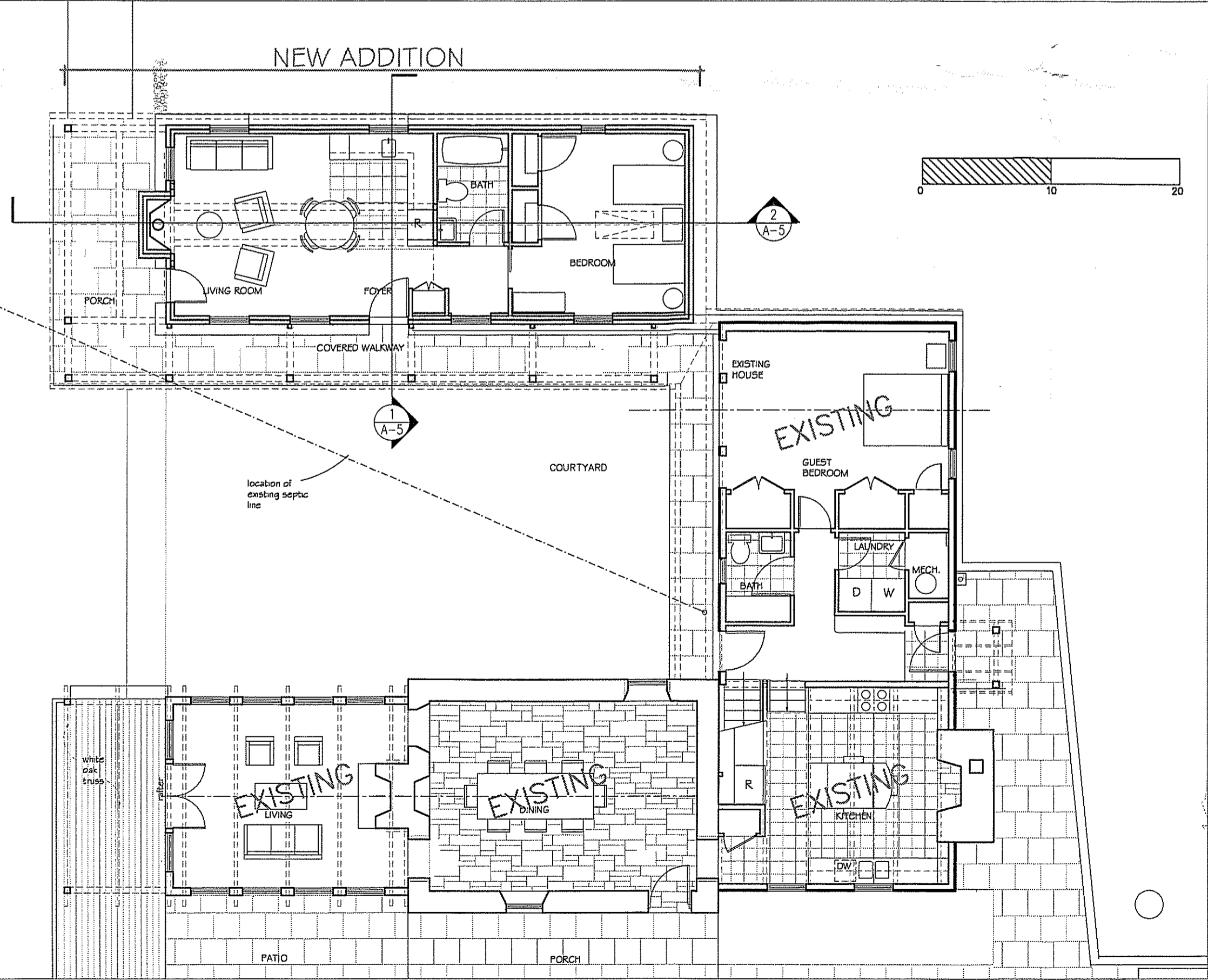
FIRST FLOOR PLAN

Dates:

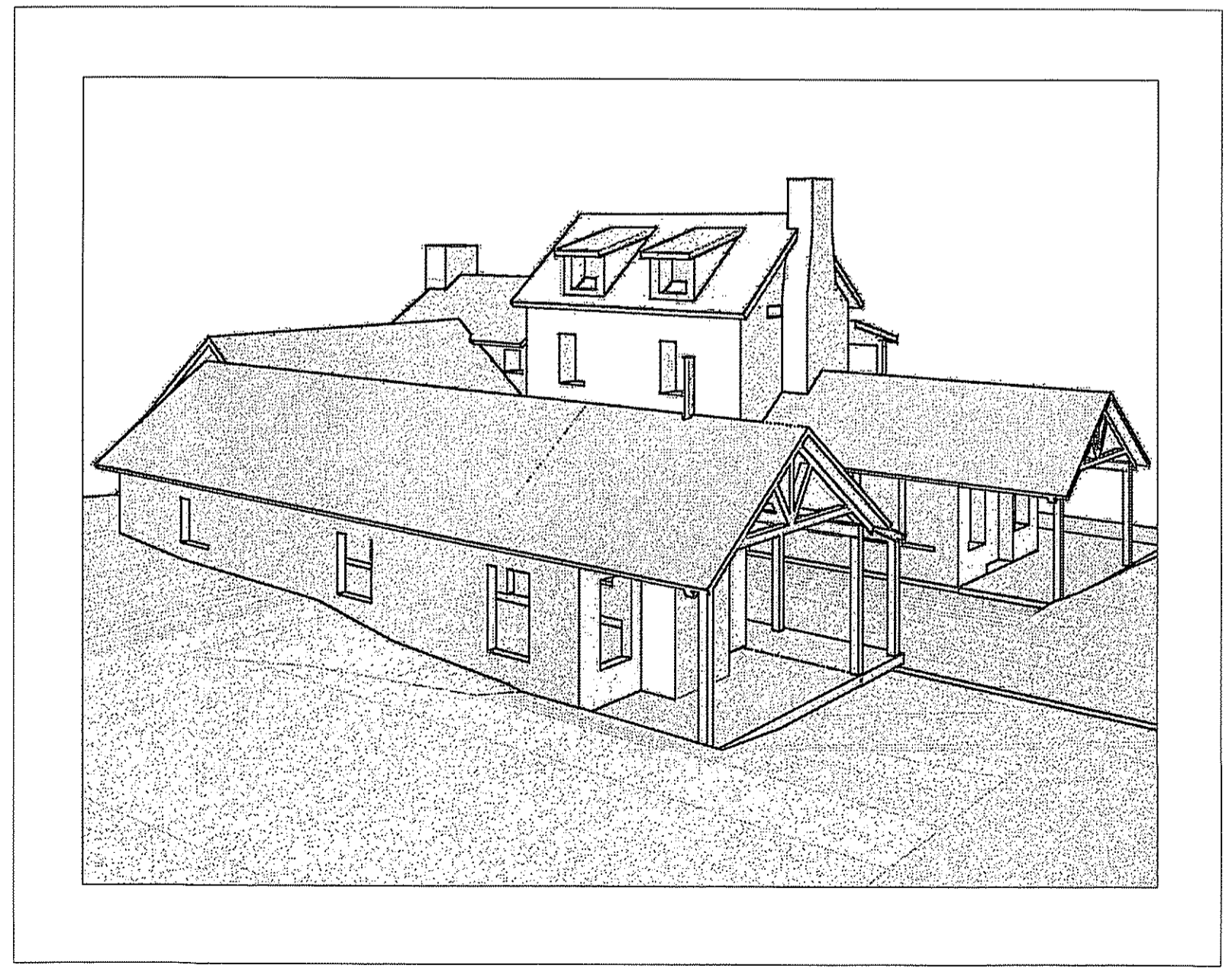
AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 FIRST FLR. DET.
SCALE: 1/4" = 1'-0"



2 FIRST FLR. PLAN
SCALE: 1/8" = 1'-0"



PERMIT SET- 20 MAY 2004

MICHE BOOZ

ARCHITECT

A2

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

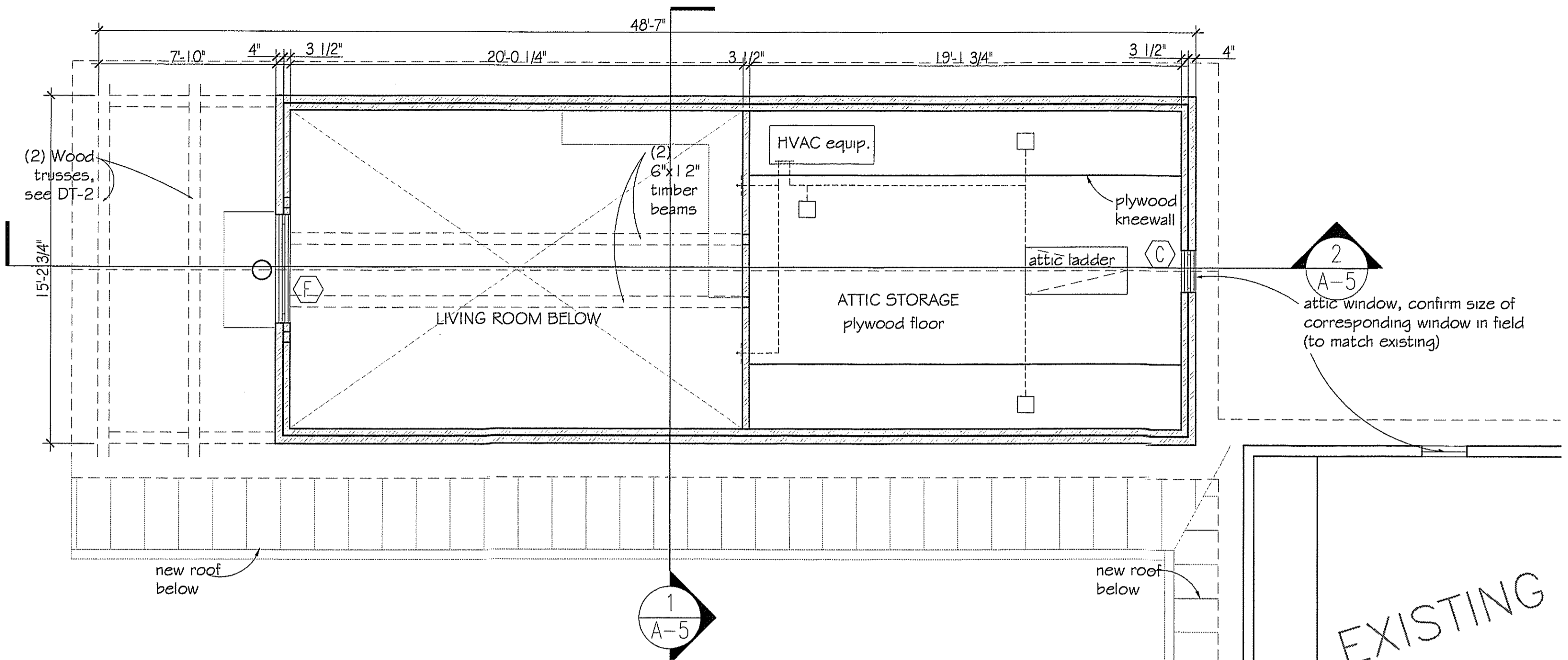
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

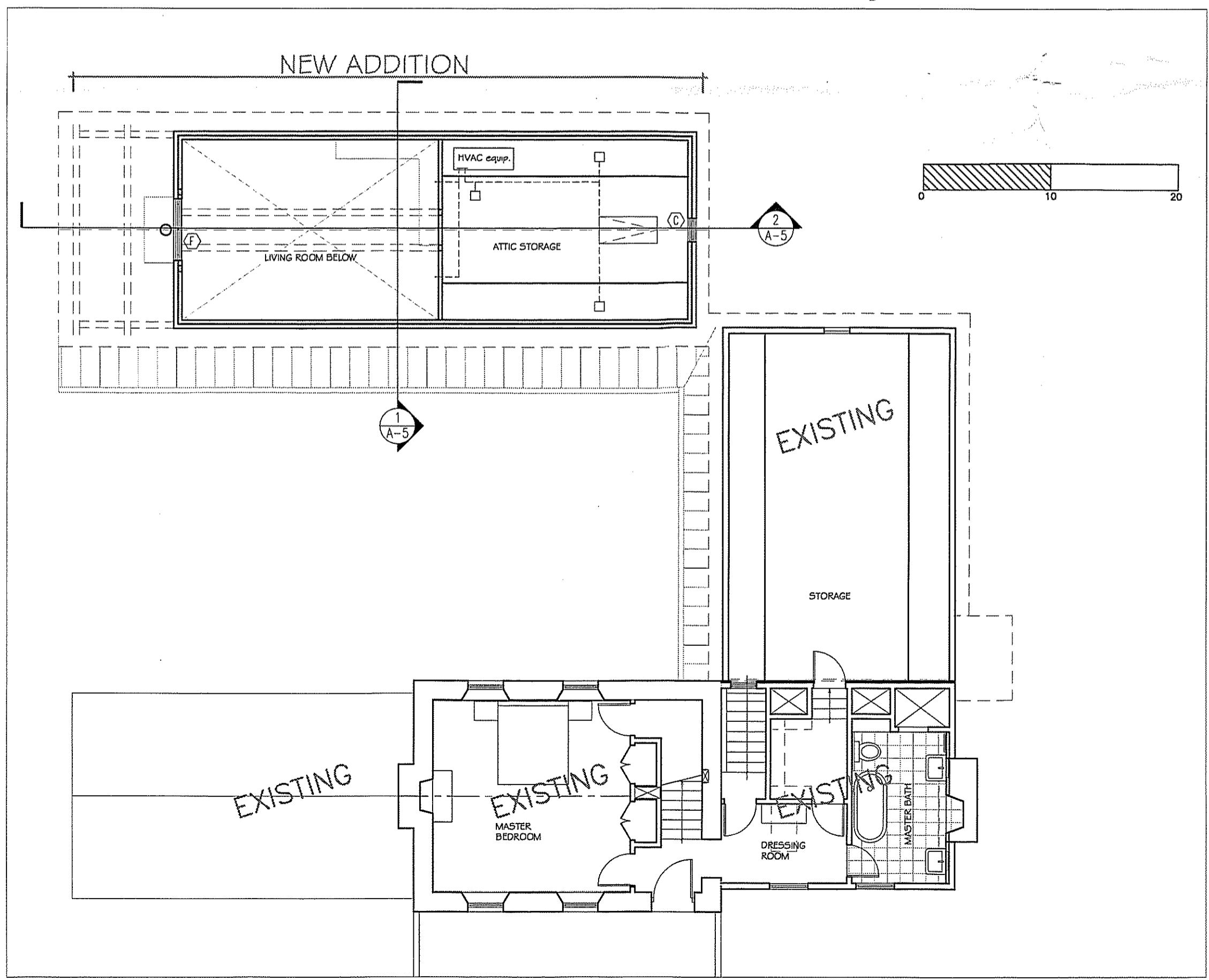
ATTIC FLOOR PLAN

Dates:

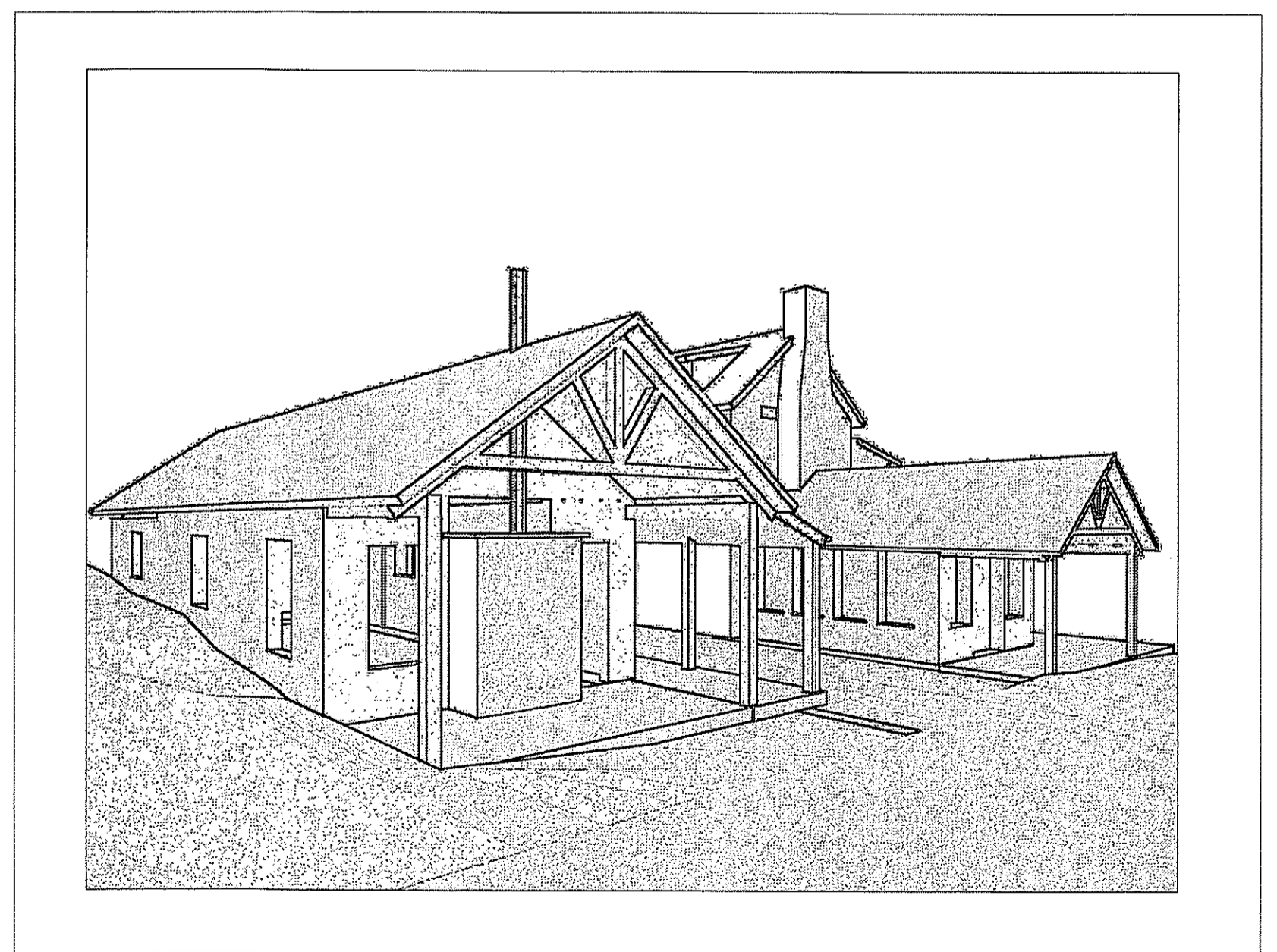
AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 ATTIC FLR. DETAIL
A2 SCALE: 1/4" = 1'-0"



2 ATTIC FLR. PLAN
A2 SCALE: 1/8" = 1'-0"



MICHE BOOZ

ARCHITECT

A3

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

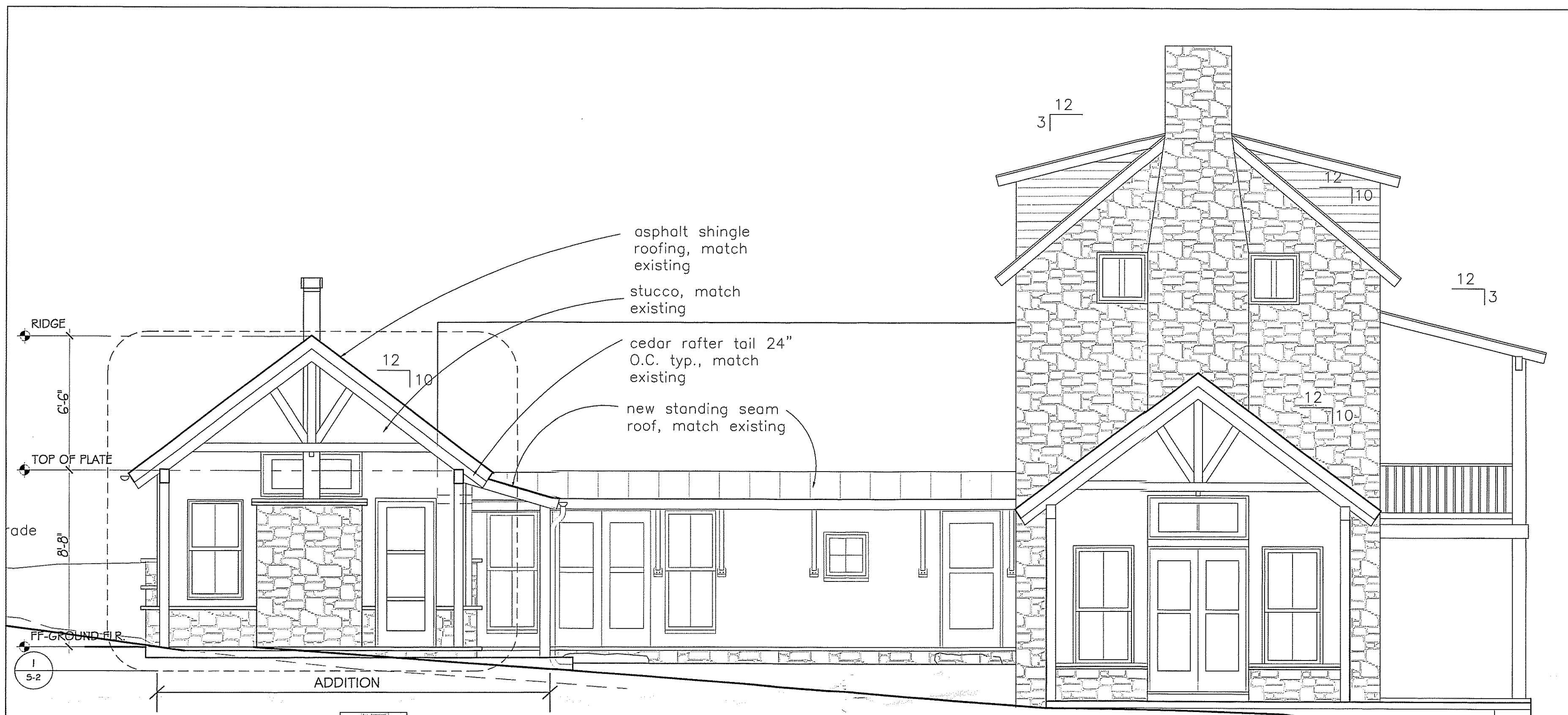
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

SOUTH & NORTH
ELEVATIONS

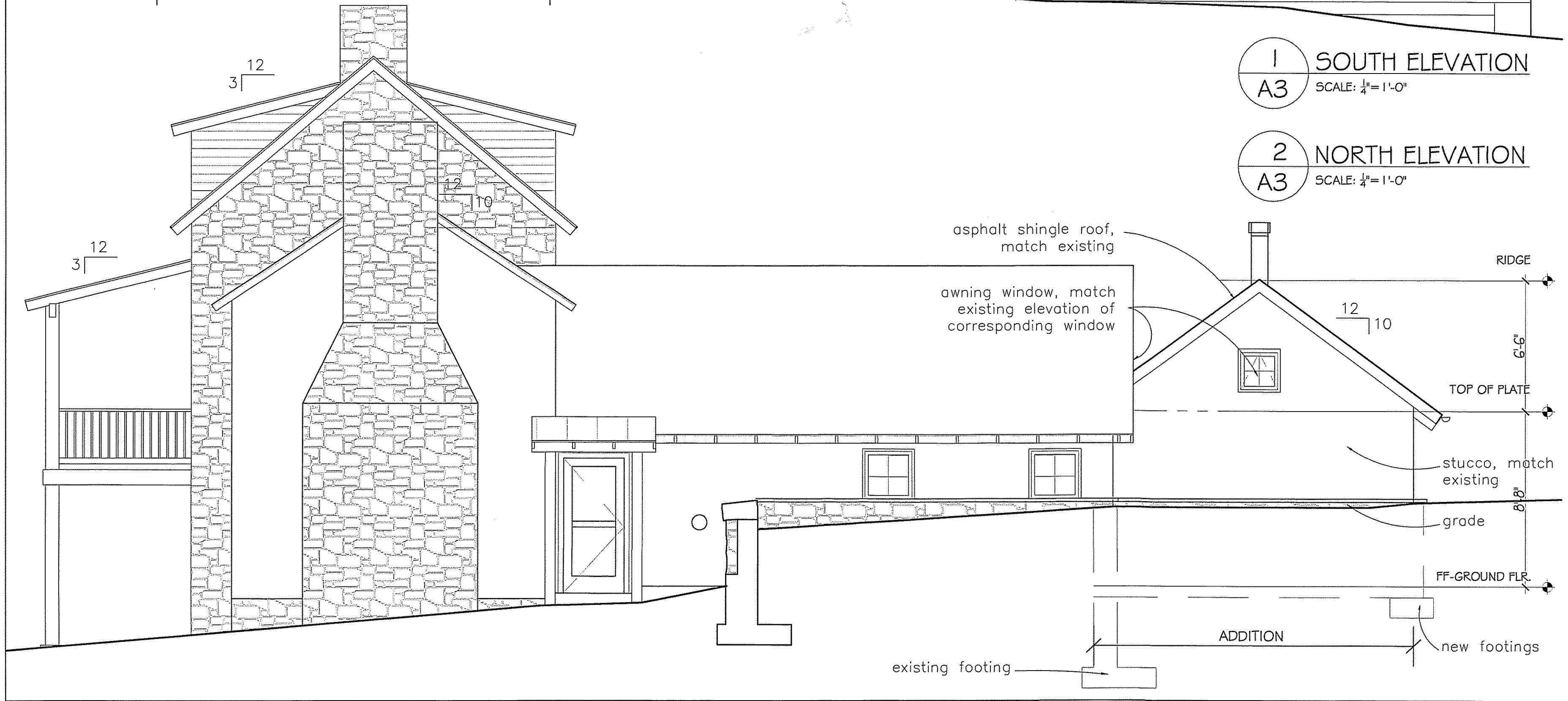
Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 SOUTH ELEVATION
A3 SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION
A3 SCALE: 1/4" = 1'-0"



PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

A4

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

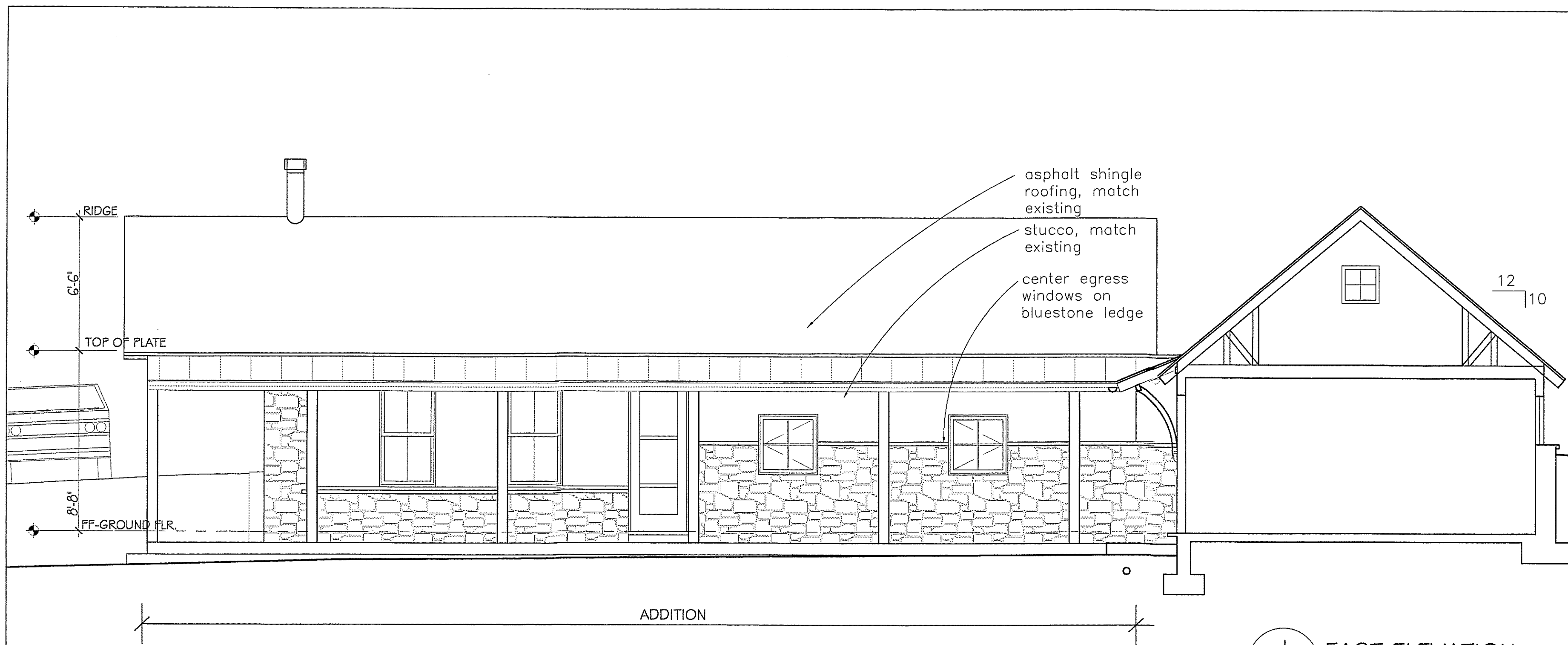
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

EAST & WEST ELEVATIONS

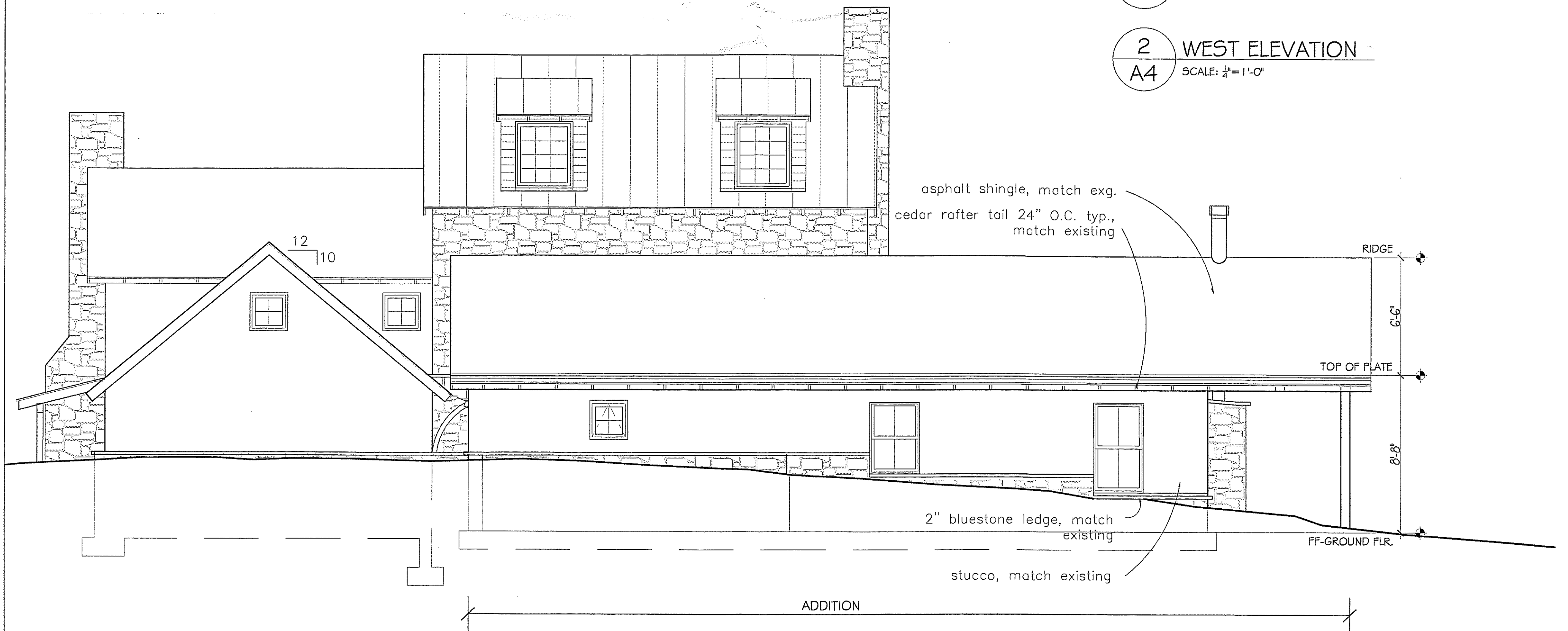
Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 EAST ELEVATION
A4 SCALE: 1/4" = 1'-0"

2 WEST ELEVATION
A4 SCALE: 1/4" = 1'-0"



PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

A5

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

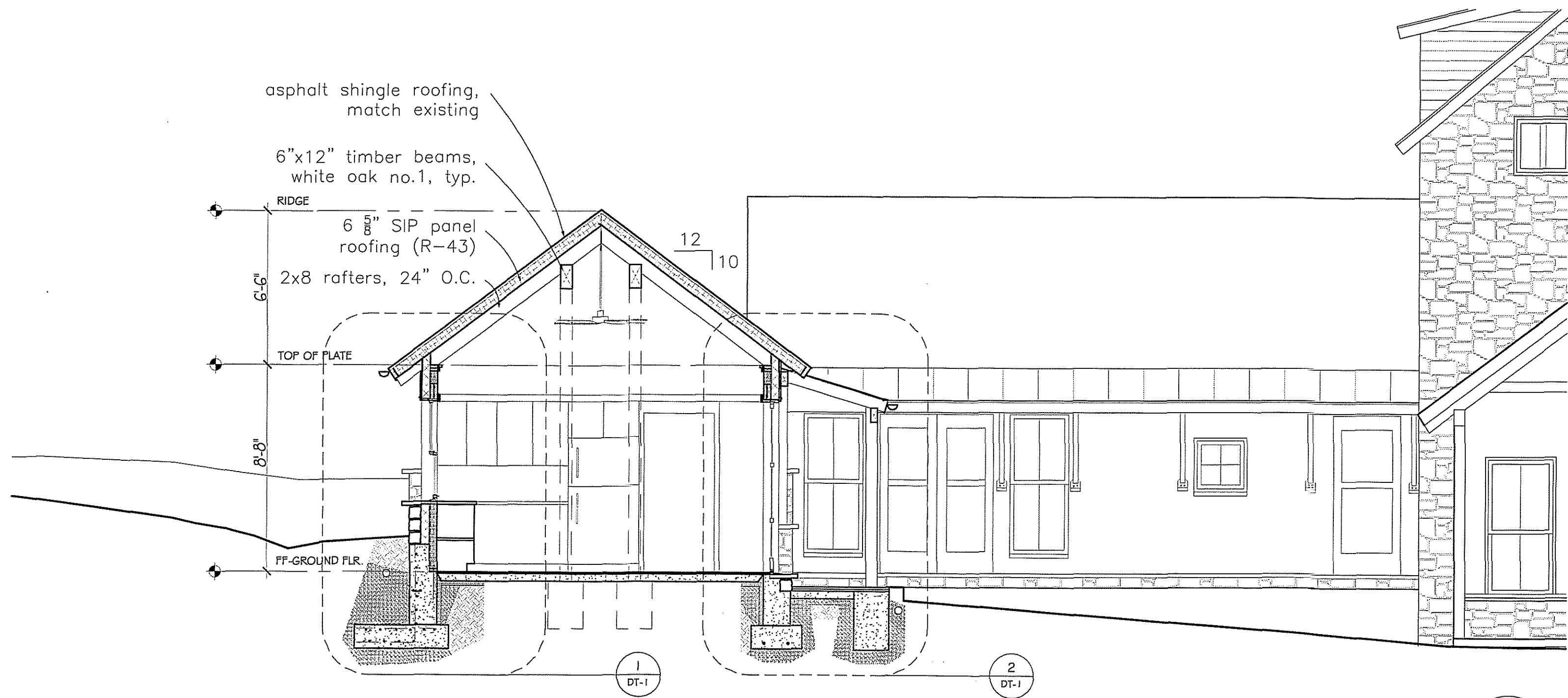
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

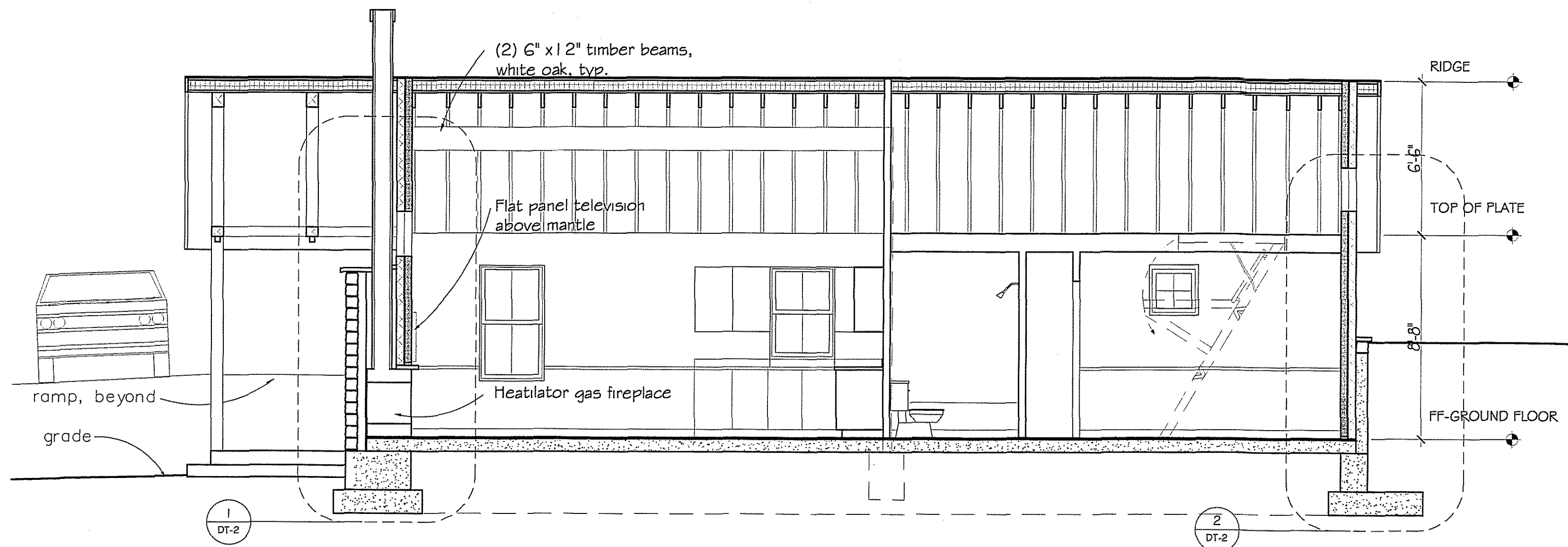
SECTIONS A-A & B-B

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 SECTION A-A
A5 SCALE: 1/4" = 1'-0"



2 SECTION B-B
A5 SCALE: 1/4" = 1'-0"

PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

DTI

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

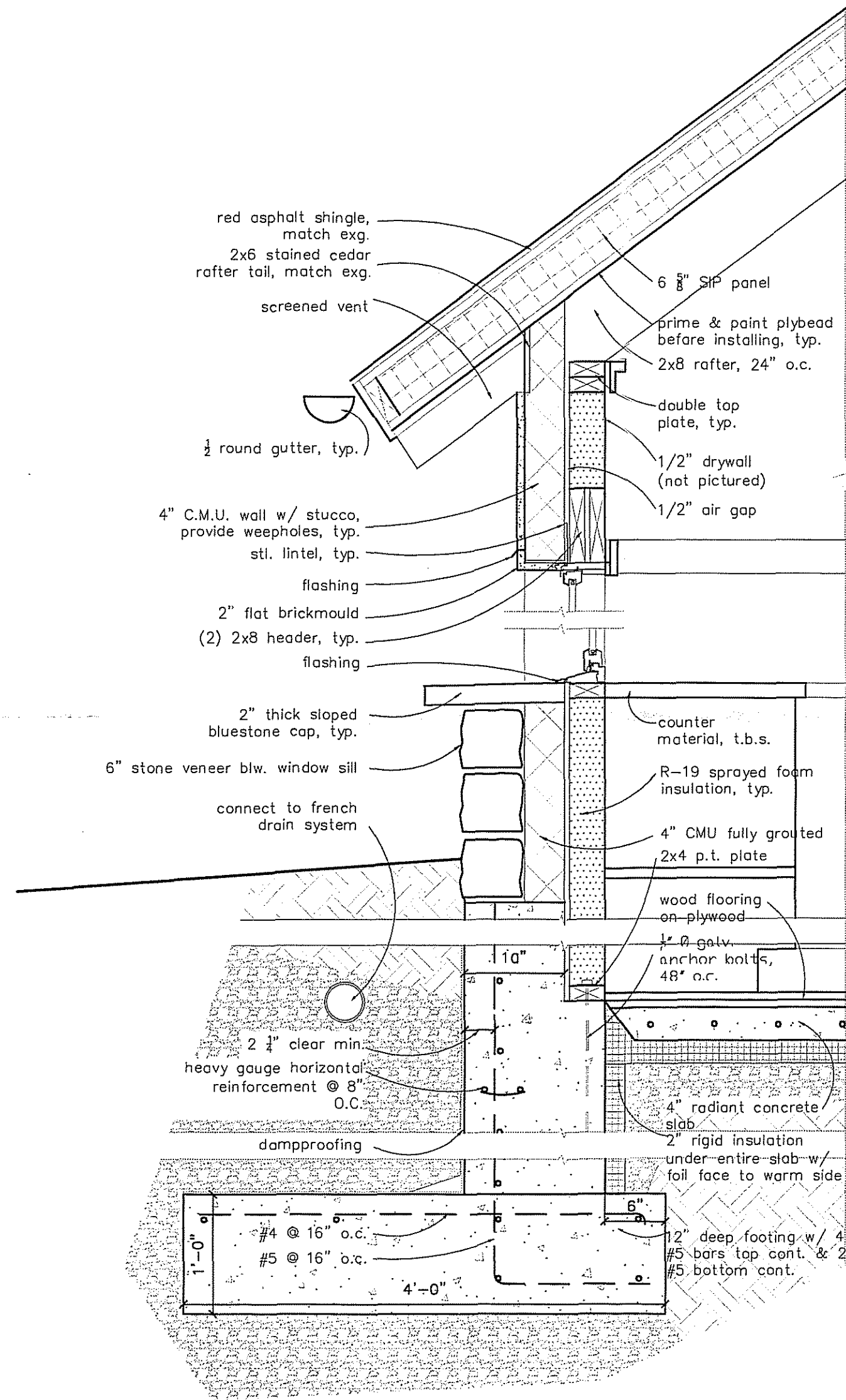
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

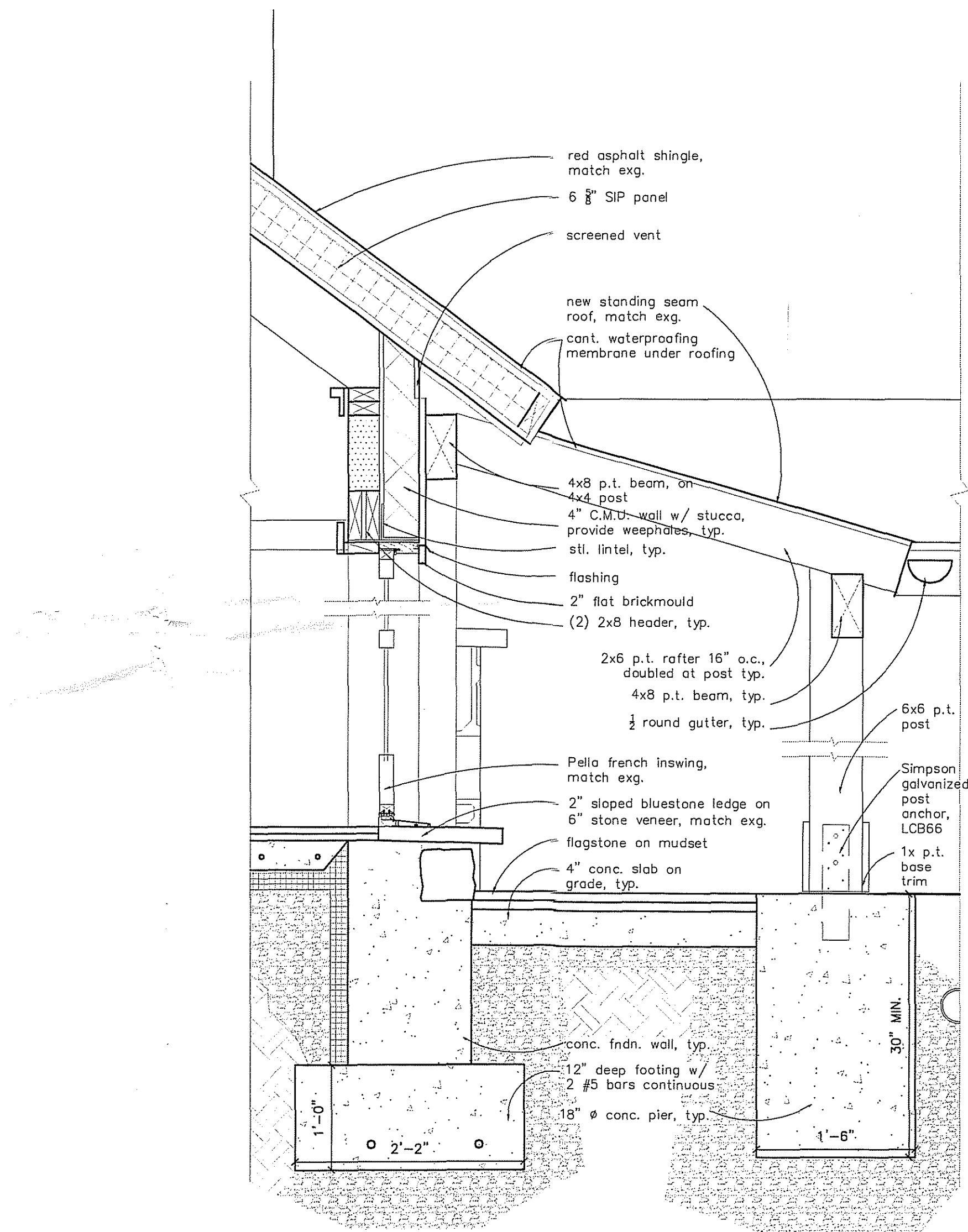
WALL SECTIONS

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 TYP. WALL DETAIL
DTI SCALE: 1"=1'-0"



2 WALKWAY DETAIL
DTI SCALE: 1"=1'-0"

MICHE BOOZ

ARCHITECT

DT2

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

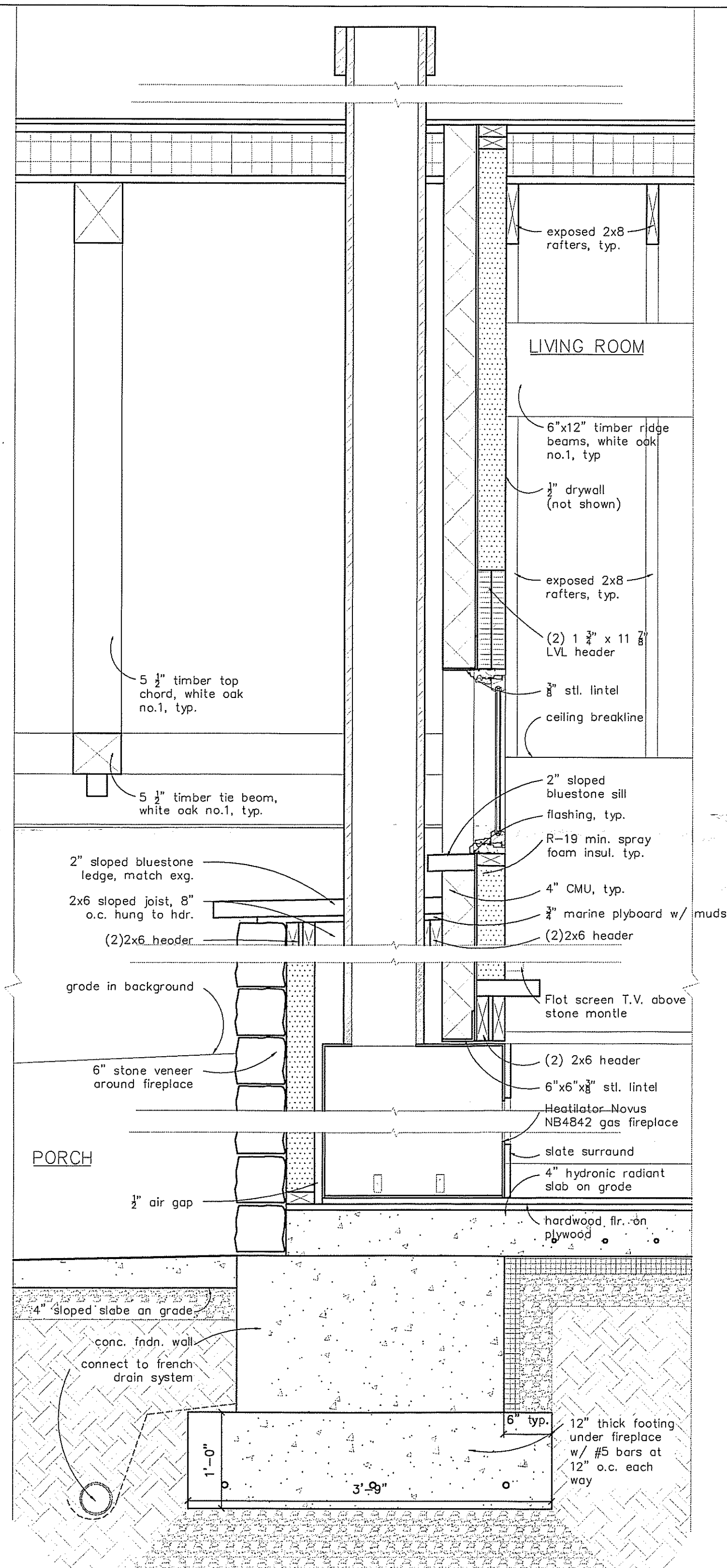
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

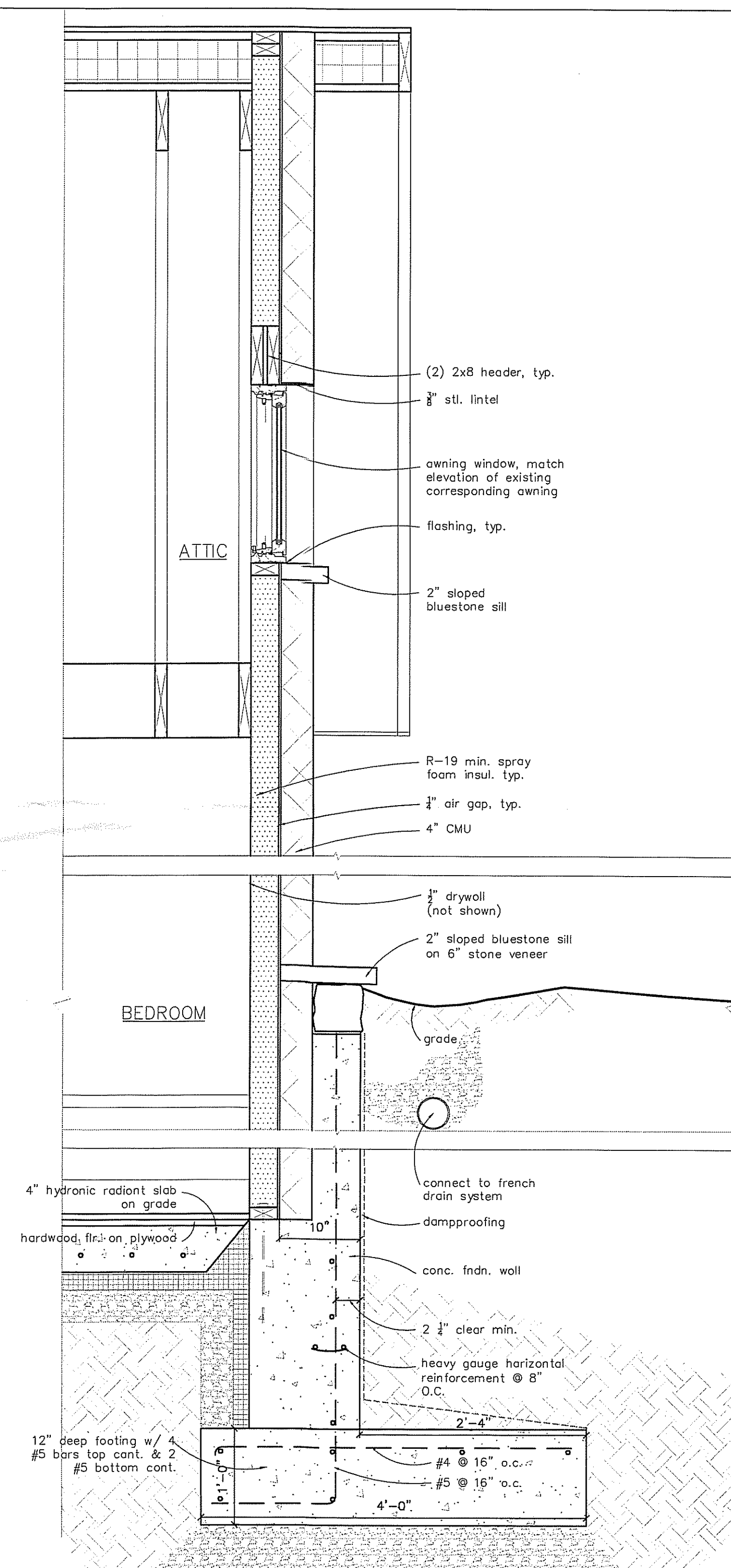
WALL SECTIONS

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04



1 FIREPLACE DETAIL
DT2 SCALE: 1"=1'-0"



2 RET. WALL DETAIL
DT2 SCALE: 1"=1'-0"

PERMIT SET - 20 MAY 2004

WINDOW SCHEDULE

NO.	LOCATION	MANUF.	STYLE/ NO.	EXT. MATERIAL	COLOR	GRILLE # PATTERN - SDL	FRAME OPNG	WINDOW TYPE	INT. FINISH	SCREEN	HARDW.	NOTES
(A)	LIVING ROOM	PELLA	ARCH. SERIES 3359	WOOD		7/8" PERIMETER-INT. EXT., 2/2	2'-9" X 4'-11"	DOUBLE HUNG	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD, TEMPERED
(B)	LIVING ROOM	PELLA	ARCH. SERIES 3347	WOOD		7/8" PERIMETER-INT. EXT., 2/2	2'-9" X 3'-11"	DOUBLE HUNG	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD
(C)	BEDROOM (NW)	PELLA	ARCH. SERIES 2525	WOOD		7/8" PERIMETER-INT. EXT., 2/2	2'-1" X 2'-1"	AWNING	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD, CONTRACTOR VERIFY SIZE IN FIELD
(D)	BEDROOM (EAST)	PELLA	ARCH. SERIES 3535	WOOD		7/8" PERIMETER-INT. EXT., 2/2	2'-11" X 2'-11"	CASEMENT	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD
(E)	HALL	PELLA	ARCH. SERIES 3535	WOOD		7/8" PERIMETER-INT. EXT., 2/2	2'-11" X 2'-11"	CASEMENT	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD
(F)	ABV. MANTLE	PELLA	ARCH. SERIES 6025	WOOD		7/8" PERIMETER-INT. EXT.	4'-11 1/4" X 2'-1"	FIXED TRANSOM	STAIN # LACQUER	WHITE	T.B.S	NO BRICK MOULD

DOOR SCHEDULE

NO.	LOCATION	MANUF.	DOOR TYPE/ MODEL NO.	MATERIAL	EXT. FINISH	DOOR SIZE	R.O.	INT. FINISH	SCREEN	HARDWARE	NOTES
(1)	LIVING ROOM	PELLA	FRENCH INSWING	PINE (WD)		3'-0" X 7'-2"		PAINTED	NONE	PASSAGE LOCK	NO BRICK MOULD, TEMPERED
(2)	FOYER	PELLA	FRENCH INSWING	PINE (WD)		3'-0" X 7'-2"		PAINTED	NONE	PASSAGE LOCK	NO BRICK MOULD, TEMPERED
(3)	BATHROOM	T.B.S.	SWING	PINE (WD)		2'-10" X 6'-8"		PAINTED	NONE	CLOSET LATCH	
(4)	BEDROOM	T.B.S.	POCKET	PINE (WD)		3'-0" X 6'-8"		PAINTED	NONE	CLOSET LATCH	
(5)	BEDROOM CLOSET	T.B.S.	SWING	PINE (WD)		2'-8" X 6'-8"		PAINTED	NONE		
(6)	BEDROOM CLOSET	T.B.S.	SWING	PINE (WD)		2'-8" X 6'-8"		PAINTED	NONE		
(7)	LINEN CLOSET	T.B.S.	BI-PART SWING (PAIR)	PINE (WD)		2'-6" X 6'-8"		PAINTED	NONE		

SYMBOLS LEGEND

MICHE BOOZ

ARCHITECT

SC1

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

WINDOW & DOOR
SCHEDULES

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04

PERMIT SET - 20 MAY 2004

MICHE BOOZ

ARCHITECT

SI

208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

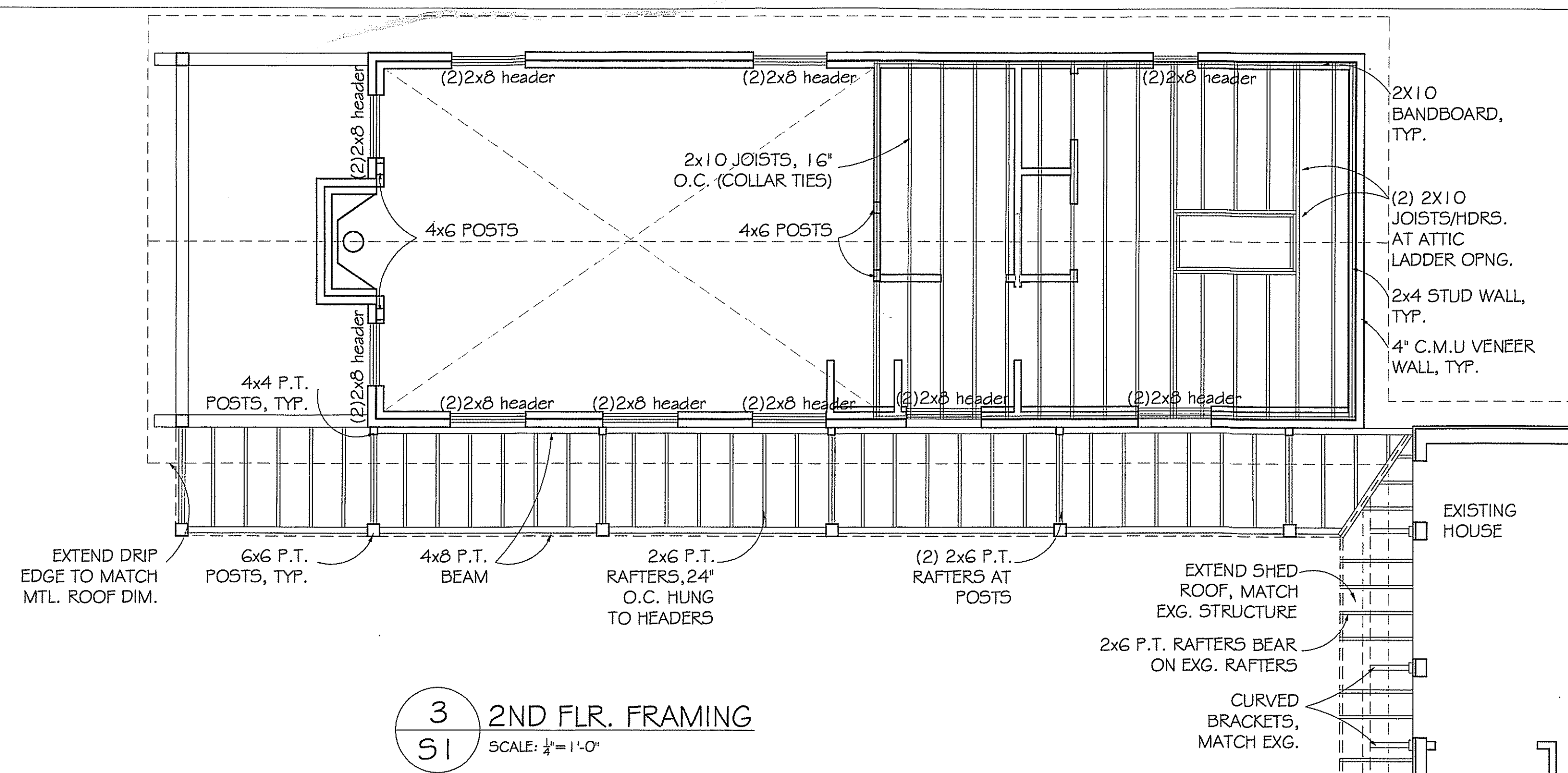
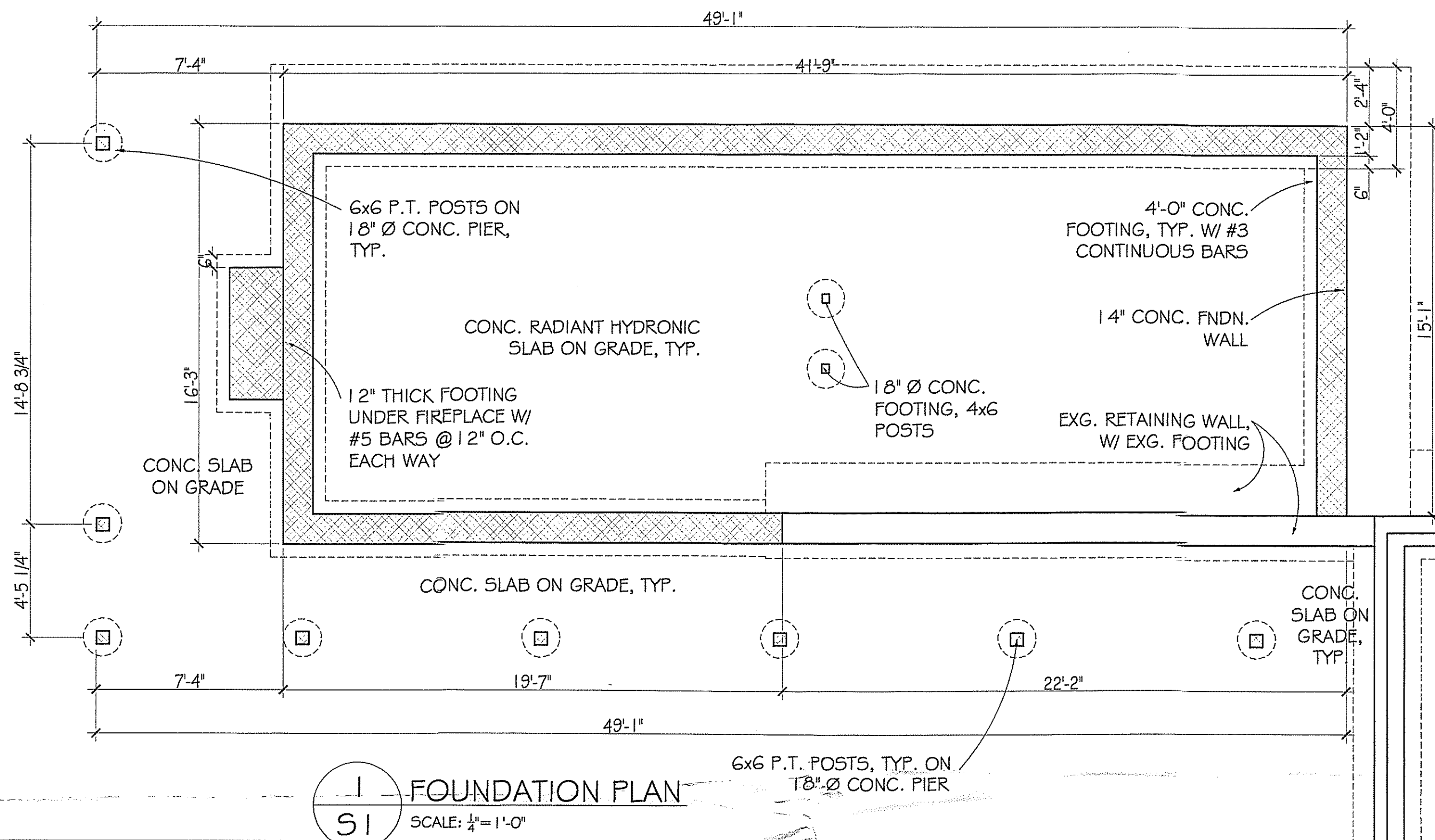
20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

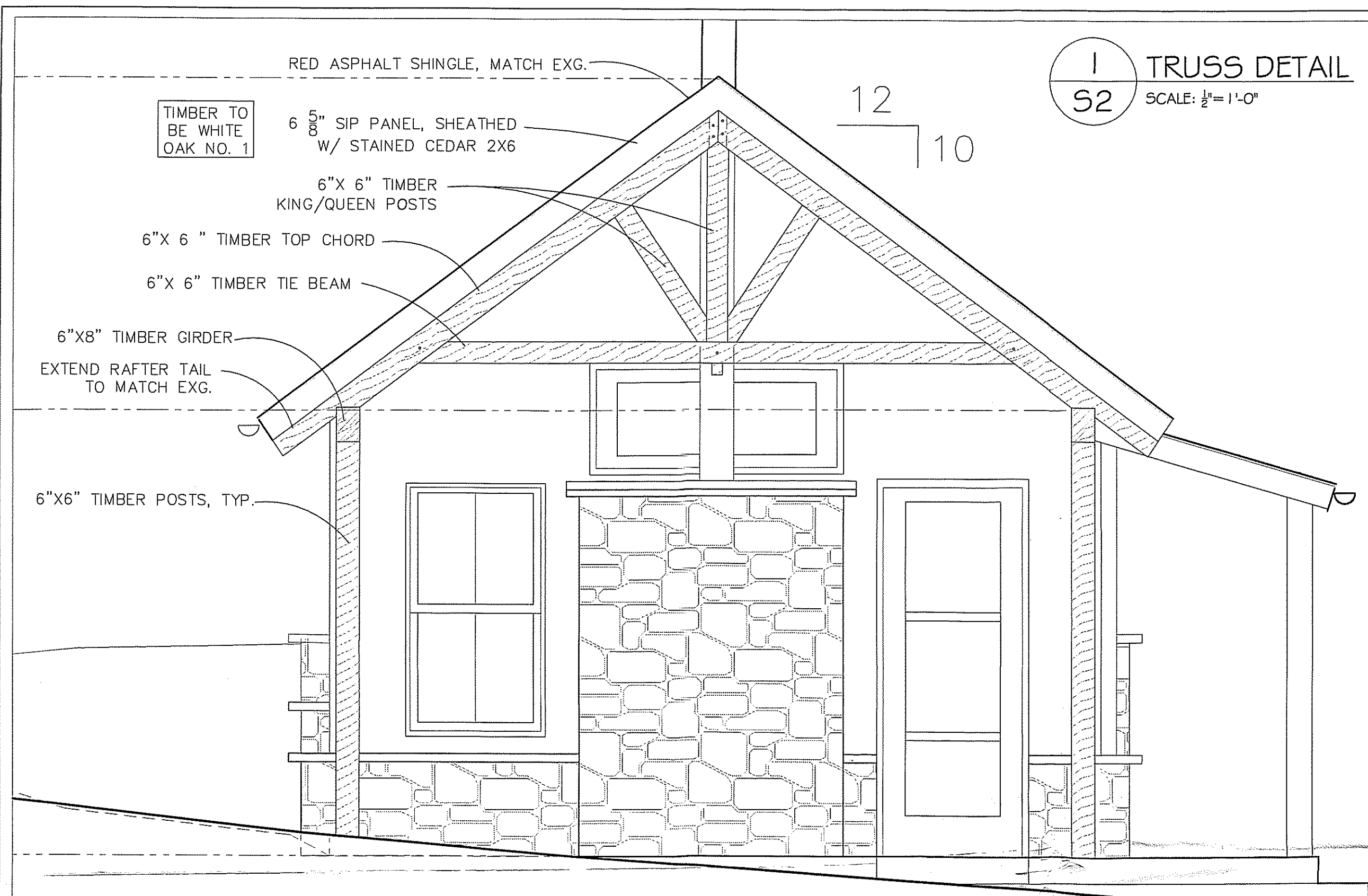
FOUNDATION & 2ND
FLOOR FRAMING PLANS

Dates:

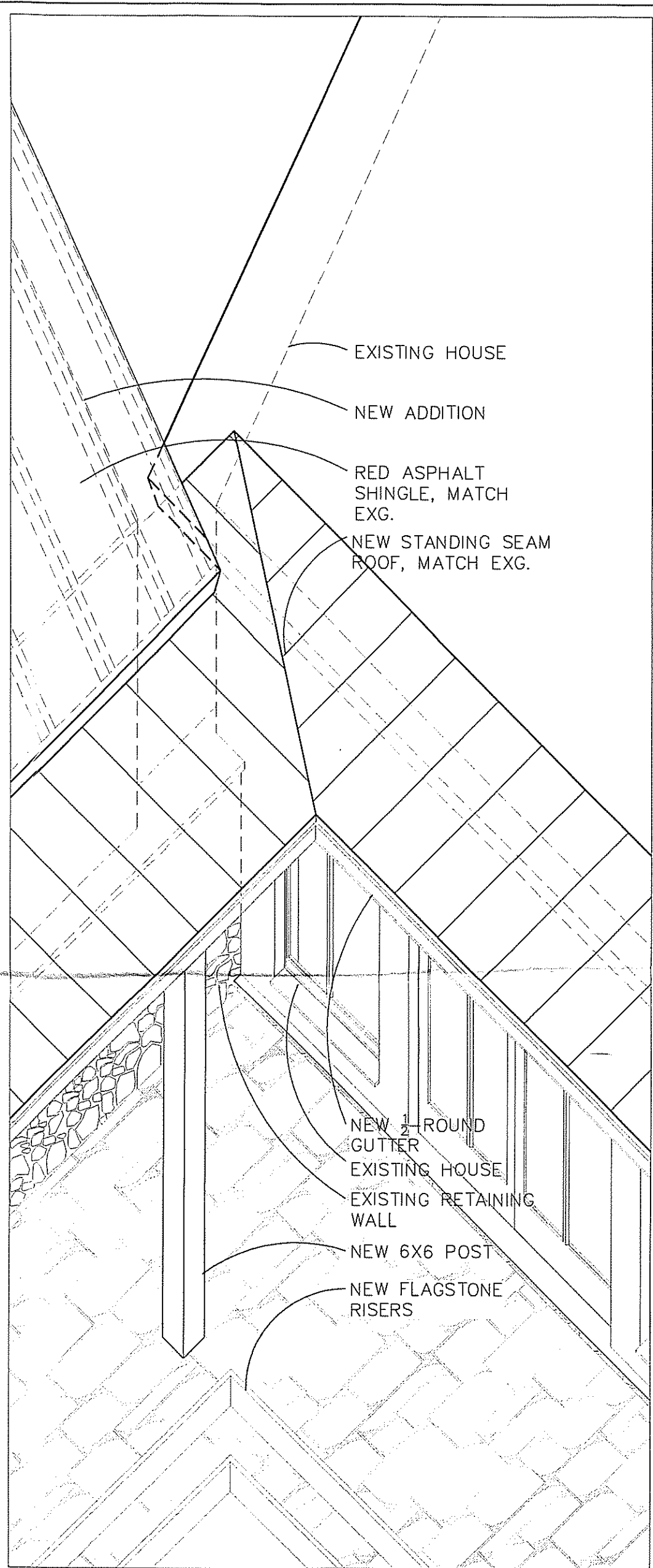
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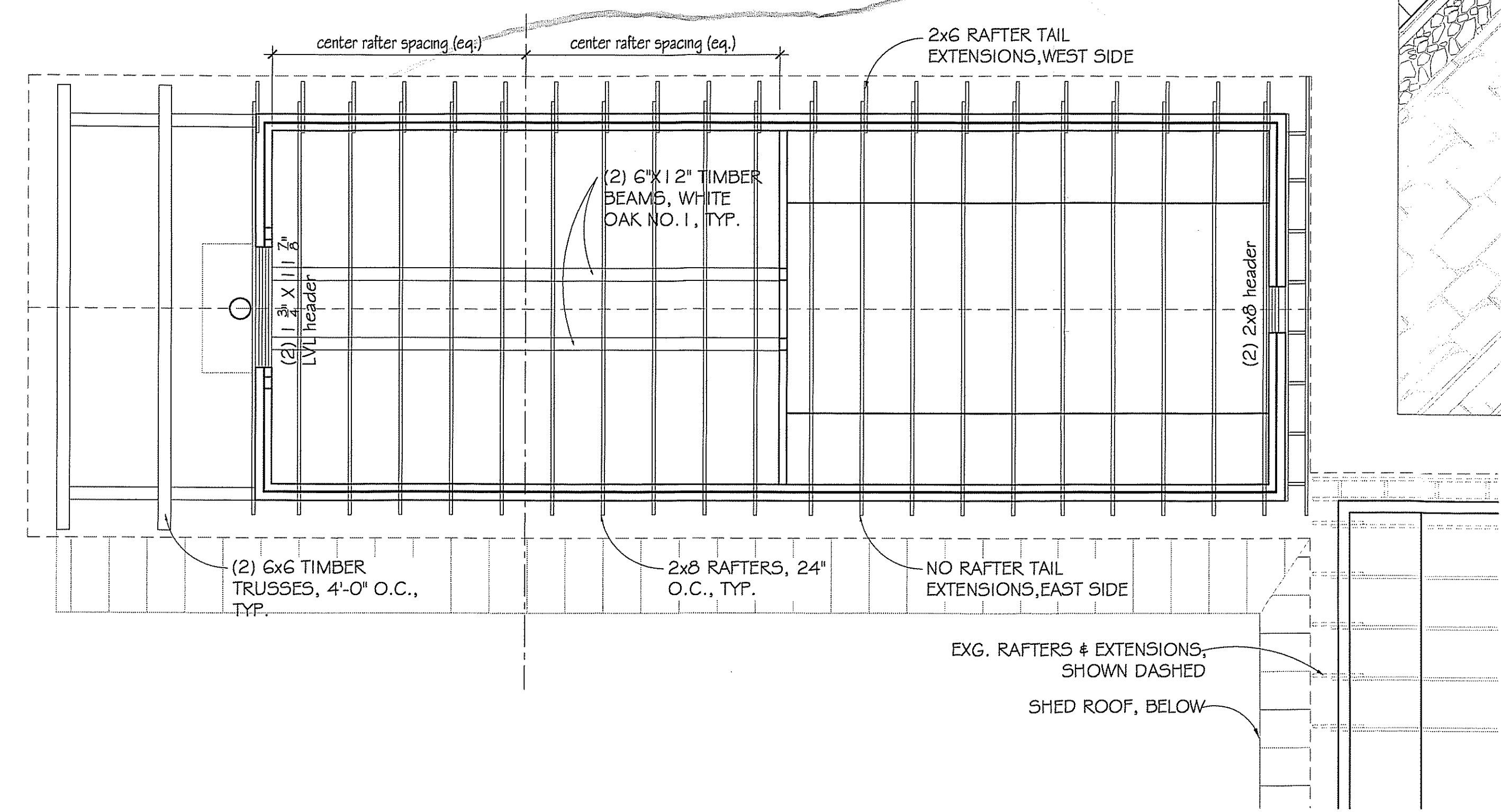
PERMIT SET - 20 MAY 2004



1 TRUSS DETAIL
S2 SCALE: 1/2" = 1'-0"



2 ISOMETRIC DETAIL
S2 SCALE: 1/2" = 1'-0"



3 ROOF FRAMING PLAN
S2 SCALE: 1/4" = 1'-0"

MICHE BOOZ

ARCHITECT

S2

208/Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

**BUFTON HOUSE
ADDITION**

20529 Riggs Hill Way
Brookeville, Maryland 20833
Montgomery County

Drawings:

ROOF FRAMING DRAWINGS

Dates:

AS BUILTS FEBRUARY 04
SCHEMATICS MARCH-APRIL 04
PERMIT SET 20 MAY 04
TODAY'S DATE 20 MAY 04

PERMIT SET - 20 MAY 2004




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 27, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit #341515

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**.
The conditions of approval are:

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jack and Carol Bufton

Address: 20529 Riggs Hill Way, Brookeville
Master Plan Site #23/148 Brookeville Woolen Mill Workers' House

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
233 ROCKVILLE PIKE, SUITE 200, ROCKVILLE, MD 20850
7437701

OPS-#3

HISTORIC PRESERVATION COMMISSION
301/563-3400

12/19/03
Dept. of Permitting Services
General Manager

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Carol Button
Daytime Phone No.: 301-260-0382

Tax Account No.: 16 08 0322 5365

Name of Property Owner: Jack & Carol Button Daytime Phone No.: 301-260-0382

Address: _____
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 20529 Street: Riggs Hill Way
Town/City: Brookeville Nearest Cross Street: Bordley
Lot: 10 Block: _____ Subdivision: 501
Liber: 188 Folio: 20714 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Expand
- Alter/Removate
- Move
- Install
- Work/Place
- Revision
- Repair
- Re-usable

CHECK ALL APPLICABLE:

- New
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND FIT/NOZ ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jack F. Button
Signature of owner/authorized agent

12/21/03
Date

Approved: _____ For Chairman, Historic Preservation Commission

Disapproved: _____ Signature: Julia D. M... Date: 12/21/03

Application/Permit No.: 341519 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Brookville Wooden Mill Workers House
stone structure with kitchen, Bathroom,
living Room, and bedroom additions
restoration + additions constructed in 2000

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

addition of a suite consisting of a bedroom + bath
connected by a covered walk, but separate
from the existing structure

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on A 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (façades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each façade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each façade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly labeled photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and adjoining property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)278-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20529 Riggs Hill Way, Brookeville **Meeting Date:** 05/12/04
Applicant: Jack and Carol Bufton **Report Date:** 05/05/04
(Miche Booz, Agent)
Resource: *Master Plan Site #23/148* **Public Notice:** 04/28/04
Brookeville Woolen Mill Workers' House
Review: HAWP **Tax Credit:** None
Case Number: 23/148-04A **Staff:** Anne Fothergill
PROPOSAL: Construction of addition
RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site #23/148 Brookeville Woolen Mill Workers' House*
STYLE: 2 ½ story stone house
DATE: c. 1810s to 1850

The Brookeville Woolen Mill Workers House is significant for its association with and context for the Brookeville Woolen Mill which sits 300 yards away. This is the probable site of workers' housing based on its similar construction to the mill and miller's house and its close proximity to both. The building sat secluded in the woods and vacant for a good part of the 20th century (but it was occasionally used as a Girl Scout camp from 1940-1950). When the applicants bought the house in 1999 it was in a state of neglect and they have extensively rehabilitated the house and built an addition. The new sections are stucco which was chosen to complement the main stone house's masonry construction.

PROPOSAL

The applicants are proposing construction of one-story addition at the rear of their house and the creation of a courtyard between two wings of the house. The applicants need a wheelchair-accessible in-law suite space that can be reached by car and this proposed space would fill that need. The new 15'1" x 41'9" addition would be located off the rear of the existing house and would be connected to the main house by a walkway with a standing seam metal roof to match the existing.

The new section would not actually be connected to the original 18' x 24' stone building, it would be linked by the walkway to the rear 2000 addition section. The proposal is to use stucco and stone, cedar rafter tails, and asphalt shingle roofing, all the same materials as the sections that were constructed in 2000.

The applicants came before the HPC in January 2004 for a Preliminary Consultation and the minutes from that meeting are attached in Circles 14-25. The HPC was very supportive of this project and one suggestion from that meeting was to possibly incorporate more stone in the new section.

Since the Preliminary Consultation, the design has basically remained the same. The addition is now 4' longer but it starts closer to the house so it does not extend out beyond the existing house as it did before. At the end of the new section there is a stone chimney and a covered open porch which sits across from the existing porch on the other side.

STAFF DISCUSSION

Staff used the Secretary of the Interior's *Standards for Rehabilitation* as a guide, specifically:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided;

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The new addition is similar in design to the other one-story section built in 2000. There will be no physical impact to the original stone house and the effect on the historic setting is minimal as this section is located at the back of the house. The addition will not be visible from the front elevation.

The design of the new addition creates a courtyard between two wings by adding another one-story section which will be parallel to the one-story section of the addition built in 2000. By designing a covered walkway between the existing rear (2000) section and the proposed new section the architect has allowed the in-law suite to have some distance from the main house but still have easy access.

At the Preliminary Consultation, it was mentioned by Commissioners that this is basically an addition to an addition and that this design affects the old house minimally and respectfully while creating a symmetry in the U-shape configuration. The architect has added some more stone at

the Commission's request.

The applicants have been great stewards of this resource and staff feels this new addition, like their previous addition, will be compatible with the resource while allowing for the homeowners' specific needs. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Jack & Carol Buffon PO Box 7 Brookeville, MD 20833	Owner's Agent's mailing address Miche Booz 208 Market St. Brookeville, MD 20833
Adjacent and confronting Property Owners mailing addresses	
John & Suzanne Kinzer 20525 Riggs Hill Way Brookeville, MD 20833	Jeff & Susan Jones 1921 Brighton Dam Rd. Brookeville, MD 20833
Dan & Amye Childs 1911 Brighton Dam Rd. Brookeville, MD 20833	Chris Newcomer & Pam Phillips 1901 Brighton Dam Rd. Brookeville, MD 20833
Phil & Ilene Romano 20532 Riggs Hill Way Brookeville, MD 20833	John & Kathryn O'Loughlin 20521 Riggs Hill Way Brookeville, MD 20833
Anthony & Pam Ryan 1919 Brighton Dam Rd. Brookeville, MD 20833	Fred & Kristen Gray 20528 Riggs Hill Way Brookeville, MD 20833

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Jack & Carol Buffon PO Box 7 Brookeville, MD 20833	Owner's Agent's mailing address Miche Booz 208 Market St. Brookeville, MD 20833
Adjacent and confronting Property Owners mailing addresses	
Mike & Kris Jamgochian 1917 Brighton, Dam Rd. Brookeville, MD 20833	
Chris Stifel & Patty Thornton 1909 Brighton, Dam Rd. Brookeville, MD 20833	
David Michlewicz 1923 Brighton Dam Rd. Brookeville, MD 20833	

DESIGN CRITERIA

ROOF SNOW LOAD:
30 PSF
FLOOR LOAD:
40 PSF, 30 PSF SLEEPING
FROST LINE DEPTH:
30 IN.

LOADS

DECK:
MIN. 40 PSF
ROOMS OTHER THAN SLEEPING:
40 PSF
STAIRS:
MIN. 40 PSF
FLOOR/CEILING LIVE LOAD
DEFLECTION:
L/360

FRAMING LUMBER:
ALL FRAMING SHALL BE SPRUCE
PINE FIR NO.1/NO.2 OR BETTER
UNLESS OTHERWISE NOTED.

ZONING

Owner: Jack & Carol Bufton
Address: 20529 Riggs Hill Way
Lot: 10
Subdivision: Howlings River Estate
8th Election District
Zone: RC
Front BRL: 50' min.
Side BRL: 20' min.
Rear BRL: 35' min.
Lot Coverage: 10% max.
Bldg. Height: 50' max.
Lot: --- Acres

CODES

IRC: International Residential Code 2000

Index of Drawings

ABBREVIATIONS
ABOVE
APPROXIMATE
AT
AVERAGES
BEAM
BEAM
BETWEEN
BLOCKING
BOTTOM OF
BRICK
BUILDING
CLEAN OUT
COLUMN
CONCRETE
CONTINUOUS
CONT.
DETAIL
DIMENSION
DOWNSPOUT
D.S.
ELEVATION
ENTRANCE
EXISTING
FLOOR
FOUNDATION
GLASS
GL
HARDWOOD
HEIGHT
INCH
INSULATION
INTERIOR
LIGHT
MASONRY OPENING
METAL
METAL CABINET
MINIMUM
MISCELLANEOUS
MISC.
ON CENTER
OPENING
PAINTED
PAINTED
PLASTER
PLATE
ROUGH OPENING
ROOM
ROOM
SECTION
SHEET
STONE
STONE
THRESHOLD
THICKNESS
TOP OF
T.O.E.
T.O.E.
TREAD
TREAD
UNDERSIDE
WITH
WOOD

SYMBOLS LEGEND

ABV. APPROX.
ANG.
B.M.
BET.
BLK.
B.O.
BR.
BLDG.
CLEAN OUT
C.O.
COL.
CONCRETE
CONT.
CONT.
DETAIL
DIM.
D.S.
E.L.
ENT.
EXG.
F.L.
FRON.
GL.
GL.
H.W.
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IN.
INS.
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THRES.
T.O.E.
T.O.E.
T.P.
T.P.
U/S
U/S
W/O

MICHE BOOZ
ARCHITECT
229 Avenue S
Baltimore, Maryland 21201
(301)774-8811
/ Sec. 774, 1906

Project:
**BUFTON HOUSE
ADDITION**

20529 Riggs Hill Way
Brookerville, Maryland 20833
Morgan County

Drawings:

Date:
AS BUILT FEBRUARY 04
DATE FOR APPROVAL
TODAY'S DATE 1 MARCH 04

Revisions:
A

Sheet:
CS-1

Consultants:
General Contractor:
T.B.O
Mechanical Contractor:
T.B.D.
Electrical Contractor:
T.B.D.

Code:
IRC 2000

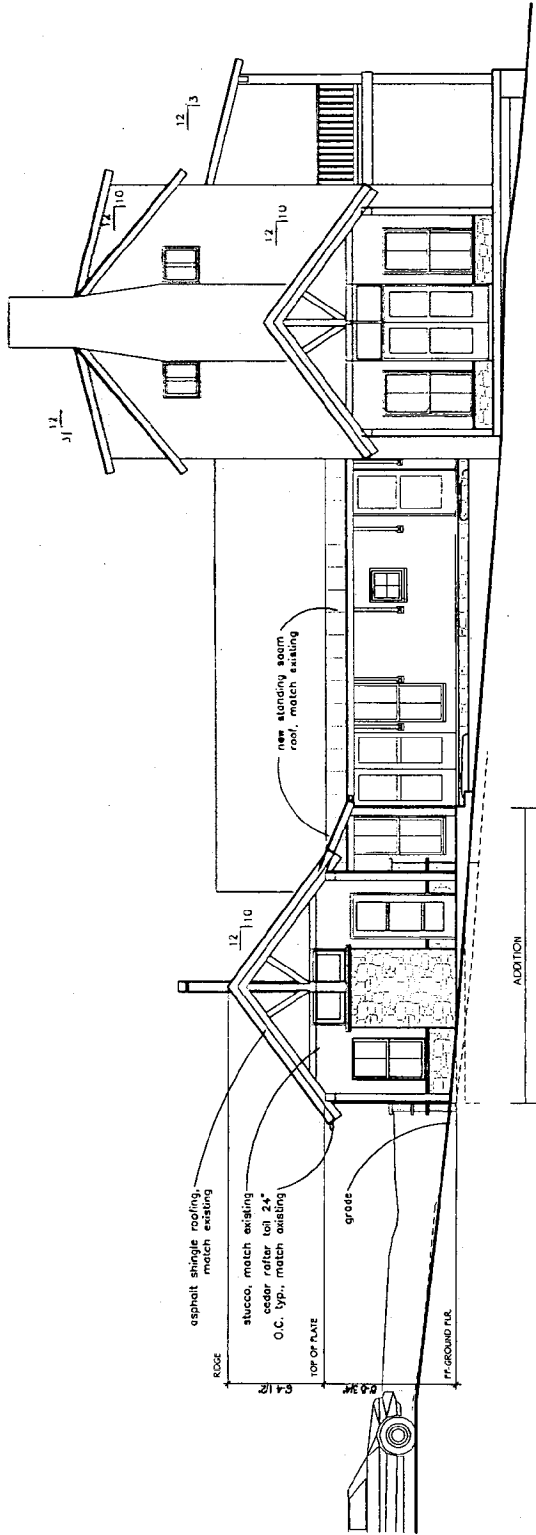
NOT FOR CONSTRUCTION

BUFTON HOUSE ADDITION

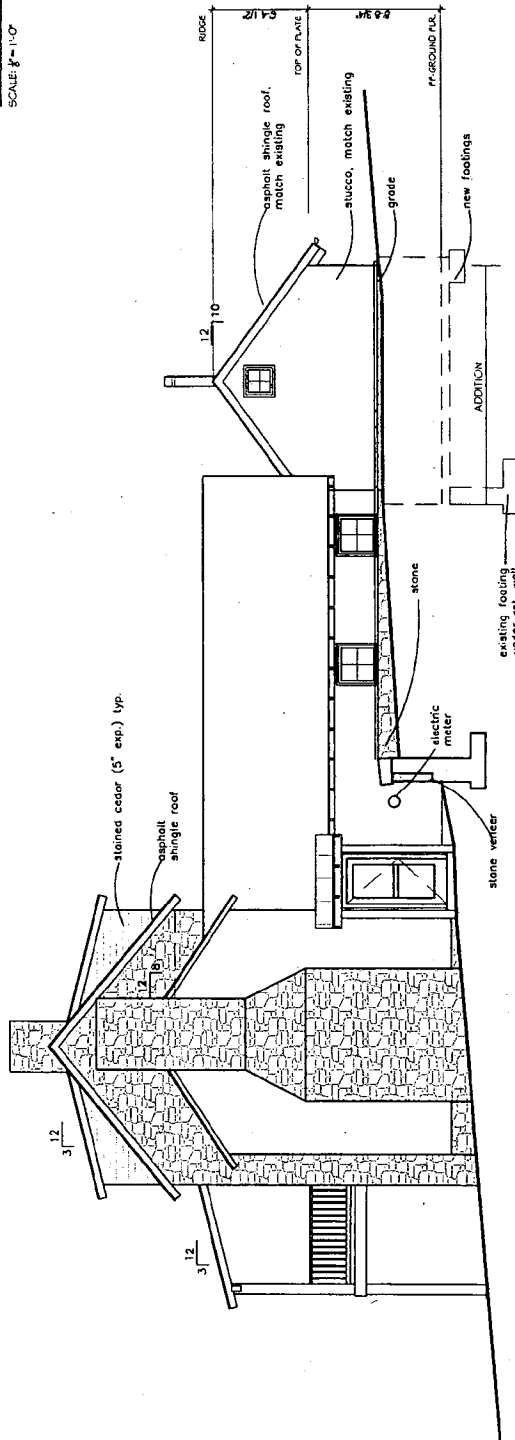
20529 RIGGS HILL WAY, BROOKEVILLE, MARYLAND
20833

MICHE BOOZ A R C H I T E C T	105 Baltimore St Brooksville, MD 21033 Tel: 410/774-6611 Fax: 410/774-1988
	Project: BUFTON HOUSE ADDITION
20529 Right Hill Way Brooksville, Maryland 21033 Montgomery County	
Drawings: SOUTH & NORTH ELEVATIONS S = 1/8" = 1'-0"	Date: AS BUILT FEBRUARY 01 1998 REVISIONS TO ORIGINAL TODAY'S DATE 11 MARCH 04
Revisions: A	Sheet:

NOT FOR CONSTRUCTION



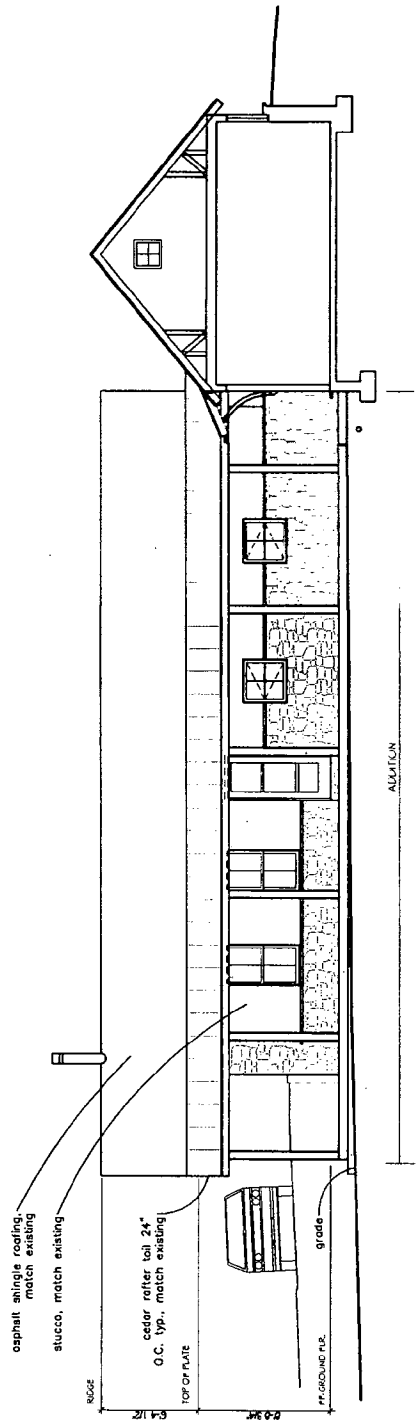
SOUTH ELEVATION
SCALE: S = 1/8" = 1'-0"



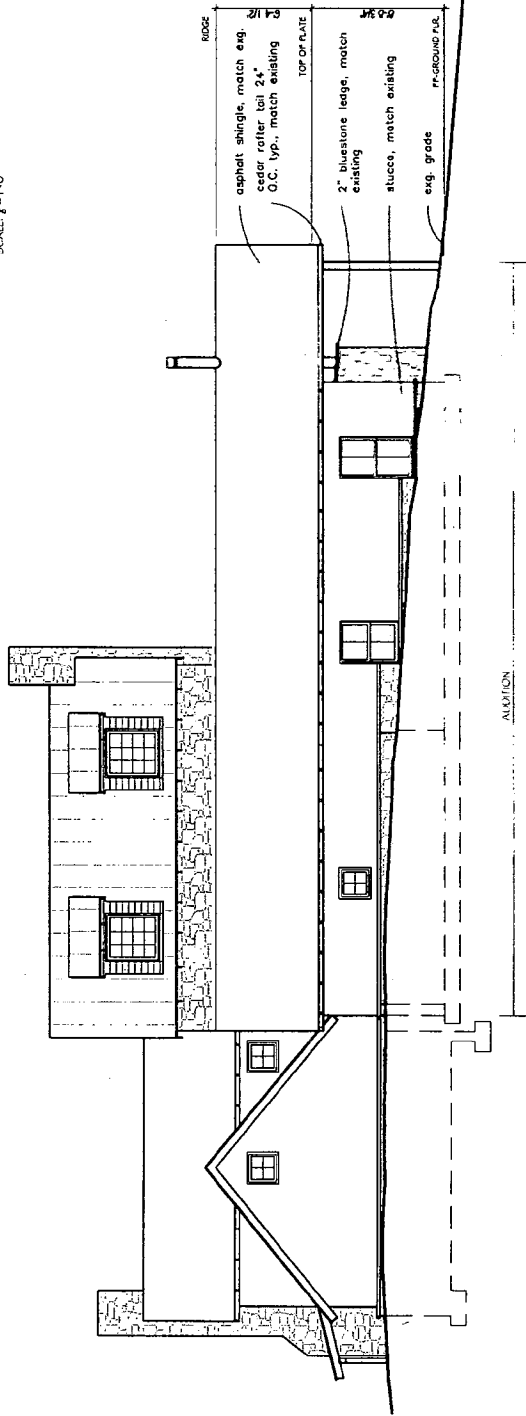
NORTH ELEVATION
SCALE: S = 1/8" = 1'-0"

MICHE BOOZ	ARCHITECT	Project:	
		BUFTON HOUSE ADDITION	
229 Market St Wilmington, Delaware 19803 301.774.6911 / fax: 774.1986		20329 Rigg-Hill Way Brookeville, Maryland 20833 Montgomery County	
Drawing: EAST & WEST ELEVATIONS S = 1/8"		Date: AS BUILT: FEBRUARY 04 SCHEMATICS: MARCH 04 TODAY'S DATE: 1 MARCH 04	
Revisions:		Sheet:	

NOT FOR CONSTRUCTION



EAST ELEVATION
SCALE: S = 1/8"



WEST ELEVATION
SCALE: S = 1/8"

MICHE BOOZ
ARCHITECT

208 Market St.
Baltimore, MD 21201
Tel: 410.774.6911
Fax: 410.774.1988

Project:
**BUFTON HOUSE
ADDITION**

20539 Riggs Hill Way
Brookridge, Maryland 21033
Montgomery County

Drawings:
BASEMENT FLOOR PLAN
1/8" = 1'-0"

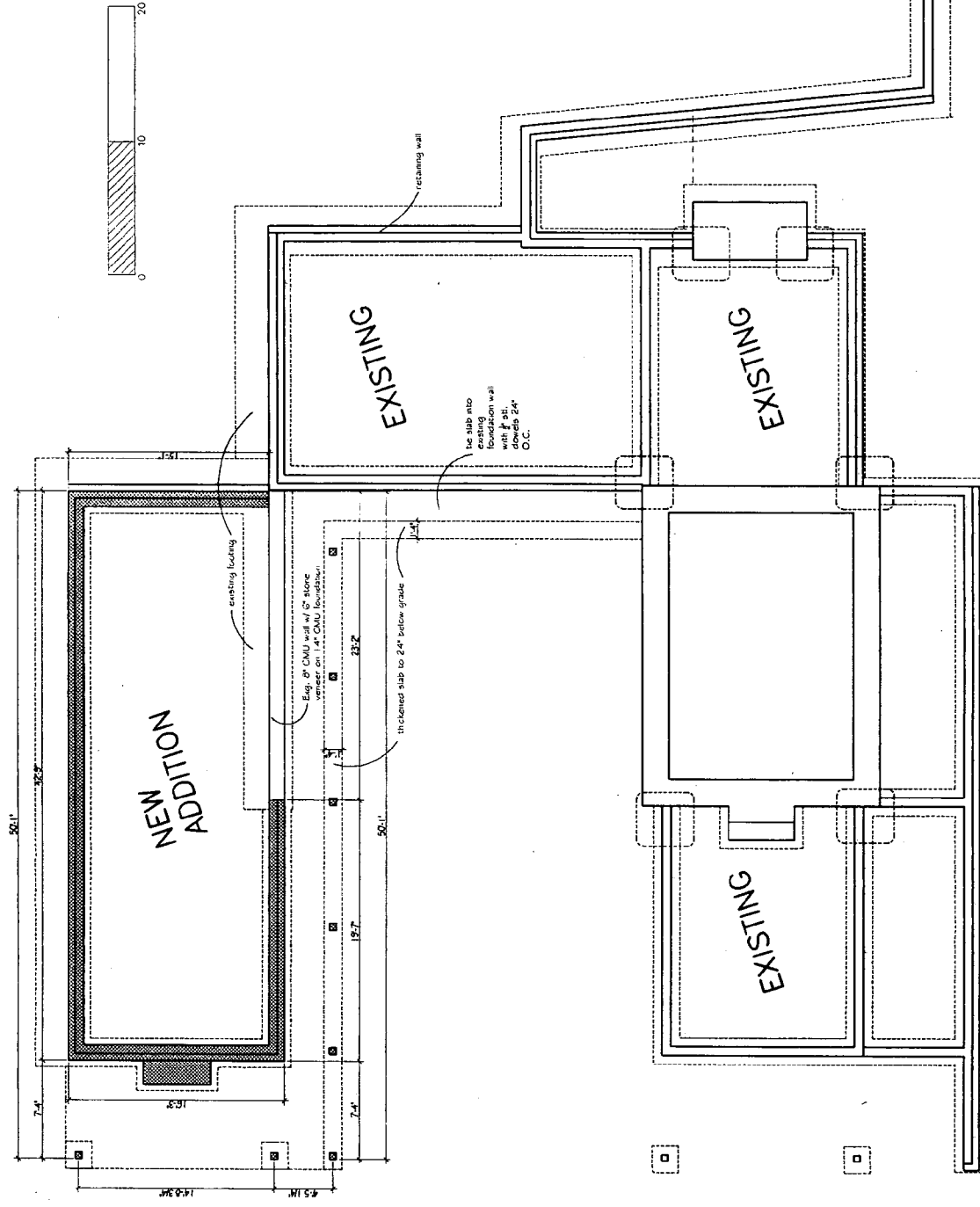
Date:
AS BUILT: FEBRUARY 04
SCHEMATIC: MARCH 04
TODAY'S DATE: 1 MARCH 04

Revisions:
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Sheet:

NOT FOR CONSTRUCTION

BASEMENT PLAN
SCALE: 3/8" = 1'-0"



MICHE BOOZ
 ARCHITECT
 208 Annapolis
 Brydelyns
 Annapolis, MD 21403
 Tel: 410 774 6811
 Fax: 410 774 6808

Project:
BUFTON HOUSE
ADDITION
 20539 Ridge Hill Way
 Broadsville, Maryland 20623
 Montgomery County

Drawings:
 FIRST FLOOR PLAN
 1/8" = 1'-0"

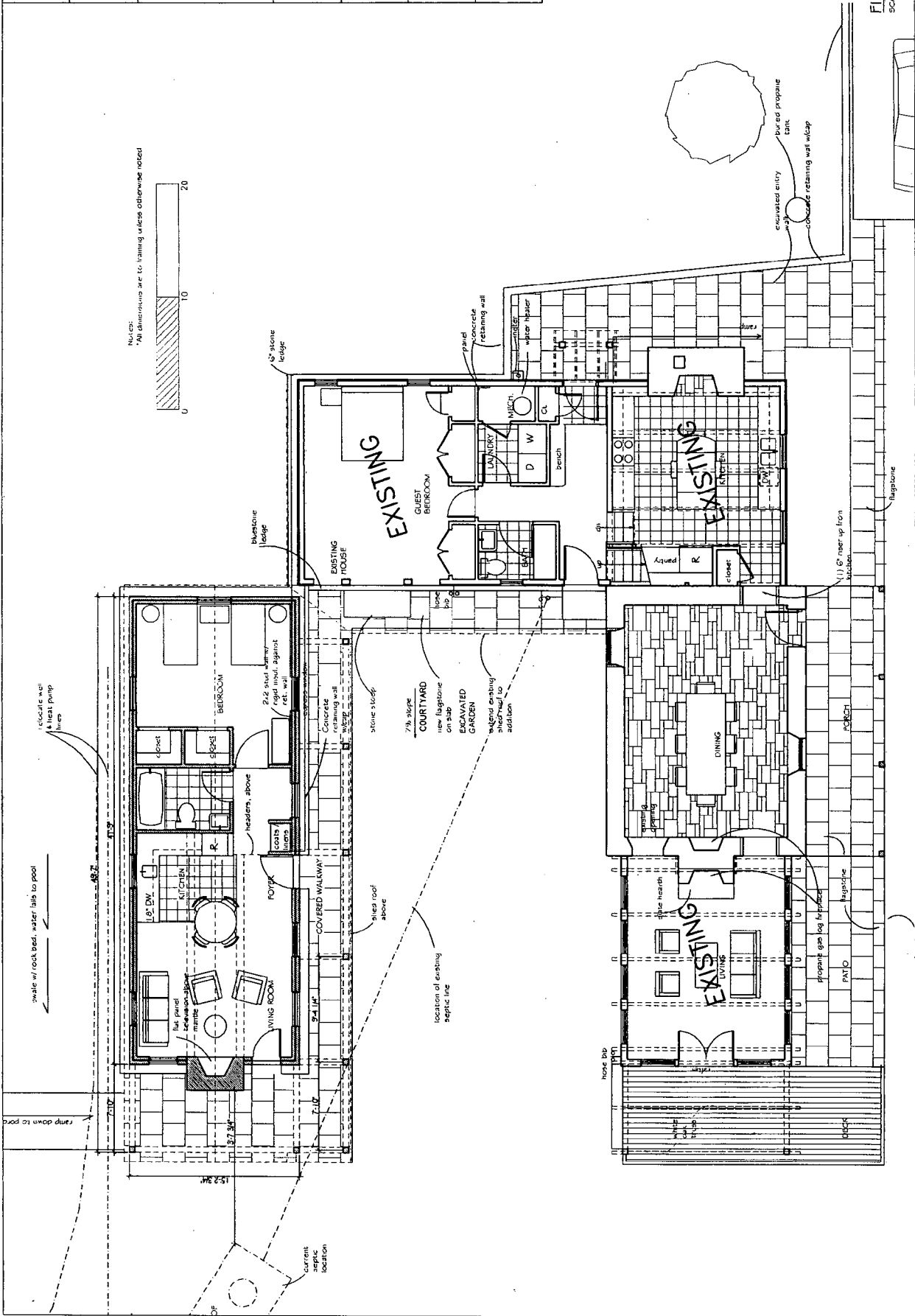
Dates:
 AS BUILT'S FEBRUARY 04
 SCHEMATICS MARCH 04
 TODAY'S DATE 1 MARCH 04

Revisions:
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Sheet:

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FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



MICHE BOOZ
 ARCHITECT
 209 Market St
 Maryland 20833
 (301) 774-6911
 /or. 774-1928

Project:
**BUFTON HOUSE
 ADDITION**

20529 Riggs Hill Way
 Brookeville, Maryland 20833
 Montgomery County

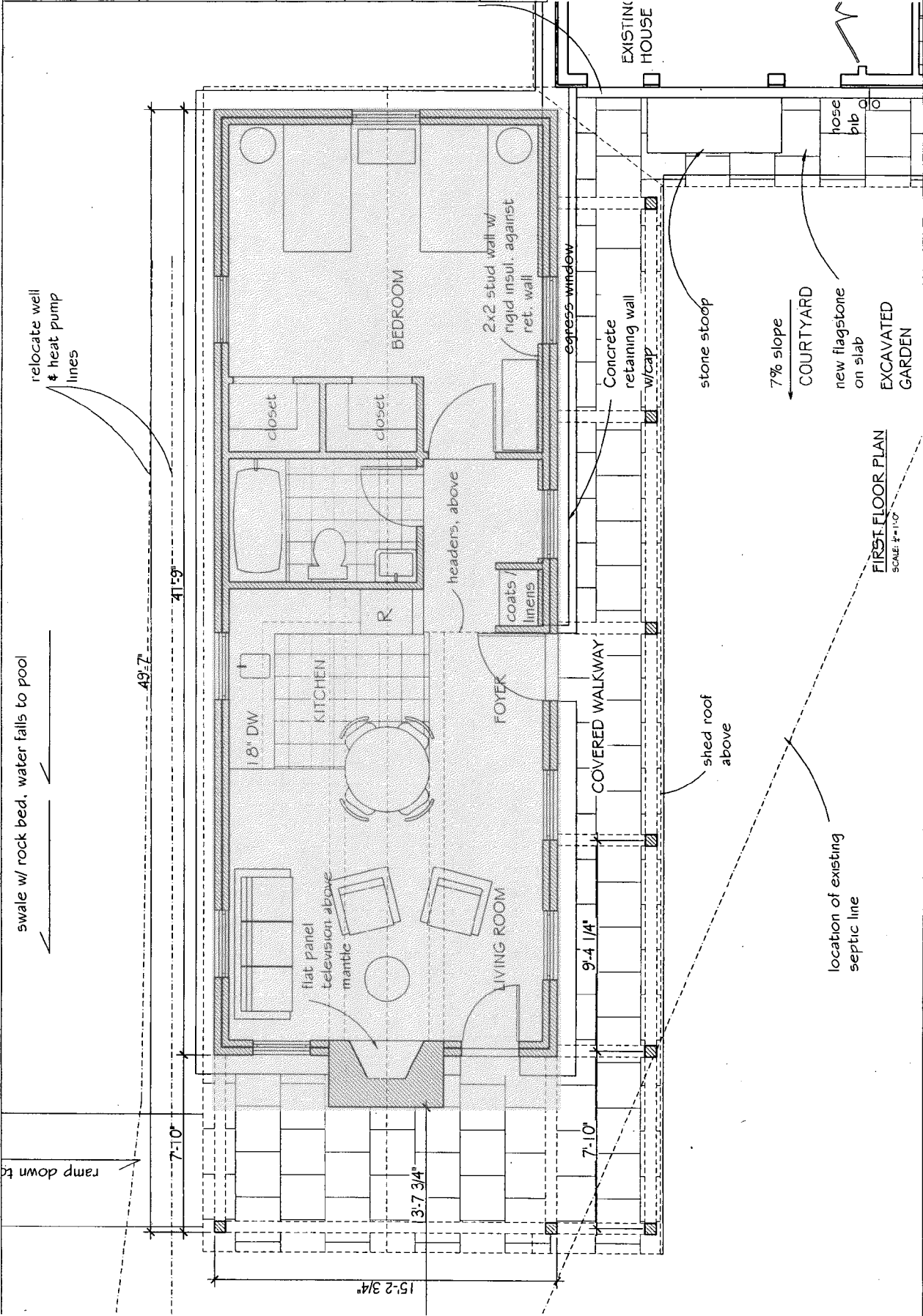
Drawings:
 FIRST FLOOR PLAN DETAIL
 1/2" = 1'-0"

Date:
 AS BUILT: FEBRUARY 04
 SCHEMATICS: MARCH 04
 TODAY'S DATE: 1 MARCH 04

Revisions:
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Sheet:

NOT FOR CONSTRUCTION



FIRST FLOOR PLAN
 SCALE: 1/2" = 1'-0"

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would stay.

MR. BOOZ: I'm not going anywhere.

(Discussion off the record.)

MS. VELASQUEZ: All right, the next is another preliminary consultation, an addition to the Brookeville Woolen Mill Workers' House. And the applicants are here, along with their agent. Please state your names for the record.

MR. BUFTON: Jack Bufton, co-owner.

MS. BUFTON: And Carol Bufton, also co-owner.

MR. BOOZ: Miche Booz, the architect.

MS. VELASQUEZ: Do you have something you want to present or --

MR. BOOZ: Yes, I'd just like to say a couple things. First of all, that I apologize for the late change. I think you all have got a late plan going, which represents an enlargement of the addition from the original plan that we got, and, well, there are two reasons for that. One is that my clients would like some more room, and this is going to be an in-law bedroom for aging parents. But the second reason was is a zoning reason. Originally we had consulted with Montgomery County Zoning and asked if this was going to be considered as an accessory structure or as an addition, and then had allowed that so long as it was connected with a contiguous

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1 roof that it would be considered an addition. And because
2 of the peculiarity of the site, that this is one of these
3 historic houses where you actually enter from the back,
4 but the front is in the back, technically in the backyard
5 as far as the zoning people are concerned. So it turns
6 out with the more recent consultation that there's an
7 unwritten zoning rule that says you can have an
8 conditioned space that's attached to a house so long as
9 the contiguous roof, which doesn't have to be conditioned
10 space, is no more than 15 feet long. So the 15 feet
11 actually became a problem, because the original drawing
12 you have shows the addition piece 24 feet away from the
13 existing home. So really two things happened that worked
14 together in this instance, is that the addition got a
15 little longer and it satisfies the zoning conditions, but
16 it also satisfies the space requirements for my clients.

17 MS. WRIGHT: Just to orient you to make sure you
18 understand when you're looking at this view of the house,
19 you're looking, in the drawing you have you're looking
20 this way into the area that you see the sort of L is
21 what's called the courtyard in the drawing that you have.
22 The wing, the one-story wing that's on the left is all
23 new. The half-timbered wing with the half-timbered
24 porch -- heavy-timbered porch, excuse me, it's getting
25 late -- is new. The only part of the house that is old is

1 the stone section. So just for you, you know, information
2 to help orient you.

3 MR. FULLER: And the new addition gets built in
4 the hillside on the left.

5 MR. BOOZ: Correct. We should have a
6 perspective drawing of the proposed addition. And I did
7 a, just a little red insert piece that would show the
8 change, and I'll pass this up.

9 MS. O'MALLEY: So actually that would be, is
10 that door into the bedroom that's through that wall? Or a
11 window?

12 MR. BOOZ: A window. That's a window. And it
13 actually, I think we can fit it above that wall.

14 MR. FULLER: It's not really part of this
15 application, but just to understand how much of the
16 historic fabric that you see, the porch on the old front
17 of the house, is that part of the original house?

18 MR. BOOZ: I don't know if the staff has those
19 photographs, the original. I was the architect for the
20 restoration and additions to this house, which was a ruin,
21 quite a ruin.

22 MS. VELASQUEZ: Circle 12 has the picture of the
23 original.

24 MR. BOOZ: And there wasn't a porch, but we
25 believe there was a porch at one time.

1 MR. BUFTON: There were those holes in the wall
2 that indicated timbers to hold a porch.

3 MR. BOOZ: Right, there were holes in the wall.
4 There were lots of holes in the wall.

5 MR. BUFTON: Well, it was regular.

6 MR. FULLER: So really it was basically a stone
7 box that you started with and you put new roofs and new
8 windows through the top of it and additions front and
9 side.

10 MR. BOOZ: Right. And there was also a
11 freestanding fireplace that was, that we put a kitchen
12 between that you can't see in this photo. On the far side
13 of this house.

14 MS. O'MALLEY: A wonderful project.

15 MS. BUFTON: It was.

16 MS. WILLIAMS: Is there any reason why you
17 wouldn't want to push the addition further to the right to
18 create less of an enclosed U-shape and have it a little
19 bit more open? You know what I'm saying?

20 MR. BOOZ: You mean to that side on the photo?

21 MS. WILLIAMS: Oh, sorry, on the photograph push
22 it back a little bit. I mean, as you've gotten out, its
23 forms basically a full U, and it was there, is there, did
24 you want a full courtyard created by an enclosed space?
25 Is that why you're doing that?

1 MR. BUFTON: It would be underground if you
2 pushed it further back. Actually, you'd be right up to
3 the roof on it because of the grade there. You wouldn't
4 have windows that would look out that way. You couldn't
5 have a window.

6 MR. FULLER: Are you going to have to regrade
7 like a swale on the uphill side of the house or are you
8 going to let those windows on the, I don't know what side
9 that is, but on the left side, are they going to be set up
10 very high --

11 MR. BOOZ: High. They'll have to be, because
12 apparently the addition that's at the back of the
13 courtyard. Currently it already is a courtyard. That
14 retaining wall on the left, as you can tell from the plan,
15 it really does form a U already. And that we're, you
16 know, more of a good thing is sort of what we're after. I
17 think that we're intentionally after sort of a cloistered
18 courtyard effect here.

19 MS. VELASQUEZ: Circle 17 shows the retaining
20 wall.

21 MR. FULLER: So the grade on the addition's
22 going to be five, six feet up on the back side of the
23 house?

24 MR. BOOZ: Yes. And currently, as I was saying,
25 on the back side of that addition, there are windows set

1 high just to (indiscernible).

2 MS. BUFTON: My parents are also very elderly,
3 and I kind of wanted them as kind of close. They're in
4 their 90s. They wanted more access to me, rather than way
5 up on the hill.

6 MS. O'MALLEY: So they would enter the house
7 where it says existing bedroom, but then they would have
8 to go downstairs into the main part of the house, or --

9 MR. BOOZ: I could answer that. Actually, their
10 private entrance would be on the gable end facing us in
11 the photograph. The entrance to the courtyard would be
12 directly opposite the kitchen, and then they would
13 actually have to go around, and either in the doorway,
14 continue through the doorway that has a little canopy on
15 it or into the bedroom to get into the main house.

16 MS. O'MALLEY: And are there two levels in the
17 main house? Then they would have to go downstairs --

18 MR. BOOZ: To get to the kitchen.

19 MS. O'MALLEY: -- to get into the rest of the
20 house?

21 UNIDENTIFIED SPEAKER: It's a couple steps.

22 MS. WILLIAMS: So there wouldn't be any direct
23 access to the existing family room from the in-law suite.

24 UNIDENTIFIED SPEAKER: Correct.

25 MS. WILLIAMS: They couldn't just cross the

1 courtyard into the family room.

2 MR. BOOZ: They, no, they'd have to go around to
3 the end. But actually, the living portion of this would
4 mimic that exactly. The only difference is that they
5 would not have the open porch on the end, that that would
6 actually be filled in. So they could go directly across
7 the courtyard to that porch and then enter the existing
8 family room. Does that make sense?

9 MS. O'MALLEY: As long as there's no snow.

10 MR. BOOZ: Right. Well, if it's snowing, I
11 mean, we have a roofed covering that would take them back
12 to that bedroom. And at one time thought we'd take the
13 roof actually across the entire back of that, and we might
14 even consider that. In other words, that little roof that
15 you see, the little red roof in the far nook to the right
16 of the addition at the far back of the courtyard, if we
17 essentially took that little roof and extended it across
18 that addition and then made a left, you know, a right-hand
19 turn, that was our original thought, but then we backed
20 off.

21 MS. O'MALLEY: I think I would even have a
22 problem with that, because I can see where the access, you
23 might now want steps.

24 MS. WRIGHT: I think from a preservation
25 standpoint, staff really felt, you know, this is

1 essentially a new addition to a new addition. It isn't
2 going to affect historic fabric a whole lot. It does
3 create sort of a symmetry. I mean, there certainly are,
4 you know, technical issues about circulation and so forth,
5 but I think from, you know, from a preservation
6 standpoint, we felt that this was, you know, certainly
7 appropriate and did not affect historic fabric.

8 MR. BRESLIN: I was going to say the same thing.
9 There's some peculiarities about the plan I'm not going to
10 question, but as far as a way of adding this much square
11 footage to this old house, it does it in a way that
12 affects the old house minimally and respectfully, so it
13 seems like a very (indiscernible) extension.

14 MR. BURSTYN: What I was wondering about is I
15 looked at it as, and I get kind of a little sense of that
16 now, that the addition on the left there, with respect to
17 the use of the materials for the new addition, is it in
18 any way going to try to bring in some of the look of the
19 original house or the timbers, which I like much better,
20 and in some of your drawings you do show the use of low
21 stonework, that it seems to, if you carried the use of
22 stonework to some extent to the new addition, it kind of
23 ties the whole thing together, but if you don't, it seems
24 like the previous addition plus the new addition, the
25 materials are going to start overwhelming and the stone

1 part's going to be minimal to the rest of it. So I would
2 just recommend that the new part incorporate -- I'm not
3 saying the whole thing should be stone, but incorporate
4 some type of stone so the stone is the prominent external
5 material that kind of holds it, brings it together. And
6 you can comment on that if you, if you'd, yea or nay or
7 what you think about that.

8 MR. BOOZ: We were thinking that the materials
9 would be the same as the existing addition, the family
10 room addition. So it would be a combination of stucco and
11 stone. So there would be stone on it. And what we've
12 done with the stone is use it as a water table, if you
13 will, in it. It goes down and up sort of with the grade
14 so that the retaining wall on the left because taller
15 because the grade was taller, and I think that we would
16 probably use that same, use the material the same way on
17 the addition.

18 MR. BURSTYN: Well, if you look at circles 14
19 and 15, and 14 is the photo that's on the screen now, but
20 then 15, I guess, is the other side of the home, which
21 shows a short stone wall, and which carries the stone
22 forward, but so is that what's going to be on the addition
23 as opposed to --

24 MR. BOOZ: I think the addition will have a
25 stone base. It'll have a stone base that may rise up as

1 the grade rises is what I'm thinking and that once it goes
2 above grade, then it will be a stucco addition. To
3 differentiate it from the original.

4 MS. VELASQUEZ: All right, can we go through and
5 poll the Commissioners?

6 MR. BURSTYN: I would just say that they've done
7 a wonderful job so far, and I'm sure that they will
8 continue that.

9 MS. ANAHTAR: I agree.

10 MR. FULLER: I guess personally this is one of
11 these houses that was a very small structure to begin
12 with. In order to make it livable, you put on some
13 considerable additions to begin with and you're looking to
14 add more additions. Quite frankly, I think a lot of the
15 historic context is gone already and therefore I think
16 it's, okay, how do we end up with a nice massing? And I
17 think you've done a very good job. You've added a nice
18 massing. I don't really look at this as much of a
19 historical project as, for instance, the last one you were
20 here before us, where you kept the scale of the addition
21 very small relative to this. This house is very small,
22 and to get this kind of addition onto it, it's going to
23 change the character of it. I don't have a problem with
24 it. At this stage I think you're doing the right thing in
25 terms of where you're going with it.

1 MS. O'MALLEY: I don't have a problem with it.

2 MS. WILLIAMS: I think conceptually it works. I
3 like the village clustering idea, you know, I think that's
4 much better in terms of preserving any existing historic
5 fabric and also this idea of sort of rural village almost
6 I think works well there. I do agree with Commissioner
7 Burstyn that in a way, though, just because of the sheer
8 square footage of all these additions, if you start using
9 the same exterior (indiscernible) material for all the
10 additions, what, the original material and the original
11 structure becomes a minor detail to the rest, and I do
12 think that it will start to overwhelm it. So I think that
13 you should take into serious consideration his suggestion
14 of using a little bit more stone just to, you know, kind
15 of dampen or soften that, you know, effect of overwhelming
16 additions. But, you know, otherwise, I think in terms of
17 massing, I think it works well. I think the courtyard
18 will be nice certainly, a wonderful relationship to have a
19 multi-generational household that I can relate to, and so
20 I applaud the proposal and good luck with figuring out the
21 details.

22 MR. BRESLIN: Well, I already said what I
23 thought about it, which was generally very good. Because
24 the old structure is two story, in fact, two and a half
25 story, and stone and very interestingly detailed, and the

1 additions are lower and more simply detailed, I don't
2 think you'll ever lose what the point is, and the point is
3 the old house in the middle, and I don't think we will do
4 that with this regardless of what the materials are, and
5 I'm sure you'll detail it appropriately.

6 MS. VELASQUEZ: Thank you. I think you have a
7 sense that we like the way you're going, the way that
8 you're going. You've already done a beautiful job, the
9 three of you.

10 MR. BOOZ: Thank you.

11 MS. VELASQUEZ: I think what I'm hearing is you
12 could just finalize your plans and come back here for a
13 work permit.

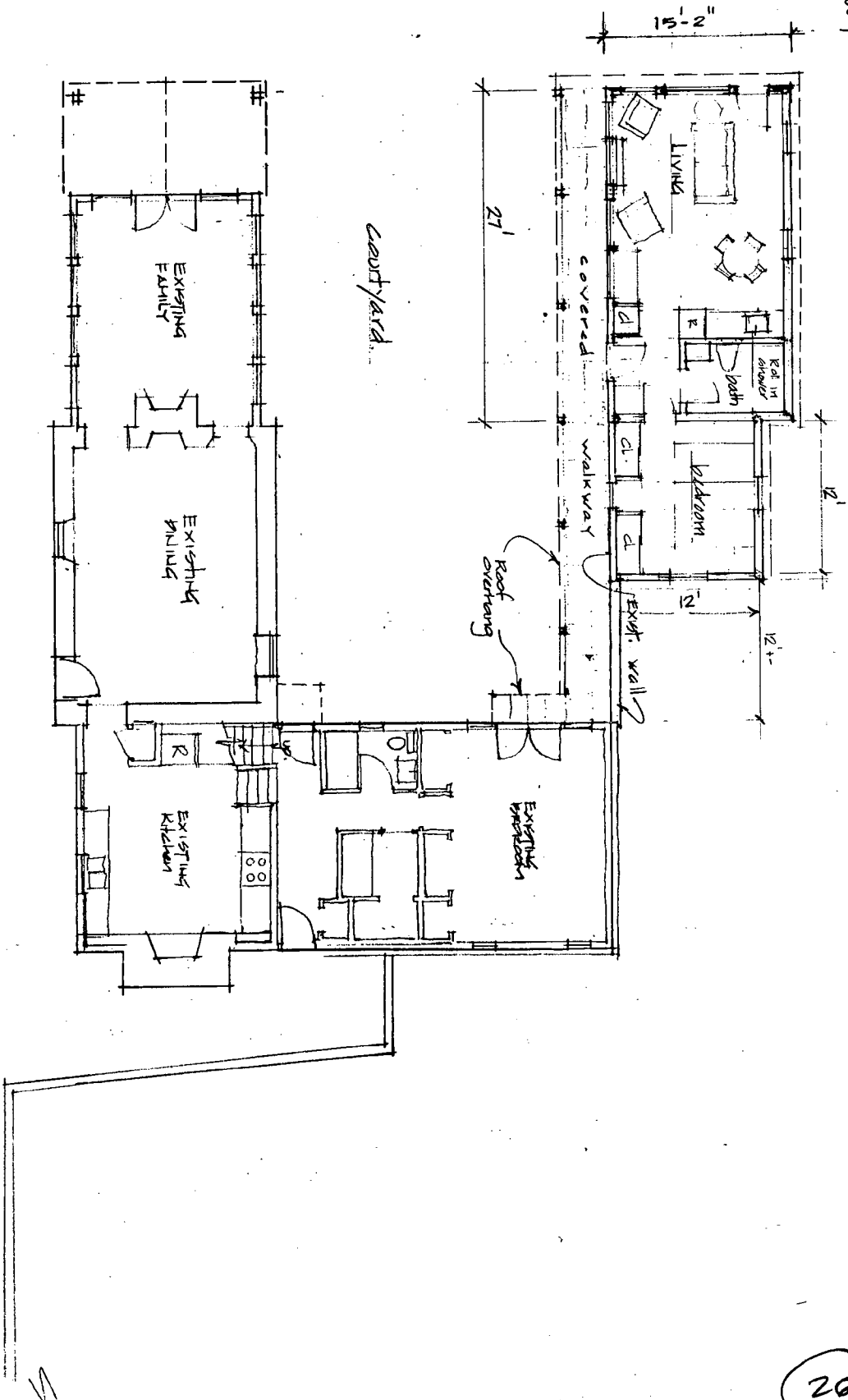
14 MR. BOOZ: Thank you.

15 MS. VELASQUEZ: Thank you very much. We're
16 going to go off the record for a five-minute break, and
17 when we come back we will be discussing subdivision
18 review. I see a lot of people here, so I assume that some
19 people are going to want to speak to us about this. If
20 you would please fill out a speaker form found on the back
21 table and hand it to a staff member so that you can speak.

22 (Recess at 9:17 p.m. until 9:30 p.m.)

23 MS. VELASQUEZ: Okay, we're back on the record.
24 The next item on the agenda is a subdivision review of the
25 Sarah Loughborough Brown House, 5004 River Road, Bethesda.

Proposed floor plan
 Preliminary
 Jan. 2004
 Cassi Hudson



B U I L D I N G A R C H I T E C T U R E
 1/8" = 1'-0" H B A R 1.14.04

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20529 Riggs Hill Way, Brookeville **Meeting Date:** 01/14/04
Applicant: Jack and Carol Bufton **Report Date:** 01/07/04
(Miche Booz, Agent)
Resource: *Master Plan Site #23/148* **Public Notice:** 12/31/03
Brookeville Woolen Mill Workers' House
Review: Preliminary Consultation **Tax Credit:** None
Case Number: N/A **Staff:** Anne Fothergill
PROPOSAL: Construction of addition
RECOMMEND: Revise and return for a HAWP

PROJECT DESCRIPTION

SIGNIFICANCE: *Master Plan Site #23/148 Brookeville Woolen Mill Workers' House*
STYLE: 2 ½ story stone house
DATE: c. 1810s to 1850

The Brookeville Woolen Mill Workers House is significant for its association with and context for the Brookeville Woolen Mill which sits 300 yards away. This is the probable site of workers' housing based on its similar construction to the mill and miller's house and its close proximity to both. The building sat secluded in the woods and vacant for a good part of the 20th century (but it was occasionally used as a Girl Scout camp from 1940-1950). When the applicants bought the house in 1999 it was in a state of neglect and they have extensively rehabilitated the house and built an addition. The new sections are stucco which was chosen to complement the main stone house's masonry construction.

PROPOSAL

The applicants are proposing construction of one-story addition at the rear of their house and the creation of a courtyard between two wings of the house. The applicants need a wheelchair-accessible in-law suite space that can be reached by car and this proposed space would fill that need. The new 15'2" x 27' addition would be located off the rear of the existing house and would be connected to the main house by a covered walkway. The new section would not actually be connected to the original 18' x 24' stone building, it would be linked by the walkway

to the rear 2000 addition section. The existing stone retaining wall will remain as the edge of the covered walkway. The proposal is to use similar materials to the sections that were constructed in 2000.

STAFF DISCUSSION

The new addition is very small (approximately 400 square feet) and similar in design to the other one-story section built in 2000. There will be no physical impact to the original stone house and the effect on the historic setting is minimal as this section is located at the back of the house. The addition will not be visible from the front elevation.

The design of the new addition creates a courtyard between two wings by adding another one-story section which will be parallel to the one-story section of the addition built in 2000. By designing a covered walkway between the existing rear (2000) section and the proposed new section the architect has allowed the in-law suite to have some distance from the main house but still have easy access.

The applicants have been great stewards of this resource and staff feels this new addition, like their previous addition, will be compatible with the resource while allowing for the homeowners' specific needs.

STAFF RECOMMENDATION

Staff is supportive of the proposed project and recommends the applicants make revisions based on comments from the HPC and then return with a Historic Area Work Permit application.



DEPARTMENT OF PERMITTING SERVICES
25 BRONA WILLE PARK DRIVE, SUITE 200, ROCKVILLE, MD 20850
743-7770

DPS-#1

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Carol Button
Daytime Phone No: 301-260-0382

Tax Account No: 16 08 0322 5365
Name of Property Owner: Jack & Carol Button Daytime Phone No: 301-260-0382

Address: _____
Street Number City State Zip Code

Contractor: _____ Phone No: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No: _____

LOCATION OF BUILDING/PREMISE

Municipal Number: 20529 Street: Riggs Hill Way
Town/City: Brookeville Nearest Cross Street: Bordley
Lot: 10 Block: _____ Subdivision: 501
Liber: 188 Folio: 20714 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Remove
 Move Install Wreck/Place
 Revision Repair Re-workable

CHECK ALL APPLICABLE:
 A/C Stair Room Addition Porch Deck Shed
 Solar Fireplace Woodturning Stave Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXISTING ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jack L. Button
Signature of owner or authorized agent

12/21/03
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Broovell's Wooden Mill Workers House
stone structure with kitchen, Bathroom,
living Room, and bedroom additions
restoration + additions constructed in 2000

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

addition of a suite consisting of a bedroom, bath
connected by a covered walk, but separate
from the existing structure

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (façades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, content. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each façade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each façade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly labeled photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drip line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that diameter.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and adjoining property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)270-1355.

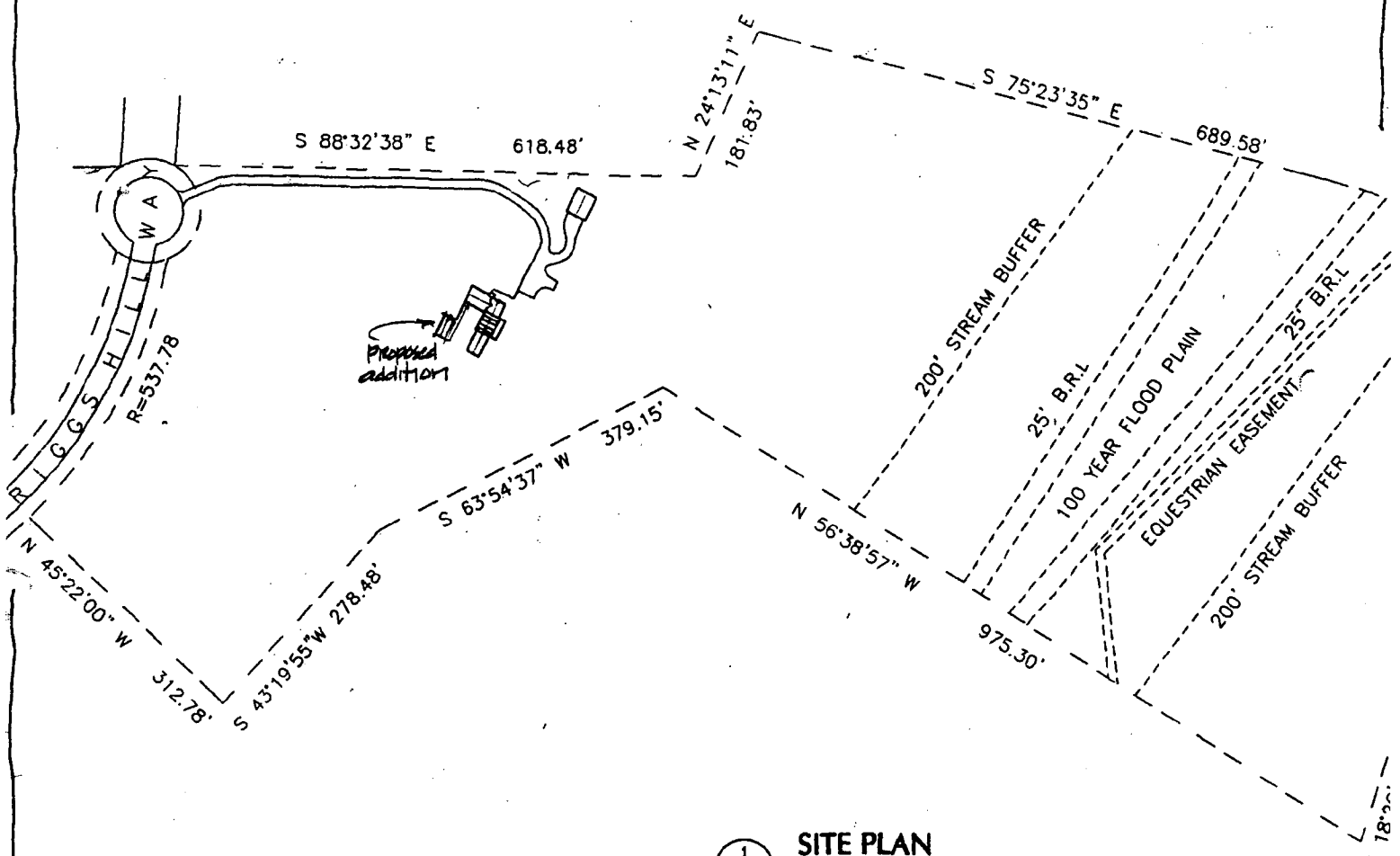
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Jack & Carol Buffon PO Box 7 Brookeville, MD 20833	Miche Booz 208 Market St. Brookeville, MD 20833
Adjacent and confronting Property Owners mailing addresses	
John & Suzanne Kinzer 20525 Riggs Hill Way Brookeville, MD 20833	Jeff & Susan Jones 1921 Brighton Dam Rd. Brookeville, MD 20833
Dan & Amye Childs 1911 Brighton Dam Rd. Brookeville, MD 20833	Chris Newcomer & Pam Phillips 1901 Brighton Dam Rd. Brookeville, MD 20833
Phil & Ilene Romano 20532 Riggs Hill Way Brookeville, MD 20833	John & Kathryn O'Loughlin 20521 Riggs Hill Way Brookeville, MD 20833
Anthony & Pam Ryan 1919 Brighton Dam Rd. Brookeville, MD 20833	Fred & Kristen Gray 20528 Riggs Hill Way Brookeville, MD 20833

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Adjacent and confronting Property Owners mailing addresses	
Mike & Kris Jamgochian 1917 Brighton, Dam Rd. Brookeville, MD 20833	
Chris Stifel & Patty Thornton 1909 Brighton, Dam Rd. Brookeville, MD 20833	
David Michlewicz 1923 Brighton Dam Rd. Brookeville, MD 20833	



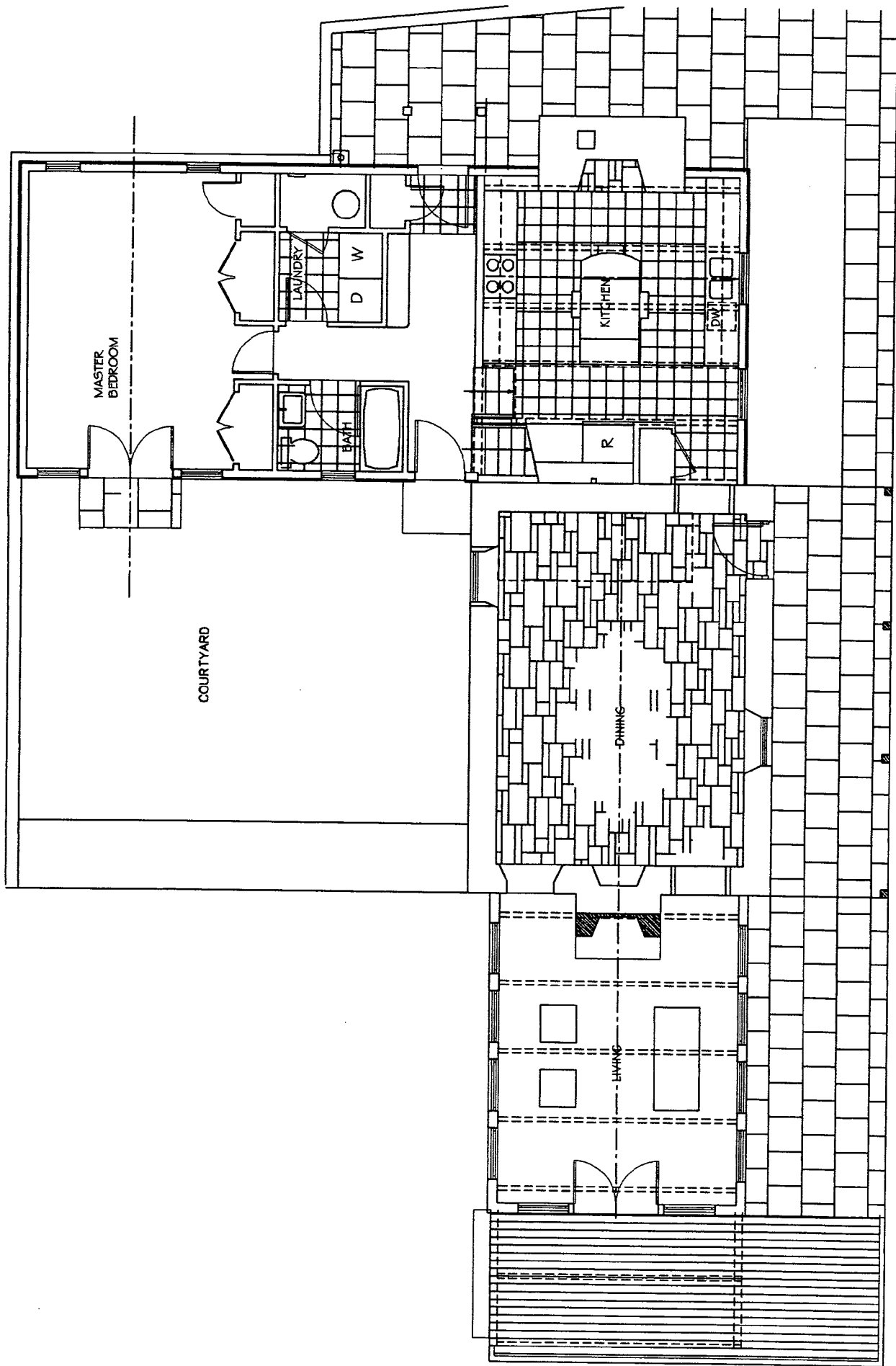
1
CS SITE PLAN
1" = 200'-0"

SUBDIVISION RECORD PLAT
LOT 10
HAWLINGS RIVER ESTATES, SUBDIVISION 501
ELECTION DISTRICT NO.8, MAP 13,
MONTGOMERY COUNTY, MARYLAND

BROOKVILLE
WOODEN MILLS
WORKERS HOUSE

20529
RIGGS HILL WAY -
BROOKVILLE, MD
20833

(33) (A)

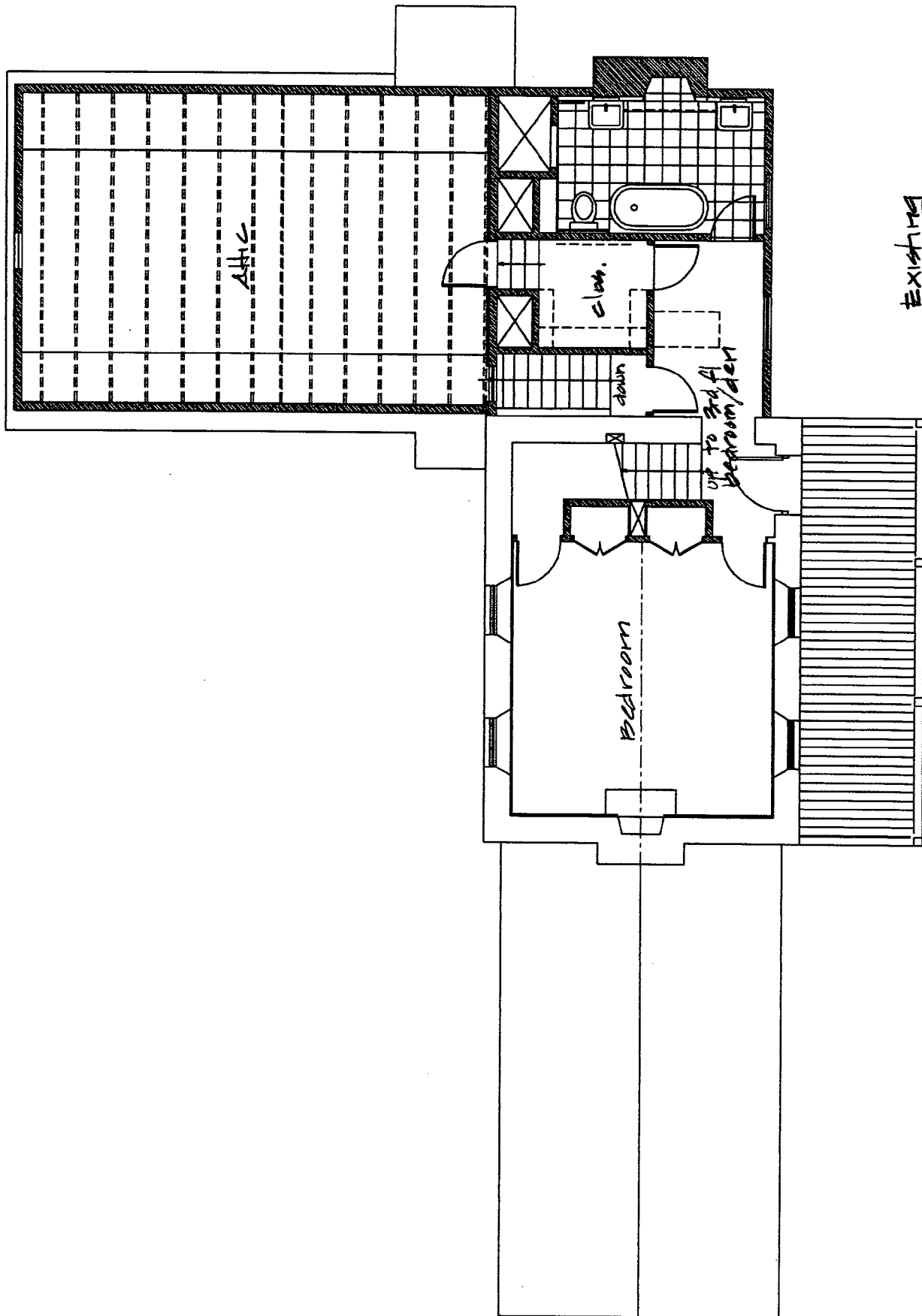


FIRST FLOOR PLAN

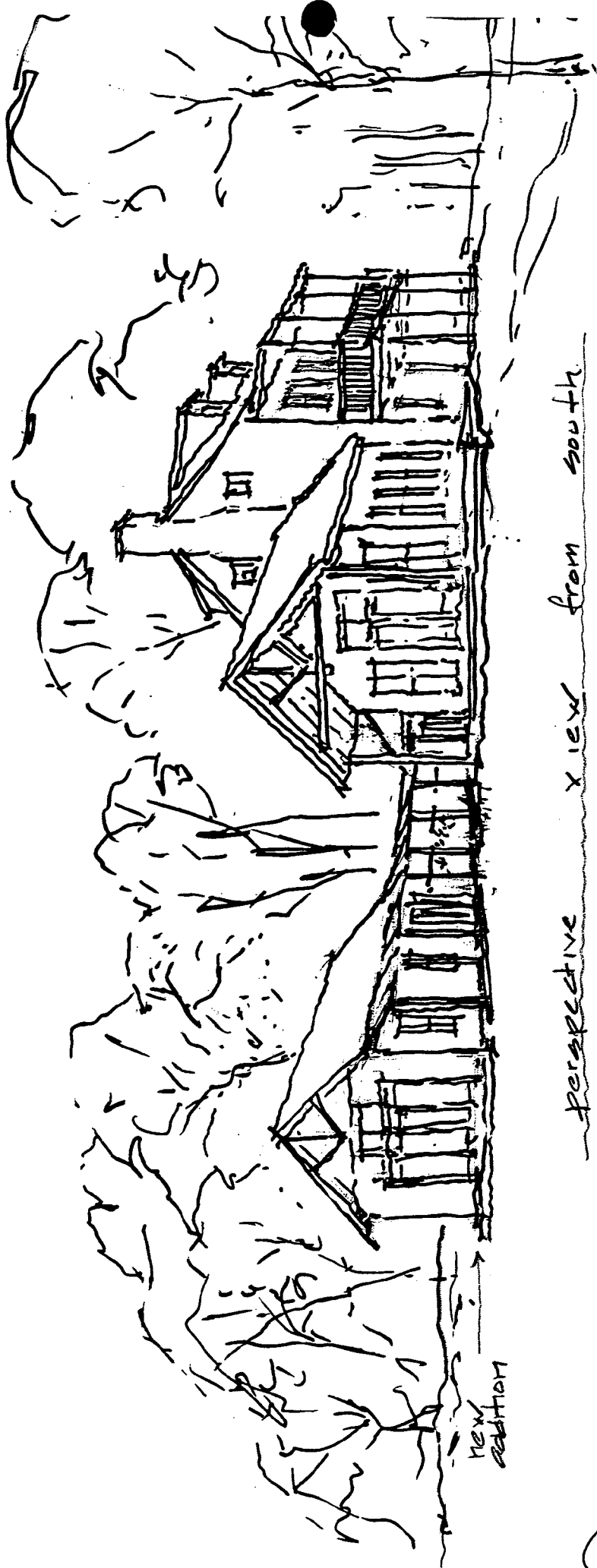
SCALE: 1/8" = 1'-0"

Existing

(34) 8

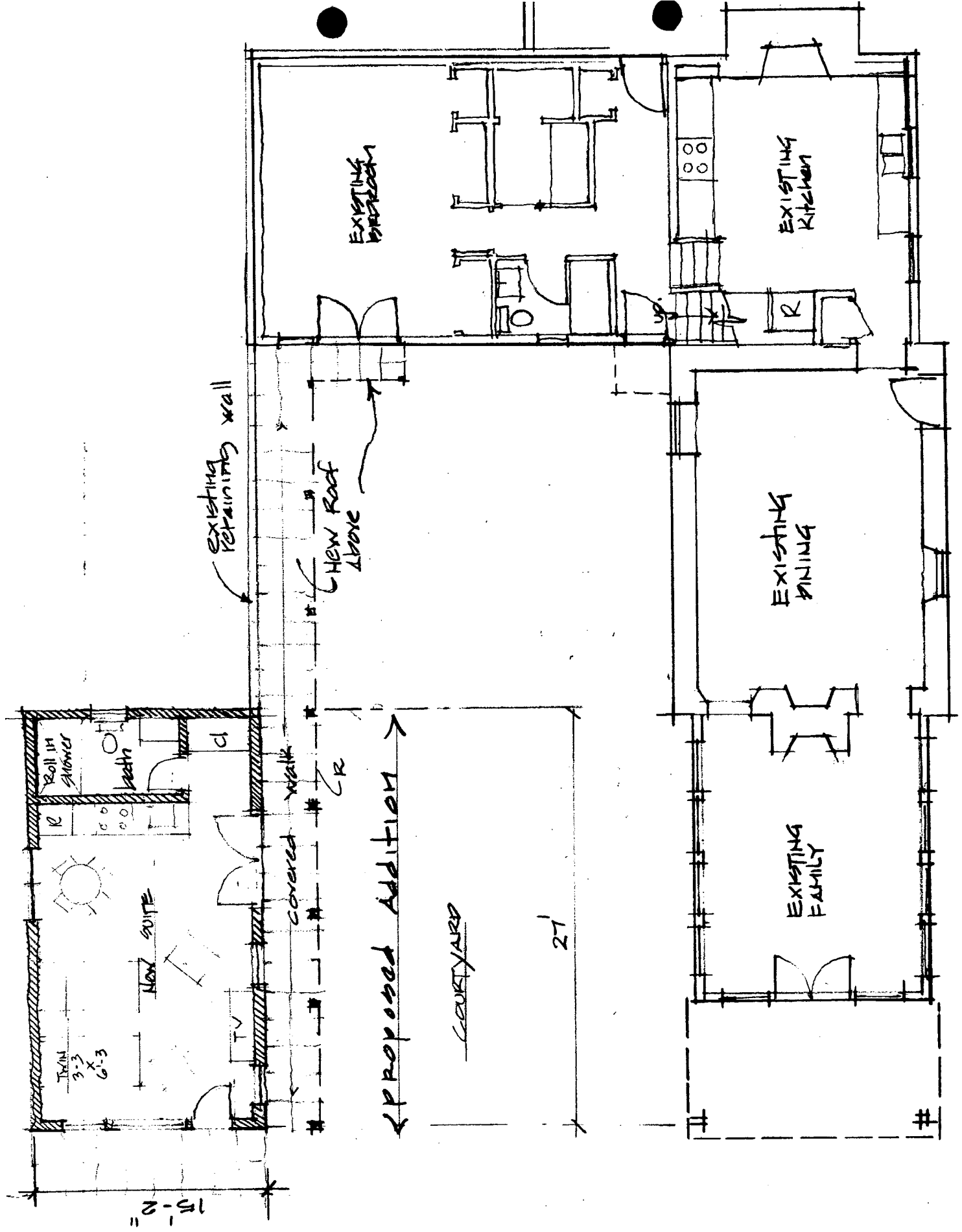


Existing
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



perspective view from south

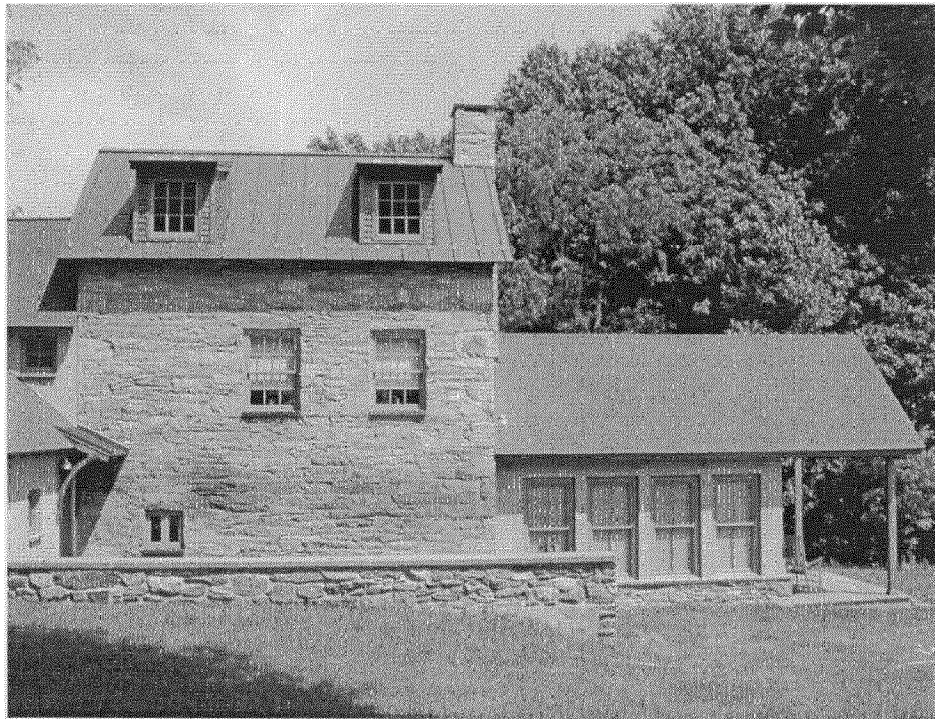
NEW addition



Front of house (with additions on both sides)



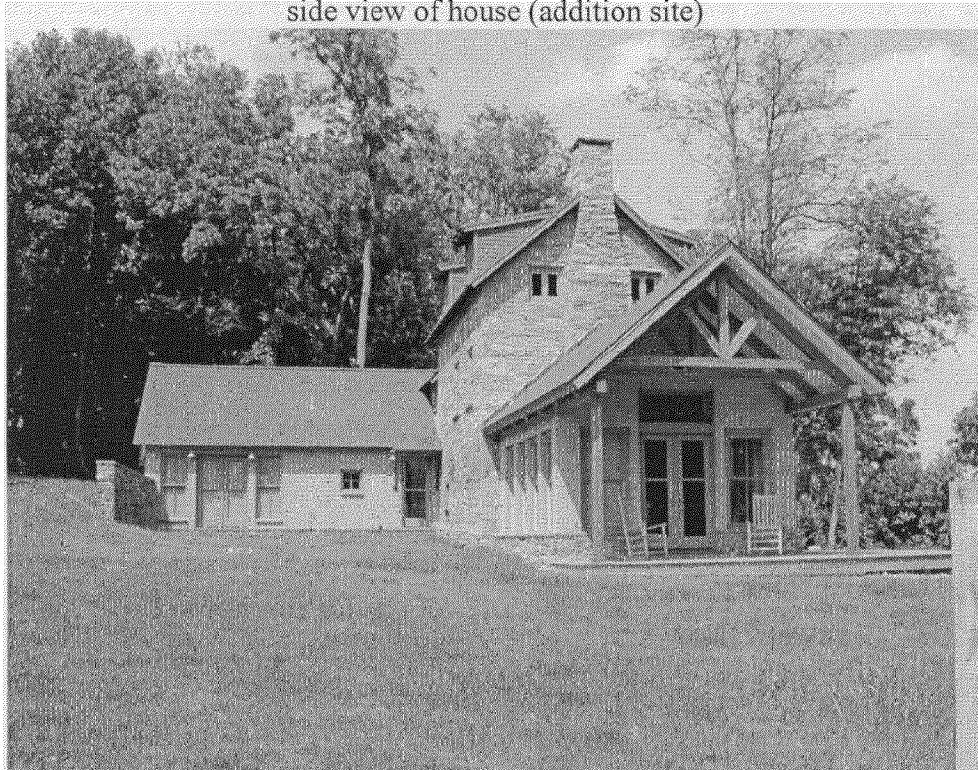
rear of house



rear of house (site of new addition)



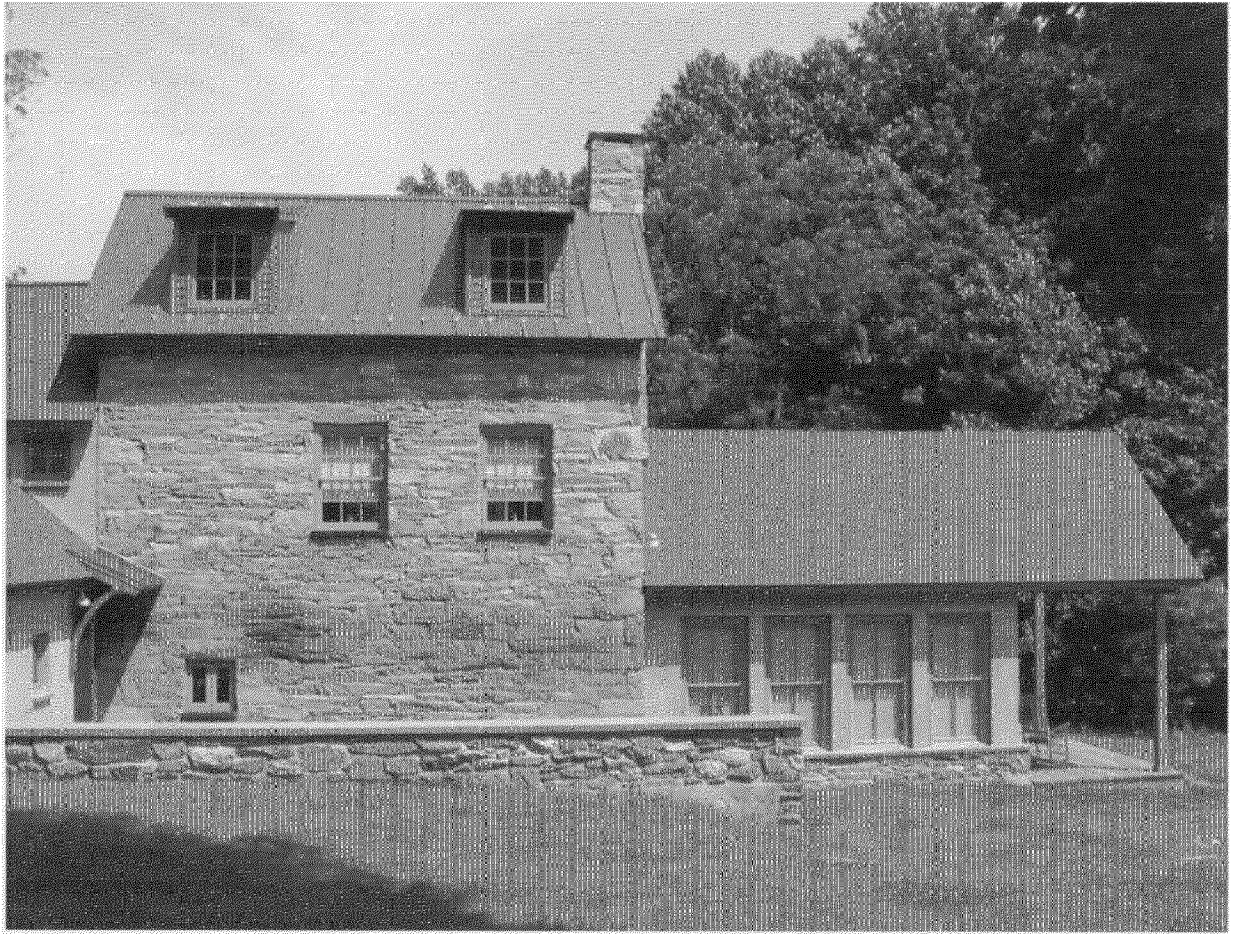
side view of house (addition site)

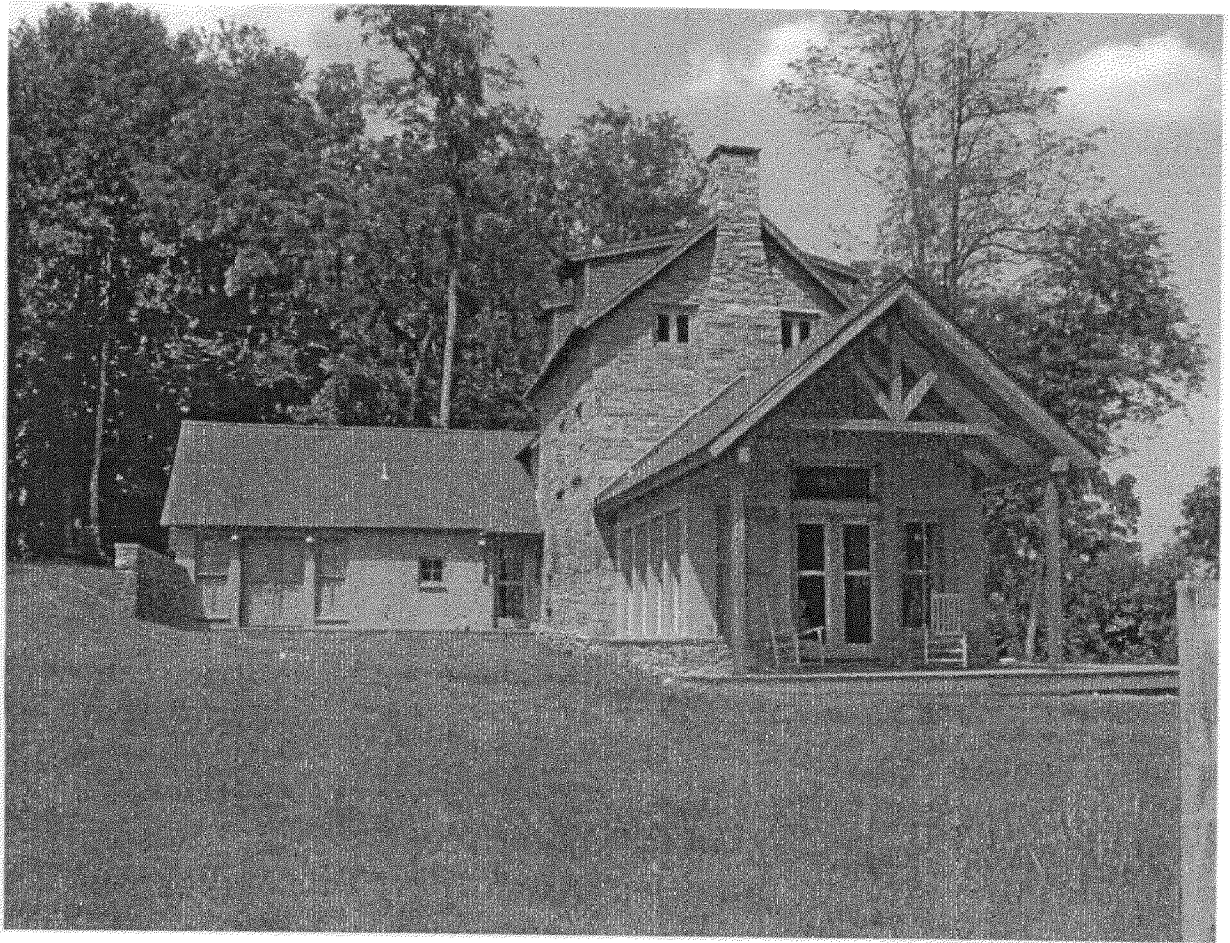












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