

~~#13~~ Robin  
II . D

37/3-01KK 7063 Carroll Avenue  
(Takoma Park Historic District)



## **THE ROLYN COMPANIES**

- Construction Consulting
- Disaster Restoration
- General Contracting

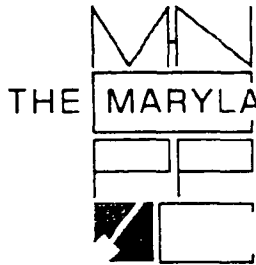
**Timothy L. LeBon**

---

301/468-1553 ext. 609 • Fax: 301/468-6744 • Toll Free: 800/808-1553

E-mail: [tlebon@rolyncompanies.com](mailto:tlebon@rolyncompanies.com)

12312 Wilkins Avenue • Rockville, Maryland 20852



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: \_\_\_\_\_

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved (NOTE CHANGES MARKED ON DRAWINGS.)

\_\_\_\_\_ Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: BRUNO MUKENDI

Address: #20135

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
255 Rockville Pike, 2<sup>nd</sup> Floor  
Rockville, Maryland 20850-4166

# NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, January 24 03 the recipient of this NOTICE, TSHIABUKULE MUKENDI  
Date/ Recipient's Name

who represents the permittee/defendant, TSHIABUKULE MUKENDI  
Permittee's Name

is notified that a violation of Montgomery County Code, Section: 24A-6(a)(1)  
exists at: 7063 CARROLL AVE TAKOMA PARK MD  
Location Case # 199909388

The violation is described as: Removed the front porch without  
first obtaining a historic area work permit

The following corrective action(s) must be performed immediately as directed, Obtain a historic  
area work permit

See attached inspection Report(s) for additional violations and/or required corrective actions.

An inspection fee of \$ 82.50 is required in addition to any application fee(s).

Compliance Time: Friday Re-inspection Date(s): \_\_\_\_\_ Permit Number: \_\_\_\_\_ Code/Edition: \_\_\_\_\_

Failure to comply with this notice will result in the Issuance of one or more \$500.00 civil citations.

A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Permission is required to resume construction.

ISSUED BY: HELE HRYCAK Peter Hrycak 1-29-03  
Printed Name Signature Date

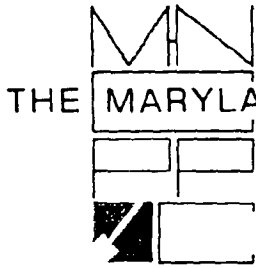
Phone No. 240-777-5871

RECEIVED BY: \_\_\_\_\_  
Printed Name Signature Date

Phone No. \_\_\_\_\_ Sent by Registered Mail/Return Receipt On: 1-29-03

**RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION**

This Notice may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Ave., Room 217, Rockville, MD 20850, telephone (240) 777-6600.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2-5-03

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

HPC# 37/3-01KK  
DPS PERMIT # 294437 (F)

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved (NOTE CHANGES MARKED ON DRAWINGS)

Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: BRUNO MUKENDI

Address: 7063 CARROLL AVE. TAKOMA PARK HD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



## DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

### COMMERCIAL BUILDING CONSTRUCTION

#### INSPECTION REQUIREMENTS

In order to improve service, and to facilitate the scheduling of inspection requests, please use the inspection codes listed to the left of each inspection type for scheduling the inspections required for new construction, renovations and additions.

When calling for inspections, please have the address to be inspected (as it appears in the premise address section of your permit), the permit number and the type of inspection required.

#### REMINDER

1. All inspection requests for the following workday must be called in before 12:00 Noon.
  2. Multi-Family Buildings and swimming pools are considered Commercial Structures.
- I. Alterations not requiring new foundations or structural framing.  
These types of alterations are normally identified as alterations related to tenant spaces.

#### CODES

1. 070 (Walls)      1st Inspection: close-in of walls, ceilings and shafts.  
071 (Ceiling)      This inspection must be conducted after all firestopping, mechanical, plumbing and electrical rough-ins are completed. None of the above elements shall be concealed until the building inspector conducts the close-in inspection.
2. 251              2nd Inspection: Final inspection.  
This inspection is conducted after all work per approved plans and specifications is completed.

#### II. NEW CONSTRUCTION AND ADDITIONS

- A. 255              Pre-Construction Conference:  
Before commencing the construction, the owner or his/her designee shall call (240) 777-6210 to schedule a pre-construction meeting for the purpose of discussing the County's inspection requirements, approved plans and related matters. It may require principal parties to the construction process attend this meeting during which an Inspector will represent the Department of Permitting Services (DPS).

Notice: Failure to schedule a pre-construction meeting before commencing construction may result in the issuance of a civil citation.

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
COMMERCIAL BUILDING REVIEW

MONTGOMERY  
APPROVED  
DIV. OF BUILDING

Project: 7063 Carroll Avenue

Codes: MBRC/2000 IBC  
ADAAG 1994/COMAR 1995

Permit #: 294437

Reviewer: Robin Ferro

Date: 12/30/02

Phone: 240-777-6250/FAX 240-777-6241

**Building Information:**

Use Group: R-2      Const. Type: VB      Sprinklered: no      Floor Area: 300 ~~sq~~      Height: 1 story/ft.

Plan review based on Maryland Building Rehabilitation Code, category of work is addition.

1. IBC 1003.2.12 & NFPA 7.2.2.4.6 Guards: Guardrails shall be at least 42 inches in height measured vertically above the leading edge of the tread or adjacent walking surface which is located more than 30 inches above the floor or grade below.
2. IBC 1003.3.3.3 & NFPA 7.2.2.2.1(a) Stair treads and risers: Stair riser heights shall be 7" maximum and 4" minimum. Stair tread depths shall be 11" minimum.
3. IBC 1003.3.3.11.1 & NFPA 7.2.2.4.5 Handrail Height: Handrail height measured above stair tread nosing, or finish surface of ramp slope, shall be uniform, not less than 34" and not more than 38".
4. IBC 1003.3.3.11.3 & NFPA 7.2.2.4.5(4) Handrail graspability. Handrails with a circular cross section shall have an outside diameter of at least 1.25 inches (32 mm) and not greater than 2 inches (51 mm) or shall provide equivalent graspability. If the handrail is not circular, it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 6.25 inches (159 mm) with a maximum cross-section dimension of 2.25 inches (57 mm). Edges shall have a minimum radius of 0.125 inch (3.2 mm).
5. IBC 1003.3.3.11.5 & NFPA 7.2.2.4.5 (6) Handrail extensions: Where handrails are not continuous between stair flights, the handrail shall extend horizontally at least 12 inches beyond the top riser and continue to a slope for the depth of one tread beyond the bottom riser.

6. 056 Walls - Masonry (Interior Walls): All rebars must be in place. Clean out holes to remain open until inspection.
7. 054 Walls - Reinforced Concrete (Exterior Foundation Walls): All rebars must be in place at time of inspection.
8. 057 Walls - Reinforced Concrete (Interior Walls): All rebars must be in place at time of inspection before placing concrete.
9. 065 Parging, Waterproofing, Dampproofing: All debris must have been removed from perimeter of foundation at time of inspection.
  - a. Concrete Walls -- Heavy tar applied to all areas where form ties will be below grade. Inspection to occur prior to application of sprayed or mopped tar.
  - b. Masonry Walls - All parging complete. Inspection to occur prior to sprayed or mopped tar.
10. 066 Location Wall Check: Upon completion of the foundation walls or perimeter footings and before any construction is placed upon such foundation walls or footings obtain two copies of a location plat certified by a land surveyor showing the actual location of the building with respect to property lines and existing buildings or structures on the same lot. A professional engineer entitled to practice in Maryland may provide such certification only where property lines and corners are already existing and determined on the ground.
11. 070 Wall Close-In or Interior Framing or Concealment: All firestopping and all mechanical, electrical and plumbing rough-in must be in place prior to inspection. Note: If structural steel is involved all certification as to steel assembly and connections are due at this time, prior to inspection.
12. 071 Ceiling Close-in: All plumbing, electrical, and mechanical rough-ins are to be complete at this inspection. If plenum, all items to be placed in plenum area are to be in place at the time of this inspection. All required draftstops and firestopping are to be complete. If drop-in suspended ceiling is used, all gridwork is to be complete and secured.
13. 072 Columns - Reinforced Concrete: All formwork and rebars to be in place prior to inspection and placing of concrete.
14. 069 Structural Concrete Slabs: All formwork, sleeves and rebar installations to be in place prior to inspection and placing of concrete.
15. 058 Structural Steel Assembly (S): This Special Inspection includes the determination that members are properly located sized, and in accordance with approved plans; checking of setting of anchor bolts and base plates; determining that members are plumb.



COUNTY  
; NOTED  
ONSTRUCTION

BEFORE CONSTRUCTION, REQUEST A REGISTERED DESIGNER SMALL  
CONTRACT (202) 777-8219 AND SCHEDULE A PERMITS/INSPECTION  
MEETING WITH THE FIELD INSPECTOR.

FAILURE TO DO SO MAY RESULT IN A CIVIL CITATION PER SECTION  
802 (H) OF THE BUILDING CODE OF MONTGOMERY COUNTY.

7063 CARROLL AVENUE  
TAKOMA PARK, MD 20912  
(MONTGOMERY COUNTY)

(PER IBC - 2000)  
CODE ANALYSIS  
USE GROUP - R2  
TYPE CONST. - 5B  
FULLY SUPPRESSED - NO  
FLOOR AREA ~~IF~~ ADD/ALTER - 300 SQ. FT.

PROPOSED FRONT PORCH  
REPLACEMENT DUE TO  
VEHICLE DAMAGE

REMARKS: (SCOPE OF WORK)  
REMOVE & REPLACE EXISTING WOOD  
PORCH. ALL MATERIALS TO BE  
LIKE KIND AND QUALITY AS  
EXISTED. FLOOR AREA TO  
BE 300 SQ. FT. AS EXISTED.

CONTRACTOR:

ROLYN CONSTRUCTION COMPANY  
12312 WILKINS AVENUE  
ROCKVILLE, MD 20852

DRAWN BY:

REESE DESIGN LTD.  
15 TYGART COURT  
GAITHERSBURG, MD 20879

DATE: NOVEMBER 25, 2002

SCALE: 1/4" = 1'-0"

MONTGOMERY COUNTY  
DIVISION OF BUILDING CONSTRUCTION

These plans are conditionally approved in accordance  
with any correction notes on plans. The building permit  
is license to construct in accordance with adopted code  
and does not waive any code requirements not noted  
during plan review. Issuance of permit does not prevent  
field inspectors from ordering corrections to meet codes  
when issues are noted during inspections.

Approvals: Arch. RF Life Safety. RF  
Struct. NA Mech. N/A Elec. N/A

Permit Number: 294437



APPROVED  
Montgomery County  
Historic Preservation Commission

[Signature] @ 2/5/03

294437 (F)

APPROVED  
 Montgomery County  
 Historic Preservation Commission

2/15/03

DECK FRAMING NOTES:

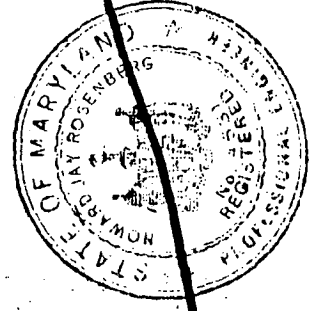
- 1) ALL WOOD TO BE BRIDGWOOD
- 2) ALL JOISTS TO BE 2" X 8" OR LARGER
- 3) ALL JOISTS TO BE SPACED @ 16" O.C.
- 4) ALL JOISTS TO BE PERPENDICULAR TO THE BEAMS
- 5) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 6) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 7) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 8) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 9) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 10) ALL JOISTS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS

Notes: Bottom of the footings shall be at least 24" below the finished grade (TYP.)

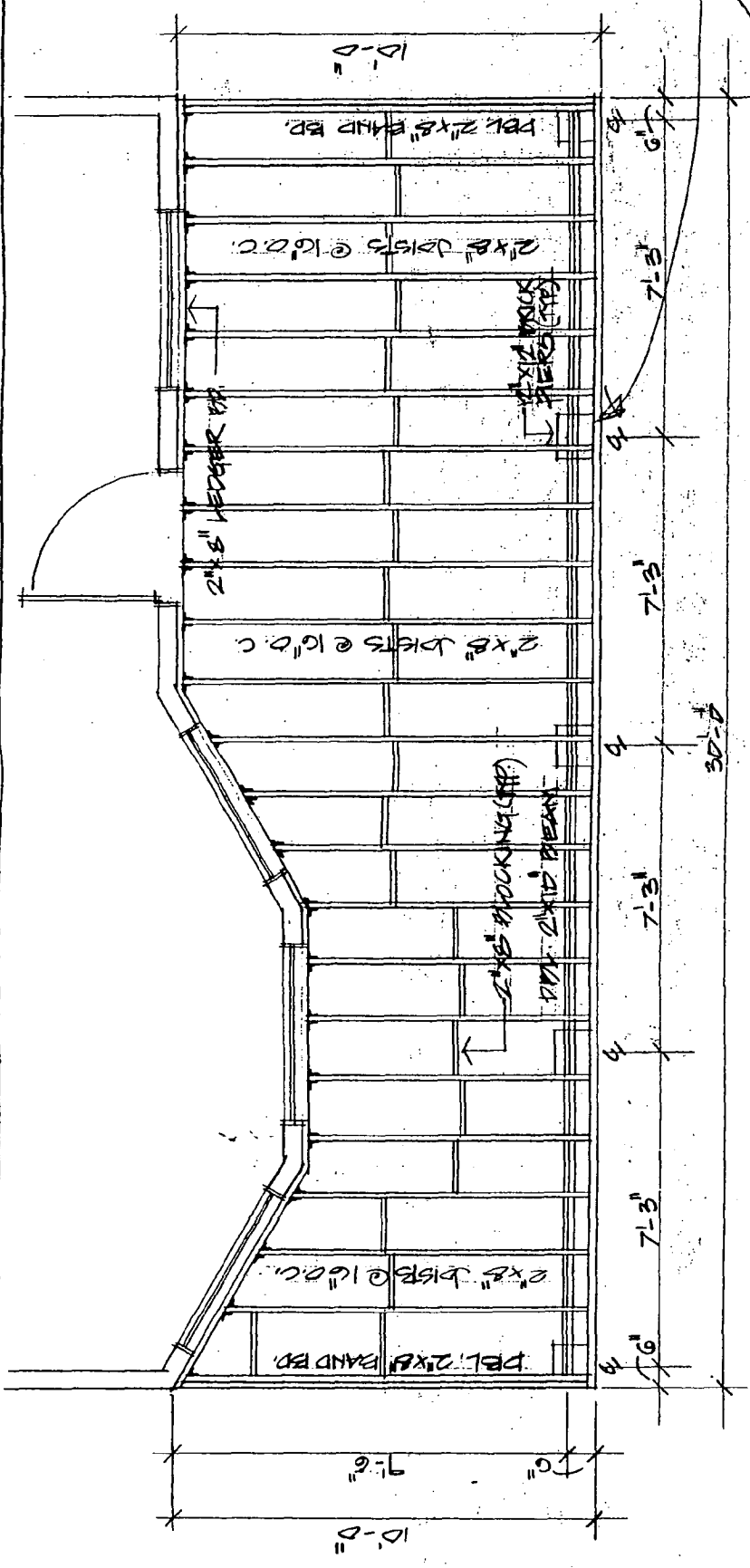
MONTGOMERY COUNTY  
 APPROVED AS NOTED  
 DIV. OF BUILDING CONSTRUCTION

ROOF FRAMING NOTES:

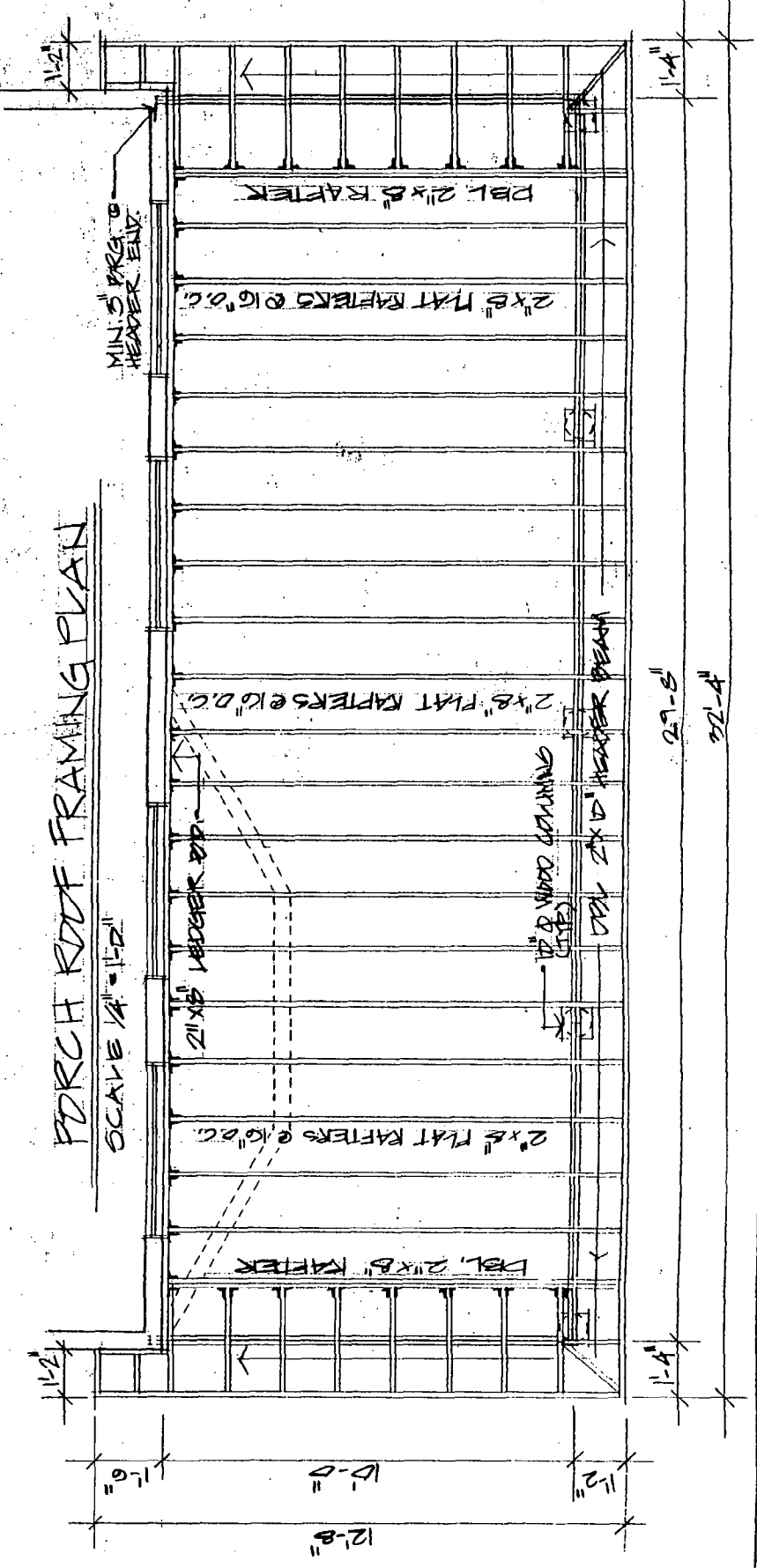
- 1) ALL WOOD TO BE BRIDGWOOD
- 2) ALL RAFTERS TO BE 2" X 8" OR LARGER
- 3) ALL RAFTERS TO BE SPACED @ 16" O.C.
- 4) ALL RAFTERS TO BE PERPENDICULAR TO THE BEAMS
- 5) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 6) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 7) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 8) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 9) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS
- 10) ALL RAFTERS TO BE FULLY SUPPORTED AT ENDS AND INTERMEDIATE POINTS



*[Handwritten Signature]*



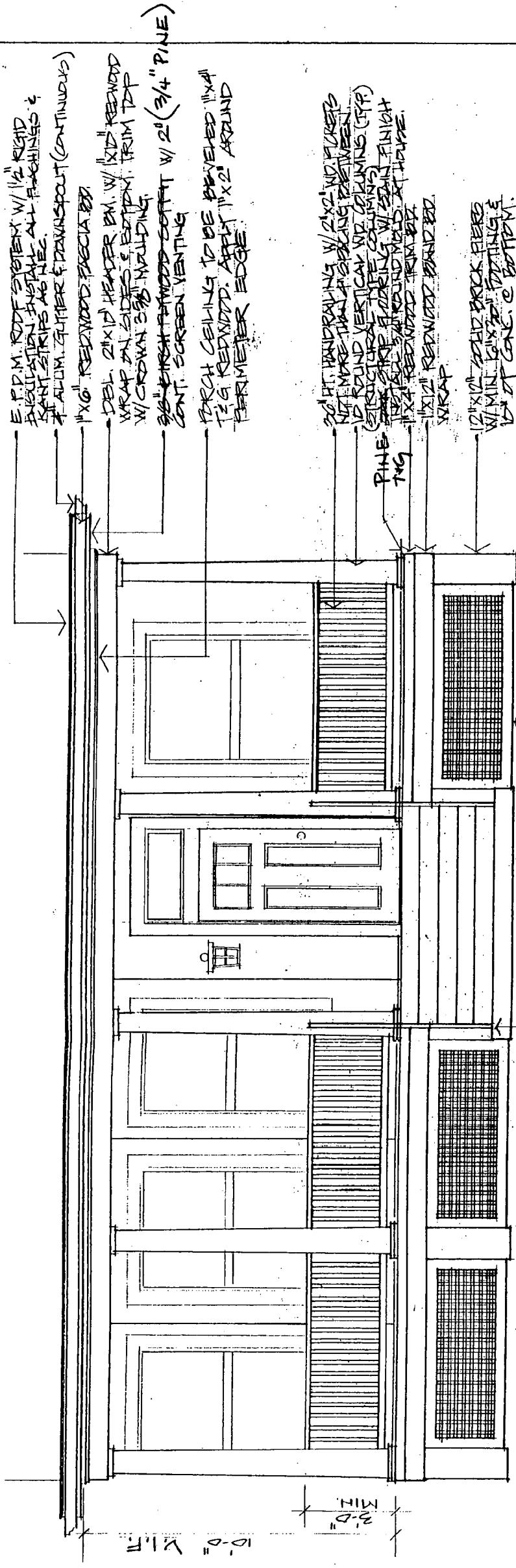
PORCH DECK FRAMING PLAN  
 SCALE 1/4" = 1'-0"



PORCH ROOF FRAMING PLAN  
 SCALE 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

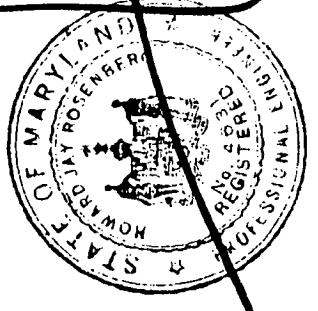
*[Signature]*  
 @ 2/5/03



MONTGOMERY COUNTY  
 APPROVED AS NOTED  
 DIV. OF BUILDING CONSTRUCTION

NOTE:

- 1) ALL WORK TO COMPLY W/ INTL. BIRTH CODE AND LOCAL CODE AMENDMENTS.
  - 2) ALL WORK TO BE INSPECTED BY LOCAL GOVT AND APPROVED
  - 3) ALL WORK TO MATCH EXISTING PORCH AS CLOSE TO PRACTICAL
  - 4) ALL NEW PAINT COLORS & STAINS TO MATCH AS CLOSE TO PRACTICAL
- \* COLORS TO BE APPROVED BY HISTORIC PRESERVATION OF TAKOMA PARK FOR TO APPLICATION \*



PORCH ELEVATION  
 SCALE 1/4" = 1'-0"

WEIGHT IRON RAILINGS W/ VERT. FLUES (MATCH EXISTING) TO BE RAIL TO CONFORM W/ CODE  
 ATTACH RAILING TO COLUMN W/ 2-1/2" SCREWS. PKL: NEW CONC. APPROX. 3" DEEP & FILL W/ GRIT & EXPOSE AT TOP.



COUNTY  
NOTED  
CONSTRUCTION

BEFORE CONSTRUCTION REQUEST IF OWNER-DESIGNED SHALL  
CONTACT: (410) 777-3010 AND SCHEDULE A PERMITS SESSION/  
MEETING WITH THE FIELD INSPECTOR.

FAILURE TO DO SO MAY RESULT IN A CIVIL CITATION PER SECTION  
8-203 (H) OF THE BUILDING CODE OF MONTGOMERY COUNTY.

7063 CARROLL AVENUE  
TAKOMA PARK, MD 20912  
(MONTGOMERY COUNTY)

(PER IBC - 2000)  
CODE ANALYSIS  
USE GROUP - R2  
TYPE CONST. - 5B  
FULLY SUPPRESSED - HD  
FLOOR AREA OF ADD/ALTER - 300 SQ. FT.

PROPOSED FRONT PORCH  
REPLACEMENT DUE TO  
VEHICLE DAMAGE

REMARKS: (SCOPE OF WORK)  
REMOVE & REPLACE EXISTING WOOD  
PORCH. ALL MATERIALS TO BE  
LIKE KIND AND QUALITY AS  
EXISTED. FLOOR AREA TO  
BE 300 SQ. FT. AS EXISTED.

CONTRACTOR:

ROLYN CONSTRUCTION COMPANY  
12312 WILKINS AVENUE  
ROCKVILLE, MD 20852

DRAWN BY:

REESE DESIGN LTD.  
15 TYGART COURT  
GAITHERSBURG, MD 20879

DATE: NOVEMBER 25, 2002

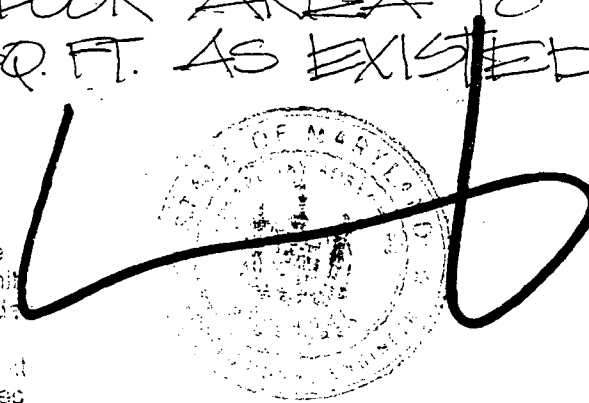
SCALE: 1/4" = 1'-0"

MONTGOMERY COUNTY  
DIVISION OF BUILDING CONSTRUCTION

These plans are conditionally approved in accordance  
with any correction notes on plans. The building permit  
is license to construct in accordance with adopted code  
and does not waive any code requirements not noted  
during plan review. Issuance of permit does not prevent  
field inspectors from ordering corrections to meet codes  
when issues are noted during inspections.

Approvals: Arch. RRF Life Safety. RRF  
Struct. MM Mech. N/A Elec. N/A

Permit Number: 294437



294437 (F)

DECK FRAMING NOTES:

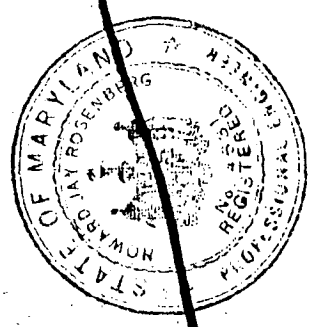
- 1) ALL WOOD TO BE FR TO #2 S-P
- 2) LEDGER BR TO BE ATTACHED WITH 2x4 LAG BOLTS & WASHERS. BOLTS TO BE EVEN SPACED AND PERPENDICULAR TO THE BEAM
- 3) 2x4 BEAM TO BE IN LINE AND SET ON TOP OF CONCRETE SLAB
- 4) WOOD BLOCKING TO BE 2x4x8 STUDS @ 16" O.C.
- 5) ALL JOISTS TO HAVE 1000 WASHERS @ 24" O.C.
- 6) DECK BR TO BE 2x8
- 7) SUB FLOOR TO BE 5/8" FR. TO GYPSUM BOARD APPLIED PERPENDICULAR TO JOISTS
- 8) USE GALVANIZED HARDWARE
- 9) ALL JOIST END BRUCK SHOULD HAVE MIN. 1x6x6 FOOTING W/ 10# REBAR.
- 10) ALL JOIST TO BE PERPENDICULAR TO THE PARTIAL.

Notes: Bottom of the footings shall be at least 24" below the finished grade (TYP.)

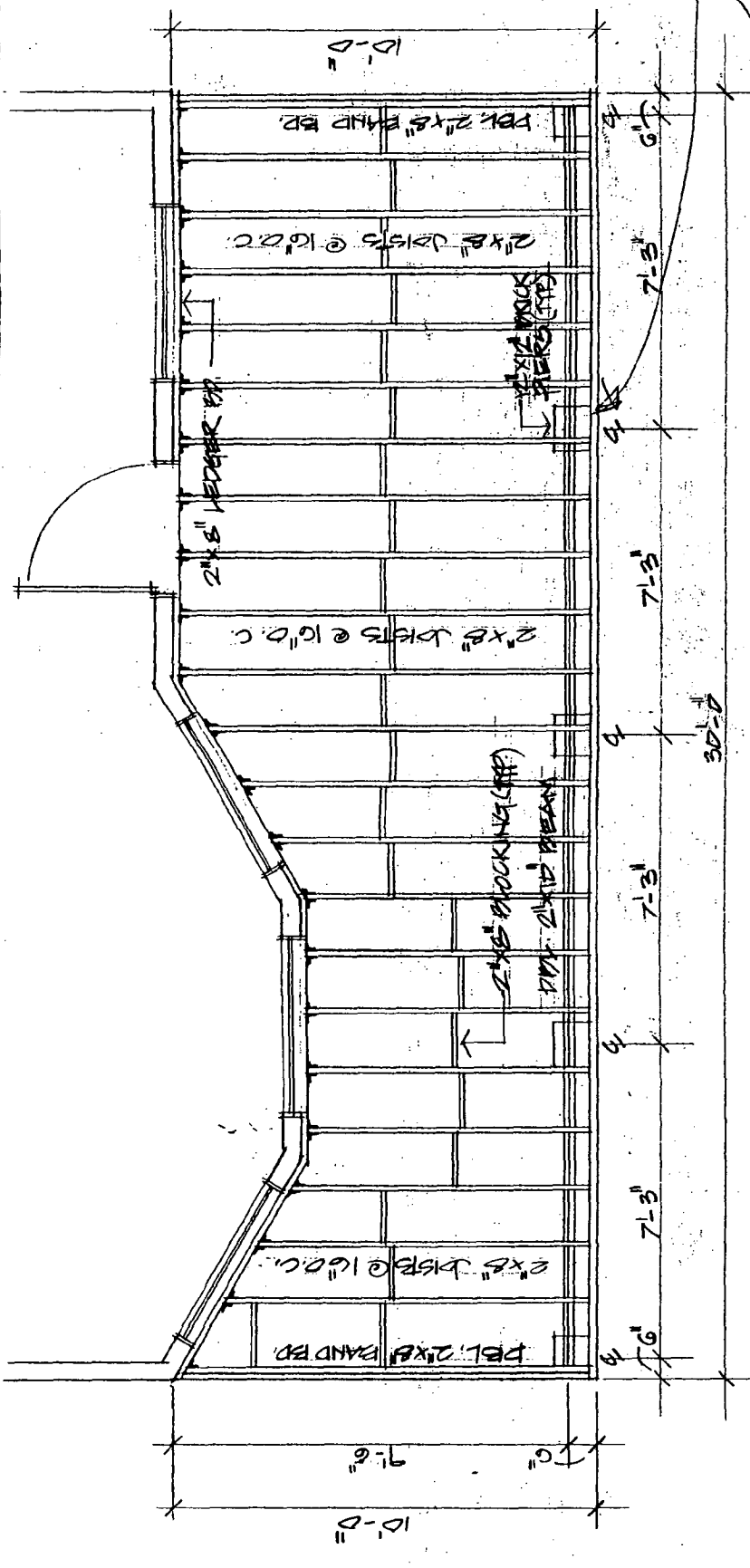
MONTGOMERY COUNTY  
APPROVED AS NOTED  
DIV. OF BUILDING CONSTRUCTION

ROOF FRAMING NOTES:

- 1) ALL WOOD TO BE SET # 2 S-P
- 2) LEDGER BR TO BE ATTACHED WITH 2x4 LAG BOLTS & WASHERS. BOLTS TO BE EVEN SPACED AND PERPENDICULAR TO THE BEAM
- 3) 2x4 BEAM TO BE IN LINE AND SET ON TOP OF CONCRETE SLAB
- 4) WOOD BLOCKING TO BE 2x4x8 STUDS @ 16" O.C.
- 5) ALL JOISTS TO HAVE 1000 WASHERS @ 24" O.C.
- 6) DECK BR TO BE 2x8
- 7) SUB FLOOR TO BE 5/8" FR. TO GYPSUM BOARD APPLIED PERPENDICULAR TO JOISTS
- 8) USE GALVANIZED HARDWARE
- 9) ALL JOIST END BRUCK SHOULD HAVE MIN. 1x6x6 FOOTING W/ 10# REBAR.
- 10) ALL JOIST TO BE PERPENDICULAR TO THE PARTIAL.

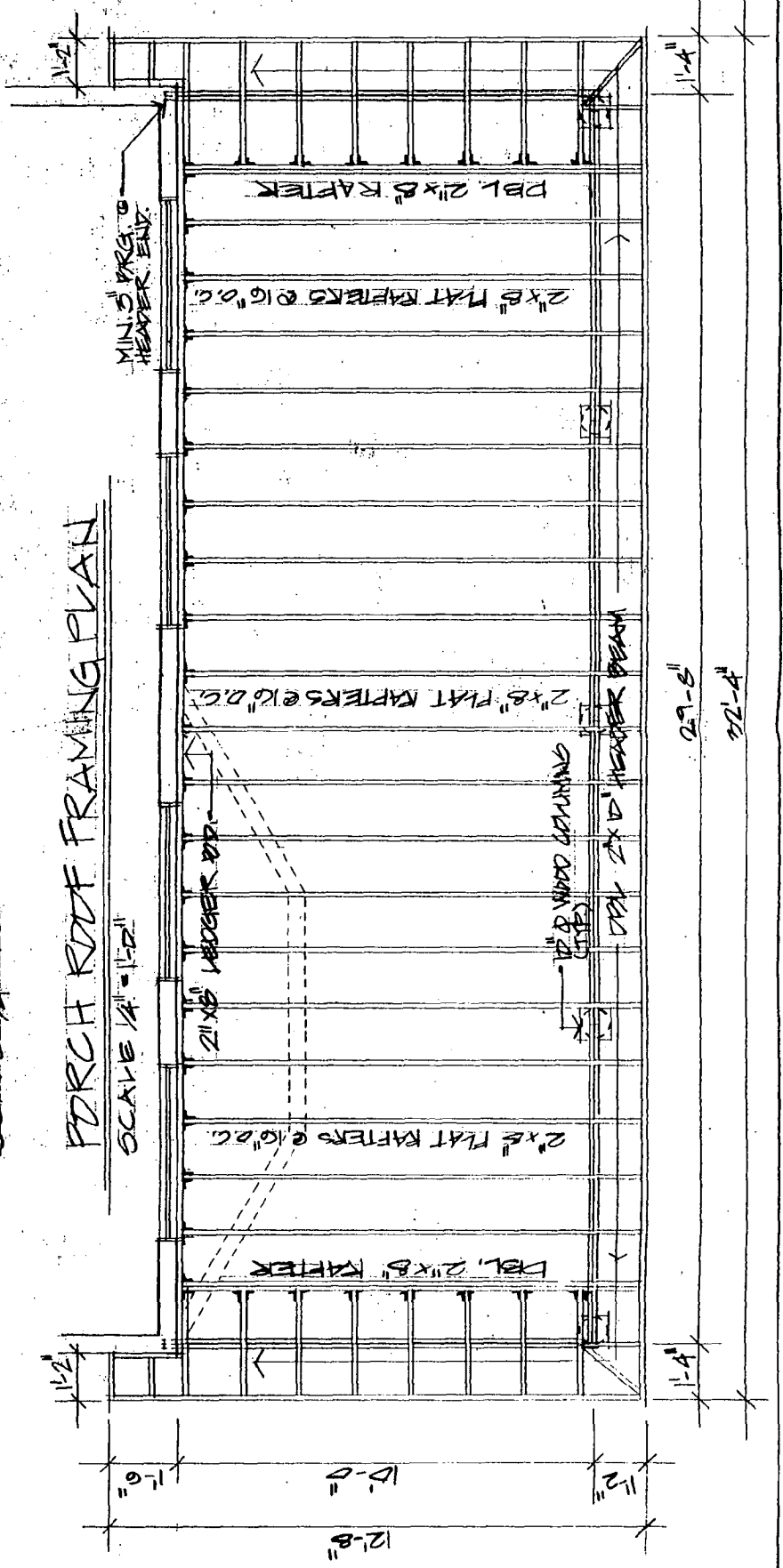


*(Handwritten signature)*



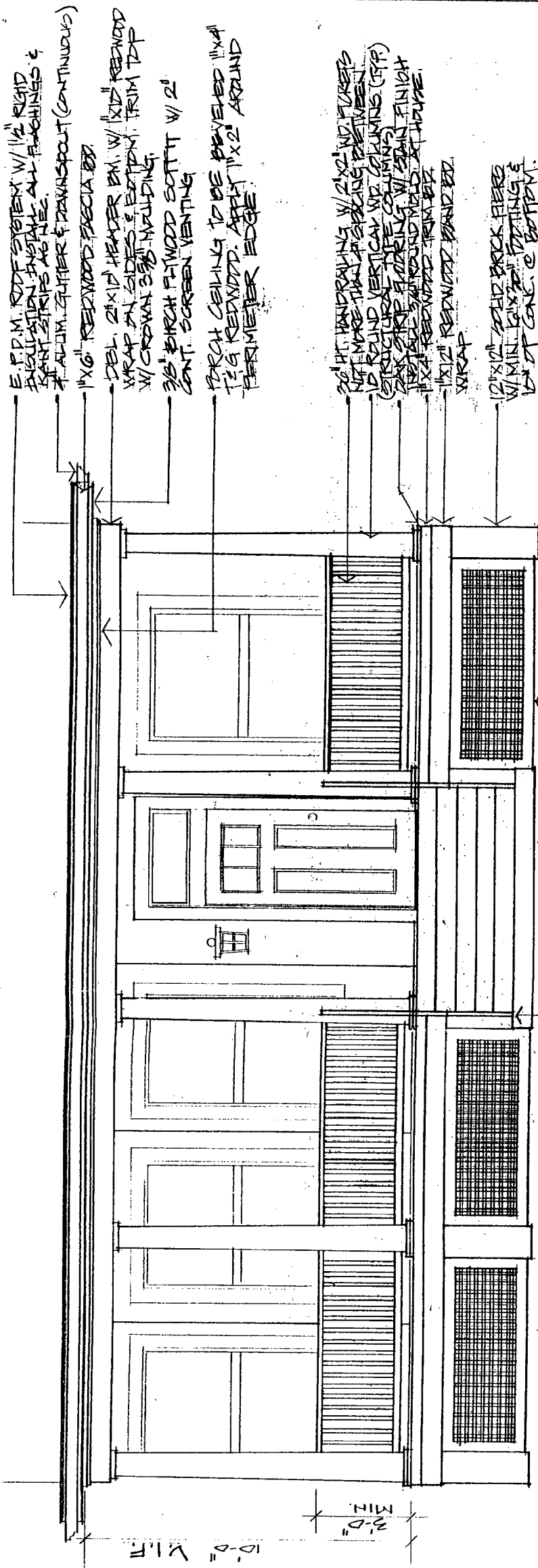
PORCH DECK FRAMING PLAN

SCALE 1/4" = 1'-0"



PORCH ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"



E.P.D.M. ROOF SYSTEM W/ 1/2" RIGID INSULATION INSTALLED. ALL FLASHINGS & GUTTER STRIPS AS NOTED.  
 ALUM. GUTTER & DOWNSPOUT (CONTINUOUS)  
 1" X 6" REDWOOD SPEC. BR.  
 DEL. 2" X 12" HEADER BM. W/ 1/2" REDWOOD WRAP ON SIDES & BOTTOM. TRIM TOP W/ CROWN S&S MOLDING.  
 3/8" BIRCH FINWOOD SCOTTT W/ 2" CONT. SCREEN VENTING  
 PORCH CEILING TO BE PAINTED 1" X 4" T&G REDWOOD. APPLY 1" X 2" AROUND PERIMETER EDGE.

20" HT. HANDRAILING W/ 2" X 2" NO. 10 FIBERS NOT MORE THAN 1" SPACING BETWEEN. 1/2" ROUND VERTICAL W/ 2" COLUMNS (C.P.F.) STRAIGHT THROUGH COLUMN. W/ STAIN FINISH 2" X 2" SQUARE SURROUND W/ 2" X 2" FINISH. 1" X 4" REDWOOD TRIM AT TOP.  
 1" X 2" REDWOOD FINISHED WRAP  
 10" X 10" SOLID BRICK PIERS W/ MIN. 1/2" X 2" FINISHING & 1/2" OF CONC. @ BOTTOM.

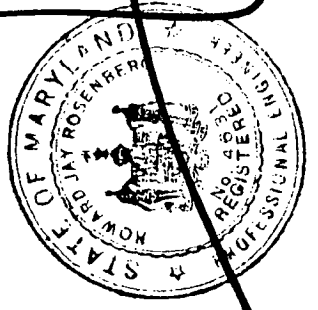
LATTICE PANELS W/ 1" X 4" TRIM SURROUND. (P.R. TD.)  
 CONCRETE STEPS 8" X 8" W/ FORMED IN PLACE (MATCH EXISTING) (PER CODE)  
 BOTTOM STEP & BASE TO BE 8" X 8" WIDE ALL OTHER STEPS TO BE 7" X 8" WIDE

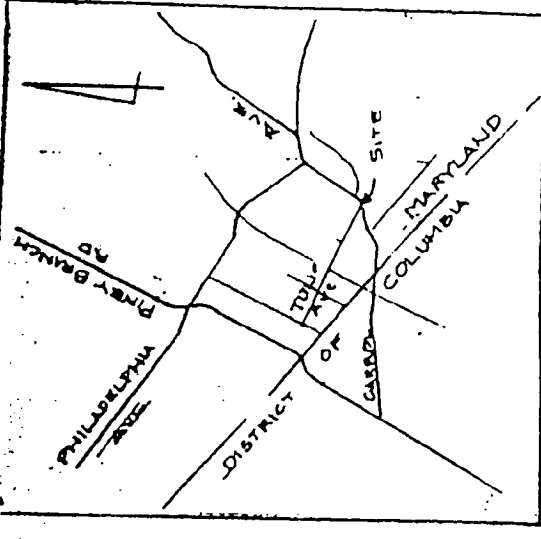
WEIGHT IRON RAILING W/ VERT. FLUTES (MATCH EXISTING) HI. BE RAIL TO CONFORM W/ CODE  
 ATTACH RAILING TO COLUMN W/ 2" W/ SCREENS, PKIN. NEW CONC. APPROX. 3" DEEP & FILL W/ SPLIT & EPOXY AT TOP.

MONTGOMERY COUNTY  
 APPROVED AS NOTED  
 DIV. OF BUILDING CONSTRUCTION

PORCH ELEVATION  
 SCALE 1/4" = 1'-0"

- NOTE:
- 1) ALL WORK TO COMPLY W/ INT'L. BIRTH CODE AND LOCAL CODE AMENDMENTS.
  - 2) ALL WORK TO BE INSPECTED BY LOCAL GOVT. AND APPROVED
  - 3) ALL WORK TO MATCH EXISTING PORCH AS CLOSE TO PRACTICAL.
  - 4) ALL NEW PAINT COLORS & STAINS TO MATCH AS CLOSE TO PRACTICAL.
- \* COLORS TO BE APPROVED BY HISTORIC PRESERVATION OF TAKOMA PARK BROR TO APPLICATION.\*

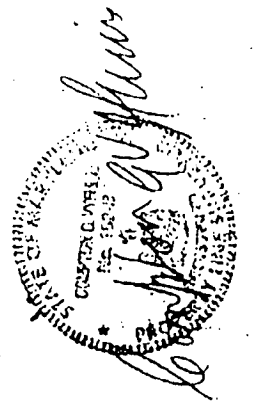




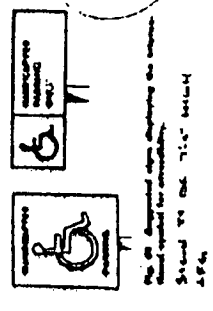
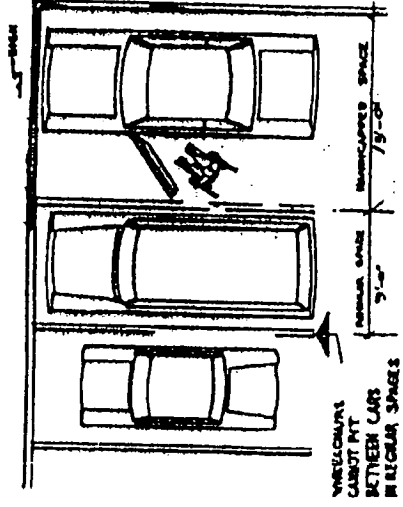
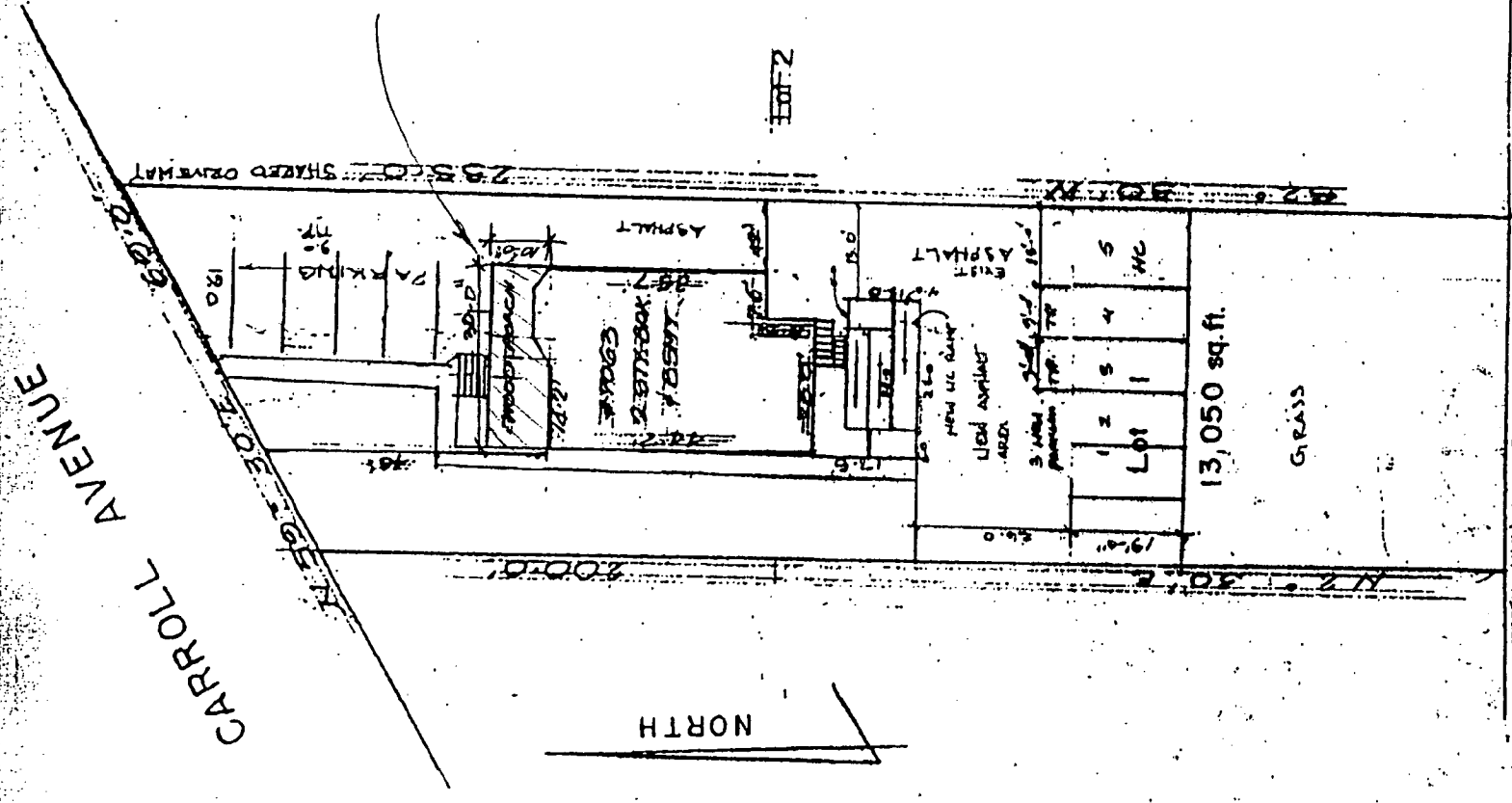
MONTGOMERY COUNTY  
APPROVED AS NOTED  
DIV. OF BUILDING CONSTRUCTION

214020

260198



A/P # 294437



SITE PLAN  
7063 CARROLL AVENUE  
B.F. GILBERT'S ADDITION TO  
TAKOMA PARK  
LOT 1, BLOCK 16, PLAT BKA # 147  
Montgomery County, Maryland

**VYFHUIS & ASSOCIATES**  
LAND SURVEYORS, ENGINEERS, PLANNERS  
3112 RHODE ISLAND AVENUE, N.E.  
WASHINGTON DISTRICT OF COLUMBIA

Scale: 1" = 20' Date: Aug. 17, 01





## DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

### COMMERCIAL BUILDING CONSTRUCTION

#### INSPECTION REQUIREMENTS

In order to improve service, and to facilitate the scheduling of inspection requests, please use the inspection codes listed to the left of each inspection type for scheduling the inspections required for new construction, renovations and additions.

When calling for inspections, please have the address to be inspected (as it appears in the premise address section of your permit), the permit number and the type of inspection required.

#### REMINDER

1. All inspection requests for the following workday must be called in before 12:00 Noon.
2. Multi-Family Buildings and swimming pools are considered Commercial Structures.

#### I. Alterations not requiring new foundations or structural framing.

These types of alterations are normally identified as alterations related to tenant spaces.

#### CODES

1. 070 (Walls) 1st Inspection: close-in of walls, ceilings and shafts.  
071 (Ceiling) This inspection must be conducted after all firestopping, mechanical, plumbing and electrical rough-ins are completed. None of the above elements shall be concealed until the building inspector conducts the close-in inspection.
2. 251 2nd Inspection: Final inspection.  
This inspection is conducted after all work per approved plans and specifications is completed.

#### II. NEW CONSTRUCTION AND ADDITIONS

- A. 255 Pre-Construction Conference:  
Before commencing the construction, the owner or his/her designee shall call (240) 777-6210 to schedule a pre-construction meeting for the purpose of discussing the County's inspection requirements, approved plans and related matters. It may require principal parties to the construction process attend this meeting during which an Inspector will represent the Department of Permitting Services (DPS).

Notice: Failure to schedule a pre-construction meeting before commencing construction may result in the issuance of a civil citation.

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
COMMERCIAL BUILDING REVIEW

MONTGOMERY  
APPROVED  
DIV. OF BUILDING

Project: 7063 Carroll Avenue

Codes: MBRC/2000 IBC  
ADAAG 1994/COMAR 1995

Permit #: 294437

Reviewer: Robin Ferro

Date: 12/30/02

Phone: 240-777-6250/FAX 240-777-6241

**Building Information:**

Use Group: R-2      Const. Type: VB      Sprinklered: no      Floor Area: 300  $\pm$       Height: 1 story/ft.

Plan review based on Maryland Building Rehabilitation Code, category of work is addition.

1. IBC 1003.2.12 & NFPA 7.2.2.4.6 Guards: Guardrails shall be at least 42 inches in height measured vertically above the leading edge of the tread or adjacent walking surface which is located more than 30 inches above the floor or grade below.
2. IBC 1003.3.3.3 & NFPA 7.2.2.2.1(a) Stair treads and risers: Stair riser heights shall be 7" maximum and 4" minimum. Stair tread depths shall be 11" minimum.
3. IBC 1003.3.3.11.1 & NFPA 7.2.2.4.5 Handrail Height: Handrail height measured above stair tread nosing, or finish surface of ramp slope, shall be uniform, not less than 34" and not more than 38".
4. IBC 1003.3.3.11.3 & NFPA 7.2.2.4.5(4) Handrail graspability. Handrails with a circular cross section shall have an outside diameter of at least 1.25 inches (32 mm) and not greater than 2 inches (51 mm) or shall provide equivalent graspability. If the handrail is not circular, it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 6.25 inches (159 mm) with a maximum cross-section dimension of 2.25 inches (57 mm). Edges shall have a minimum radius of 0.125 inch (3.2 mm).
5. IBC 1003.3.3.11.5 & NFPA 7.2.2.4.5 (6) Handrail extensions: Where handrails are not continuous between stair flights, the handrail shall extend horizontally at least 12 inches beyond the top riser and continue to a slope for the depth of one tread beyond the bottom riser.

6. 056 Walls - Masonry (Interior Walls): All rebars must be in place. Clean out holes to remain open until inspection.
7. 054 Walls - Reinforced Concrete (Exterior Foundation Walls): All rebars must be in place at time of inspection.
8. 057 Walls - Reinforced Concrete (Interior Walls): All rebars must be in place at time of inspection before placing concrete.
9. 065 Parging, Waterproofing, Dampproofing: All debris must have been removed from perimeter of foundation at time of inspection.
  - a. Concrete Walls - Heavy tar applied to all areas where form ties will be below grade. Inspection to occur prior to application of sprayed or mopped tar.
  - b. Masonry Walls - All parging complete. Inspection to occur prior to sprayed or mopped tar.
10. 066 Location Wall Check: Upon completion of the foundation walls or perimeter footings and before any construction is placed upon such foundation walls or footings obtain two copies of a location plat certified by a land surveyor showing the actual location of the building with respect to property lines and existing buildings or structures on the same lot. A professional engineer entitled to practice in Maryland may provide such certification only where property lines and corners are already existing and determined on the ground.
11. 070 Wall Close-In or Interior Framing or Concealment: All firestopping and all mechanical, electrical and plumbing rough-in must be in place prior to inspection. Note: If structural steel is involved all certification as to steel assembly and connections are due at this time, prior to inspection.
12. 071 Ceiling Close-in: All plumbing, electrical, and mechanical rough-ins are to be complete at this inspection. If plenum, all items to be placed in plenum area are to be in place at the time of this inspection. All required draftstops and firestopping are to be complete. If drop-in suspended ceiling is used, all gridwork is to be complete and secured.
13. 072 Columns - Reinforced Concrete: All formwork and rebars to be in place prior to inspection and placing of concrete.
14. 069 Structural Concrete Slabs: All formwork, sleeves and rebar installations to be in place prior to inspection and placing of concrete.
15. 058 Structural Steel Assembly (S): This Special Inspection includes the determination that members are properly located sized, and in accordance with approved plans; checking of setting of anchor bolts and base plates; determining that members are plumb.



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssueDate: 11/1/2001

Permit No: 262303  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT: BRUNO MUKENDI  
12613 STRATFORD GARDEN DRIVE  
SILVER SPRING MD 20904

HAS PERMISSION TO: CONSTRUCT

PERMIT CONDITIONS: HANDICAP RAMP/PARTIAL PAVING/PARKING

PREMISE ADDRESS 7063 CARROLL AVE  
TAKOMA PARK MD 20912-

LOT 1 BLOCK 16 PARCEL ZONE  
LIBER ELECTION DISTRICT 13 PLATE GRID  
FOLIO SUBDIVISION COLESVILLE OUTSIDE  
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y  
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssueDate: 11/6/2001

Permit No: 262705  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT: BRUNO MUKENDI  
12613 STAFFORD GARDEN  
SILVER SPRING MD 20904

HAS PERMISSION TO: CONSTRUCT

PERMIT CONDITIONS: handicapped ramp

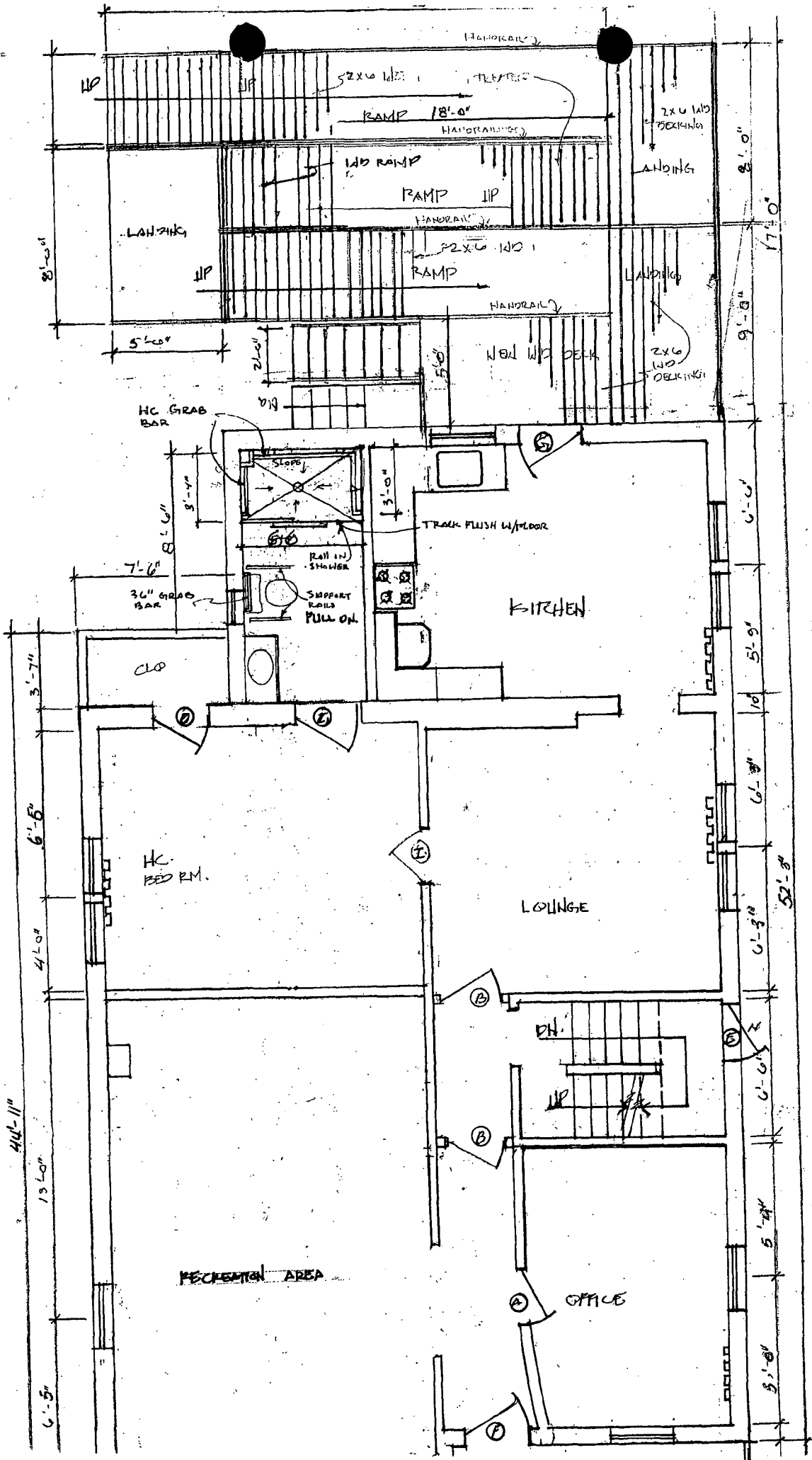
PREMISE ADDRESS 7063 CARROLL AVE  
TAKOMA PARK MD 20912-

LOT 1 BLOCK 16 PARCEL ZONE  
LIBER ELECTION DISTRICT 13 PLATE GRID  
FOLIO SUBDIVISION COLESVILLE OUTSIDE  
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y  
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services



APPROVED  
 Montgomery County  
 Historic Preservation Commission (10/31/01)  
 POC - 11-07

Historic  
 ✓

TECTUP

# DOOR SCHEDULE

ITEM	DESCRIPTION	QTY	SIZE	FRAME	HARDWARE	REMARKS
A	WD. FIBER CORE	17	24 X 68	MTL.	KEY LOCK	B LABEL MTL OPT.
B	WD. Hollow CORE	12	28 X 68	WOOD	KEY LOCK	
C	WD. FIBER CORE	2	20 X 68	MTL.	KEY LOCK	
D	WD. Hollow CORE	3	24 X 68	WOOD	THUMB LOCK	B LABEL MTL. OPT.
E	WD. FIBER CORE	4	28 X 68	MTL.	KEY LOCK	
F	WD. FIBER CORE	1	30 X 68	MTL.	KEY LOCK	B LABEL MTL. OPT.
G	"	1	"	"	"	B LABEL MTL. OPT.
H	WD. Hollow	2	20 X 68	WOOD	CLOSET DOOR	

Front Door alterations  
 have NOT been  
 reviewed by HPC.  
 PDZ.  
 10/31/01

1st, 2nd & 3rd floor ASSEMBLY

### SYSTEM DESCRIPTION

**GA FILE NO. FC 5920**

WOOD JOISTS, GYPSUM WALLBOARD

5/8" type X gypsum wallboard or veneer base applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails 17/8" long 0.0915" shank, 1/4" heads, 6" o.c. joists supporting 1" nominal wood sub and finish floor, or 19/32" plywood finished floor with long edges T & G and 19/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.

### SKETCH AND DESIGN DATA

1 HOUR FIRE  
 15 MINUTE SOUND

Approx. Ceiling Weight: 2 1/2 pcf  
 Fire Test: UL F3501-5, 9, 7-15-52  
 UL R1319-2, 3, 6-5-52  
 Design L 501  
 ULC Design M500  
 Sound Test: See FC 5410  
 IIC & Test: 32 (66 C & P) NGC 5032, 7-19-66

APPROVED  
 Montgomery County  
 Historic Preservation Commission

(10/31/01)  
 PDZ  
 T-11-02

EXHIBIT 1.

ENTRY DOORS

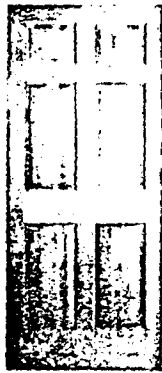
MILLWORK



Orepac Millwork

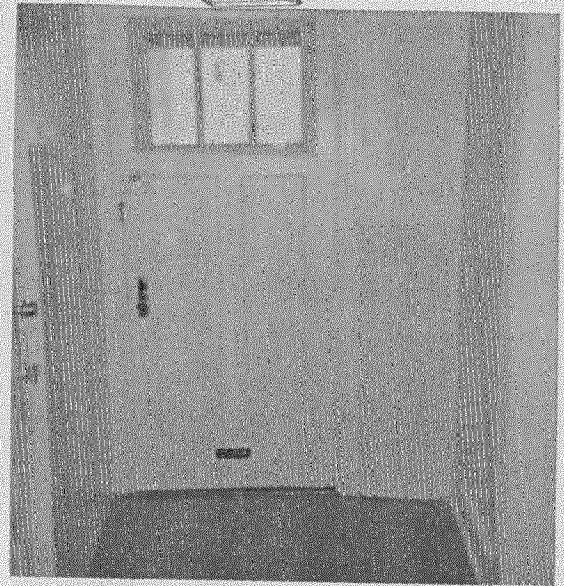
Orepac Millwork

EXISTING



X Proposed

6-Panel Exterior Fir Door Slab



FRONT DOOR  
EXISTING





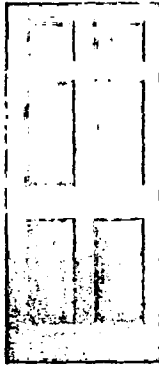
ENTRY DOORS

MILLWORK

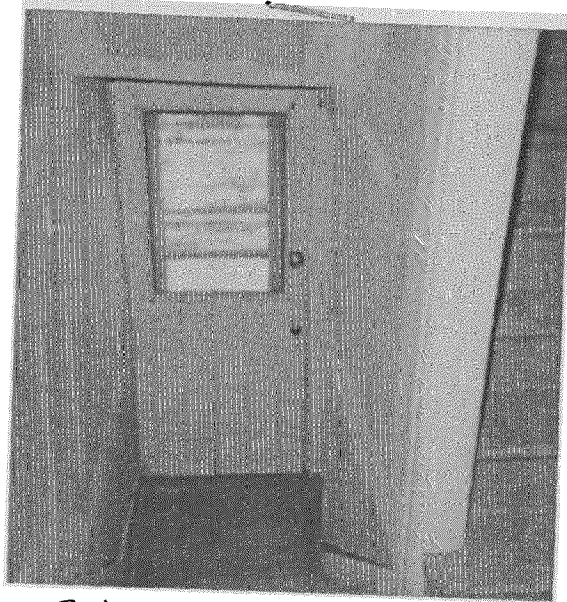
Orepac Millwork

Orepac Millwork

Existing



*Xproposed*



6-Panel Exterior Fir Door Slab

1 3/4-in. thick. Beveled raised panels. Dowel construction. 4 1/2-in. wide stiles. Unfinished.

Size In.	Mfr. No.	SKU	Price Each
32 x 80	NW-2130-2/8	378554	\$139.00
36 x 80	NW2130-3/0	378571	145.00

2-1

1 3/4

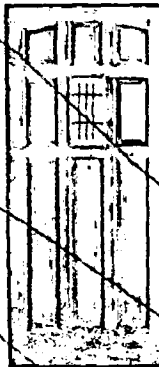
Size

32

36

N

*RIGHT SIDE DOOR EXISTING.*



Exterior Paneled Fir Door Slab with Lite

1 3/4-in. thick. Vertical grain. Single glass. 4 1/2-in. stiles. Dowel construction. Unfinished.

Size In.	Lite Style	Mfr. No.	SKU	Price Each
32 x 80	Fan	F-2/8 2020 3/4	378926	\$169.00
36 x 80	Fan	NW-2020-3/0	378960	174.00

Exterior Fir French Door Slab

1 3/4-in. thick solid wood. 15 lites. Dowel construction. Unfinished.

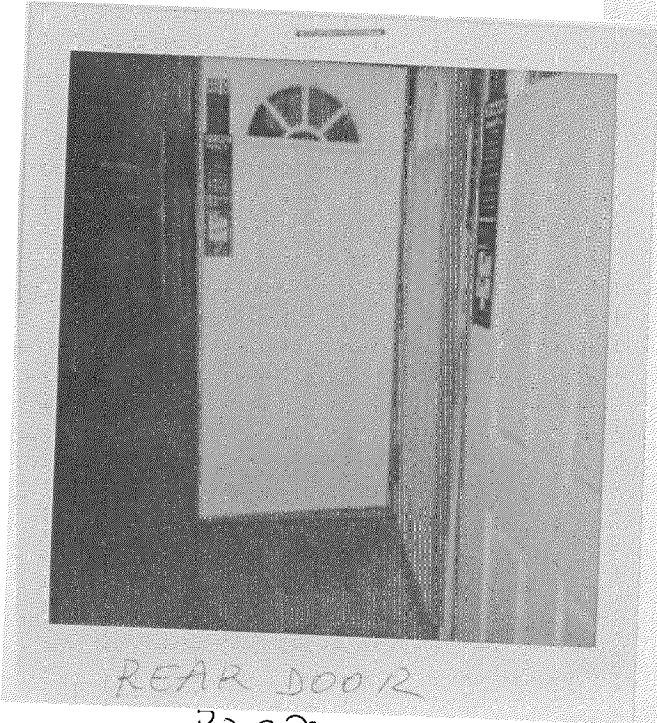
Size In.	Mfr. No.	SKU	Price Each
30 x 80	F-2/6 1515EXT	105511	\$144.00
32 x 80	F-2/8 1515EXT	105538	144.00
36 x 80	NW-1515-3/0	105546	149.00

Not All Products Available in All Markets

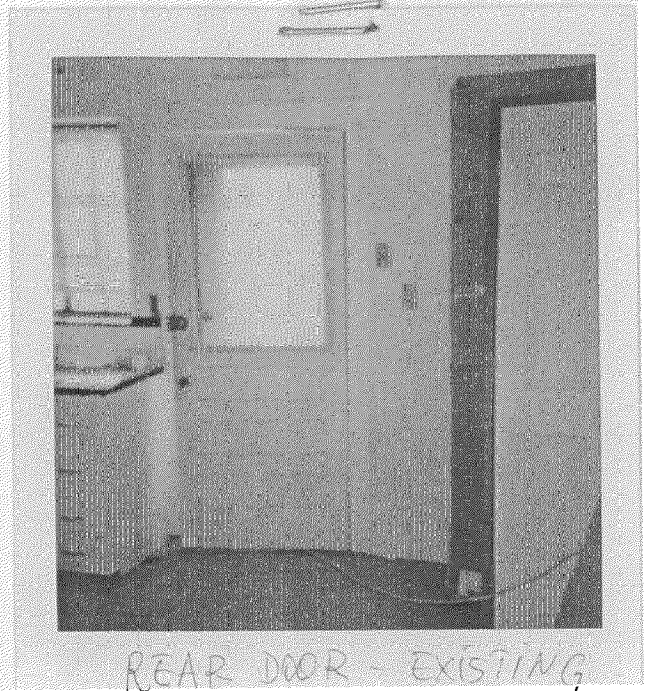


EXHIBIT 3

PROPOSED



REAR DOOR  
PROPOSED



REAR DOOR - EXISTING

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

March 11, 2002

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit *3713-01 KK Revision*

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved       Denied       **Approved with Conditions:**

1. The front door will not be replaced, but will be repaired.
2. The applicant to work with staff and DPS to determine what is required under the building codes. If possible, the rear door will be repaired rather than replaced. If an agreement cannot be reached with the applicant and staff, the applicant will return to the HPC.
3. The applicant to work with staff and DPS to determine what is required under the building codes. If possible, the right side door should be repaired rather than replaced. If so required by DPS, the door may be replaced but the new door shall match the existing door in style and material. A solid door, without glazing, is permissible. If an agreement cannot be reached with the applicant and staff, the applicant will return to the HPC.
4. The front porch will be repaired in kind, and ceramic tile will not be installed.
5. The applicant will work with staff on the recessed porch lighting. The use of lights on the wall by the front door would also be permissible.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Bruno Mukendi at 7063 Carroll Avenue, Takoma Park, MD 20912

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 7063 Carroll Avenue Meeting Date: 2/27/02  
 Applicant: Bruno Mukendi Report Date: 2/20/02  
 Resource: Takoma Park Historic District Public Notice: 2/13/02  
 Review: **HAWP** Tax Credit:  
 Project Number: 37/3-01KK REV Staff: Robin D. Ziek

**PROPOSAL:** Replace doors; extend paving by 10', install ceramic tile floor on front porch, install recessed lights on porch.

**RECOMMEND:** Approval with Conditions:

1. The front door will not be replaced, but will be repaired.
2. The rear door will not be replaced, but will be repaired.
3. The right side door may be replaced, if so required by DPS, but the new door shall match the existing door in style and material. A solid door, without glazing, is permissible.
4. The front porch will be repaired in kind, and ceramic tile will not be installed.
5. The applicant will work with staff on the recessed porch lighting. The use of lights on the wall by the front door would also be permissible.

*To be worked out by staff & DPS. Come back to HPC if agreement can't be reached.*

**PROJECT DESCRIPTION**

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District  
 STYLE: Craftsman  
 DATE: c1910

The applicant was approved for a HAWP on October 24, 2001. This 2-1/2 story frame house is sided with stucco. The property is zoned commercial and has several apartments now. The applicant has talked about making this a B&B. The previous HAWP addressed parking and accessibility needs. The applicant had thought that the front door needed to be fire-rated, but has subsequently learned that it doesn't need to be fire-rated (see Circle ).

**PROPOSAL**

The applicant proposes to replace the **front door** (see Circle 5-7 ), the existing **right side door** (see Circle 8 ), and the **rear door** (see Circle 9 ). In addition, he

would like to increase the **parking area** by no more than 10' at the rear (see Circle 10 ). In addition, he notes that the **front porch floor** is wood, and is in need of repair. He proposes to replace the wood floor with ceramic tile. Finally, the applicant proposes to install recessed **lighting** on the front porch. The applicant has been told that the side door has to be fire-rated, as it is part of the stairway/egress system. The back door doesn't have to be fire-rated, although the applicant is concerned that the width comply with ADA, as the handicapped ramp leads to this rear door.

### STAFF DISCUSSION

The applicant should replace original fabric only when the materials are beyond repair, or when required under local health/safety codes.

### DOORS:

Staff notes that the existing **front door** is a typical Craftsman-style door. Most notable is the use of a tall row of vertical panels beneath the glazed portion. This door should be repaired rather than replaced. The design of the proposed new front door is incompatible with the site.

Both the existing **right side door** and the **rear door** are also typical early 20<sup>th</sup> century paneled door, with horizontal panels and 1/2-lights. The applicant proposes a 6-paneled door more typical of Colonial Revival for the side door replacement, and a 4-paneled door with a faux fanlight (see Circle 5, 9 ). Neither style of replacement door is compatible with the Craftsman style of the house.

The **rear door** does not have to be fire-rated, and this door should be repaired rather than replaced. The ADA width is 32" and this door opening provides 34" clear (information from the applicant).

The **right side door** is included in a fire egress sequence, and apparently doesn't meet the code requirements. As the code varies depending on the number of occupants of the building, the layout, the construction, and the presence or absence of sprinklers, staff does not feel qualified to comment on this request with regard to code requirements. In terms of historic preservation, staff notes that this existing door is the same type of door as the rear door, and *should be retained if this will meet the building code requirements*. If the swing on this door simply needs to be reversed, the door should be repaired and re-hung. If the door needs to be fire-rated, the new door should match the style of the existing door.

### PORCH:

Deterioration of **wood floors** on front porches is a maintenance requirement for anyone with such a porch. Typical maintenance repairs are best done on a yearly cycle. If the porch is deteriorated, the porch and the flooring should be repaired in kind. Tax credits from the local, state and, in this case, federal levels are all available to the applicant to assist with these normal

maintenance costs. The proposed use of ceramic tile would be inconsistent with the resource, and incompatible with the historic district, and should not be pursued.

The proposed use of recessed lighting in the ceiling of the porch is acceptable in theory. The applicant should provide more information to the commission as to the location and number of lights. More typical would be lights attached to the wall at the door, to light the entrance. The applicant might wish to consider this.

### STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### CONDITIONS:

1. The front door will not be replaced, but will be repaired.
2. The rear door will not be replaced, but will be repaired.
3. The right side door may be replaced, if so required by DPS, but the new door shall match the existing door in style and material. A solid door, without glazing, is permissible.
4. The front porch will be repaired in kind, and ceramic tile will not be installed.
5. The applicant will work with staff on the recessed porch lighting. The use of lights on the wall by the front door would also be permissible.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

Bruno Mukendi  
7063 Carroll Avenue  
Takoma Park, MD 20912

February 11, 2002

Mrs. Robin D. Ziek  
Historic Preservation Planner  
MCDPP- Historic Preservation Section  
Silver Spring, MD 20910

Dear Mrs. Ziek:

This is in reference to the on-going renovation work at 7063 Carroll Avenue, Takoma Park. I would like to request the authorization to carry out the following work.

1. Replace the existing front door

The existing front door needs to be replaced by a fire-rated door. Both the existing and the proposed doors are shown in Exhibit 1.

2. Replace the existing right side door

The right side exterior door has to be replaced by a fire-rated door. Exhibit 2 shows the existing and the proposed doors.

3. Replace the rear door.

I want to replace the existing rear door which is too old by a new door. The existing and the proposed doors are shown in Exhibit 3.

4. Paving

Due to the size of the ramp and in order to allow more traffic flexibility in the rear parking, I need to extend the paving to up to 10 feet. I still have a lot of space. (See Exhibit 4).

5. Front Porch

The existing porch is made in wood and most of it has been damaged. I want to replace the wood by ceramic tile. I also want to put recess lights in the porch.

Please do not hesitate to contact me should you have any questions. My telephone number is (301) 270-8232.

Sincerely,


  
P. Bruno Mukendi  
Owner

EXHIBIT 1

ENTRY DOORS

MILLWORK



Orepac Millwork

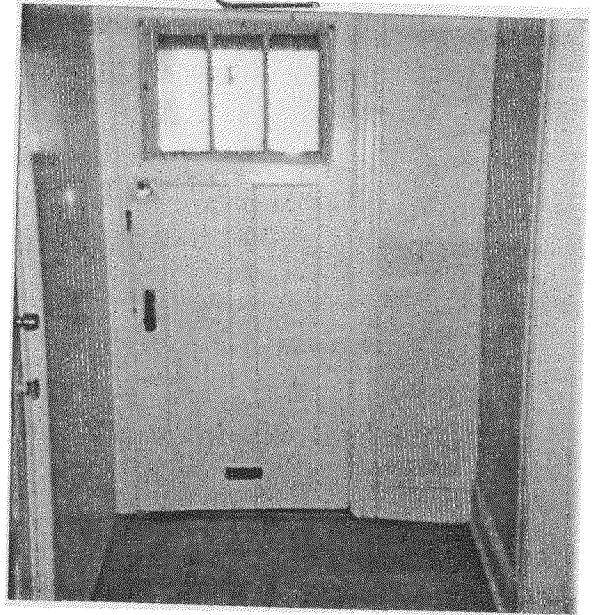
Orepac Millwork

EXISTING



X Proposed

6-Panel Exterior Fir Door Slab



FRONT DOOR  
EXISTING.



Bruno Mukendi  
7063 Carroll Avenue  
Takoma Park, MD 20912


February 19, 2002

Mrs. Robin D. Ziek  
Historic Preservation Planner  
MCDPP- Historic Preservation Section  
Silver Spring, MD 20910

Dear Mrs. Ziek:

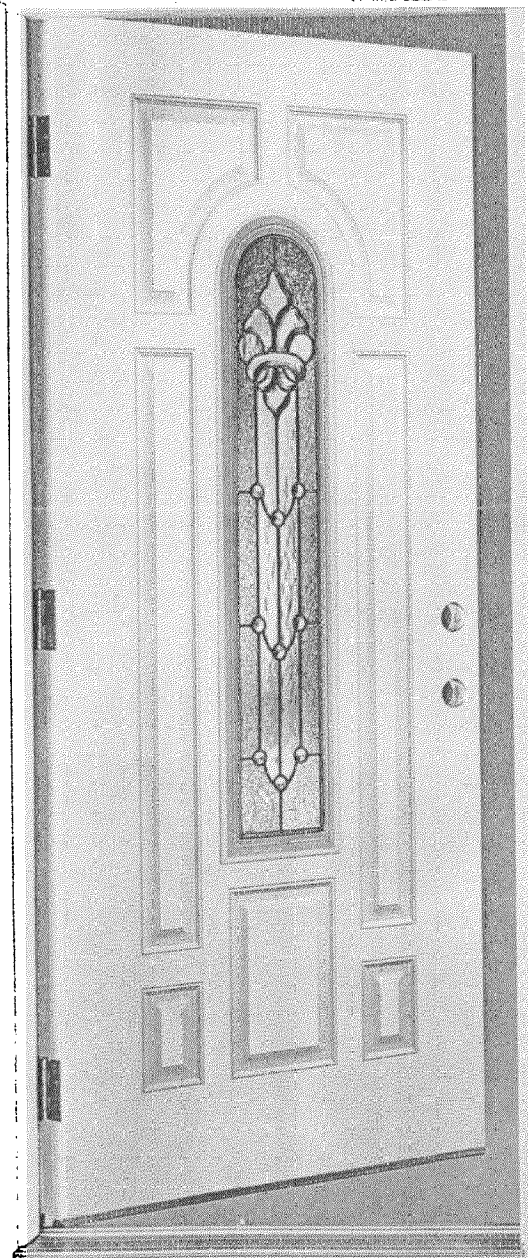
I understand that the front door does not need to be fire rated. In this case, I submit the attached proposed front door for consideration. It would be economical to keep both options (this proposal and the previous one) open.

Sincerely,



T. Bruno Mukendi  
Owner

PROPOSED FRONT OR



Door J71 shown

Ready to  
Install

Available at  
The Home Depot

Limited  
LIFETIME  
Warranty

7063 Carroll Avenue  
Takoma Park, MD 20912

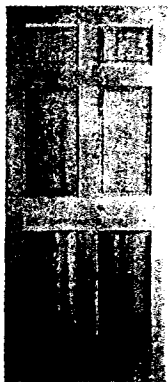
7



**ENTRY DOORS**

**MILLWORK**

**Orepac Millwork**



*Xproposed*

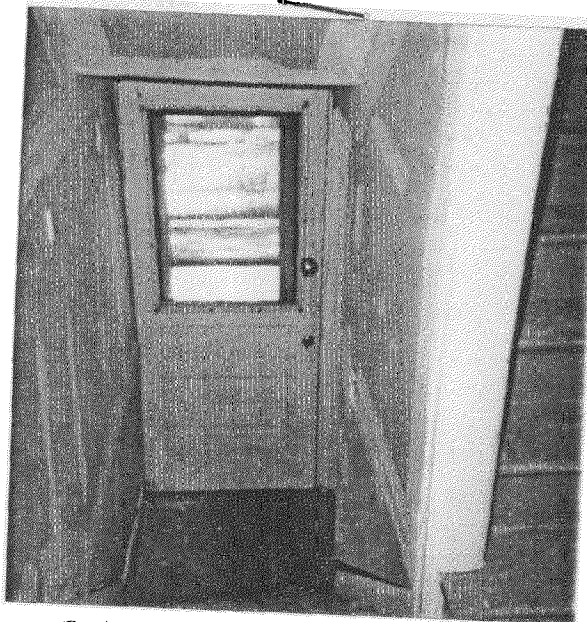
**6-Panel Exterior Fir Door Slab**

1 3/4-in. thick. Beveled raised panels. Dowel construction. 4 1/2-in. wide stiles. Unfinished.

Size In.	Mfr. No.	SKU	Price Each
32 x 80	NW-2130-2/8	378554	\$139.00
36 x 80	NW2130-3/0	378571	145.00

**Orepac Millwork**

*Existing*



**2-1**

1 3/

Size

32)

36)

**N**

*RIGHT SIDE DOOR EXISTING*



**Exterior Paneled Fir Door Slab with Lite**

1 3/4-in. thick. Vertical grain. Single glass. 4 1/2-in. stiles. Dowel construction. Unfinished.

Size In.	Lite Style	Mfr. No.	SKU	Price Each
32 x 80	Fan	F-2/8 2020 3/4	378926	\$169.00
36 x 80	Fan	NW-2020-3/0	378960	174.00

**Exterior Fir French Door Slab**

1 3/4-in. thick solid wood. 15 lites. Dowel construction. Unfinished.

Size In.	Mfr. No.	SKU	Price Each
30 x 80	F-2/6 1515EXT	105511	\$144.00
32 x 80	F-2/8 1515EXT	105538	144.00
36 x 80	NW-1515-3/0	105546	149.00

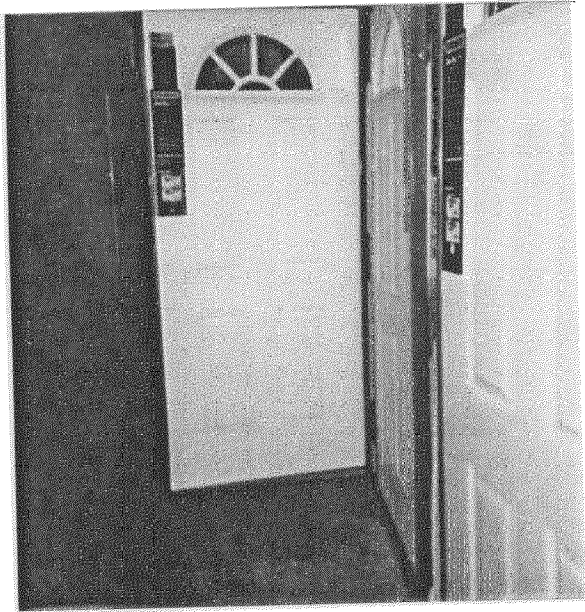
**Not All Products Available in All Markets**



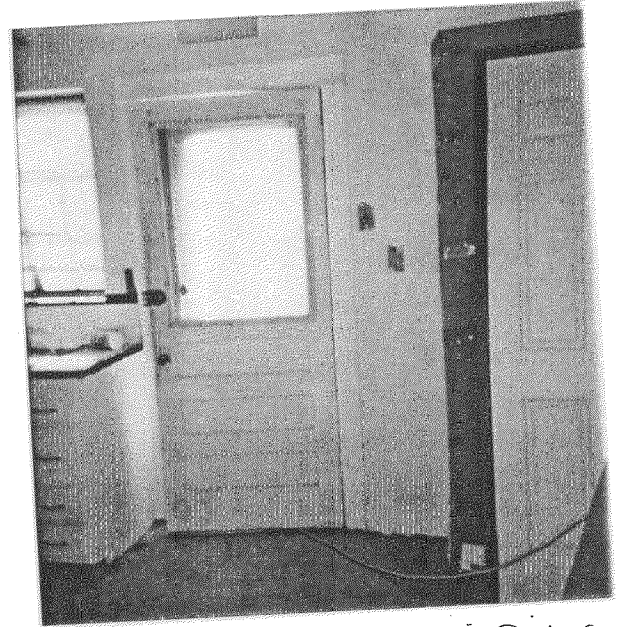
8

EXHIBIT 3

PROPOSED



REAR DOOR  
PROPOSED



REAR DOOR - EXISTING

34" wide

ADA stipulates 32" width.  
(4.13)

CARROLL AVENUE

N 59° 30' E 69' 0"

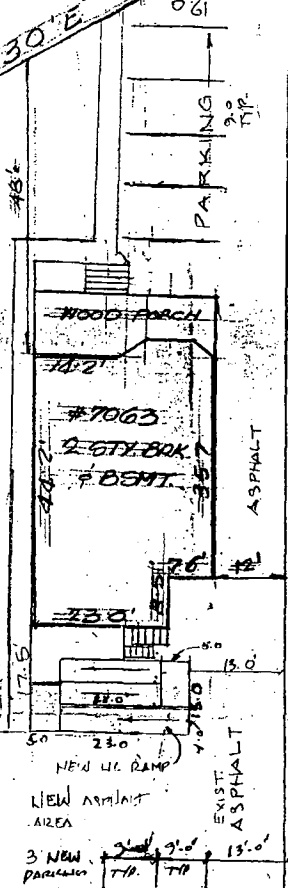
23' 5" 0" SHARED DRIVEWAY

NORTH

200' 0"

N 2° 30' E 19' 0"

N 87° 30' W 60' 0"



Lot 2

1	2	3	4	5
Lot				HC

13,050 sq. ft.

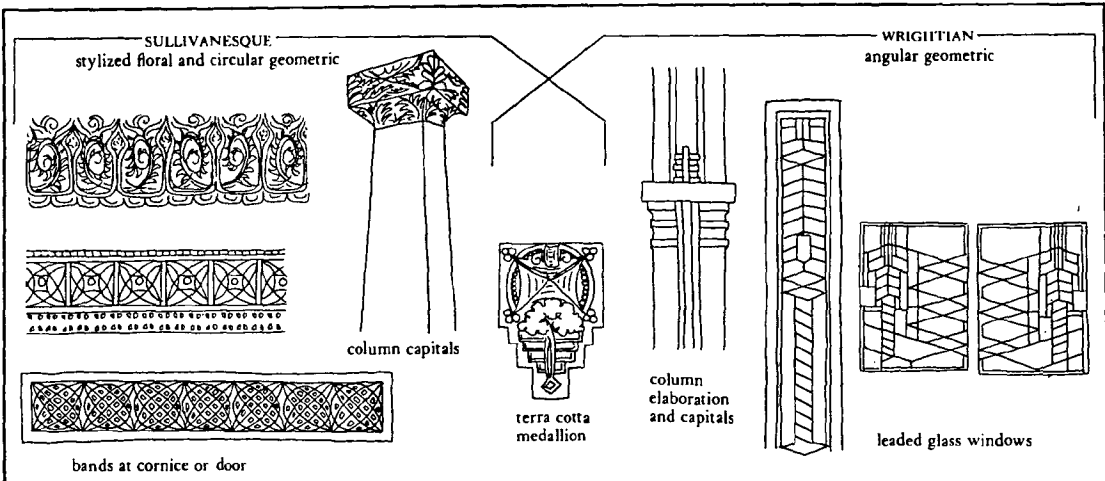
GRASS

Additional  
10'  
Proposed

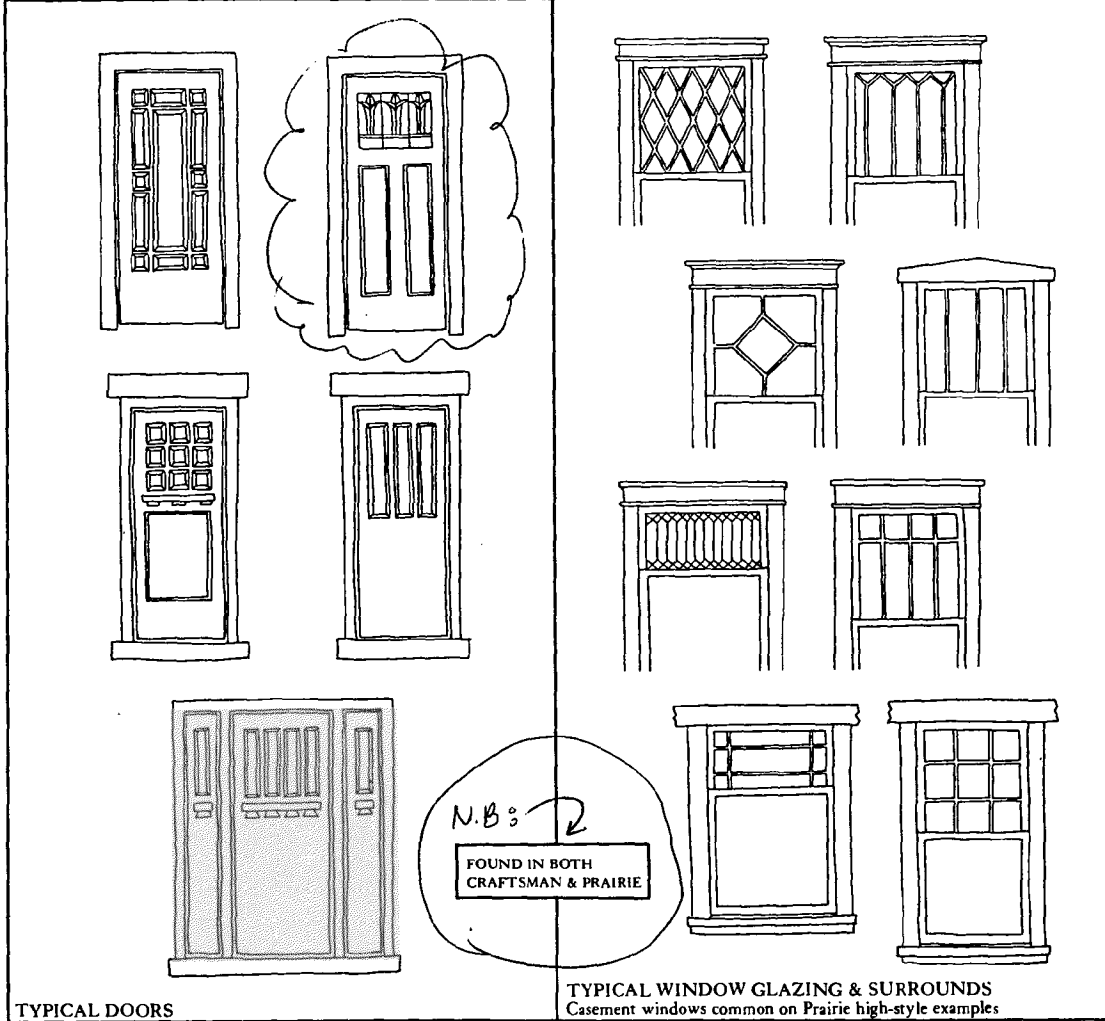
WHEEL CANNOT BE TWE IN REC

1 PARKING SPACE PER 9 RMS = 1 PARKING

VYFHUIS & ASSOCIATES  
 LAND SURVEYORS, ENGINEERS, PLANNERS  
 3112 RHODE ISLAND AVENUE, NE.  
 WASHINGTON DISTRICT OF COLUMBIA



DECORATIVE DETAIL



Becky Fink, Machinist  
Company Employee Since 1983  
On Craftsmanship

As A Machinist, I Make Parts For Doors Out Of A Variety Of Woods. Each wood species has its own characteristics, and some are not easy to machine. I run these woods on a moulder. This machine cuts the various profile designs for the L.C. Schmidt Signature Door Series.

The moulder is very precise—with a tolerance of 10/1000 of an inch. You can barely see 10/1000 of an inch! Here at CDC, people have worked for years to achieve that kind of precision. I never imagined any company would put so much time into perfecting their product before I worked here. But since then, I've discovered that craftsmanship isn't something you master, it's something that you're always striving to learn.

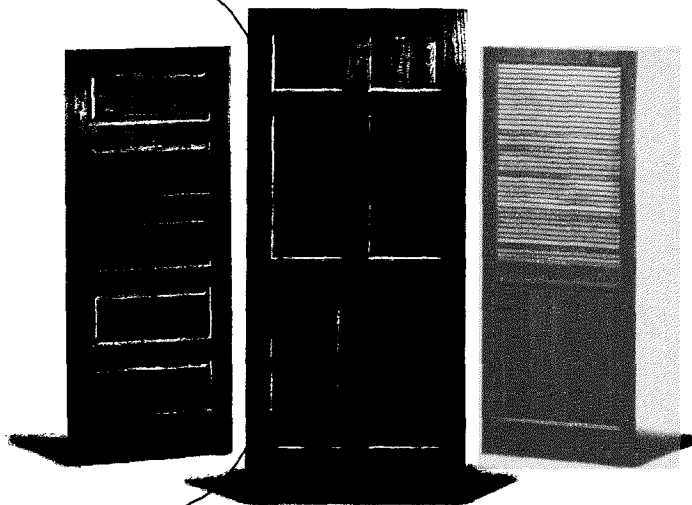
Poplar

Knotty Pine

Maple

For Right side door:

Example  
of  
Solid  
door that  
matches  
existing  
style



Poplar CDC-107

Ash CDC-108

Pine CDC-732  
Half Louver

SCALE 1" = 20'

Lot 2

ASPHALT

ASPHALT

5 HC

62' 30" W

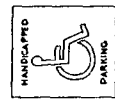
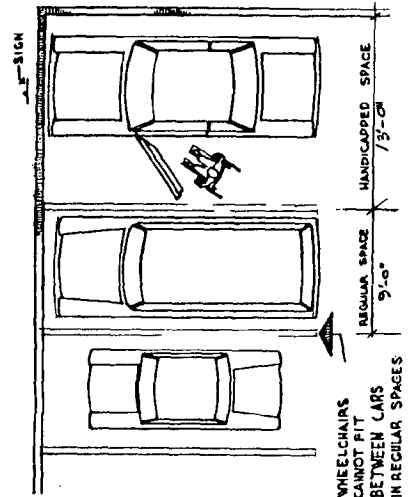
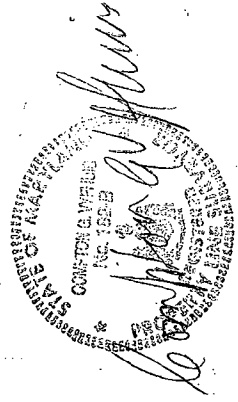


Fig. 20 Suggested sign displaying the International Symbol for Accessibility.  
 Signs to be 7'-0" HIGH  
 A.F.C.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*  
 10/24/01



SITE PLAN

7063 CARROLL AVENUE

B.F. GILBERTS ADDITION TO

TAKOMA PARK

LOT 1, BLK. 16; PLAT BKA FLAT No. 2

Montgomery County, Maryland

1 PARKING SPACE PER 1500 R.M.

9 R.M.S. = SPREADING SPACES

Scale: 1" = 20' Date: Aug. 17, 01



CARROLL AVENUE

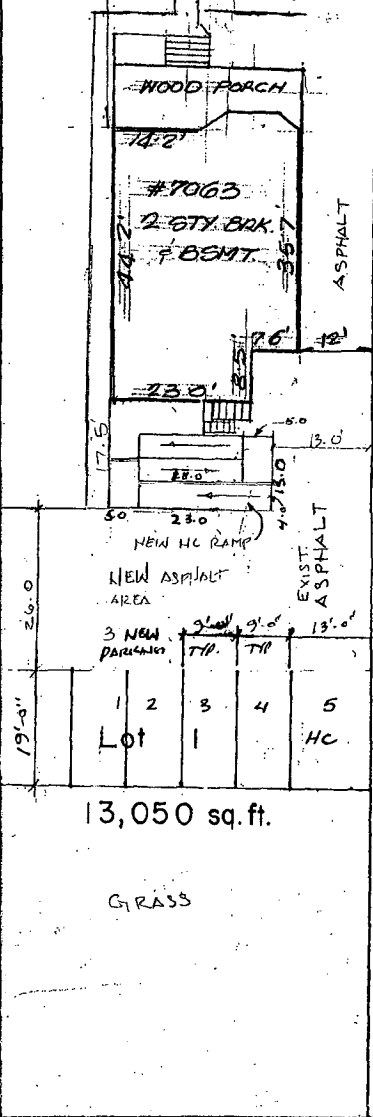
H 59° 30' E 69' 0"

SHARED DRIVEWAY

NORTH

200' 0"

H 2° 30' E



Lot 2

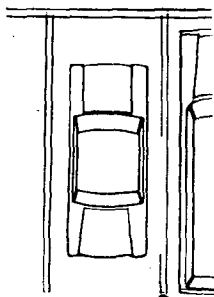
13,050 sq. ft.

GRASS

H 87° 30' W 60' 0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
10/12/60



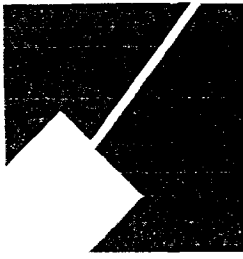
WHEELCHAIRS CANNOT FIT BETWEEN CARS IN REGULAR SPACES  
REGULAR 9'  
Clearance for handicapped park

- 1 PARKING SPACE PER BED RM.
- 9 RMS = 9 PARKING SPACES

**VYFHUIS & ASSOCIATES**  
LAND SURVEYORS, ENGINEERS, PLANNERS  
3112 RHODE ISLAND AVENUE, NE.  
WASHINGTON DISTRICT OF COLUMBIA

M

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

October 26, 2001

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 37/3-01KK

---

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved       Denied       Approved with Conditions:

and subject to the general conditions that 1) **HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS;** and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Bruno Mukendi  
12613 Stafford Garden  
Silver Spring, MD 20904

RE: 7063 Carroll Avenue, Takoma Park Historic District



JRN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

KEITH Pradere  
Contact Person: BRUNO MUKENZI  
Daytime Phone No.: 202-882-3589  
(301) 270-8232

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: BRUNO MUKENZI Daytime Phone No.: (301) 270-8232  
Address: 1243 STRAFFORD GARDEN SS. MD. 20904  
Street Number City Street Zip Code  
Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: KEITH O. PRADERE Daytime Phone No.: 202-882-3589

LOCATION OF BUILDING/PREMISE

House Number: 7063 Street: CARROLL AVE  
Town/City: TAKOMA PK Nearest Cross Street: TULIP AVE  
Lot: 1 Block: 16 Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: H.C. RAMP  
PARTIAL PAVING  
1B. Construction cost estimate: \$ 10,000  
1C. If this is a revision of a previously approved active permit, see Permit # 4/12

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Keith O. Pradere Date: SEP-7-01

Approved: [Signature] Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 10/24/01  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is Victorian style. In the back, there is a deck and a big backyard with three parking spots, one of which is handicap parking. There is no environmental problem that can arise from the project.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

= Develop additional parking spots in the rear of the house  
= Build an handicap ramp in the rear

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7063 Carroll Avenue  
Takoma Park, MD 20912

October 3, 2001

Mrs. Roben D Ziek  
Historic Preservation Planner  
MCDPP  
Silver Spring, MD

Dear Mrs. Ziek:

Please find attached my neighbors, property and mailing addresses. I believe that the addresses in the application I submitted yesterday are only property addresses.

Please do not hesitate to contact me should you have any questions.

Sincerely,



Bruno Mukendi  
(301) 270-8232

**EXPEDITED  
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	7063 Carroll Avenue	Meeting Date:	10/24/01
Applicant:	Bruno Mukendi	Report Date:	10/17/01
Resource:	Takoma Park Historic District	Public Notice:	10/10/01
Review:	<b>HAWP</b>	Tax Credit:	No
Project Number:	37/3-01KK	Staff:	Robin D. Ziek

**PROPOSAL:** Install additional parking at rear; provide handicapped ramp at rear

**RECOMMEND:** Approval

**DATE OF CONSTRUCTION:** ca. 1910s

**SIGNIFICANCE:** Individual *Master Plan* Site

- Within a *Master Plan* Historic District
- Primary Resource
- Contributing Resource**
- Non-Contributing/Out-of-Period Resource

**ARCHITECTURAL DESCRIPTION:** 2-1/2 story Craftsman frame structure, with stucco siding and wood trim. Commercially zoned property.

**PROPOSAL:** The applicant proposes to provide additional parking at the rear. The lot is flat, and there are no trees in the immediate vicinity. The applicant also proposes to build a wood handicapped ramp to the rear door, that would be similar to the handicapped ramp on the adjacent property (Savory).

**RECOMMENDATION:**  Approval  
 Approval with conditions:

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: KEITH O. PRIDDIE
BRUNO MUKENZI
202-882-3089
Daytime Phone No.: (301) 270-8232

Tax Account No.:
Name of Property Owner: BRUNO MUKENZI Daytime Phone No.: (301) 270-8232
Address: 1243 STAFFORD GARDEN SS. MD. 20901
Contractor: Phone No.:
Contractor Registration No.:
Agent for Owner: KEITH O. PRIDDIE Daytime Phone No.: 202-882-3089

LOCATION OF BUILDING/PREMISE

House Number: 7063 Street: CAMDEN AVE
Town/City: TAKOMA PK Nearest Cross Street: TULIP AVE
Lot: 1 Block: 16 Subdivision:
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[checked] Construct [ ] Extend [ ] Alter/Renovate [ ] A/C [ ] Slab [ ] Room Addition [ ] Porch [ ] Deck [ ] Shed
[ ] Move [ ] Install [ ] Wreck/Raze [ ] Solar [ ] Fireplace [ ] Woodburning Stove [ ] Single Family
[ ] Revision [ ] Repair [ ] Revocable [ ] Fence/Wall (complete Section 4) [ ] Other: H.C. RAMP PARTIAL PAVING
1B. Construction cost estimate: \$ 10,000
1C. If this is a revision of a previously approved active permit, see Permit # H/D

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [ ] WSSC 02 [ ] Septic 03 [ ] Other:
2B. Type of water supply: 01 [ ] WSSC 02 [ ] Well 03 [ ] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[ ] On party line/property line [ ] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: SEP-7-01

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is Victorian style. In the back there is a deck and a big backyard with three parking spots, one of which is handicap parking. There is no environmental problem that can arise from the project.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- Develop additional parking spots in the rear of the house  
- Build an handicap ramp in the rear

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

4



**OWNER AND NEIGHBORS ADDRESSES**

**Owner**

**PROPERTY ADDRESS**

7063 Carroll Avenue

**MAILING ADDRESS**

Bruno Mukendi  
12613 Stratford Garden Drive  
Silver Spring, MD 20904

**Neighbors**

**PROPERTY ADDRESS**

7071 Carroll Avenue

**MAILING ADDRESS**

Sickler Andrew,  
5320 Ijamsville RD,  
Ijamsville, MD 21754

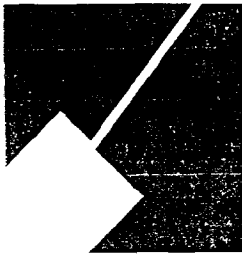
7057 Carroll Avenue

Aron Peter  
7212 Willow Avenue  
Takoma Park, MD 20912-4323

514 Tulip Avenue

Silberman, Lawrence S  
14118 Old Columbia Pike  
Burtonsville, MD 20866-1722

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

September 25, 2001

Mr. Reggie Jetter  
Department of Permitting Services  
255 Rockville Pike - 2nd Floor  
Rockville, MD 20850

Dear Mr. Jetter:

Mr. Bruno Mukendi, at 7063 Carroll Avenue in Takoma Park will be on the October 24, 2001 agenda for the Historic Preservation Commission. The HPC will be reviewing a proposal for new exterior doors, and for a handicapped ramp at the back of the building, and for additional parking on site.

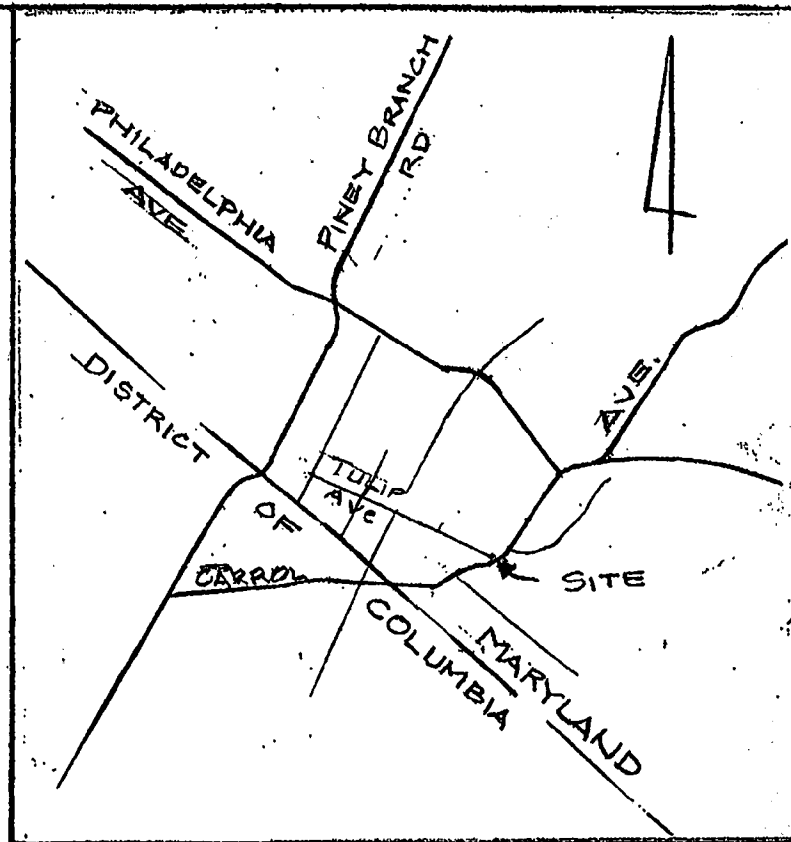
As the HPC does not review any interior work, we would support a review at this time, without any delay for the HPC review, of any interior work which will need a permit from DPS.

If I can be of further assistance, please do not hesitate to call me at (301) 563-3408.

Sincerely yours,

A handwritten signature in cursive script, appearing to read "Robin D. Ziek".

Robin D. Ziek  
Historic Preservation Planner



VICINITY MAP

SCALE 1" = 2,000'

②

CARROLL AVENUE

N 59° 30' E 60' 0"

235' 0" SHARED DRIVEWAY

NORTH

200' 0"

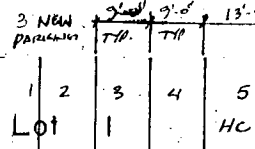
N 2° 30' E

S 2° 30' W

N 87° 30' W 60' 0"

#7063  
2 STY. BRK.  
+ BSMT.

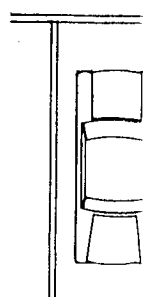
NEW HC RAMP  
NEW ASPHALT AREA



13,050 sq. ft.

GRASS

Lot 2



WHEELCHAIRS CANNOT FIT BETWEEN CARS IN REGULAR SPACES  
Clearance for hand

1 PARKING SPACE PER BED  
9 RMS = 9 PARKING SPACES

**VYFHUIS & ASSOCIATES**  
LAND SURVEYORS, ENGINEERS, PLANNERS  
3112 RHODE ISLAND AVENUE, NE.  
ALBUQUERQUE, NEW MEXICO

8

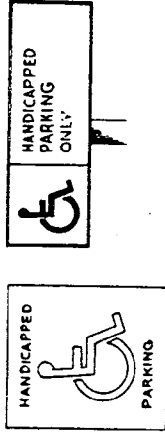
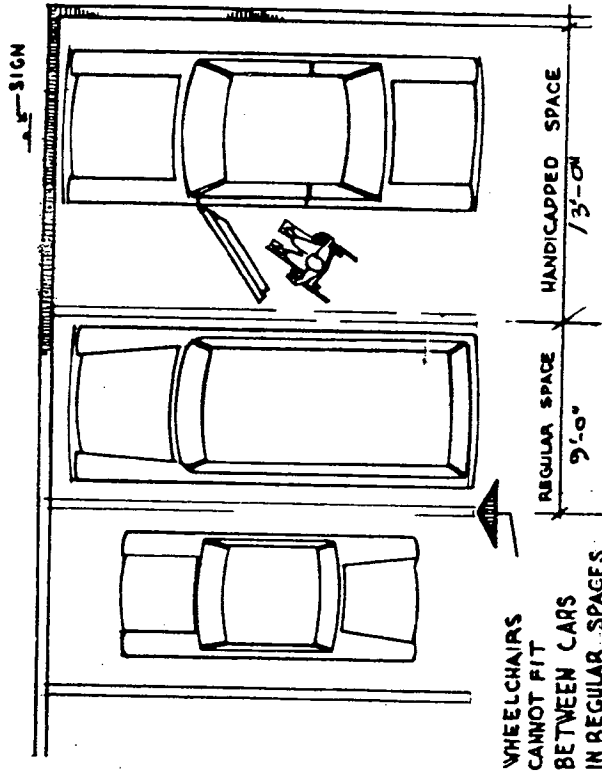


Fig. 50 Suggested signs displaying the international symbol for accessibility. SIGNS TO BE 7'-0" HIGH AFG

# SITE PLAN

7063 CARROLL AVENUE

1 PARKING SPACE PER 1500 R.M.

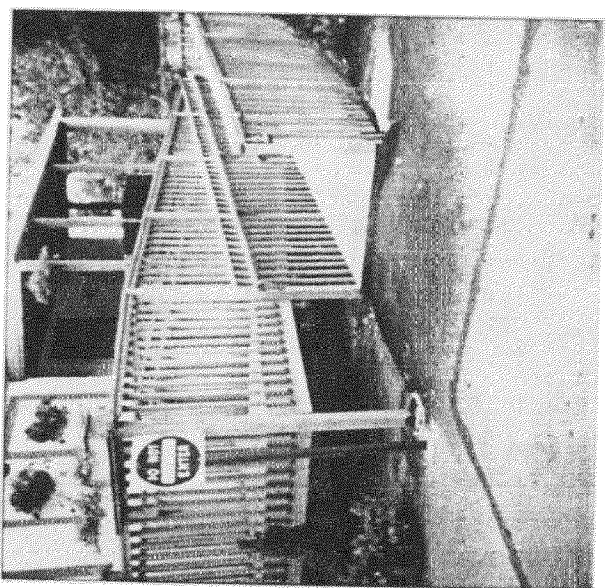
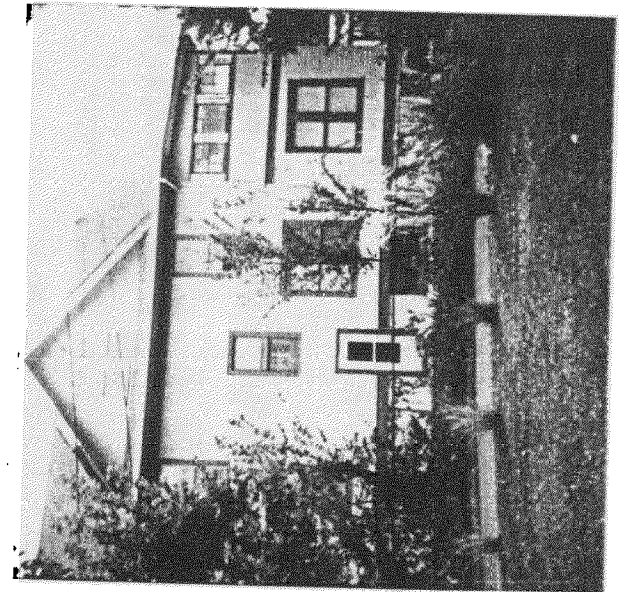
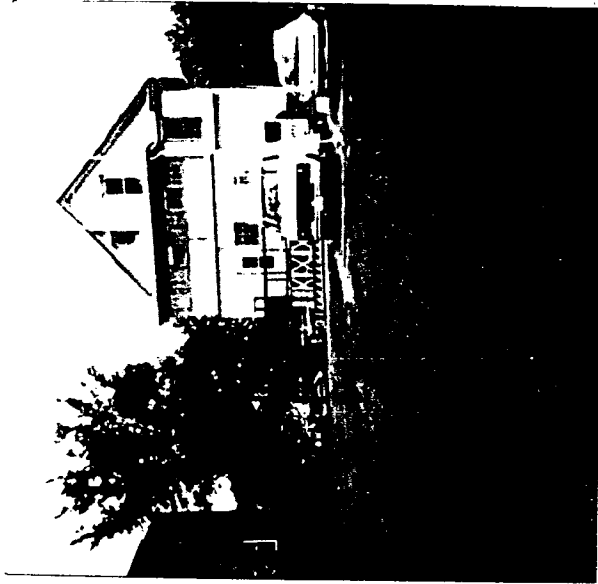
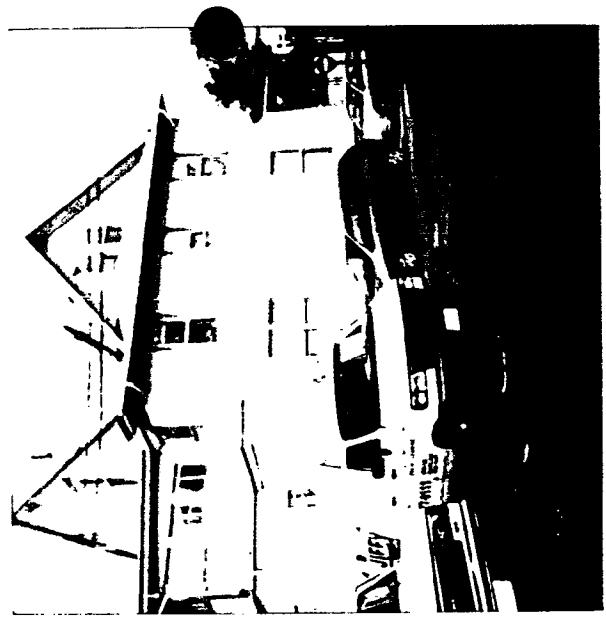
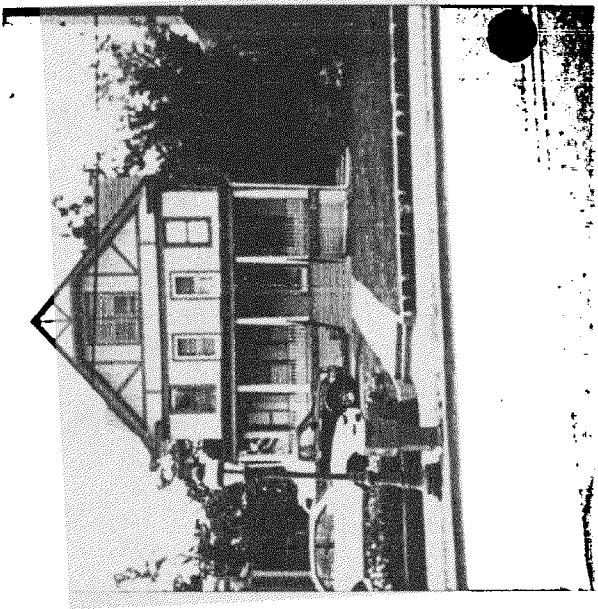
B.F. GILBERT'S ADDITION TO TAKOMA PARK

RMS = SPARKLING SPACES

LOT 1, BLK. 16; PLAT BK. A PLAT No. 2

Montgomery County, Maryland

Scale: 1" = 20' Date: Aug. 17, 01



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

12613 Stratford Garden Dr.  
Silver Spring, MD 20907

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Mr. Siebler, Andrew  
7071 Carroll Avenue  
Takoma Park, MD 20912  
AA

7057 Carroll Avenue  
Takoma Park, MD 20912  
Mr. ARON, PETER

Mr. Siberman, Lawrence  
514 Tulip Avenue  
Takoma Park, MD 20912

1)

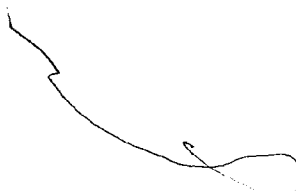
Photography

front door  
back door

camp Savory  
Photograph

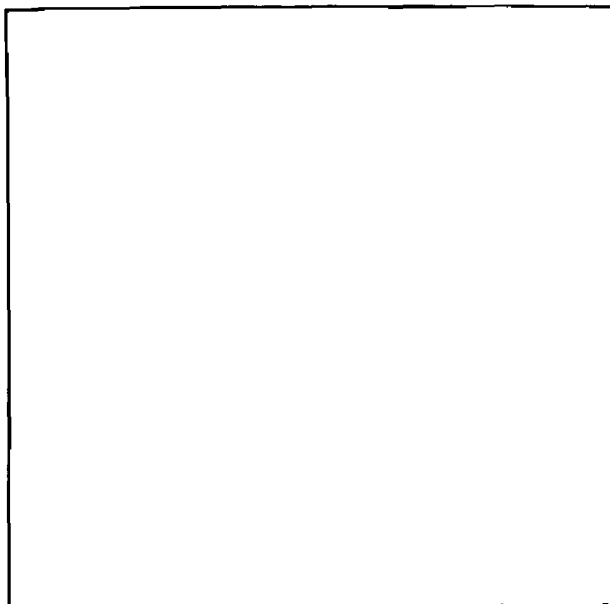
all the house

2) Names





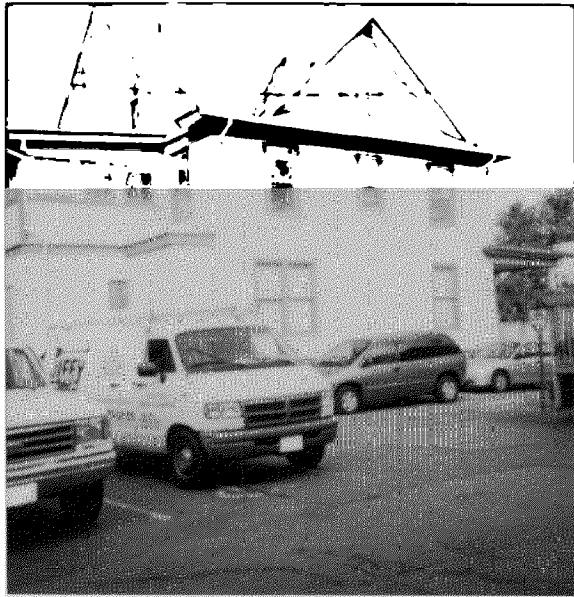


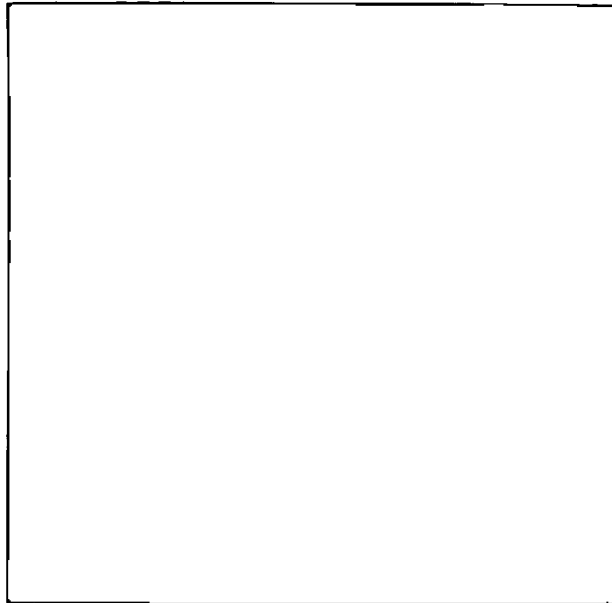


4108122136

FBI PHOENIX

*LEFT SIDE*  
*7063 Carroll Avenue*

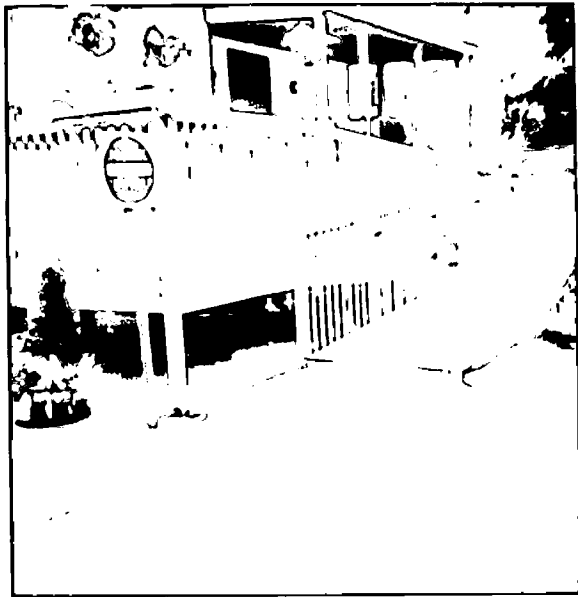


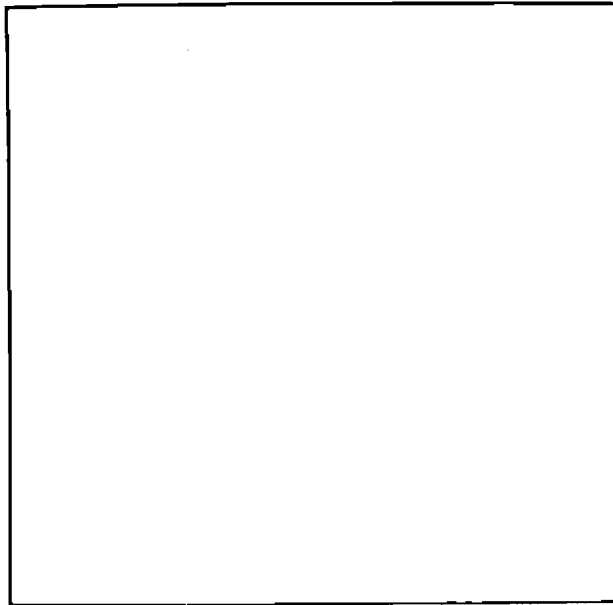


10100122106

PHOTOGRAPH

*Right side*  
*7063 Carroll Avenue*



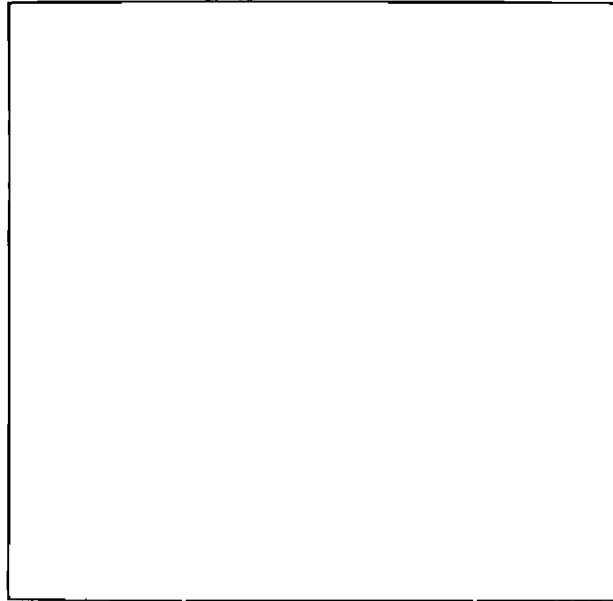


108122186

POLAROID

*Back side*  
*7063 Carroll Avenue*





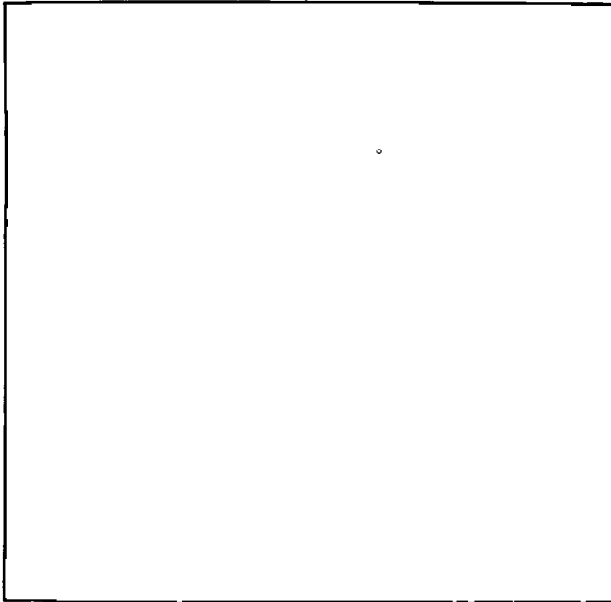
14100122106

2017/02/09

*Back side  
7063 Carroll Avenue*







14108122106

POLAROID@32

*FRONT SIDE*  
*7063 Carroll Avenue*