

23/65-07B 310 MARKET ST
Brookeville Historic District



CODES	2003 INTERNATIONAL RESIDENTIAL CODE W/ APPLICABLE MONTGOMERY COUNTY AMMENDMENTS
CODE ANALYSIS	<p>AREA CALCULATIONS: FIRST FLR. - 1016 SF SECOND FLR. - 700 SF FIN. BASEMENT - T.B.D. TOTAL SF - 1716 SF</p> <p>BUILDING HEIGHT: (EXISTING) FROM GRADE TO MIDPOINT OF HIGHEST GABLE ROOF</p> <p>OCCUPANCY CALCULATIONS: NOT APPLICABLE</p> <p>SPRINKLER SYSTEM: NOT APPLICABLE</p> <p>DESIGN CRITERIA FLOOR LOAD 40 PSF ROOF SNOW LOAD 30 PSF ROOMS OTHER THAN SLEEPING: MIN. 40 PSF STAIRS: MIN. 40 PSF FLOOR/CLG. DEFLECTION: 1/360 WIND CRITERIA 90 MPH (3 SEC. GUSTS) CONCRETE WEATHERING: SEVERE TERMITE INFESTATION: MODERATE TO HEAVY DECAY PROBABILITY: SLIGHT TO MODERATE SEISMIC DESIGN CATEGORY: B FROST LINE DEPTH: 30 IN. WINTER DESIGN TEMP.: 13°F FLOOD HAZARDS: NONE SPECIES/GRADE OF FRAMING LUMBER: SPRUCE PINE FIR NO. 1 OR NO. 2</p> <p>ALL AS-BUILT DIMENSIONS ARE APPROXIMATE, PLEASE VERIFY IN FIELD, UNLESS OTHERWISE NOTED.</p> <p>DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS.</p>
ZONING	<p>ZONE: "HVR" Historic Village Residential SIDE SETBACKS: 8' MIN. REAR SETBACK: 40' MIN. FRONT SETBACK: 15' MIN. BUILDING HEIGHT: 35' MAX.</p>
SCOPE OF WORK	<p>THIS BUILDING PERMIT IS FOR THE RESTORATION OF AND ADDITION TO MAIN HOUSE AT 310 MARKET ST., BROOKEVILLE, MD. HISTORIC AREA WORK PERMIT # TOWN OF BROOKEVILLE BUILDING PERMIT ISSUED AS NOTED ON THIS SHEET. IN ADDITION TO NEW WORK, ALL EXG. FRAMING DAMAGED BY TERMITES & ROT TO BE REPLACED AS REQUIRED, AND EXG. FNDN. WALLS TO BE RE-POINTED & WATERPROOFED AS REQUIRED.</p>
CONTACT INFORMATION	<p>ARCHITECT: MICHE BOOZ ARCHITECT, INC. 208 MARKET STREET BROOKEVILLE, MD 20833 301-774-6911</p> <p>OWNERS: STEFF & HANNAH KERR 310 MARKET STREET BROOKEVILLE, MD 20833</p> <p>STRUCTURAL CONSULTANT: PETER NEUBAUER NEUBAUER CONSULTING ENGINEERS 7825 TUCKERMAN LANE, SUITE 204 POTOMAC, MD 20854 (301) 299-7617</p>

LIST OF ABBREVIATIONS & SYMBOLS	<p>ABOVE ABOVE FINISHED FLOOR APPROXIMATE ASPHALT @ AVERAGE BEAM BETWEEN BLOCKING BOARD BOTTOM CHORD BOTTOM OF BRICK BUILDING CEILING CENTER LINE CERAMIC TILE CLEAN OUT COLUMN CONCRETE CONCRETE MASONRY UNIT CONTINUOUS DEMOLISH DETAIL DIAMETER DIMENSION DOOR DOWNSPOUT DRAWING DRINKING FOUNTAIN EACH ELECTRICAL ELEVATION EQUIPMENT EQUAL EXISTING EXTERIOR FEET FINISHED FLOOR FLOOR FOUNDATION GALVANIZED GRADE GYPSUM BOARD HORIZONTAL HEIGHT INCH INSULATION INTERIOR LIGHT MASONRY OPENING MECHANICAL MINIMUM MISCELLANEOUS NUMBER NOT IN CONTRACT ON CENTER OPENING OPPOSITE PAINTED PLYWOOD PLASTER PLATE PRESSURE TREATED ROUGH OPENING RISER ROOM SECTION SHEET SPECIAL STEEL STRUCTURAL STRUCTURAL INSULATED PANEL THRESHOLD TO BE DETERMINED TO BE SPECIFIED TONGUE AND GROOVE TOP OF TREAD TYP. UNLESS NOTED OTHERWISE VERTICAL VERIFY IN FIELD VINYL TILE WITH WOOD WATER PROOF</p> <p>ABV A.F.F. APPROX. ASPH. @ AVG BM BTW. BLKG BD B.C. B.O. BR. BLDG CLG C.L. C.T. C.O. COL. CONC. CMU CONT. DEMO. DET. Ø, DIAM. DIM. DK D.S. DWG D.F. EA. ELEC. EL. EQUIP. EQ. EXG. EXT. FT F.F. FLR. FNDN GALV. GR. GYP. BD MORZ. HT IN. INSUL. INT. LT M.O. MECH. MIN. MISC. #. NO. N.I.C. O.C. OPNG OPP. PTD. PLYWD PLAS. PL. P.T. R.O. R. RM SEC. SHT SPEC. STL STRUCT. S.I.P. THRESH. T.B.D. T.B.S. T & G T.O. T. TYP. U.N.O. VERT. V.I.F. V.C.T. W/ WD W.P.</p> <p>ⓐ DETAIL INDICATOR ⓑ SECTION INDICATOR C.M.U. BRICK ⓐ NEW DOOR ⓐ NEW WINDOW</p>
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DRAWINGS

1 SITE SURVEY (BY OTHERS)
SCALE: 1"=40'

No evidence of property corners was found. Apparent occupation is shown.

Date: 1-18-05 Scale: 1"=40' Dwn: S.B. Surveyor's Certification

Plat Book: NO TITLE REPORT FURNISHED
Plat No.:
Work Order: 05-1076
Address: 310 MARKET STREET
District: 5
Jurisdiction: MONTGOMERY COUNTY, MD

LOCATION DRAWING
LIBER 13548
FOLIO 360

Meridian Surveys, Inc.
811 Russell Avenue
Suite #303
Gaithersburg, MD 20879

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer.

DRAWING INDEX

CS	COVER SHEET
AS	AS-BUILTS
A1	FLOOR PLANS
A2	ELEVATIONS
A3	SECTIONS
DT1	WALL SECTION DETAILS
DT2	CHIMNEY DETAILS
S1	FRAMING PLANS
E1	ELECTRICAL PLANS (NOT INCLUDED)

PERMITS + APPROVALS

HISTORIC AREA WORK PERMIT:
BROOKEVILLE TOWN PERMIT:
BUILDING PERMIT:

WINDOW/DOOR DIAGRAMS

MICHE BOOZ
ARCHITECT
208 Market St
Brookville
Maryland 20833
301774 6911
fax: 774 1908

Project:
KERR HOUSE
310 MARKET STREET
BROOKEVILLE, MD 20833
Montgomery County

Drawings:
COVER SHEET

Dates:
AS-BUILTS OCT 06
BLDG. PERMIT SET 31 JULY 07
TODAY'S DATE 31 JULY 07

Revisions:

WINDOW/DOOR SCHEDULES

NO.	MANUF.	QTY.	STYLE/NO.	EXT.	ROUGH OPENING	COLOR	GRILLE	PATTERN	INT. FINISH	SCREEN	HARDW.	NOTES
ⓐ	WEATHERSHIELD	7	CASEMENT C11-2440	WOOD	2'-5" x 3'-9 3/8"	WHITE	7/8" 5DL	6/6	PRIMED	WHITE	TBD	EGRESS; MANUF. VERIFY EGRESS DIM. VERIFY BEFORE ORDER.
ⓑ	WEATHERSHIELD	2	DOUBLE HUNG T11-20x26	WOOD	2'-2 5/8" x 5'-1 5/8"	WHITE	7/8" 5DL	4/1	PRIMED	WHITE	TBD	
ⓒ	WEATHERSHIELD	3	AWNING A11-20x20	WOOD	2'-1" x 2'-1 1/4"	WHITE	7/8" 5DL	4 Grille	PRIMED	WHITE	TBD	NOTE VARYING HINGE SIDES
ⓓ	WEATHERSHIELD	5	CASEMENT C11-2020	WOOD	2'-1" x 2'-1 3/8"	WHITE	7/8" 5DL	4 Grille	PRIMED	WHITE	TBD	NOTE VARYING HINGE SIDES
ⓔ	WEATHERSHIELD	2	CASEMENT C11-2058	WOOD	2'-1" x 5'-3 3/8"	WHITE	7/8" 5DL	4/1	PRIMED	WHITE	TBD	EGRESS; MANUF. VERIFY EGRESS DIM. VERIFY BEFORE ORDER.

NOTES: NO BRICK MOULD ON ANY WINDOW OR DOOR. CONFIRM ALL DIMENSIONS W/ MANUFACTURER BEFORE ORDERING.

NO.	MANUF.	DOOR TYPE / MODEL NO.	MATERIAL	ROUGH OPENING	COLOR	GRILLE	INTERIOR	HARDWARE	NOTES
ⓐ	WEATHERSHIELD	FR. SLIDING PATIO PS41-9-10x6-10 0X0D	WOOD	9'-0" x 6'-9 1/16"	WHITE	NONE	PRIMED	EXTERIOR PASSAGE LOCK W/ DEAD BOLT	TEMPERED
ⓑ	WEATHERSHIELD	5 DE HINGE FR. DOOR PD11-3-10x6-10	WOOD	3'-1 1/16" x 6'-10 1/2"	WHITE	NONE	PRIMED	EXTERIOR PASSAGE LOCK W/ DEAD BOLT	TEMPERED

Kerr House Renovation & Addition

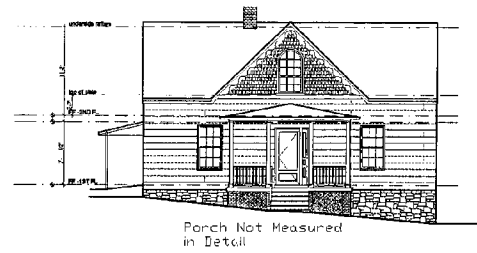
310 MARKET STREET BROOKEVILLE, MD 20833

APPROVED
Montgomery County
Historic Preservation Commission
Michele Booze
8/16/07

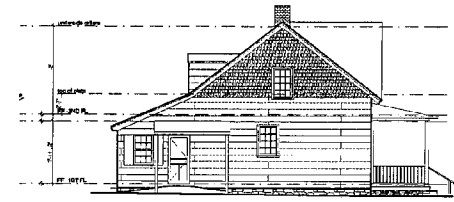
NOTE:
ALL DRAWINGS SCALE
50% OF NOTED SCALE
(stamps on every pg of 19 dwgs)

PERMIT DRAWINGS - JULY 31, 2007

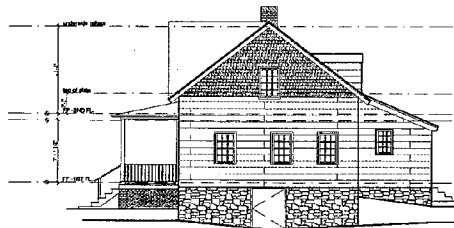
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



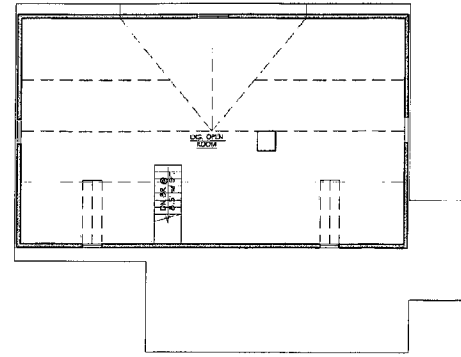
1 AS-BUILT FRONT ELEVATION
 AB SCALE: 1/8"=1'-0"



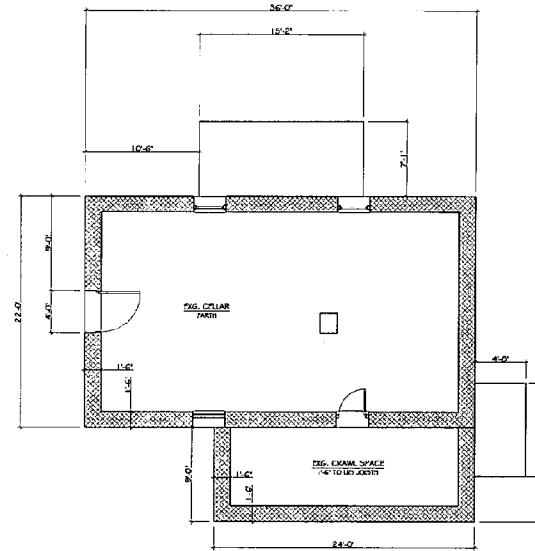
1 AS-BUILT EAST SIDE ELEVATION
 AB SCALE: 1/8"=1'-0"



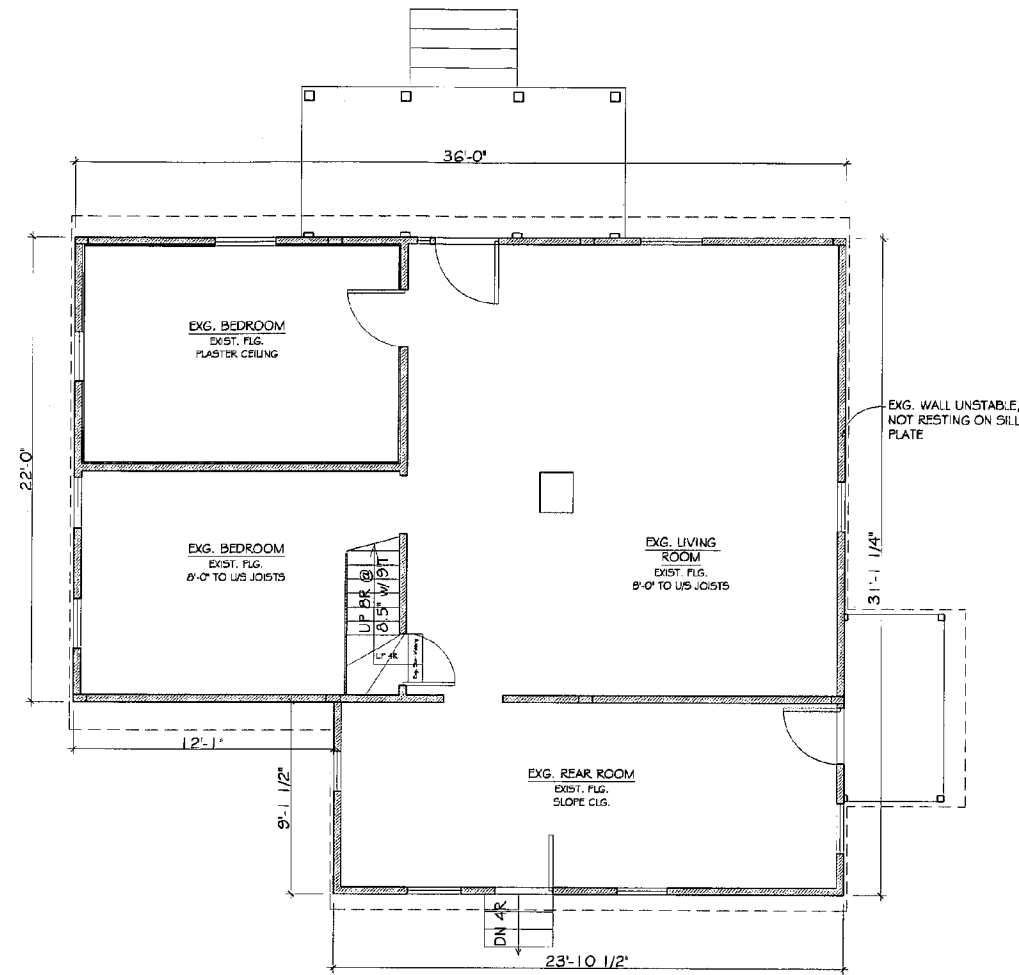
1 AS-BUILT WEST SIDE ELEVATION
 AB SCALE: 1/8"=1'-0"



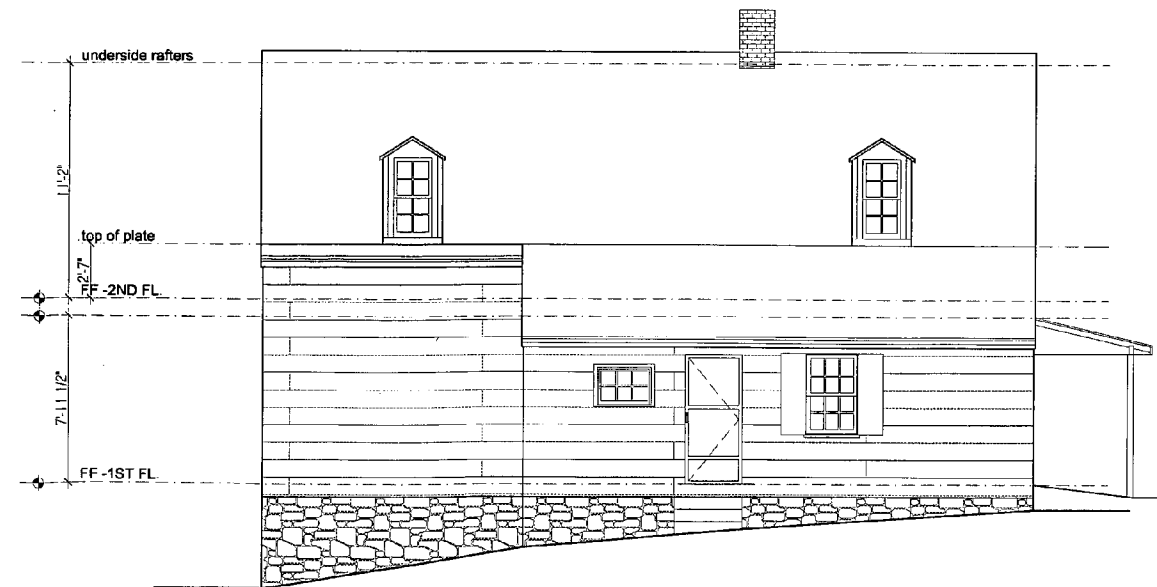
1 AS-BUILT SECOND FL. PLAN
 AB SCALE: 1/8"=1'-0"



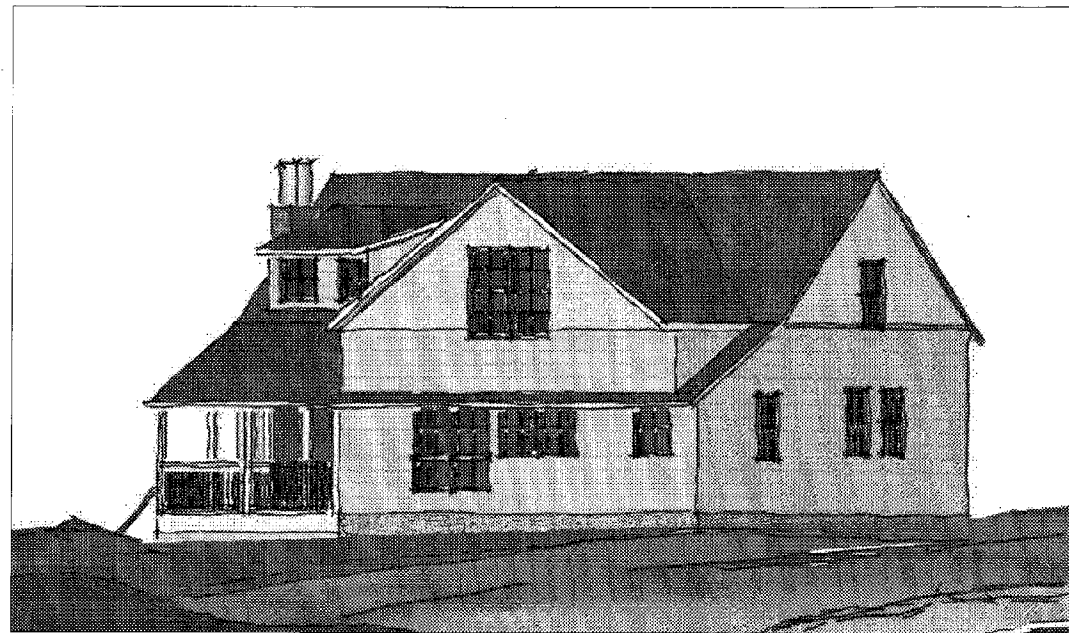
1 AS-BUILT BASEMENT FL. PLAN
 AB SCALE: 1/8"=1'-0"



1 AS-BUILT FIRST FL. PLAN
 AB SCALE: 1/4"=1'-0"

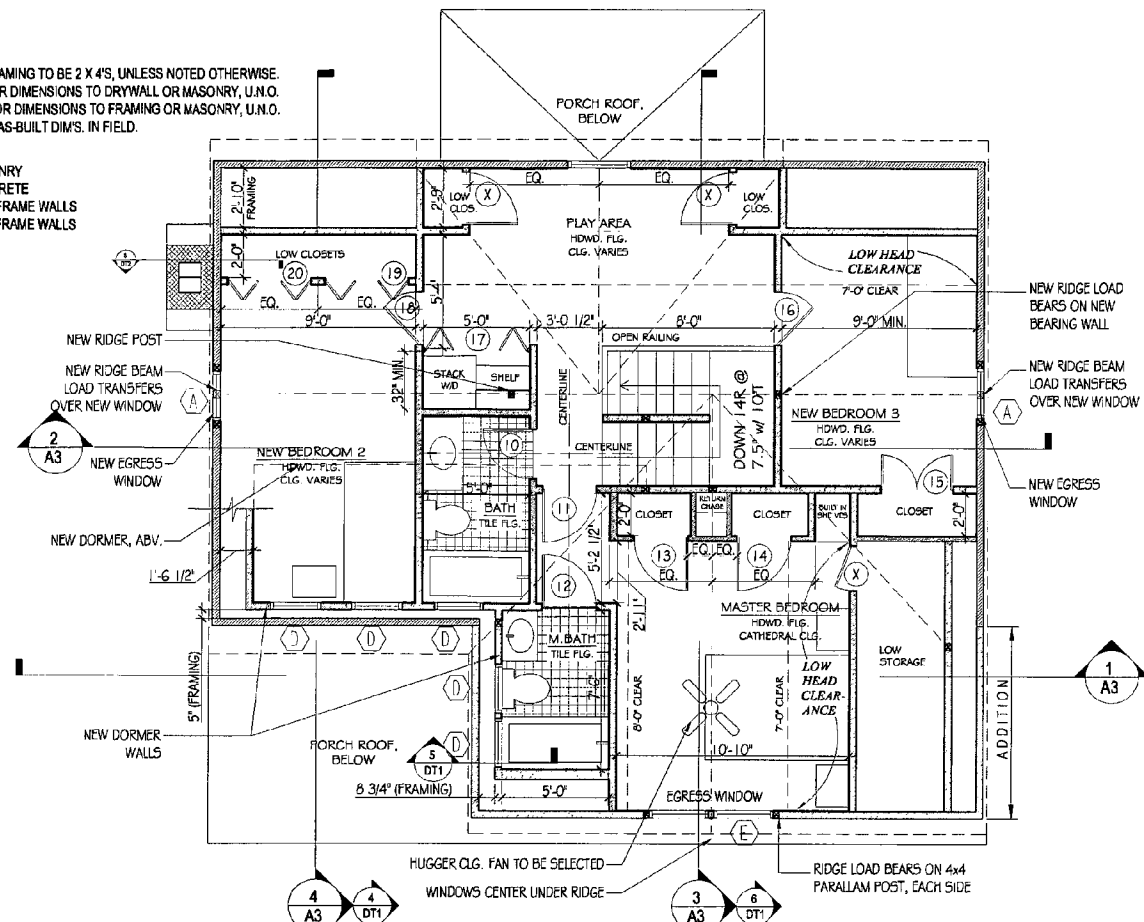


1 AS-BUILT REAR ELEVATION
 AB SCALE: 1/4"=1'-0"



ALL NEW FRAMING TO BE 2 X 4'S, UNLESS NOTED OTHERWISE.
 ALL INTERIOR DIMENSIONS TO DRYWALL OR MASONRY, U.N.O.
 ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
 VERIFY ALL AS-BUILT DIMS. IN FIELD.

NOTES:
 [Symbol] - MASONRY
 [Symbol] - CONCRETE
 [Symbol] - EXG. FRAME WALLS
 [Symbol] - NEW FRAME WALLS

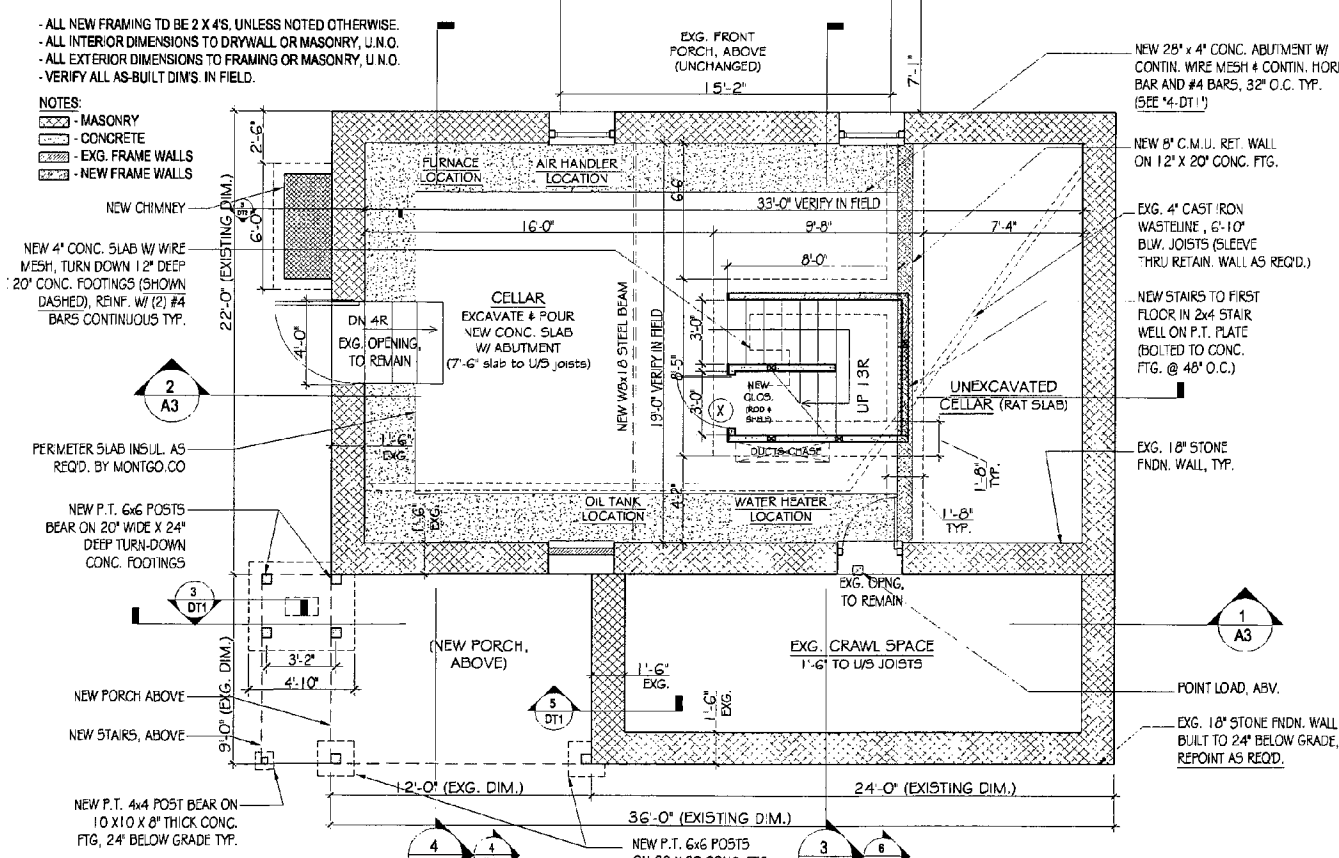


1 SCHEMATIC REAR VIEW
 FOR ILLUSTRATIVE PURPOSES ONLY

2 SECOND FLOOR PLAN
 A1 SCALE: 1/4" = 1'-0"

ALL NEW FRAMING TO BE 2 X 4'S, UNLESS NOTED OTHERWISE.
 ALL INTERIOR DIMENSIONS TO DRYWALL OR MASONRY, U.N.O.
 ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
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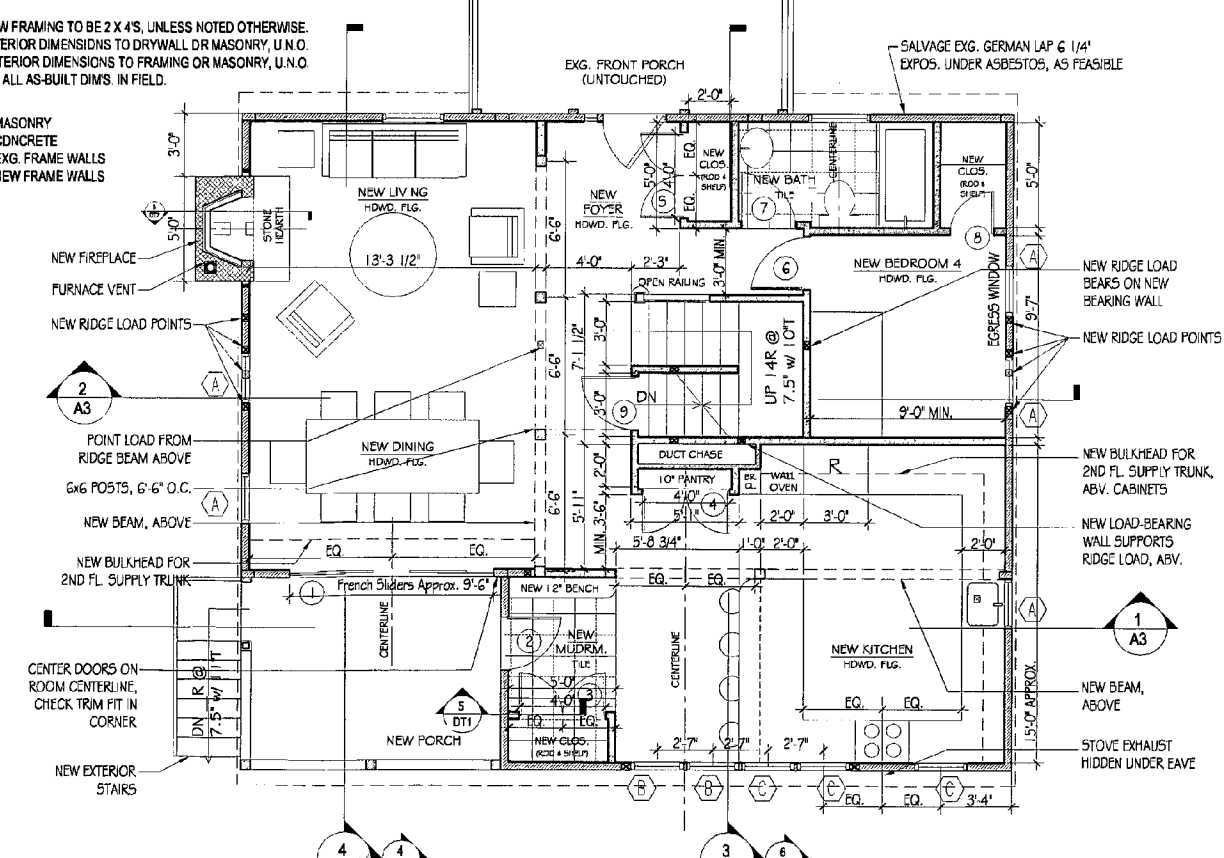
NOTES:
 [Symbol] - MASONRY
 [Symbol] - CONCRETE
 [Symbol] - EXG. FRAME WALLS
 [Symbol] - NEW FRAME WALLS



3 BASEMENT PLAN
 A1 SCALE: 1/4" = 1'-0"

ALL NEW FRAMING TO BE 2 X 4'S, UNLESS NOTED OTHERWISE.
 ALL INTERIOR DIMENSIONS TO DRYWALL OR MASONRY, U.N.O.
 ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
 VERIFY ALL AS-BUILT DIMS. IN FIELD.

NOTES:
 [Symbol] - MASONRY
 [Symbol] - CONCRETE
 [Symbol] - EXG. FRAME WALLS
 [Symbol] - NEW FRAME WALLS



4 FIRST FLOOR PLAN
 A1 SCALE: 1/4" = 1'-0"

MICHE BOOZ
 ARCHITECT
 A1
 208 Arcket St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
 KERR HOUSE

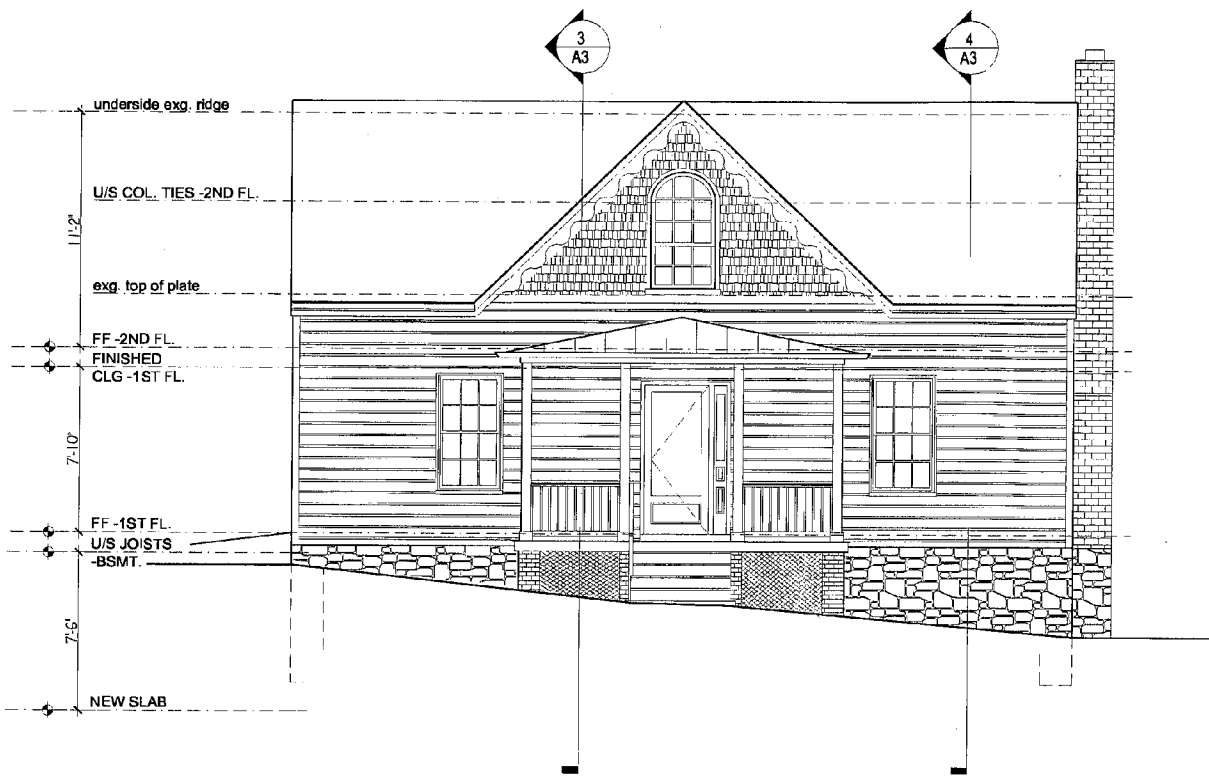
310 MARKET STREET
 BROOKEVILLE, MD 20833
 Montgomery County

Drawings:
 NEW PLANS

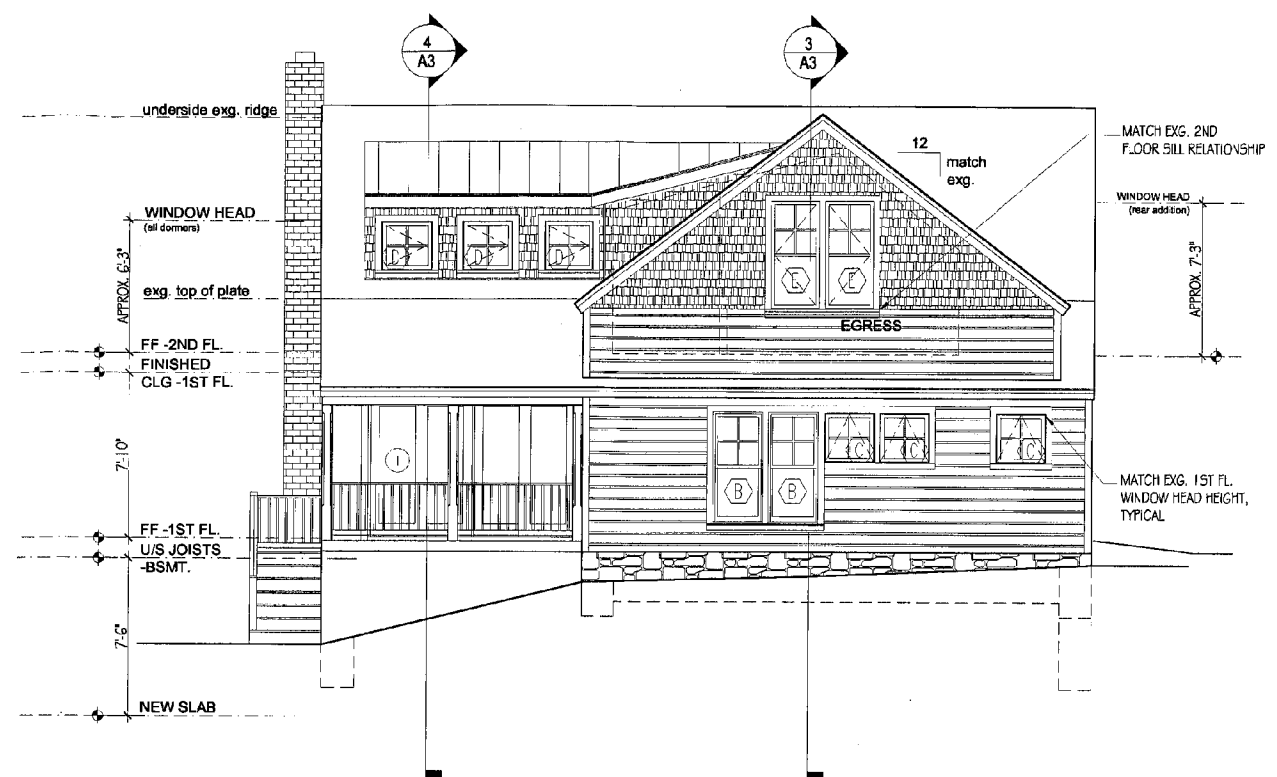
Dates:
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 TODAY'S DATE 31 JULY 07

Revisions:

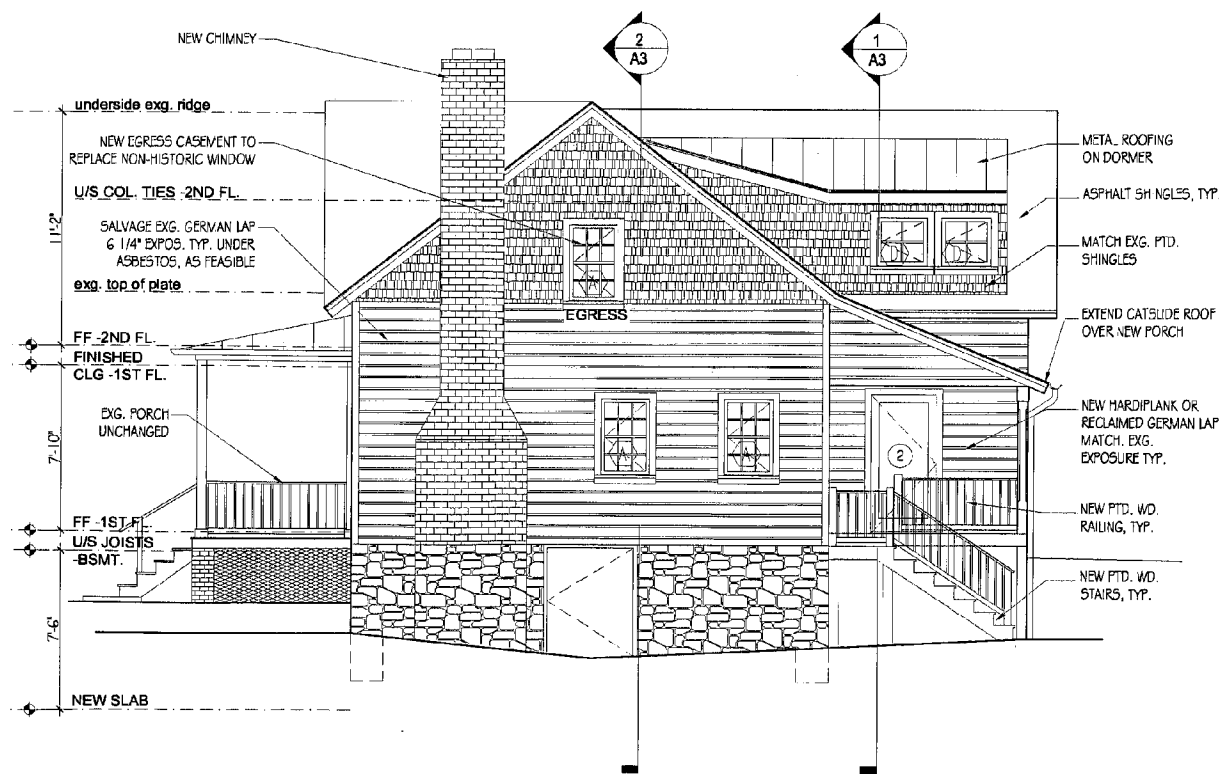
PERMIT DRAWINGS - JULY 31, 2007



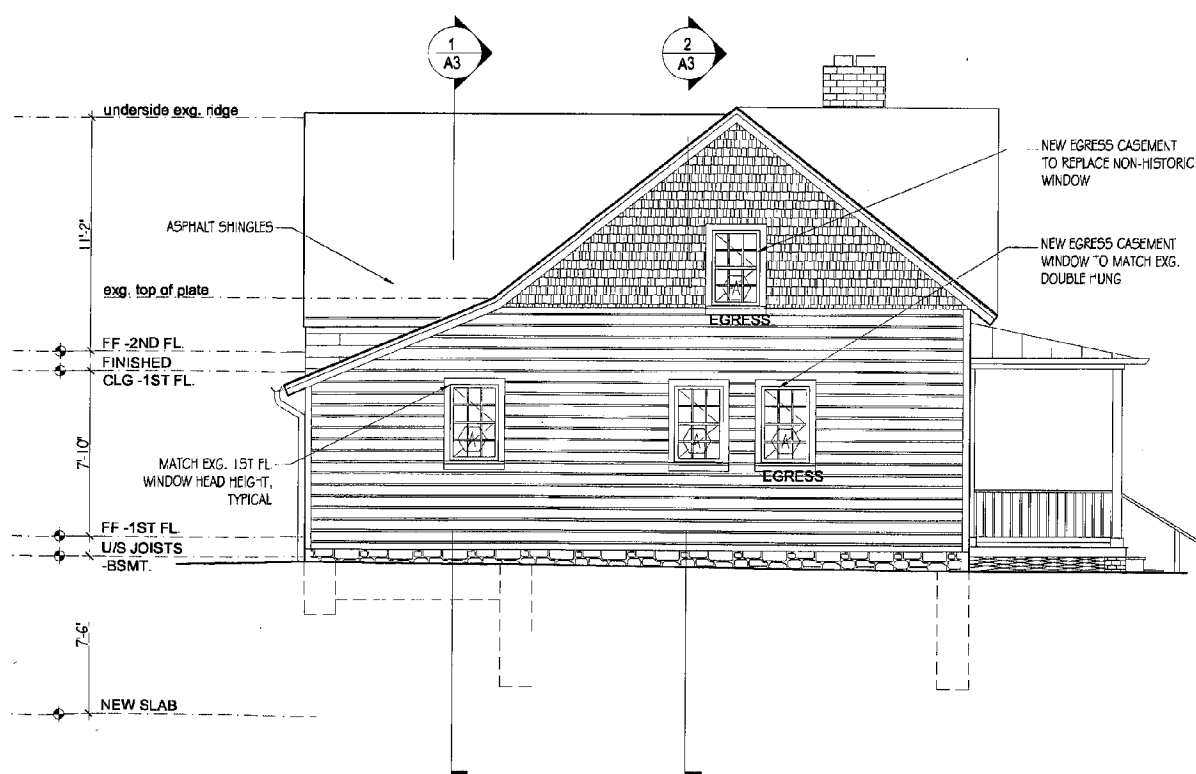
1 FRONT ELEVATION (UNCHANGED)
A2 SCALE: 1/4"=1'-0"



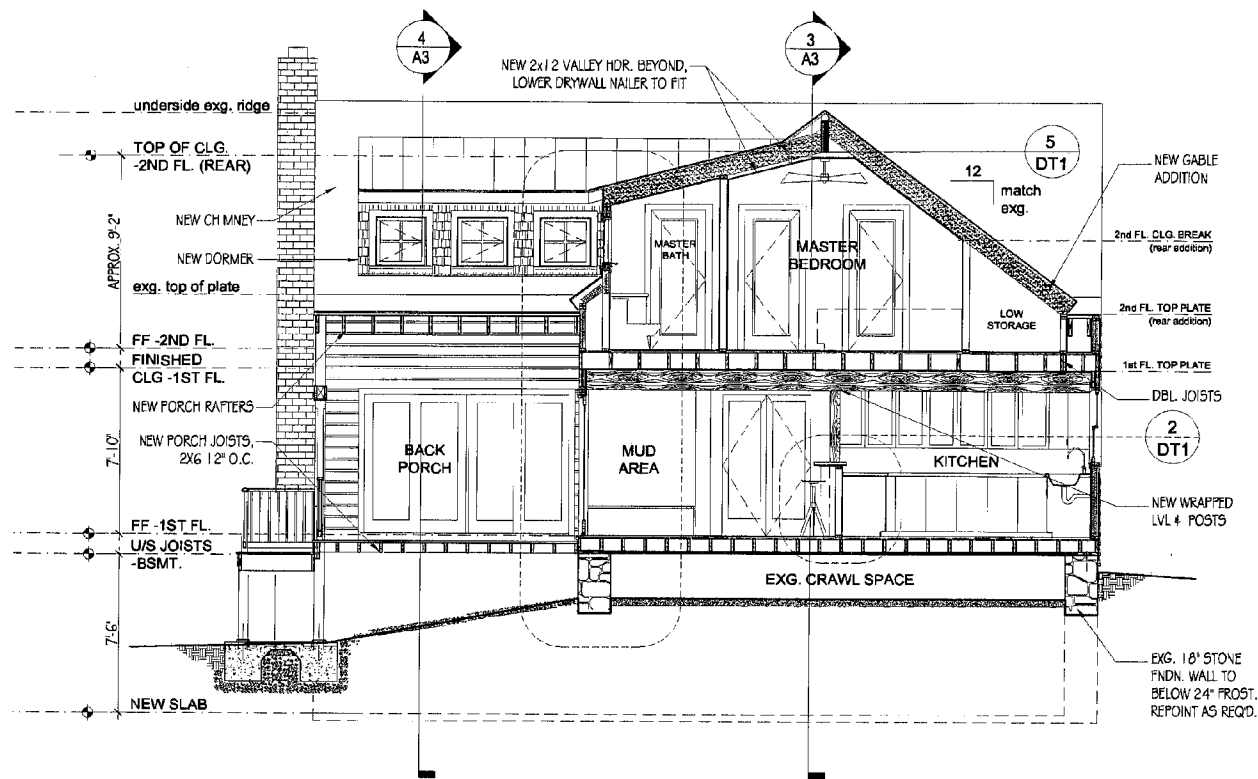
2 REAR ELEVATION (SOUTH)
A2 SCALE: 1/4"=1'-0"



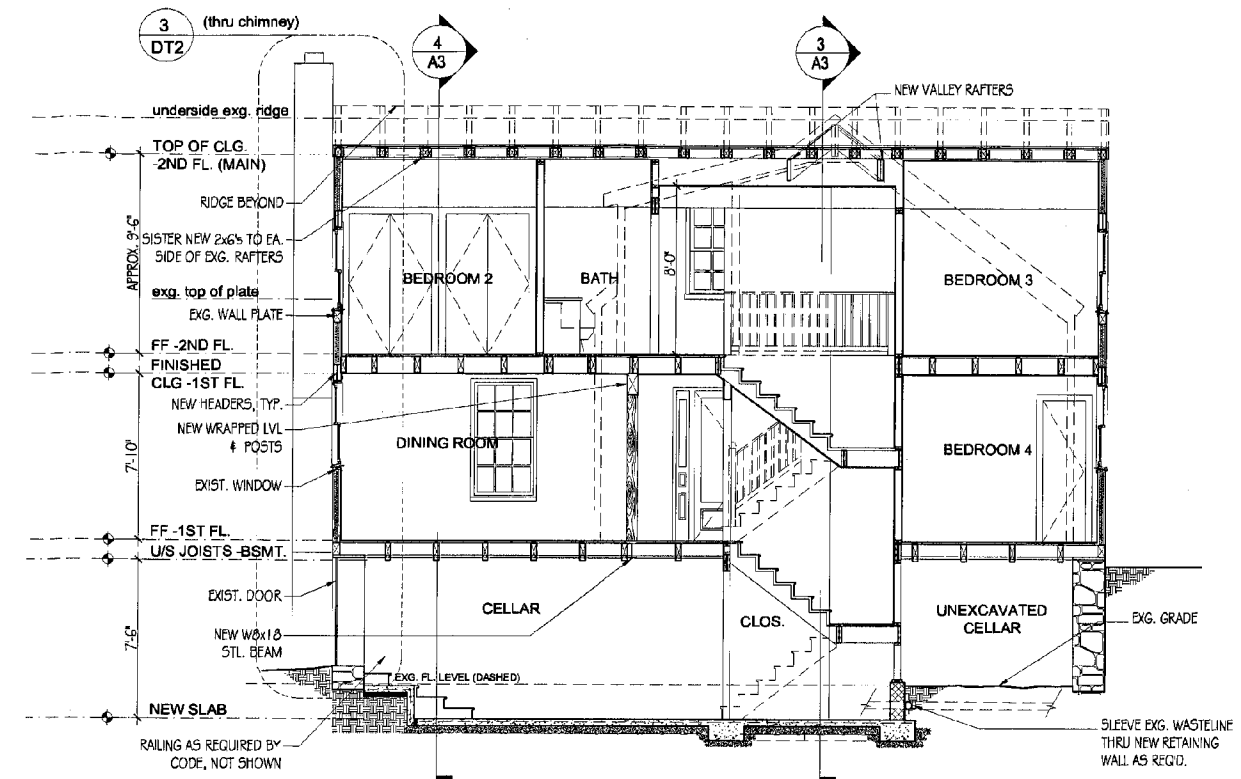
3 SIDE ELEVATION (WEST)
A2 SCALE: 1/4"=1'-0"



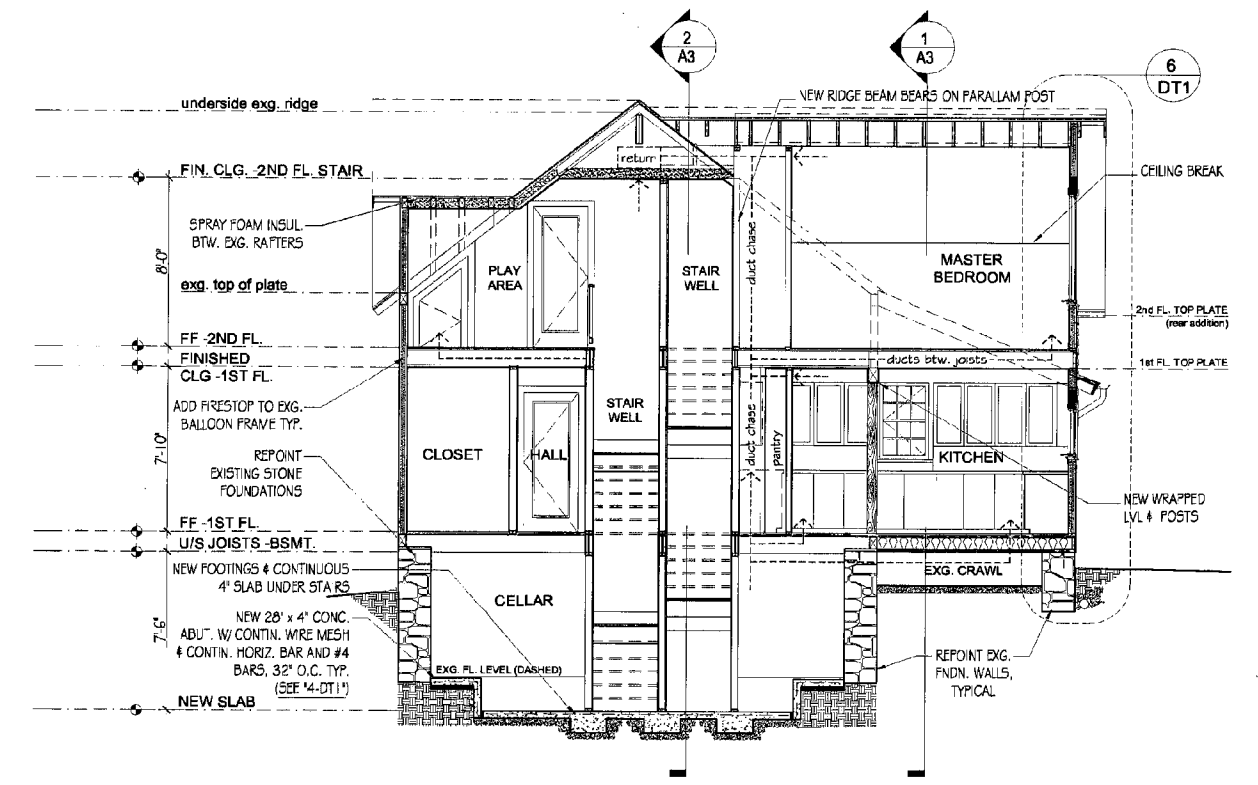
4 SIDE ELEVATION (EAST)
A2 SCALE: 1/4"=1'-0"



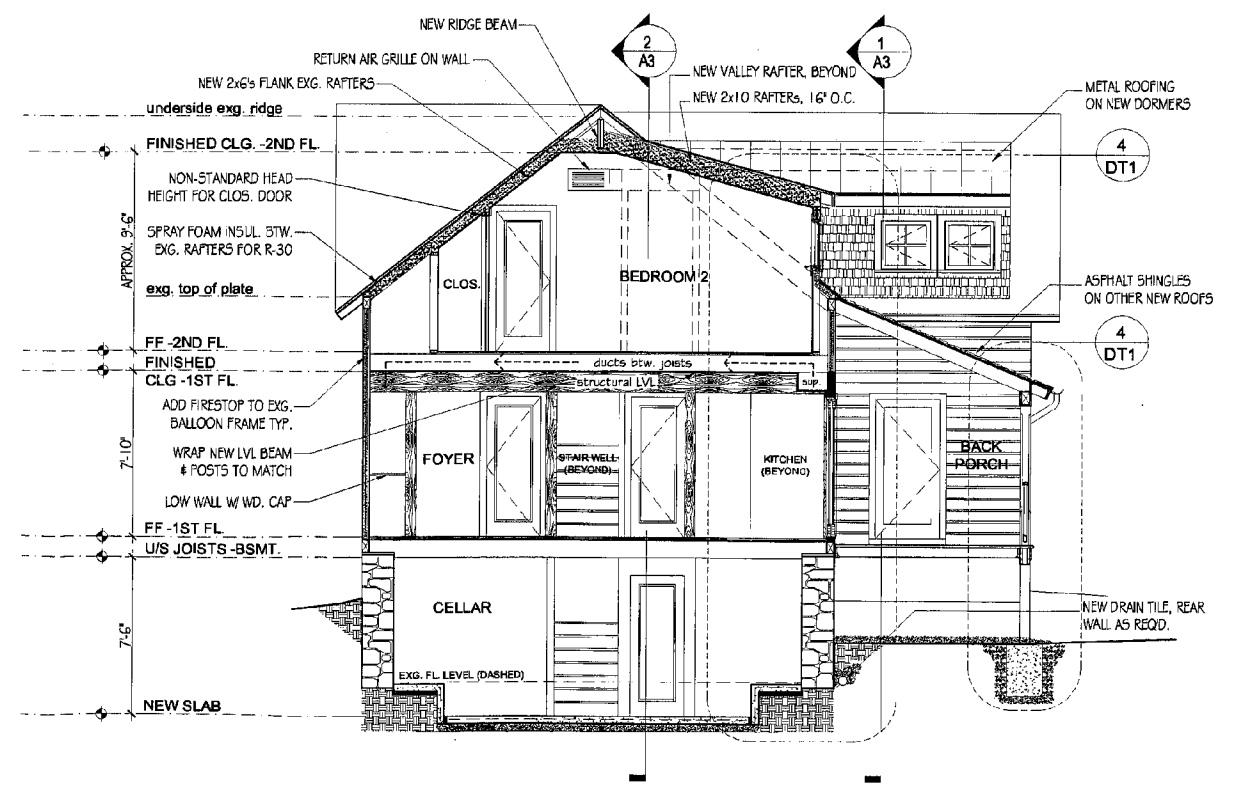
1 SECTION THRU REAR ADDITION
 A3 SCALE: 1/4" = 1'-0"



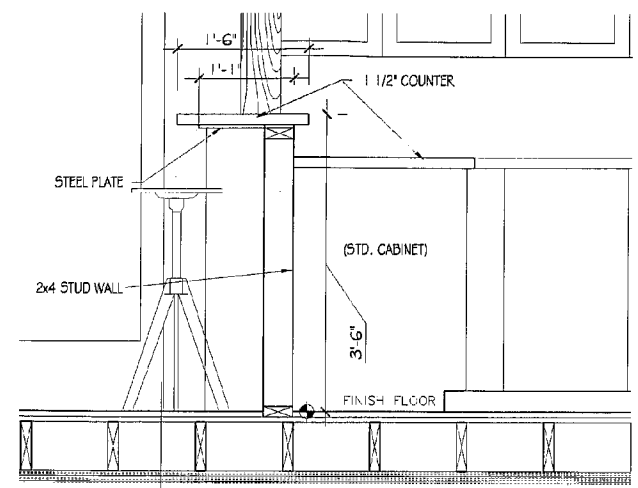
2 SECTION THRU MAIN HOUSE
 A3 SCALE: 1/4" = 1'-0"



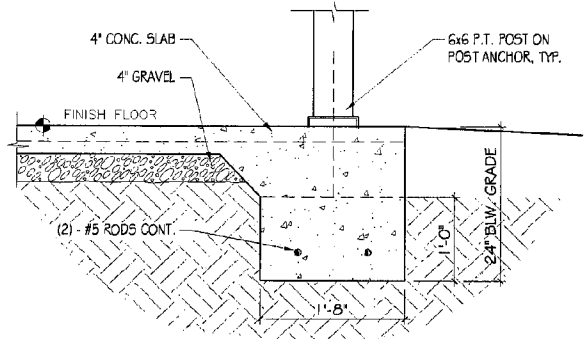
3 LONGITUDINAL SECTION 1
 A3 SCALE: 1/4" = 1'-0"



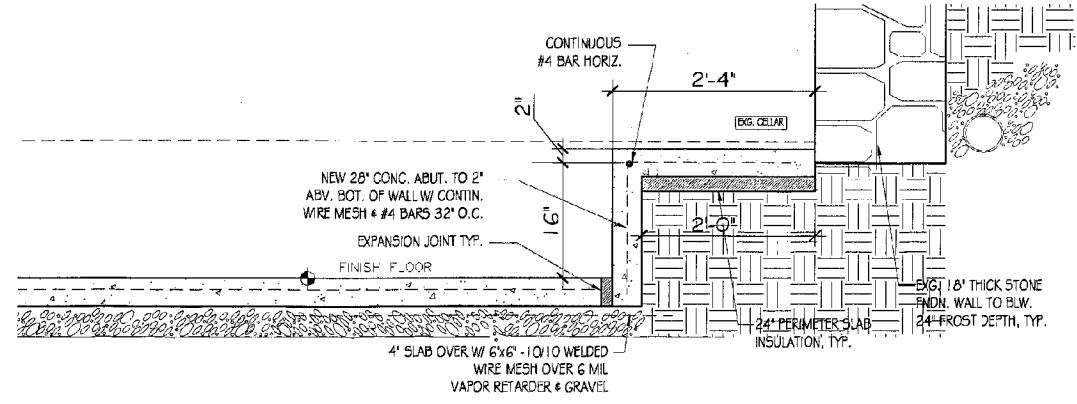
4 LONGITUDINAL SECTION 2
 A3 SCALE: 1/4" = 1'-0"



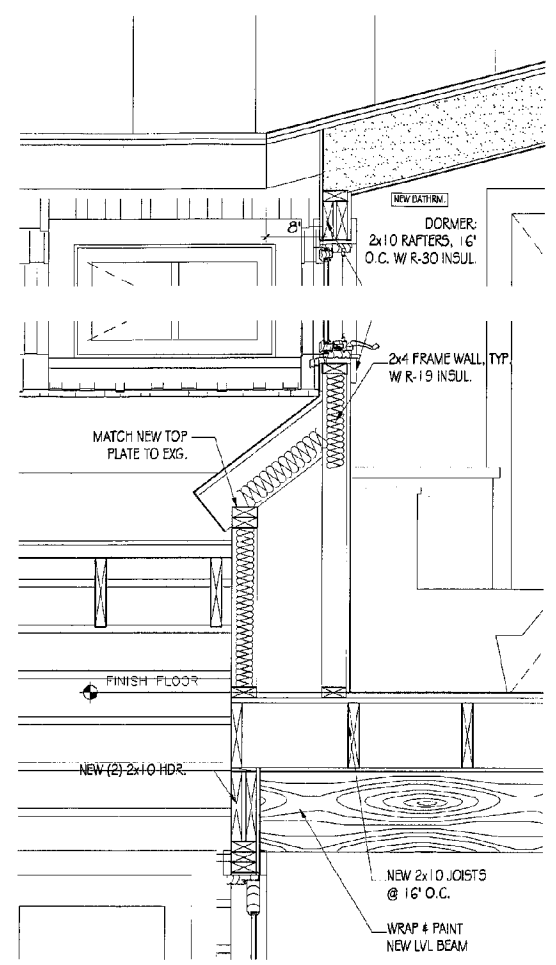
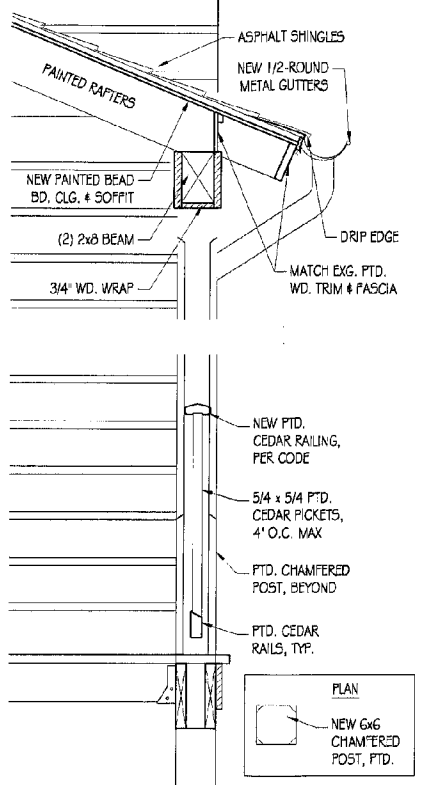
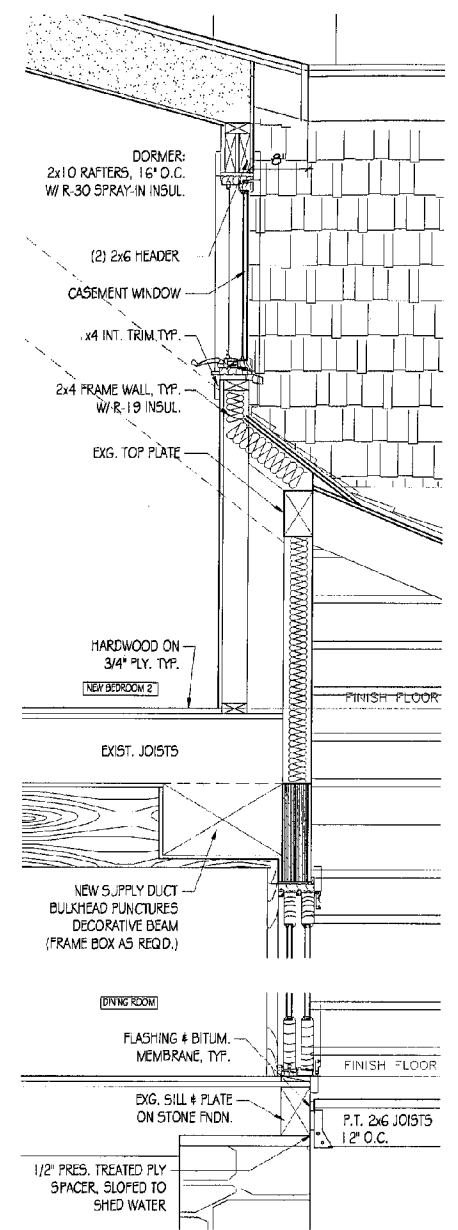
2 KITCHEN ISLAND SECTION
DT1 SCALE: 1"=1'-0"



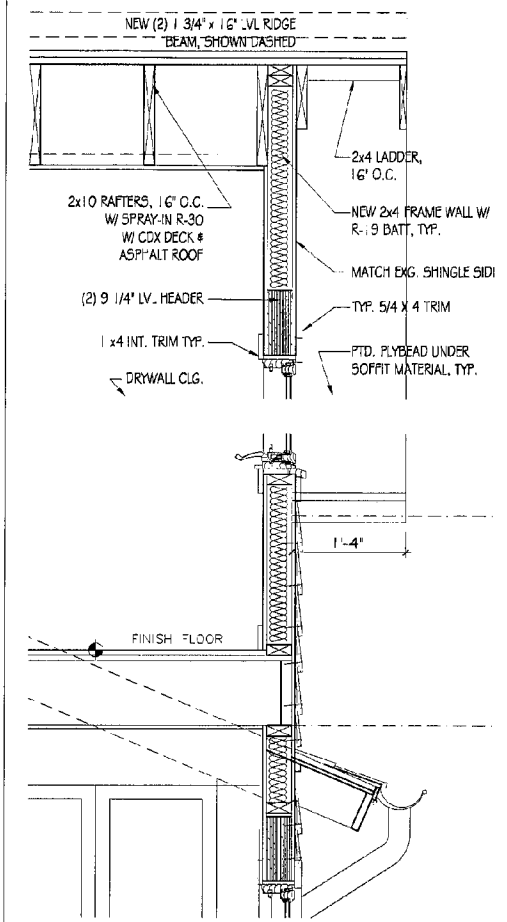
3 SECTION THRU TURN-DOWN SLAB
DT1 SCALE: 1"=1'-0"



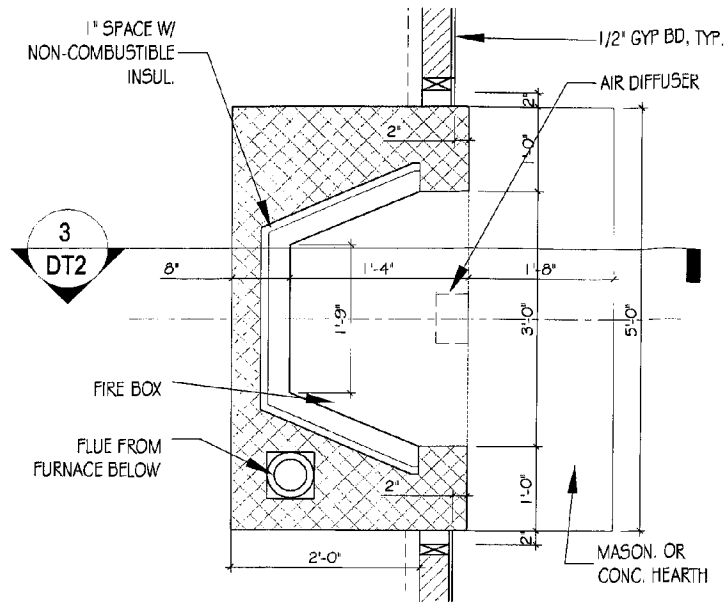
4 NEW REAR PORCH SECTION
DT1 SCALE: 1"=1'-0"



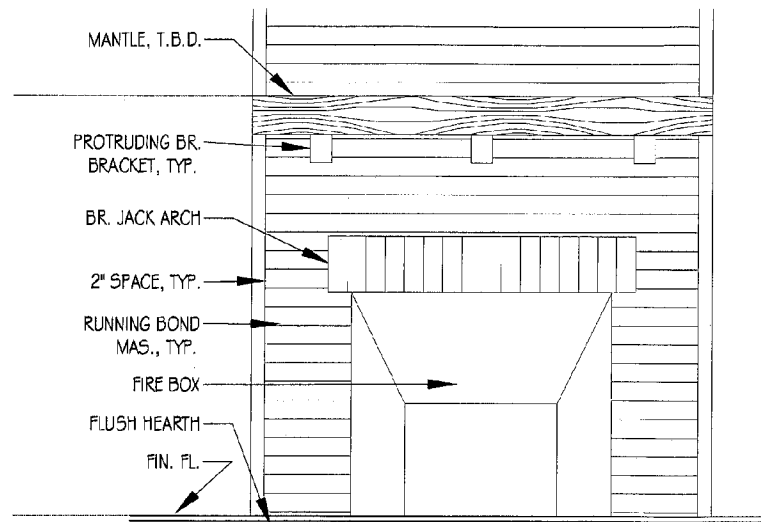
5 SECTION THRU REAR ADDITION
DT1 SCALE: 1"=1'-0"



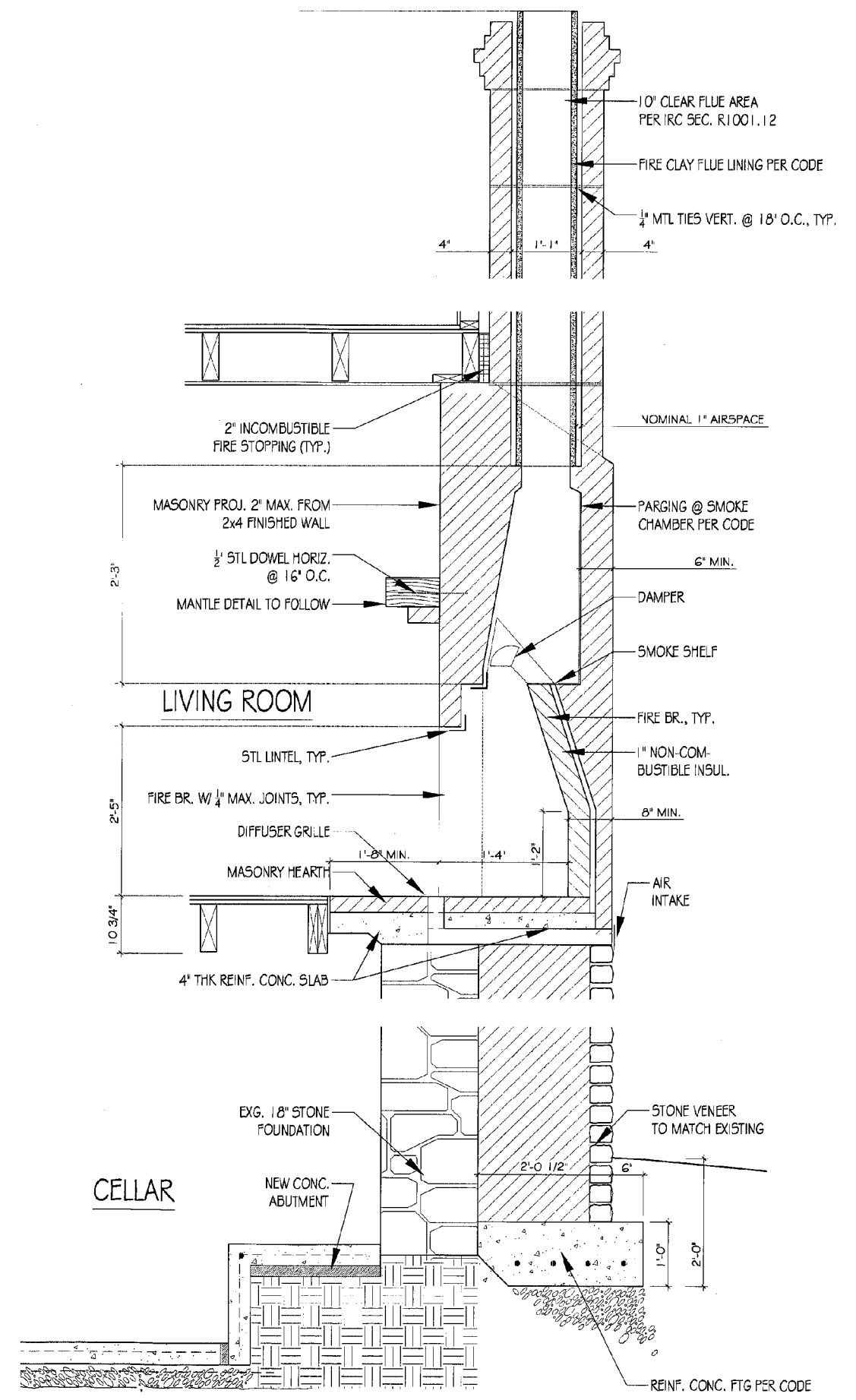
6 SECTION THRU REAR ADDITION
DT1 SCALE: 1"=1'-0"



1 PLAN OF OUTBOARD CHIMNEY
DT2 SCALE: 1/4" = 1'-0"



2 FIREPLACE INTERIOR ELEVATION
DT2 SCALE: 1/4" = 1'-0"



3 OUTBOARD CHIMNEY SECT. DETAIL
DT2 SCALE: 1" = 1'-0"

MICHE BOOZ
ARCHITECT
208/Market St
Brookville
Maryland 20833
(301) 774-8811
fax: 774-1838

DT2
Project:
KERR HOUSE

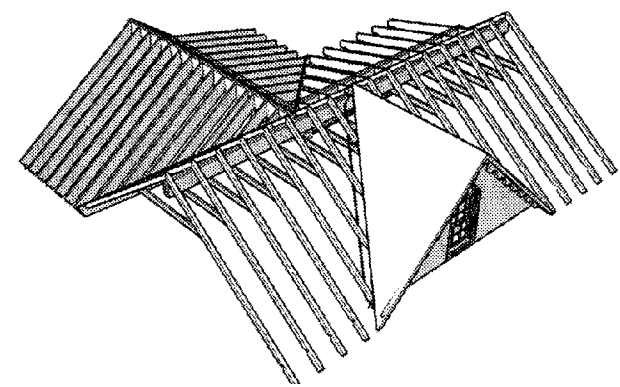
310 MARKET STREET
BROOKVILLE, MD 20833
Montgomery County

Drawings:
NEW CHIMNEY
DETAILS

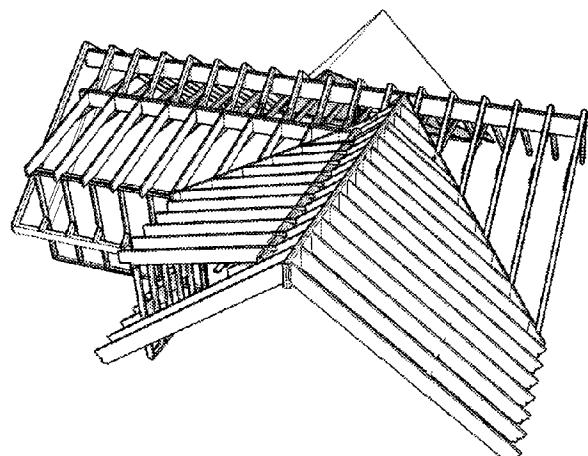
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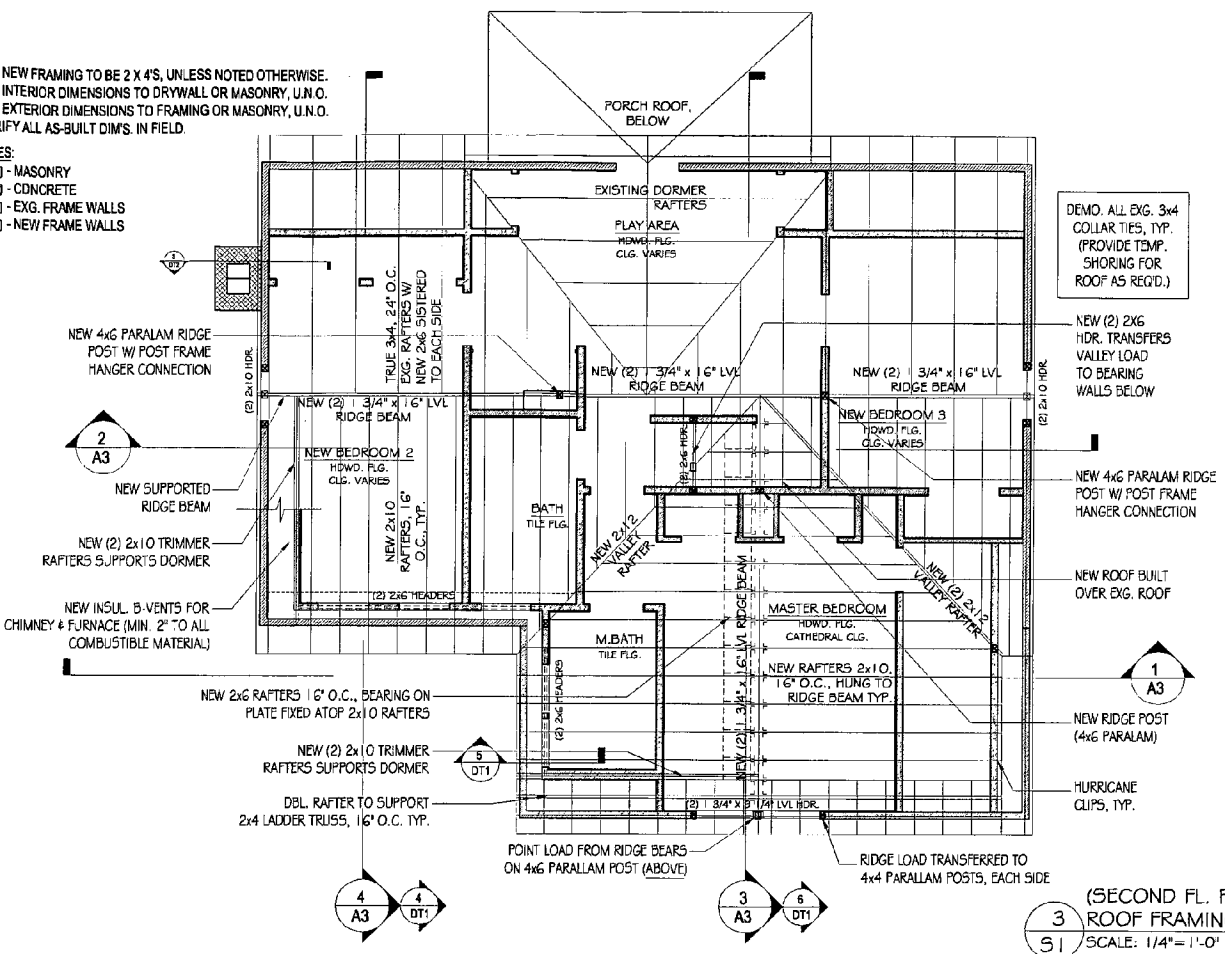
1 CONCEPTUAL ROOF FRAMING VIEW FROM NORTH
S1 FOR ILLUSTRATIVE PURPOSES ONLY



2 CONCEPTUAL ROOF FRAMING VIEW FROM SOUTH
S1 FOR ILLUSTRATIVE PURPOSES ONLY

NOTES:
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- ALL EXTERIOR DIMENSIONS TO FRAMING OR MASONRY, U.N.O.
- VERIFY ALL AS-BUILT DIM'S. IN FIELD.

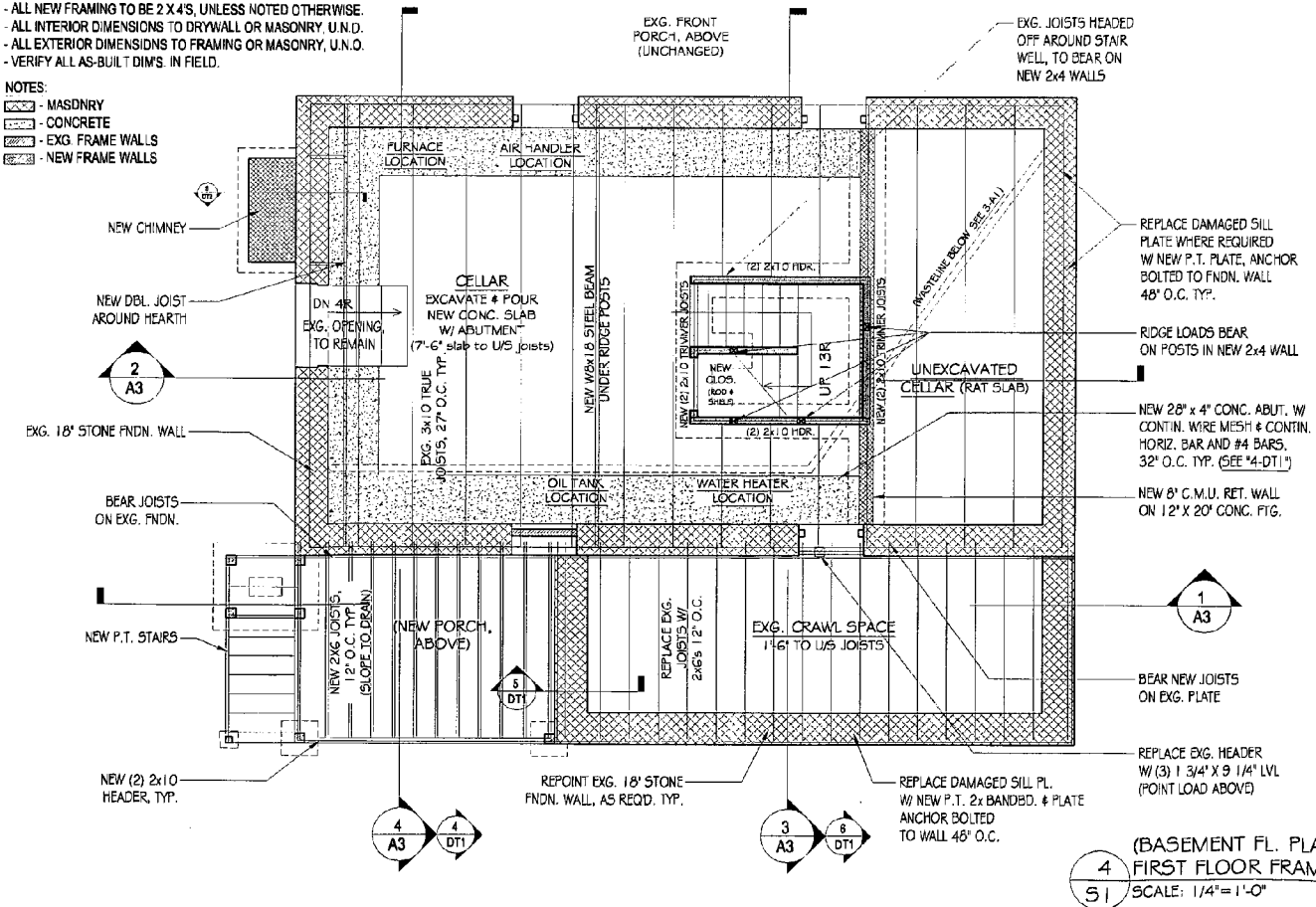
LEGEND:
[Pattern] - MASONRY
[Pattern] - CONCRETE
[Pattern] - EXG. FRAME WALLS
[Pattern] - NEW FRAME WALLS



(SECOND FL. PLAN SHOWN BENEATH)
3 ROOF FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"

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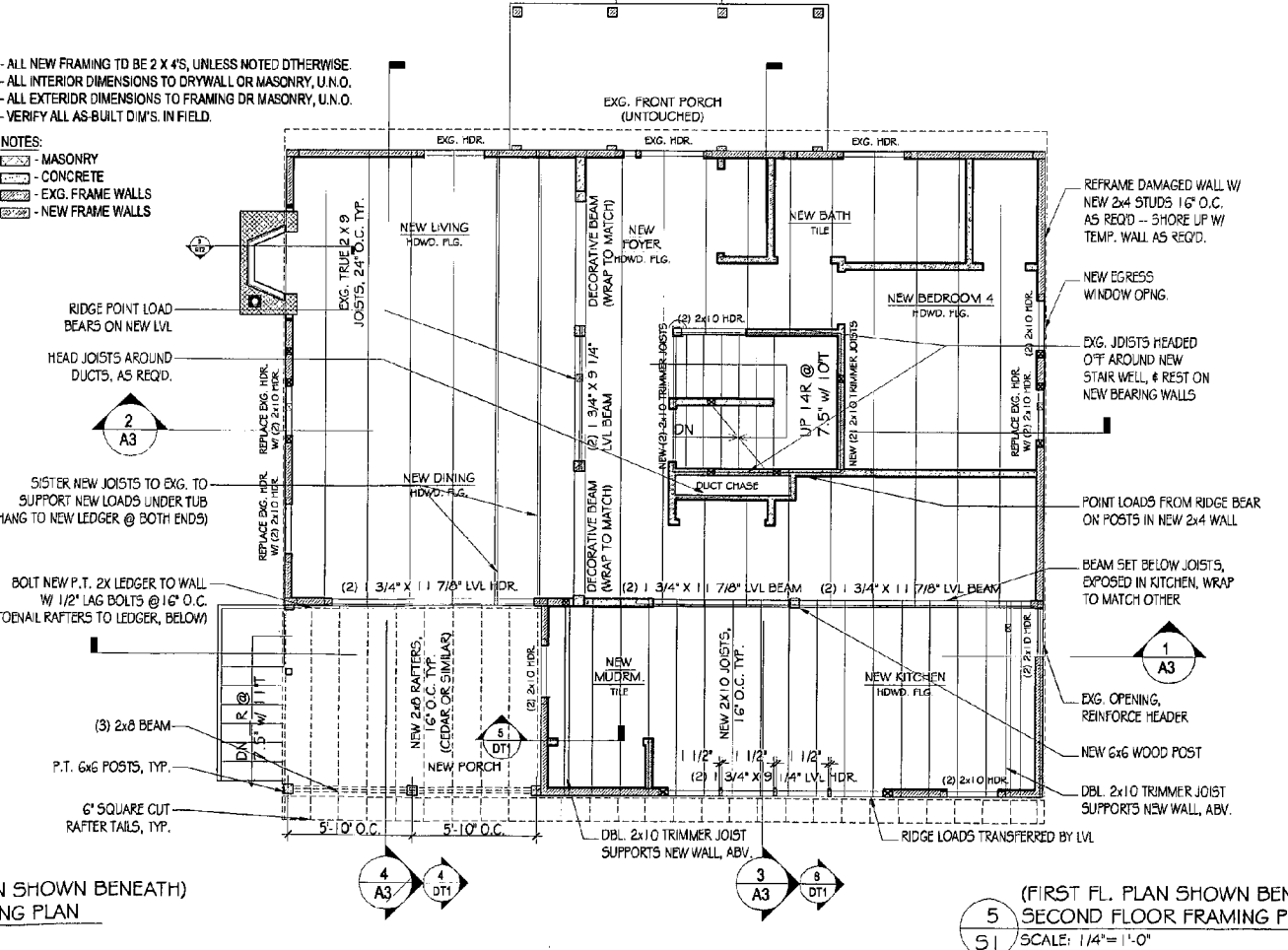
LEGEND:
[Pattern] - MASONRY
[Pattern] - CONCRETE
[Pattern] - EXG. FRAME WALLS
[Pattern] - NEW FRAME WALLS



(BASEMENT FL. PLAN SHOWN BENEATH)
4 FIRST FLOOR FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"

NOTES:
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LEGEND:
[Pattern] - MASONRY
[Pattern] - CONCRETE
[Pattern] - EXG. FRAME WALLS
[Pattern] - NEW FRAME WALLS



(FIRST FL. PLAN SHOWN BENEATH)
5 SECOND FLOOR FRAMING PLAN
S1 SCALE: 1/4" = 1'-0"

Oaks, Michele

From: Oaks, Michele
Sent: Friday, June 08, 2007 1:38 PM
To: 'michebooz@aol.com'
Subject: RE: 310 Market Street

Joe,

I think that is fine as long as the chimney is clad in brick or stone. Since the HPC approved an end chimney, I am comfortable with staff approving the change from an interior end to an exterior end, as long as the massing of the building is not increasing.

Michele

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org

-----Original Message-----

From: michebooz@aol.com [mailto:michebooz@aol.com]
Sent: Friday, June 08, 2007 10:00 AM
To: Oaks, Michele
Subject: 310 Market Street

Hi Michelle-

We're considering making a revision to the Kerr plans at 310 Market Street, but wanted to run the idea by you first. (See attached PDF). We're showing an outboard brick chimney to replace the inboard one currently approved, to simplify the interior construction and add more area to the living room.

What are your thoughts on this? And if you like it, is this something the HPC will need to approve, or would it be a staff approval?

Thanks-

Joe

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6/8/2007

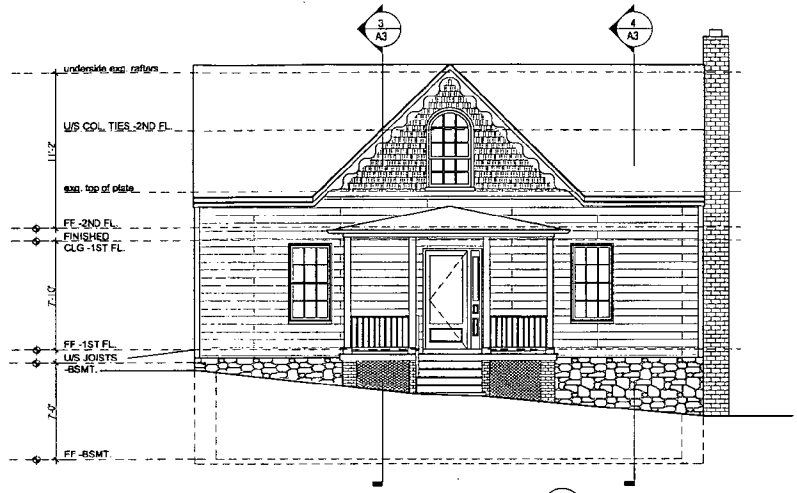
Project:
KERR HOUSE

310 MARKET STREET
BROOKVILLE, MD 20833
Montgomery County

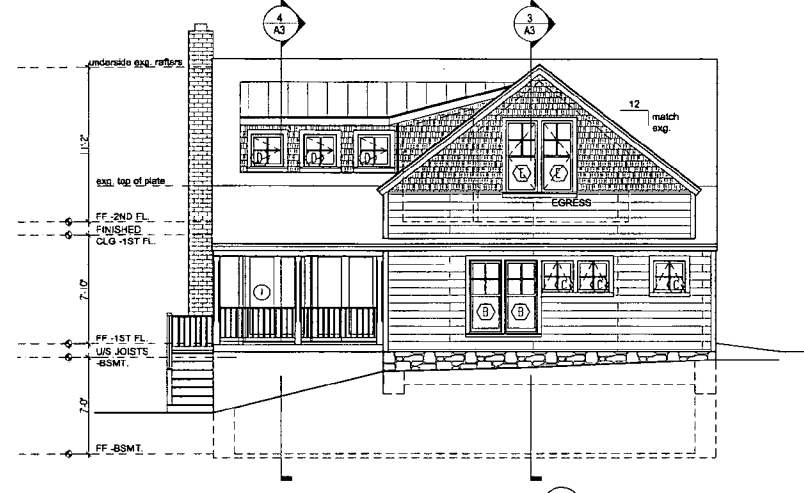
Drawings:
NEW ELEVATIONS

Date:
AS-BUILT: OCT 06
TODAY'S DATE: 8 JUN 07

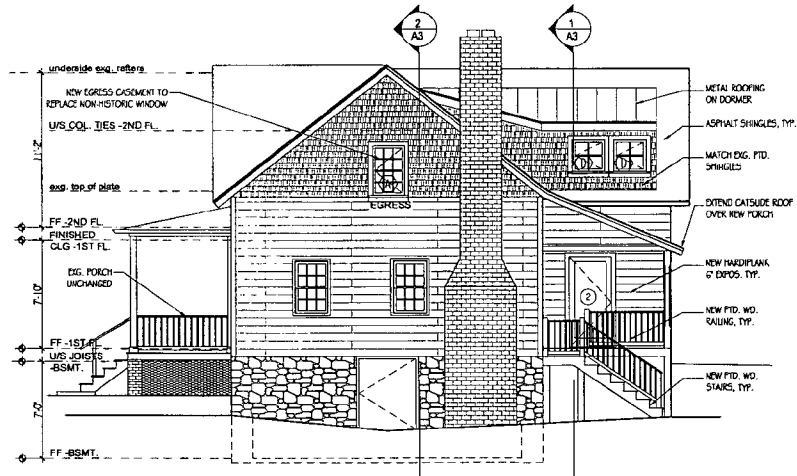
Revisions:



1 FRONT ELEVATION (UNCHANGED)
A2 SCALE: 1/4"=1'-0"



2 REAR ELEVATION (SOUTH)
A2 SCALE: 1/4"=1'-0"



3 SIDE ELEVATION (WEST)
A2 SCALE: 1/4"=1'-0"

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	310 Market Street, Brookeville	Meeting Date:	3/28/2007
Resource:	Outstanding Resource Brookeville Historic District	Report Date:	3/21/2007
Applicant:	Steven & Hannah Kerr (Miche Booz, Architect)	Public Notice:	3/14/2007
Review:	HAWP	Tax Credit:	Possible for Siding Rehab
Case Number:	23/65-07B CONTINUED	Staff:	Michele Oaks

PROPOSAL: Rear Addition, Rear Dormer Installation

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this Historic Area Work Permit (HAWP) application with the following conditions:

*Staff's
comment on wood
NORTH*

1. New, rear porch will have inset wood pickets,
2. The porch details will be developed for the construction set of drawings to be stamped by staff and will include balustrade, column, and floor details.
3. The porch floor will be wood, tongue and groove.
4. The east, side elevation's gable end window will not be replaced.
5. The new trim to be installed will be wood.

BACKGROUND:

The Commission held a public hearing regarding a HAWP application for the removal of the existing catslide roof and the construction of a new, cross gable roof onto the subject house at its February 28, 2007 hearing (transcripts of hearing attached beginning on circle 24). The report provided by staff recommended denial of the application as submitted. The applicants and their architect presented alternative design schemes at the public hearing, responding to the recommendations outlined in the staff report. The alternative design included the retainment of the existing catslide in its entirety and re-constructing the catslide on the southwestern corner of the house. Additionally, the drawings included the construction of large, rear gable and shed dormers projecting from the rear roof slope.

The majority of the Commission supported the alternative design direction and encouraged the applicant to work with staff. The applicant asked for a continuance of the hearing.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Outstanding Resource in the Brookeville Historic District
STYLE: Victorian Vernacular
DATE: c1865

The house is a three-bay, wood frame cottage set upon a stone foundation with a central, cross-gable detailed with bargeboard, wood shingles and an arched window. The roof slope along only the east elevation fashions a catslide. The windows are mostly, true-divided light, 6/6 wood windows. The house is currently sheathed in asbestos shingles on the first floor.

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house, a garage and a shed on the .53 acres of land. The property contains many mature trees.

HISTORIC CONTEXT

An excerpt from Places from the Past:

Richard Thomas founded the community of Brookeville in 1794 by on land his wife Deborah Brooke Thomas inherited from grandfather James Brooke. Brooke was an influential Quaker settler and major landholder in Montgomery County. Thomas laid out 56 quarter-acre lots sited along two major streets and two side streets. The majority of houses in the historic district date from the 1800s with several Federal style buildings that were built in the early 1800s.

Quickly growing as a bustling market town, Brookeville had two mills, a tanning yard, stores, a post office, and two schools. During the early 1800s, Brookeville was a center for commerce and education serving the surrounding, largely agricultural area. The Brookeville Academy was a regionally prominent center of learning, which attracted students from Baltimore, Washington, and Frederick.

Brookeville is a Master Plan and National Register Historic District.

PROPOSAL:

The applicant proposes to change the existing house by:

1. Constructing a collection of gabled and shed dormers along the rear slope of the existing house.
2. Extend the existing, roof slope on the southwest corner of the house to create an open porch, which will re-construct the original catslide roof along the entire width of the rear elevation of the house.
3. Install two new, simulated divided light wood windows in the east, side elevation.
4. Remove an existing door and shed roof portico on the east, side elevation.
5. Install two, sets of French doors on the south elevation of the house to lead out onto the new, covered porch.
6. Install a new door on the rear section of the west elevation of the existing massing to lead out onto the new, covered porch.

Proposed Materials

- Windows: Simulated Wood Divided Light
- Siding: HardiPlank and Wood Shingles
- Roof: Metal to Match the Porch Roof

APPLICABLE GUIDELINES:

When reviewing alterations and additions to outstanding resources within the Brookeville *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed project is consistent with the recommendations that staff provided in the previous staff report. The design retains the original catslide, by offsetting the dormers away from the side elevations of the house, and brings the height of the ridge lower than the ridge of the main massing. Secondly, the design re-constructs the open porch along the southwestern corner of the house and thus, returns that catslide detail to this portion of the house as well.

The only concern staff has with the proposal is the applicant's desire to replace the 6/6 true-divided light, wood window in the gable end of the east elevation with a simulated divided light casement window. The goal of this window replacement is to provide egress for code compliance. Staff should be able to work with the Department of Permitting Services, utilizing the Maryland Smart Codes, to waive the egress requirement for this window in order to retain this piece of historic fabric.

The locations of the new, windows and doors to be installed in locations where there never were openings is compatible with the existing architectural style and will be differentiated from the original as the applicants are proposing solid wood, simulated divided light windows. The new doors to be installed are at the rear of the resource and will be located under a new covered porch, fabricated to re-construct an original detail.

We encourage the applicant to remove the asbestos shingles on the house as part of this work program. Exposing the original siding and rehabilitating the entire house would enhance the project. The removal and rehabilitation of the original siding would also be eligible for the County (10%) and possibly the State (20%) tax credit programs.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240.777.6370

DPS - #8

M

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT - CONCEPTUAL**

Contact Person: MICHE BOOZ
Daytime Phone No.: 301/774-6911

Tax Account No.: 08-00731825
Name of Property Owner: Steven and Hannah Kerr Daytime Phone No.: 240-281-0142
Address: 310 Market St Brookville MD 20833
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 310 Street: Market
Town/City: Brookville Nearest Cross Street: Georgia Avenue
Lot: 335 Block: N/A Subdivision: 5
Liber: _____ Folio: _____ Parcel: P600

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|---|--|--|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Steven Kerr _____
Signature of owner or authorized agent Date: 1/17/07

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 443157 Date Filed: 1-17-07 Date Issued: _____
Emc

SEE REVERSE SIDE FOR INSTRUCTIONS

1. **Written Description of Project:**

a. *Description of Existing Structure:*

310 Market Street was built circa 1865. It is a single family vernacular cottage with Victorian trim added. It is a wood frame house with painted wood and asbestos shingles.

b. *General Description of Project:*

Addition of dormers to rear of house to provide needed bedroom and bathroom space. A change of miscellaneous doors and windows on ground floor. (Note: All windows and doors to be wood simulated divided light.)

2. **Site Plan:**

- a. See attachment
- b. See attachment
- c. See attachment

3. **Plans and Elevations:**

- a. Schematic Construction Plans: See attachment
- b. Elevations: See attachment

4. **Materials Specifications:**

- a. Windows and Doors: Wood Simulated Divided Light
- b. Siding: Hardy Plank and Wood Shingles
- c. Roof: Metal to Match the Porch Roof

5. **Photographs:** See attachment

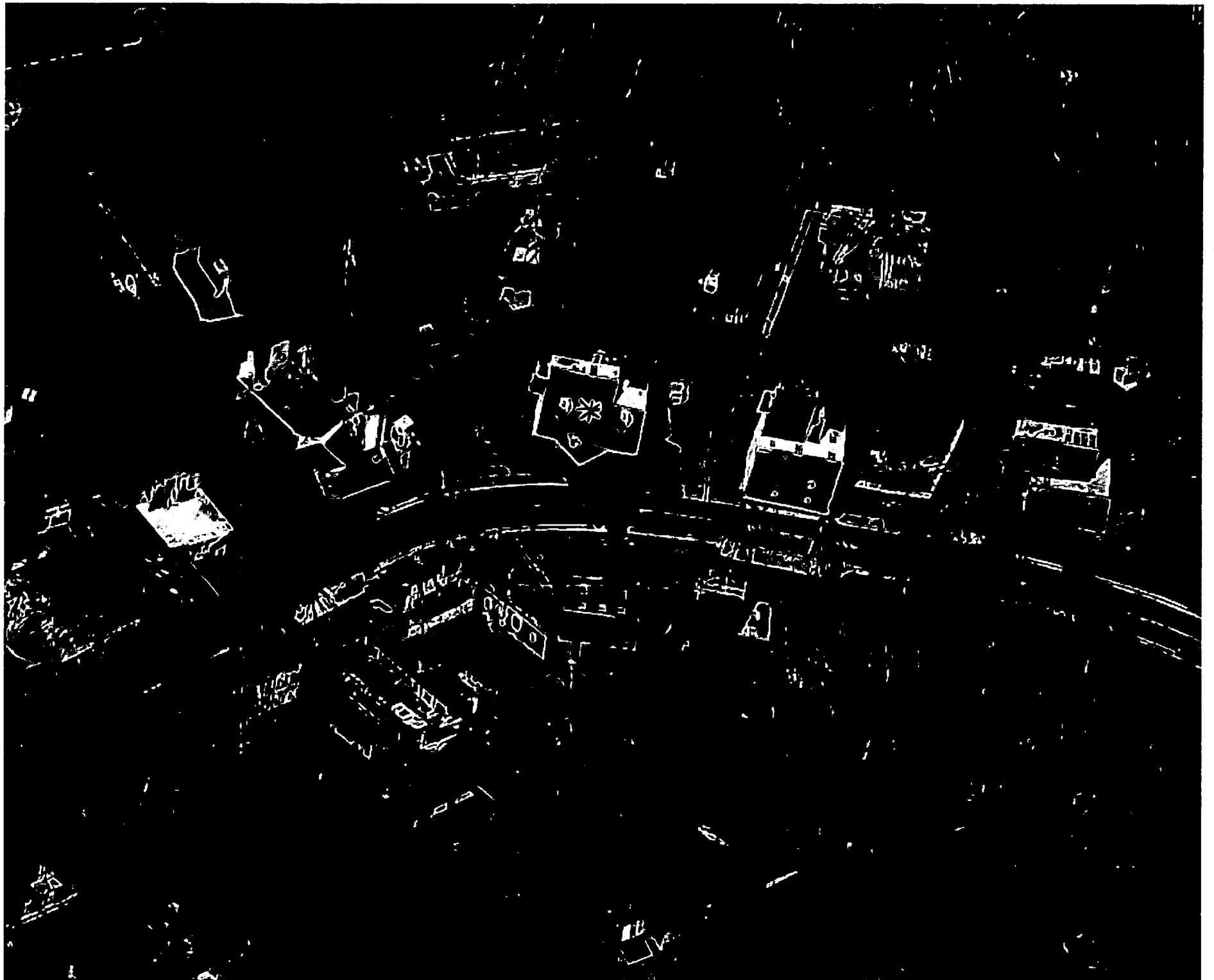
6. **Tree Survey:** N/A

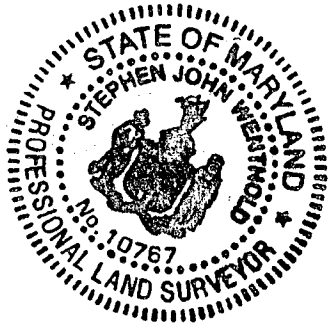
7. **Addresses of Adjacent and Confronting Property Owners:** See attachment

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Steff & Hannah Keel 310 Market Street Brookeville, MD 20833	
Adjacent and confronting Property Owners mailing addresses	
Les Unglesbee 308 Market Street Brookeville, MD 20833	Joanne Keister 312 Market Street Brookeville, MD 20833
S. Deeds Wells 309 Market Street Brookeville, MD 20833	Margaret Kay 313 Market Street Brookeville, MD 20833





N81°45'00"W 66.00'

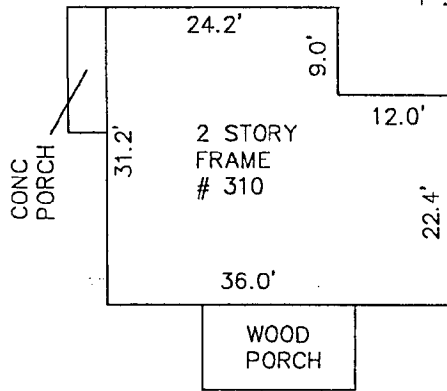
PARCEL
600
±0.53
ACRES

S12°30'00"W 338.25'

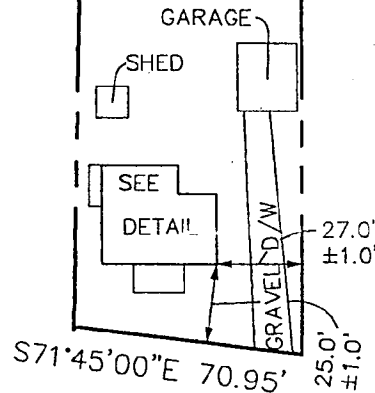
N11°30'00"E 349.80'

P. 588

P. 590



DETAIL SCALE: 1" = 20'



S71°45'00"E 70.95'
MARKET STREET

No evidence of property corners was found. Apparent occupation is shown.

Date: 1-18-05 Scale: 1" = 60' Drn: J.B.
Plat Book:
Plat No.: NO TITLE REPORT FURNISHED
Work Order: 05-1076
Address: 310 MARKET STREET
District: 8
Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen J. Westwood

LOCATION DRAWING
LIBER 13546
FOLIO 360



Meridian Surveys, Inc.
811 Russell Avenue
Suite #303
Gaithersburg, MD 20879
(301) 721-9400

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing.

MICHE BOOZ

ARCHITECT

AB2

206 Market St
Brookville
Maryland 20833
(301)774-6811
fax: 774-1908

Project:

KERR HOUSE

BROOKVILLE, MD 20833

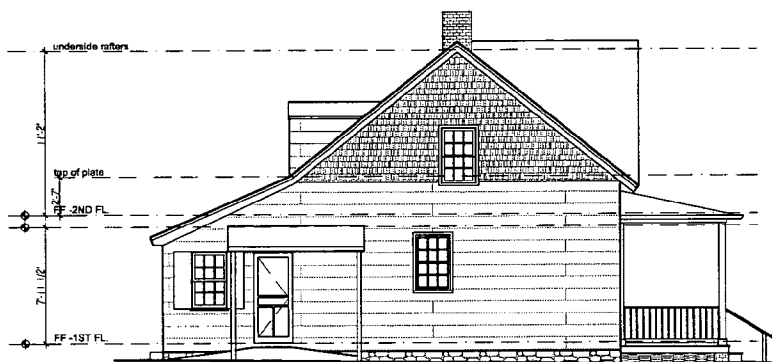
Montgomery County

Drawing:

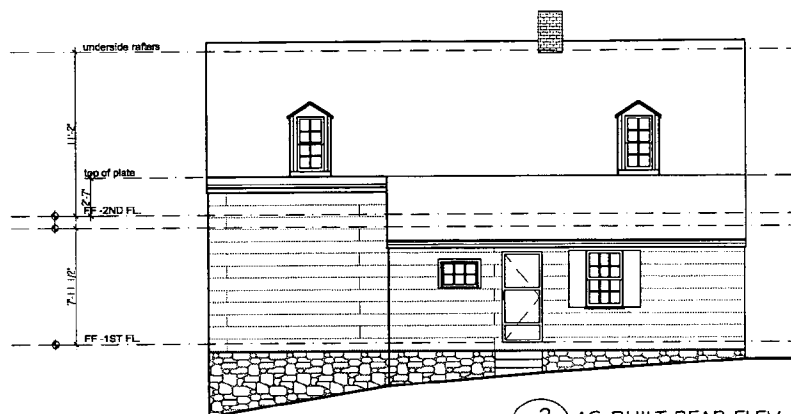
AS BUILT
ELEVATIONS

Dates:

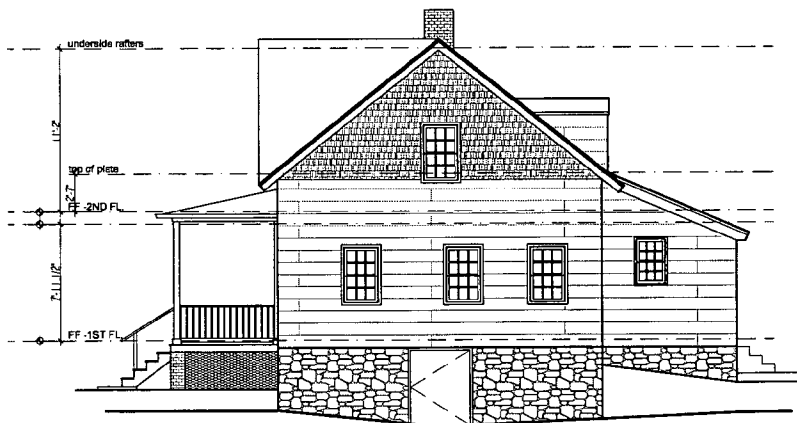
AS BUILTS OCT - NOV 06



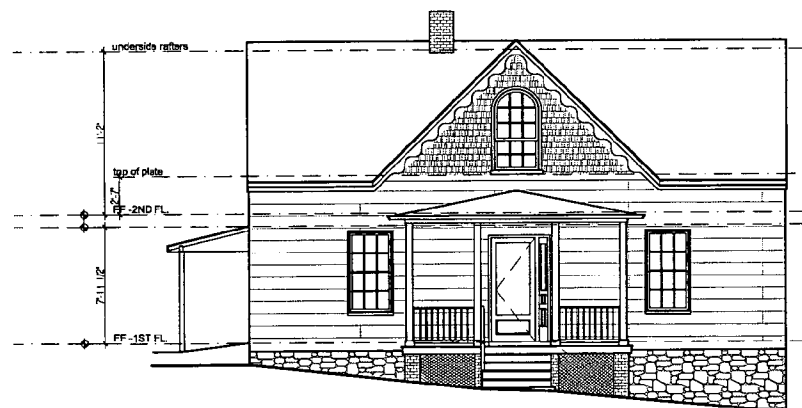
1 AS-BUILT EAST SIDE ELEV.
AB2 SCALE: 1/8"=1'-0"



2 AS-BUILT REAR ELEV.
AB2 SCALE: 1/8"=1'-0"



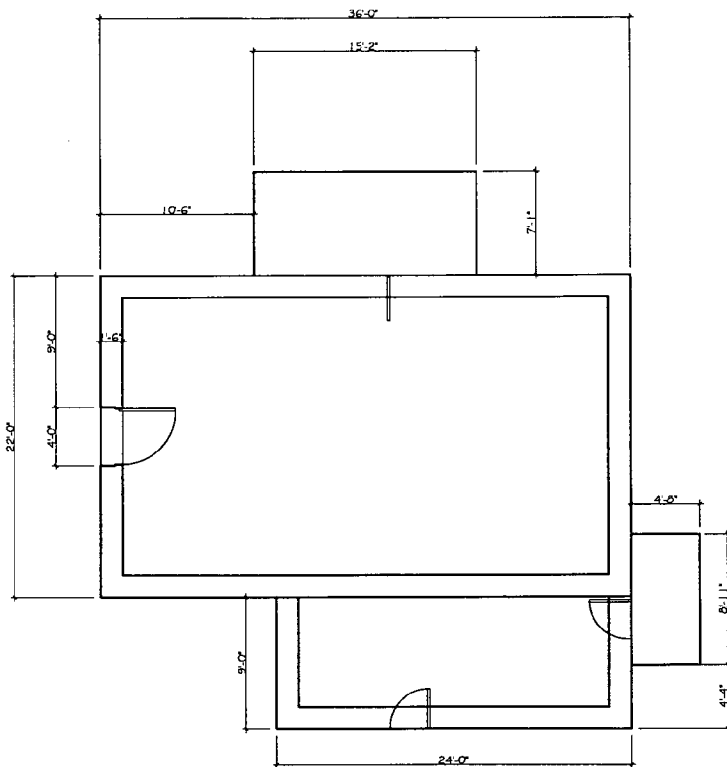
3 AS-BUILT WEST SIDE ELEV.
AB2 SCALE: 1/8"=1'-0"



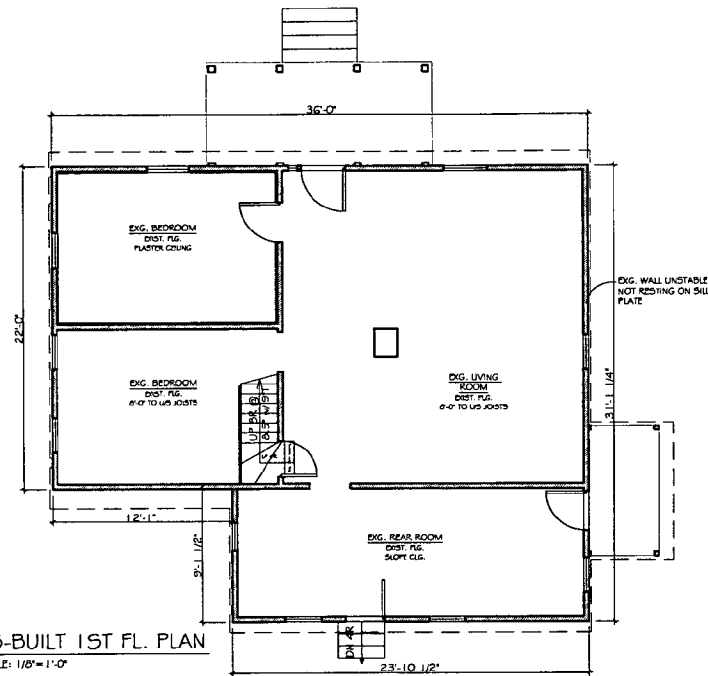
Porch Not Measured
in Detail

4 AS-BUILT FRONT ELEV.
AB2 SCALE: 1/8"=1'-0"

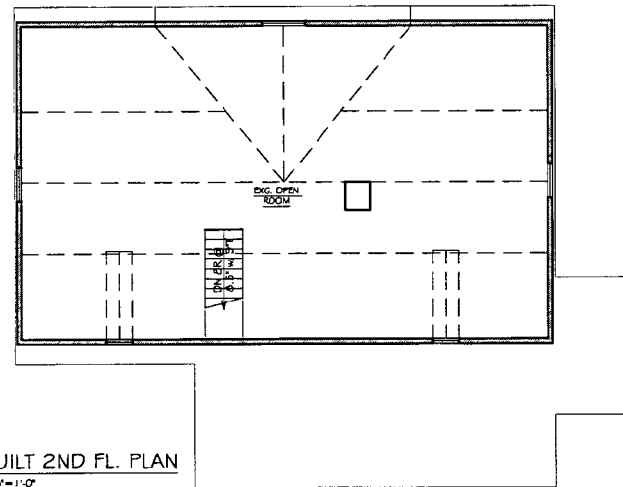
KERR HOUSE AS-BUILTS - NOV. 8, 2006



1 AS-BUILT BSMT. PLAN
ABI SCALE: 1/8"=1'-0"



2 AS-BUILT 1ST FL. PLAN
ABI SCALE: 1/8"=1'-0"



3 AS-BUILT 2ND FL. PLAN
ABI SCALE: 1/8"=1'-0"

MICHE BOOZ
ARCHITECT
AB1
208 W. Market St
Brookville, MD 20833
(301) 774-8911
fax: 774-1908

Project:
KERR HOUSE

BROOKVILLE, MD 20833
Montgomery County

Drawings:
AS-BUILT PLANS

Dates:
AS BUILTS OCT - NOV 06

KERR HOUSE AS-BUILTS - NOV. 8, 2006

MICHE BOOZ

ARCHITECT

208 Market St
Brookeville
Maryland 20833
(301) 774-6911
fax: 774-1908

Project:

Kerr Residence
310 Market St.
Brookeville, MD 20833

A4

Drawings: West and
East Elev.
1/8"=1'-0"

Dates:
Mar. 12, 2007



1 NORTH SIDE ELEVATION
A4 SCALE: 1/8"=1'-0"



2 SOUTH SIDE ELEVATION
A4 SCALE: 1/8"=1'-0"

MICHE BOOZ
 ARCHITECT
 208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax 774 1908

Project:
Kerr Residence
 310 Market St.
 Brookeville, MD 20833

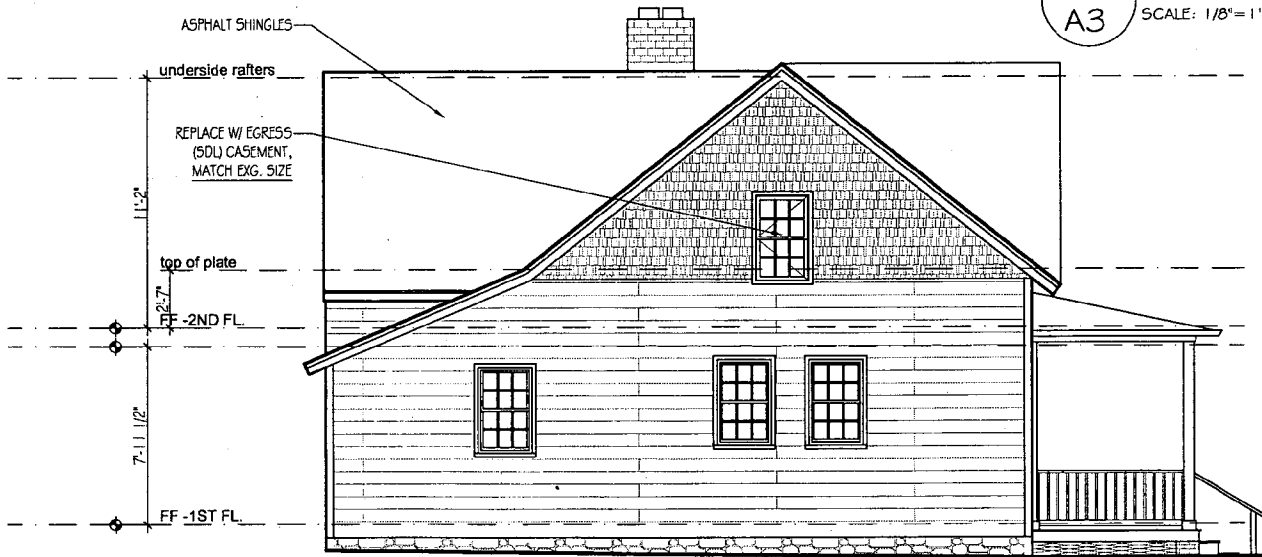
A3

Drawings: **West and East Elev.**
 1/8"=1'-0"

Date:
 Mar. 12, 2007



1 WEST SIDE ELEVATION
 A3 SCALE: 1/8"=1'-0"



2 EAST SIDE ELEVATION
 A3 SCALE: 1/8"=1'-0"

MICHE BOOZ

ARCHITECT

208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:

Kerr Residence
310 Market St.
Brookeville, MD 20833

A1

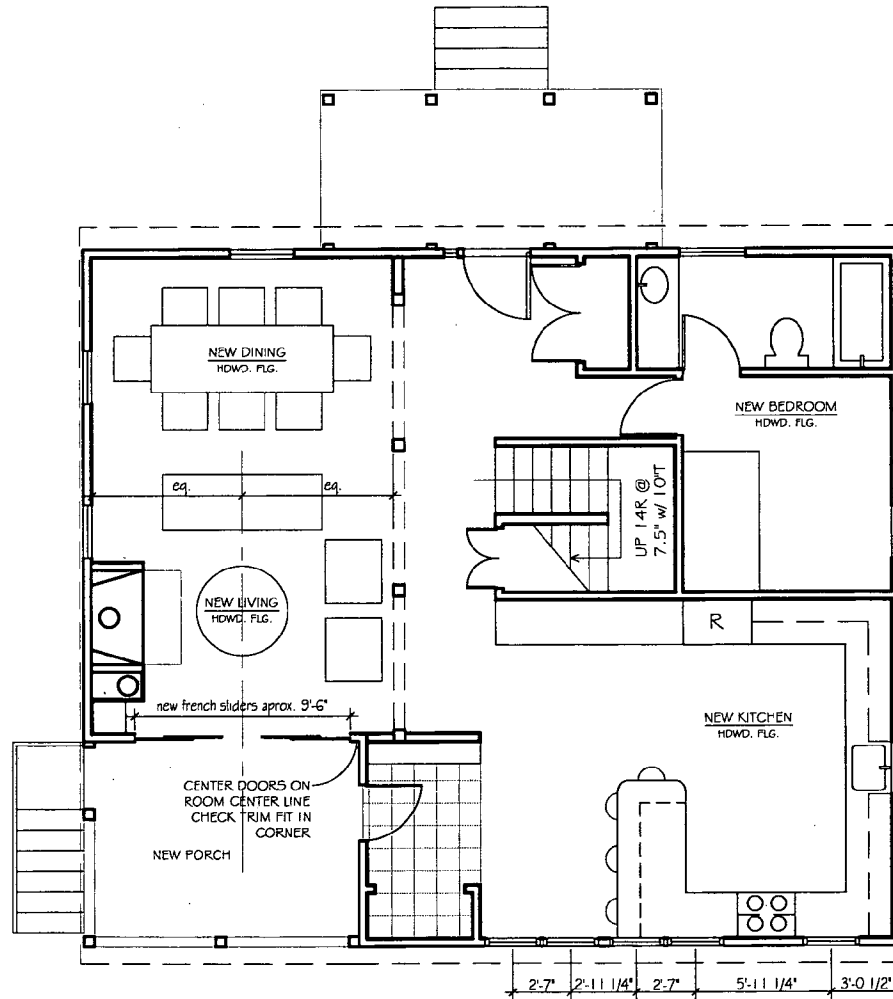
Drawings: First Floor

Plan

1/8"=1'-0"

Date:

Mar. 12, 2007



1st FLOOR PLAN
SCALE: 1/8"=1'-0"

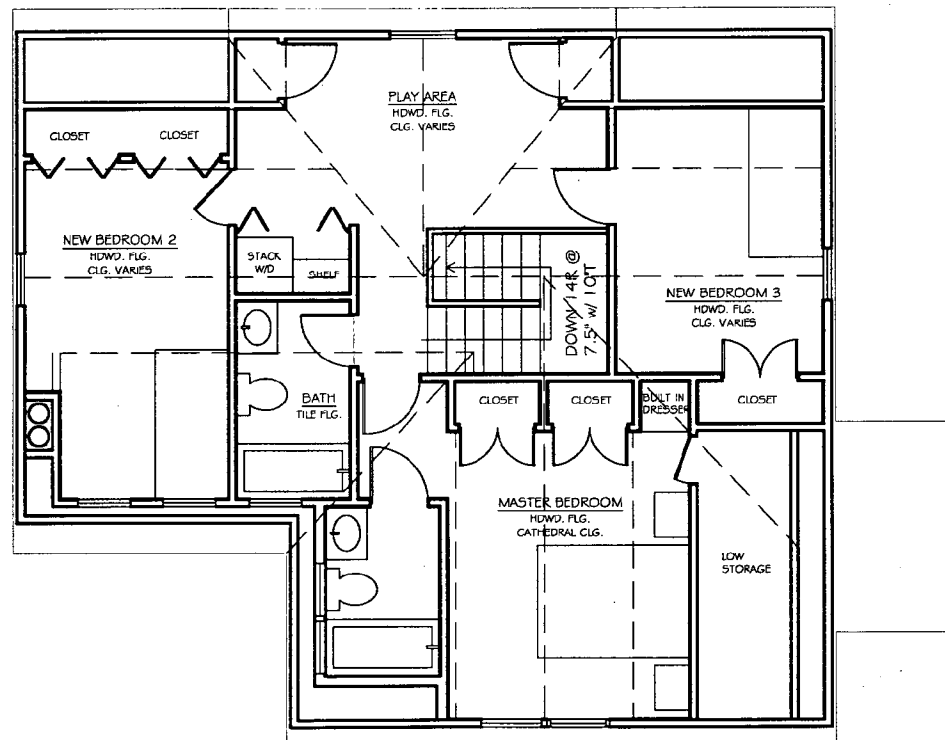
MICHE BOOZ
ARCHITECT
208 Market St
Brookville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
Kerr Residence
310 Market St.
Brookeville, MD 20833

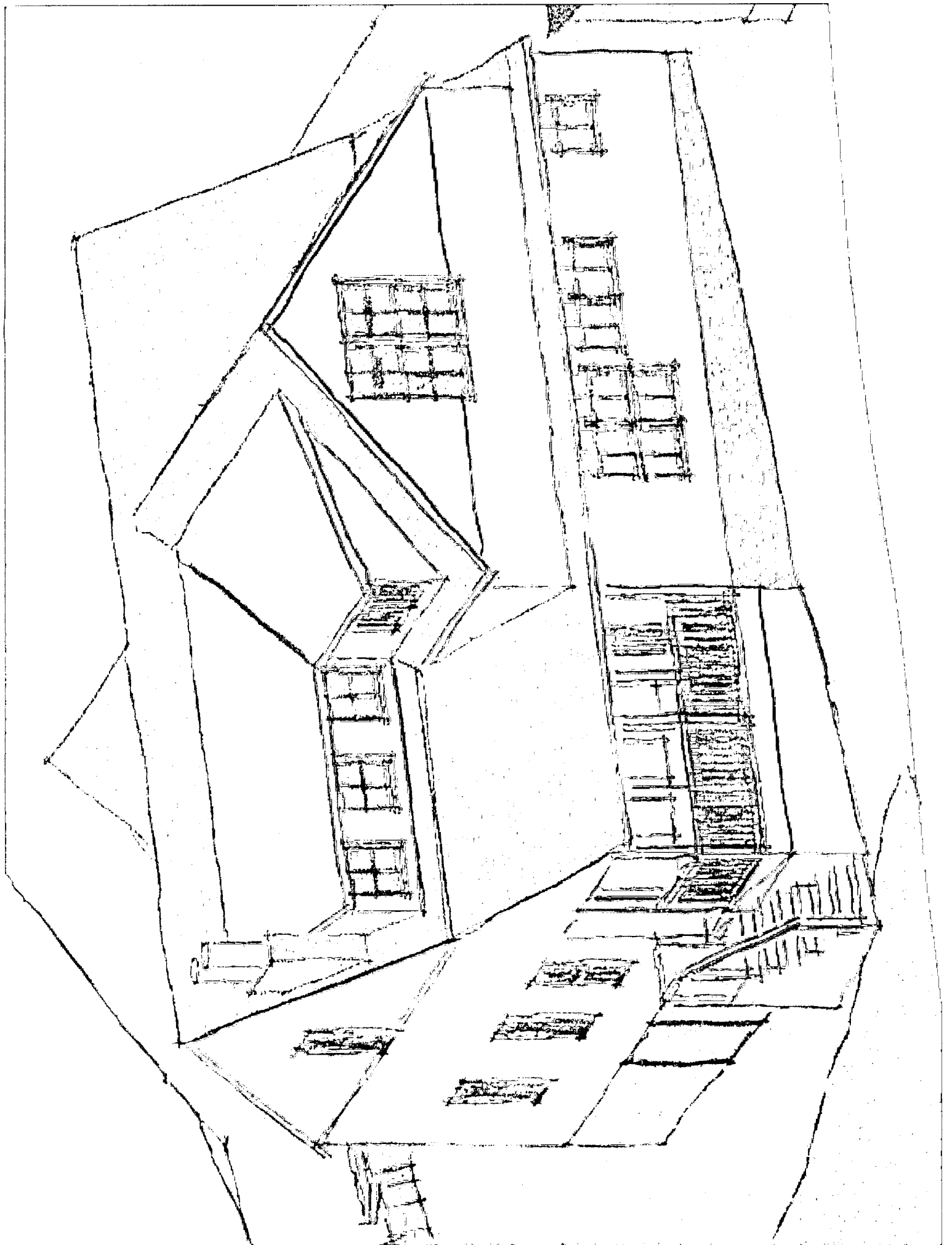
A2

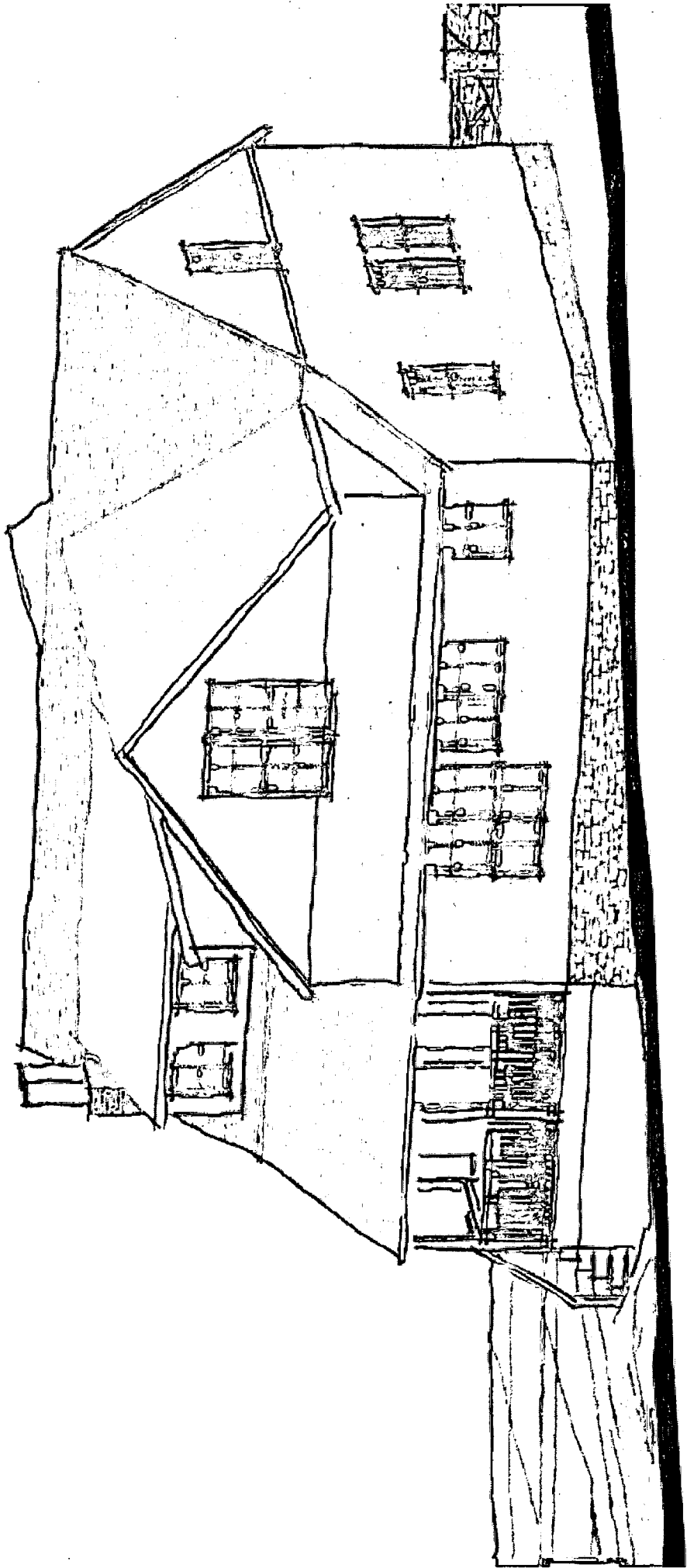
Drawings: Second
Floor Plan
1/8"=1'-0"

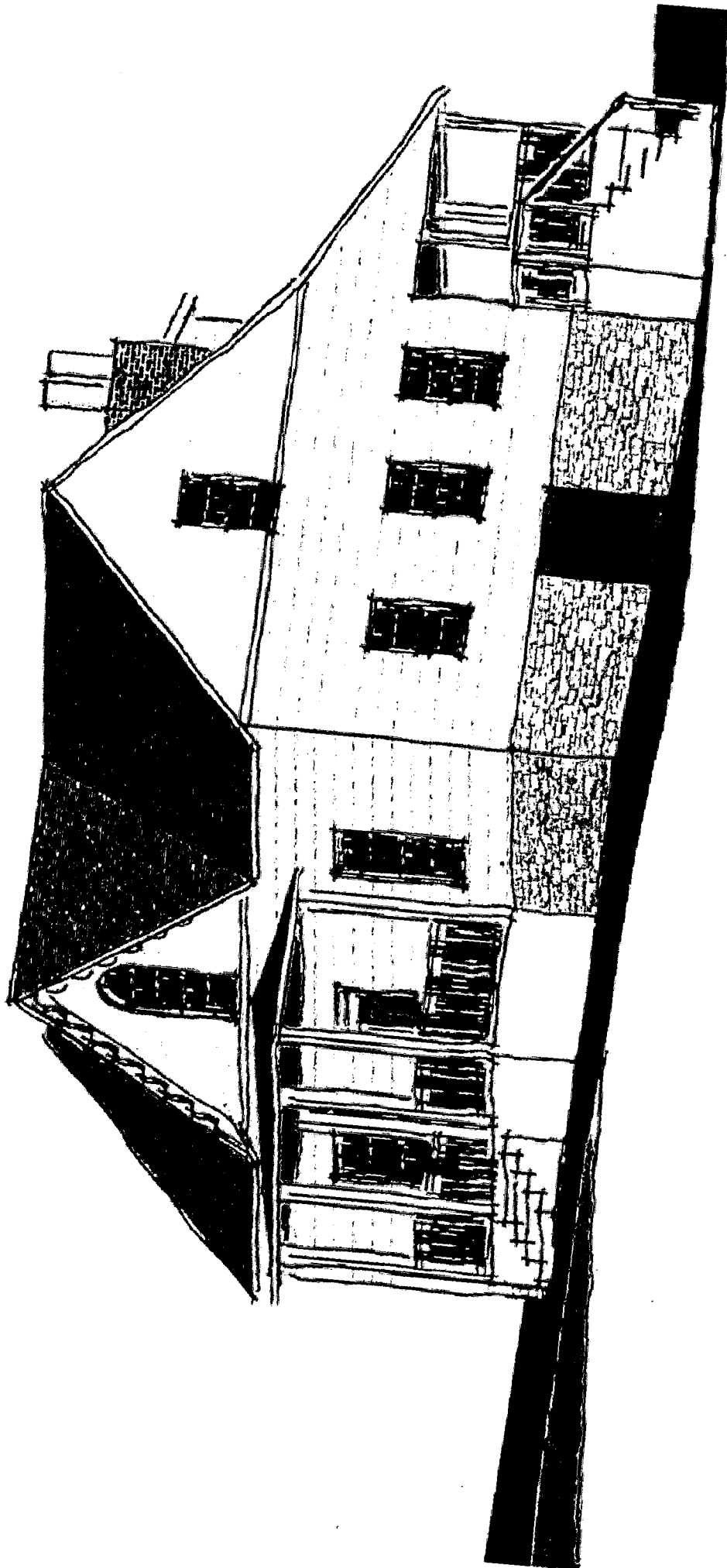
Date:
Mar. 12, 2007

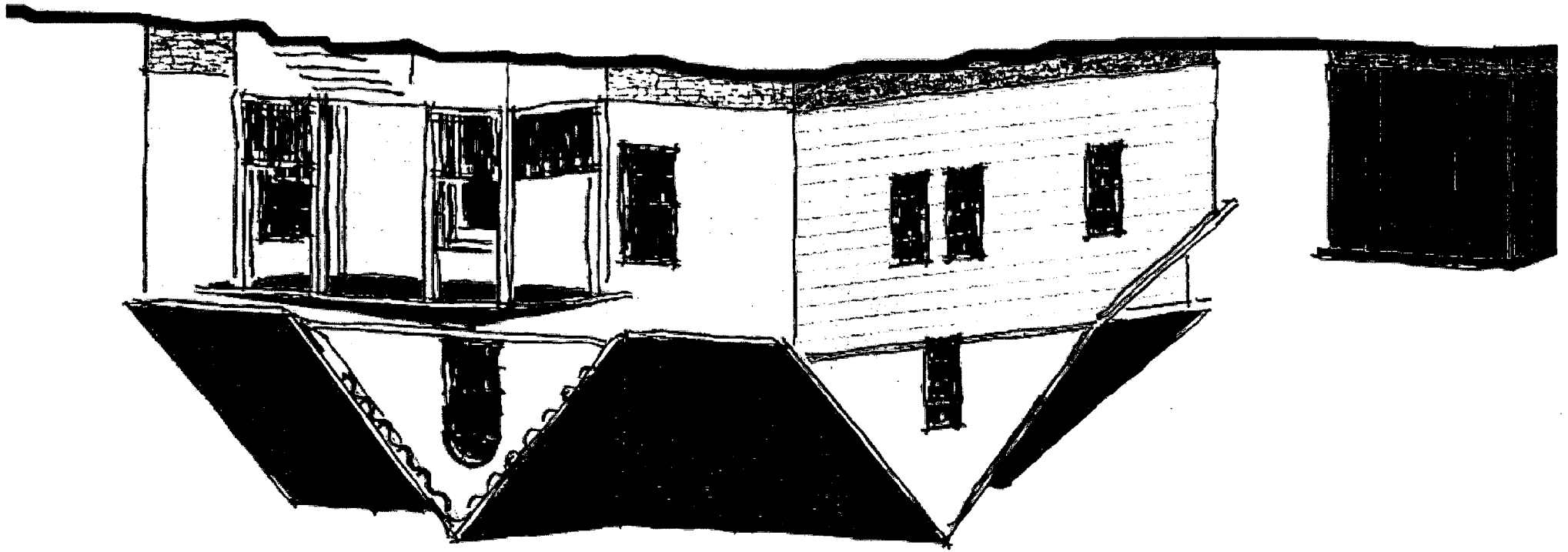


1 2nd FLOOR PLAN
A2 SCALE: 1/8"=1'-0"



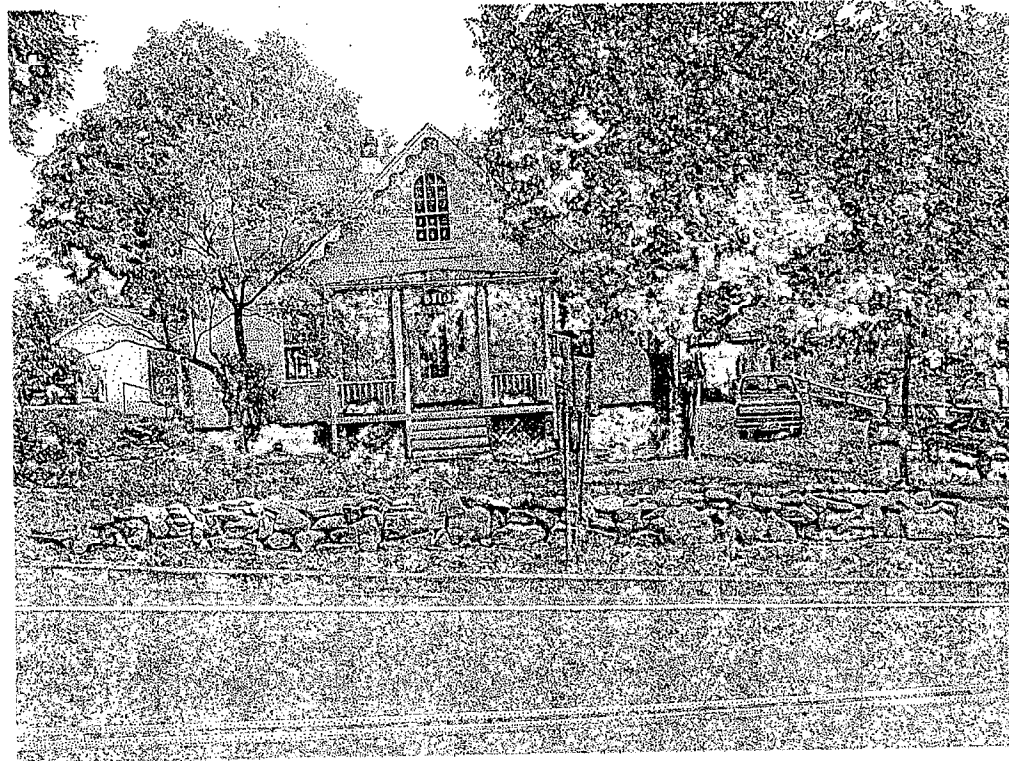






310 Market Street, Brookeville, MD

(Existing structure as seen from 309 Market Street and Route 97))



Existing Front Elevation (No change in plan)

310 Market Street

(as viewed from public right-of-way)

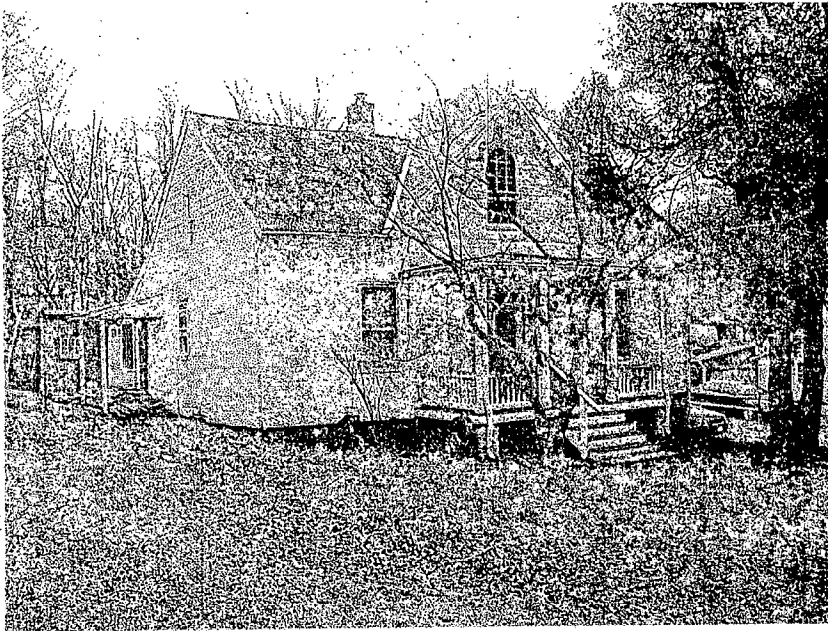


Photo 1- View from Market Street going North

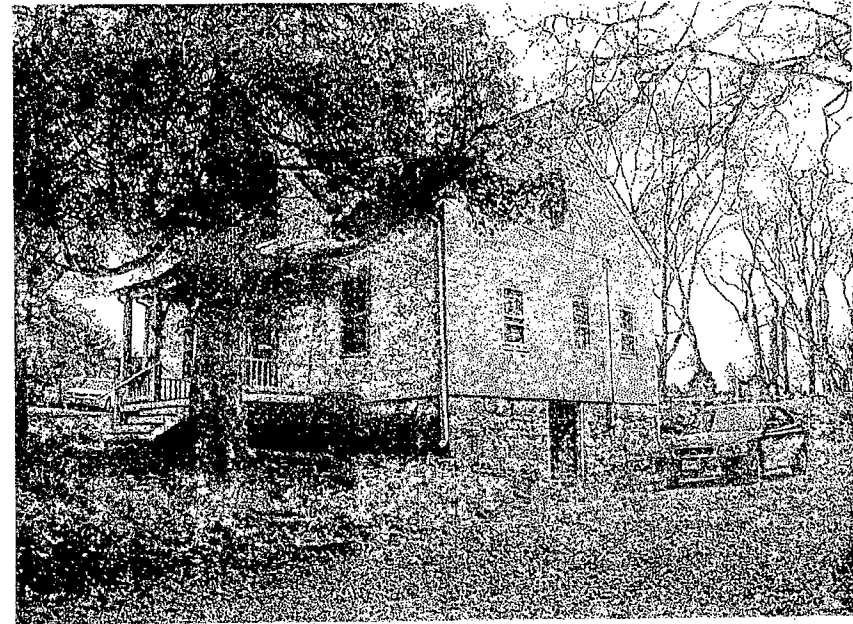


Photo 2- View from Market Street going South

310 Market Street, Brookeville, MD

(Existing structure as seen from 312 Market Street)

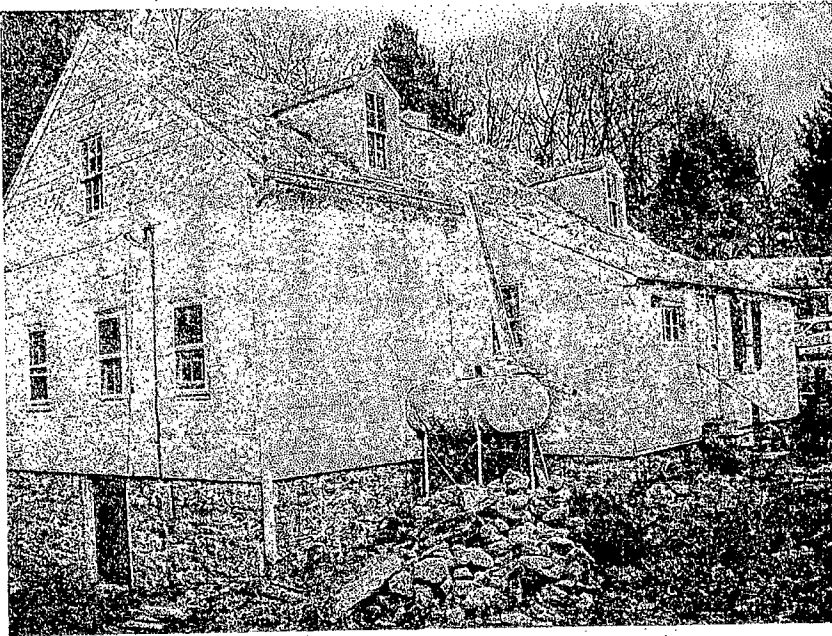


Photo 4- Southwest Elevation

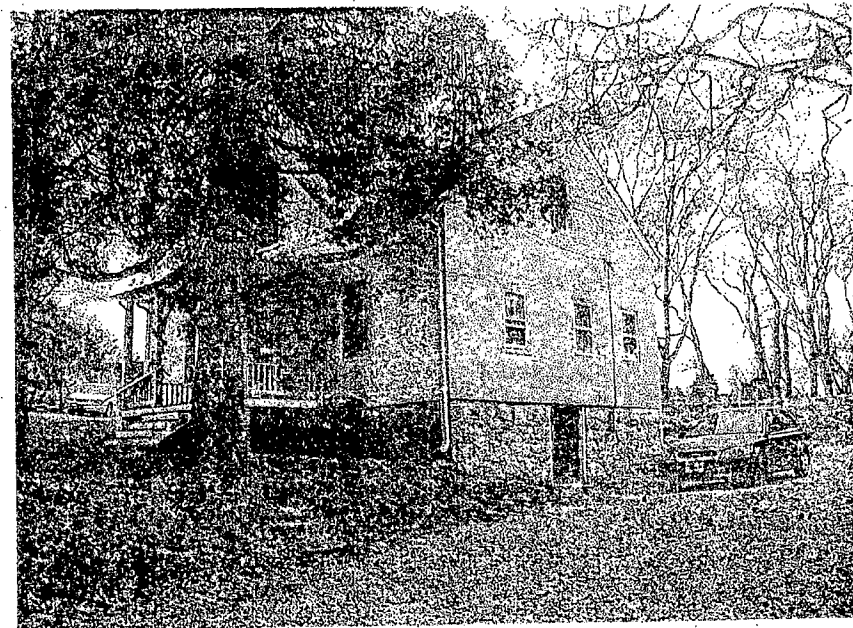


Photo 5- Northwest Elevation

310 Market Street, Brookeville, MD
(Existing structure as seen from 308 Market Street)



Photo 2- East Elevation

310 Market Street, Brookeville, MD
(Existing structure as seen from backyard)

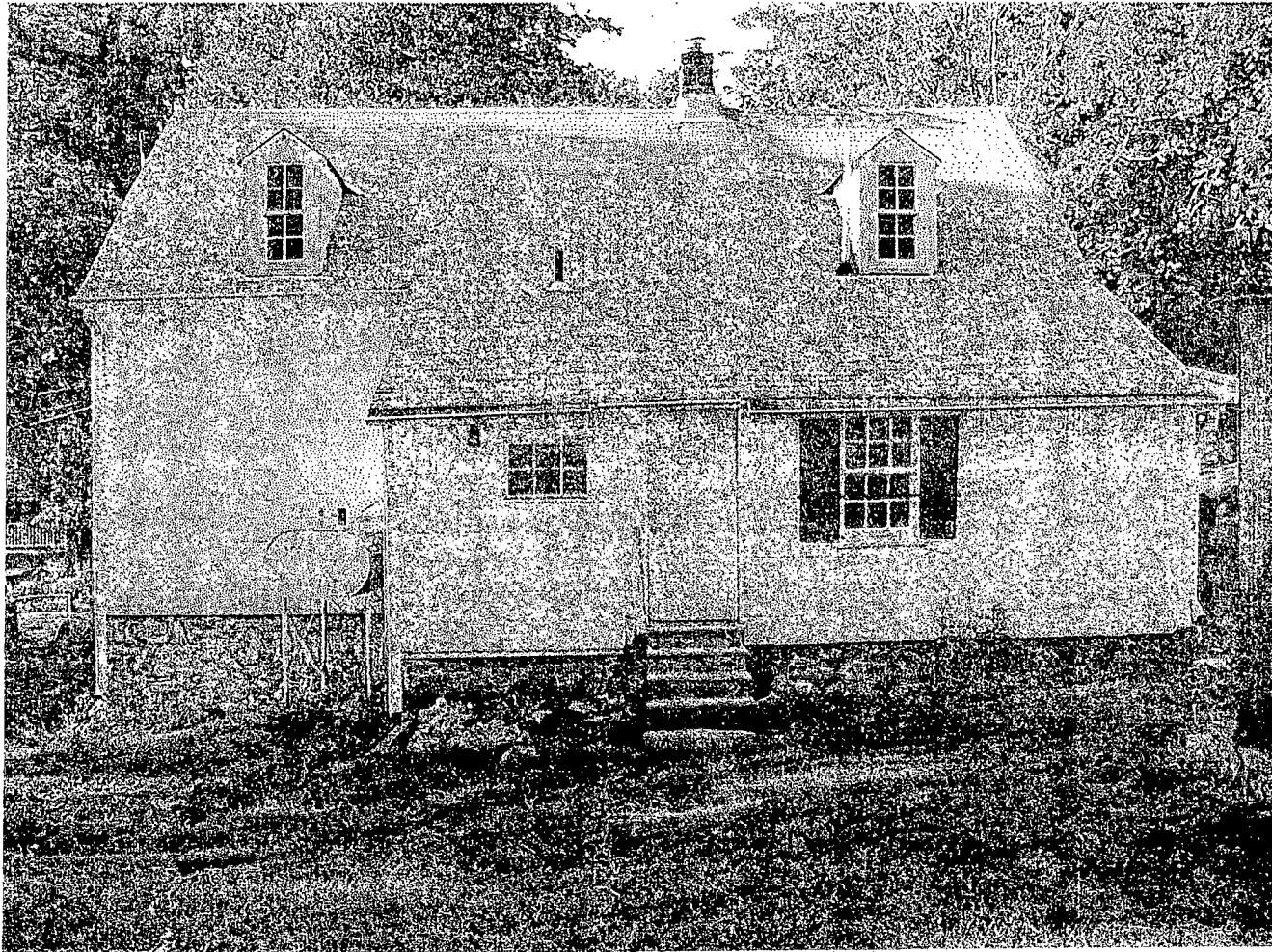


Photo 3- South Elevation

1 favor?

2 VOTE.

3 MS. O'MALLEY: Any opposed? Commissioner O'Malley
4 and Commissioner, having trouble with your name tonight,
5 Tim. Tim Duffy opposed. Tim did you want to state your
6 reasons?

7 MR. DUFFY: I just think the addition is too large
8 for the property, and I'd prefer not to see any changes in
9 the fenestration to the original.

10 MS. O'MALLEY: And my comment was the lot
11 coverage. So it's approved. Thank you.

12 MS. GALLAGHER: Thank you.

13 MS. O'MALLEY: The next case that we'll hear is
14 Case K, 310 Market Street. A brief staff report, please.

15 MS. OAKS: Yes. This is an outstanding resource
16 within the Brookeville Historic District. It is circa 1865
17 Victorian vernacular cottage. The applicants are proposing
18 to remove the existing cat slide roof from the rear
19 elevation of the house, and construct a new cross gable
20 roof, and rebuild the walls under the new gable and install
21 new wood simulated divided light windows and wood doors.
22 Also to install a new three bay shed roof dormer onto the
23 existing roof slope and install a new brick chimney on the
24 existing rear slope.

25 Staff is concerned about altering the rear cat
26 slide extension. It is an original feature of the house.

1 It is a rare roof structure form within Montgomery County
2 architectural history, and we feel that removing it and
3 replacing it with a cross gable structure will forever
4 change the form of the original massing and destroy this
5 character defining feature.

6 Therefore, we are not supporting the current
7 proposal as submitted, and are encouraging the applicants to
8 submit a proposal that would maintain the cat slide roof and
9 potentially one option would be some rear dormers or
10 something that could maintain that cat slide roof, but also
11 provide the necessary square footage that they would need in
12 that second story.

13 Saying that, the applicant's have been working
14 since the staff report was presented, and they have come up
15 with a sketch for your review, and I would like to kind of
16 pass it around. And in the meantime, the applicants and
17 their architect are here this evening, and I'll be happy to
18 entertain any questions you might have.

19 MS. O'MALLEY: Any questions for staff? Could the
20 applicants come up, please?

21 MR. BOOZ: Good evening, I'm Miche Booz.

22 MR. KERR: And I'm Stephen Kerr.

23 MS. O'MALLEY: Good evening. Actually, I'm not
24 sure everybody has had a chance to look at this and to
25 figure out --

26 MS. OAKS: I will explain that what you're seeing

1 is the cat slide being maintained as staff had requested,
2 and a gable dormer and a shed dormer being added to the rear
3 roof slope. You'll see that the cat slide is actually being
4 reconstructed on the opposite side elevation which was
5 historically a porch, a covered porch, which currently now
6 is not, it's open. And so they're reconstructing that on
7 that side.

8 As presented, certainly we'll be able to see a
9 more refined drawings and so forth and work with the
10 applicants, but in the sketch form, this is definitely the
11 direction that staff was asking the applicant to go in.

12 MR. JESTER: So do we have two proposals before us
13 tonight or one? I mean is this --

14 MR. BOOZ: The sketch you see in front of you is
15 really the same. The colors are slightly different and
16 that's all. The actual construction of it.

17 MR. FULLER: No, I think you're talking about the
18 what's submitted versus the new sketch tonight.

19 MR. BOOZ: There are two. There's the submission
20 and then there is the new alternative.

21 MR. FULLER: And I assume procedurally we're
22 saying that we probably want to continue this case and you
23 just are looking for input at this point?

24 MS. OAKS: They would have to ask for a
25 continuance in terms of the 45 days. So that would be
26 something that the applicant would have to ask for.

1 MR. BOOZ: I was under the impression this is
2 really more a conceptual discussion anyway, but so we have
3 brought a few sketches.

4 MS. O'MALLEY: It's a matter of if we look at what
5 you sent in, it probably would be denied. So in order to
6 avoid that, you could ask for a continuance and we could
7 give a few comments on this and then you could come back
8 with your plan.

9 MR. BOOZ: That's what we'll do.

10 MS. O'MALLEY: You'd like to have a continuance?

11 MR. BOOZ: Uh-huh.

12 MS. O'MALLEY: All right, the commissioners who
13 have had a chance to look at that, can you tell the
14 difference?

15 MR. FULLER: A couple of comments. One is in the
16 future, if we can make sure that we have a little bit better
17 in the way of existing conditions drawn because it's kind of
18 hard to, and the fact that it was submitted to really see
19 exactly what was there, I'm probably familiar with it, but
20 as it relates to the schemes, I definitely agree the revised
21 alternative is far more in keeping with what I think I'd
22 want to see there than what was originally submitted.

23 MR. BOOZ: I think the key difference between the
24 alternative we brought in this evening and the original
25 packet is that the, what was an open deck now has the same
26 roof form that, what was on the opposite side over it. So

1 the side elevation would be a mirror image of what was on
2 the other side. That's clear. So we're taking away a cat
3 slide but giving one back. How's that?

4 MS. O'MALLEY: Does that mean you're not keeping
5 the historic cat slide?

6 MR. BOOZ: We could keep the edge of it.

7 MS. OAKS: Yeah, that was my goal is to keep a
8 portion of it on that side.

9 MR. FULLER: If I'm looking at Circles 12 and 13,
10 can you sort of walk through what parts of the roofs and
11 masses are existing and what's new, because I'm still a
12 little bit lost as to where the existing house stopped.

13 MS. OAKS: Probably the better is Circle 23, the
14 photograph of the rear roof slopes. If that helps.

15 MR. BOOZ: We have some photographs that might be
16 helpful.

17 MS. OAKS: And then Circle 22 kind of gives you
18 the side elevation view of the cat slide.

19 MR. BOOZ: Circle 24 has a pretty good view of the
20 back.

21 MS. O'MALLEY: So if you had your gable on the
22 other side, then you would be able to retain the cat slide.

23 MR. BOOZ: Yeah. If we move the addition in other
24 words?

25 MS. O'MALLEY: Right. If you flipped your design.

26 MR. BOOZ: Yeah, we could do that. We were

1 originally hoping to use the existing foundation to put the
2 addition on it so the footprint would actually not change.
3 But we could flip the addition over. There are some minor
4 inconveniences that the plan might cause because you'd drive
'5 up on the side. You would drive up on the side that you
6 would hope that the porch would be on and then you know, get
7 out of your car and get up on the porch and go into the
8 kitchen. In this case, you'd have to walk around the
9 kitchen and go to the other side because we can't move the
10 driveway.

11 But so I'll just leave it for Kerr to do the
12 initial layout, but we could do that to save this roof, I
13 suppose.

14 MS. OAKS: Just to be clear, the existing
15 conditions, yes there is now, but historically, there would
16 have been, the cat slide would have continued on both sides.
17 It would have been a covered porch. The applicant actually
18 has some photographs showing that it was a covered porch at
19 one time. So it would have been --

20 MS. O'MALLEY: Oh, so they'd be restoring the cat
21 slide that was there?

22 MS. OAKS: Right. But what you're seeing now is
23 them restoring that portion of the roof slope.

24 MS. O'MALLEY: I see. Questions from other
25 commissioners? Thoughts up and down about whether they
26 should continue in this direction?

1 MR. JESTER: It's obviously a challenging case
2 because normally we like to see the addition on the rear of
3 the building. In this case, one of the more distinctive
4 features happens to be on the rear. And it is an
5 outstanding resource, which I think makes it even more of an
6 issue.

7 MS. O'MALLEY: So is there a feeling from the
8 commissions about whether this is the direction that you'd
9 want them to go in or do they need to start over and come
10 back in with a new submission, or a new submission with two
11 options, or come in for a preliminary?

12 MS. ALDERSON: I'd like to suggest if you're
13 willing that I think it would be worthwhile to look at the
14 two options for either retaining or recreating the cat
15 slide, but I think having the profile, then have it visible
16 from the street is going to make all the difference in the
17 world.

18 MR. BOOZ: Do you mean then to move the master
19 bedroom addition to the other side or to just retain part of
20 the roof so you can see it on the existing side? In other
21 words, do the dormer and then have part of the roof be
22 visible?

23 MS. ALDERSON: I would want to see an option where
24 you can see that profile. So yeah, I'd certainly consider
25 either approach.

26 MS. O'MALLEY: Any other comments from

1 commissioners?

2 MR. FULLER: I don't have a strong preference. I
3 think that the applicant could develop an option that is
4 approvable, so I don't know whether I'd say for sure that
5 they ought to come back for preliminary. I don't disagree
6 that I'd like to see some of the cat slide on both sides of
7 the addition. So whether you started to slide it over and
8 center it a little bit more rather than push it all one way
9 or the other. I think there's a couple of ways you could
10 solve it.

11 MR. BOOZ: If you center it, you don't really get
12 a deck.

13 MR. JESTER: I actually think the asymmetry is
14 kind of an important part of this. I would actually prefer
15 that it not be centered. But as far as whether it's on one
16 side or the other, I mean, the cross gables, two thirds of
17 the back of the facade, so if it's moved over only
18 preserving a third of the original cat slide, it's kind of
19 whether we keep part of the original cat slide on one side
20 or we create something that never existed on the other side.

21 MS. O'MALLEY: But I thought he was saying that it
22 had existed. You thought that it had had that original cat
23 slide that went all the way down?

24 MR. BOOZ: Well what we know, actually, I think
25 what we are trying to say is that what is now filled in was
26 a porch. In other words, on this picture here, all of this

1 was a porch underneath it. Is that clear?

2 MR. KERR: It was just an open porch that you
3 could walk up onto.

4 MS. ALDERSON: So it recreates a former cat slide
5 but also extends it all the way across.

6 MR. BOOZ: Right.

7 MS. ALDERSON: To an area where there was no porch
8 before.

9 MR. BOOZ: Right.

10 MS. ANAHTAR: I think the gable in the back is too
11 wide. And I don't think I led the shed dormer. I don't
12 think it works.

13 MS. O'MALLEY: All right, so I think you could
14 come in with a preliminary or come back in with another
15 HAWP.

16 MR. BURSTYN: So officially, is the applicant
17 withdrawing the case?

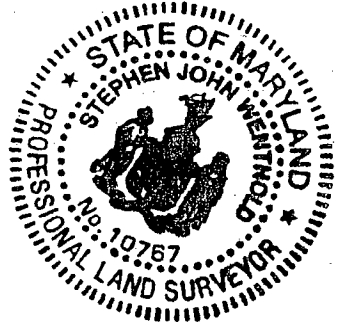
18 MR. BOOZ: Continued.

19 MR. BURSTYN: It's continued.

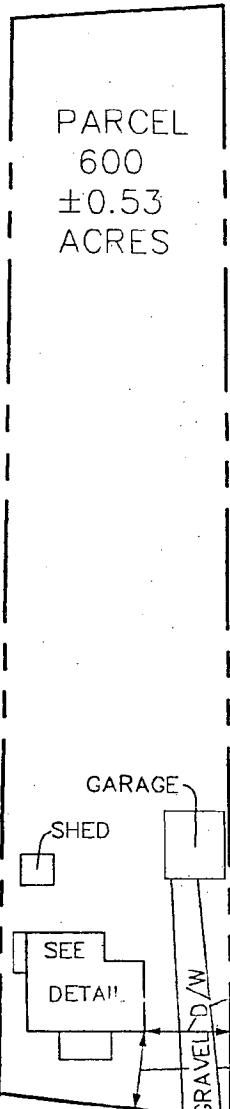
20 MS. O'MALLEY: All right. Sorry. Thank you. The
21 next case that we'll hear is -- is there anyone here tonight
22 to speak in opposition to Case L, 37 West Lenox Street?

23 MR. FULLER: Then I'll make a motion we approve
24 35/13-07C at 37 Lenox Street based on the staff report and
25 the staff recommendations.

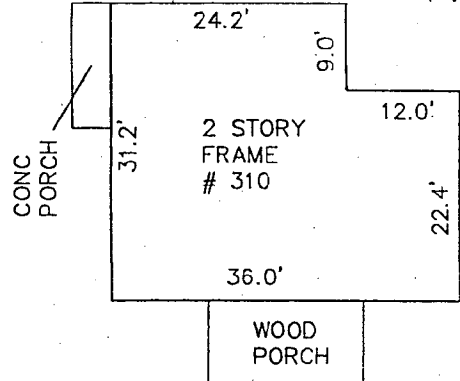
26 MS. O'MALLEY: Is there a second?



N81°45'00"W 66.00'



P. 588



DETAIL SCALE: 1" = 20'

S71°45'00"E 70.95'
MARKET STREET

No evidence of property corners was found. Apparent occupation is shown.

Date: 1-18-05 Scale: 1" = 60' Drn: JB
 Plat Book: NO TITLE REPORT FURNISHED
 Plat No.:
 Work Order: 05-1076
 Address: 310 MARKET STREET
 District: 8
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen Westhead



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: August 6, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Michele Oaks, Planner Coordinator *M*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #443157, New Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approve with Conditions at the March 28, 2007 meeting. The condition of approval was:

- Plans include
condition:
North*
1. New, rear porch will have inset wood pickets,
 2. The porch details will be developed for the construction set of drawings to be stamped by staff and will include balustrade, column, and floor details.
 3. The porch floor will be wood, tongue and groove.
 4. The east, side elevation's gable end window will not be replaced.
 5. The new trim to be installed will be wood.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITION AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Steven and Hannah Kerr (Miche Booz, Agent)

Address: 310 Market Street, Brookeville (Brookeville Historic District)

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240-777-5376

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHE BOOZ
Daytime Phone No.: 301/774-6911

Tax Account No.: 08-00731825
Name of Property Owner: Steven and Hannah Kerr Daytime Phone No.: 240-281-0142
Address: 310 Market ST Brookville MD 20833
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 310 Street: Market
Town/City: Brookville Nearest Cross Street: Georgia Avenue
Lot: 335 Block: N/A Subdivision: 5
Liber: _____ Folio: _____ Parcel: P600

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Stab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Steven Kerr _____ 1/13/07
Signature of owner or authorized agent Date

Approved: X w/CONDITIONS _____
Disapproved: _____ Signature: _____ Date: 3/29/07
Application/Permit No.: 443157 Date Filed: 1-17-07 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

1. **Written Description of Project:**

a. *Description of Existing Structure:*

310 Market Street was built circa 1865. It is a single family vernacular cottage with Victorian trim added. It is a wood frame house with painted wood and asbestos shingles.

b. *General Description of Project:*

Addition of dormers to rear of house to provide needed bedroom and bathroom space. A change of miscellaneous doors and windows on ground floor. (Note: All windows and doors to be wood simulated divided light.)

2. **Site Plan:**

- a. See attachment
- b. See attachment
- c. See attachment

3. **Plans and Elevations:**

- a. Schematic Construction Plans: See attachment
- b. Elevations: See attachment

4. **Materials Specifications:**

- a. Windows and Doors: Wood Simulated Divided Light
- b. Siding: Hardy Plank and Wood Shingles
- c. Roof: Metal to Match the Porch Roof

5. **Photographs:** See attachment

6. **Tree Survey:** N/A

7. **Addresses of Adjacent and Confronting Property Owners:** See attachment

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Steff & Hannah Keel
310 Market Street
Brookeville, MD 20833

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Les Unglesbee
308 Market Street
Brookeville, MD 20833

Joanne Keister
312 Market Street
Brookeville, MD 20833

S. Deeds Wells
309 Market Street
Brookeville, MD 20833

Margaret Kay
313 Market Street
Brookeville, MD 20833

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	310 Market Street, Brookeville	Meeting Date:	3/28/2007
Resource:	Outstanding Resource Brookeville Historic District	Report Date:	3/21/2007
Applicant:	Steven & Hannah Kerr (Miche Booz, Architect)	Public Notice:	3/14/2007
Review:	HAWP	Tax Credit:	Possible for Siding Rehab
Case Number:	23/65-07B CONTINUED	Staff:	Michele Oaks

PROPOSAL: Rear Addition, Rear Dormer Installation

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this Historic Area Work Permit (HAWP) application with the following conditions:

1. New, rear porch will have inset wood pickets,
2. The porch details will be developed for the construction set of drawings to be stamped by staff and will include balustrade, column, and floor details.
3. The porch floor will be wood, tongue and groove.
4. The east, side elevation's gable end window will not be replaced.
5. The new trim to be installed will be wood.

*Staff's
intended
condition,
North*

BACKGROUND:

The Commission held a public hearing regarding a HAWP application for the removal of the existing catslide roof and the construction of a new, cross gable roof onto the subject house at its February 28, 2007 hearing (transcripts of hearing attached beginning on circle 24). The report provided by staff recommended denial of the application as submitted. The applicants and their architect presented alternative design schemes at the public hearing, responding to the recommendations outlined in the staff report. The alternative design included the retainment of the existing catslide in its entirety and re-constructing the catslide on the southwestern corner of the house. Additionally, the drawings included the construction of large, rear gable and shed dormers projecting from the rear roof slope.

The majority of the Commission supported the alternative design direction and encouraged the applicant to work with staff. The applicant asked for a continuance of the hearing.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Outstanding Resource in the Brookeville Historic District
STYLE: Victorian Vernacular
DATE: c1865

The house is a three-bay, wood frame cottage set upon a stone foundation with a central, cross-gable detailed with bargeboard, wood shingles and an arched window. The roof slope along only the east elevation fashions a catslide. The windows are mostly, true-divided light, 6/6 wood windows. The house is currently sheathed in asbestos shingles on the first floor.

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house, a garage and a shed on the .53 acres of land. The property contains many mature trees.

HISTORIC CONTEXT

An excerpt from Places from the Past:

Richard Thomas founded the community of Brookeville in 1794 by on land his wife Deborah Brooke Thomas inherited from grandfather James Brooke. Brooke was an influential Quaker settler and major landholder in Montgomery County. Thomas laid out 56 quarter-acre lots sited along two major streets and two side streets. The majority of houses in the historic district date from the 1800s with several Federal style buildings that were built in the early 1800s.

Quickly growing as a bustling market town, Brookeville had two mills, a tanning yard, stores, a post office, and two schools. During the early 1800s, Brookeville was a center for commerce and education serving the surrounding, largely agricultural area. The Brookeville Academy was a regionally prominent center of learning, which attracted students from Baltimore, Washington, and Frederick.

Brookeville is a Master Plan and National Register Historic District.

PROPOSAL:

The applicant proposes to change the existing house by:

1. Constructing a collection of gabled and shed dormers along the rear slope of the existing house.
2. Extend the existing, roof slope on the southwest corner of the house to create an open porch, which will re-construct the original catslide roof along the entire width of the rear elevation of the house.
3. Install two new, simulated divided light wood windows in the east, side elevation.
4. Remove an existing door and shed roof portico on the east, side elevation.
5. Install two, sets of French doors on the south elevation of the house to lead out onto the new, covered porch.
6. Install a new door on the rear section of the west elevation of the existing massing to lead out onto the new, covered porch.

Proposed Materials

- Windows: Simulated Wood Divided Light
- Siding: HardiPlank and Wood Shingles
- Roof: Metal to Match the Porch Roof

APPLICABLE GUIDELINES:

When reviewing alterations and additions to outstanding resources within the Brookeville *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed project is consistent with the recommendations that staff provided in the previous staff report. The design retains the original catslide, by offsetting the dormers away from the side elevations of the house, and brings the height of the ridge lower than the ridge of the main massing. Secondly, the design re-constructs the open porch along the southwestern corner of the house and thus, returns that catslide detail to this portion of the house as well.

The only concern staff has with the proposal is the applicant's desire to replace the 6/6 true-divided light, wood window in the gable end of the east elevation with a simulated divided light casement window. The goal of this window replacement is to provide egress for code compliance. Staff should be able to work with the Department of Permitting Services, utilizing the Maryland Smart Codes, to waive the egress requirement for this window in order to retain this piece of historic fabric.

The locations of the new, windows and doors to be installed in locations where there never were openings is compatible with the existing architectural style and will be differentiated from the original as the applicants are proposing solid wood, simulated divided light windows. The new doors to be installed are at the rear of the resource and will be located under a new covered porch, fabricated to re-construct an original detail.

We encourage the applicant to remove the asbestos shingles on the house as part of this work program. Exposing the original siding and rehabilitating the entire house would enhance the project. The removal and rehabilitation of the original siding would also be eligible for the County (10%) and possibly the State (20%) tax credit programs.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



255 ROCKVILLE PIKE 2ND FLOOR FRI - FRI (MD 20833)
240-774-6376

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT - CONCEPTUAL

Contact Person: NICHE BOOZ
Daytime Phone No.: 301/774-6911

Tax Account No.: 08-00731825
Name of Property Owner: Steven and Hannah Kerr Daytime Phone No.: 240-281-0142
Address: 310 Market ST Brookville MD 20833
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE
House Number: 310 Street: Market
Town/City: Brookville Nearest Cross Street: Georgia Avenue
Lot: 335 Block: N/A Subdivision: 5
Liber: _____ Folio: _____ Parcel: P600

PART ONE: TYPE OF PERMIT ACTION AND USE
1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Remove
 Move Install Wreck/Reuse
 Revision Repair Revocable
CHECK ALL APPLICABLE:
 A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.
[Signature] _____
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 443157 Date Filed: 1-17-05 Date Issued: _____

Edit 6/21/99 **SEE REVERSE SIDE FOR INSTRUCTIONS**

1. **Written Description of Project:**
 - a. *Description of Existing Structure:*

310 Market Street was built circa 1865. It is a single family vernacular cottage with Victorian trim added. It is a wood frame house with painted wood and asbestos shingles.
 - b. *General Description of Project:*

Addition of dormers to rear of house to provide needed bedroom and bathroom space. A change of miscellaneous doors and windows on ground floor. (Note: All windows and doors to be wood simulated divided light.)
2. **Site Plan:**
 - a. See attachment
 - b. See attachment
 - c. See attachment
3. **Plans and Elevations:**
 - a. Schematic Construction Plans: See attachment
 - b. Elevations: See attachment
4. **Materials Specifications:**
 - a. Windows and Doors: Wood Simulated Divided Light
 - b. Siding: Hardy Plank and Wood Shingles
 - c. Roof: Metal to Match the Porch Roof
5. **Photographs:** See attachment
6. **Tree Survey:** N/A
7. **Addresses of Adjacent and Confronting Property Owners:** See attachment





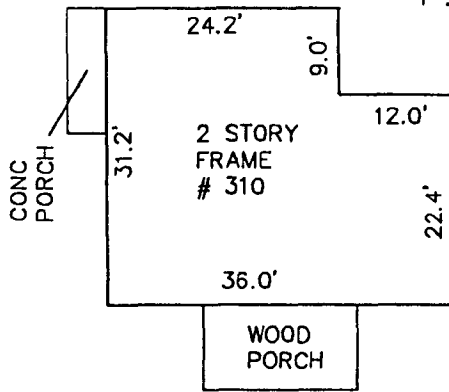
N81°45'00"W 66.00'

PARCEL
600
±0.53
ACRES

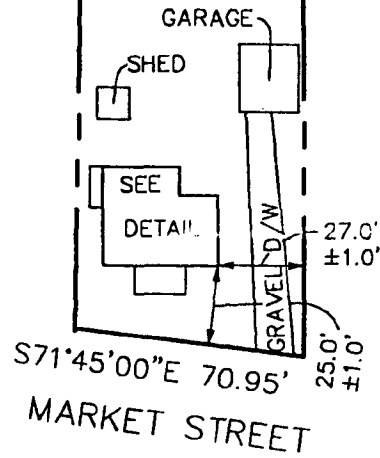
S12°30'00"W 338.25'

N11°30'00"E 349.80'

P. 588



DETAIL SCALE: 1" = 20'



P. 590



No evidence of property corners was found. Apparent occupation is shown.

Date: 1-18-05 Scale: 1" = 60' Drn: S.B.
 Plat Book:
 Plat No.: NO TITLE REPORT FURNISHED
 Work Order: 05-1076
 Address: 310 MARKET STREET
 District: 8
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing the best description of record. This survey is not a boundary survey and the location and existence of property corners is neither guaranteed nor implied. Fence lines shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

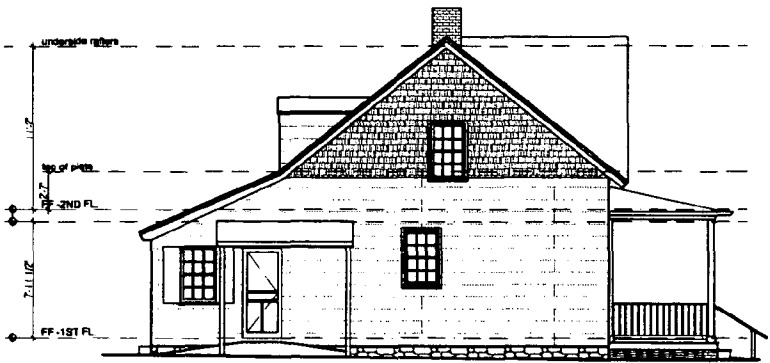
LOCATION DRAWING
 LIBER 13546
 FOLIO 360

Stephen J. Wenthold

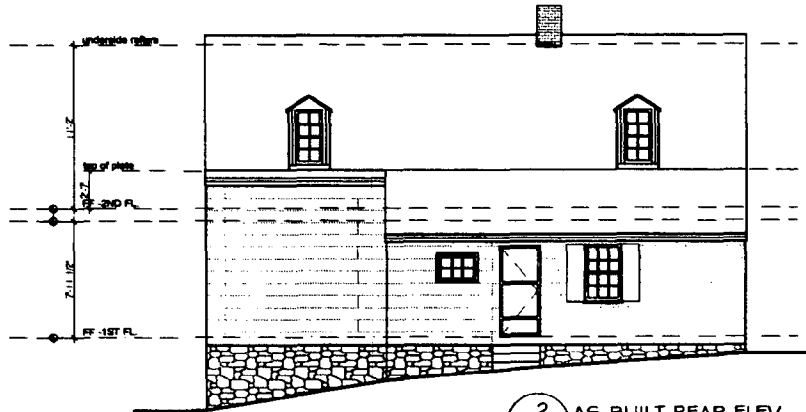


Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879

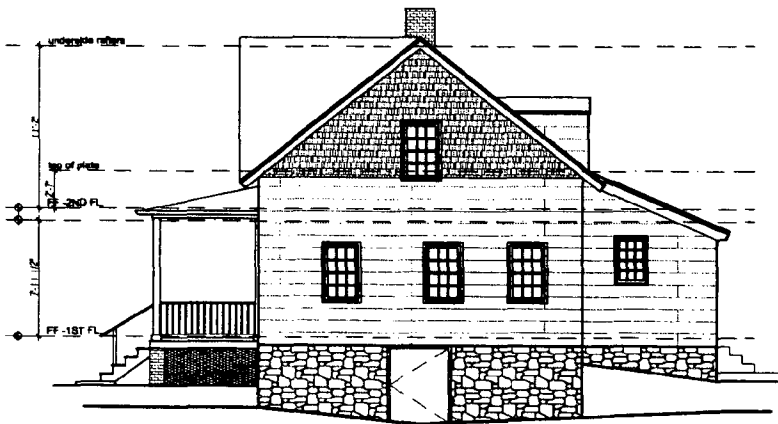
NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment of



1 AS-BUILT EAST SIDE ELEV.
AB2 SCALE: 1/8"=1'-0"



2 AS-BUILT REAR ELEV.
AB2 SCALE: 1/8"=1'-0"



3 AS-BUILT WEST SIDE ELEV.
AB2 SCALE: 1/8"=1'-0"



Porch Not Measured
in Detail

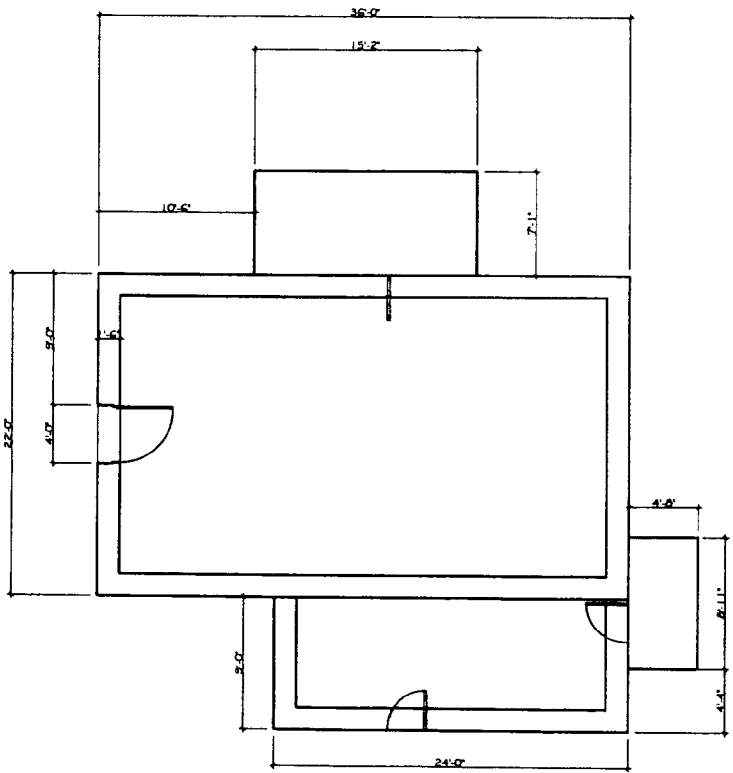
4 AS-BUILT FRONT ELEV.
AB2 SCALE: 1/8"=1'-0"

MICHE BOOZ
ARCHITECT
AB2
208 Market St
Brookville, Maryland 20833
(301) 774-0811
fax: 774-1988

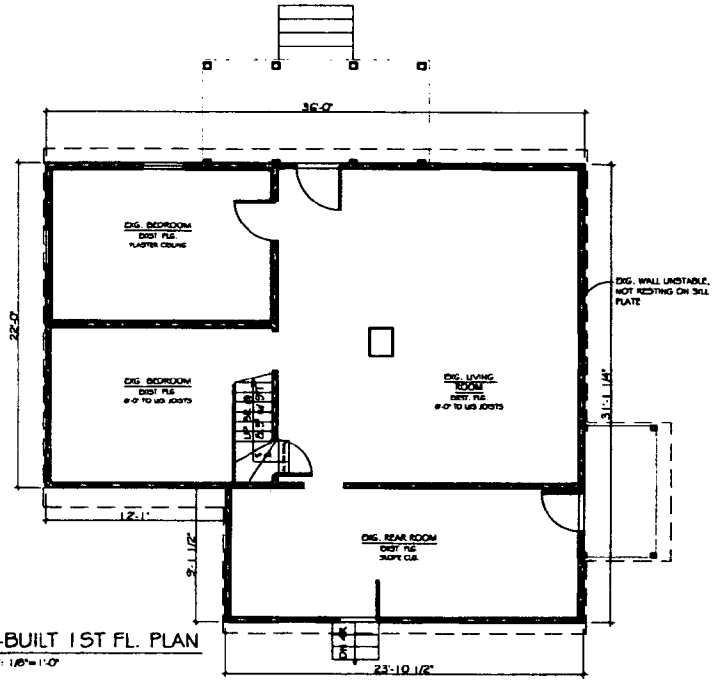
Project:
KERR HOUSE
BROOKVILLE, MD 20833
Montgomery County

Drawings:
AS BUILT
ELEVATIONS
Date:
AS BUILTS OCT - NOV 06

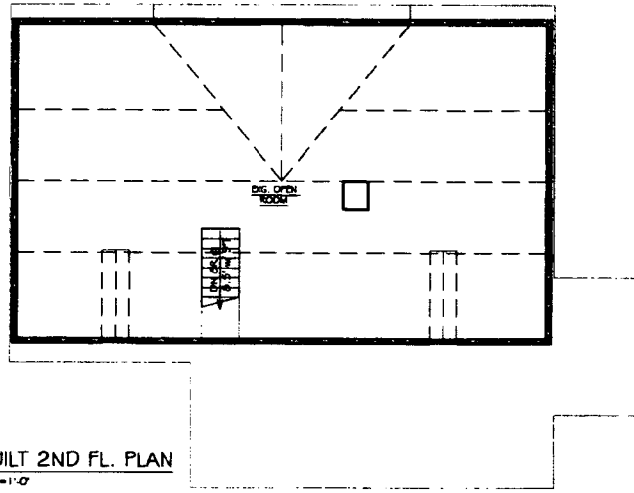
KERR HOUSE AS-BUILTS - NOV. 8, 2006



1 AS-BUILT BSMT. PLAN
ABI SCALE: 1/8"=1'-0"



2 AS-BUILT 1ST FL. PLAN
ABI SCALE: 1/8"=1'-0"



3 AS-BUILT 2ND FL. PLAN
ABI SCALE: 1/8"=1'-0"

MICHE BOOZ
ARCHITECT
AB1
205 North St
Brookville, MD 20833
(301) 774-8811
fax: 774-1088

Project:
KERR HOUSE
BROOKVILLE, MD 20833
Montgomery County

Drawings:
AS-BUILT PLANS

Date:
AS BUILTS OCT - NOV 06

KERR HOUSE AS-BUILTS - NOV. 8, 2006

underside rafters
11'-2"
top of plate
1'-2.7"
FF -2ND FL.
7'-11 1/2"
FF -1ST FL.



1 NORTH SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

underside rafters
11'-2"
top of plate
1'-2.7"
FF -2ND FL.
7'-11 1/2"
FF -1ST FL.

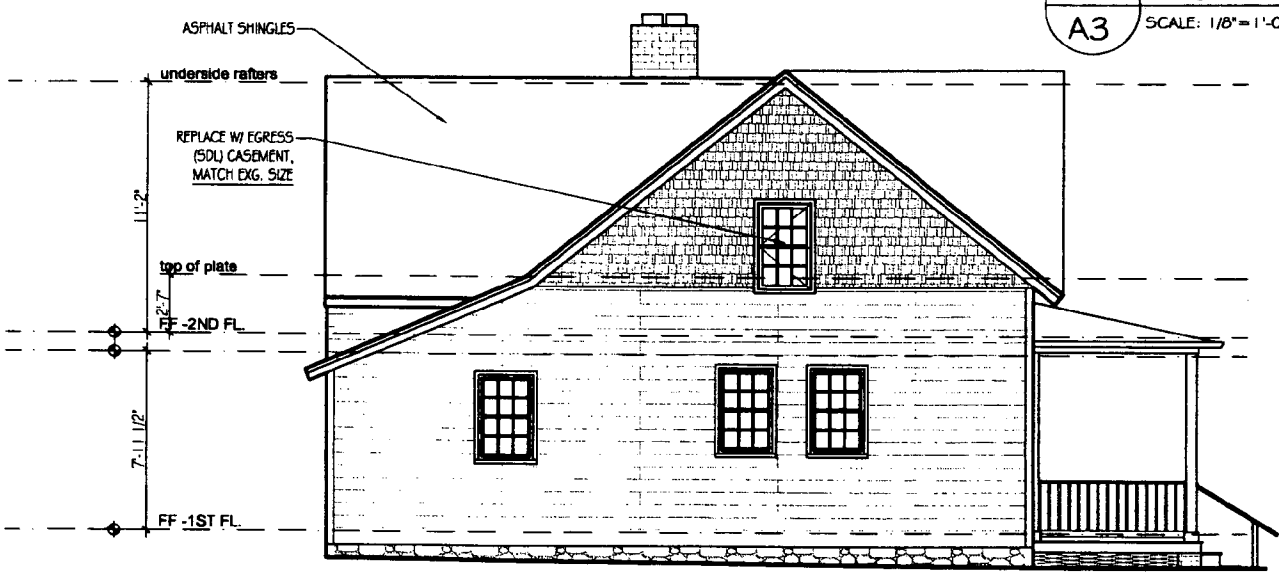


2 SOUTH SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

MICHE BOOZ ARCHITECT 200 Market St Brookeville Maryland 20833 (301)774-0011 fax: 774-1808	
Project: Kerr Residence 310 Market St. Brookeville, MD 20833	
<h1>A4</h1>	
Drawing: West and East Elev. 1/8" = 1'-0"	
Date: Mar. 12, 2007	



1 WEST SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 EAST SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

MICHE BOOZ
ARCHITECT
208 Market St
Brookville
Maryland 20833
(301)774 8811
fax: 774 1908

Project:
Kerr Residence
310 Market St.
Brookville, MD 20833

A3

Drawings: West and
East Elev.
1/8" = 1'-0"

Date:
Mar. 12, 2007

MICHE BOOZ
ARCHITECT

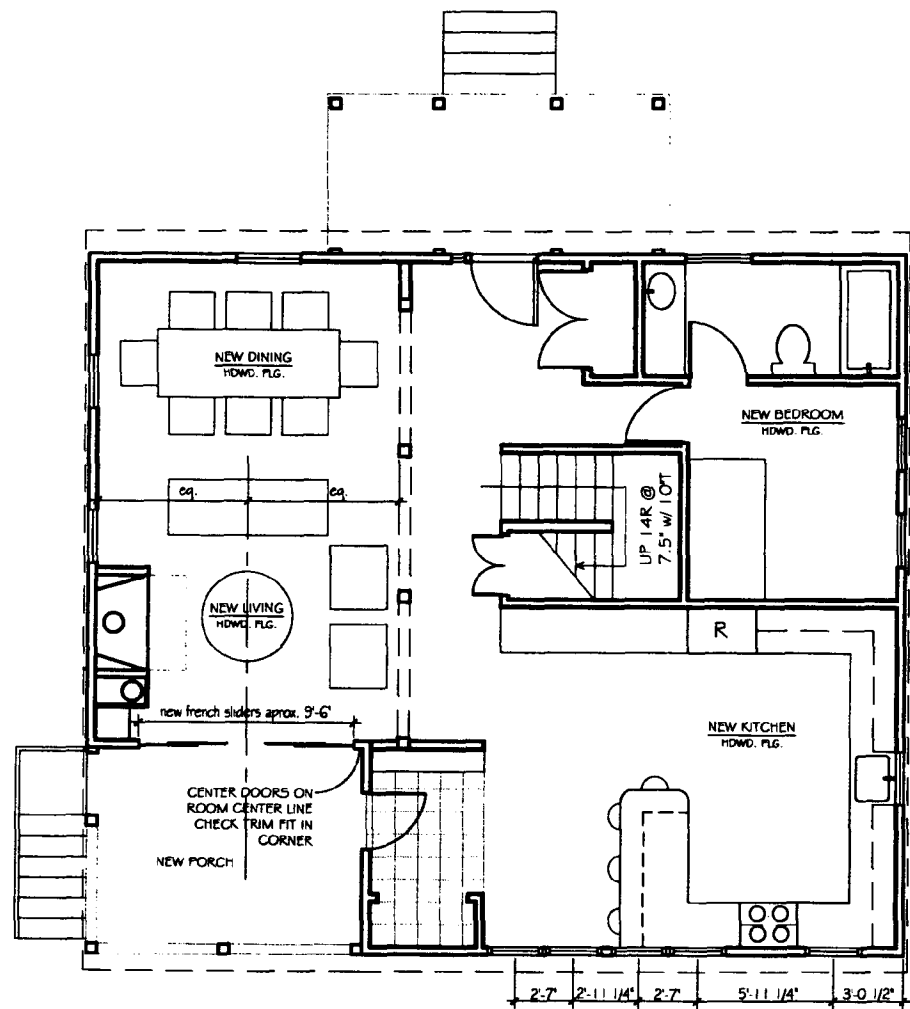
208 Market St
Brookville
Maryland 20833
(301)794-0811
fax 794-1908

Project:
Kerr Residence
310 Market St.
Brookville, MD 20833

A1

Drawing: First Floor
Plan
1/8"=1'-0"

Date:
Mar. 12, 2007



1st FLOOR PLAN
SCALE: 1/8"=1'-0"

MICHE BOOZ
ARCHITECT

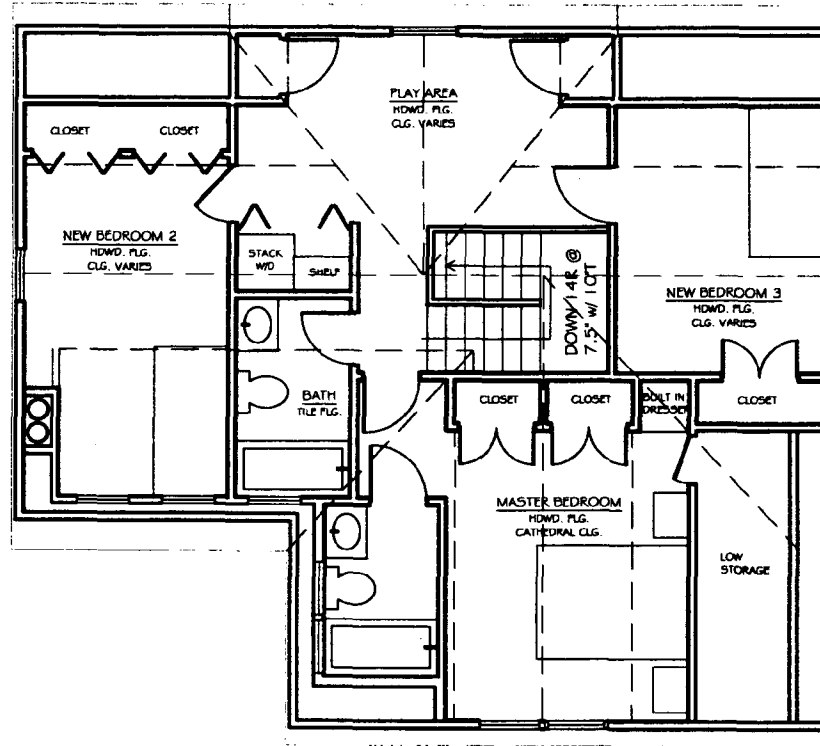
208 Market St.
Brookeville
Maryland 20833
(301)774-0811
Fax: 774-1928

Project:
Kerr Residence
310 Market St.
Brookeville, MD 20833

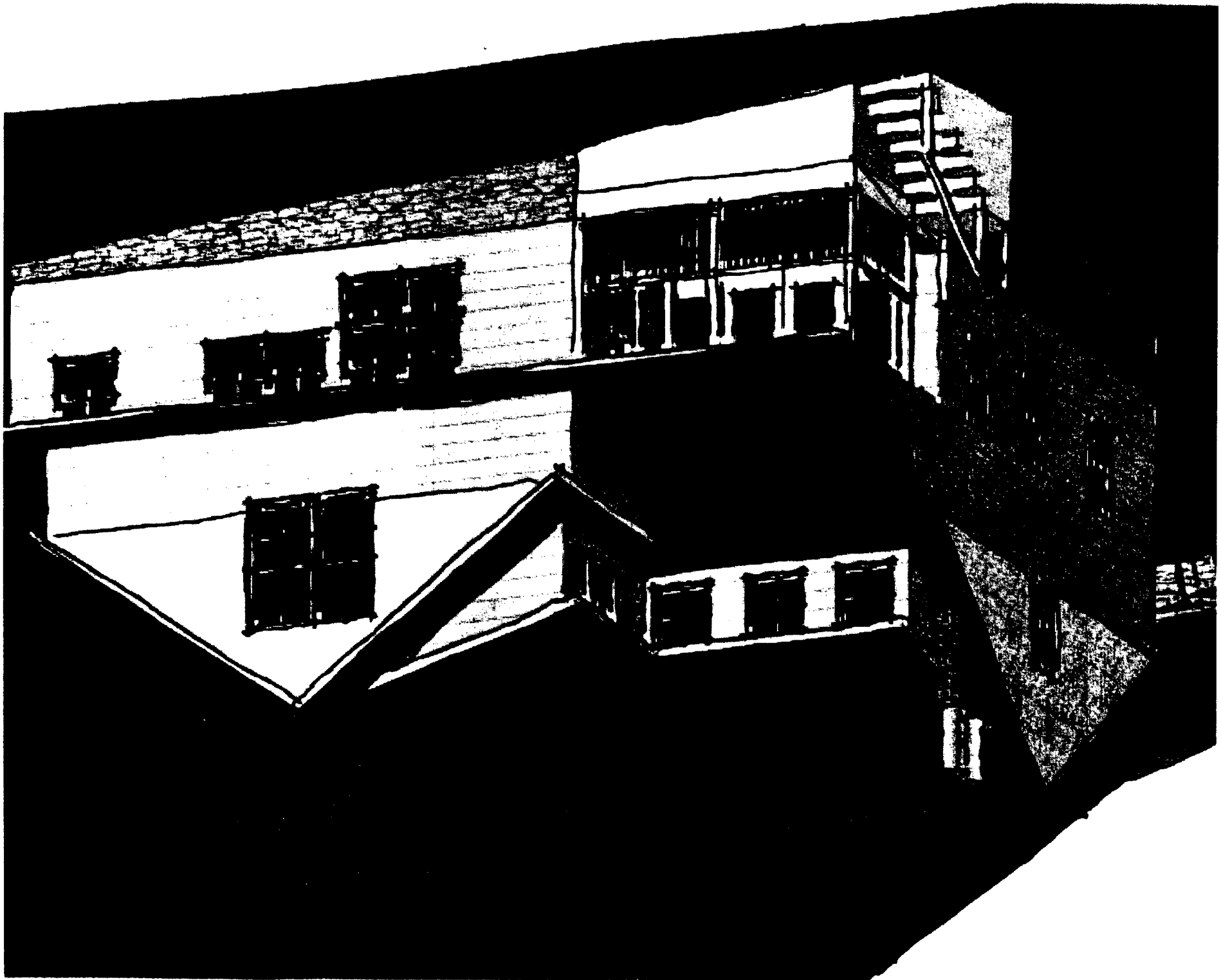
A2

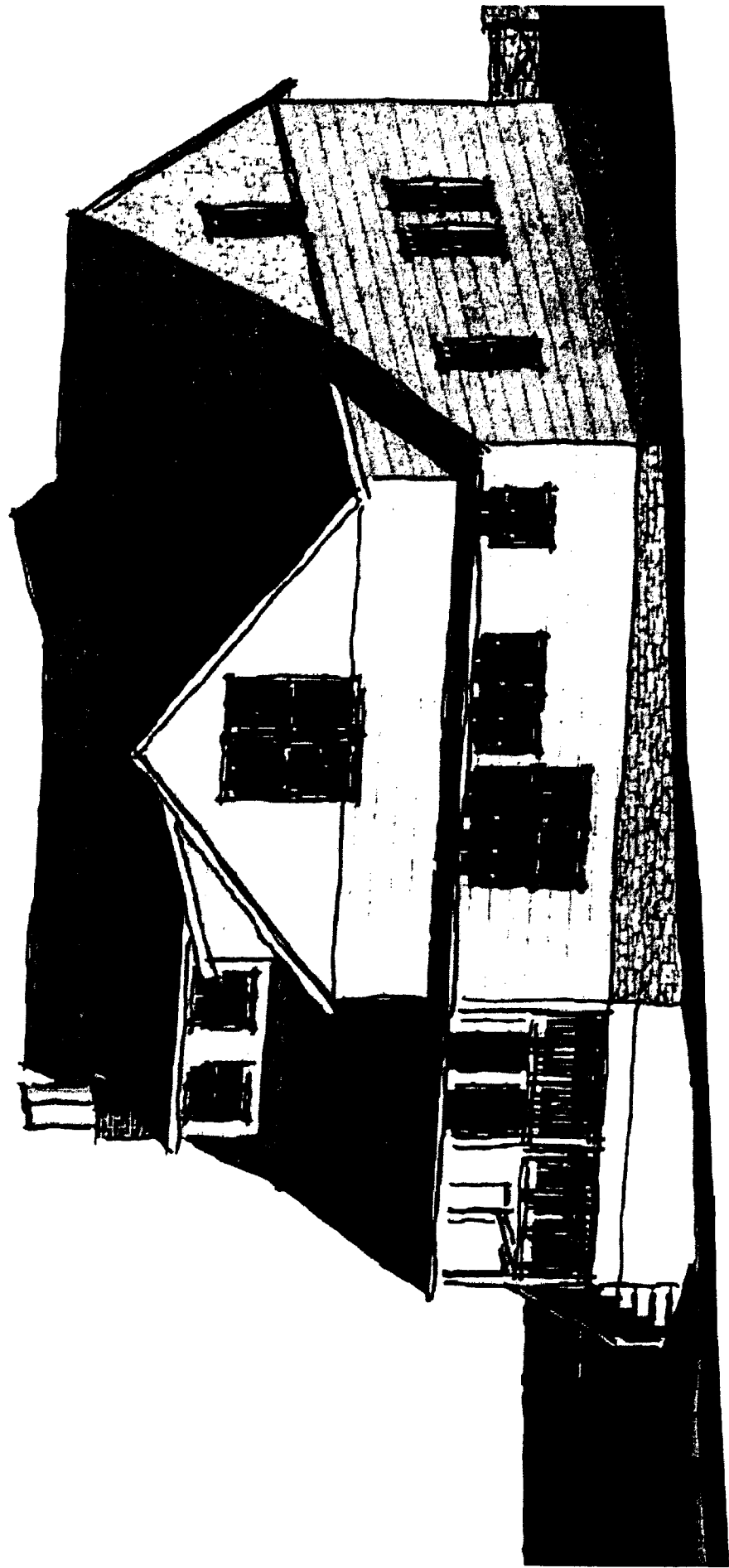
Drawing: Second
Floor Plan
1/8"=1'-0"

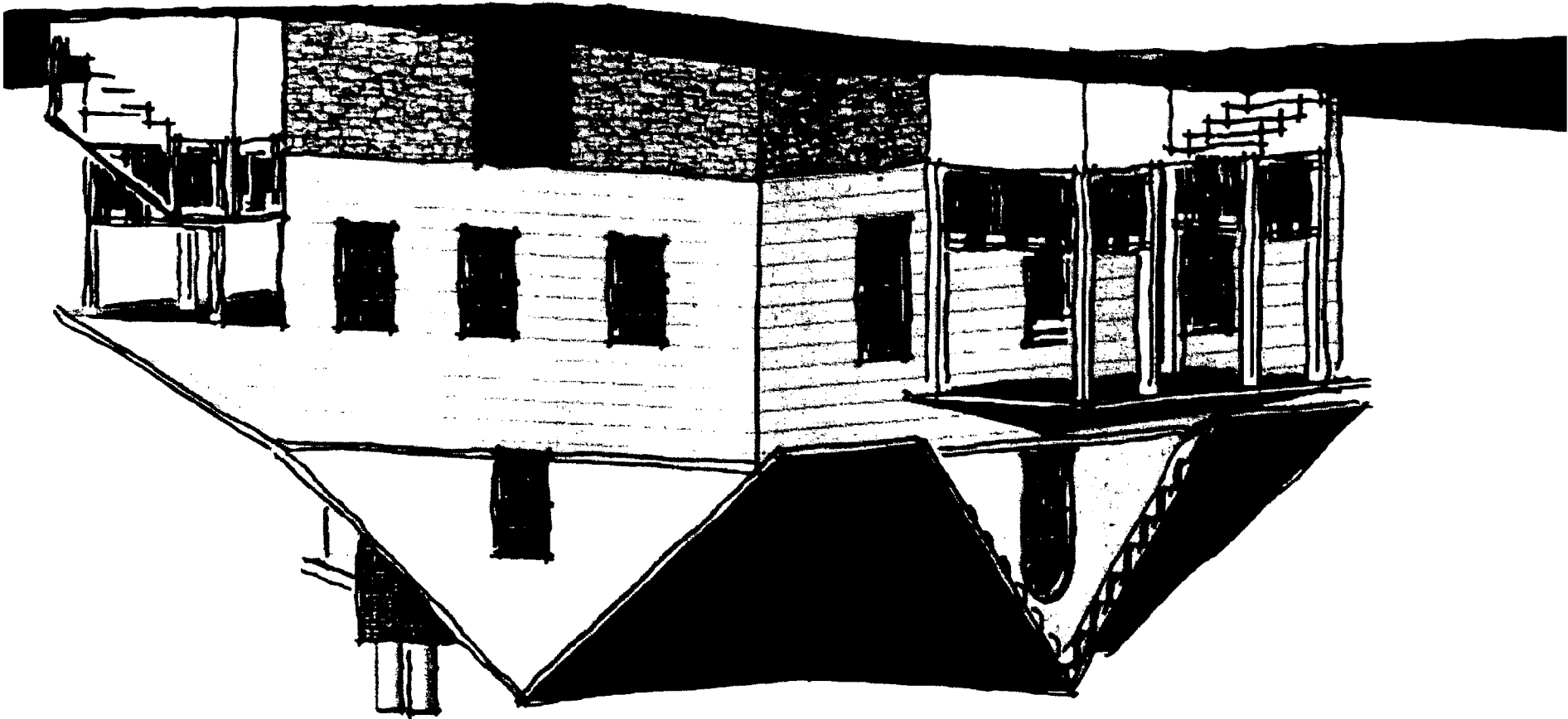
Date:
Mar. 12, 2007

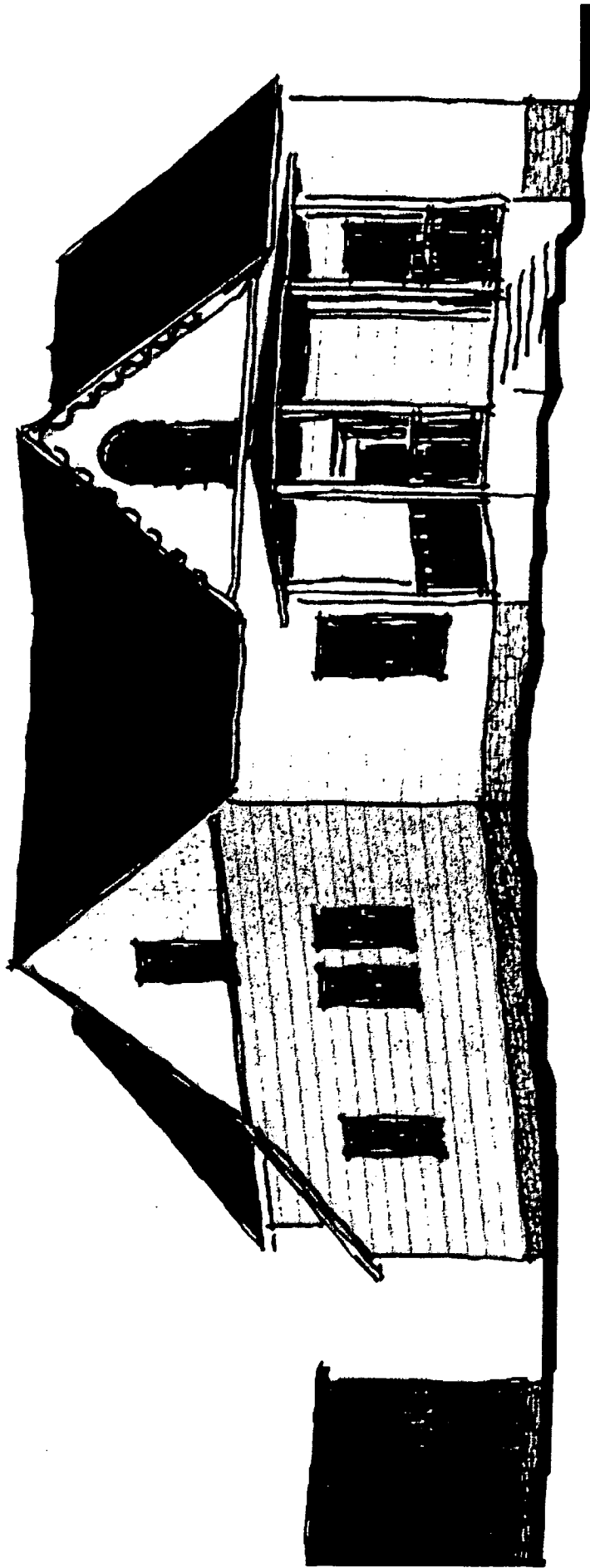


1 2nd FLOOR PLAN
A2 SCALE: 1/8"=1'-0"









310 Market Street, Brookeville, MD

(Existing structure as seen from 309 Market Street and Route 97))



Existing Front Elevation (No change in plan)

310 Market Street

(as viewed from public right-of-way)

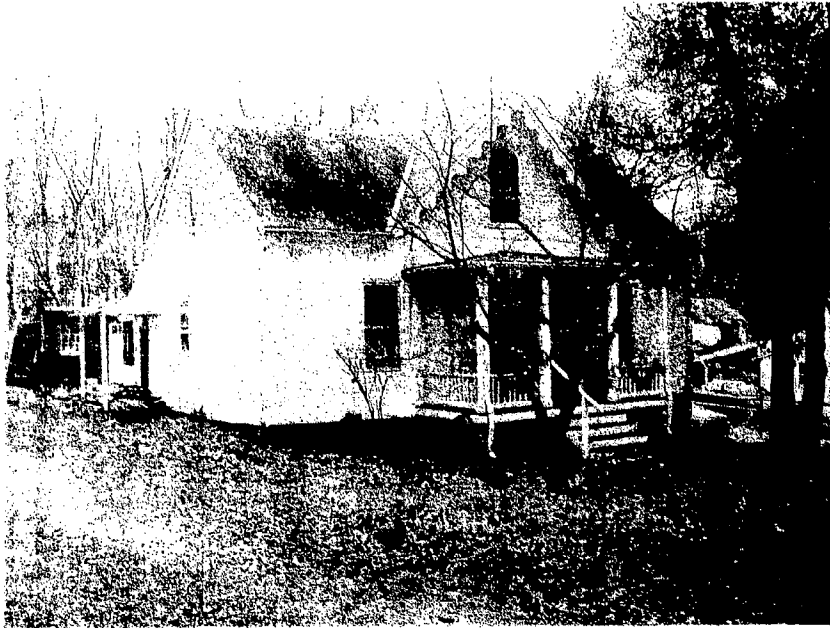


Photo 1- View from Market Street going North



Photo 2- View from Market Street going South

310 Market Street, Brookeville, MD

(Existing structure as seen from 312 Market Street)



Photo 4- Southwest Elevation



Photo 5- Northwest Elevation

310 Market Street, Brookeville, MD
(Existing structure as seen from 308 Market Street)



Photo 2- East Elevation

310 Market Street, Brookeville, MD
(Existing structure as seen from backyard)



Photo 3- South Elevation

1 favor?

2 VOTE.

3 MS. O'MALLEY: Any opposed? Commissioner O'Malley
4 and Commissioner, having trouble with your name tonight,
5 Tim. Tim Duffy opposed. Tim did you want to state your
6 reasons?

7 MR. DUFFY: I just think the addition is too large
8 for the property, and I'd prefer not to see any changes in
9 the fenestration to the original.

10 MS. O'MALLEY: And my comment was the lot
11 coverage. So it's approved. Thank you.

12 MS. GALLAGHER: Thank you.

13 MS. O'MALLEY: The next case that we'll hear is
14 Case K, 310 Market Street. A brief staff report, please.

15 MS. OAKS: Yes. This is an outstanding resource
16 within the Brookeville Historic District. It is circa 1865
17 Victorian vernacular cottage. The applicants are proposing
18 to remove the existing cat slide roof from the rear
19 elevation of the house, and construct a new cross gable
20 roof, and rebuild the walls under the new gable and install
21 new wood simulated divided light windows and wood doors.
22 Also to install a new three bay shed roof dormer onto the
23 existing roof slope and install a new brick chimney on the
24 existing rear slope.

25 Staff is concerned about altering the rear cat
26 slide extension. It is an original feature of the house.

1 It is a rare roof structure form within Montgomery County
2 architectural history, and we feel that removing it and
3 replacing it with a cross gable structure will forever
4 change the form of the original massing and destroy this
5 character defining feature.

6 Therefore, we are not supporting the current
7 proposal as submitted, and are encouraging the applicants to
8 submit a proposal that would maintain the cat slide roof and
9 potentially one option would be some rear dormers or
10 something that could maintain that cat slide roof, but also
11 provide the necessary square footage that they would need in
12 that second story.

13 Saying that, the applicant's have been working
14 since the staff report was presented, and they have come up
15 with a sketch for your review, and I would like to kind of
16 pass it around. And in the meantime, the applicants and
17 their architect are here this evening, and I'll be happy to
18 entertain any questions you might have.

19 MS. O'MALLEY: Any questions for staff? Could the
20 applicants come up, please?

21 MR. BOOZ: Good evening, I'm Miche Booz.

22 MR. KERR: And I'm Stephen Kerr.

23 MS. O'MALLEY: Good evening. Actually, I'm not
24 sure everybody has had a chance to look at this and to
25 figure out --

26 MS. OAKS: I will explain that what you're seeing

1 is the cat slide being maintained as staff had requested,
2 and a gable dormer and a shed dormer being added to the rear
3 roof slope. You'll see that the cat slide is actually being
4 reconstructed on the opposite side elevation which was
5 historically a porch, a covered porch, which currently now
6 is not, it's open. And so they're reconstructing that on
7 that side.

8 As presented, certainly we'll be able to see a
9 more refined drawings and so forth and work with the
10 applicants, but in the sketch form, this is definitely the
11 direction that staff was asking the applicant to go in.

12 MR. JESTER: So do we have two proposals before us
13 tonight or one? I mean is this --

14 MR. BOOZ: The sketch you see in front of you is
15 really the same. The colors are slightly different and
16 that's all. The actual construction of it.

17 MR. FULLER: No, I think you're talking about the
18 what's submitted versus the new sketch tonight.

19 MR. BOOZ: There are two. There's the submission
20 and then there is the new alternative.

21 MR. FULLER: And I assume procedurally we're
22 saying that we probably want to continue this case and you
23 just are looking for input at this point?

24 MS. OAKS: They would have to ask for a
25 continuance in terms of the 45 days. So that would be
26 something that the applicant would have to ask for.

1 MR. BOOZ: I was under the impression this is
2 really more a conceptual discussion anyway, but so we have
3 brought a few sketches.

4 MS. O'MALLEY: It's a matter of if we look at what
5 you sent in, it probably would be denied. So in order to
6 avoid that, you could ask for a continuance and we could
7 give a few comments on this and then you could come back
8 with your plan.

9 MR. BOOZ: That's what we'll do.

10 MS. O'MALLEY: You'd like to have a continuance?

11 MR. BOOZ: Uh-huh.

12 MS. O'MALLEY: All right, the commissioners who
13 have had a chance to look at that, can you tell the
14 difference?

15 MR. FULLER: A couple of comments. One is in the
16 future, if we can make sure that we have a little bit better
17 in the way of existing conditions drawn because it's kind of
18 hard to, and the fact that it was submitted to really see
19 exactly what was there, I'm probably familiar with it, but
20 as it relates to the schemes, I definitely agree the revised
21 alternative is far more in keeping with what I think I'd
22 want to see there than what was originally submitted.

23 MR. BOOZ: I think the key difference between the
24 alternative we brought in this evening and the original
25 packet is that the, what was an open deck now has the same
26 roof form that, what was on the opposite side over it. So

1 the side elevation would be a mirror image of what was on
2 the other side. That's clear. So we're taking away a cat
3 slide but giving one back. How's that?

4 MS. O'MALLEY: Does that mean you're not keeping
5 the historic cat slide?

6 MR. BOOZ: We could keep the edge of it.

7 MS. OAKS: Yeah, that was my goal is to keep a
8 portion of it on that side.

9 MR. FULLER: If I'm looking at Circles 12 and 13,
10 can you sort of walk through what parts of the roofs and
11 masses are existing and what's new, because I'm still a
12 little bit lost as to where the existing house stopped.

13 MS. OAKS: Probably the better is Circle 23, the
14 photograph of the rear roof slopes. If that helps.

15 MR. BOOZ: We have some photographs that might be
16 helpful.

17 MS. OAKS: And then Circle 22 kind of gives you
18 the side elevation view of the cat slide.

19 MR. BOOZ: Circle 24 has a pretty good view of the
20 back.

21 MS. O'MALLEY: So if you had your gable on the
22 other side, then you would be able to retain the cat slide.

23 MR. BOOZ: Yeah. If we move the addition in other
24 words?

25 MS. O'MALLEY: Right. If you flipped your design.

26 MR. BOOZ: Yeah, we could do that. We were

1 originally hoping to use the existing foundation to put the
2 addition on it so the footprint would actually not change.
3 But we could flip the addition over. There are some minor
4 inconveniences that the plan might cause because you'd drive
5 up on the side. You would drive up on the side that you
6 would hope that the porch would be on and then you know, get
7 out of your car and get up on the porch and go into the
8 kitchen. In this case, you'd have to walk around the
9 kitchen and go to the other side because we can't move the
10 driveway.

11 But so I'll just leave it for Kerr to do the
12 initial layout, but we could do that to save this roof, I
13 suppose.

14 MS. OAKS: Just to be clear, the existing
15 conditions, yes there is now, but historically, there would
16 have been, the cat slide would have continued on both sides.
17 It would have been a covered porch. The applicant actually
18 has some photographs showing that it was a covered porch at
19 one time. So it would have been --

20 MS. O'MALLEY: Oh, so they'd be restoring the cat
21 slide that was there?

22 MS. OAKS: Right. But what you're seeing now is
23 them restoring that portion of the roof slope.

24 MS. O'MALLEY: I see. Questions from other
25 commissioners? Thoughts up and down about whether they
26 should continue in this direction?

1 MR. JESTER: It's obviously a challenging case
2 because normally we like to see the addition on the rear of
3 the building. In this case, one of the more distinctive
4 features happens to be on the rear. And it is an
5 outstanding resource, which I think makes it even more of an
6 issue.

7 MS. O'MALLEY: So is there a feeling from the
8 commissions about whether this is the direction that you'd
9 want them to go in or do they need to start over and come
10 back in with a new submission, or a new submission with two
11 options, or come in for a preliminary?

12 MS. ALDERSON: I'd like to suggest if you're
13 willing that I think it would be worthwhile to look at the
14 two options for either retaining or recreating the cat
15 slide, but I think having the profile, then have it visible
16 from the street is going to make all the difference in the
17 world.

18 MR. BOOZ: Do you mean then to move the master
19 bedroom addition to the other side or to just retain part of
20 the roof so you can see it on the existing side? In other
21 words, do the dormer and then have part of the roof be
22 visible?

23 MS. ALDERSON: I would want to see an option where
24 you can see that profile. So yeah, I'd certainly consider
25 either approach.

26 MS. O'MALLEY: Any other comments from

1 commissioners?

2 MR. FULLER: I don't have a strong preference. I
3 think that the applicant could develop an option that is
4 approvable, so I don't know whether I'd say for sure that
5 they ought to come back for preliminary. I don't disagree
6 that I'd like to see some of the cat slide on both sides of
7 the addition. So whether you started to slide it over and
8 center it a little bit more rather than push it all one way
9 or the other. I think there's a couple of ways you could
10 solve it.

11 MR. BOOZ: If you center it, you don't really get
12 a deck.

13 MR. JESTER: I actually think the asymmetry is
14 kind of an important part of this. I would actually prefer
15 that it not be centered. But as far as whether it's on one
16 side or the other, I mean, the cross gables, two thirds of
17 the back of the facade, so if it's moved over only
18 preserving a third of the original cat slide, it's kind of
19 whether we keep part of the original cat slide on one side
20 or we create something that never existed on the other side.

21 MS. O'MALLEY: But I thought he was saying that it
22 had existed. You thought that it had had that original cat
23 slide that went all the way down?

24 MR. BOOZ: Well what we know, actually, I think
25 what we are trying to say is that what is now filled in was
26 a porch. In other words, on this picture here, all of this

1 was a porch underneath it. Is that clear?

2 MR. KERR: It was just an open porch that you
3 could walk up onto.

4 MS. ALDERSON: So it recreates a former cat slide
5 but also extends it all the way across.

6 MR. BOOZ: Right.

7 MS. ALDERSON: To an area where there was no porch
8 before.

9 MR. BOOZ: Right.

10 MS. ANAHTAR: I think the gable in the back is too
11 wide. And I don't think I led the shed dormer. I don't
12 think it works.

13 MS. O'MALLEY: All right, so I think you could
14 come in with a preliminary or come back in with another
15 HAWP.

16 MR. BURSTYN: So officially, is the applicant
17 withdrawing the case?

18 MR. BOOZ: Continued.

19 MR. BURSTYN: It's continued.

20 MS. O'MALLEY: All right. Sorry. Thank you. The
21 next case that we'll hear is -- is there anyone here tonight
22 to speak in opposition to Case L, 37 West Lenox Street?

23 MR. FULLER: Then I'll make a motion we approve
24 35/13-07C at 37 Lenox Street based on the staff report and
25 the staff recommendations.

26 MS. O'MALLEY: Is there a second?

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 310 Market Street, Brookeville **Meeting Date:** 02/28/07
Resource: Outstanding Resource **Report Date:** 02/21/07
Brookeville Historic District
Applicant: Steven & Hannah Kerr (Miche Booz, AIA) **Public Notice:** 02/14/07
Review: HAWP **Tax Credit:** N/A
Case Number: 23/65-07B **Staff:** Michele Oaks

PROPOSAL: Rear addition and Dormer installation

RECOMMENDATION: ~~Denial~~ *continuarance unless applicants request continuance to explore new design w/ staff*

RECOMMENDATION:

Staff recommends that the Commission deny this HAWP application.

*Jeff - existing conditions dwgs. revised - better
 - catside on both sides
 Tom - a symmetrical / cross gable
 Caroline - 2 options 2/3.
 retaining on recreatr
 catside
 Norway - gable to wide no shed dormer
 lee-*

HISTORIC CONTEXT

Richard Thomas founded the community of Brookeville in 1794 by on land his wife Deborah Brooke Thomas inherited from grandfather James Brooke. Brooke was an influential Quaker settler and major landholder in Montgomery County. Thomas laid out 56 quarter-acre lots sited along two major streets and two side streets. The majority of houses in the historic district date from the 1800s with several Federal style buildings that were built in the early 1800s.

Quickly growing as a bustling market town, Brookeville had two mills, a tanning yard, stores, a post office, and two schools. During the early 1800s, Brookeville was a center for commerce and education serving the surrounding, largely agricultural area. The Brookeville Academy was a regionally prominent center of learning, which attracted students from Baltimore, Washington, and Frederick.

Brookeville is a Master Plan and National Register Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource in the Brookeville Historic District
STYLE: Victorian Vernacular
DATE: c1865

The house is a three-bay, cottage set upon a stone foundation with a central, cross-gable detailed with bargeboard, wood shingles and an arched window. The roof slope along only the east

elevation fashions a catslide. The windows are mostly, true-divided light, 6/6 wood windows. The house is currently sheathed in asbestos siding.

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house, a garage and a shed on the .53 acres of land. The property contains many mature trees.

PROPOSAL:

The applicant proposes to change the existing house by:

1. Removing the existing catslide roof from the rear elevation of the house and constructing a new cross gable roof. The cross gable will be detailed in wood, shingle siding and sheathed in metal to match the porch roof.
2. Rebuilding the walls under the new gable and install new, wood, simulated divided light wood windows and wood doors. The wall surface proposed is Hardi-plank
3. Installing a new three, bay shed roof, dormer onto the existing, rear roof slope.
4. Installing a new, brick chimney on the existing, rear roof slope

APPLICABLE GUIDELINES:

When reviewing alterations and additions to outstanding resources within the Brookeville *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION:

Staff does believe that the rear, catslide extension is original to the house, or at a minimum an early addition constructed within the Brookeville Historic District's early periods of construction. The catslide is a rare roof structure form within Montgomery County architectural history. There are less than 20 known examples.

The proposed modifications to the catslide roof structure by removing it and replacing it with a cross gable structure will forever change the form of the original massing, and destroy a character-defining feature of this historic house. If a character-defining feature on a historic structure is lost, the integrity of that building begins to be compromised. The historicity of a historic structure is defined by the amount of original materials it retains.

Staff would support a design for a proposed addition or alterations, which clearly differentiate it from the original massing, and could be reversible or at a minimum the proposed changes should enable the original features to remain distinctive, such as the installation of dormers on the original roof slope.

The proposed rear addition, as currently designed, is incompatible with the existing architectural fabric and negatively impacts the original house. Staff is recommending denial of this HAWP

application with the recommendation that the applicants and their architect work with staff to explore designs, which retain the original, catslide feature.

STAFF RECOMMENDATION

Staff recommends that the Commission **DENY** the HAWP application under Chapter 24A-8 a:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the Commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation enhancement or ultimate protection of the historic site or historic resource within a historic district, and to the purposes of this chapter.

and being inconsistent with the Secretary of the Interior Standards for Rehabilitation, published in 1992.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
35 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
410-777-6313

DPS - #8

M

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT - CONCEPTUAL**

Contact Person: MICHE BOOZ
Daytime Phone No.: 301/774-6911

Tax Account No.: 08-00731825
Name of Property Owner: Steven and Hannah Kerr Daytime Phone No.: 240-281-0142
Address: 310 Market St Brookville MD 20833
Street Number City Street Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 310 Street: Market
Town/City: Brookville Nearest Cross Street: Georgia Avenue
Lot: 335 Block: N/A Subdivision: 5
Liber: _____ Folio: _____ Parcel: P600

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Steven Kerr _____
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 443157 Date Filed: 1-17-07 Date Issued: _____
EMC

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

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1. **Written Description of Project:**

a. *Description of Existing Structure:*

310 Market Street was built circa 1865. It is a single family vernacular cottage with Victorian trim added. It is a wood frame house with painted wood and asbestos shingles.

b. *General Description of Project:*

Addition of dormers to rear of house to provide needed bedroom and bathroom space. A change of miscellaneous doors and windows on ground floor. (Note: All windows and doors to be wood simulated divided light.)

2. **Site Plan:**

- a. See attachment
- b. See attachment
- c. See attachment

3. **Plans and Elevations:**

- a. Schematic Construction Plans: See attachment
- b. Elevations: See attachment

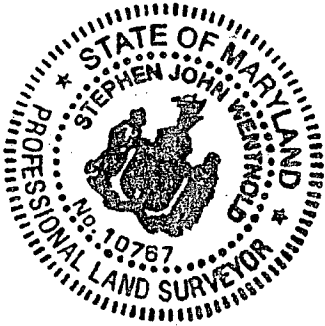
4. **Materials Specifications:**

- a. Windows and Doors: Wood Simulated Divided Light
- b. Siding: Hardy Plank and Wood Shingles
- c. Roof: Metal to Match the Porch Roof

5. **Photographs:** See attachment

6. **Tree Survey:** N/A

7. **Addresses of Adjacent and Confronting Property Owners:** See attachment



N81°45'00"W 66.00'

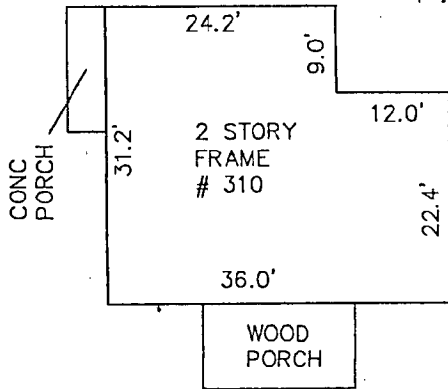
PARCEL
600
±0.53
ACRES

S12°30'00"W 338.25'

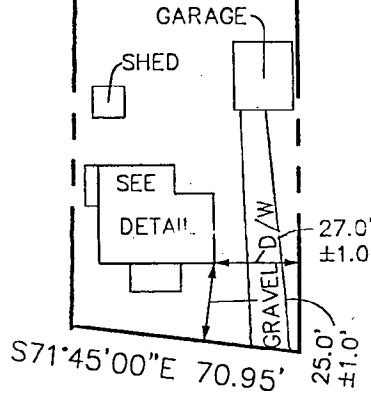
N11°30'00"E 349.80'

P. 590

P. 588



DETAIL SCALE: 1" = 20'



MARKET STREET

No evidence of property corners was found. Apparent occupation is shown.

Date: 1-18-05 Scale: 1" = 60' Drn: J.B.
 Plat Book:
 Plat No.: NO TITLE REPORT FURNISHED
 Work Order: 05-1076
 Address: 310 MARKET STREET
 District: 8
 Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen J. Wendt

LOCATION DRAWING
 LIBER 13546
 FOLIO 360



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing

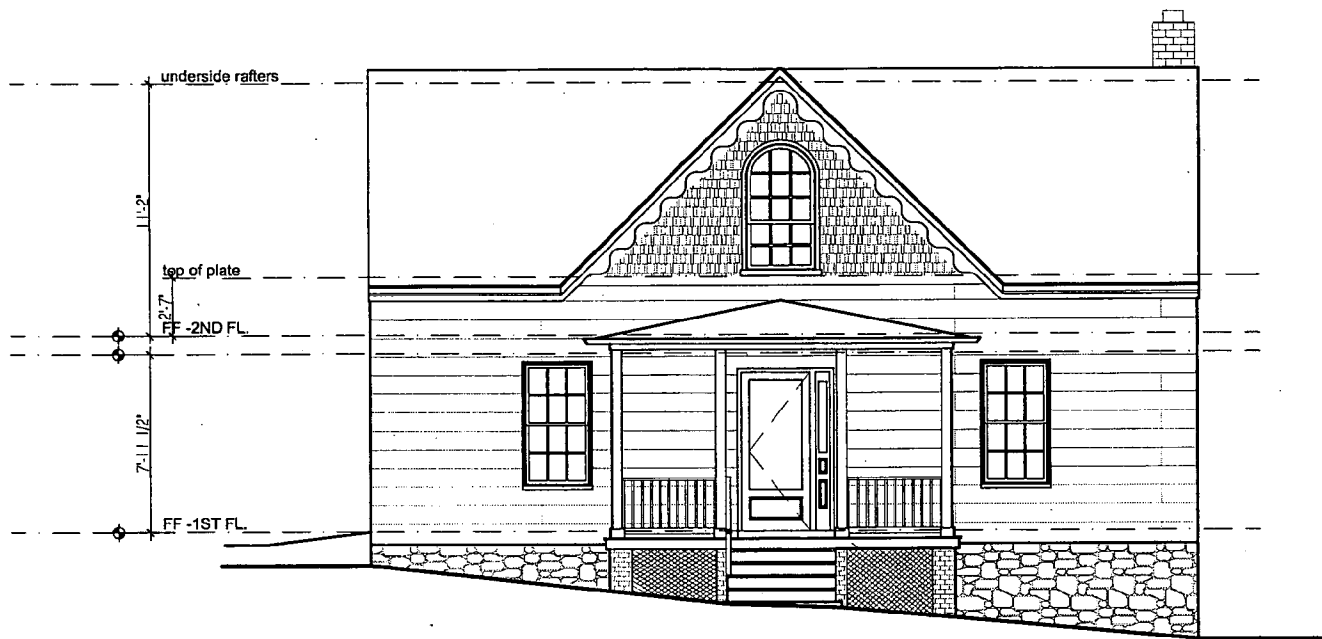
7

MICHE BOOZ
 ARCHITECT
 208 Market St
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 (301)774 6911
 fax: 774 1908

Project:
Kerr Residence
 310 Market St.
 Brookeville, MD 20833

Drawings: **North and
 South Elev.**
 1/8"=1'-0"

Dates:
 Jan. 31, 2007



2

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Drawings: **West and East Elev.**
 1/8"=1'-0"

Dates:
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(b)

MICHE BOOZ

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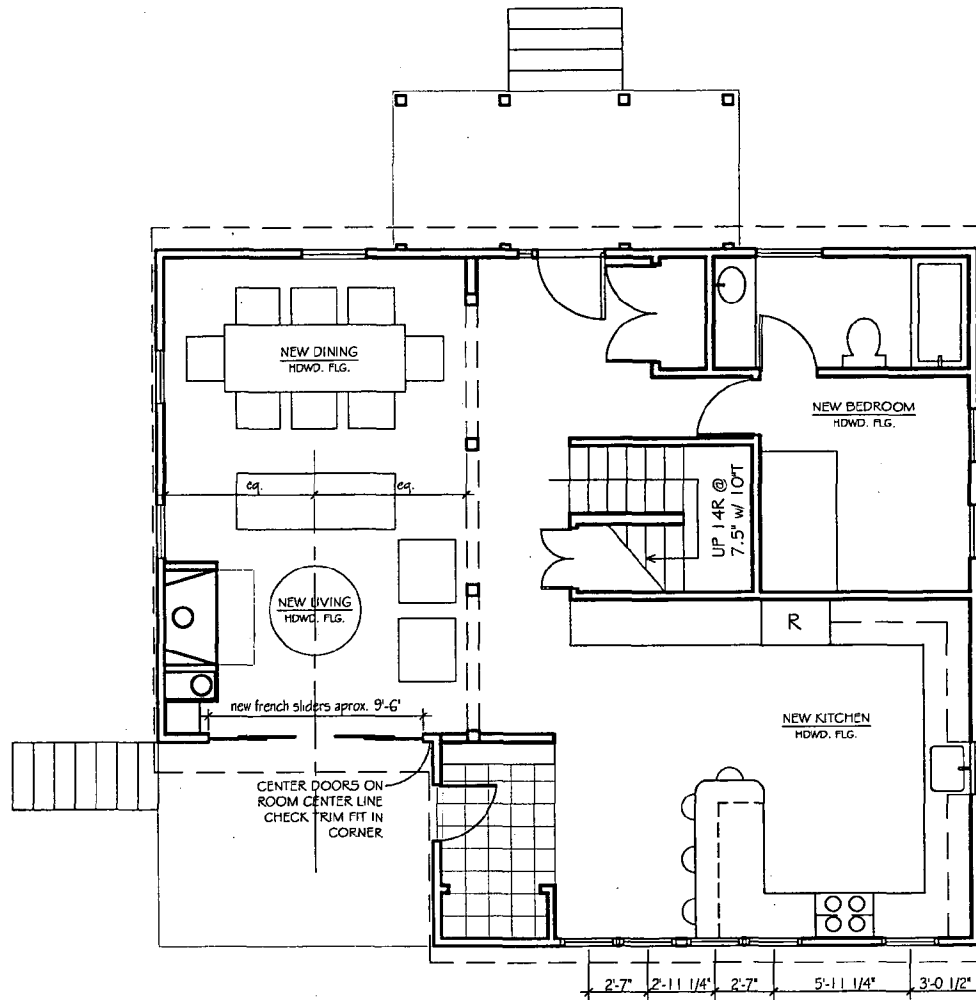
Project:

Kerr Residence
310 Market St.
Brookeville, MD 20833

Drawings: First Floor
Plan
1/8"=1'-0"

Date:

Jan. 31, 2007



MICHE BOOZ

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Fax: 774-1908

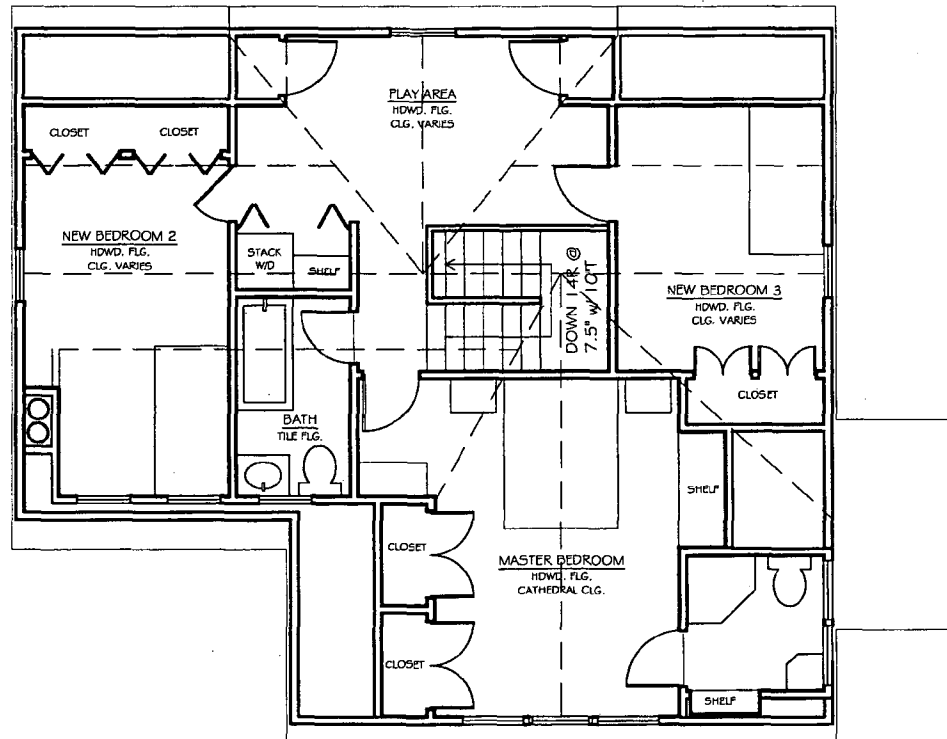
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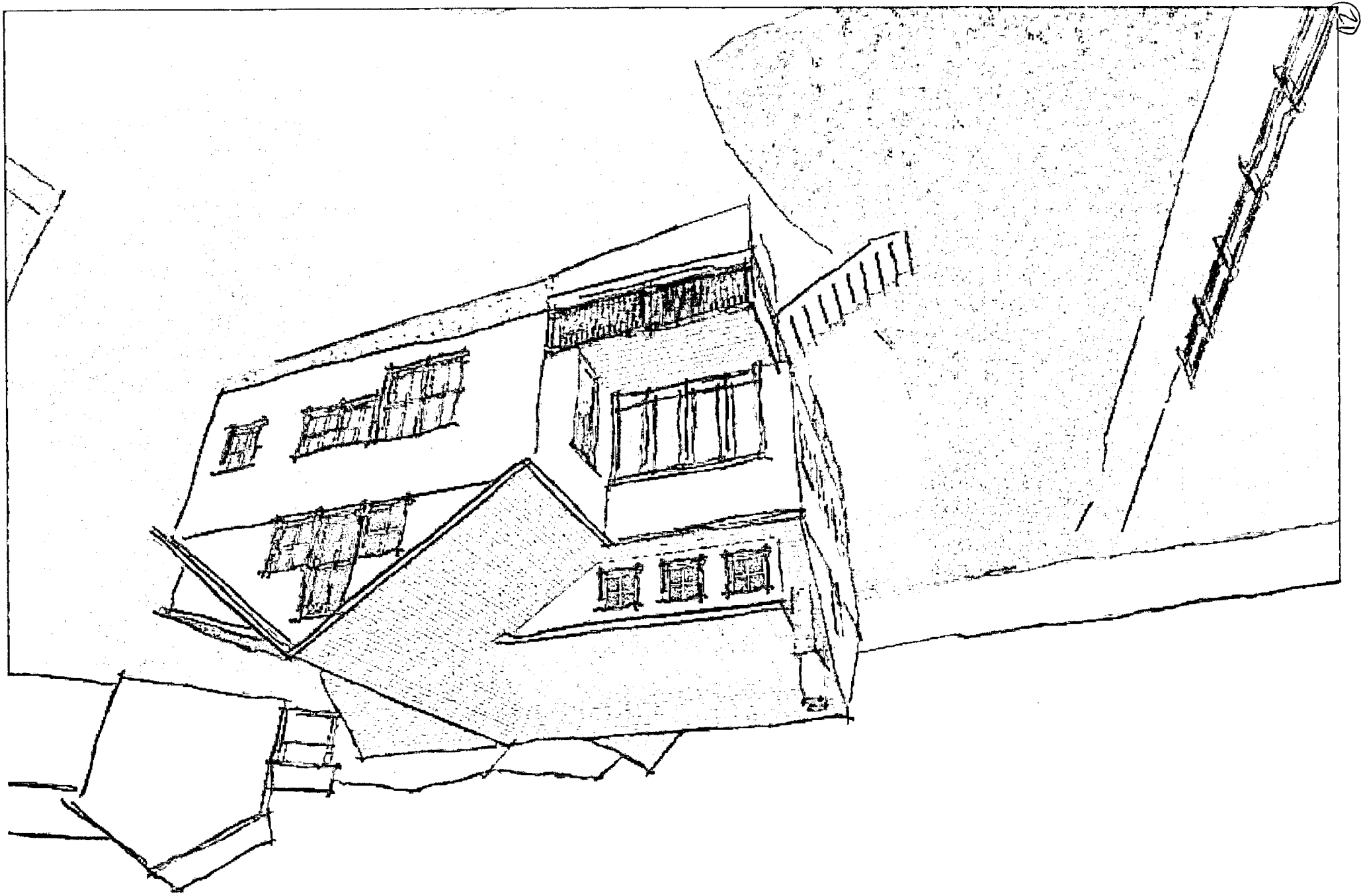
Drawings: Second
Floor Plan
1/8"=1'-0"

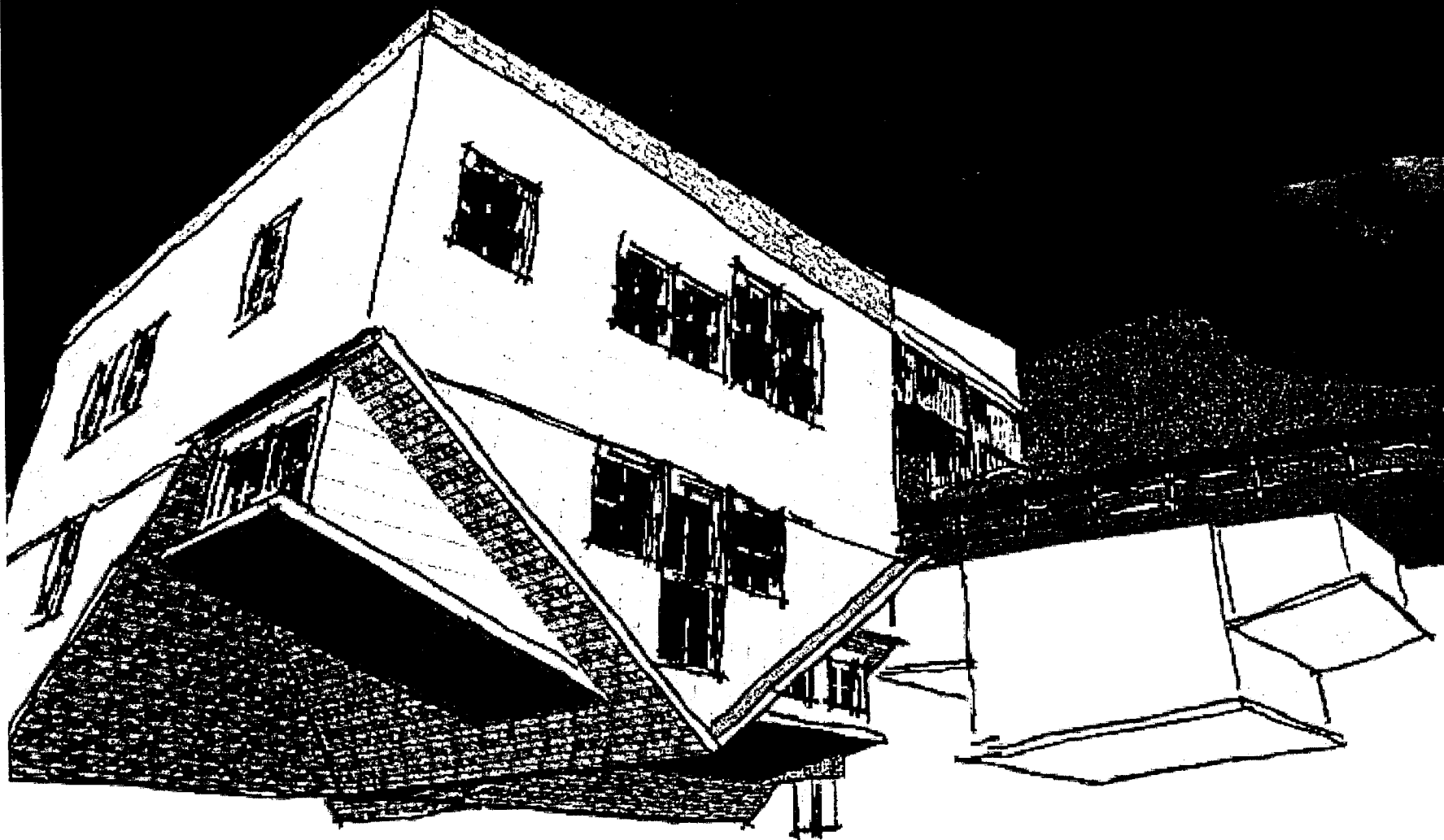
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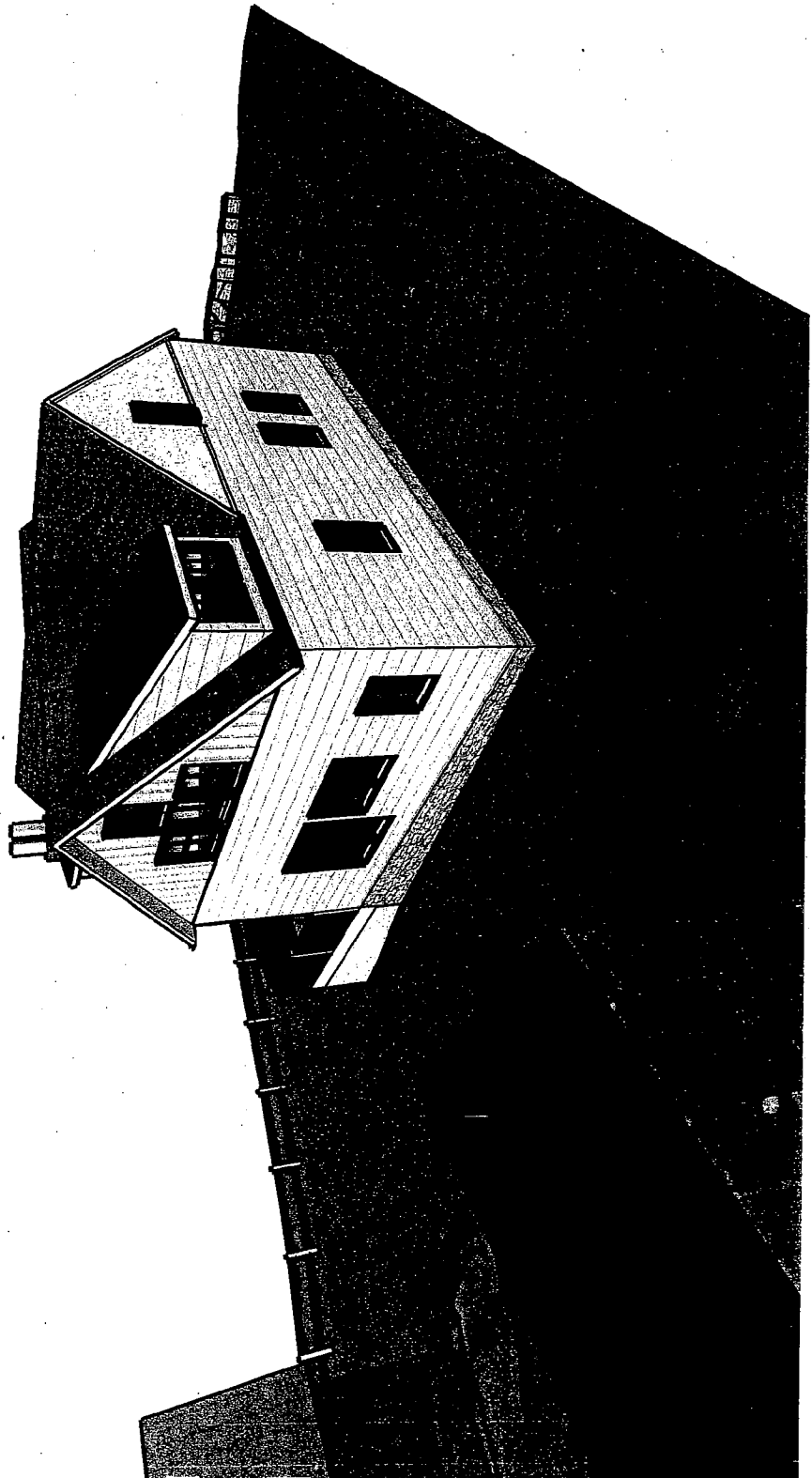
Jan. 31, 2007



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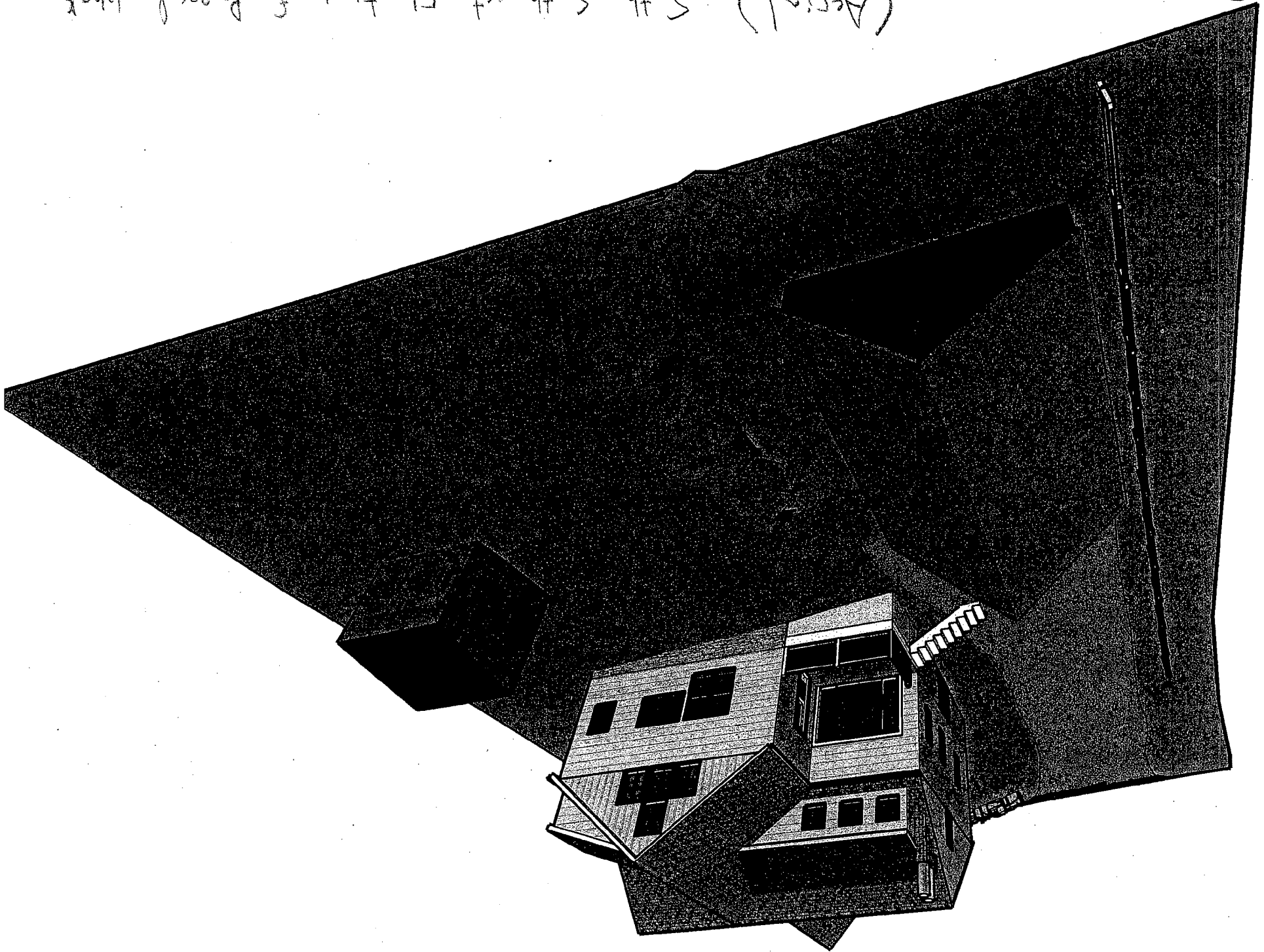




South east Elevation of Proposed Work

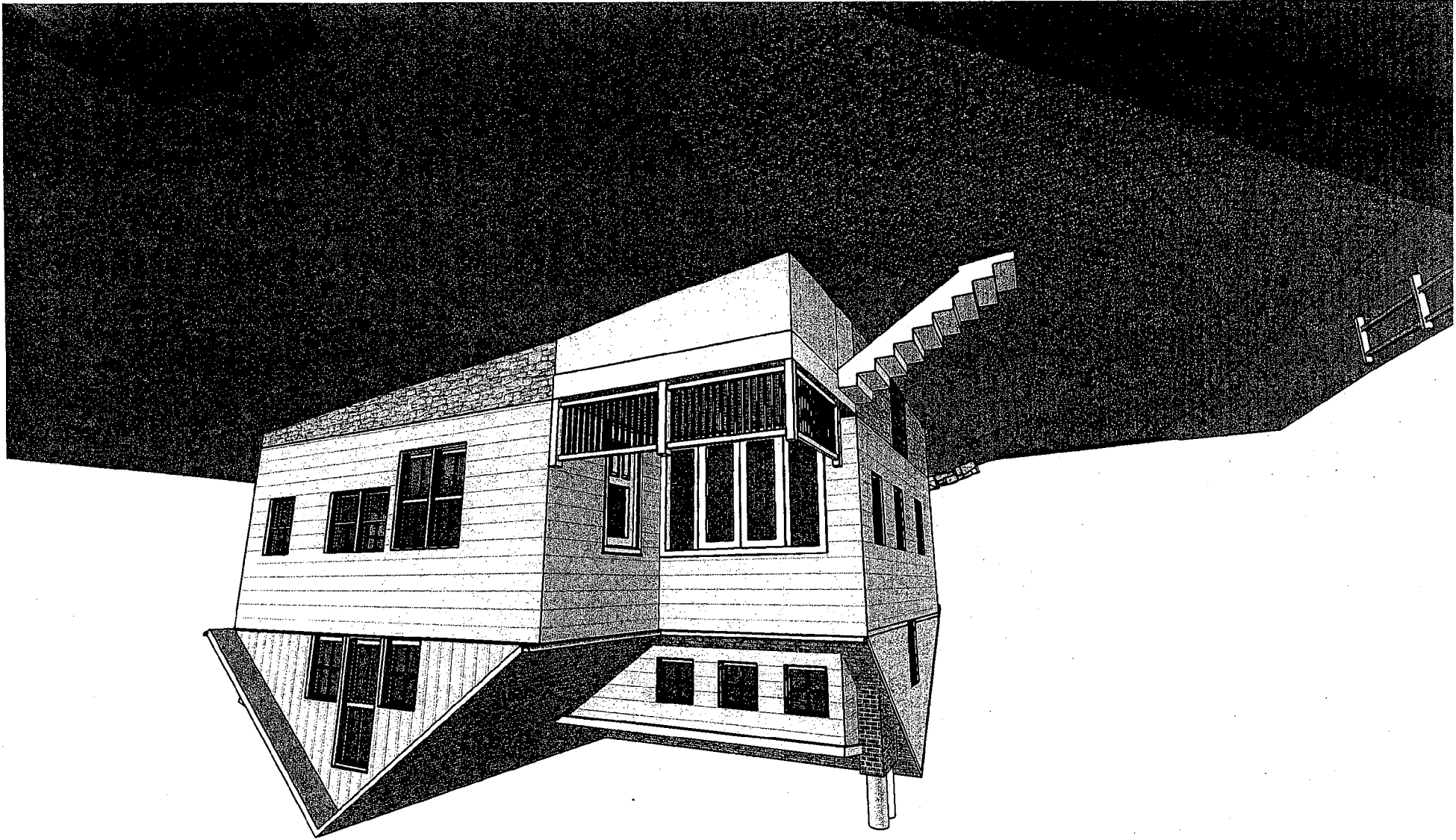
(Aerial) South-Southwest Elevation of Proposed Work

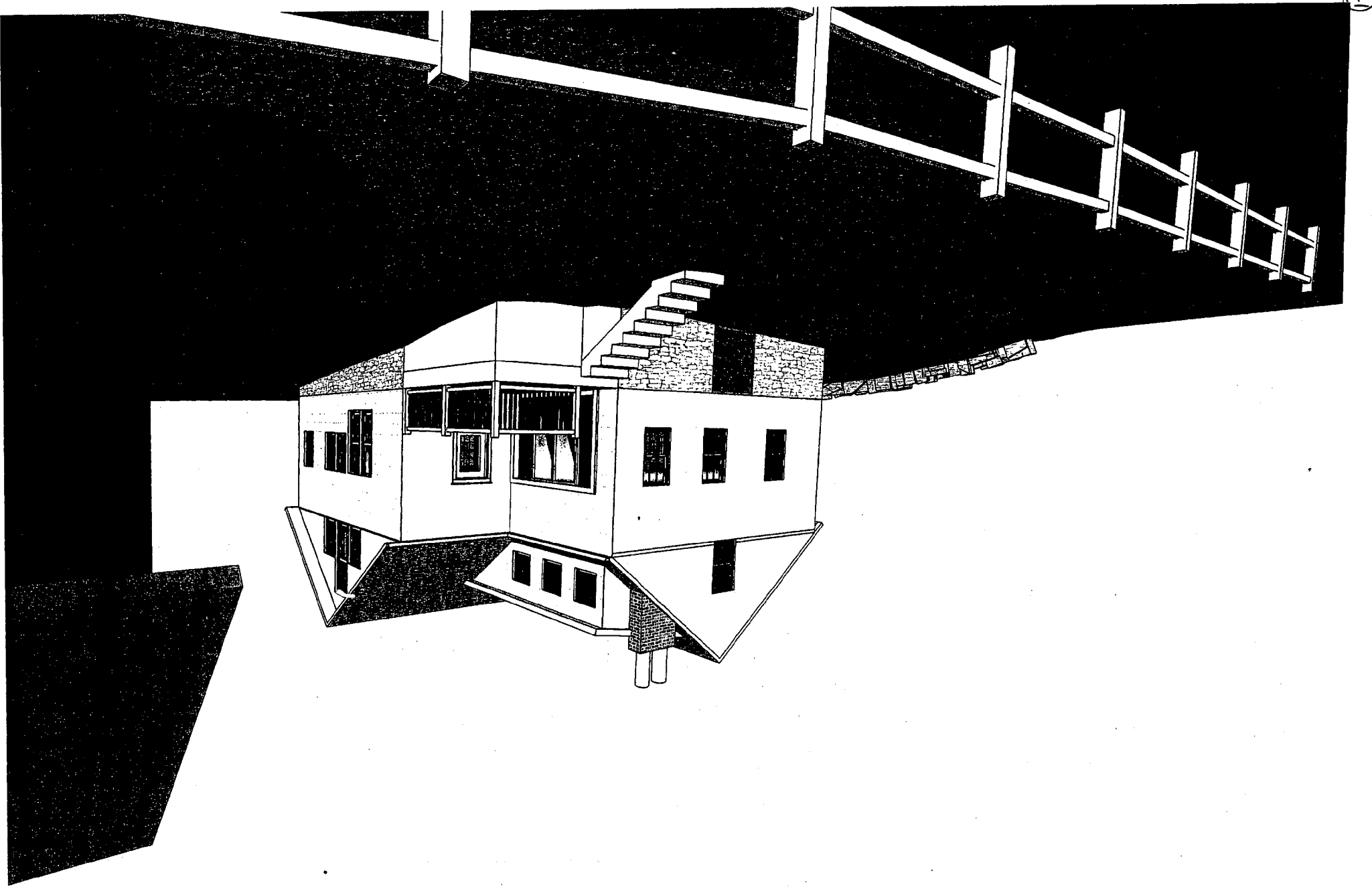
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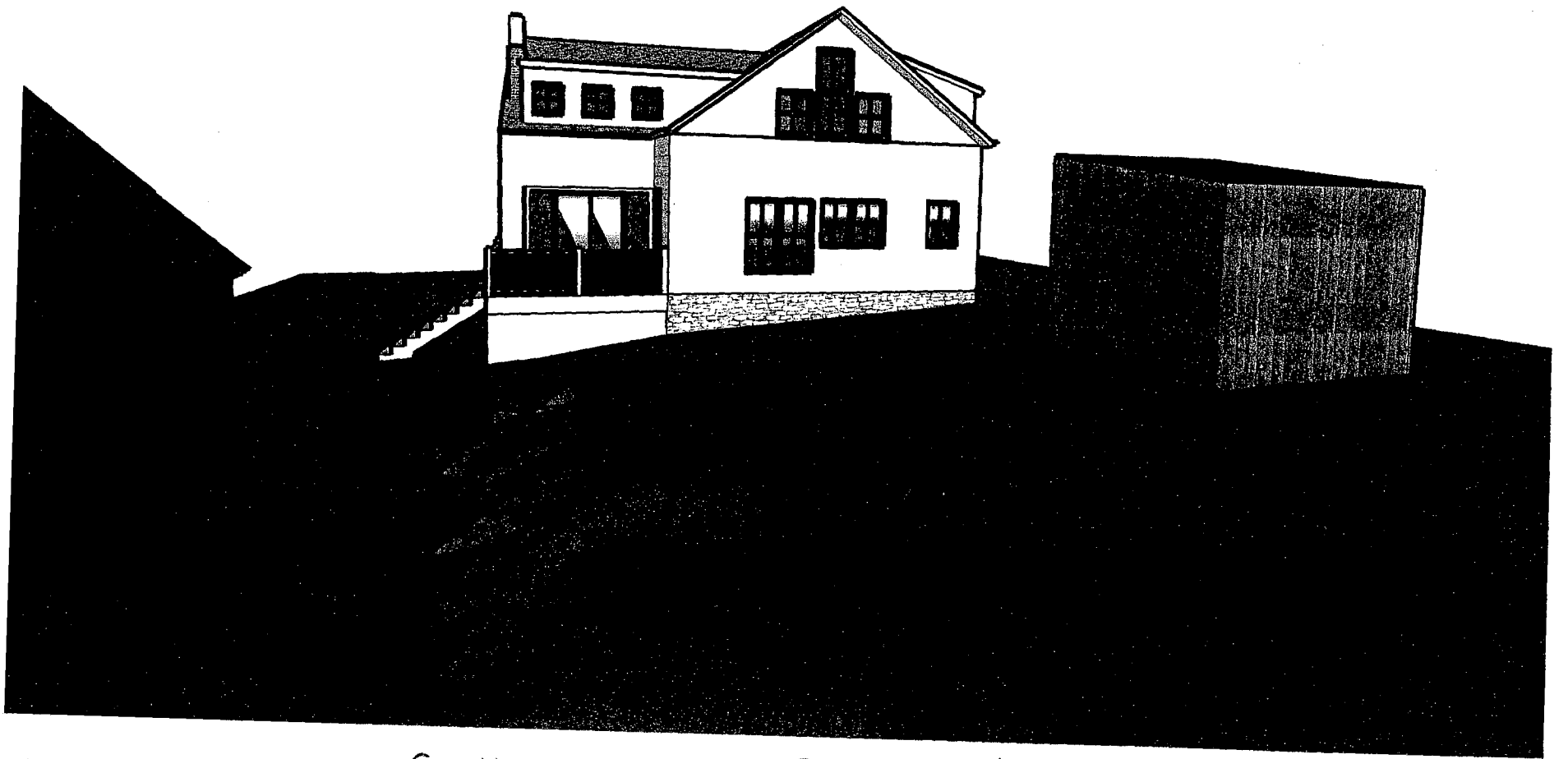
South - Southwest - Elevation of Proposed work

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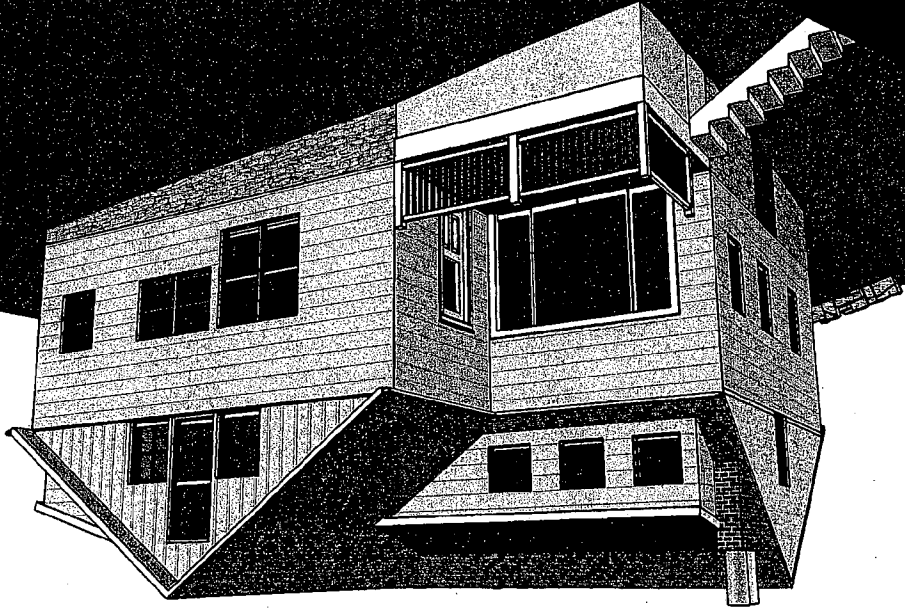


West - Southwest Elevation of Proposed Work



South Elevation of Proposed Work

Southwest Elevation of Proposed Work



310 Market Street, Brookeville, MD

(Existing structure as seen from 309 Market Street and Route 97))



Existing Front Elevation (No change in plan)

(12)

310 Market Street

(as viewed from public right-of-way)

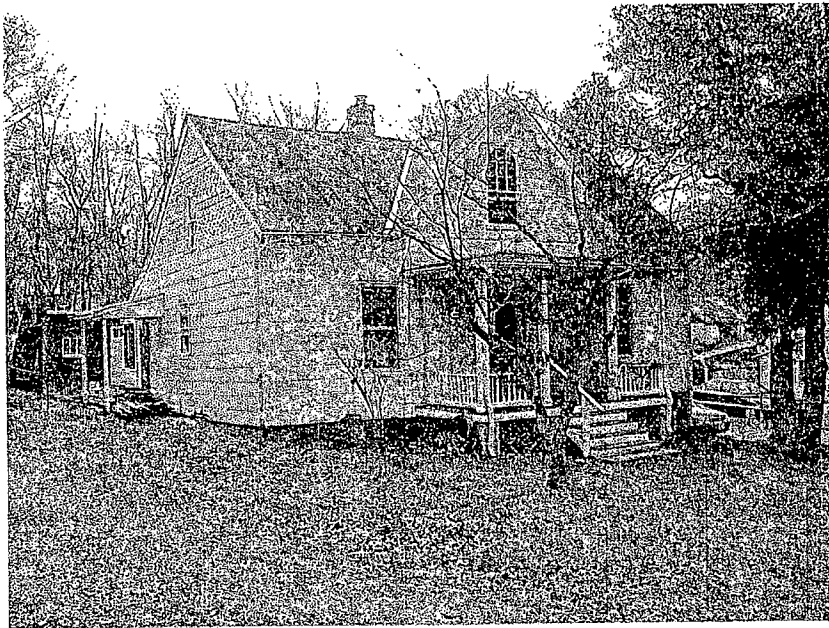


Photo 1- View from Market Street going North



Photo 2- View from Market Street going South

310 Market Street, Brookeville, MD
(Existing structure as seen from 308 Market Street)



Photo 2- East Elevation

310 Market Street, Brookeville, MD

(Existing structure as seen from backyard)

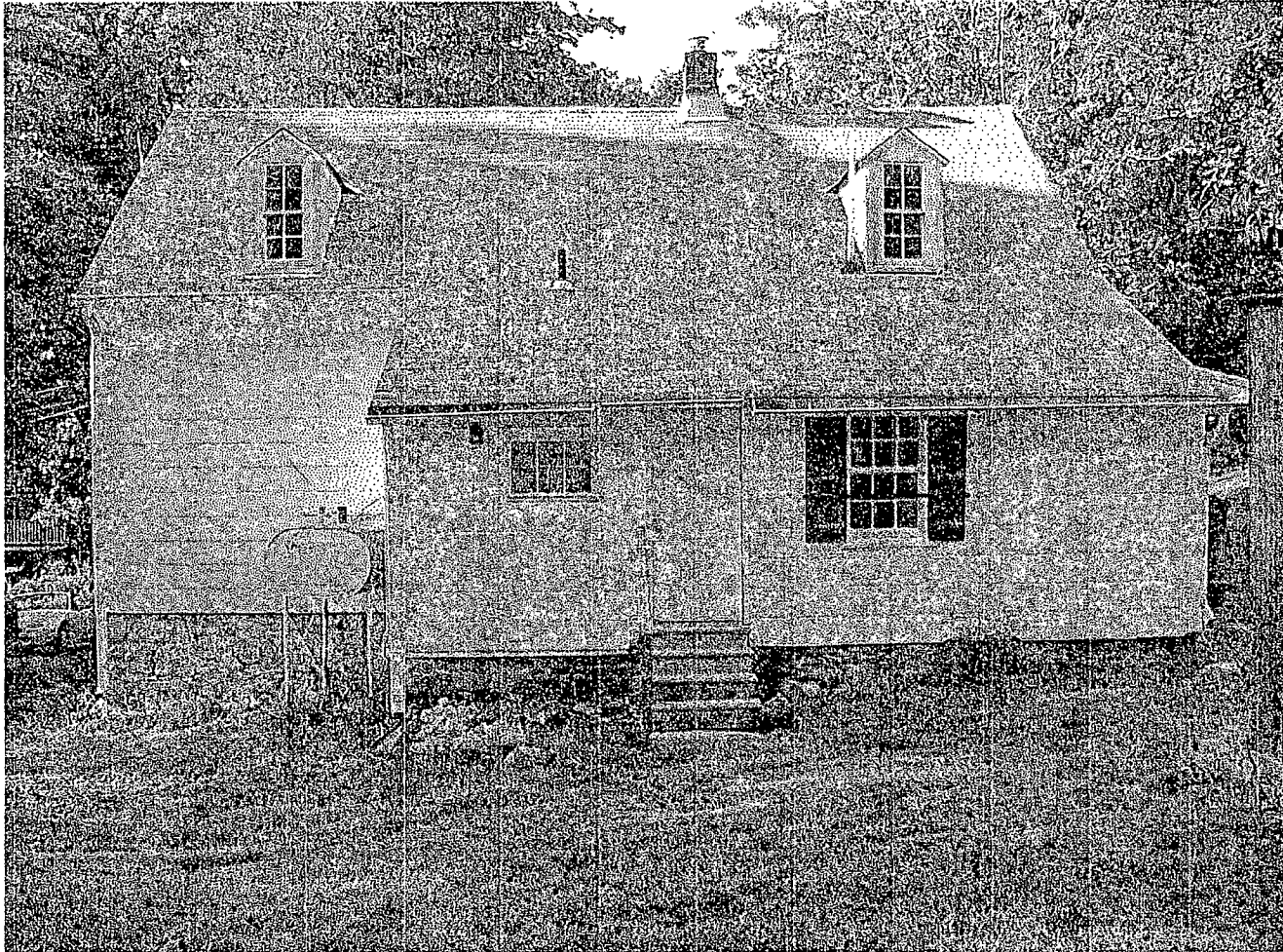


Photo 3- South Elevation

23

310 Market Street, Brookeville, MD

(Existing structure as seen from 312 Market Street)

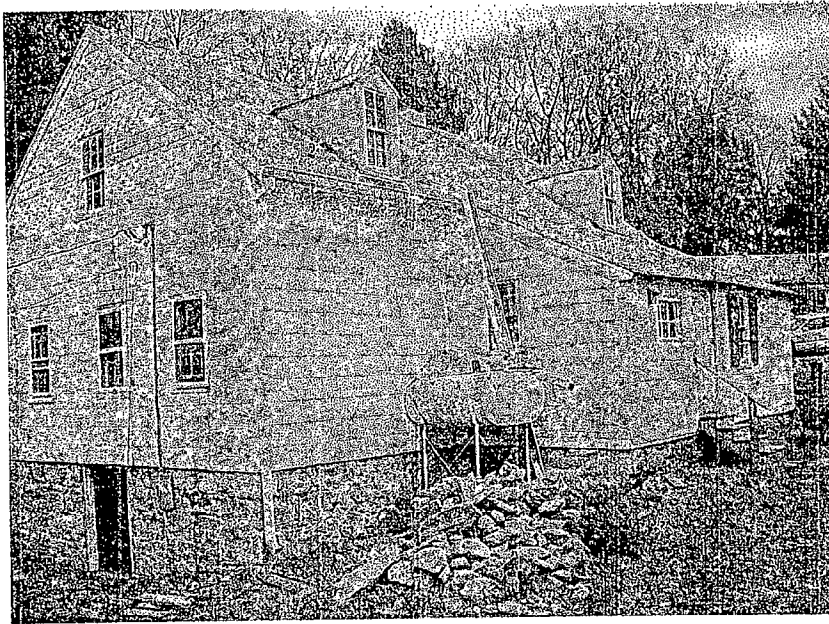


Photo 4- Southwest Elevation

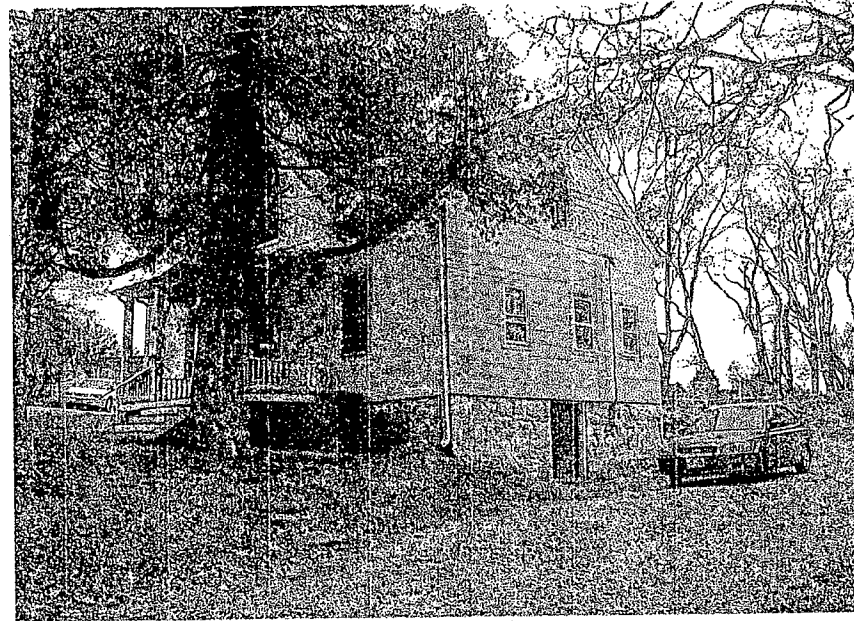


Photo 5- Northwest Elevation

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	310 Market Street, Brookeville	Meeting Date:	02/28/07
Resource:	Outstanding Resource Brookeville Historic District	Report Date:	02/21/07
Applicant:	Steven & Hannah Kerr (Miche Booz, AIA)	Public Notice:	02/14/07
Review:	HAWP	Tax Credit:	N/A
Case Number:	23/65-07B	Staff:	Michele Oaks

PROPOSAL: Rear addition and Dormer installation

RECOMMENDATION: Denial

RECOMMENDATION:

Staff recommends that the Commission deny this HAWP application.

HISTORIC CONTEXT

Richard Thomas founded the community of Brookeville in 1794 by on land his wife Deborah Brooke Thomas inherited from grandfather James Brooke. Brooke was an influential Quaker settler and major landholder in Montgomery County. Thomas laid out 56 quarter-acre lots sited along two major streets and two side streets. The majority of houses in the historic district date from the 1800s with several Federal style buildings that were built in the early 1800s.

Quickly growing as a bustling market town, Brookeville had two mills, a tanning yard, stores, a post office, and two schools. During the early 1800s, Brookeville was a center for commerce and education serving the surrounding, largely agricultural area. The Brookeville Academy was a regionally prominent center of learning, which attracted students from Baltimore, Washington, and Frederick.

Brookeville is a Master Plan and National Register Historic District.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:	Outstanding Resource in the Brookeville Historic District
STYLE:	Victorian Vernacular
DATE:	c1865

The house is a three-bay, cottage set upon a stone foundation with a central, cross-gable detailed with bargeboard, wood shingles and an arched window. The roof slope along only the east

elevation fashions a catslide. The windows are mostly, true-divided light, 6/6 wood windows. The house is currently sheathed in asbestos siding.

The subject property is located at the northwestern boundary of the historic district. The property currently contains the existing house, a garage and a shed on the .53 acres of land. The property contains many mature trees.

PROPOSAL:

The applicant proposes to change the existing house by:

1. Removing the existing catslide roof from the rear elevation of the house and constructing a new cross gable roof. The cross gable will be detailed in wood, shingle siding and sheathed in metal to match the porch roof.
2. Rebuilding the walls under the new gable and install new, wood, simulated divided light would windows and wood doors. The wall surface proposed is Hardi-plank
3. Installing a new three, bay shed roof, dormer onto the existing, rear roof slope.
4. Installing a new, brick chimney on the existing, rear roof slope

APPLICABLE GUIDELINES:

When reviewing alterations and additions to outstanding resources within the Brookeville *Master Plan* Historic District two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Guidelines for Rehabilitation

- #1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- #5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION:

Staff does believe that the rear, catslide extension is original to the house, or at a minimum an early addition constructed within the Brookeville Historic District's early periods of construction. The catslide is a rare roof structure form within Montgomery County architectural history. There are less than 20 known examples.

The proposed modifications to the catslide roof structure by removing it and replacing it with a cross gable structure will forever change the form of the original massing, and destroy a character-defining feature of this historic house. If a character-defining feature on a historic structure is lost, the integrity of that building begins to be compromised. The historicity of a historic structure is defined by the amount of original materials it retains.

Staff would support a design for a proposed addition or alterations, which clearly differentiate it from the original massing, and could be reversible or at a minimum the proposed changes should enable the original features to remain distinctive, such as the installation of dormers on the original roof slope.

The proposed rear addition, as currently designed, is incompatible with the existing architectural fabric and negatively impacts the original house. Staff is recommending denial of this HAWP

application with the recommendation that the applicants and their architect work with staff to explore designs, which retain the original, catslide feature.

STAFF RECOMMENDATION

Staff recommends that the Commission **DENY** the HAWP application under Chapter 24A-8 a:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the Commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation enhancement or ultimate protection of the historic site or historic resource within a historic district, and to the purposes of this chapter.

and being inconsistent with the Secretary of the Interior Standards for Rehabilitation, published in 1992.



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Drawings: **North and
 South Elev.**
 1/8"=1'-0"

Dates:
 Jan. 31, 2007



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Drawings:

West and
East Elev.
1/8"=1'-0"

Dates:

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Project:

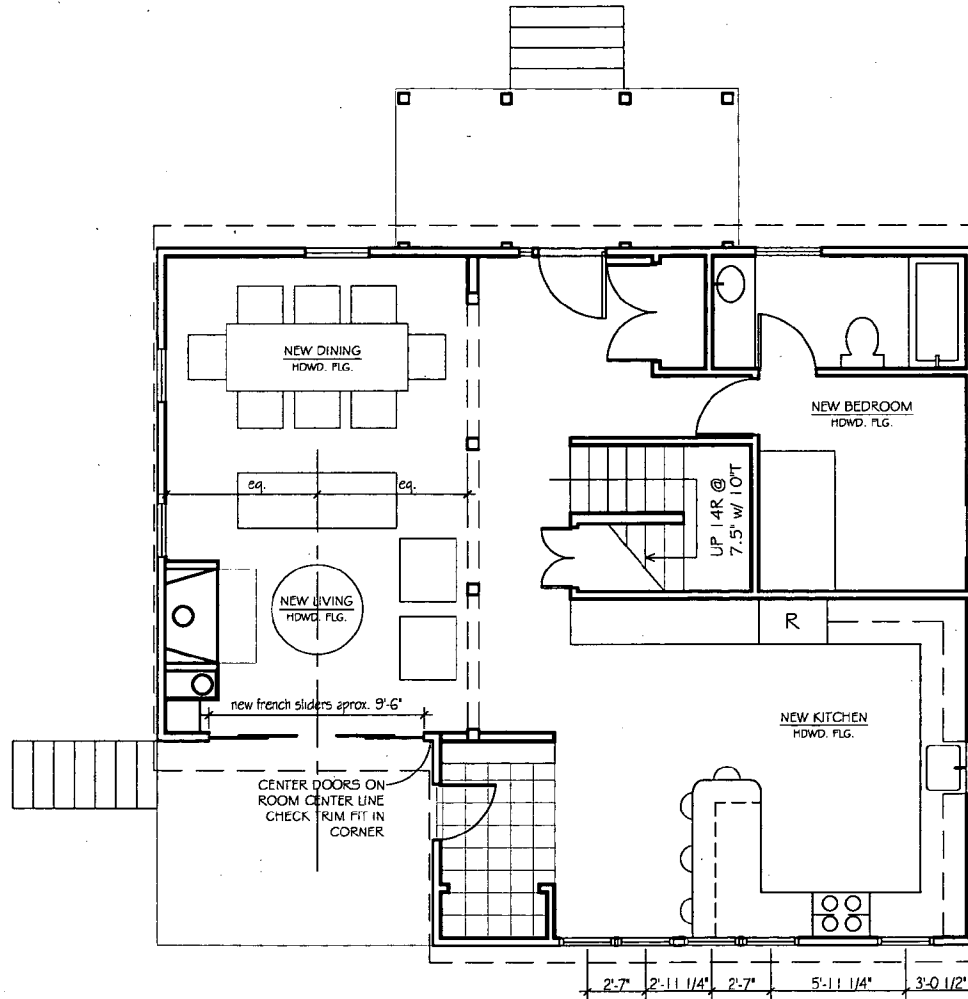
Kerr Residence
310 Market St.
Brookeville, MD 20833

Drawings: First Floor
Plan

1/8"=1'-0"

Dates:

Jan. 31, 2007

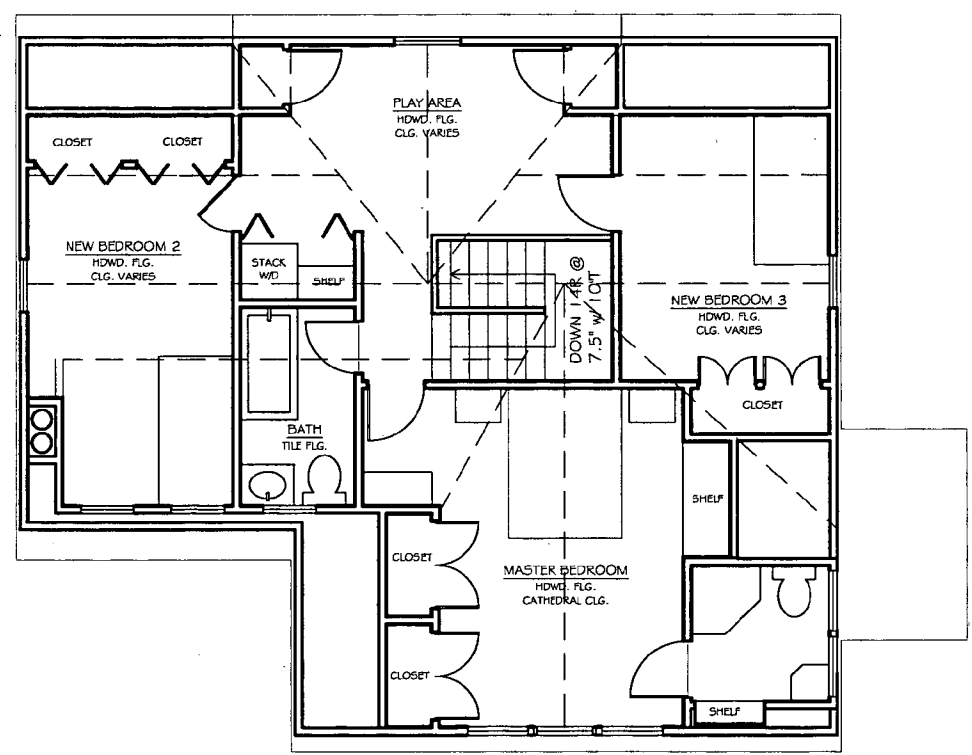


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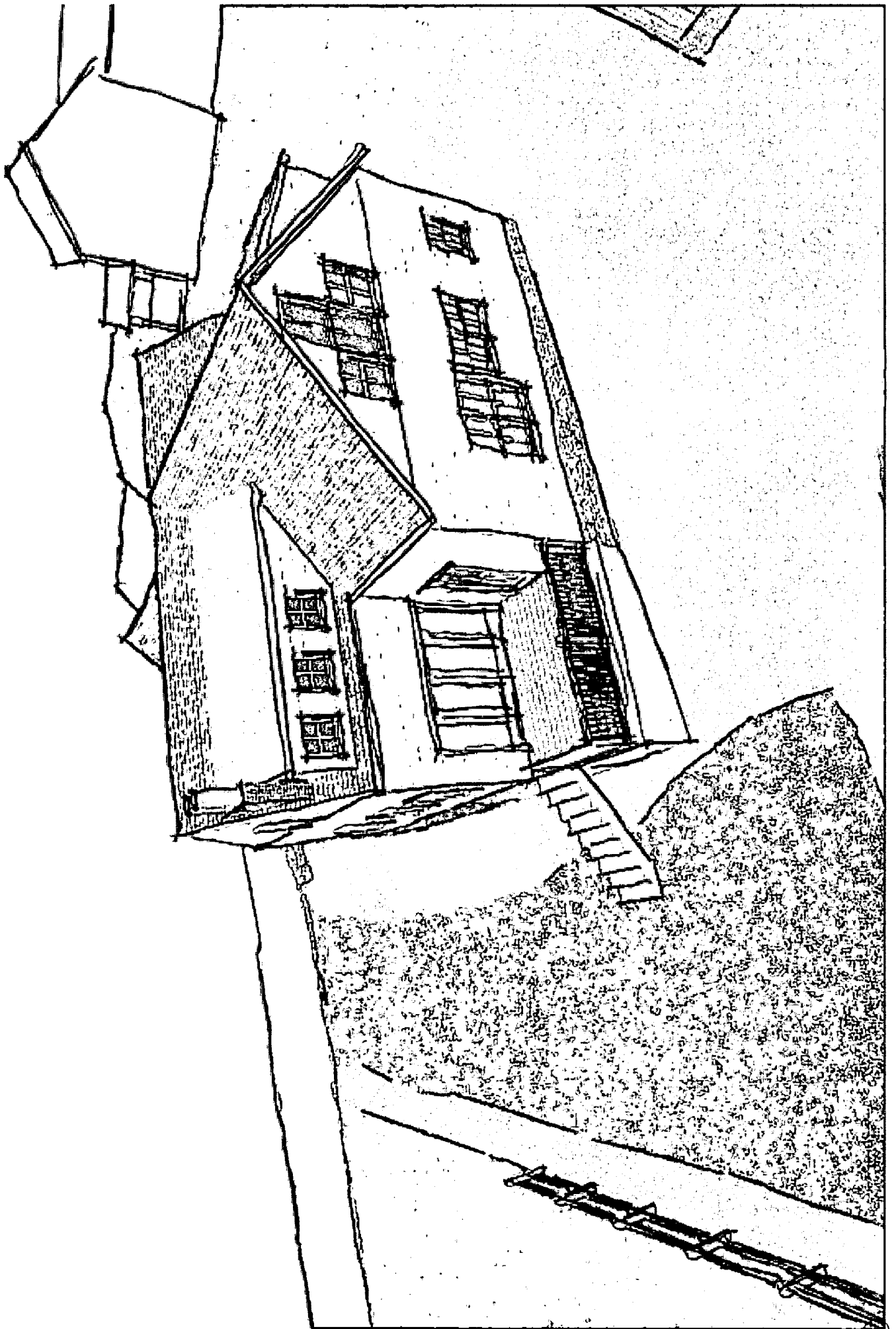
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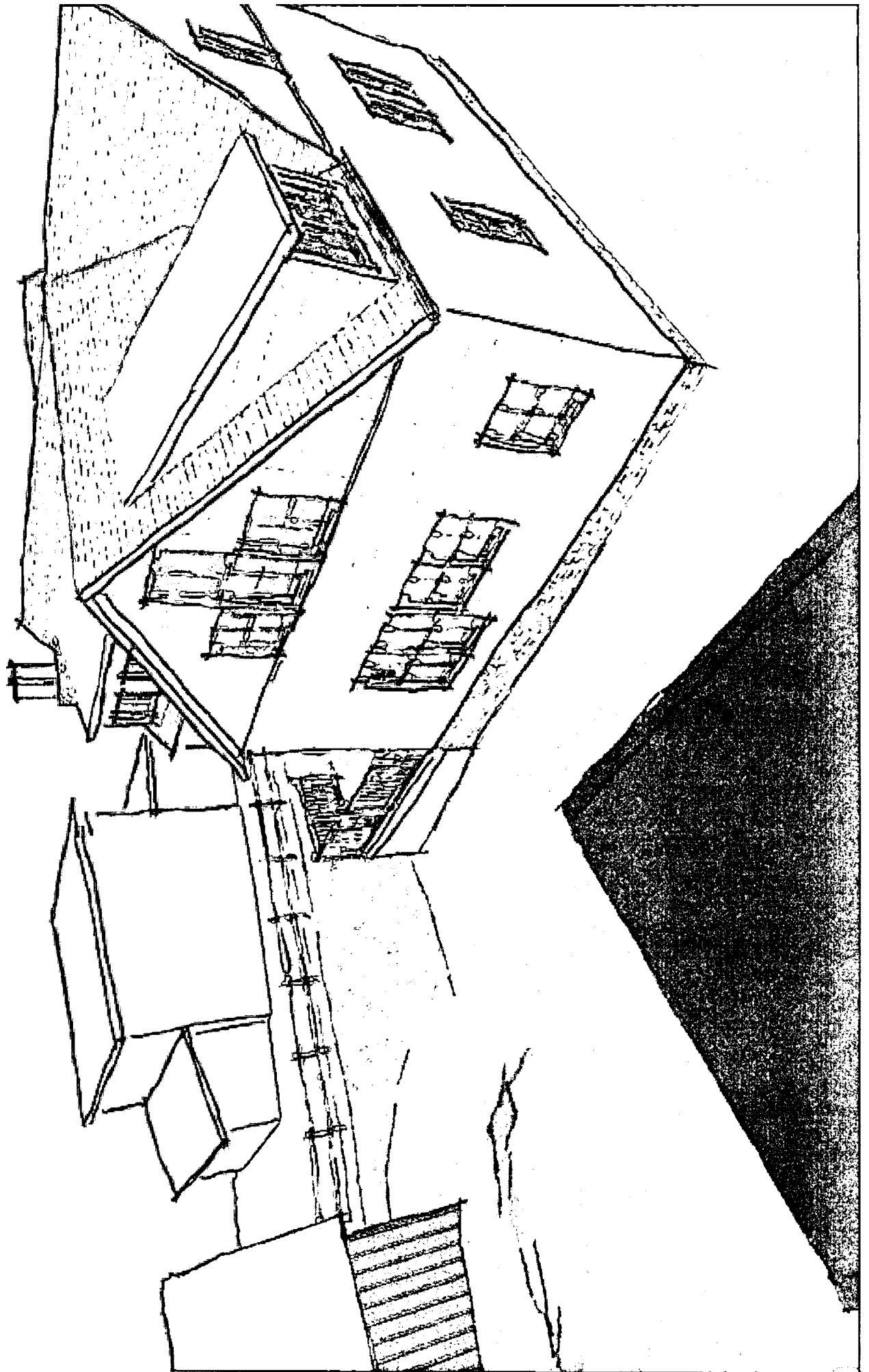
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Floor Plan
1/8"=1'-0"

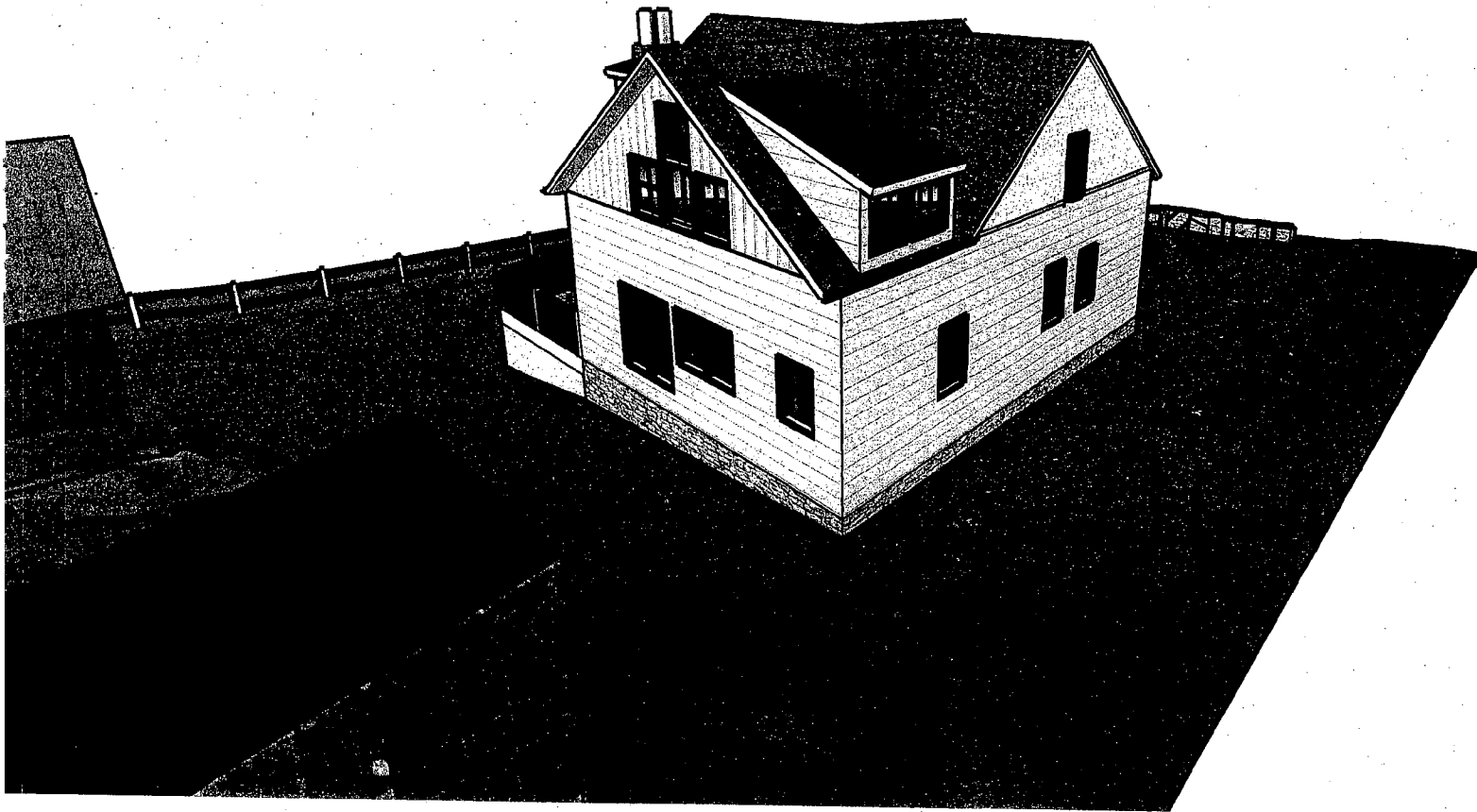
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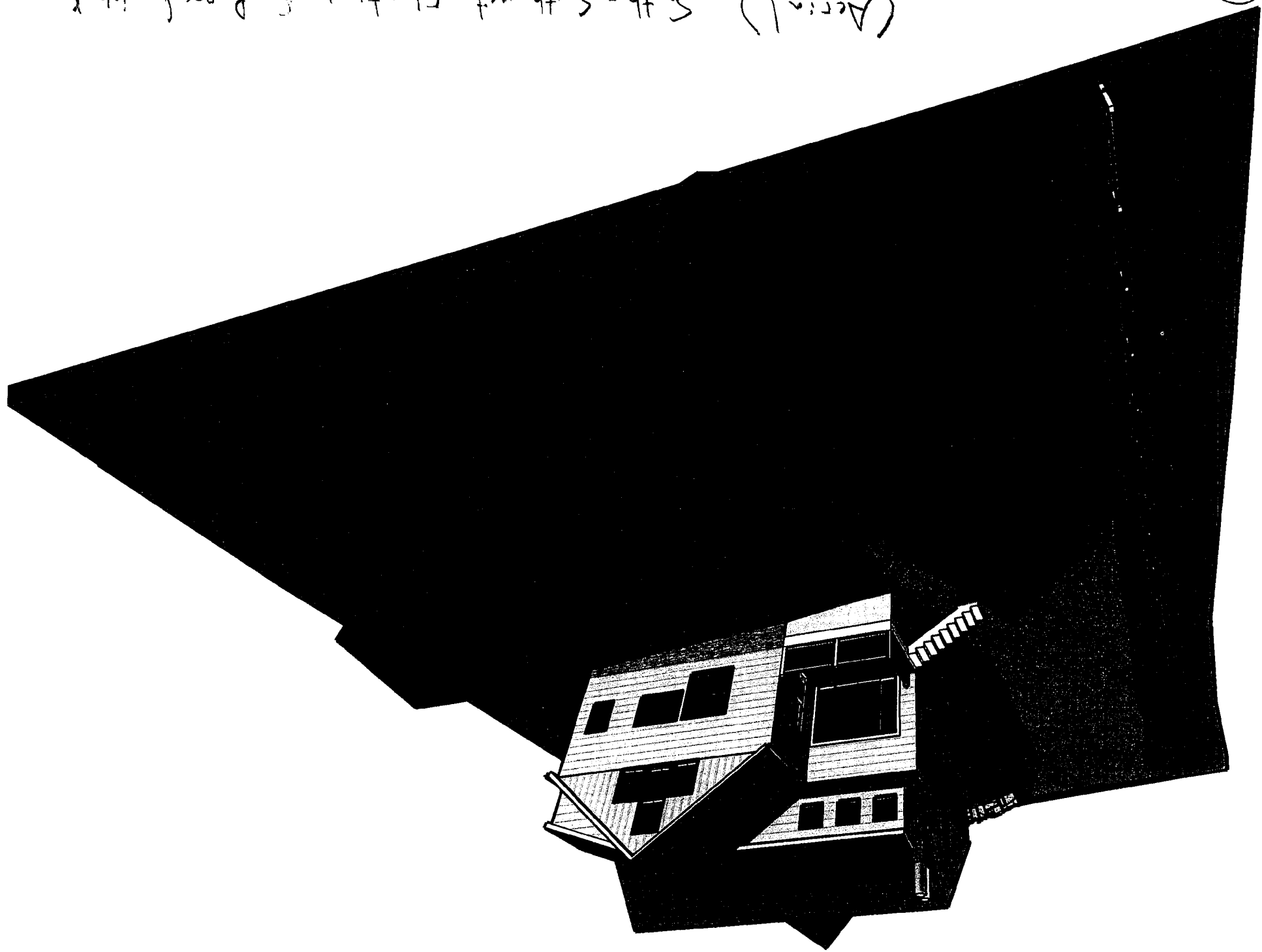




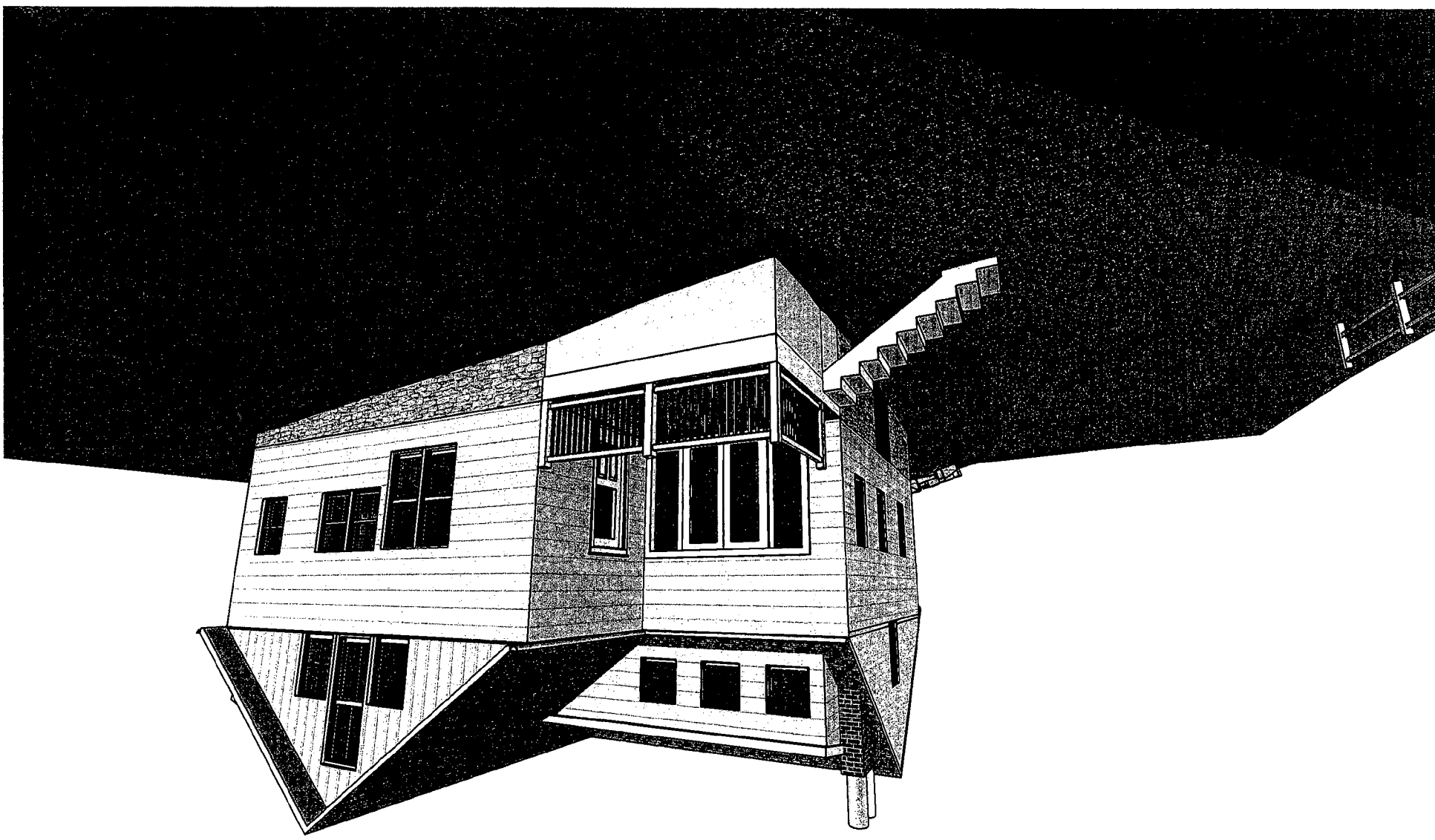
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Southeast Elevation of Proposed work

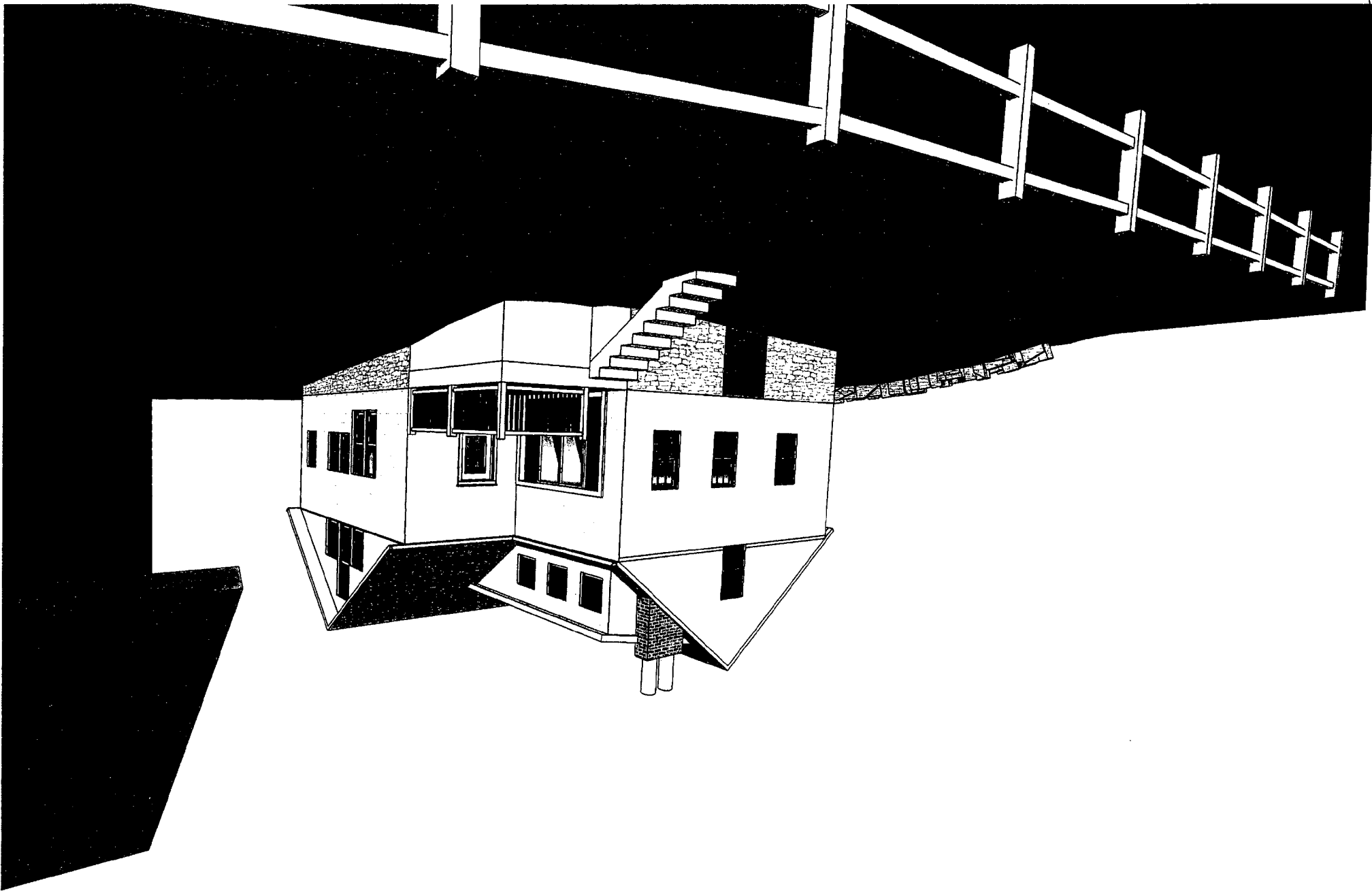
(Action 1) South-Southwest Elevation of Proposed Work



South - Southwest Elevation of Proposed Work

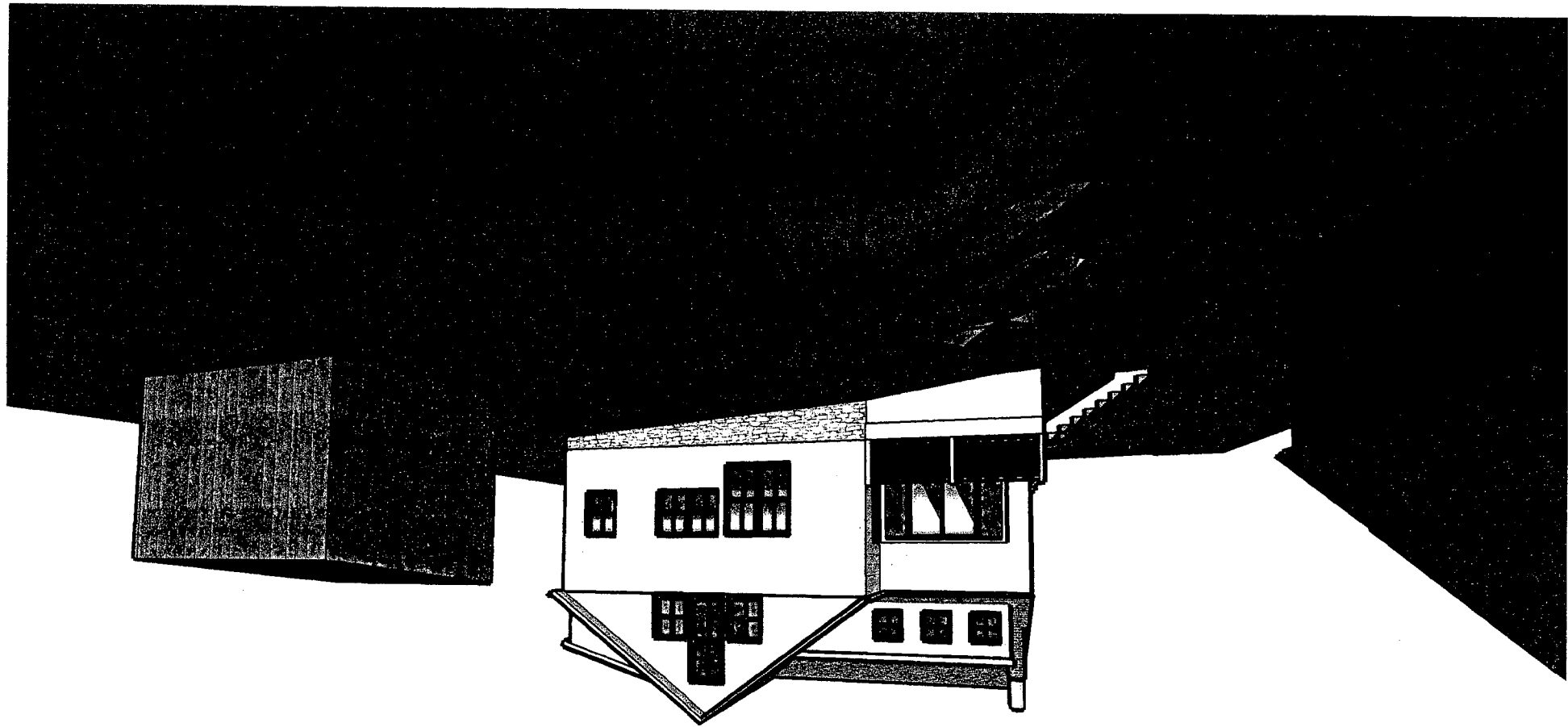


West - Southwest Elevation of Proposed Work



South Elevation of Proposed Work

(191)



Southwest Elevation of Proposed Work



310 Market Street, Brookeville, MD

(Existing structure as seen from 309 Market Street and Route 97))



Existing Front Elevation (No change in plan)

310 Market Street

(as viewed from public right-of-way)

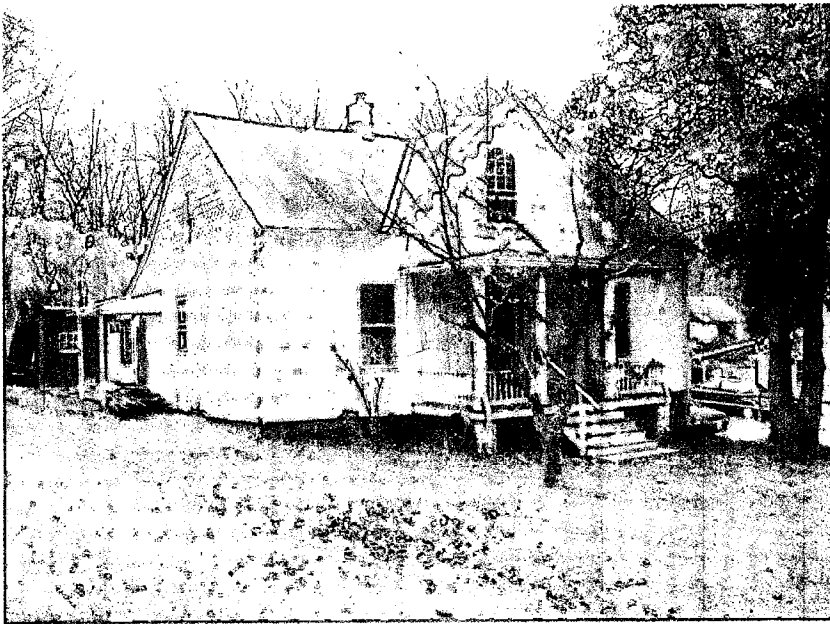


Photo 1- View from Market Street going North



Photo 2- View from Market Street going South

310 Market Street, Brookeville, MD
(Existing structure as seen from 308 Market Street)



Photo 2- East Elevation

310 Market Street, Brookeville, MD
(Existing structure as seen from backyard)

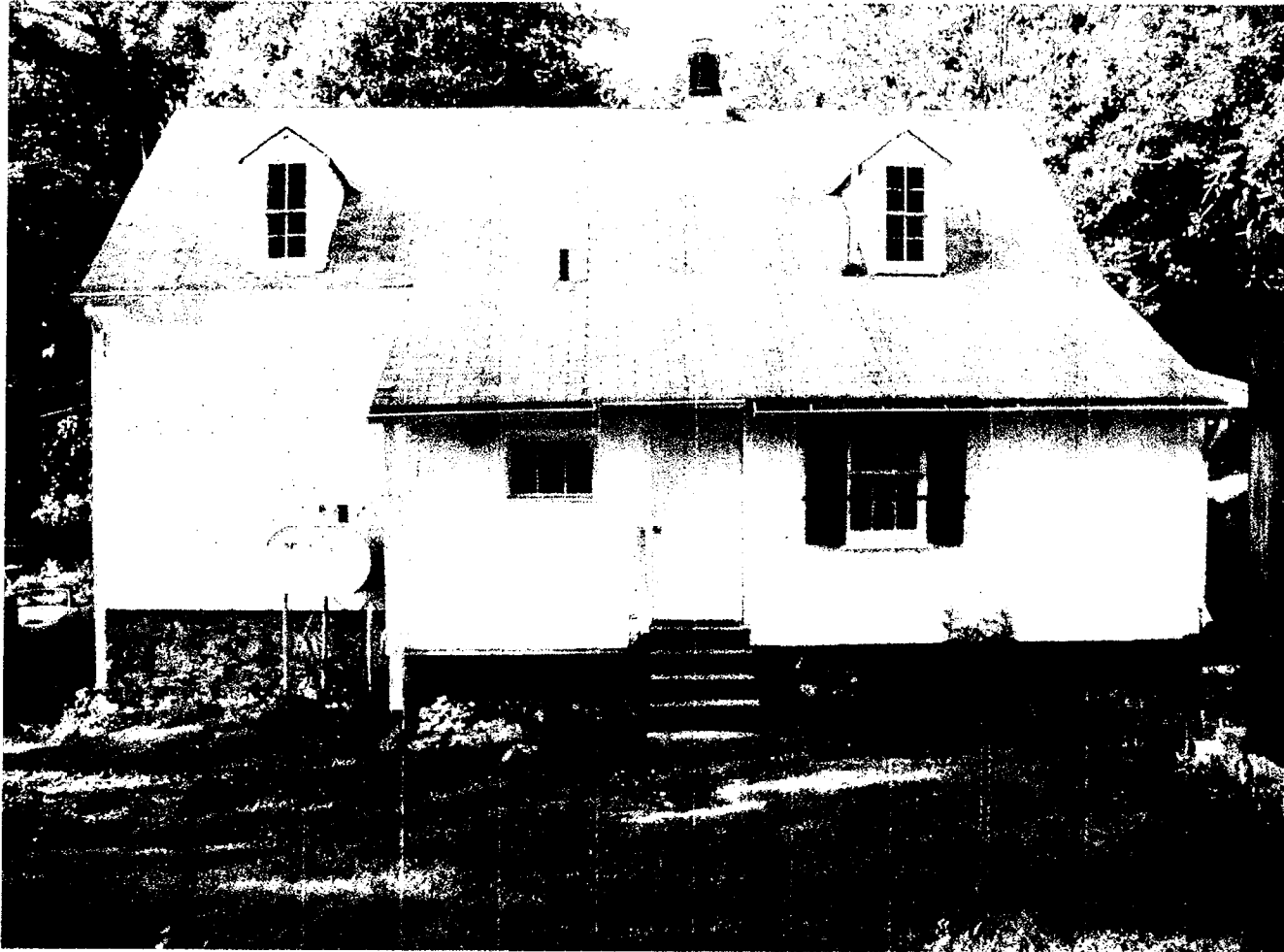


Photo 3- South Elevation

(23)

310 Market Street, Brookeville, MD

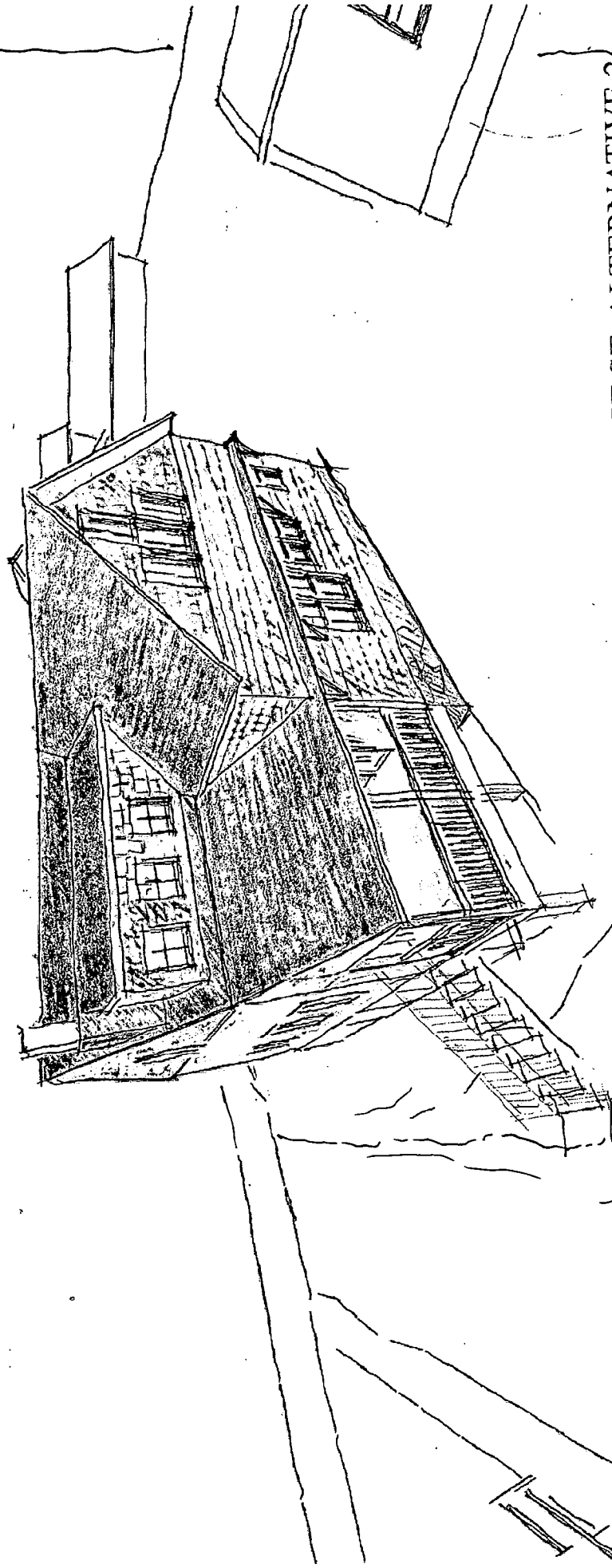
(Existing structure as seen from 312 Market Street)



Photo 4- Southwest Elevation



Photo 5- Northwest Elevation



310 MARKET ST. ALTERNATIVE 2