

306 Market Street  
Brookville

HAWP 23/65-08A

5

KEVIN,

THESE GO WITH  
CASE # 23/65-097,  
WHICH I BELIEVE IS  
AT ARCHIVES, SO IT  
WILL NEED TO BE PULLED.  
YOU ROCK.

THANK YOU

MB



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

William Kirwan  
Chairman

Date: June 2, 2015

### MEMORANDUM

TO: Don Holloway  
Department of Permitting Services

FROM: Matt Bowling, Senior Planner   
Historic Preservation Office  
Maryland-National Capital Park & Planning Commission

SUBJECT: **Stop Work Order:** Historic Area Work Permit #518318 - 306 Market Street, Brookeville.

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The Montgomery County Historic Preservation Commission (HPC) approved the installation of a 36" tall, wood, inset picket railing along the edge of the flat roof of the non-historic rear addition at 306 Market Street, Brookeville, Maryland at their Wednesday, September 23, 2009 meeting as part of Historic Area Work Permit #518318.

**Applicant:** Chad Wheeler, Owner  
**Address:** 306 Market Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Matt Bowling at 301.563.3408 or [matt.bowling@montgomeryplanning.org](mailto:matt.bowling@montgomeryplanning.org) to schedule a follow-up site visit.



Elevation Drawing

# Cedar wood railing guardrail

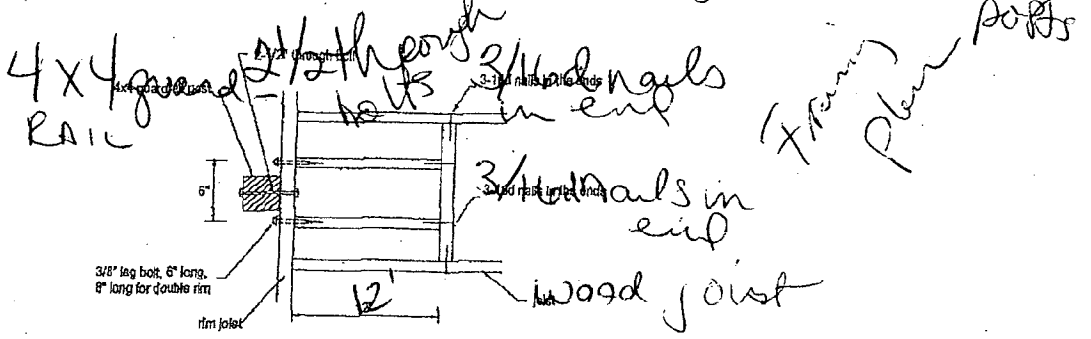


Figure 24: Plan (top) view-Exterior guardrail post

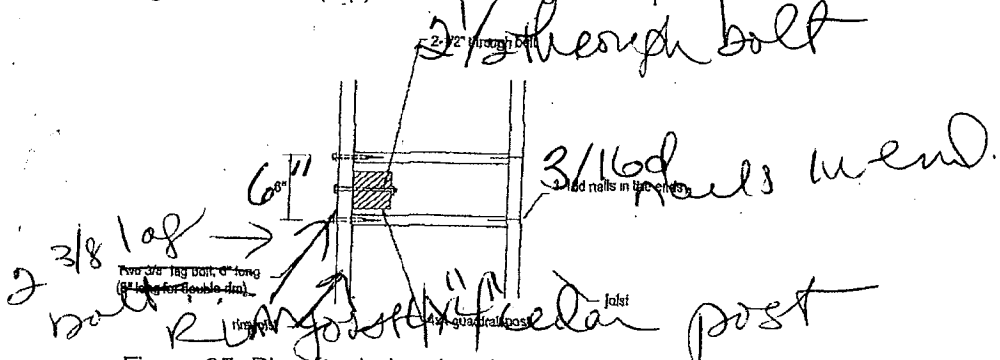
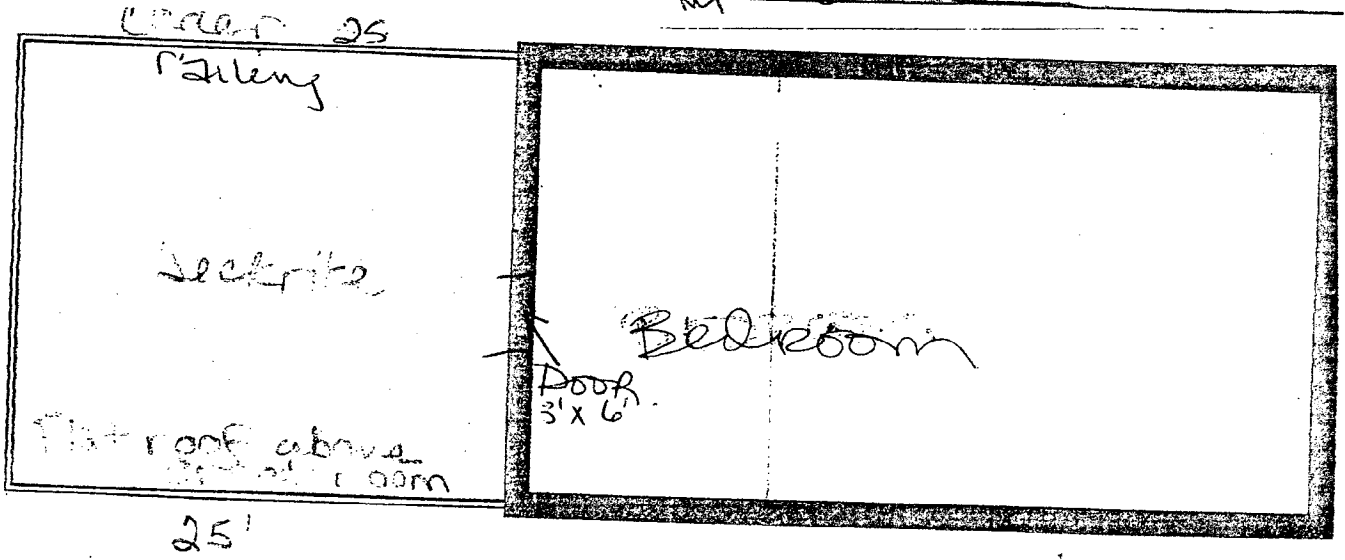


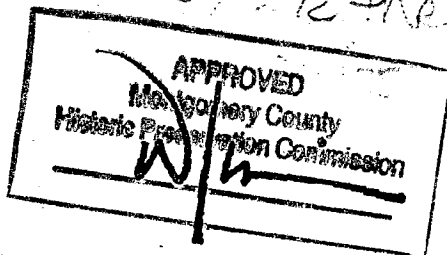
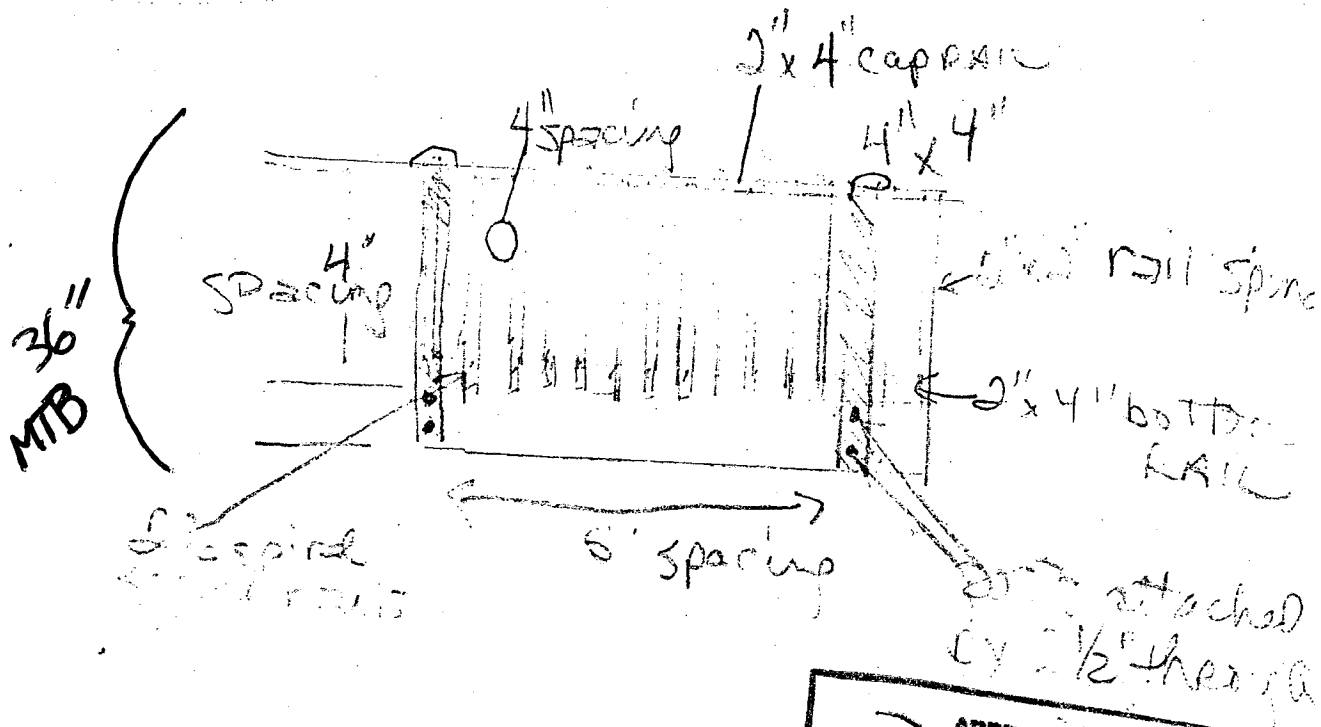
Figure 25: Plan (top) view-Interior guardrail post



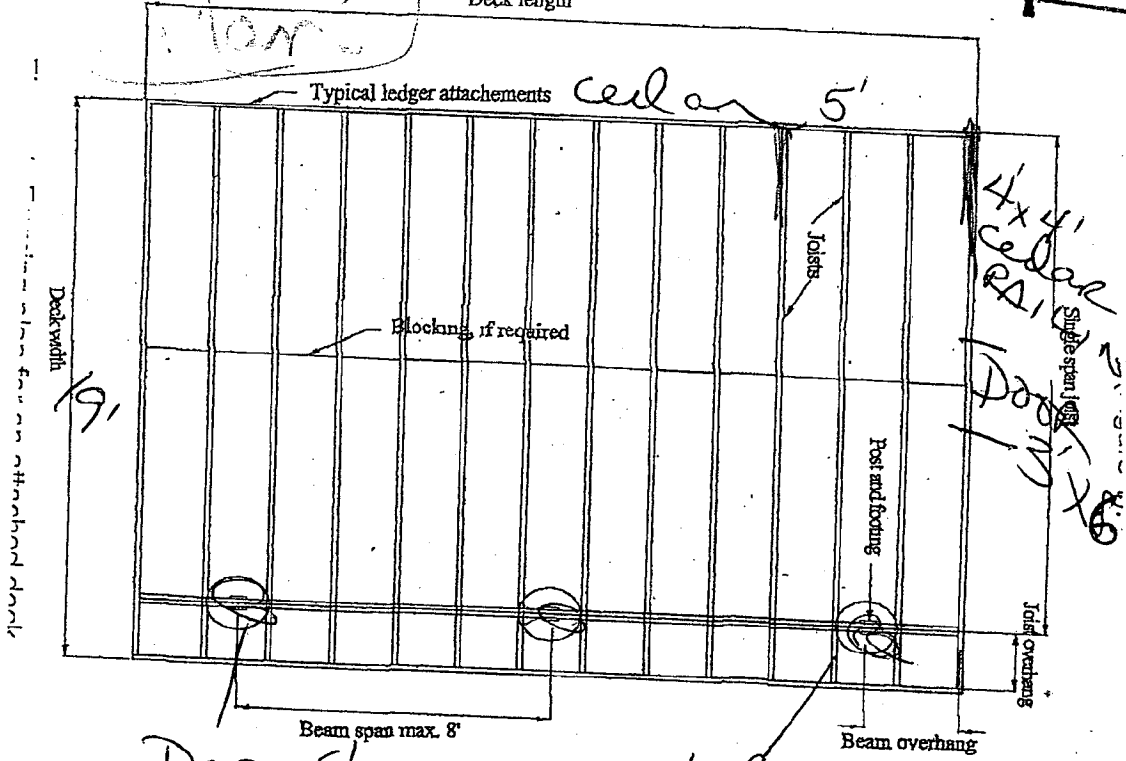
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 [Signature]



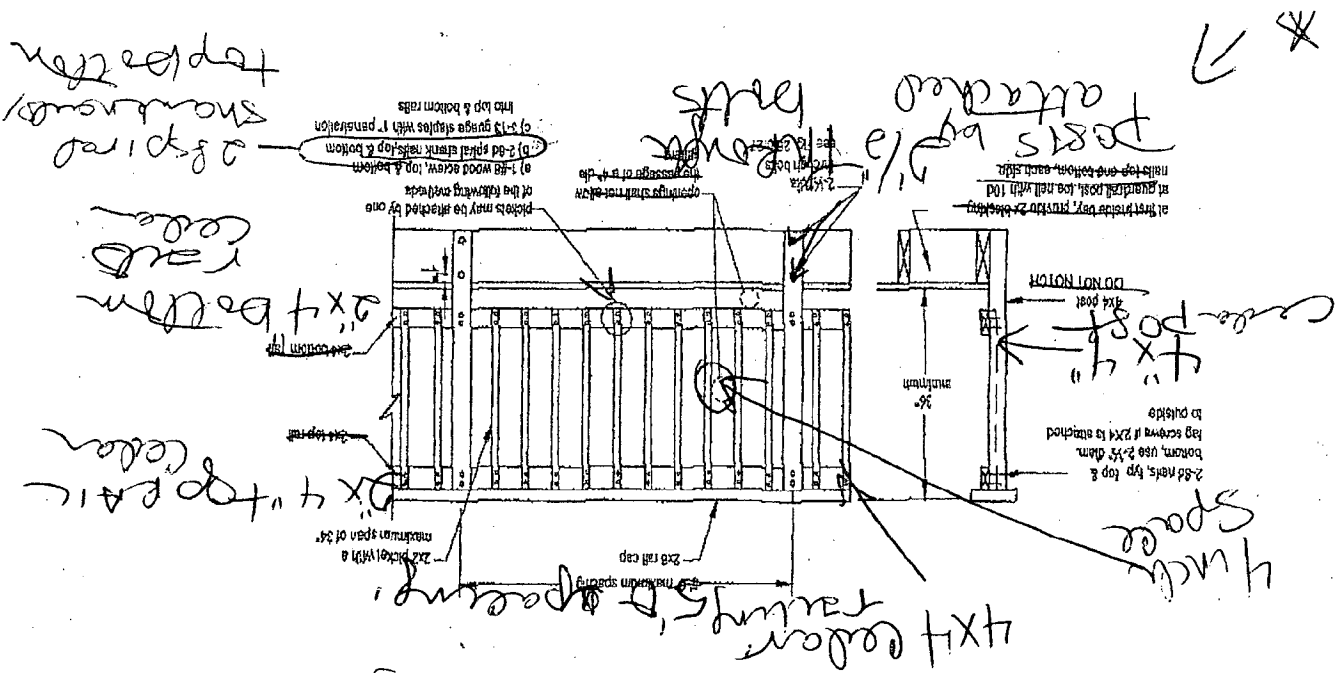
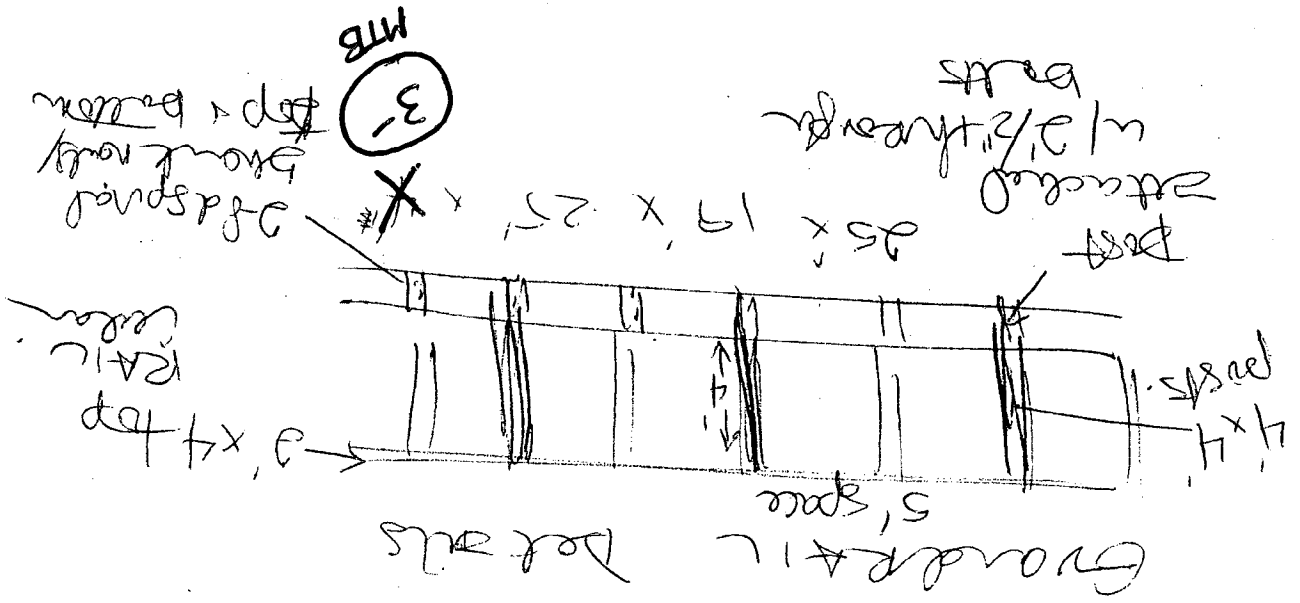
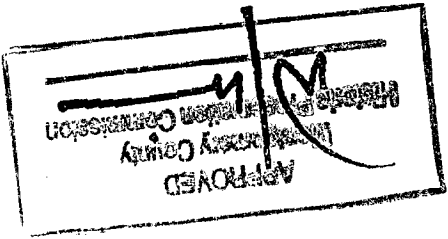
# Elevation Drawing - cedar RAILINGS



Framing Plan  
 25 Deck length

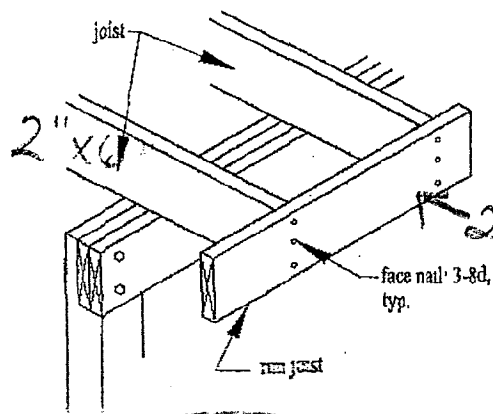
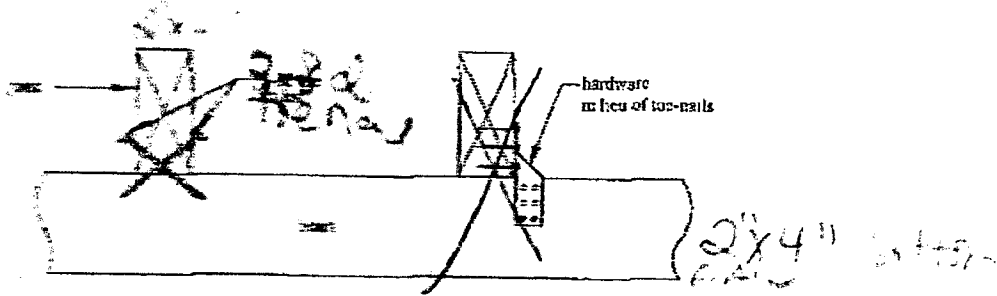


Post Spacing  
 2 1/2' on center  
 Dr.



Lincoln County - Building, Cedar

Joist to beam



W/h



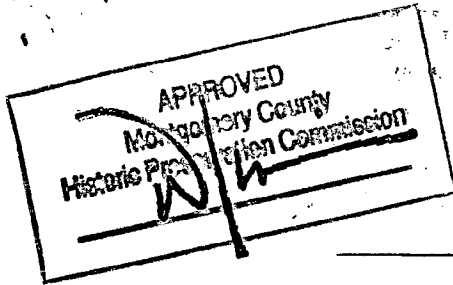
25' x 19' x 25'

3/4" plywood - r - r sheathing

rubber roofing - fully adhered system

678.25 surface area

104.26 total perimeter length



# CAS General Contractors

**Carlos Mejia**  
Owner

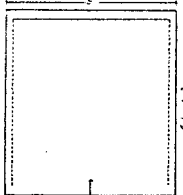
**Estimate #:** 4112014  
**Date:** APRIL 11, 2014

14114 Grand Pre Rd  
Silver Spring, MD 20906  
Phone: (301) 603-0071  
Cell: (240) 750-0509

**Prepared for:** CHAD WHEELER + MICHAEL YESENKO  
**Address1:** 306 Market Stret.  
**Address1:** BROOKEVILLE, MD 20833  
**Phone:** (240) 678 8793  
**Cell:** (301)-651-6786

## Estimate

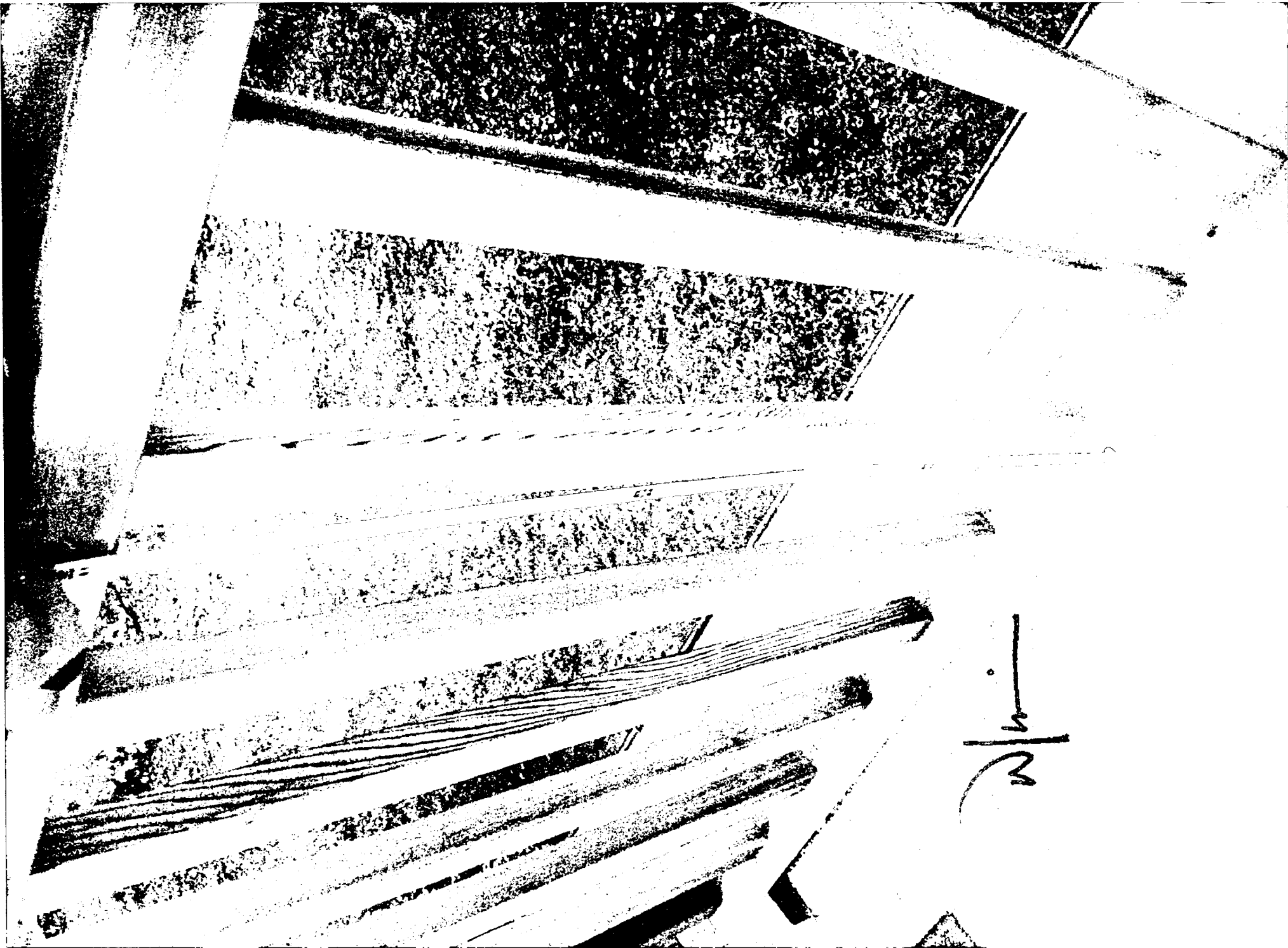
Description of Work to Be Done	Total
<b>ROOF DECKRITE EXTERIOR FLOOR COVERING</b>	
removal of existing roofing and flashing membrane to the plywood deck surface	
install new flat roof traffic membrane deckrite	
replacemend new 3/4 4x8 sheet plywood	
install deckrite 500 slate gray 50mil 68"x 90 sheet rolls	
install new deckrite bonding adhesive 5 gallon	
install new deckrite term bar 6 slkate gray	
install new deckrite term bar screw slate g gray	
install new deckrite 5 fascia bar	
install new deckrite 5 fascia cover slate gray	
install new deckrite inside cornerf slat gray	
install new deckrite outside corner slat gray	
install new deckrite pvc coat stl 4 x 10 gray	
all material in install accordance with maufacturer instrution,details and specifications.	
<b>CEDAR RAILING WOOD</b>	
install new cedar wood post 4x4x 8 clear s4s	
install new 2x4x6 ceder wood clear s4s	
install new 2x2x4 cedar wood balaster clear	



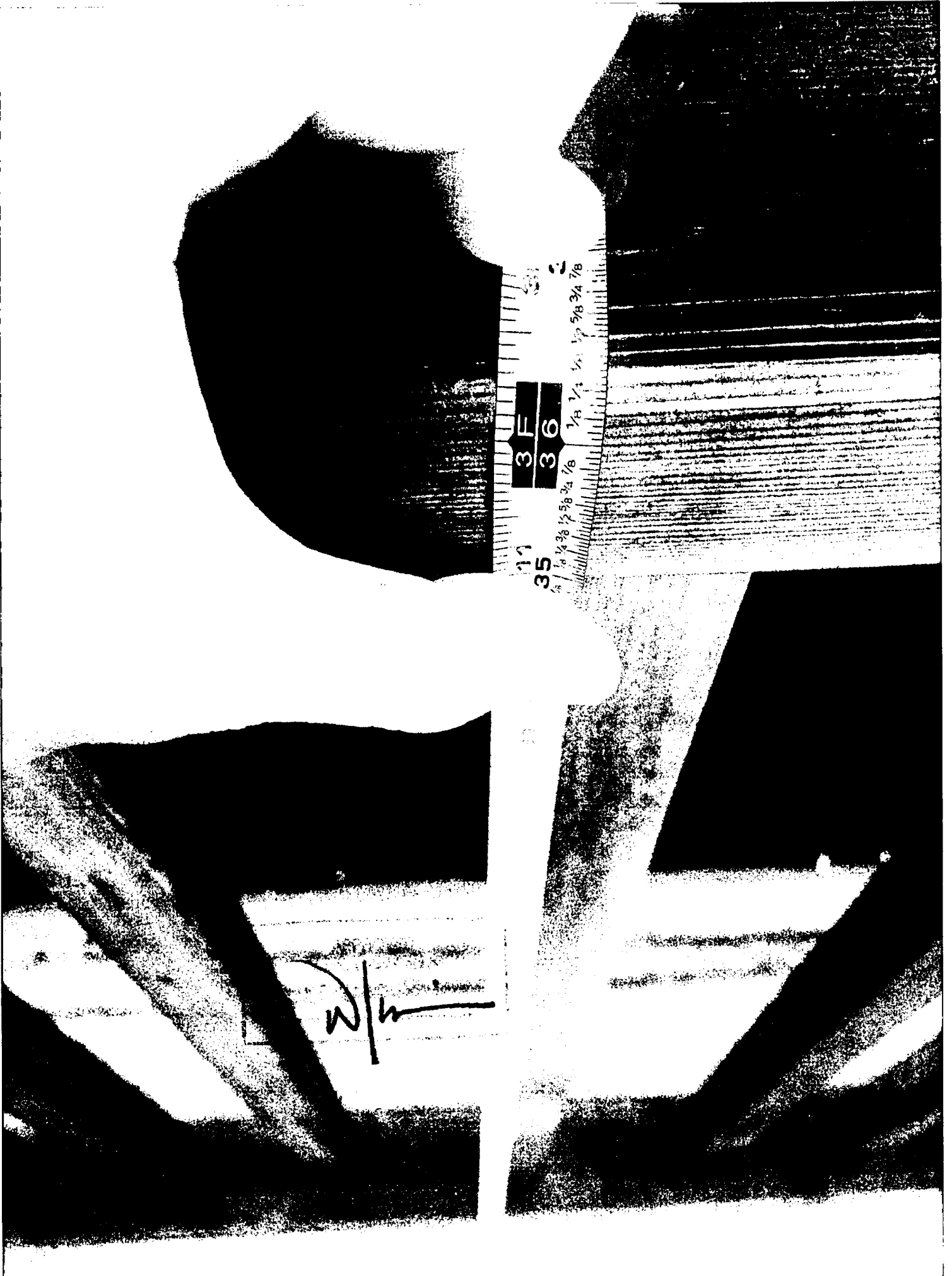
### Roof1

678.25 Surface Area  
104.26 Total Perimeter Length  
6.78 Number of Squares

CAT	SEL	DESCRIPTION	QNTY	UNIT PRICE	RCV	DEPREC.	ACV
	CALC						
1. RFG	RUBF+	Remove Rubber roofing - Fully adhered system - 60 mil					
	6.78	6.78 SQ	56.47	382.87	(0.00)	382.87	
3. FRM	SH3/4T	R&R Sheathing - plywood - 3/4" - treated					
	678	678.00 SF	2.58	1,749.24	(94.92)	1,654.32	
5. RFG	RUBF+	Rubber roofing - Fully adhered system - 60 mil					
	7.45	7.45 SQ	381.18	2,839.79	(567.96)	2,271.83	



1  
2



11  
35  
1/8 1/4 3/8 1/2 5/8 3/4 7/8  
3/8 1/2 5/8 3/4 7/8  
3 F  
3 6

W/h



## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

William Kirwan  
Chairman

Date: June 2, 2015

### MEMORANDUM

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Department of Permitting Services

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**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	306 Market Street, Brookeville	<b>Meeting Date:</b>	9/23/09
<b>Applicant:</b>	Chad Wheeler and Michael Yesenko	<b>Report Date:</b>	9/16/09
<b>Resource:</b>	Contributing Resource Brookeville Historic District	<b>Public Notice:</b>	9/9/09
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	23/65-09F <b>RETROACTIVE</b>	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Window and door replacement and other alterations

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve this application with the following conditions:

1. ~~Four~~ <sup>Two</sup> windows on the east side (windows labeled #3 and 4 in the application) will be removed and replaced with two sets of paired wood true divided light windows to match the windows originally in that location. Final window selection to be reviewed and approved at the staff level.
  2. ~~Four~~ <sup>Three</sup> existing windows on the west elevation (windows labeled #6, 7, ~~8~~ and 14 in application) must be retained and repaired; replacement windows are not approved.
- #1 missing trim reinstalled - replicate details to be approved by staff*

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Brookeville Historic District  
**STYLE:** Outbuilding  
**DATE:** c. late 19<sup>th</sup> century

The earliest section of this house dates to the mid to late 19<sup>th</sup> century and was built after an earlier structure in this location burned down. This building was originally used as an ice house and stable and storage area for funeral coaches for the funeral parlor that was across the street. The second story was added in the 1930s and the rear addition was added in the 1950s. A historic photo is in Circle 46.

**BACKGROUND**

The applicants were approved by the HPC in January 2008 to:

1. Remove non-original shutters from the house
2. Install 3' tall wood picket fencing around the back and sides of the property
3. Install a wood shed
4. Remove non-original front porch
5. Replace the non-original front door with a wood true divided light window

In July 2009 the Department of Permitting Services issued a Notice of Violation because the applicants were doing work that was not part of the approved Historic Area Work Permit (Circle 45).



## PROPOSAL

The applicants propose to replace all the windows and doors in the house with wood windows with simulated divided lights. The applicants have provided a floor plan and photos of the house with a key to each window. For details of the proposed window replacement see Circles 10-37.

[Note to HPC: the original section of the house is the one-story front gabled massing at the front of the house—not the dormered section above added in the 1930s or the rear addition built in the 1950s. The window on the front elevation in the gable end was a later addition.]

They also propose to:

- alter the left (east) side porch by removing two trellises and relocating an existing porch post (see Circle 44)
- install a 3' tall wood inset picket railing along the edge of the flat roof of the non-historic rear addition (see Circle 41). A railing in that location was removed by prior owners.
- install a covered entry above the rear door leading to the backyard. The covered entry/awning would have a wood-shingled shed roof and would be supported by two 4" x 4" wood posts (see photos in Circles 42+43). A plastic awning in this location was recently removed.
- remove four hemlocks that are diseased (see Circles 38-40)

## APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

### *Montgomery County Code; Chapter 24A-8:*

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

# 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence."

# 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

*The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:*

**4.0 WINDOWS & DOORS**

Windows and doors are some of the most important character-defining features of a structure. They give scale to buildings and provide visual interest to the composition of individual facades. These features are sometimes inset into relatively deep openings in a building wall or they may have surrounding casings and sash components that have substantial dimensions. They often cast shadows that contribute to the character of the building. The replacement of historic windows or doors represents the loss of character-defining historic features, and as such should not be undertaken. First, consider the repair of deteriorated windows or doors instead of replacement. Many repaired historic windows and doors will have a longer life span and be more durable than replacements. Older windows and doors typically were built with well seasoned wood from stronger, durable, more weather resistant old growth trees; many current wood windows and doors are constructed of new growth, kiln dried wood, which is much less durable, or of generally inappropriate synthetic materials. Shutters are important parts of windows and they should be preserved and maintained. Their removal is inappropriate, as well.

**Energy Conservation**

A common misperception is that older windows are energy inefficient and contribute to uncomfortable rooms and increased heating costs in the winter. In fact, properly weather-stripped and caulked historic windows with a storm window perform approximately as well as modern, double-glazed windows and sometimes even better. Most heat loss is associated with air leakage through gaps in windows rather than loss of energy through the historic windows. The most cost-effective energy conservation measures for most historic windows are to replace glazing compound, repair wood members and install weather stripping. These steps will dramatically reduce heat loss while preserving historic features. If additional energy savings is a concern, consider installing an exterior storm window. It should match the historic window divisions such

that the exterior appearance of the original window is not altered.

#### Design Objective

Preserve the size and shape of windows and doors because they significantly affect the character of a structure.

4.1 Preserve the functional and decorative features of original windows and doors.

- Repair frames, sashes, and shutters by patching, splicing or reinforcing.
- Use original windows, doors and their hardware when they can be repaired and reused in place.
- Ornamental and structural details, such as lintels and window hoods, should be preserved and repaired.

4.2 Maintain original window and door proportions.

- Altering the original size and shape is inappropriate.
- Reducing the size of an original opening to accommodate a smaller window is inappropriate.
- Restoring original openings which have been altered is encouraged.

4.3 Maintain the historic window arrangement and solid-to-void ratio.

- Large surfaces of glass are generally inappropriate on historic structures.
- Where large areas of glass are necessary, consider placing them on secondary facades. Also, divide them into several smaller windows that are in scale with those seen traditionally.

#### Design Objective

Repair a deteriorated window or door instead of replacing it or enclosing the opening.

4.4 Repair wooden window and door components by patching, piecing-in, consolidating or otherwise reinforcing the wood.

- Avoid the removal of damaged wood that can be repaired.
- Remove built-up paint on both the interior and exterior surfaces.
- Disassemble sash components and repair or stabilize the wood.
- Re-glazing, or replacement of the putty that holds in glazing, may also be necessary.
- Repair and refinish the frame as needed.
- Replace broken sash cords with new cords or chains.
- Repair and repaint window shutters.
- Install weather-stripping.
- Repaint the wooden members of the repaired and reassembled window or door.

4.5 Do not add new window or door openings on character-defining facades.

- This is especially important on primary facades.
- Greater flexibility in installing new windows or doors may be considered on secondary elevations.

4.6 If security is a concern, consider using wire glass, tempered glass or light metal security bars.

- These should be installed on the interior of the window or door whenever feasible.
- The use of heavy grade steel bars is inappropriate.

#### Design Objective

Replace a window or door that is damaged beyond repair with one similar to that seen historically.

4.7 When window or door replacement is necessary, match the replacement to the original design as closely as possible.

- In most cases, wood, true-divided light (TDL) windows are recommended. In limited situations, wood, simulated-divided light (SDL) windows, undivided lights windows, or non-wood windows may be appropriate. Reference the table on page 62 for guidance.
- Replacement windows and doors that do not reflect the character of the building are inappropriate.

- If the original window is double-hung, then the replacement should also be double-hung. Match the replacement also in the number, dimension and position of glass panes.
- Match, as closely as possible, the profile of the sash and its components to that of the original window.
- Preserve the original casing.
- Consider using a salvaged historic door or window as a replacement.

4.8 A new opening should be similar in location, size and type to those seen traditionally.

- Windows should be simple in shape, arrangement and detail. Unusually shaped windows, such as triangles and trapezoids, are inappropriate.

4.9 New windows and doors should be finished with functional and decorative features similar to those used traditionally.

- This trim should have a dimension similar to that used historically.
- Shutters should have similar dimensions to that used historically. Typically, shutters are half the width of the window opening. Shutters should generally be made of wood and appear operable.

4.10 When their use is appropriate, SDL windows should have muntins that are permanently bonded to the interior and exterior of the insulating glass to simulate the appearance of TDLs.

- TDL windows are preferred.
- Fake wooden muntins should create a similar effect as TDLs.

Staff reviews a retroactive application as if it was a proposal, not work that has already been completed. The applicants had received HPC approval for some of their proposed work, but it is very unfortunate that they made numerous changes to the house without an approved HAWP for the other work.

In terms of this proposal, the HPC generally requires the retention of original windows and window openings in Contributing Resources. If the applicant proposes that the windows be replaced they must provide evidence that they cannot be repaired or another reason they should be replaced. The HPC generally does allow the replacement of non-original windows in Contributing Resources with windows that are more appropriate for the resource, for example the replacement of metal windows with wood windows with simulated divided lights.

In this case, the applicants have provided a written window inventory with their assessment (not a professional's assessment) of the condition of each window to be replaced. It appears that most of the windows that they are proposing to replace are not original. As noted in the Proposal section, the original section of the house is the one-story front gabled massing and not the dormered section above that was added in the 1930s or the rear addition built in the 1950s. The window on the front elevation in the gable end was a later addition. Based on the applicants' description of the windows that were removed, it seems that only windows # 3 and 4 on the left side (east) may have been original to the house. The other windows that they propose to replace either are metal replacement windows and/or are in later (1930s or 1950s) sections of the house.

In the photos taken in 2007 of the windows on the east side (Circles 53+56), there appear to be two sets of paired windows with 6-over-6 true divided lights in the original massing. The applicants propose to replace these with four windows with simulated divided lights. Staff recommends that the original windows be retained and since this is retroactive staff recommends a condition that the applicants replace windows #3 and 4 to match what was there based on the photos.

Staff recommends approval of the rest of the partially retroactive window and door replacement proposal to install double-hung wood windows with simulated divided lights. Staff recommends another condition that the existing wood true divided light windows that have not yet been replaced, #6, 7, 8 (all 2-over-2

windows), and 14 (6-over-6) must remain in the house. If the applicants want to submit evidence that these windows cannot be repaired they may do that in a future application. They also can apply to install storm windows for energy efficiency.

The other alterations proposed in the application—a replacement covered entry at a rear door, diseased tree removal, alterations to the east porch, and a replacement wood railing on roof—are recommended for approval. Staff has made it very clear to the applicants that they must seek HPC approval for any exterior change in the future and it is expected that there will not be any other retroactive applications for this property.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application **with two conditions** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



DEPARTMENT OF PERMITTING SERVICES  
150 HOLLAND DRIVE SUITE 100 ROCKVILLE, MD 20850  
246-0000

DPS - #8

**HISTORIC PRESERVATION COMMISSION  
301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301-376-3765/240-276-2915

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Chad Wheeler/Michael Yesenko Daytime Phone No.: 301-376-3765/240-276-2915

Address: 306 Market Street Brookeville MD 20833  
Street Number City State Zip Code

Contractor: Ugo Colosso Phone No.: 240-643-6499

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: n/a Daytime Phone No.: n/a

**LOCATION OF BUILDING/PREMISE**

House Number: 306 Street: Market Street

Town/City: Brookeville Nearest Cross Street: Georgia Avenue

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Revision
- Install
- Wreck/Raze
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Windows/doors

1B. Construction cost estimate: \$ 6500

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: NIA

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches NIA

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

07/21/2009  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 518318 Date Filed: 8/3/09 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

8

6. **Tree Survey** n/a

7. **Addresses of Adjacent & Confronting Property Owners**

Heritage Family  
307 Market St.  
Brookeville, MD 20833

Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

Ray Family  
6 High St.  
Brookeville, MD 20833

Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833



September 11, 2009

Historic Preservation Committee  
8787 Georgia Avenue  
Silver Spring, MD 20910

RE: Project Description for 306 Market Street in Brookeville

Dear Committee Members,

The following is a project description for our property. The Front of the house is on the Market Street side, per the property survey.

#### Front

- Window 1 was a metal and glass framed window that was not historically significant or original to the house. The window was replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (3' 5 3/8" x 4' 1/2").
- Window 2 was a wood and glass door that was not historically significant or original to the house. The window had swelled shut and was replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (3' 5 3/8" x 4' 1/2").
- Window 15 was a wood and glass window, which was broken and did not close. There were also large gaps between window and frame that allowed cold air and insects inside. The window was replaced by a 4 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (2' x 2').

#### Left Side

- Trees 1, 2 and 3 have an infestation of Hemlock Woolly Adelgid. They are approximately 30' and we are requesting to remove them as they cannot be salvaged.
- The left porch had damaged trellises which were not original to the house. They were removed and an already existing porch post was moved from the side of the left porch to the front of the left porch. Each post is 4" x 4" in size.
- Window 3 was actually 2 attached window sections. Each section had 6 over 6 true divided light window, was broken and did not open. There were also large gaps between window and frame that allowed cold air and insects inside. The window was replaced by 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (3' 5 3/8" x 4' 1/2" each section).
- Door 1 was a 3 paned glass wood and glass door in poor condition and not original to the house. This was replaced by a 9 paned glass true divided light wood and glass door (32" x 80").
- Window 4 was actually 2 attached window sections. The windows had 6 x 6 true divided light wood and glass window that was damaged and one of the windows did not open. The second window was held together by duct tape on the inside. The windows were replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (3' 5 3/8" x 4' 1/2" each section).
- Windows 11 and 12 were 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The windows were replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screens (3' 5 3/8" x 4' 1/2").
- Door 2 was a 3 paned wood and glass door that was in poor condition and not original to the house. This was replaced by a 9 paned glass true divided light door (32" x 80").
- Window 5 had 3 attached window sections that did not have true divided light. The window was added during an addition that was built in the 1950s. This window was replaced by a window that has 3 attached sections. Each section has 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (7' 10 1/8" x 3' 4 1/2").

- A railing above the great room had been removed by prior owners. A rubber membrane was replaced on the great room roof to prevent water damage and the railing was never replaced. We plan to replace the railing with cedar wood inset railing (25'x19'x 24.9' long and 3' tall).

#### Rear

- Door 3 was a 3 paned wood and glass door was in poor condition and not original to the house and was replaced by a 15 paned glass true divided light door (32"x 80").
- We removed a damaged plastic awning over Door 3. The plastic awning had no historic significance to the house. We propose to attach a cedar awning (7'x 3'x 6") over Door 3. This awning will be supported by 2 cedar posts that are 4"x 4".

#### Right

- Windows 6, 7 and 8 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The replacement windows have been ordered and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each).
- Door 4 was a 3 paned glass and wood door that was in poor condition and not original to the house. The door was replaced by a 9 paned true divided light glass and wood door.
- Window 9 was a metal and glass window that was not original to the house and did not close. The window was replaced by a 2 sectioned window. Each section is 4 over 4 paned glass and wood JELD-WEN Energy Star simulated divided light windows with screen (35"x 50").
- Window 10 was a metal and glass window that was in poor condition and did not close properly. The window was replaced by a 2 sectioned window. Each section is 6 over 6 paned wood and glass JELD-WEN Energy Star Simulated divided light window with screen (42 1/2" x 70").
- Windows 13 was a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The window was replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4'1/2").
- Windows 14 is a 6 over 6 true divided light wood and glass window that is damaged and does not close properly. There were also large gaps between the window and frame. The condition was poor. The replacement window has been ordered and is 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4'1/2").
- Tree 4 has an infestation of Hemlock Wooly Adelgid. It is approximately 30' and we are requesting to remove the tree as it cannot be salvaged.

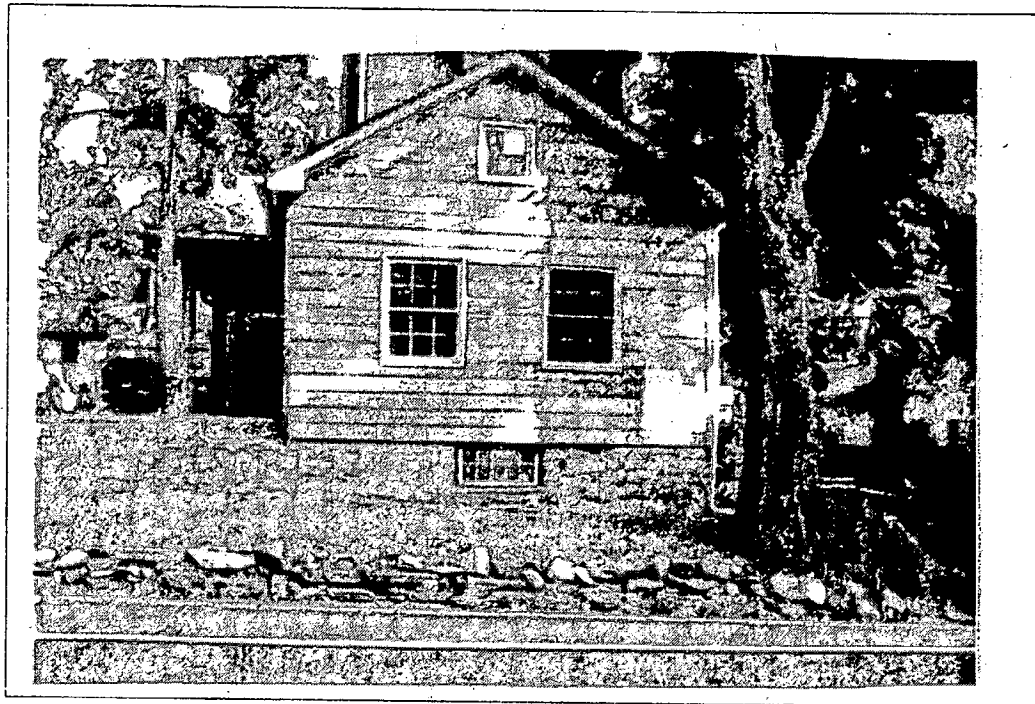
Thank you for your time and consideration in this project.

Regards,

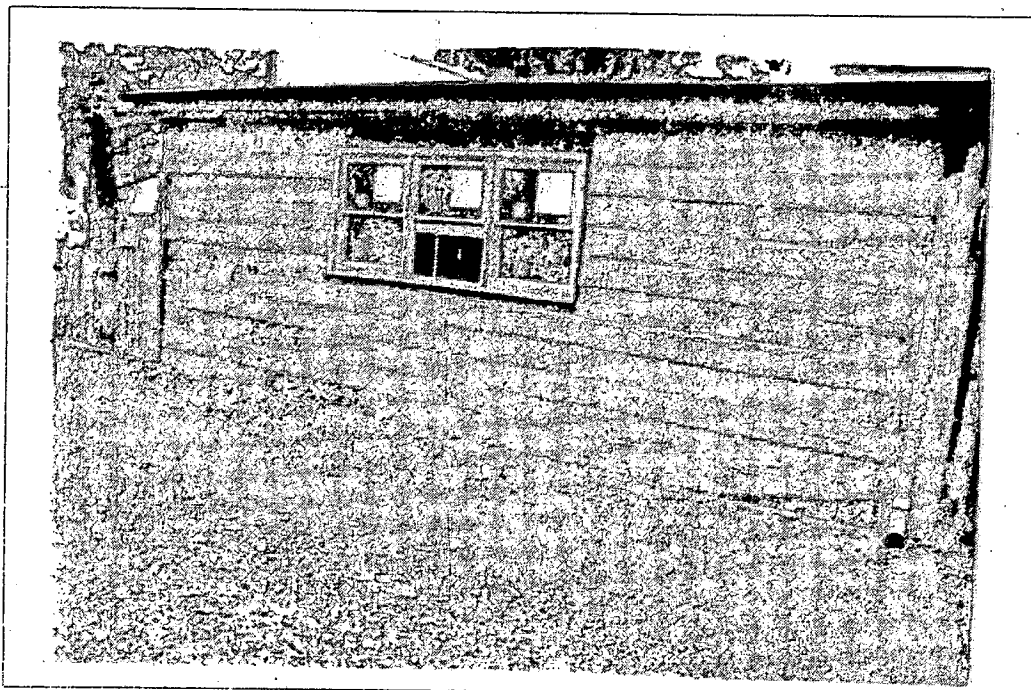
Chad Wheeler & Michael Yesenko  
306 Market Street  
Brookeville, MD 20833

(5 cont.)

Existing Property Condition Photographs (duplicate as needed)



Detail: North Side of House



Detail: Great Room

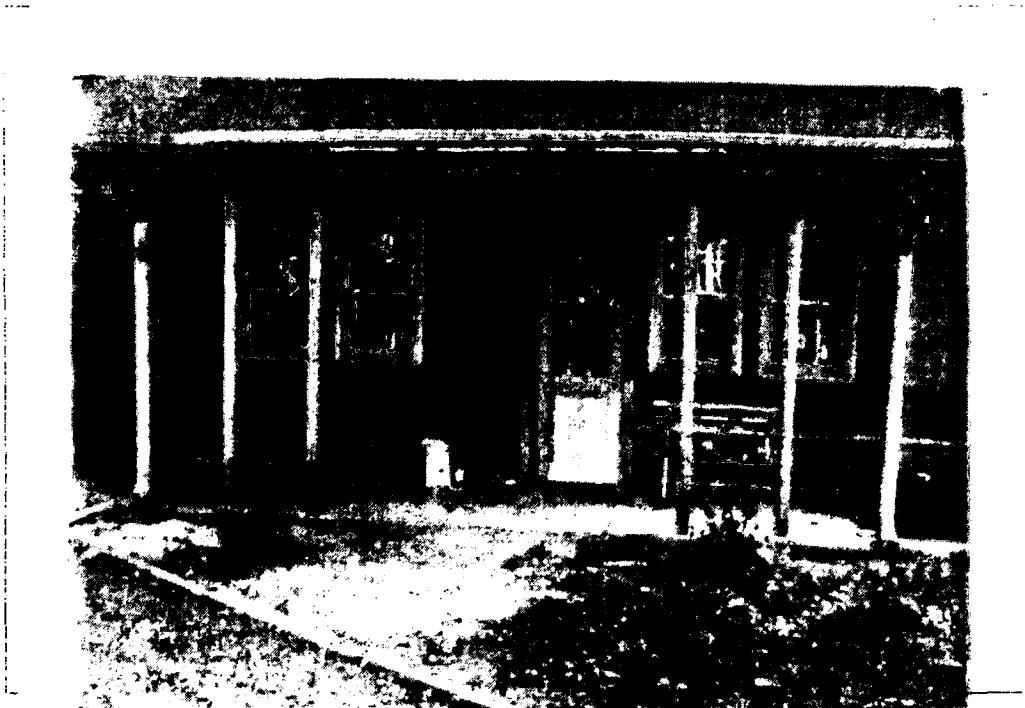
Applicant: Wheeler / Yelkeno

Page:

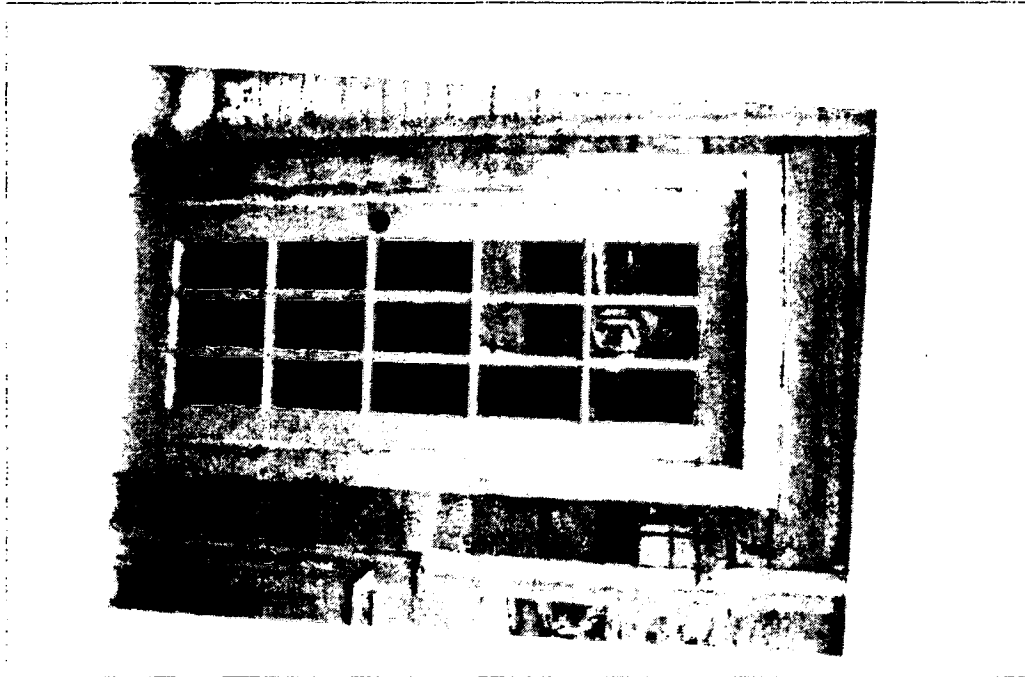
12

5 cont

Existing Property Condition Photographs (duplicate as needed)



Detail: east porch



Detail: South door

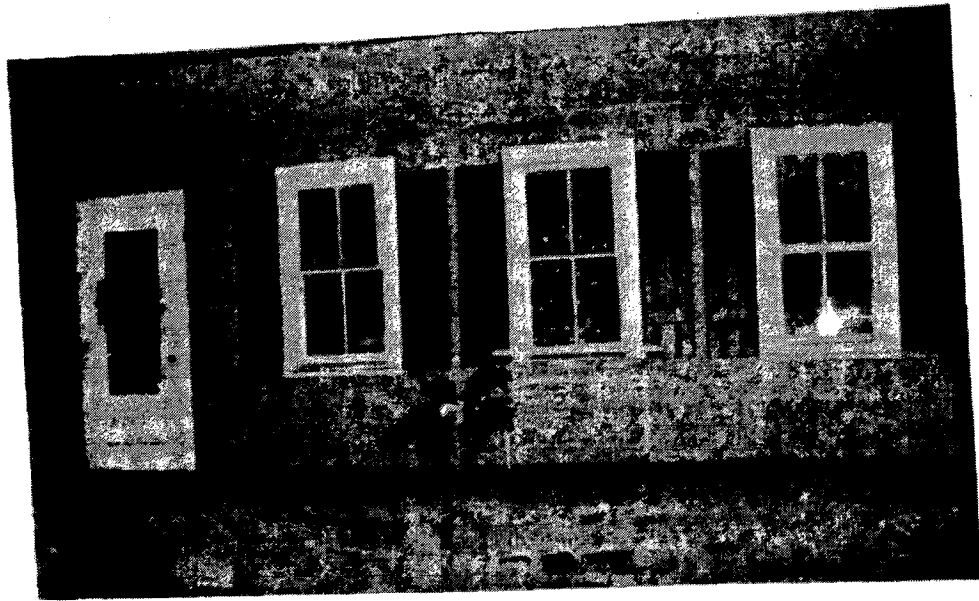
Applicant: Wheeler / Yesenko

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(13)

5 cont

Existing Property Condition Photographs (duplicate as needed)



Detail: west porch



Detail: \_\_\_\_\_

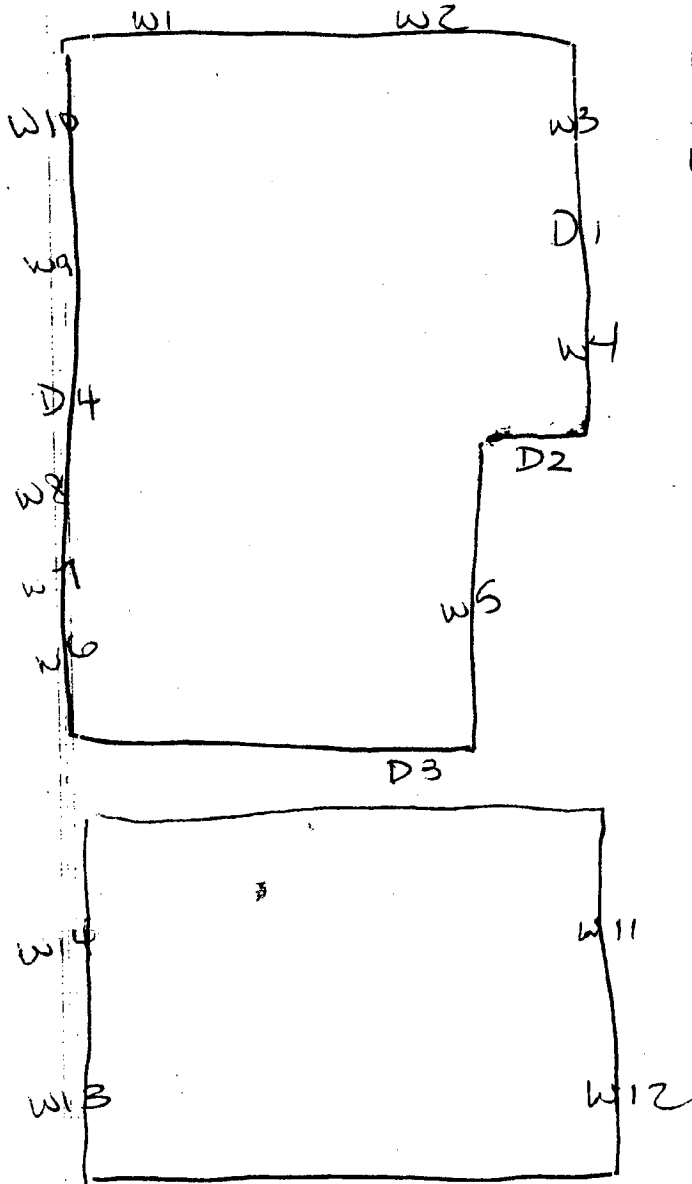
Applicant: Wheeler / Yisenu

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2

Site Plan

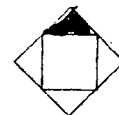
Measurements -



- 1st Floor
- W1 & W2 = 3' 5 3/8" x 4' 8"
  - W3 & W4 = 2' 5 3/8" x 4' 1/2"
  - W5 = 7' 10 1/8" x 3' 4 1/2"
  - W6, W7, W8 = 2' 5 3/8" x 4' 35"
  - W9 = 35" x
  - W10 = 42.5" x 70"
  - D1 = 32" x 80"
  - D2 = 32" x 80"
  - D3 = 32" x 80"
  - D4 = 32" x 80"

- 2nd Floor
- W11, W12, W13, W14 = 2' 5" x 4' 4"

W = Window  
D = Door



Shade portion to indicate North

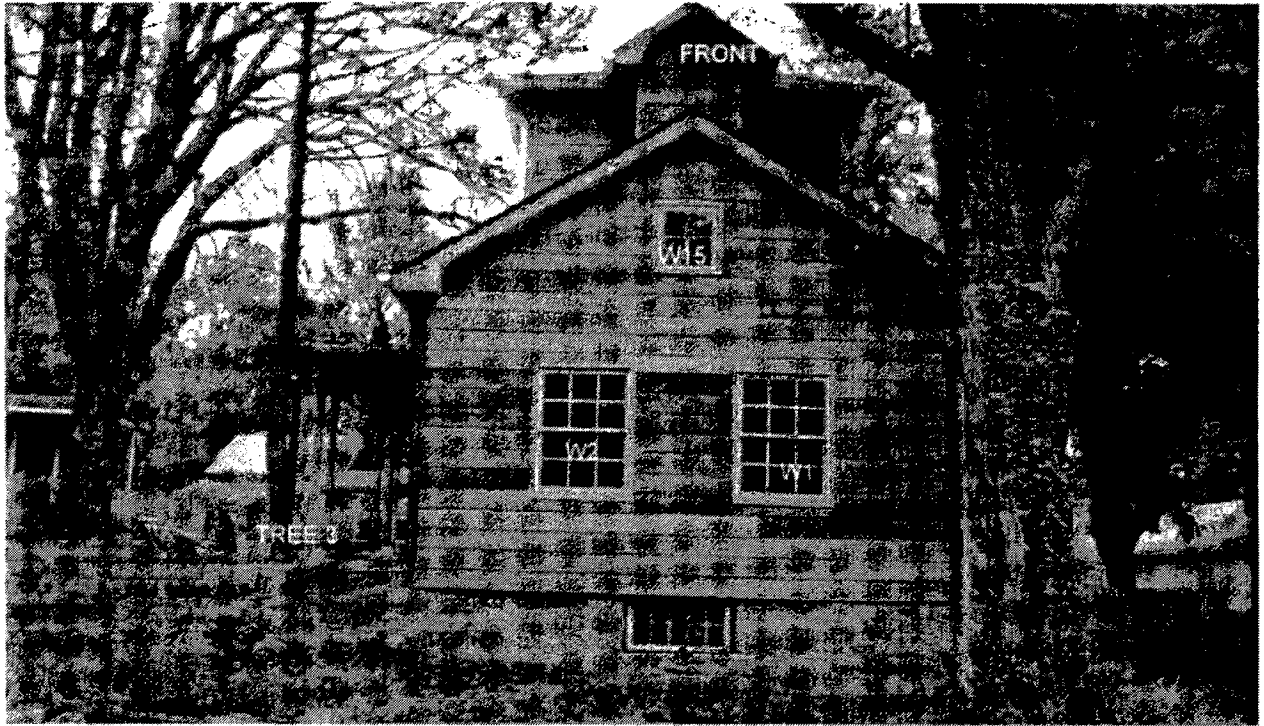
Applicant: Wheeler / Yesenko

1st Floor  
 ③ Plans / Elevations. - Repair / Install  
 W1, W2 = All  
 W3, W4 = material  
 W5 = will be  
 W6, W7, W8 = wood / glass  
 W9 =  
 W10 =  
 (Simulated divided light).  
 D1 = wood /  
 D2 = glass  
 D3 = "  
 D4 = "

2nd Floor  
 W1, W2, W3, W4 =

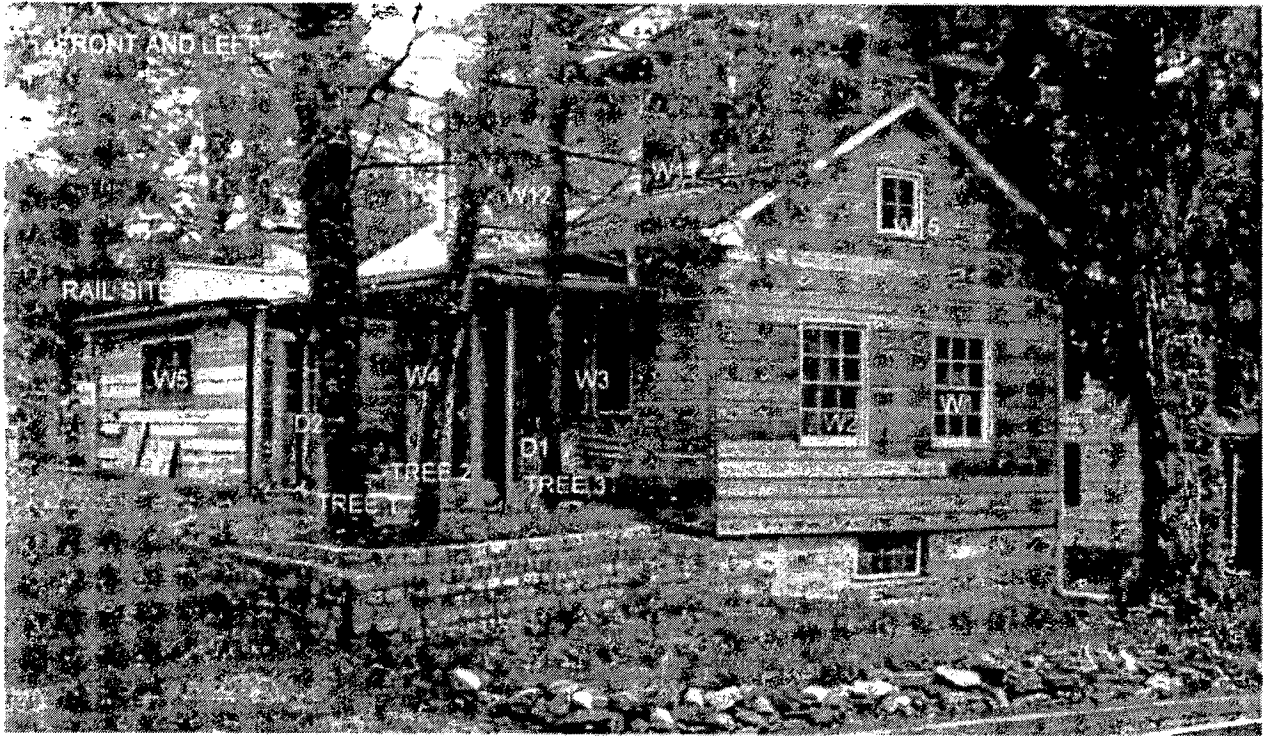
④ Materials Specifications,  
 Doors / wood & glass panels - 1/2 door  
 for D1, D2, D4 of glass panels

Door / wood & glass panel - full  
 door of glass panels for D3.



17





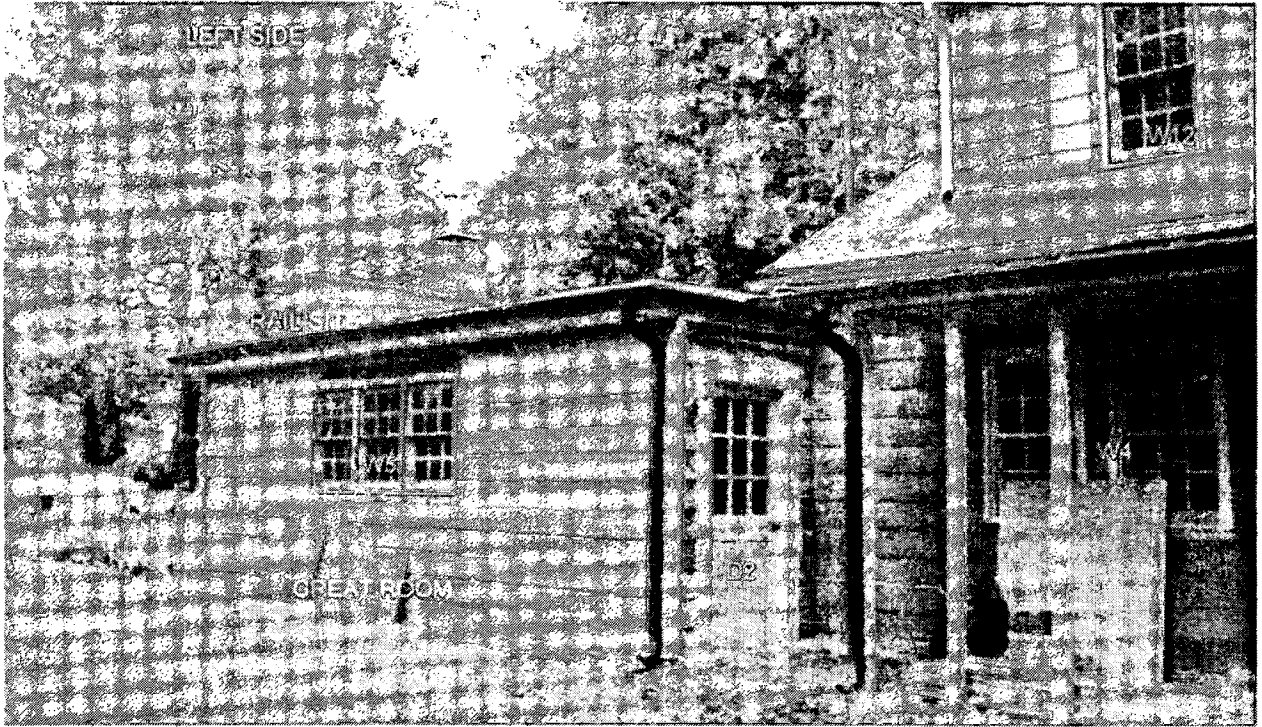
18



19



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21



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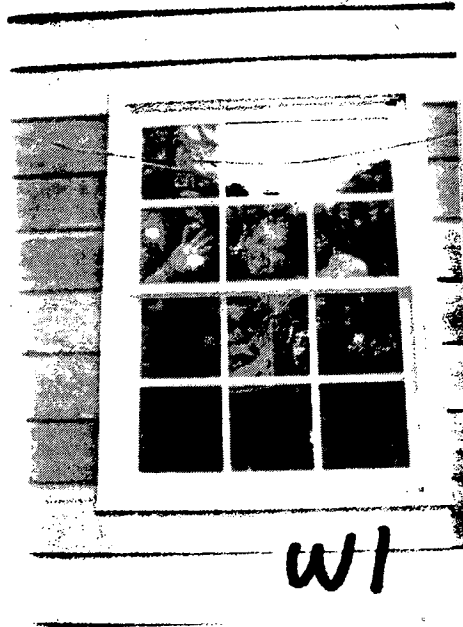


24

**Window Replacement**

**W1 3' 5 3/8" x 4' 8"**

The window was a metal and glass framed window (not historically or structurally significant) that did not close completely and the glass was cracked. The window was replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.



**W2 3' 5 3/8" X 4' 8"**

The wood and glass door (not original to the house or historically significant) had swelled shut and was replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.





W3 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were broken and did not open. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W4 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were damaged and one of the windows did not open. The second was held together by duct tape on the inside. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.

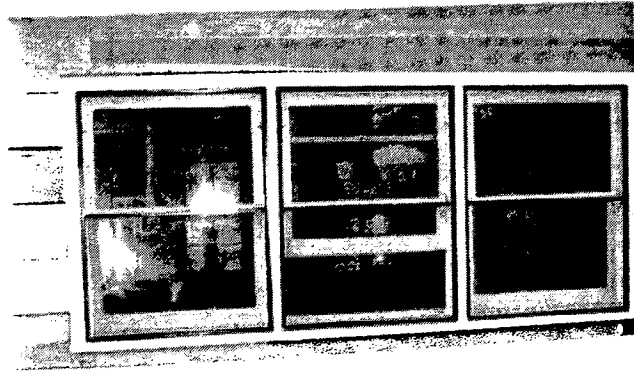


W4

26

W5 7' 10 1/8" x 3' x 4 1/2"

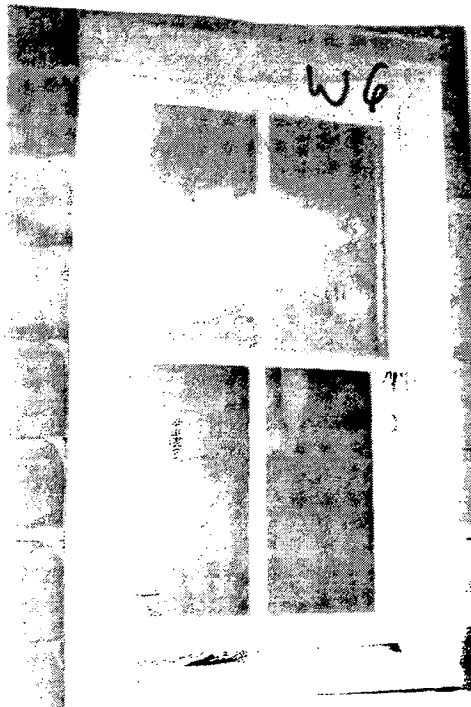
The wood and glass window did not have true divided light. The window was added during an addition that was built in the 1950's. This window had 3 attached windows in one unit and was replaced by 3 attached windows in one unit. Each window has 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W5

W6 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2) is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



27

W7 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



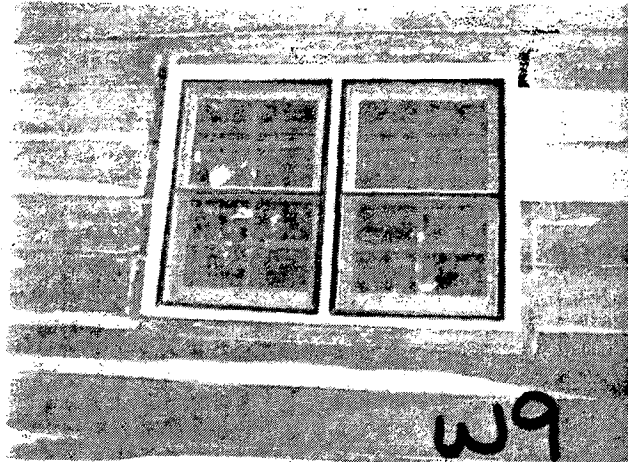
W8 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W9 35" x 50"

The metal and glass window (not historically significant) did not close properly and actually cut a guest because the window was cracked. The window was replaced by 4 over 4 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W10 42 1/2" x 70" (2 each)

The metal and glass window (not historically significant) did not close properly because the window was cracked. The window was replaced by 6 over 6 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W11 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W12 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W13 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.





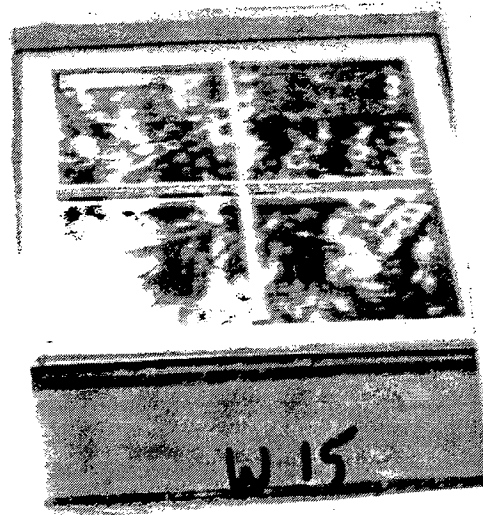
W14 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window is damaged and does not close properly. There Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



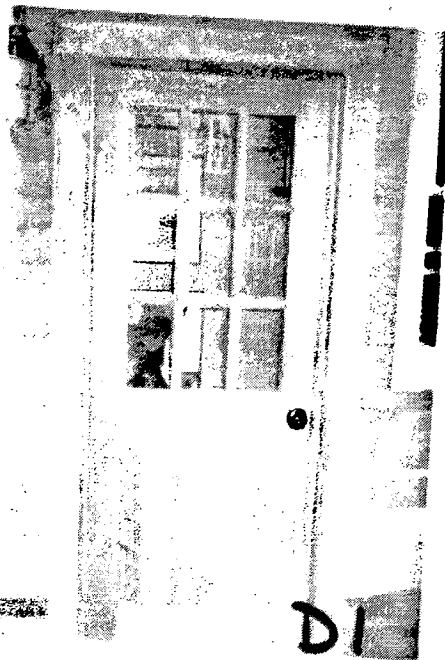
W15 2' x 2'

The 4 paned true divided light wood and glass framed window was broken and did not close. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 4 paned wood and glass Jeldwen Energy Star simulated divided light windows without screen. The wood will be stained cedar to match the cedar siding.



D1 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door.



D2 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



D3 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



D4 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



**Tree Removal**

We request to removal 4 hemlock trees that have Hemlock Woolly Adelgid (Trees 1, 2, 3, 4).  
These trees are approximately 30' in height.



Tree #1

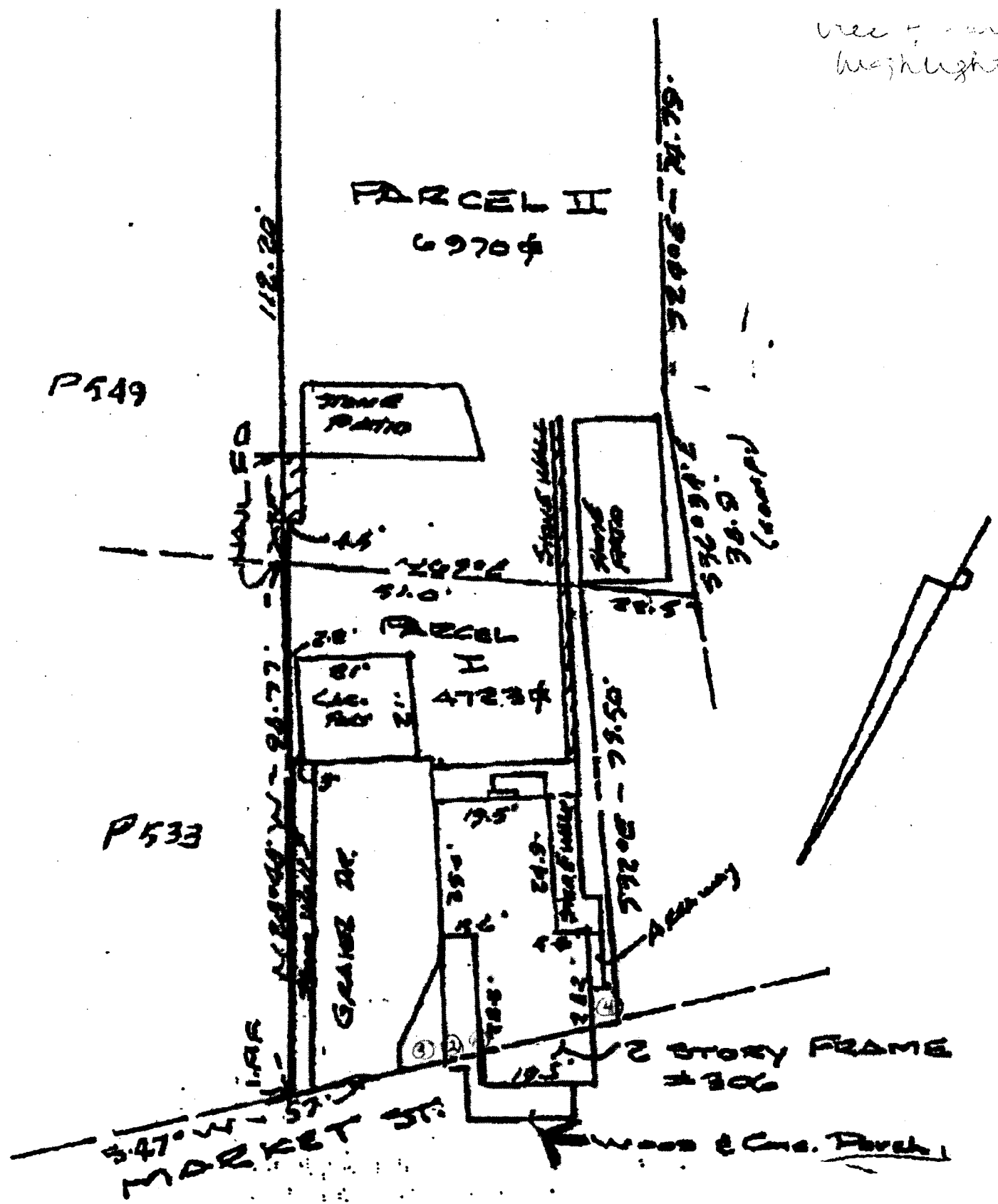


Trees #2 & #3



Tree #4

tree + some  
highlighter



PARCELS I AND II LIBER  
BROOKVILLE

Trees 1, 2, 3 + 4  
to be removed

**Good Earth Landscaping**  
11630 Falls Road  
Potomac, Maryland 20854  
Office: (301) 765-0086  
Fax: (301) 765-2080



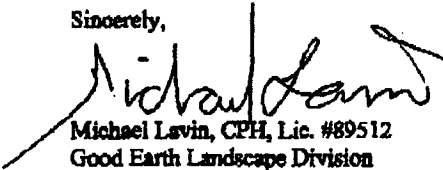
September 3, 2009

Mr. Wheeler and Mr. Yesenko  
306 Market Street  
Brookeville, MD 20833

Dear Mr. Wheeler and Ms. Yesenko,

The (3) Canadian Hemlocks by the driveway and the (1) at the northwest corner of the house have an infestation of Hemlock Woolly Adelgid. At this point the Trees are so damaged they cannot be salvaged and should be removed. If you opt to try to save the Trees, the spray is fairly toxic and I would not recommend spraying such large trees so close to the house. In any case, I strongly recommend the removal of all (4) Hemlocks.

Sincerely,



Michael Levin, CPH, Lic. #89512  
Good Earth Landscape Division

**Exceptional Quality. Outstanding Service. Everyday.**

40

Decorative Railing

A railing was removed by the prior owners on top of the great room when they replaced a rubber membrane (the ceiling leaked). We plan to replace the railing with cedar wood inset railing. Dimensions will be 25'x19'x24.9' long and 3' tall.



NO RAIL



Rail Proposal WS  
site



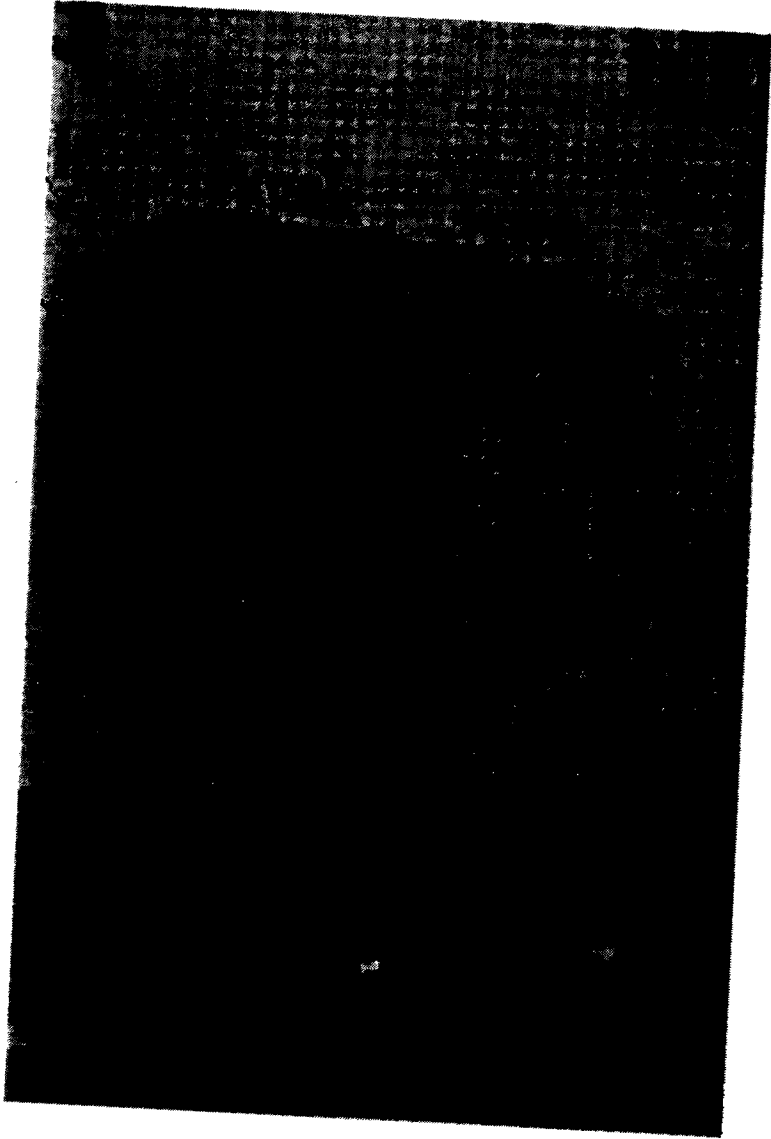
material  
&  
style



### Awning Over D3

We removed a damaged plastic awning that was attached to the house with no historic significance or value. We plan to attach cedar awning to house over D3. Dimensions are 7' x 3' by 6" cedar in material with two (2) cedar posts that are 4" x 4" to support the awning. *wood shingle roof*





proposed  
design  
for covered entry  
at rear door (D3)

East Porch

We removed damaged trellises on the east porch. We moved a porch post already in existence on each side to the front so there are now 3 supporting posts (each post is 4"x4").





**MONTGOMERY COUNTY**  
**DEPARTMENT OF PERMITTING SERVICES**  
 255 Rockville Pike, 2nd Floor  
 Rockville, Maryland 20850-4166

**NOTICE OF VIOLATION**

Case# 252770  
 Permit Type

Permit  
 Number

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that  
 On July 24, 2009 the recipient of this NOTICE: CHAD WHEELER  
 who represents the permittee/defendant,  
 is notified that a violation of Montgomery County Code, Section(s) as noted below  
 exists at: 306 MARKET BROOKEVILLE MD,

	<u>VIOLATION</u>	<u>CORRECTIVE ACTION</u>
Violation 1:	24A-6	OBTAIN HAWP PERMIT
Violation 2:		
Violation 3:		
Violation 4:		
Violation 5:		

**Violation Comments / Remarks:** Conducting structural changes to historic property without a Historic Area Work Permit (HAWP) in violation of 24A-6

**Corrective Action / Remarks:** Obtain a HAWP for all work done on property and for future work to be done on subject property.

See attached Inspection Report(s) for additional violations and/or required corrective actions

An Inspection fee of \$0.00 is required in addition to any application fee(s).  
 Compliance Time: 08/24/2009 Re-Inspection Date(s): 08/24/2009 Code/Edition:

Failure to comply with this notice may result in the issuance of one or more civil citations seeking fines of \$500.00 or more.

A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Written permission is required to resume construction.

ISSUED BY: MARK MORAN  07/23/2009  
 Printed Name Signature Date

Phone No: (301)370-3653

RECEIVED BY: \_\_\_\_\_  
 Printed Name Signature Date

Phone No: \_\_\_\_\_ Sent by Registered Mail/Return Receipt On: 7-27-09

**RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION**

45



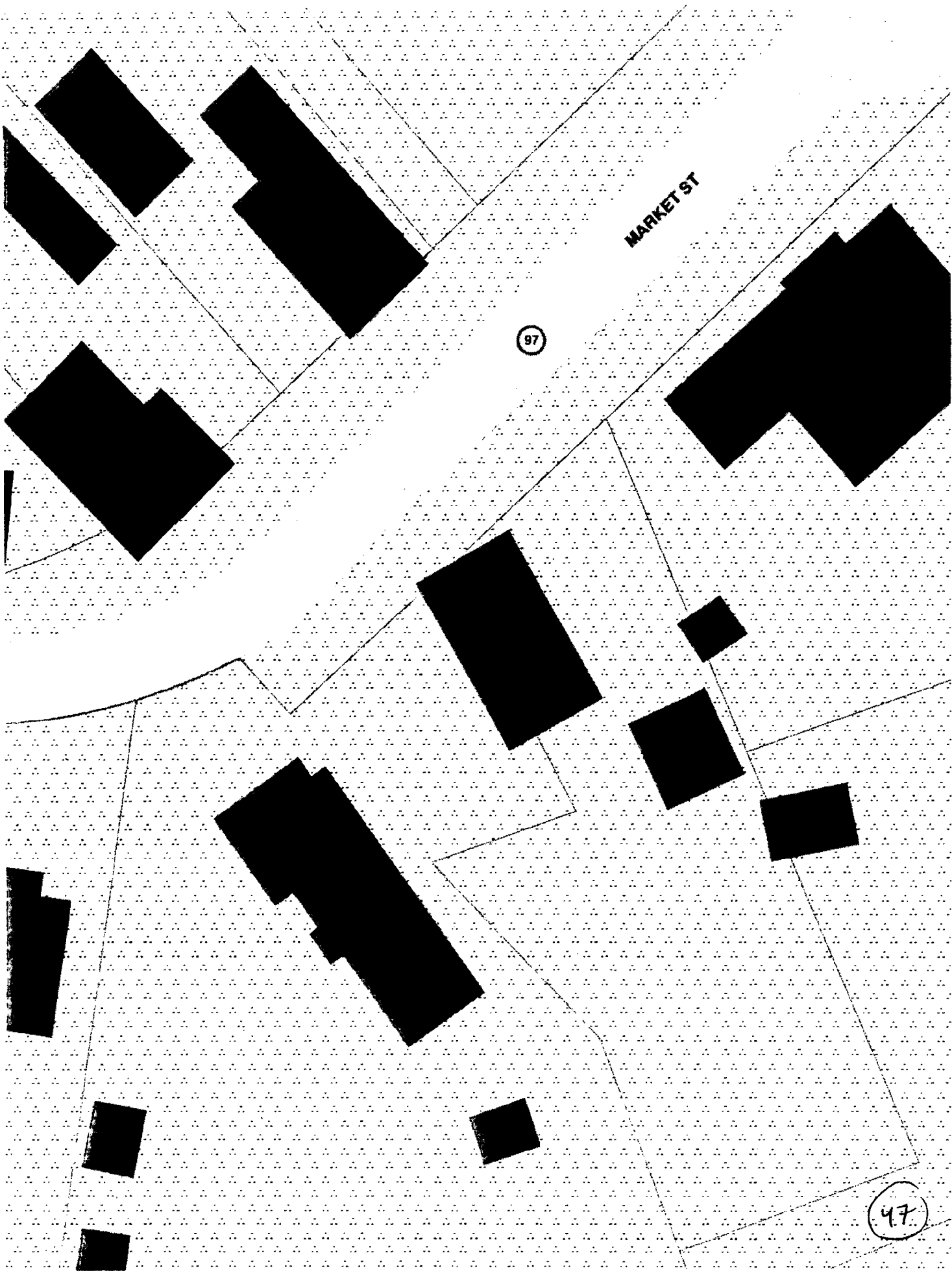
306 Market Street

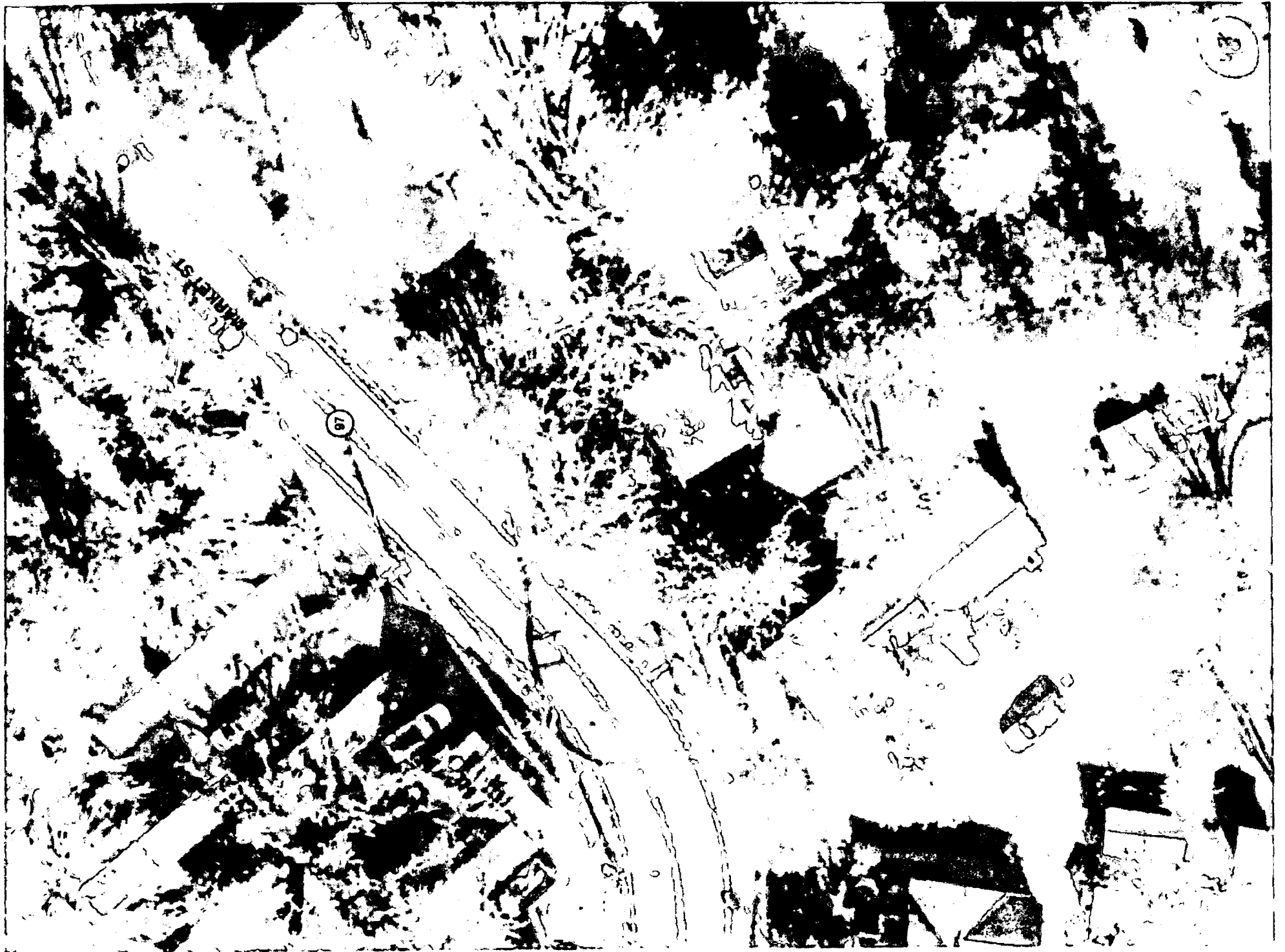
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MARKET ST

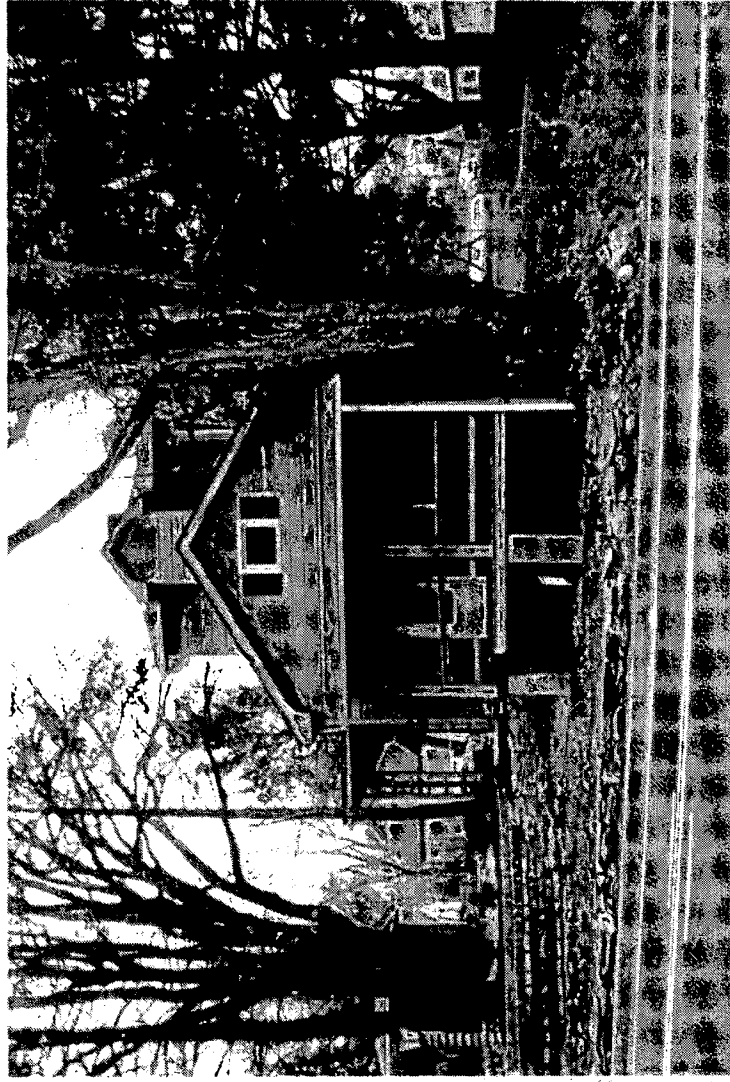
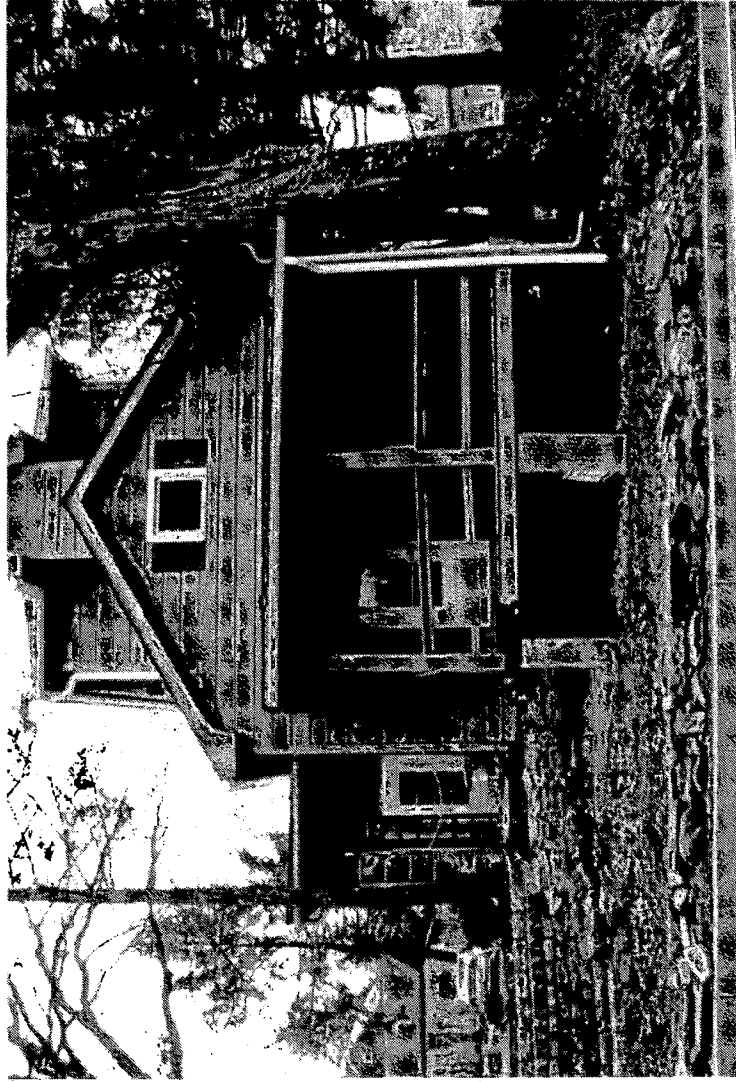
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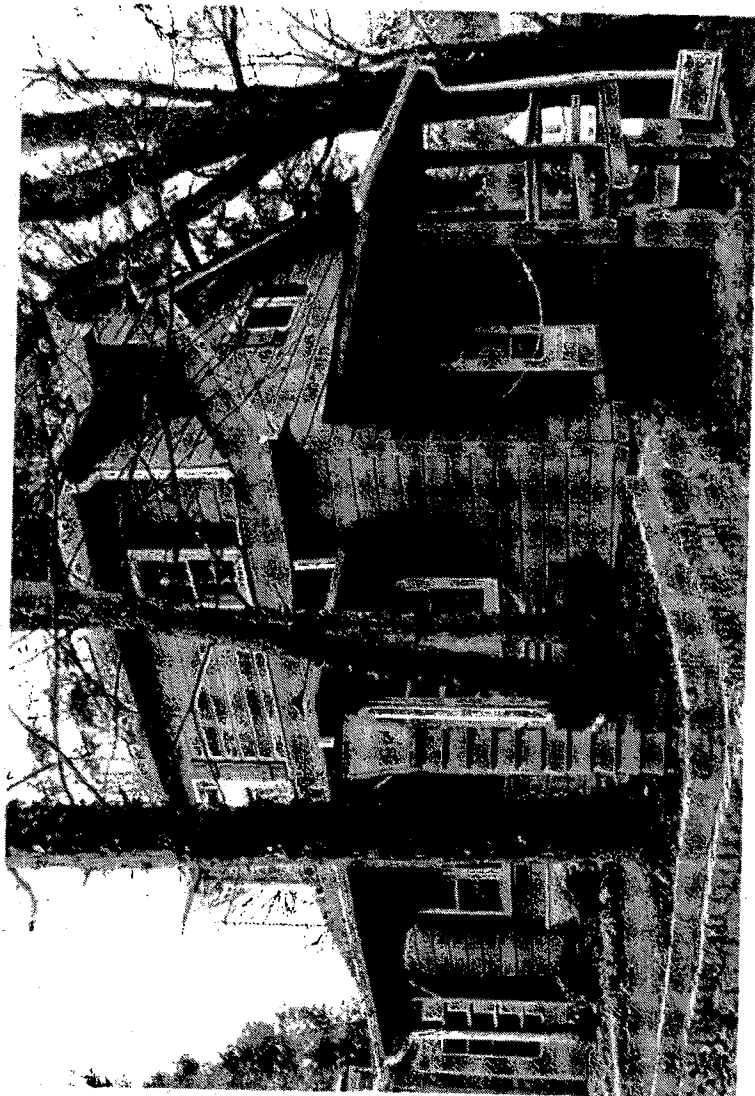




306 market (photos taken in 2007)







05



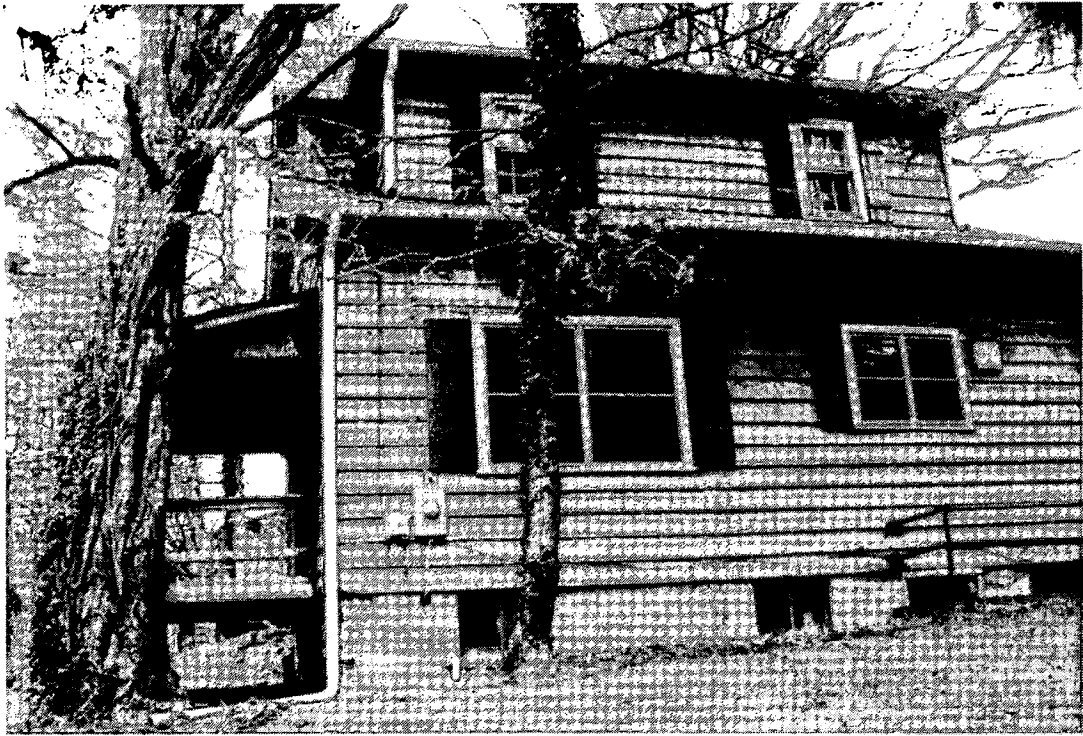
51





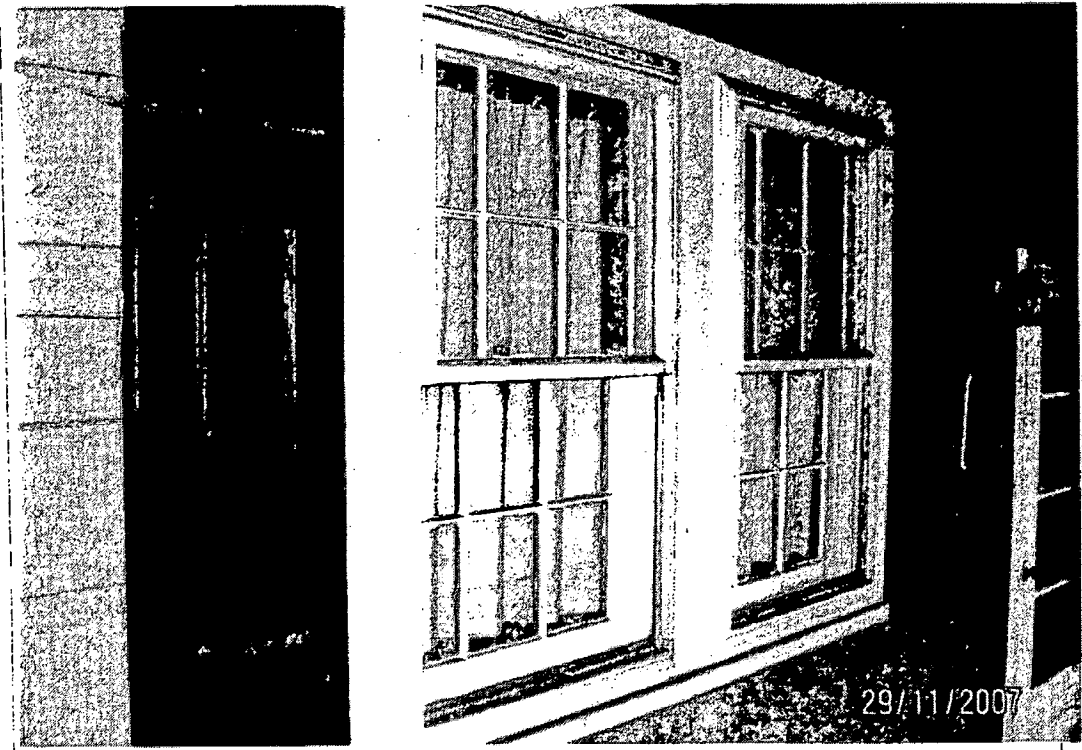


54



(3)

Existing Property Condition Photographs (duplicate as needed)



W4

Detail: Shutters (remove - not original)



Detail: SHUTTERS (Remove - not original)

Applicant:

Wheeler / Wicks

Page: 56

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**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	306 Market Street, Brookeville	<b>Meeting Date:</b>	9/23/09
<b>Applicant:</b>	Chad Wheeler and Michael Yesenko	<b>Report Date:</b>	9/16/09
<b>Resource:</b>	Contributing Resource Brookeville Historic District	<b>Public Notice:</b>	9/9/09
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	23/65-09F <b>RETROACTIVE</b>	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Window and door replacement and other alterations

**STAFF RECOMMENDATION**

Staff recommends that the HPC approve this application with the following conditions:

1. Four windows on the east side (windows labeled #3 and 4 in the application) will be removed and replaced with two sets of paired wood true divided light windows to match the windows originally in that location. Final window selection to be reviewed and approved at the staff level.
2. Four existing windows on the west elevation (windows labeled #6, 7, 8, and 14 in application) must be retained and repaired; replacement windows are not approved.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Brookeville Historic District  
**STYLE:** Outbuilding  
**DATE:** c. late 19<sup>th</sup> century

The earliest section of this house dates to the mid to late 19<sup>th</sup> century and was built after an earlier structure in this location burned down. This building was originally used as an ice house and stable and storage area for funeral coaches for the funeral parlor that was across the street. The second story was added in the 1930s and the rear addition was added in the 1950s. A historic photo is in Circle 46.

**BACKGROUND**

The applicants were approved by the HPC in January 2008 to:

1. Remove non-original shutters from the house
2. Install 3' tall wood picket fencing around the back and sides of the property
3. Install a wood shed
4. Remove non-original front porch
5. Replace the non-original front door with a wood true divided light window

In July 2009 the Department of Permitting Services issued a Notice of Violation because the applicants were doing work that was not part of the approved Historic Area Work Permit (Circle 45).



## PROPOSAL

The applicants propose to replace all the windows and doors in the house with wood windows with simulated divided lights. The applicants have provided a floor plan and photos of the house with a key to each window. For details of the proposed window replacement see Circles 10-37.

[Note to HPC: the original section of the house is the one-story front gabled massing at the front of the house—not the dormered section above added in the 1930s or the rear addition built in the 1950s. The window on the front elevation in the gable end was a later addition.]

They also propose to:

- alter the left (east) side porch by removing two trellises and relocating an existing porch post (see Circle 44)
- install a 3' tall wood inset picket railing along the edge of the flat roof of the non-historic rear addition (see Circle 41). A railing in that location was removed by prior owners.
- install a covered entry above the rear door leading to the backyard. The covered entry/awning would have a wood-shingled shed roof and would be supported by two 4" x 4" wood posts (see photos in Circles 42 + 43). A plastic awning in this location was recently removed.
- remove four hemlocks that are diseased (see Circles 38-40)

## APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

### ***Montgomery County Code; Chapter 24A-8:***

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

# 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

#6: Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.”

# 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

*The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:*

**4.0 WINDOWS & DOORS**

Windows and doors are some of the most important character-defining features of a structure. They give scale to buildings and provide visual interest to the composition of individual facades. These features are sometimes inset into relatively deep openings in a building wall or they may have surrounding casings and sash components that have substantial dimensions. They often cast shadows that contribute to the character of the building. The replacement of historic windows or doors represents the loss of character-defining historic features, and as such should not be undertaken. First, consider the repair of deteriorated windows or doors instead of replacement. Many repaired historic windows and doors will have a longer life span and be more durable than replacements. Older windows and doors typically were built with well seasoned wood from stronger, durable, more weather resistant old growth trees; many current wood windows and doors are constructed of new growth, kiln dried wood, which is much less durable, or of generally inappropriate synthetic materials. Shutters are important parts of windows and they should be preserved and maintained. Their removal is inappropriate, as well.

**Energy Conservation**

A common misperception is that older windows are energy inefficient and contribute to uncomfortable rooms and increased heating costs in the winter. In fact, properly weather-stripped and caulked historic windows with a storm window perform approximately as well as modern, double-glazed windows and sometimes even better. Most heat loss is associated with air leakage through gaps in windows rather than loss of energy through the historic windows. The most cost-effective energy conservation measures for most historic windows are to replace glazing compound, repair wood members and install weather stripping. These steps will dramatically reduce heat loss while preserving historic features. If additional energy savings is a concern, consider installing an exterior storm window. It should match the historic window divisions such

that the exterior appearance of the original window is not altered.

#### Design Objective

Preserve the size and shape of windows and doors because they significantly affect the character of a structure.

4.1 Preserve the functional and decorative features of original windows and doors.

- Repair frames, sashes, and shutters by patching, splicing or reinforcing.
- Use original windows, doors and their hardware when they can be repaired and reused in place.
- Ornamental and structural details, such as lintels and window hoods, should be preserved and repaired.

4.2 Maintain original window and door proportions.

- Altering the original size and shape is inappropriate.
- Reducing the size of an original opening to accommodate a smaller window is inappropriate.
- Restoring original openings which have been altered is encouraged.

4.3 Maintain the historic window arrangement and solid-to-void ratio.

- Large surfaces of glass are generally inappropriate on historic structures.
- Where large areas of glass are necessary, consider placing them on secondary facades. Also, divide them into several smaller windows that are in scale with those seen traditionally.

#### Design Objective

Repair a deteriorated window or door instead of replacing it or enclosing the opening.

4.4 Repair wooden window and door components by patching, piecing-in, consolidating or otherwise reinforcing the wood.

- Avoid the removal of damaged wood that can be repaired.
- Remove built-up paint on both the interior and exterior surfaces.
- Disassemble sash components and repair or stabilize the wood.
- Re-glazing, or replacement of the putty that holds in glazing, may also be necessary.
- Repair and refinish the frame as needed.
- Replace broken sash cords with new cords or chains.
- Repair and repaint window shutters.
- Install weather-stripping.
- Repaint the wooden members of the repaired and reassembled window or door.

4.5 Do not add new window or door openings on character-defining facades.

- This is especially important on primary facades.
- Greater flexibility in installing new windows or doors may be considered on secondary elevations.

4.6 If security is a concern, consider using wire glass, tempered glass or light metal security bars.

- These should be installed on the interior of the window or door whenever feasible.
- The use of heavy grade steel bars is inappropriate.

#### Design Objective

Replace a window or door that is damaged beyond repair with one similar to that seen historically.

4.7 When window or door replacement is necessary, match the replacement to the original design as closely as possible.

- In most cases, wood, true-divided light (TDL) windows are recommended. In limited situations, wood, simulated-divided light (SDL) windows, undivided lights windows, or non-wood windows may be appropriate. Reference the table on page 62 for guidance.
- Replacement windows and doors that do not reflect the character of the building are inappropriate.

- If the original window is double-hung, then the replacement should also be double-hung. Match the replacement also in the number, dimension and position of glass panes.
- Match, as closely as possible, the profile of the sash and its components to that of the original window.
- Preserve the original casing.
- Consider using a salvaged historic door or window as a replacement.

4.8 A new opening should be similar in location, size and type to those seen traditionally.

- Windows should be simple in shape, arrangement and detail. Unusually shaped windows, such as triangles and trapezoids, are inappropriate.

4.9 New windows and doors should be finished with functional and decorative features similar to those used traditionally.

- This trim should have a dimension similar to that used historically.
- Shutters should have similar dimensions to that used historically. Typically, shutters are half the width of the window opening. Shutters should generally be made of wood and appear operable.

4.10 When their use is appropriate, SDL windows should have muntins that are permanently bonded to the interior and exterior of the insulating glass to simulate the appearance of TDLs.

- TDL windows are preferred.
- Fake wooden muntins should create a similar effect as TDLs.

Staff reviews a retroactive application as if it was a proposal, not work that has already been completed. The applicants had received HPC approval for some of their proposed work, but it is very unfortunate that they made numerous changes to the house without an approved HAWP for the other work.

In terms of this proposal, the HPC generally requires the retention of original windows and window openings in Contributing Resources. If the applicant proposes that the windows be replaced they must provide evidence that they cannot be repaired or another reason they should be replaced. The HPC generally does allow the replacement of non-original windows in Contributing Resources with windows that are more appropriate for the resource, for example the replacement of metal windows with wood windows with simulated divided lights.

In this case, the applicants have provided a written window inventory with their assessment (not a professional's assessment) of the condition of each window to be replaced. It appears that most of the windows that they are proposing to replace are not original. As noted in the Proposal section, the original section of the house is the one-story front gabled massing and not the dormered section above that was added in the 1930s or the rear addition built in the 1950s. The window on the front elevation in the gable end was a later addition. Based on the applicants' description of the windows that were removed, it seems that only windows # 3 and 4 on the left side (east) may have been original to the house. The other windows that they propose to replace either are metal replacement windows and/or are in later (1930s or 1950s) sections of the house.

In the photos taken in 2007 of the windows on the east side (Circles 53+56), there appear to be two sets of paired windows with 6-over-6 true divided lights in the original massing. The applicants propose to replace these with four windows with simulated divided lights. Staff recommends that the original windows be retained and since this is retroactive staff recommends a condition that the applicants replace windows #3 and 4 to match what was there based on the photos.

Staff recommends approval of the rest of the partially retroactive window and door replacement proposal to install double-hung wood windows with simulated divided lights. Staff recommends another condition that the existing wood true divided light windows that have not yet been replaced, #6, 7, 8 (all 2-over-2

windows), **and 14** (6-over-6) must remain in the house. If the applicants want to submit evidence that these windows cannot be repaired they may do that in a future application. They also can apply to install storm windows for energy efficiency.

The other alterations proposed in the application—a replacement covered entry at a rear door, diseased tree removal, alterations to the east porch, and a replacement wood railing on roof—are recommended for approval. Staff has made it very clear to the applicants that they must seek HPC approval for any exterior change in the future and it is expected that there will not be any other retroactive applications for this property.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application **with two conditions** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2nd FLOOR, ROCKVILLE, MD 20850  
240-777-9370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301-376-3765/240-276-2915

Tax Account No.:

Name of Property Owner: Chad Wheeler/Michael Yesenko Daytime Phone No.: 301-376-3765/240-276-2915

Address: 306 Market Street Brookeville MD 20833  
Street Number City State Zip Code

Contractor: Ugo Colosso Phone No.: 240-643-6499

Contractor Registration No.:

Agent for Owner: n/a Daytime Phone No.: n/a

LOCATION OF BUILDING/PREMISE

House Number: 306 Street: Market Street

Town/City: Brookeville Nearest Cross Street: Georgia Avenue

Lot: Block: Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed
- Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family
- Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: (Windows/doors)

1B. Construction cost estimate: \$ 6500

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: NIA

2B. Type of water supply: 01  WSSC 02  Well 03  Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: feet inches NIA

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 07/21/2009

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 518318 Date Filed: 8/3/09 Date Issued:

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS\***

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6. **Tree Survey** n/a

7. **Addresses of Adjacent & Confronting Property Owners**

Heritage Family  
307 Market St.  
Brookeville, MD 20833

Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

Ray Family  
6 High St.  
Brookeville, MD 20833

Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833



September 11, 2009

Historic Preservation Committee  
8787 Georgia Avenue  
Silver Spring, MD 20910

RE: Project Description for 306 Market Street in Brookeville

Dear Committee Members,

The following is a project description for our property. The Front of the house is on the Market Street side, per the property survey.

#### Front

- Window 1 was a metal and glass framed window that was not historically significant or original to the house. The window was replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (3' 5 3/8" x 4' 1/2").
- Window 2 was a wood and glass door that was not historically significant or original to the house. The window had swelled shut and was replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (3' 5 3/8" x 4' 1/2").
- Window 15 was a wood and glass window, which was broken and did not close. There were also large gaps between window and frame that allowed cold air and insects inside. The window was replaced by a 4 paned wood and glass JELD-WEN Energy Star simulated divided light window without screen (2'x 2').

#### Left Side

- Trees 1, 2 and 3 have an infestation of Hemlock Woolly Adelgid. They are approximately 30' and we are requesting to remove them as they cannot be salvaged.
- The left porch had damaged trellises which were not original to the house. They were removed and an already existing porch post was moved from the side of the left porch to the front of the left porch. Each post is 4"x 4" in size.
- Window 3 was actually 2 attached window sections. Each section had 6 over 6 true divided light window, was broken and did not open. There were also large gaps between window and frame that allowed cold air and insects inside. The window was replaced by 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (3' 5 3/8" x 4' 1/2" each section).
- Door 1 was a 3 paned glass wood and glass door in poor condition and not original to the house. This was replaced by a 9 paned glass true divided light wood and glass door (32"x 80").
- Window 4 was actually 2 attached window sections. The windows had 6 x 6 true divided light wood and glass window that was damaged and one of the windows did not open. The second window was held together by duct tape on the inside. The windows were replaced by a 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (3' 5 3/8" x 4' 1/2" each section).
- Windows 11 and 12 were 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The windows were replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screens (3' 5 3/8" x 4' 1/2").
- Door 2 was a 3 paned wood and glass door that was in poor condition and not original to the house. This was replaced by a 9 paned glass true divided light door (32"x 80").
- Window 5 had 3 attached window sections that did not have true divided light. The window was added during an addition that was built in the 1950s. This window was replaced by a window that has 3 attached sections. Each section has 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (7'10 1/8" x 3' 4 1/2").

- A railing above the great room had been removed by prior owners. A rubber membrane was replaced on the great room roof to prevent water damage and the railing was never replaced. We plan to replace the railing with cedar wood inset railing (25'x19'x 24.9' long and 3' tall).

#### Rear

- Door 3 was a 3 paned wood and glass door was in poor condition and not original to the house and was replaced by a 15 paned glass true divided light door (32"x 80").
- We removed a damaged plastic awning over Door 3. The plastic awning had no historic significance to the house. We propose to attach a cedar awning (7'x 3'x 6") over Door 3. This awning will be supported by 2 cedar posts that are 4"x 4".

#### Right

- Windows 6, 7 and 8 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The replacement windows have been ordered and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each).
- Door 4 was a 3 paned glass and wood door that was in poor condition and not original to the house. The door was replaced by a 9 paned true divided light glass and wood door.
- Window 9 was a metal and glass window that was not original to the house and did not close. The window was replaced by a 2 sectioned window. Each section is 4 over 4 paned glass and wood JELD-WEN Energy Star simulated divided light windows with screen (35"x 50").
- Window 10 was a metal and glass window that was in poor condition and did not close properly. The window was replaced by a 2 sectioned window. Each section is 6 over 6 paned wood and glass JELD-WEN Energy Star Simulated divided light window with screen (42 1/2" x 70").
- Windows 13 was a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The window was replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4'1/2").
- Windows 14 is a 6 over 6 true divided light wood and glass window that is damaged and does not close properly. There were also large gaps between the window and frame. The condition was poor. The replacement window has been ordered and is 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4'1/2").
- Tree 4 has an infestation of Hemlock Wooly Adelgid. It is approximately 30' and we are requesting to remove the tree as it cannot be salvaged.

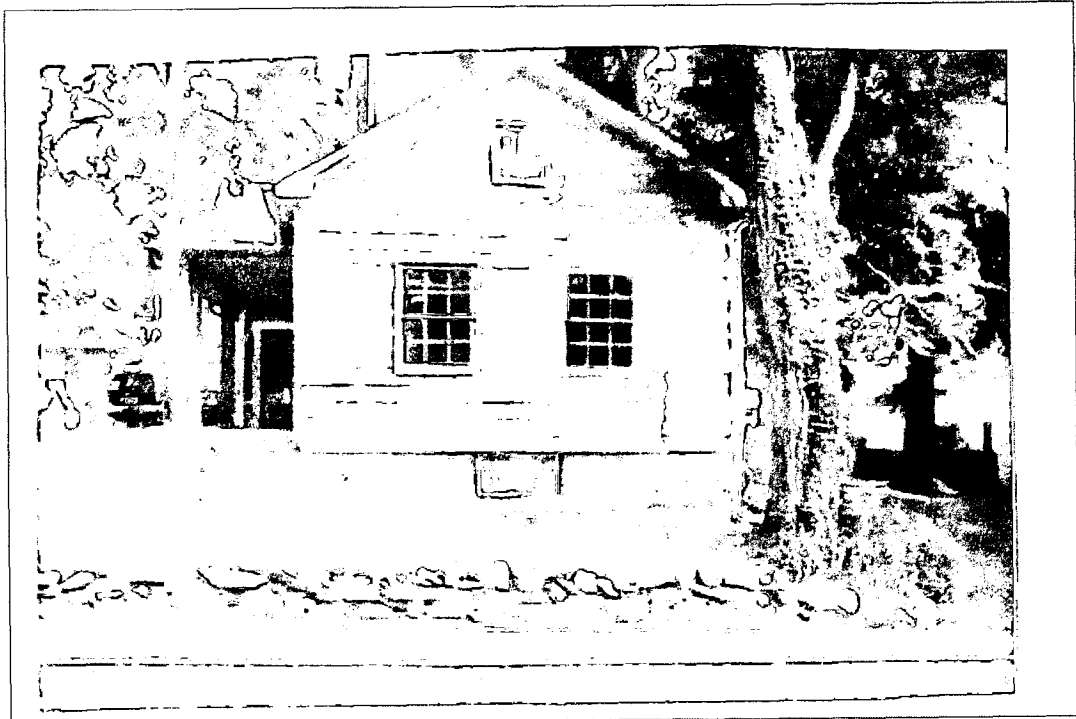
Thank you for your time and consideration in this project.

Regards,

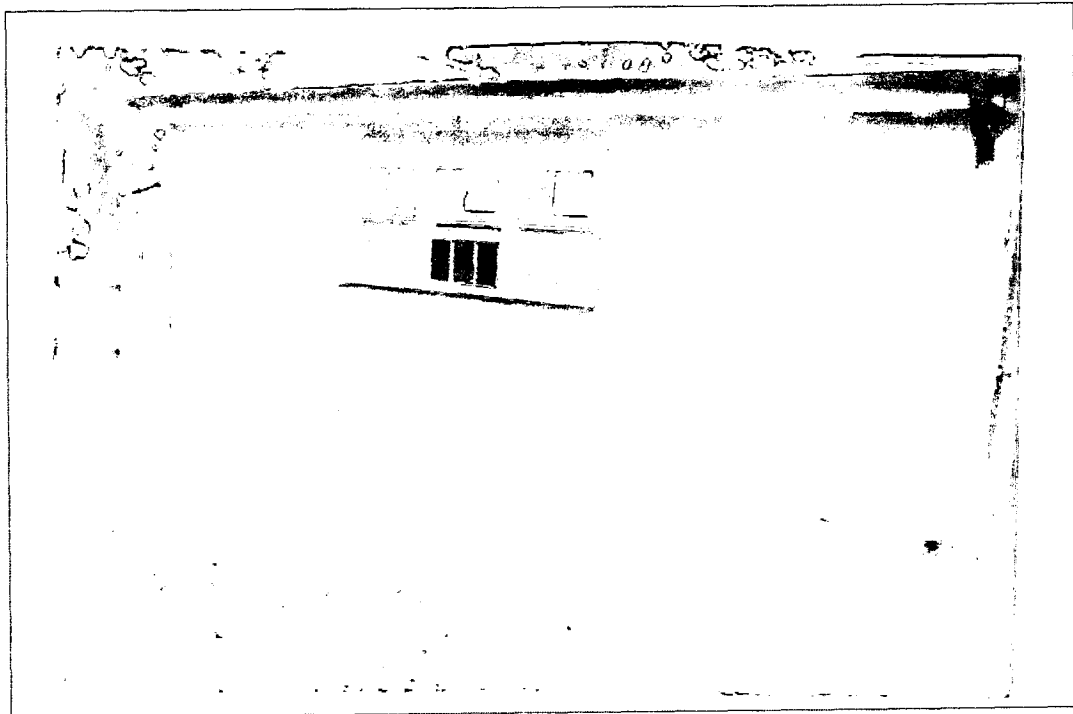
Chad Wheeler & Michael Yesenko  
306 Market Street  
Brookeville, MD 20833

(5) (cont.)

Existing Property Condition Photographs (duplicate as needed)



Detail: North side of House

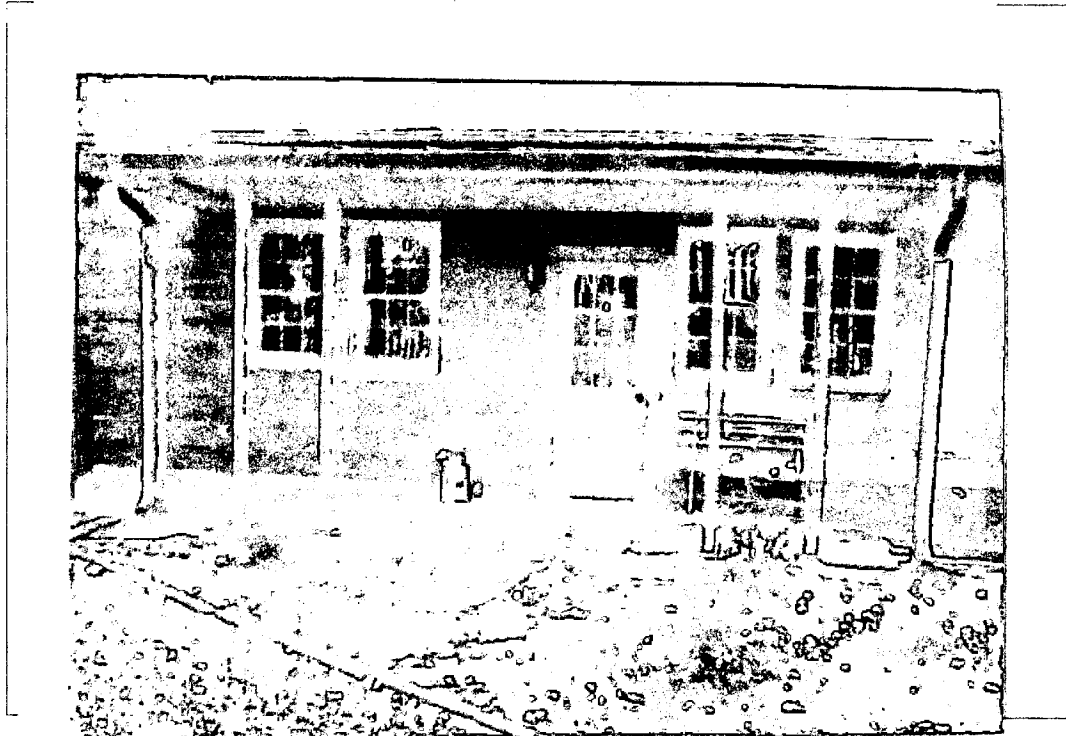


Detail: Great Room

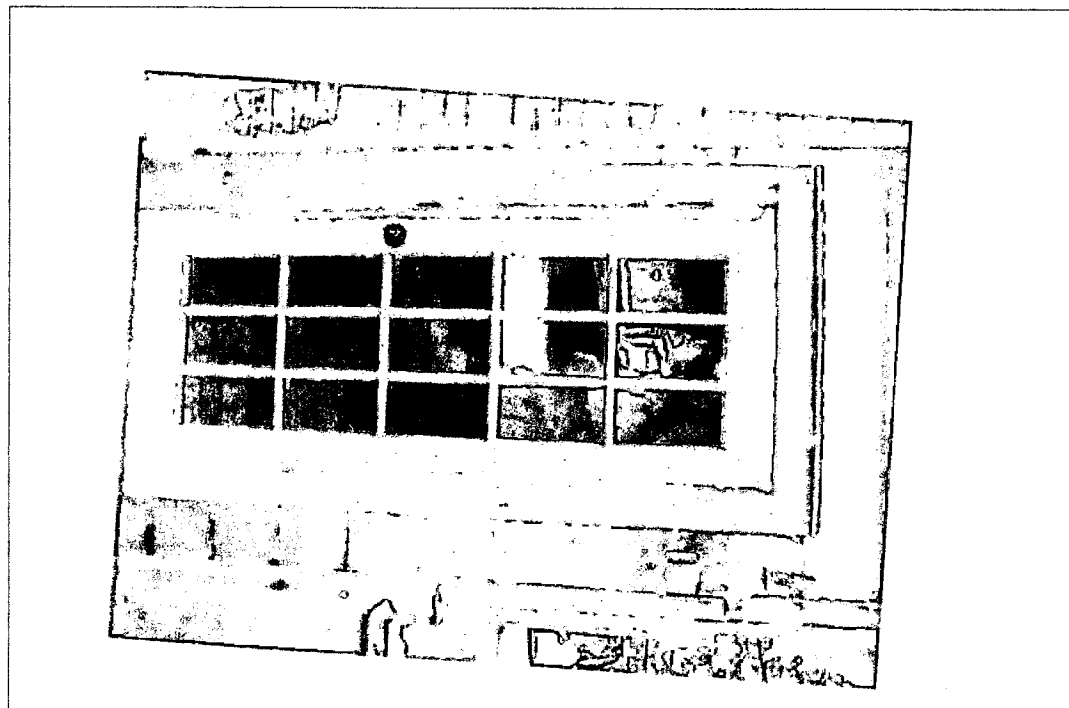
Applicant: Wheeler / Yl Senko

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Existing Property Condition Photographs (duplicate as needed)



Detail: east porch



Detail: South door

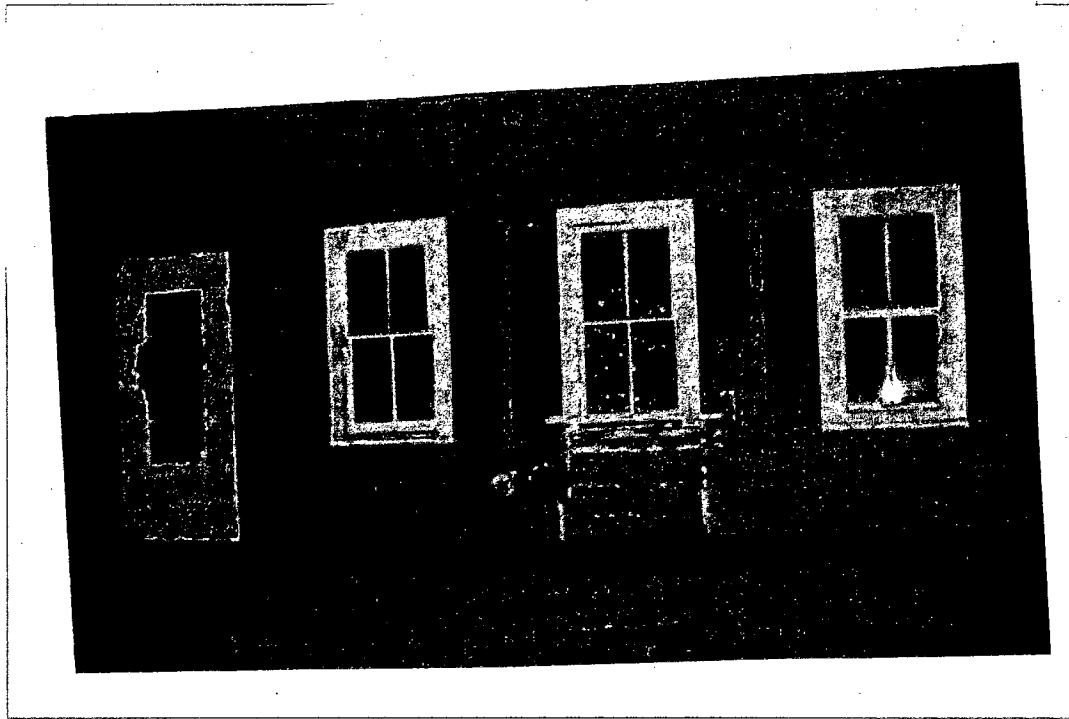
Applicant: Wheeler / Yensen

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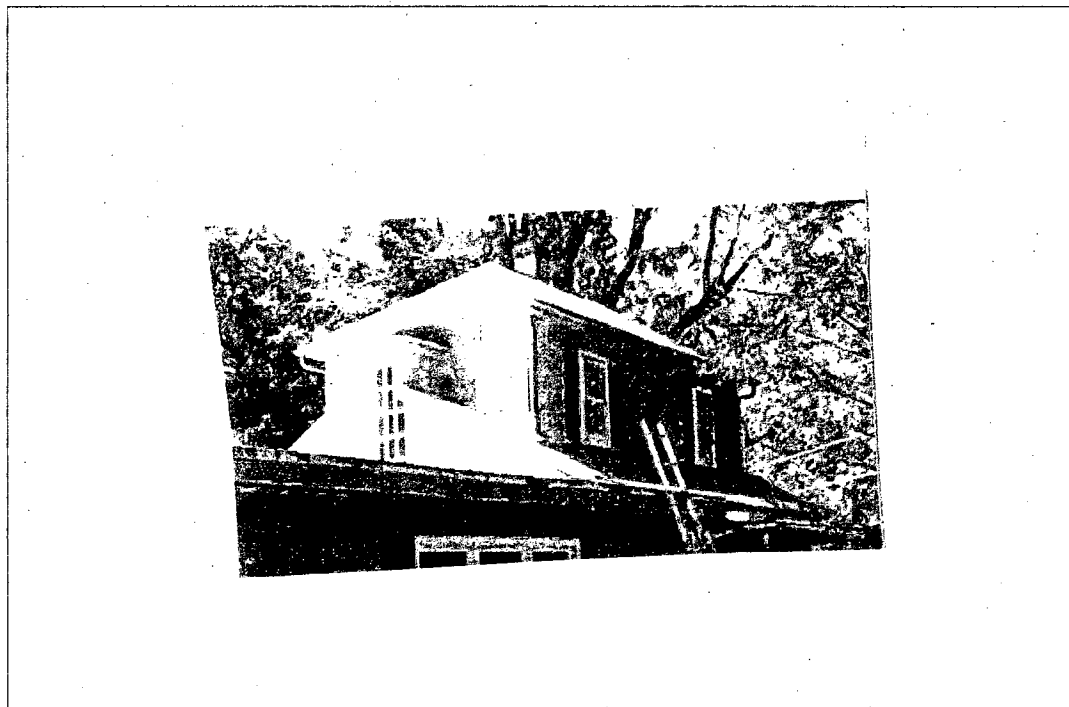
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Existing Property Condition Photographs (duplicate as needed)



Detail: west porch



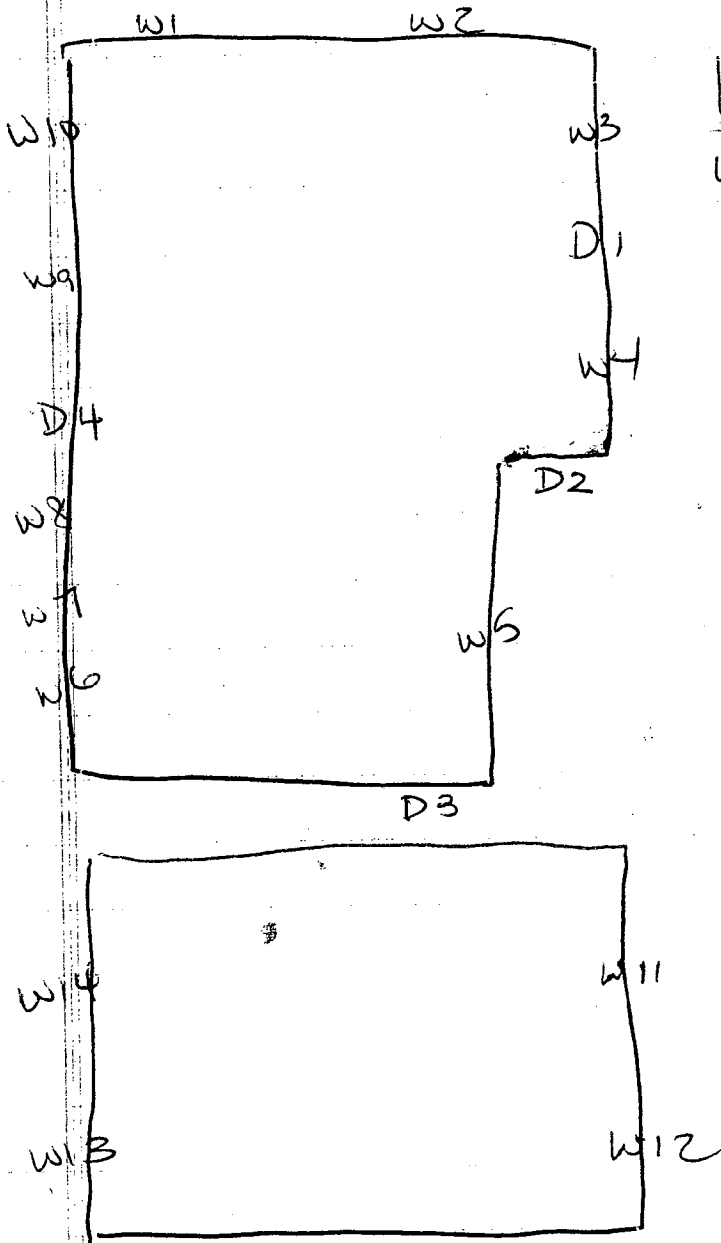
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Applicant: Wheeler / Yesenko

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Site Plan



W = Window  
 D = Door

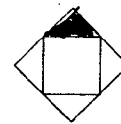
Measurements -

1st Floor

- $W1 \& W2 = 3'5\frac{3}{8}'' \times 4'8''$
- $W3 \& W4 = 2'5\frac{3}{8}'' \times 4' \frac{1}{2}''$
- $W5 = 7'10\frac{1}{8}'' \times 3'4\frac{1}{2}''$
- $W6, W7, W8 = 2'5\frac{3}{8}'' \times 4'$
- $W9 = 35'' \times 5''$
- $W10 = 42.5'' \times 70''$
- $D1 = 32'' \times 80''$
- $D2 = 32'' \times 80''$
- $D3 = 32'' \times 80''$
- $D4 = 32'' \times 80''$

2nd Floor

- $W11, W12, W13, W14 = 2'5\frac{3}{8}'' \times 4' \frac{1}{2}''$



Shade portion to indicate North

Applicant: Wheeler / Yesenko

Page: 15

③ Plans / Elevations. - Repaired / Install

1st  
Floor

W1, W2 = All  
W3, W4 = material  
W5 = will be  
W6, W7, W8 = wood / glass  
W9 =  
W10 =  
D1 = wood /  
D2 = glass  
D3 = "  
D4 = "  
1 simulated  
awided  
light).

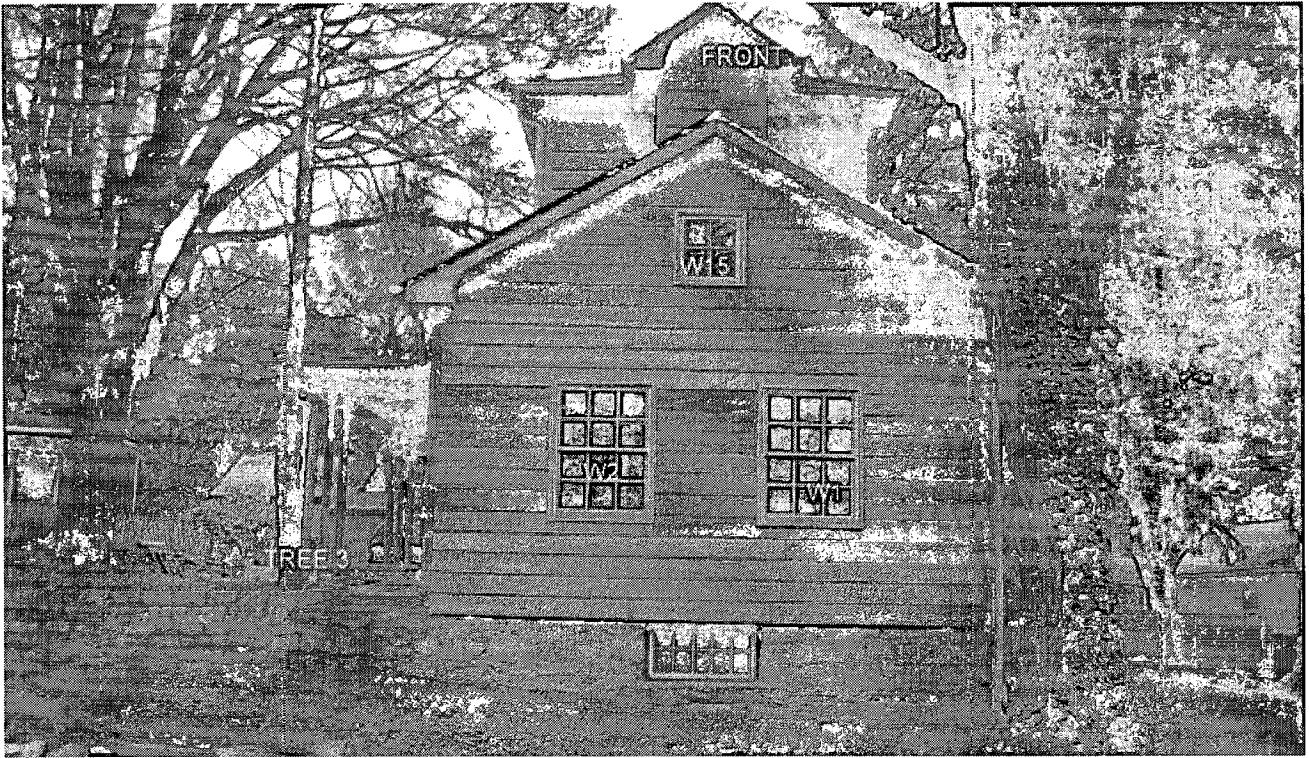
2nd  
Floor

W1, W2, W3, W4 =

④ Materials Specifications.

Doors / wood & glass panels - 1/2 door  
of glass panels  
for D1, D2, D4

Door / wood & glass panel - full  
door of glass panels for D3.



17





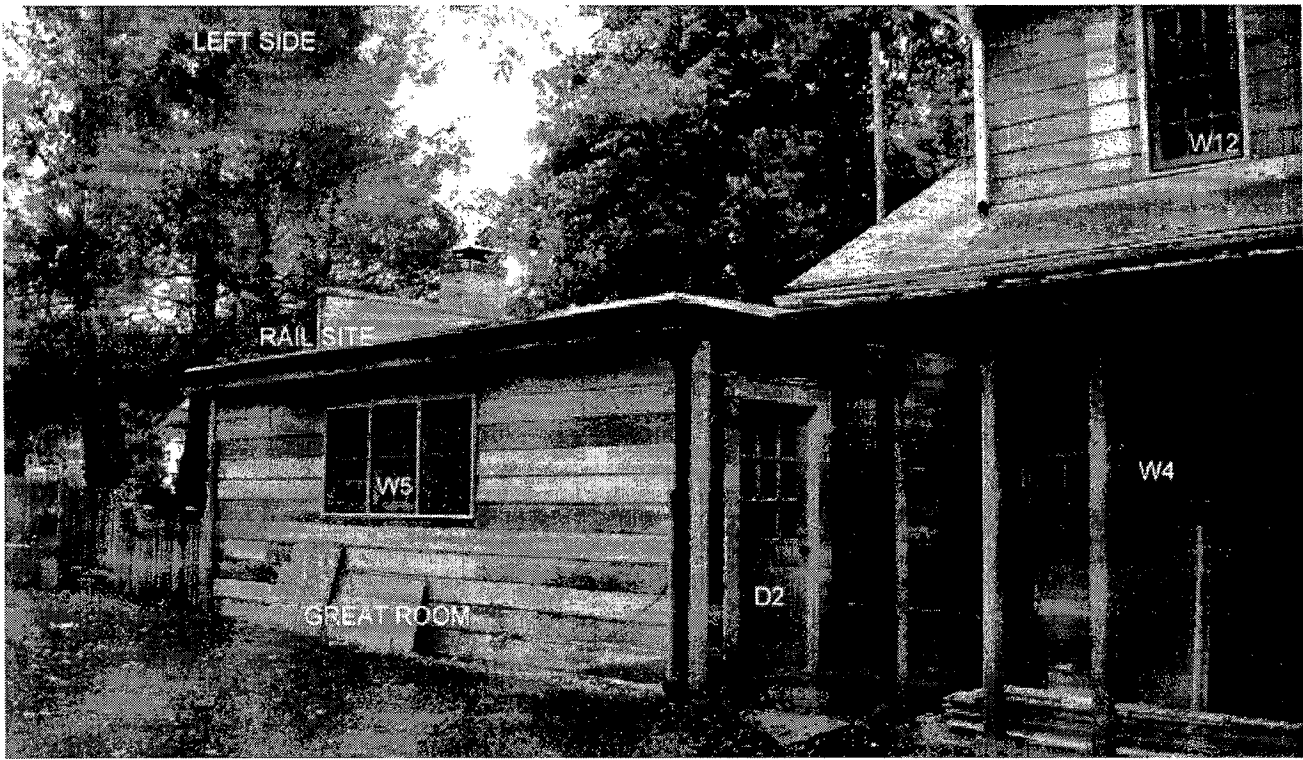
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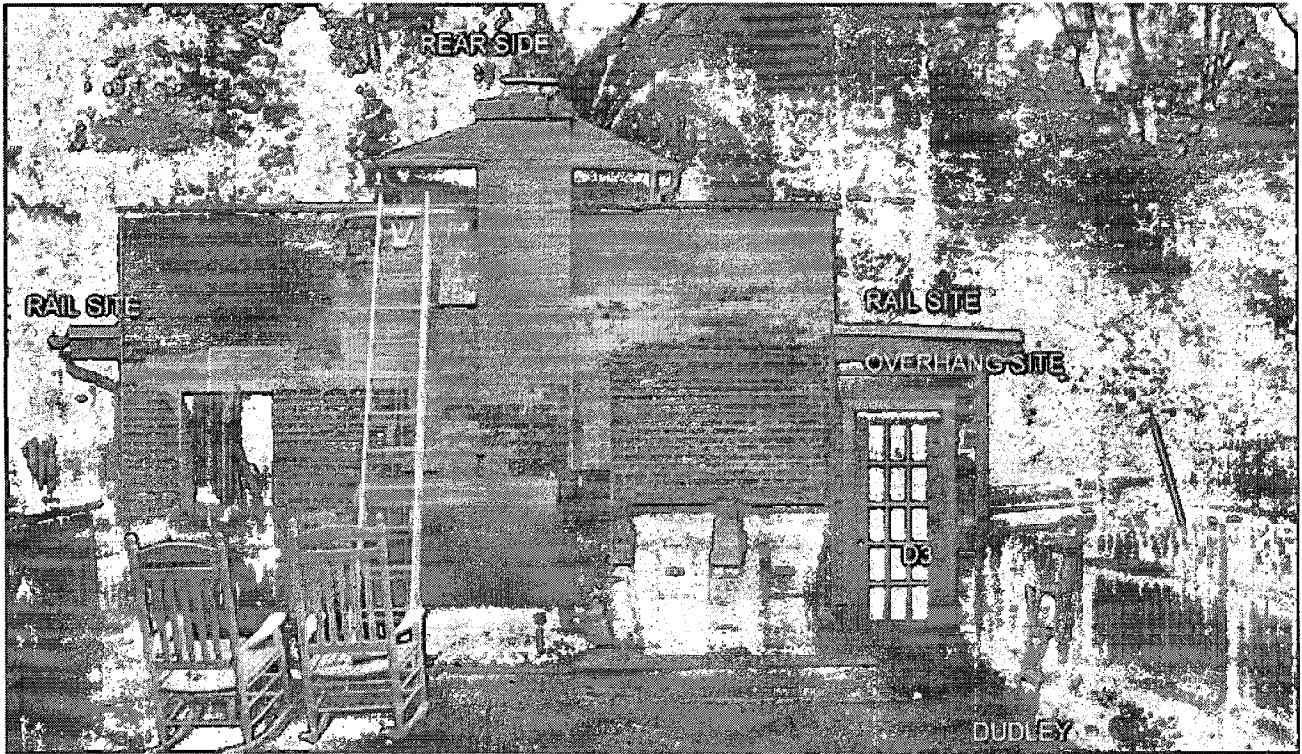
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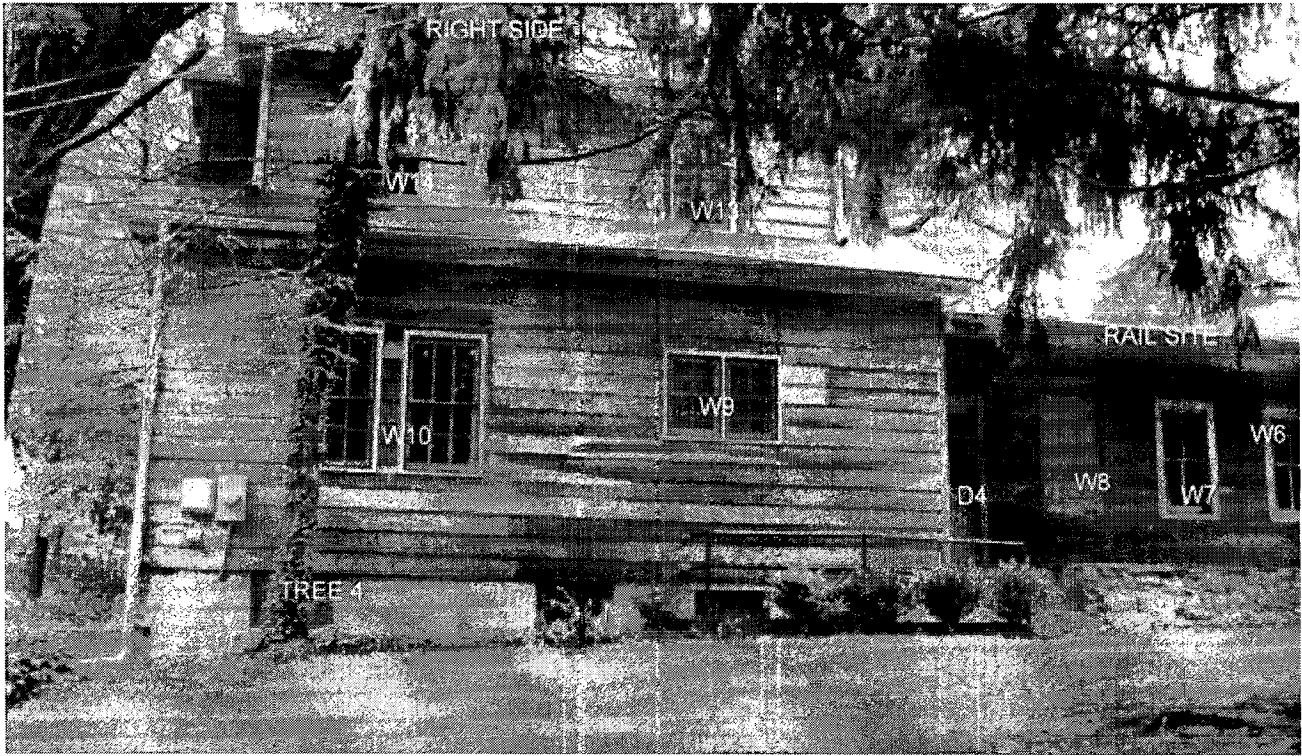
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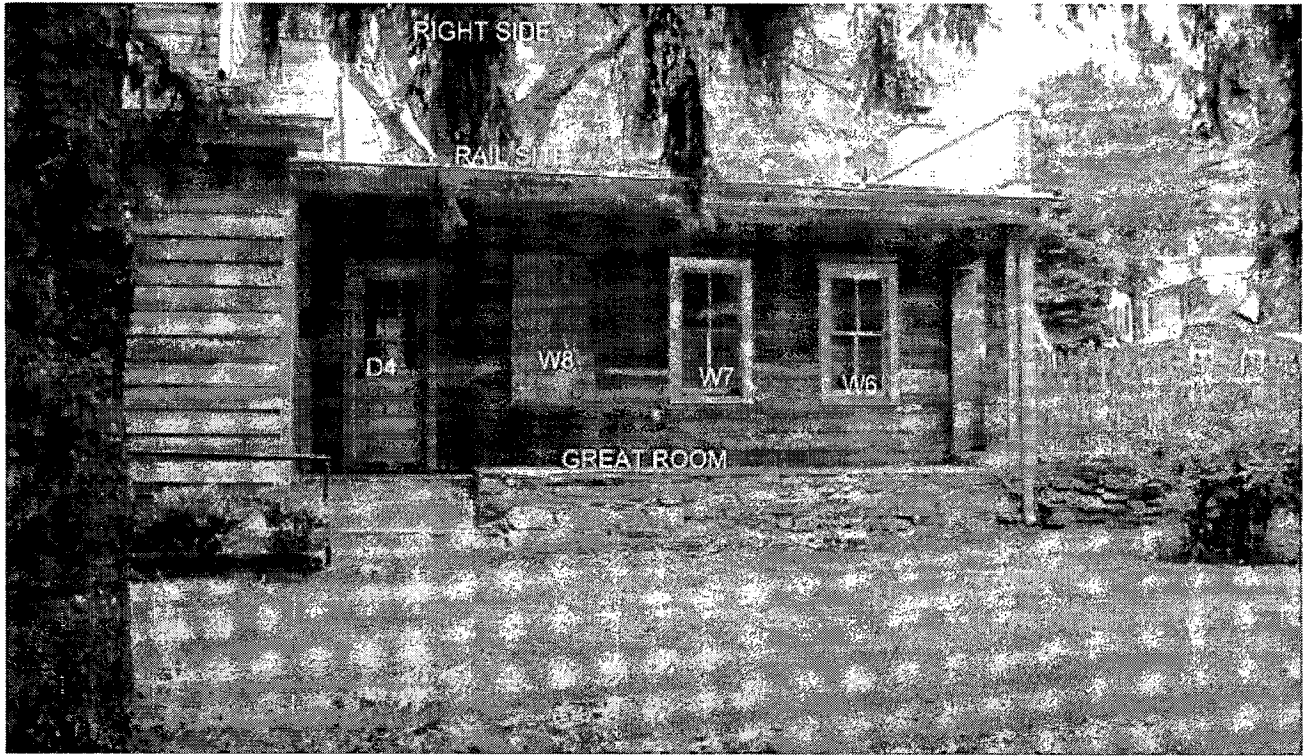


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23



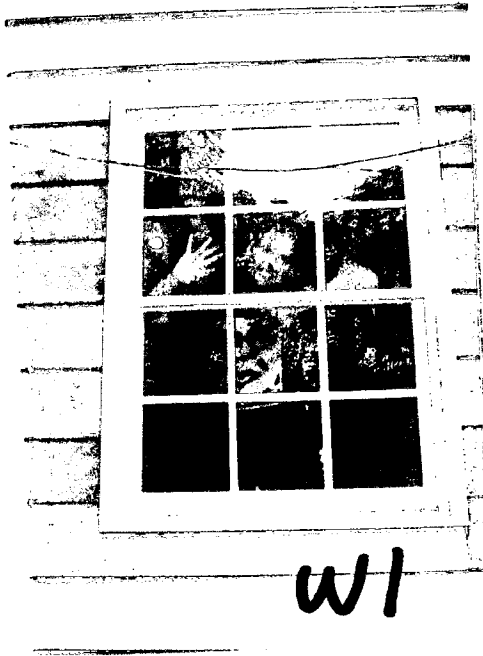


24

**Window Replacement**

**W1 3' 5 3/8" x 4' 8"**

The window was a metal and glass framed window (not historically or structurally significant) that did not close completely and the glass was cracked. The window was replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.



**W2 3' 5 3/8" X 4' 8"**

The wood and glass door (not original to the house or historically significant) had swelled shut and was replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.





W3 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were broken and did not open. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W4 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were damaged and one of the windows did not open. The second was held together by duct tape on the inside. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W4

26

W5 7' 10 1/8" x 3' x 4 1/2"

The wood and glass window did not have true divided light. The window was added during an addition that was built in the 1950's. This window had 3 attached windows in one unit and was replaced by 3 attached windows in one unit. Each window has 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W5

W6 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2) is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



27

W7 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



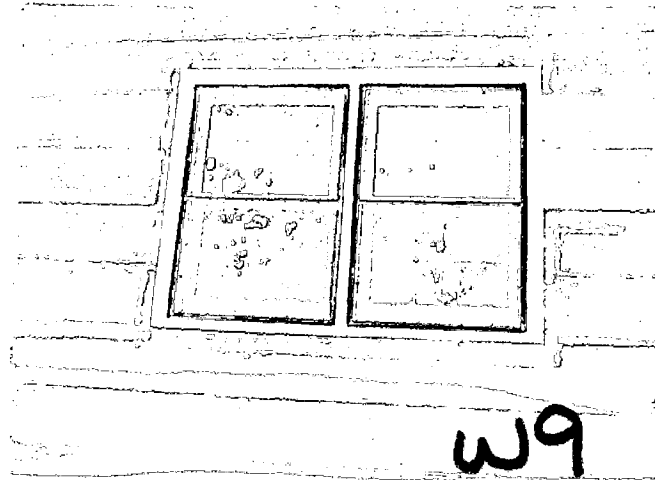
W8 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W9 35" x 50"

The metal and glass window (not historically significant) did not close properly and actually cut a guest because the window was cracked. The window was replaced by 4 over 4 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



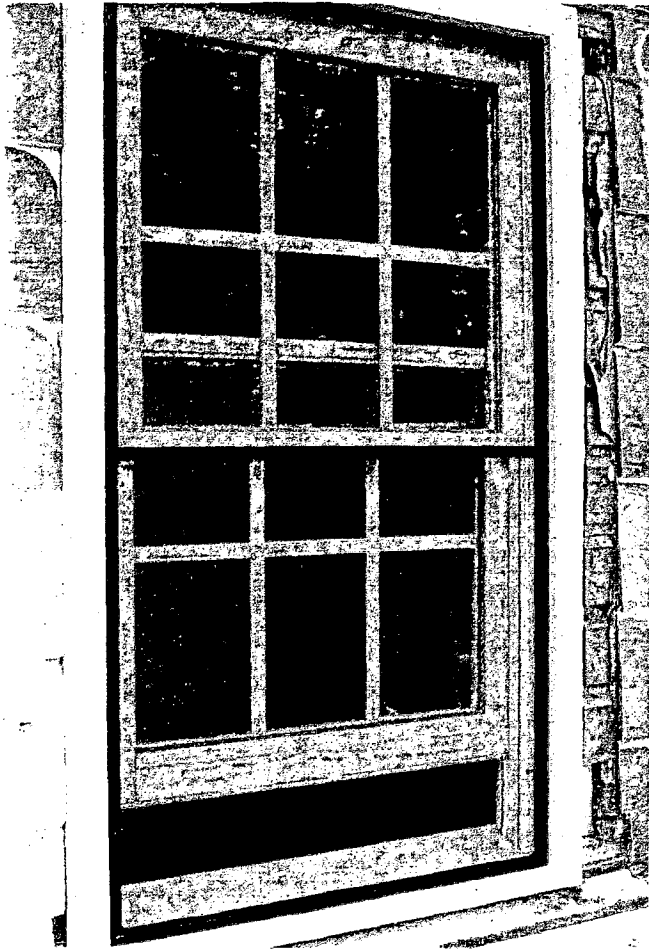
W10 42 1/2" x 70" (2 each)

The metal and glass window (not historically significant) did not close properly because the window was cracked. The window was replaced by 6 over 6 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



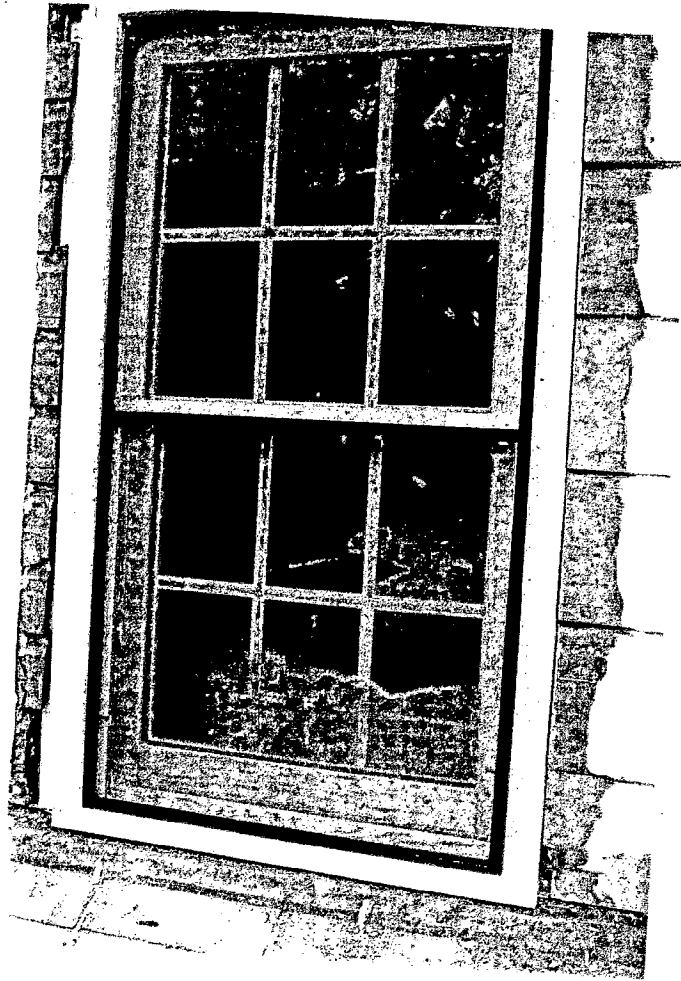
W11 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W12 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W13 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.





W14 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window is damaged and does not close properly. There Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W15 2' x 2'

The 4 paned true divided light wood and glass framed window was broken and did not close. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 4 paned wood and glass Jeldwen Energy Star simulated divided light windows without screen. The wood will be stained cedar to match the cedar siding.



D1 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door.



D2 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



D3 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



D4 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



Tree Removal

We request to removal 4 hemlock trees that have Hemlock Woolly Adelgid (Trees 1, 2, 3, 4).  
These trees are approximately 30' in height.



Tree #1



Trees #2 & #3

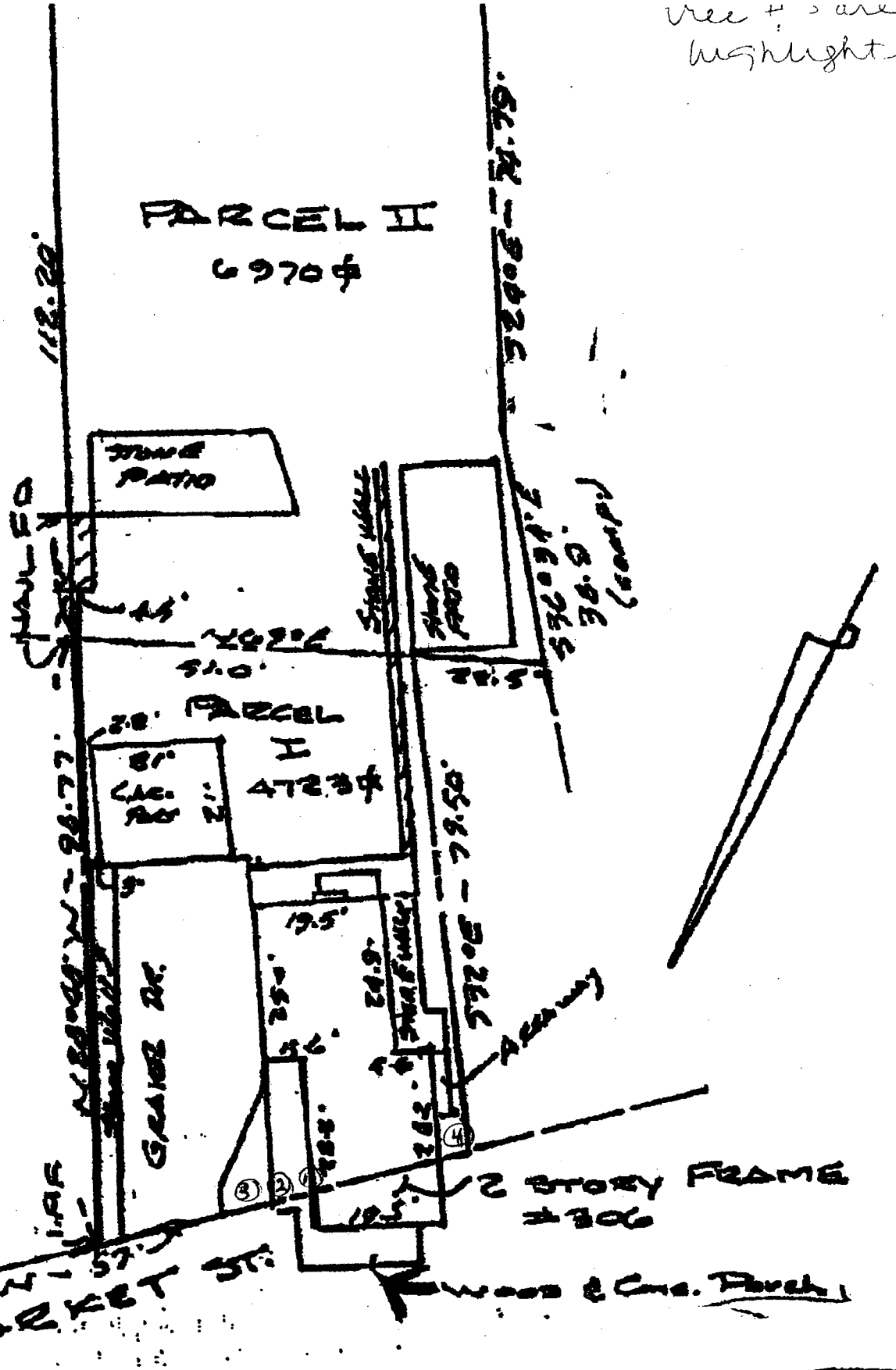


Tree #4

tree #s are highlighted

PARCEL II  
6970 sq

P549



P533

547' W - 57'  
MARKET ST

2 STORY FRAME HOUSE  
WOOD & CO. PORCH

PARCELS I AND II LIBER 8  
BROOKEVILLE

Trees 1, 2, 3 + 4  
to be removed

Good Earth Landscaping  
11650 Falls Road  
Potomac, Maryland 20854  
Office: (301) 765-0086  
Fax: (301) 765-2080



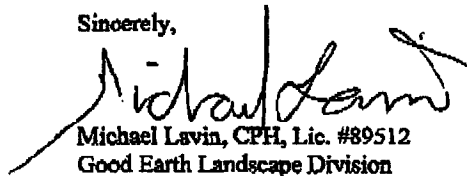
September 3, 2009

Mr. Wheeler and Mr. Yesenko  
306 Market Street  
Brookeville, MD 20833

Dear Mr. Wheeler and Ms. Yesenko,

The (3) Canadian Hemlocks by the driveway and the (1) at the northwest corner of the house have an infestation of Hemlock Wooly Adelgid. At this point the Trees are so damaged they cannot be salvaged and should be removed. If you opt to try to save the Trees, the spray is fairly toxic and I would not recommend spraying such large trees so close to the house. In any case, I strongly recommend the removal of all (4) Hemlocks.

Sincerely,



Michael Lavin, CPH, Lic. #89512  
Good Earth Landscape Division

Exceptional Quality. Outstanding Service. Everyday.

40

Decorative Railing

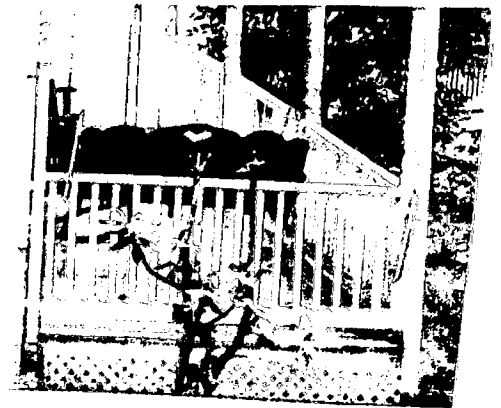
A railing was removed by the prior owners on top of the great room when they replaced a rubber membrane (the ceiling leaked). We plan to replace the railing with cedar wood inset railing. Dimensions will be 25'x19'x24.9' long and 3' tall.



NO RAIL



Bait Proposal WS  
site

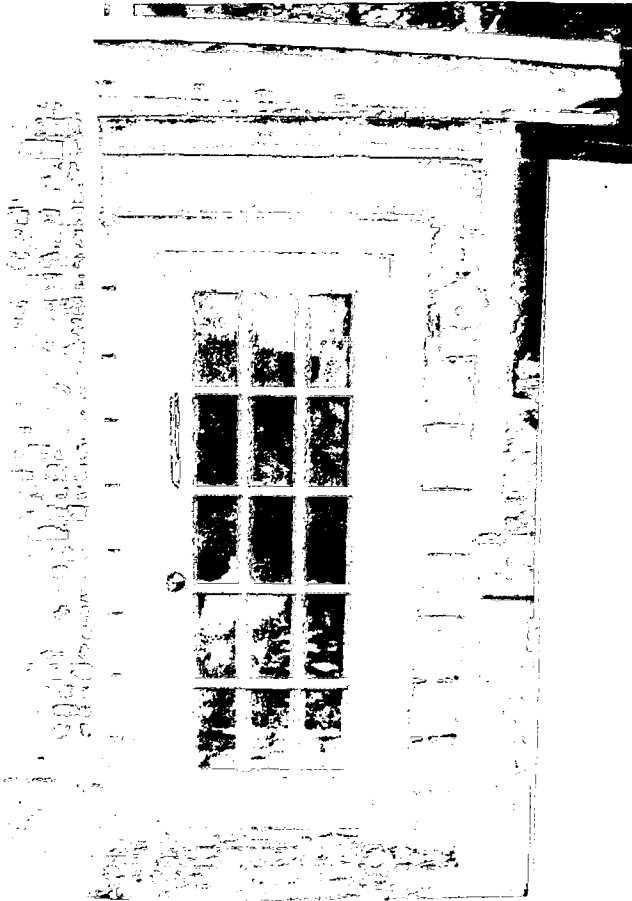


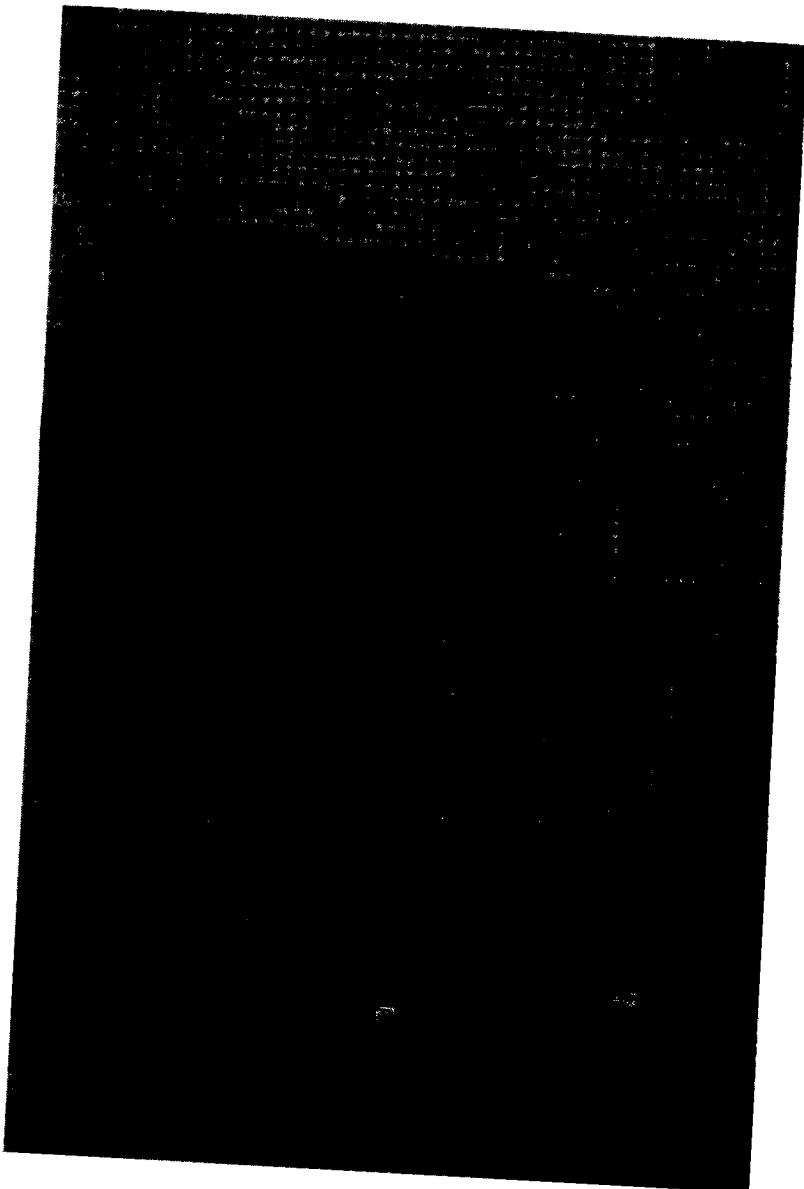
material  
&  
style



Awning Over D3

We removed a damaged plastic awning that was attached to the house with no historic significance or value. We plan to attach cedar awning to house over D3. Dimensions are 7' x 3' by 6" cedar in material with two (2) cedar posts that are 4"x4" to support the awning. *wood shingle roof*

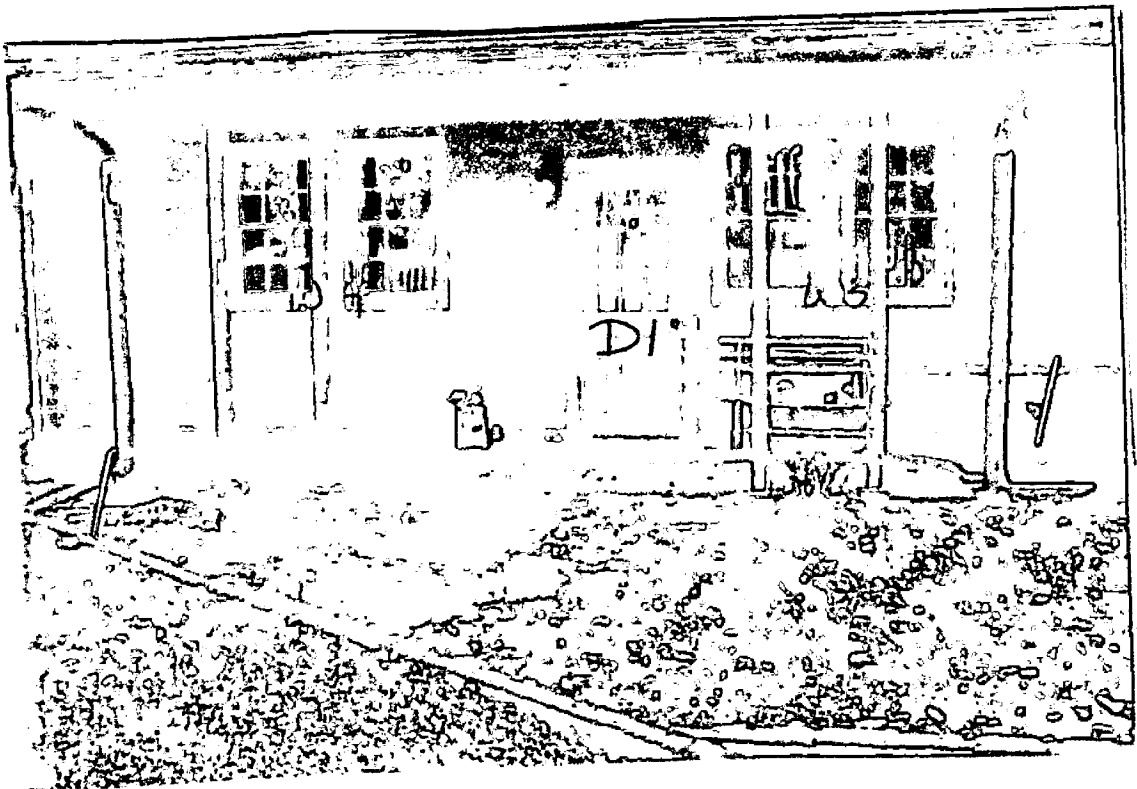




proposed  
design  
for covered entry  
at rear door (D3)

East Porch

We removed damaged trellises on the east porch. We moved a porch post already in existence on each side to the front so there are now 3 supporting posts (each post is 4"x4").





**MONTGOMERY COUNTY**  
**DEPARTMENT OF PERMITTING SERVICES**  
 255 Rockville Pike, 2nd Floor  
 Rockville, Maryland 20850-4166

**NOTICE OF VIOLATION**

Case# 252770  
 Permit Type

Permit  
 Number

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that  
 On July 24, 2009 the recipient of this NOTICE: CHAD WHEELER  
 who represents the permittee/defendant,  
 is notified that a violation of Montgomery County Code, Section(s) as noted below  
 exists at: 306 MARKET BROOKEVILLE MD,

	<u>VIOLATION</u>	<u>CORRECTIVE ACTION</u>
Violation 1:	24A-6	OBTAIN HAWP PERMIT
Violation 2:		
Violation 3:		
Violation 4:		
Violation 5:		

**Violation Comments / Remarks:** Conducting structural changes to historic property without a Historic Area Work Permit (HAWP) in violation of 24A-6

**Corrective Action / Remarks:** Obtain a HAWP for all work done on property and for future work to be done on subject property.

**See attached inspection Report(s) for additional violations and/or required corrective actions**

An inspection fee of \$0.00 is required in addition to any application fee(s).  
 Compliance Time: 08/24/2009 Re-Inspection Date(s): 08/24/2009 Code/Edition:

**Failure to comply with this notice may result in the issuance of one or more civil citations seeking fines of \$500.00 or more.**

A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Written permission is required to resume construction.

ISSUED BY: MARK MORAN *Mark Moran* 07/23/2009  
 Printed Name Signature Date

Phone No: (301)370-3653

RECEIVED BY: \_\_\_\_\_  
 Printed Name Signature Date

Phone No: \_\_\_\_\_ Sent by Registered Mail/Return Receipt On: 7-27-09

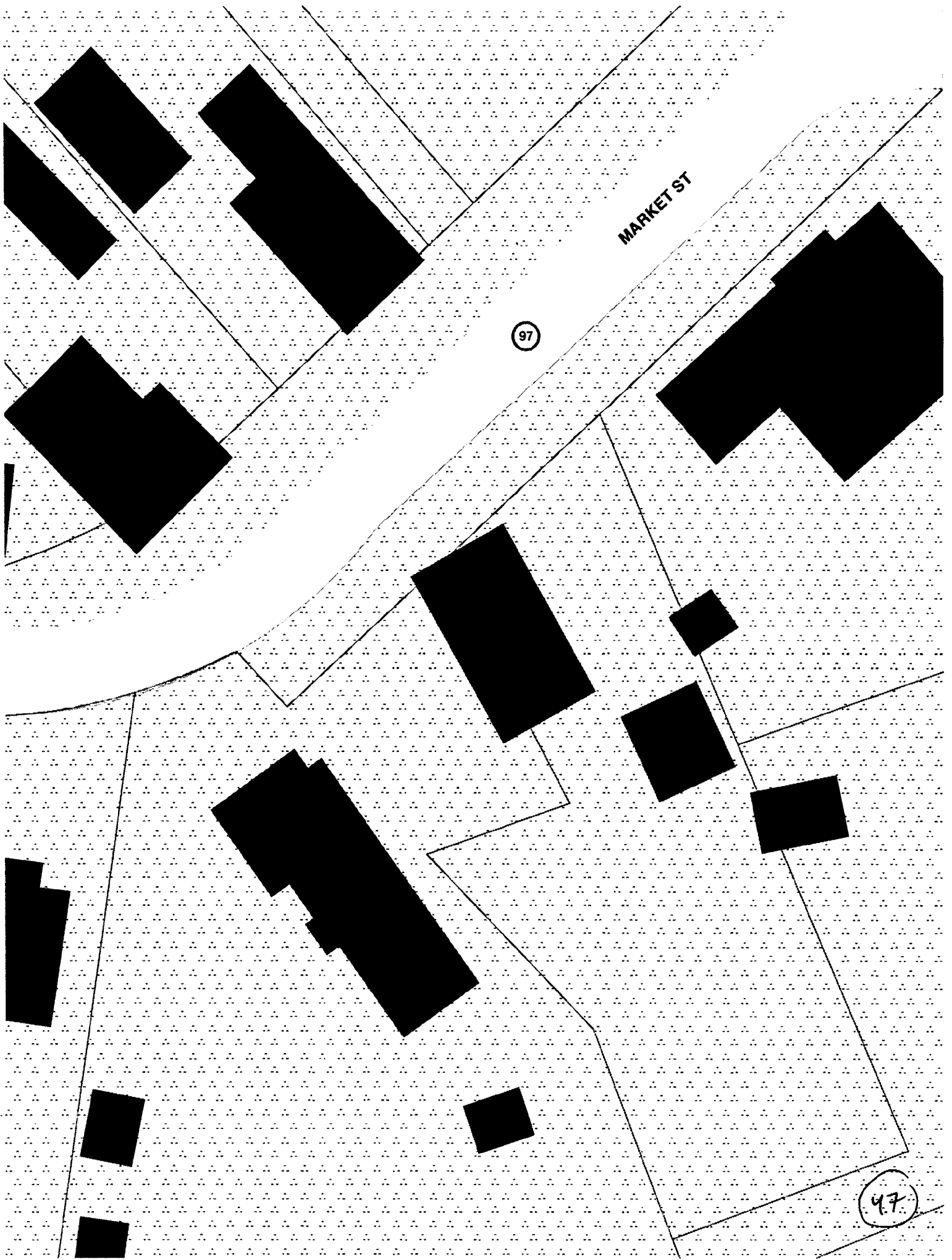
**RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION**

45



306 market street

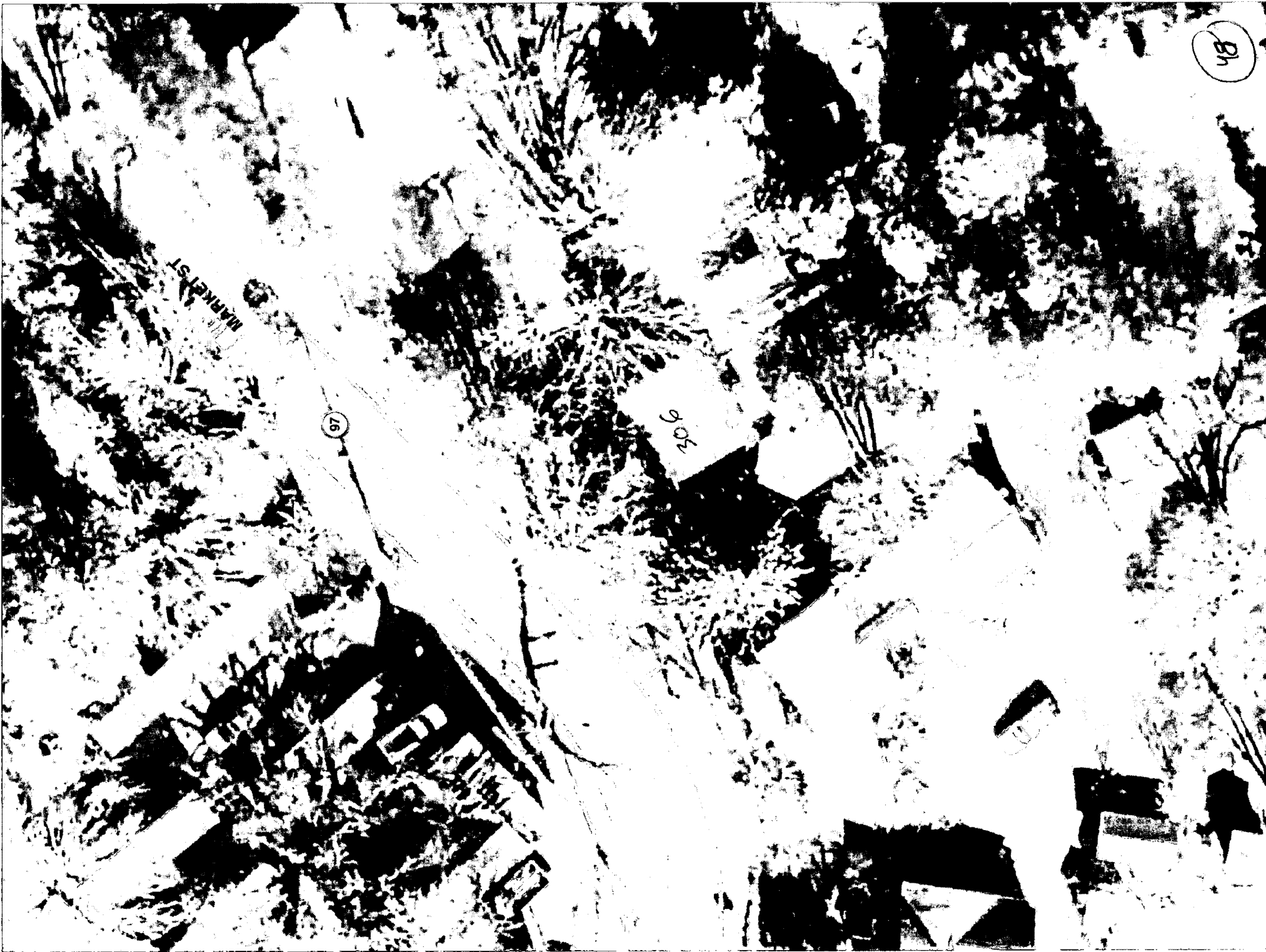
46  
137



MARKET ST

97

47



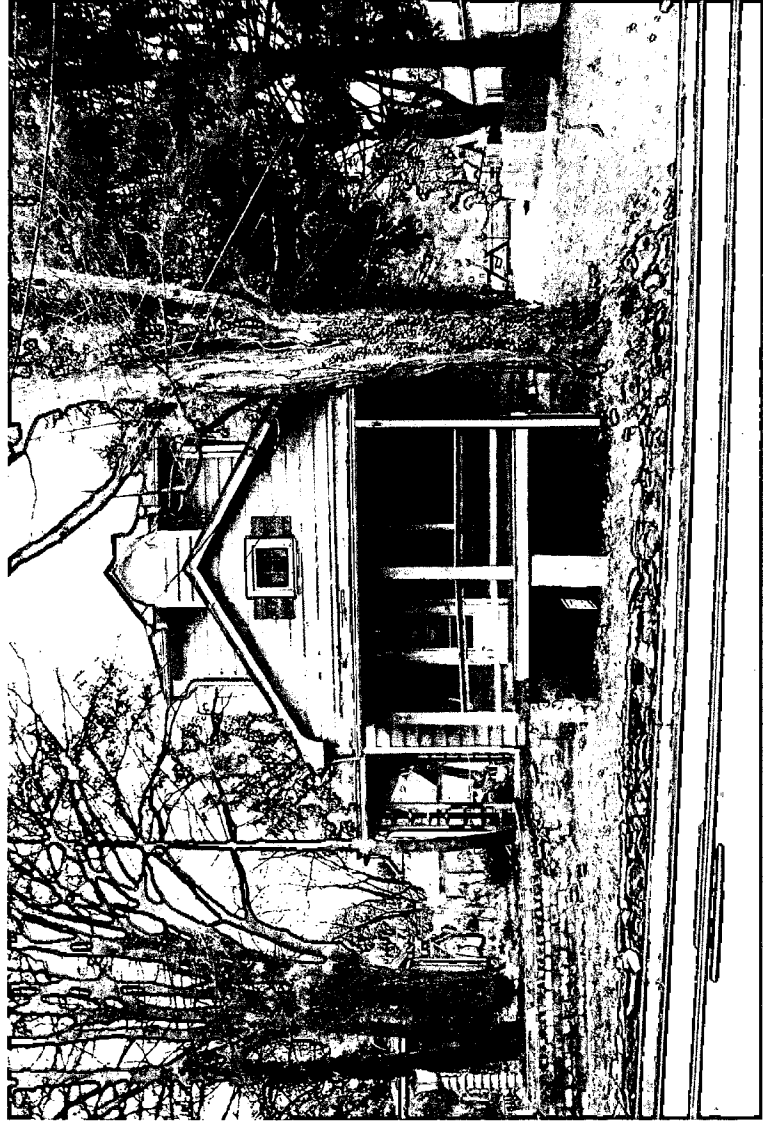
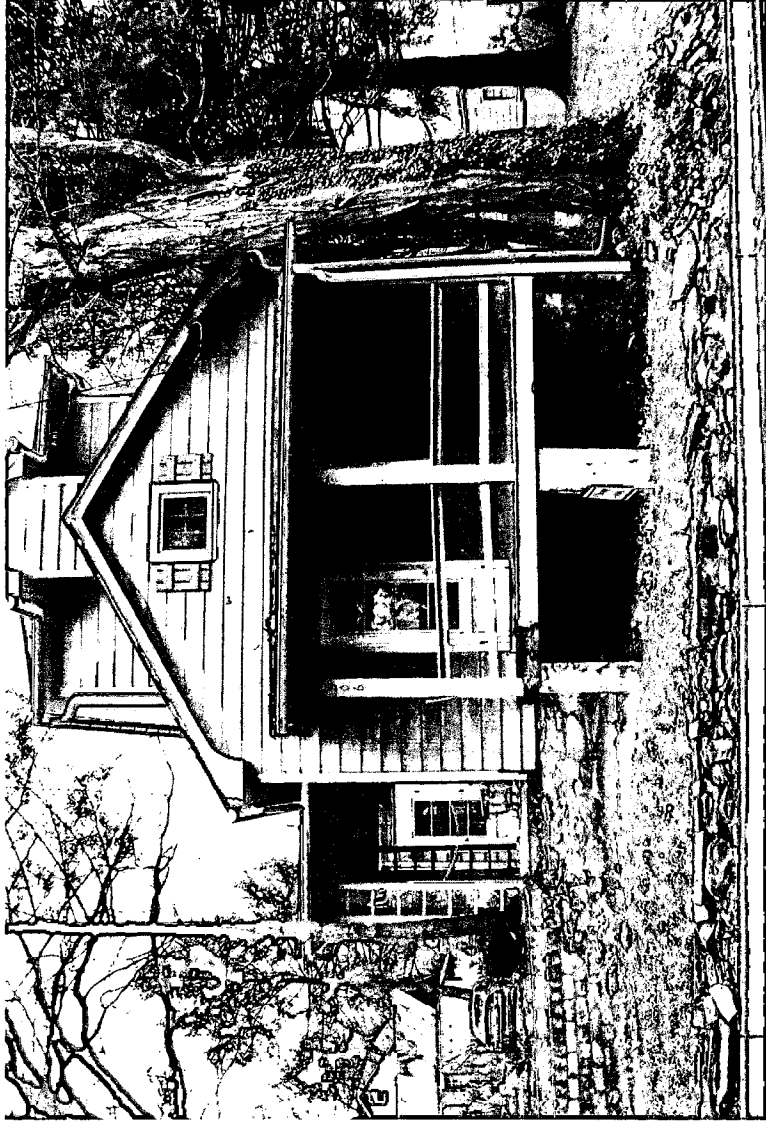
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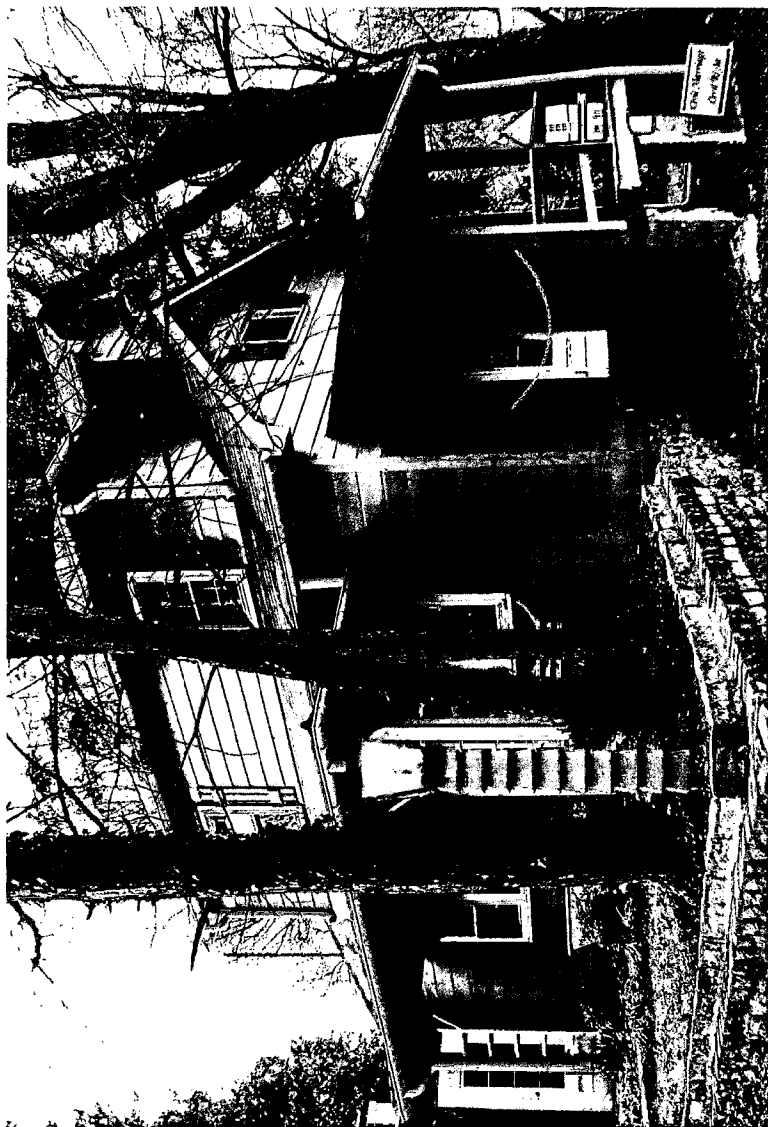
902

MARKET ST

306 Market (photos taken in 2007)





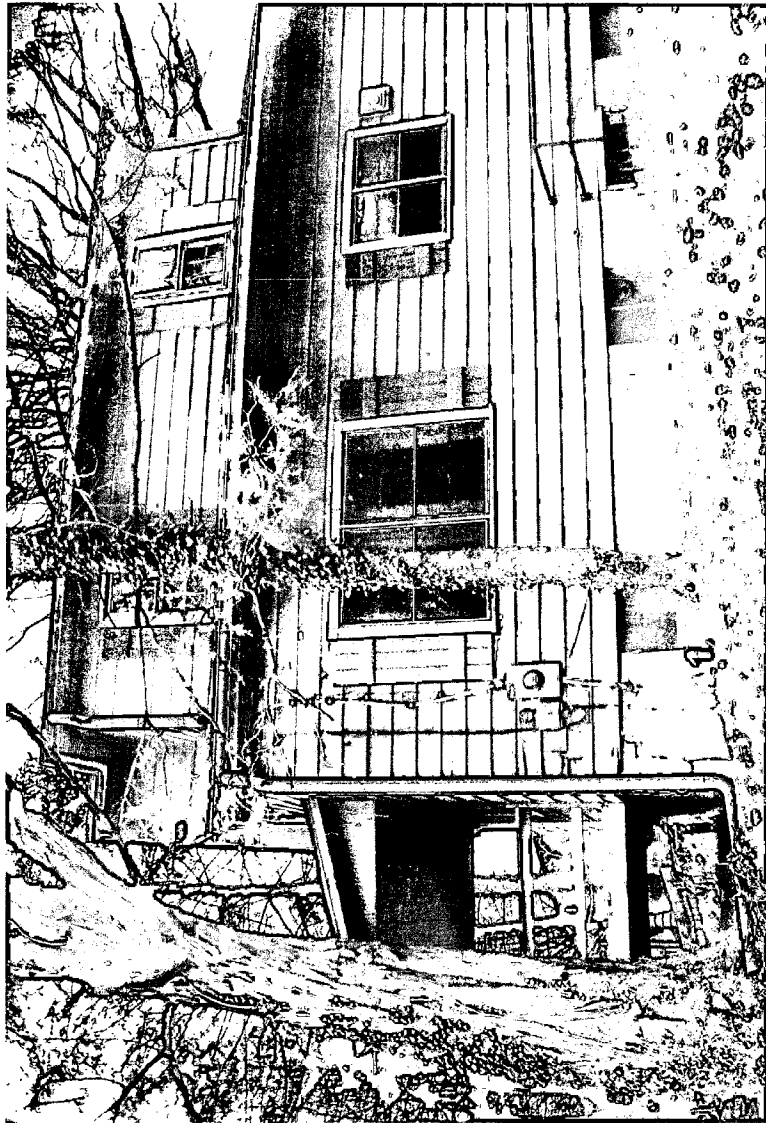












(3)

Existing Property Condition Photographs (duplicate as needed)



w4

Detail: Shutters (remove - not original)



Detail: Shutters (Remove - Not original)

(3)

Existing Property Condition Photographs (duplicate as needed)



Detail: Shutters (remove - not original)



Detail: Shutters (Remove - not original)



September 23, 2009 HPC Meeting

CHAIRPERSON ROTENSTEIN: The first case we'll be hearing this evening is Case G at 306 Market Street in Brookeville. Do we have a Staff report?

MS. FOTHERGILL: Yes, this is a contributing resource in the Brookeville Historic District and here you can see a historic photo of this house.

The earlier section of this house dates to the mid to late 19th century. It was built after an earlier structure in this location burned down and this building was originally used as an ice house and stable and storage area for funeral coaches for the funeral parlor that was once across the street.

The second story was added in the 1930s and the rear addition was added in the 1950s.

And just for background, this is actually an old photo, the Applicants were approved in January of 2008 to make some alterations to the house including removing the non-original shutters, installing fencing, a wood shed and then they also -- you'll see in a minute they were approved to remove the non-original front porch and replace the non-original front door with the wood true divided light window.

So, this application -- this again is an old photo and then we'll move on. This application is for window replacement. It is a retroactive application. The majority of the windows have been replaced.

In July 2009, the Department of Permitting Services issued a notice of violation because the Applicants were doing work to the house that wasn't part of that earlier approved Historic Area Work Permit.

We look at a retroactive application as a proposal. So, we use the term proposed even though some of the work has been done. The Applicants are proposing to replace all the windows and the doors in the house with wood windows with simulated divided lights.

The Applicants did an excellent job of doing a window key and documenting the condition of the windows that had been removed and that is in your Staff report and that was really helpful.

They went window by window and discussed the condition of the window and the type and the style and the material.

They are also proposing some other alterations to the house on the east-side porch. They are proposing to remove two trellises and relocate an existing porch post, install a wood inside picket railing along the edge of the flat roof of the non-historic rear edition. I'll show you that location in a minute.

There had been a railing in that location. It was removed by prior owners. They are proposing to install a covered entry above the rear door leading to the back yard and they provided a photo of what they're proposing and the entry awning would have a wood-shingled shed rood and would be supported by 4-by-4s and they are proposing to remove four hemlocks that are diseased and you can see in this photo there is tree number three which is one of the trees.

So, as you can see, these are -- W is window and D is door and these are all the windows and doors that they are proposing to replace. You can also see the railing site in this photo. This is the front left side. I'm just going to go around.

The windows that have not yet been removed are on this side of the house. You can see up above in that second floor dormer window 14 is still in place as well as, at the time of the application, window 6, 7 and 8 and now, window 8 is no longer on site I don't believe. So, window 6, 7 and 8, you can see here.

Then going around the rear you can again see the site of the railing along the flat roof and then also the site of the covered entry for that rear door which Staff has recommended approval of that overhang and then this is coming back around to this side and here you can see the alterations to the porch which were the removal of those trellises.

So, this is -- now, I'm going to just discuss the windows that remain in the house.

Window 6 and 7 and 14 are still there and Staff is recommending that they be retained. In general, the Commission wants to retain windows in houses and have them repaired rather than replaced. I will note that these windows, not 14, but 6 and 7 are in -- well, I'm sorry. I'll go back to it, but are in the 1950's section of the house. Whereas, window 14 is in the 1930's section of the house, but none of these three windows are in the original massing of the house.

And then the other windows that are pointed out in the staff report are window 4 and 3 which appear from the photos we had -- this is the door in between windows 4 and 3. You can see it there. Windows 4 and 3, we have a photo from 2007 and it appears they were original windows and in their description, they describe them as wood, true divided-light windows and so, those may have been the windows -- the original windows from the historic massing that would have had the most integrity and Staff has recommended based on the guidelines and what we generally support for window replacement that those windows actually be replaced with wood, true divided-light windows in the same paired window configuration that was there in 2007.

And the other alterations, Staff has recommended approval and I think that concludes the Staff report.

CHAIRPERSON ROTENSTEIN: Thank you, Anne.

Are there any questions for Staff? I see --

COMMISSIONER ALDERSON: Just quickly.

CHAIRPERSON ROTENSTEIN: Oh, I'm sorry.

COMMISSIONER ALDERSON: Just quickly once more can you now flip to the current window configuration at that location?

MS. FOTHERGILL: Sure.

COMMISSIONER ALDERSON: Just to give an overall that shows that same  
perceptive. Okay.

MS. FOTHERGILL: Sure. Is that pretty good?

COMMISSIONER ALDERSON: For --

MS. FOTHERGILL: Three and four. No, but there's siding between.

COMMISSIONER ALDERSON: Right. Oh, I see. It's the ganged. Okay. That's great.

Thanks.

CHAIRPERSON ROTENSTEIN: Are there any other questions for Staff?

COMMISSIONER MILES: I have a question. They were obviously 6 over 6s. Do we  
have anything other than just their appearance to suggest that they were the original windows?

MS. FOTHERGILL: We do not. In the Applicant's window inventory for windows 3  
and 4, they describe them as wood, true divided light and other than that, no. We just have that and the  
photo.

COMMISSIONER ALDERSON: Can we see one more time now? Thank you.

COMMISSIONER HEILER: Do we know the distance between the actual windows  
themselves? Are the replacements which are now separated by siding the same distance apart as these paired  
windows were?

MS. FOTHERGILL: That would be a question for the Applicants and they're nodding.  
So, maybe it --

MR. WHEELER: Yes. Yes.

MS. FOTHERGILL: You can push the button so the red light goes on.

MR. WHEELER: I'm Chad Wheeler. I'm the owner of -- co-owner of 306 Market Street

and yes, they are. He did make a -- as far as the size of where the windows were, it is exactly the same. He just has put -- in between, he actually put more cedar siding that we found underneath after we were taking the paint off and there's cedar siding underneath. So, he put that in between, but as far as spatial, it's the same.

COMMISSIONER ALDERSON: Thank you. So, that means the true configuration -- the period true configuration we just saw could be return without disrupting the new sash.

MR. WHEELER: I think if I understand correctly. Yes, it should be.

COMMISSIONER MILES: Did I understand you correctly? Did you say that the cedar siding was under?

MR. WHEELER: Under the paint. Yes, we've actually -- we have a contractor that's doing all this work who's an Italian contractor and he is actually sanding just the paint off of that and it's all cedar siding underneath.

COMMISSIONER MILES: But, in the space between the windows, was there siding under the trim because they did look like ganged windows.

MR. WHEELER: Right. No, there was no siding underneath there. He actually add it when he put the windows in, he put extra siding in between them.

COMMISSIONER MILES: Okay. Thank you.

MR. WHEELER: Um-hum.

CHAIRPERSON ROTENSTEIN: I guess since the Applicant's already begun taking questions, do you have any comments on the Staff report or do you wish to make a representation?

MR. WHEELER: Yes, we do have a presentation of sorts or at least points that we wanted to talk about. Yes.

So, basically, the 6, 7 and 8 window that's being talked about in the Staff recommendations, the four existing windows to be retained, those ones, well, when we got the stop-work order, obviously, W8 was in the middle of it and these again are part of -- like Anne was saying, are part of the addition and not original to the home as well as the ones that are on the top.

It also suggests to me since the ones on the top that we have been taking out were put in the same time as the ones that are down on -- I think they did a whole overview because they're exactly the same as the ones that were removed from the -- the ones in question as to whether they were original ones or not.

Basically, very quickly, we had -- when we started doing this project with the front and we wanted the true divided-light windows, we talked to our contractor. We're saying we're going to do all the windows eventually. You know, you can start buying them. That type of thing without putting them in because we knew we had to get an application.

So, unfortunately, there's a little bit of a language gap with who we're working with as well and he got the simulated true divided light because he thought that was cheaper and he was like well, you know, that's just as good and whatever and so, we looked at it and we know that there are cases that simulated true divided light have been approved.

So, we were like okay, well, they've already been bought. We're going to go ahead with this, but we knew that, you know, we needed to get it in an application. But, before we really got the application back out, someone in our neighborhood or somebody kind of busted us so to speak before we could get it in.

So, I mean we do know that that we can be approved for the simulated true divided light and where it's cited on 1410 I guess. On one of these, it actually says, you know, all the qualifications for the

simulated true divided light we have been doing. So, that there's wood on the inside and there's wood on the outside as well. Yes, and he's hand doing all of this work.

And, you know, we really were not trying to get things done, you know, without an application. It just kind of turned out that way and as far as the violation went, when we got the violation that said we needed to get a HAWP application and which we were already in the process of turning in the retro application and there's a box there from our original person that says stop work and it hadn't been checked on the violation that we have from Mark. So, I originally called him right away and said look, this isn't check.

That's why when the second violation came around for not stopping work, we didn't stop work because that box wasn't checked. So, we assumed that it was okay to continue.

So, basically, I guess what we're really hoping for is that we can continue with what's left with the simulated true divided light on the remaining windows and hopefully keep the ones that were there.

We didn't -- they're not on the property anymore. We actually donated them to an antique store. So, we didn't just throw them out. Because we realized, you know, we've been doing nothing - - spent about \$75,000 so far in the few years that we've been here to try to bring this house back to life and to historic -- something that Brookeville can be proud of.

And in the event that if the Committee decides that we cannot keep the true divided-light windows on those things that -- on that side, the simulated divided light, then we wouldn't be able to financially take them out right now and discard those and put true divided-light windows in just because we've really been putting pretty much everything we have into restoring this house and we were also hoping that as far as this -- due to the kind of -- the wrong not box being checked or whatever that the \$500 fine here would also possibly be waived.

What do you want to say? Oh, \$10,000 on windows. That's what we're paying right now

and there's still, as you can see, things that we were going to do and we really are just trying to keep as historical as possible.

We've always wanted to live in an historic home. We want to make this house beautiful again. I think you can see that there's a lot of love and care going into this.

It's just that because of that one communication gap and just the way the finances are and everything and not being able to -- I don't know. We assumed since I saw that simulated divided light sometimes is approved that it would be okay.

CHAIRPERSON ROTENSTEIN: So --

COMMISSIONER ALDERSON: Maybe one question please. I --

CHAIRPERSON ROTENSTEIN: Yes, I just was going to ask the Applicant if he was completed with his presentation.

MR. WHEELER: Yes, I guess I'm beginning to ramble. So, yes. Yes.

CHAIRPERSON ROTENSTEIN: Okay. Then I guess what we'll do is move into questions from the Commission to the Applicant.

MR. WHEELER: Sure.

COMMISSIONER ALDERSON: One more. Since -- I'm actually less concerned with this -- there was this trim issue and can we take a look at your latest picture one more time? Give us the round -- around the house. What I'd like to do is compare the existing trim or lack thereof with the historic trim arrangement. That seems like something we should focus on. Because that seems -- okay. So, throughout -- regardless of which floor we're on, we're seeing pretty similar plain flat 3 to 4-inch wide window surrounds pretty consistently. That's what you remember seeing? Then that's what's on the house.

MR. YESENKO: That was actually metal.



CHAIRPERSON ROTENSTEIN: You need to identify yourself.

COMMISSIONER ALDERSON: I'm sorry.

MR. YESENKO: I'm sorry. I'm Michael Yesenko.

COMMISSIONER ALDERSON: And just what is the contractor -- is that a part of the project that he hasn't gotten to yet or the trim? Putting the trim back.

MR. YESENKO: Interestingly enough, that trim was actually metal and I don't know if it was for some type of storm window, but the window you're seeing around the -- obviously not right by the shutter, but right around the window. That's actually metal and it was like a metal inset that was placed in there -- in all the windows for -- I'm thinking it's a storm window -- I'm thinking it was a storm window because what happened --

MR. WHEELER: This is Chad again. For a storm window that we -- we never had. Sorry. No. No, go ahead. I'm sorry.

MR. YESENKO: I was just going to finish the inset part. Metal was not original to the house.

COMMISSIONER ALDERSON: Do you have any documentation from your survey sort of the taking things apart on what would have been there?

MR. YESENKO: What I -- what I know happened was that the house burned down originally and I don't know what year the house burned down at all. So, this was recreated. I mean the house was rebuilt. The foundation's original. I don't know when the -- I don't know when the storm window insets would have been added. I'm thinking 1950s.

COMMISSIONER ALDERSON: Well, actually the question I'm asking is: do we have any documentation on the trim that's original to these windows that you have photographed?

MR. WHIPPLE: In response to your question, Circle 56. The top image on Circle 56, the last page in your packet shows -- is one example of the trim. I think that's responding to your question.

COMMISSIONER ALDERSON: Plain wood.

CHAIRPERSON ROTENSTEIN: That's the same photo and, you know, just from what I can see in this, that doesn't look like a metal.

MR. WHEELER: I think -- sorry. This is Chad. I think he's talking about on the inside. Are you talking about the white wood around? That's what you're talking about more?

COMMISSIONER ALDERSON: Yes, surrounding the window.

MR. WHEELER: That -- as far as I know, what he had intended to do was what you see. That's something that I would not have known about. If that's something that needs to be replaced, I'm sure he can do it in the same kind of cedar style that would be in the -- in the same -- if that's an important historical piece that I'm not aware of, he can still do that.

COMMISSIONER ALDERSON: That's good. That's an important part of the period look.

MR. WHEELER: Okay.

COMMISSIONER ALDERSON: Because they would have always had a pretty wide -- even if it was very plain, a wide window surround in framing the windows. Whereas, a contemporary like, you know, cedar log cabin would tend to have a very narrow window surround.

MR. WHEELER: Right. Right.

MR. YESENKO: He's -- he's been -- he's been very careful in terms of how he treats the wood. He's been sanding with about a 6-inch sander the entire house which has taken since April and I definitely will tell him that that's what you would like to see the trim be restored --

COMMISSIONER ALDERSON: Do you have any of the trim that came off that he can replicate it?

MR. WHEELER: Well, yes, actually the one that hasn't been done yet.

COMMISSIONER ALDERSON: Or just --

MR. WHEELER: Yes, there's still that one that's up on the top floor, the bathroom. Yes, so we still have that one.

COMMISSIONER ALDERSON: Oh, that's great.

MR. WHEELER: So, that he can -- he can mimic that. He really has fallen in love with the house. I mean he -- everyday, he's like oh, it's so beautiful and all the cedar and he's really trying to keep with the historic. He's very knowledgeable about that. He's done it before, but he cut some corners there that got us in a little bit of a predicament.

COMMISSIONER ALDERSON: Because that looks like that's pretty easy to replicate.

MR. WHEELER: Yes, I don't think he'll have a problem with that at all. We can definitely have him do that.

CHAIRPERSON ROTENSTEIN: Are there any other questions for the Applicant?

I think then we're ready to move into a discussion. Nobody wants to offer any discussion points.

COMMISSIONER MILES: Can I just ask that you put up the slide that shows windows 3 and 4 again? Thank you. Yes, there we go. Perfect. Thanks.

CHAIRPERSON ROTENSTEIN: I think Commissioner Alderson made some good points and suggestions. I don't think that the trim and appearance of these W3 and W4 elements is appropriate to the resource.

COMMISSIONER KIRWAN: Would we take that further to talk about all of the windows that have been replaced? I mean I see an issue with the trim everywhere on that house that's been replaced and when you --

COMMISSIONER ALDERSON: The trim's missing.

COMMISSIONER KIRWAN: Yes, when you go back to the original photographs, you see heavier trim around all the windows that have been addressed.

CHAIRPERSON ROTENSTEIN: I agree. I'm not sure if we should address this --

COMMISSIONER KIRWAN: Just to clarify we're talking --

CHAIRPERSON ROTENSTEIN: -- about the elevation or do it in a wholesale fashion.

COMMISSIONER ALDERSON: I think we can talk about it generally because it looks like it's pretty consistent and it was a very simple rustic treatment, but it's a clear earmark of a 19th century. Two over 2 windows usually have a big plain flat surround and that's what makes it look historic.

CHAIRPERSON ROTENSTEIN: I think if the Applicants were willing to work on replicating the window surrounds, the actual material of the windows themselves and the simulated divided lights might become less of an issue for us. I don't know how the other Commissioners feel about that.

COMMISSIONER KIRWAN: I mean I would agree. I also think there's something to be said about consistency of the windows, the way the windows will look, too, on -- in a certain locale on the building.

For instance, on the dormer, you know, if both windows have already been replaced with simulated divided light, it doesn't seem to make sense to go back and try to put back a true divided-light window in those situations, but I think that's the way I'm looking at it, too.

I think if we can achieve a better overall effect with the house and all these replacements

and trim details, I'm a little less concerned with the simulated versus true divided issue.

CHAIRPERSON ROTENSTEIN: And it's pretty clear this Applicant has taken a lot of care with this property in all of the work that's been done and I'm sure that your dealings with the Historic Preservation Commission have been very educational for the past couple of years and hopefully, we won't find ourselves in the position we find ourselves this evening.

So, is there anymore discussion? Any comments? Commissioner Heiler?

COMMISSIONER HEILER: Yes, and maybe this is clear from the issue of changing the trim to look like what was there, but replacing the siding between those Windows 3 and 4 would probably give the appearance of these paired windows and it might alleviate the need to remove the current windows that are there by simply connecting them with the trim.

CHAIRPERSON ROTENSTEIN: I think that's a good suggestion. I definitely don't think that having the cedar siding there is appropriate for this resource and I'm sure their contractor can probably come up with a solution for that.

Commissioner Kirwan.

COMMISSIONER KIRWAN: I had a question about the shutters. They were clearly evident on parts of the house somewhat historically. Are we addressing that?

CHAIRPERSON ROTENSTEIN: Weren't those removed with a HAWP last years?

COMMISSIONER KIRWAN: Oh, they were. Okay.

CHAIRPERSON ROTENSTEIN: Yes. Yes.

COMMISSIONER KIRWAN: Okay.

CHAIRPERSON ROTENSTEIN: We saw this last year.

Commissioner Miles.

COMMISSIONER MILES: I would just endorse what you said, Mr. Chairman, and also Commissioner Heiler.

I think that it's less important that they be SDLs or TDLs than that they read from the street as being of the period and these skimpy trims and not having the trims in the same configuration as they originally were is what's making them look so odd and I agree that they need to be restored to their original trim configuration and I would also say that the windows that have been removed need to be repaired and replaced.

This is a core goal of historic preservation. Even windows that don't open and that have defects and that appear to be in very bad shape can be made new and made entirely functional and it's a very important part of your beautiful historic house. So, I would really want to see those that have not been lost be retained.

COMMISSIONER ALDERSON: I also wouldn't be surprised if those 2 over 2 windows are recycled from elsewhere in the house. Because they are older looking windows. They're much older than that addition. I would think it's an interesting part of the story of the house.

CHAIRPERSON ROTENSTEIN: Well, in light of the recent comments, are we in a position to entertain a motion?

COMMISSIONER ALDERSON: Okay. I'll submit a motion that we approve the retroactive HAWP with the Staff recommendations and add one additional requirement that the trim -- the original trim will be replicated and that those details will be worked out in coordination with the Staff.

CHAIRPERSON ROTENSTEIN: I'm sorry, Commissioner Alderson. Are you sure that we're asking them to replace the four windows in the east facade?

COMMISSIONER ALDERSON: Following Staff -- following the Staff -- what the

Staff conditions -- let me repeat.

MS. FOTHERGILL: I think you want to remove Condition Number 1 and that should say two windows. I apologize about that, but I think you remove Condition Number 1.

COMMISSIONER ALDERSON: Okay. So, it's actually with Condition Number 2?

MS. FOTHERGILL: Condition Number 2 probably needs to be amended however you want since Number 8, I believe, is gone.

COMMISSIONER RODRIGUEZ: Yes.

COMMISSIONER ALDERSON: So, I guess I'm going to need to restate it. Okay.

Thanks. Okay. Let's give this a try.

I'd like to propose that we approve the retroactive Historic Area Work Permit with the condition that the remaining historic windows, 6, 7 and 14, are retained and the missing trim be installed replicating the original with the details to be worked out in consultation with Staff.

COMMISSIONER MILES: Second.

COMMISSIONER ALDERSON: Okay. Thank you.

MR. WHIPPLE: Point of clarification, Commissioner. Did you say 6, 7, 13 and 14? Is 13 still there? Thirteen's gone. Okay.

COMMISSIONER ALDERSON: Just 6, 7 and 14. So, I think I have it right in the record. Don't I? Okay. Eight's gone.

MR. WHIPPLE: Eight's gone.

CHAIRPERSON ROTENSTEIN: So, we have a second then. Is there any discussion?

All those in favor, please raise their right hands? That's unanimous.

So, I think you can work things out with Staff and get this on the road to fixing the issues

here and thank you for coming in and working with us.

Good evening.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301.651.6787/240.678.8793

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301.651.6787/240.678.8793

Address: 306 Market Street Brookeville Maryland 20833  
Street Number City State Zip Code

Contractor: Ugo Colosso Phone No.: 240.643.6499

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: n/a Daytime Phone No.: n/a

## LOCATION OF BUILDING/PREMISE

House Number: 306 Street: Market Street

Town/City: Brookeville Nearest Cross Street: Georgia Avenue

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \$ 1200.00 ✓

1C. If this is a revision of a previously approved active permit, see Permit # 23/65-09F ✓

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Chad Wheeler  
Signature of owner or authorized agent

1/31/10  
Date

Approved: 530424 For Chairperson, Historic Preservation Commission

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is a wooden single-family dwelling. At previous HPC meeting, we were instructed to try to repair wooden windows: W6, W7, W14. These windows have broken in places and do not shut at all during the winter, which gets very cold.

W6: wood and glass 2 over 2 true divided light (2' 5 3/8" x 4' 1/2")

W7: wood and glass 2 over 2 true divided light (2' 5 3/8" x 4' 1/2")

W14: wood and glass 6 over 6 true divided light (2' 5 3/8" x 4' 1/2")

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The recommendation at previous HPC meeting was to repair the windows and get contractor's letter stating that windows are not repairable and need to be replaced. This letter is attached. Windows 6 and 7 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The condition is not repairable. The replacement windows are on site and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each). Windows 14 is a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition is not repairable. The window would be replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4' 1/2"). All remaining windows in structure have been HPC-approved and replaced with listed JELD-WEN Energy Star windows.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

January 31, 2010

Historic Preservation Committee  
8787 Georgia Avenue  
Silver Spring, MD 20910

RE: Project Description for 306 Market Street in Brookeville

Dear Committee Members,

The following is a project description for our property. The Front of the house is on the Market Street side, per the property survey.

**Right**

- Windows 6 and 7 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The replacement windows have been ordered and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each).
- Windows 14 was a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The window was replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4' 1/2").

We have attached a letter from Allied Remodeling which references the need for window replacement.

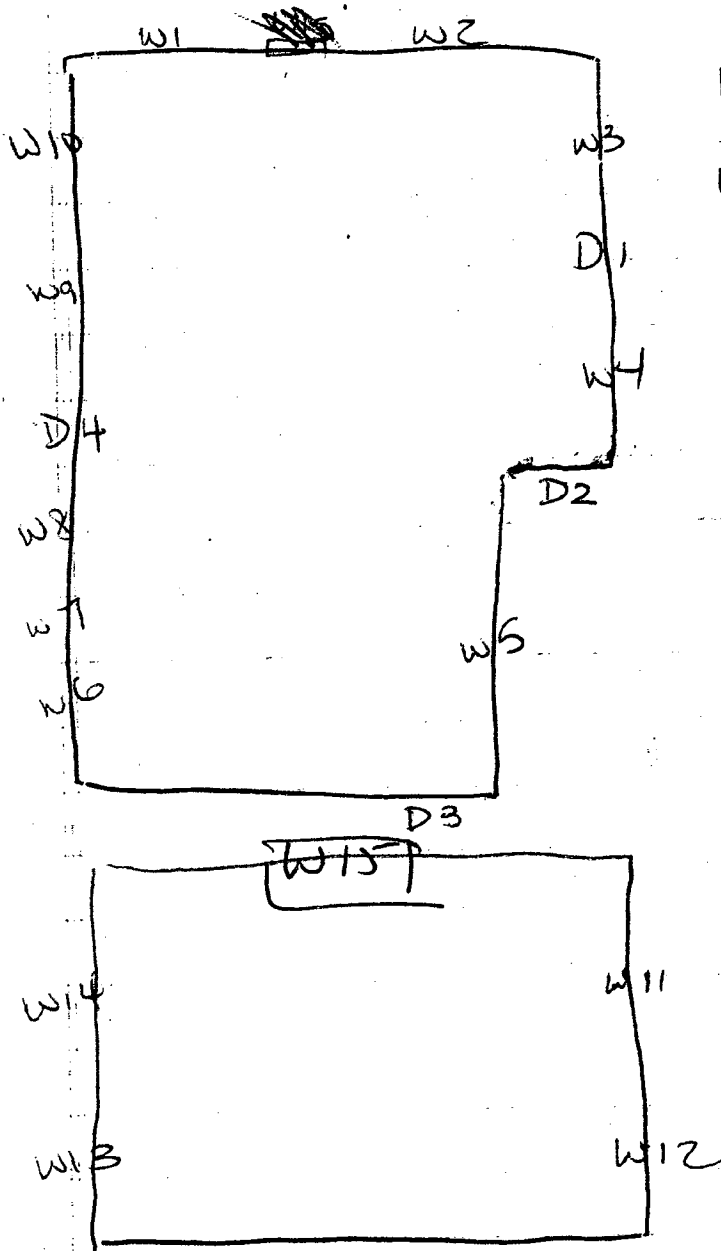
Thank you for your time and consideration in this project.

Regards,



Chad Wheeler & Michael Yesenko  
306 Market Street  
Brookeville, MD 20833

Measurements-



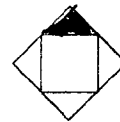
1st Floor

- $W1 \& W2 = 3' 5\frac{3}{8}'' \times 4' 8''$
- $W3 \& W4 = 2' 5\frac{3}{8}'' \times 4' 1''$
- $W5 = 7' 10\frac{1}{8}'' \times 3' 4\frac{1}{2}''$
- $W6, W7, W8 = 2' 5\frac{3}{8}'' \times 4''$
- $W9 = 35'' \times 50''$
- $W10 = 425'' \times 70''$
- $D1 = 32'' \times 80''$
- $D2 = 32'' \times 80''$
- $D3 = 32'' \times 80''$
- $D4 = 32'' \times 80''$

2nd Floor

- $W11, W12, W13, W14 = 2' 5\frac{3}{8}'' \times 4' 1\frac{1}{2}''$

W = Window  
D = Door



Shade portion to indicate North

Applicant: Wheeler / Gesenka

Page:

3. Plans/Elevations-Install

First Floor

W6 and W7 All material will be wood/glass simulated divided light.

Second Floor

W14 All material will be wood/glass simulated divided light.

4. Materials/Specifications

All material will be wood/glass JELD-WEN Energy star simulated divided light window with screen (8' 5 3/8" x 4' 1/2") for W6, W7, W14.

5. Photographs



Existing Property Condition Photographs (duplicate as needed)



6. Tree Survey n/a

7. **Addresses of Adjacent & Confronting Property Owners**

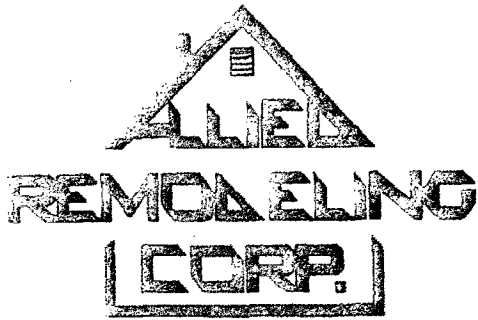
Heritage Family  
307 Market St.  
Brookeville, MD 20833

Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

Ray Family  
6 High St.  
Brookeville, MD 20833

Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833



Allied Remodeling Corporation  
1212 E. Joppa rd.  
Towson, MD. 21286  
410-828-1730

Chad Wheeler  
306 Market Street  
Brookeville, MD 20833

Dear Mr. Wheeler,

Upon reviewing the condition of the windows in your home, we have concluded that the 3 existing true divided lite windows cannot be repaired and need to be replaced. If you have any questions please give us a call at (410) 828-1730 or on my cell phone (443) 829-6567.

Sincerely,

Paul Moravec





## HISTORIC PRESERVATION COMMISSION

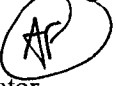
Isiah Leggett  
County Executive

David Rotenstein  
Chairperson

Date: 9/24/09

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill   
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #518318 – Window replacement and other alterations

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the September 23, 2009 HPC meeting. The conditions of approval are:

- 1.) Three windows on the west elevation (#6, 7, and 14 in the application) must be retained and repaired; replacement windows in these locations are not approved.
- 2.) Wood trim will be installed around all new windows; trim detail to be replicated from trim that was removed; final design to be reviewed and approved by staff.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chad Wheeler and Michael Yesenko  
Address: 306 Market Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.



# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301.651.6787/240.678.8793

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Chad Wheeler/Michael Yesenko Daytime Phone No.: 301.651.6787/240.678.8793

Address: 306 Market Street Brookeville Maryland 20833  
Street Number City State Zip Code

Contractor: Ugo Colosso Phone No.: 240.643.6499

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: n/a Daytime Phone No.: n/a

**LOCATION OF BUILDING/PREMISE**

House Number: 306 Street: Market Street

Town/City: Brookeville Nearest Cross Street: Georgla Avenue

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- |  |  |
|--|--|
| 1A. CHECK ALL APPLICABLE:                                | CHECK ALL APPLICABLE:                      |
| <input type="checkbox"/> Construct                       | <input type="checkbox"/> A/C               |
| <input type="checkbox"/> Extend                          | <input type="checkbox"/> Slab              |
| <input type="checkbox"/> Alter/Renovate                  | <input type="checkbox"/> Room Addition     |
| <input type="checkbox"/> Move                            | <input type="checkbox"/> Porch             |
| <input checked="" type="checkbox"/> Install              | <input type="checkbox"/> Deck              |
| <input type="checkbox"/> Wreck/Raze                      | <input type="checkbox"/> Shed              |
| <input type="checkbox"/> Revision                        | <input type="checkbox"/> Solar             |
| <input type="checkbox"/> Repair                          | <input type="checkbox"/> Fireplace         |
| <input type="checkbox"/> Revocable                       | <input type="checkbox"/> Woodburning Stove |
| <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Single Family     |
| <input type="checkbox"/> Other: _____                    |  |

1B. Construction cost estimate: \$ \$1200.00 ✓

1C. If this is a revision of a previously approved active permit, see Permit # 23/65-09F ✓

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

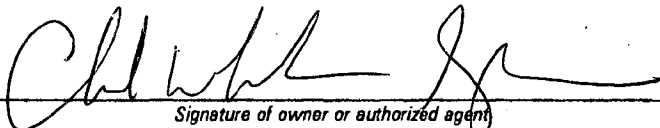
**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line       Entirely on land of owner       On public right of way/easement

*I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.*

  
 Signature of owner or authorized agent

1/31/10  
 Date

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

~~Existing structure is a wooden single-family dwelling. At previous HPC meeting, we were instructed to try to repair wooden windows: W6, W7, W14. These windows have broken in places and do not shut at all during the winter, which gets very cold.~~

~~W6: wood and glass 2 over 2 true divided light (2' 5 3/8" x 4'1 1/2")~~

~~W7: wood and glass 2 over 2 true divided light (2' 5 3/8" x 4'1 1/2")~~

~~W14: wood and glass 6 over 6 true divided light (2' 5 3/8" x 4'1 1/2")~~

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

~~The recommendation at previous HPC meeting was to repair the windows and get contractor's letter stating that windows are not repairable and need to be replaced. This letter is attached. Windows 6 and 7 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The condition is not repairable. The replacement windows are on site and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each). Windows 14 is a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition is not repairable. The window would be replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4'1 1/2"). All remaining windows in structure have been HPC-approved and replaced with listed JELD-WEN Energy Star windows.~~

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

January 31, 2010

Historic Preservation Committee  
8787 Georgia Avenue  
Silver Spring, MD 20910

RE: Project Description for 306 Market Street in Brookeville

Dear Committee Members,

The following is a project description for our property. The Front of the house is on the Market Street side, per the property survey.

**Right**

- Windows 6 and 7 are 2 over 2 paned wood and glass. They are damaged and do not close properly or lock. The replacement windows have been ordered and are 6 over 6 paned wood and glass JELD-WEN Energy Star simulated divided light windows with screen (2' 5 3/8" x 4 1/2" each).
- Windows 14 was a 6 over 6 true divided light wood and glass window that was broken and did not open. There were also large gaps between the window and frame. The condition was poor. The window was replaced by 6 over 6 paned simulated divided light wood and glass JELD-WEN Energy Star windows with screen (3' 5 3/8" x 4' 1/2").

We have attached a letter from Allied Remodeling which references the need for window replacement.

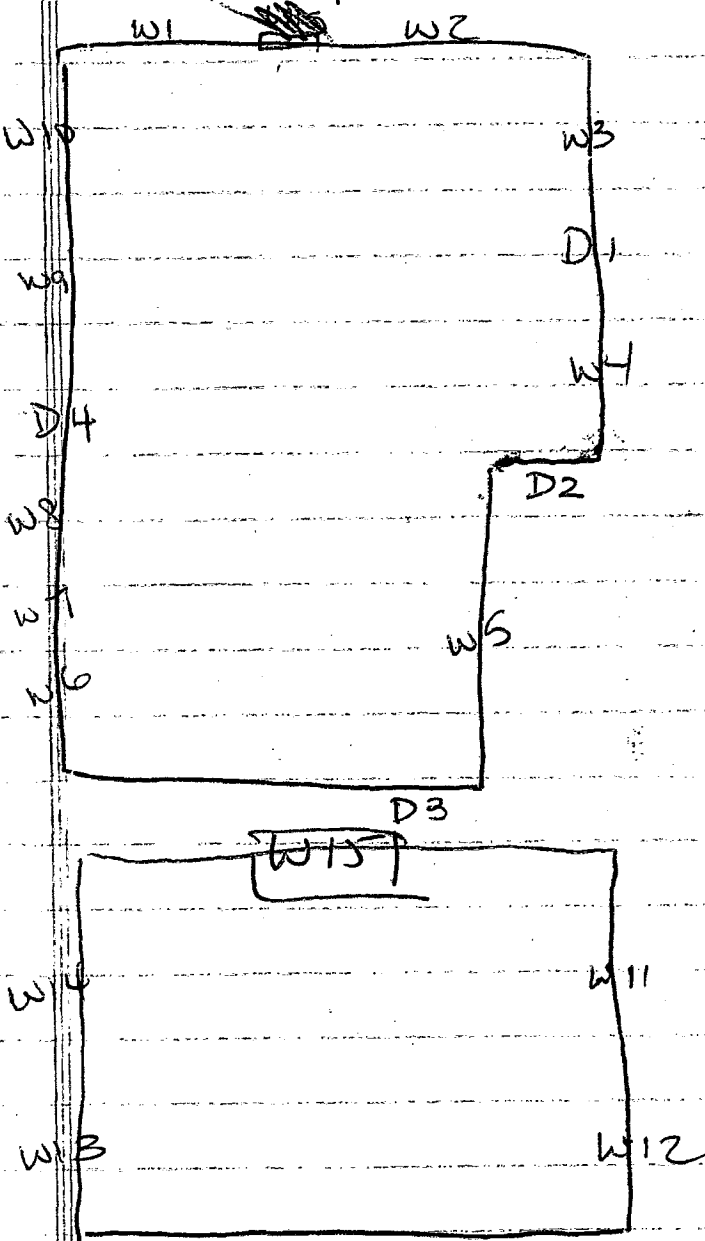
Thank you for your time and consideration in this project.

Regards,



Chad Wheeler & Michael Yesenko  
306 Market Street  
Brookeville, MD 20833

Measurements.



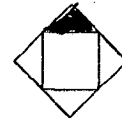
1st Floor

- $W1 \& W2 = 3' 5\frac{3}{8}'' \times 4' 8''$
- $W3 \& W4 = 2' 5\frac{3}{8}'' \times 4' \frac{1}{2}''$
- $W5 = 7' 10\frac{1}{8}'' \times 3' 4\frac{1}{2}''$
- $W6, W7, W8 = 2' 5\frac{3}{8}'' \times 4'$
- $W9 = 35'' \times 50''$
- $W10 = 47\frac{5}{8}'' \times 70''$
- $D1 = 32'' \times 80''$
- $D2 = 32'' \times 80''$
- $D3 = 32'' \times 80''$
- $D4 = 32'' \times 80''$

2nd Floor

- $W11, W12, W13, W14 = 2' 5\frac{3}{8}'' \times 4' \frac{1}{2}''$

W = Window  
 D = Door



Shade portion to indicate North

3. Plans/Elevations-Install

First Floor

W6 and W7 All material will be wood/glass simulated divided light.

Second Floor

W14 All material will be wood/glass simulated divided light.

4. Materials/Specifications

All material will be wood/glass JELD-WEN Energy star simulated divided light window with screen (8' 5 3/8" x 4' 1/2") for W6, W7, W14.

5. Photographs



6. **Tree Survey** n/a

7. **Addresses of Adjacent & Confronting Property Owners**

Heritage Family  
307 Market St.  
Brookeville, MD 20833

Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

Ray Family  
6 High St.  
Brookeville, MD 20833

Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833



Allied Remodeling Corporation  
1212 E. Joppa rd.  
Towson, MD. 21286  
410-828-1730

Chad Wheeler  
306 Market Street  
Brookeville, MD 20833

Dear Mr. Wheeler,

Upon reviewing the condition of the windows in your home, we have concluded that the 3 existing true divided lite windows cannot be repaired and need to be replaced. If you have any questions please give us a call at (410) 828-1730 or on my cell phone (443) 829-6567.

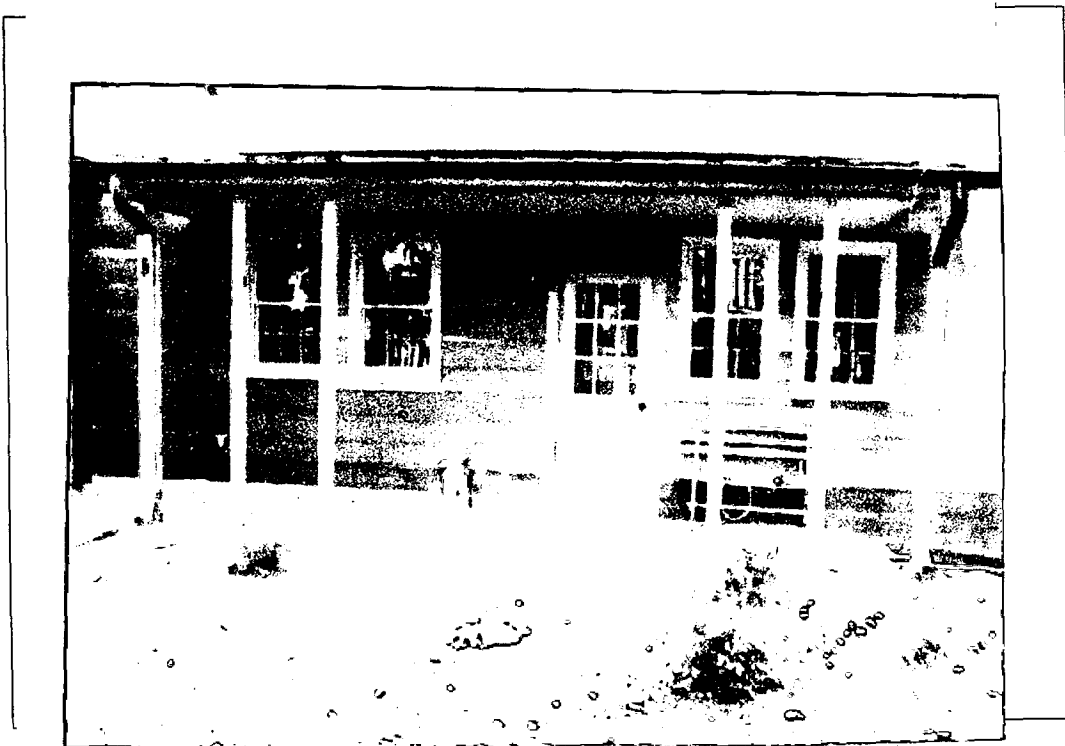
Sincerely,

Paul Moravec

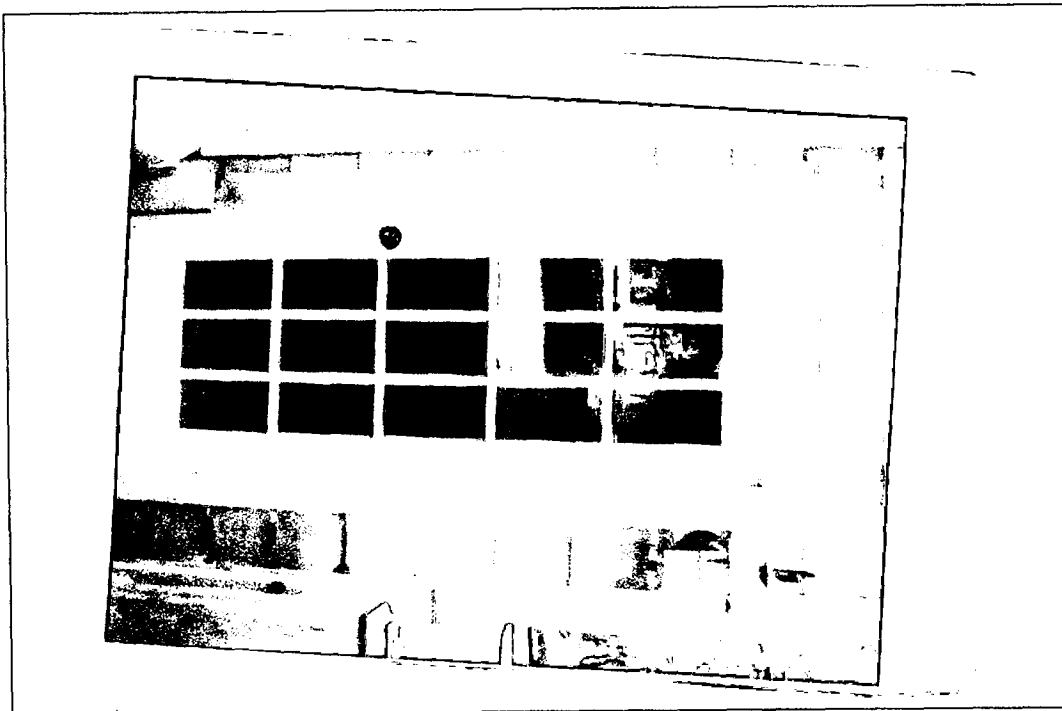


S. cont

Existing Property Condition Photographs (duplicate as needed)



Detail: east porch



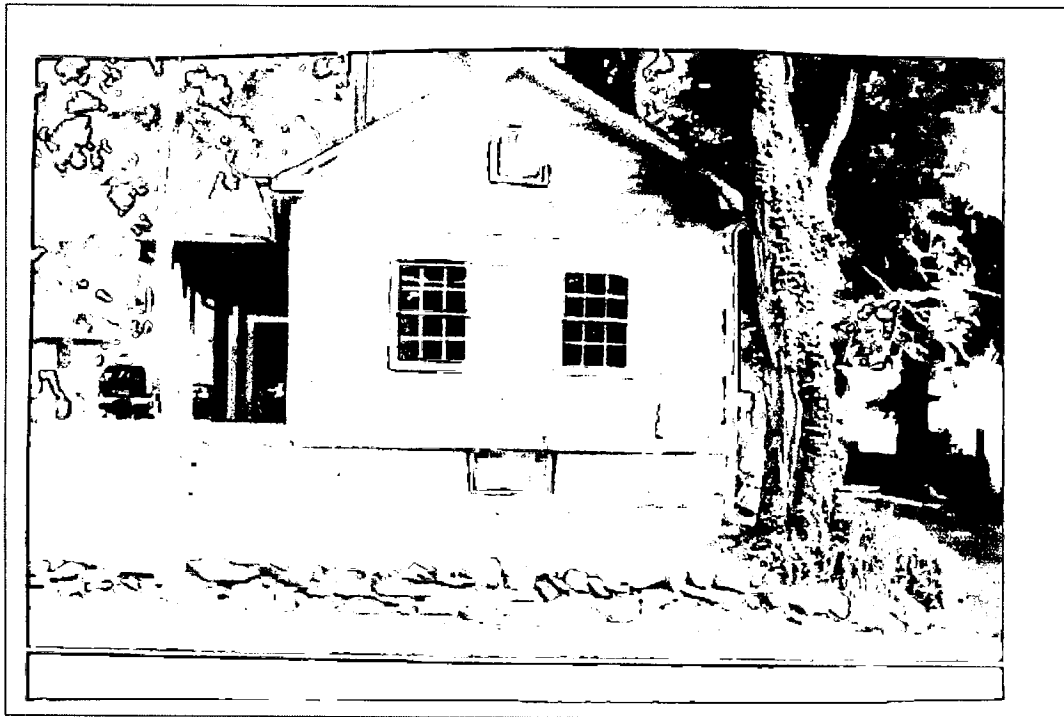
Detail: South door

Applicant: Wheeler / Yesenko

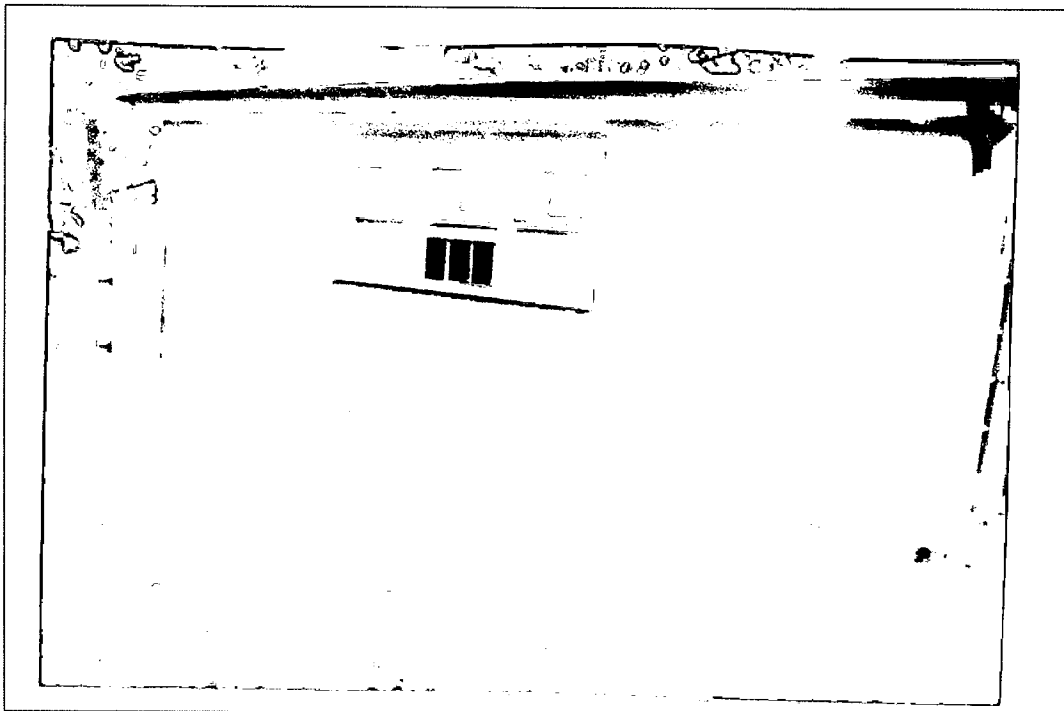
Page:

5(cont.)

Existing Property Condition Photographs (duplicate as needed)



Detail: North side of House

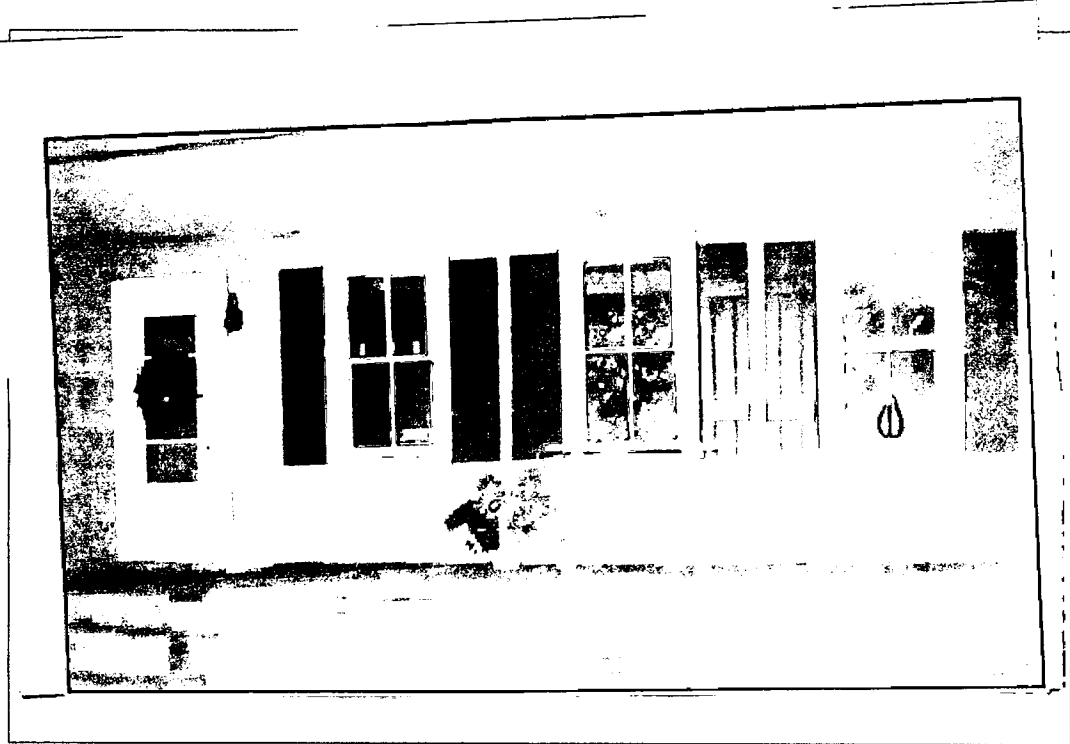


Detail: Great Room

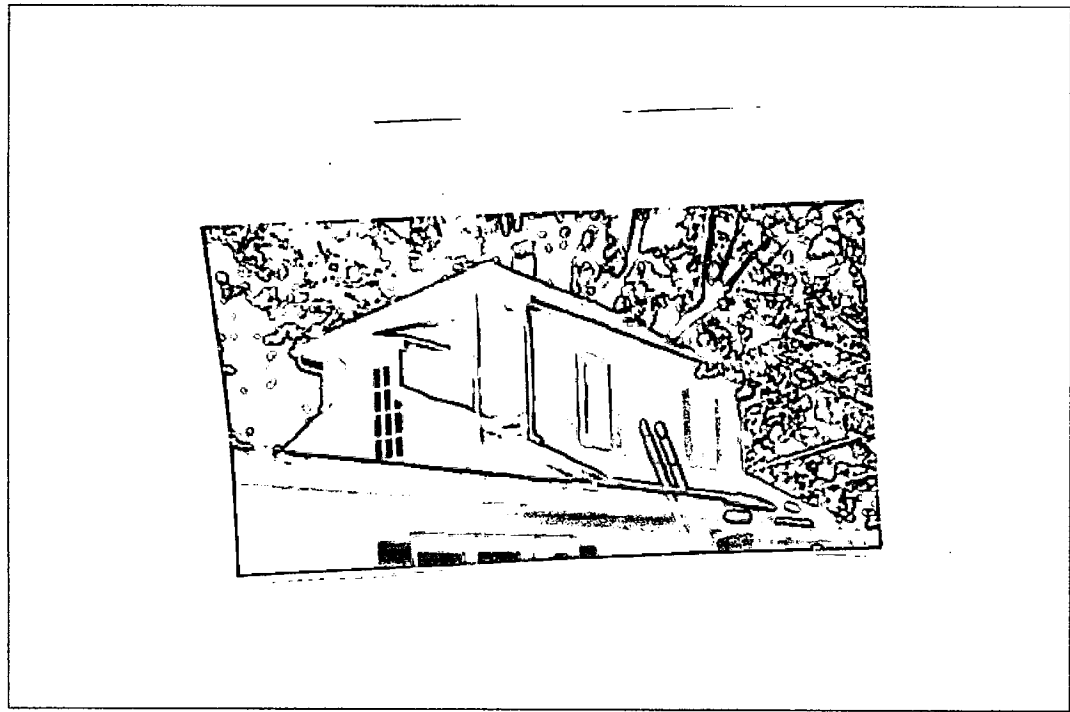
Applicant: Wheeler / Yessenko

5 cont

Existing Property Condition Photographs (duplicate as needed)



Detail: west porch



Detail: \_\_\_\_\_

Applicant: Wheeler / Yesenko

**Window Replacement**

**W1 3' 5 3/8" x 4' 8"**

The window was a metal and glass framed window (not historically or structurally significant) that did not close completely and the glass was cracked. The window was replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.



**W2 3' 5 3/8" x 4' 8"**

The wood and glass door (not original to the house or historically significant) had swelled shut and was replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light window without screen. The wood will be stained cedar to match the cedar siding.



W3 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were broken and did not open. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 paned wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W4 2' 5 3/8" x 4 1/2" (2 each)

The 6 x 6 true divided light wood and glass framed windows were damaged and one of the windows did not open. The second was held together by duct tape on the inside. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W5 7' 10 1/8" x 3' x 4 1/2"

The wood and glass window did not have true divided light. The window was added during an addition that was built in the 1950's. This window had 3 attached windows in one unit and was replaced by 3 attached windows in one unit. Each window has 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W6 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2) is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 wood and glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



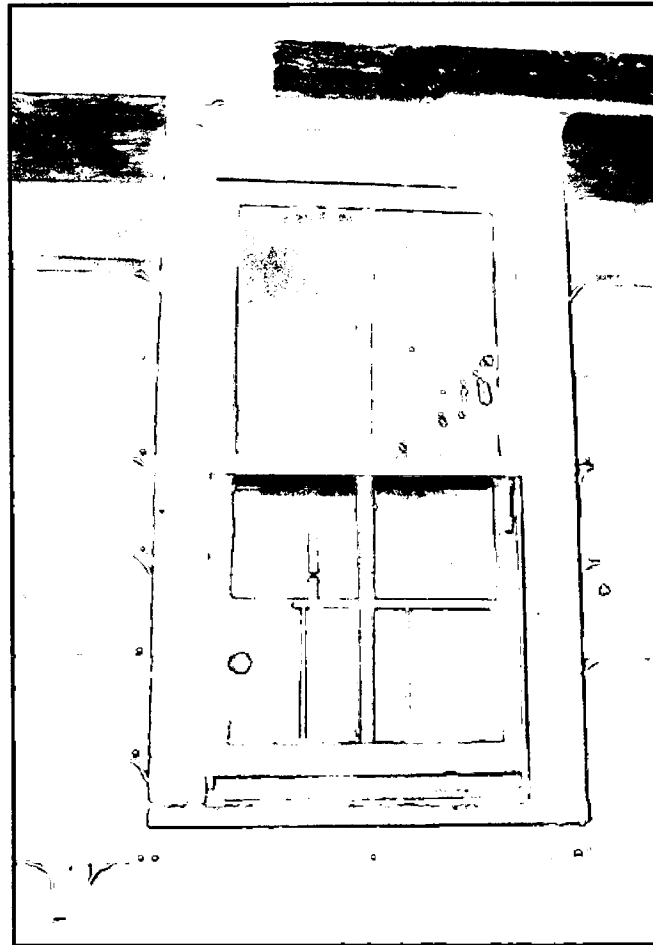
W7 2' 5 3/8" x 4 1/2"

The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W8 2' 5 3/8" x 4 1/2"

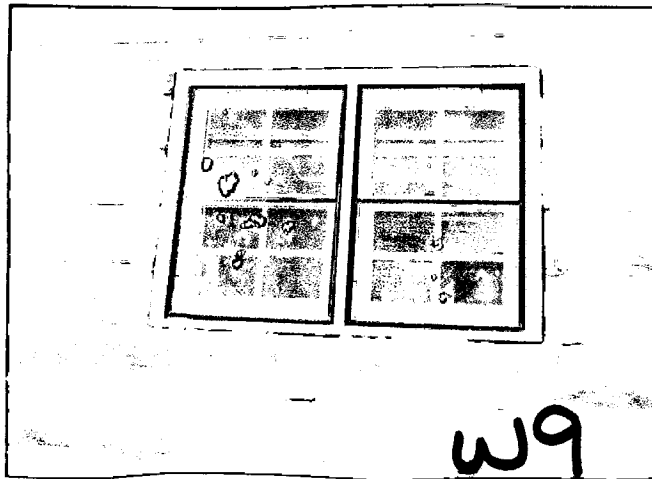
The wood and glass window has true divided light (2 over 2 paned), is damaged and does not close properly or lock. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.





W9 35" x 50"

The metal and glass window (not historically significant) did not close properly and actually cut a guest because the window was cracked. The window was replaced by 4 over 4 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W10 42 1/2" x 70" (2 each)

The metal and glass window (not historically significant) did not close properly because the window was cracked. The window was replaced by 6 over 6 paned glass Jeldwen Energy Star simulated divided light windows with screen. The wood will be stained cedar to match the cedar siding.



W11 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W12 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



W13 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window was broken and did not open. There were also large gaps between window and frame. Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



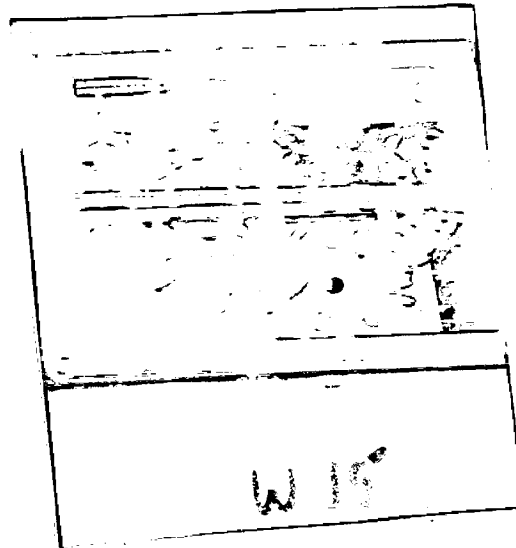
W14 2' 5 3/8" X 4 1/2"

The 6 over 6 true divided light wood and glass window is damaged and does not close properly. There Condition poor. The window will be replaced by a 6 over 6 paned simulated divided light, wood and glass Jeldwen Energy Star with screen. The wood will be stained cedar to match the cedar siding.



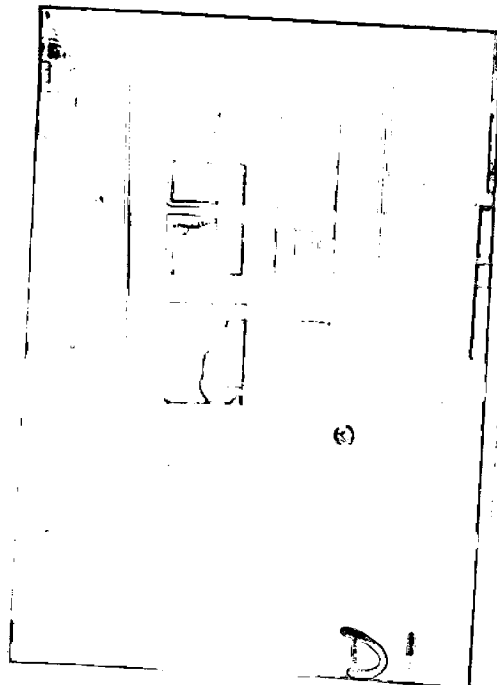
W15 2' x 2'

The 4 paned true divided light wood and glass framed window was broken and did not close. There were also large gaps between window and frame that allowed cold air & insects inside. The windows were replaced by a 4 paned wood and glass Jeldwen Energy Star simulated divided light windows without screen. The wood will be stained cedar to match the cedar siding.



D1 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door.



D2 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



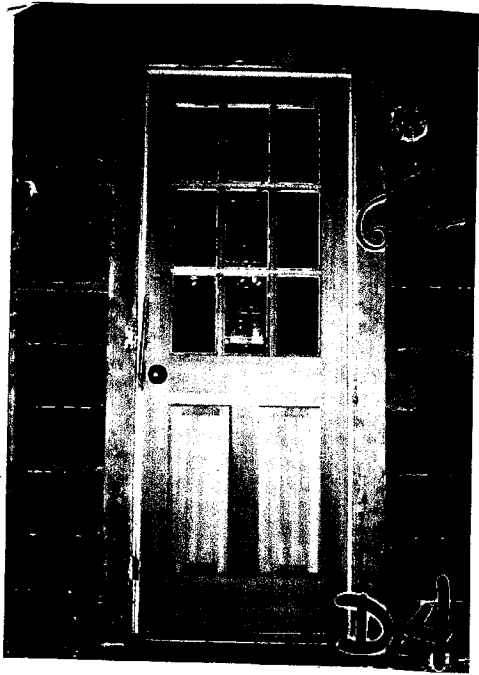
D3 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.



D4 32" x 80"

The 3 paned glass wood and glass door was in poor condition and was replaced by a 9 paned glass true divided light on top of door. The wood will be stained to match the cedar siding.





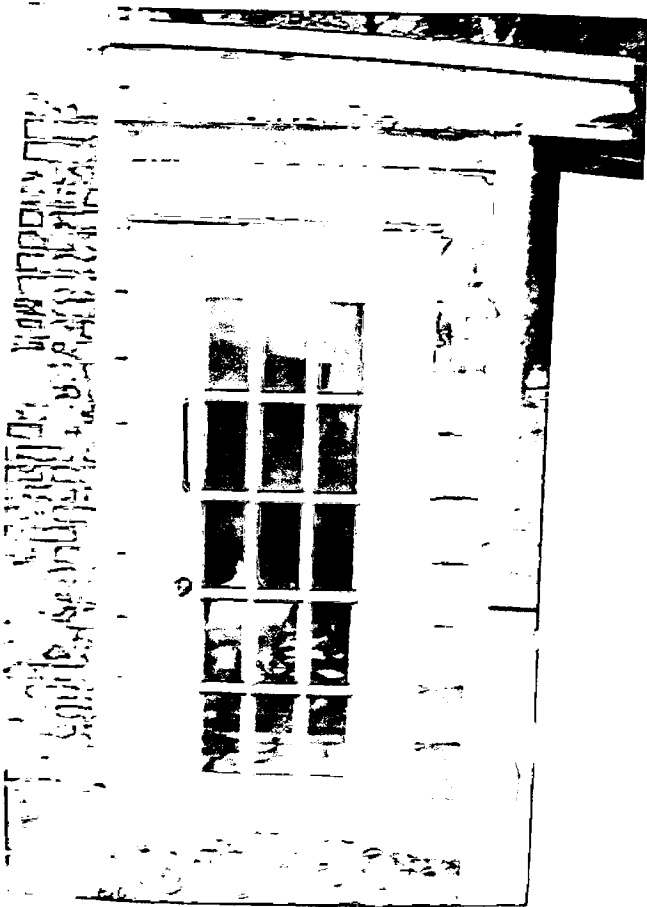
East Porch

We removed damaged trellises on the east porch. We moved a porch post already in existence on each side to the front so there are now 3 supporting posts (each post is 4"x4").



### Awning Over D3

We removed a damaged plastic awning that was attached to the house with no historic significance or value. We plan to attach cedar awning to house over D3. Dimensions are 7' x 3' by 6" cedar in material with two (2) cedar posts that are 4"x4" to support the awning. *wood shingle roof*



Decorative Railing

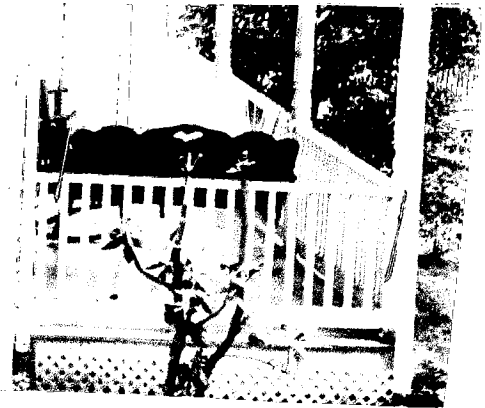
A railing was removed by the prior owners on top of the great room when they replaced a rubber membrane (the ceiling leaked). We plan to replace the railing with cedar wood inset railing. Dimensions will be 25'x19'x24.9' long and 3' tall.



NO RAIL



Bait Proposal WS  
site



MATERIAL  
&  
Style

**Good Earth Landscaping**  
11650 Falls Road  
Potomac, Maryland 20854  
Office: (301) 765-0086  
Fax: (301) 765-2080



September 3, 2009

Mr. Wheeler and Mr. Yesenko  
306 Market Street  
Brookeville, MD 20833

Dear Mr. Wheeler and Ms. Yesenko,

The (3) Canadian Hemlocks by the driveway and the (1) at the northwest corner of the house have an infestation of Hemlock Woolly Adelgid. At this point the Trees are so damaged they cannot be salvaged and should be removed. If you opt to try to save the Trees, the spray is fairly toxic and I would not recommend spraying such large trees so close to the house. In any case, I strongly recommend the removal of all (4) Hemlocks.

Sincerely,

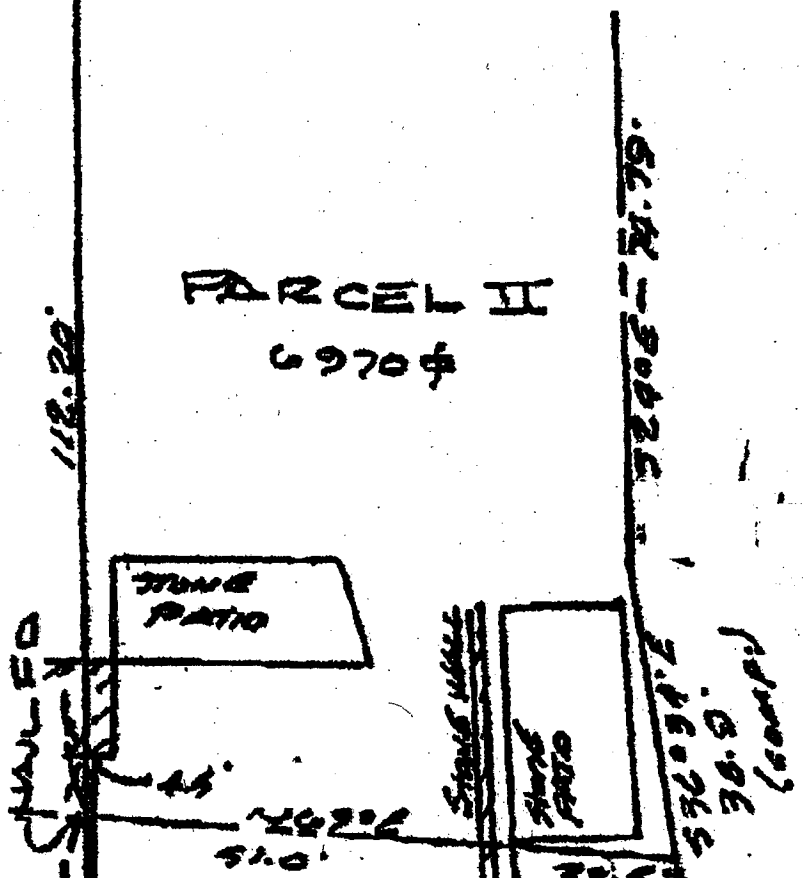
Michael Levin, CPH, Lic. #89512  
Good Earth Landscape Division

**Exceptional Quality. Outstanding Service. Everyday.**

tree #'s are highlighted

PARCEL II  
6970 sq

P549



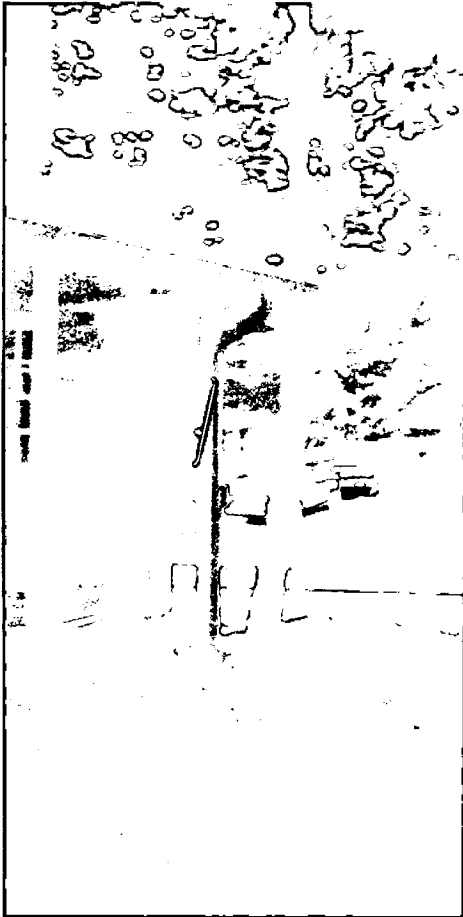
P533

5.47° W - 57.0' MARKET ST.  
 2 STORY FRAME #306  
 K. Woods & Co. Park

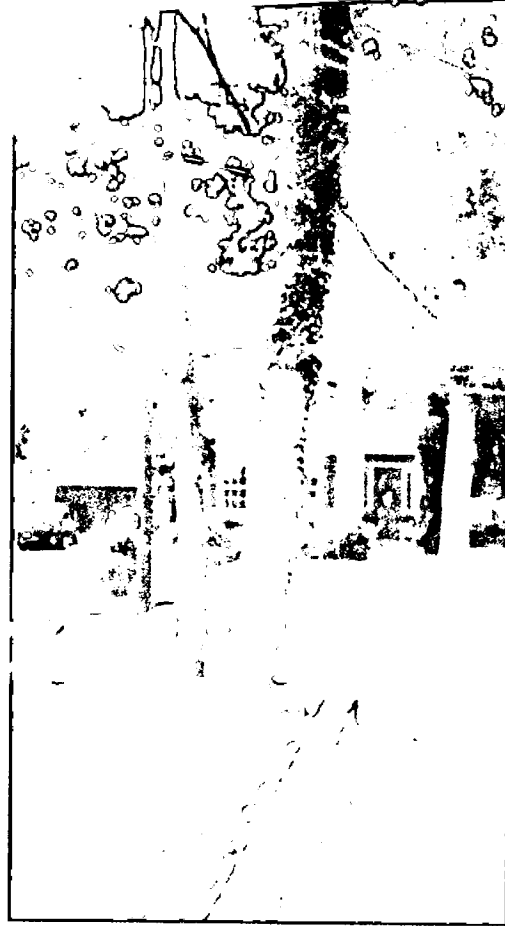
PARCELS I AND II LIBER 861  
BROOKEVILLE

Tree Removal

We request to removal 4 hemlock trees that have Hemlock Woolly Adelgid (Trees 1, 2, 3, 4).  
These trees are approximately 30' in height.



Tree #1



Trees #2 & #3



Tree #4

6. **Tree Survey** n/a

7. **Addresses of Adjacent & Confronting Property Owners**

Heritage Family  
307 Market St.  
Brookeville, MD 20833

Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

Ray Family  
6 High St.  
Brookeville, MD 20833

Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833

Front

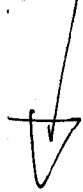
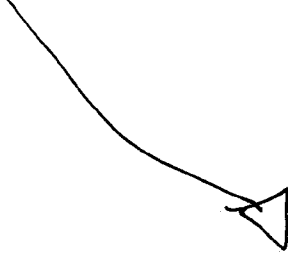


Left (east) side





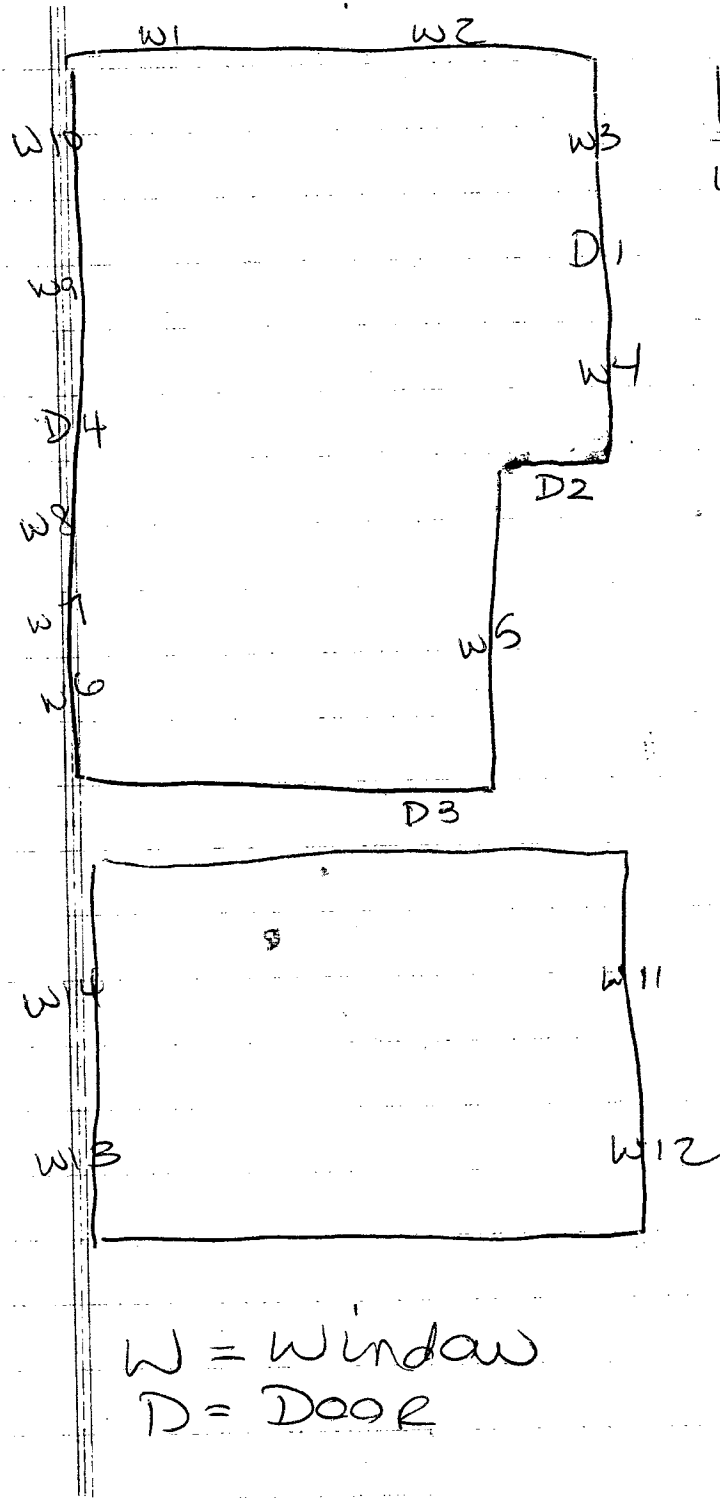
Right (west) side



not yet replaced

2

Site Plan



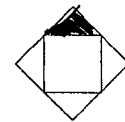
Measurements -

1st Floor

- $W1 \& W2 = 3' 5\frac{3}{8}'' \times 4' 8''$
- $W3 \& W4 = 2' 5\frac{3}{8}'' \times 4' \frac{1}{2}''$
- $W5 = 7' 10\frac{1}{8}'' \times 3' 4\frac{1}{2}''$
- $W6, W7, W8 = 2' 5\frac{3}{8}'' \times 4\frac{1}{2}''$
- $W9 = 35'' \times 58''$
- $W10 = 42.5'' \times 70''$
- $D1 = 32'' \times 80''$
- $D2 = 32'' \times 80''$
- $D3 = 32'' \times 80''$
- $D4 = 32'' \times 80''$

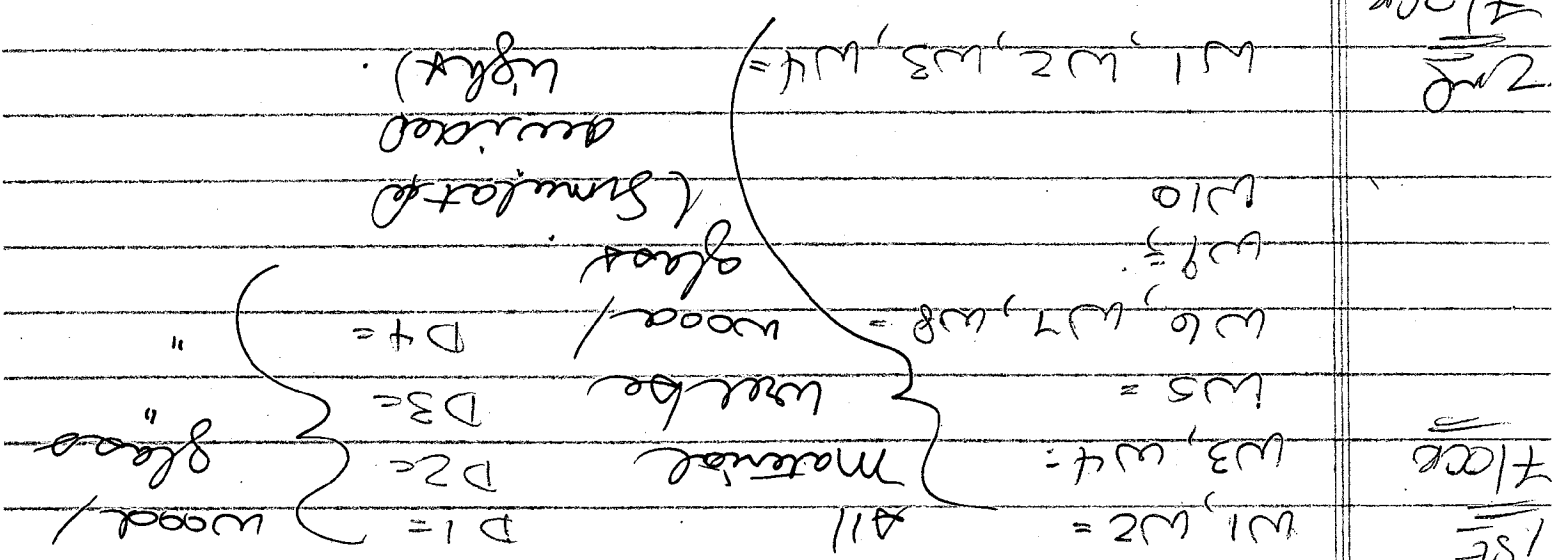
2nd Floor

- $W11, W12, W13, W14 = 2' 5\frac{3}{8}'' \times 4' \frac{1}{2}''$



Shade portion to indicate North

③ Plans / Elevators - Repaired Install



④ Materials Specifications,  
 Doors / wood & glass panels - 1/2 door  
 glass panels  
 for D1, D2, D4

Door / wood & glass panel - full  
 door of glass panels for D3.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301-376-3765/240-276-2915

Tax Account No.:

Name of Property Owner: Chad Wheeler/Michael Yesenko

Daytime Phone No.: 301-376-3765/240-276-2915

Address: 306 Market Street

Brookeville

MD

20833

Contractor: Ugo Colosso

Phone No.: 240-643-6499

Contractor Registration No.:

Agent for Owner: n/a

Daytime Phone No.: n/a

LOCATION OF BUILDING/PREMISE

House Number: 306

Street: Market Street

Town/City: Brookeville

Nearest Cross Street: Georgia Avenue

Lot: Block: Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Revision, Install, Wreck/Raze, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other: windows/doors

1B. Construction cost estimate: \$ 6500

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other: NIA

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches: NIA

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of Owner or authorized agent

Date: 07/21/2009

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 518318 Date Filed: 8/3/09 Date Issued:

**Date Received in DPS:**

Mail Log # 253278

JUL 29 2009

Assigned To: Lucas

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

## Fothergill, Anne

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**From:** Fothergill, Anne  
**Sent:** Thursday, September 10, 2009 3:15 PM  
**To:** 'Chad and Michael'  
**Subject:** RE: 306 Market Street application

Two more suggestions so that the HPC can understand what has happened at your house.

- 1) Write a cover letter. Explain what you did and why you did it. List what changes were made on each side of the house—front, left side, right side, rear
- 2) Email photos of all 4 sides of your house. One photo for each side that shows all the windows and doors. If there is a section that is too large to fit in one photo, split it into two (or more) but make it clear to me which side it is. The HPC will try and understand the big picture and they can't do it with each individual window photo. You have sent some photos, but we need all sides. If you want to mark them up with the window and door label numbers please do or else I will try and do that for the staff report.

thanks,  
Anne

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**From:** Fothergill, Anne  
**Sent:** Thursday, September 10, 2009 3:00 PM  
**To:** 'Chad and Michael'  
**Subject:** RE: 306 Market Street application

Hi Michael and Chad,

Thanks for submitting more photos and descriptions in your application. A few things:

I don't think the HPC will accept your mocked-up photo as a plan for the cedar awning over Door 3 since it is difficult to understand. Can you do a better sketch (including side view) or find a photo of what you are proposing (maybe an example on-line) and send it to me?

Do you happen to know if Doors 1, 2, 3 and 4 that have been replaced were original to the house?

The HPC does not generally support original window and door replacement and you should be prepared that the HPC will want to know if you tried to repair the historic wood TDL windows that you now propose to replace. If you have estimates or written descriptions of the window conditions from contractors you should provide those.

thanks,  
Anne

---

**From:** Chad and Michael [mailto:dudleyone@gmail.com]  
**Sent:** Wednesday, September 09, 2009 9:28 AM  
**To:** Fothergill, Anne  
**Subject:** Re: 306 Market Street application

Anne,  
Glad to hear you got the emails as well as the addendum. I think firewalls may have played a part in the email delay.  
Thanks.  
Michael

**Fothergill, Anne**

---

**From:** Fothergill, Anne  
**Sent:** Monday, August 31, 2009 9:49 AM  
**To:** 'Chad and Michael'  
**Subject:** 306 Market Street application

**Importance:** High

Chad and Michael,

We have received the photos you sent in response to the questions in my emails. However, this is not sufficient for a Historic Area Work Permit application and if necessary we will postpone the HPC review until you have submitted a complete application.

The photos of the windows and doors you have already removed need to be keyed to your window measurements chart that you already submitted (windows labeled W1-W14 and doors D1-4). For those windows and doors that you have not yet removed, make sure it is clearly noted on the window chart that they have not yet been removed. Provide close-up photos of the existing windows (also labeled and keyed to your window chart) and list their material, style and condition (for example, "wood, true divided light, difficult to open" or "metal slider in good condition", etc.). For the windows that already have been removed, to the best of your recollection you will need to list each window's material, style, and condition listed out and key each one to your window chart.

For the new work you are now adding to the application, you must provide more information (see below).

**Trees:** For any trees to be removed, mark each tree on a site plan and list their type and size. Please provide the horticulturalist's report stating their condition. The HPC does not review tree trimming so you do not need to include that.

**Garden overhang:** You have provided dimensions but on the site plan show where the garden overhang will be located and you must include the proposed design and materials.

**Decorative railing:** You need to mark a photo and/or the site plan so the HPC can see where the railing will be. You have noted that you want to use the same design as a neighbor's railing which appears to be a wood inset picket railing and that should be marked on the site plan/photo. Since you state that the railing is being rebuilt, submit a photo of the railing that had been there before if you have one.

**East porch:** We don't see any mention of the changes to this porch and the HPC needs to know what you have done there.

If any of this is not clear please refer to the 2<sup>nd</sup> page of the application which lists the required documents for an application. If necessary, we can postpone this review until the September 23<sup>rd</sup> HPC meeting to give you enough time to provide all the required information for a complete application.

You are welcome to contact our supervisor, Scott Whipple, to find out the current status of the fire-damaged house across the street.

thanks,  
Anne

---

**From:** Fothergill, Anne  
**Sent:** Thursday, August 27, 2009 12:58 PM



**To:** 'Chad and Michael'  
**Subject:** RE: East porch

After reviewing your submission more closely, we found that the HPC will need some more information to make your application complete.

Please submit close-up photos of the windows that you have not yet replaced (either interior or exterior shots or both) and key them to your plan where they are labeled W1-W14. If you can take them this weekend and email them to me Monday, that would be fine.

Also, please note on the plan which ones have already been replaced and which are still intact.

If there are any wood true divided lights windows (meaning individual panes of glass with muntin bars in between) that were removed or are still intact that must be noted on the plan. For example, the front window was wood with true divided lights, correct?

thanks, Anne

---

**From:** Fothergill, Anne  
**Sent:** Wednesday, August 26, 2009 2:52 PM  
**To:** 'Chad and Michael'  
**Subject:** East porch

The photo you submitted of the East Porch shows that you have made some changes to the porch but I don't see them noted in your application. I have attached a photo of the porch from January 2008. Please email me something to include in your application about what you have done to the porch. Your application also doesn't show the new front gable end square window in the window inventory (or else I don't see it). Be sure and add that to your submission.

If you have made any other changes besides what is written below (what was approved in your first application), these must be included in this retroactive application.

1. Remove non-original shutters from the house
2. Install 3' tall wood picket fencing around the back and sides of the property
3. Install a wood shed
4. Remove non-original front porch
5. Replace the non-original front door with a wood true divided light window

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Historic Preservation Section  
Urban Design and Preservation Division  
Montgomery County Planning Department  
The Maryland-National Capital Park and Planning Commission  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400 phone  
301-563-3412 fax  
<http://www.montgomeryplanning.org/historic>



## Fothergill, Anne

---

**From:** Chad and Michael [dudleyone@gmail.com]  
**Sent:** Sunday, August 30, 2009 8:24 PM  
**To:** Fothergill, Anne  
**Subject:** 4 pictures for you  
**Attachments:** IMG\_3691.JPG; IMG\_3692.JPG; IMG\_3693.JPG; IMG\_3694.JPG

Anne,  
Here's pics of walnut tree, decorative fence location & example of requested rail.  
Chad & Michael

You have been sent 4 pictures.

IMG\_3691.JPG  
IMG\_3692.JPG  
IMG\_3693.JPG  
IMG\_3694.JPG

These pictures were sent with Picasa, from Google.  
Try it out here: <http://picasa.google.com/>

## Fothergill, Anne

---

**From:** Chad and Michael [dudleyone@gmail.com]  
**Sent:** Sunday, August 30, 2009 8:24 PM  
**To:** Fothergill, Anne  
**Subject:** 306 Market Street/Brookeville, MD  
**Attachments:** IMG\_3661.JPG; IMG\_3664.JPG; IMG\_3667.JPG; IMG\_3669.JPG; IMG\_3672.JPG; IMG\_3675.JPG; IMG\_3676.JPG; IMG\_3680.JPG; IMG\_3685.JPG; IMG\_3686.JPG; IMG\_3687.JPG; IMG\_3571.JPG; IMG\_3688.JPG; IMG\_3690.JPG

Anne,

In regards to your last emails, all the windows and doors for the house have been ordered. Attached are photos of the windows and doors that we have used throughout the house. The wood is on both sides of the windows to simulate true divided light windows as discussed in previous emails, which is reflected in the retroactive application.

We are also requesting in our retroactive application to remove 4 hemlocks that have Hemlock Woolly Adelgid, as per Michael Lavin, Certified Professional Horticulturist at Good Earth/Potomac, MD.

We are also requesting to build an overhang (7' x 3') to replace the plastic overhang which has already been removed. This overhang is for rear garden entrance.

We are also requesting to rebuilt a decorative rail above the great room. The size is 14' x 3' and will be made of wood (as per our fence--only without pickets). Attached is a photo of that area as well as our neighbor's railing that we would like to mimic.

We would also like to trim a black walnut that is growing in our driveway. Attached is photo of overhanging branches that drop walnuts (actually cracking a windshield that had to be replaced).

The remaining photo is our neighbor's house that burned 2 1/2 years ago. Have you received complaints regarding this property as well? We wish the new owners well (the home is for sale) with the guidelines of restoration in an historic community.

Regards,  
Chad & Michael

## Fothergill, Anne

---

**From:** Chad and Michael [dudleyone@gmail.com]  
**Sent:** Sunday, August 30, 2009 8:13 PM  
**To:** Fothergill, Anne  
**Subject:** 13 pictures for you  
**Attachments:** IMG\_3661.JPG; IMG\_3664.JPG; IMG\_3667.JPG; IMG\_3669.JPG; IMG\_3672.JPG; IMG\_3675.JPG; IMG\_3676.JPG; IMG\_3680.JPG; IMG\_3685.JPG; IMG\_3686.JPG; IMG\_3687.JPG; IMG\_3571.JPG; IMG\_3688.JPG

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You have been sent 13 pictures.

IMG\_3661.JPG  
IMG\_3664.JPG  
IMG\_3667.JPG  
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IMG\_3675.JPG  
IMG\_3676.JPG  
IMG\_3680.JPG  
IMG\_3685.JPG  
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IMG\_3687.JPG  
IMG\_3571.JPG  
IMG\_3688.JPG

These pictures were sent with Picasa, from Google.  
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---

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**Sent:** Thursday, August 27, 2009 12:58 PM  
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**Subject:** RE: East porch

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Also, please note on the plan which ones have already been replaced and which are still intact.

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**To:** 'Chad and Michael'  
**Subject:** East porch

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If you have made any other changes besides what is written below (what was approved in your first application), these must be included in this retroactive application.

1. Remove non-original shutters from the house
2. Install 3' tall wood picket fencing around the back and sides of the property
3. Install a wood shed
4. Remove non-original front porch
5. Replace the non-original front door with a wood true divided light window

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Historic Preservation Section  
Urban Design and Preservation Division  
Montgomery County Planning Department  
The Maryland-National Capital Park and Planning Commission  
1109 Spring Street, Suite 801



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Chad Wheeler/Michael Yesenko
Daytime Phone No.: 301-376-3765/240-276-2915

Tax Account No.:
Name of Property Owner: Chad Wheeler/Michael Yesenko Daytime Phone No.: 301-376-3765/240-276-2915
Address: 306 Market Street Brookeville MD 20833
Street Number City State Zip Code
Contractor: Ugo Colosso Phone No.: 240-643-6499
Contractor Registration No.:
Agent for Owner: n/a Daytime Phone No.: n/a

LOCATION OF BUILDING/PREMISE

House Number: 306 Street: Market Street
Town/City: Brookeville Nearest Cross Street: Georgia Avenue
Lot: Block: Subdivision:
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:
1B. Construction cost estimate: \$ 6500 (Windows/doors)

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: NIA
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches NIA
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date 07/21/2009

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

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---

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Existing structure is wooden single family dwelling. Previous doors & windows are metal/wood (not original to structure as house was destroyed by fire & rebuilt). No historic features/significance of windows & doors. In fact, many of the doors and windows have broken and do not shut at all during the winter, which gets very cold. All windows and doors are to be new & matching wood-paned, multi-paneled by inserts.

---

---

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

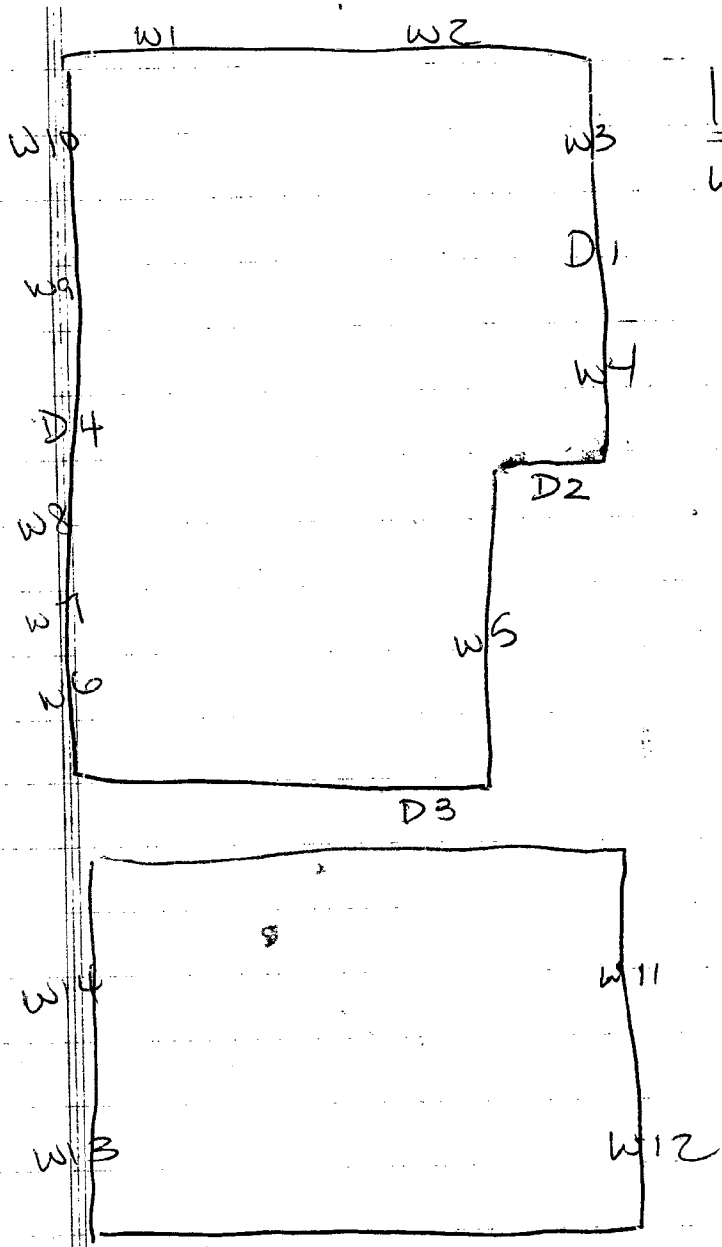
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



2

Site Plan

NT



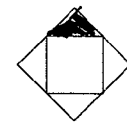
Measurements -

1st Floor

- W1 & W2 = 3' 5 3/8" x 4' 8"
- W3 & W4 = 2' 5 3/8" x 4' 1/2"
- W5 = 7' 10 1/8" x 3' 4 1/2"
- W6, W7, W8 = 2' 5 3/8" x 4' 1/2"
- W9 = 35" x 50"
- W10 = 42.5" x 70"
- D1 = 32" x 80"
- D2 = 32" x 80"
- D3 = 32" x 80"
- D4 = 32" x 80"

2nd Floor

- W11, W12, W13, W14 = 2' 5 3/8" x 4' 1/2"



Shade portion to indicate North

③ Plans / Elevations - Repair / Install

1st  
Floor

$w_1, w_2 =$  } (all material  
 $w_3, w_4 =$  } will be wood /  
 $w_5 =$  } D1 = wood /  
 $w_6, w_7, w_8 =$  } glass - D2 = glass  
 $w_9 =$  } simulated D3 =  
 $w_{10} =$  } divided light D4 =

2nd  
Floor

$w_1, w_2, w_3, w_4 =$  } for these windows as well.

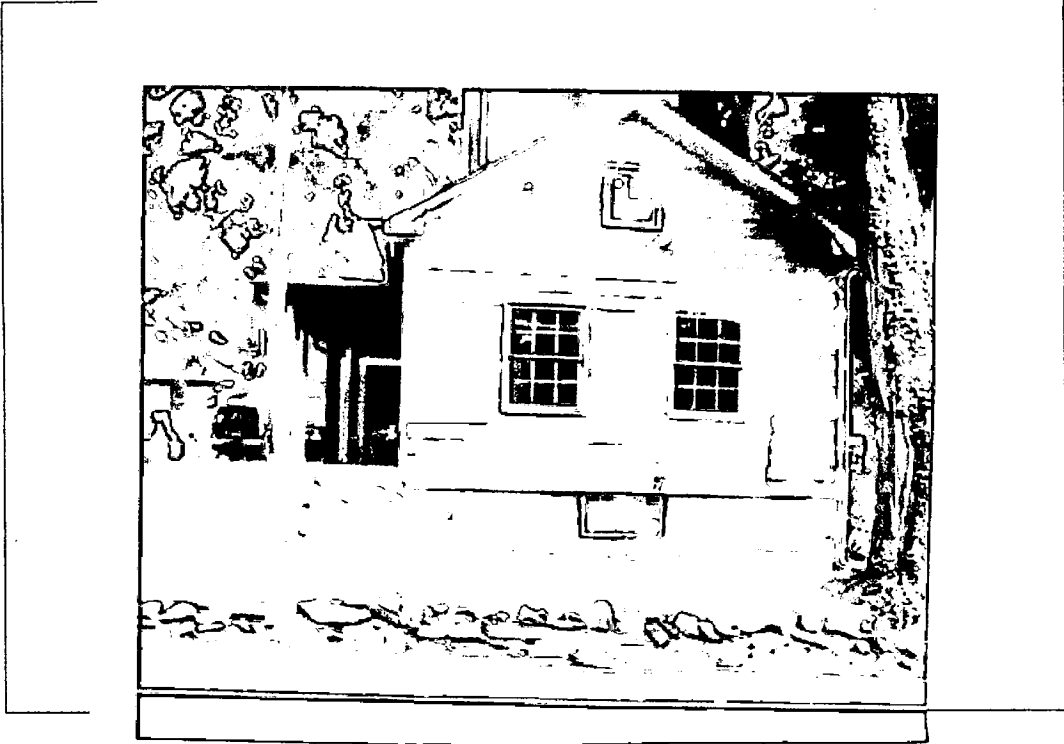
④ Materials Specifications,

Doors / wood & glass panels - 1/2 door of glass panels for D1, D2, D4

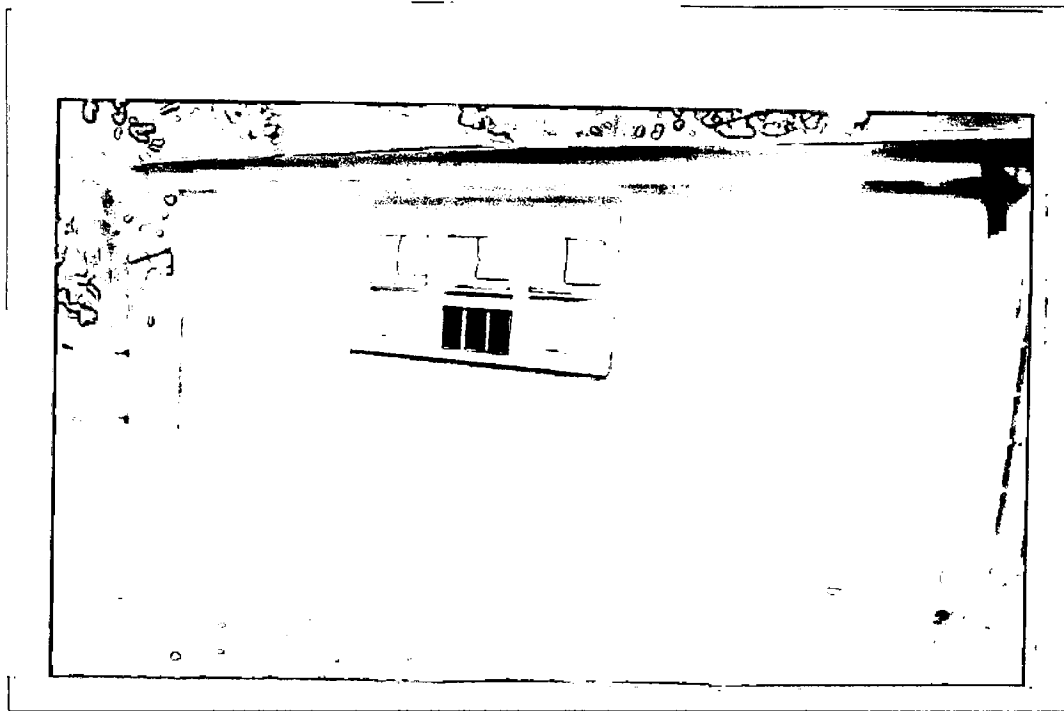
Door / wood & glass panel - full door of glass panels for D3.

5 (cont)

Existing Property Condition Photographs (duplicate as needed)



Detail: North side of house



Detail: Great Room

Applicant: Wheeler / Ylsekko

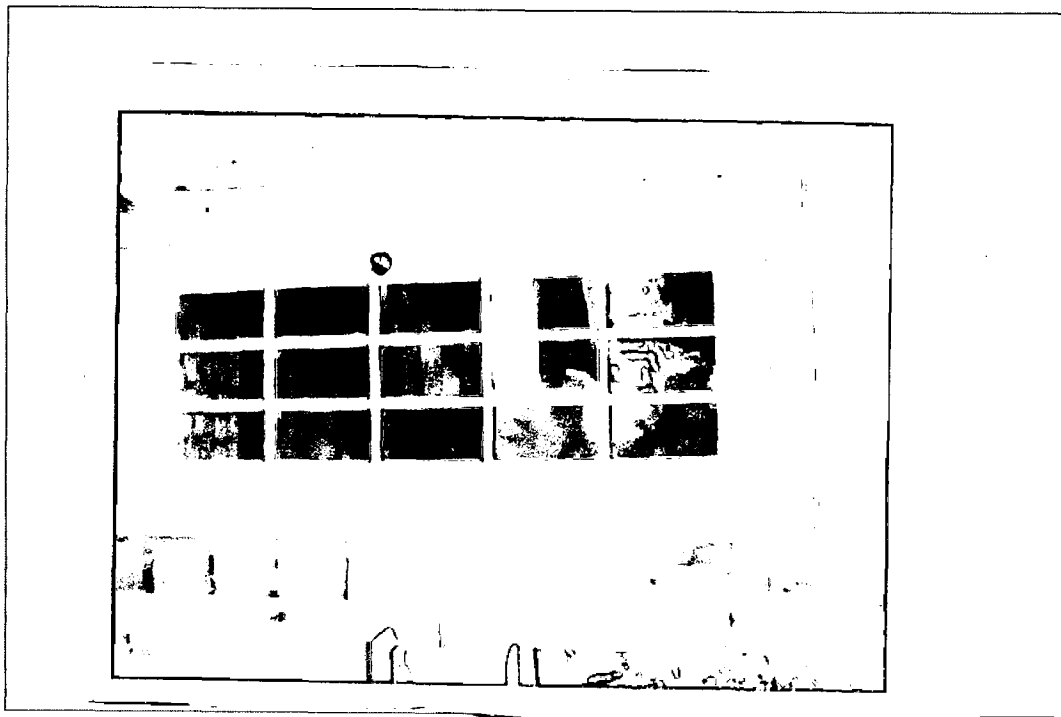
Page:

5

Existing Property Condition Photographs (duplicate as needed)



Detail: East Porch.



Detail: South door

Applicant: Wheeler / Ylisenko

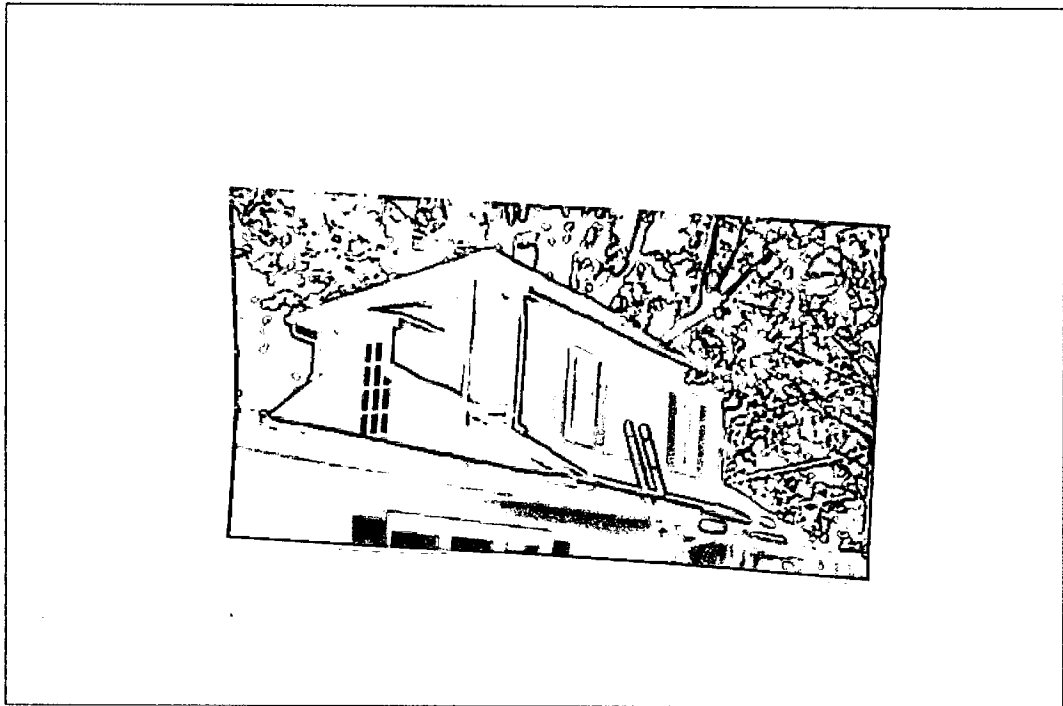
Page:

⑤ cont

Existing Property Condition Photographs (duplicate as needed)



Detail: West Porch



Detail: \_\_\_\_\_

Applicant: Wheeler Yesenko

Page: \_\_\_\_\_

6. **Tree Survey** n/a

7. **Addresses of Adjacent & Confronting Property Owners**

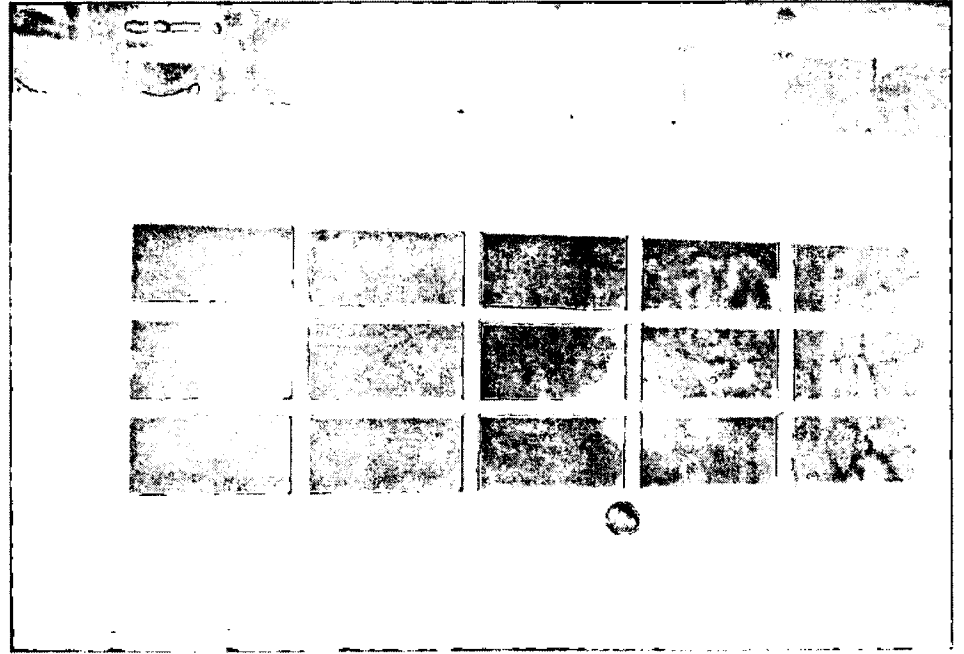
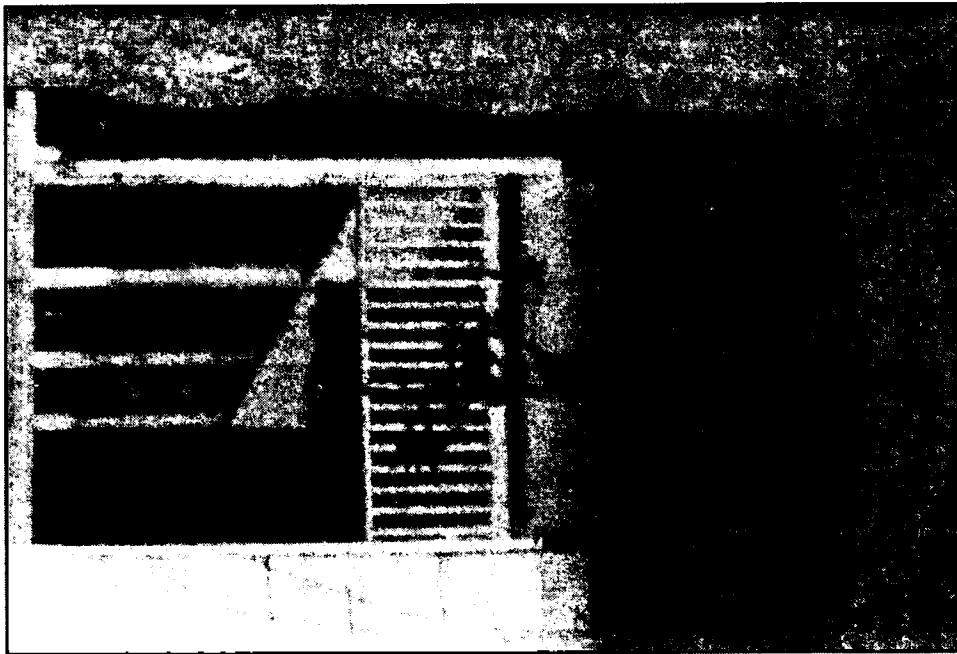
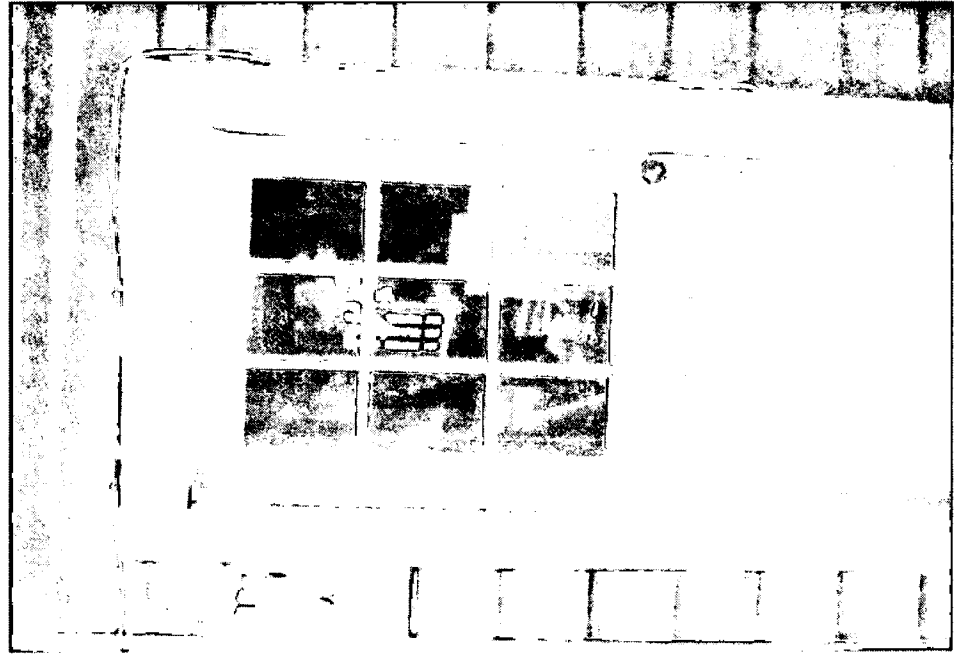
Heritage Family  
307 Market St.  
Brookeville, MD 20833

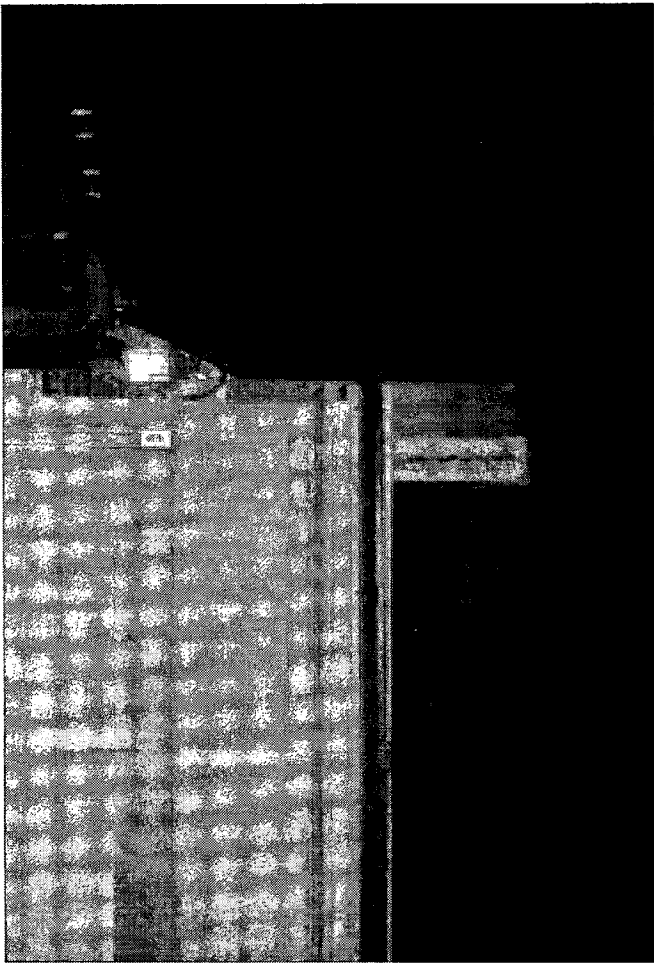
Unglesbee Family  
308 Market St.  
Brookeville, MD 20833

Andrea Barr  
2 High St.  
Brookeville, MD 20833

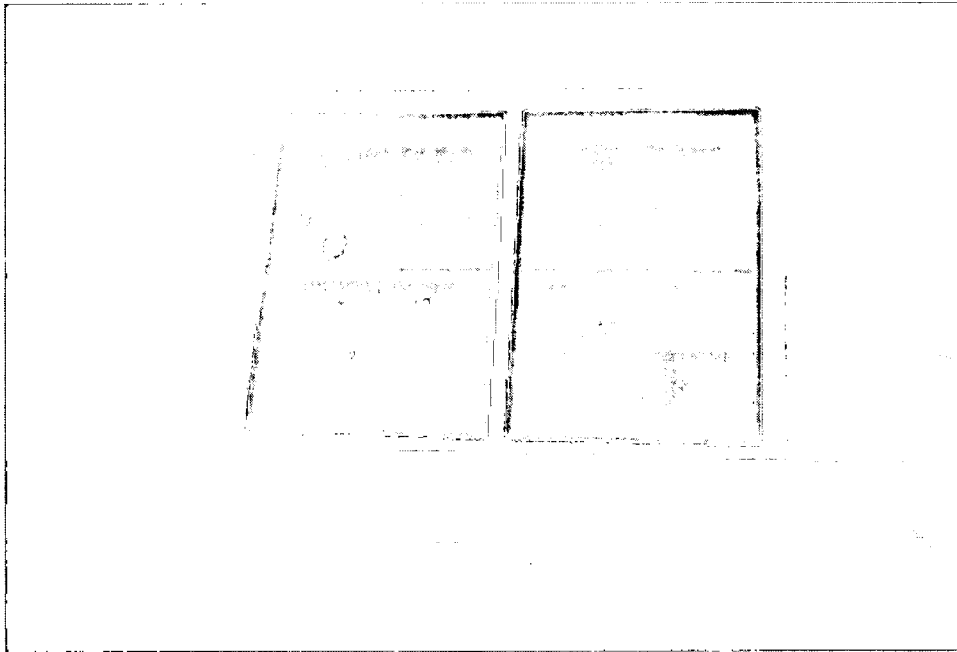
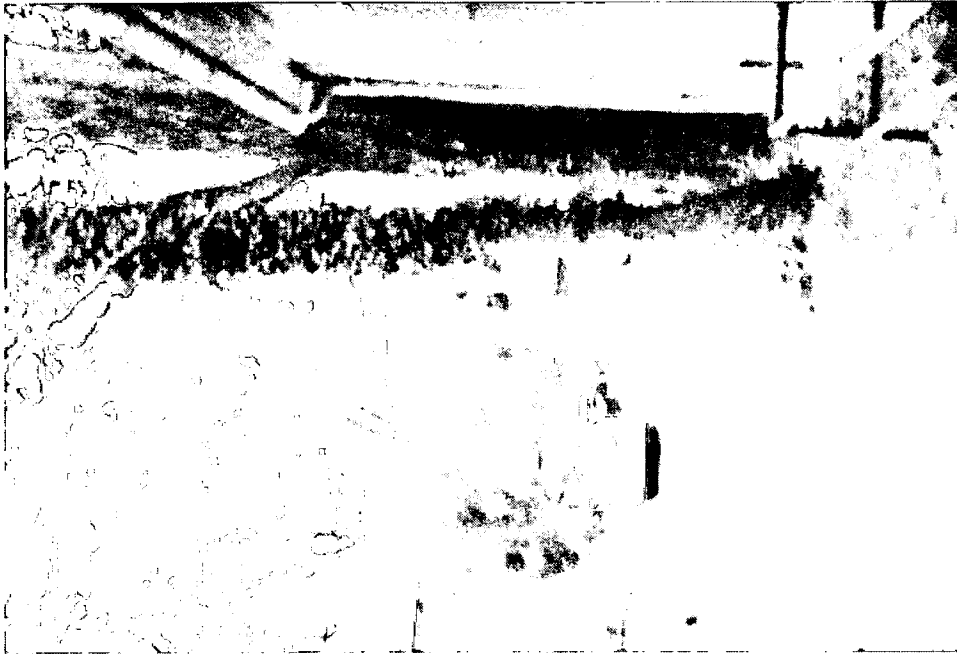
Ray Family  
6 High St.  
Brookeville, MD 20833

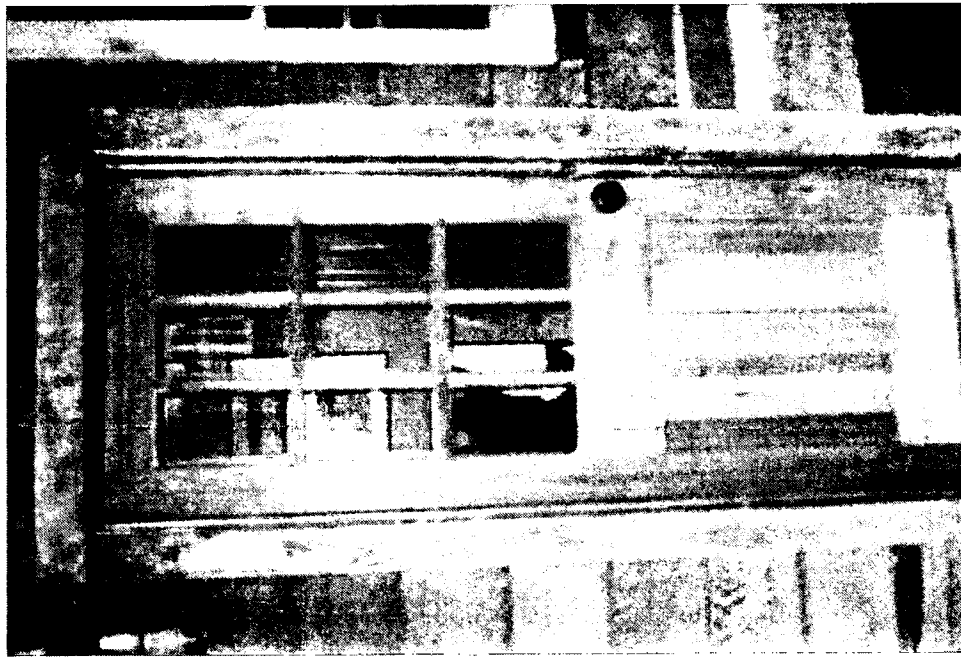
Salem United Methodist Church  
12 High St.  
Brookeville, MD 20833













## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: 01/24/08

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill *AF*  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #474423 - Front porch removal, door removal/window installation, shed installation, fencing installation, and shutter removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with two conditions** at the January 23, 2008 meeting. The conditions of approval are:

1. The final specifications for the window and siding installation will be reviewed and approved at the staff level.
2. The applicants will receive an approved permit from the Town of Brookeville.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chad Wheeler and Michael Yesenko  
Address: 306 Market Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-8370

HISTORIC PRESERVATION COMMISSION  
301/563-3400

DPS - #8  
**RECEIVED**

DEC 11 2007

DIV. OF CASE WORK MGMT

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Michael Yesenko

Daytime Phone No.: 240.276.2915

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Chad Wheeler / Michael Yesenko Daytime Phone No.: 240.276.2915

Address: 306 Market St, Brookerville, MD 20833  
Street Number City Street Zip Code

Contractor: Todd Greenstone Phone No.: 301.774.6289

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: 306 Street: Market St.

Town/City: Brookerville Nearest Cross Street: Georgia Ave.

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
  - Extend
  - Alter/Renovate
  - Move
  - Install
  - Wreck/Reuse
  - Revision
  - Repair
  - Revocable
- CHECK ALL APPLICABLE:
- AC
  - Slab
  - Room Addition
  - Porch
  - Deck
  - Shed
  - Solar
  - Fireplace
  - Woodburning Stove
  - Single Family
  - Fence/Wall (complete Section 4)
  - Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 4000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet \_\_\_\_\_ inches.

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
  - Entirely on land of owner
  - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent  
11/29/07 Date

Approved: [Signature] with 2 conditions For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 1-29-08

Application/Permit No.: 474423 Date Filed: 12/20/07 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:
- 1) porch - not original (cinder block / pressed wood) is *see attached*  
unstable + in disrepair. - NO historical meaning as  
the material was not used in 1857 (house  
built). Replace with stone steps from front door with iron  
railing.
  - 2) fence - broken fence on front portion of property + replace  
with picket fence around property except front of  
property.
  - 3) remove shutters - not original.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- 1) Porch is unsafe + the effect will be in keeping with  
the clean lines of the house + the district when the project  
is done. Stone steps + iron rail will replace pressed wood  
cinder block.
- 2) picket fence (3 ft. in height) will be placed around  
property border to keep 2 dogs in yard.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3) Shutters - not original - 2180 see same  
shutters on neighbors  
shed (30 yrs old)

4) shed - see  
attached

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

NIA

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

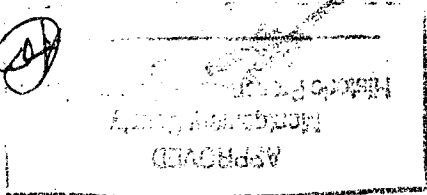
**✓ ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

9

2-8-08

AP



BROOKVILLE

PARCELS I AND II LIBER

547 W - 57 S MARKET ST

2 STORY FRAME BACK

AWAY

GRABER AC

P533

24.6'

25.4'

19.5'

34.2'

18.5'

28.2'

AT&T

H

PARCEL

540'

34.2'

376.0' (comp)

SHADE PATIO

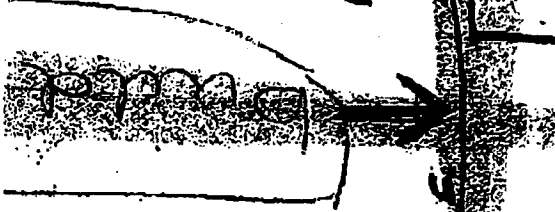
SHADE PATIO

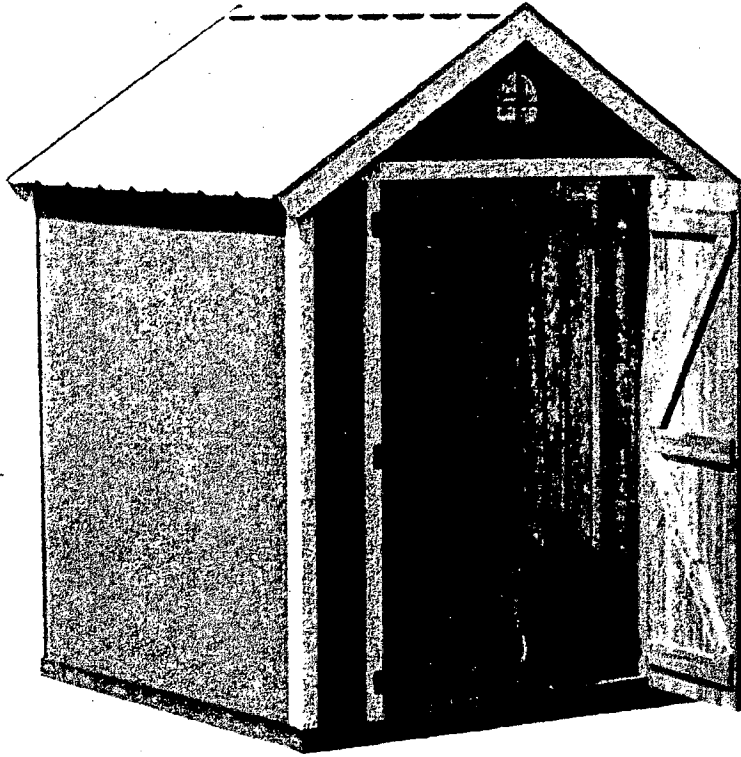
Proposed shed site for 306 market street

P549

TRAMP PATIO

PARCEL II 6970\$





proposed shed

APPROVED  
Blaine County  
Historic Preservation Commission

AP  
2-8-08

**Fothergill, Anne**

---

**Subject:** FW: Brookeville, 306 Market st.

**From:** Chad and Michael [mailto:dudleyone@gmail.com]

**Sent:** Tuesday, January 15, 2008 9:43 AM

**To:** Fothergill, Anne

**Subject:** Re: Brookeville, 306 Market st.

Anne,

The dimensions are:

Exterior Width - 6 feet

Exterior Length - 6 feet

Exterior Peak height - 8 feet

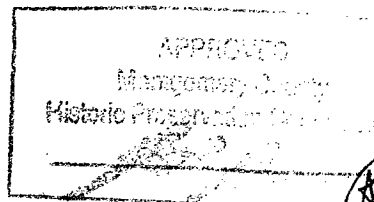
Premium trim for a beautiful finish

48" wide double doors are constructed from tongue and groove cedar and feature strap hinges and keyed locking hasp. *siding is vertical wood boards - painted to match house*

I am going to forward you via fax where the shed site is proposed (description will state: *proposed shed for 306 Market Street*).

Thank you.

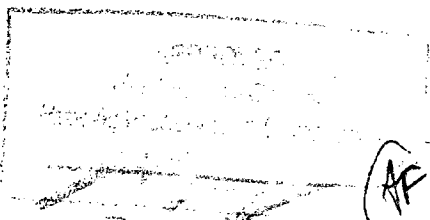
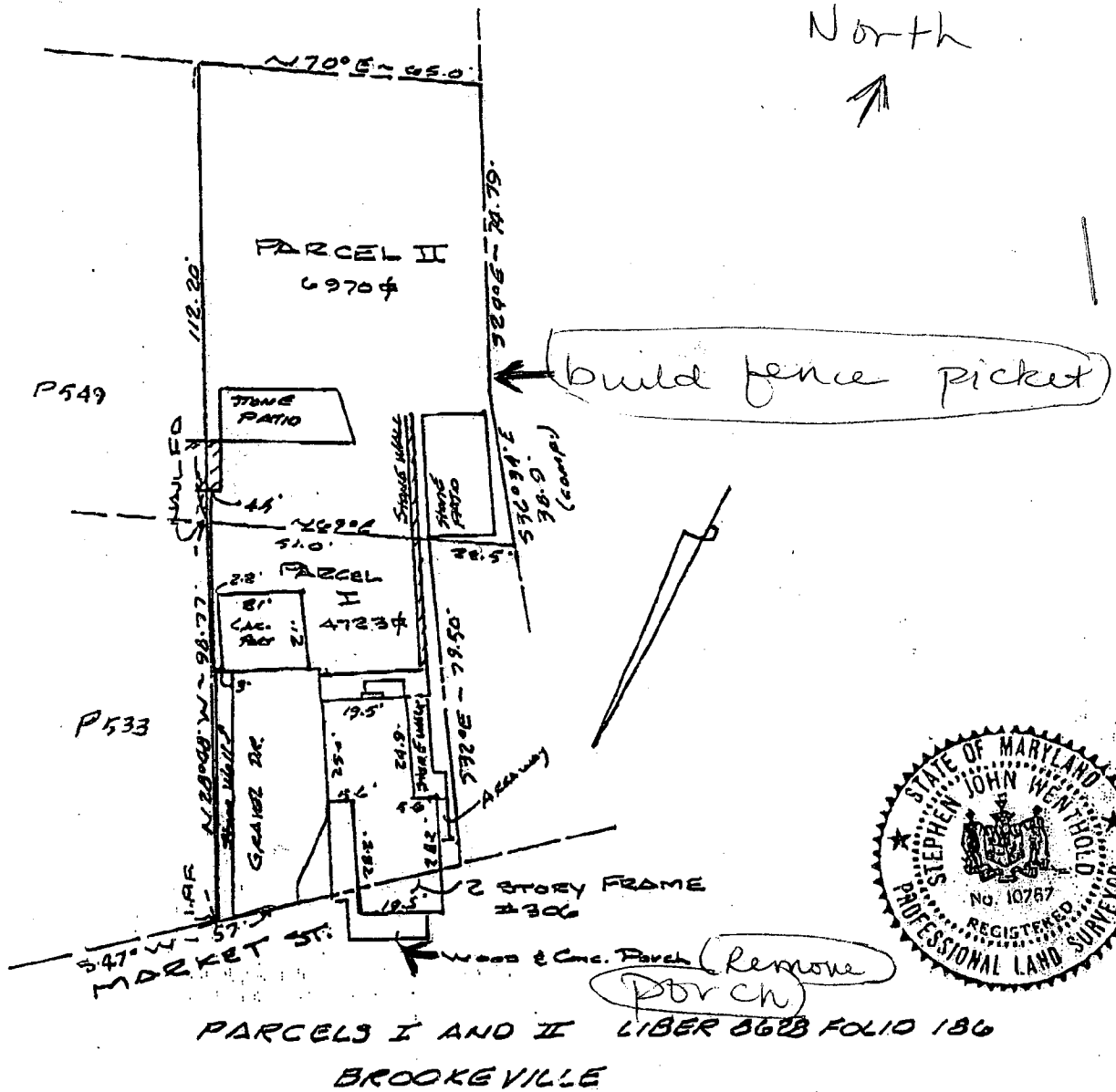
Michael



*2-8-08*

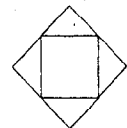


Site Plan



AF

2-808



Shade portion to indicate North

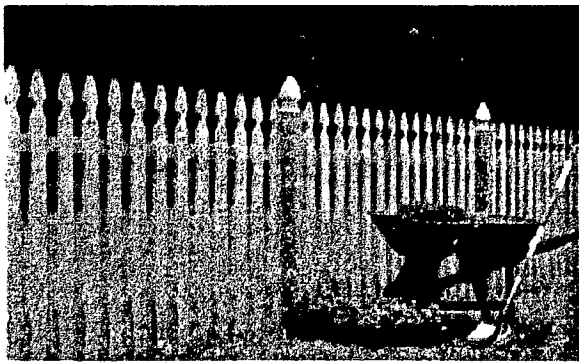
7

#2

GET INSPIRED

SHOW: ▶ All Materials ▶ Wood ▶ Composite ▶ Vinyl

## STYLE DETAILS



STYLE

BRAND

MATERIAL

COLOR

Availability varies by market. Visit your local store for additional details. All products are available by special order.

▶ back to idea gallery



APPROVED  
Montgomery County  
Historic Preservation Commission

APB  
2-8-08

8

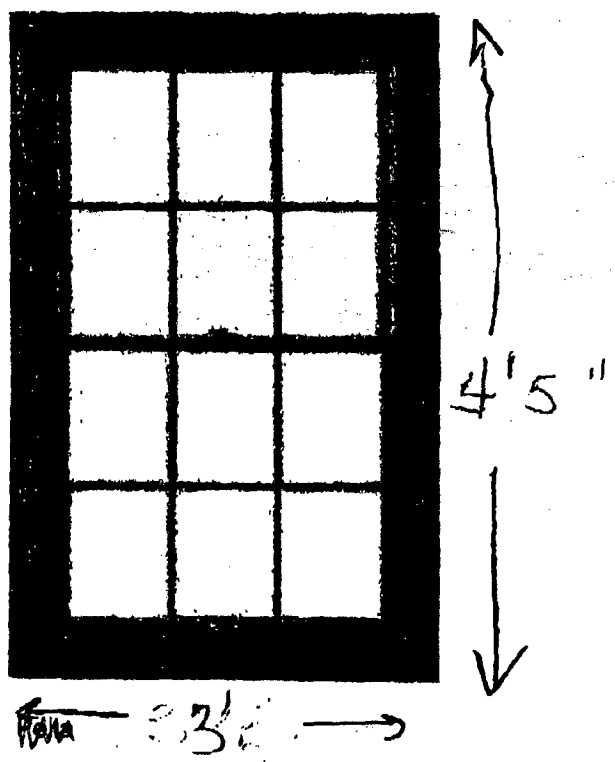
16. Anne Fothergill  
Fax: 301. 563. 3412.

Date: 2/7/98  
Re: 304 Market  
Brookville, MD

**Construction Type**

**Remove the porch, front door and existing window.**

This will be a restoration project (see original photo of original house) The door and existing window will be replaced with wood, true divided light windows to match the other original windows in the house. The wood will be painted white to match the trim on the rest of the house. The front facade is in very close proximity to the street, again as evidenced by the historic photo. Therefore it makes sense to remove this street entry.



Marvin - Authentic  
Divided Lites

We'll replace current window  
on front, and door on front with the  
above window -

Chris Wheeler &  
Michael Yesenko

APPROVED  
Montgomery County  
Historic Preservation Office

2-8-98

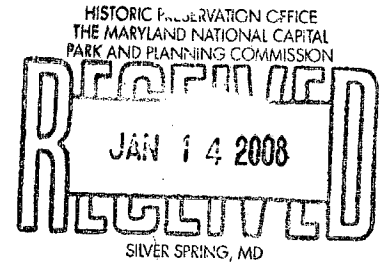


①#① Porch - Replace with stone steps /  
iron railing (above),

not proposed

Friday, January 11, 2008

Montgomery County Historic Preservation Commission  
1109 Spring St., Ste 801  
Silver Spring, Maryland 20910



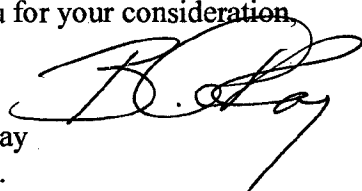
Attn: Scott Whipple; Anne Fothergill; Joshua Silver

Re: HPC Case No. 23/65-08A at 306 Market St., Brookeville, MD

Today I received a copy of the HAWP application by 306 Market St. in Brookeville. I am writing to share some strong objections to the planned changes. I raised these same objections last summer in conversations with both Chad and Michael who reside at 306 Market. The following are my points of objection:

- I see no reference to an application for a permit from our town Planning Committee, which is required for building changes such as these.
- The fence that is to be built will be built on a property line that includes an encroachment (a stone patio was built onto adjacent property at 6 High St. before I took residence at 6 High). This was discussed with Chad and Michael, but is not mentioned in the application.
- The fence will interrupt safe access via backyards to High St., to the school bus stop, and to the rest of town for residents on the western end of Market St. The town had asked the State about building sidewalks along that end of Market, but there is no room. Thus, no-fencing has been the accepted solution. This also was explained to both Chad and Michael in conversations last summer.
- Rebuilding rotting structures is an excellent idea, but the replacements are not in keeping with the original building it seems to me. This *is* an historic town.
- I understand that a shed is also planned, but see no mention of it on the plan.

Thank you for your consideration,

  
Barbara Ray  
6 High St.  
Brookeville, MD 20833

Email: Bray330@earthlink.net



You can do it. We can help.™

# FENCING IDEA GALLERY

GET INSPIRED

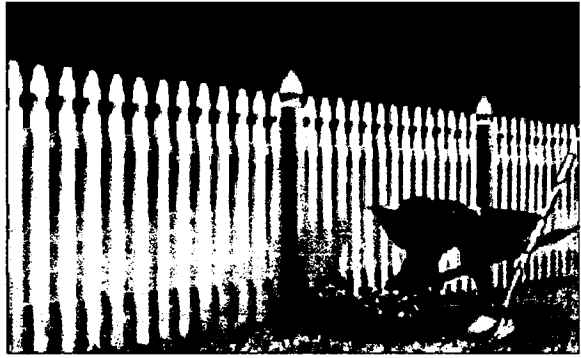
GET EDUCATED

GET STARTED!

SHOW: ▶ All Materials ▶ Wood ▶ Composite ▶ Vinyl



## STYLE DETAILS

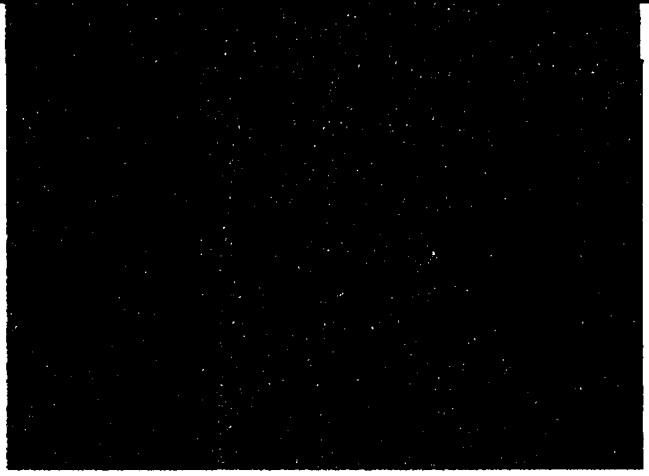


STYLE:

BRAND:

MATERIAL:

COLOR:

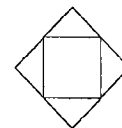
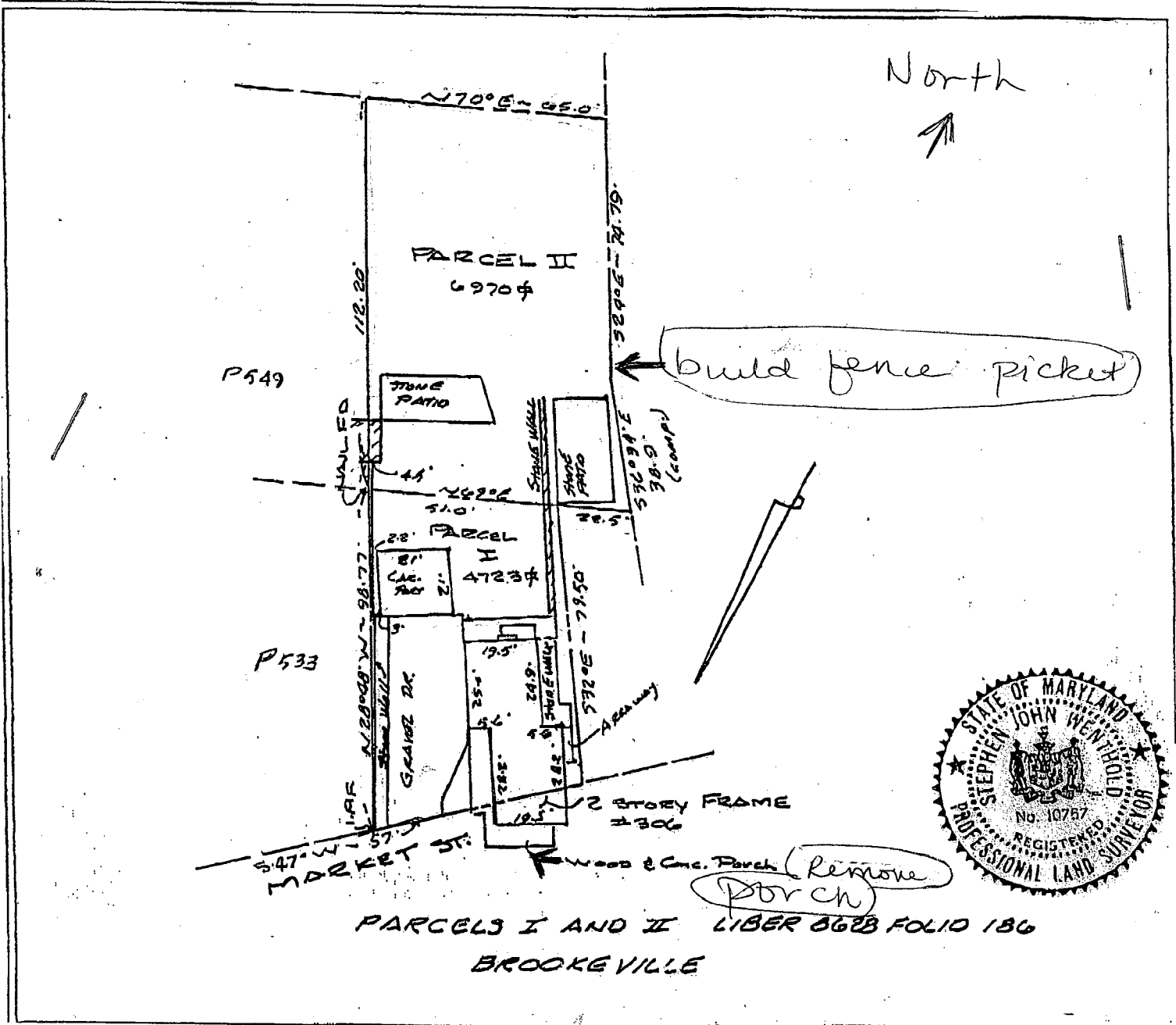


Availability varies by market. Visit your local store for additional details. All products are available by special order.

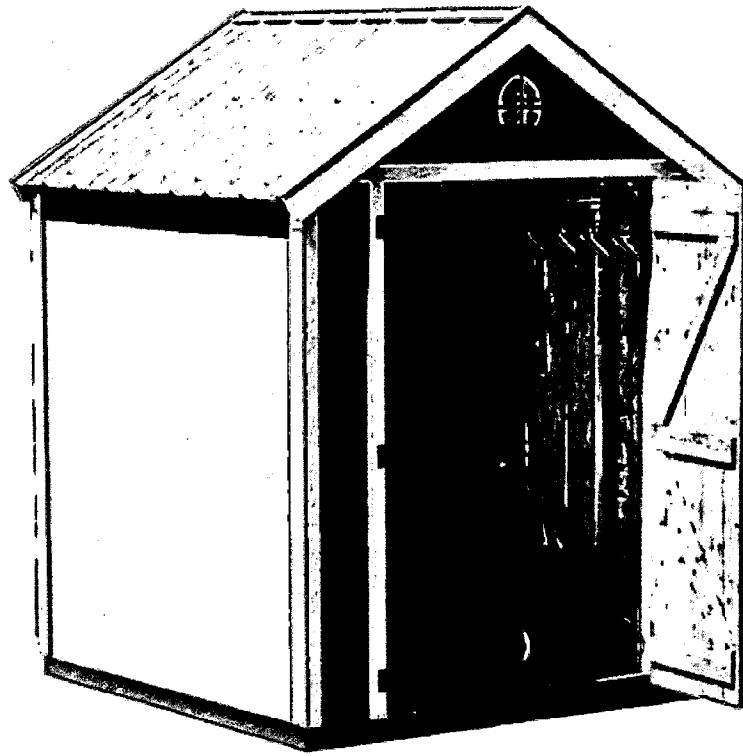
▶ [back to idea gallery](#)



#2



Shade portion to indicate North





**Fothergill, Anne**

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**Subject:** FW: Brookeville, 306 Market st.

**From:** Chad and Michael [mailto:dudleyone@gmail.com]

**Sent:** Monday, January 14, 2008 1:27 PM

**To:** Fothergill, Anne

**Subject:** Re: Brookeville, 306 Market st.

Anne,

In answer to your questions:

1) Has this proposal gone to the Town for review yet?

*If the work being performed requires a HAWP, a copy of the completed HAWP application is required when submitting the Town of Brookeville permit. Therefore, we first sent our application to Montgomery County Historic Preservation Commission first.*

2) Is the proposed fence to be located over your property line?

*The fence will be installed on our property.*

3) Do residents use your backyard to access the school bus stop? And was there an agreement between Market Street residents and the Town to not build fences to allow access to the bus stop?

*We have not seen residents use our backyard to access any bus stop. If so, the church parking lot is a few feet south of our backyard unless the residents crossing our backyard are only able to cross our property. No agreement between Market Street residents & the town was given to us on purchase of our property.*

4) *Are you proposing a shed?* If so, you could include that in this application so you don't have to come back to the HPC.

~~No, there was no proposal for a shed in our application.~~ *shed application provided.*

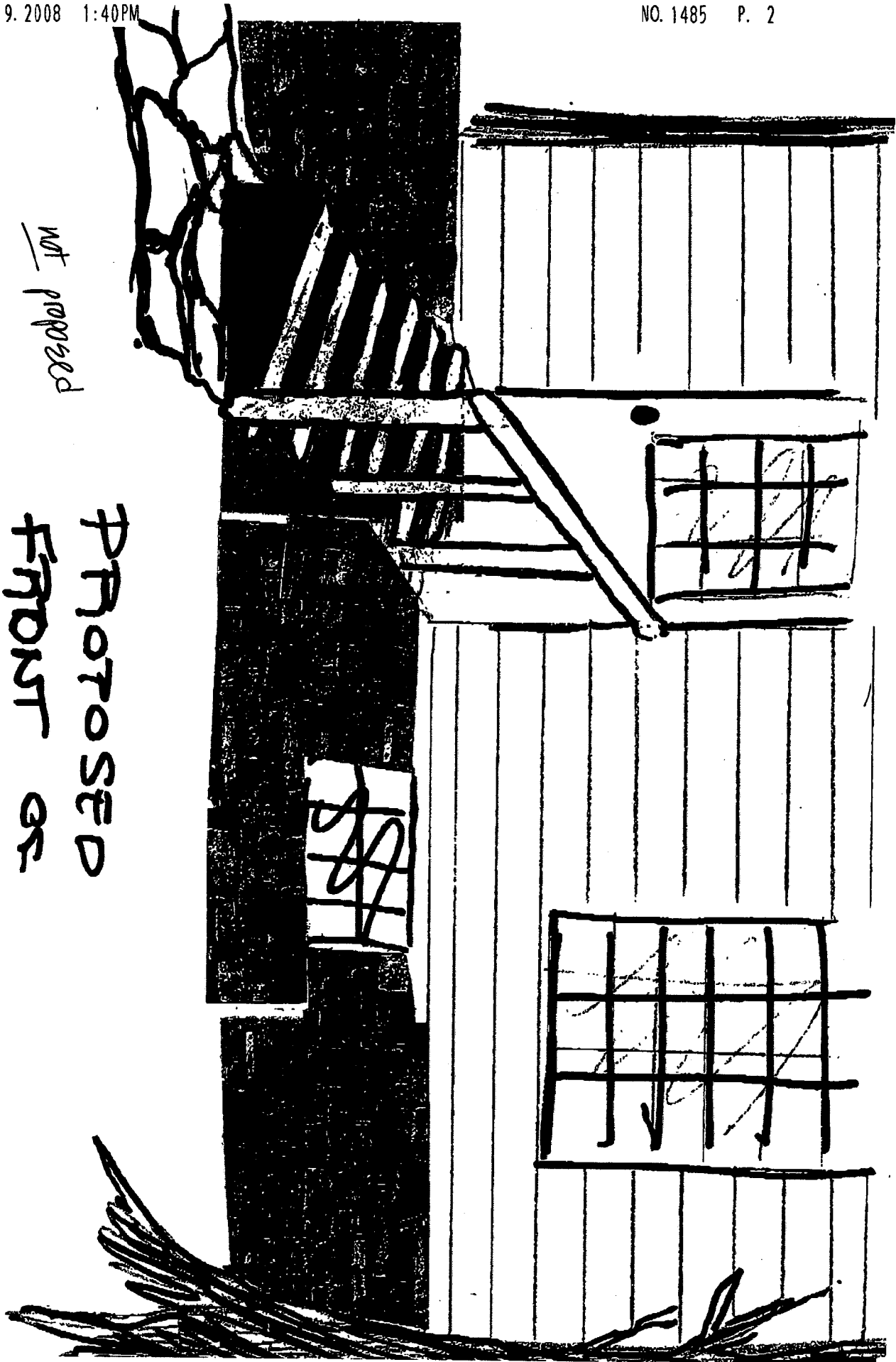
Thank you.

Michael

27

not proposed

PROPOSED  
FRONT OR  
306 MARKET

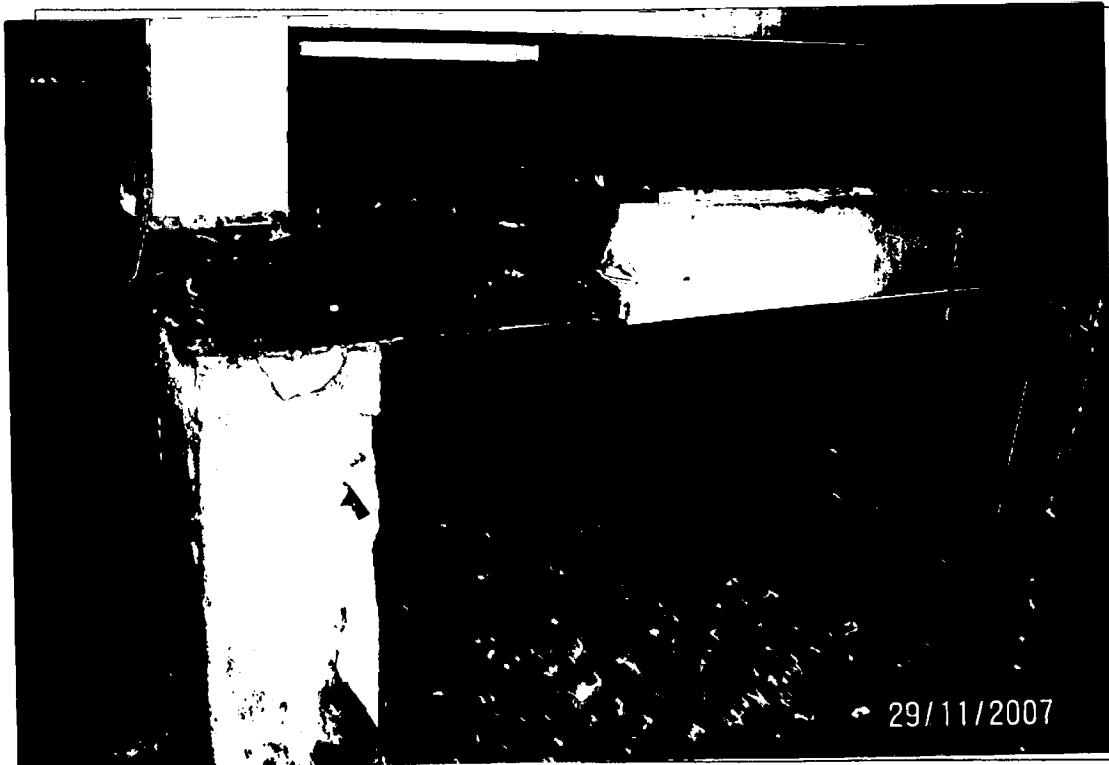


Existing Property Condition Photographs (duplicate as needed)

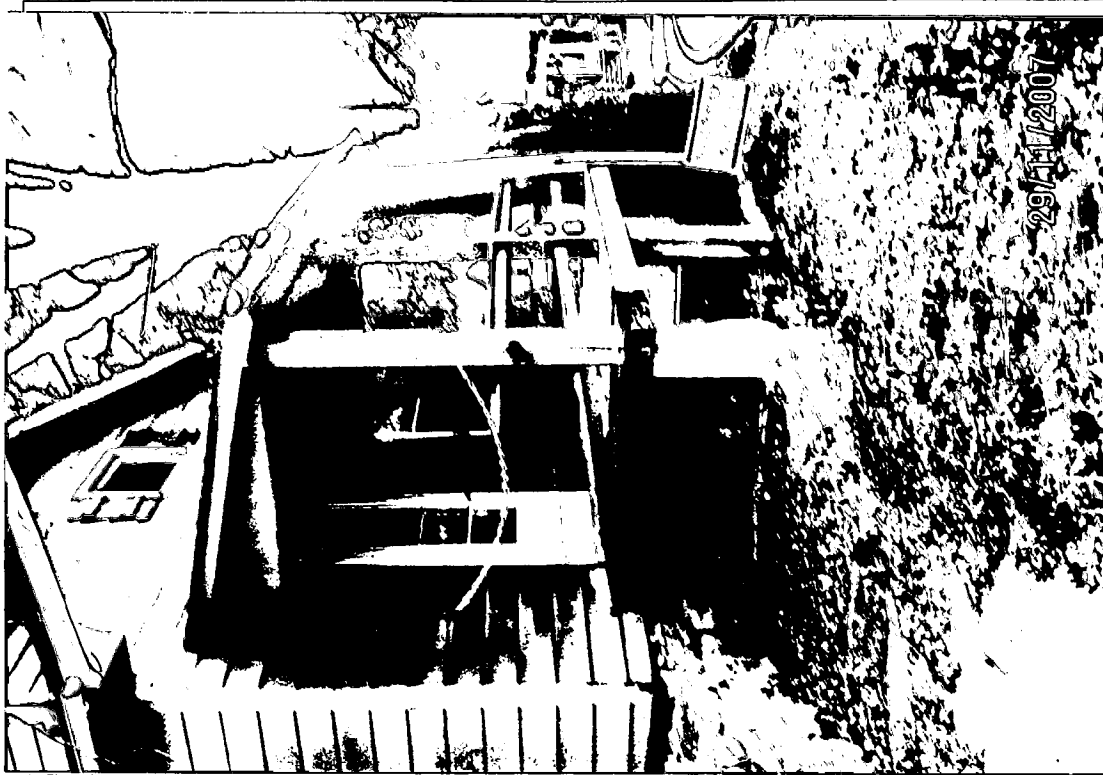
# 1



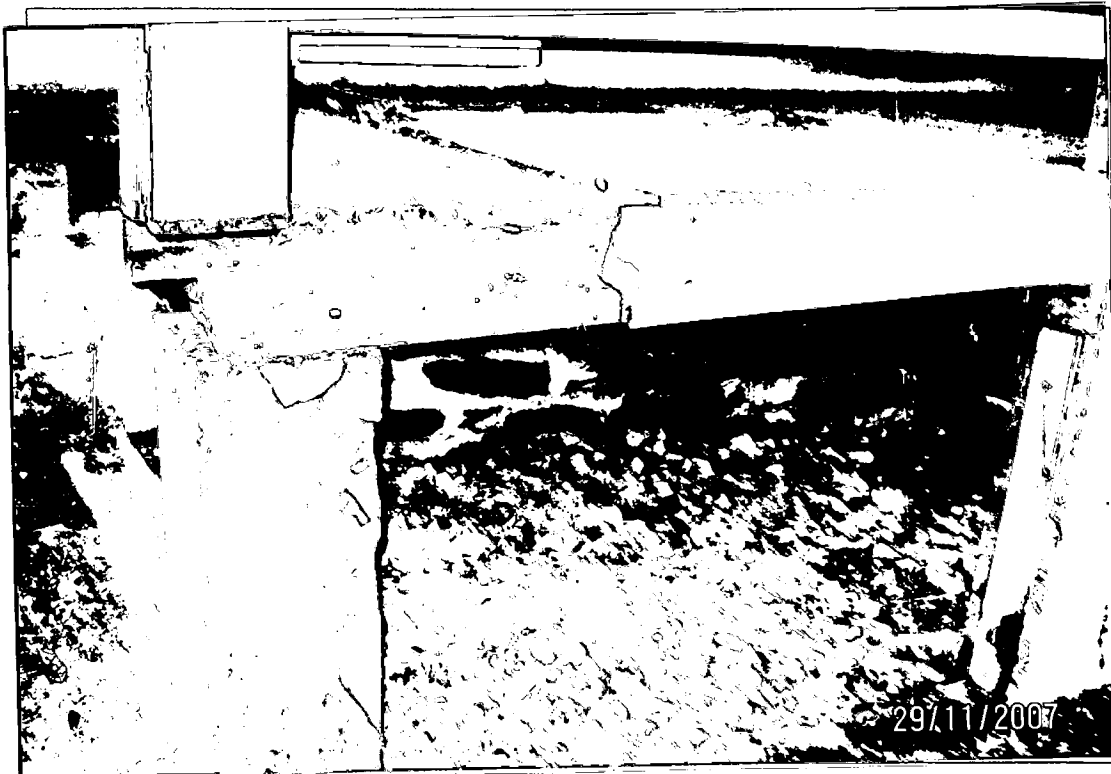
Detail: porch (demolish)



Detail: porch (demolish)



Detail: porch (remove)

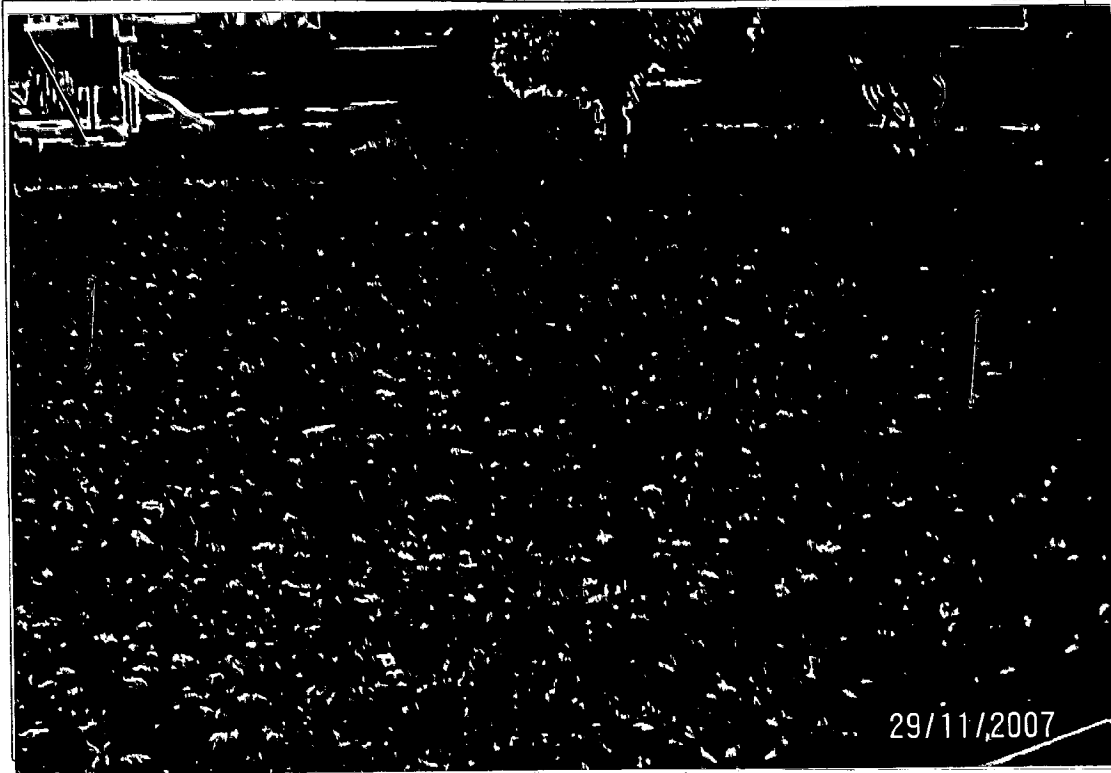


Detail: porch (remove)

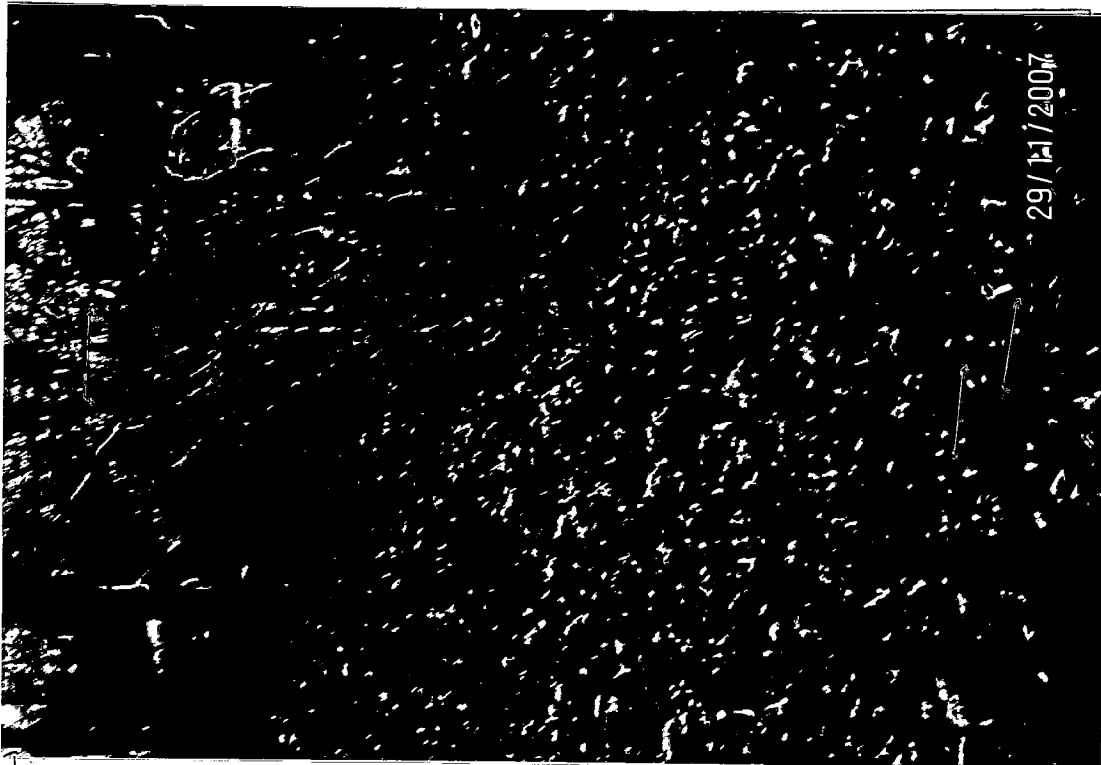
Wheeler

Applicant: Yesenko

2



Detail: fence (bush)



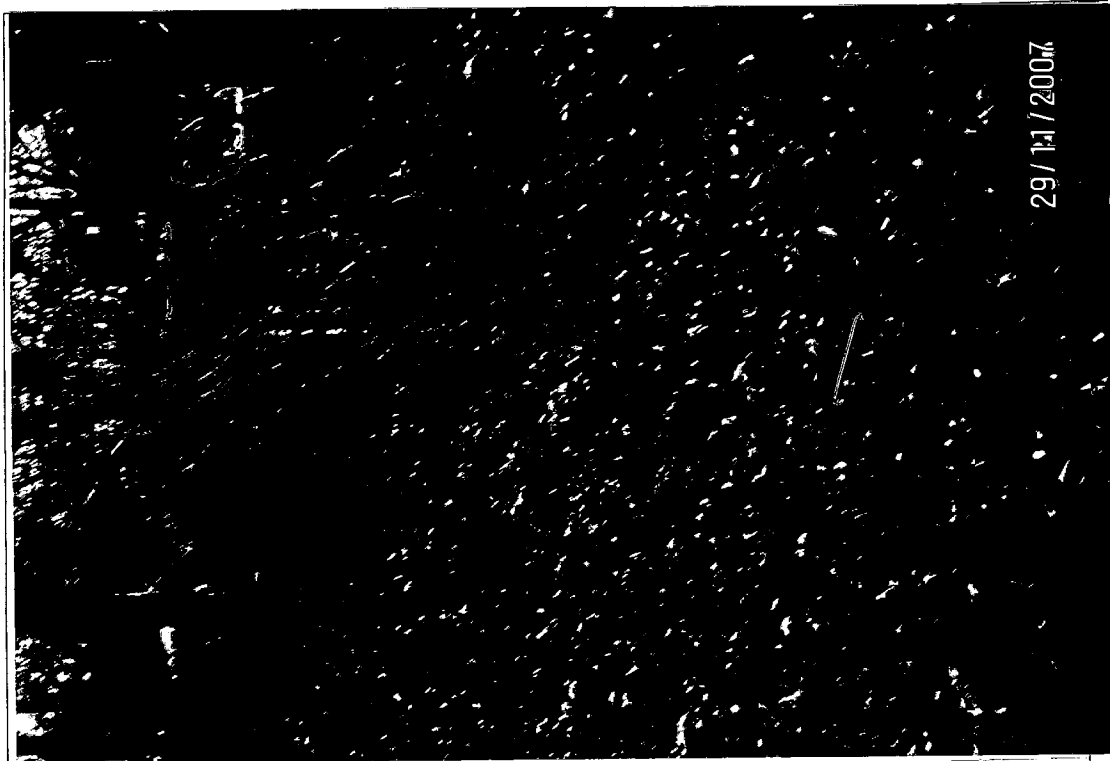
Detail: fence (bush)

Existing Property Condition Photographs (duplicate as needed)

# 2



Detail: fence (build)



Detail: fence (build)

## Fothergill, Anne

---

**From:** Fothergill, Anne  
**Sent:** Thursday, July 16, 2009 9:03 AM  
**To:** 'mark.moran@montgomerycountymd.gov'  
**Cc:** Whipple, Scott  
**Subject:** Brookeville violations

Mark,

We have two Brookeville violations we would like investigated:

- 1) 306 Market—window replacement without a Historic Area Work Permit. In January 2008 the owners got approval to remove the front door and install one window in that location, but the other replacement windows were not approved by the Historic Preservation Commission. Also, the type of window that was approved is not what they installed. (contact me for more information)
- 2) 309 Market—This house was badly damaged by a fire and the owner has been doing work on the house without a Historic Area Work Permit. Donald Holloway issued a notice of violation and stop work order on May 12, 2009. A second complaint was submitted on June 25, 2009 stating that work was ongoing. It is not clear that there was any follow-up to that complaint and the owner continues to do work without a HAWP. (contact Scott Whipple for more information)

I am happy to talk to you today and tomorrow more about these violations but I am out of the office all next week so if you have questions next week, please call or email Scott Whipple (copied here). And if you reply to this email, please reply to all. Thanks a lot for looking into these two violations.

thanks,  
Anne

Anne Fothergill  
Planner Coordinator  
Historic Preservation Section  
Urban Design and Preservation Division  
Montgomery County Planning Department  
The Maryland-National Capital Park and Planning Commission  
1109 Spring Street, Suite 801  
Silver Spring, MD 20910  
301-563-3400 phone  
301-563-3412 fax  
<http://www.montgomeryplanning.org/historic>

## Fothergill, Anne

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**From:** Chad and Michael [dudleyone@gmail.com]  
**Sent:** Thursday, July 16, 2009 9:23 AM  
**To:** Fothergill, Anne  
**Subject:** Re: 306 Market st.  
**Attachments:** After

Anne,

We just re-read the HPC approval and you are correct. We originally explained to our contractor the type of window that was needed. We thought we could install the windows if we were replacing the windows with like design. Regarding the approval of the 6-over-6 window, the window was ordered and installed by our contractor. We explained to him the exact window that was needed but he was not completely clear on the specifications and was not sure that type of window could be custom made. We have spent thousands of dollars to restore this home to its historic beauty and we had to watch costs. We have recently put up the wooden brackets on either side of the new windows which looks incredible and exactly like the true divided lights as you can see from the attached pictures. We did this in order to remedy the situation as we have all new windows already ordered.

The majority of the windows being replaced were/are metal and plastic and not the true divided light, the front two had to be custom made as the "door into a window" process proved challenging! The windows that were the true divided light windows were broken (unable to open or close and we have no central air, or with large holes or openings around the wood frame), and have been replaced to have the exact same appearance as the true divided light. We have heard approval from our town on what a wonderful historic restorations we have done including board members of Brookeville. During our initial approval meeting it was discussed that our intention was to replace all the windows but upon further review of the HPC approval we can see that it was not actually documented. You helped us so much through the first application process. We may need your help in processing a retroactive application so that everyone can enjoy the final product of a lot of hard work and money to bring this historic home back to life! Thank you.

Regards,  
Chad & Michael

On Wed, Jul 15, 2009 at 12:37 PM, Fothergill, Anne <[Anne.Fothergill@mncppc-mc.org](mailto:Anne.Fothergill@mncppc-mc.org)> wrote:

The HPC approval was for a new window to be installed where the door to the front porch was, but not for all the other new windows that have been installed. Also, the approval for the one window was for a 6-over-6 window with true divided lights (individual panes of glass).

---

**From:** Chad and Michael [mailto:[dudleyone@gmail.com](mailto:dudleyone@gmail.com)]  
**Sent:** Tuesday, July 14, 2009 3:02 PM.  
**To:** Fothergill, Anne

**Subject:** Re: 306 Market st.

Anne,

Thanks for the email. No, the workscope has not changed.

Michael



## Fothergill, Anne

---

**From:** Fothergill, Anne  
**Sent:** Thursday, February 07, 2008 9:46 AM  
**To:** 'Chad and Michael'  
**Subject:** RE: FW: Brookeville, 306 Market st.

All looks good except Pella does not make a true divided light window I don't believe (or at least I couldn't find it on their web site). The following companies do make them and I noted the key word to look for in terms of the muntin bars/grilles. Please let me know if you find one that works and then we can move forward.  
thanks, Anne

<http://www.kolbe-kolbe.com/homeowner/index.cfm?page=products&sub=windowsInfo&id=3&detail=11> **cutlites**

[http://www.marvin.com/?page=Ultimate\\_Insert\\_Double\\_Hung\\_grilles](http://www.marvin.com/?page=Ultimate_Insert_Double_Hung_grilles) **authentic divided lites**

<http://www.weathershield.com/windows.jsp?tier1=1&tier2=3&subNav=10> **True divided lites**

[http://www.lincolnwindows.com/DoubleHung\\_Product.htm](http://www.lincolnwindows.com/DoubleHung_Product.htm) **Lincoln Divided Lites**

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**From:** Chad and Michael [mailto:dudleyone@gmail.com]  
**Sent:** Thursday, February 07, 2008 8:44 AM  
**To:** Fothergill, Anne  
**Subject:** Re: FW: Brookeville, 306 Market st.

Anne,  
I've faxed you a description with measurements of the proposed Pella window. Please let me know if that is the appropriate document--this is new to me and, of course, we're dealing with a neighbor that seems to think she speaks for Brookeville, the County & perhaps the Country.  
Thanks.  
Michael

On 2/6/08, **Chad and Michael** <dudleyone@gmail.com> wrote:

Anne,  
Okay. Sorry. I thought I had forwarded the information to you with a photo. Will do tomorrow as the description/photo is at home.  
Thank you.  
Michael

On 2/6/08, **Fothergill, Anne** <Anne.Fothergill@mncppc-mc.org> wrote:

Brookeville has what it needs—I sent it this AM to Chris Scanlon.

I have not seen a Pella spec sheet and if you sent it I didn't get it. Since we amended the application at the last minute and all that was included was the written description you emailed me of the window (wood, true divided light).

thanks, Anne

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION  
STAFF REPORT

<b>Address:</b>	306 Market Street, Brookeville	<b>Meeting Date:</b>	01/23/08
<b>Applicant:</b>	Chad Wheeler and Michael Yesenko	<b>Report Date:</b>	01/16/08
<b>Resource:</b>	Contributing Resource Brookeville Historic District	<b>Public Notice:</b>	01/09/08
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	23/65-08A	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Front porch and shutter removal, window, shed, and fencing installation

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application with two conditions:

1. The final specifications for the window and siding installation will be reviewed and approved at the staff level.
2. The applicants will receive an approved permit from the Town of Brookeville.

PROPERTY DESCRIPTION

**SIGNIFICANCE:** Contributing Resource within the Brookeville Historic District  
**STYLE:** Outbuilding  
**DATE:** c. late 19<sup>th</sup> century

The earliest section of this house dates to the mid to late 19<sup>th</sup> century and was built after an earlier structure in this location burned down. This building was originally used as an ice house and stable and storage area for funeral coaches for the funeral parlor that was across the street. The second story was added in the 1930s and the rear addition was added in the 1950s. A historic photo is in Circle 13.

PROPOSAL

The applicants propose to remove non-original shutters from the house. They propose to install 3' tall wood picket fencing around the back and sides of the property. They propose to install a 6' x 6' 8' tall wood shed on the left side of their property about halfway back on their lot behind the car port. The shed has vertical wood siding, wood doors, and a metal roof. They propose to remove a non-original front porch and to replace the non-original front door with a wood true divided light window to match existing original windows. The final details for the window and siding installation will be submitted to staff for review and approval.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

**Montgomery County Code; Chapter 24A**

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

***Secretary of the Interior's Standards for Rehabilitation:***

# 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

# 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

# 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The applicants originally applied to remove the deteriorated front porch and to install wide front-loading stone steps with an iron railing (Circle 26). Staff found a historic photo showing the house when it was still one-story and did not have a front porch (see Circle 13). Based on this photo, the removal of the front porch is allowable but staff did not support the stone and iron design that was proposed and staff and the applicants discussed the possibility of installing simple wood steps leading from the porch to the side path (Circle 27). After more discussion, staff and the applicants agreed that installing a window where there is currently a door and returning the front façade to its original window configuration would be an improvement, especially since it is so close to Market Street/Georgia Avenue. The applicants requested to amend their application to reflect this change, and staff and the applicants will continue to work on the appropriate window and siding (below the window) installation for this resource.

The removal of the non-original shutters is appropriate. There are a number of low wooden picket fences in Brookeville and staff supports that installation. The shed is small and will be set back on the lot, and the Commission has approved wooden sheds similar to this one. Staff supports all of these proposed changes and installations.

A neighbor submitted a letter with a few questions and concerns and the applicants have provided a response (see Circles 24+25). The Town of Brookeville's Planning Commission is aware of these concerns and will review this as part of their permit review process.

Staff recommends approval with two conditions.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application **with the conditions listed on page one** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

**Proposed Front  
306 Market Street  
Brookeville, MD 20833**

We propose to remove the porch and the front door. After discussion with the HPC, the historically accurate next step will be to replace the front door with a new window. The new window will be a wood, true divided light window to match the other original windows in the house. Therefore, this street entry will be removed as it is dangerously close to Georgia Avenue and the historic photo also shows that the house originally had a window there.



① porch - replace with stone steps/  
non railing (Ibene)

#3

Existing Property Condition Photographs (duplicate as needed)



Detail: Shutters - Remove - not original



Detail: Shutters (Remove) not original