

9 North Street, Brookeville
HPL Case No. 23165-09D
Brookeville H.D.

 Pendaflex
 Esselle

4350 1/3 RED

10%



P4

- ask owner the size → diameter
22 August - left message - asked for call back

front of house
circumference of frog

25 August
Spade with Walnut 12"
Wild Cherry 10"

you built it
- worked w/ Bryan

25 August
- work for fund photos sent on email



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 11 September, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Rachel Kennedy, Senior Planner *rk*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493404, Removal of two trees.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved at the September 10, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Fred Teal
Address: 9 North Street, Brookeville. Brookeville Historic District.

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Fred Teal
Daytime Phone No.: 301-928-2778

Tax Account No.: 02941741
Name of Property Owner: Fred Teal Jr / Telesa Meeks Daytime Phone No.: 301-928-2778
Address: 9 North St. Brookeville MD 20833
Street Number City State Zip Code
Contractor: N/A Phone No.: N/A
Contractor Registration No.: N/A
Agent for Owner: N/A Daytime Phone No.: N/A

LOCATION OF BUILDING/PREMISE

House Number: 9 Street: North
Town/City: Brookeville Nearest Cross Street: Market
Lot: 4 Block: A Subdivision: Brookeville Manor
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: remove two trees shading vegetable garden
1B. Construction cost estimate: \$ 700⁰⁰
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Fred J. Teal Jr. August 7, 2008
Signature of owner or authorized agent Date

Approved: RK For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 413-104 Date Filed: _____ Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

Mail Log 246059



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

we'd like to remove one black walnut and one wild cherry tree which are shading our vegetable garden

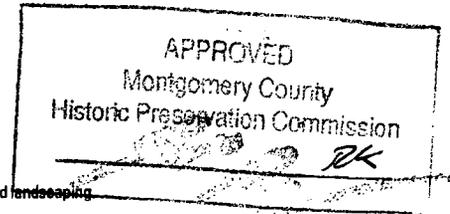
b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The main effect would be more sun on our garden and a higher yield of vegetables

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping



3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

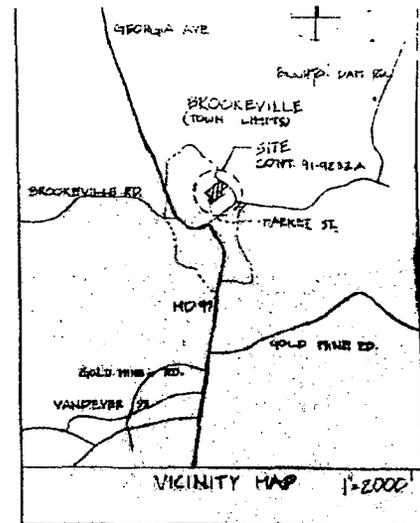
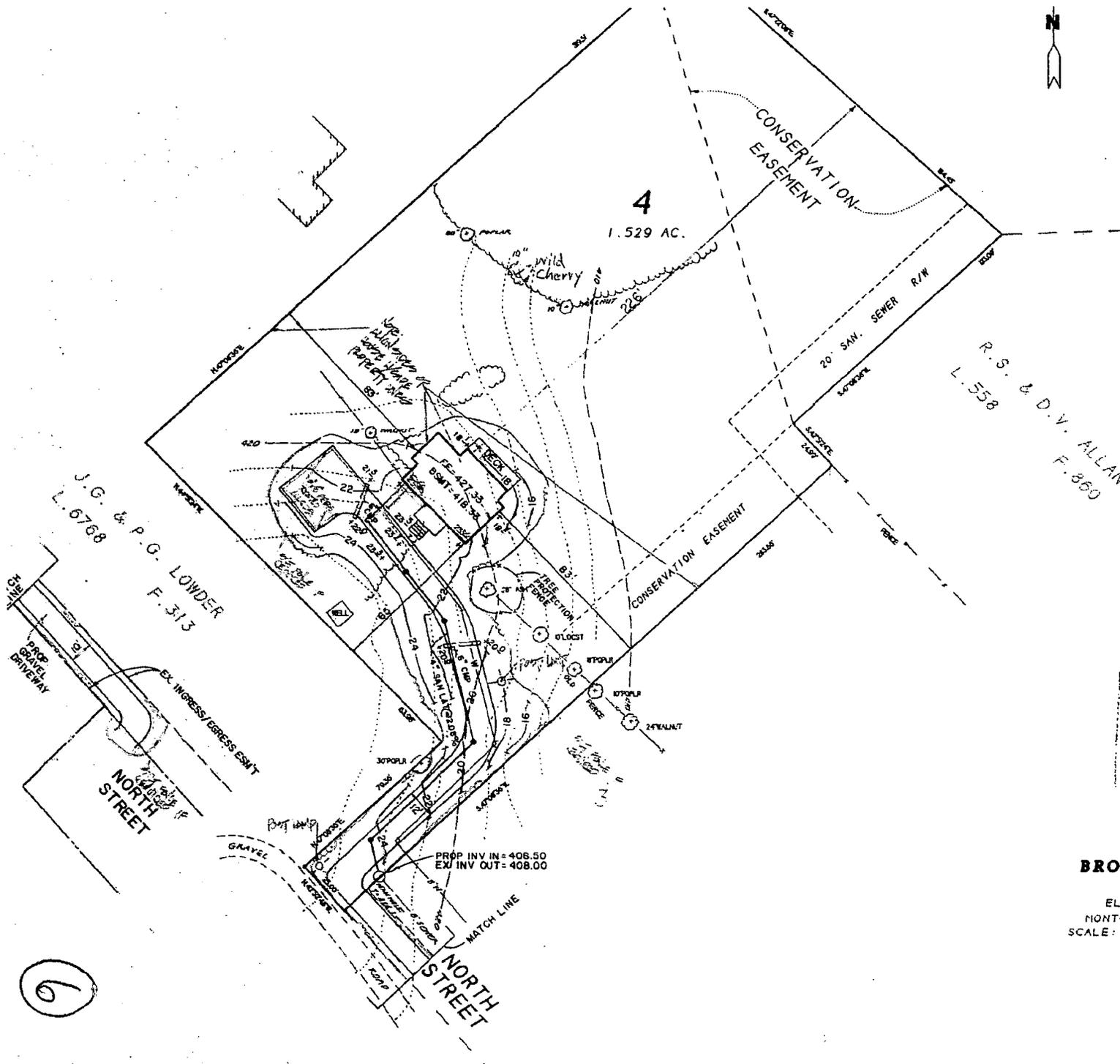
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



OWNER:
 FRED TEAL
 155 RESEARCH ROAD
 GREENBELT, MD. 20770
 PH. (301) 474-2421

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

SITE PLAN
 LOT 4 - BLOCK A

BROOKVILLE MANOR
 TOWN OF BROOKVILLE
 ELECTION DISTRICT NO. 8
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 30' MAY 1994

6

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9 North Street, Brookeville	Meeting Date:	09.10.08
Resource:	Non-Contributing Resource Brookeville Historic District	Report Date:	09.03.08
Applicant:	Fred Teal	Public Notice:	08.27.08
Review:	HAWP	Tax Credit:	None
Case Number:	23/65-08DD	Staff:	Rachel Kennedy
Proposal:	Tree removal		

STAFF RECOMMENDATION

- Approval
 Approval with conditions

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Noncontributing Resource within the Brookeville Historic District
DATE: 1996

PROPOSAL

The applicants are proposing to remove two trees located near the rear of their property. The trees are a walnut tree, approximately 12" in diameter, and a wild cherry tree, approximately 10" in diameter. These trees cannot be viewed from the road and are at a considerable distance from the rear of the house. Their removal would not negatively impact the character of the district.

STAFF RECOMMENDATION

Staff recommendation of **approval** is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



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Fred J. Teal Jr.
Signature of owner or authorized agent

August 7, 2008
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 413404 Date Filed: _____ Date Issued: _____

Edit 6/21/99

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3

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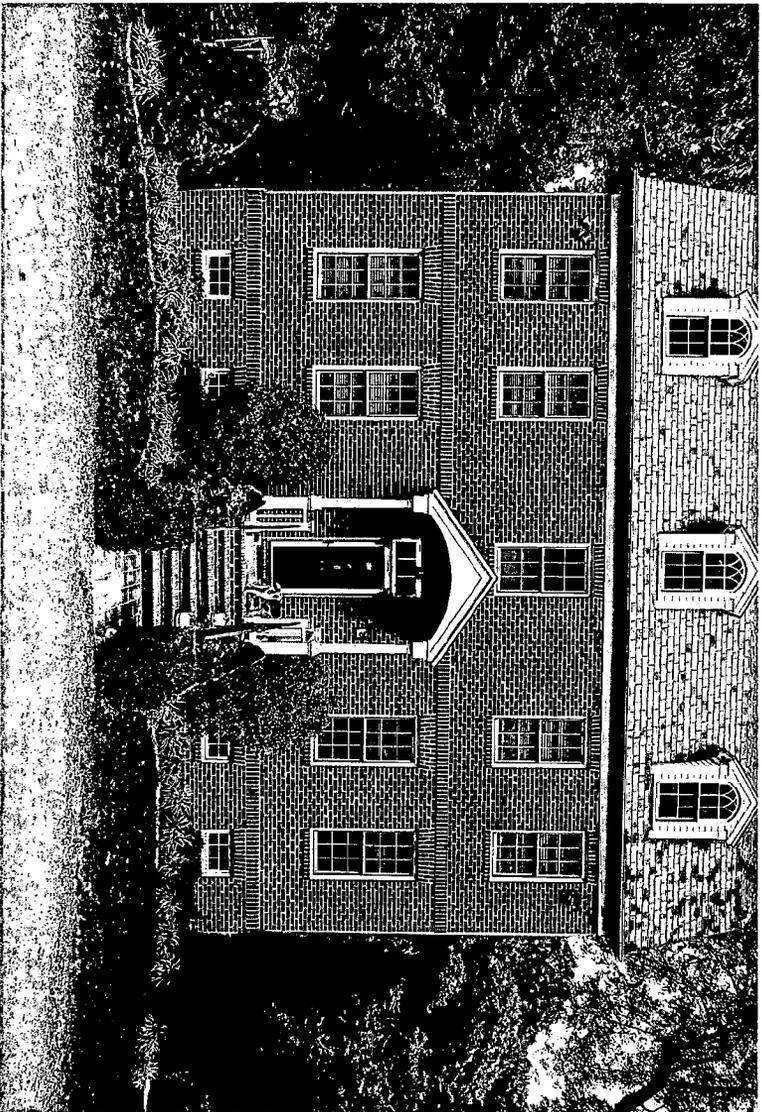
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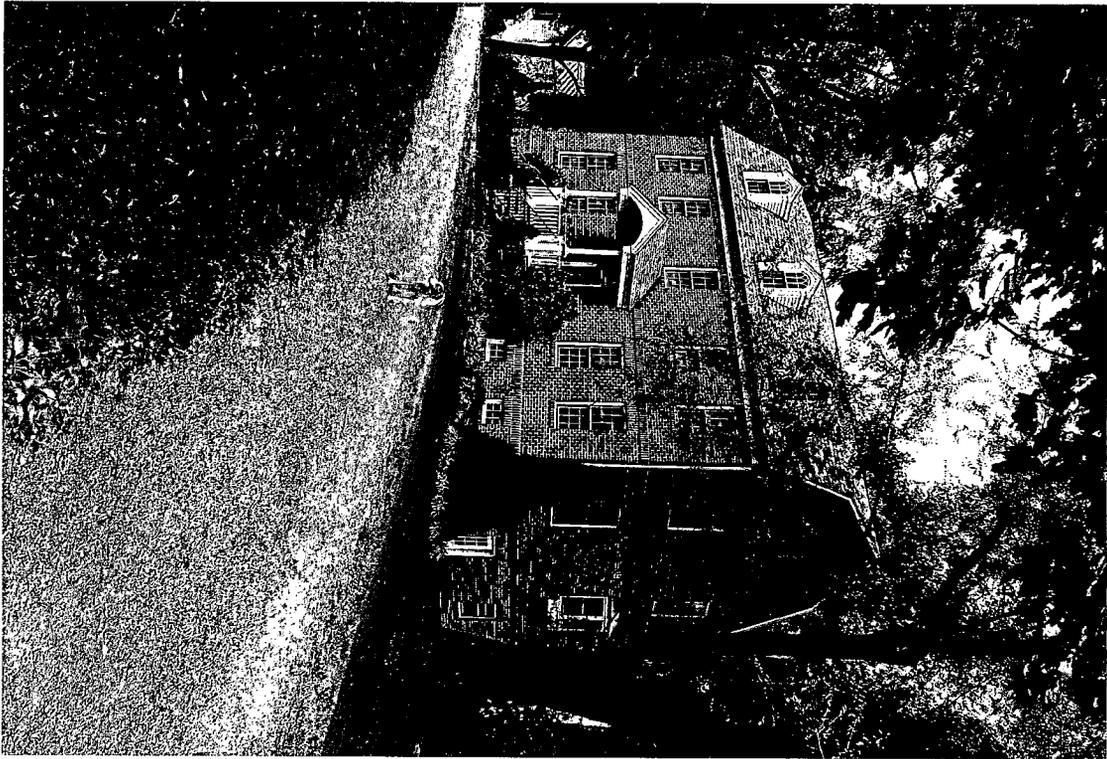
④

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Fred Teal / Teresa Meeks 9 North St. Brookeville MD 20833	
Adjacent and confronting Property Owners mailing addresses	
Katherine Farquhar 1 North St Brookeville MD 20833	Richard Chandler 13 North St. Brookeville, MD 20833



9 North Street, Brookville H.D.



9 North Street , Brookeville H.D.

Existing Property Condition Photographs (duplicate as needed)

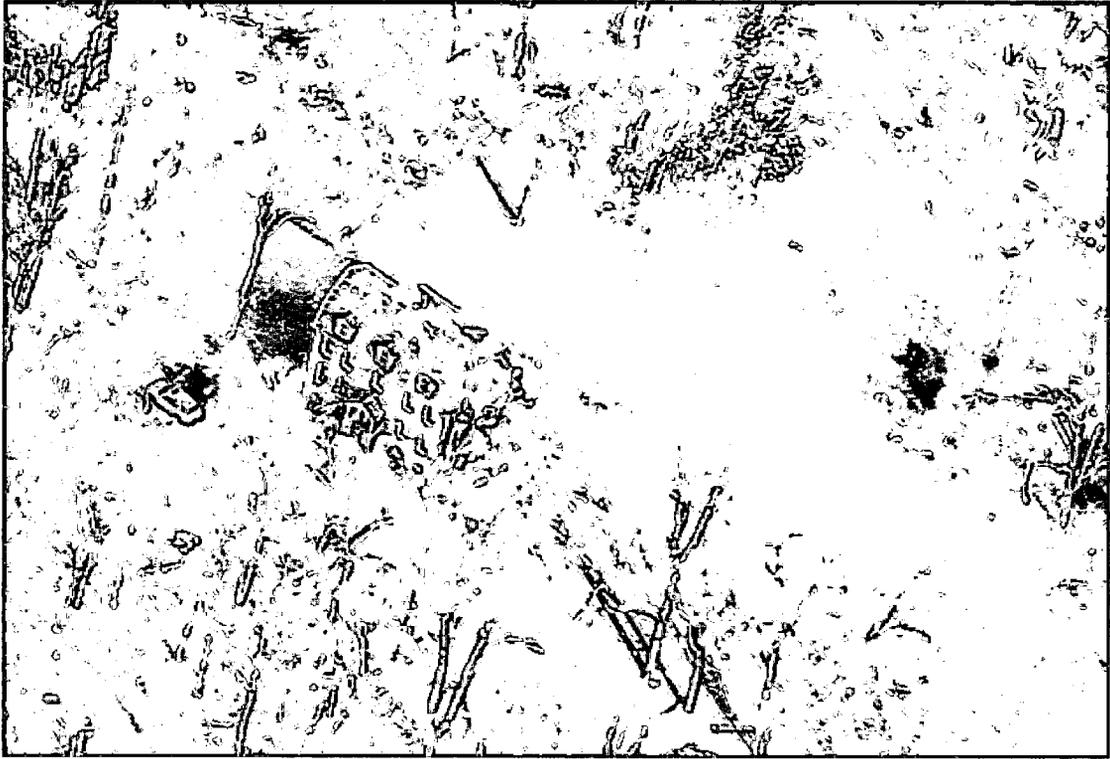


Detail: _____



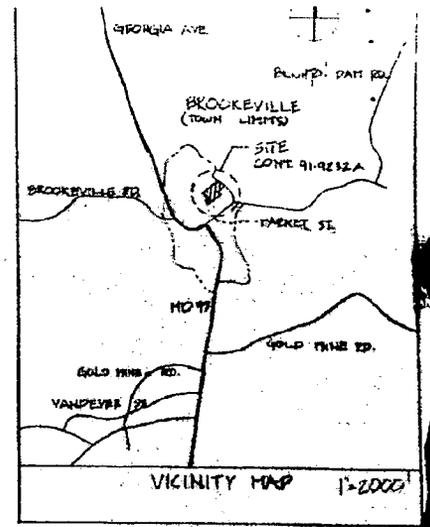
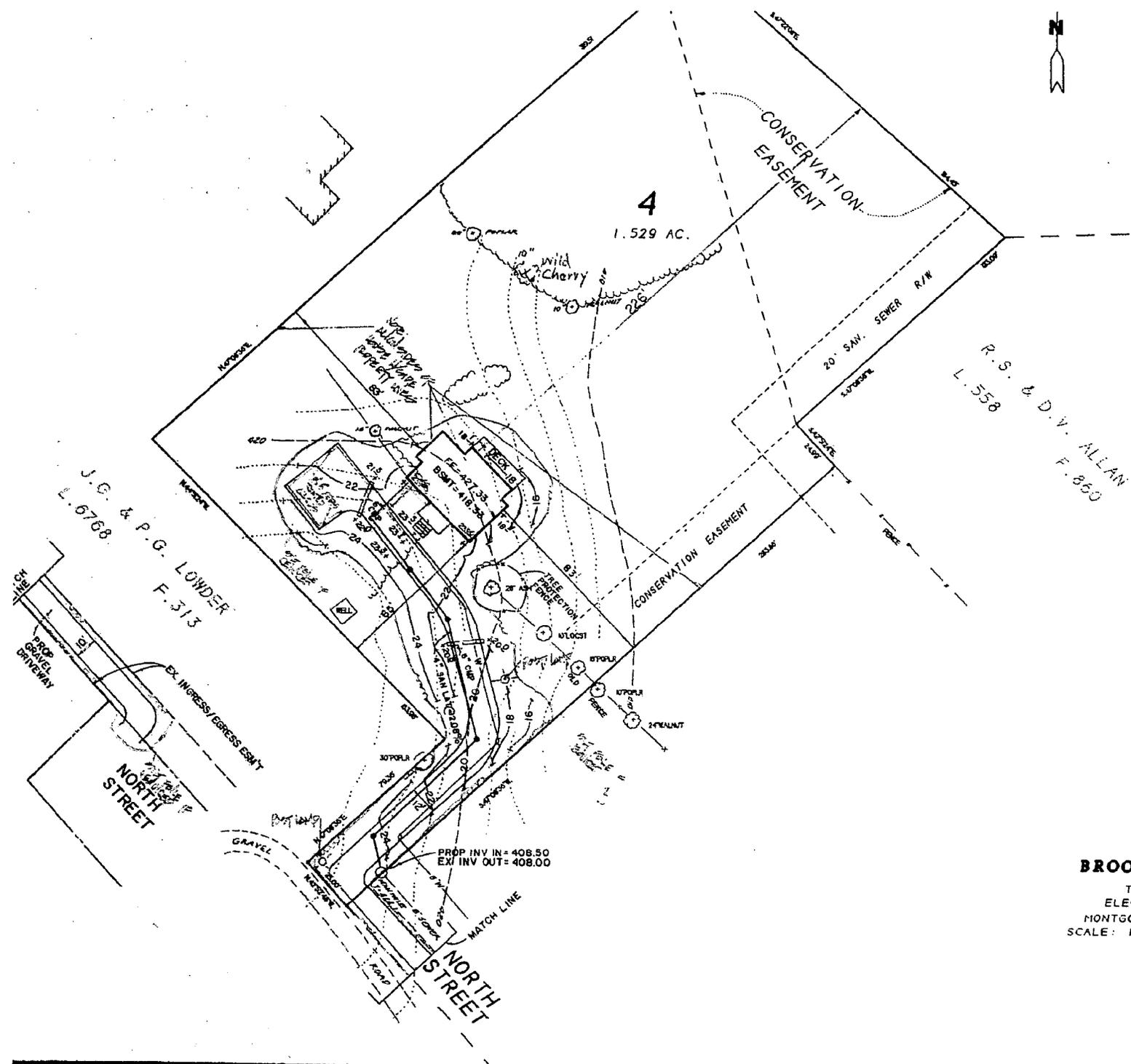
Detail: _____

Trees approximately here



9 North Street, Brookeville H.D.

10



OWNER:
 FRED TEAL
 155 RESEARCH ROAD
 GREENBELT, MD. 20770
 PH. (301) 474-2421

SITE PLAN
 LOT 4 - BLOCK A
BROOKEVILLE MANOR
 TOWN OF BROOKEVILLE
 ELECTION DISTRICT NO. 8
 MONTGOMERY COUNTY, MARYLAND
 SCALE: 1" = 30'
 MAY 1994

J.G. & P.G. LOWDER
 L. 6768
 F. 313

R.S. & D.V. ALLAN
 L. 558
 F. 850

PROP INV IN = 406.50
 EX INV OUT = 408.00