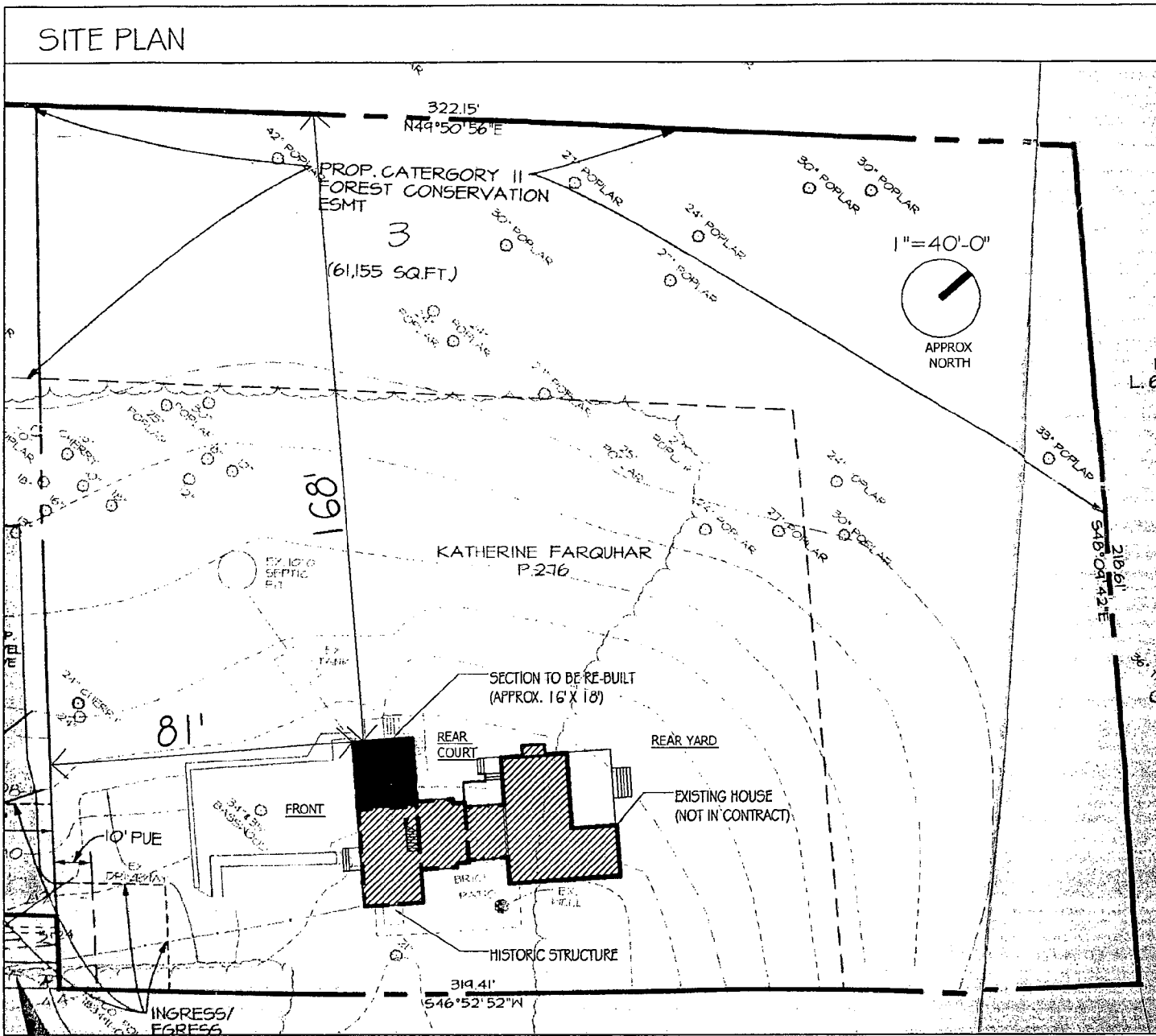


1 North Street
Brookville

23/65-08E



ZONING INFO.
Zone: "HVR" Historic Village
Height Limit: 35' max.
Side Yard: 8' min. each side
Rear Yard: 40' min.
Front Yard: 15' min.
Built Area: 3,315 s.f.
Lot Size: 60,814 s.f.

DESIGN CRITERIA
 FLOOR LOAD 40 PSF
 ROOF SNOW LOAD 30 PSF
 ROOMS OTHER THAN SLEEPING: MIN. 40 PSF
 STAIRS: MIN. 40 PSF
 FLOOR/CLG. DEFLECTION: 1/360
 WIND CRITERIA 90 MPH (3 SEC. GUSTS)
 CONCRETE WEATHERING: SEVERE
 TERMITE INFESTATION: MODERATE TO HEAVY
 DECAY PROBABILITY: SLIGHT TO MODERATE
 SEISMIC DESIGN CATEGORY: B
 FROST LINE DEPTH: 30 IN.
 WINTER DESIGN TEMP.: 13°F
 FLOOD HAZARDS: NONE
 SPECIES/GRADE OF FRAMING LUMBER: SPF NO. 1 OR NO. 2
 ALL AS-BUILT DIMENSIONS ARE APPROXIMATE, PLEASE VERIFY IN FIELD, UNLESS OTHERWISE NOTED.
 DISCREPANCIES SHOULD BE BROUGHT TO ATTENTION OF ARCHITECT BEFORE CONSTRUCTION BEGINS.

SCOPE OF WORK
 THIS IS A FARMHOUSE IN HISTORIC BROOKEVILLE THAT WAS PARTIALLY DAMAGED BY A FALLING TREE IN JUNE. CHANGES TO THE HOUSE CONSIST OF REBUILDING THE FIRST & SECOND FLOORS ON TOP OF THE UNHARMED FOUNDATIONS OF THE DESTROYED WING, INCLUDING MINOR DEMOLITION OF REMAINING STRUCTURE. THE REBUILT ADDITION WILL BE THE SAME SIZE & FOOTPRINT OF THE ORIGINAL, AND THERE WILL BE SOME MINOR INTERIOR CHANGES.

ABBREVIATIONS

ABOVE	ABV
ABOVE FINISHED FLOOR	A.F.F.
APPROXIMATE	APPROX.
AT	@
AVERAGE	AVG
BEAM	BM
BETWEEN	BTW.
BOARD	BD
BOTTOM OF	B.O.
BRICK	BR.
BUILDING	BLDG
CEILING	CLG
CENTER LINE	C.L.
CERAMIC TILE	C.T.
CLEAN OUT	C.O.
COLUMN	COL.
CONCRETE	CONC.
CONCRETE MASONRY UNIT	CMU
CONTINUOUS	CONT.
DEMOLISH	DEMO.
DETAIL	DET.
DIAMETER	Ø, DIAM.
DIMENSION	DIM.
DOOR	DR
DOWNSPOUT	D.S.
DRAWING	DWG
EACH	EA.
ELECTRICAL	ELEC.
ELEVATION	EL.
EQUIPMENT	EQUIP.
EQUAL	EQ.
EXISTING	EXG.
EXTERIOR	EXT.
FEET	FT
FINISHED FLOOR	F.F.
FLOOR	FLR.
FOUNDATION	FNDN
GALVANIZED	GALV.
GRADE	GR.
HEIGHT	HT
INCH	IN.
INSULATION	INSUL.
INTERIOR	INT.
LIGHT	LT
MASONRY OPENING	M.O.
MECHANICAL	MECH.
MINIMUM	MIN.
MISCELLANEOUS	MISC.
NUMBER	#, NO.
NOT IN CONTRACT	N.I.C.
ON CENTER	O.C.
OPENING	OPNG
PAINTED	PTD.
PLYWOOD	PLYWD
PLATE	PL
PRESSURE TREATED	P.T.
ROUGH OPENING	R.O.
RISER	R.
ROOM	RM
SECTION	SEC.
SHEET	SHT
SPECIAL	SPEC.
STEEL	STL
STRUCTURAL	STRUCT.
STRUCTURAL INSULATED PANEL	S.I.P.
TO BE DETERMINED	T.B.D.
TO BE SPECIFIED	T.B.S.
TONGUE AND GROOVE	T & G
TOP OF	T.O.
TREAD	T.
TYPICAL	TYP.
UNLESS NOTED OTHERWISE	U.N.O.
VERIFY IN FIELD	V.I.F.
WITH	W
WOOD	WD
WATER PROOF	W.P.

MICHE BOOZ
 ARCHITECT
 CS
 208 Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
FARQUHAR RENOVATION
 1 NORTH STREET
 BROOKEVILLE, MD 20833
 Montgomery County

Permits:
 D.P.S. #494616: PENDING
 H.A.W.P.: APPROVED
 BROOKEVILLE: APPROVED

Drawings:
COVER SHEET

Dates:
 AS BUILTS/SCHEMATICS AUG 08
 TODAY'S DATE 20 OCT 08

Index:
 CS COVER SHEET
 AB1 AS-IS PLANS
 AB2 AS-IS ELEVATIONS
 A1 BASEMENT PLAN
 A2 FIRST FL. PLAN
 A3 SECOND FL. PLAN
 A4 #, NO. ELEVATIONS
 A5 SECTION & DETAIL
 S1 FRAMING PLANS

WINDOW & DOOR SCHEDULES

NO.	MANUF.	QTY.	STYLE	EXT.	COLOR	APPROX. SIZE	GRILLE	PATTERN	INT. FINISH	SCREEN	HARDW.	NOTES
A	JELD-WEN	1	AWNING	WOOD	WHITE	MEASURE EXIST.	7/8" SDL	2H4W	MATCH OTHERS	WHITE	MATCH OTHERS	
B	JELD-WEN	4	DBL. HUNG	WOOD	WHITE	MATCH SALVAGED	7/8" SDL	6/6	" "	WHITE	" "	
C	JELD-WEN	3	AWNING	WOOD	WHITE	24" X 24"	7/8" SDL	2W2H	" "	WHITE	" "	TEMPERED
D	LOEWEN	2	SLIDER	WOOD	WHITE	31 1/2" X 71"	7/8" SDL	2H4W	" "	WHITE	" "	EGRESS DIMENSION
1	BUILDER SELECT		SOLID CORE INSWING	WOOD	WHITE	30" X 80"	N/A	MATCH OTHERS	" "	N/A	" "	PASSAGE LOCK
2	JELD-WEN		FRENCH INSWING	WOOD	WHITE	36" X 80"	7/8" SDL	4/4	" "	WHITE	" "	EXTERIOR PASSAGE MULTI-POINT LOCK, TEMPERED
3	BUILDER SELECT		SOLID CORE INSWING	WOOD	WHITE	30" X 80"	N/A	MATCH OTHERS	" "	N/A	" "	INTERIOR PASSAGE LOCK
4-6	BUILDER SELECT		SOLID OUTSWING	WOOD	WHITE	24" X 80"	N/A	MATCH OTHERS	" "	N/A	" "	CLOSET LATCH
7	BUILDER SELECT		SOLID FR. OUTSWING	WOOD	WHITE	48" X 80"	N/A	MATCH OTHERS	" "	N/A	" "	CLOSET LATCH

NOTES: NO BRICK MOULD ON ANY WINDOW OR DOOR. CONFIRM ALL DIMENSIONS W/ MANUFACTURER BEFORE ORDERING. INCLUDE SPACER BAR W/ ALL SDL GRILLES. SDL PROFILES TO MATCH EXISTING. PRE-PAINTED, DBL. PANE, LOW-E2, WHITE WOOD WINDOWS W/ PRE-FINISHED INTERIOR, TYP.

LIST OF SYMBOLS

	SECTION INDICATOR
	C.M.U.
	FRAME
	NEW DOOR
	NEW WINDOW

CODES

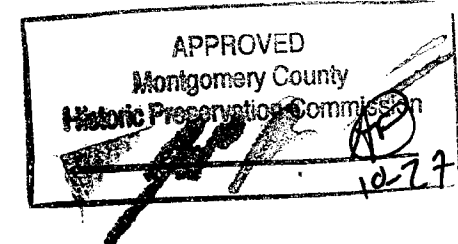
IRC 2006 & MONTGO. COUNTY AMENDMENTS

INSULATION

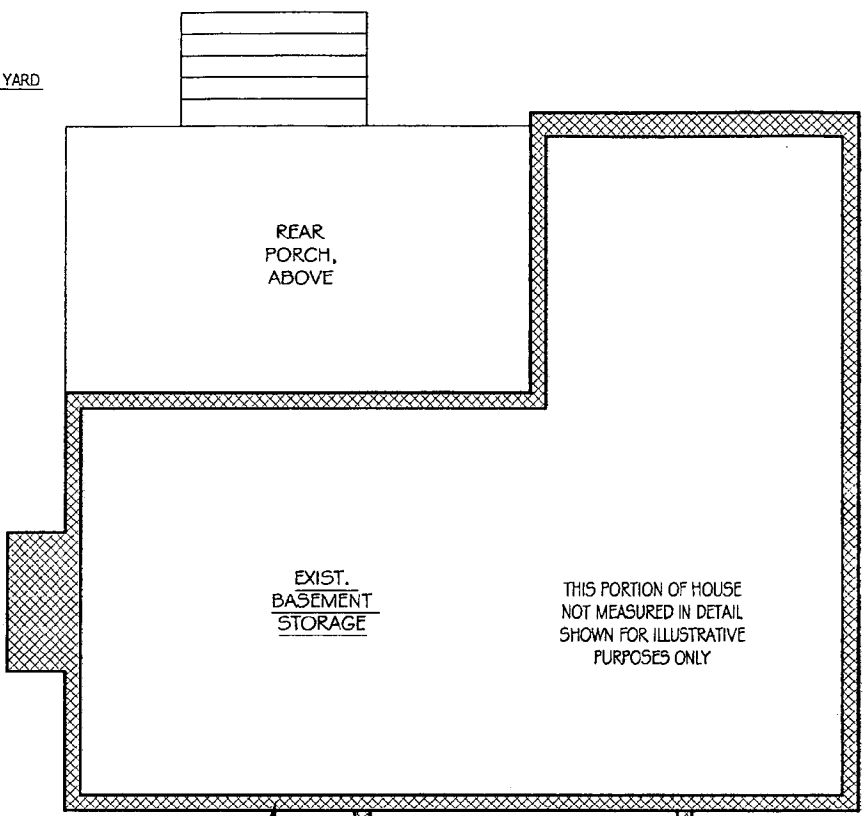
CEILING: R-38
 WALLS: R-18
 BASEMENT: R-10
 FLOOR: R-21
 GLAZING: U-0.38

FARQUHAR RENOVATION

1 NORTH STREET, BROOKEVILLE, MD 20833



REAR YARD



EXIST. 8" BLOCK FOUNDATION WALL ON CONC. FOOTINGS TO REMAIN, V.I.F.

1 "AS-IS" BSM'T. PLAN AB1 SCALE: 1/8" = 1'-0"

PRINT AT 100% TO KEEP SCALE AS NOTED

APPROX NORTH

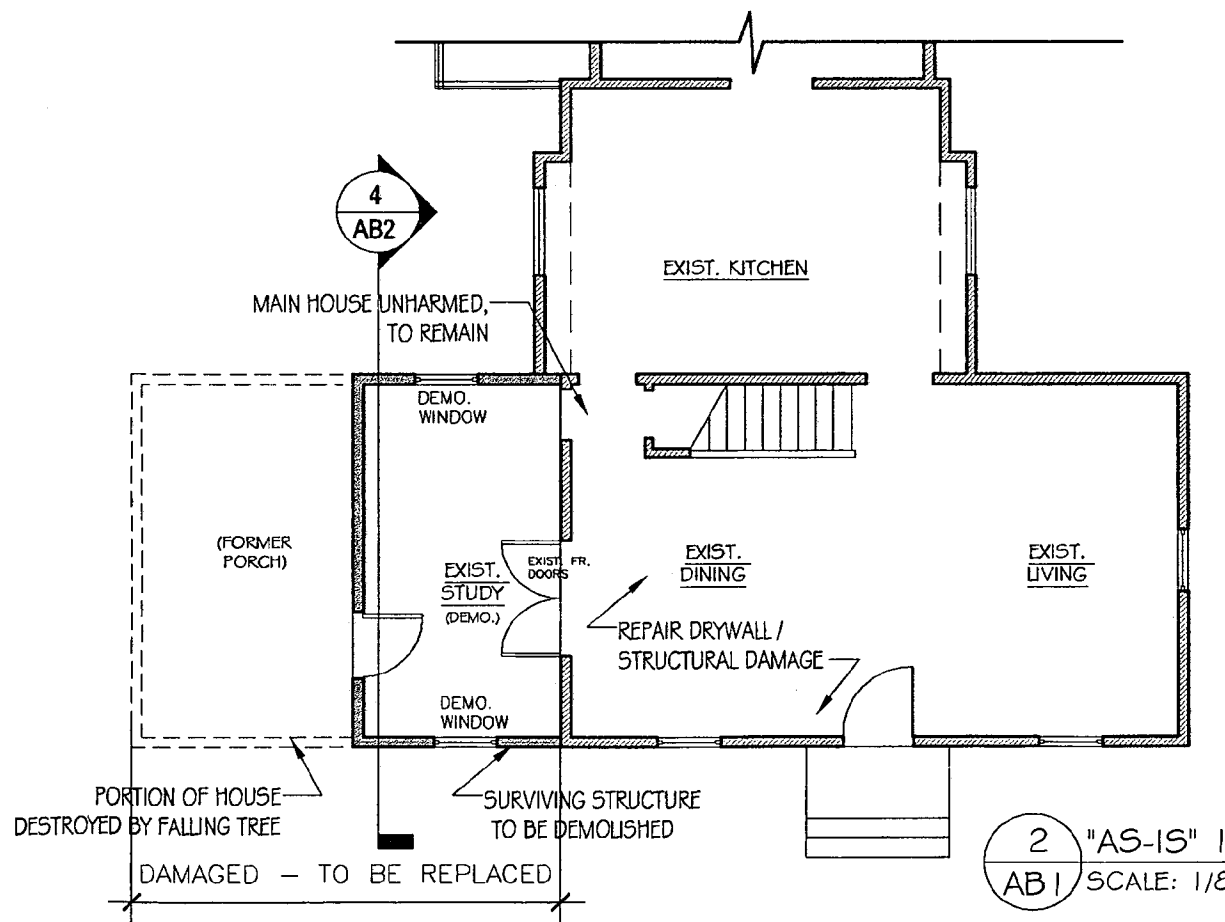
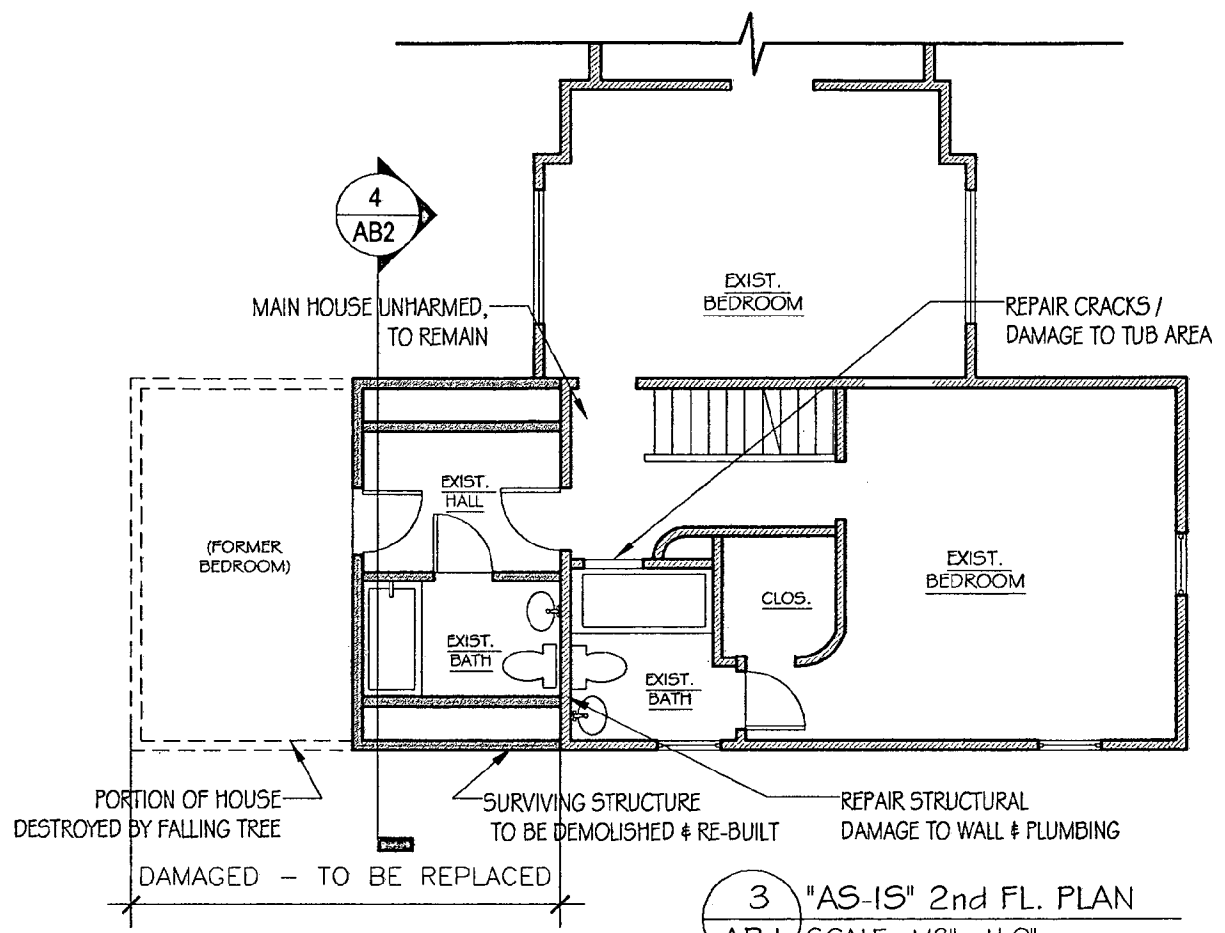
MICHE BOOZ
ARCHITECT
AB1
208 Market St
Brookeville
Maryland 20833
(301)774 6911
fax: 774 1908

Project:
FARQUHAR RENOVATION
1 NORTH STREET
BROOKEVILLE, MD 20833
Montgomery County

Permits:
D.P.S. #494616: PENDING
H.A.W.P.: APPROVED
BROOKEVILLE: APPROVED

Drawings:
"AS-IS" PLANS

Dates:
AS BUILTS/SCHEMATICS AUG 08
TODAYS DATE 20 OCT 08



CONSTRUCTION DRAWINGS - OCTOBER 20, 2008

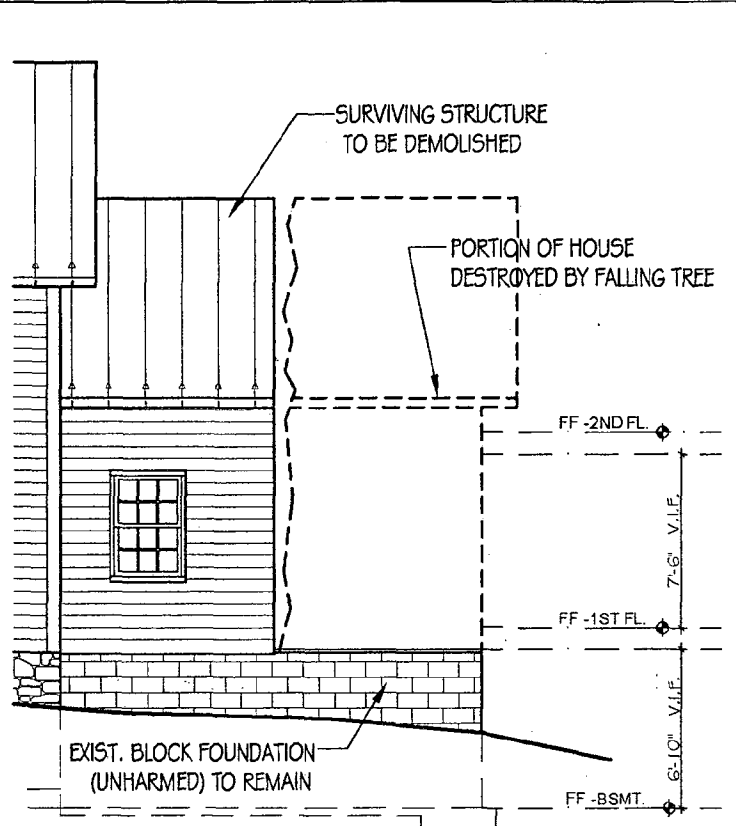
MICHE BOOZ
 ARCHITECT
AB2
 208/Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
FARQUHAR RENOVATION
 1 NORTH STREET
 BROOKEVILLE, MD 20833
 Montgomery County

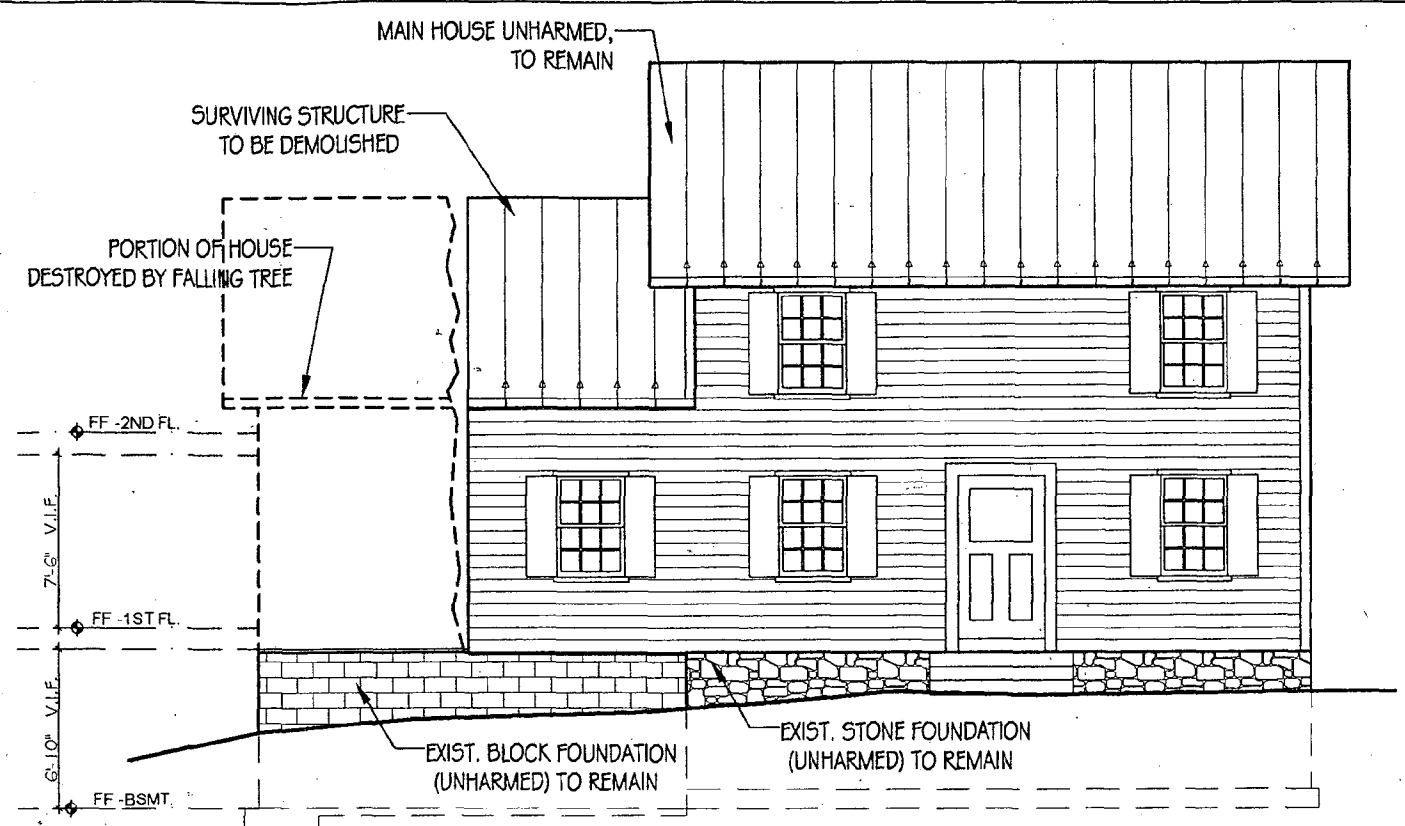
Permits:
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 H.A.W.P.: APPROVED
 BROOKEVILLE: APPROVED

Drawings:
 "AS-IS" ELEVATIONS

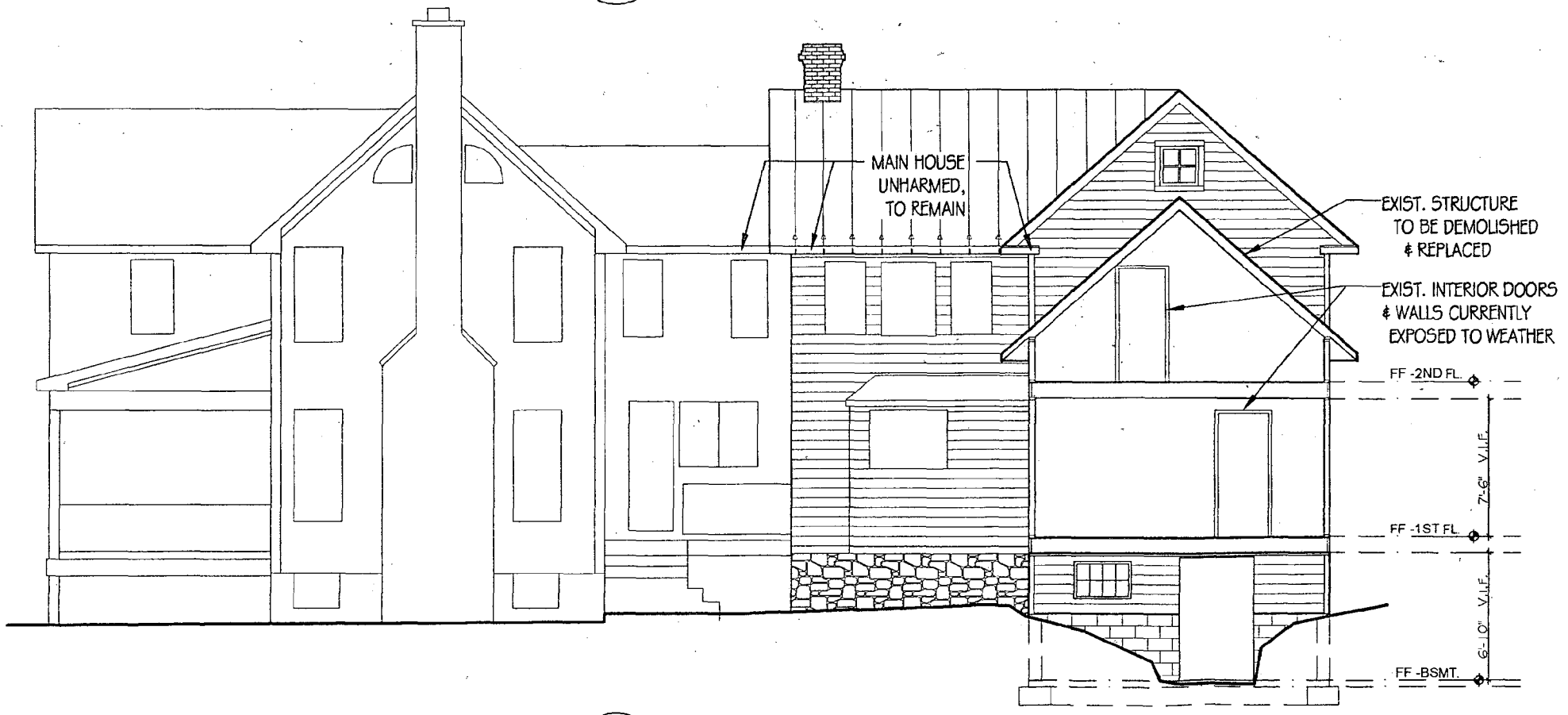
Dates:
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 TODAY'S DATE 20 OCT 08



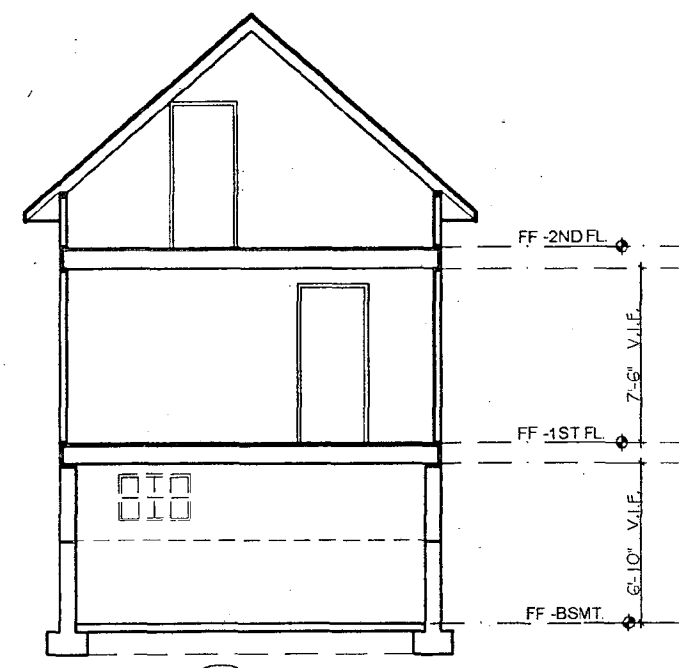
1 "AS-IS" REAR COURT ELEV.
 AB2 SCALE: 1/8"=1'-0"



2 "AS-IS" FRONT ELEV.
 AB2 SCALE: 1/8"=1'-0"



3 "AS-IS" NORTH SIDE ELEV.
 AB2 SCALE: 1/8"=1'-0"



4 "AS-IS" CROSS SECTION
 AB2 SCALE: 1/8"=1'-0"

MICHE BOOZ

ARCHITECT

A1

208 Market St
Brookville
Maryland 20833
(301)774 6811
fax: 774 1908

Project:

FARQUHAR
RENOVATION

1 NORTH STREET
BROOKEVILLE, MD 20833
Montgomery County

Permits:

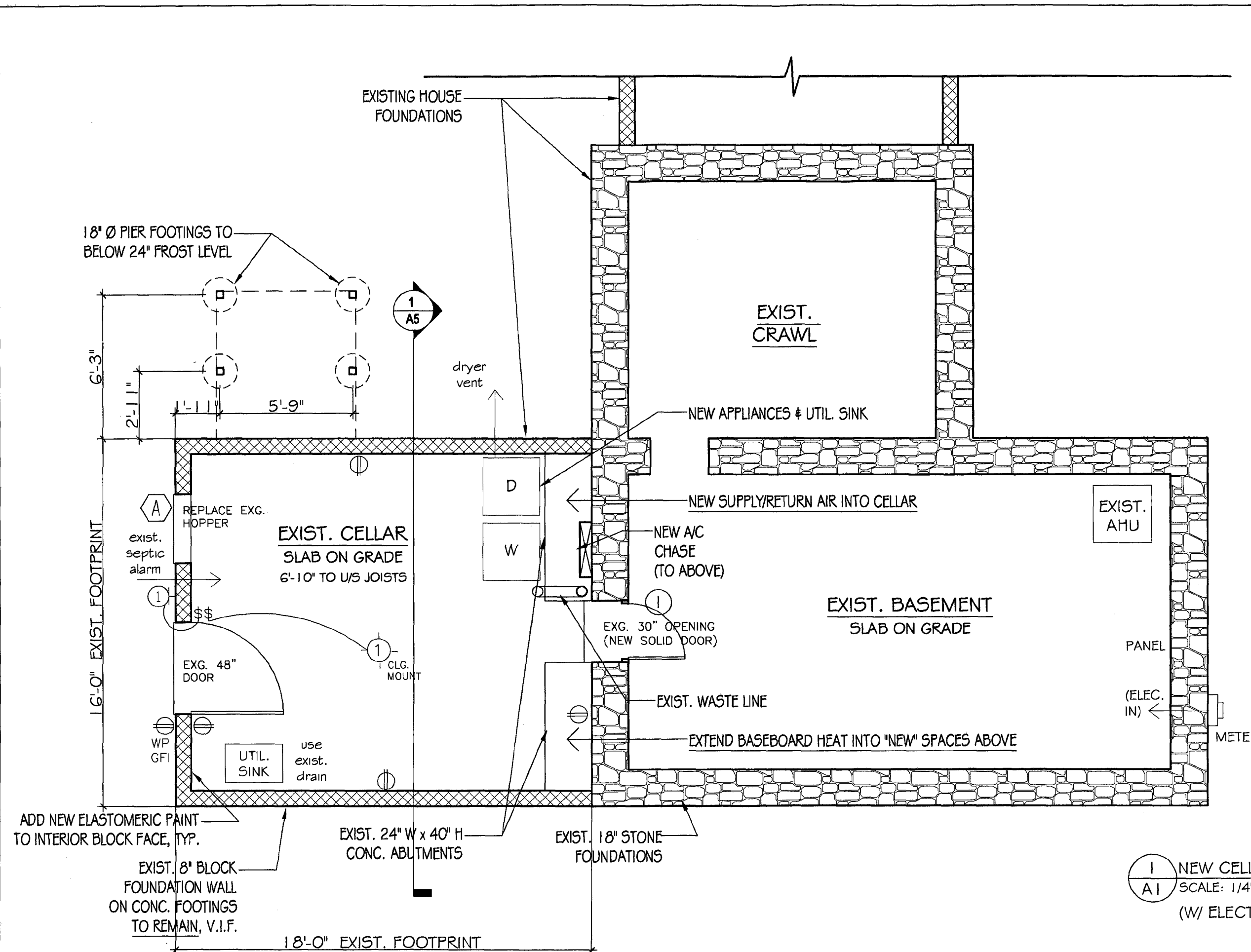
D.P.S. #494618: PENDING
H.A.W.P.: APPROVED
BROOKEVILLE: APPROVED

Drawings:

PROPOSED FLOOR
PLANS

Dates:

AS BUILTS/SCHEMATICS AUG 08
TODAYS DATE 20 OCT 08



ADD NEW ELASTOMERIC PAINT TO INTERIOR BLOCK FACE, TYP.

EXIST. 8" BLOCK FOUNDATION WALL ON CONC. FOOTINGS TO REMAIN, V.I.F.

18'-0" EXIST. FOOTPRINT

EXIST. 24" W x 40" H CONC. ABUTMENTS

EXIST. 18" STONE FOUNDATIONS

1 NEW CELLAR PLAN
A1 SCALE: 1/4" = 1'-0"
(W/ ELECTRICAL PLAN)

PRINT AT 100% TO KEEP SCALE AS NOTED

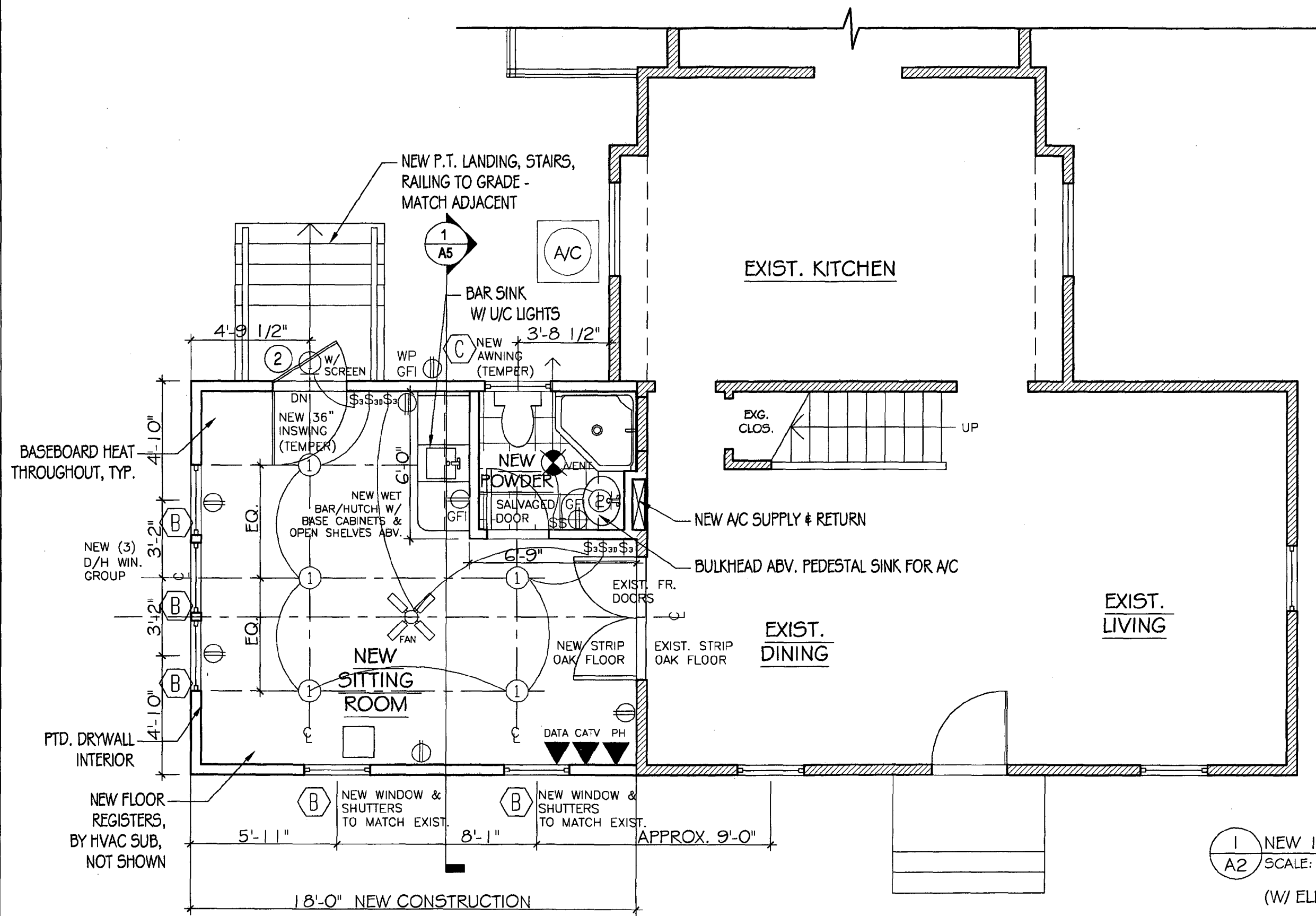
CONSTRUCTION DRAWINGS - OCTOBER 20, 2008

Project:
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 BROOKEVILLE, MD 20833
 Montgomery County

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Drawings:
PROPOSED FLOOR PLANS

Dates:
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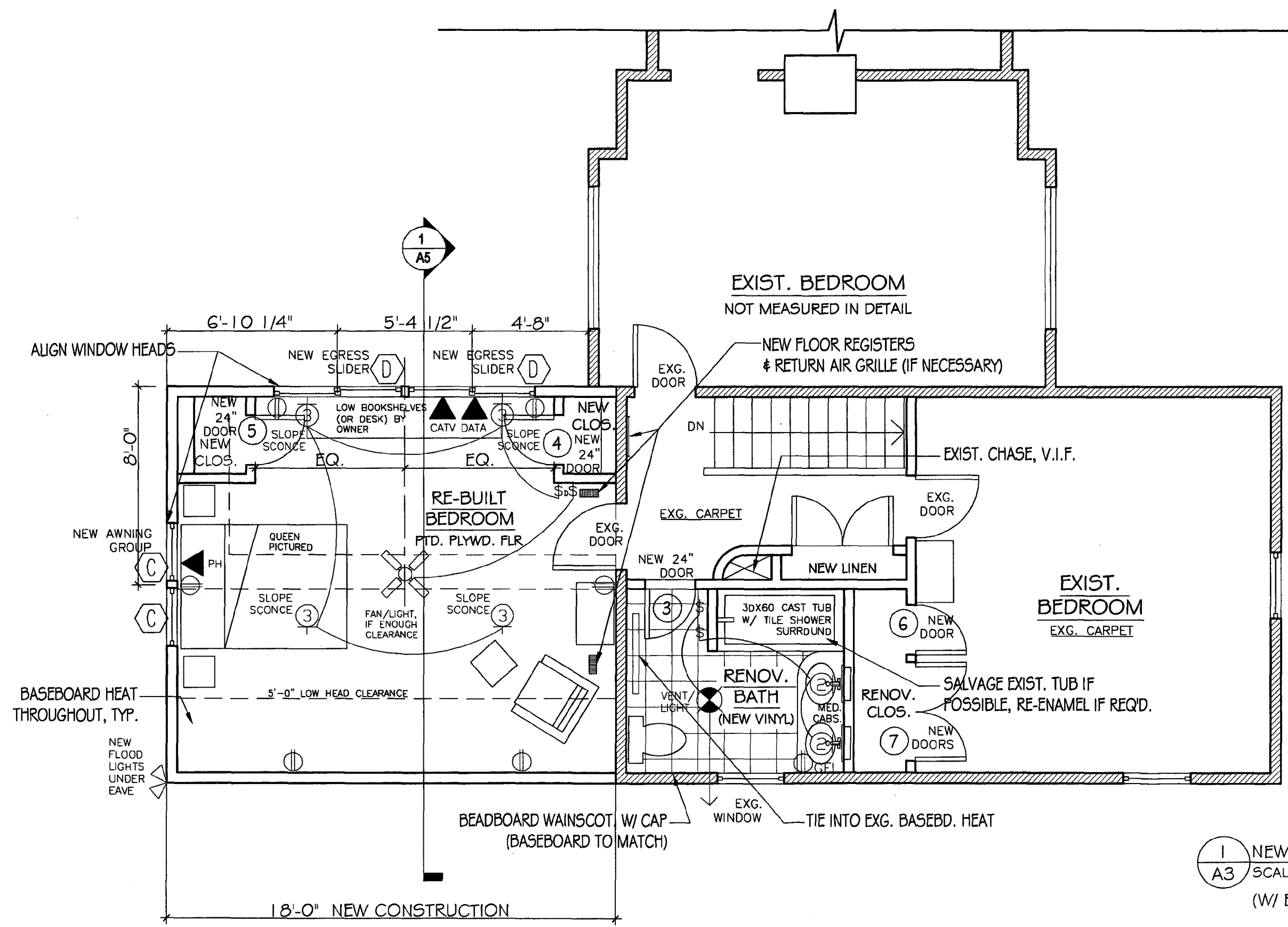
1
 A2
 NEW 1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (W/ ELECTRICAL PLAN)

Project:
FARQUHAR RENOVATION
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 Montgomery County

Permits:
 D.P.S. #404618: PENDING
 H.A.W.P.: APPROVED
 BROOKEVILLE: APPROVED

Drawings:
PROPOSED FLOOR PLANS

Dates:
 AS BUILTS/SCHEMATICS AUG 08
 TODAY'S DATE 20 OCT 08



1 NEW 2nd FLOOR PLAN
 A3 SCALE: 1/4" = 1'-0"
 (W/ ELECTRICAL PLAN)

MICHE BOOZ

ARCHITECT

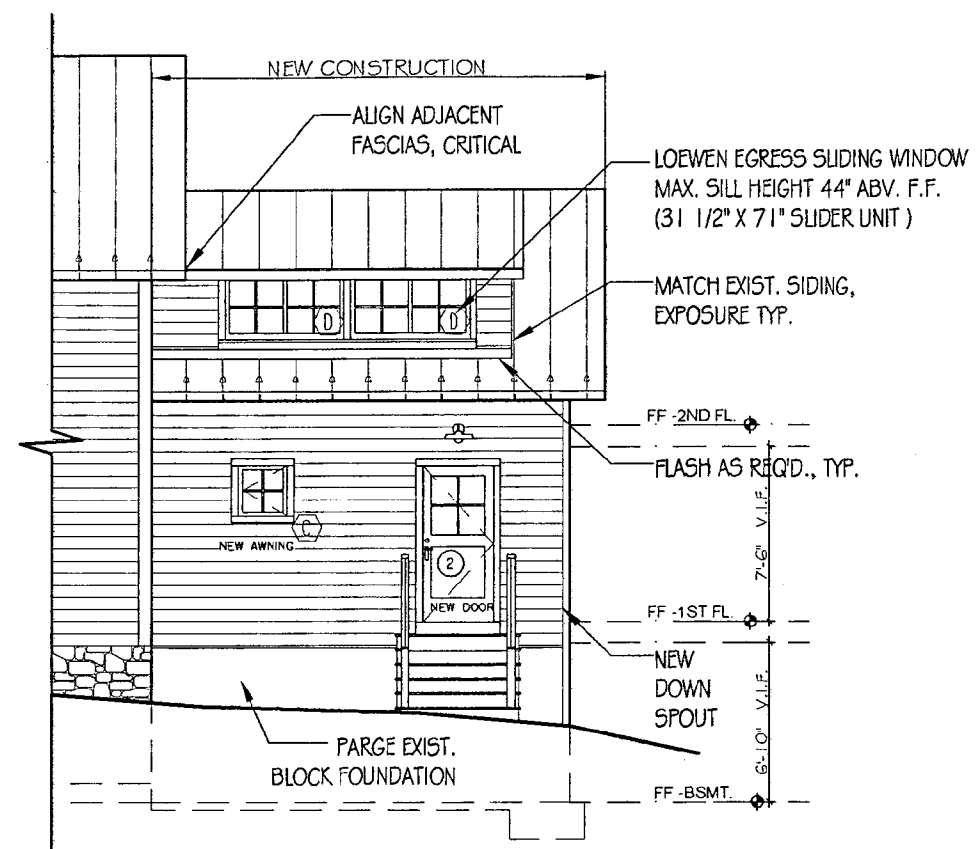
A4
208 Market St
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(301)774 6911
fax: 774 1908

Project:
FARQUHAR RENOVATION
1 NORTH STREET
BROOKEVILLE, MD 20833
Montgomery County

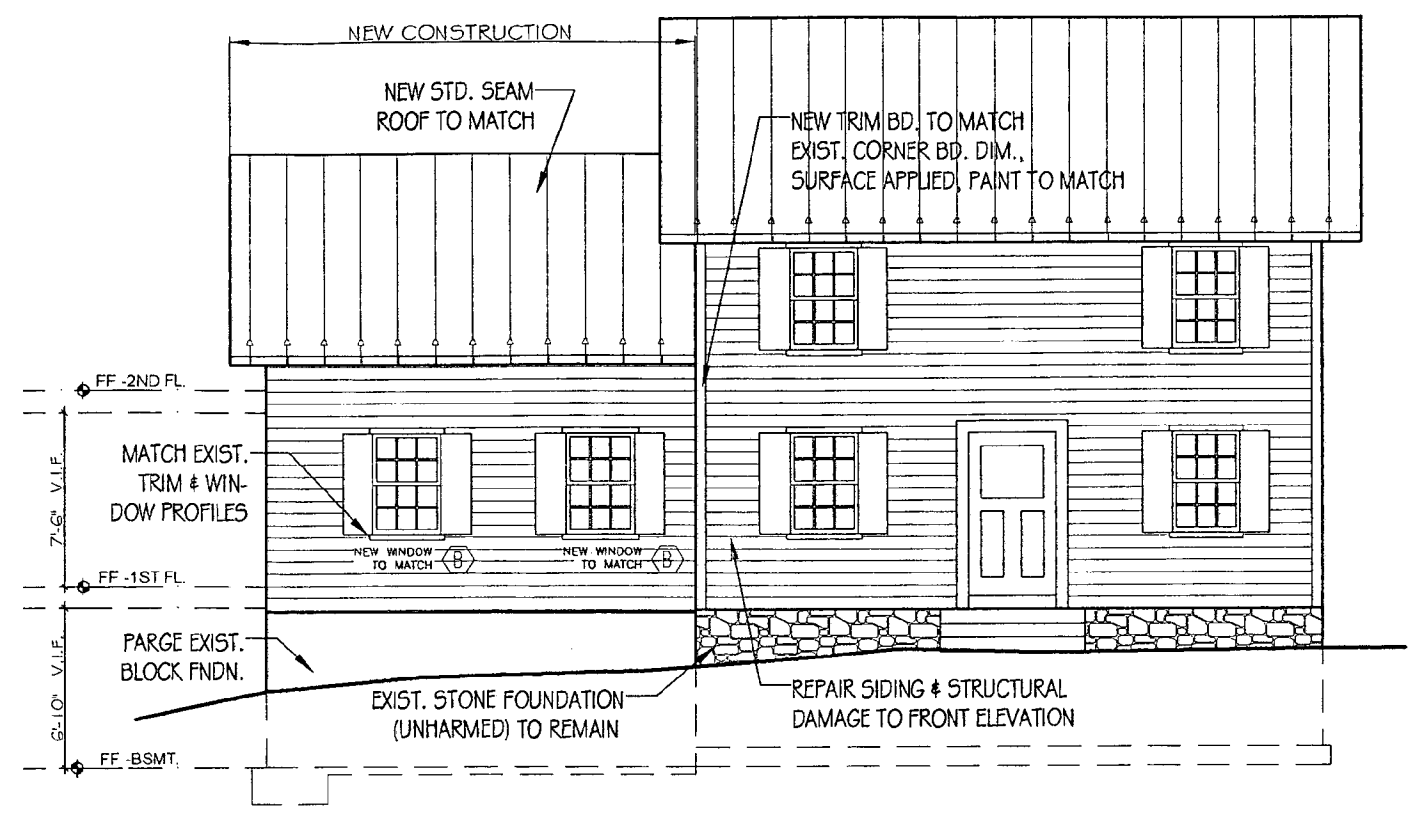
Permits:
D.P.S. #494616: PENDING
H.A.W.P.: APPROVED
BROOKEVILLE: APPROVED

Drawings:
PROPOSED ELEVATIONS

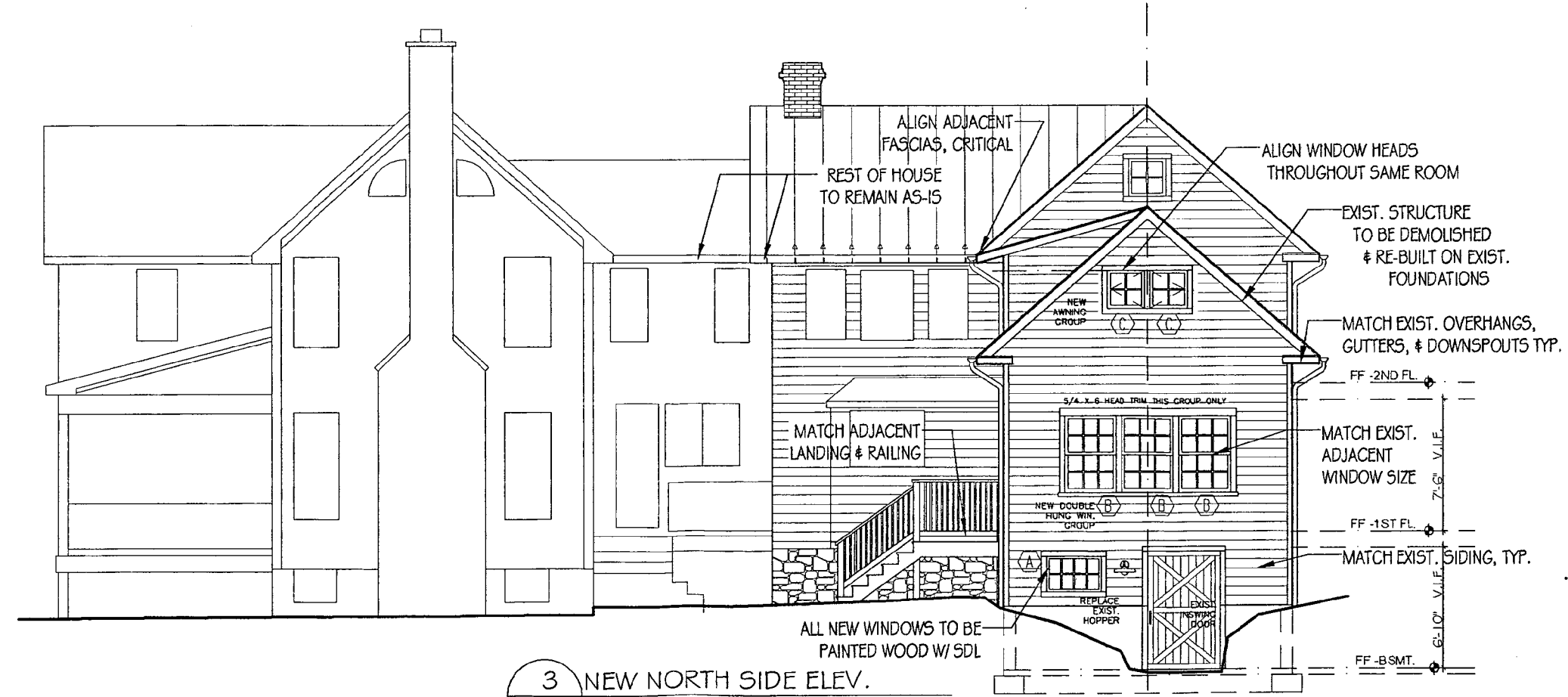
Dates:
AS BUILT/SCHMATICS AUG 08
TODAY'S DATE 20 OCT 08



1 NEW REAR COURT ELEV.
A4 SCALE: 1/8" = 1'-0"



2 NEW FRONT ELEV.
A4 SCALE: 1/8" = 1'-0"



3 NEW NORTH SIDE ELEV.
A4 SCALE: 1/8" = 1'-0"

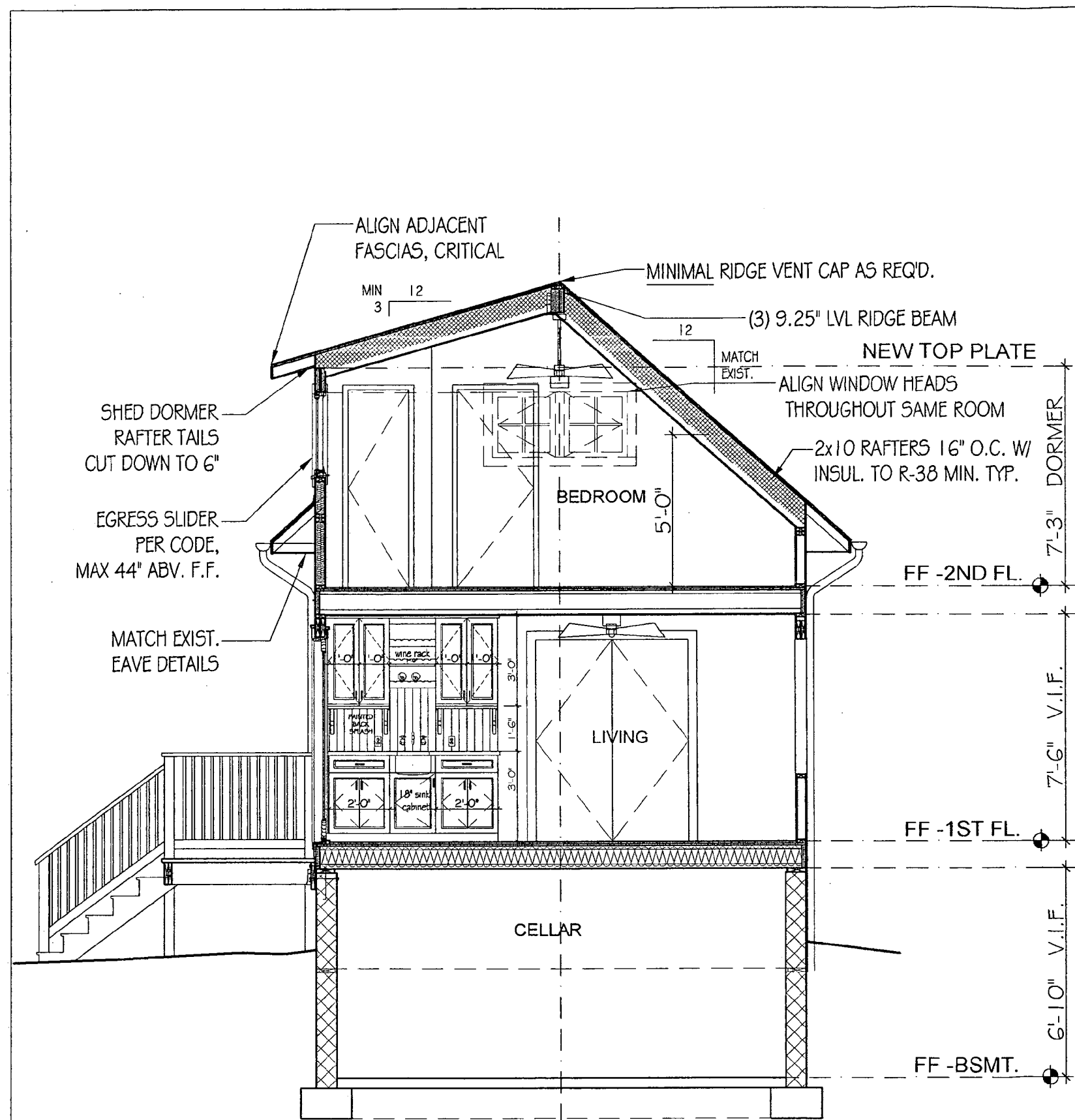
MICHE BOOZ
 ARCHITECT
A5
 208/Market St
 Brookeville
 Maryland 20833
 (301)774 6911
 fax: 774 1908

Project:
FARQUHAR RENOVATION
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 Montgomery County

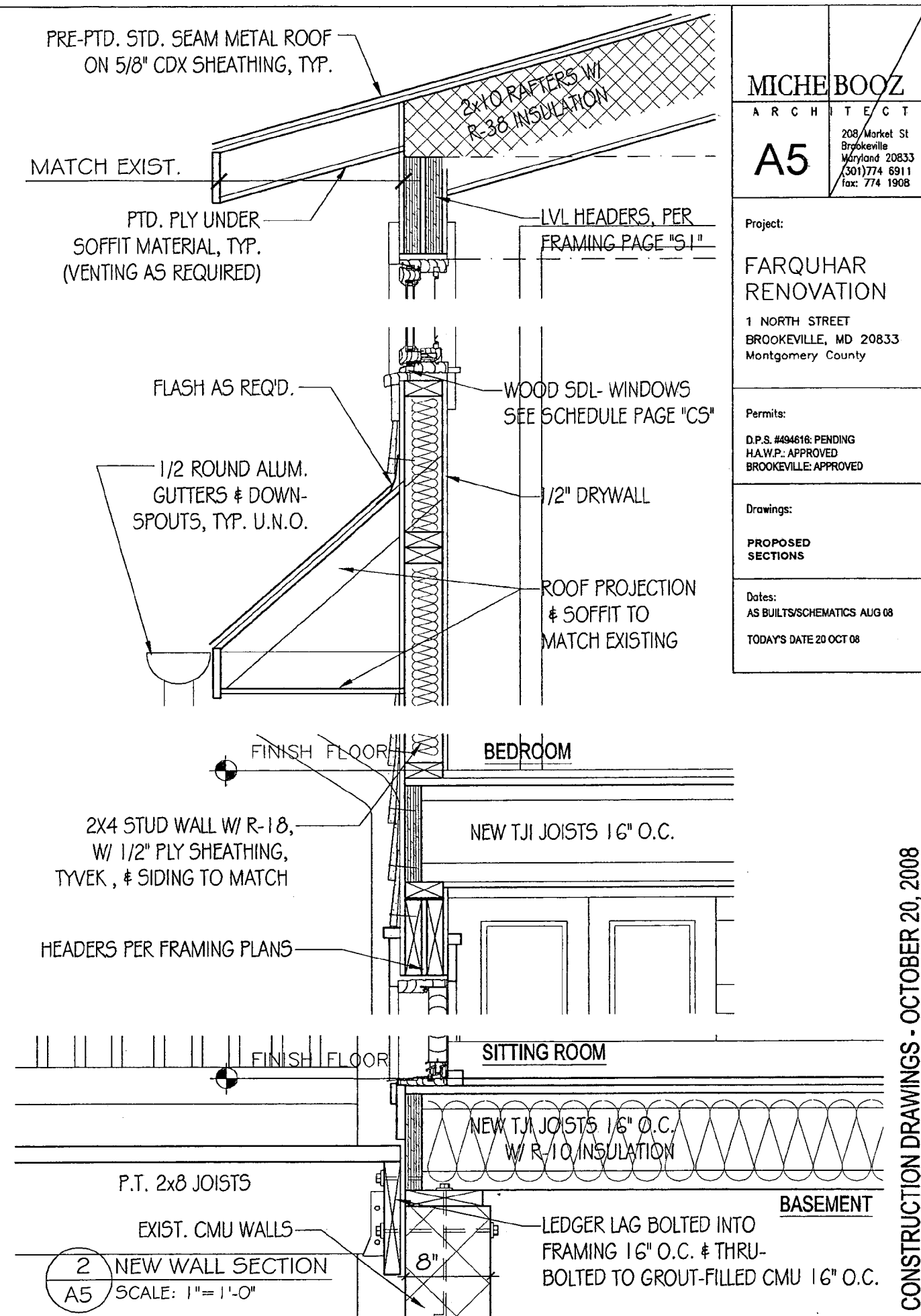
Permits:
 D.P.S. #494618: PENDING
 H.A.W.P.: APPROVED
 BROOKEVILLE: APPROVED

Drawings:
PROPOSED SECTIONS

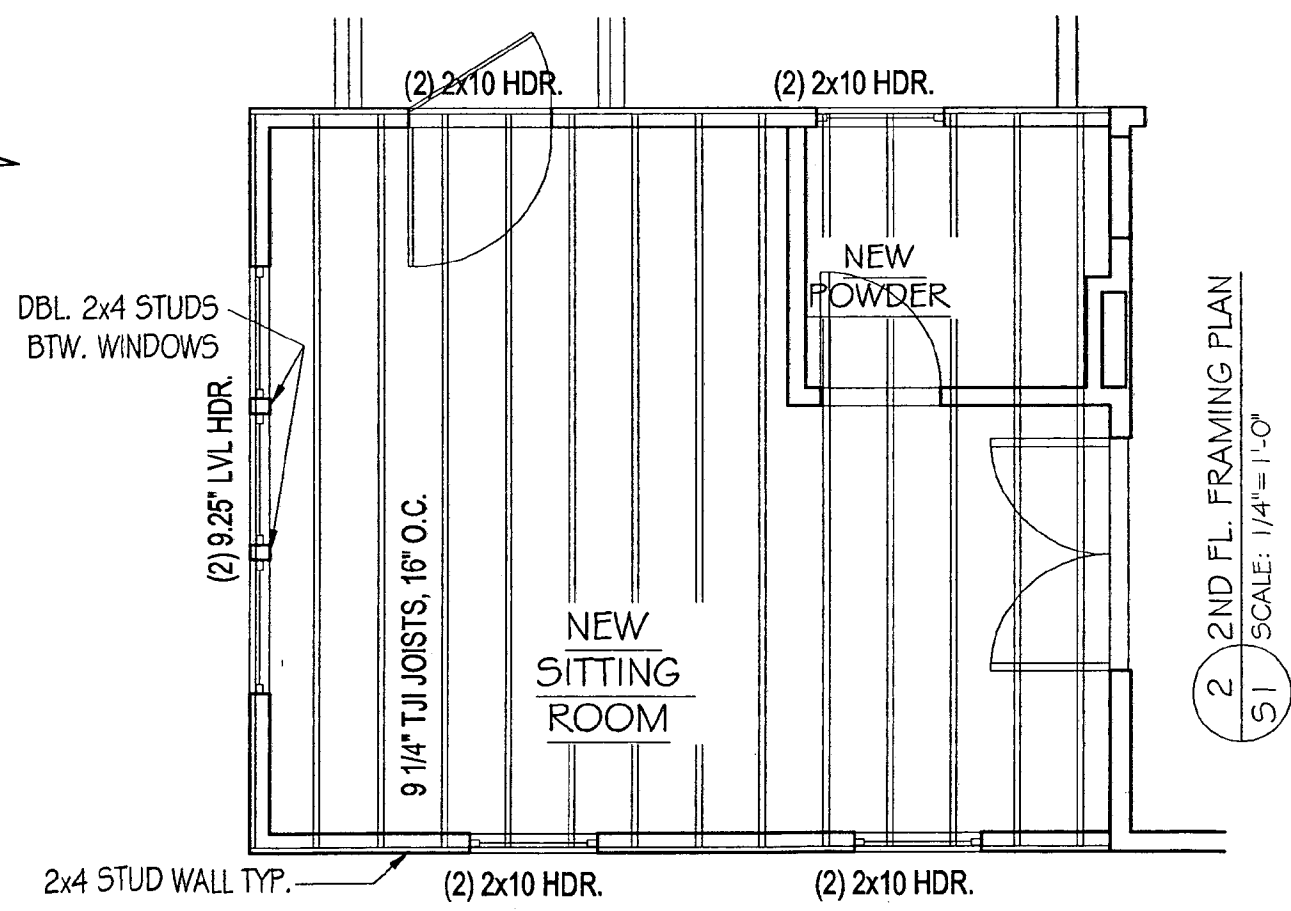
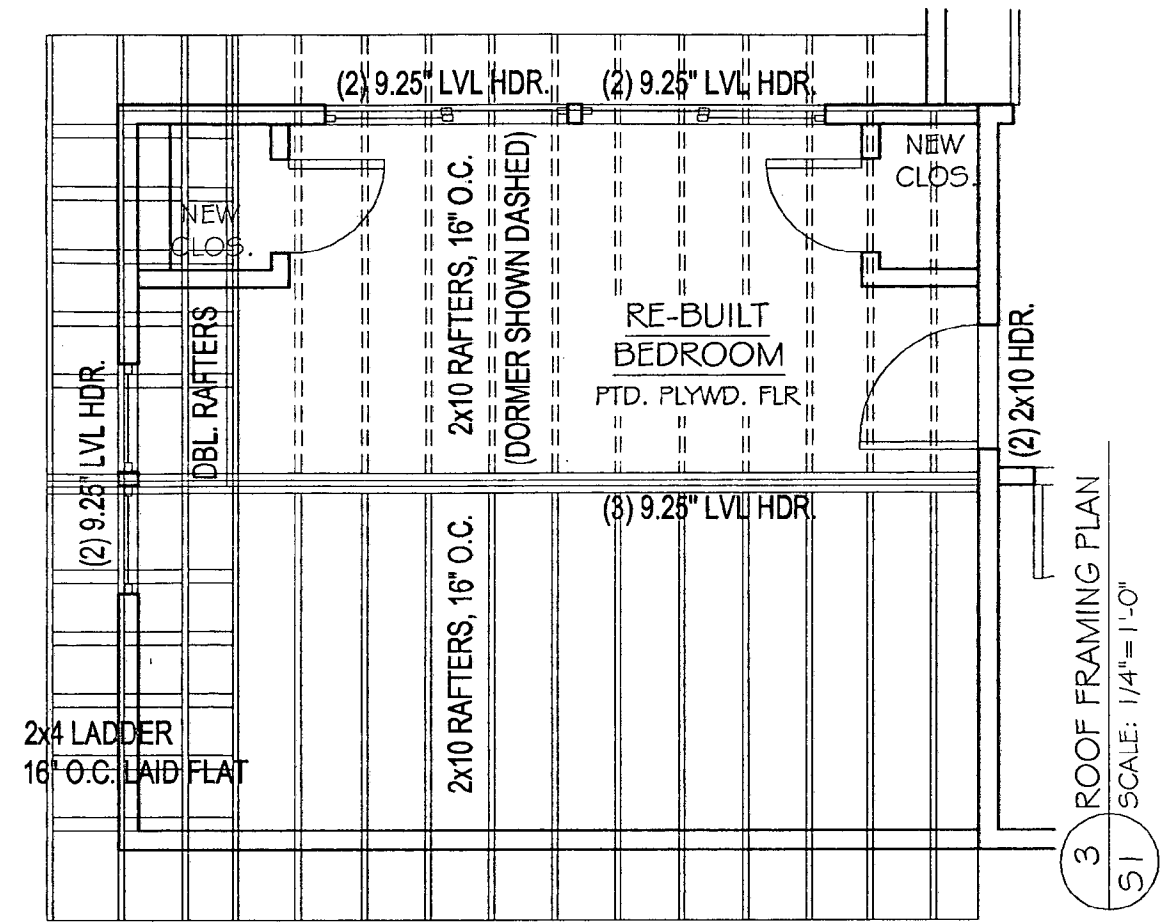
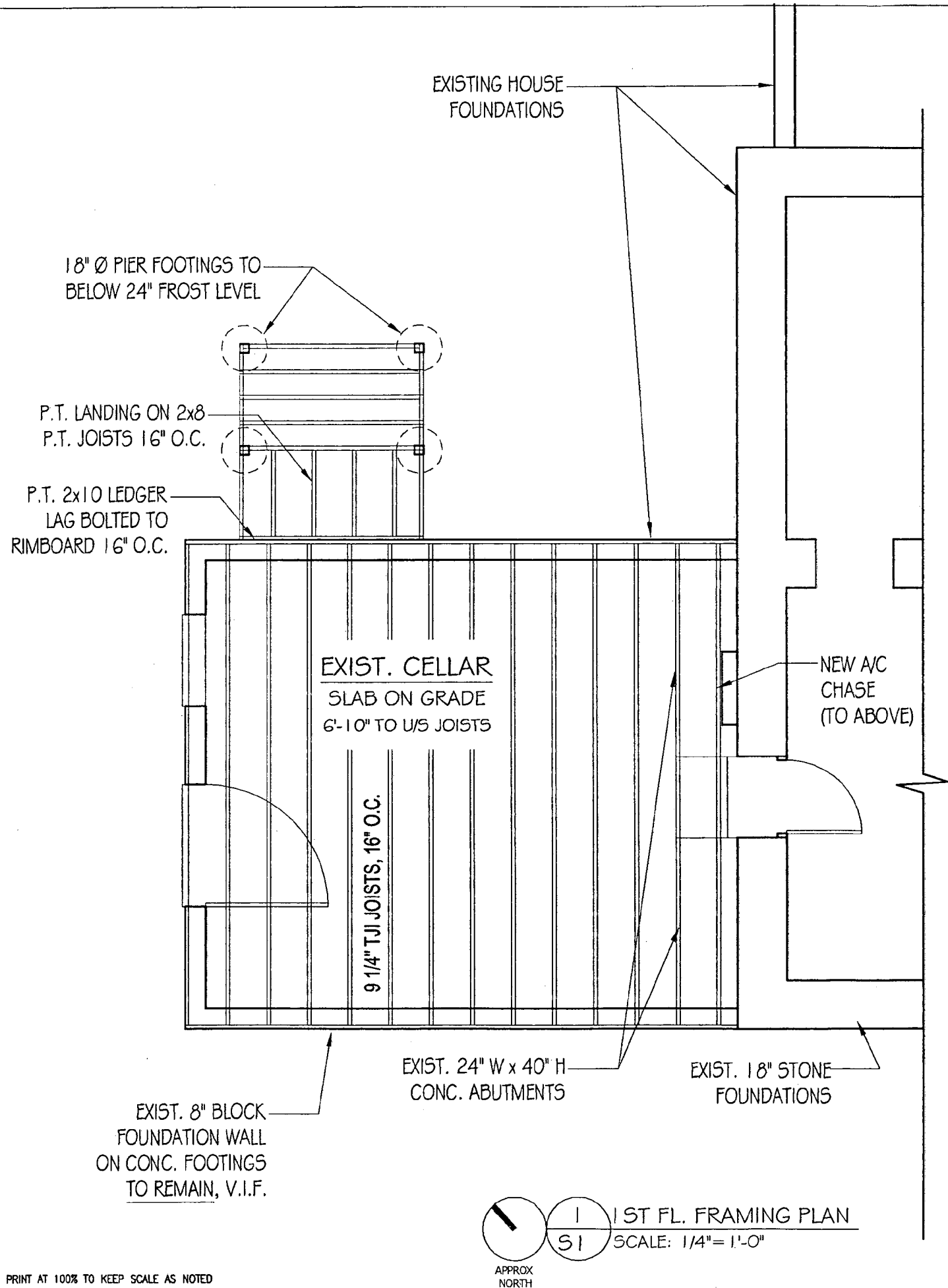
Dates:
 AS BUILTS/SCHEMATICS AUG 08
 TODAY'S DATE 20 OCT 08



1 NEW CROSS SECTION
A5 SCALE: 1/4" = 1'-0"



2 NEW WALL SECTION
A5 SCALE: 1" = 1'-0"



MICHE BOOZ
ARCHITECT

S1

208 Market St
Brookville
Maryland 20833
(301) 774 6911
fax: 774 1908

Project:
FARQUHAR RENOVATION
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BROOKEVILLE, MD 20833
Montgomery County

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BROOKEVILLE: APPROVED

Drawings:
FRAMING PLANS

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AS BUILTS/SCHEMATICS AUG 08
TODAY'S DATE 20 OCT 08

PRINT AT 100% TO KEEP SCALE AS NOTED

CONSTRUCTION DRAWINGS - OCTOBER 20, 2008



HISTORIC PRESERVATION COMMISSION

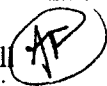
Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 09/25/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #494616 – Alterations to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the September 24, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Katherine Farquhar
Address: 1 North Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



A



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE, MD 20850
240.777-0270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

App 494614

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Katherine Farquhar
Daytime Phone No.: 301 633 1122

Tax Account No.: 03484187

Name of Property Owner: Katherine Farquhar Daytime Phone No.: 301 633 1122

Address: 1 North St. Brookeville MD 20833
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 1 Street: North Street

Town/City: Brookeville Nearest Cross Street: Market Street

Lot: _____ Block: _____ Subdivision: Powers Woods

Liber: 26565 Folio: 123 Parcel: Two (00732192)

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ \$150-200K

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches n/a

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

(AP) Approved by MPC 9-25-08 9/3/08

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- 1880's 2-storey frame farmhouse in historic Brookville
- surrounded on 2 sides by conservation easement, forest.
- 1970's wing destroyed by falling Linden tree on June 4 2008.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- replace destroyed 2-storey wing (16'x18') on existing cinderblock foundation
- all features consistent with historic setting + materials

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1 North Street, Brookeville	Meeting Date:	09/24/08
Applicant:	Katherine Farquhar (Miche Booz, Architect)	Report Date:	09/17/08
Resource:	Outstanding Resource Brookeville Historic District	Public Notice:	09/10/08
Review:	HAWP	Tax Credit:	No
Case Number:	23/65-08E	Staff:	Anne Fothergill

PROPOSAL: Alterations to side addition

STAFF RECOMMENDATION

Staff recommends that the HPC approve this HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Brookeville Historic District
STYLE: Vernacular
DATE: c. 1880

This is a two-story, gabled farmhouse with center hall plan, typical of the vernacular residential building forms of the period. Ell-shaped in plan, the frame house is clad with German siding and has a standing seam metal roof. A one-story frame addition set upon a concrete block foundation and with a porch extension protrudes from the west side elevation of the house and a rear addition was constructed in 2007. The property is located behind the historic schoolhouse at the terminus of North Street. The property was subdivided in 2005 and a new house was constructed on the adjacent property.

PROPOSAL

Part of the 1970s left side addition was destroyed by a tree in June 2008. The applicant proposes to rebuild the addition on the existing foundation and with the same footprint. The applicant proposes not to rebuild the left side section as a screened porch but to enclose the entire addition. There will be a new rear dormer with windows and there will be a new back door with steps to grade in the same general location as the existing door and steps. The materials are wood siding to match the existing house, wood trim, and wood windows and door with simulated divided lights. There will be a new standing seam metal roof to match the existing roof that was destroyed.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Brookeville Historic District, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)* are to be utilized as guidelines to assist the Commission in developing their decision. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant is essentially proposing to make a minor change to a non-historic addition -- enclosing an existing 1970s screened porch without making any expansions to this section of the house. This proposal is complicated slightly by the destruction caused by the tree and the subsequent need to demolish what has been damaged and to rebuild the side addition. The rebuilt addition will be the same size and differentiated from the historic block, especially with the proposed vertical wood trim board as a demarcation of old and new. The proposed materials are appropriate for this resource. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.

A



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850
240.777.6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

AP# 494614

Contact Person: Katherine Farquhar

Daytime Phone No.: 301 633 1122

Tax Account No.: 03484187

Name of Property Owner: Katherine Farquhar Daytime Phone No.: 301 633 1122

Address: 1 North St. Brookeville MD 20833
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 1 Street: North Street

Town/City: Brookeville Nearest Cross Street: Market Street

Lot: _____ Block: _____ Subdivision: Powers Woods

Liber: 26565 Folio: 123 Parcel: Two (00732192)

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: _____

1B. Construction cost estimate: \$ 150-200K

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches n/a

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

7/3/08 (3)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

- o 1880's 2-storey frame farmhouse in historic Brookville
- o surrounded on 2 sides by conservation easement, forest.
- o 1970's wing destroyed by falling Linden tree on June 4 2008.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

- o replace destroyed 2-storey wing (16'x12') on existing cinderblock foundation
- o all features consistent with historic setting + materials

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

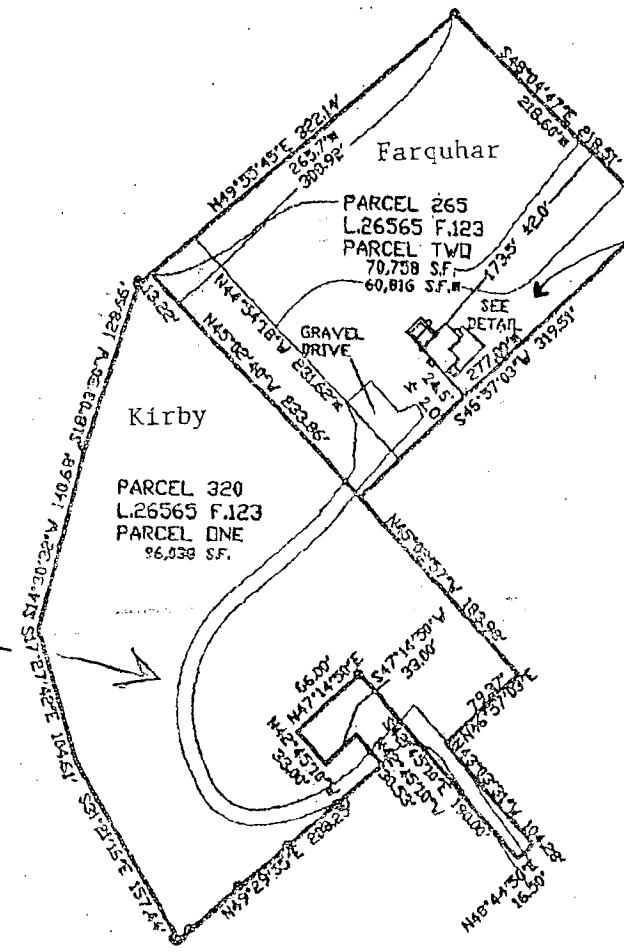
5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the

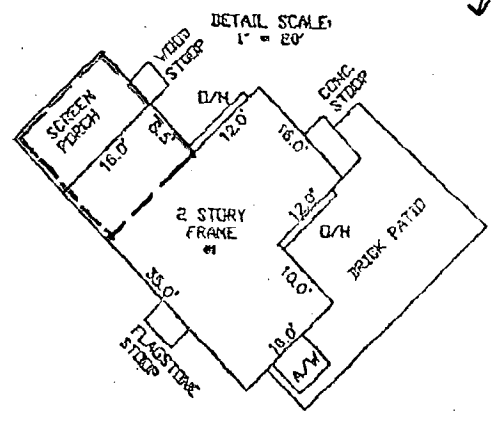
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Katherine Farquhar One North Street Brookeville MD 20833	
Adjacent and confronting Property Owners mailing addresses	
Jim + Brenda Albus Two North Street Brookeville MD 20833	
Teresa Meeks Fred Teal 9 North Street Brookeville MD 20833	
Town of Brookeville Brookeville Academy P.O. Box 67 Brookeville MD 20833	
M-NCP + P Comm. 8787 Georgia Ave. Silver Spring MD 20910	

"Exhibit A"



2007 ADDITION NOT SHOWN
(SEE ATTACHED DWGS)



"Meandering driveway"

As Per January 14, 2005 Schedule A Deed Description Part of Tax Map HUI21, Parcel P265 Prepared by A.E.S. Associates.
This property benefits from a 20' r/w recorded in L2022 F.485

Date: 2-8-05 Scale: Dm:
Plat Book:
Plat No.: NO TITLE REPORT FURNISHED
Work Order: 05-1410
Address: 1 NORTH STREET
District: 8
Jurisdiction: MONTGOMERY COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

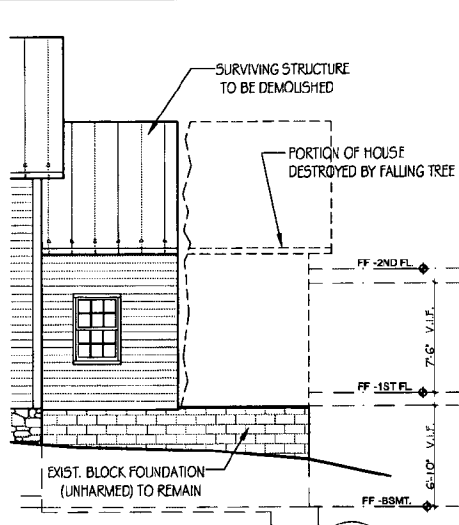
Richard W. Ash

LOCATION DRAWING
PARCEL 265
SER 26565, FOLIO 123

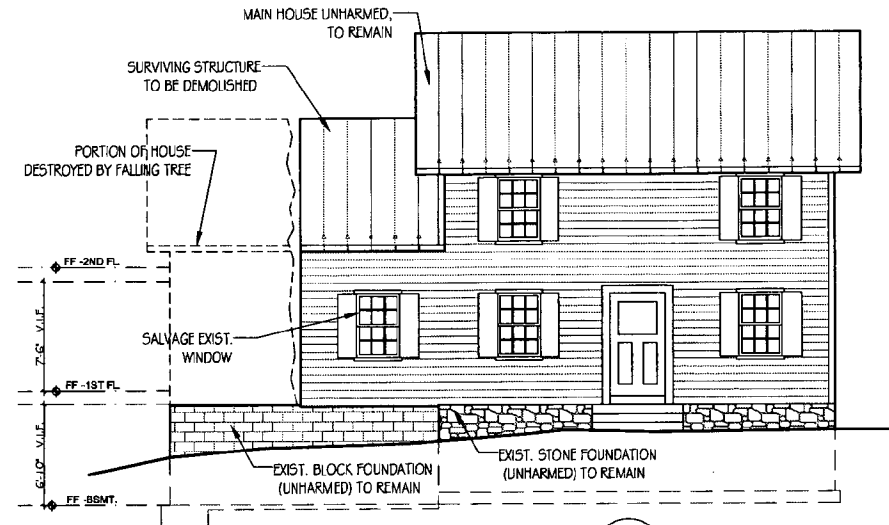
Meridian Surveys, Inc.
811 Russell Avenue
Suite #303
Gaithersburg, MD 20879
(301) 721-9200



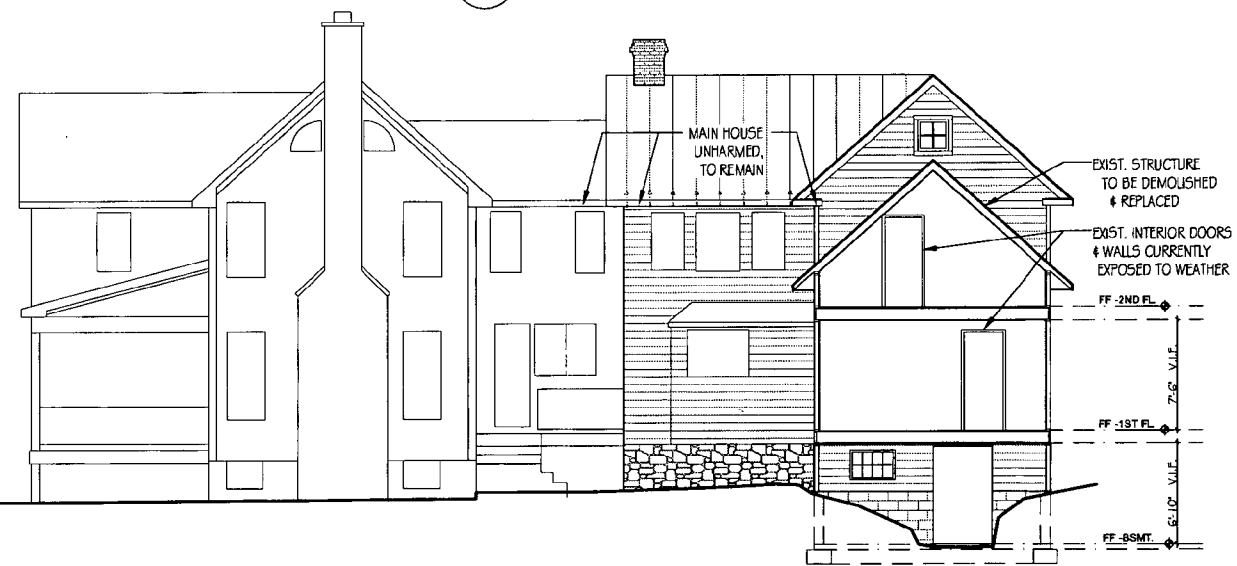
NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This



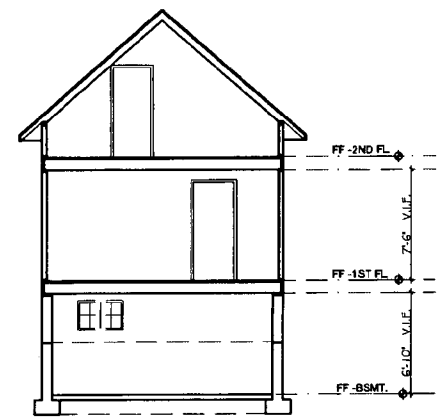
1 "AS-IS" REAR COURT ELEV.
 AB2 SCALE: 1/8"=1'-0"



2 "AS-IS" FRONT ELEV.
 AB2 SCALE: 1/8"=1'-0"



3 "AS-IS" NORTH SIDE ELEV.
 AB2 SCALE: 1/8"=1'-0"



4 "AS-IS" CROSS SECTION
 AB2 SCALE: 1/8"=1'-0"

MICHE BOOZ
 ARCHITECT
AB2
 208 Market St
 Brookville, Maryland 20833
 (301) 774-0911
 Fax: 774-1908

Project:
FARQUHAR RENOVATION

1 NORTH STREET
 BROOKVILLE, MD 20833
 Montgomery County

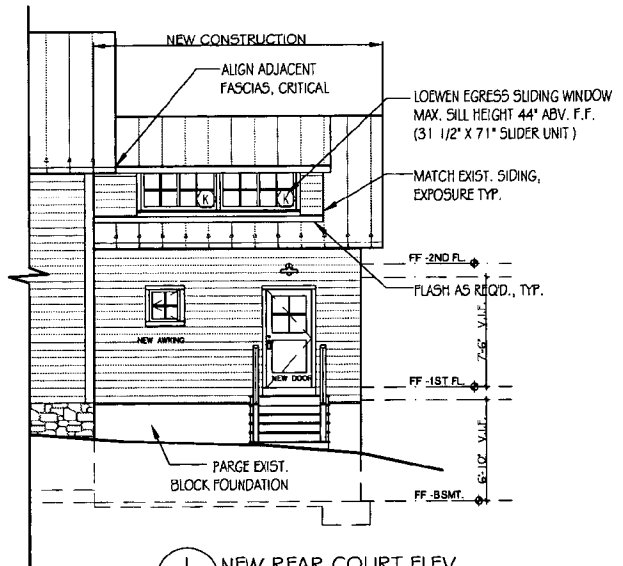
Drawing:
 AS-IS ELEVATIONS

Notes:
 AS BUILTS SCHEMATICS AUG 08
 TODAY'S DATE 2 SEPT 08

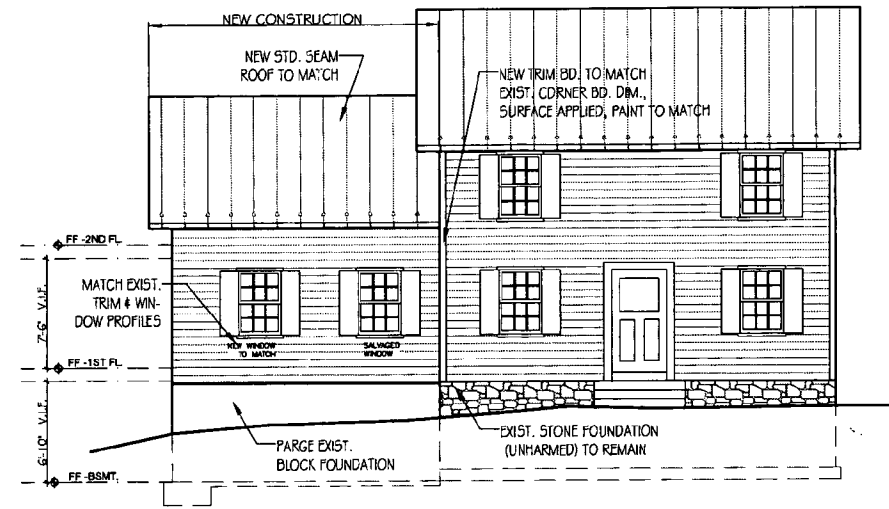
PRINT AT 100% TO KEEP SCALE AS NOTED

NOT FOR CONSTRUCTION
 SCHEMATIC DRAWINGS - SEPTEMBER 2, 2008

8



1 NEW REAR COURT ELEV.
A4 SCALE: 1/8" = 1'-0"



2 NEW FRONT ELEV.
A4 SCALE: 1/8" = 1'-0"



3 NEW NORTH SIDE ELEV.
A4 SCALE: 1/8" = 1'-0"

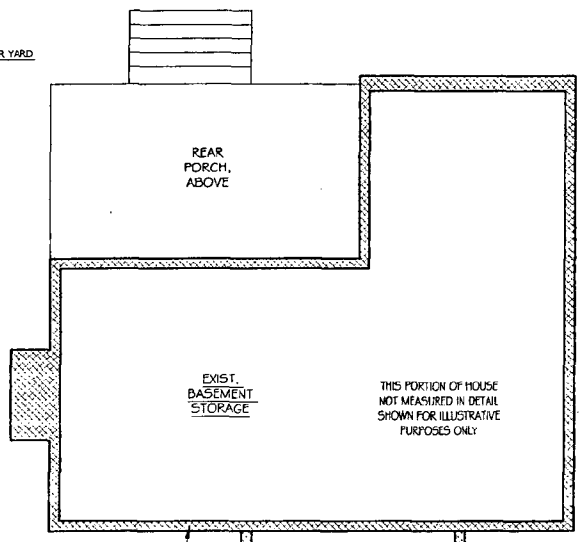
MICHE BOOZ	
ARCHITECT	
A4	
208 Market St Brynawille Maryland 20833 301.774.6811 fax: 774.1908	
Project:	
FARQUHAR RENOVATION	
1 NORTH STREET BROOKVILLE, MD 20833 Montgomery County	
Drawing:	
PROPOSED ELEVATIONS	
Date:	
AS BUILT SCHEMATICS AUG 08	
TODAY'S DATE 2 SEPT 08	

PRINT AT 100% TO KEEP SCALE AS NOTED

6

NOT FOR CONSTRUCTION
SCHEMATIC DRAWINGS - SEPTEMBER 2, 2008

REAR YARD



EXISTING HOUSE FOUNDATIONS

REAR COURT

4 AB2

EXIST. 24" W x 40" H CONC. ABUTMENTS

REPLACE EXC. HOPPER

EXIST. CELLAR SLAB ON GRADE 6'-10" TO US JOISTS

EXG. 48" DOOR

EXIST. WASTE LINE

EXG. 32" OPENING

EXIST. BASEMENT SLAB ON GRADE

EXIST. 18" STONE FOUNDATIONS

16'-0" EXIST. FOOTPRINT

16'-0" EXIST. FOOTPRINT

18'-0" EXIST. FOOTPRINT

FRONT

26'-4" EXIST. FOOTPRINT

EXIST. 8" BLOCK FOUNDATION WALL ON CONC. FOOTINGS TO REMAIN, V.I.F.

1 "AS-IS" BSMT. PLAN
ABI SCALE: 1/8" = 1'-0"

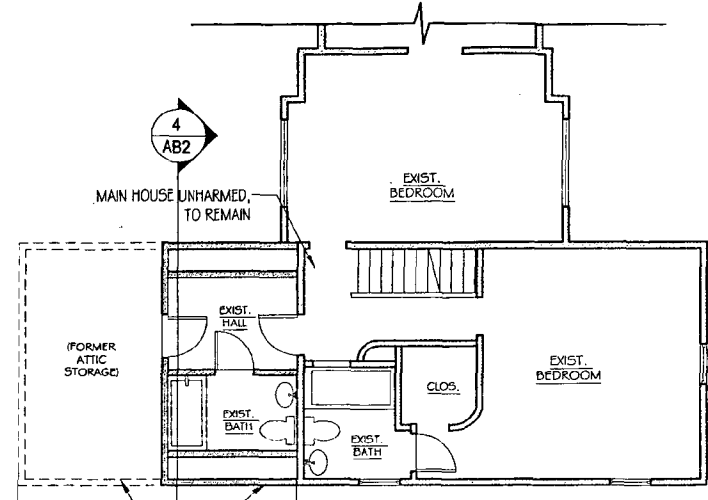
APPX NUTN

MICHE BOOZ
ARCHITECT
AB1
208/Martel St
Brookville
Maryland 20833
(301)774-6911
fax: 774-1908

Project:
FARQUHAR RENOVATION
1 NORTH STREET
BROOKVILLE, MD 20833
Montgomery County

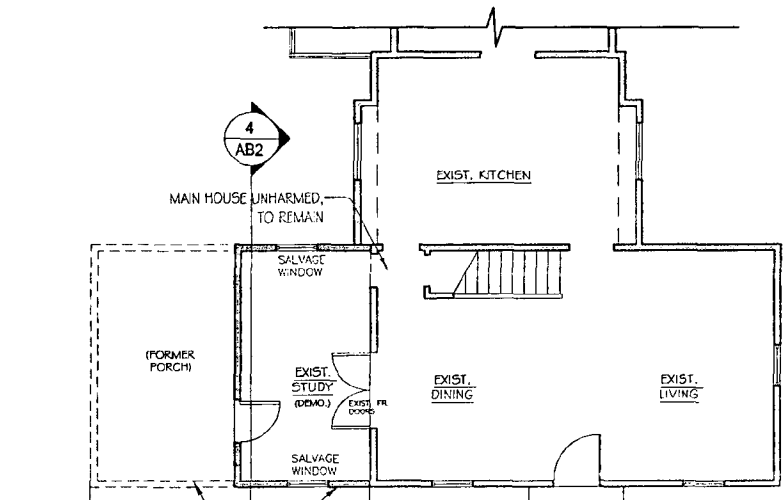
Drawings:
"AS-IS" PLANS

4 AB2



3 "AS-IS" 2nd FL. PLAN
ABI SCALE: 1/8" = 1'-0"

4 AB2



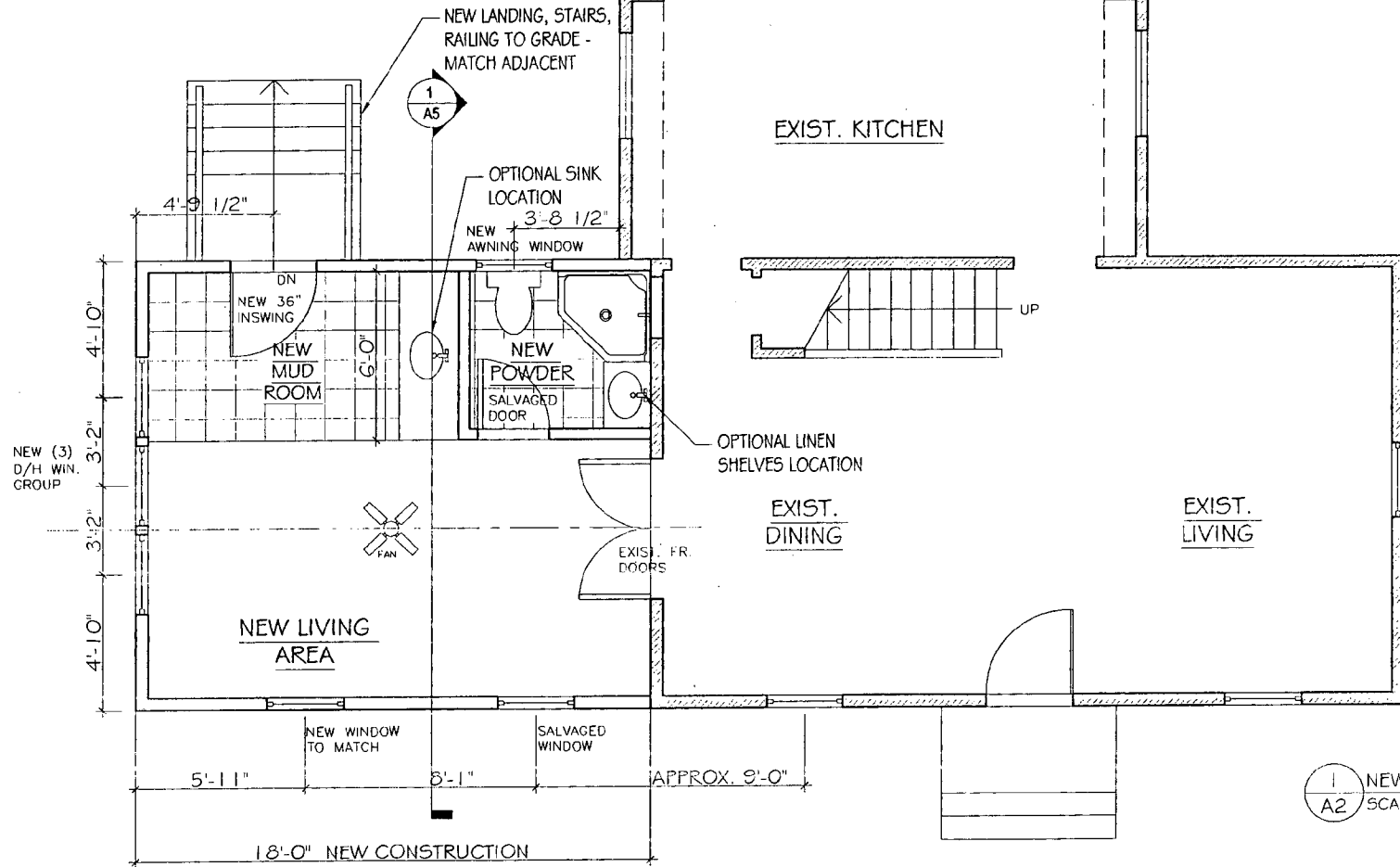
2 "AS-IS" 1st FL. PLAN
ABI SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION
SCHEMATIC DRAWINGS - AUGUST 5, 2008

10

Project:
FARQUHAR RENOVATION
 1 NORTH STREET
 BROOKEVILLE, MD 20833
 Montgomery County

Drawings:
 PROPOSED FLOOR
 PLANS



1
 A2 NEW 1st FLOOR PLAN
 SCALE: 1/4"=1'-0"

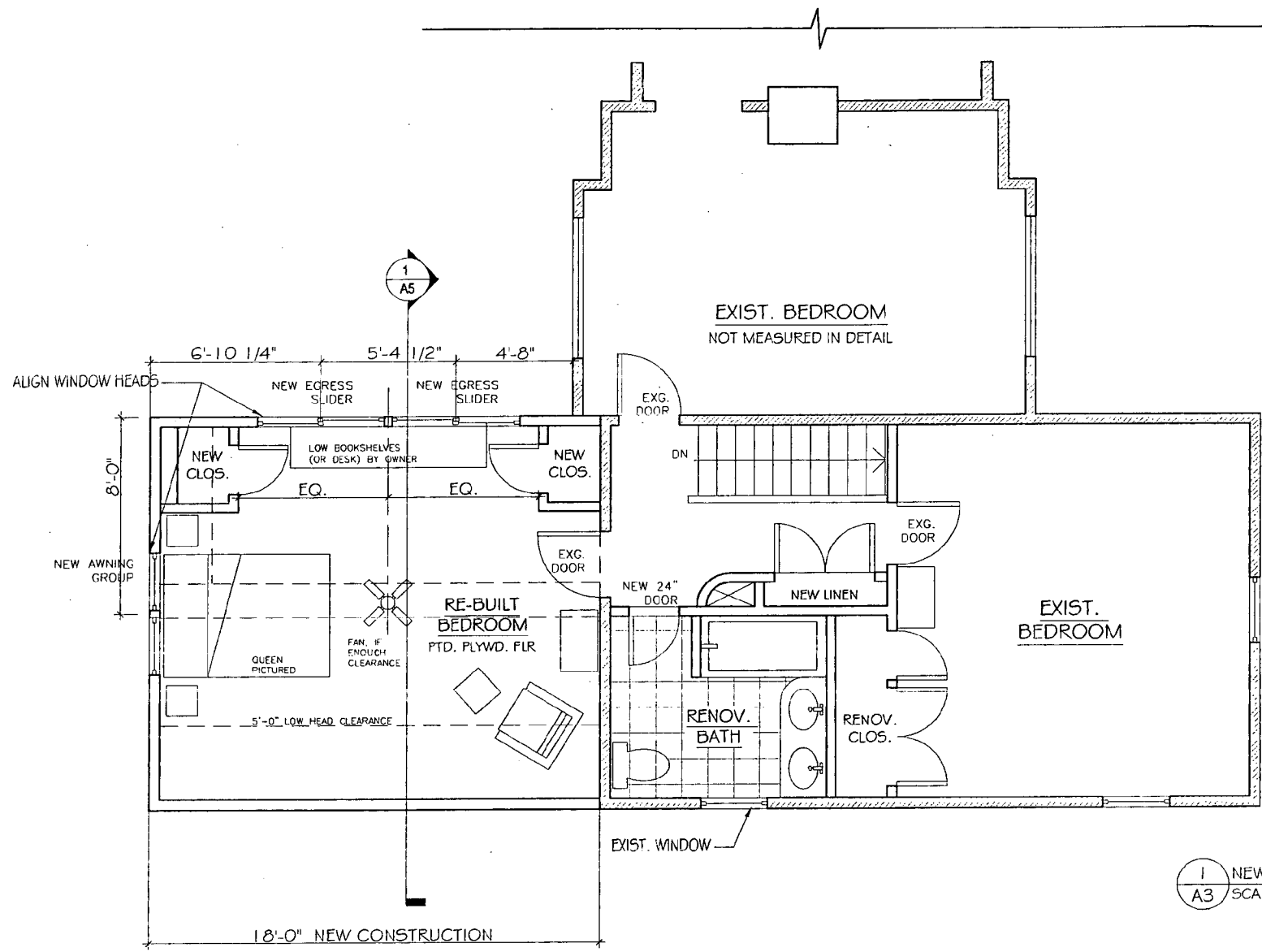
NOT FOR CONSTRUCTION
 SCHEMATIC DRAWINGS - AUGUST 5, 2008

FRONT AT 100% TO KEEP SCALE AS NOTED

11

Project:
FARQUHAR RENOVATION
 1 NORTH STREET
 BROOKEVILLE, MD 20833
 Montgomery County

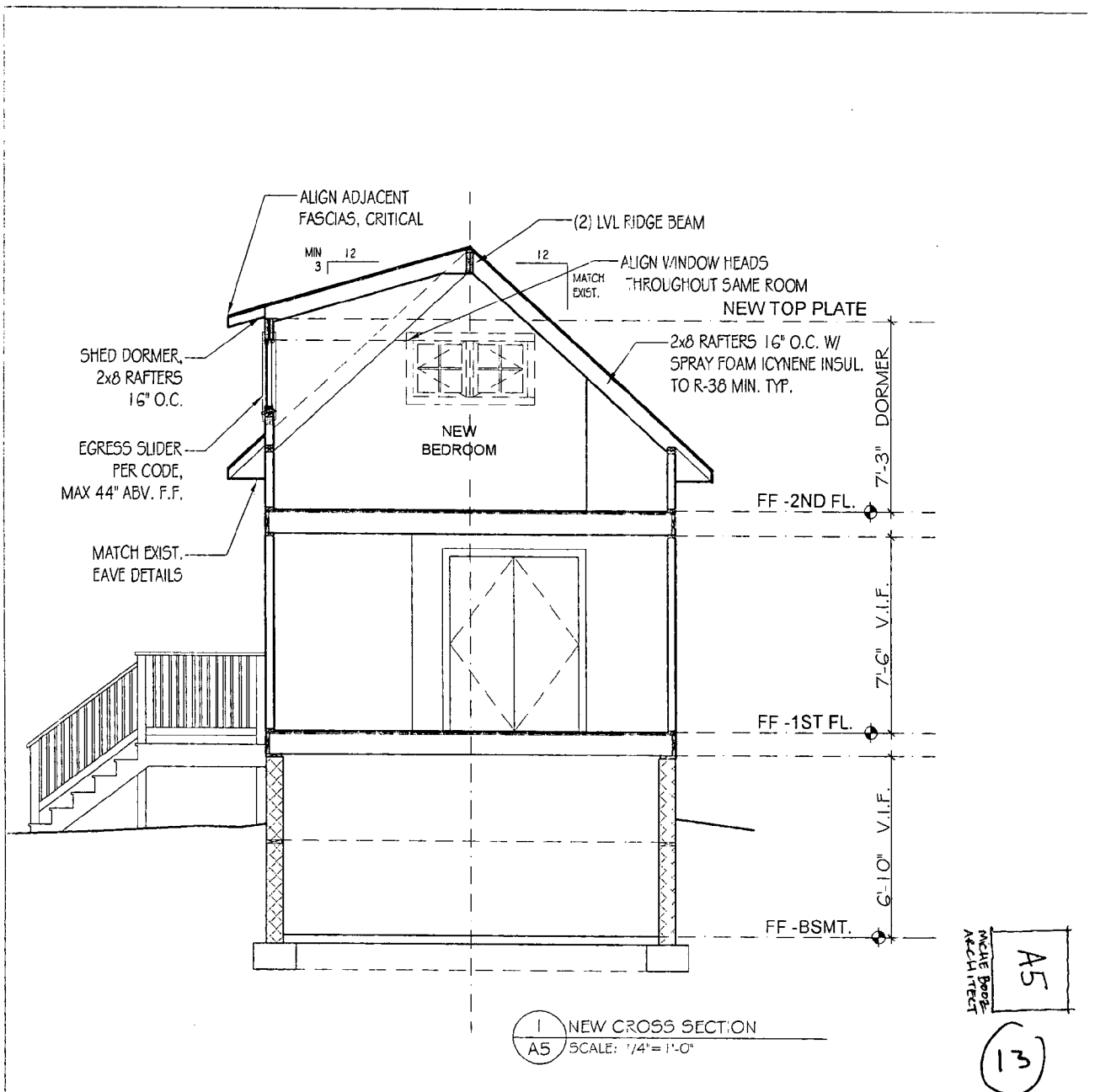
Drawings:
 PROPOSED FLOOR
 PLANS



1
 A3 NEW 2nd FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PRINT AT 100% TO NEXT SCALE AS NOTED

NOT FOR CONSTRUCTION
 SCHEMATIC DRAWINGS - AUGUST 5, 2008



PRINT AT 100% TO KEEP SCALE AS NOTED

A5
 MCHIEF ARCHITECT
 BOB

13

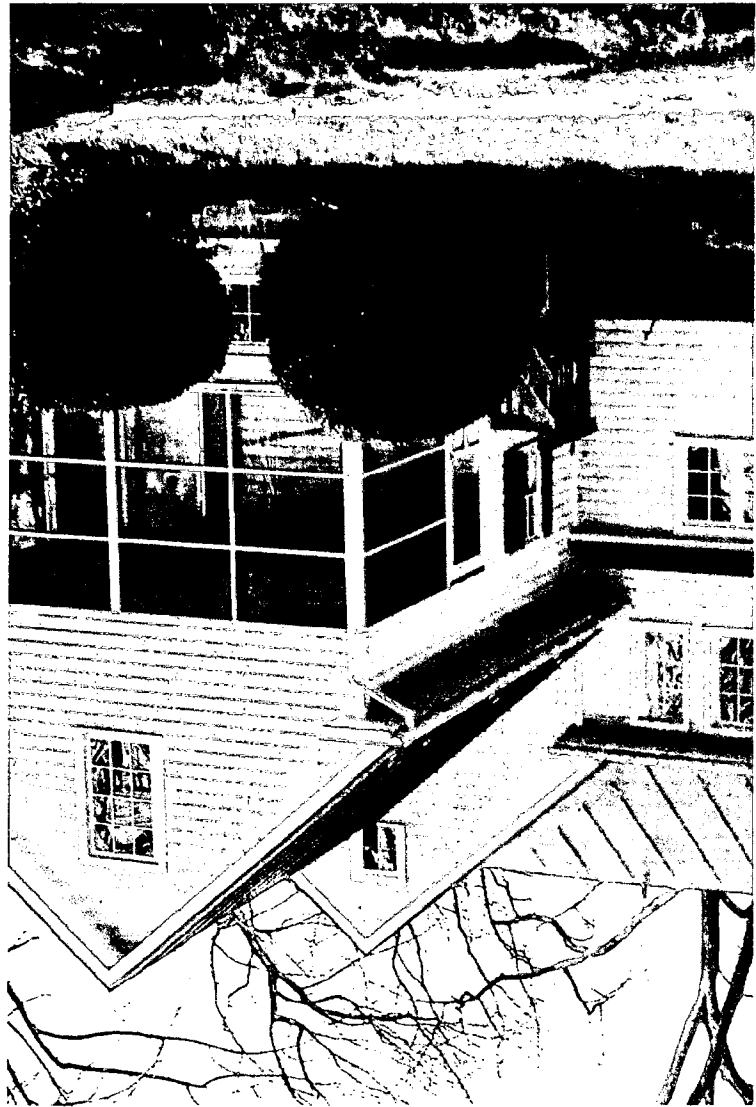


SCREEN PORCH PRIOR TO SPRING, 2009

FRONT ELEVATION - CURRENT.



SCREEN PORCH 3
REAR/NORTH SIDE
PRIOR TO STORM.





REAR COURT VIEW - CURRENT.

Before tree fell



After



Before



Before (rear)





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The Gazette

Wednesday June 11, 2008

OLNEY

25 cents www.gazette.net

A safe haven in Boyds



J. ADAM FENSTER/THE GAZETTE

Susan Hagood, a wildlife issues specialist with the Humane Society of the United States, carries a box turtle that was relocated from the Intercounty Connector's path to a property in Boyds.

Turtles in ICC path get second chance

BY MEGHAN TIERNEY
STAFF WRITER

The turtles came to Boyds by car, safely nestled in plastic bins filled with leaves and twigs to be carried to their new digs—two 1-acre pens in secluded woods. They will be in the pens for less

than two years, but as the restless reptiles will soon learn, you can't go home again.

The roughly 40 Eastern box turtles relocated last week lost their habitat to the Intercounty Connector, a controversial 18-mile toll road under construction that will connect Interstate

270 in Gaithersburg to Interstate 95 in Laurel.

But the loss will not be in vain. They are now part of a study by the Humane Society of the United States that looks at whether the species, which instinctive-

See **TURTLES**, Page A-9

Leggett gives Pepco a B-plus for storm response

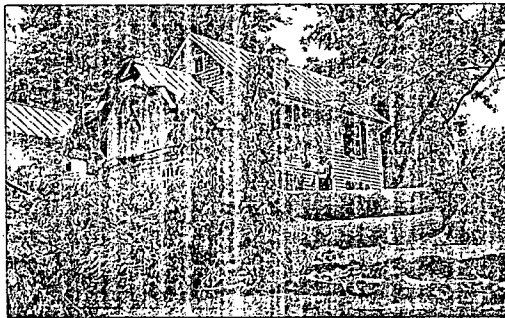
As many as 70,000 in county without power at peak

BY GAZETTE STAFF

County Executive Isiah Leggett gave Pepco a B-plus in its response to the power outages last week from the severe thunderstorm that plowed through the county.

Most of the 70,000 customers in Montgomery County who lost their power had it back within 48 hours, said Clay Anderson, a Pepco spokesman. Some had been restored just in time for another severe storm on Saturday. Allegheny Power and Baltimore Gas and Electric also had thousands of outages in the county.

See **WEATHER**, Page A-14



CHRIS ROSS/THE GAZETTE

The home of Brookeville Town Commissioner Katherine Farquhar was damaged by a large tree during last week's storms.

Water project moves forward

Three-phase construction expected to be finished in 2010; Laytonsville residents encouraged to register early

BY PATRICIA M. MURRET
STAFF WRITER

For nearly 20 years, Laytonsville Elementary School students have relied on bottled water to drink and wash their hands. But Laytonsville life is about to change: after 10 years of planning, the town is getting public water.

"I was on the Town Council when the first letter of interest was generated by the mayor more than 20 years ago, so I remember quite well the effort to get the county to look at the issues," said longtime resident Phyllis Sterling.

See **WATER**, Page A-6

Job-seeking teens have the summertime blues

BY C. BENJAMIN FORD
STAFF WRITER

In an unusually tight summer job market, employers are turning to older workers for positions that traditionally went to young people.

"It's really hard for incoming college students to get jobs," said Christina Roa, 18, of Potomac. "They're saying they want more adults doing it. The adults are taking over the jobs that used to go to the teenagers."

With the economy in decline, teenagers and employers say jobs are out there, but landing

See **JOBS**, Page A-29

LOOKING FOR AN ANSWER

Brookeville residents urge County Councilman Michael J. Knapp to help with bypass.

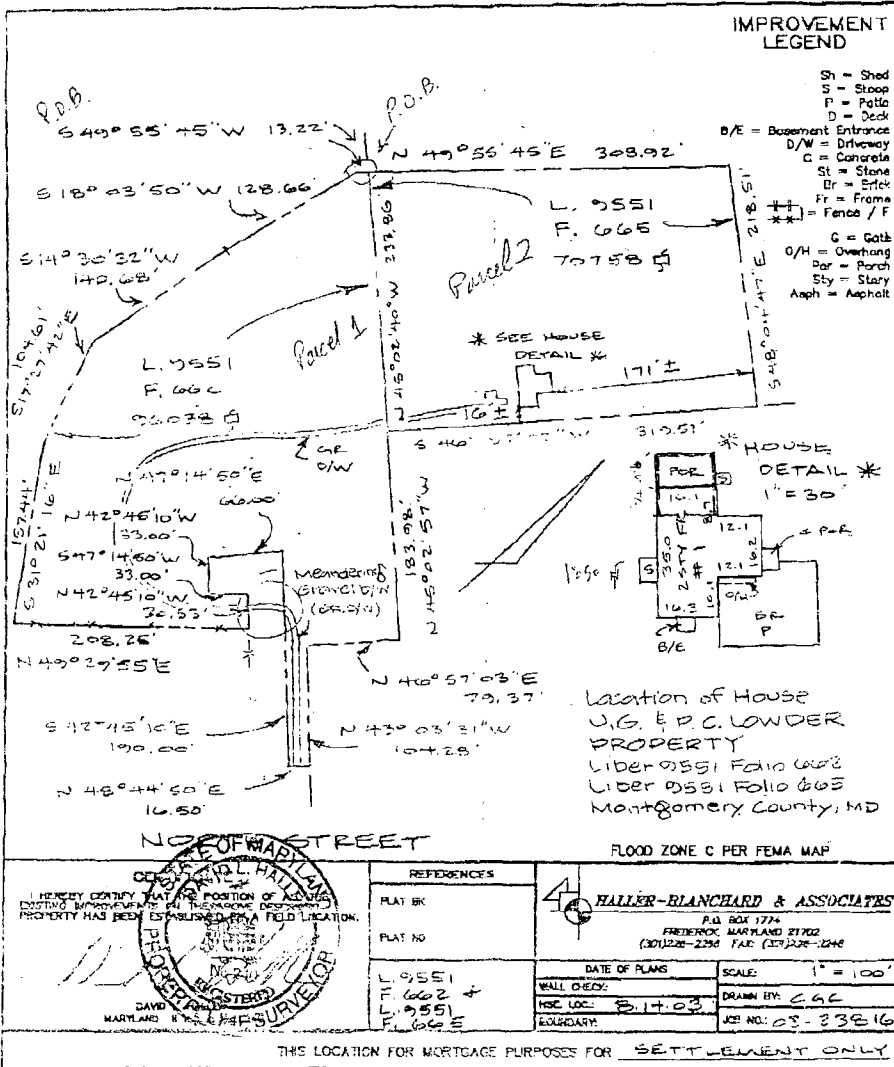
See story on Page A-7.



CASE NO. 1-17627-03

NOTE: THIS LOCATION IS VALID FOR 180 DAYS FROM THE DATE ON THE PLAN.

NOTE: THIS LOCATION IS FOR THIS PURPOSE ONLY - NOT TO BE USED FOR DETERMINING PROPERTY LINES. PROPERTY CORNER MARKERS NOT GUARANTEED BY THIS LOCATION



NOTE: ADDRESS
 MATTHEW McREARD

2/1/08/2006

