



205 Market Street
Brookville

2009 Prelim
23/05

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|---|-----------------------|-----------------|
| Address: | 205 Market Street, Brookeville | Meeting Date: | 8/12/09 |
| Applicant: | Duane and Sandra Heiler | Report Date: | 8/5/09 |
| Resource: | Outstanding Resource Brookeville Historic District | Public Notice: | 7/29/09 |
| Review: | Preliminary Consultation | Tax Credit: | None |
| Case Number: | N/A | Staff: | Anne Fothergill |
| PROPOSAL: | Side addition | | |

STAFF RECOMMENDATION

Staff recommends that the applicant do further research and make any revisions based on the HPC's comments and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Brookeville Historic District
STYLE: Federal
DATE: c. 1780

Excerpt from Places in the Past:

The *Bentley House* at 205 Market Street is best known as a refuge for President Madison and his staff during the War of 1812. For two days while the British invaded and occupied Washington, in 1814, President Madison conducted the business of the Federal government from the Bentley residence. Thereafter, Brookeville was remembered as the nation's capital for a day.

PROPOSAL

The applicants are proposing to construct an addition at the rear left (west) side of the house extending off an existing kitchen ell. The addition will be 14.5' wide x 8' deep and 11.5' tall. The proposed materials for the addition are painted brick to match the house, one wood window with true divided lights (reused from existing wall), one wood plank door, a standing seam metal roof, and copper gutters. The applicants have provided physical and anecdotal evidence showing that there was an attached service building in this location at one time (see Attachment B in Circle 8). Plans and photos of existing conditions are in Circles 9-18.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal changes to its distinctive materials, features, spaces, and spatial relationships.

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

The applicants have done a lot of commendable research to try and determine the construction date, location, dimensions, and materials of the earlier side addition. The anecdotal and physical evidence is helpful but without a historic photo, staff looks at this as a proposed side addition that is based on, but not a reconstruction of, an earlier massing which may have been constructed at the same time as the kitchen ell in 1820.

Overall, the proposed addition is small and simple but it does come off the side of the house rather than the rear and that is generally discouraged by the HPC. In this case, since there is evidence of an earlier room in this location, the Commission may support an addition there.

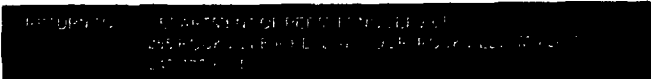
At this Preliminary Consultation, the HPC should provide the applicants feedback on:

- a side addition to this house in general
- the dimensions/proportion of the addition
- the materials of the addition—is brick appropriate?
- the location and treatment of window and door openings

Finally, the Commissioners may have other suggestions of research methods for the applicant to explore to try and determine the exact construction date and dimensions of this service building so that the applicants can continue to do research if recommended.

STAFF RECOMMENDATION

Staff recommends that the applicants do further research and make any revisions based on the HPC's comments.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SANDRA HEILER

Daytime Phone No.: 301-570-0837

Tax Account No.: 025 30-0482

Name of Property Owner: DUANE A. & SANDRA L. HEILER Daytime Phone No.: 301-570-0837

Address: 205 MARKET ST. BROOKVILLE MD 20833
Street Number City State Zip Code

Contractor: OAK GROVE RESTORATION Phone No.: 301-948-6412

Contractor Registration No.: MD CLASS A CONTRACTOR'S LIC. #15306756

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: NORTH

Lot: Block: Subdivision:

Liber: 5581 Folio: 860 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other:

2B. Type of water supply: 01 WSSC, 02 Well, 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra J. Heiler
Signature of owner or authorized agent

7/22/09
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHMENT A

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Addresses of abutting properties:

Merrill and Susan Johnson
202 Market Street
Brookeville, MD 20833

Chris and Andrea Scanlon
203 Market Street
Brookeville, MD 20833

Warren Ferris and
Renee Moneyhun
207 Market Street
Brookeville, MD 20833

Attachment A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It was built about 1780 by Richard Thomas, founder of the town of Brookeville, and is the oldest structure in the town. The west wing was originally a one-story kitchen that was extended in 1820 to the full depth of the rest of the house, and the original kitchen was replaced by the ell at the rear. The second and third floors were added to the west wing in 1840. The house sits on one acre uphill from Market Street. The acre directly behind it is owned by M-NCPPC. The historical significance of the house is based mainly on the visit on August 26 and 27, 1814, of President Madison, who conducted the business of the federal government there after the British occupied the city of Washington and burned the White House.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would restore the service building formerly attached to the west side of the kitchen ell. Originally, the service building probably served as a wood house, since the kitchen had a wood-burning stove. Its new use will be as a pantry. The restored building will be framed and insulated and built on a concrete slab at the site of the original and attached to the kitchen. The exterior will be brick veneer with a standing seam metal roof and a plank door. As much as possible, the location, form, style, and materials of the restored building will carefully follow those of the original structure, restoring the west side of the house to resemble more closely its earlier appearance.

The details of the original structure we describe are based mainly on physical evidence found at the site and conversations with earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s, as well as with local mason David Yinger, who has repaired and restored the masonry at various times since the early 1960s. The attached sheet describes our rationale for dating the original building and determining the details we would adhere to in restoring it.

Attachment B

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was bricked in after the building was lost. This suggests that the original material (which was probably frame) was replaced and, thus, that the missing building was probably attached to the ell when it was constructed in 1820 (a date based on tax records). (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) According to an earlier resident of the house, the service building existed in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, the wall had been bricked in and a metal lintel and exterior door had been installed in the opening between the kitchen and the service building. About 1960, the doorway was closed off with a window and a brick wall. At that time, according to another early resident, a crude cupboard that had been salvaged from the service building was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original service building are visible in the ghost on the exterior of the kitchen ell wall. The restoration would follow those dimensions. Determining the length of the original structure is more problematic. In the absence of contradictory evidence, we have proposed the length of the restored building to be based on the dimensions of service buildings of similar age, width and function found locally. We have used the length of a wall of the same width found at Woodlawn Manor, which was built nearby in the same period. The ratio of width to proposed length is also the same as that of an attached service building at Clivden, although that building is slightly larger.

According to an earlier resident, the original service building had an exterior door, as well as a doorway to the kitchen. The restored structure will have a plank door similar to the original door on the east wing of the house, but smaller, and similar those used on other service buildings of the period. Its placement will be based on the location of old stepping stones in the area. According to the same resident, the walls of the original were brick. The brick veneer of the restored building will be set in the same bond as the kitchen ell and the brick itself will be similar in size a texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back of the service building and the roof material, overhang, and trim will match those of the kitchen ell.

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

Site Plan

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

S 51°52'15"E
55.29'(DEED)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

L.5581 F.860
1.0 AC.± (COMP)

N/F
C. & A. SC
L.29911 F

49°09'00"E
1.55'(DEED)

S 42°32'10"E 143.00'(DEED)

MANOR
BOOK A
18395

GRAVEL DRIVEWAY

N 40°51'00"W 168.79'(DEED)

FRAME
SHED

STONE
PATIO

BRICK
PORCH

2 STORY
BRICK
#205

E.00,81.62 S
57.67'(DEED), 29.72 S

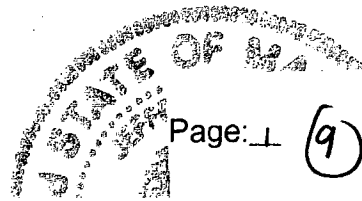
51'±

ASPHALT DRIVEWAY

Applicant: ~~DAVID A. HEILER &~~
SANDER T. HEILER

S 48°20'00"W 173.60'(DEED)

MARKET STREET



OAK GROVE
RESTORATION COMPANY

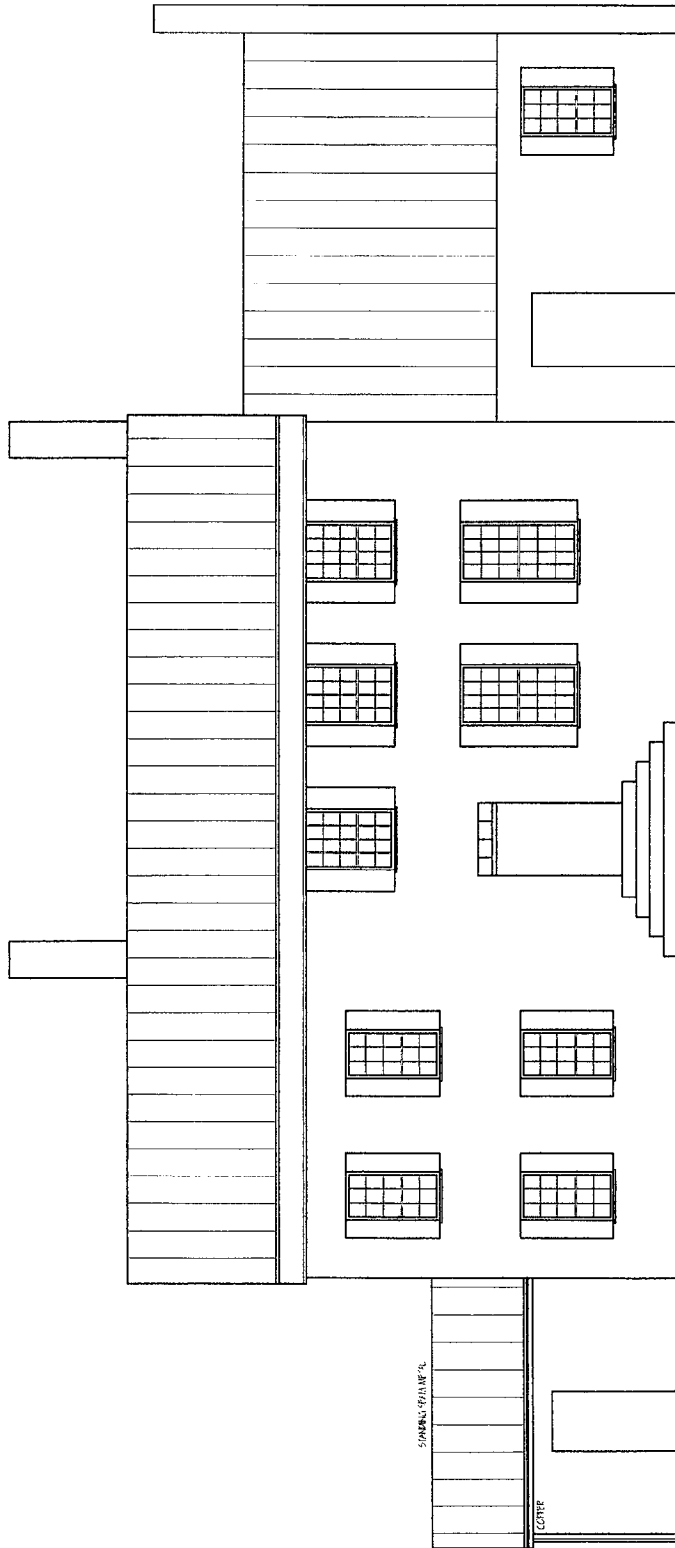
PROJECT
MADISON HOUSE

SCALE 1/8" = 1'-0"

DATE 7/2/09

DESIGNER P. H. HARRIS

NO. 1



SOUTH ELEVATION

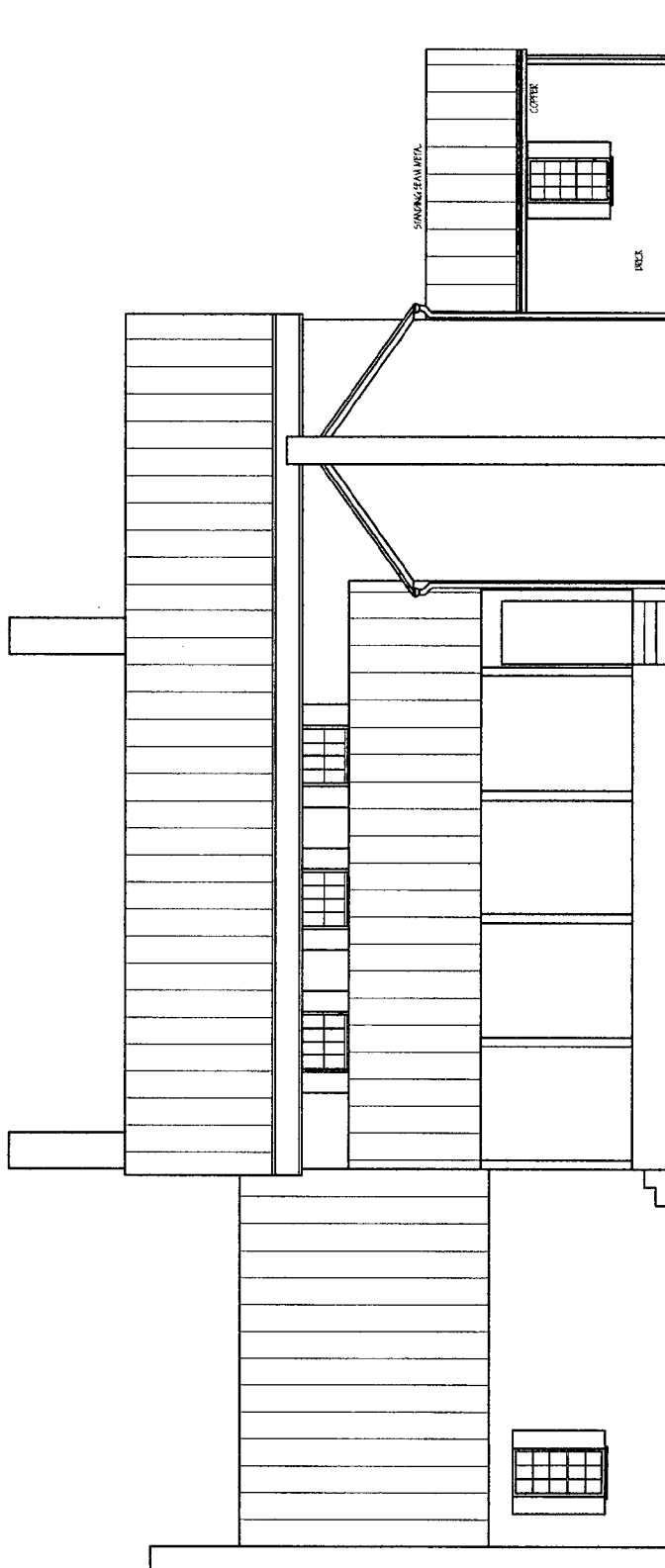
1/8" = 1'-0"



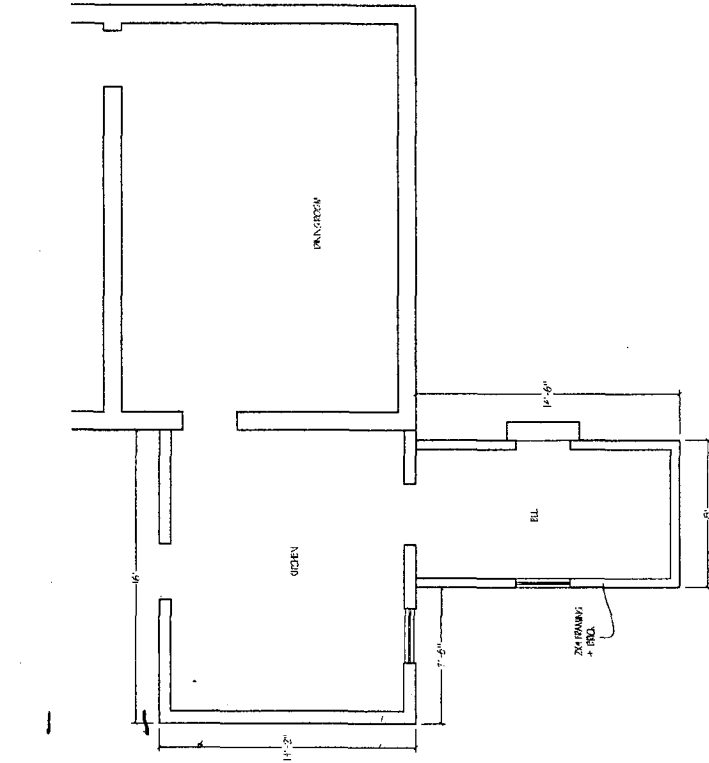
SHEDS' ELEVATION

COVER

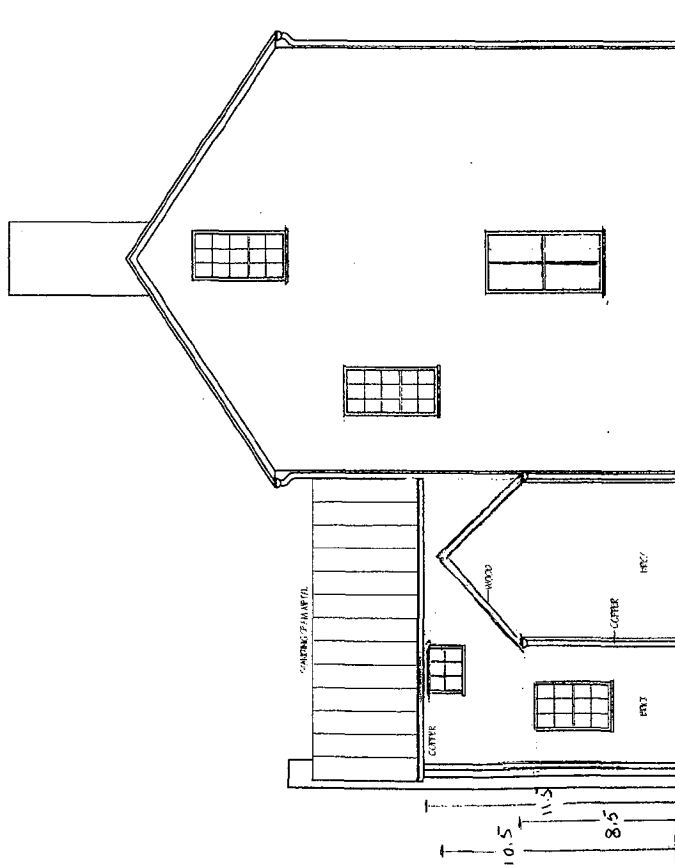
| | | | | | | | | | | | | | |
|-------------------------------|--|---------------|--|--------------------------|--|--------------|--|---------------------|--|----------------------|--|---------|--|
| PROJECT | | MADISON HOUSE | | DRAWING: NORTH ELEVATION | | DATE: 1/2/09 | | SCALE: 1/8" = 1'-0" | | DRAWN BY: D. HARTMAN | | PAGE: 2 | |
| OAK GROVE RESTORATION COMPANY | | | | | | | | | | | | | |



1
2
NORTH ELEVATION
1/8" = 1'-0"



2 PARTIAL FLOOR PLAN
3 1/8" = 1'-0"



1 WEST ELEVATION
3 1/8" = 1'-0"

Materials Specifications

Brick to match kitchen ell with standing seam metal roof.

Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240 777 6270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: SANDRA HEILER

Daytime Phone No.: 301-570-0837

Tax Account No.: 125 30-0482

Name of Property Owner: DVANE A. & SANDRA I. HEILER Daytime Phone No.: 301-570-0837

Address: 205 MARKET ST. BROOKVILLE MD 20833
Street Number City State Zip Code

Contractor: OAK GROVE RESTORATION Phone No.: 301-948-6412

Contractor Registration No.: MD CLASS A CONTRACTOR'S LIC. #15306756

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: NORTH

Lot: Block: Subdivision:

Liber: 5581 Folio: 860 Parcel:

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1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

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3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra I. Heiler
Signature of owner or authorized agent

7/22/09
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

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Attachment A

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The details of the original structure we describe are based mainly on physical evidence found at the site and conversations with earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s, as well as with local mason David Yinger, who has repaired and restored the masonry at various times since the early 1960s. The attached sheet describes our rationale for dating the original building and determining the details we would adhere to in restoring it.

Attachment B

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was bricked in after the building was lost. This suggests that the original material (which was probably frame) was replaced and, thus, that the missing building was probably attached to the ell when it was constructed in 1820 (a date based on tax records). (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) According to an earlier resident of the house, the service building existed in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, the wall had been bricked in and a metal lintel and exterior door had been installed in the opening between the kitchen and the service building. About 1960, the doorway was closed off with a window and a brick wall. At that time, according to another early resident, a crude cupboard that had been salvaged from the service building was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original service building are visible in the ghost on the exterior of the kitchen ell wall. The restoration would follow those dimensions. Determining the length of the original structure is more problematic. In the absence of contradictory evidence, we have proposed the length of the restored building to be based on the dimensions of service buildings of similar age, width and function found locally. We have used the length of a wall of the same width found at Woodlawn Manor, which was built nearby in the same period. The ratio of width to proposed length is also the same as that of an attached service building at Clivden, although that building is slightly larger.

According to an earlier resident, the original service building had an exterior door, as well as a doorway to the kitchen. The restored structure will have a plank door similar to the original door on the east wing of the house, but smaller, and similar those used on other service buildings of the period. Its placement will be based on the location of old stepping stones in the area. According to the same resident, the walls of the original were brick. The brick veneer of the restored building will be set in the same bond as the kitchen ell and the brick itself will be similar in size and texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back of the service building and the roof material, overhang, and trim will match those of the kitchen ell.

Site Plan

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

L.5581 F.860
1.0 AC.± (COMP)

S 51°52'15"E
55.29'(DEED)

N/E
C. & A. SCAM
L.29911 F.1

S 42°32'10"E 143.00'(DEED)

GRAVEL DRIVEWAY

S 71°00'31.62"E
(DEED), 29.75

N 40°51'00"W 65.76'(DEED)
49°09'00"E
1.55'(DEED)

MANOR
BOOK A
18395

N 40°51'00"W 168.79'(DEED)

FRAME SHED

STONE PATIO

BRICK PORCH

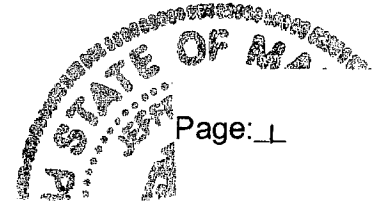
2 STORY
BRICK
#205

ASPHALT DRIVEWAY

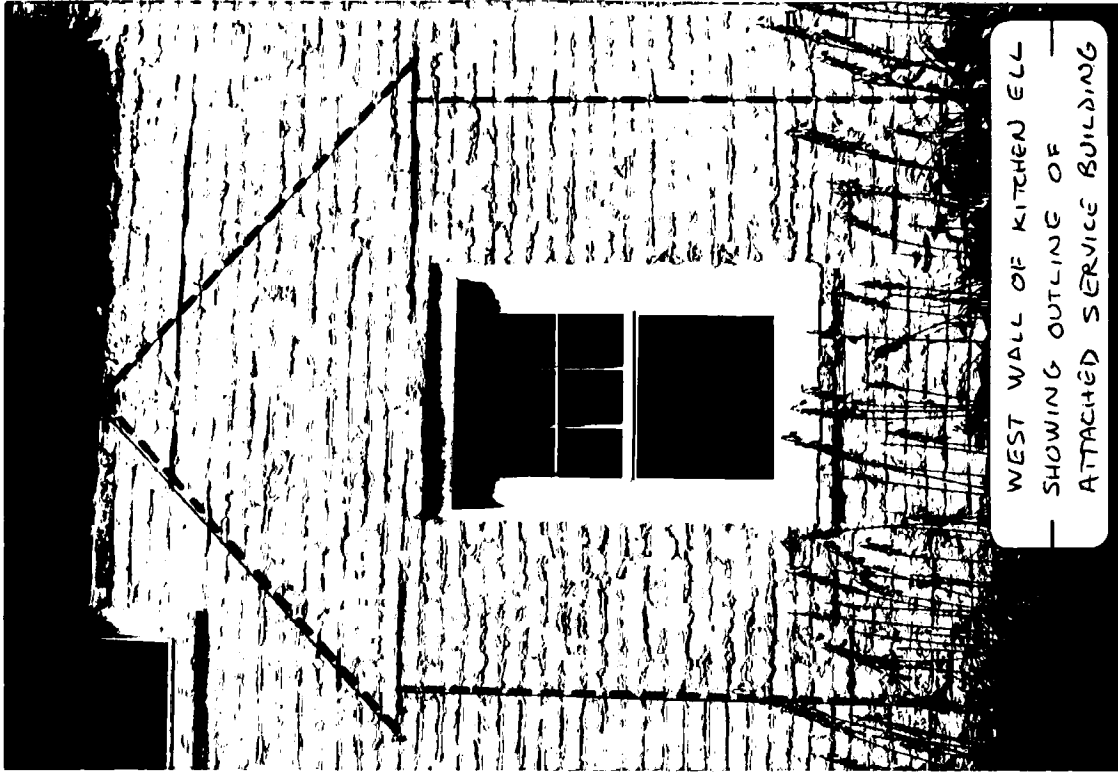
Applicant: DIANE A HEILER &
SANDRA I. HEILER

S 48°20'00"W 173.60'(DEED)

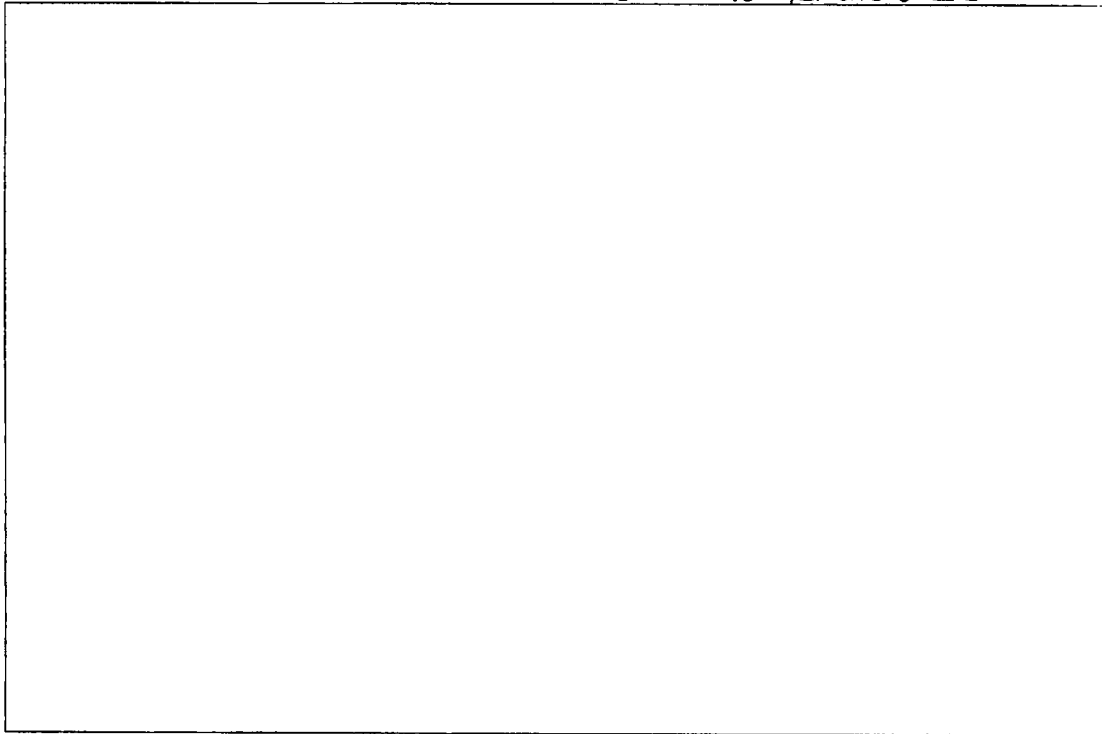
MARKET STREET



Existing Property Condition Photographs (duplicate as needed)



OUTLINE
Detail: GHOST OF EARLIER BUILDING INDICATED BY DOTTED LINE
ON GHOST OF GABLE END SEEN ON KITCHEN ELL



Detail: _____

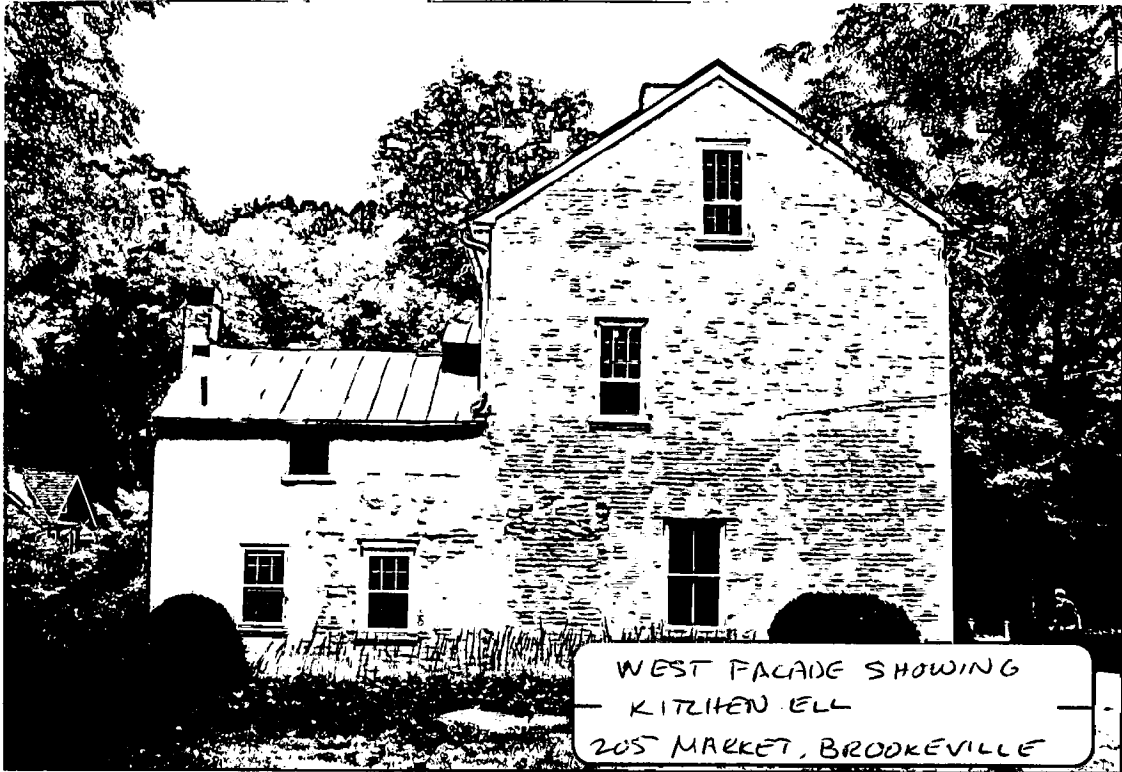
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Merrill and Susan Johnson
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Chris and Andrea Scanlon
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Warren Ferris and
Renee Moneyhun
207 Market Street
Brookeville, MD 20833

Existing Property Condition Photographs (duplicate as needed)



Detail: WEST FACADE SHOWING KITCHEN ELL



Detail: KITCHEN ELL SHOWING GHOST OF GABLE END OF ATTACHED SERVICE BUILDING

Existing Property Condition Photographs (duplicate as needed)

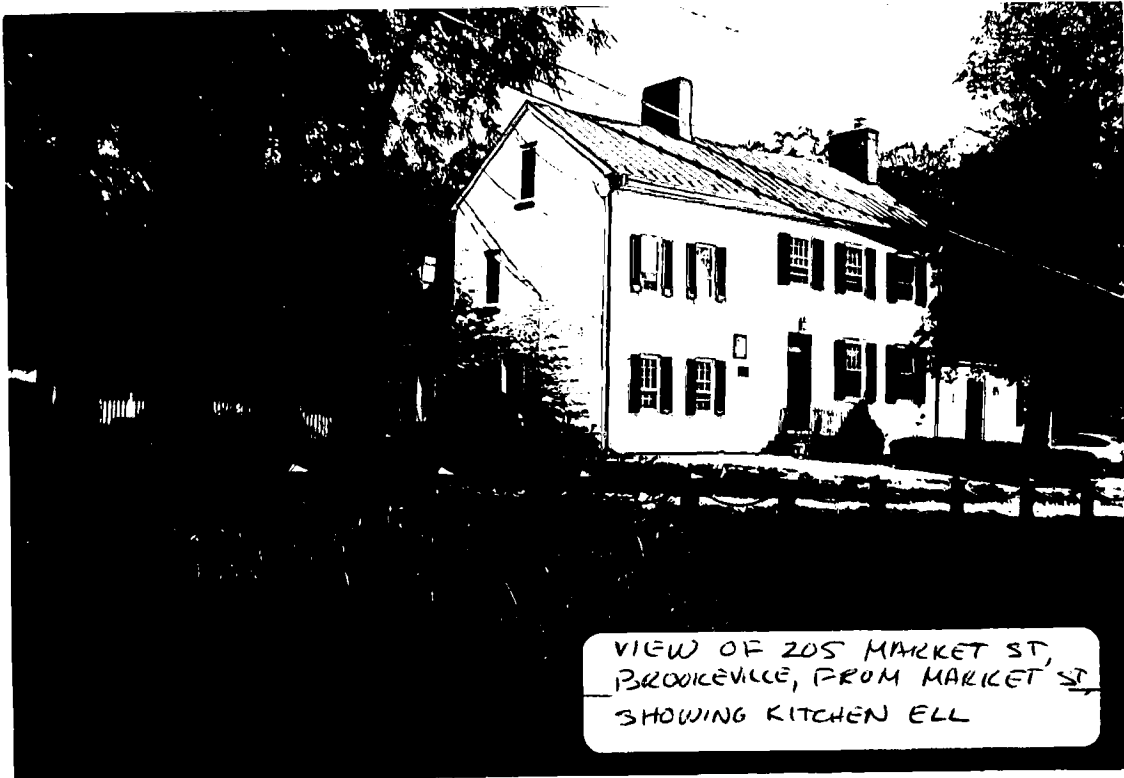


Detail: EAST FACADE



Detail: REAR (NORTH) FACADE SHOWING KITCHEN ELL

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM PUBLIC RIGHT OF WAY SHOWING KITCHEN ELL



Detail: FRONT (SOUTH) FACADE

Materials Specifications

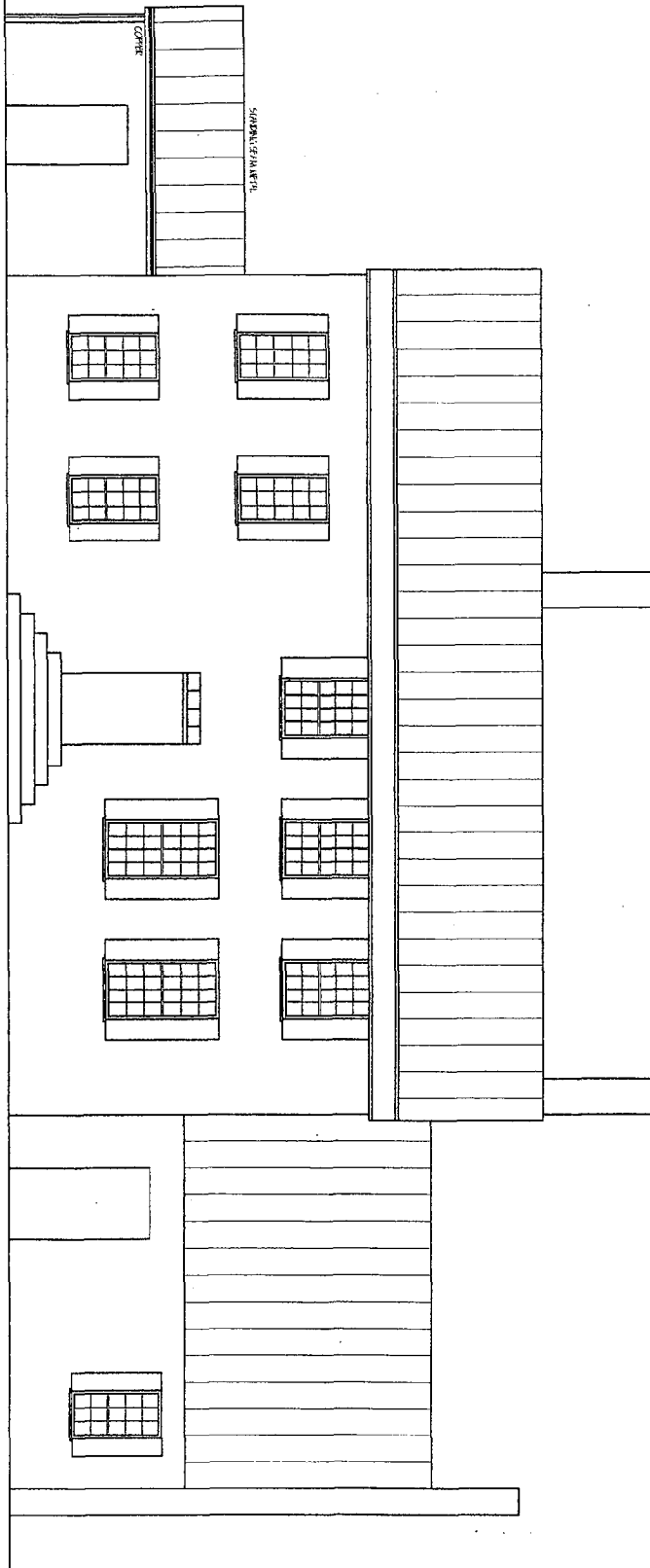
Brick to match kitchen ell with standing seam metal roof.

Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.



SOUTH ELEVATION
1/8" = 1'-0"

OAK GROVE
RESTORATION COMPANY

PROJECT

MADISON HOUSE

NAME: SOUTH ELEVATION

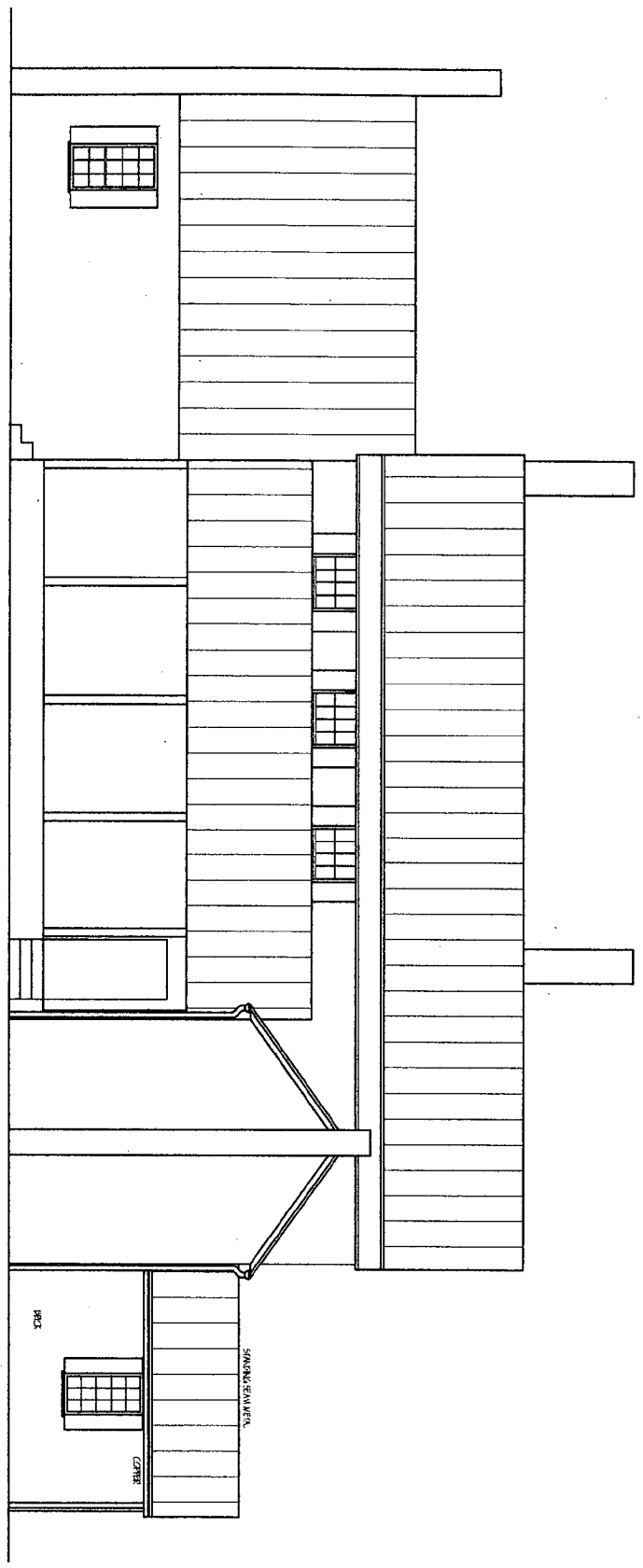
DATE: 11/31/09

SCALE: 1/8" = 1'-0"

DRAWN BY: G. HUPMAN

PAGE: 1

1
2
NORTH ELEVATION
1/8" = 1'-0"



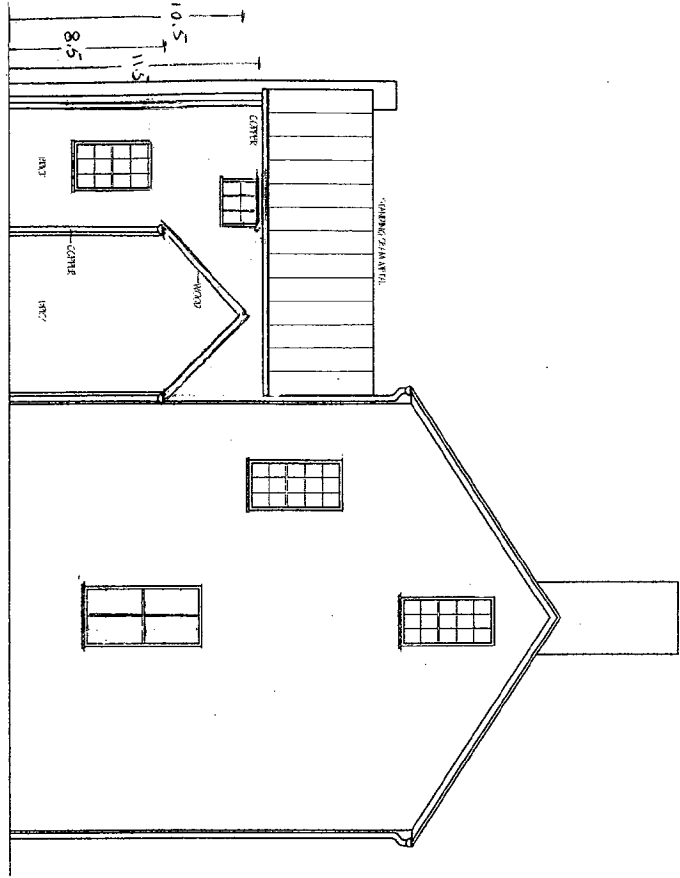
OAK GROVE
RESTORATION COMPANY

PROJECT
MADISON HOUSE

| | | | |
|--------------------------|-------------------|---------------------|---------|
| DRAWING: NORTH ELEVATION | | | |
| DWG NO: 1/2/09 | SCALE: 1/8"=1'-0" | DRAWN BY: C. HERMAN | PAGE: 2 |

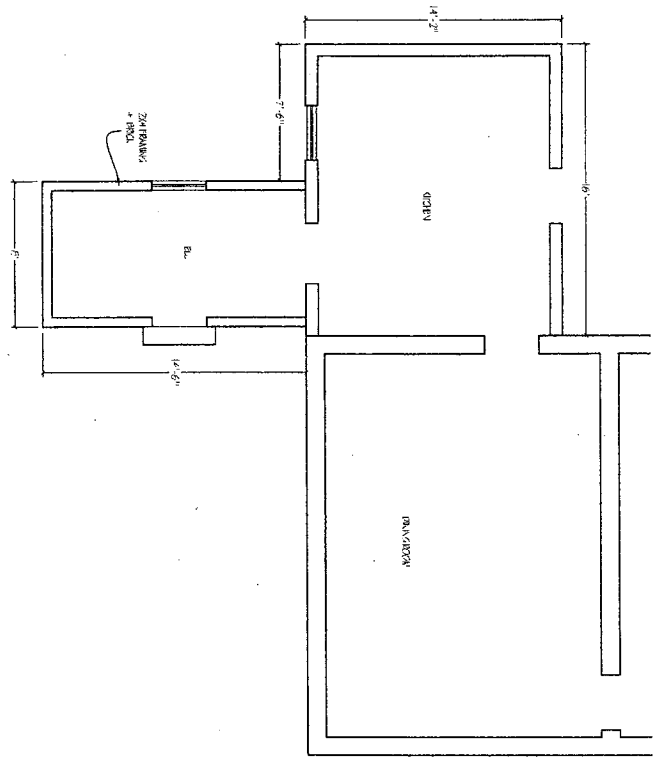
1
3

WEST ELEVATION
1/8" = 1'-0"



2
3

PARTIAL FLOOR PLAN
1/8" = 1'-0"



OAK GROVE
RESTORATION COMPANY

| | | | |
|--|---------------------|-----------------|---------|
| PROJECT | | | |
| MADISON HOUSE | | | |
| DATE: WEST ELEVATION, PARTIAL FLOOR PLAN | | | |
| DATE: 7/2/09 | SCALE: 1/8" = 1'-0" | DRAWN: E. BROWN | PAGE: 3 |

STAFF REPORT SHOULD NOTE DAVID'S FINDING (8')
PLAN PROPOSES 12'

III-B

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 205 Market Street, Brookeville **Meeting Date:** 9/9/09
Applicant: Duane and Sandra Heiler (Miche Booz, Architect) **Report Date:** 9/2/09
Resource: Outstanding Resource **Public Notice:** 8/26/09
Brookeville Historic District
Review: 2nd Preliminary Consultation **Tax Credit:** None
Case Number: N/A **Staff:** Anne Fothergill
PROPOSAL: Side addition

STAFF RECOMMENDATION

Staff recommends that the applicants make revisions based on the HPC's comments and return for a HAWP if appropriate.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Brookeville Historic District
STYLE: Federal
DATE: c. 1780

Excerpt from Places in the Past:

The *Bentley House* at 205 Market Street is best known as a refuge for President Madison and his staff during the War of 1812. For two days while the British invaded and occupied Washington, in 1814, President Madison conducted the business of the Federal government from the Bentley residence. Thereafter, Brookeville was remembered as the nation's capital for a day.

BACKGROUND

The applicants came to the HPC in August 2009 for a Preliminary Consultation. At that time, the HPC requested that the applicants provide more information about when the different sections of the house were constructed. They also encouraged the applicants to do more research to try and date the attached service building and determine its dimensions and materials. The draft transcript is in Circles 27-43.

PROPOSAL

The applicants are proposing to construct an addition at the rear left (west) side of the house extending off an existing kitchen ell. The addition will be 8' wide x 12' long and approximately 14' tall. The proposed materials for the addition are painted brick to match the house, one wood window with simulated divided lights (reused from existing wall), wood shutters and trim, one wood plank door, a standing seam metal roof, and copper gutters. See proposed plans in Circles 17-20.

The applicants have provided a rendering of the morphology of the house (see Circle 16).

information regarding the history of the house and the attached service building that is no longer extant, and examples of other historic houses with side dependencies (see Attachments A, B, C, and D in Circles 7-15). Photos of existing conditions are in Circles 22-26.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal changes to its distinctive materials, features, spaces, and spatial relationships.

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The *Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland* state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

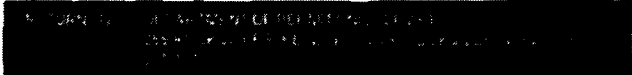
Overall, the proposed addition is small and simple but it does come off the side of the house rather than the rear and that is generally discouraged by the HPC. However, at the first Preliminary Consultation some of the Commissioners indicated that they may support a side addition in this specific case since there is evidence of an earlier attached dependency in this location.

At this 2nd Preliminary Consultation, the HPC should provide the applicants feedback on:

- a side addition to this house in general *TD, LM?, JR, CA, TJ*
- the dimensions/proportion of the addition *OK:TD, LM, JR, TJ, CA*
- the materials of the addition *OK:TD, LM, JR, CA, TJ*
- the location and treatment of window and door openings *?TD MOVE INFO; LM WANTS MORE INFO; JR WORK ON WINDOWS; CA OK, CONCERNED W/ WINDOWS; TJ*

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's comments and return for a HAWP if appropriate.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SANDRA HEILER

Daytime Phone No.: 301-570-0837

Tax Account No.: 025-30-0482

Name of Property Owner: DUANE & SANDRA HEILER Daytime Phone No.: 301-570-0837

Address: 205 MARKET STREET BROOKVILLE MD 20833

Contractor: OAK GROVE RESTORATION Phone No.: 301-948-6412

Contractor Registration No.: MD CLASS A CONTRACTOR'S LIC. 15306756

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: NORTH

Lot: Block: Subdivision:

Liber: 5581 Folio: 860 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Reize, Revision, Repair, Revocable

CHECK ALL APPLICABLE:

- AC, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other

1B. Construction cost estimate: \$ 41,000.

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:

2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra J. Heiler Signature of owner or authorized agent

8/21/09 Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHMENT A

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. *Elevations (facades)*, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

Addresses of abutting properties:

Merrill and Susan Johnson
202 Market Street
Brookeville, MD 20833

Chris and Andrea Scanlon
203 Market Street
Brookeville, MD 20833

Warren Ferris and
Renee Moneyhun
207 Market Street
Brookeville, MD 20833

Attachment A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It sits on a one acre lot uphill from Market Street. The acre directly behind it is owned by M-NCPPC.

The house was built about 1780 by Richard Thomas, founder of the town of Brookeville, and is the oldest structure in the town. The west wing was originally a one-story service building containing a kitchen with a fireplace on the west wall. About 1820 the original service wing was converted into a large dining room with an exterior doorway on the west side and an ell that housed the new kitchen was added to the rear. In 1840 one and a half stories were added to the west wing, creating two additional bedrooms, one in the garret. The morphology of the west wing is shown in Attachment B.

The historical significance of the house is based primarily on the visit on August 26 and 27, 1814, of President Madison, who conducted the business of the federal government there after the British occupied the city of Washington and burned the White House. Although those two days were the high point of its history, the significance of the house extends from the time of its construction through the 19th century and into the early 20th. The builder, Richard Thomas, was one of the most influential of the late 18th and early 19th centuries in eastern Montgomery County. He built many of the important houses in the area, including Locust Grove and Woodlawn Manor, as well as three other houses and a mill in Brookeville. He also laid out the town's street plan and 56 lots on land that he owned or that his wife, Deborah Brooke, received from her father, Roger Brooke, the largest landowner in eastern Montgomery County at the time.

Thomas sold the house in the 1790s to his brother-in-law, Caleb Bentley, a gold- and silver-smith and clockmaker, who used the east wing as a shop. He was named Brookeville Postmaster by Thomas Jefferson in 1802. It was Caleb Bentley and his second wife, Henrietta Thomas, an acquaintance of Dolley Madison, who hosted the President's visit in 1814. Bentley, and two other of his brothers-in-law founded the mill town of Triadelphia. Another 19th century resident was Roger Brooke V, who was instrumental in introducing progressive farming methods to Montgomery County. In the early 20th century baseball hall-of-famer Jack Bentley, who hit the winning home run in the 1924 World Series, lived in the house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would add a small pantry to the west side of the kitchen ell at the site of an earlier attached dependency whose ghost is visible on the outside wall. The original dependency probably served as a wood house, since the kitchen had a wood-burning stove and stepping stones in front of it led to a side entrance to the house, which has five fireplaces. The addition will be framed and insulated and built on a concrete slab. The exterior will be brick veneer with a standing seam metal roof and a plank door. As much as possible, the location, form, style, and materials will carefully follow those of the original dependency, except that the brickwork will be distinguished from the common bond used on the west side and the Flemish bond on the front. The result will restore the west wing to more closely resemble its earlier appearance. Attachment C describes the evidence for dating the phases of the morphology and our rationale for determining the details of the proposed addition.

The results of an informal survey of houses from this region with small (one-story) side dependencies that were built in roughly the same period as the evolution of the west wing are shown in Attachment D. (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) The photos and drawings in Attachment D range from the broadest area, various parts of the Mid-Atlantic, through houses in Montgomery County to those in or near Brookeville. While such attached dependencies were frequently found in the survey buildings, they varied widely in length, from about 8' to more than 16'. Both side and end entrances were common. Although the dependencies were more often attached to the gable side of a building, it was not unusual to attach the dependency to the eave side, as is visible on the right side of the picture of Fair Hill and the drawing of Friendship, the Moxley Farm, where the dependency is attached to the eave side of a rear ell with a centered front doorway (like the proposed addition), although it has a shed, rather than gable, roof.

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The results of an informal survey of houses from this region with small (one-story) side dependencies that were built in roughly the same period as the evolution of the west wing are shown in Attachment D. (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) The photos and drawings in Attachment D range from the broadest area, various parts of the Mid-Atlantic, through houses in Montgomery County to those in or near Brookeville. While such attached dependencies were frequently found in the survey buildings, they varied widely in length, from about 8' to more than 16'. Both side and end entrances were common. Although the dependencies were more often attached to the gable side of a building, it was not unusual to attach the dependency to the eave side, as is visible on the right side of the picture of Fair Hill and the drawing of Friendship, the Moxley Farm, where the dependency is attached to the eave side of a rear ell with a centered front doorway (like the proposed addition), although it has a shed, rather than gable, roof.

Attachment C

The details of the morphology of the west wing and the attached dependency are based mainly on physical evidence found at the site, but also on evidence from some earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s. Conversations with local mason David Yinger, who has repaired and restored the masonry at various times since 1958, also helped to determine the likely sequence of changes, based on a careful reading of the brick walls. The probable dates for the changes shown in the morphology are based on substantial increases in the taxes (likely due to improvements in the house) in 1820 and 1840.

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was originally constructed as an interior wall and, thus, that the missing building was probably attached to the ell when it was constructed in 1820. The ghost is marked on an attached photo. According to an earlier resident of the house, a dependency existed at that location in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, an exterior door had been installed in the opening. About 1960, the doorway was closed off with a window and a brick wall and a crude cupboard that had been salvaged from the original dependency was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original dependency are visible in the ghost on the exterior of the kitchen ell wall. The addition would follow those dimensions. In light of the range of lengths found in similar side dependencies, we have proposed a length of 12 feet, which is about average, and would place the stepping stones that lead to the side door of the dining room at the middle of the front, where we propose to locate the doorway. (Note that the nearby smokehouse, which has the same roof slope as the dependency, is also 12 feet long with a doorway centered on the front.) (Archaeological research and aerial photos from 1937 may possibly reveal more information, but results are not yet available.)

The addition will have a plank door similar to the door on the east wing, which is original to the house, but smaller, and similar those used on other service buildings of the period. According to an earlier resident, the walls of the original were brick. The brick of the proposed addition will be similar in size and texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back and the roof material, overhang, and trim will match those of the kitchen ell, which is typical of many of the local dependencies in the survey sample.

Attachment C

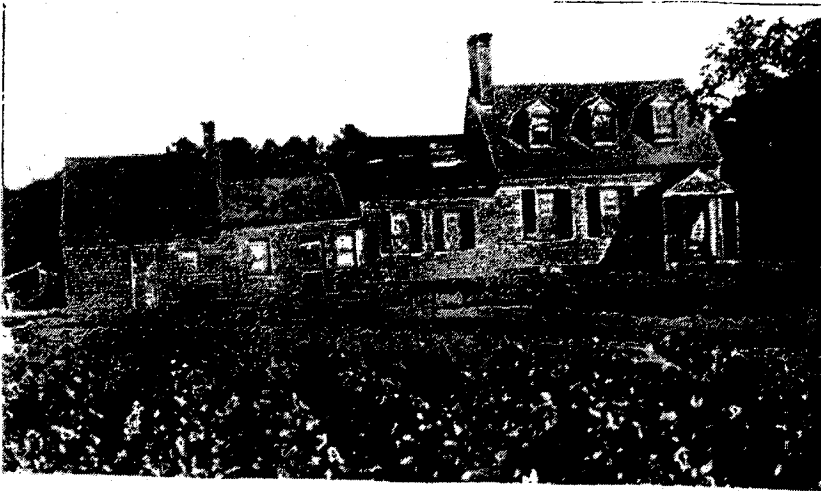
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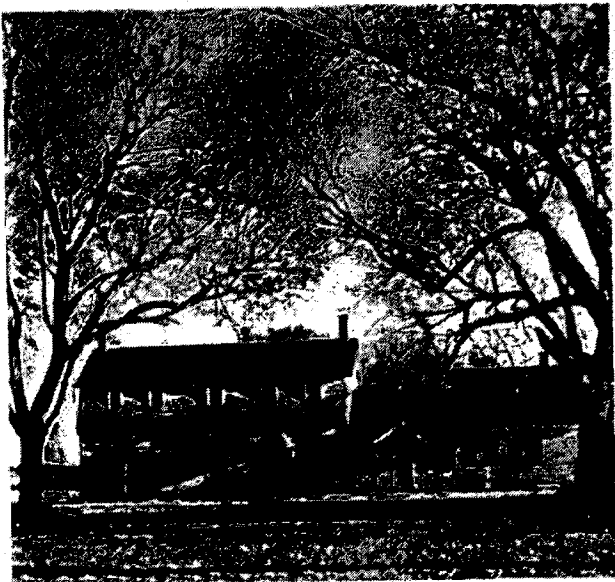
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Attachment D



Eastern Shore of Virginia



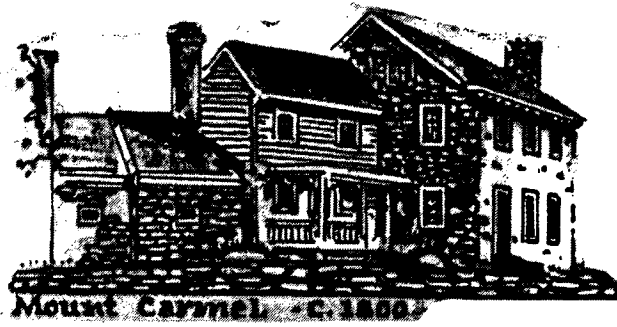
Willowdale, Accomack, Virginia



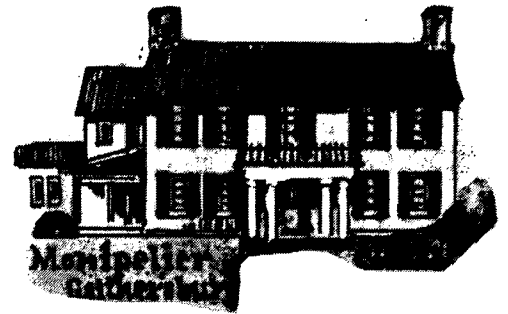
Fair Hill, Olney, Maryland



Aspendale, Kent County, Delaware



Mount Carmel - c. 1800



Montpelier
before 1812



The Beall-Dawson House 1815
Rockville



Riv La Chapelle before additions
c. 1812



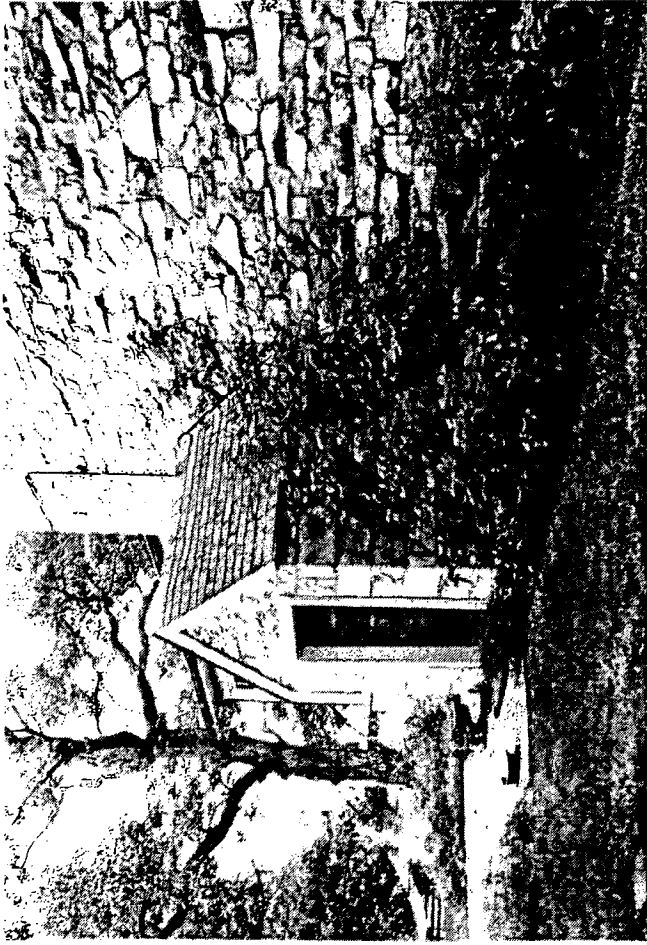
Harwood c. 1773 - Stony Spring



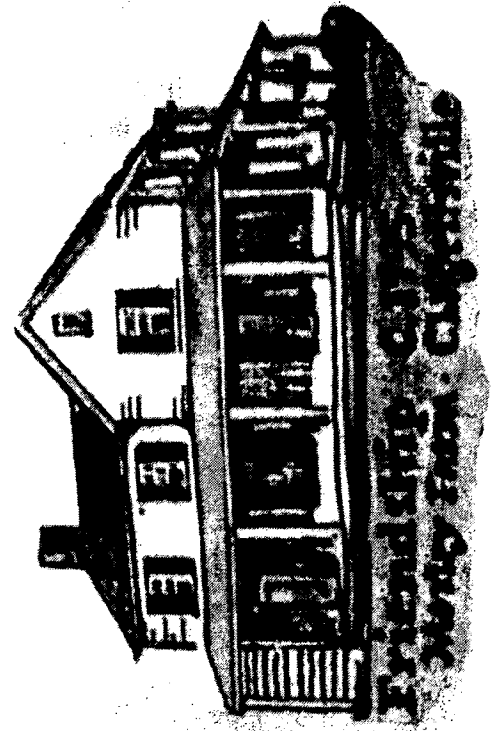
Montevideo (near Seneca) c. 1820



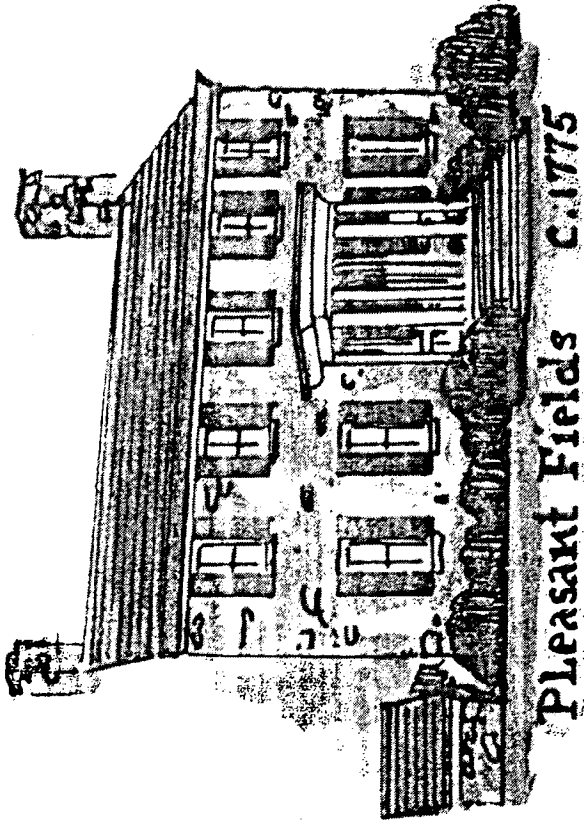
Stony Castle - before 1800



4515 Sundown Road, Laytonsville
c. 1820

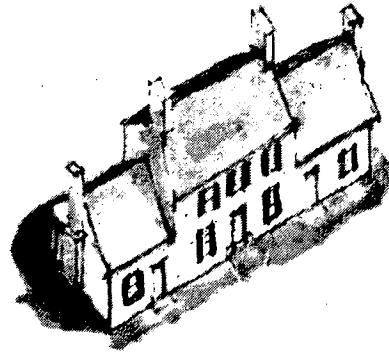
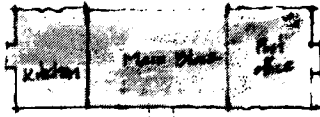


Locust Grove, Brookeville Road
Brookeville c. 1810

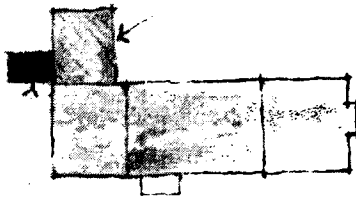


Madison House Morphology

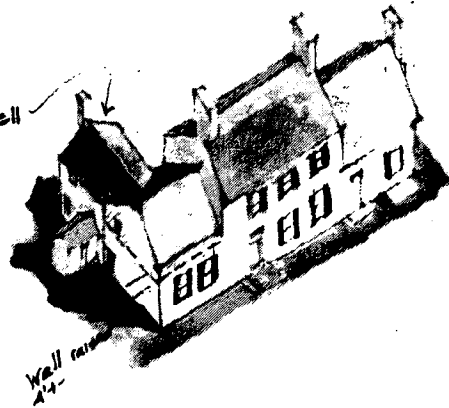
1780



1820

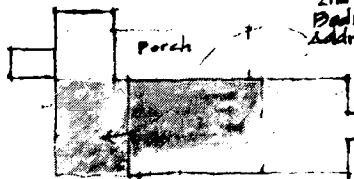


Kitchen ell addition

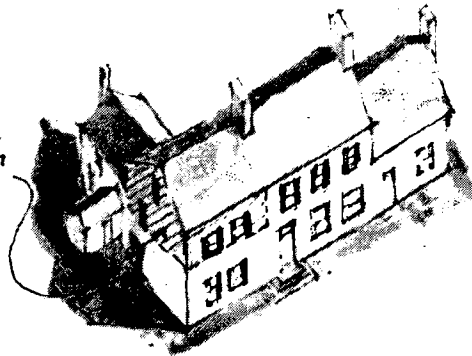


side attached dependency

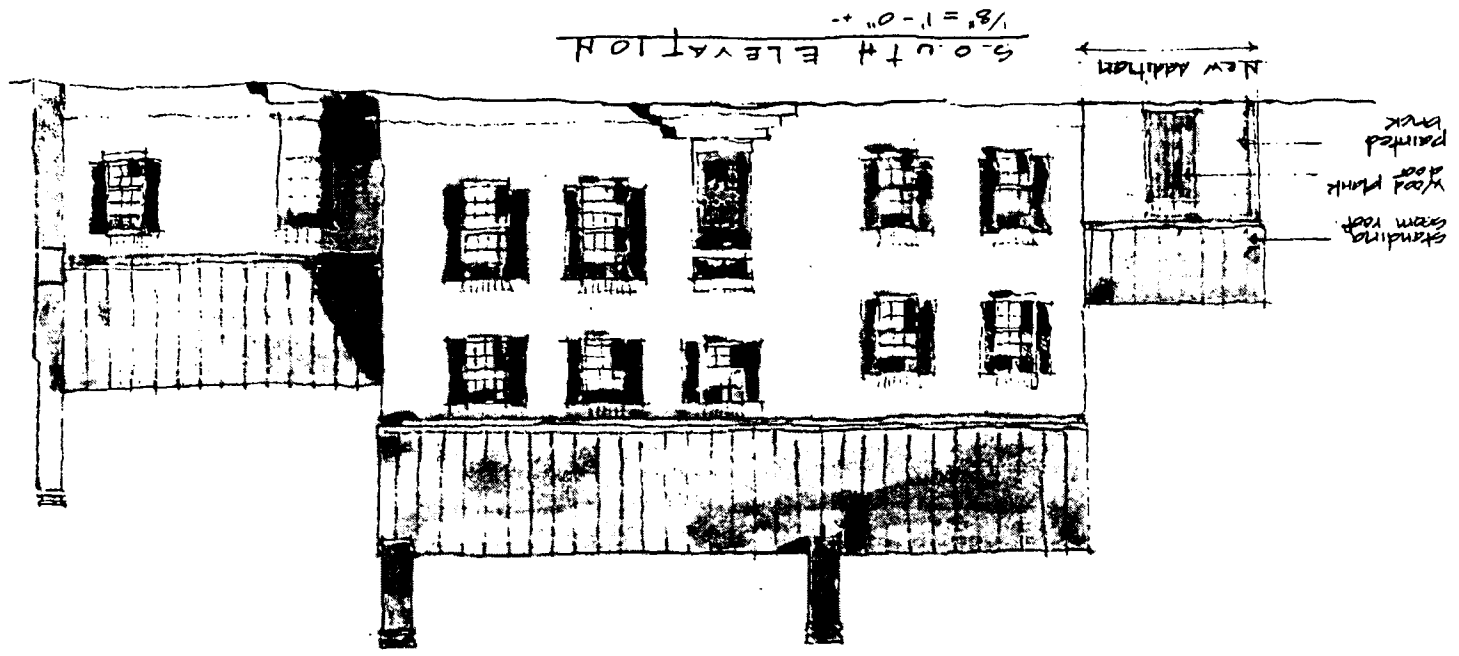
1840

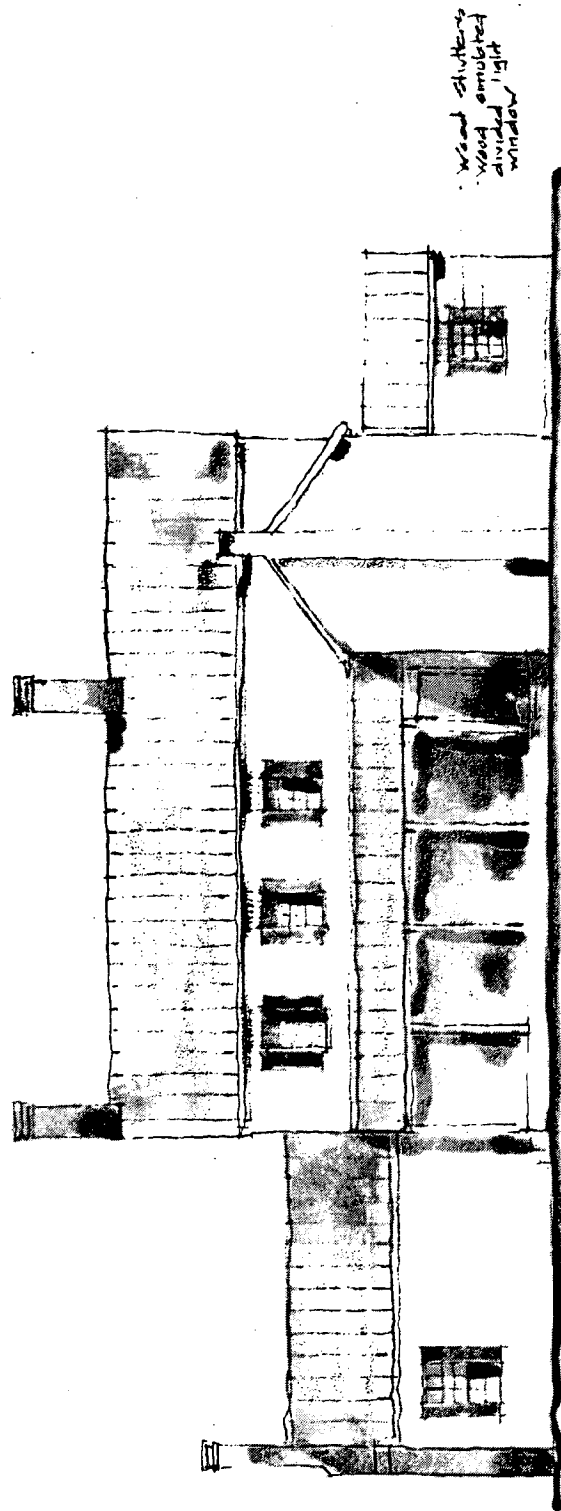


2nd Floor Bedroom Addition



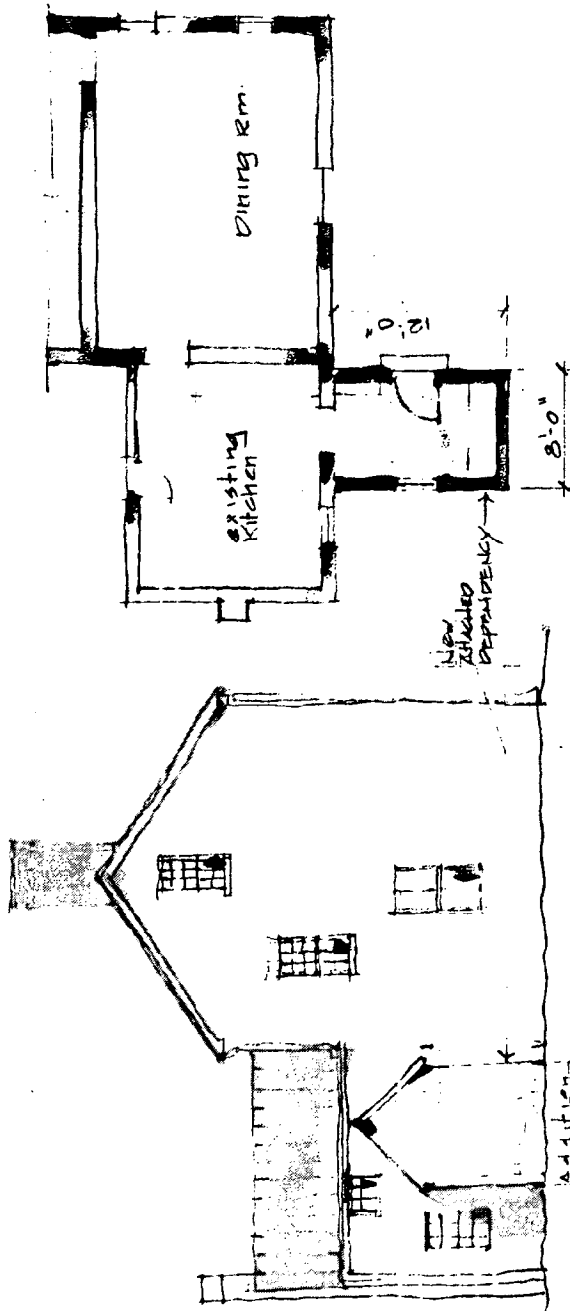
| | |
|-------------------|------------------|
| MICHE BOOZ | |
| ARCHITECT | |
| 225 VANDERBILT | PH: 501 774 6911 |
| 500 W. 4th Street | TX: 501 774 1538 |





New Addition

NORTH ELEVATION



PARTIAL FIRST FLOOR PLAN

WEST ELEVATION
13'-0"

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

Site Plan

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

S 51°52'15"E
55.29'(DEED)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

L.5581 F.860
1.0 AC.± (COMP)

N 75°
C. & A. 31
L.29911

49°09'00"E
1.55'(DEED)

S 42°32'10"E 143.00'(DEED)

MANOR
BOOK A
18595

N 40°51'00"W 168.79'(DEED)

GRAVEL DRIVEWAY

FRAME SHED

STONE PATIO

BRICK PORCH

2 STORY
BRICK
#205

PROPOSED

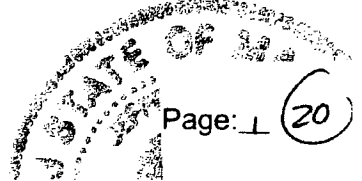
E.00,81.62 S
(DEED),29.25

ASPHALT DRIVEWAY

Applicant: ~~NAME A HEILER~~
SANDRA T. HEILER

S 48°20'00"W 173.60'(DEED)

MARKET STREET



Materials Specifications

Brick to match kitchen ell with standing seam metal roof.

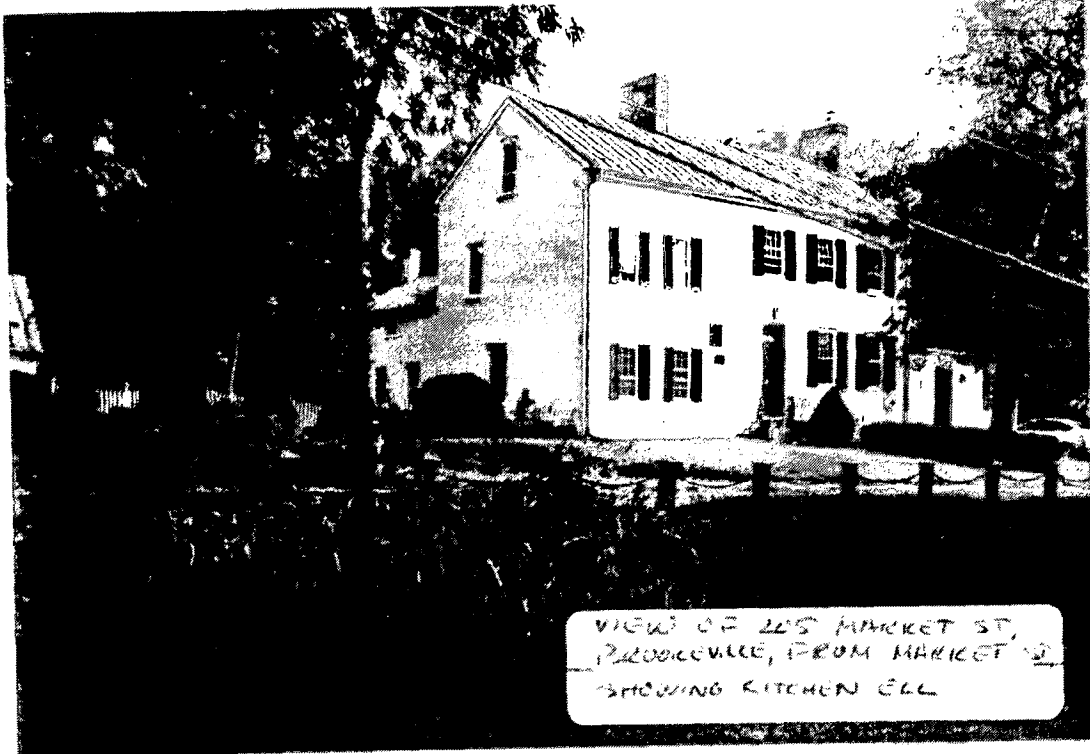
Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

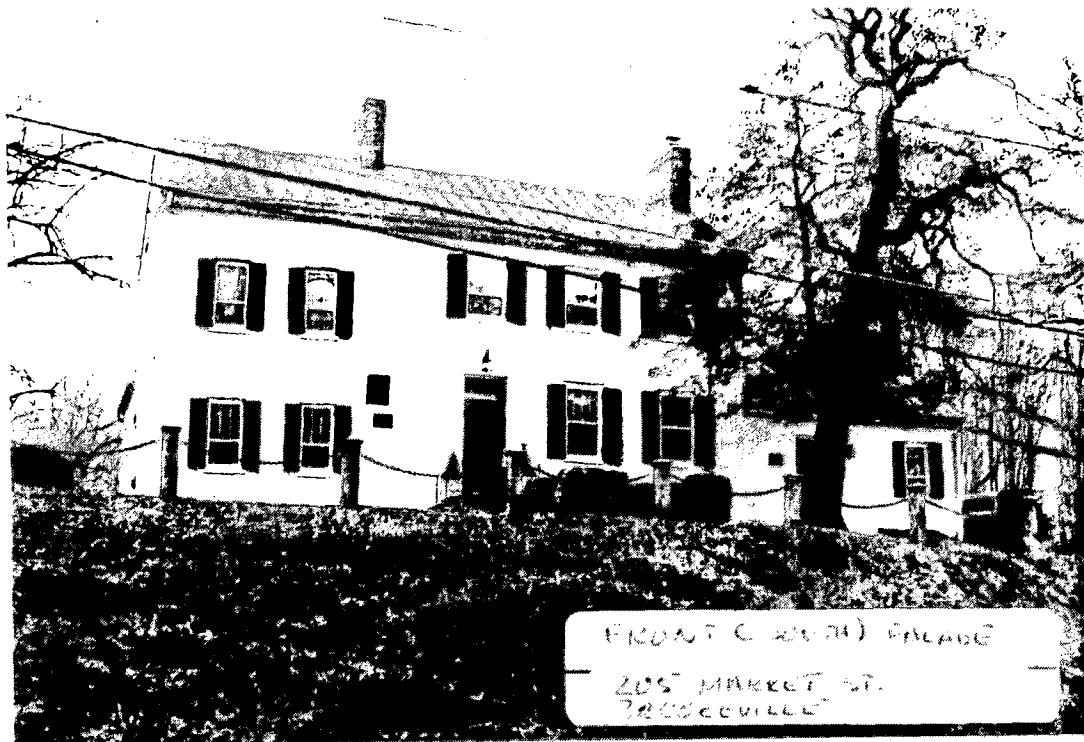
Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM PUBLIC RIGHT OF WAY SHOWING KITCHEN ELL



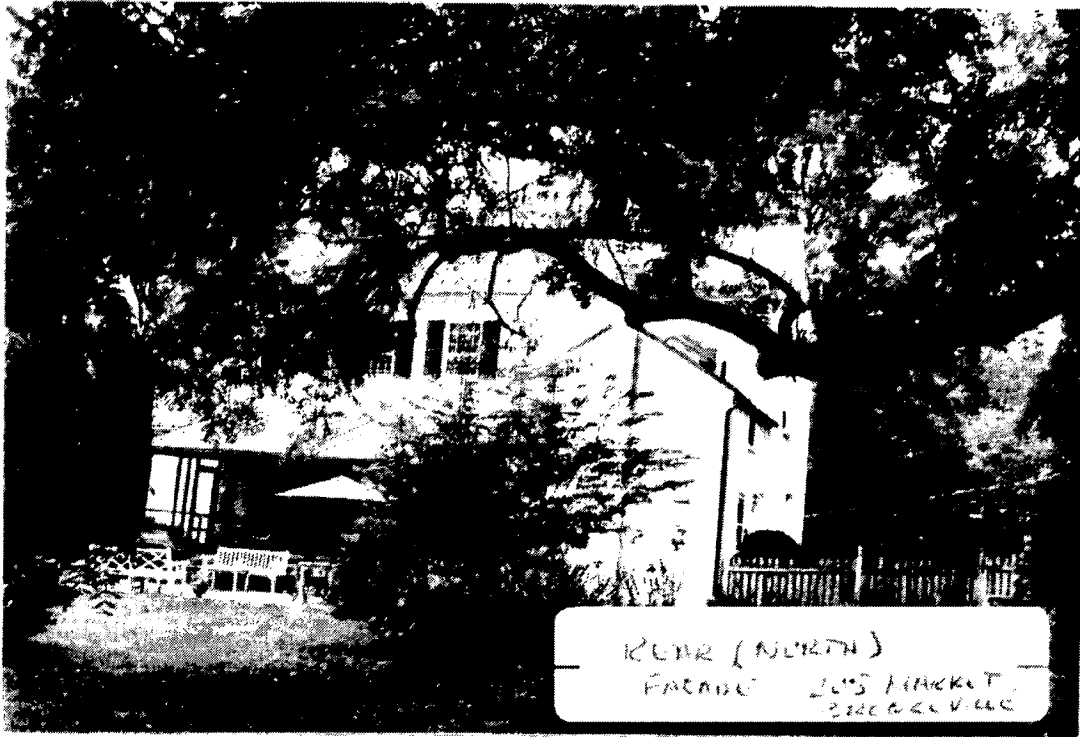
Detail: FRONT (SOUTH) FACADE

Applicant: DUANE & SANDRA HEILER

Existing Property Condition Photographs (duplicate as needed)



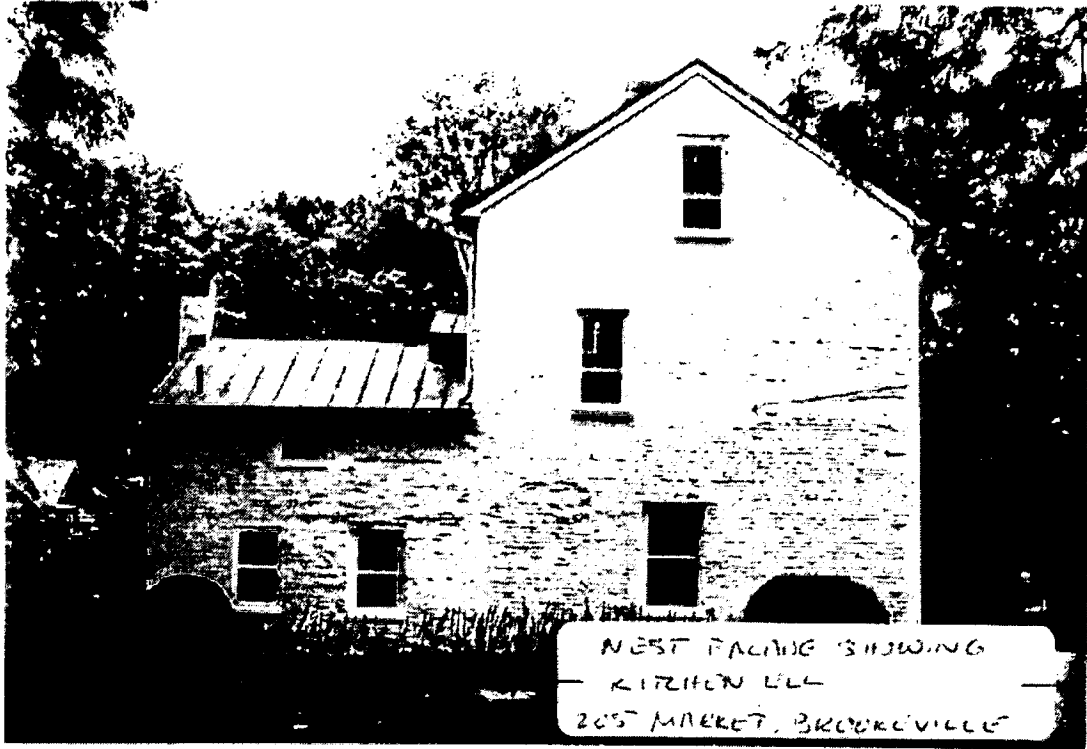
Detail: EAST FACADE



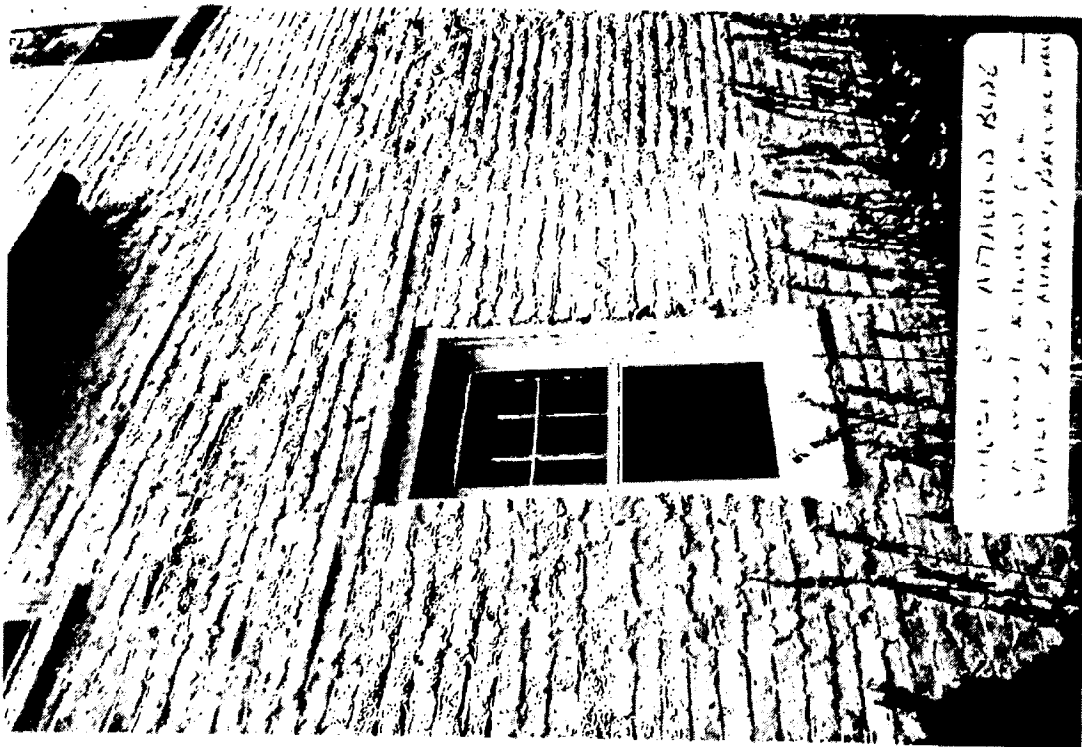
Detail: REAR (NORTH) FACADE SHOWING KITCHEN ELL

(23)
(15)

Existing Property Condition Photographs (duplicate as needed)

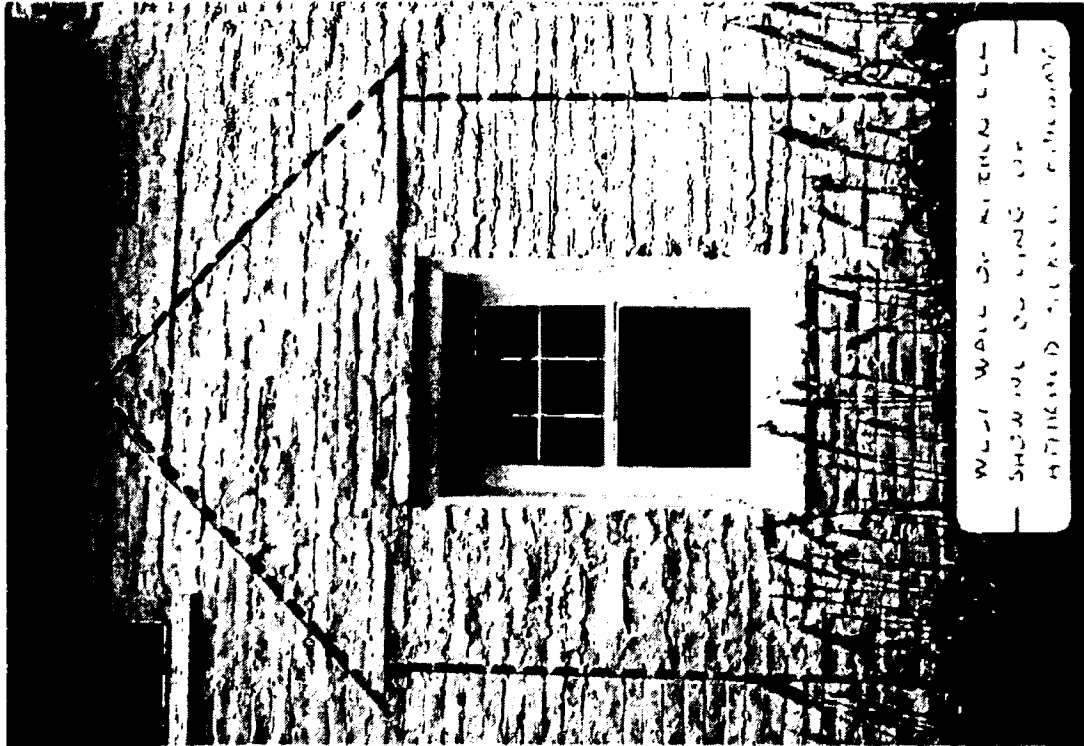


Detail: WEST FACADE SHOWING KITCHEN CELL



Detail: KITCHEN CELL SHOWING MOST OF WALL END
OF ATTACHED SERVICE BUILDING

Existing Property Condition Photographs (duplicate as needed)



Detail: ^{CURING} CRACKS OF CONCRETE BUILDING INDICATED BY DOTTED LINE
ON EAST OF CABLE END SEEN IN RIVER CELL

Detail: _____

Applicant: WOLFE & SANDER HENCK

Page: 17

25
17

205 market



26
~~18~~

August 12, 2009 HPC transcript (DRAFT)

1 MR. ROTENSTEIN: The next item on the agenda is
2 the preliminary consultation from Duane and Sandra Heiler.
3 And I just want to mention that the applicant in the
4 preliminary consultation is a commissioner and she will be
5 presenting, I presume, for herself. So, do we have a staff
6 report?

7 MS. FOTHERGILL: This is an outstanding resource
8 in the Brookeville Historic District. It's 205 Market
9 Street in Brookeville. The applicant has done extensive
10 research and so I really want to leave the discussion of the
11 history of the house to her. You'll see in circle 8 there's
12 a long description of physical and anecdotal evidence of
13 what was an earlier attached service building to this house
14 that is no longer there, and the idea behind this
15 preliminary consultation is that the applicant would like to
16 build a side addition based on that earlier attached
17 section.

18 I think that I will turn this over to the owner to
19 talk about, specifically about the background of this
20 project and the research she has done. But I do think that
21 things that the commission should think about and provide
22 the applicant feedback on is the appropriateness of a side
23 addition to this house in general because it may not be a
24 reconstruction, it may be more of a side addition. The
25 dimensions and the proportion of the addition, the materials

1 of the addition. Right now the proposed material is brick
2 and the location and treatment of the window and door
3 openings.

4 I will show you the photos, but I really, I do
5 want to turn this over to the applicant to talk about what
6 she has found in her extensive research. So, this is the
7 front of the house and actually the rear left is where the
8 proposed side addition will be. Right here in that kitchen
9 L, and that is the rear, so it would extend off the side.
10 And this is a close up and specifically that is where it
11 would connect. That window would become a door, which it
12 once was. And I'm going to turn it over to Commissioner
13 Heiler.

14 MR. ROTENSTEIN: Can you leave the slide up for a
15 moment.

16 MS. FOTHERGILL: Sure.

17 MR. DUFFY: Can I ask a staff question first?

18 MR. ROTENSTEIN: Sure.

19 MR. DUFFY: How convinced or unconvinced is staff
20 that there was in the past a structure in this location?

21 MS. FOTHERGILL: I mean, I do think that
22 Commissioner Heiler has done extensive research and I do, I
23 mean it's anecdotal and physical. You can see evidence of
24 it. And so the question is when and what. I mean, the
25 specifics aren't there. But yes, something was there. I

1 feel comfortable with that.

2 MR. DUFFY: Do you have any sense of time frame of
3 when something was there?

4 MS. FOTHERGILL: Nothing other than what
5 Commissioner Heiler has provided.

6 MR. DUFFY: Okay, thanks.

7 MR. ROTENSTEIN: Just since we're asking a few
8 questions and I guess this is probably better directed to
9 the applicant. There appears to be something going on in
10 the brick bond to the right of the area sounding the window.
11 Is that something as well?

12 MS. HEILER: I can describe what's going on on
13 that side. And I base this on two things. I continue to do
14 research since I submitted this and I've prepared these oral
15 histories basically from four people who lived in the house
16 previously. Two of them actually lived there when the
17 building existed. Two of them lived there after it was
18 gone. And with the mason who has been a mason for 70 years,
19 who, you know, a bricklayer, not a lodge member. Anyway,
20 who did the repairs on this and who I believe can read the
21 brick wall better than anyone.

22 In his view, what's going on is the window there,
23 there was a building attached when the kitchen ell was
24 built. So the bricks on either side of the building, and I
25 submitted one picture with an outline, a dotted line. That

1 area was filled in when the building came down. The
2 original building, that area was not brick. It was probably
3 frame, but I, you know, nobody knows what that particular
4 area, which was the interior wall of the building, was. But
5 the bricks that were put in afterward.

6 There was a doorway there, and I do have some
7 photographs from the 1940's that show the doorway. The
8 oldest person who lived there who actually moved into the
9 house in 1930 when he was 10 years old, claims that there
10 was a wood house there, and it was, wood house meaning its
11 function, it was built of brick. It had a dirt floor. The
12 kitchen also had a dirt floor until 1960.

13 So sometime between very late 1930's and 1945 the
14 structure that was there came down, and he didn't remember
15 if it fell down or it was torn down. Most likely it fell
16 down because the kitchen was at risk at that point too.
17 Neither it nor the kitchen had foundations. So in 1960, my
18 friend the bricklayer, he stabilized the kitchen wall, put
19 that window in and put the bricks under the window. You can
20 see some seams there, and excavated under the three exterior
21 walls of the kitchen ell and added a shallow foundation
22 under the kitchen.

23 So, we know that the kitchen ell was built at the
24 same time as that side of the house. The first floor, the
25 one story L existed on the west side from the time the house

1 was built sometime about 1780. It was expanded in 1820 and
2 we know that from the tax records. But it continued to be a
3 one story addition. It was turned into a dining room and
4 the remnants of the original kitchen are under that dining
5 room. So the kitchen ell was added in 1820 when that side
6 was expanded.

7 None of these people were there in 1820 but
8 there's ample evidence that that particular, that area,
9 which was the interior of the wood house was not brick when
10 that kitchen ell was constructed which, seems not a stretch
11 then to think that they put that addition, the wood house,
12 on when they constructed the kitchen L. Another reason to
13 believe that is the kitchen had a wood burning stove until
14 1960. And, Calvin Musgrove, who lived there in the '30's,
15 in fact, used that room for bringing the wood in for the
16 stove for his mother.

17 This kitchen never had a fireplace. It always had
18 a wood burning stove and the chimney on the back of that is
19 original for the wood burning stove. So, it seems quite
20 certain that there was a building there and that was the
21 location and the size of it is, if you look at the picture
22 with the outline, it pretty clearly, it's difficult to see
23 in the picture, but it clearly delineates the size and shape
24 of that building.

25 It's kind of interesting that the slope of the

1 roof is identical to the slope of the roof on the
2 smokehouse, which is nearby. The smokehouse is not brick
3 but, the smokehouse is at least as old as this structure.
4 Basically, I used that physical evidence and the reading of
5 the brick wall by the bricklayer and also his discussion of
6 what the kitchen was like in 1960 to show that shape.

7 The length of it, oh, I guess, it's called the
8 width, is, you know, the part that I don't have as strong
9 evidence for. What I did, and this was based on information
10 I got from Clare, so I did a little survey of eastern
11 Montgomery County and buildings that were put up about 1820
12 that had outbuildings, to look for things that, smokehouses
13 don't work because smokehouses are invariably square. I
14 found lots of smokehouses. They were all square.

15 However, these other outbuildings, attached
16 outbuildings, I found two, one that was exactly the same
17 width and so I took the length from that. I found another
18 one that was where I just used the same proportions and that
19 was at Clifton. My next step, I'm assuming is to start
20 digging to see if I can find any evidence of the use and
21 where it ends up. You know, I think I'm not going to find a
22 foundation. If the kitchen didn't have a foundation, the
23 woodhouse didn't have a foundation.

24 MR. ROTENSTEIN: You might not find a foundation,
25 but I'd encourage you to see if you have any neighbors who

1 have professional archeological experience or someone who --

2 MS. HEILER: Well, actually, I do. I have never
3 led an archeological dig, but in fact, I've participated in
4 a number of them while I was a student at, a graduate
5 student, I did that. And one of my paid jobs for the
6 Trustees of Reservations in Massachusetts was interpreting
7 archeological evidence in 17th Century houses.

8 MR. ROTENSTEIN: So what was the yard area
9 adjacent to this rear ell used for, at least that you're
10 aware of?

11 MS. HEILER: A kitchen garden. They kept chickens
12 there for a while. They had a kitchen garden there for a
13 while. There are stepping stones that lead, they just stop
14 right where I'm assuming the door was. I know there was a
15 door in it that faced Market Street. That comes from Calvin
16 Musgrove. And in the center of the area that I'm assuming,
17 stepping stones come around the house and they end right
18 there. And it's in line with the plane that would be on the
19 Market Street side of this building.

20 MR. ROTENSTEIN: The archeological signature of
21 anything that might correspond to what we see in the wall is
22 going to be very shallow and you're probably going to be
23 looking at changes in soil color and textures. Your only
24 evidence of a building or extension that might have been
25 there. So, if you are going to pursue that on your own, I'd

1 strongly urge you to do it very carefully.

2 MS. HEILER: Actually, this is not relevant to
3 this building but, when I first moved to the house I dug a
4 little hole in the front garden and I dug up a clay pipe
5 which I sent to the Smithsonian and they verified that it
6 was James Madison's. So I'm very careful when I dig holes
7 now.

8 MR. ROTENSTEIN: The second thing before I let
9 Commissioner Jester, who's eager to speak I see, is Farm
10 Service Administration aerial photographs from the 1930's
11 would probably give you a little better resolution than the
12 1950's vintage aerials that I think are available through
13 the county GIS, and if the addition that you're speaking of
14 did survive into the 20th Century, it most certainly would
15 be illustrated in those aerial photographs. And it's just a
16 matter of pulling the right canister and using a magnifying
17 glass at the National Archives at College Park.

18 MS. HEILER: I will follow that up.

19 MR. ROTENSTEIN: Those are my comments.
20 Commissioner Jester?

21 MR. JESTER: I think you have clear physical
22 evidence that there was an appendage there. And I think the
23 issue is, is there enough documentation to make a case for
24 putting it back in its historical appearance, if you will.
25 And another option is just to put an addition on this

1 clearly, it's clear that it's contemporary but, maybe just
2 in location where the historic one was. My concern is that
3 we're in a potentially create a false sense of history if
4 you don't adequate documentation to support essentially a
5 reconstruction. You're not even restoring it because
6 there's not enough, you're not restoring something that's
7 partially there. It's something that was there. So it's a
8 bit of a reconstruction.

9 I'm not unsupportive of pursuing that, but
10 without, I guess, my concern is, without sufficient
11 documentation I'm not sure I'd be fully supportive of
12 putting it back in historic appearance. I'm not opposed to
13 potentially putting an addition there because I know there
14 was one there, I think it could probably be handled in a way
15 that's not going to impact the, what's essentially an
16 outstanding resource right now, and it deserves to be
17 treated as such.

18 But I think I'd like to just encourage you to, and
19 I think you're doing this, but to pursue all the avenues to
20 kind of make a case or, basically, help determine that maybe
21 there isn't enough evidence to do that. I'm a little clear
22 exactly the period of when it may have been there or not
23 been there but obviously, Commissioner Rotenstein suggests
24 some other sources. There's tax records. There are, you
25 know, deeds and so on. So maybe that just needs to be

1 exhausted so we know that we have enough evidence to do
2 this.

3 MS. HEILER: I guess I do have a question, if I
4 can. These oral histories that I'm collecting, mainly my
5 long talks with Calvin Musgrove because he's the person who
6 lived there the longest while the building existed. I need
7 something to do with them. Two people who lived there and
8 used the building, Calvin Musgrove and his cousin. And I'm
9 documenting the stuff. So, you know, and I know people who
10 lived there after the building was gone. The people who
11 moved in in 1945 claimed that it was gone, there was an
12 exterior door there. There is no photographic evidence that
13 I can find.

14 MR. ROTENSTEIN: One way to use your oral
15 narratives is, I frequently ask informants to draw a sketch
16 match, you know, supplement what you're getting orally with
17 some visual representation that they can pull from their
18 memories. That's one thing that you can, but again, with
19 the caveat, memories are imperfect and the people you're
20 asking to provide the information aren't necessary
21 architects or historians.

22 MR. JESTER: And I think taking oral histories is
23 part of the process and it's important, and regardless of
24 where it takes you. Just to give you another analogy I
25 think that's somewhat relevant, our firm's currently working

1 on Franklin Court in Philadelphia and it's a park service
2 site that was, Robert Venture designed a ghost house remnant
3 of where Benjamin Franklin's house was. And there was a
4 very large debate back in the last 1950's, early 1960's,
5 about whether to reconstruct his house. And they had a
6 tremendous amount of archeological evidence, but they could
7 not find any kind of photograph or any kind of visual record
8 of what it looked like. And there was just a tremendous
9 amount of debate about it, but the park service ultimately
10 decided not to reconstruct the house because they felt that
11 they'd be creating something that they didn't know, they
12 wouldn't necessarily create something that was an accurate
13 representation of his house.

14 MR. DUFFY: I have a question or two. In the
15 photograph on the screen, did you say that the first story
16 of the ell was built at the same time as the main body of
17 the house?

18 MS. HEILER: No. When the main block was built,
19 there was a one story west wing which extended only half way
20 to where the L is now. See where the two over two window
21 is?

22 MR. DUFFY: Yes.

23 MS. HEILER: It's approximately there is where the
24 main block or where that wing ended. There's a foundation
25 under that window which shows that was the foundation of the

1 original kitchen. And there are signs that the original
2 kitchen did have a fireplace. So, when that one story
3 addition or wing was extended in 1920, that's when it
4 extended all the way to where the kitchen L begins and the
5 kitchen L was added at that time as well.

6 So, that west side, the west wing was done in
7 three stages. It was a one story half the depth of the main
8 block until 1820. It was a one story plus a kitchen L. You
9 know, it was extended back. And it was, in fact, it was
10 brought up to --

11 MR. JESTER: I'm finding it very difficult to
12 follow your verbal description of how the property evolved.

13 MR. DUFFY: So am I.

14 MR. JESTER: Maybe it's just because I'm an
15 architect and I'm visual in gray, but I think it might be
16 helpful to even just create a series of either plan diagrams
17 or isometric, to show how you believe the property evolved.
18 Even just to explain to get up to the point of understanding
19 when you believe this piece existed that you want to
20 reconstruct.

21 MR. DUFFY: I very much agree. I can't really
22 follow your description. And what your description is, and
23 you know, I have the same, you know, bias or orientation
24 being an architect but, you're describing things that
25 naturally to me should be graphic. You know, what existed

1 on the west side in 1780? What happened when in plan and
2 elevation graphically? What points in time? I just don't
3 understand.

4 You're describing something that was original that
5 there's a foundation for. I would imagine the logical thing
6 to do would be to reconstruct that.

7 MS. HEILER: That would take the whole west side
8 of the house now. The second and the third floors.

9 MR. DUFFY: I don't understand what was there.

10 MS. ALDERSON: If I could offer a suggestion.
11 There's a simple way to go through this progression
12 graphically, and I can provide you a model that we've used
13 at GSA. We used it for our structure report of a multiple
14 property block, it was a Dolly Madison. The house has
15 evolved tremendously over a period of 150 years as it came
16 under different ownerships. And we created, it's a graphic
17 morphology. In it you lay out the plan and the elevation is
18 aligned with the plan so that at each succession of changes,
19 you can see how the plan evolves and the elevations evolved.
20 And you begin with the outline to the best of the knowledge
21 and then the details get filled in as research allows.

22 I think it's fascinating that you're interested
23 and willing to go to the trouble to research, and I think,
24 if you've got the time and, you know, obviously it's not a
25 compelling space issue or you'd just be looking for a place

1 to put space. So sure, you could do a contemporary like
2 little side addition but that seems like that would kind of
3 defeat the purpose of what you seem to be trying to achieve,
4 which is to maybe authentically recreate something that
5 might also give you some utility. And I think as long as
6 you've gone to this terrific trouble and, you know, you have
7 this property of extraordinary historic significance that
8 has James Madison's pipe on it, that you might as well just
9 continue in that path.

10 I think the idea of getting a sketch, whatever you
11 can get from a person is a great idea even though you're
12 going to be comparing that to all the other evidence. But I
13 think that the path that Clare has suggested taking it in is
14 a great idea beginning with what you have on the property,
15 then fanning out to what else we have in the county, I think
16 it's a fascinating study of what we have, not just as
17 outbuildings that are detached but, basically buildings that
18 are attached. And go beyond Montgomery County if you need
19 to because this is not, you know, a unique American building
20 type. There certainly, were many, many others. You know,
21 you're going to find them in New Jersey and other towns or
22 places where maybe there's some of the very older historic
23 districts that are very preserved, or some of the properties
24 that are very, very documented.

25 So that's maybe a next step that I would look at

1 is what are some of the comparable properties that are
2 heavily documented that would have some comparable
3 information you could use.

4 MR. ROTENSTEIN: I think what you're hearing
5 across the board --

6 MS. HEILER: I may propose something simpler. I'm
7 so embarrassed going up to houses to ask people if I can
8 measure the wings on the backs of their houses. Private
9 houses are bad news.

10 MR. ROTENSTEIN: I don't think you need to go to
11 that extreme. I think you have enough on-site resources and
12 repositories, you're ideally situated for historical
13 research. I would strongly suggest using the historical
14 area photos at National Archives and if you feel confident
15 that you have the archeological skills to remove the grass
16 mat and evaluate what features might be there, I strongly
17 urge you to pursue that.

18 I think this is a very significant resource and
19 you're well aware of its significance, and I before any
20 further discussion of the scale of what you're proposing or
21 materials, I think really depends on the additional research
22 that you do.

23 MS. ALDERSON: You know, I wasn't suggesting to
24 enjoy your five year dissertation you've laid out for
25 yourself. My thought was that, just looking for graphic

1 examples of anything always help as long as you're going
2 down this path, and you know, if Clare's aware that there
3 are buildings that have attached, small attached additions,
4 photograph them and make that part of your presentation and
5 part of your decision-making. And I think there are enough
6 of these farm properties that are museums that it's going to
7 be possible just to, you know, even make a few online
8 inquiries. And the kind of places that are already public
9 are happy to share what they have. I've always found them
10 very friendly.

11 MR. RODRIGUEZ: I agree with Tom in the sense that
12 the idea is to reconstruct something. There is the need for
13 some solid evidence that tells you about from the mark in
14 the wall what more or less the size and scale of what was
15 there that you want to bring back.

16 MR. DUFFY: I would just caution that a structure
17 built in the 1780's that was for two days the White House
18 during the war of 1812, I'd be hesitate to vote to change or
19 alter it in a way that would be different from how we would
20 usually, this Commission would usually allow an alteration
21 to a structure that date and significance unless there's
22 really good documentation, compelling evidence that the
23 alteration is replacing something historic that, you know,
24 that was there and roughly that size and massing and what
25 not.

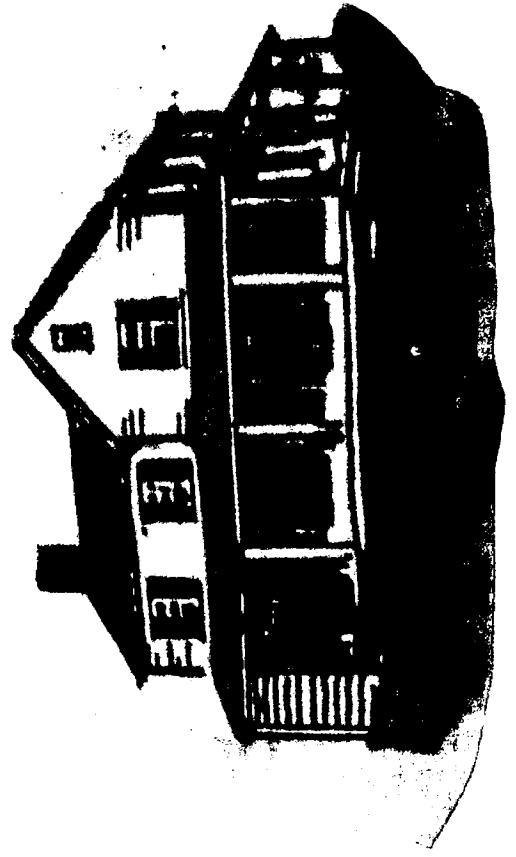
1 MR. JESTER: Just to add one more thing. And I'm
2 not clear whether this will be the case or not but we also
3 would not want to put that appendage back if it was on the
4 building where it didn't exist with the rest of the house
5 the way it is. In other words, if the house was originally
6 smaller and that existed, and then now we have that other
7 piece, we basically just don't want to create an appearance
8 that never existed.

9 MS. HEILER: Right. I think that's a little bit
10 misleading because we know when this side was done, and we
11 know that, you know, this was not during the period when
12 Madison was there. This is the later part. But, in fact,
13 you know, we know from the oral histories that that building
14 was on there in the 1930's, and nothing else on this side
15 has changed in that period. In fact, one reason I would be
16 hesitant to do any changes on the back of the house is, the
17 back is intact. It has simply not changed with the
18 exception of a wooden porch was replaced by brick. But
19 otherwise, you know, the windows, the shutters, the doors,
20 the carving and all is original.

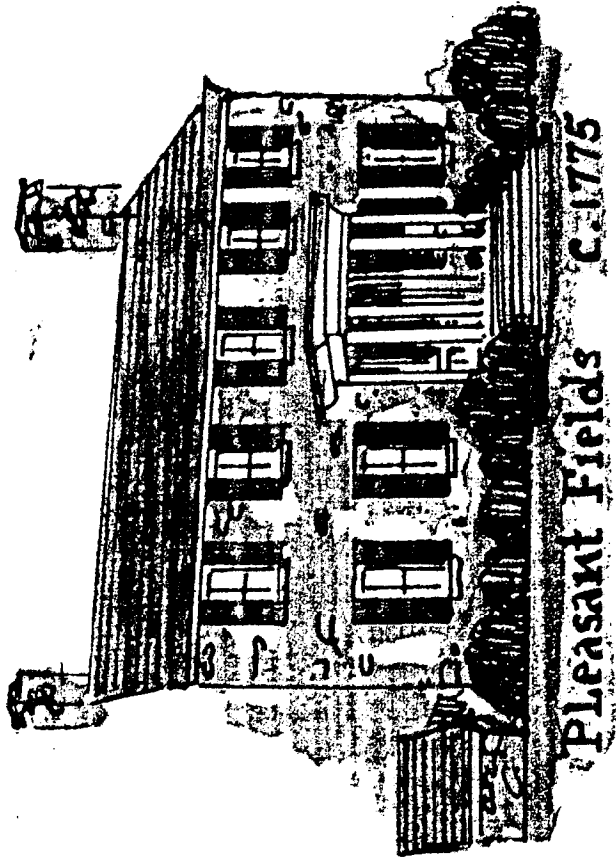
21 MR. ROTENSTEIN: Well, you've given us some
22 interesting things to think about, and I think you have some
23 additional research to do before we pursue discussing this
24 further. Thank you very much.

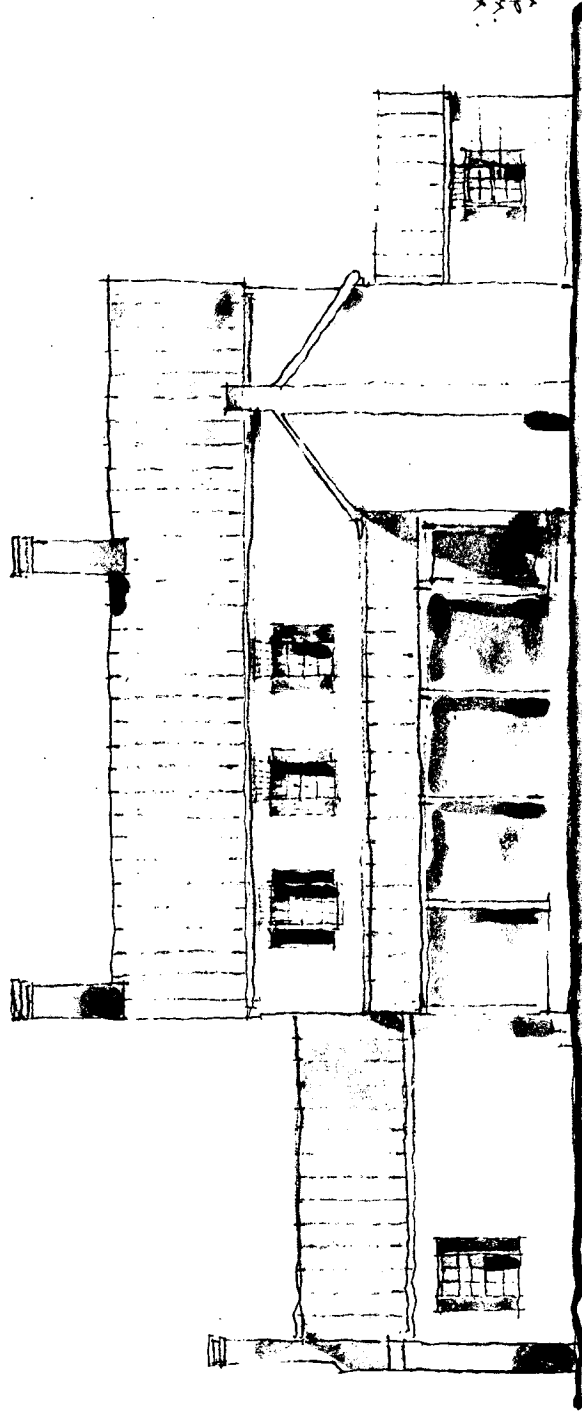


4515 Sundown Road, Laytonsville
c. 1820



Locust Grove, Brookeville Road
Brookeville c. 1810

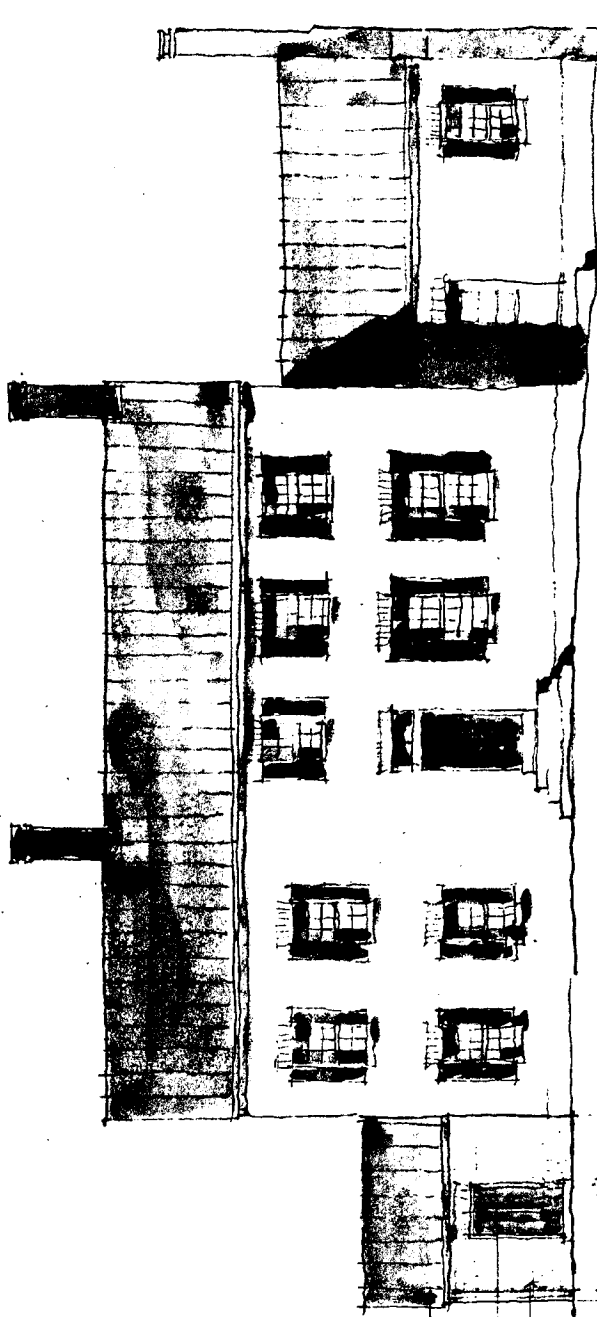




Wood shutters
Wood simulated
divided light
window

New Addition

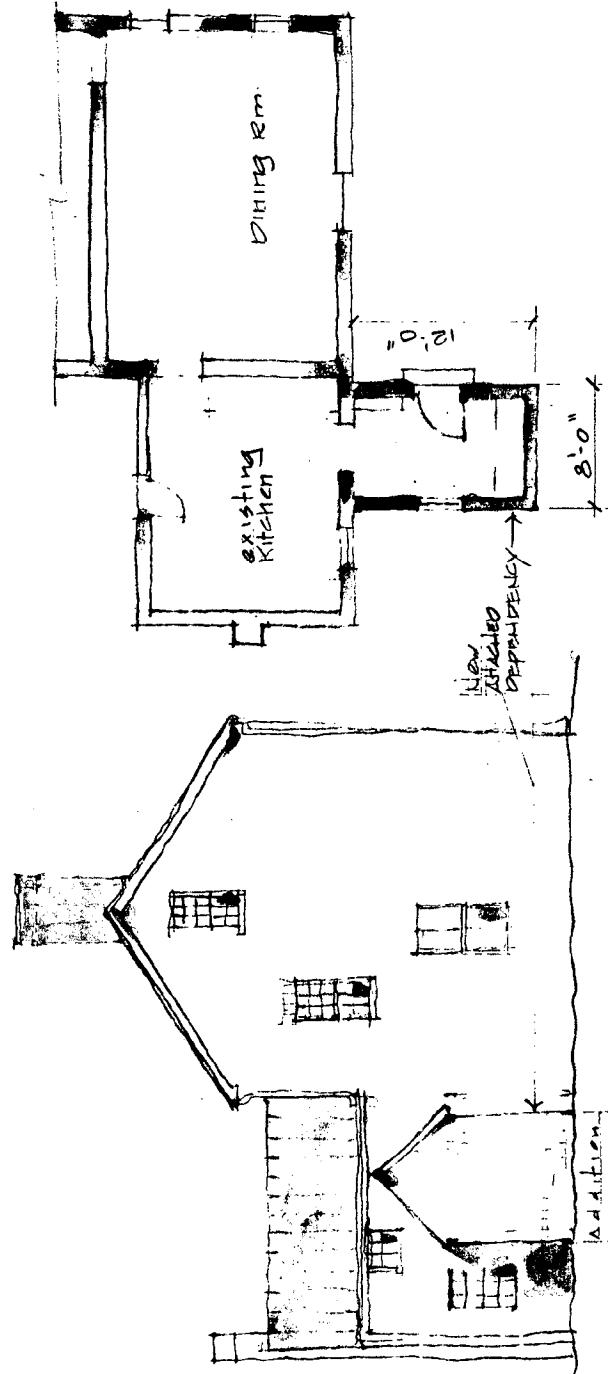
NORTH ELEVATION



SOUTH ELEVATION
1/8" = 1'-0" ±

New Addition →

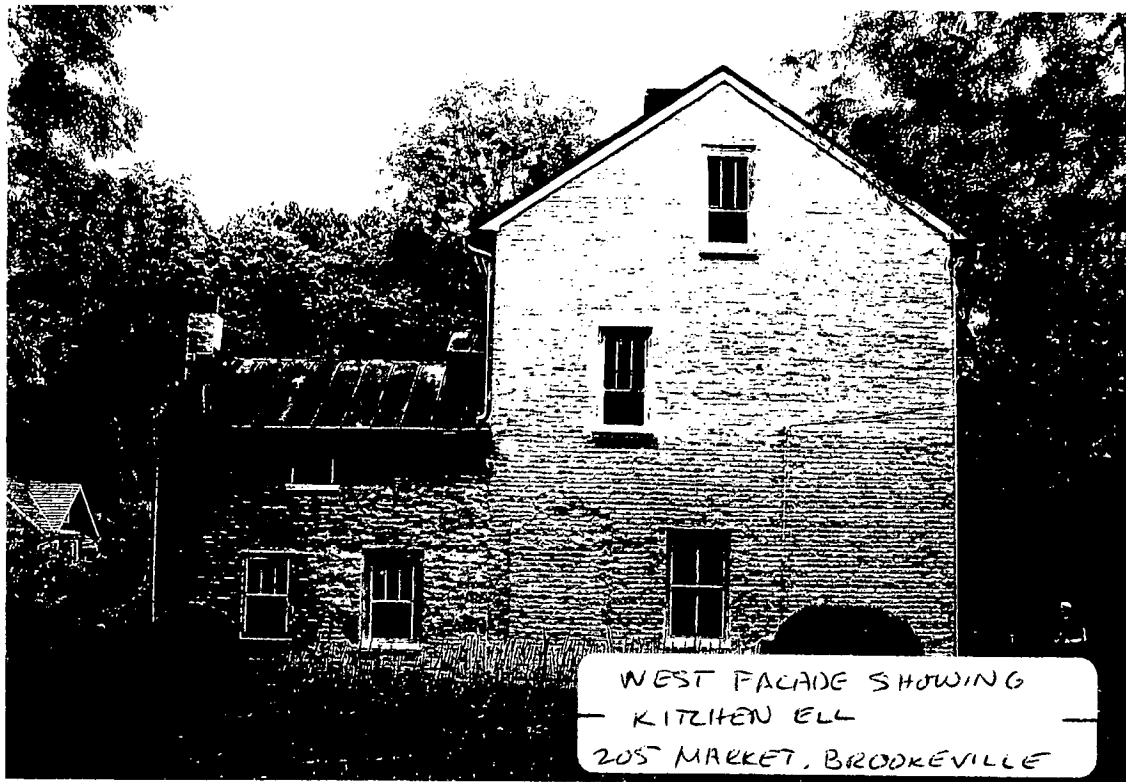
standing
sawn roof
wood plank
wood
painted
brick



PARTIAL FIRST FLOOR PLAN

WEST ELEVATION
11'-0"

Existing Property Condition Photographs (duplicate as needed)

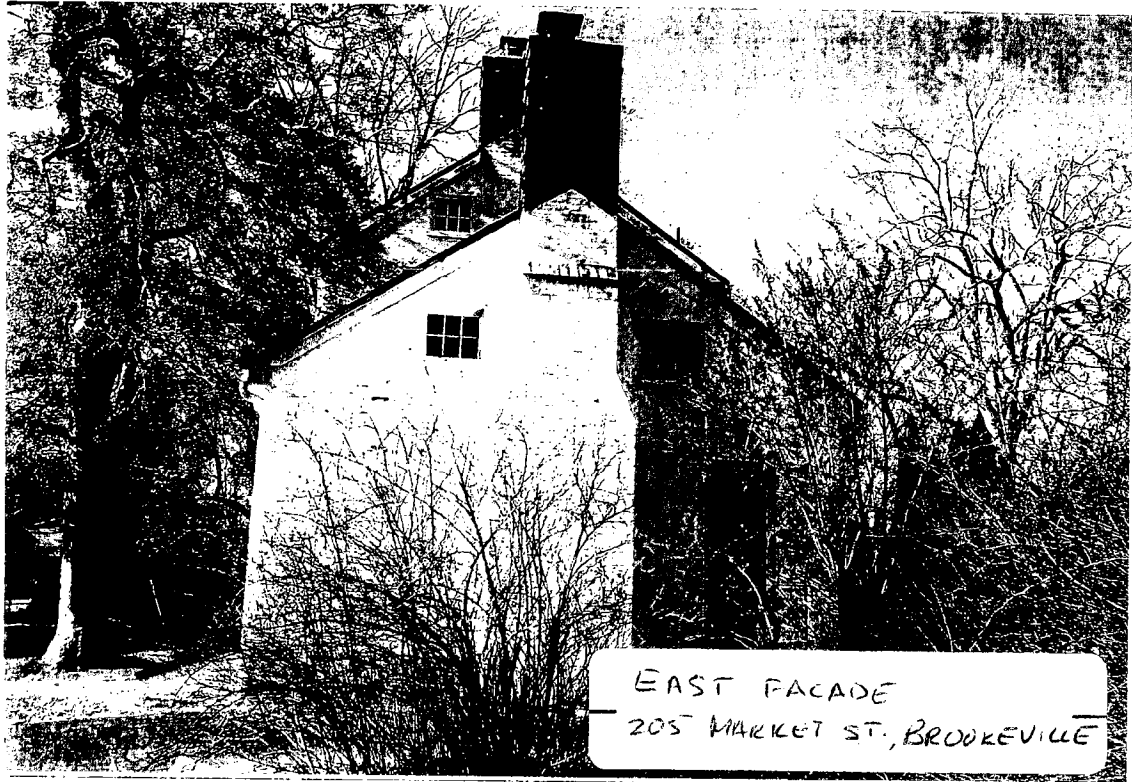


Detail: WEST FACADE SHOWING KITCHEN ELL

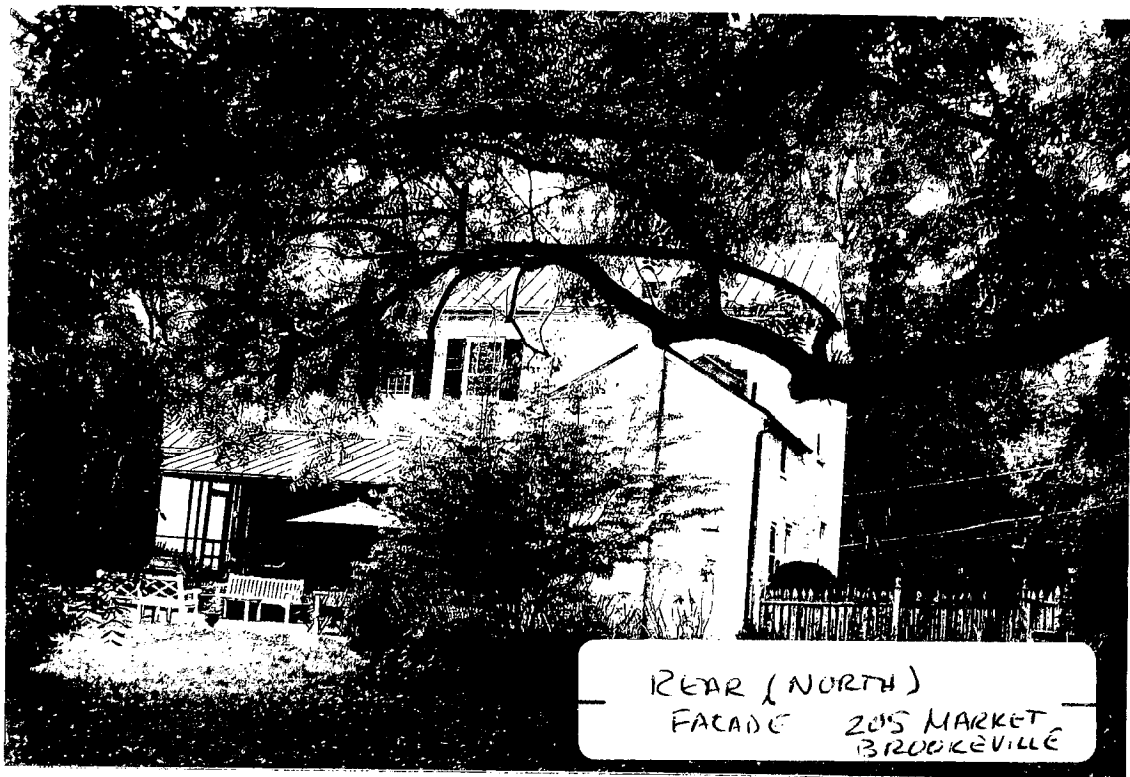


Detail: KITCHEN ELL SHOWING GHOST OF GABLE END
OF ATTACHED SERVICE BUILDING

Existing Property Condition Photographs (duplicate as needed)

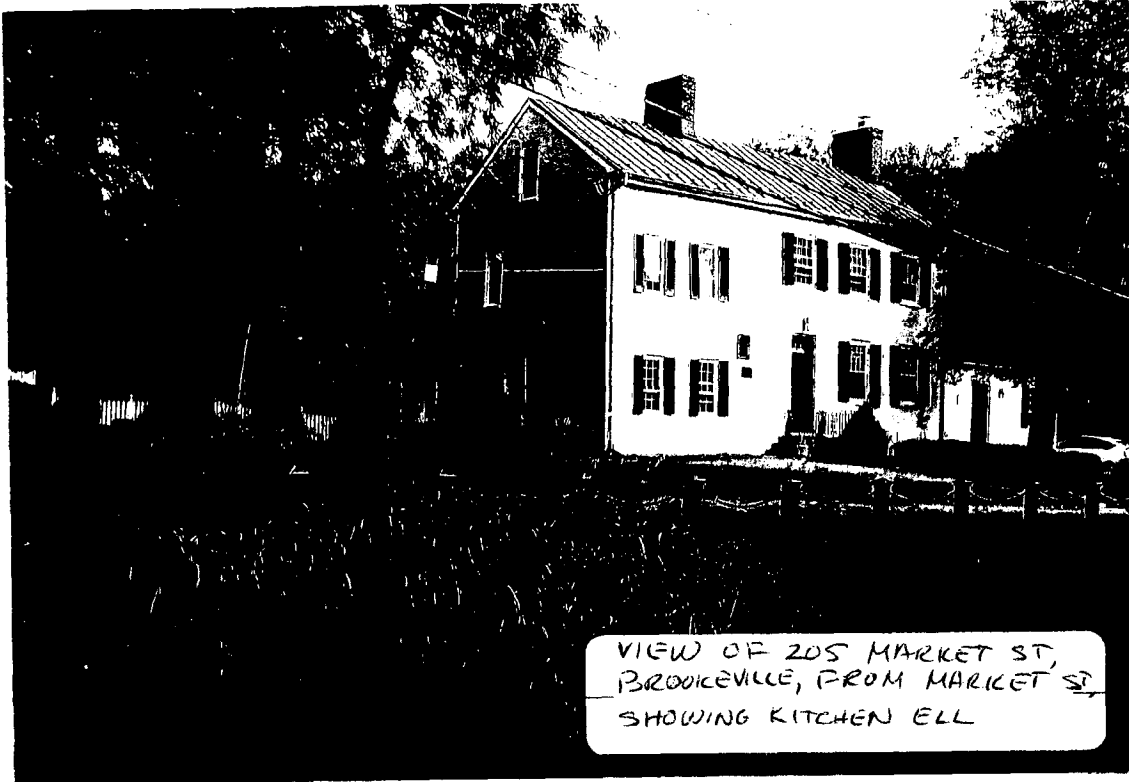


Detail: EAST FACADE

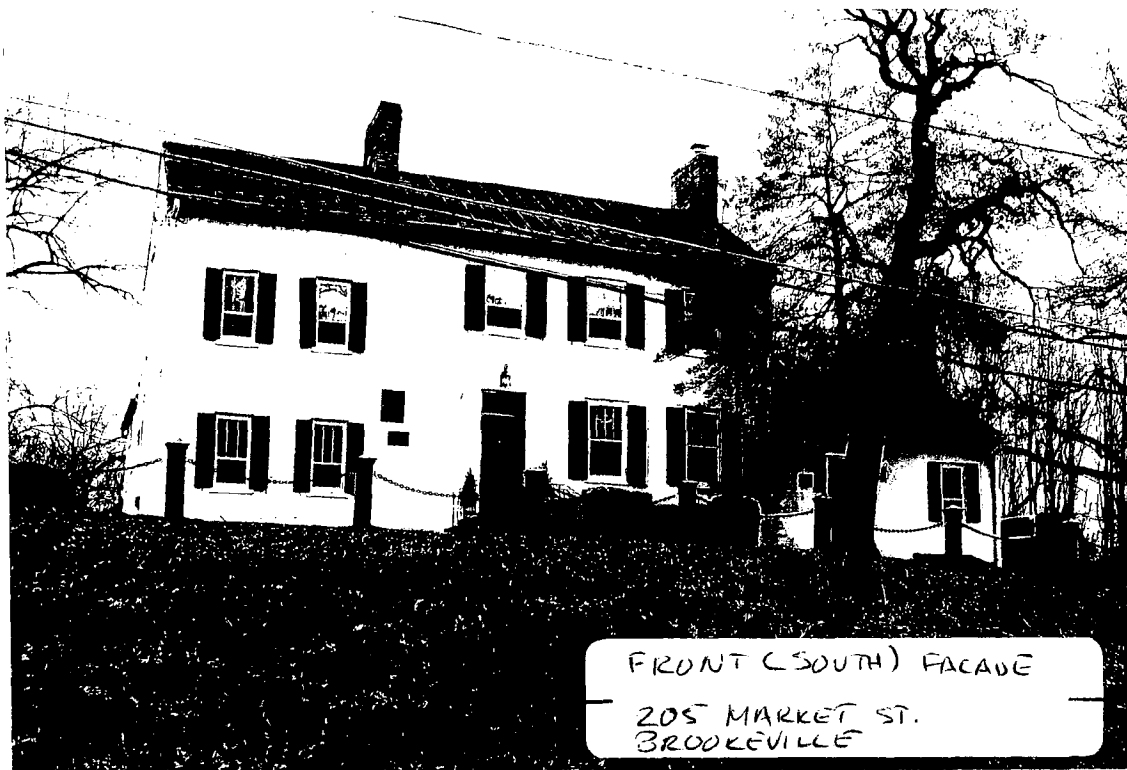


Detail: REAR (NORTH) FACADE SHOWING KITCHEN ELL

Existing Property Condition Photographs (duplicate as needed)

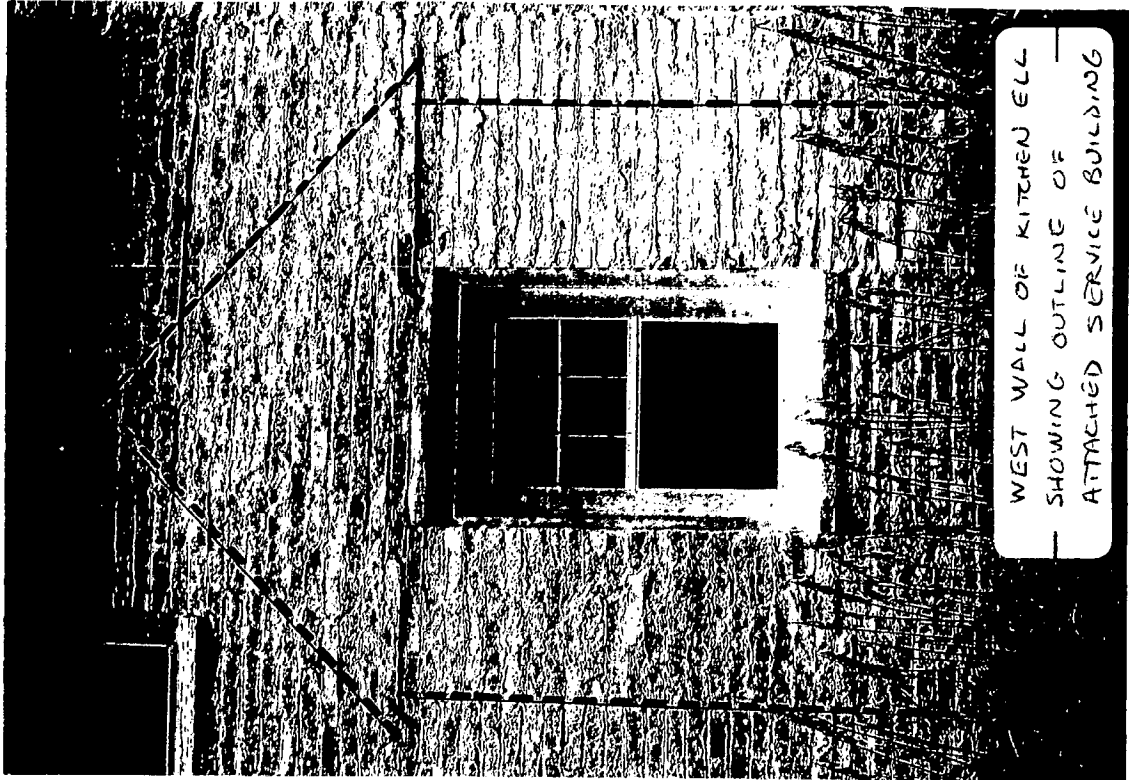


Detail: VIEW FROM PUBLIC RIGHT OF WAY SHOWING KITCHEN ELL

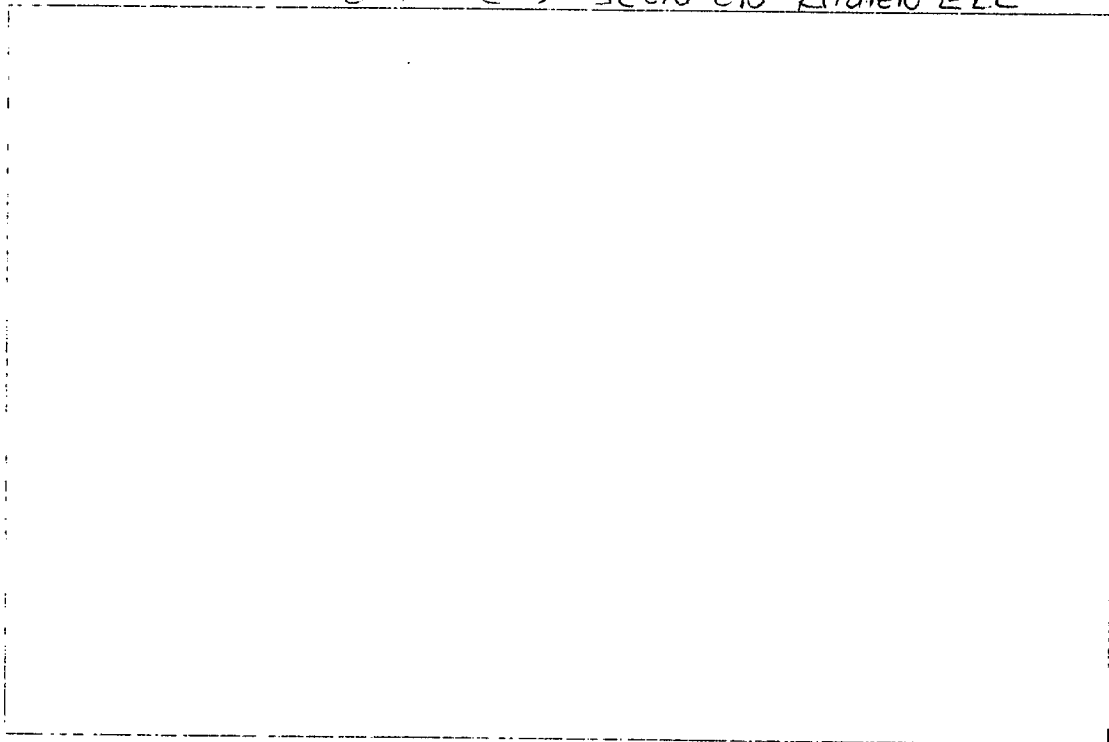


Detail: FRONT (SOUTH) FACADE

Existing Property Condition Photographs (duplicate as needed)



OUTLINE
Detail: GHOST OF EARLIER BUILDING INDICATED BY DOTTED LINE
ON GHOST OF GABLE END SEEN ON KITCHEN ELL



Detail: _____

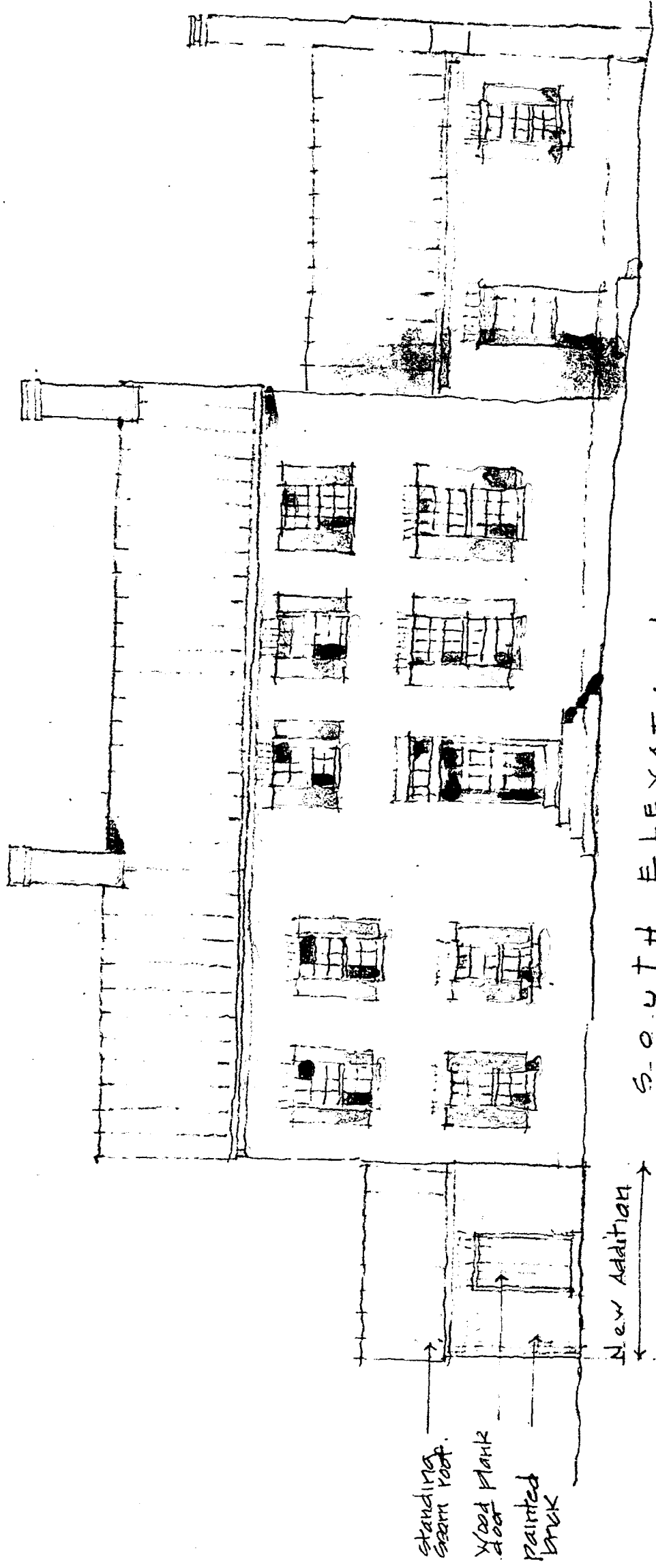




1370

1720

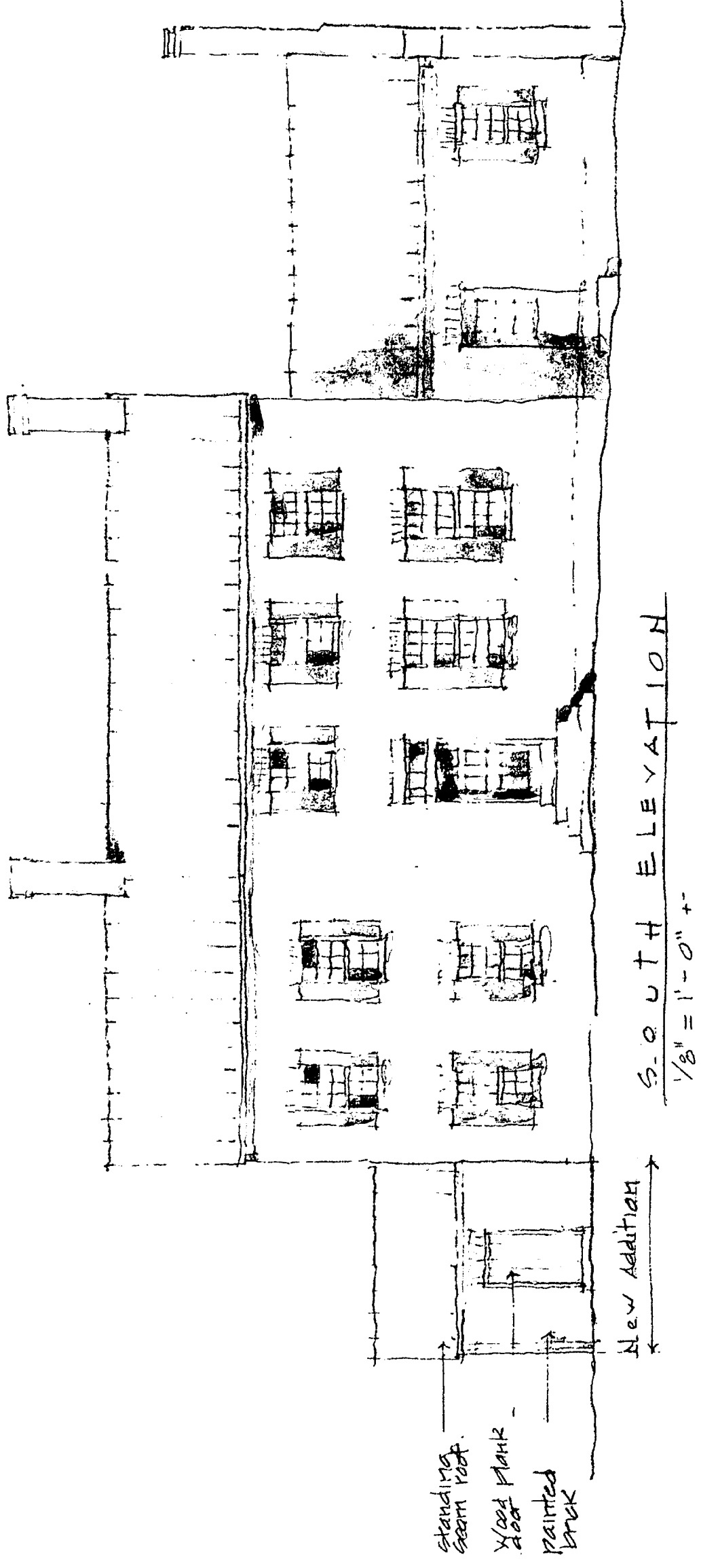
1370

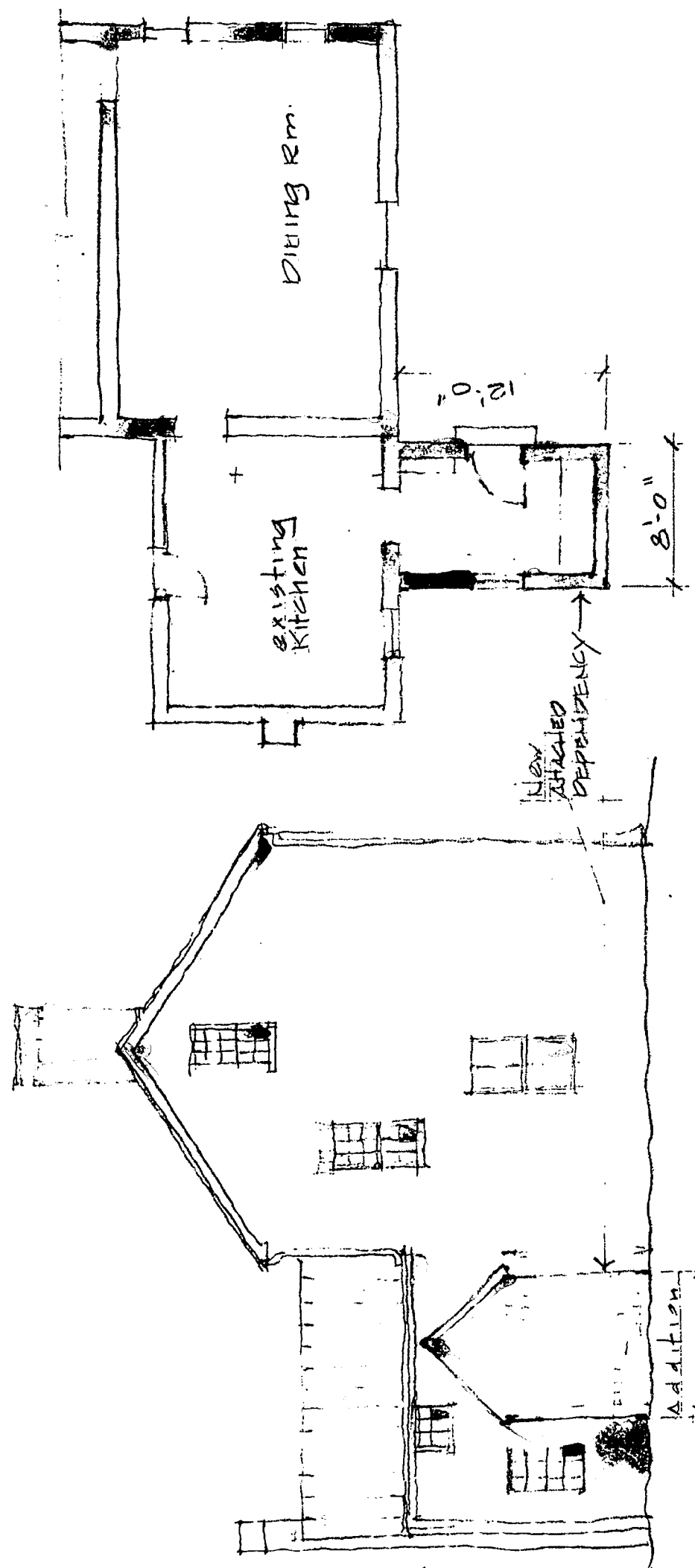


SOUTH ELEVATION
 1/8" = 1'-0" +/-

Standing
Seam Roof.
 Wood Plank
 door
 Painted
 brick

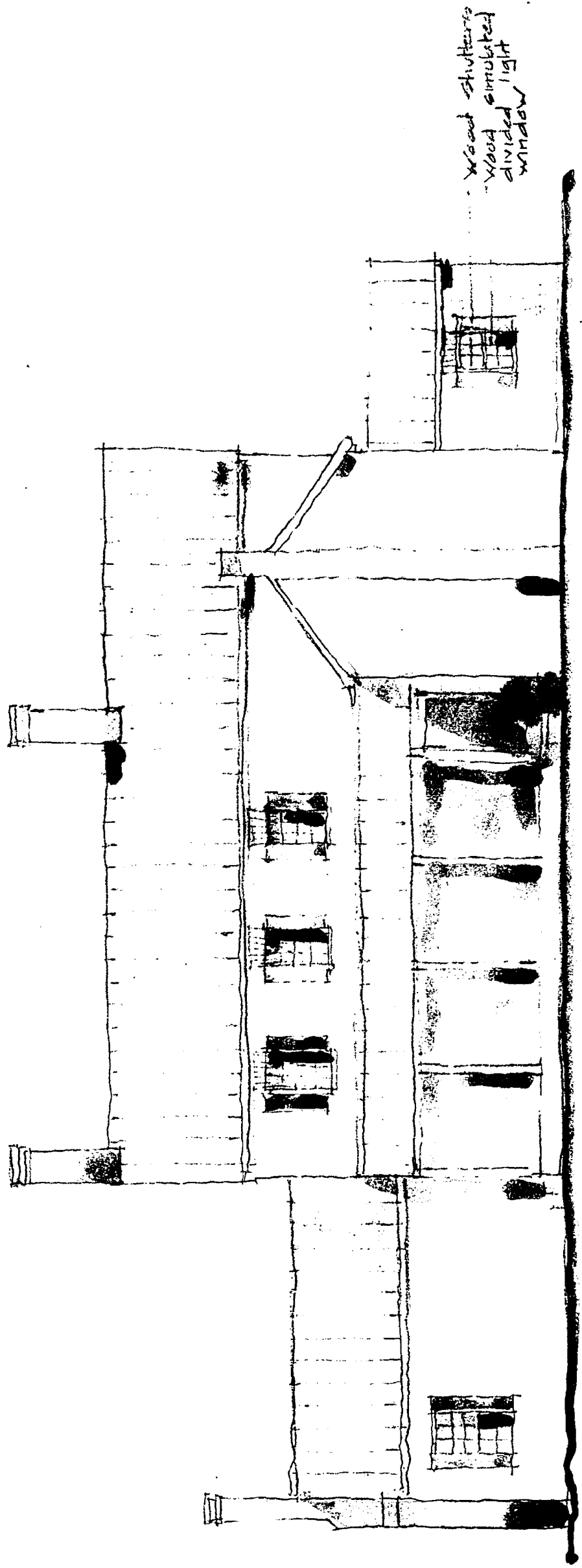
New Addition





PARTIAL FIRST FLOOR PLAN

WEST ELEVATION
11'-0" +/-



New Addition

NORTH ELEVATION



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
301-787-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: SANDRA HEILER

Daytime Phone No.: 301-570-0837

Tax Account No.: 025-30-0482

Name of Property Owner: DUANE & SANDRA HEILER Daytime Phone No.: 301-570-0837

Address: 205 MARKET STREET BROOKVILLE MD 20833
Street Number City Street Zip Code

Contractor: OAK GROVE RESTORATION Phone No.: 301-948-6412

Contractor Registration No.: MD CLASS A CONTRACTOR'S LIC. 15306756

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: NORTH

Lot: _____ Block: _____ Subdivision: _____

Liber: 5581 Folio: 860 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 41,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra J. Heiler
Signature of owner or authorized agent

8/21/09
Date

Approved: _____
For Chairperson, Historic Preservation Commission

Disapproved: _____
Signature: _____ Date: 11.17.09

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

PRELIM

SN

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHMENT A

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT A

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Attachment A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It sits on a one acre lot uphill from Market Street. The acre directly behind it is owned by M-NCPPC.

The house was built about 1780 by Richard Thomas, founder of the town of Brookeville, and is the oldest structure in the town. The west wing was originally a one-story service building containing a kitchen with a fireplace on the west wall. About 1820 the original service wing was converted into a large dining room with an exterior doorway on the west side and an ell that housed the new kitchen was added to the rear. In 1840 one and a half stories were added to the west wing, creating two additional bedrooms, one in the garret. The morphology of the west wing is shown in Attachment B.

The historical significance of the house is based primarily on the visit on August 26 and 27, 1814, of President Madison, who conducted the business of the federal government there after the British occupied the city of Washington and burned the White House. Although those two days were the high point of its history, the significance of the house extends from the time of its construction through the 19th century and into the early 20th. The builder, Richard Thomas, was one of the most influential of the late 18th and early 19th centuries in eastern Montgomery County. He built many of the important houses in the area, including Locust Grove and Woodlawn Manor, as well as three other houses and a mill in Brookeville. He also laid out the town's street plan and 56 lots on land that he owned or that his wife, Deborah Brooke, received from her father, Roger Brooke, the largest landowner in eastern Montgomery County at the time.

Thomas sold the house in the 1790s to his brother-in-law, Caleb Bentley, a gold- and silver-smith and clockmaker, who used the east wing as a shop. He was named Brookeville Postmaster by Thomas Jefferson in 1802. It was Caleb Bentley and his second wife, Henrietta Thomas, an acquaintance of Dolley Madison, who hosted the President's visit in 1814. Bentley, and two other of his brothers-in-law founded the mill town of Triadelphia. Another 19th century resident was Roger Brooke V, who was instrumental in introducing progressive farming methods to Montgomery County. In the early 20th century baseball hall-of-famer Jack Bentley, who hit the winning home run in the 1924 World Series, lived in the house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would add a small pantry to the west side of the kitchen ell at the site of an earlier attached dependency whose ghost is visible on the outside wall. The original dependency probably served as a wood house, since the kitchen had a wood-burning stove and stepping stones in front of it led to a side entrance to the house, which has five fireplaces. The addition will be framed and insulated and built on a concrete slab. The exterior will be brick veneer with a standing seam metal roof and a plank door. As much as possible, the location, form, style, and materials will carefully follow those of the original dependency, except that the brickwork will be distinguished from the common bond used on the west side and the Flemish bond on the front. The result will restore the west wing to more closely resemble its earlier appearance. Attachment C describes the evidence for dating the phases of the morphology and our rationale for determining the details of the proposed addition.

The results of an informal survey of houses from this region with small (one-story) side dependencies that were built in roughly the same period as the evolution of the west wing are shown in Attachment D. (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) The photos and drawings in Attachment D range from the broadest area, various parts of the Mid-Atlantic, through houses in Montgomery County to those in or near Brookeville. While such attached dependencies were frequently found in the survey buildings, they varied widely in length, from about 8' to more than 16'. Both side and end entrances were common. Although the dependencies were more often attached to the gable side of a building, it was not unusual to attach the dependency to the eave side, as is visible on the right side of the picture of Fair Hill and the drawing of Friendship, the Moxley Farm, where the dependency is attached to the eave side of a rear ell with a centered front doorway (like the proposed addition), although it has a shed, rather than gable, roof.

Attachment B

1. WRITTEN DESCRIPTION OF PROJECT

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Attachment C

The details of the morphology of the west wing and the attached dependency are based mainly on physical evidence found at the site, but also on evidence from some earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s. Conversations with local mason David Yinger, who has repaired and restored the masonry at various times since 1958, also helped to determine the likely sequence of changes, based on a careful reading of the brick walls. The probable dates for the changes shown in the morphology are based on substantial increases in the taxes (likely due to improvements in the house) in 1820 and 1840.

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was originally constructed as an interior wall and, thus, that the missing building was probably attached to the ell when it was constructed in 1820. The ghost is marked on an attached photo. According to an earlier resident of the house, a dependency existed at that location in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, an exterior door had been installed in the opening. About 1960, the doorway was closed off with a window and a brick wall and a crude cupboard that had been salvaged from the original dependency was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original dependency are visible in the ghost on the exterior of the kitchen ell wall. The addition would follow those dimensions. In light of the range of lengths found in similar side dependencies, we have proposed a length of 12 feet, which is about average, and would place the stepping stones that lead to the side door of the dining room at the middle of the front, where we propose to locate the doorway. (Note that the nearby smokehouse, which has the same roof slope as the dependency, is also 12 feet long with a doorway centered on the front.) (Archaeological research and aerial photos from 1937 may possibly reveal more information, but results are not yet available.)

The addition will have a plank door similar to the door on the east wing, which is original to the house, but smaller, and similar those used on other service buildings of the period. According to an earlier resident, the walls of the original were brick. The brick of the proposed addition will be similar in size and texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back and the roof material, overhang, and trim will match those of the kitchen ell, which is typical of many of the local dependencies in the survey sample.

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Site Plan

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

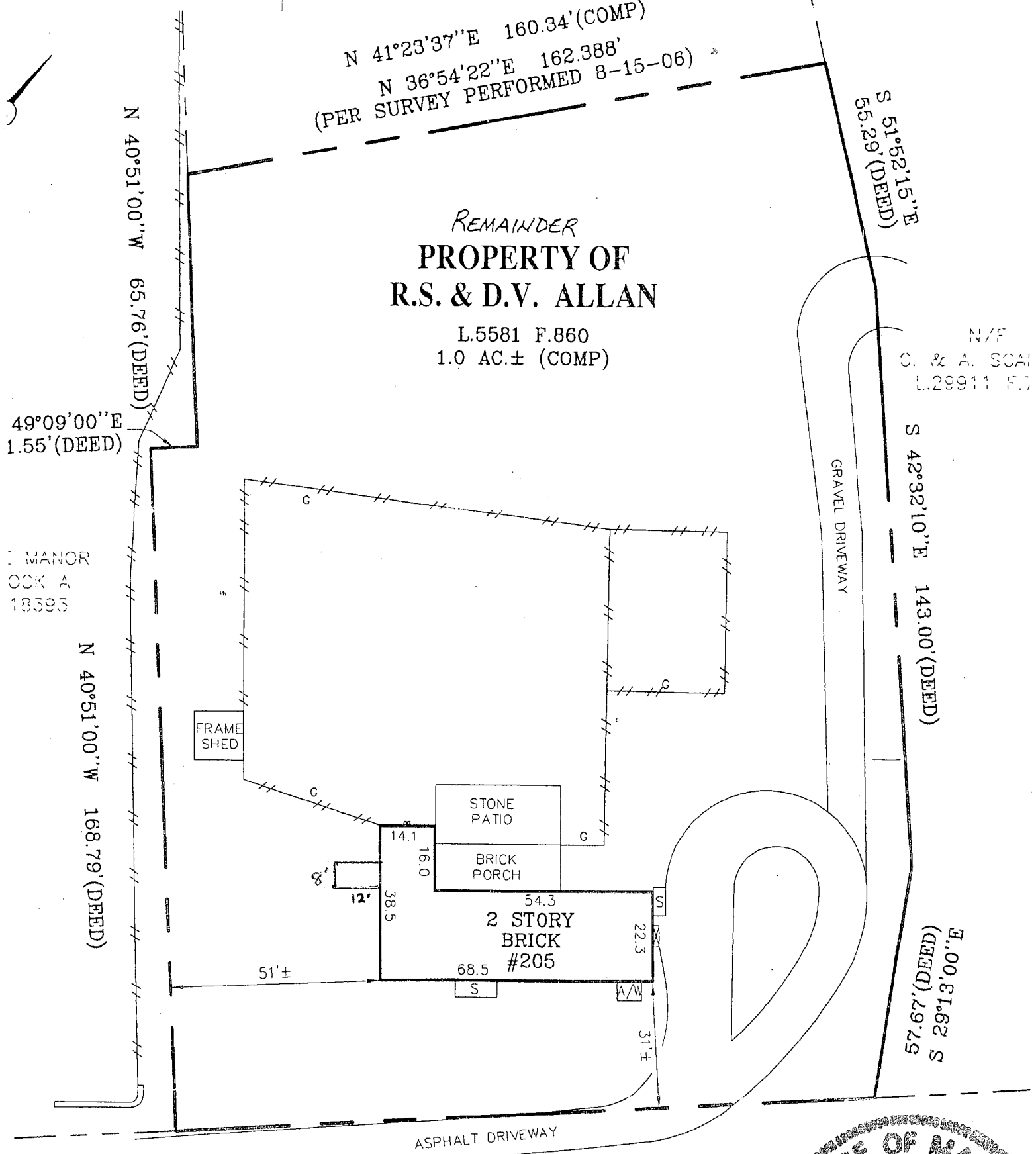
L.5581 F.860
1.0 AC.± (COMP)

S 51°52'15"E
55.29'(DEED)

N/F
C. & A. SCAM
L.28911 F.1

S 42°32'10"E 143.00'(DEED)

S 77°00'31.62"E
(DEED), 29.75



49°09'00"E
1.55'(DEED)

MANOR
BOOK A
18395

N 40°51'00"W 168.79'(DEED)

FRAME SHED

STONE PATIO

BRICK PORCH

2 STORY
BRICK
#205

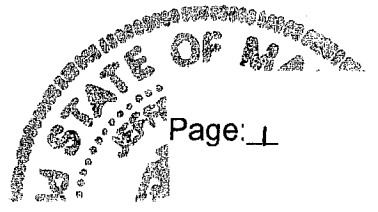
GRAVEL DRIVEWAY

ASPHALT DRIVEWAY

Applicant: ~~DANIEL HEILER &~~
SANDRA I. HEILER

S 48°20'00"W 173.60'(DEED)

MARKET STREET



Materials Specifications

Brick to match kitchen ell with standing seam metal roof.

Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.

Existing Property Condition Photographs (duplicate as needed)

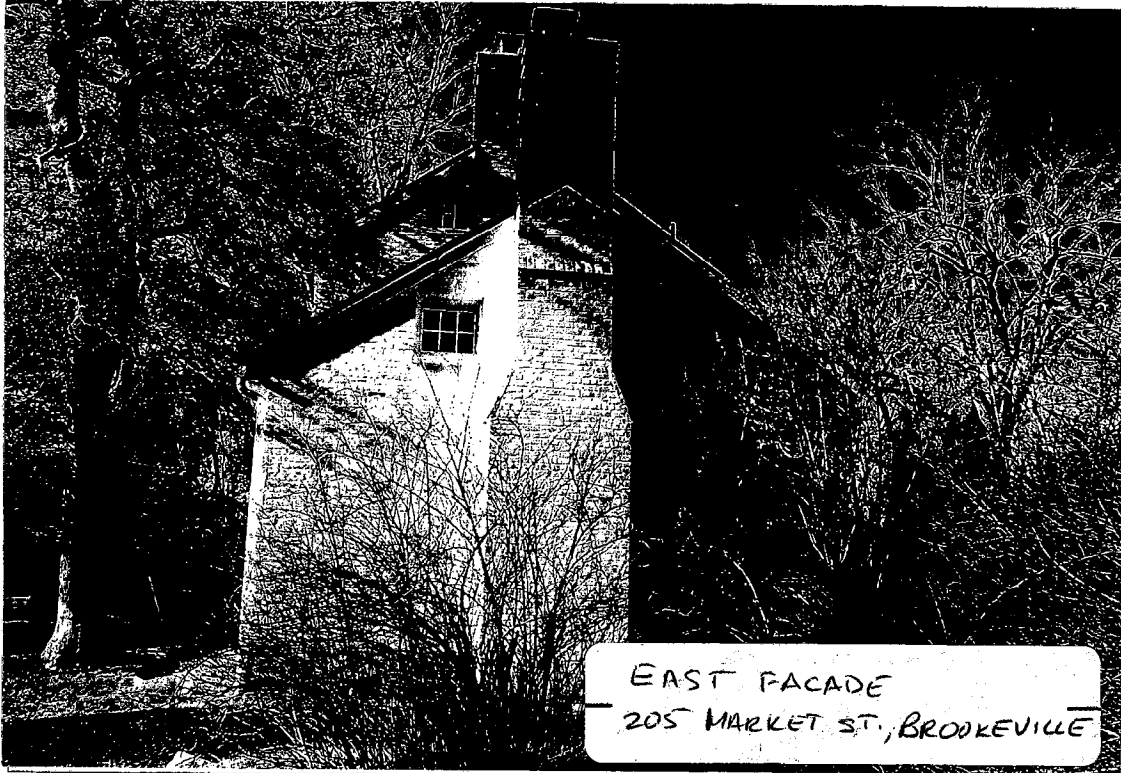


Detail: VIEW FROM PUBLIC RIGHT OF WAY SHOWING KITCHEN ELL

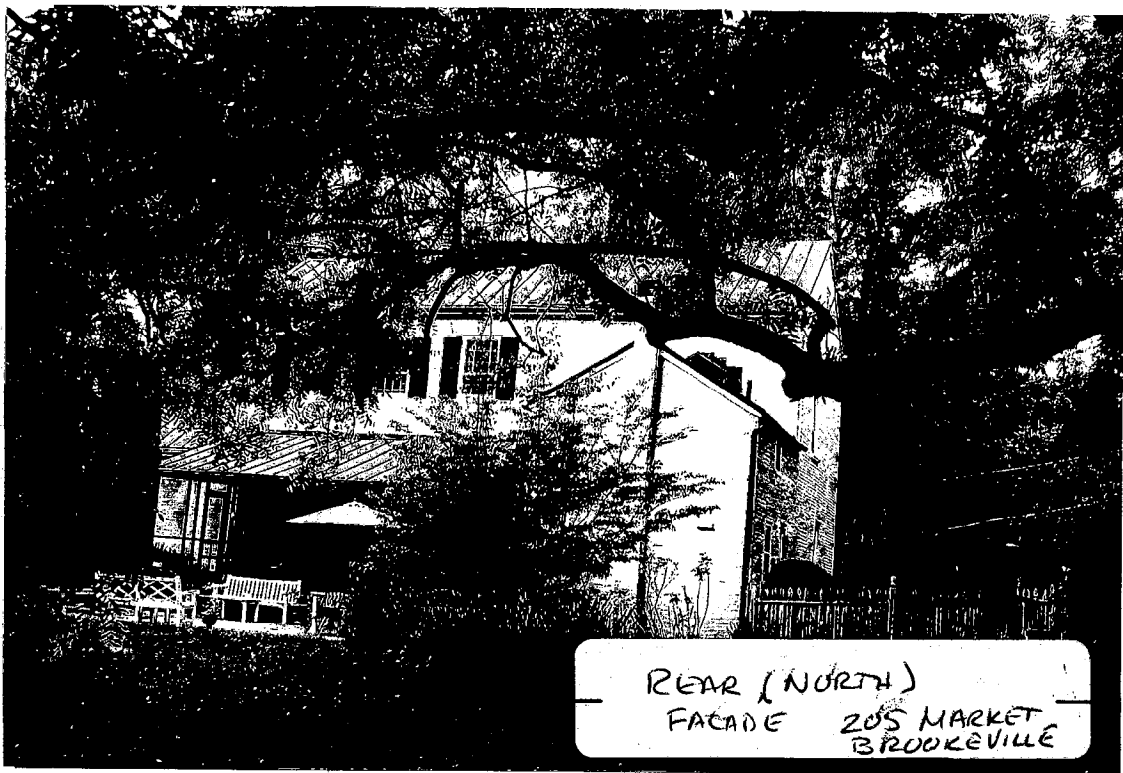


Detail: FRONT (SOUTH) FACADE

Existing Property Condition Photographs (duplicate as needed)

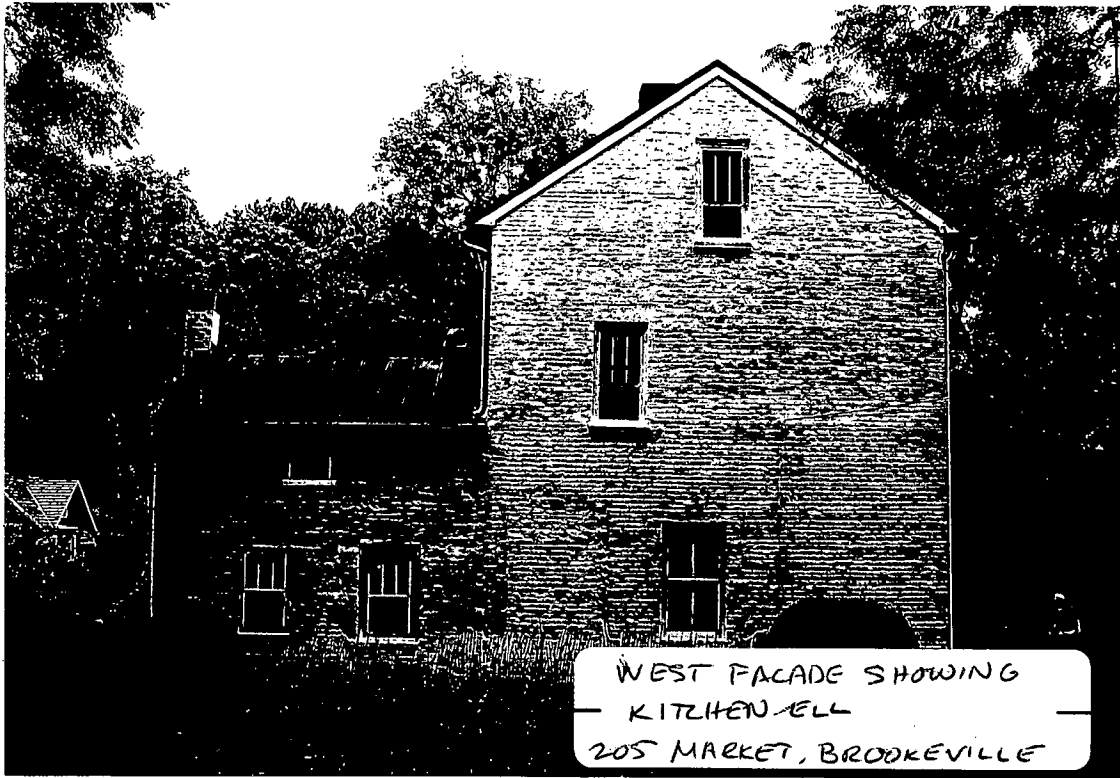


Detail: EAST FACADE



Detail: REAR (NORTH) FACADE SHOWING KITCHEN ELL

Existing Property Condition Photographs (duplicate as needed)

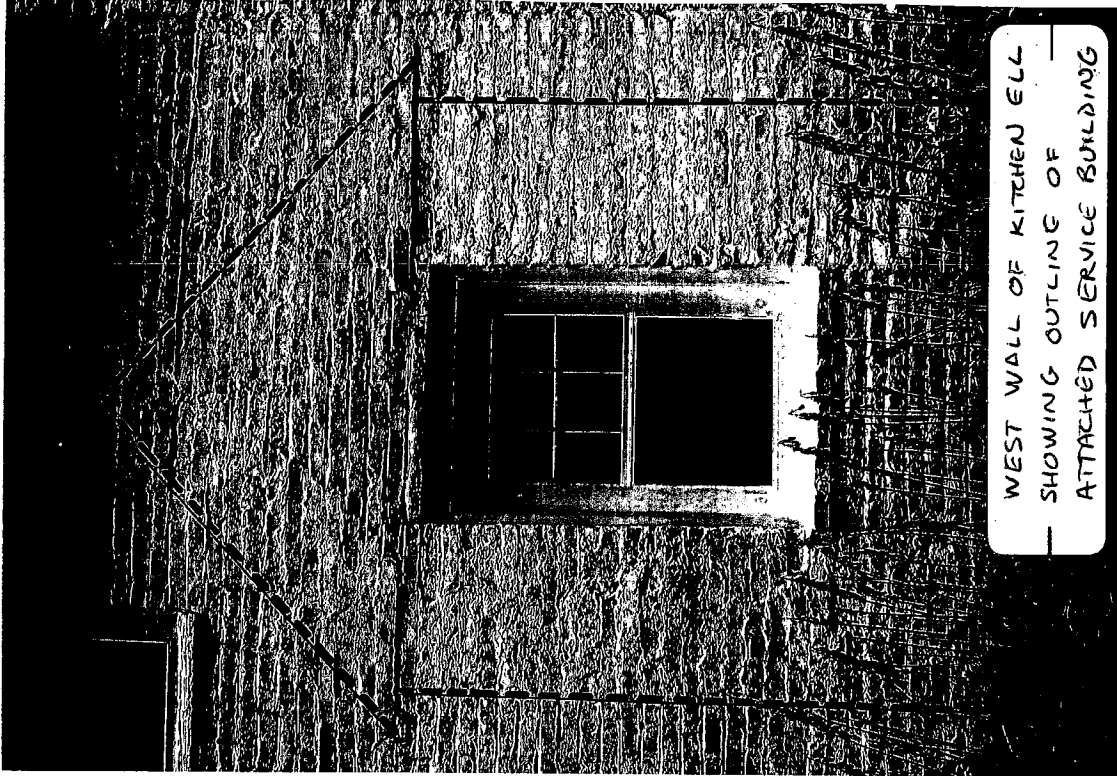


Detail: WEST FACADE SHOWING KITCHEN ELL

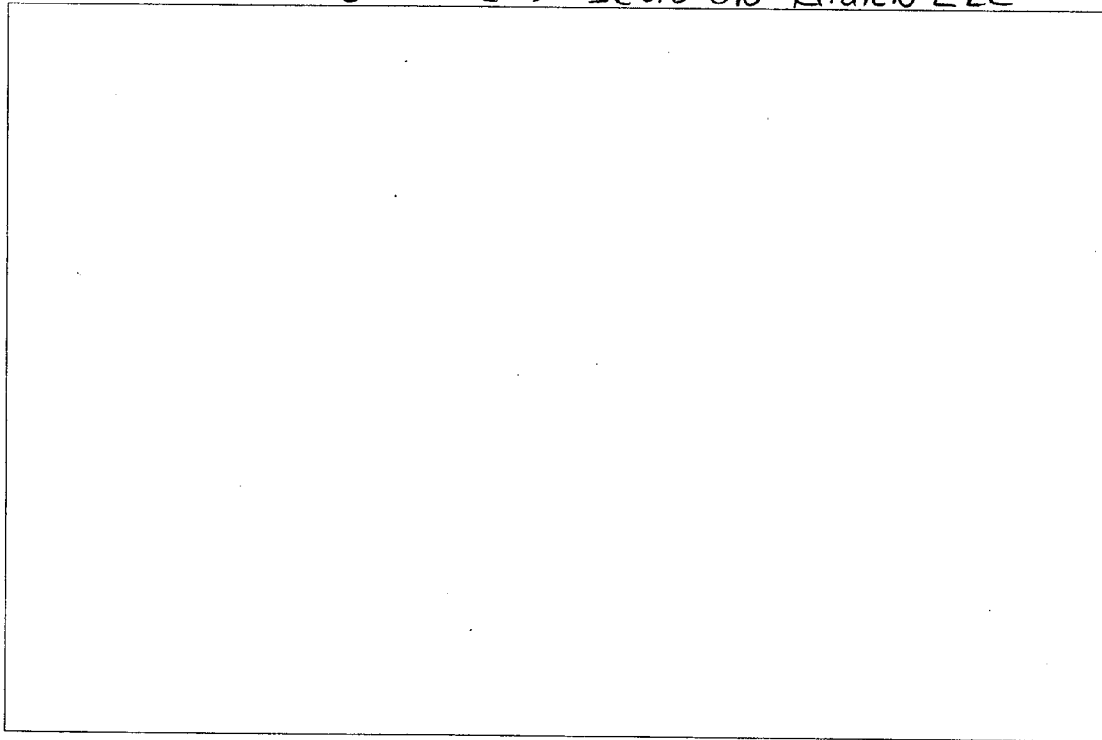


Detail: KITCHEN ELL SHOWING GHOST OF GABLE END
OF ATTACHED SERVICE BUILDING

Existing Property Condition Photographs (duplicate as needed)



OUTLINE
Detail: GHOST OF EARLIER BUILDING INDICATED BY DOTTED LINE
ON GHOST OF GABLE END SEEN ON KITCHEN ELL



Detail: _____

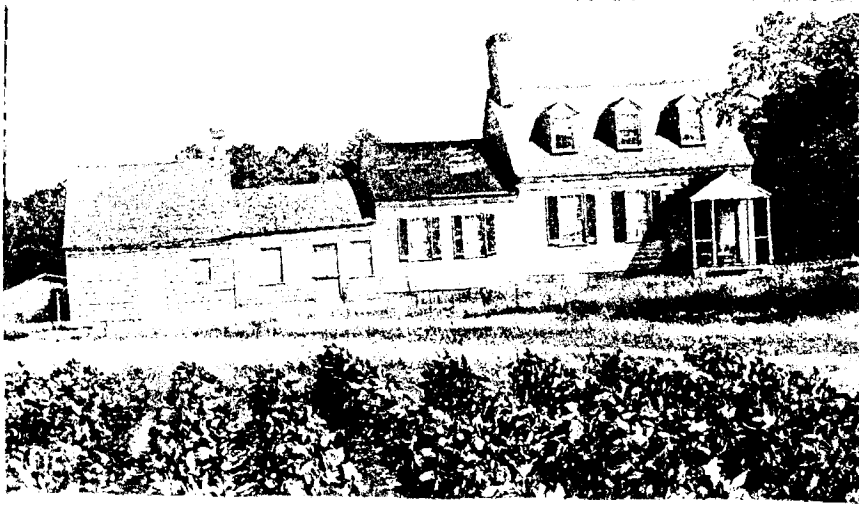
Addresses of abutting properties:

**Merrill and Susan Johnson
202 Market Street
Brookeville, MD 20833**

**Chris and Andrea Scanlon
203 Market Street
Brookeville, MD 20833**

**Warren Ferris and
Renee Moneyhun
207 Market Street
Brookeville, MD 20833**

Attachment D



Eastern Shore of Virginia



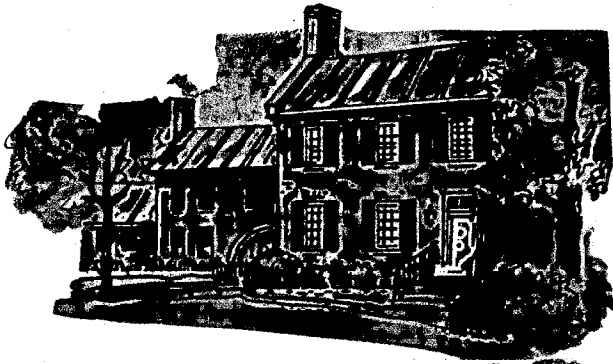
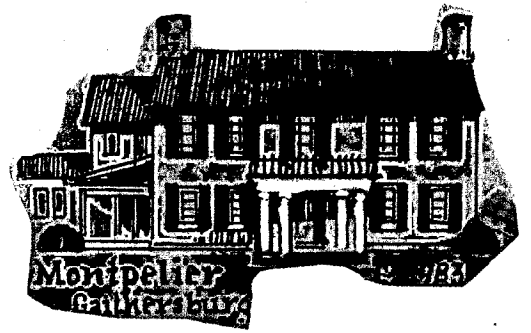
Willowdale, Accomack, Virginia



Fair Hill, Olney, Maryland



Aspendale, Kent County, Delaware

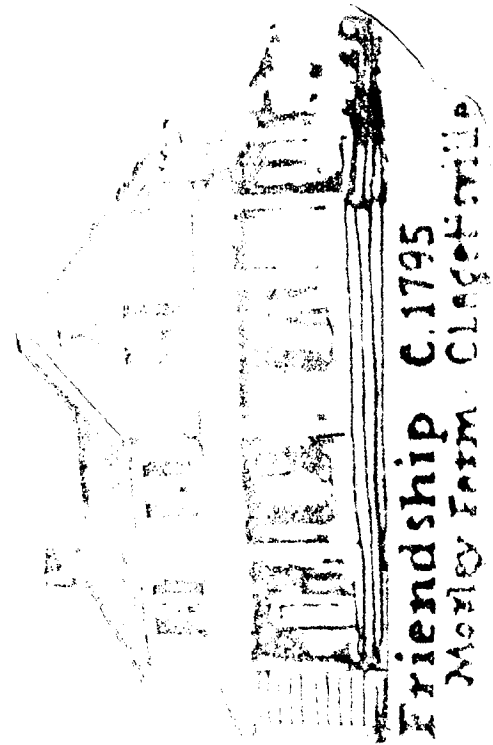


The Beall-Dawson House 1815
Rockville

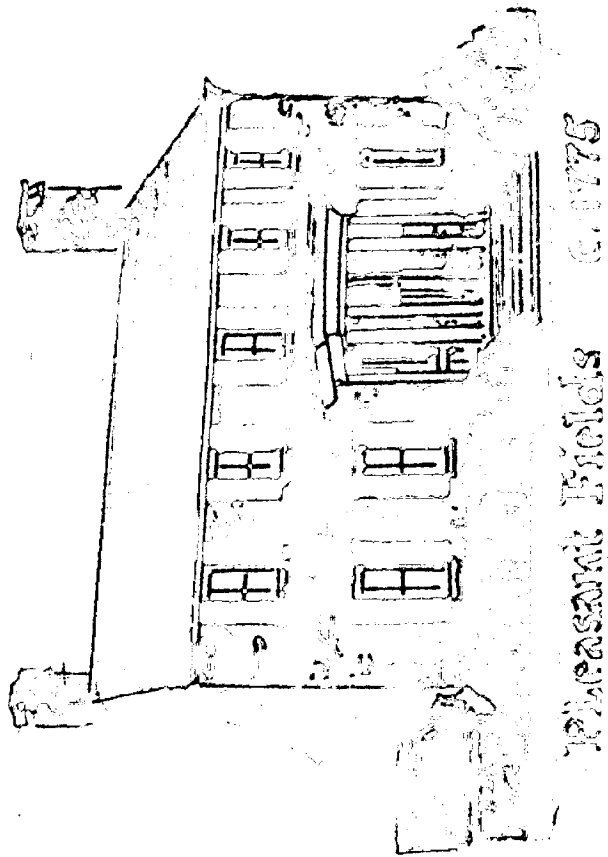




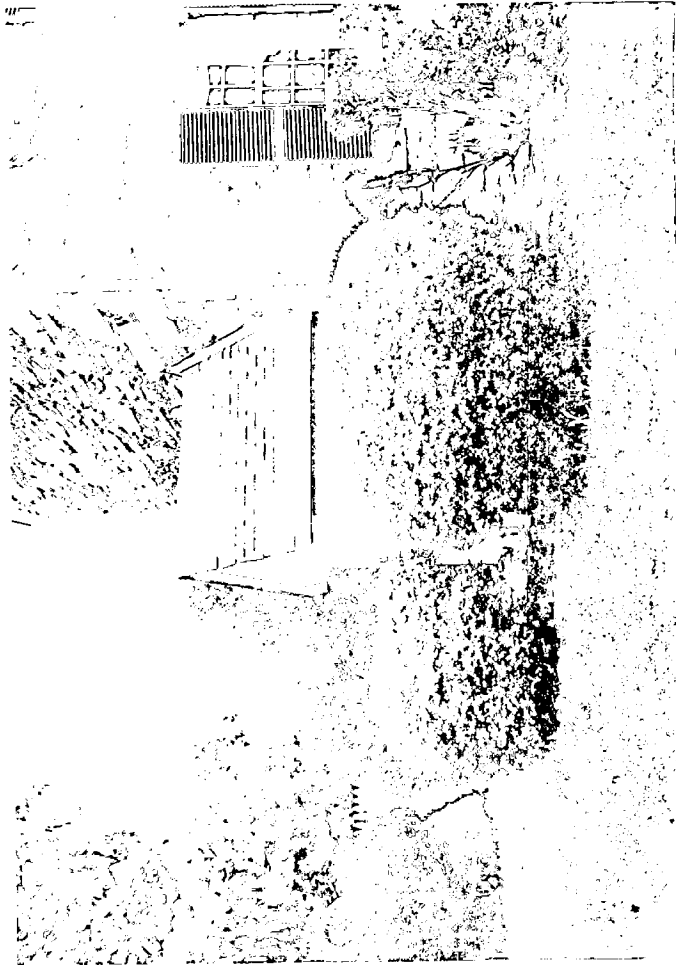
4515 Sundown Road, Laytonsville
c. 1820



Friendship C. 1795
Morley Farm Clagetville



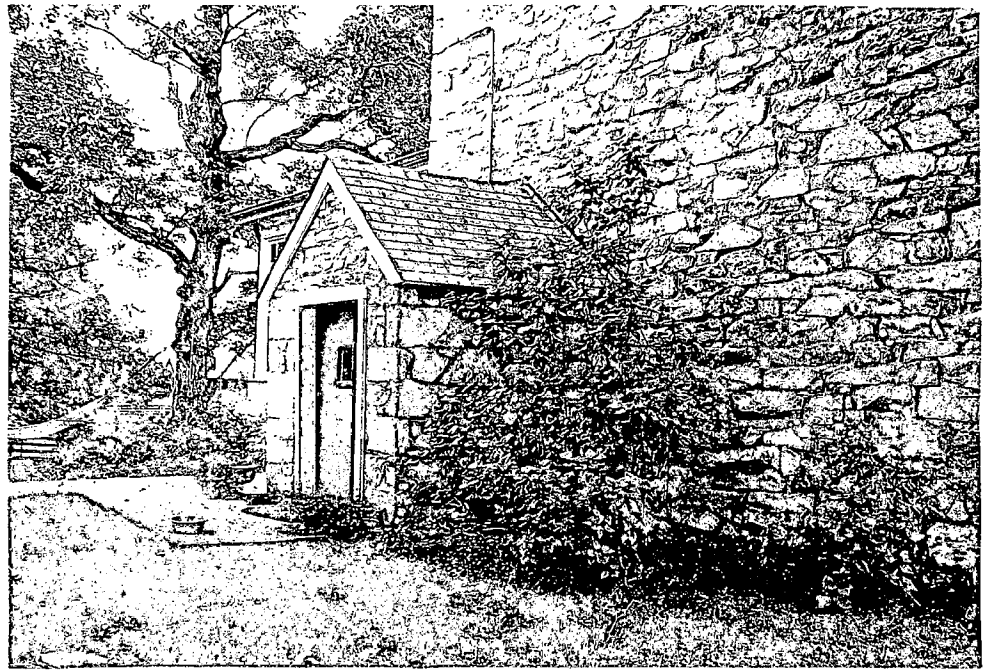
Pleasant Fields c. 1775



Locust Grove, Brookeville Road
Brookeville c. 1810



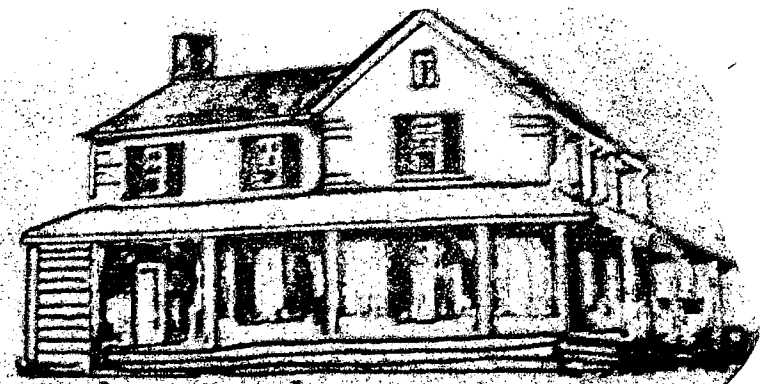
Pleasant Fields c. 1775



**4515 Sundown Road, Laytonsville
c. 1820**

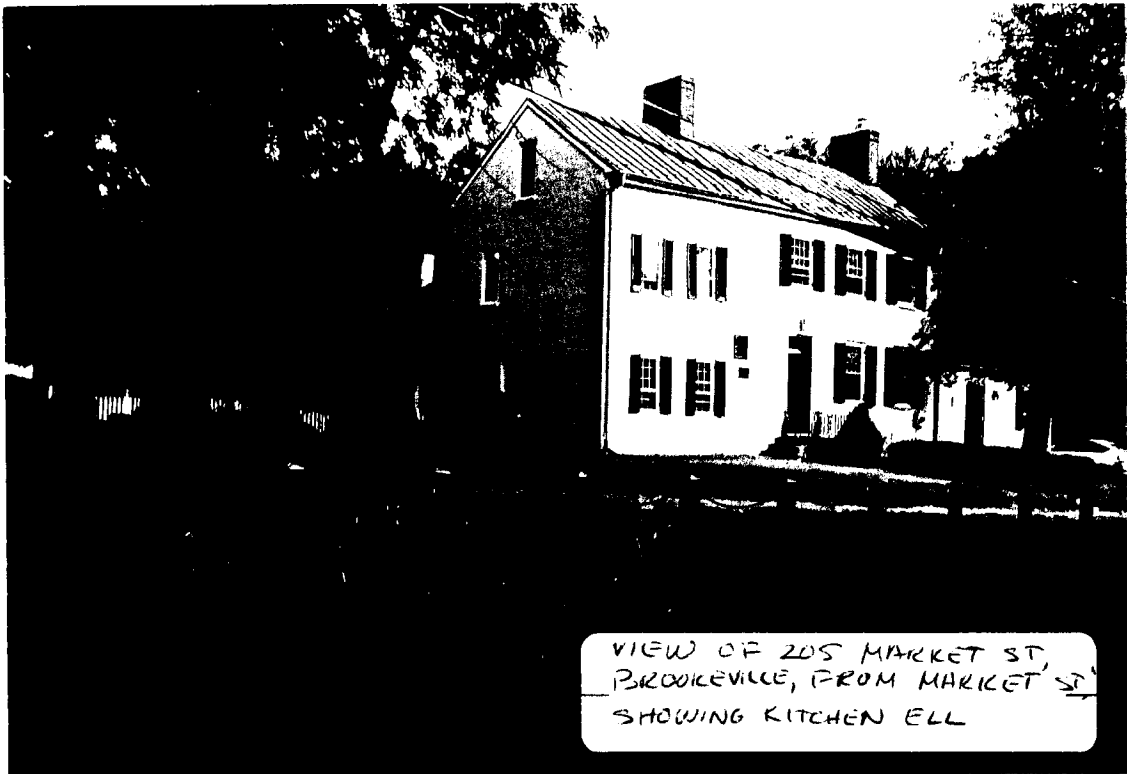


**Locust Grove, Brookeville Road
Brookeville c. 1810**

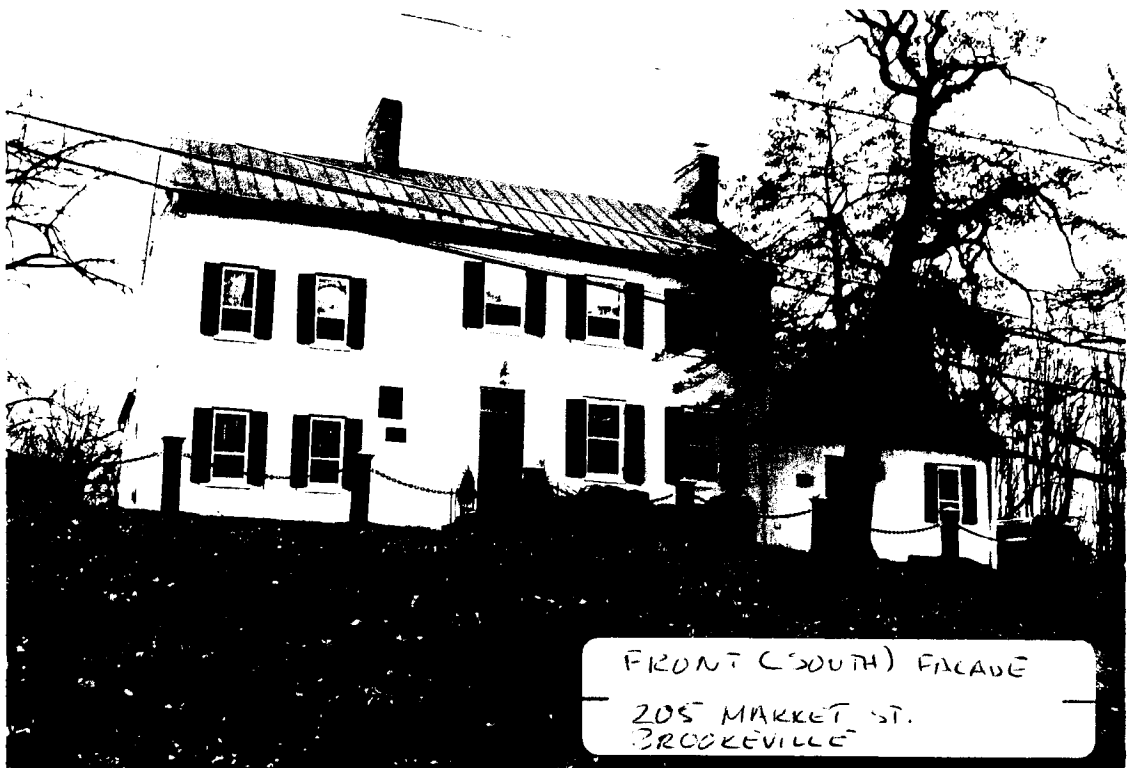


**Friendship c. 1795
Moxley Farm - Clagetsville**

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW FROM PUBLIC RIGHT OF WAY SHOWING KITCHEN ELL

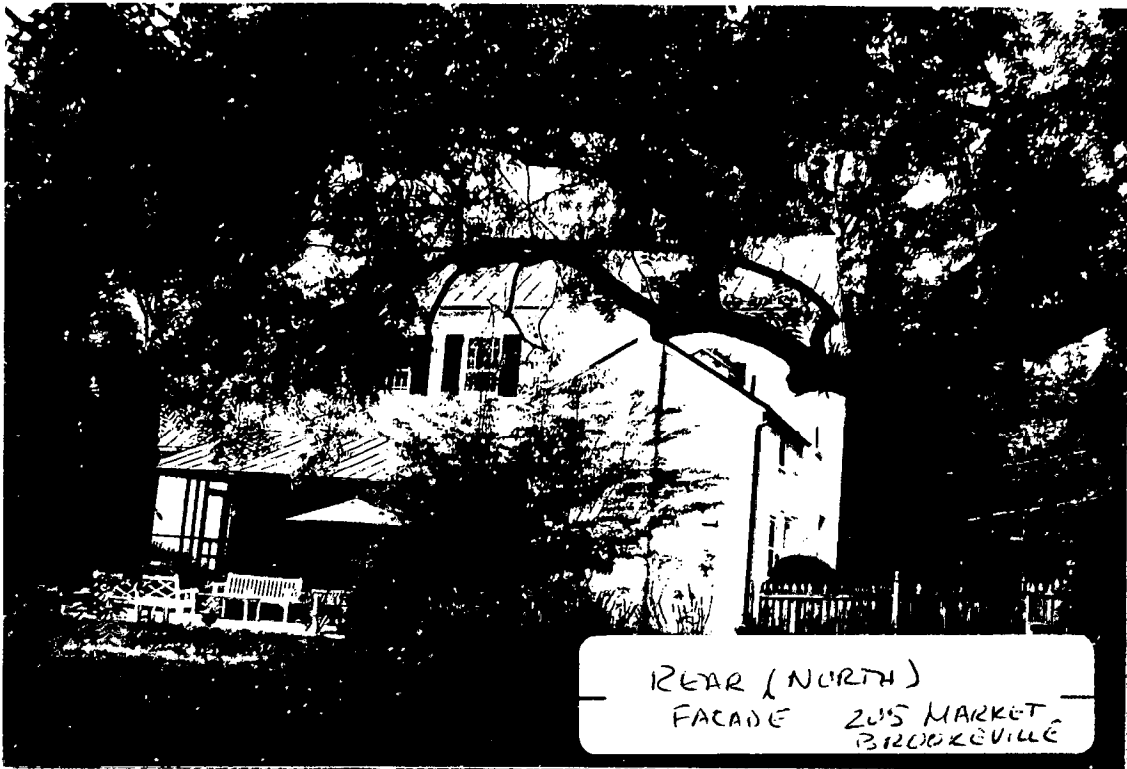


Detail: FRONT (SOUTH) FACADE

Existing Property Condition Photographs (duplicate as needed)

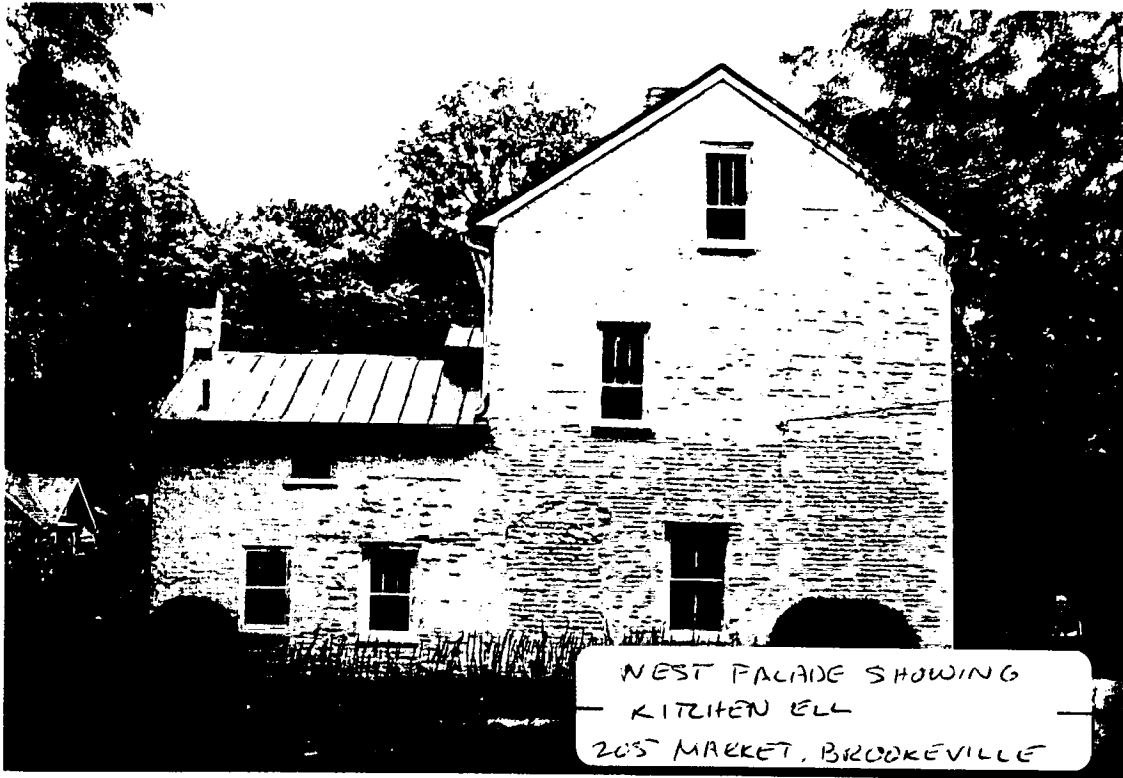


Detail: EAST FACADE



Detail: REAR (NORTH) FACADE SHOWING KITCHEN ELL

Existing Property Condition Photographs (duplicate as needed)



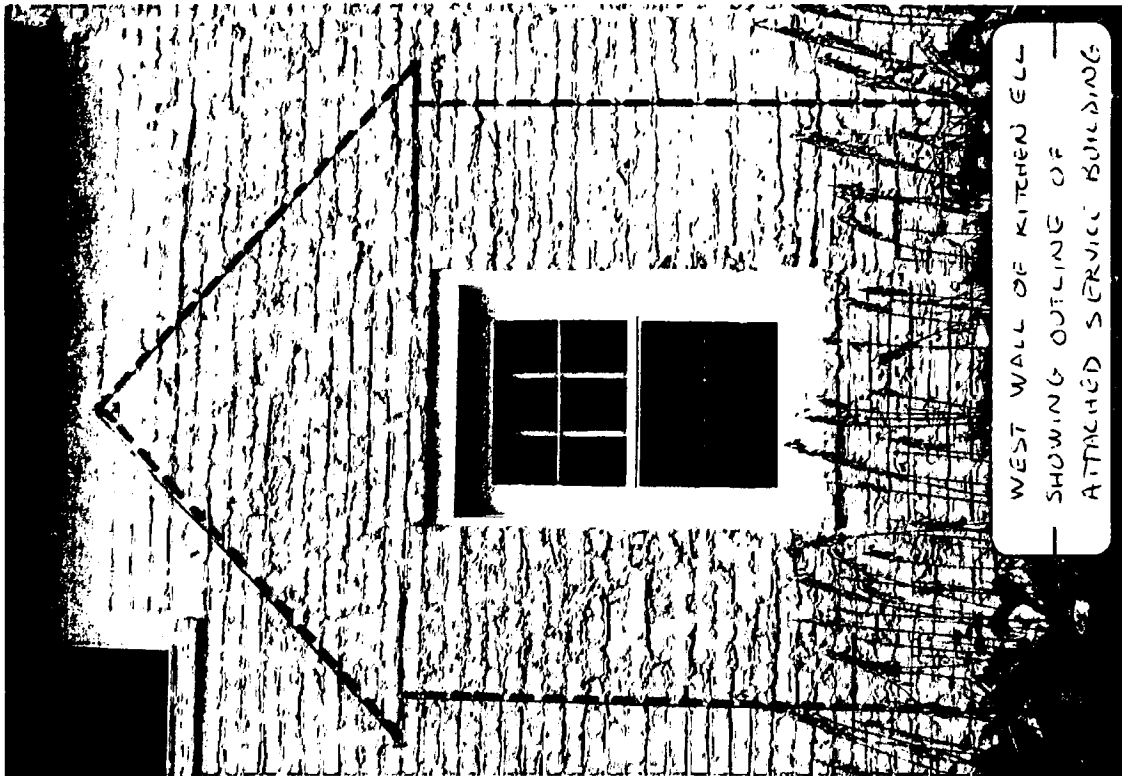
Detail: WEST FACADE SHOWING KITCHEN ELL



Detail: KITCHEN ELL SHOWING GHOST OF CABLE END
OF ATTACHED SERVICE BUILDING

24
16

Existing Property Condition Photographs (duplicate as needed)



DURING
Detail: GHOST OF EARLIER BUILDING INDICATED BY DOTTED LINE
ON CREST OF GABLE END SEEN ON KITCHEN ELL

Detail: _____

Applicant: WALTER & SANDRA HECKER

Page: 11

(25)
(17)

September 9, 2009 HPC meeting
DRAFT transcript

CHAIR ROTENSTEIN: Next item on the agenda is a preliminary consultation at 205 Market Street in Brookeville and Commissioner Heiler will be leading the dais because this is her case. And do we have the staff report?

MS. FOTHERGILL: Yes, the applicant submitted it for the August meeting, and those of you who were at that meeting will remember that Brookeville -- this is the Madison House which is an outstanding resource from the Brookeville Historic District. It's at 205 Market Street.

And at the first preliminary consultation, the Commission and the applicant discussed this proposed left side addition and that is based on evidence of an earlier side addition or some sort of service way into the house.

So at the first preliminary consultation, the Commission requested that the applicant provide more information. It was difficult to understand the different sections of the house and the construction dates. And they wanted a more graphic representation of that morphology. And they also encouraged to applicants to do more research to try to deed the attached service building and determine its dimensions and materials, if possible.

The applicant since then has provided the Commission with more information. The applicant has hired an architect. You all were provided with the Madison House morphology which is in Circle 16 in your packet that clearly shows the evolution of this house, when the different sections were built and when evidence suggests this side attached dependency was constructed.

The applicant also provided plans of what they are proposing which is again based on this earlier section of house. And the applicant also provided photos of other houses with small side attached sections of the house that are of similar vintage and so those are to show that there are other examples of this type of addition to a house in this time frame.

So the applicants are back. They are proposing to construct this rear west side addition of the house attached to an existing kitchen and they are proposing that the 8 feet wide, 12 feet long and

approximately 14 feet tall and at this point the proposed materials for the addition are painted brick to match the house, a wood window with simulated divided lights that would be used from the existing wall, wood shutters and trim, one wood plank door, a stainless and metal roof and copper gutters and you have the plans in Circle 17 through 20.

And I think the applicant also has some additional information ready to provide you tonight in terms of the aerial photographs and the archeology work that has been done.

And I think staff would ask that if the applicant is going to move forward that the Commission provide feedback on whether you can support the side addition to this house, in general, to propose dimensions of the portion of the addition, the materials of the addition, and the location and treatment of the window, the proposed window.

I will show you some photos, although I do think most of you are familiar with this.

So that kitchen now you can see on the left side of this photo and that is where the proposed addition would go. This is the rear elevation and the close up of where the addition would attach.

COMMISSIONER RODRIGUEZ: Can you show --

MS. FOTHERGILL: This one? Okay, the applicant and the architect.

CHAIR ROTENSTEIN: Thank you. Are there any questions for staff, other than Commissioner Rodriguez'?

Before the applicant introduces herself and the architect, I feel that I need to disclose that as part of the information-seeking process I went out to visit the property and conduct an archeological test excavation adjacent to the kitchen L and I did so because the County does have limited resources and the archeology staff wasn't able to visit and this is a house of extraordinary significance, so I conducted the test excavation and am prepared to answer questions. And I did so in an uncompensated manner.

So if the applicant would like to introduce herself?

COMMISSIONER HEILER: I'm Sandra Heiler and this is a proposal for me and my husband, Duane.

And this is our architect, Miche Booz.

MR. BOOZ: It's actually Miche Booz, but that's okay.

CHAIR ROTENSTEIN: So do you have a presentation or comments about the staff report?

COMMISSIONER HEILER: Yes, I would like to just comment on some of the research we've done since the previous meeting. Commissioner Alderson had suggested just doing a brief survey of other buildings from the same period that had side additions mainly to see how common they were, generally what the proportions were, and how much depended on the function of the particular addition. And so I did include several drawings and photographs, a lot of them from books. One set I found just around Brookeville.

The other thing and I think this may be a better photograph, I think you can probably see the ghost of the earlier building that I had mentioned. I think what we should do is since several Commissioners had mentioned that they'd like to see a graphic representation of the morphology for Miche to walk the Commission through that and then to talk about how the proposal is related to that. And then I can answer questions about the evidence that we have for what was there, why we think it was there, and for the proposal, the dimensions, the materials, that kind of thing.

MR. BOOZ: I can talk a little bit about the morphology that essentially follows, I think, a fairly logical analysis of what happened in two stages. And the only reason we know it happened in two stages is the tax increases that happened in approximately 1820 and 1840 were two changes apparently happened to this building, that originally the building was an almost symmetrical Federal-style house, and then at one point the kitchen which would have been on the left addition was moved to the rear L. And we believe that this happened either with -- by raising the roof slightly and then putting on the L because the L would not have worked on the previous roof.

It's quite possible that what we're showing -- what happened in 1840 may, in fact, have happened in 1820 and something else made the taxes go up, but whatever it would have been in 1840 is in

evidence, there is no evidence as to what it was. So thinking that there were two stages. This is sort of the best guess we have, but I think what's more important is that the ghost mark on the building shows what would have been an interior wall. This is why I think that the side addition actually came with the L.

After talking it over with David Yinger who is our local brick mason who has worked on all these houses, concluded that the ghost mark on the wall that would have been on the interior of the addition was never built as an exterior wall. It was never meant to be seen. So that, in fact, they came at the same time.

So that's our analysis. Unfortunately, we don't really know -- we do know how tall and wide the building was. We don't really know how far projected because I gather that the archeological examination and investigation was not conclusive about how far it went out.

CHAIR ROTENSTEIN: There's some evidence of that after you finish, I can summarize that.

MR. BOOZ: And also, we did get the aerial photo from 1937 which I looked at pretty carefully and all I can say is it looks like there's something there, but it is not conclusive, unfortunately. It is a fascinating photograph, however, because for someone like myself who has lived in Brookeville for a while and an interesting history and you all should be interested in it too. It shows buildings that we've been trying to figure out where they were for a long time and it's fantastic.

But essentially, this is what we're proposing. We're relying on some oral history here that Calvin Musgrove remembers, a brick building.

COMMISSIONER JESTER: The photograph we see on the screen shows -- appears to show a ghost pattern in the main block and if I'm reading this correctly, the proposal is for the dependency of the added -- in what was the kitchen.

MR. BOOZ: And your question what was that other mark?

COMMISSIONER JESTER: Yes, maybe the archeology will help answer that. Do you have any sense from the aerial photograph, whether the dependency that was there in '37 was -- where it was along that wall? Is it possible what we saw in that aerial photograph is what we're seeing?

MR. BOOZ: No, it's really clear there wasn't anything to right hand ghost mark. In fact, what's very interesting about the right-hand ghost mark is that the sort of upper, I guess around, left -- upper left-hand side is the remnant of a jack arch there which although we wonder if maybe there was a fireplace there that fell off or something. But it looks actually as if there was an opening there that was built as part of that original L because there's the remnant of a jack arch there, just the corner of it.

So it tells us that there was an opening there, whether it was a door or a window, I think that we believe that it was a door at one point and then got filled in. I don't know -- in filling it in they did a horrible job and it collapsed at the same time. Believe me, we stood there for a while and scratched our heads with Hank Handler and with Dave Yinger and couldn't exactly figure out what happened there.

I think it was a door. What's odd though is it's very close to the back wall and there would be barely room for trim on the inside, but the jack arch is there.

COMMISSIONER JESTER: So there are no clues on the interior?

MR. BOOZ: If we wanted to tear out the wall, I suppose we could find some things.

COMMISSIONER HEILER: I think what there is, this is the only clue, under this dining room there's this supporting wall that just about -- it runs perpendicular to this west side, so it runs west to east. It's under the joists and it's located just about where the right-hand side of what looks like a filled-in opening is.

MR. BOOZ: I'm not sure what that means, but what it does mean is that the joists are actually -- the span is too long to actually have joists go from one end of the building to the other and not sag. So there was an intermediate wall that was never an exterior wall. It was always meant to support the joists at some point.

Why they didn't put it in the middle, I conclude maybe there was an interior wall that sat on that wall and maybe that was the division between what might have been an eat-in area in the kitchen. But other than that, again, I don't know.

CHAIR ROTENSTEIN: Thank you. I guess I'd like to probably do things a little out of order here.

First, I want to thank Miche for these wonderful drawings. I want to put these on my wall, they're so good. They're amazing.

COMMISSIONER HEILER: You should have these available in Brookeville as educational material in the library. I'm thinking of hanging them in the house.

CHAIR ROTENSTEIN: I think to help clarify what I found, when I did the archeology, would it be appropriate for me to use the laser pointer and demonstrate.

COMMISSIONER HEILER: That would be great.

CHAIR ROTENSTEIN: Can the reporter catch me okay? Are you picking me up? Okay.

A couple of points about this area, you notice this little dot there. That appears to be either a septic tank vent or a well vent.

Right here there appears to be a capped well. There's a large rock where I'm pointing and then a poured concrete cap and beneath that there is a void that goes down at least 20 feet. I couldn't see the bottom, couldn't detect the bottom with anything that we had.

What I did is laid out five by five test unit that began at the base of that window and went five feet that way and five feet out into the yard. I excavated the furthest two and a half feet from the house, so I was out two and a half feet from the edge of the wall.

I discovered a coarse rubble feature that appeared to be a foundation that matched the log smokehouse which is not illustrated in this photo. There was a void in this direction away from the wall. The matrix that the foundation feature appeared to be located in was all fill. There were construction debris, brick, cut nails, wire nails, and a number of artifacts that were heavily abraded, eroded, but archaeologists would call residual, broken red wares, white wares. There was some ball clay pipe fragments. All of the artifacts appeared to be early to mid-19th century and would generally conform to the morphology shown in the drawings that we have.

I didn't dig farther out from the house for a couple of reasons. First off, the potential for hitting

sewer features was a big disincentive, so I did take a tape measure, extended it from the edge of the test unit and at one foot intervals used an iron probe to test resistivity from the surface and at three feet out from the test unit or eight feet out from the house, the wall of the house, I detected subsurface resistance consistent with what I found in the test unit beyond the eight feet from the house. There was no subsurface resistance at generally the levels where I exposed the foundation, suggesting that what was there probably terminated about eight feet out from the kitchen L. I'll be able to provide an illustrated summary report in advance of the next hearing.

Those are my comments from my findings out there this past Labor Day Sunday.

COMMISSIONER HEILER: Thanks.

CHAIR ROTENSTEIN: I guess since we did this out of order, we should probably get back into order and go on down the line to Commissioner Duffy to begin.

COMMISSIONER DUFFY: Since you're testifying about archeological work, can the Commission ask a question?

CHAIR ROTENSTEIN: Yes.

COMMISSIONER DUFFY: What conclusion -- what does that add to the applicant's conclusions about what may have been there and what's appropriate, in your view?

CHAIR ROTENSTEIN: There was something there, the ghost or raise marks on the kitchen L are consistent with an addition that had been there at some point. The archeology suggests that there was something there. There is a foundation that's consistent with a 19th century log smokehouse.

COMMISSIONER DUFFY: Does your investigation help any more for us to understand how far it might have projected from the house?

CHAIR ROTENSTEIN: My opinion is it went out eight feet from the existing L wall and probably terminated at the eight feet based on the resistivity that I found in the soil. That would be consistent with what I found.

COMMISSIONER DUFFY: What about the location and depth of the well? How does that affect what the applicant is proposing?

CHAIR ROTENSTEIN: The capped well?

COMMISSIONER DUFFY: Yes.

CHAIR ROTENSTEIN: That I couldn't speak to. There's no way to date the well feature because it was capped. There's no way to actually see into it.

COMMISSIONER DUFFY: Okay, so --

MR. BOOZ: I think there is a photo -- there's a photo that was taken when?

COMMISSIONER HEILER: About 1945.

MR. BOOZ: About 1945, the stone and the concrete cap were not in that photo.

COMMISSIONER HEILER: So it was capped some time after 1945. In fact, it may have been dug fairly late because some -- either someone put a well or someone put a septic system on that side after 1958.

COMMISSIONER ALDERSON: We don't know which it was.

CHAIR ROTENSTEIN: There is a lot of evidence of a lot of activity in the yard here. The vent there, the yard -- this photo doesn't illustrate it very well, but the yard does undulate very markedly in this area and of course, you do have a very visible well feature there. So there has been a lot of activity in this yard which is not unexpected in a house that's been occupied for over 200 years. But generally what I found does conform except for the 12-foot length to what the applicant is proposing.

COMMISSIONER DUFFY: So what we refer to --

CHAIR ROTENSTEIN: Let's go back to frame.

COMMISSIONER DUFFY: Well, I think there are some unknowns that we all would like to have more information about, but I think that the applicant has done as good a job as could be hoped for, a commendable job in terms of the analysis and documentation and so in short, I think that there's some

danger of the Commission approving an application that might not be historically appropriate, but we just don't have enough information to make that judgment and it seems that what the applicant is proposing is reasonable. And to me, that it would be unreasonable to deny allowing this project to proceed as proposed, considering the information we don't have available. So I'm generally supportive with all of the information the applicant has put together.

CHAIR ROTENSTEIN: Commissioner Miles?

COMMISSIONER MILES: I'll begin by saying that I was not present at the August hearing. I'm going to sound a little overly lawyerly, but I have some concerns about the way this has proceeded, just in that we've now heard testimony from a Member of the Commission about a fellow Commissioner's proposal. And it's just giving me some pause. I would just like for all of us to reflect upon that.

I agree it's a beautiful morphology and absolutely a very complete presentation. We generally do not approve side additions and I don't know that we would approve one that -- in the ordinary course of things that does not resemble what the original side addition looked like. If we were trying to restore it, my understanding is it would have been a wooden smokehouse, is that correct, Mr. Chairman?

CHAIR ROTENSTEIN: No, it would have been what would be called in the vernacular a wood house, but it most likely would have been of brick and perhaps wood construction with a coarse, rubble foundation.

COMMISSIONER MILES: Then what we're looking at would not replicate what you would expect was there, brick and possibly wood, is that correct?

CHAIR ROTENSTEIN: I can't speculate on the actual structure itself, other than there was brick in the archeological tests. The nails appeared to have been deposited in place. In other words, they weren't clinched nails, so they weren't pulled at some point. So whatever fell there, ultimately was deposited there. So aside from the evidence that there was something brick, something wood with a coarse, rubble foundation, that's all that I can say at that point.

COMMISSIONER MILES: I guess the first I heard about this was when I received it in the mail. So I would just like to -- I would really like to think about this more. I realize that's not very helpful as far as guidance goes, but I would like to see the 1937 photograph. I would like to study it more. I didn't know we were going to have testimony from you this evening, Mr. Chairman. I just think it poses a lot of questions.

CHAIR ROTENSTEIN: It does and I have the likely position of recusing myself from any vote based on the degree of comments that I've heard this evening.

COMMISSIONER ALDERSON: If I may be permitted to respond to what may be a misconception?

CHAIR ROTENSTEIN: Sure.

COMMISSIONER ALDERSON: You had mentioned the smokehouse. I think that was just a little bit of a mixup. Closer to us from this is an actual smokehouse. It's completely separate from this. So what we're talking about on the side of the house and this is purely based on an oral history from one of the people who lived there when the building existed, was that it was a building for storing wood made of brick. So the confusion about calling it a wood house, it was a house made of brick for storing wood, attached to this and the smokehouse is in a different structure.

COMMISSIONER MILES: Thank you.

COMMISSIONER RODRIGUEZ: Well, when I look at what you're proposing I have to go back to this picture. I have similar questions as Commissioner Miles, but the biggest question for me is what we are trying to do here, what is the importance of adding something to a building when I look at this picture tells me so much of the simplicity of what makes the building be valuable, not only from the point of view of the history related to it, but the architecture preservation over time.

I have really a very hard time when I look at this picture, looking at the addition, and I think there's some reasons in terms of yes, there is -- something was there in the past, but do we really need that to be back and how will that affect the value of the house? Is that really coincidental to the house for the next generation? I don't know. I have those questions and I just cannot answer.

MR. BOOZ: Well, if you're asking for a reason to put it back, there are functional reasons to put it back. There is a planned kitchen remodeling that is difficult in that space and just purely functional reasons the pantry addition would be useful.

On more existential grounds, I can't answer that.

COMMISSIONER ALDERSON: My understanding was that this addition which is based on some corroborating evidence allows functionality that eliminates the need for a more substantial alteration of the house that's not consistent with any particular historic development. So certainly my view is there's been a tremendous effort to look at following history as closely as evidence allows us, rather than a more radical alteration is rare that someone would make this kind of effort.

I may differ with the two previous opinions in two respects in having been very involved and offered advice. My credentials are a master's in architectural conservation. I'm delighted and impressed with the amount of effort that you are willing to go to. I don't know that we've ever gotten this kind of effort, other than museum properties or county properties that are being redeveloped as museums. To look at every piece of physical evidence, oral evidence, photographic evidence, to provide some corroboration that there's a historic basis for putting the addition here in approximately -- actually closely to this configuration all the way down to images that show that this is a very highly plausible kind of structure and that many houses had small dependencies like this.

So I think given that we have that evidence, we don't really need to question why it's useful to you to have this pantry or why -- this supports the idea of having it on the side rather than intersecting the house where it wouldn't be visible from the street, because there had been something here and it dates to a period of significance to the house. And I think it gives us an unusual opportunity to create a feature that doesn't very often survive. We could also say gee, now that the porch is gone, should we maintain the simplicity? We never have told people that they can't reconstruct their porch because the house is so simple now. I think that's kind of putting a judgment call on history that we've never asked anybody else.

People reconstruct porches and side features all the time.

This is so minor, such a small addition that I don't see it compromising the house in a major way
and I think also with regard to the investigative work which I think is very generous, that the Chairman was
willing to donate his time to provide further evidence that's helpful to us, because what the applicant is
seeking is a very, very minor scaled addition and just wanted to get as close to the honest truth as is
possible.

I think it's perfectly appropriate to do a site visit using his expertise to corroborate that. We're
not I think seeing someone acting for someone that's highly unusual or out of proportion here. So it's not
-- I don't think there's an unseemly motivation in the investigative work that was done. It's very valuable
and it was very helpful to me.

I'm very supportive and I think the work you've done is just stupendous. And this is a valuable
resource to us in the county to have information on what has existed at other houses, what was common at
the time. It's something we don't often see.

CHAIR ROTENSTEIN: Thank you

Commission Jester?

COMMISSIONER JESTER: First, let me thank you for preparing the document in a way that makes
it much easier to understand how a property evolved and for digging deeper and trying to find
documentation. I think that's really important and it's the basis of how preservation works. So I applaud
that.

I guess -- I had some of the same concerns that I raised at the last preliminary and I'm going to
respectfully disagree with Commissioner Alderson on the appropriateness of either the change as minor as
a small little dependency. I think your documentation has demonstrated that there was something there. I
don't think there's -- I'm not disputing that.

But I don't think there's enough physical evidence to propose a design that is essentially creating an

appearance that we don't really know whether it existed or not. It's an attempt to restore or reconstruct an element based on what might have been there in that time period.

And Commissioner Alderson made reference to bring back porches and so on, well, sometimes we do that with -- if there's a photograph that gives us some sense and we know what the details were from that period, that might be enough, but I'm just not persuaded there's enough evidence to proceed with this. I guess at the last preliminary I was kind of wondering whether some sort of a modern, a differentiated addition would be the better approach and I think I'm kind of coming around to be concerned about putting an addition on the side of an outstanding resource. And this is really a significant resource.

I guess I'm sharing some of the concerns that were raised by the Commissioners about the true need to do this. And I guess there may well be a functional need, but that may not be the only solution to accommodate to your functional requirements.

I guess at the moment I'm not sure I'm supportive of the proposal in its current form.

MR. BOOZ: Can I ask a question?

CHAIR ROTENSTEIN: Sure.

MR. BOOZ: Is it because it's not clear what it would have been made of or is that you're not convinced there was something, in fact, there, I guess. I'd just like some clarification on that.

COMMISSIONER JESTER: I think there's additional archeology that would need to be done to kind of confirm the actual footprint, but I think it's pretty obvious there was something there. It's not so much you're not capable of coming up with the right material palette for that time period, but we don't know maybe exactly what the roof form was or where the openings were and I think it will potentially create an appearance that may never have existed.

CHAIR ROTENSTEIN: Commissioner Jester, and I'm just chiming in as someone who was consulted at this point, not as a Commissioner, but I think there is very clear evidence that it had a gable roof and it was a gable roof turned perpendicular to the orientation of the rear L. This photo doesn't do

justice to the raising scar that is evident on the rear L. I mean it is a very clear gable roof form.

COMMISSIONER JESTER: I don't dispute that, but the footprint, the documentation of the footprint -- it may give some indication of the roof form. It doesn't indicate where the openings were, where the doors were. I'll just reference what I stated at the last preliminary where in Philadelphia they tried desperately in 1950s to find adequate documentation for Ben Franklin's house and when they couldn't come up with enough information, they elected to not reconstruct the house and that's when the ghost house was created as an abstraction of that property.

COMMISSIONER ALDERSON: And there was less information than this. There was less information than this and a singularly significant individual in American history. I feel like we're putting this to a test. It's the test of Lincoln or George Washington. Yes, it is a significant property, but I personally feel it's a little out of proportion for the scale of the addition proposed and for the kind of property it is.

I think the visual evidence from actual houses in the county and in Maryland gives us a pretty good indication of the kind of materials and roof shape we could expect, particularly because we have a level foundation. We know it's a stone foundation, so we would expect -- but I'd say if we're going to debate that detail, if we have a reasonable hypothetical, I'm comfortable with that for something of this scale and it has utility, just as a reason to support a very minor side addition. We can debate where those openings are, but I think this evidence is reasonable.

COMMISSIONER DUFFY: I agree. As Commissioner Alderson said before, I think she put it well. From the information you've given us, it seems highly plausible that something very similar to what's proposed existed there during the period of significance and you know, regarding this is not an entire house, it's not Benjamin Franklin's entire house, it's a small addition and we have pretty good reason to believe that something very much like what's proposed existed in the period of significance.

It's relatively small, so we have pretty good reason to believe the external material was brick, that it had a gabled roof. Beyond that, unlike Franklin's house, for example, we don't have to speculate about

the fenestration and the detail and all that kind of stuff. It's a simple, small addition. So I am in agreement with Commissioner Alderson. Ordinarily, we would not be positive towards a side addition, but there was a side addition there once, during the period of significance. And it is a small addition that we're talking about and frankly, I think it would improve the appearance of the structure and it certainly wouldn't dominate it or distract in any significant way from the primary structure. So I'm comfortable with what is being proposed.

I would like to say one other thing. I'm sensitive also to the fact that this is being proposed by a Commissioner and to the fact that our Chairman did some archeological research on it. One, I was mindful of the fact that this was being proposed by a Commissioner at our first preliminary consultation and because of that I looked at this at least as stringently as I would have looked at a proposal from anyone else and was very concerned to have more and better information.

The applicant came back with much more, much better information that we had the last time. Some of that more and better information came from the Chairman. It does cause me some pause that it was our Chairman who did that work. At the same time, the work he provided us has helped answer some of the questions that we had the last time. So I think the balance is towards the positive. But there's reason for pause, and there's reason for diligence because we're dealing with two Commissioners here.

MR. WHIPPLE: Mr. Chairman? The potential applicant who is coming in with a proposal for an addition, a small addition, it's something that the Commission deals with all the time. At the bottom of Circle 3, staff has put together four bullets of questions that staff had and we turn to you for answers. So I'd like to remind the Commission of those bullets and suggest that perhaps if there's some disagreement on the part of the Commission based on the first bullet, you could start with something to move forward, a straw poll or something to decide among the members present tonight whether a side addition is appropriate or not. And if it is, then perhaps you can start moving through the following three bullets and try to frame your thinking on this to help the applicant and staff move this forward.

COMMISSIONER MILES: Can I ask a question first, please? Excuse me. Am I missing something in the packet? I do not see elevations for the proposed addition.

CHAIR ROTENSTEIN: I think Scott has made an excellent suggestion. I think obliquely these bullet points were addressed, but should probably be more fully discussed. I think given Commissioner Miles' statement, I'm going to remove myself from any substantive discussion. I think I'll pass this on to the Vice Chair to manage the remainder of this, simply because of the concern that Commissioner Miles raised.

COMMISSIONER ALDERSON: Should we just go on and hit the four bullets?

CHAIR ROTENSTEIN: Sure, why don't we just go around individually and address each of the four. We'll start with Commissioner Duffy.

COMMISSIONER DUFFY: Regarding the first, size addition to this house in general, I'm supportive. The second bullet, the dimensions --

MR. WHIPPLE: Excuse me, Commissioner Duffy, since there was disagreement over whether a side addition is appropriate, perhaps we can address the first line -- perhaps it's premature to move on to the second and subsequent bullets.

CHAIR ROTENSTEIN: Let's cover topic 1 starting with Commissioner Duffy.

COMMISSIONER DUFFY: Okay, support.

COMMISSIONER MILES: I'm really -- I'm really on the fence. I just have not decided and I would say that ordinarily I am just almost reflexively opposed to side additions. I do, as I said, I think that you've made a very strong case that there was such a thing before and certainly you've presented more evidence. I agree with Commissioner Alderson, but what's the answer? I'm sorry, I just cannot answer at this moment yes or no.

COMMISSIONER RODRIGUEZ: I want to state that my question it was a little existential because the question for me is in that regard when I had to look at the house, and I think it's wonderful work in terms of putting together the recommendation. I have to really appreciate that. But again, I agree usually

these side additions are reserved position and in this case when I keep looking at what I have in front of me, I just feel I am in opposition to support an addition on the side of the house.

COMMISSIONER ALDERSON: I think the documented evidence supports a side addition at the location, scale and shape shown on the drawings.

COMMISSIONER JESTER: I guess I've stated my concern about the documentation. There was something there. It's no longer there and I think we should treat the resources such, so I'm not supportive of the side addition.

Do we want to cover the dimensions or materials, how the addition would be handled?

COMMISSIONER DUFFY: Let's see.

MR. WHIPPLE: Mr. Chairman, if this were a motion, it would fail, but because there are one, two, three, four, five of you who are participating in this and two members absent, perhaps it would make sense to go through the remainder of the bullets, just to get some feedback. We would find it useful.

COMMISSIONER ALDERSON: And it's preliminary. We don't have to reach a conclusion.

MR. WHIPPLE: There's no conclusion being made tonight.

COMMISSIONER JESTER: We have one Commissioner who is undecided at the moment who needs some additional time to think about. We have two Commissioners who aren't here tonight, so obviously we're not going to know whether we have a -- leaning towards whether or not. But I think just for the record since two of the Commissioners weren't here and for the benefit of the applicant, I think we need to go through the other points.

If you could address here, your thoughts, especially if you're supportive of putting the addition on, just let us know how you feel about the dimension, proportion and materials that are in the proposal and the treatment of the windows and doors.

COMMISSIONER DUFFY: I think the dimensions and proportion of what's proposed are appropriate. I think the materials proposed are appropriate and -- the bullet point I have, the least comfort

level is the location and treatment of window and door openings, but I think it's reasonable as a basis to move on to the HAWP. I think in the HAWP we would want to discuss further if there's any newer information what the basis for the location and treatment of window and doors are, but at this point I think it's appropriate to move forward as is.

COMMISSIONER MILES: If it is the determination of the Commission that there will be a side addition, I would say this is the right scale. I don't have an issue with the dimensions and the materials. I would like to know more about how such dependencies were ordinarily fenestrated and entered to make a better judgment call about whether or not the placement of the shed door and window is appropriate.

COMMISSIONER JESTER: Commissioner Alderson? I'm sorry, Commissioner Rodriguez?

COMMISSIONER RODRIGUEZ: I think the research is fundamentally what was there is more or less found, so in that sense I think following what it was there seems you have -- in terms of what is proposed it matches the intention of our Code 24-80 and the guidelines. So in that sense I don't have any concern about the materials.

I think in cases like this where there is so much research about historical evidence of what was there, I think what you're proposing in terms of dimension, materials. Placement of the windows? I don't know. It's a little more centralized plan what you're showing in a house that is less formalized, but I think as it goes to a more detailed phase, we will have to see how that evolves.

COMMISSIONER ALDERSON: I'm comfortable with the materials based on the physical evidence at the house and the other documentary evidence you provided of comparable houses in Maryland and the County. And I am also comfortable with the location and the treatment of the window openings and that is principally because the location and the way in which they are treated here and the very simple understated treatment from the front to side is the reason I believe it works because a dependency is always very simple and functional. And we can see that from the photographs.

I think given that very functional, plain treatment, so that we do not see bold window in the front

and the side entry is very plain. I think that, in general, is quite consistent with what we're seeing in the other buildings and I'll just say with regard to evidence it's my experience it would be unreasonable for us to require the highest level of evidence which would be both archeology, building physical documentation and require elevation drawings at every facade to corroborate, to support what is just the basis of a replication for museum or interpretation purposes, but to support the reasonableness of a small side addition that's recessed from the front to side on an addition that we know had an addition of this size and scale.

So in this regard, I would urge that we look at this not as how appropriate this is as an interpretation, I guess, to the property, but as a basis for putting a small side addition on a rear side portion of a house. I think the evidence is quite strong and you have strong comparables of what we can expect for service treatment.

COMMISSIONER JESTER: Well, I guess I'm not supportive of the addition. I think my comments aren't going to be very helpful about the other three points, but I think just in terms of what we do know, I think the evidence does show that there was an appendage there, and what the massing was like, so I think they're on the right tack with that.

I think, as I stated before, I think the materials are probably in the range of what would have been done at the time. I find it appropriate. I think my biggest concern is the treatment of the windows and the doors and that's partly the basis for my concern for approving the current proposal.

So just to recap, I think what you've heard is there's kind of mixed feelings about whether there should be an addition based on the Commissioners. We have two that are not here and one is undecided at the moment. So that could swing things in either direction.

As far as the dimension of the porch, I think you heard that everyone who is supportive of the addition thinks the dimension portions are appropriate and supportable. Same holds true for the materials of the addition. I think you heard that a number of the Commissioners, if there are any concerns about the fenestration and the doors, we want to make sure that that's pursued and maybe a little more thought give

to that. But on one stated that they're completely uncomfortable with it or weren't supportive of it.

I hope that's giving you enough guidance to move forward to the HAWP where you made design revisions.

COMMISSIONER HEILER: I'd like to make one comment because I think it may be lost in the documentation, but this is admitted weak evidence. But I do have stepping stones that run from the clearly closed in doorway on the side of the west wing to the place where we propose the door, so that -- we don't have evidence of a door, but we do have evidence of essentially a stepping stone walkway from that location in the middle of this addition to the side door.

MR. BOOZ: It's located at the door, actually.

CHAIR ROTENSTEIN: I guess if Vice Chair wants to turn things over and have we reached a conclusion for the preliminary conclusion?

COMMISSIONER ALDERSON: We don't need a conclusion.

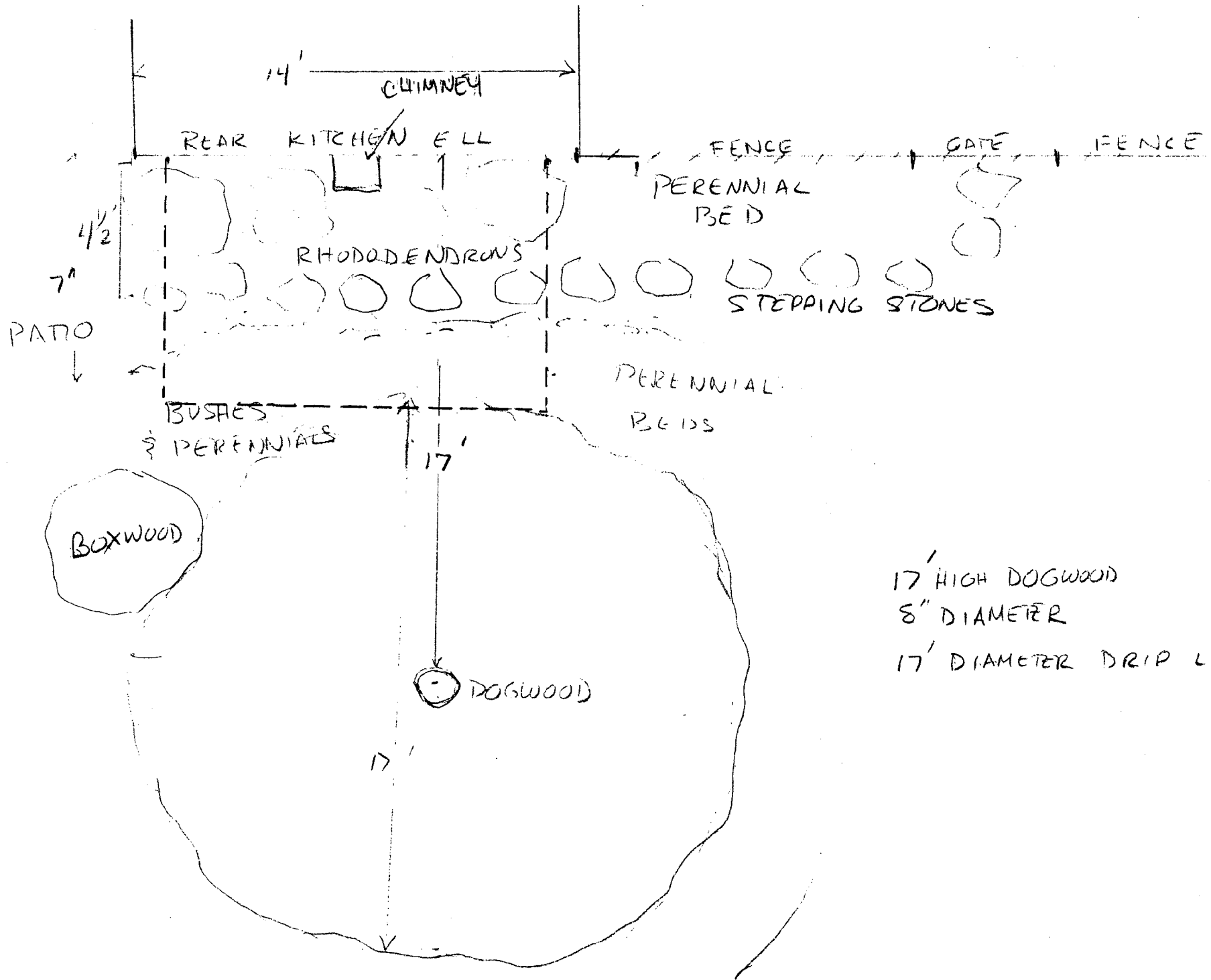
CHAIR ROTENSTEIN: We need to --

COMMISSIONER ALDERSON: We need to give them a reading. They've heard.

CHAIR ROTENSTEIN: Thank you, Commissioner Jester. And thank you for this very odd preliminary consultation.

MR. BOOZ: Thank you.





17' HIGH DOGWOOD
 8" DIAMETER
 17' DIAMETER DRIP LINE

Attachment A

a. Description of existing structure(s) and environmental setting, including their historical features and significance

Use current application, include reference to Attachment B (morphology and evidence for it)

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would add a small (8 X 12ft, one-story) pantry to the west side of the rear kitchen ell. The addition will house a mini-air-handler in the area above the ceiling to provide heat/AC to the kitchen and the bathroom above it, as well as to the pantry. The purposes of the project are twofold: 1) to provide additional space and storage for the kitchen and 2) to solve the problem of inadequate heat/AC in the kitchen (where the only source is a register in the riser of a stair to the dining room) and the bathroom (which is currently unheated and uncooled).

The addition will have a painted brick veneer exterior with a standing seam metal roof, a plank door in the center of the front, and a window at the back. It will be framed and insulated and built on a concrete slab. The gable end will follow the outline of an earlier attached dependency whose ghost is visible on the outside wall. The form, style, and materials will match those of the kitchen ell.

We have proposed a side-addition, rather than a rear-addition, for these reasons:

OUTSIDE—diagram showing rear ell wall, stone walk, patio, plants, bushes, tree (with measurements)

- A rear addition would require removal of mature plantings, including a 17ft high dogwood tree with 8in diameter trunk and 17ft canopy; four large rhododendrons (one 7ft tall); a perennial bed; and bushes, including a large, old boxwood. (A side addition would have no landscaping issues—no trees or bushes.)
- A rear addition would require removing an old stepping stone walk from the patio around the ell to a gate. (Stepping stones on the side stop at the front of the proposed addition.)
- A rear addition would destroy the continuity of the patio, yard, walk, screened porch and garden area.
- A rear addition would require temporary removal of the wood picket fence (and gate) that runs from the ell to the smoke house for construction equipment—eliminating yard access for children and dog. (A side addition would provide open access for construction equipment.)

INSIDE—diagram showing addition; rear ell wall with chimney, appliances, cabinets; west wall showing location and height of windows

- A rear addition fails to solve the heat/AC problem in the kitchen and the bathroom above because the chimney at the rear of the ell would block the gable in the addition. Plumbing and bathroom fixtures also block the adjoining bathroom wall and appliances and cabinets block the adjoining kitchen wall. (A side addition would have no such blockage problems.)
- Access to a rear addition requires cutting a doorway through the rear wall of the kitchen, which contains plumbing and wiring for the kitchen and bathroom above. (Access to a side addition requires only reopening an earlier doorway).
- The doorway to a rear addition must be located to the side of the ell chimney. This would require removing cabinets and possibly rearranging the dishwasher and sink.
- A rear addition would block the stove vent. It would require relocating the stove and wiring to the other exterior wall, which also introduces the complication of dealing with windows extending below standard cabinet height.

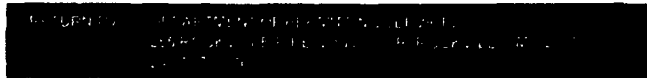
Finally, there is evidence that a side dependency was part of the original structure of the kitchen ell where we would locate the addition; there is no evidence that there was ever an attached building on the rear of the ell.

Attachment B Morphology and evidence for it

Attachment C pictures of typical period side-attached dependencies in this region

Adherence to applicable guidelines: Montgomery County codes and Secretary of Interior's Standards for Rehabilitation

- Addition will not substantially alter the exterior of the house because it is small in relation to the main house and kitchen ell and it is located on the side of the ell near the rear of the west side.
- Addition is compatible in character and nature with historical and architectural features of the main house and ell because it uses the same materials as the ell. It also follows the outline of an earlier dependency that was attached to the ell when it was constructed.
- Addition provides reasonable use for the owners and enhances private utilization of the site by enlarging the kitchen area and providing heat and air conditioning for the kitchen and bathroom above it.
- It is understood that side additions are discouraged, but not prohibited. The design of the addition is in keeping with the design of the house and original design of the ell, including the location and slope of the roof, which are based on the outline of an original dependency attached to the ell. (Description of project details our rationale for proposing a side- rather than a rear-addition.)
- Its small size and use of materials that match the ell minimize the visual impact of the addition.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SANDRA HEILER
Daytime Phone No.: 301-570-0837

Tax Account No.: 025-30-0482
Name of Property Owner: DUANE & SANDRA HEILER
Address: 205 MARKET STREET BROOKVILLE MD 20833
Contractor: OAK GROVE RESTORATION
Contractor Registration No.: MD CLASS A LIC. 15306756

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET
Town/City: BROOKVILLE Nearest Cross Street: NORTH
Liber: 5581 Folio: 860

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall, Other.

1B. Construction cost estimate: \$ 41,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 [X] WSSC, 02 [] Septic, 03 [] Other
2B. Type of water supply: 01 [X] WSSC, 02 [] Well, 03 [] Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Sandra J. Heiler
Date: 9/2/09

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 520353 Date Filed: 9/2/09 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHMENT A

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Attachment A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It sits on a one acre lot uphill from Market Street. The acre directly behind it is owned by M-NCPPC.

The house was built about 1780 by Richard Thomas, founder of the town of Brookeville, and is the oldest structure in the town. The west wing was originally a one-story service building with a side entrance near the rear and a kitchen with a fireplace on the west wall. About 1820 the roof of the original service wing was raised several feet and the whole wing was converted into a large dining room; a new kitchen was added to the rear in the form of an ell with a small side dependency on the west side. In 1840 one and a half stories were added to the west wing, creating two additional bedrooms, one in the garret. The morphology of the west wing is shown in Attachment B.

The historical significance of the house is based primarily on the visit on August 26 and 27, 1814, of President Madison, who conducted the business of the federal government there after the British occupied the city of Washington and burned the White House. Although those two days were the high point of its history, the significance of the house extends from the time of its construction through the 19th century and into the early 20th. The builder, Richard Thomas, was one of the most influential of the late 18th and early 19th centuries in eastern Montgomery County. He built many of the important houses in the area, including Locust Grove and Woodlawn Manor, as well as three other houses and a mill in Brookeville. He also laid out the town's street plan and 56 lots on land that he owned or that his wife, Deborah Brooke, received from her father, Roger Brooke, the largest landowner in eastern Montgomery County at the time.

Thomas sold the house in the 1790s to his brother-in-law, Caleb Bentley, a gold- and silver-smith and clockmaker, who used the east wing as a shop. He was named Brookeville Postmaster by Thomas Jefferson in 1802. It was Caleb Bentley and his second wife, Henrietta Thomas, an acquaintance of Dolley Madison, who hosted the President's visit in 1814. Bentley, and two other of his brothers-in-law founded the mill town of Triadelphia. Another 19th century resident was Roger Brooke V, who was instrumental in introducing progressive farming methods to Montgomery County. In the early 20th century baseball hall-of-famer Jack Bentley, who hit the winning home run in the 1924 World Series, lived in the house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

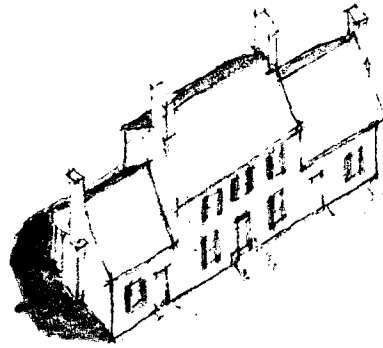
The project would add a small pantry to the west side of the kitchen ell at the site of an earlier attached dependency whose ghost is visible on the outside wall. The original dependency probably served as a wood house, since the kitchen had a wood-burning stove and stepping stones in front of it led to a side entrance to the house, which has five fireplaces. The addition will be framed and insulated and built on a concrete slab. The exterior will be brick veneer with a standing seam metal roof and a plank door. As much as possible, the location, form, style, and materials will carefully follow those of the original dependency, except that the brickwork will be distinguished from the common bond used on the west side and the Flemish bond on the front. The result will restore the west wing to more closely resemble its earlier appearance. Attachment C describes the evidence for dating the phases of the morphology and our rationale for determining the details of the proposed addition.

The results of an informal survey of houses from this region with small (one-story) side dependencies that were built in roughly the same period as the ell was added to the west wing are shown in Attachment D. (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) The photos and drawings in Attachment D range from the broadest area, various parts of the Mid-Atlantic, through houses in Montgomery County to those in or near Brookeville. While such attached dependencies were frequently found in the survey buildings, they varied widely in length, from about 8' to more than 16'. Both side and end entrances were common. Although the dependencies were more often attached to the gable side of a building, it was not unusual to attach the dependency to the eave side, as is visible on the right side of the picture of Fair Hill and the drawing of Friendship, the Moxley Farm, where the dependency is attached to the eave side of a rear ell with a centered front doorway (like the proposed addition), although it has a shed, rather than gable, roof.

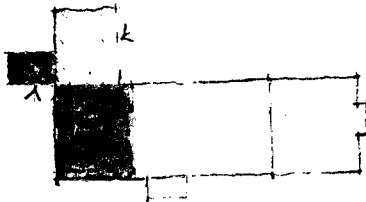
Attachment B

Madison House Morphology

1780

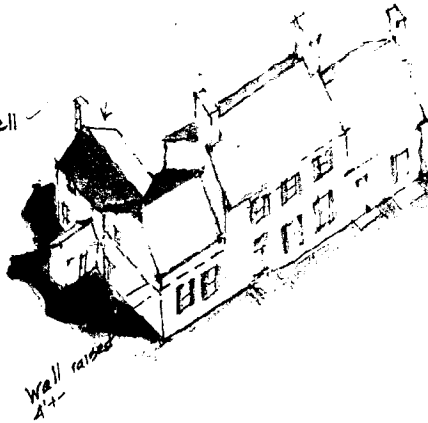


1820



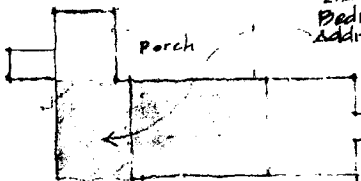
side attached dependency

Kitchen ell addition

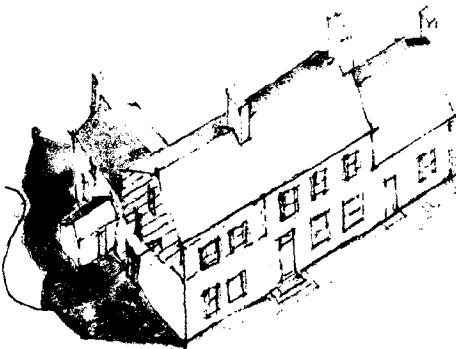


Wall raised 4'-4"

1840



2nd Floor Bedroom Addition



MICHE BOOZ
ARCHITECT

2240 W. 10th St. #101, Seattle, WA 98144
PH: 206.461.7744 FAX: 206.461.7744

Attachment C

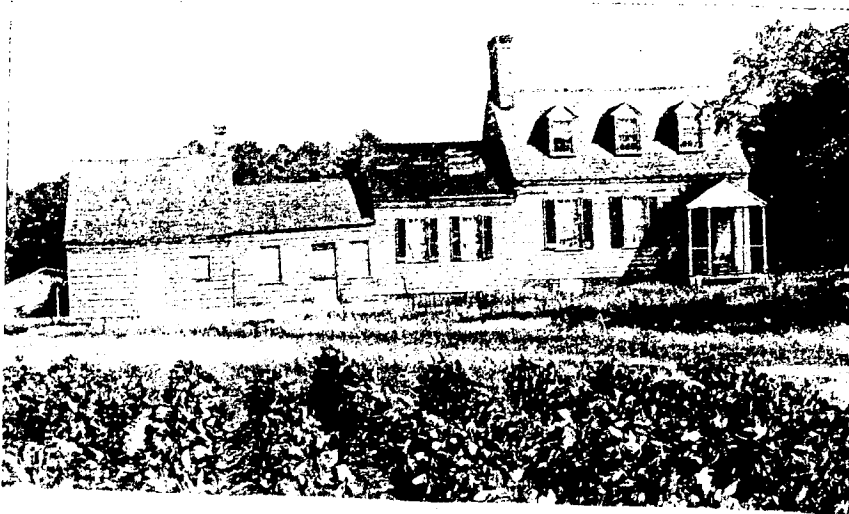
The details of the morphology of the west wing and the attached dependency are based mainly on physical evidence found at the site, but also on evidence from some earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s. Conversations with local mason David Yinger, who has repaired and restored the masonry at various times since 1958, also helped to determine the likely sequence of changes, based on a careful reading of the brick walls. The probable dates for the changes shown in the morphology are based on substantial increases in the taxes (likely due to improvements in the house) in 1820 and 1840.

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was originally constructed as an interior wall and, thus, that the missing building was probably attached to the ell when it was constructed in 1820. The ghost is marked on an attached photo. According to an earlier resident of the house, a dependency existed at that location in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, an exterior door had been installed in the opening. About 1960, the doorway was closed off with a window and a brick wall and a crude cupboard that had been salvaged from the original dependency was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original dependency are visible in the ghost on the exterior of the kitchen ell wall. The addition would follow those dimensions. In light of the range of lengths found in similar side dependencies, we have proposed a length of 12 feet, which is about average, and would place the stepping stones that lead to the side door of the dining room at the middle of the front, where we propose to locate the doorway. (Note that the nearby smokehouse, which has the same roof slope as the dependency, is also 12 feet long with a doorway centered on the front.) (Archaeological research and aerial photos from 1937 may possibly reveal more information, but results are not yet available.)

The addition will have a plank door similar to the door on the east wing, which is original to the house, but smaller, and similar those used on other service buildings of the period. According to an earlier resident, the walls of the original were brick. The brick of the proposed addition will be similar in size and texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back and the roof material, overhang, and trim will match those of the kitchen ell, which is typical of many of the local dependencies in the survey sample.

Attachment D



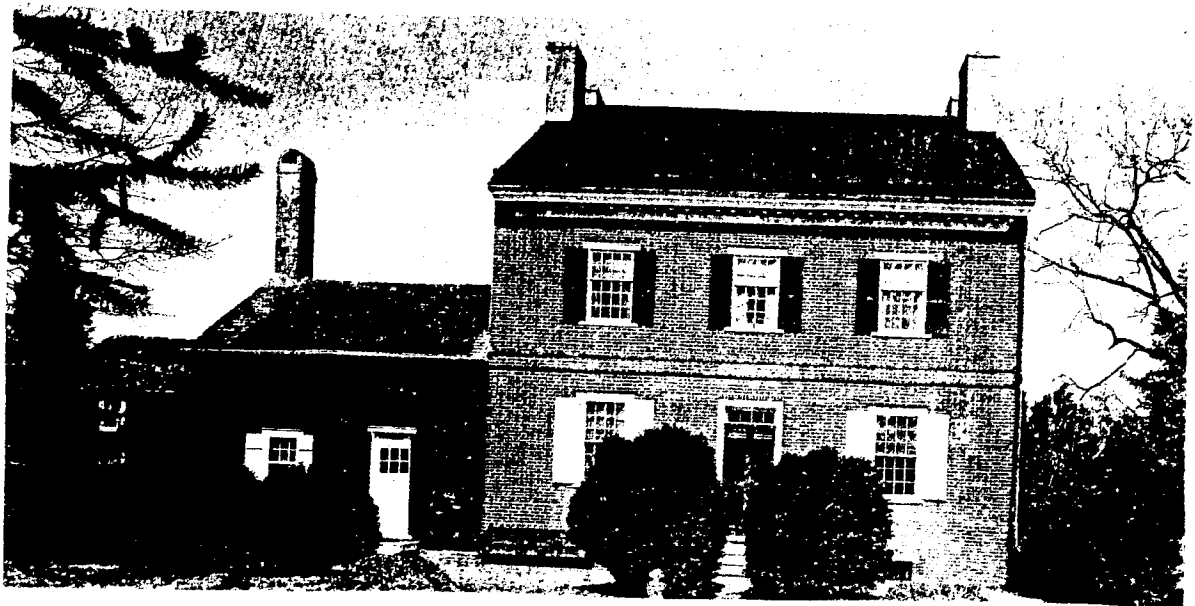
Eastern Shore of Virginia



Willowdale, Accomack, Virginia



Fair Hill, Olney, Maryland



Aspendale, Kent County, Delaware



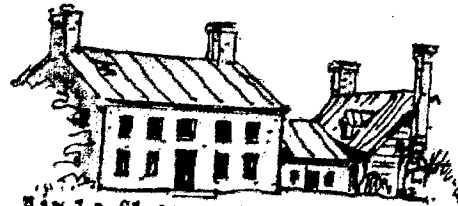
Mount Carmel - c. 1800



Montpelier
Gaithersburg c. 1783



The Beall-Dawson House 1815
Rockville



Riv La Chapelle before additions
c. 1812



Harewood c. 1793 - Sandy Spring



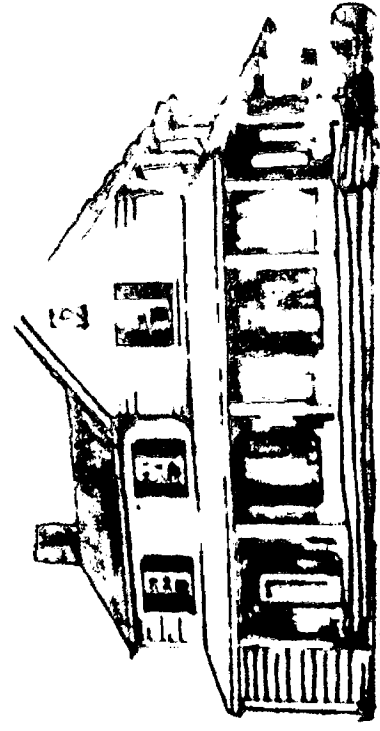
Montevideo (near Seneca) c. 1820



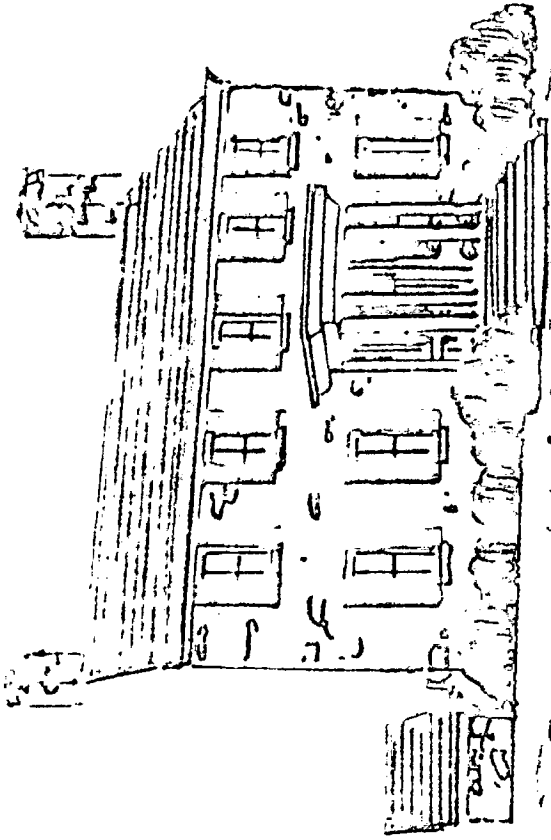
Stoney Castle - before 1800



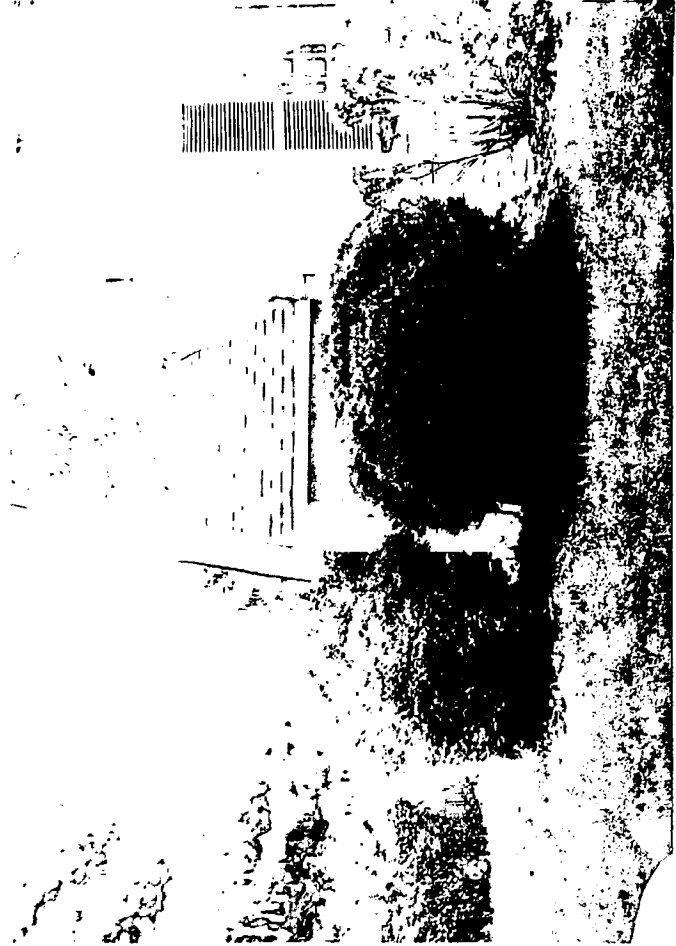
4515 Sundown Road, Laytonsville
c. 1820



Friendship c. 1795
Morley Farm - Claggettville



Pleasant Fields c. 1775



Locust Grove, Brookeville Road
Brookeville

Site Plan

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

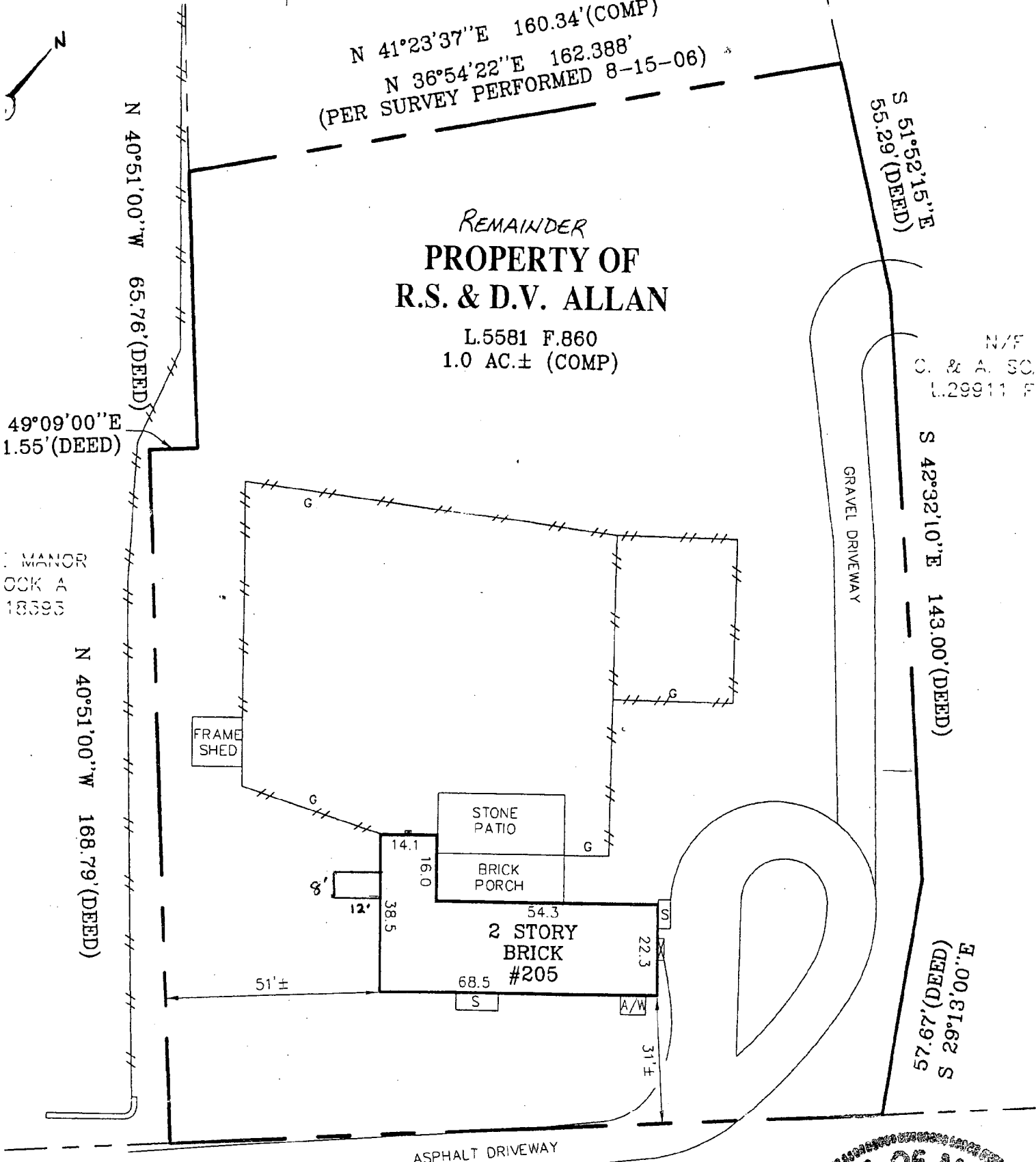
L.5581 F.860
1.0 AC.± (COMP)

S 51°52'15"E
55.29'(DEED)

N/F
C. & A. SC.
L.29911 F

S 42°32'10"E 143.00'(DEED)

S 00°31'62"E
S 29°13'00"E



49°09'00"E
1.55'(DEED)

MANOR
BOOK A
18395

N 40°51'00"W 168.79'(DEED)

FRAME SHED

STONE PATIO

BRICK PORCH

2 STORY
BRICK
#205

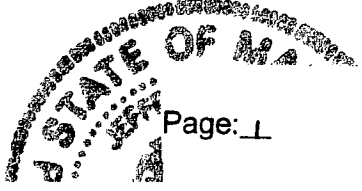
GRAVEL DRIVEWAY

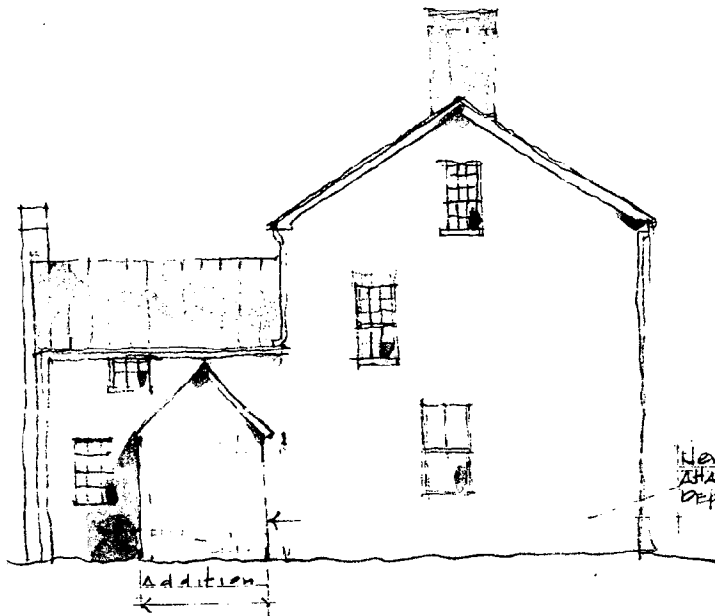
ASPHALT DRIVEWAY

Applicant: WANDA HEILER & SANDRA I. HEILER

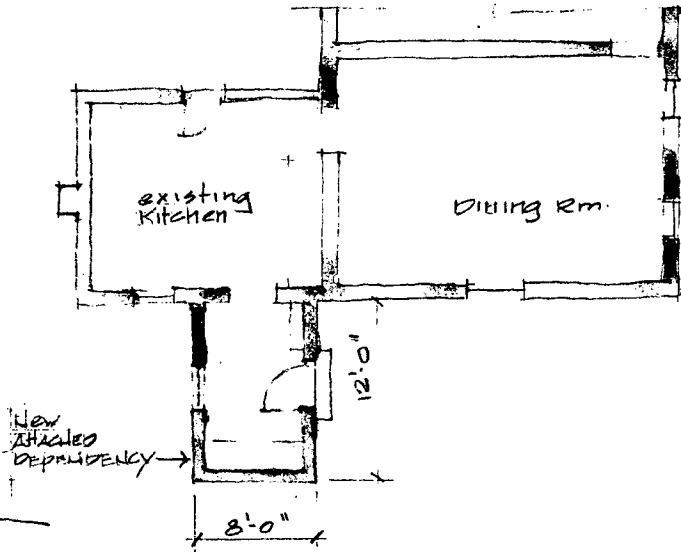
S 48°20'00"W 173.60'(DEED)

MARKET STREET





WEST ELEVATION
 $\frac{1}{8}'' = 1'-0'' \pm$



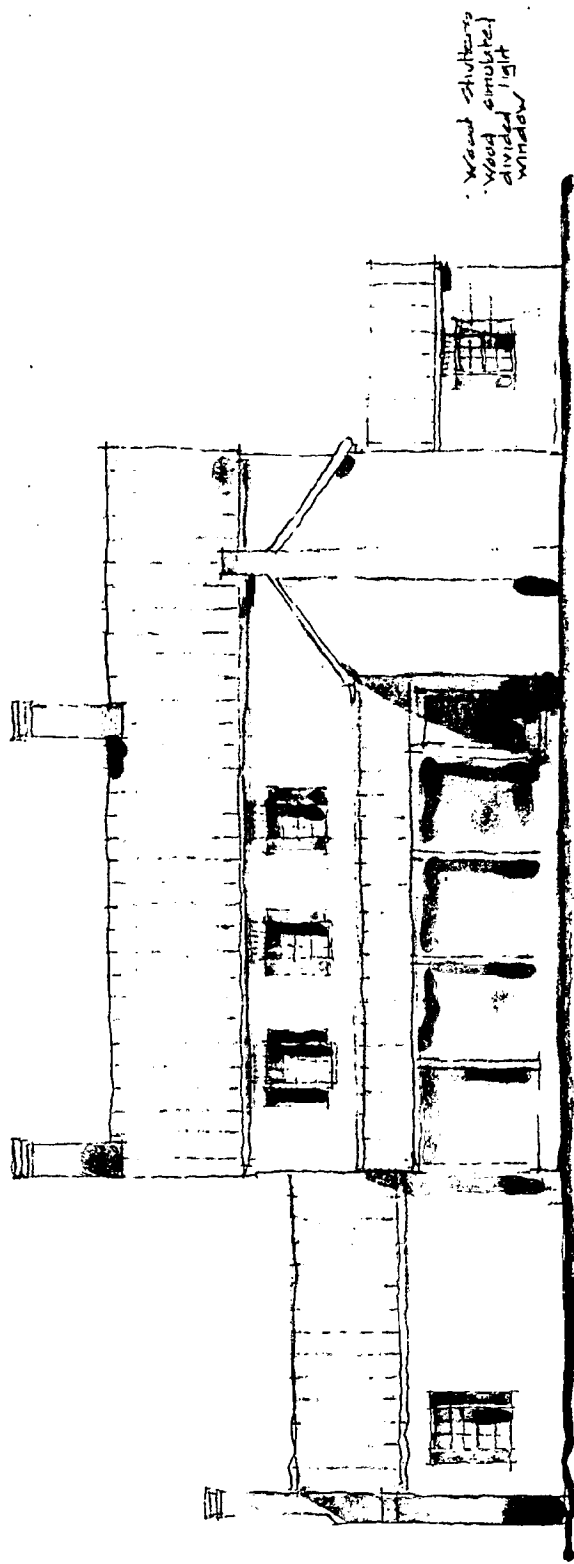
PARTIAL FIRST FLOOR PLAN



standing
gable roof
wood plank
door
painted
brick

New Addition

SOUTH ELEVATION
 $\frac{1}{8}'' = 1'-0'' \pm$



New shutters
Wood simble
divided light
window

New Addition

NORTH ELEVATION

Materials Specifications

Brick to match kitchen ell with standing seam metal roof.

Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.

MATERIALS LIST - SPECIFICATIONS

BRICK TO MATCH KITCHEN ELL

STANDING SEAM METAL ROOF

TRUE DIVIDED LIGHT WOOD WINDOW

WOOD PLANK DOOR

WOOD RAKE BOARD & FASCIA TO MATCH KITCHEN ELL

COPPER GUTTERS & DOWNSPOUTS TO MATCH KITCHEN ELL

Existing Property Condition Photographs (duplicate as needed)



Detail: VIEW OF 205 MARKET ST FROM PUBLIC RIGHT OF WAY



Detail: 205 MARKET ST, BROOKVILLE, WEST SIDE YARD, SMOKEHOUSE & ELL

Existing Property Condition Photographs (duplicate as needed)



Detail: 205 MARKET ST, BROOKVILLE, FRONT (SOUTH) FACADE



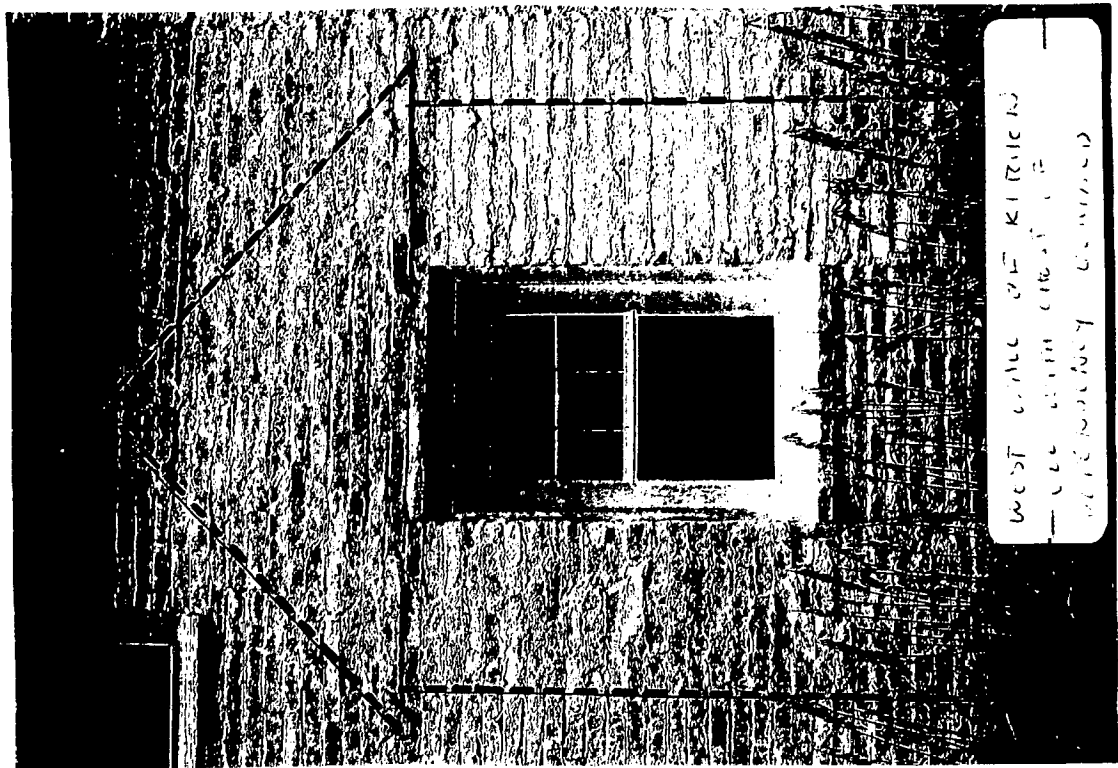
Detail: 205 MARKET ST, BROOKVILLE, REAR (NORTH) FACADE

Existing Property Condition Photographs (duplicate as needed)



205 MARKET BROOKVILLE
WEST FACADE - KITCHEN ELL
WITH CHIST OF DEPENDENCY

Detail: 205 MARKET ST, BROOKVILLE WEST FACADE, KITCHEN ELL



WEST WALL OF KITCHEN
- SEE WITH CHIST OF
DEPENDENCY CONTAINED

Detail: 205 MARKET ST, BROOKVILLE WEST FACADE, KITCHEN ELL WITH CHIST OF DEPENDENCY

ADJACENT PROPERTY OWNERS:

CHRIS & ANDREA SCANLON
203 MARKET ST.
BROOKEVILLE MD 20833

MERL & SUSAN JOHNSON
202 MARKET ST.
BROOKEVILLE MD 20833

WARREN FERRIS &
RENEE MONEYHUN
207 MARKET ST.
BROOKEVILLE MD 20833

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|---|-----------------------|-----------------|
| Address: | 205 Market Street, Brookeville | Meeting Date: | 9/9/09 |
| Applicant: | Duane and Sandra Heiler (Miche Booz, Architect) | Report Date: | 9/2/09 |
| Resource: | Outstanding Resource Brookeville Historic District | Public Notice: | 8/26/09 |
| Review: | 2 nd Preliminary Consultation | Tax Credit: | None |
| Case Number: | N/A | Staff: | Anne Fothergill |
| PROPOSAL: | Side addition | | |

STAFF RECOMMENDATION

Staff recommends that the applicants make revisions based on the HPC's comments and return for a HAWP if appropriate.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Brookeville Historic District
STYLE: Federal
DATE: c. 1780

Excerpt from Places in the Past:

The *Bentley House* at 205 Market Street is best known as a refuge for President Madison and his staff during the War of 1812. For two days while the British invaded and occupied Washington, in 1814, President Madison conducted the business of the Federal government from the Bentley residence. Thereafter, Brookeville was remembered as the nation's capital for a day.

BACKGROUND

The applicants came to the HPC in August 2009 for a Preliminary Consultation. At that time, the HPC requested that the applicants provide more information about when the different sections of the house were constructed. They also encouraged the applicants to do more research to try and date the attached service building and determine its dimensions and materials. The draft transcript is in Circles 27-43.

PROPOSAL

The applicants are proposing to construct an addition at the rear left (west) side of the house extending off an existing kitchen ell. The addition will be 8' wide x 12' long and approximately 14' tall. The proposed materials for the addition are painted brick to match the house, one wood window with simulated divided lights (reused from existing wall), wood shutters and trim, one wood plank door, a standing seam metal roof, and copper gutters. See proposed plans in Circles 17-20.

The applicants have provided a rendering of the morphology of the house (see Circle 16),

information regarding the history of the house and the attached service building that is no longer extant, and examples of other historic houses with side dependencies (see Attachments A, B, C, and D in Circles 7-15). Photos of existing conditions are in Circles 22-26.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #1: A property will be used as it was historically or be given a new use that requires minimal changes to its distinctive materials, features, spaces, and spatial relationships.

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Design Guidelines for Historic Sites and Districts in Montgomery County, Maryland state:

Basic Principles for an Addition

The overall design of an addition should be in keeping with the design of the primary structure. Design elements should take their cue from the primary structure, but this does not preclude contemporary interpretations, nor discourage differentiating the addition from the historic building. Keeping the size of the addition small, in relation to the main structure, also will help minimize its visual impacts. It is also important that an addition not obscure any significant features of a building. If the addition is placed to the rear of the existing structure, it is less likely to affect such features. Side additions are generally discouraged.

18.0 DESIGN OF NEW ADDITIONS

Design a new addition to be compatible with the primary structure.

- 18.1 Place an addition at the rear of a building to minimize its visual impacts.
- 18.2 Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- 18.3 An addition should be compatible in scale with the primary structure.
- 18.4 Use building materials that are compatible with those of the primary structure.
- 18.5 An addition should be compatible in character with the primary structure.
- 18.7 The roof form and slope of a new addition should be in character with and subordinate to that of the primary building.

Overall, the proposed addition is small and simple but it does come off the side of the house rather than the rear and that is generally discouraged by the HPC. However, at the first Preliminary Consultation some of the Commissioners indicated that they may support a side addition in this specific case since there is evidence of an earlier attached dependency in this location.

At this 2nd Preliminary Consultation, the HPC should provide the applicants feedback on:

- a side addition to this house in general
- the dimensions/proportion of the addition
- the materials of the addition
- the location and treatment of window and door openings

STAFF RECOMMENDATION

Staff recommends that the applicants make any revisions based on the HPC's comments and return for a HAWP if appropriate.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 W. MARKET STREET, 2ND FLOOR, BROOKVILLE, MD 21033
(301) 413-1100

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: SANDRA HEILER

Daytime Phone No.: 301-570-0837

Tax Account No.: 025-30-0482

Name of Property Owner: DUANE & SANDRA HEILER Daytime Phone No.: 301-570-0837

Address: 205 MARKET STREET BROOKVILLE MD 20833
Street Number City Street Zip Code

Contractor: OK GROVE RESTORATION Phone No.: 301-945-6412

Contractor Registration No.: MD CLASS A CONTRACTOR'S LIC. 15306756

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 205 Street: MARKET

Town/City: BROOKVILLE Nearest Cross Street: NORTH

Lot: _____ Block: _____ Subdivision: _____

Liber: 5581 Folio: 860 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 41,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sandra J. Heiler
Signature of owner or authorized agent

8/21/09
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHMENT A

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHMENT A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Addresses of abutting properties:

Merrill and Susan Johnson
202 Market Street
Brookeville, MD 20833

Chris and Andrea Scanlon
203 Market Street
Brookeville, MD 20833

Warren Ferris and
Renee Moneyhun
207 Market Street
Brookeville, MD 20833

Attachment A

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It sits on a one acre lot uphill from Market Street. The acre directly behind it is owned by M-NCPPC.

The house was built about 1780 by Richard Thomas, founder of the town of Brookeville, and is the oldest structure in the town. The west wing was originally a one-story service building containing a kitchen with a fireplace on the west wall. About 1820 the original service wing was converted into a large dining room with an exterior doorway on the west side and an ell that housed the new kitchen was added to the rear. In 1840 one and a half stories were added to the west wing, creating two additional bedrooms, one in the garret. The morphology of the west wing is shown in Attachment B.

The historical significance of the house is based primarily on the visit on August 26 and 27, 1814, of President Madison, who conducted the business of the federal government there after the British occupied the city of Washington and burned the White House. Although those two days were the high point of its history, the significance of the house extends from the time of its construction through the 19th century and into the early 20th. The builder, Richard Thomas, was one of the most influential of the late 18th and early 19th centuries in eastern Montgomery County. He built many of the important houses in the area, including Locust Grove and Woodlawn Manor, as well as three other houses and a mill in Brookeville. He also laid out the town's street plan and 56 lots on land that he owned or that his wife, Deborah Brooke, received from her father, Roger Brooke, the largest landowner in eastern Montgomery County at the time.

Thomas sold the house in the 1790s to his brother-in-law, Caleb Bentley, a gold- and silver-smith and clockmaker, who used the east wing as a shop. He was named Brookeville Postmaster by Thomas Jefferson in 1802. It was Caleb Bentley and his second wife, Henrietta Thomas, an acquaintance of Dolley Madison, who hosted the President's visit in 1814. Bentley, and two other of his brothers-in-law founded the mill town of Triadelphia. Another 19th century resident was Roger Brooke V, who was instrumental in introducing progressive farming methods to Montgomery County. In the early 20th century baseball hall-of-famer Jack Bentley, who hit the winning home run in the 1924 World Series, lived in the house.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project would add a small pantry to the west side of the kitchen ell at the site of an earlier attached dependency whose ghost is visible on the outside wall. The original dependency probably served as a wood house, since the kitchen had a wood-burning stove and stepping stones in front of it led to a side entrance to the house, which has five fireplaces. The addition will be framed and insulated and built on a concrete slab. The exterior will be brick veneer with a standing seam metal roof and a plank door. As much as possible, the location, form, style, and materials will carefully follow those of the original dependency, except that the brickwork will be distinguished from the common bond used on the west side and the Flemish bond on the front. The result will restore the west wing to more closely resemble its earlier appearance. Attachment C describes the evidence for dating the phases of the morphology and our rationale for determining the details of the proposed addition.

The results of an informal survey of houses from this region with small (one-story) side dependencies that were built in roughly the same period as the evolution of the west wing are shown in Attachment D. (In *Everyday Architecture of the Mid-Atlantic*, Gabrielle Lanier and Bernard Herman note that it was common in Maryland to attach service buildings to the kitchen ell.) The photos and drawings in Attachment D range from the broadest area, various parts of the Mid-Atlantic, through houses in Montgomery County to those in or near Brookeville. While such attached dependencies were frequently found in the survey buildings, they varied widely in length, from about 8' to more than 16'. Both side and end entrances were common. Although the dependencies were more often attached to the gable side of a building, it was not unusual to attach the dependency to the eave side, as is visible on the right side of the picture of Fair Hill and the drawing of Friendship, the Moxley Farm, where the dependency is attached to the eave side of a rear ell with a centered front doorway (like the proposed addition), although it has a shed, rather than gable, roof.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a south-facing, painted brick structure with a two-story main block, a one-story east wing, and a two and a half-story west wing (sited lower than the main block so the roof line is continuous), with a one and a half-story kitchen ell at the rear of the west wing. It sits on a one acre lot uphill from Market Street. The acre directly behind it is owned by M-NCPPC.

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Attachment C

The details of the morphology of the west wing and the attached dependency are based mainly on physical evidence found at the site, but also on evidence from some earlier residents of the house, including Calvin Musgrove, who lived there as a child and young adult in the 1930s and '40s, Alice Musgrove, who moved there in the 1940s, Janet Taylor, who spent summers there in the 1940s and '50s, and John Archer, whose mother was responsible for restoring the house and adding running water, central heat, and indoor plumbing during the 1960s and '70s. Conversations with local mason David Yinger, who has repaired and restored the masonry at various times since 1958, also helped to determine the likely sequence of changes, based on a careful reading of the brick walls. The probable dates for the changes shown in the morphology are based on substantial increases in the taxes (likely due to improvements in the house) in 1820 and 1840.

The ghost of the gable end of a missing building on the exterior brick wall of the kitchen ell shows that the space was originally constructed as an interior wall and, thus, that the missing building was probably attached to the ell when it was constructed in 1820. The ghost is marked on an attached photo. According to an earlier resident of the house, a dependency existed at that location in the 1930s, but it collapsed or was demolished sometime before 1945. By that time, an exterior door had been installed in the opening. About 1960, the doorway was closed off with a window and a brick wall and a crude cupboard that had been salvaged from the original dependency was removed from the kitchen and stored in the cellar, where it remains.

The height, width and slope of the roof of the original dependency are visible in the ghost on the exterior of the kitchen ell wall. The addition would follow those dimensions. In light of the range of lengths found in similar side dependencies, we have proposed a length of 12 feet, which is about average, and would place the stepping stones that lead to the side door of the dining room at the middle of the front, where we propose to locate the doorway. (Note that the nearby smokehouse, which has the same roof slope as the dependency, is also 12 feet long with a doorway centered on the front.) (Archaeological research and aerial photos from 1937 may possibly reveal more information, but results are not yet available.)

The addition will have a plank door similar to the door on the east wing, which is original to the house, but smaller, and similar those used on other service buildings of the period. According to an earlier resident, the walls of the original were brick. The brick of the proposed addition will be similar in size and texture to that used in the kitchen. The window currently in the kitchen opening will be reused at the back and the roof material, overhang, and trim will match those of the kitchen ell, which is typical of many of the local dependencies in the survey sample.

Attachment C

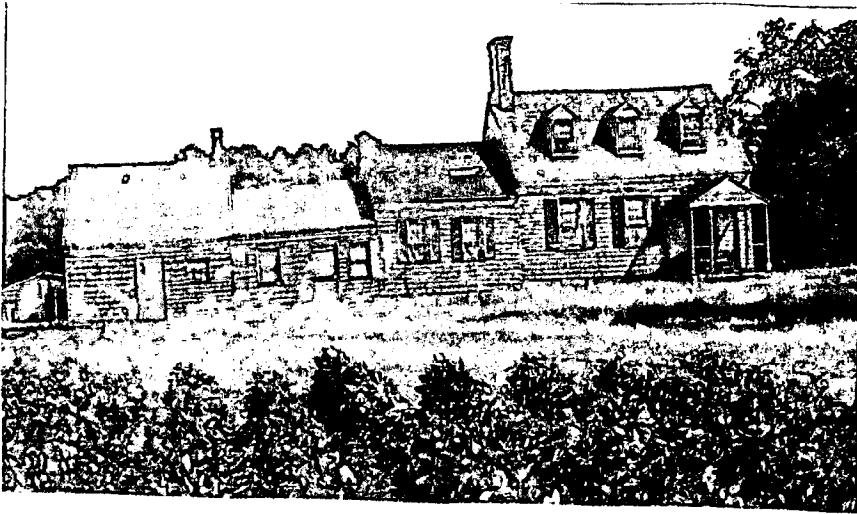
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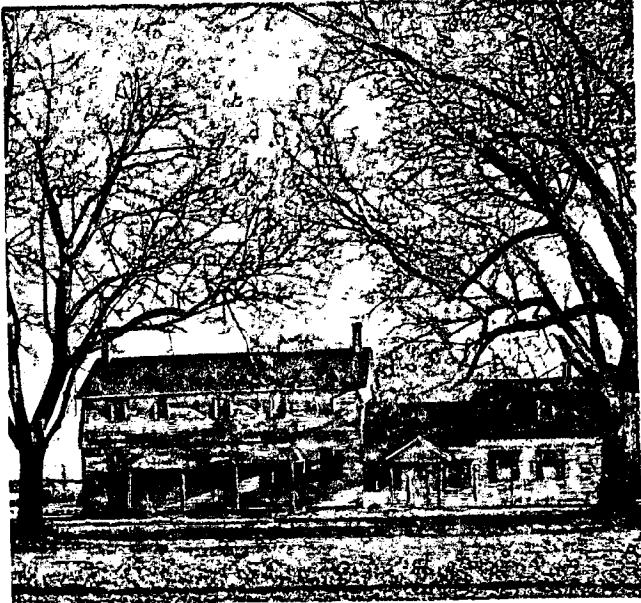
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Attachment D



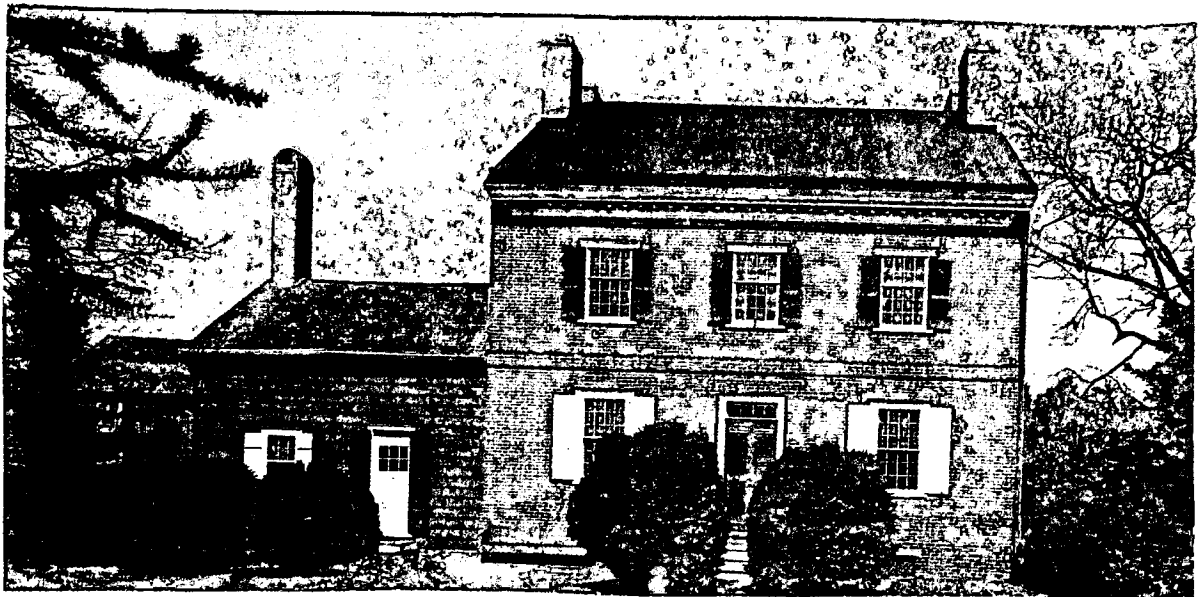
Eastern Shore of Virginia



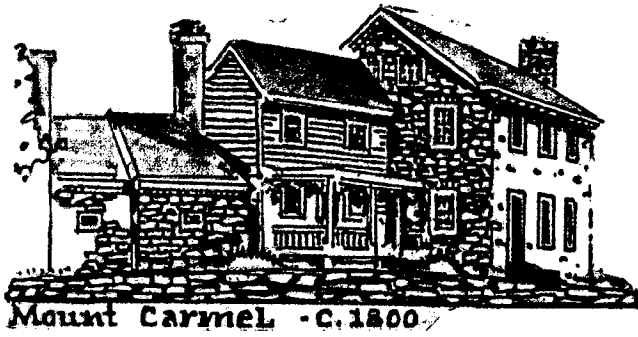
Willowdale, Accomack, Virginia



Fair Hill, Olney, Maryland



Aspendale, Kent County, Delaware



Mount Carmel - c. 1800



Montpelier Gathersburg c. 1823



The Beall-Dawson House 1815
Rockville



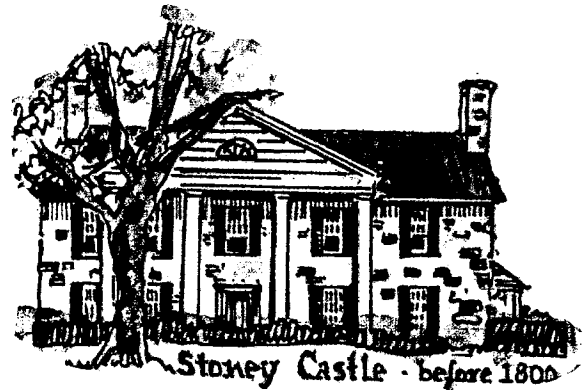
Aix La Chapelle before additions
c. 1812



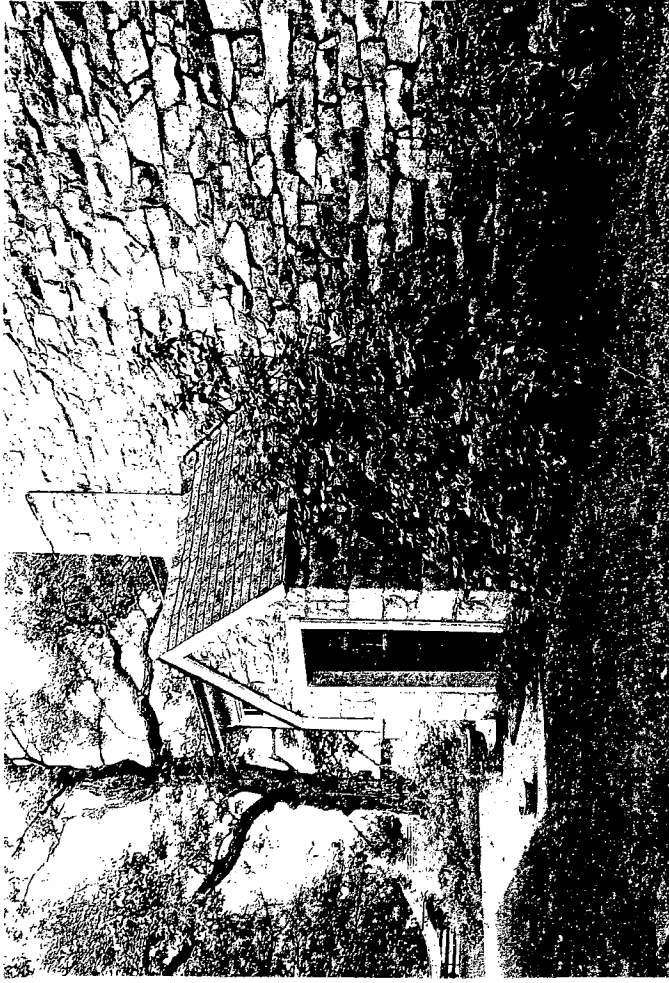
Marewood c. 1793 - Sandy Spring



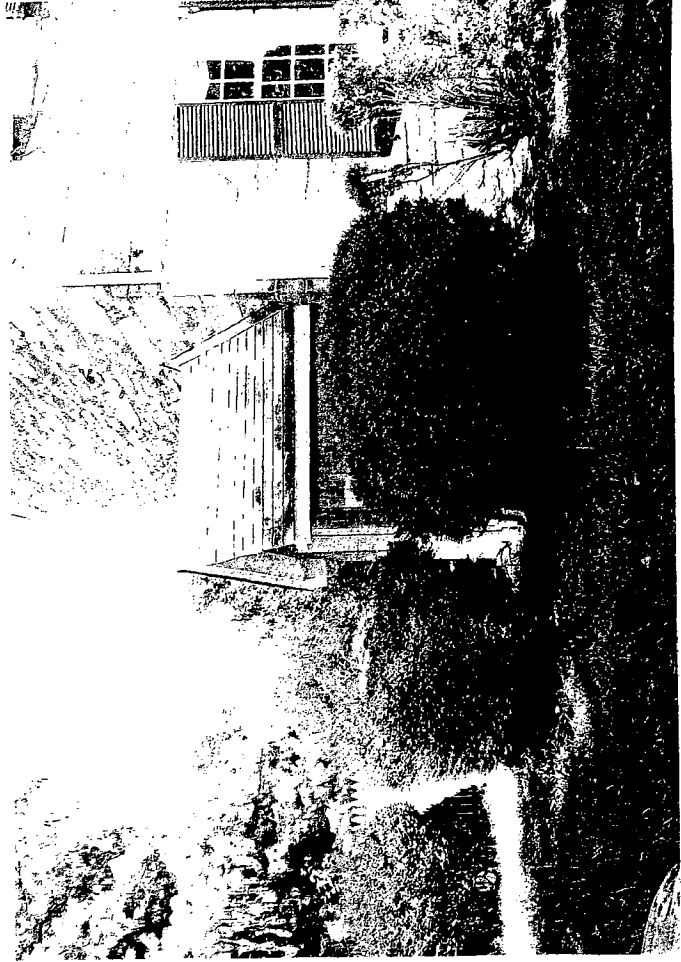
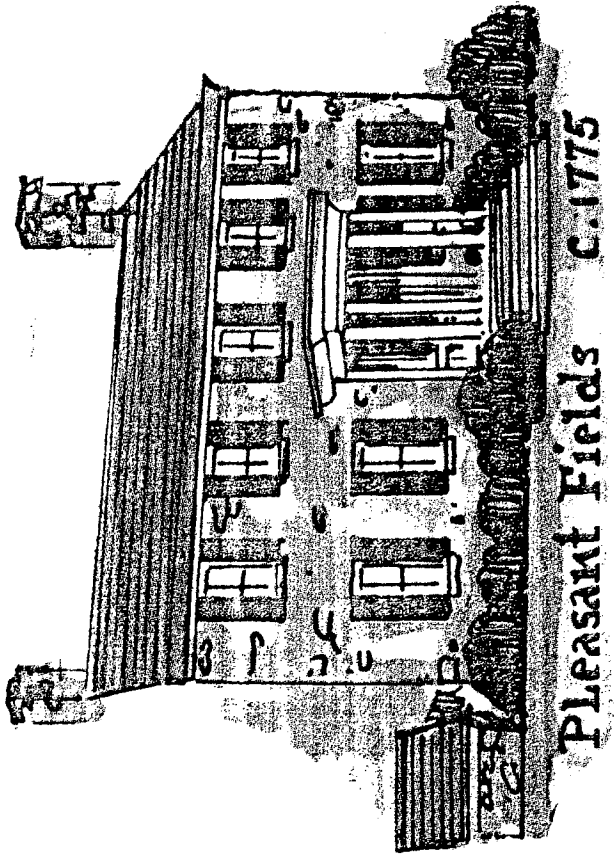
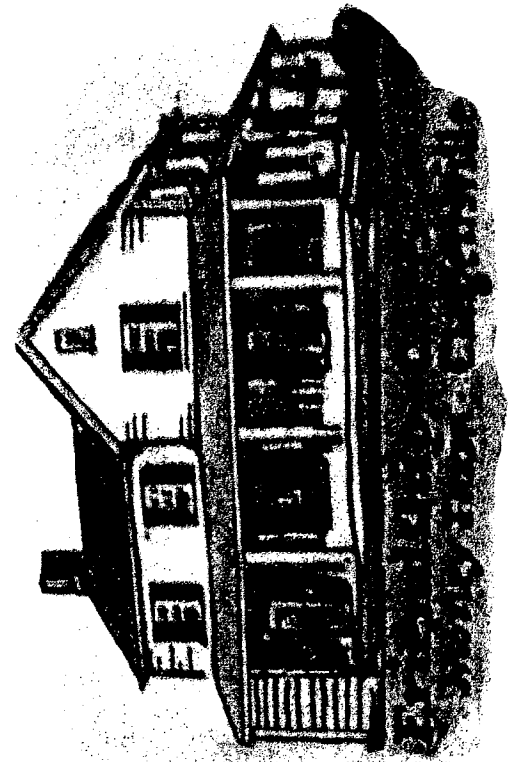
Montevideo (near Seneca) c. 1820



Stoney Castle - before 1800



4515 Sundown Road, Laytonsville
c. 1820

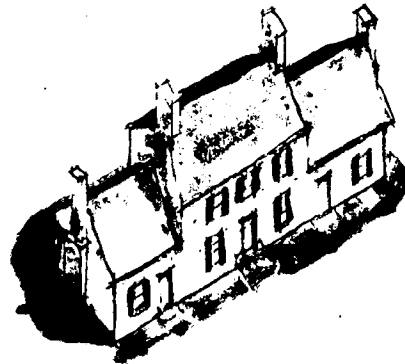
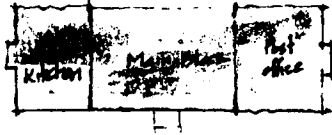


Locust Grove, Brookeville Road
Brookeville c. 1810

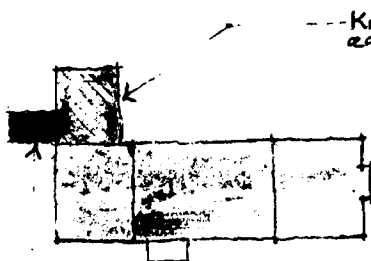
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Madison House Morphology

1780

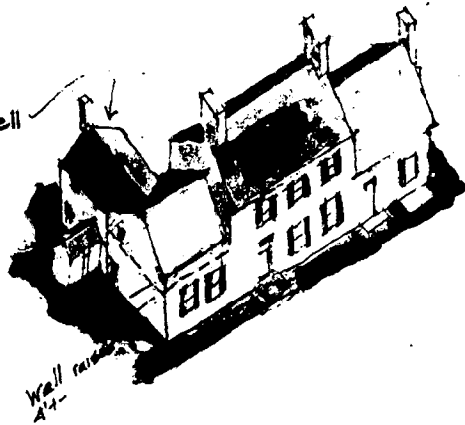


1820

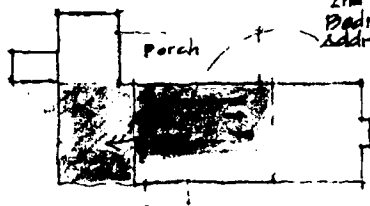


side attached dependency

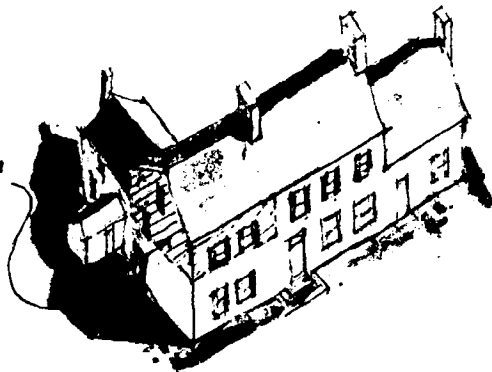
Kitchen ell addition



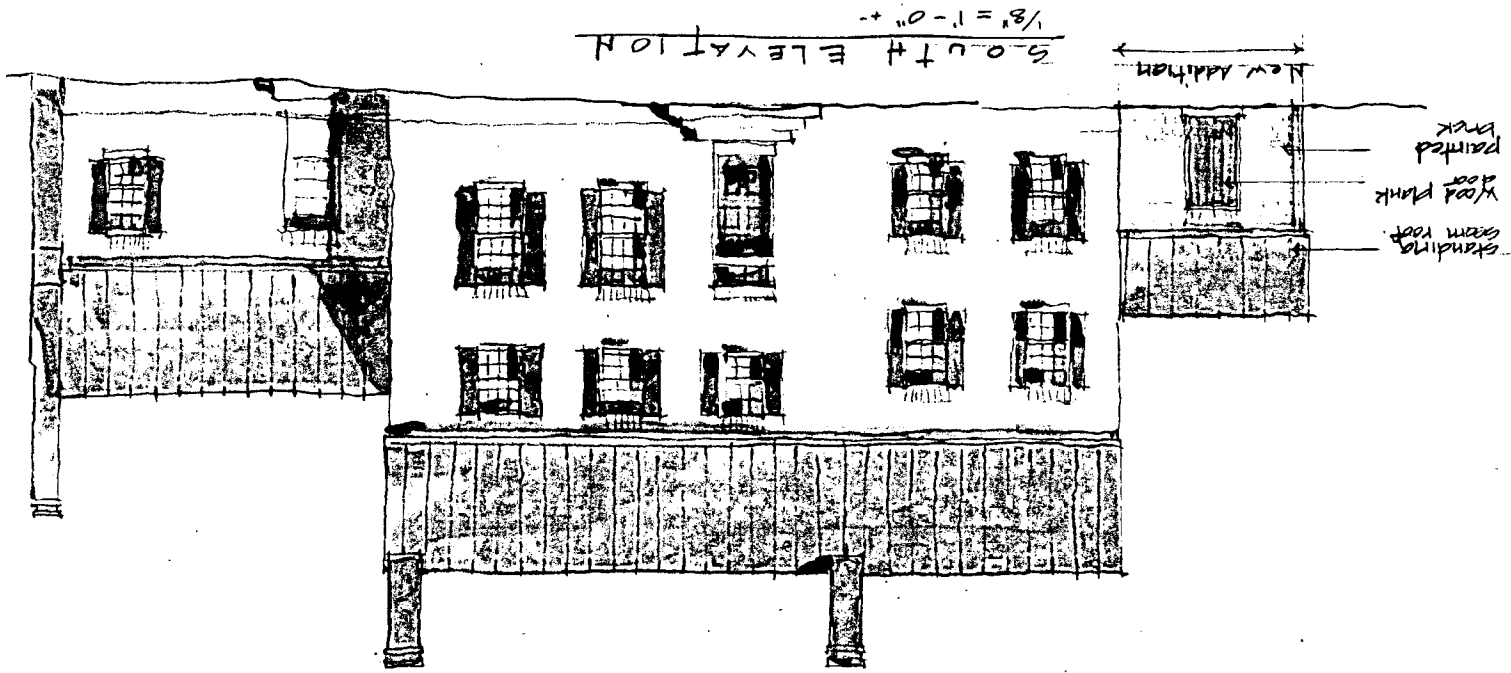
1840

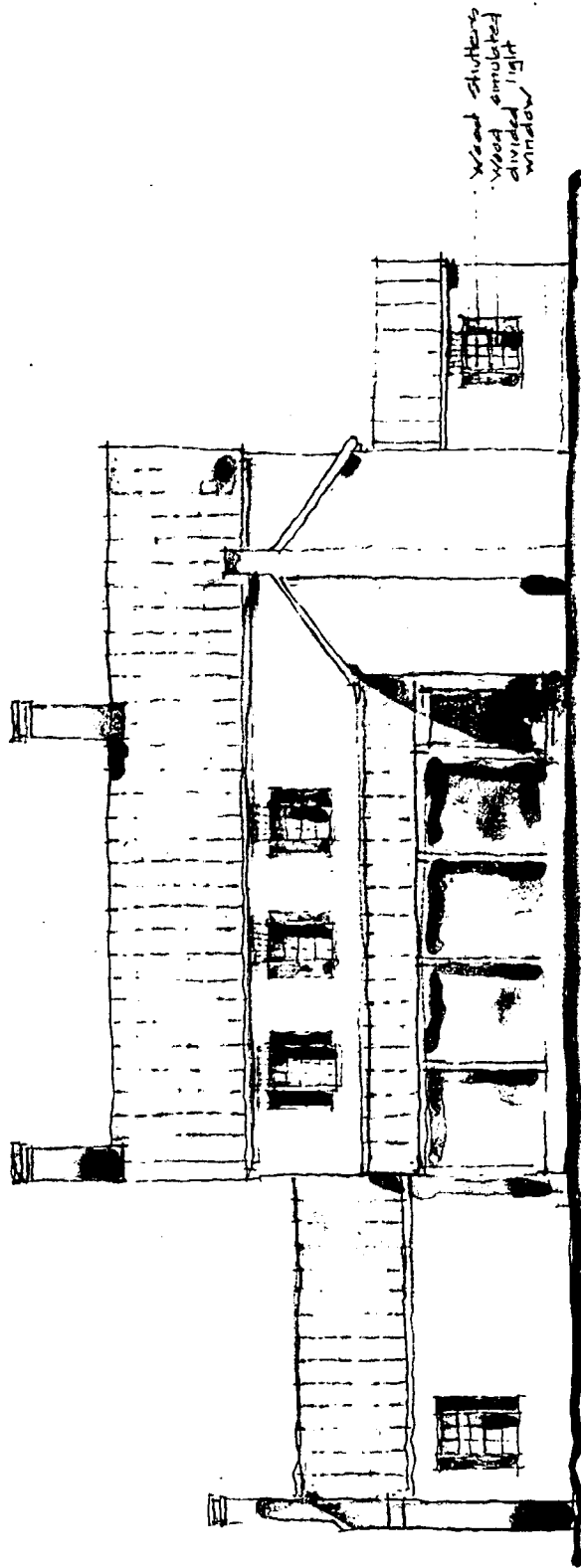


2nd Floor Bedroom addition



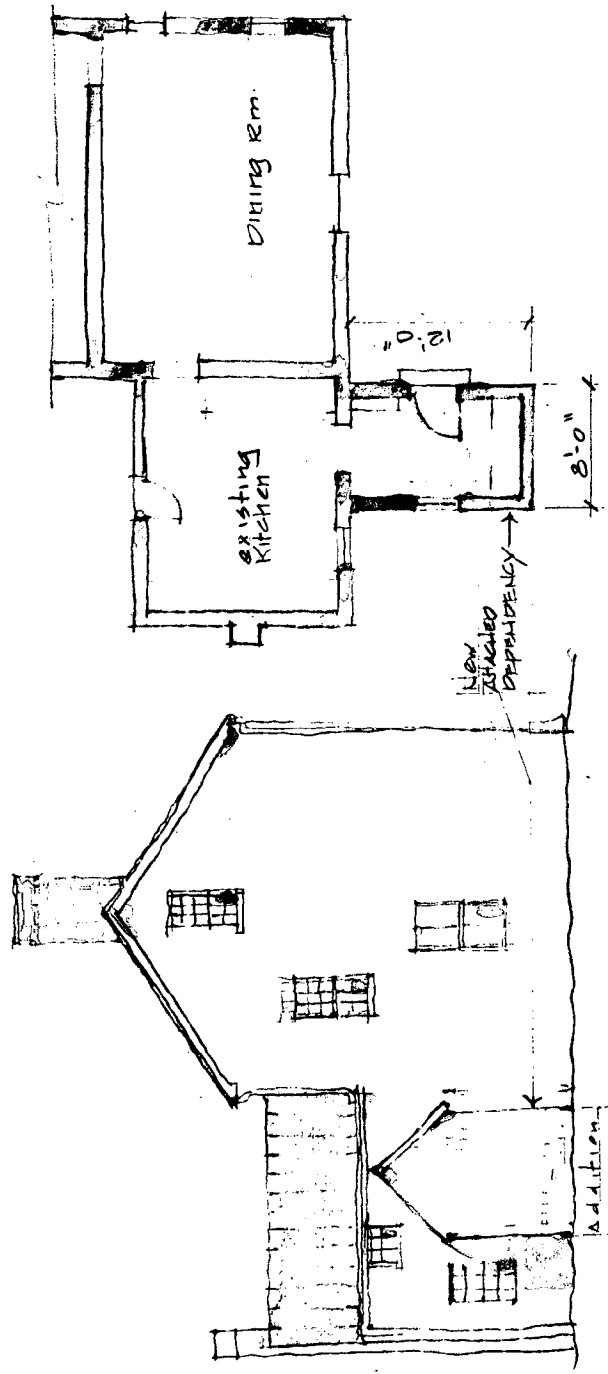
| | |
|--------------------------------------|---------------------------------------|
| MICHE BOOZ | |
| ARCHITECT | |
| 224 Maple Street Boston, MA 02116 | Ph: 301 774 6911 Fax: 301 774 1528 |





New Addition

NORTH ELEVATION



PARTIAL FIRST FLOOR PLAN

WEST ELEVATION
18'-0" +/-

L. 33349 F. 010

PARK TAKING
(PER SURVEY PERFORMED 8-15-06)

Site Plan

N 41°23'37"E 160.34'(COMP)
N 36°54'22"E 162.388'
(PER SURVEY PERFORMED 8-15-06)

REMAINDER
PROPERTY OF
R.S. & D.V. ALLAN

L.5581 F.860
1.0 AC.± (COMP)

S 51°52'15"E
55.29'(DEED)

N/F
C. & A. SC.
L.29911 F

S 42°32'10"E 143.00'(DEED)

S 71°00'31.62"E
(DEED), 29.75

N 40°51'00"W 65.76'(DEED)
49°09'00"E
1.55'(DEED)

MANOR
BOOK A
18393

N 40°51'00"W 168.79'(DEED)

FRAME
SHED

STONE
PATIO

BRICK
PORCH

2 STORY
BRICK
#205

PROPOSED

ASPHALT DRIVEWAY

GRAVEL DRIVEWAY

S 48°20'00"W 173.60'(DEED)

Applicant: DAVID A. HEILER &
SANDRA L. HEILER

MARKET STREET



Materials Specifications

Brick to match kitchen ell with standing seam metal roof.

Wood rake board and fascia to match kitchen ell.

True divided light, wood, double-hung window reused from door opening to kitchen ell.

Wood plank door similar to door on front façade of east wing.

Copper gutters and downspouts to match kitchen ell.

1 MR. ROTENSTEIN: The next item on the agenda is
2 the preliminary consultation from Duane and Sandra Heiler.
3 And I just want to mention that the applicant in the
4 preliminary consultation is a commissioner and she will be
5 presenting, I presume, for herself. So, do we have a staff
6 report?

7 MS. FOTHERGILL: This is an outstanding resource
8 in the Brookeville Historic District. It's 205 Market
9 Street in Brookeville. The applicant has done extensive
10 research and so I really want to leave the discussion of the
11 history of the house to her. You'll see in circle 8 there's
12 a long description of physical and anecdotal evidence of
13 what was an earlier attached service building to this house
14 that is no longer there, and the idea behind this
15 preliminary consultation is that the applicant would like to
16 build a side addition based on that earlier attached
17 section.

18 I think that I will turn this over to the owner to
19 talk about, specifically about the background of this
20 project and the research she has done. But I do think that
21 things that the commission should think about and provide
22 the applicant feedback on is the appropriateness of a side
23 addition to this house in general because it may not be a
24 reconstruction, it may be more of a side addition. The
25 dimensions and the proportion of the addition, the materials

1 of the addition. Right now the proposed material is brick
2 and the location and treatment of the window and door
3 openings.

4 I will show you the photos, but I really, I do
5 want to turn this over to the applicant to talk about what
6 she has found in her extensive research. So, this is the
7 front of the house and actually the rear left is where the
8 proposed side addition will be. Right here in that kitchen
9 L, and that is the rear, so it would extend off the side.
10 And this is a close up and specifically that is where it
11 would connect. That window would become a door, which it
12 once was. And I'm going to turn it over to Commissioner
13 Heiler.

14 MR. ROTENSTEIN: Can you leave the slide up for a
15 moment.

16 MS. FOTHERGILL: Sure.

17 MR. DUFFY: Can I ask a staff question first?

18 MR. ROTENSTEIN: Sure.

19 MR. DUFFY: How convinced or unconvinced is staff
20 that there was in the past a structure in this location?

21 MS. FOTHERGILL: I mean, I do think that
22 Commissioner Heiler has done extensive research and I do, I
23 mean it's anecdotal and physical. You can see evidence of
24 it. And so the question is when and what. I mean, the
25 specifics aren't there. But yes, something was there. I

1 feel comfortable with that.

2 MR. DUFFY: Do you have any sense of time frame of
3 when something was there?

4 MS. FOTHERGILL: Nothing other than what
5 Commissioner Heiler has provided.

6 MR. DUFFY: Okay, thanks.

7 MR. ROTENSTEIN: Just since we're asking a few
8 questions and I guess this is probably better directed to
9 the applicant. There appears to be something going on in
10 the brick bond to the right of the area sounding the window.
11 Is that something as well?

12 MS. HEILER: I can describe what's going on on
13 that side. And I base this on two things. I continue to do
14 research since I submitted this and I've prepared these oral
15 histories basically from four people who lived in the house
16 previously. Two of them actually lived there when the
17 building existed. Two of them lived there after it was
18 gone. And with the mason who has been a mason for 70 years,
19 who, you know, a bricklayer, not a lodge member. Anyway,
20 who did the repairs on this and who I believe can read the
21 brick wall better than anyone.

22 In his view, what's going on is the window there,
23 there was a building attached when the kitchen ell was
24 built. So the bricks on either side of the building, and I
25 submitted one picture with an outline, a dotted line. That

1 area was filled in when the building came down. The
2 original building, that area was not brick. It was probably
3 frame, but I, you know, nobody knows what that particular
4 area, which was the interior wall of the building, was. But
5 the bricks that were put in afterward.

6 There was a doorway there, and I do have some
7 photographs from the 1940's that show the doorway. The
8 oldest person who lived there who actually moved into the
9 house in 1930 when he was 10 years old, claims that there
10 was a wood house there, and it was, wood house meaning its
11 function, it was built of brick. It had a dirt floor. The
12 kitchen also had a dirt floor until 1960.

13 So sometime between very late 1930's and 1945 the
14 structure that was there came down, and he didn't remember
15 if it fell down or it was torn down. Most likely it fell
16 down because the kitchen was at risk at that point too.
17 Neither it nor the kitchen had foundations. So in 1960, my
18 friend the bricklayer, he stabilized the kitchen wall, put
19 that window in and put the bricks under the window. You can
20 see some seams there, and excavated under the three exterior
21 walls of the kitchen ell and added a shallow foundation
22 under the kitchen.

23 So, we know that the kitchen ell was built at the
24 same time as that side of the house. The first floor, the
25 one story L existed on the west side from the time the house

1 was built sometime about 1780. It was expanded in 1820 and
2 we know that from the tax records. But it continued to be a
3 one story addition. It was turned into a dining room and
4 the remnants of the original kitchen are under that dining
5 room. So the kitchen ell was added in 1820 when that side
6 was expanded.

7 None of these people were there in 1820 but
8 there's ample evidence that that particular, that area,
9 which was the interior of the wood house was not brick when
10 that kitchen ell was constructed which, seems not a stretch
11 then to think that they put that addition, the wood house,
12 on when they constructed the kitchen L. Another reason to
13 believe that is the kitchen had a wood burning stove until
14 1960. And, Calvin Musgrove, who lived there in the '30's,
15 in fact, used that room for bringing the wood in for the
16 stove for his mother.

17 This kitchen never had a fireplace. It always had
18 a wood burning stove and the chimney on the back of that is
19 original for the wood burning stove. So, it seems quite
20 certain that there was a building there and that was the
21 location and the size of it is, if you look at the picture
22 with the outline, it pretty clearly, it's difficult to see
23 in the picture, but it clearly delineates the size and shape
24 of that building.

25 It's kind of interesting that the slope of the

1 roof is identical to the slope of the roof on the
2 smokehouse, which is nearby. The smokehouse is not brick
3 but, the smokehouse is at least as old as this structure.
4 Basically, I used that physical evidence and the reading of
5 the brick wall by the bricklayer and also his discussion of
6 what the kitchen was like in 1960 to show that shape.

7 The length of it, oh, I guess, it's called the
8 width, is, you know, the part that I don't have as strong
9 evidence for. What I did, and this was based on information
10 I got from Clare, so I did a little survey of eastern
11 Montgomery County and buildings that were put up about 1820
12 that had outbuildings, to look for things that, smokehouses
13 don't work because smokehouses are invariably square. I
14 found lots of smokehouses. They were all square.

15 However, these other outbuildings, attached
16 outbuildings, I found two, one that was exactly the same
17 width and so I took the length from that. I found another
18 one that was where I just used the same proportions and that
19 was at Clifton. My next step, I'm assuming is to start
20 digging to see if I can find any evidence of the use and
21 where it ends up. You know, I think I'm not going to find a
22 foundation. If the kitchen didn't have a foundation, the
23 woodhouse didn't have a foundation.

24 MR. ROTENSTEIN: You might not find a foundation,
25 but I'd encourage you to see if you have any neighbors who

1 have professional archeological experience or someone who --

2 MS. HEILER: Well, actually, I do. I have never
3 led an archeological dig, but in fact, I've participated in
4 a number of them while I was a student at, a graduate
5 student, I did that. And one of my paid jobs for the
6 Trustees of Reservations in Massachusetts was interpreting
7 archeological evidence in 17th Century houses.

8 MR. ROTENSTEIN: So what was the yard area
9 adjacent to this rear ell used for, at least that you're
10 aware of?

11 MS. HEILER: A kitchen garden. They kept chickens
12 there for a while. They had a kitchen garden there for a
13 while. There are stepping stones that lead, they just stop
14 right where I'm assuming the door was. I know there was a
15 door in it that faced Market Street. That comes from Calvin
16 Musgrove. And in the center of the area that I'm assuming,
17 stepping stones come around the house and they end right
18 there. And it's in line with the plane that would be on the
19 Market Street side of this building.

20 MR. ROTENSTEIN: The archeological signature of
21 anything that might correspond to what we see in the wall is
22 going to be very shallow and you're probably going to be
23 looking at changes in soil color and textures. Your only
24 evidence of a building or extension that might have been
25 there. So, if you are going to pursue that on your own, I'd

1 strongly urge you to do it very carefully.

2 MS. HEILER: Actually, this is not relevant to
3 this building but, when I first moved to the house I dug a
4 little hole in the front garden and I dug up a clay pipe
5 which I sent to the Smithsonian and they verified that it
6 was James Madison's. So I'm very careful when I dig holes
7 now.

8 MR. ROTENSTEIN: The second thing before I let
9 Commissioner Jester, who's eager to speak I see, is Farm
10 Service Administration aerial photographs from the 1930's
11 would probably give you a little better resolution than the
12 1950's vintage aerials that I think are available through
13 the county GIS, and if the addition that you're speaking of
14 did survive into the 20th Century, it most certainly would
15 be illustrated in those aerial photographs. And it's just a
16 matter of pulling the right canister and using a magnifying
17 glass at the National Archives at College Park.

18 MS. HEILER: I will follow that up.

19 MR. ROTENSTEIN: Those are my comments.
20 Commissioner Jester?

21 MR. JESTER: I think you have clear physical
22 evidence that there was an appendage there. And I think the
23 issue is, is there enough documentation to make a case for
24 putting it back in its historical appearance, if you will.
25 And another option is just to put an addition on this

1 clearly, it's clear that it's contemporary but, maybe just
2 in location where the historic one was. My concern is that
3 we're in a potentially create a false sense of history if
4 you don't adequate documentation to support essentially a
5 reconstruction. You're not even restoring it because
6 there's not enough, you're not restoring something that's
7 partially there. It's something that was there. So it's a
8 bit of a reconstruction.

9 I'm not unsupportive of pursuing that, but
10 without, I guess, my concern is, without sufficient
11 documentation I'm not sure I'd be fully supportive of
12 putting it back in historic appearance. I'm not opposed to
13 potentially putting an addition there because I know there
14 was one there, I think it could probably be handled in a way
15 that's not going to impact the, what's essentially an
16 outstanding resource right now, and it deserves to be
17 treated as such.

18 But I think I'd like to just encourage you to, and
19 I think you're doing this, but to pursue all the avenues to
20 kind of make a case or, basically, help determine that maybe
21 there isn't enough evidence to do that. I'm a little clear
22 exactly the period of when it may have been there or not
23 been there but obviously, Commissioner Rotenstein suggests
24 some other sources. There's tax records. There are, you
25 know, deeds and so on. So maybe that just needs to be

1 exhausted so we know that we have enough evidence to do
2 this.

3 MS. HEILER: I guess I do have a question, if I
4 can. These oral histories that I'm collecting, mainly my
5 long talks with Calvin Musgrove because he's the person who
6 lived there the longest while the building existed. I need
7 something to do with them. Two people who lived there and
8 used the building, Calvin Musgrove and his cousin. And I'm
9 documenting the stuff. So, you know, and I know people who
10 lived there after the building was gone. The people who
11 moved in in 1945 claimed that it was gone, there was an
12 exterior door there. There is no photographic evidence that
13 I can find.

14 MR. ROTENSTEIN: One way to use your oral
15 narratives is, I frequently ask informants to draw a sketch
16 match, you know, supplement what you're getting orally with
17 some visual representation that they can pull from their
18 memories. That's one thing that you can, but again, with
19 the caveat, memories are imperfect and the people you're
20 asking to provide the information aren't necessary
21 architects or historians.

22 MR. JESTER: And I think taking oral histories is
23 part of the process and it's important, and regardless of
24 where it takes you. Just to give you another analogy I
25 think that's somewhat relevant, our firm's currently working

1 on Franklin Court in Philadelphia and it's a park service
2 site that was, Robert Venture designed a ghost house remnant
3 of where Benjamin Franklin's house was. And there was a
4 very large debate back in the last 1950's, early 1960's,
5 about whether to reconstruct his house. And they had a
6 tremendous amount of archeological evidence, but they could
7 not find any kind of photograph or any kind of visual record
8 of what it looked like. And there was just a tremendous
9 amount of debate about it, but the park service ultimately
10 decided not to reconstruct the house because they felt that
11 they'd be creating something that they didn't know, they
12 wouldn't necessarily create something that was an accurate
13 representation of his house.

14 MR. DUFFY: I have a question or two. In the
15 photograph on the screen, did you say that the first story
16 of the ell was built at the same time as the main body of
17 the house?

18 MS. HEILER: No. When the main block was built,
19 there was a one story west wing which extended only half way
20 to where the L is now. See where the two over two window
21 is?

22 MR. DUFFY: Yes.

23 MS. HEILER: It's approximately there is where the
24 main block or where that wing ended. There's a foundation
25 under that window which shows that was the foundation of the

1 original kitchen. And there are signs that the original
2 kitchen did have a fireplace. So, when that one story
3 addition or wing was extended in 1920, that's when it
4 extended all the way to where the kitchen L begins and the
5 kitchen L was added at that time as well.

6 So, that west side, the west wing was done in
7 three stages. It was a one story half the depth of the main
8 block until 1820. It was a one story plus a kitchen L. You
9 know, it was extended back. And it was, in fact, it was
10 brought up to --

11 MR. JESTER: I'm finding it very difficult to
12 follow your verbal description of how the property evolved.

13 MR. DUFFY: So am I.

14 MR. JESTER: Maybe it's just because I'm an
15 architect and I'm visual in gray, but I think it might be
16 helpful to even just create a series of either plan diagrams
17 or isometric, to show how you believe the property evolved.
18 Even just to explain to get up to the point of understanding
19 when you believe this piece existed that you want to
20 reconstruct.

21 MR. DUFFY: I very much agree. I can't really
22 follow your description. And what your description is, and
23 you know, I have the same, you know, bias or orientation
24 being an architect but, you're describing things that
25 naturally to me should be graphic. You know, what existed

1 on the west side in 1780? What happened when in plan and
2 elevation graphically? What points in time? I just don't
3 understand.

4 You're describing something that was original that
5 there's a foundation for. I would imagine the logical thing
6 to do would be to reconstruct that.

7 MS. HEILER: That would take the whole west side
8 of the house now. The second and the third floors.

9 MR. DUFFY: I don't understand what was there.

10 MS. ALDERSON: If I could offer a suggestion.

11 There's a simple way to go through this progression
12 graphically, and I can provide you a model that we've used
13 at GSA. We used it for our structure report of a multiple
14 property block, it was a Dolly Madison. The house has
15 evolved tremendously over a period of 150 years as it came
16 under different ownerships. And we created, it's a graphic
17 morphology. In it you lay out the plan and the elevation is
18 aligned with the plan so that at each succession of changes,
19 you can see how the plan evolves and the elevations evolved.
20 And you begin with the outline to the best of the knowledge
21 and then the details get filled in as research allows.

22 I think it's fascinating that you're interested
23 and willing to go to the trouble to research, and I think,
24 if you've got the time and, you know, obviously it's not a
25 compelling space issue or you'd just be looking for a place

1 to put space. So sure, you could do a contemporary like
2 little side addition but that seems like that would kind of
3 defeat the purpose of what you seem to be trying to achieve,
4 which is to maybe authentically recreate something that
5 might also give you some utility. And I think as long as
6 you've gone to this terrific trouble and, you know, you have
7 this property of extraordinary historic significance that
8 has James Madison's pipe on it, that you might as well just
9 continue in that path.

10 I think the idea of getting a sketch, whatever you
11 can get from a person is a great idea even though you're
12 going to be comparing that to all the other evidence. But I
13 think that the path that Clare has suggested taking it in is
14 a great idea beginning with what you have on the property,
15 then fanning out to what else we have in the county, I think
16 it's a fascinating study of what we have, not just as
17 outbuildings that are detached but, basically buildings that
18 are attached. And go beyond Montgomery County if you need
19 to because this is not, you know, a unique American building
20 type. There certainly, were many, many others. You know,
21 you're going to find them in New Jersey and other towns or
22 places where maybe there's some of the very older historic
23 districts that are very preserved, or some of the properties
24 that are very, very documented.

25 So that's maybe a next step that I would look at

1 is what are some of the comparable properties that are
2 heavily documented that would have some comparable
3 information you could use.

4 MR. ROTENSTEIN: I think what you're hearing
5 across the board --

6 MS. HEILER: I may propose something simpler. I'm
7 so embarrassed going up to houses to ask people if I can
8 measure the wings on the backs of their houses. Private
9 houses are bad news.

10 MR. ROTENSTEIN: I don't think you need to go to
11 that extreme. I think you have enough on-site resources and
12 repositories, you're ideally situated for historical
13 research. I would strongly suggest using the historical
14 area photos at National Archives and if you feel confident
15 that you have the archeological skills to remove the grass
16 mat and evaluate what features might be there, I strongly
17 urge you to pursue that.

18 I think this is a very significant resource and
19 you're well aware of its significance, and I before any
20 further discussion of the scale of what you're proposing or
21 materials, I think really depends on the additional research
22 that you do.

23 MS. ALDERSON: You know, I wasn't suggesting to
24 enjoy your five year dissertation you've laid out for
25 yourself. My thought was that, just looking for graphic

1 examples of anything always help as long as you're going
2 down this path, and you know, if Clare's aware that there
3 are buildings that have attached, small attached additions,
4 photograph them and make that part of your presentation and
5 part of your decision-making. And I think there are enough
6 of these farm properties that are museums that it's going to
7 be possible just to, you know, even make a few online
8 inquiries. And the kind of places that are already public
9 are happy to share what they have. I've always found them
10 very friendly.

11 MR. RODRIGUEZ: I agree with Tom in the sense that
12 the idea is to reconstruct something. There is the need for
13 some solid evidence that tells you about from the mark in
14 the wall what more or less the size and scale of what was
15 there that you want to bring back.

16 MR. DUFFY: I would just caution that a structure
17 built in the 1780's that was for two days the White House
18 during the war of 1812, I'd be hesitate to vote to change or
19 alter it in a way that would be different from how we would
20 usually, this Commission would usually allow an alteration
21 to a structure that date and significance unless there's
22 really good documentation, compelling evidence that the
23 alteration is replacing something historic that, you know,
24 that was there and roughly that size and massing and what
25 not.

1 MR. JESTER: Just to add one more thing. And I'm
2 not clear whether this will be the case or not but we also
3 would not want to put that appendage back if it was on the
4 building where it didn't exist with the rest of the house
5 the way it is. In other words, if the house was originally
6 smaller and that existed, and then now we have that other
7 piece, we basically just don't want to create an appearance
8 that never existed.

9 MS. HEILER: Right. I think that's a little bit
10 misleading because we know when this side was done, and we
11 know that, you know, this was not during the period when
12 Madison was there. This is the later part. But, in fact,
13 you know, we know from the oral histories that that building
14 was on there in the 1930's, and nothing else on this side
15 has changed in that period. In fact, one reason I would be
16 hesitant to do any changes on the back of the house is, the
17 back is intact. It has simply not changed with the
18 exception of a wooden porch was replaced by brick. But
19 otherwise, you know, the windows, the shutters, the doors,
20 the carving and all is original.

21 MR. ROTENSTEIN: Well, you've given us some
22 interesting things to think about, and I think you have some
23 additional research to do before we pursue discussing this
24 further. Thank you very much.