



M E R I D I A N  
H O M E S

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**JONATHAN LERNER**  
[www.meridianhomesinc.com](http://www.meridianhomesinc.com)  
[jlerner@meridianhomesinc.com](mailto:jlerner@meridianhomesinc.com)

5110 Ridgefield Road  
Suite 413  
Bethesda, Maryland 20816  
Phone 301.652.4440  
Facsimile 301.652.9224



M E R I D I A N  
H O M E S

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March 14, 2003

Ms. Gwen Wright  
Historic Preservation Society  
M-NCPPC  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

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Developing  
Homes . . .  
And  
Dreams

**RE: First Avenue, Silver Spring, Maryland**

Dear Gwen;

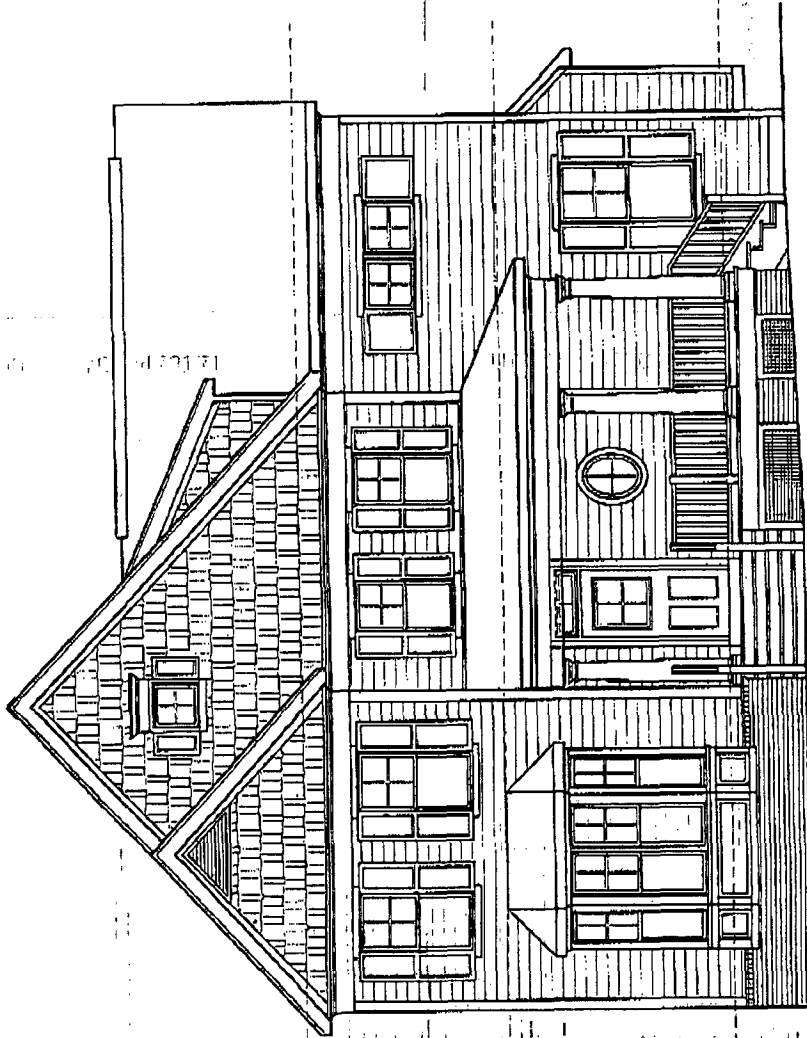
I have enclosed the front and right side elevations for Lot 16 on 1<sup>st</sup> Avenue. Unfortunately, it has been discovered that a dormer is necessary, in order to have adequate clearance in the stairs to the attic. After doing some analysis on the other lots, we believe that a dormer will not be necessary on the other two houses. This being the case, it will make Lot 16 even more of a one of a kind home.

Please confirm with me that this modification will not necessitate another trip to the Historic Committee.

As always, thanks for all your help and I look forward to hearing from you in the near future.

Sincerely,

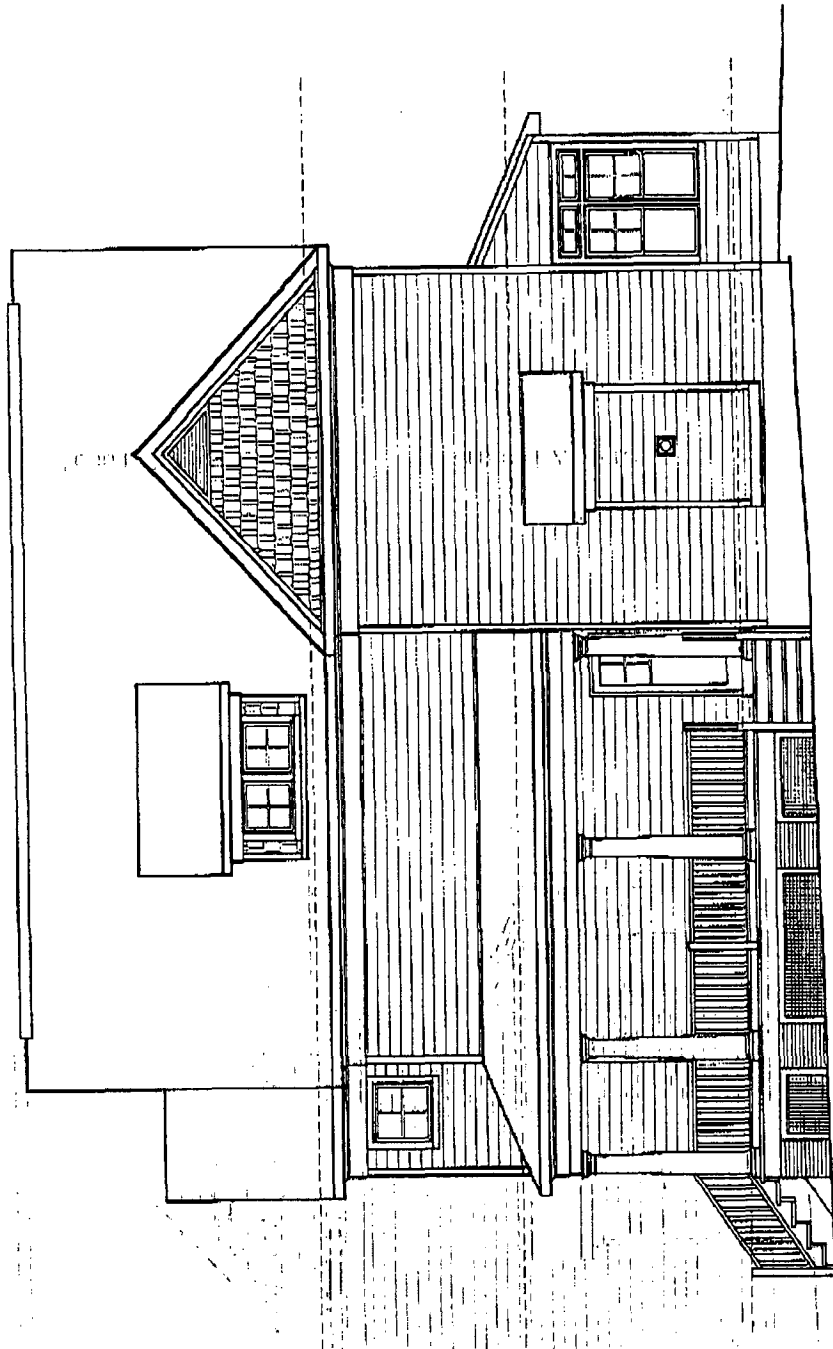
Jonathan Lerner,  
Chief Executive Officer



FRONT ELEVATION

LOT #16

1/8" = 1'-0"



RIGHT SIDE ELEVATION

1 / 8" = 1' - 0"

LOT #16

**GENERAL NOTES**

- 1) UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES.
- 2) PROPERTY LINES SHOWN ON THIS PLAN ARE BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, INC. IN 2004.
- 3) TOTAL LOT AREA:  
 LOT 17: 10,000 SQ. FT.  
 LOT 16: 10,000 SQ. FT.  
 LOT 10: 10,000 SQ. FT.  
 LOT 11: 10,000 SQ. FT.
- 4) PROPERTY LINES ON THE TOP AND BOTTOM OF THIS PLAN ARE AS SHOWN ON THE SURVEY.
- 5) PROPERTY LINES ON THE LEFT AND RIGHT OF THIS PLAN ARE AS SHOWN ON THE SURVEY.
- 6) PROPERTY LINES ON THE FRONT AND REAR OF THIS PLAN ARE AS SHOWN ON THE SURVEY.
- 7) ALL DIMENSIONS TO BE SHOWN AND NOTED FROM ALL CORNERS AND TURNING POINTS.

**ZONING DATA**

- 1) ZONING DISTRICT: R-1
- 2) MINIMUM LOT AREA: 10,000 SQ. FT.
- 3) MINIMUM LOT WIDTH: 60 FT.
- 4) MINIMUM LOT DEPTH: 120 FT.
- 5) MINIMUM FRONT YARD SETBACK: 10 FT.
- 6) MINIMUM SIDE YARD SETBACK: 5 FT.
- 7) MINIMUM REAR YARD SETBACK: 5 FT.
- 8) MINIMUM FRONT SETBACK: 10 FT.
- 9) MINIMUM SIDE SETBACK: 5 FT.
- 10) MINIMUM REAR SETBACK: 5 FT.

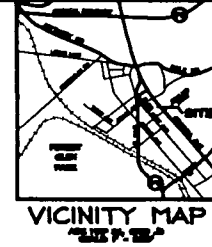
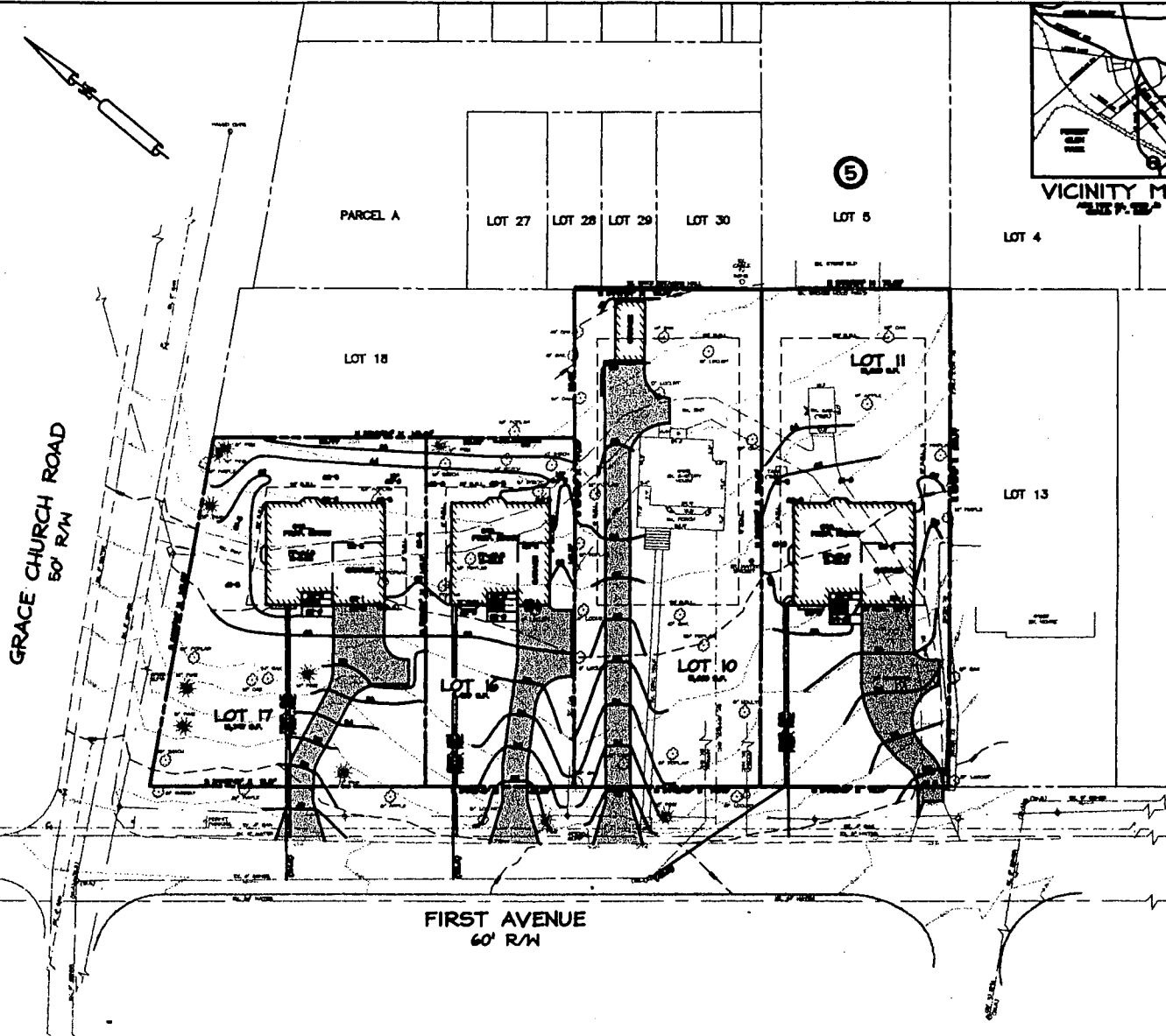
**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN MEETS THE REQUIREMENTS FOR THE ZONING DISTRICT APPLICABLE TO THE PROPERTY SHOWN THEREON.

**MISS UTILITY**

CALL "MISS UTILITY" AT 1-800-887-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THEM LOCATED AND MARKED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL REGULATORY REQUIREMENTS OF THE PUBLIC UTILITIES CODE.

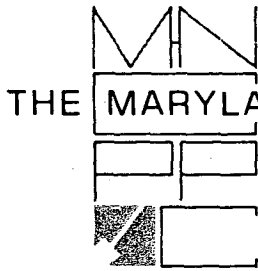
IV A



DATE	02-07-16	06/02
PROJECT	RBA	RBA
SCALE	1"=20'	CAS
WOODSIDE PARISH (8TH) SECTION DISTRICT PARISH OF ORLEANS, LOUISIANA SITE PLAN		
<b>CAS ENGINEERING</b> 2515 WOODSIDE LANE, PLACERD A DIVISION OF CAS ENGINEERING, INC. 2515 Woodside Lane, Suite 101, Metairie, LA 70002 Tel: (504) 887-7777 Fax: (504) 887-7777		
1-1		

OWNER/APPLICANT

#0015 1ST AVENUE  
 LOTS 17, 16, 10 & 11  
 BLOCK 5, WOODSIDE  
 SITE PLAN



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2/13/03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

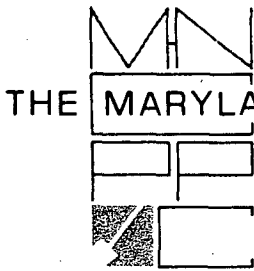
You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2/13/03

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

1. NEW HOUSES MUST ALL BE LOWER IN HEIGHT THAN THE EXISTING HISTORIC HOUSE, AS MEASURED AT RIDGELINES.
2. TREE PRESERVATION MEASURES MUST BE IMPLEMENTED AND STRICTLY ADHERED TO.
3. HOUSES MUST BE SHEATHED IN CEMENT SIDING WITH PAINTED WOOD TRIM AND CORNER BOARDS  
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MERIDIAN HOMES

Address: 9015 FIRST AVENUE + LOTS #11, #16 AND #17

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jonathan Lerner

Daytime Phone No.: 301.652.4440

Tax Account No.: 161301089451  
161301089440

Name of Property Owner: Meridian Homes Incetal or assigns Daytime Phone No.: 301.652.4440

Address: 5110 Ridgefield Rd #413 Bethesda Maryland 20816  
Street Number City State Zip Code

Contractor: Meridian Homes, Inc. Phone No.: 301.652.4440

Contractor Registration No.: 3358

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: Currently 9015 and 9019 1st Avenue Street: First Avenue

Town/City: Silver Spring Nearest Cross Street: Grace Church

Lot: 10, 11, 16, 17 Block: 5 Subdivision: Woodside Leightons Subdivision

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Teaze
- Revision
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3D. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

By Jonathan Lerner, CEO  
Meridian Homes, Inc  
Signature of owner or authorized agent

1/21/03  
Date

Approved: WITH CONDITIONS For Chairman, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 2/13/03

Application/Permit No.: 296495 Date Issued: 1/22/03



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Within the boundaries of the Woodside historic district as shown on the locational atlas of 1979

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construct three new single family homes and a detached garage within the Woodside historic district as shown on the locational atlas of 1979

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

March 30, 2004

Matt Javernick  
9011 First Avenue  
Silver Spring, MD 20910

Dear Mr. Javernick:

I have reviewed your application for fence installation at 9011 First Avenue in Silver Spring. The property is part of a potential Woodside Historic District, identified on the *Locational Atlas and Index of Historic Sites*. 9011 First Avenue is a new house, which was constructed in the potential Woodside Historic District with HPC review and approval.

The fence proposal is compatible with both the property and the overall potential Woodside Historic District. Installation of the fencing proposed would not substantially alter the potential district. Therefore, no further review is required by the HPC or by this office.

This letter serves as your approval to construct the fence as proposed in your application. If you have additional questions during the permitting process, please let me know.

Sincerely,

Gwen Wright  
Historic Preservation Supervisor



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

MAR 18 2004

Dept. of Permitting Services  
Division of  
Construction Management

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MATT JAVERNICK  
Daytime Phone No.: 202-782-9547

Tax Account No.: \_\_\_\_\_

Name of Property Owner: MATT JAVERNICK Daytime Phone No.: 202-782-9547

Address: 9011 FT 1<sup>ST</sup> AVE SILVER SPRING MD 20910  
Street Number City State Zip Code

Contractor: SAA Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 9011 Street: 1<sup>ST</sup> AVENUE  
Town/City: SILVER SPRING Nearest Cross Street: 16<sup>th</sup> & 1<sup>ST</sup>  
Lot: 11 Block: 5 Subdivision: WOODSIDE  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 700.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 3 feet 8 inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent  
\_\_\_\_\_  
Date 3/18/04

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 337714 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: MATT JAVERNICK  
Daytime Phone No.: 202-782-9547

Tax Account No.: \_\_\_\_\_

Name of Property Owner: MATT JAVERNICK Daytime Phone No.: 202-782-9547

Address: 9011 1<sup>ST</sup> AVE SILVER SPRING MD 20910  
Street Number City State Zip Code

Contractor: SAP Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 9011 Street: 1<sup>ST</sup> AVENUE

Town/City: SILVER SPRING Nearest Cross Street: 16<sup>th</sup> & 1<sup>ST</sup>

Lot: 11 Block: 5 Subdivision: WOODSIDE

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 700.<sup>00</sup>

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height 3 feet 8 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

3/10/04  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 33714 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

Matthew & Elizabeth Javernick  
9011 1<sup>st</sup> Avenue  
Silver Spring, MD 20910  
301-589-5696  
[mjavernick@aol.com](mailto:mjavernick@aol.com)

Historic Preservation Commission  
Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850  
301-563-3400  
240-777-6370

Re: Request for residential fence permit

This is a two part fencing project with the majority of fencing being ornamental aluminum fence (see attachment 1) located entirely on land of owner. The second fence will be a wood privacy fence (see attachment 2) located at the very back of the property separating the property from an existing parking lot.

Description of fencing:

1. Ornamental fence (see attachment 1):  
This will be a 42-inch high ornamental black fence. The proposed fence is the "Berkshire" or style #2 manufactured by the Specrail corporation. Please see site plan for location.
2. Wood privacy fence (see attachment 2)  
This will be a 6-foot high solid natural wood privacy fence. This fence will be a continuation of our neighbors existing 6-foot privacy fence that surround their entire backyard. Please see site plan for location.

Thank you for your time.

Sincerely,



Matthew Javernick

(3) 523 - 3970

SITE PLAN

EX. BRICK RETAINING WALL

N 39°51'29" W 75.22'

N 39°51'29" W 75.19'

EX. BROKEN WOOD FENCE

8" LOCUST

51" OAK

MAPLE

EAD OAK

S 50°12'46" W 199.80'

16" HICKORY

TWIN 17" 12" HICKORY

8" LOCUST

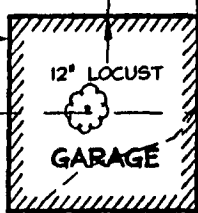
8" LOCUST

47" OAK

34" OAK

S 39°40'14" E 75.05'

14" CHEST



12" LOCUST

EX. WEDL

11" LOCUST

PROP DWY EASEMENT  
EX. DWY (TBR)

#9015  
EX. 2-STORY HOUSE  
FF= 369±

EX. PORCH

LOT 10  
15,000 S.F.

73' B.R.L.

47" OAK

21" HICKORY

EX. WATER SPICKET

12" HOLLY

EX. APPROX. GWC

14" HICKORY

APPROX. EX. WALK

N 50°15'13" E 150.19'

GARAGE

LOT 11  
15,000 S.F.

TWIN 8" 6" MULBERRY

L.O.D. = 16,147± S.F.

17" TREE

10' B.R.L.

EX. GAR. (TBR)

EX. GAR. (TBR)

#9011  
PROP. HOUSE  
FF= 64.5

PROP. PORCH

73' B.R.L.

TRIPLE 9" 11" 14" MULBERRY

PROP. SHC

PROP. MWC

EX. DWY (TBR)

EX. HEDGE

54

52

508

S 39°40'14" E 75.05'

EXISTING DAMAGED FENCE

WOOD FENCE  
(ATT 2)

Garage

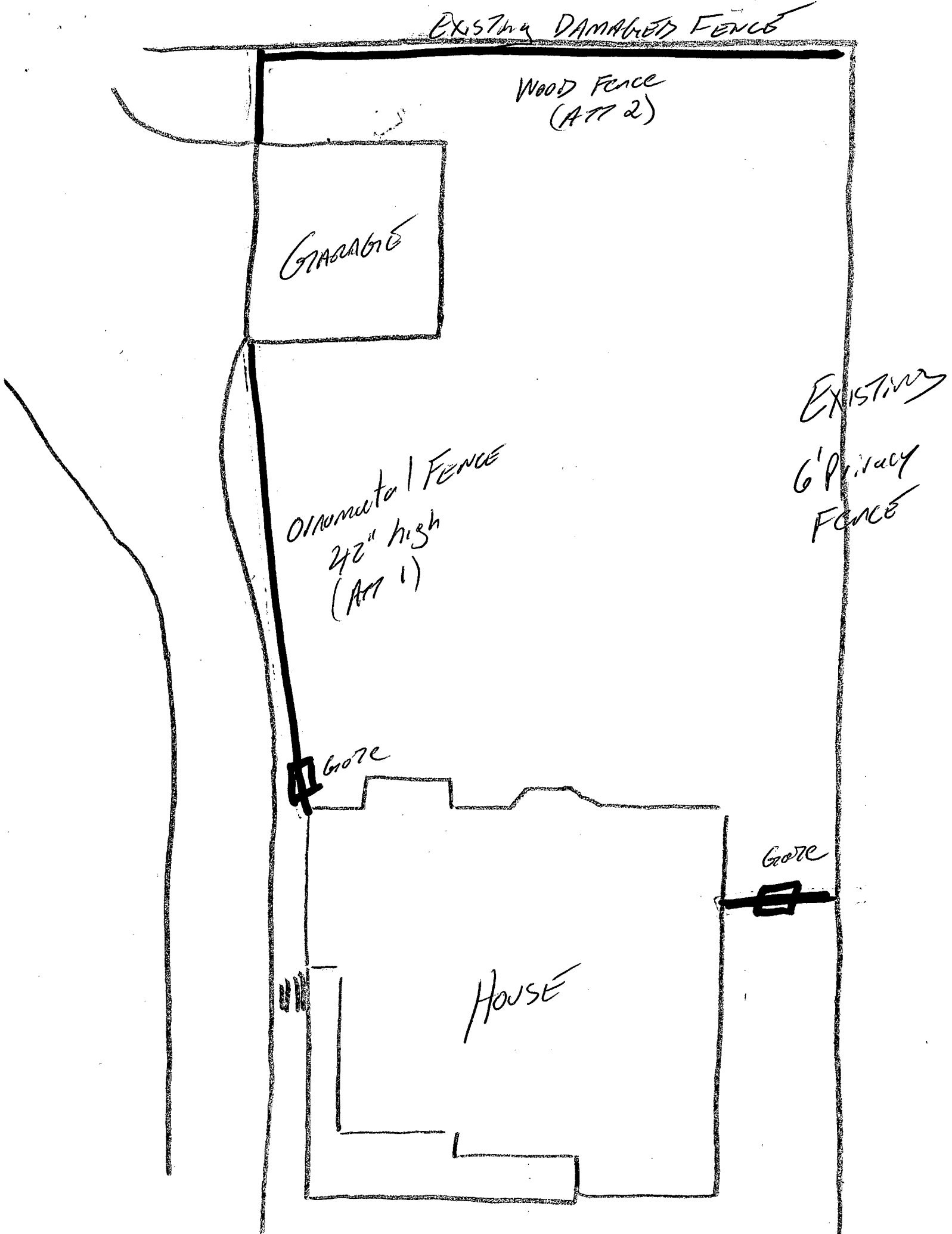
Ornamental Fence  
24" high  
(Att 1)

EXISTING  
6' Privacy  
Fence

Gate

Gate

HOUSE





ATTACHMENT: 1

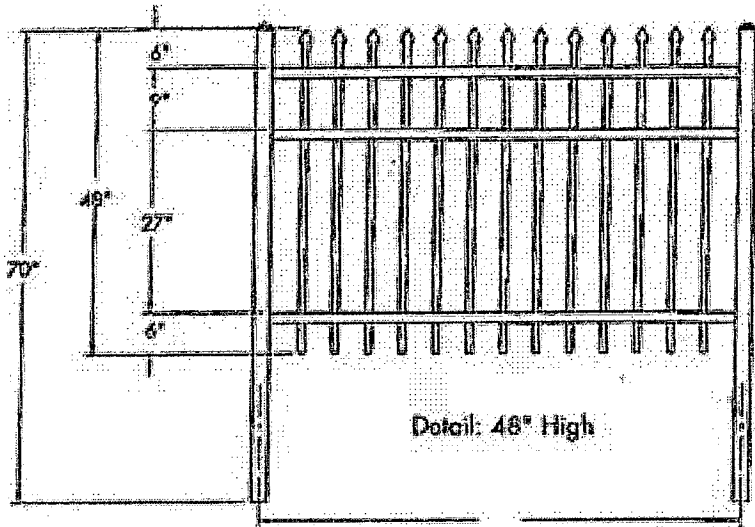


ATTACHMENT: 2

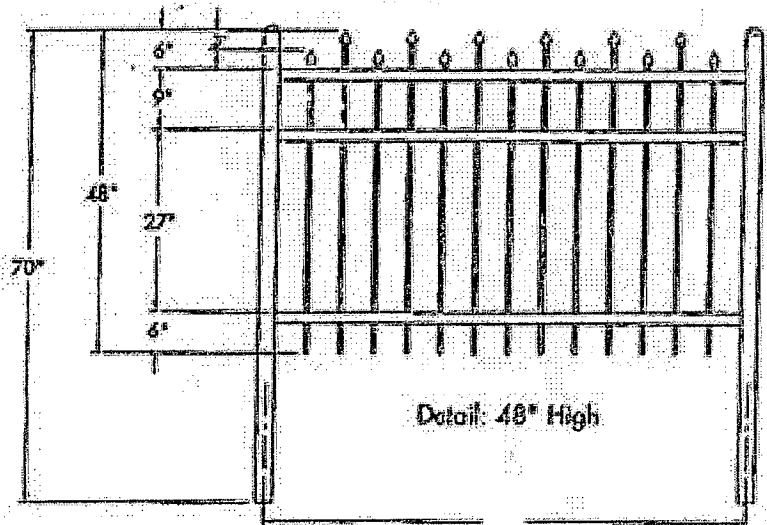


# Three-Rail Systems

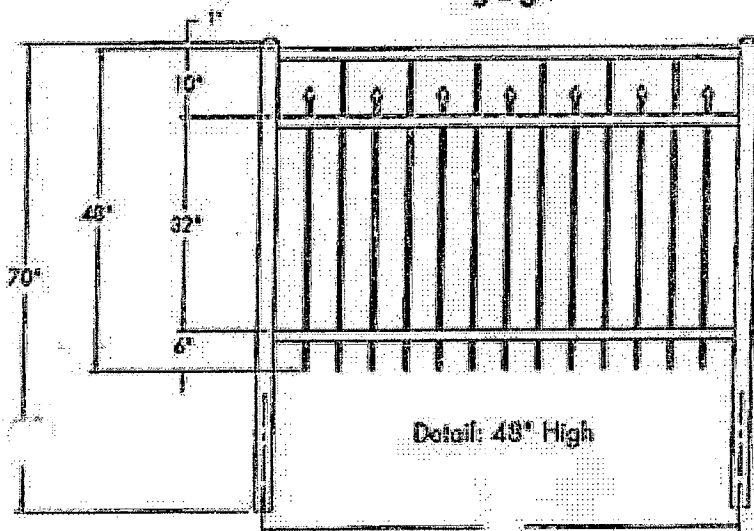
S-1



S-2



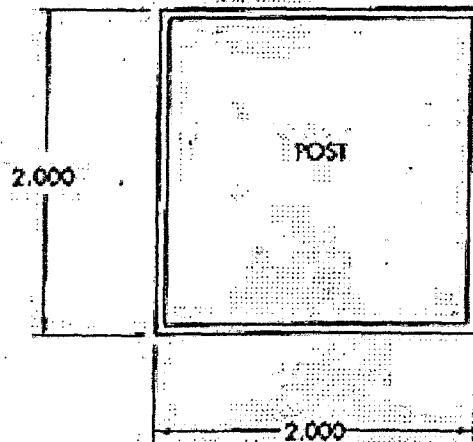
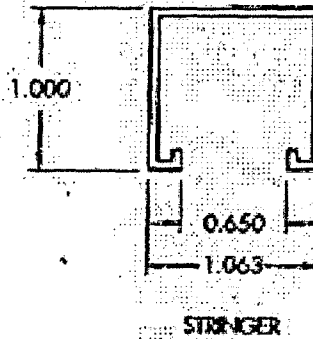
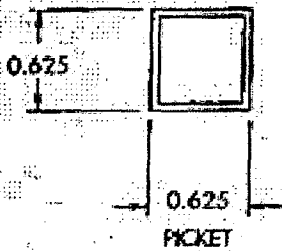
S-3



# Residential Grade (SR)

Pickets	.625 x .625 x .050
Stringers	1.00 x 1.063 x 1.00
Side Wall	0.060
Top Wall	0.060
Posts	2" x 2" x 0.060 walls
Gate Posts	2" x 3" x 0.125 wall
Picket Spacing	4.375" o.c.
Spacing between pickets	3.750"
Style SR 7, 8	1.562"
Heights Available	36", 42", 48", 60", 72"
Alloy (Posts & Stringers)	6105-T5-35,000 PSI
Optional Post	2.5" x 2.5" x 0.075 wall 3" x 3"

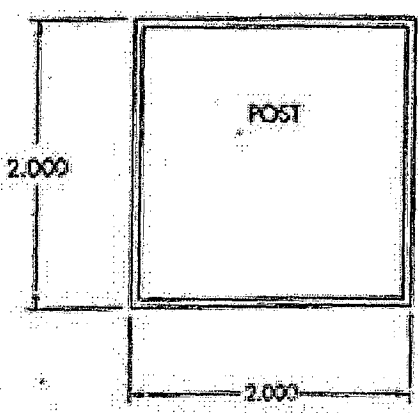
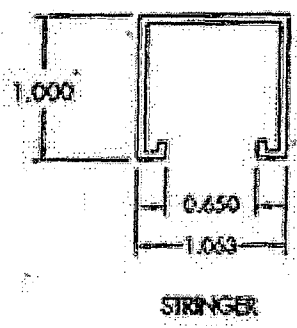
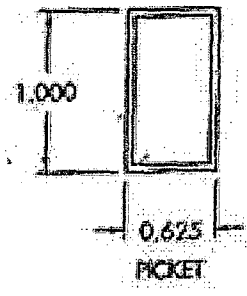
## Component Details



# Residential Grade – Wide Style (SW)

Pickets	1.00" x .625" x .050"
Stringers	1.00" x 1.063" x 1.00"
Side Wall	0.060
Top Wall	0.060
Posts	2" x 2" x 0.060 walls
Gate Posts	2" x 2" x 0.125 wall
Picket Spacing	5" o.c.
Spacing between pickets	4"
Style SR 7, 8	1.5"
Heights Available	36", 42", 48", 60", 72"
Alloy (Posts & Stringers)	6105-T5-35,000 PSI
Optional Post	2.5" x 2.5" x 0.075 wall 3" x 3"

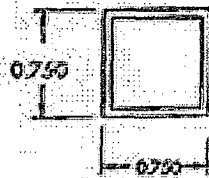
## Component Details



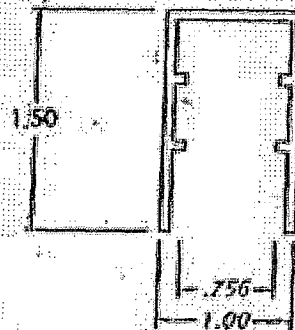
# Commercial Grade (SC)

Pickets	.75" x .75" x .050 wall
Stringers	1.50" x 1.00" x 1.50"
Side Wall	0.090
Top Wall	0.065
Posts	2.5" x 2.5" x 0.060 walls
Gate Posts	4" x 4" x 0.125 wall
Picket Spacing	4.312" o.c.
Spacing between pickets	3.562"
Style SRT 7, 8	1.437"
Heights Available	42", 48", 60", 72", 84", 96"
Alloy (Posts & Stringers)	6105-T5-35,000 PSI
Optional Post	2" x 2" 3" x 3" 4" x 4"

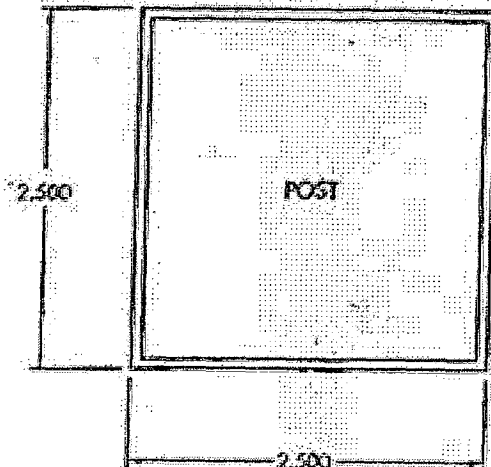
## Component Details



PICKET



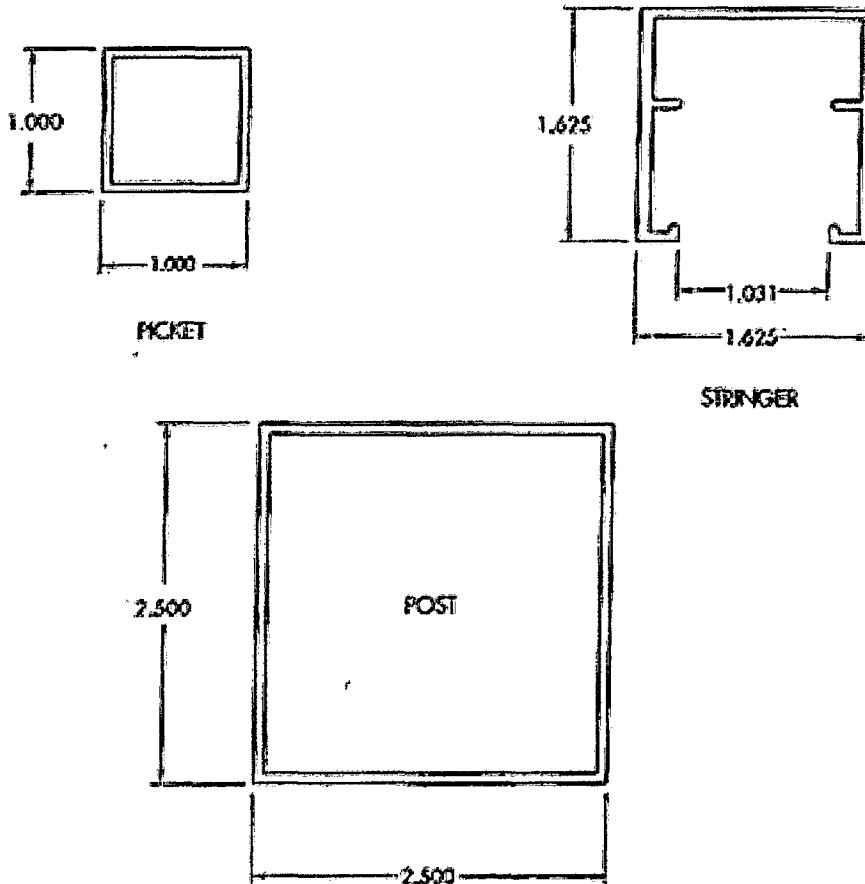
STRINGER



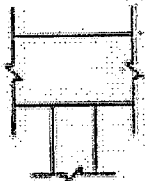
# Industrial Grade (SI)

Pickets	1" x 1" x .065 wall
Stringers	1.625" x 1.625" x 1.625"
	Side Wall 0.100
	Top Wall 0.070
Posts	2.5" x 2.5" x 0.075 wall
Gate Posts	4" x 4" x 0.125 wall
Picket Spacing	5" o.c.
Spacing between pickets	4"
Style SR 7, 8	1.5"
Heights Available	42", 48", 60", 72", 84", 96"
Alloy (Posts & Stringers)	6105-TS-35,000 PSI
Optional Post	3" x 3" x 0.125 wall
	4" x 4" x 0.125 wall

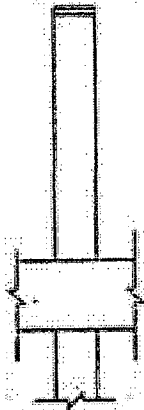
## Component Details



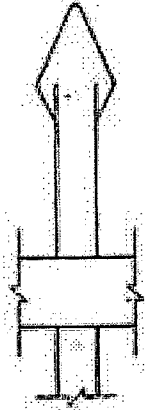
# Top Caps



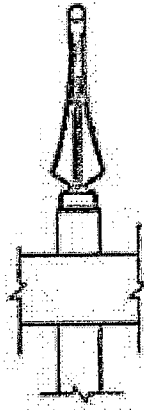
Flat Rail



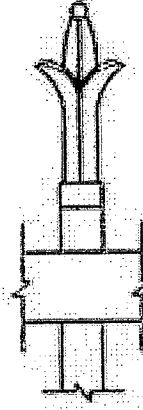
Flat Top  
w/ Plug



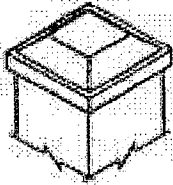
Press Pointed



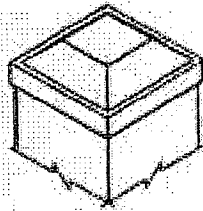
Type A



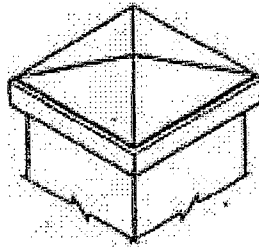
Type B



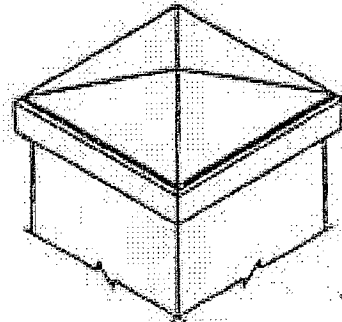
2" x 2"  
Post Cap



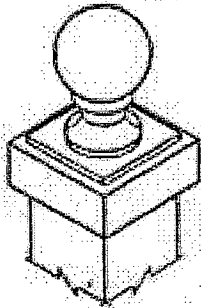
2.5" x 2.5"  
Post Cap



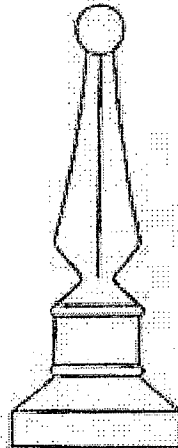
3" x 3"  
Post Cap



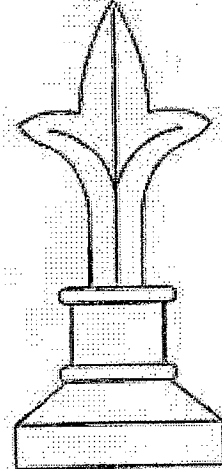
4" x 4"  
Post Cap



Ball Post Cap  
2" x 2" shown



Type A  
Post Cap  
2" x 2" shown

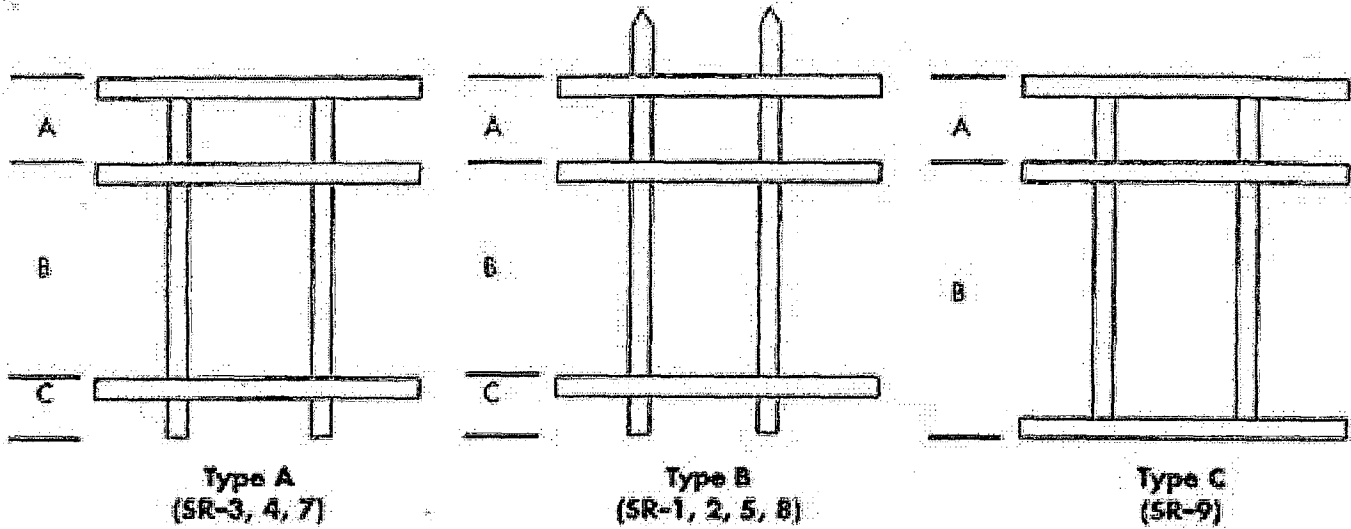


Type B  
Post Cap  
2" x 2" shown



# Specrail's Stringer Spacing

Style: Type



		36"	42" (2-Rails)	42" (3-Rails)	48"	60"	72"	84"	96"
<b>Type A</b>	A	n/a	n/a	10"	10"	10"	10"	10"	10"
	B	30"	36"	26"	32"	44"	47"	59"	71"
	C	6"	6"	6"	6"	6"	9"	9"	9"
	(4-rail units) D	n/a	n/a	n/a	n/a	n/a	6"	6"	6"
<b>Type B</b>	A	n/a	n/a	9"	9"	9"	9"	9"	9"
	B	24"	30"	21"	27"	39"	42"	54"	66"
	C	6"	6"	6"	6"	6"	9"	9"	9"
	(4-rail units) D	n/a	n/a	n/a	n/a	n/a	6"	6"	6"
<b>Type C</b>	A	n/a	n/a	7"	7"	7"	7"	7"	7"
	B	35"	41"	34"	40"	52"	58"	70"	82"
	C	n/a	n/a	n/a	n/a	n/a	7"	7"	7"

BOCA 54"

A	7"
B	46"

## Post Spacing

### Industrial Grade (SI):

Panel Width	Post Size	OC Spacing
96"	3"	97.5"
70.5"	3"	72"
96"	2.50"	97"
70.5"	2.50"	71.50"

### Commercial Grade (SC):

Panel Width	Post Size	OC Spacing
70"	2.50"	71"
70"	2"	70.50"
70"	3"	71.50"
96"	2.50"	97"
96"	2"	96.5"
96"	3"	97.5"

### Residential Grade (SR)& (SW):

Panel Width	Post Size	OC Spacing
70.5"	2"	71.25"
70.5"	2.50"	71.75"
70.5"	3"	72.25"
96"	2"	96.5"
96"	2.50"	97"
96"	3"	97.5"

## Picket/Rings/Finials

Section	Pickets 6'	Rings 6'	Pickets 8'	Rings 8'
SR	15	16	21	22
SW	13	14	18	19
SC	15	16	21	22
SI	13	14	18	19

### Gates:

48" OPG	Pickets	Rings
SR	9	10
SW	7	8
SC	9	10
SI	7	8

## Wright, Gwen

---

**From:** Wright, Gwen  
**Sent:** Thursday, June 12, 2003 2:55 PM  
**To:** 'Karen Lenoir'  
**Subject:** RE: 1st Avenue fence

Generally, we have no problem with traditional 6 foot high privacy fences along property lines. It might be good to have the fence be lower (4 foot) where the property line runs between the front yards of the two houses facing Grace Church, with it then transitioning up to the 6 foot height at the front wall of the new house.

I would be glad to look at any drawings you have for a proposed fence.

Gwen Wright  
Historic Preservation Supervisor  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
(301) 563-3400  
gwen.wright@mncppc-mc.org

-----Original Message-----

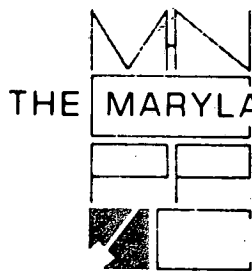
**From:** Karen Lenoir [mailto:klenoir@meridianhomesinc.com]  
**Sent:** Thursday, June 12, 2003 10:47 AM  
**To:** Wright, Gwen  
**Subject:** 1st Avenue fence

Hi Gwen;

We are beginning to design the fence as per our agreement with the neighbor and the meeting minutes indicate that we would work with your office in the design. We would love to design this thing just one time and want to know if you have any preference on material; height or style of the fence? Let me know so that I can get this thing rolling and keep the neighbor happy.

Thanks

Karen LeNoir  
Meridian Homes, Inc.  
phone: 301-652-4440  
facsimile: 301-652-9224  
email: klenoir@meridianhomesinc.com



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring Maryland 20910-3760

September 22, 2003

Jonathan Lerner  
Meridian Homes  
5110 Ridgefield Road, Suite 413  
Bethesda, MD 20816

Dear Mr. Lerner:

The new houses that you are building on Lots 11, 16 and 17 in Woodside went through extensive review by the Historic Preservation Commission (HPC), were approved by the HPC, and are now under construction.

You have requested staff level approval on two relatively minor changes:

1. Moving the detached garage on Lot 16 approximately 12 feet to the south (per a drawing submitted on September 22nd.)
2. Possibly adding low fences on all three of the lots.

The relocation of the garage should not affect any trees and will result in less paving between Lot 16 and Lot 17. I feel that the change is consistent with the spirit of the HPC's previous approvals and approve the relocation of the garage/reduction of paving.

The addition of fences in historic areas is generally approved by the HPC as a consent item, as long as the fences are not higher than approximately four feet and are open in character (i.e. a picket fence). Fences that are tall and solid and/or which require removal of existing trees are discouraged.

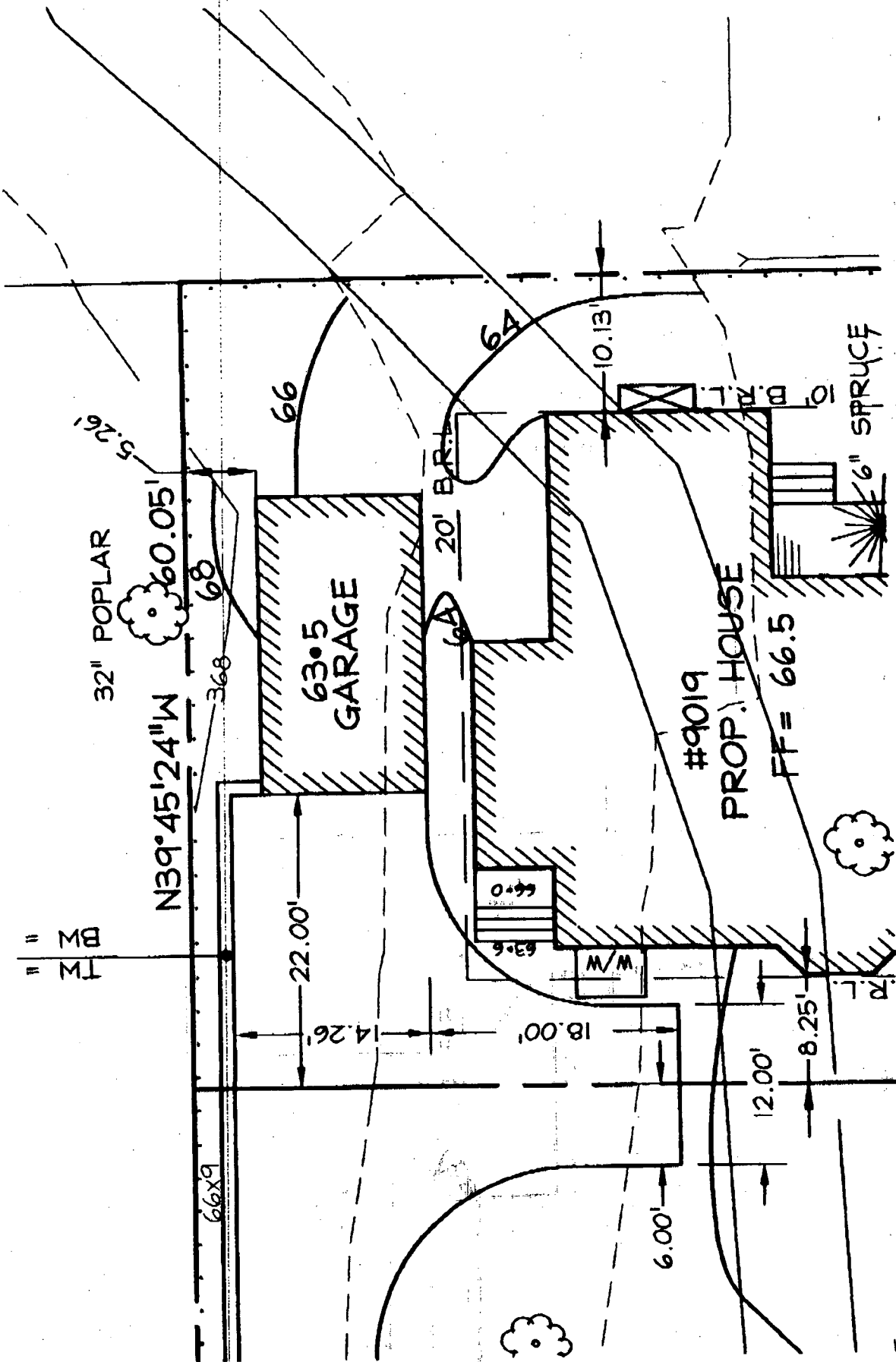
As long as you are constructing low, open fences that do not require the removal of trees, I feel it is appropriate to place such fences anywhere on Lots 11, 16 and 17. This letter serves as approval for such fences.

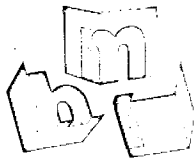
Please let me know if you have additional questions or need to make more changes.

Sincerely,

Gwen Wright

Historic Preservation Supervisor





M E R I D I A N  
H O M E S

---

July 21, 2003

Ms. Gwen Wright  
Historic Preservation Society  
M-NCPPC  
1109 Spring Street, Suite 801  
Silver Spring, Maryland 20910

---

Developing  
Homes . . .  
And  
Dreams

**RE: First Avenue, Silver Spring, Maryland**

Dear Gwen;

As I am sure you know, we are finally under way with our project on 1<sup>st</sup> Avenue. We are very pleased with the progress and hope that you are too. I am enclosing the initial landscape and hardscape plans for your review. This portion of the development was never really touched on in the Historic Committee meetings so, I thought it would be a good idea to get your feedback on our initial ideas.

Thanks again for your continued support in this matter and I look forward to hearing from you in the near future.

Sincerely,

Jonathan Lerner,  
Chief Executive Officer



# FINE EARTH LANDSCAPE, INC.

16815 Budd Road  
Poolesville, Maryland 20837  
MD/DC (301) 972-8810  
VA: (703) 893-3040  
Fax: (301) 972-7285  
www.fineearth.com

MD Home Improvement Lic.#9809  
DC Home Improvement Lic.#02764  
VA Home Improvement Lic.#2705 025430A

Maryland Pesticide Business License No: 26807  
Maryland Poison Center: 1-800-492-2414

## CONTRACT

July 17, 2003  
Page 1 of 1

Meridian Homes  
5110 Ridgefield Road, Suite 413  
Bethesda, MD 20816

H-301-652-4440

Fine Earth Landscape Inc., does hereby submit specifications and a bid for the following:

Job: Lot 16  
9019 First Ave.  
Silver Spring, MD

- 1) Planting:
    - 3 Fosters Holly (7-8') or Nellie Stevens Holly (6-7')
    - 2 China Girl Holly (3-4')
    - 12 ~~X~~ Otto Luyken Laurel (2-2 1/2')
    - 7 ~~X~~ Dense Yew (2-2 1/2')
    - 8 ~~X~~ Dwarf Red Barberry
    - 17 ~~X~~ Variegated Liriope
    - 6 Pennisetum 'Ornamental Grass'
- Not drawn on plan. Planted back foundation to liven up near garage.
- 3 ~~X~~ Nandina (8-4')
  - 12 Azalea (18-24")
- Mulch with dark, top quality shredded hardwood bark.

~~\$320.00~~ \$ 4165.00

- 2) Mix leafgro into beds. \$ 320.00
- 3) Walkways: ~~Five~~ walkway "A" or "B"  
5' wide  
Flagstone on crushed blue stone.  
10 steps ~~in~~ connected 7 1/2" risers to be set on site. *Poured concrete to First Ave.* \$9,208.00

For connected steps which would need to be set in cement, there would be significant additional cost.

In D.C. add sales tax accept where noted.

We hereby bid to complete the above job, in accordance with the above specifications, for the sum of:

See above \_\_\_\_\_ dollars (\$ \_\_\_\_\_ )

Payment to be made as follows, One third upon acceptance, one third when 75% of the materials are on the job site, one forth when 90% of the job is complete and the remainder due upon completion. PLEASE PAY FOREMAN.

I have read and agreed to the terms and conditions of the contract on the reverse side of this page and the specifications and prices on the subsequent page(s). You are authorized to do the work as specified.

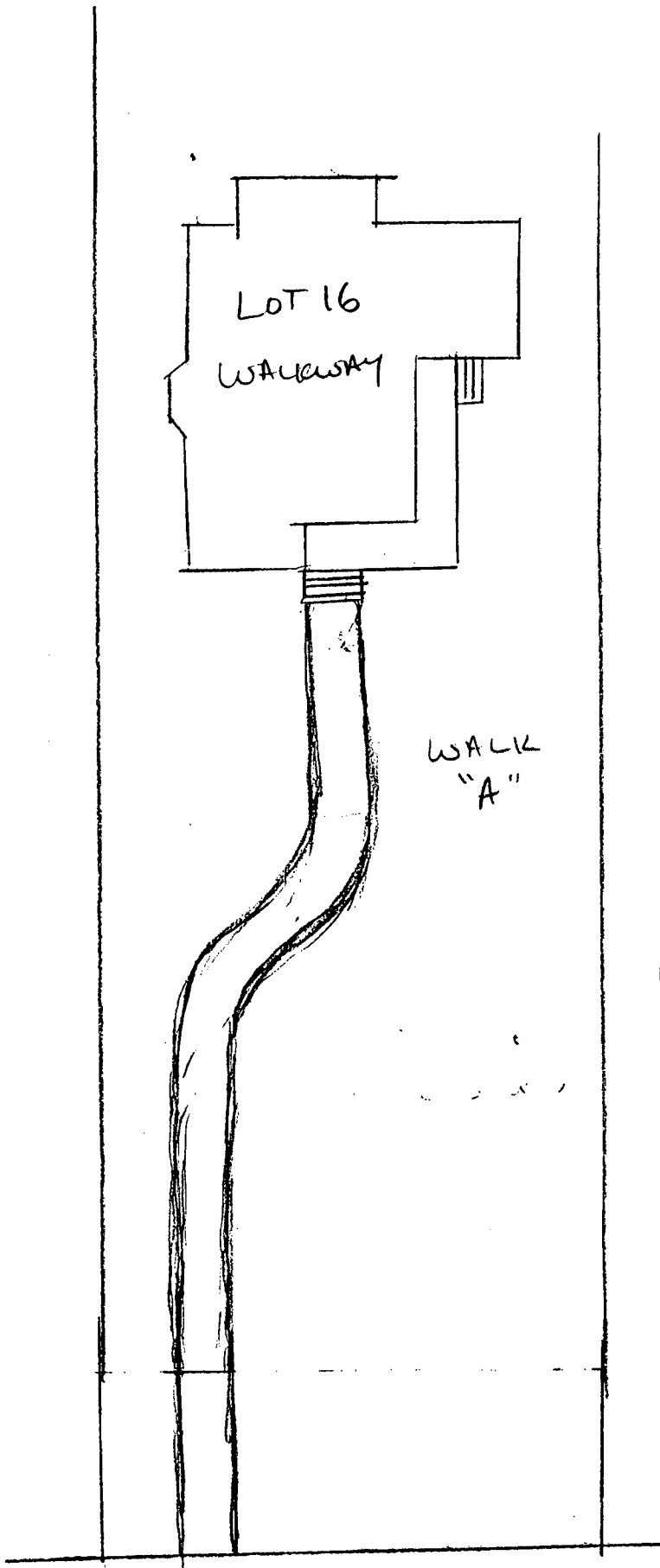
DON'T SIGN IN BLANK. HOMEOWNER IS ENTITLED TO COPY OF CONTRACT AT THE TIME OF AFFIXING SIGNATURE.

CUSTOMERS SIGNATURE

DATE

FINE EARTH LANDSCAPE INC. SALESMAN

DATE



10 Steps 7" Risers  
to be set on  
Site.





# FINE EARTH LANDSCAPE, INC.

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VA Home Improvement Lic.#2705 025430A

Maryland Pesticide Business License No: 26807  
Maryland Poison Center: 1-800-492-2414

## CONTRACT

July 17, 2003  
Page 1 of 1

Meridian Homes  
5110 Ridgefield Road, Suite 413  
Bethesda, MD 20816 H-301-652-4440

Fine Earth Landscape Inc., does hereby submit specifications and a bid for the following:

Job: Lot 17

- 1) Plantings
  - Front
    - 3 Crape Myrtle or Kousa Dogwood (8-10')
    - 9 Otto Luyken Laurel (2-2 1/2')
    - 18 Azalea (18-24" spread)
    - 5 Dwarf Red Barberry (18" spread)
    - 5 Pennistum Ornamental Grass (1 gal.)
    - 2 Nandina (4')
  - Left side
    - 10 Green Liriope (1 gal.)
    - 7 Otto Luykens (2-2 1/2')
    - 2 China Girl Holly (3-4')
    - 2' green Liriope (1 gal.)
  - Mulch with dark, top quality shredded hardwood bark. \$3,926.00
- 2) Add Leafgro into planting beds. \$ 320.00
- 3) Walkway- curved wide level walk 8' wide at steps, 5' wide at driveway.  
Pavers or flagstone. \$1,396.00

In D.C. add sales tax accept where noted.

We hereby bid to complete the above job, in accordance with the above specifications, for the sum of:

see above dollars (\$ \_\_\_\_\_ )

Payment to be made as follows, One third upon acceptance, one third when 75% of the materials are on the job site, one forth when 90% of the job is complete and the remainder due upon completion. PLEASE PAY FOREMAN.

I have read and agreed to the terms and conditions of the contract on the reverse side of this page and the specifications and prices on the subsequent page(s). You are authorized to do the work as specified.

DON'T SIGN IN BLANK. HOMEOWNER IS ENTITLED TO COPY OF CONTRACT AT THE TIME OF AFFIXING SIGNATURE.

CUSTOMERS SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ FINE EARTH LANDSCAPE INC. SALESMAN \_\_\_\_\_ DATE \_\_\_\_\_

(2) CHINA HOLLY

OTTO LUYKENS LAUREL

LIRIOPE BORDER

NANDINA (2)

RESIDENCE  
LOT 17  
1" = 20'

AZALEAS OR RED BARBERRY

3 GRAPE MYRTLE  
OR  
KOUSA DOGWOOD

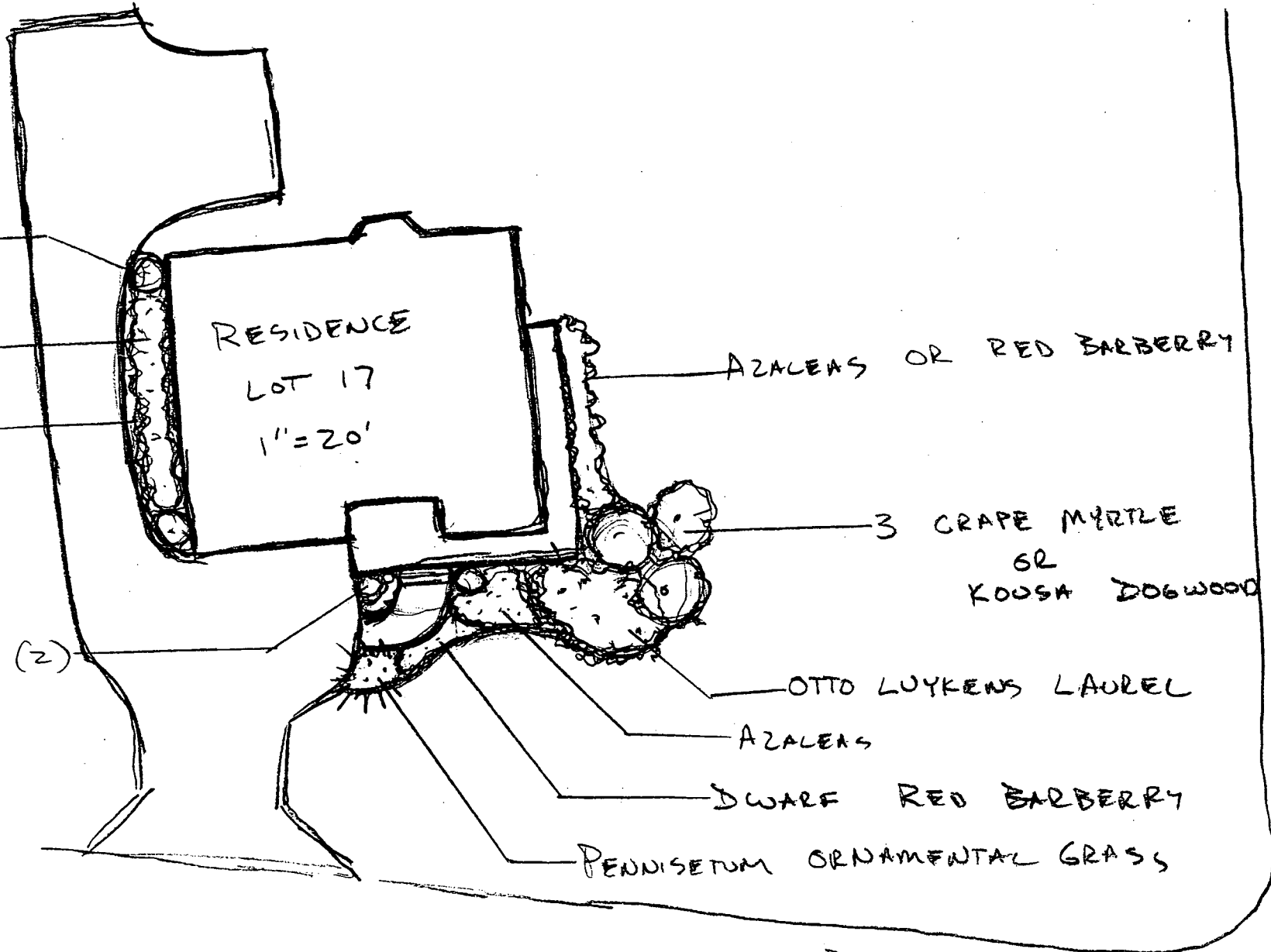
OTTO LUYKENS LAUREL

AZALEAS

DWARF RED BARBERRY

PENNISETUM ORNAMENTAL GRASS

OPTIONAL: LIRIOPE BORDER





# FINE EARTH LANDSCAPE, INC.

16815 Budd Road  
Poolesville, Maryland 20837  
MD/DC (301) 972-8810  
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VA Home Improvement Lic.#2705 025430A

Maryland Pesticide Business License No: 26807  
Maryland Poison Center: 1-800-492-2414

## CONTRACT

July 17, 2003  
Page 1 of 1

Meridian Homes  
5110 Ridgefield Road, Suite 413  
Bethesda, MD 20816

H-301-652-4440

Fine Earth Landscape Inc., does hereby submit specifications and a bid for the following:

Job: Lot 11  
9011 First Ave.  
Silver Spring, MD

- 1) Planting:
  - 3 Crape Myrtle (8-10')
  - 4 China Girl Holly (3-4')
  - 3 Nandina (4')
  - 12 Otto Luykens Laurel (2-2 1/2')
  - 10 Dwarf Red Barberry
  - 87 Liriope
  - Mulch with dark, top quality shredded hardwood bark. \$3,992.00
- 2) Leafgro in beds. \$ 320.00
- 3) Construct walkway 50' x 5' cut both sides. Flagstone on crushed blue stone. \$4,545.00

**In D.C. add sales tax accept where noted.**

We hereby bid to complete the above job, in accordance with the above specifications, for the sum of:

See above \_\_\_\_\_ dollars (\$ \_\_\_\_\_ )

**Payment to be made as follows, One third upon acceptance, one third when 75% of the materials are on the job site, one forth when 90% of the job is complete and the remainder due upon completion. PLEASE PAY FOREMAN.**

I have read and agreed to the terms and conditions of the contract on the reverse side of this page and the specifications and prices on the subsequent page(s). You are authorized to do the work as specified.

**DON'T SIGN IN BLANK, HOMEOWNER IS ENTITLED TO COPY OF CONTRACT AT THE TIME OF AFFIXING SIGNATURE.**

CUSTOMERS SIGNATURE

DATE

FINE EARTH LANDSCAPE INC. SALESMAN

DATE

3 NANDINA

OTTO LUYKENS  
LAUREL

2 CHINA  
GIRL



CRAPE MYRTLE

RESIDENCE  
LOT 11

2 CRAPE  
MYRTLE

LIRIOPE

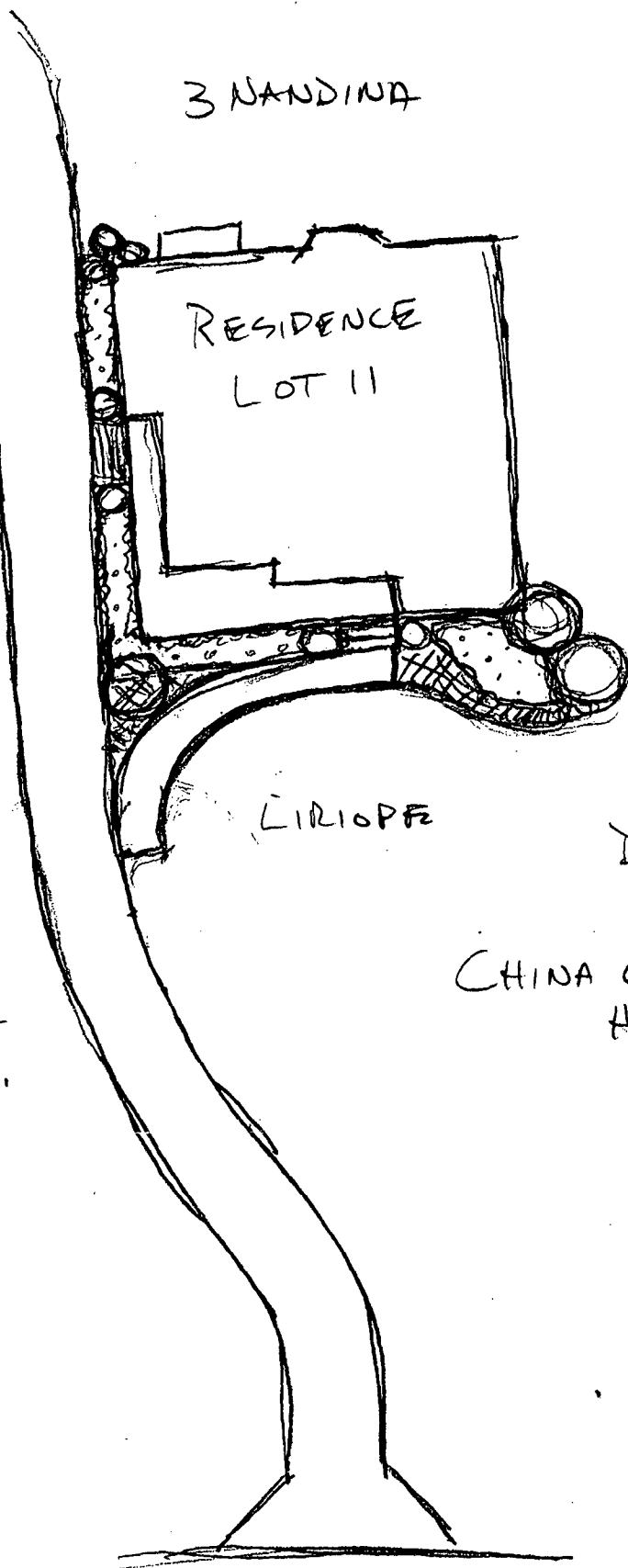
LIRIOPE

DWARF RED  
BARBERRY

WALKWAY  
5' WIDE

CHINA GIRL  
HOLLY

SCALE 1" = 20'



**Wright, Gwen**

---

**From:** Wright, Gwen  
**Sent:** Thursday, June 12, 2003 2:58 PM  
**To:** 'Michael Lerner'  
**Subject:** RE: Retaining Wall

I have no problem with the wall being constructed of landscape timbers.

Gwen Wright  
Historic Preservation Supervisor  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
(301) 563-3400  
gwen.wright@mncppc-mc.org

-----Original Message-----

**From:** Michael Lerner [mailto:[mlerner@meridianhomesinc.com](mailto:mlerner@meridianhomesinc.com)]  
**Sent:** Thursday, June 05, 2003 4:02 PM  
**To:** Wright, Gwen  
**Subject:** Retaining Wall

I hate to bother you, however, Jonathan thought I should confirm with you that the retaining wall between our lots 16, and 17 and the neighboring lot 18 is to be constructed of landscape timbers. There was no description of the wall on our site plan, however, we think timbers will look the most natural.

Please let me know if you have any concerns or if you need to visit the site

Michael Lerner  
President  
Meridian Homes Inc.  
[mlerner@meridianhomesinc.com](mailto:mlerner@meridianhomesinc.com)  
Office 301.652.4440 ext. 1  
Cell 301.461.2665  
Web [www.meridianhomesinc.com](http://www.meridianhomesinc.com)

## Wright, Gwen

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**From:** Karen Lenoir [klenoir@meridianhomesinc.com]  
**Sent:** Friday, May 02, 2003 11:49 AM  
**To:** Wright, Gwen  
**Subject:** Lot 11 - 1st Avenue

Hi Gwen;

I spoke to Geri Yantis, the architect about the roof change. He indicated to me that it was changed in order to accommodate the stairs to the attic. Hope this answers the question. Let me know if you need more information and have a great weekend.

Karen LeNoir  
Meridian Homes, Inc.  
phone: 301-652-4440  
facsimile: 301-652-9224  
email: klenoir@meridianhomesinc.com

Date: 2/13/03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

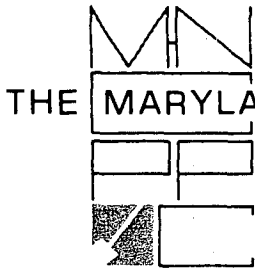
You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2/13/03

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

1. NEW HOUSES MUST ALL BE LOWER IN HEIGHT THAN THE EXISTING HISTORIC HOUSE, AS MEASURED AT RIDGELINES.
2. TREE PRESERVATION MEASURES MUST BE IMPLEMENTED AND STRICTLY ADHERED TO.
3. HOUSES MUST BE SHEATHED IN CEMENT SIDING WITH PAINTED WOOD TRIM AND CORNER BOARDS  
and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: MERIDIAN HOMES

Address: 9015 FIRST AVENUE + LOTS #11, #16 AND #17

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.





288 ROCKVILLE PIKE 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

# HISTORIC PRESERVATION COMMISSION 301/563-3400

## APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jonathan Lerner  
Daytime Phone No.: 301.652.4440

Tax Account No.: 161301089451  
161301089440  
Name of Property Owner: Contract Purchaser Meridian Homes Inc et al or assigns Daytime Phone No.: 301.652.4440  
Address: 5110 Ridgefield Rd #413 Bethesda Maryland 20816  
Street Number City State Zip Code  
Contractor: Meridian Homes, Inc. Phone No.: 301.652.4440  
Contractor Registration No.: 3358

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number: Currently 9015 and 9019 1st Avenue Street: First Avenue  
Town/City: Silver Spring Nearest Cross Street: Grace Church  
Lot: 10, 11, 16, 17 Block: 5 Subdivision: Woodside Leightons Subdivision  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  Move  Install  Wreck/Teare  Revision  Repair  Revocable  
CHECK ALL APPLICABLE:  A/C  Slab  Room Addition  Porch  Deck  Shed  Solar  Fireplace  Woodburning Stove  Single Family  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ \_\_\_\_\_  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

By Jonathan Lerner, CEO Meridian Homes, Inc 1/21/03  
Signature of owner or authorized agent Date

Approved: WITH CONDITIONS For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 2/13/03  
Application/Permit No.: 296495 Date Issued: 1/22/03

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

within the boundaries of the Woodside historic district as shown on the locational atlas of 1979

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Construct three new single family homes and a detached garage within the Woodside historic district as shown on the locational atlas of 1979

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 9 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 9015 First Avenue, Silver Spring	<b>Meeting Date:</b> February 12, 2003
<b>Applicant:</b> Meridian Homes (Jonathan Lerner)	<b>Report Date:</b> February 5, 2003
<b>Resource:</b> Woodside Historic District ( <i>Locational Atlas</i> Resource #36/4)	<b>Public Notice:</b> January 29, 2003
<b>Review:</b> HAWP	<b>Tax Credit:</b> None
<b>Case No.:</b> 36/04-03A	<b>Staff:</b> Gwen Wright
<b>PROPOSAL:</b> New construction	<b>RECOMMEND:</b> Approve with conditions

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**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Three side lots associated with a 19<sup>th</sup> century Victorian house in potential Woodside Historic District (*Locational Atlas* Resource #36/4)

**STYLE:** Existing house is Queen Anne style

**DATE:** 1897

**PROPOSAL/BACKGROUND**

The applicant is the contract purchaser of property at the corner of Grace Church Road and First Avenue in the potential Woodside Historic District. The property consists of four recorded lots: #10 which has an existing 19<sup>th</sup> century house on it, #11 which has an existing garage on it, and #16 and #17, which are currently vacant. The Klinge and Sanborn atlases indicate that there was, at one time, a house on Lot 17 and an accessory building on Lot 16.

Woodside, first platted in September 1889 by B.F. Leighton as a rural retreat along the B&O Metropolitan Branch, is a *Locational Atlas* historic district. The property in question is on the edge of the potential historic district and there are modern structures immediately to the east and the west of the property. The house on Lot 10 is one of the older structures in the neighborhood and would, in all likelihood, be considered an outstanding resource if a historic district is ultimately designated.

The applicant has come to the HPC for two Preliminary Consultations - on August 14 and November 13, 2002. The minutes from the November 13<sup>th</sup> meeting are attached. The Commission has offered a number of comments on the proposed new construction and the applicant has responded to most of these comments, with the resulting plan much changed from the first submission. The applicant's changes since November 13<sup>th</sup> are described in the HAWP application.

The HPC's discussion on November 13<sup>th</sup> focused on:

1. a concern that the proposed house for Lot 11 was too wide and too high and should be set farther back on the lot;
2. improving the design of the house proposed for Lot 17 so that the façade facing First Avenue would not read so much as side and so that the overall design of the house is different than the house on Lot 11;
3. an overall concern that the new houses should defer to and highlight the historic house, rather than overwhelming it.

## STAFF DISCUSSION

As before, the applicant has responded to many of the HPC's comments:

1. The width of the house on Lot 11 has been reduced, although it is still 40 feet wide at the front (not including the porch.)
2. The height of the house on Lot 11 has been reduced by 2 feet by dropping the pitch of the roof.
3. The house on Lot 11 has been pushed back 5 feet, without damaging the 34" Oak (tree #8 on the tree survey.)
4. The height of the house on Lot 17 has been reduced by 2 feet by dropping the pitch of the roof.
5. The side façade of the house on Lot 17 has been redesigned to give it more architectural interest.

Staff feels that this application for new construction should be approved with conditions. The applicant has attempted to mitigate the impact of the new houses on the historic site and its setting and has been generally successful. The amount of paving and grading has been kept to a minimum, the use of detached garages is appropriate, the tree preservation efforts are realistic, and the designs of the new houses have been changed to be more compatible with and to defer to the historic building.

The new houses are still big, but the applicant has used a number of architectural tools to mitigate the size. **Staff feels it is particularly important that the new houses are all lower in height than the existing historic house and this is a specific condition of approval.** In addition, staff feels that tree preservation on the site will help to mitigate and soften the size of the new houses. **Therefore tree preservation measures must be strictly adhered to and this is another specific condition of approval.** Finally, staff feels that the houses should be sheathed in cement siding rather than aluminum, with painted wood trim and corner boards. This will give the buildings a greater sense of historic compatibility.

## STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

With the following conditions:

1. The new houses must all be lower in height than the existing historic house, as measured at the ridgelines.
2. Tree preservation measures must be implemented and strictly adhered to.
3. The houses should be sheathed in cement siding rather than aluminum, with painted wood trim and corner boards.

And with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Service Office at (240)777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jonathan Lerner

Daytime Phone No.: 301.652.4440

Tax Account No.: 161301089451  
161301089440  
Contract Purchaser

Name of Property Owner: Meridian Homes Inc et al or assigns Daytime Phone No.: 301.652.4440

Address: 5110 Ridgefield Rd #413 Bethesda Maryland 20816  
Street Number City State Zip Code

Contractor: Meridian Homes, Inc. Phone No.: 301.652.4440

Contractor Registration No.: 3358

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: Currently 9015 and 9019 1st Avenue Street: First Avenue

Town/City: Silver Spring Nearest Cross Street: Grace Church

Lot: 10, 11, 16, 17 Block: 5 Subdivision: Woodside Leightons Subdivision

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed
- Move  Install  Wreck/Tear  Solar  Fireplace  Woodburning Stove  Single Family
- Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03 | | Other: \_\_\_\_\_

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3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3D. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Meridian Homes, Inc

By Jonathan Lerner, CEO  
Signature of owner or authorized agent

1/21/03  
Date

Approved: WITH CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 2/13/03

Application/Permit No.: 296495 Date Issued: 1/22/03

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## Summary of Changes to Address Previous Concerns For HWAP at February 12, 2003 Meeting

The team Meridian Homes (the "Applicant"), Sutton Yantis Architects, Bartlett Tree Experts, and CAS Engineering with assistance of Jody Kline of Miller, Miller and Canby, Chartered have been working with the Staff and Commissioners through two preliminary meetings in order to address the concerns of the Staff and Commissioners. Subject to the Applicants addressing those issues raised in the meeting on November 13, 2002 it appears that the Applicant has addressed all of the concerns raised by the Staff and Commissioners is now prepared to receive final approval of its application for the Historic Area Work Permit. Below is a summary of the issues raised in the November 13 meeting and a synopsis of how those issues have been addressed by the Applicant.

### Summary of Major Points

1 – Lot 11 – The Staff and Commissioners through the hearing and in Commissioner Spurlock's summary expressed concerns that this house, as proposed on November 13 was too wide, had too much roof and should possibly be pushed back on the lot in order to assist in its deferral to the historic resource.

Answer- The Applicant has redesigned the home and reduced its width 4' or 10%. Additionally, the Applicant has reduced the width of the roof an additional 4', bringing the total reduction to 20% of the prior proposed roof (except for a small creative shed portion of the roof over the porch). Finally, the applicant reduced the pitch of the roof from 10/12 to 9/12 or 10% which resulted in a reduction in the height of the ridge of almost 2'. The Applicant analyzed the significant tree (#8 on the Tree Survey) and determined that it could be retained while pushing the proposed house back 5'.

2. – Lot 17 - The Staff and Commissioners through the hearing and in Commissioner Spurlock's summary expressed that perhaps additional architectural interest should be added to the right side elevation.

Answer- The Applicant has redesigned the right elevation of the home providing better balance with the windows and added a gable to give the home more of a "dual front" design. Additionally, the Applicant reduced the pitch of the roof from 10/12 to 9/12 or 10% which resulted in a reduction in the height of the ridge of approximately 2'.

Attached please find Corporate Information about Meridian Homes which details some of its Professional Relationships and Recent Custom Homebuilding Awards.



# MERIDIAN HOMES

## GENERAL INFORMATION

### BANKING

Corporate Accounts:  
Project Accounts:

Chevy Chase FSB  
BB & T Bank  
The Columbia Bank

### ACCOUNTING

Financial Review and Tax Preparation:

Mendelson & Mendelson CPA

### ARCHITECTURAL DESIGN

Sutton, Yantis & Associates  
Custom Design Concepts

Studio Z Design  
Hutchinson & Associates

### INTERIOR DESIGN

Skip Sroka, ASID, CID – Sroka Design, Inc.  
Sharon Klineman - Transitions, Inc.

David Shatzman Design

### CIVIL ENGINEERING

Witmer & Associates  
Macris, Hendricks & Glasscock

CAS Engineering  
Thomas Maddox

### AFFILIATIONS

National Home Builders Association  
Maryland National Capital Building Industry Association

### RECENT AWARDS

2002 Maryland National Capital Building Industry Association WINNER Best Whole House Renovation under 3,500 Square Feet  
2001 Finest For Family Living Awards AWARD OF MERIT for Remodeled Home in Bethesda, Maryland  
2001 Maryland National Capital Building Industry Association AWARD OF MERIT Homes 3,500 to 5,000 Square Feet  
2000 Finest For Family Living Awards WINNER for Custom Home in Bethesda, Maryland  
2000 Maryland National Capital Building Industry Association WINNER Homes 3,500 to 5,000 Square Feet  
1999 Finest For Family Living Awards AWARD OF MERIT for Custom Home in Potomac, Maryland  
1999 Maryland National Capital Building Industry Association WINNER Homes 3,500 to 5,000 Square Feet  
1998 Finest For Family Living Awards WINNER for Custom Home in Chevy Chase, Maryland  
1998 Maryland National Capital Building Industry Association WINNER Homes 3,500 to 5,000 Square Feet  
1997 Maryland National Capital Building Industry Association WINNER Homes Under 3,500 Square Feet

References available upon request

**GENERAL NOTES**

- 1) WATER CATEGORY - 1      SEWER CATEGORY - 1
- 2) BOUNDARY INFORMATION BASED ON AVAILABLE RECORDED INFORMATION.
- 3) 2-DIMET CONCEPT DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED JUNE, 2003.
- 4) TOTAL LOT AREA:
  - LOT II - 0.1723 AC S.F.
  - LOT III - 0.2002 AC S.F.
  - LOT IV - 0.2002 AC S.F.
  - LOT V - 0.2002 AC S.F.
- 5) PROPERTY BOUND ON TAX MAP JPL, BRIDGEVIEW ST, BLOCK 5, LOTS II, III, IV, V AND VI
- 6) PROPERTY BOUND ON PINE COOP TRACT 28 1/4 AC.
- 7) PROPERTY BOUND ON PORTSBURY COUNTY SOLD SURVEY MAP NO. 24, BOX TYPE(S) 2E.
- 8) FLOODED ZONE 10' PER ALLOW. PERM. PAPER, COVENANT PANEL, IN. 2000X 0000 C.
- 9) SITE IS LOCATED IN THE LOWER ROCK CREEK WATERSHED.
- 10) LOCAL UTILITIES INCLUDE:
  - WATER & SEWER - HAMMANTON SUBURBAN SANITARY COMMISSION
  - ELECTRIC - PEOPLES
  - TELEPHONE - VERIZON
  - GAS - HAMMANTON GAS
- 11) ALL DOWNSPUTS TO BE DIRECTED AWAY FROM ALL STRUCTURES AND TOWARD STREETS.

**ZONING DATA**

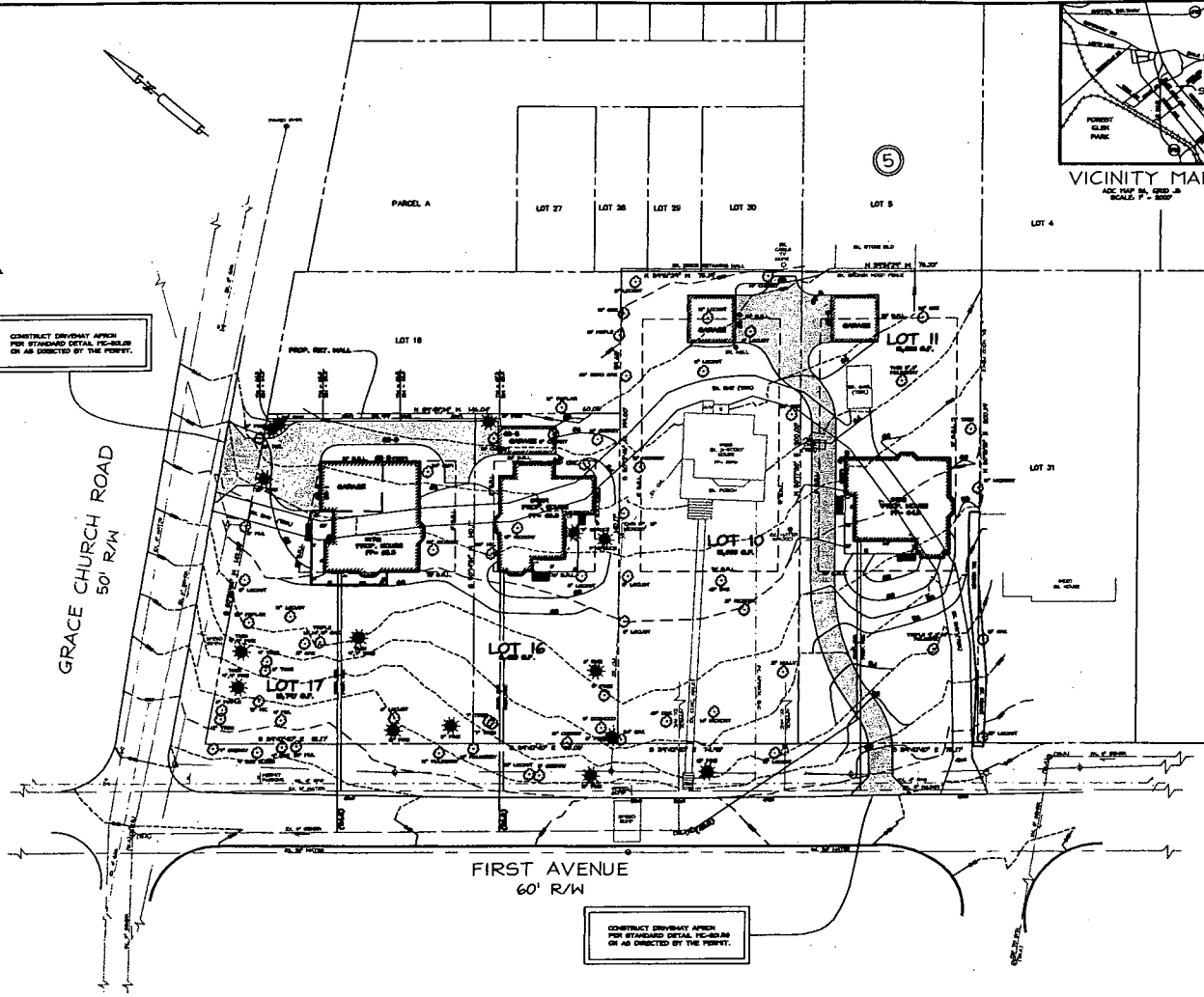
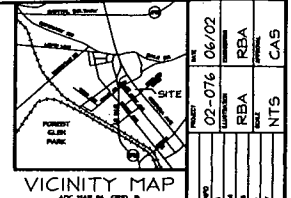
- 1) ZONING - R-40
- 2) PER. LOT AREA - 8,000 SF
- 3) LOT HEIGHT AT SAN. - 28 FT
- 4) LOT HEIGHT AT S.W.L. - 30 FT
- 5) FRONT S.W.L. - 75' ESTABLISHED (28 FT PER. S.W.L.)
- 6) REAR S.W.L. - 30 FT
- 7) SIDE S.W.L. - 5 FT PER. EACH SIDE, 8 FT PER. TOTAL.

CONSTRUCT DRAINWAY APPLIC. FOR STANDARD DETAIL, FC-200 AS OR AS DIRECTED BY THE PERMIT.

GRACE CHURCH ROAD  
50' R/W

FIRST AVENUE  
60' R/W

CONSTRUCT DRAINWAY APPLIC. FOR STANDARD DETAIL, FC-200 AS OR AS DIRECTED BY THE PERMIT.



JAN 13 2003  
CAS ENGINEERING

**MISS UTILITY**

CALL MISS UTILITY AT 703-887-7277, 48 HOURS PRIOR TO THE START OF ANY WORK. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING AND HAVING THESE UTILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO CONSTRUCTION. THE ENGINEER IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 53A OF THE PORTSBURY COUNTY CODE.

**OWNER/APPLICANT**

LOTS 17, 16, 10 & 11  
BLOCK 5, WOODSIDE  
SITE PLAN (CONCEPT #7)

**CAS ENGINEERING**  
LAND PLANNING  
A DIVISION OF CAS ENGINEERING, INC.  
100 Main Street, Suite 101, Mount Airy, NC 27717  
Tel: 703-887-7277 Fax: 703-887-7248

DATE	BY	DESCRIPTION	SCALE	DATE	BY	DESCRIPTION
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100
02-07-06	RL	ISSUED SUPPLEMENTAL TYPE 100	AS SHOWN	06/02	RL	ISSUED SUPPLEMENTAL TYPE 100



Lot 17

Lot 16

Lot 10

Lot 11

# FIRST AVENUE

Meridian Homes

Sutton Yantis Associates Architects



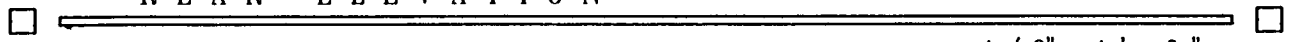
FRONT ELEVATION

LOT #11

1 / 8" = 1' - 0"



REAR ELEVATION

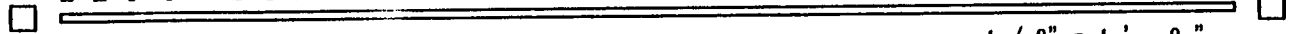


LOT #11

1 / 8" = 1' - 0"



LEFT SIDE ELEVATION



LOT #11

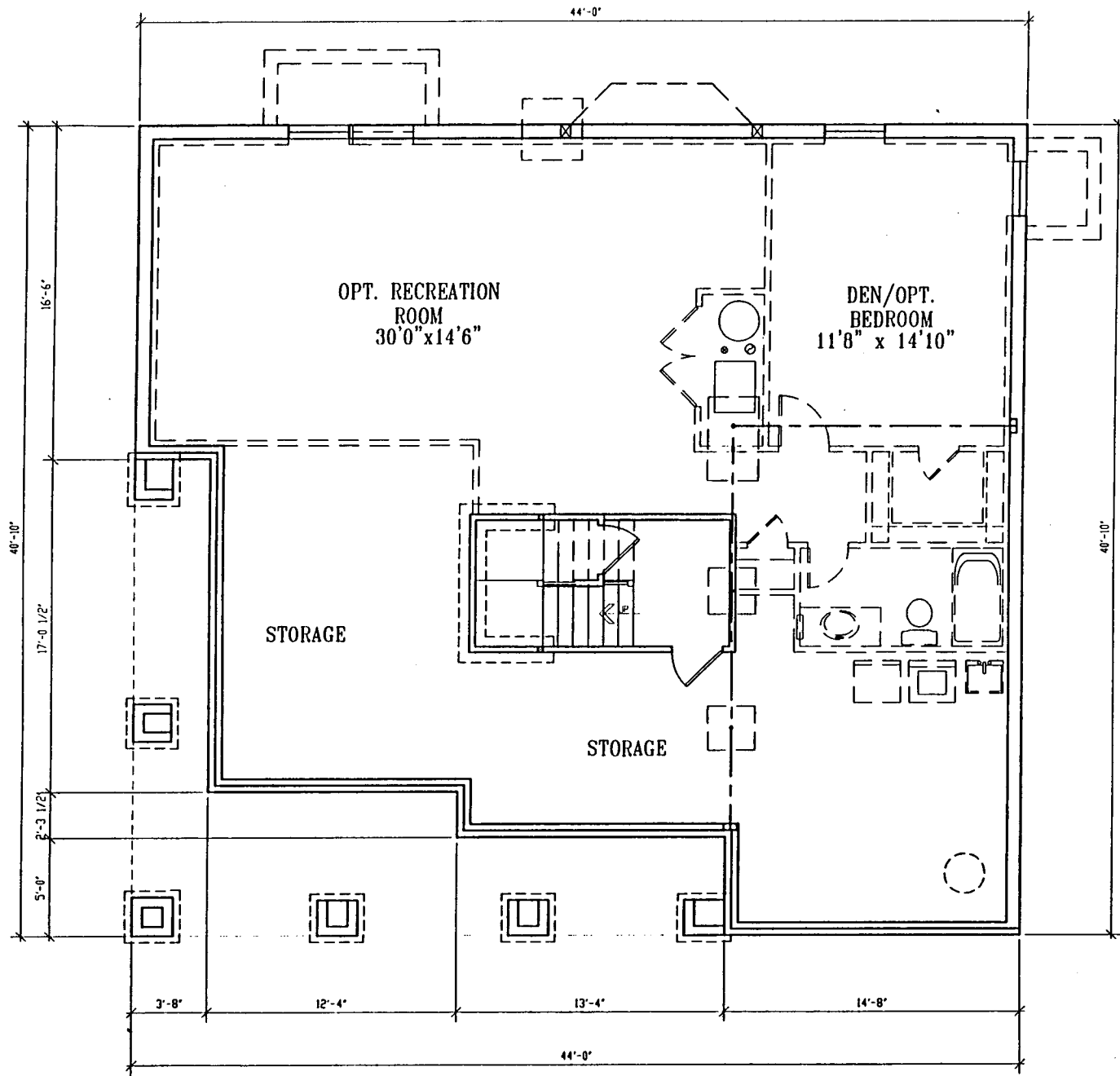
1 / 8" = 1' - 0"



RIGHT SIDE ELEVATION

LOT #11

1 / 8" = 1' - 0"

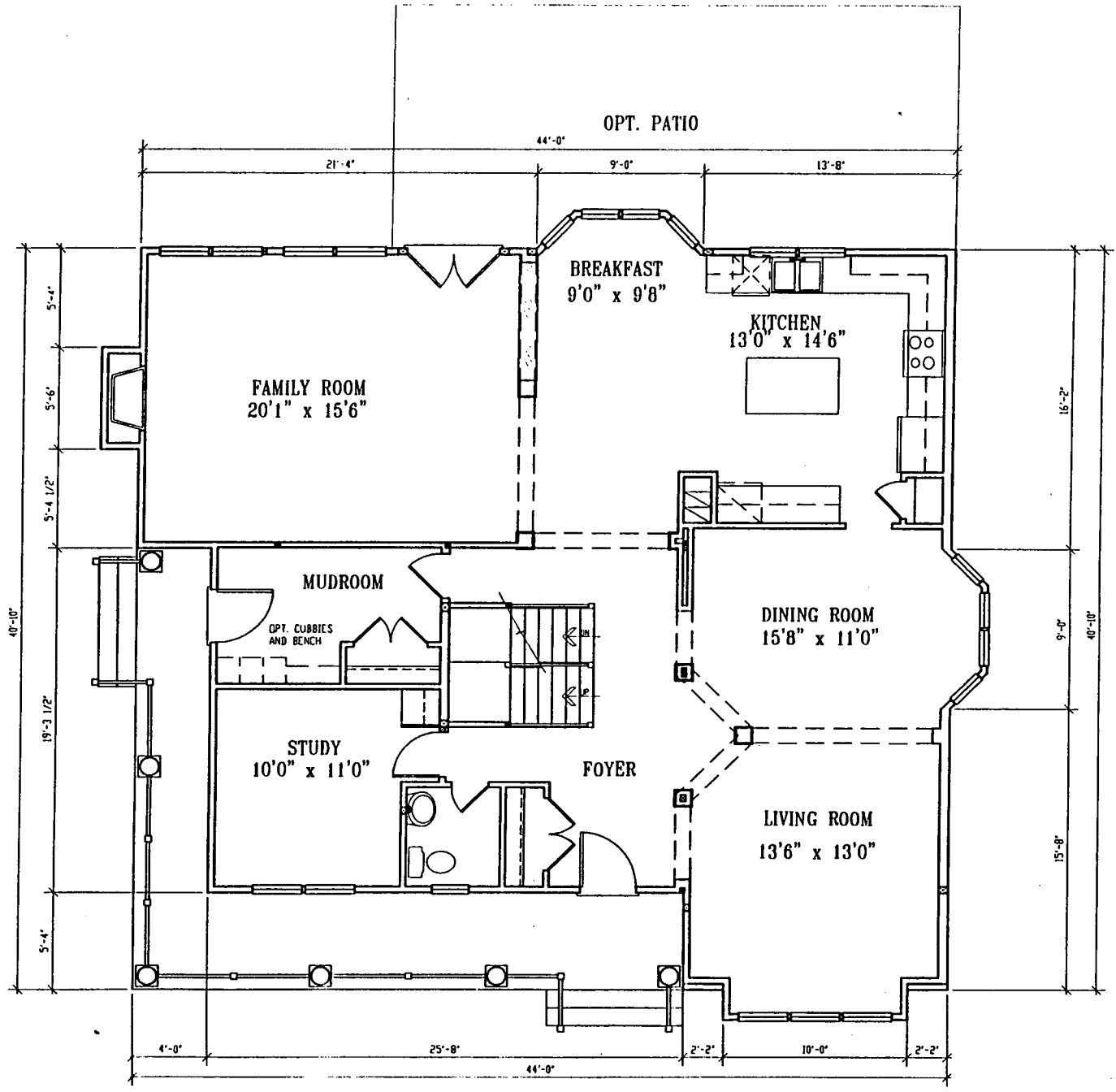


FOUNDATION / BASEMENT FLOOR PLAN

LOT #11  
982 SQ. FT. FINISHED

1 / 8" = 1' - 0"

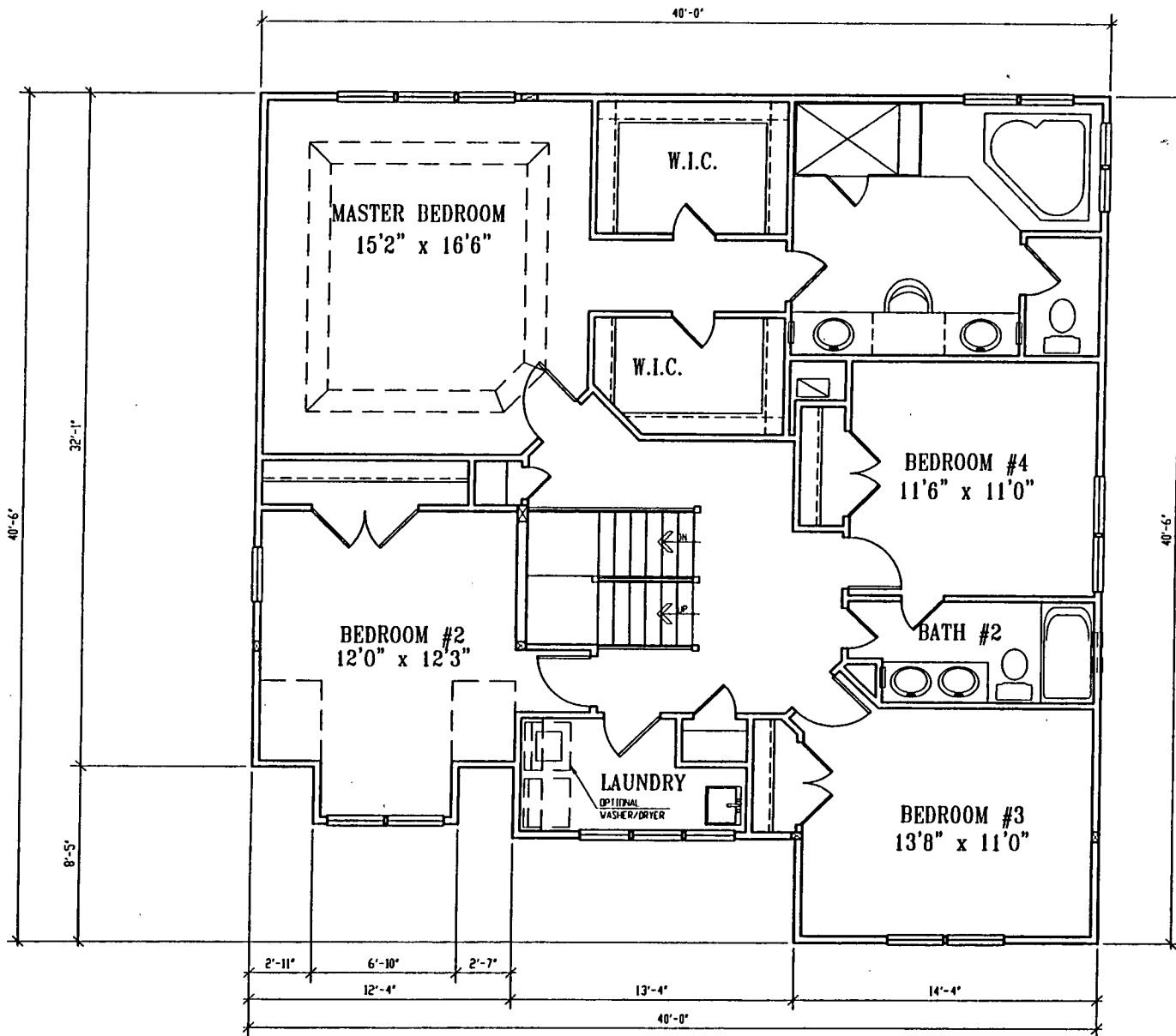




LOWER FLOOR PLAN

LOT #11  
1605 SQ. FT.  
3423 TOTAL SQ. FT.

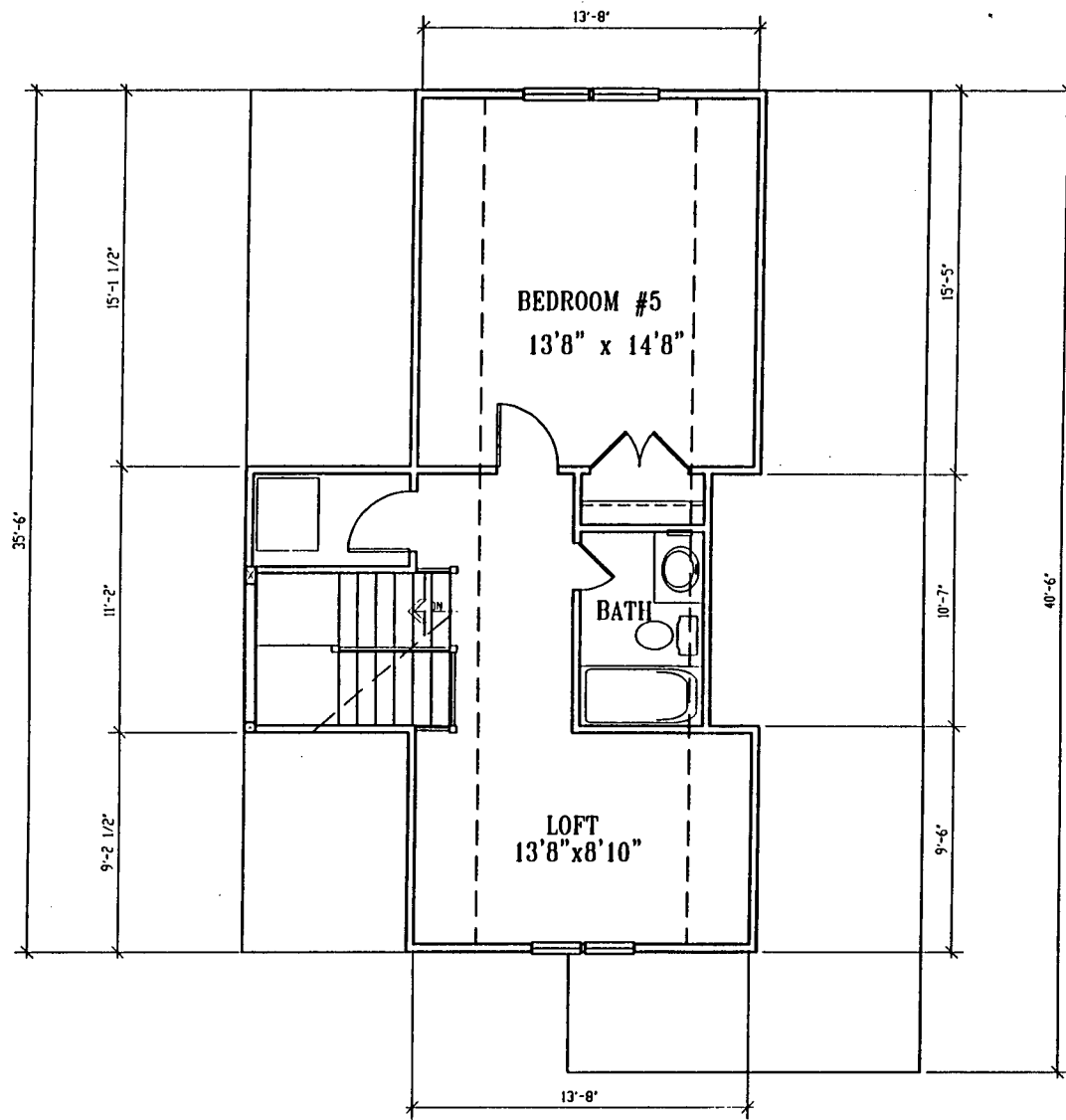
1/8" = 1' - 0"



UPPER FLOOR PLAN

LOT #11  
1475 SQ. FT.

1 / 8" = 1' - 0"



ATTIC FLOOR PLAN

LOT # 11  
560 SQ. FT.

1/8" = 1' - 0"



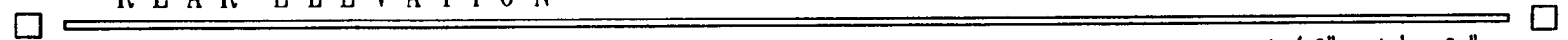
FRONT ELEVATION

LOT #16

1 / 8" = 1' - 0"



REAR ELEVATION



LOT #16

1 / 8" = 1' - 0"



LEFT SIDE ELEVATION

LOT #16

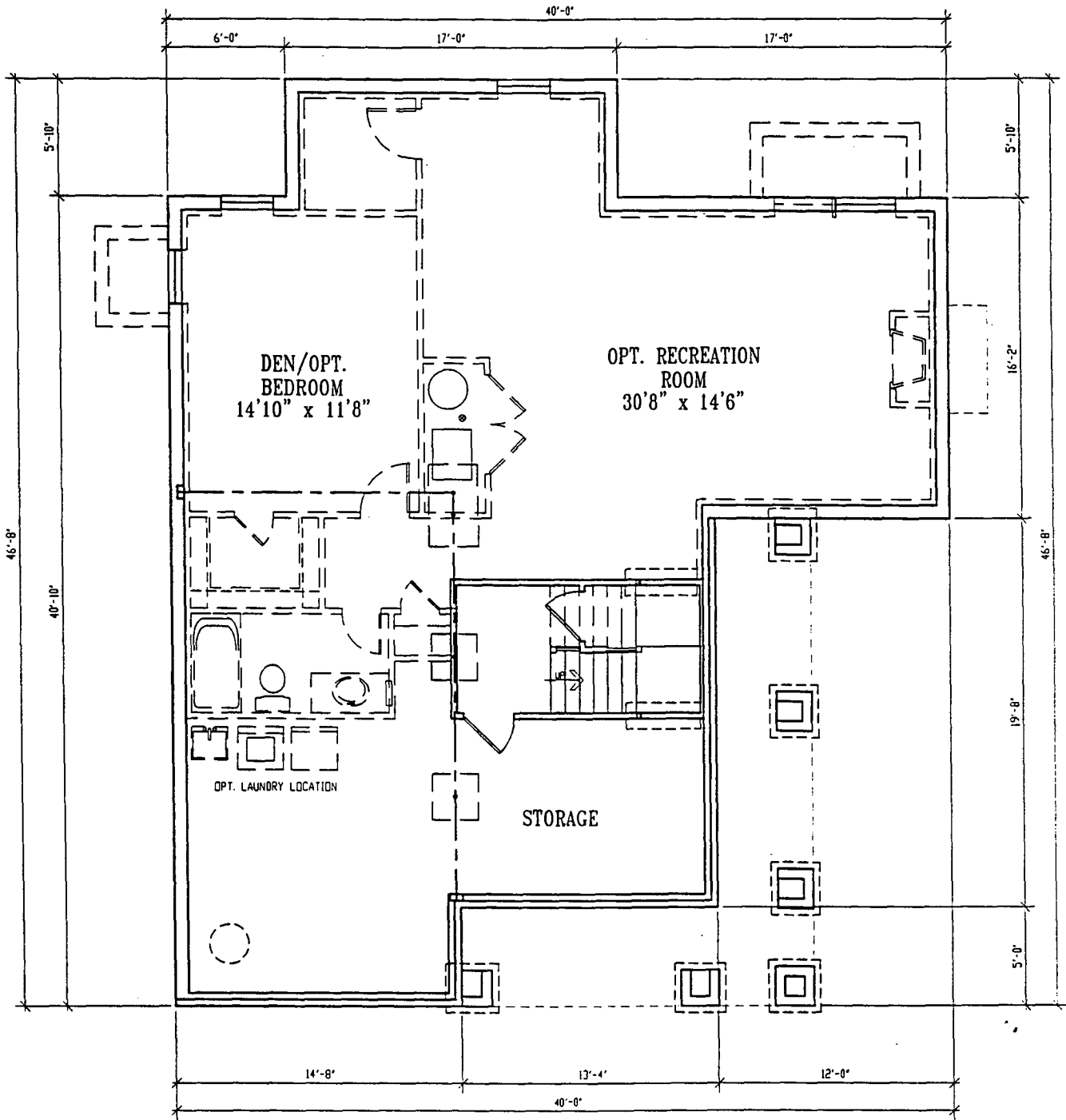
1 / 8" = 1' - 0"



RIGHT SIDE ELEVATION

LOT #16

1 / 8" = 1' - 0"

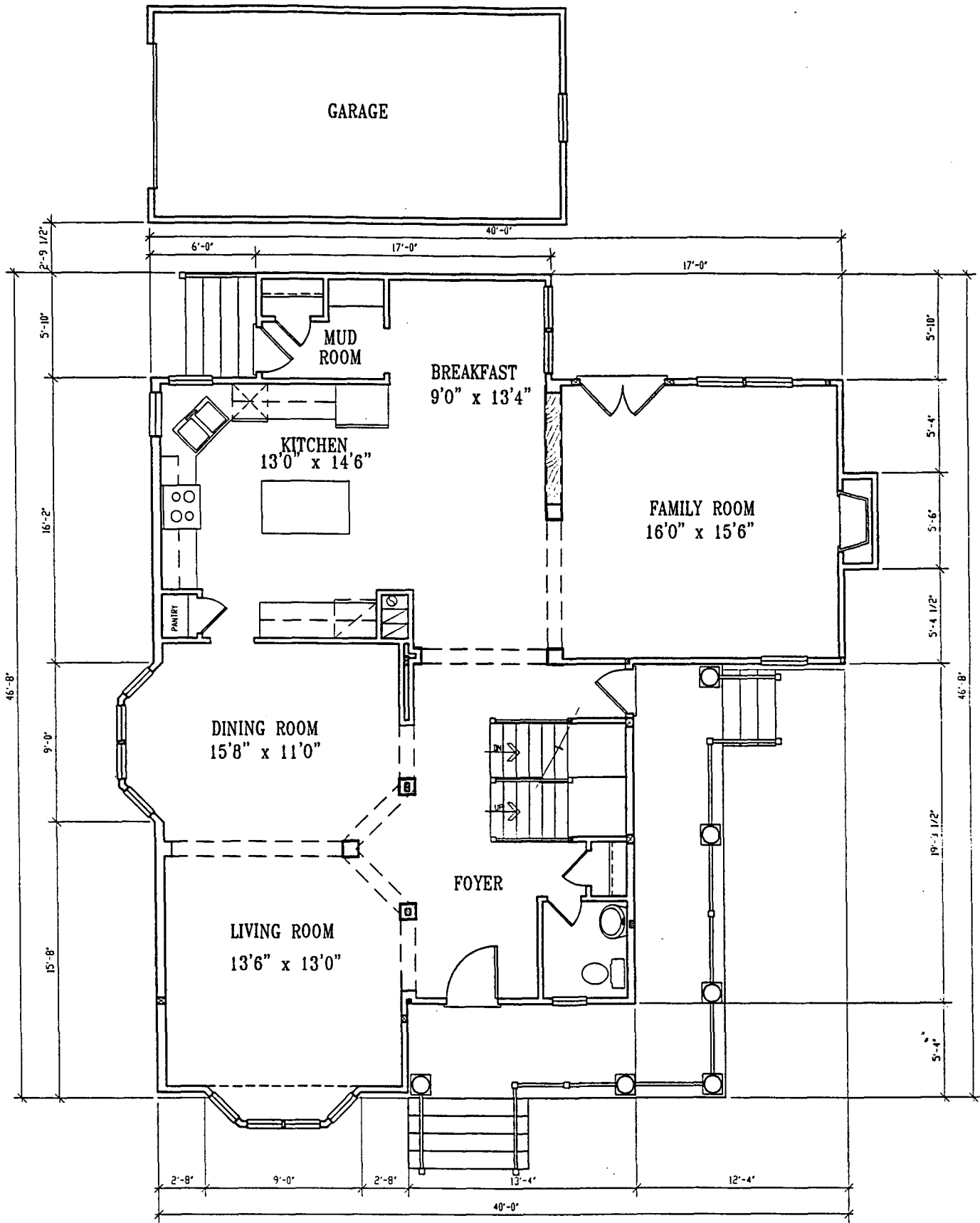


FOUNDATION / BASEMENT FLOOR PLAN

LOT #16  
1021 SQ. FT. FINISHED

1 / 8" = 1' - 0"

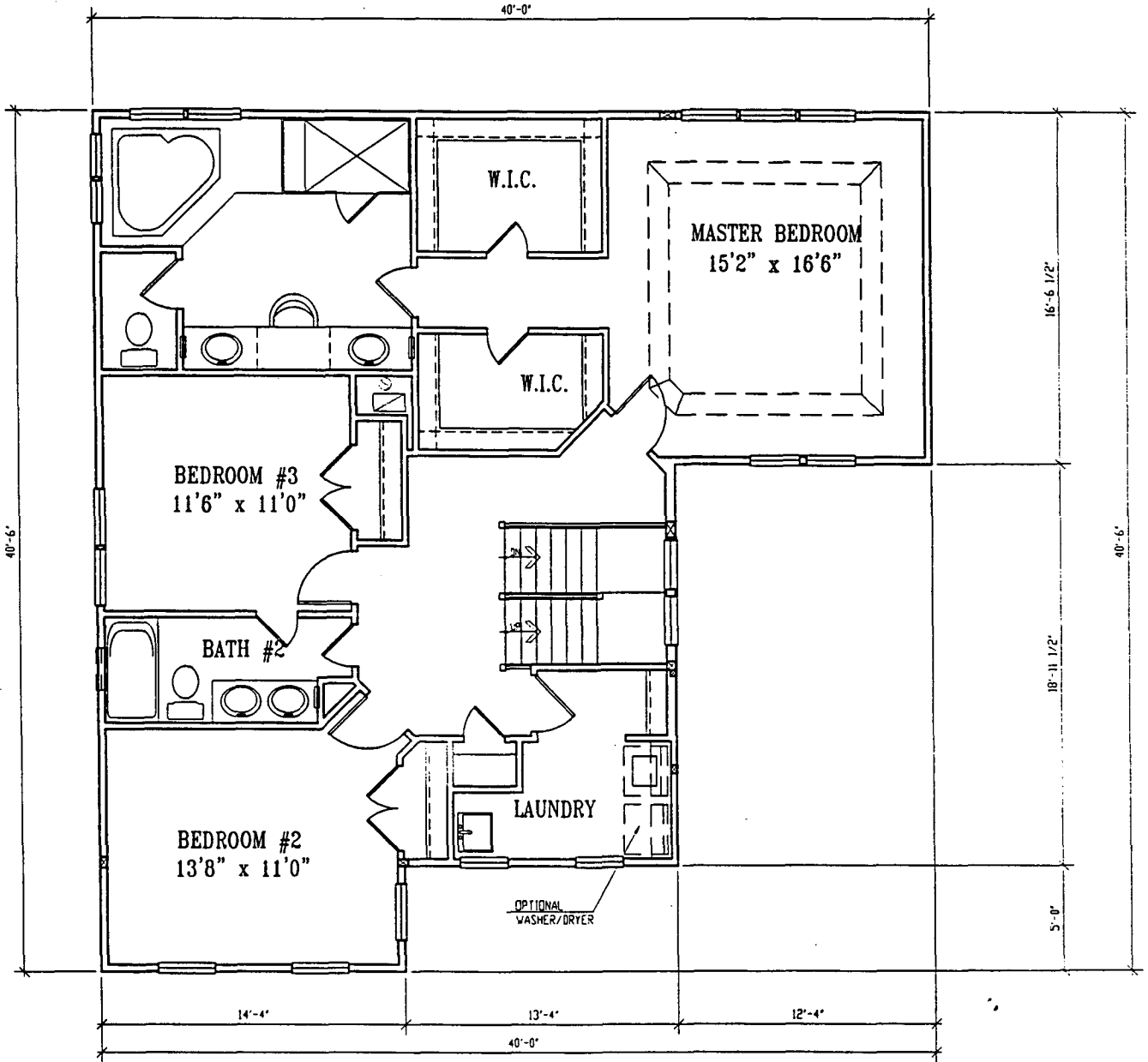




LOWER FLOOR PLAN

LOT #16  
 1380 SQ. FT.  
 3197 TOTAL SQ. FT.

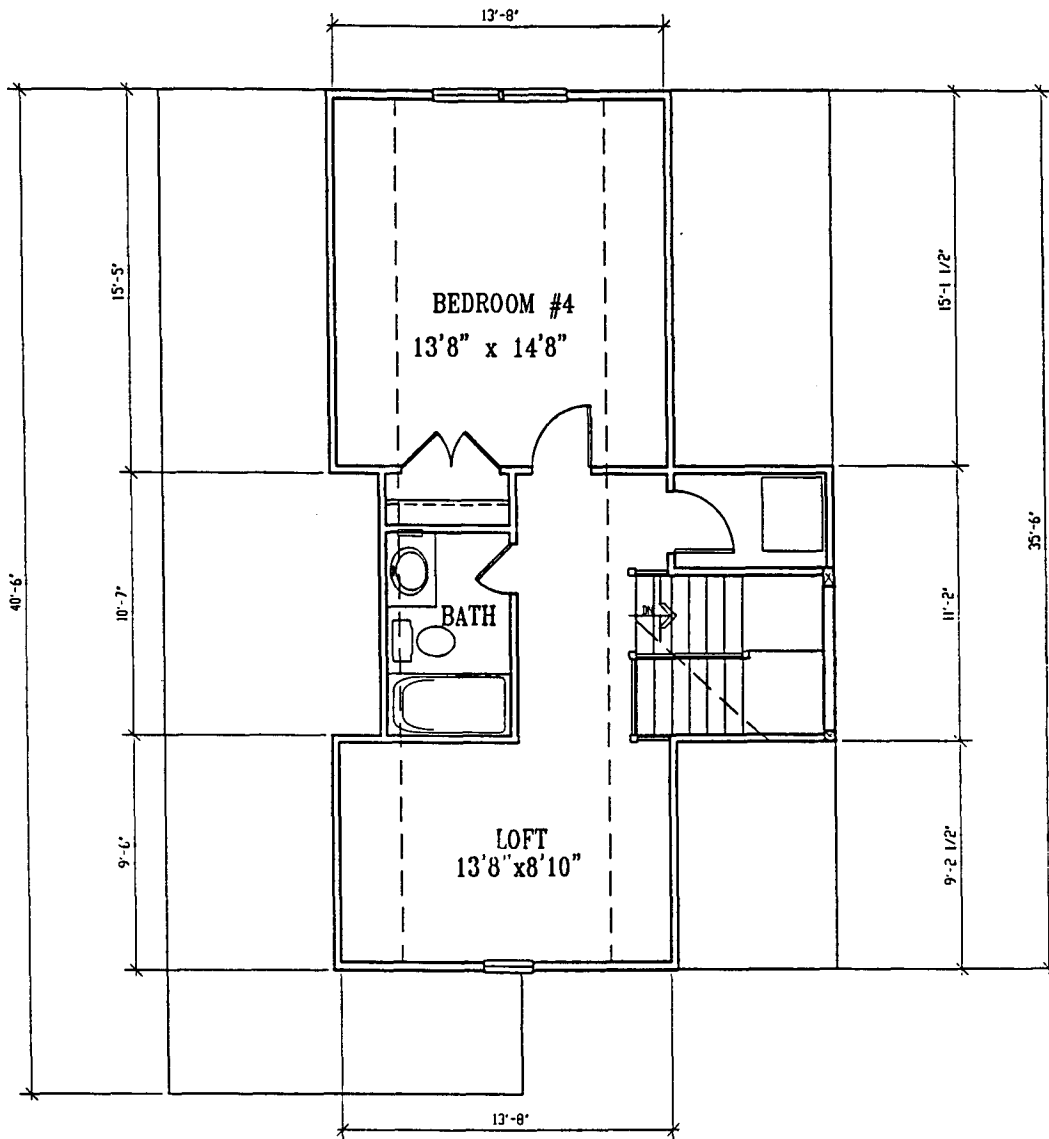
1 / 8" = 1' - 0"



UPPER FLOOR PLAN

LOT #16  
1257 SQ. FT.

1/8" = 1' - 0"



ATTIC FLOOR PLAN

LOT # 16  
560 SQ. FT.

1/8" = 1' - 0"

26



FRONT ELEVATION

LOT #17

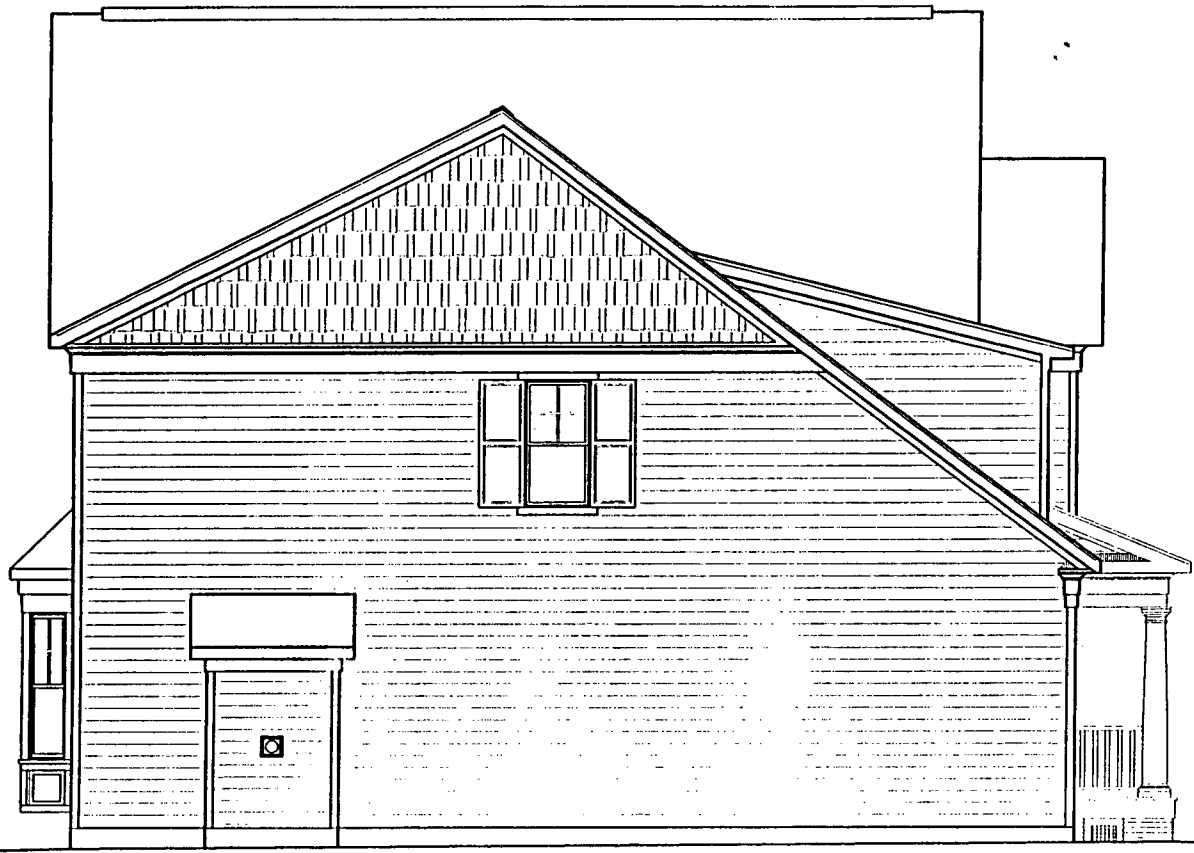
1 / 8" = 1' - 0"



REAR ELEVATION

LOT #17

1 / 8" = 1' - 0"



LEFT SIDE ELEVATION

LOT #17

1 / 8" = 1' - 0"



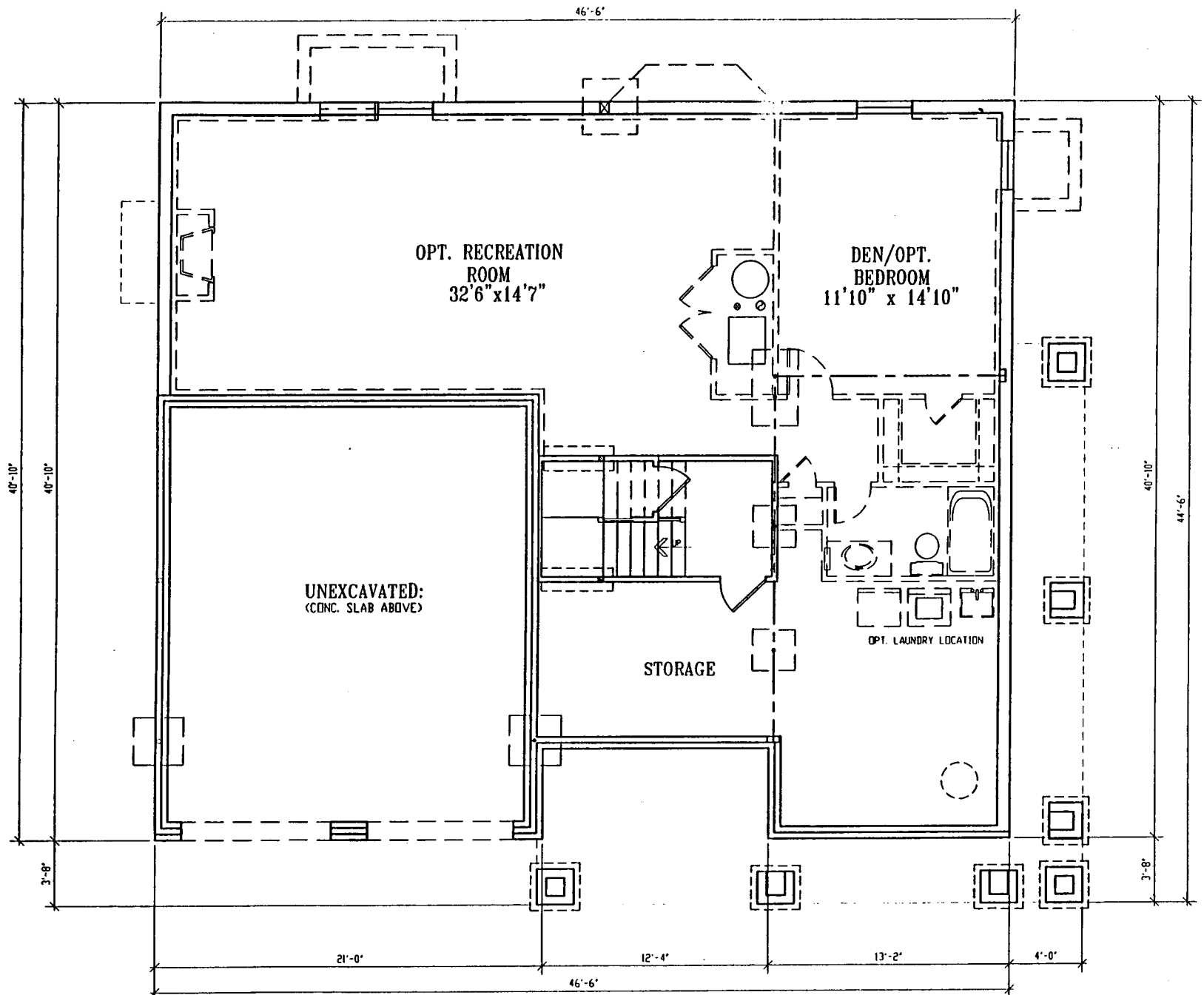
RIGHT SIDE ELEVATION



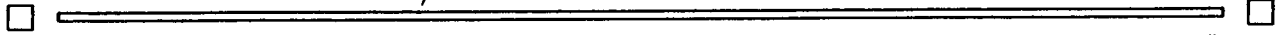
LOT #17

1 / 8" = 1' - 0"





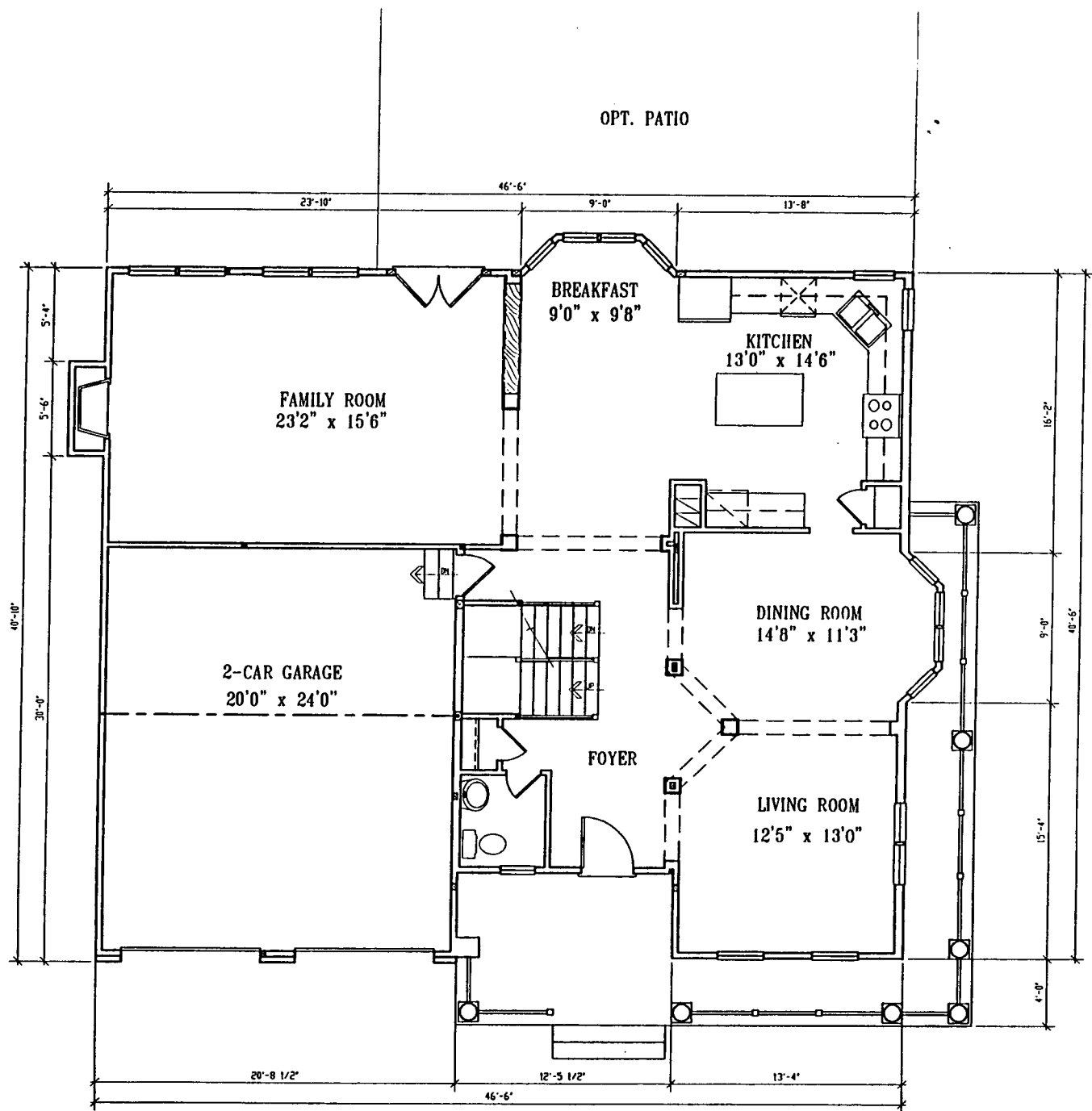
FOUNDATION / BASEMENT FLOOR PLAN



LOT #17  
1026 SQ. FT. FINISHED

1 / 8" = 1' - 0"

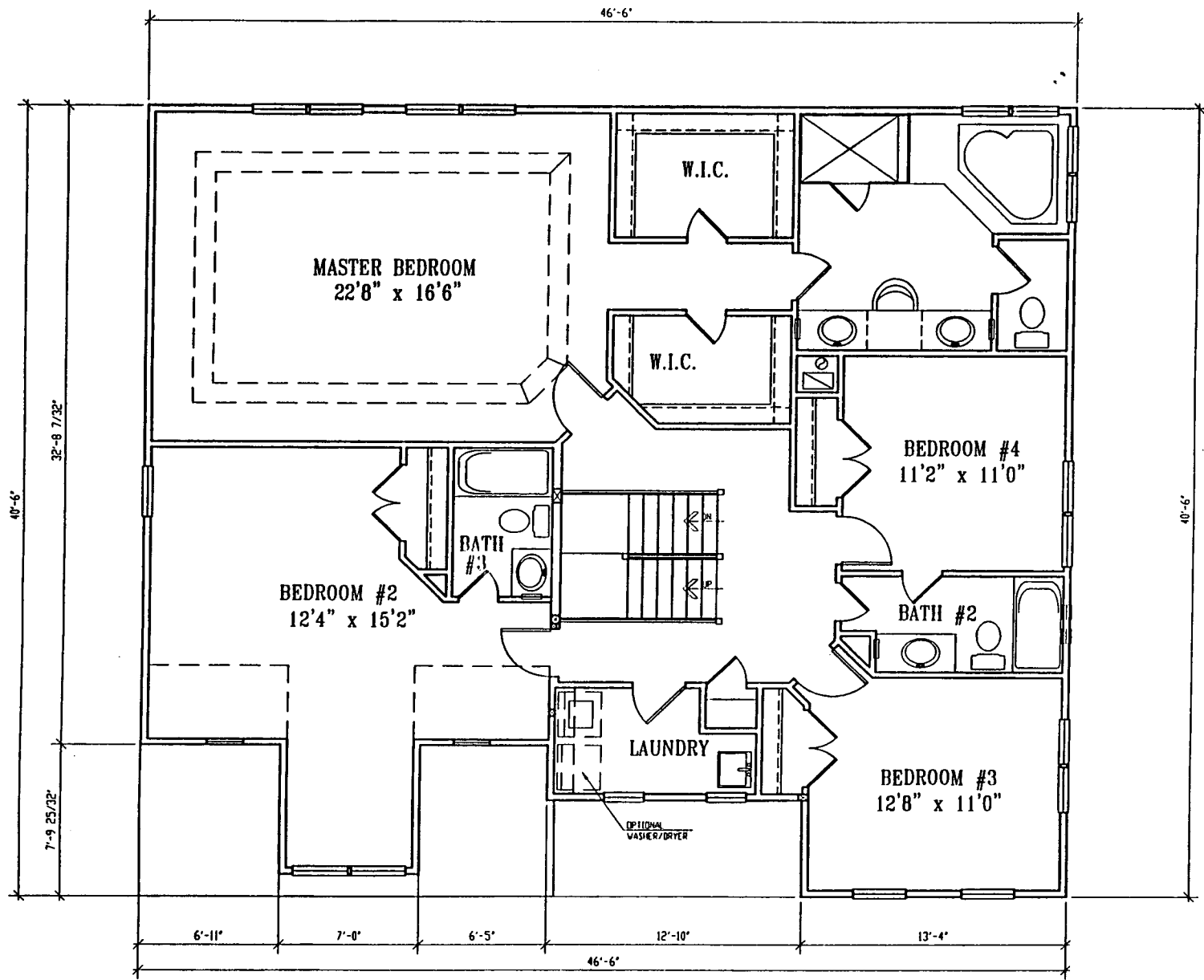




LOWER FLOOR PLAN

LOT #17  
1352 SQ. FT.  
3032 TOTAL SQ. FT.

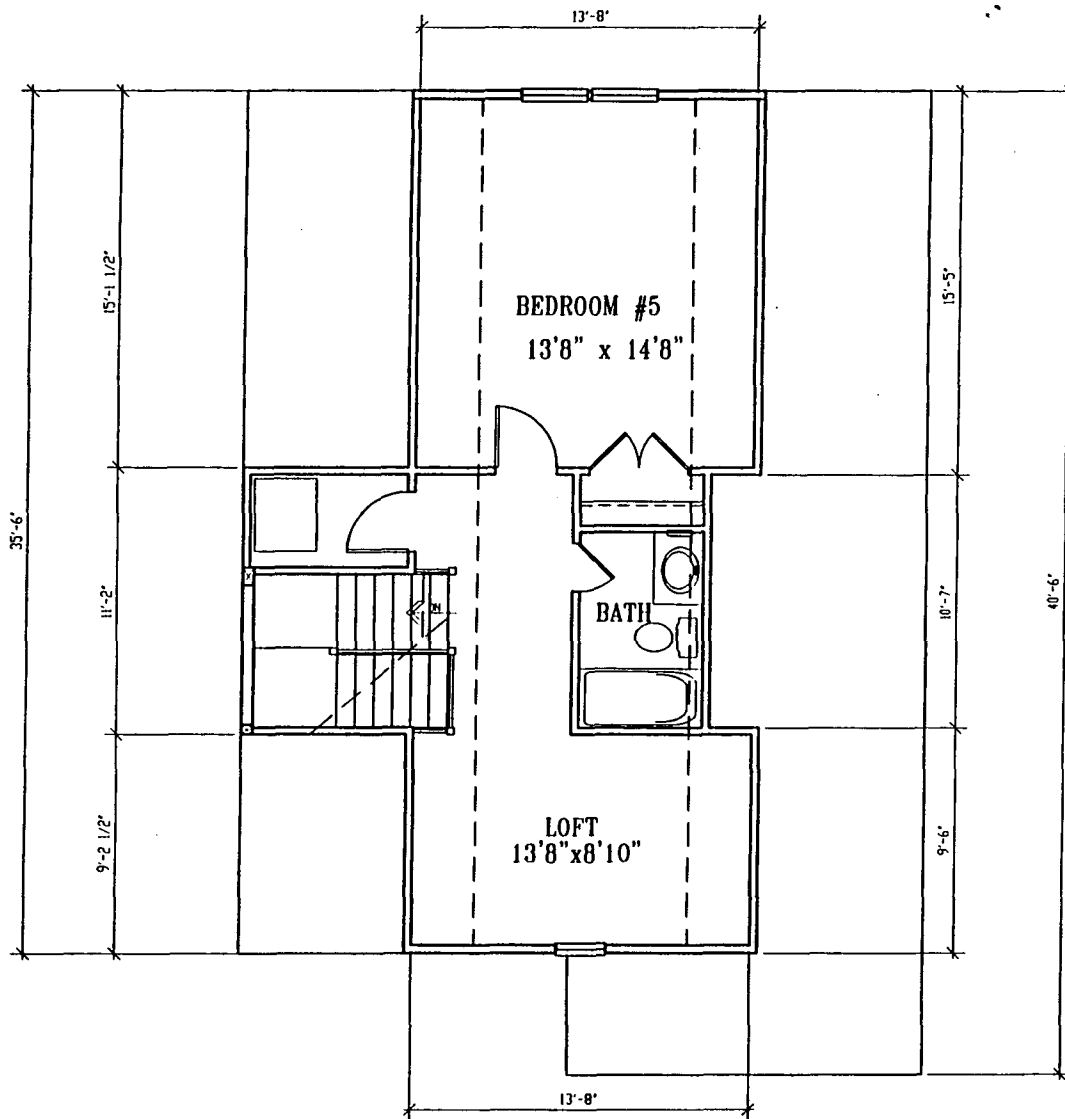
N.T.S.



UPPER FLOOR PLAN

LOT #17  
1685 SQ. FT.

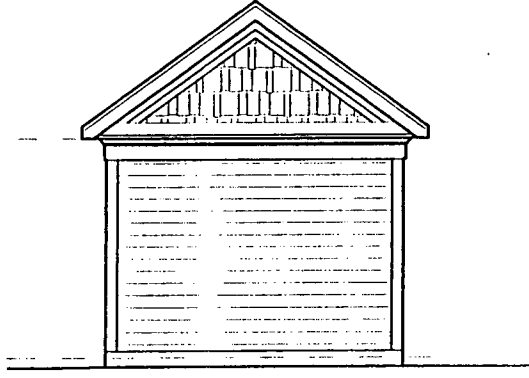
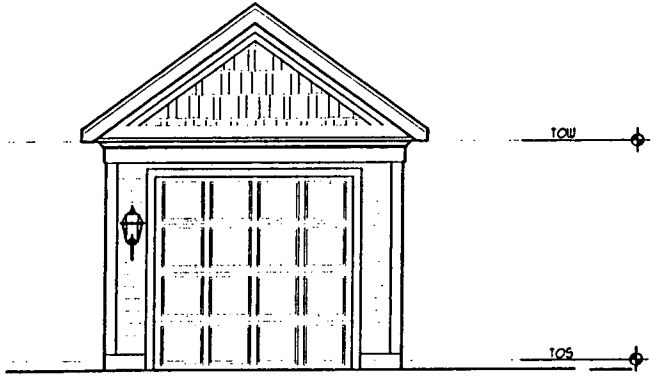
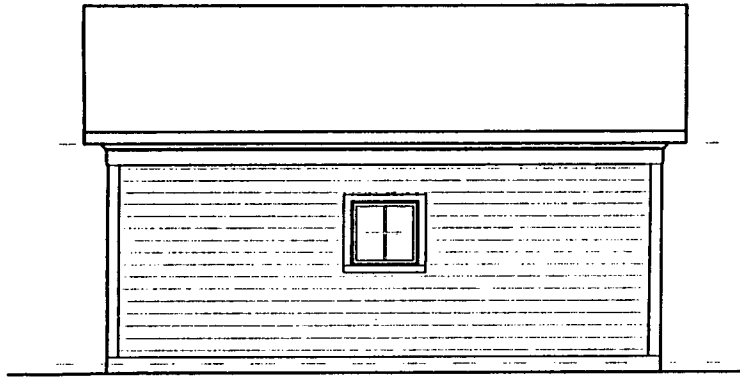
1 / 8" = 1' - 0"

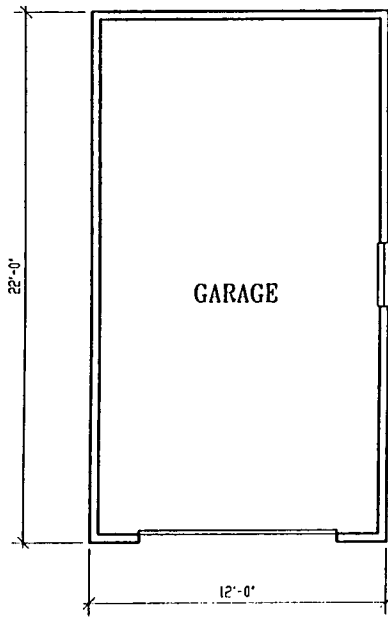


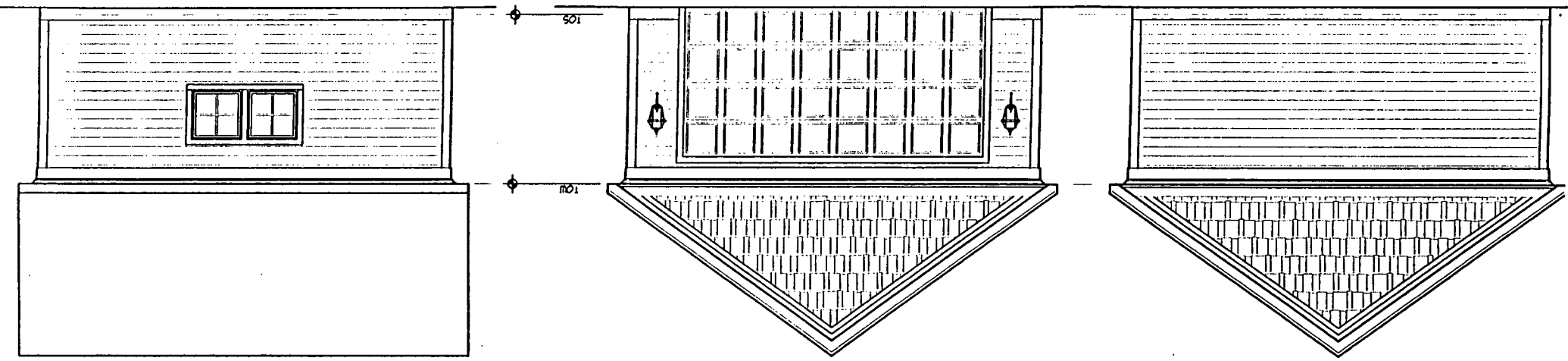
ATTIC FLOOR PLAN

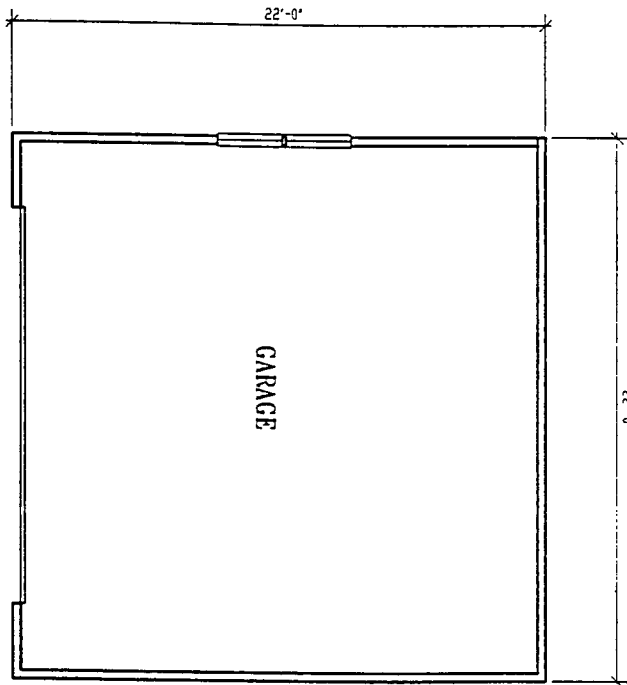
LOT # 17  
560 SQ. FT.

1/8" = 1' - 0"









# Exterior Features

**1712 Grace Church Road, Silver Spring, Maryland 20910**

**9019 First Avenue, Silver Spring, Maryland 20910**

**9011 First Avenue, Silver Spring, Maryland 20910**

- Front Porch Façades Per Plans
- Brick Per Plans
- Vinyl or Cement Siding Per Plans
- Cedar Siding Shingles Per Plans
- Painted Wood Trim Per Plans
- Decorative Columns and Rails on Porch per Plans
- 20 Year Three Tab Shingles
- White 5" "K" Aluminum Gutter with 2" x 3" Downspouts
- Operable Wood Shutters with "S" Shutter dogs and Strap Hinges
- Tilt Out Double Hung, Fixed, Casement or Awning Insulated Wood Windows with Grills between the Glass
- 5/4" Pressure Treated Wood Decking on Porch and Stairs Per Plans
- Builders Professional Landscaping Package
- Electrical Outlets (Front and Rear)
- Hose Bibs (Front and Rear)
- Asphalt Driveway

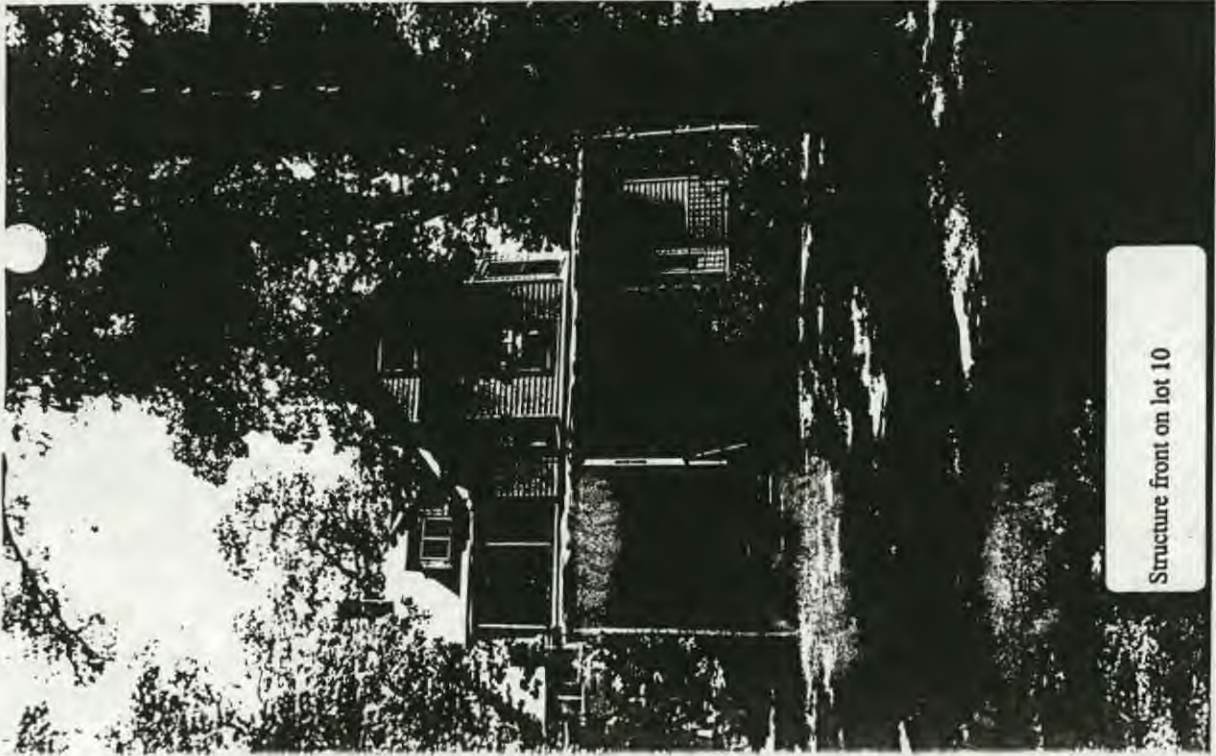




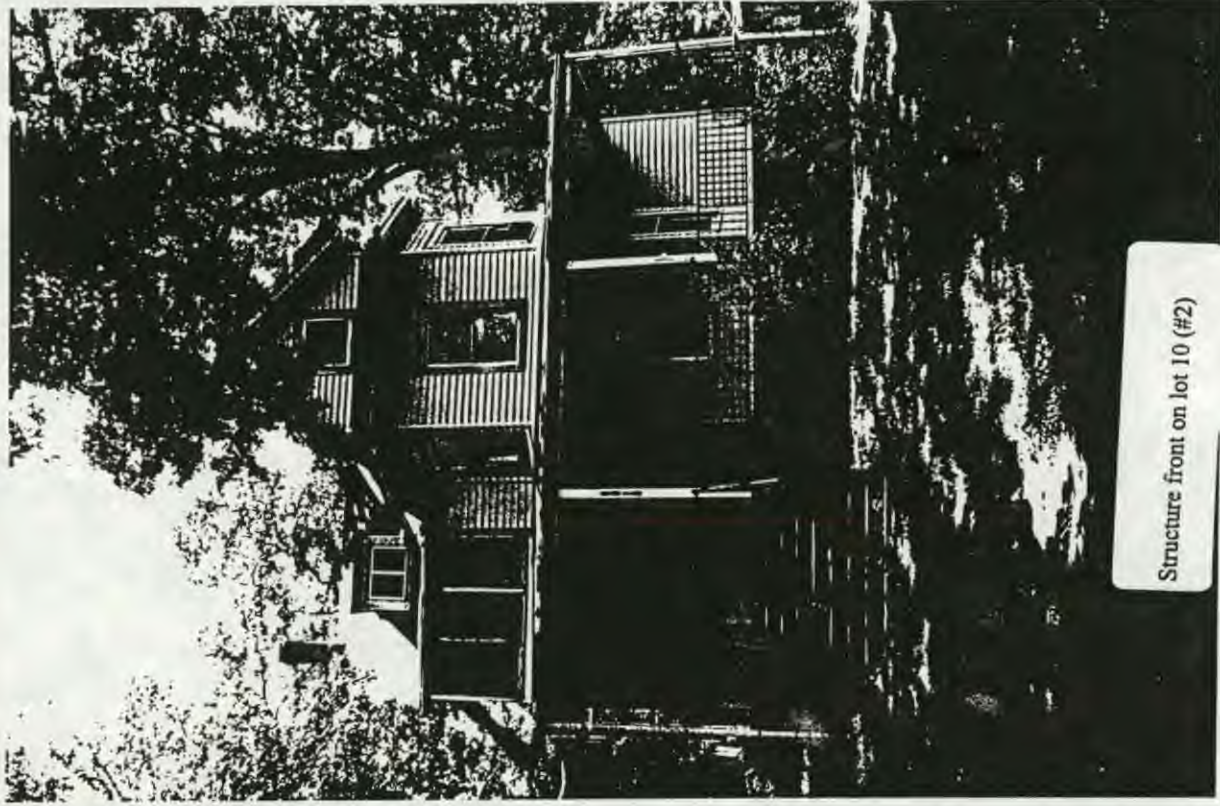
Brick on house & new porch



Garage front of lot 11



Structure front on lot 10



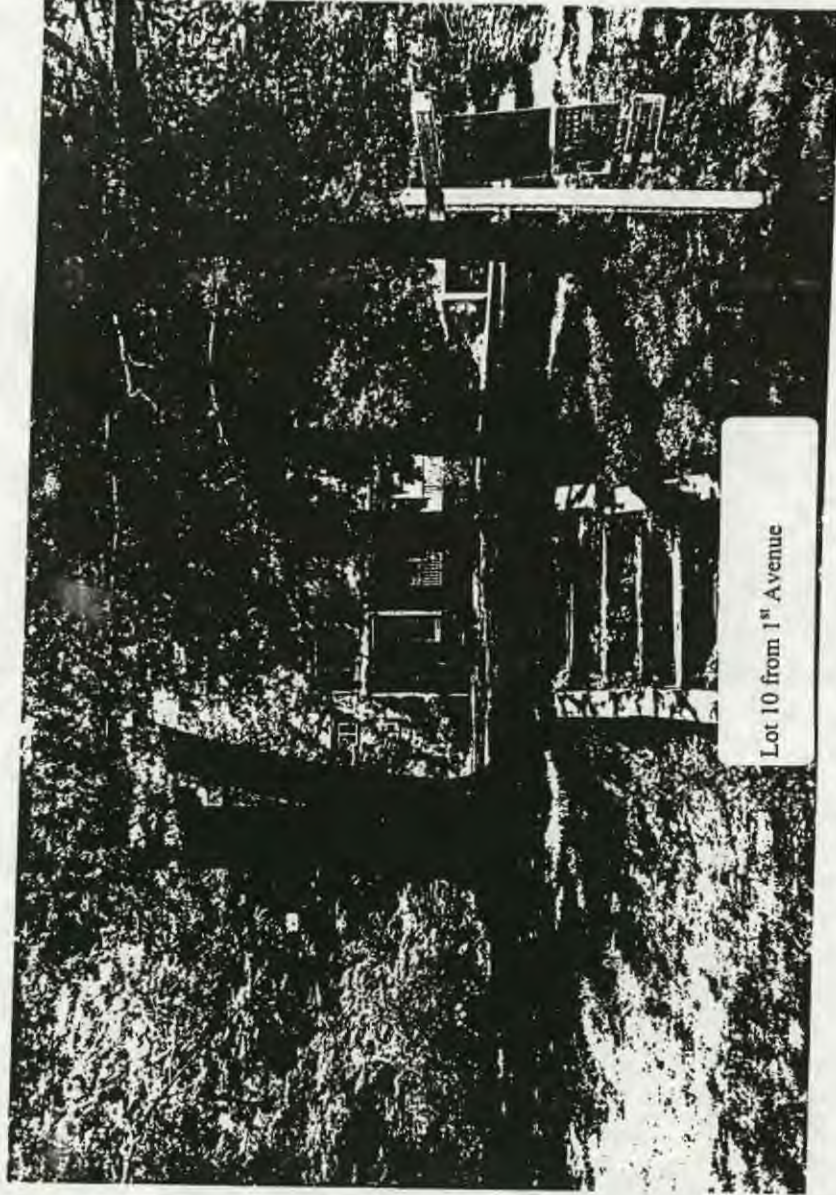
Structure front on lot 10 (#2)



Left of garage on lot 11



Left of structure on lot 10



Lot 10 from 1<sup>st</sup> Avenue



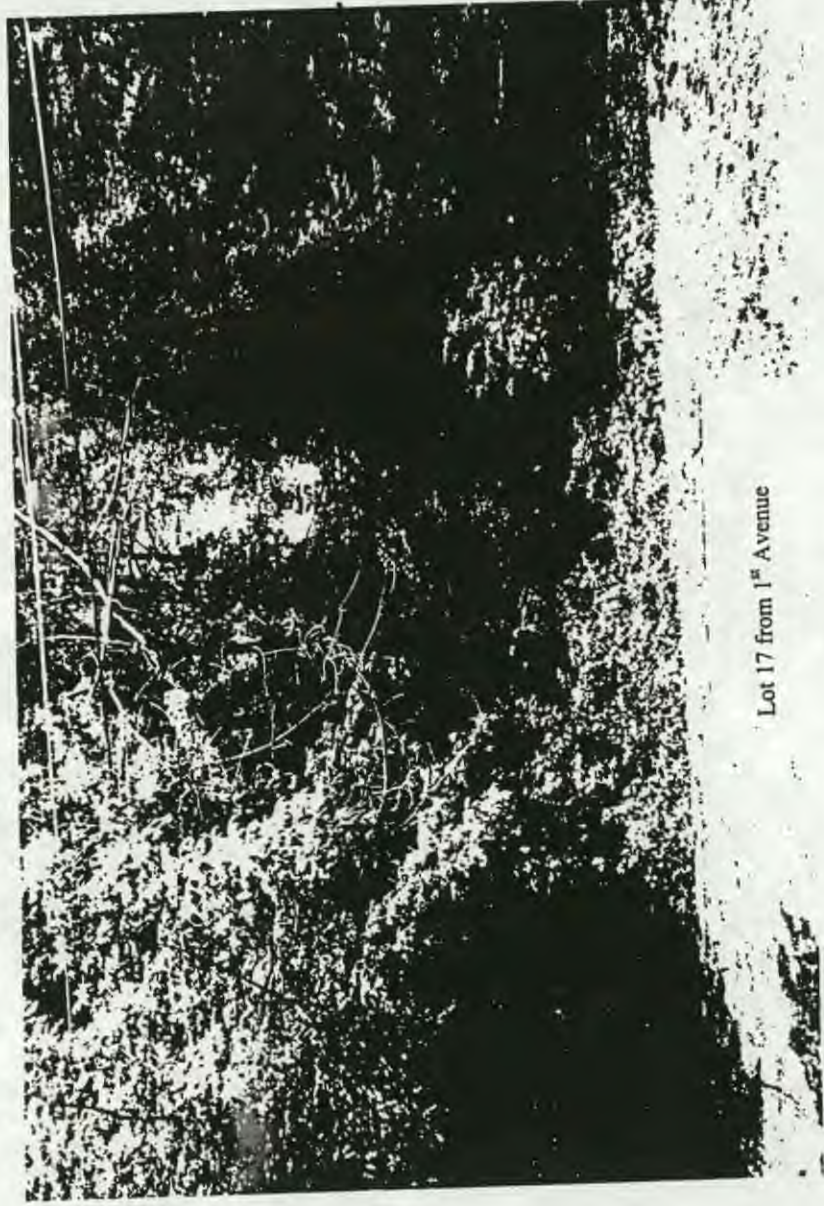
Lot 11 from 1<sup>st</sup> Avenue



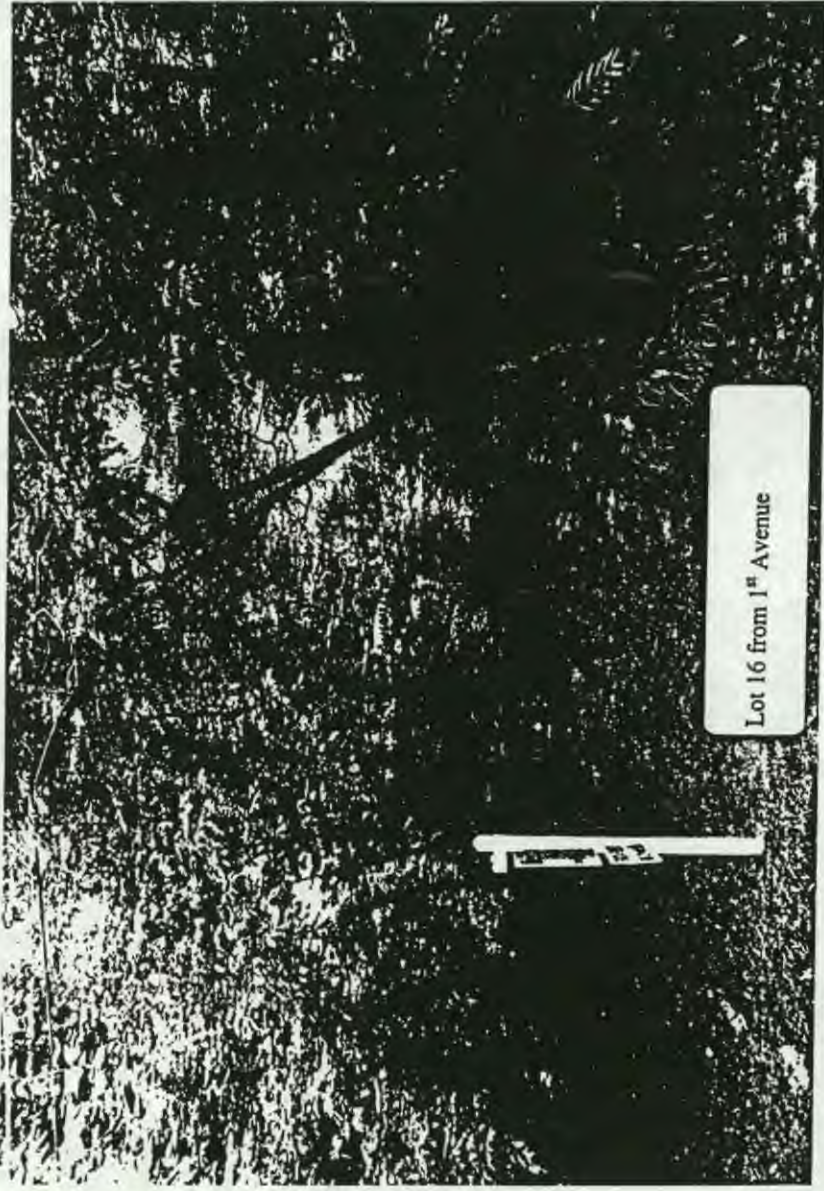
Lot 16 across from subject 11



Lot 17 from Grace Church



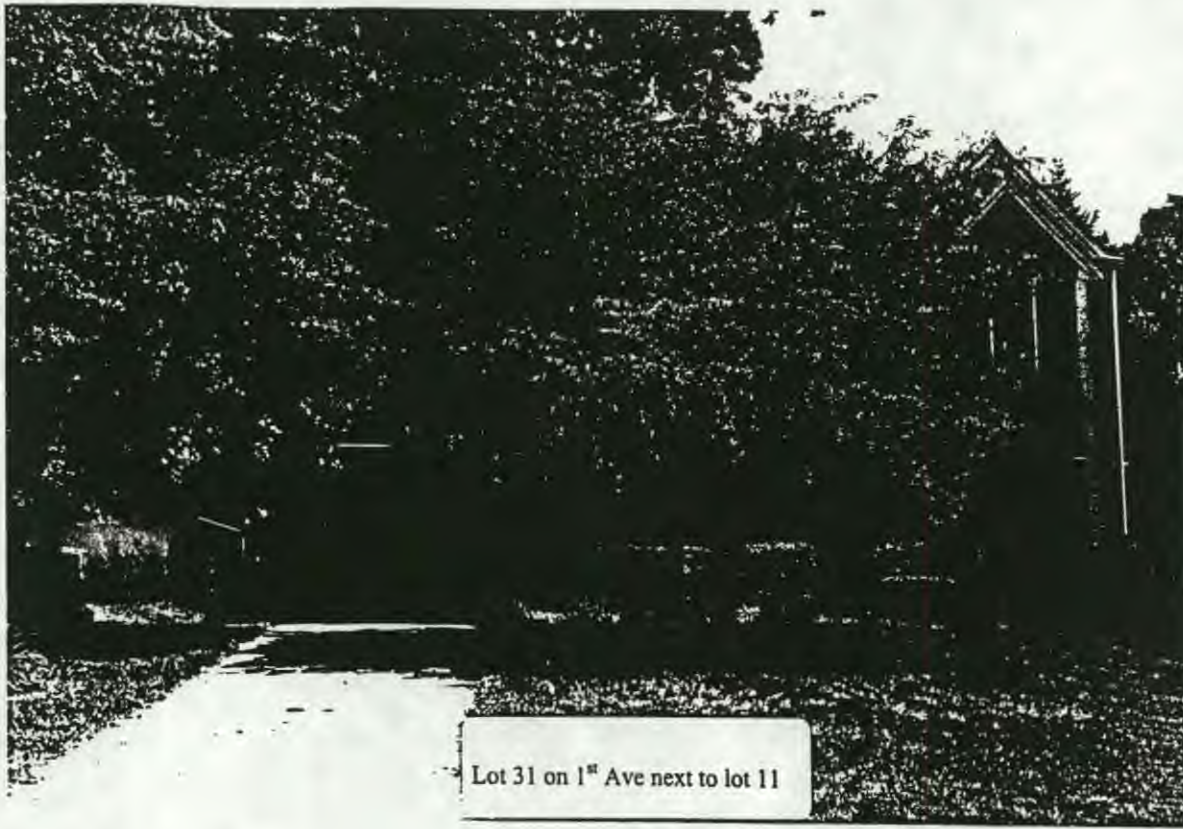
Lot 17 from 1<sup>st</sup> Avenue



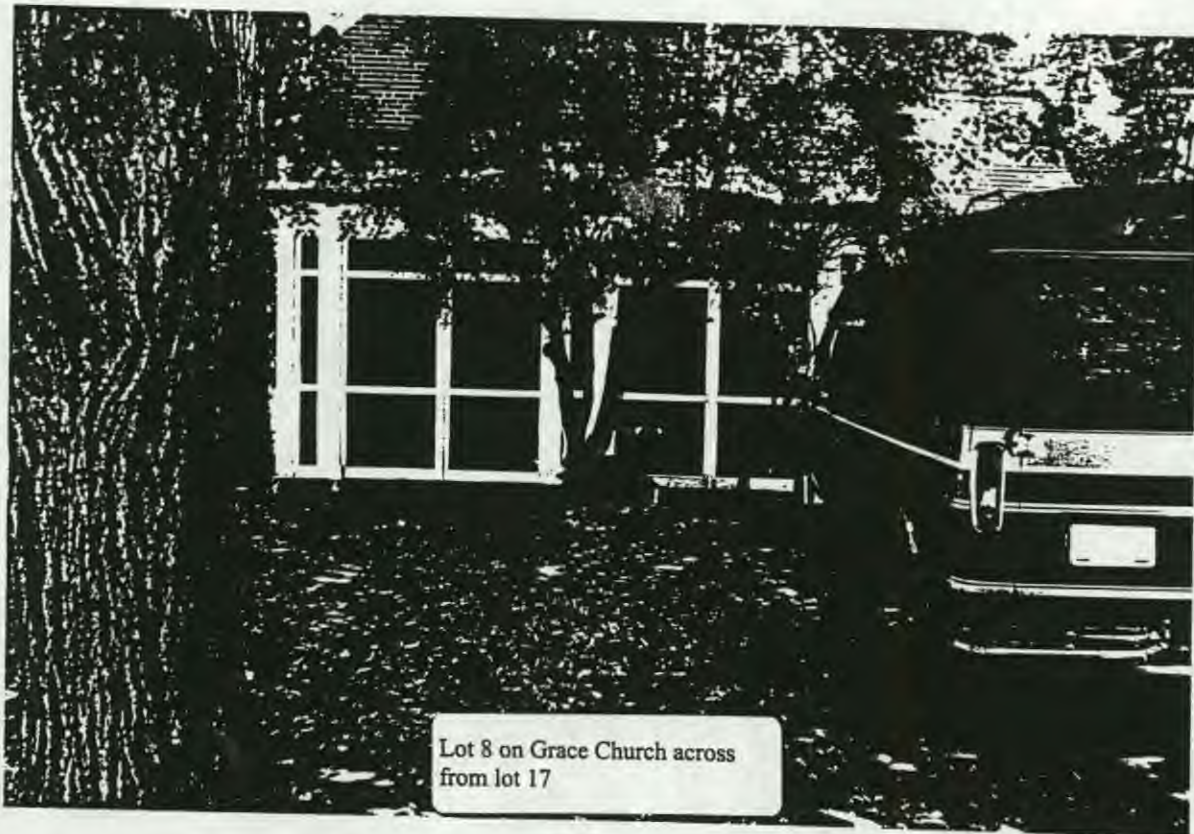
Lot 16 from 1<sup>st</sup> Avenue



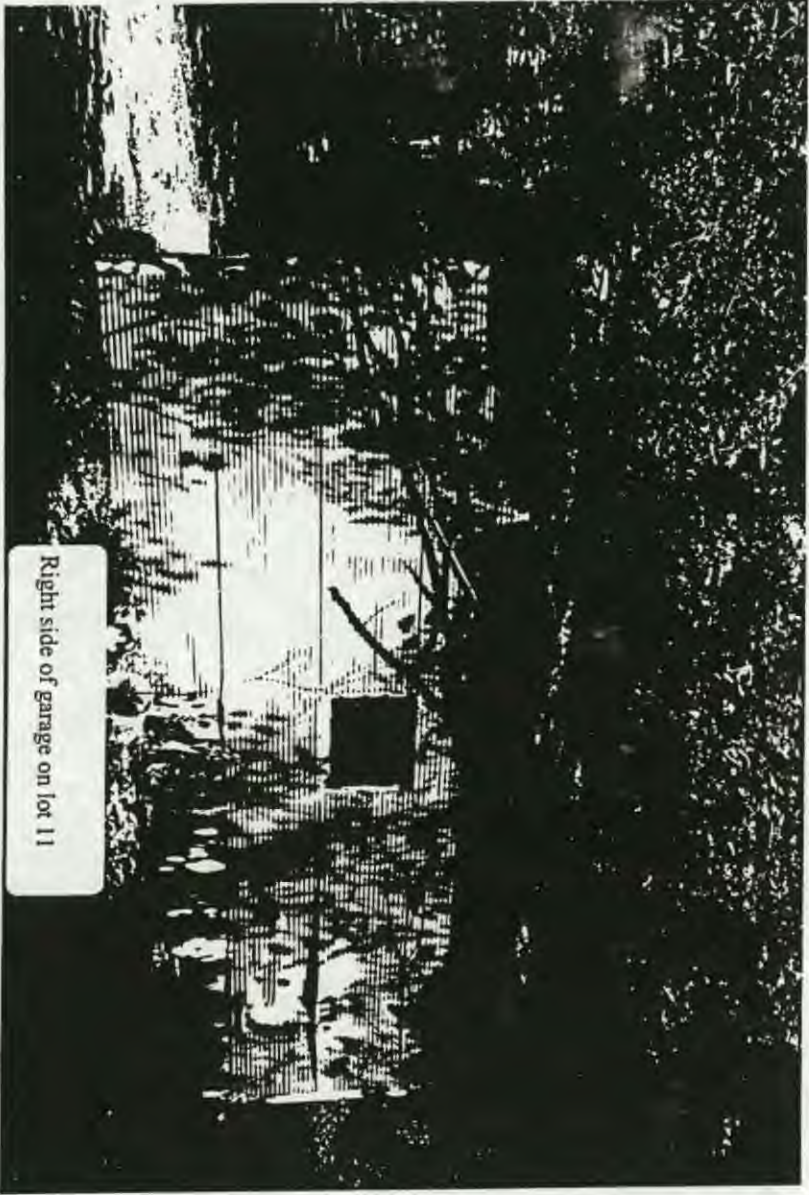
Lot 17 across from subject 10



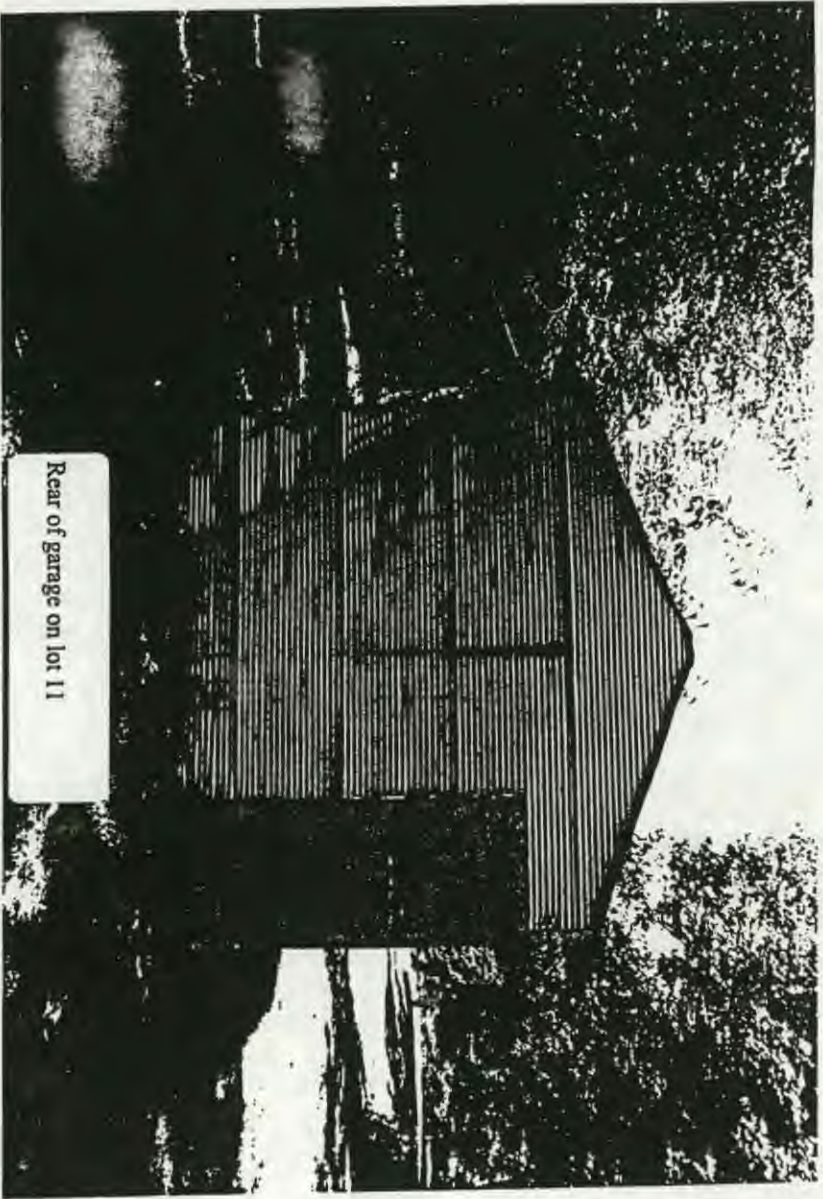
Lot 31 on 1<sup>st</sup> Ave next to lot 11



Lot 8 on Grace Church across  
from lot 17

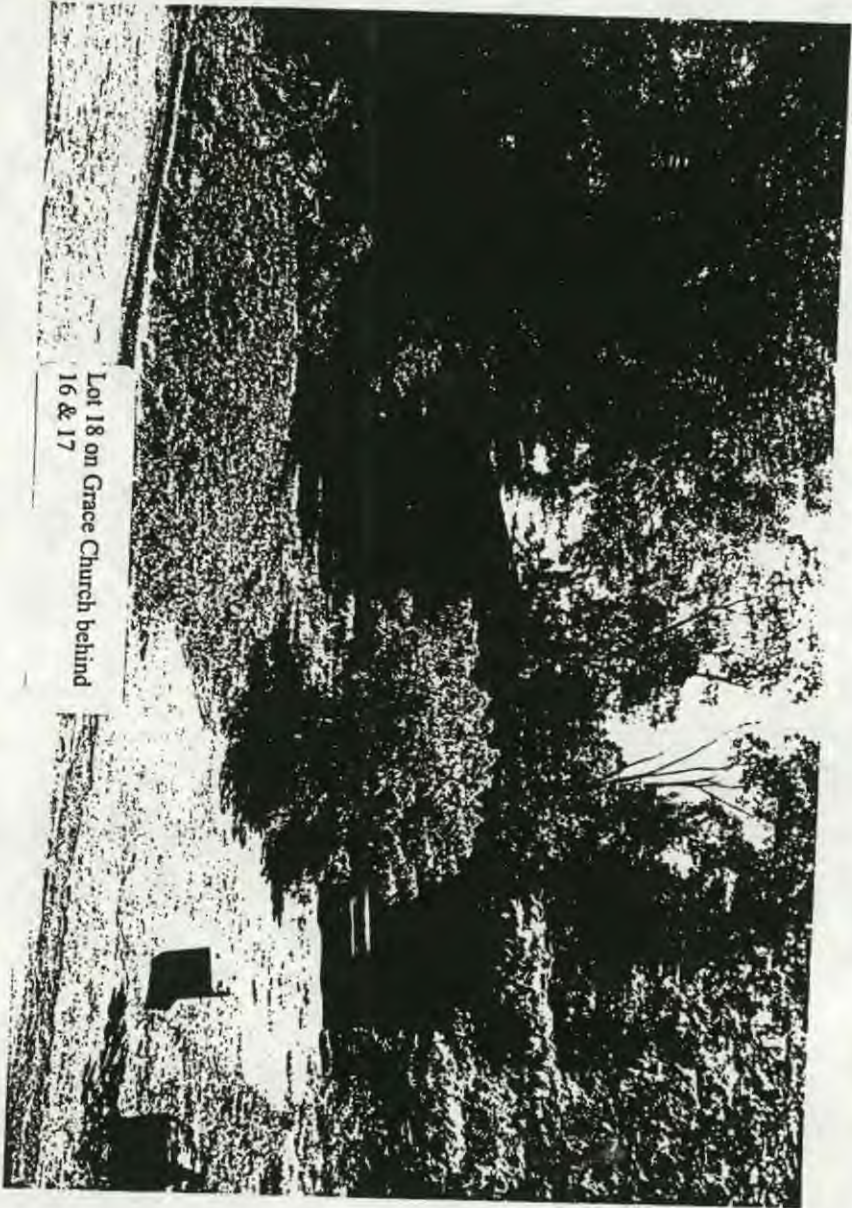


Right side of garage on lot 11

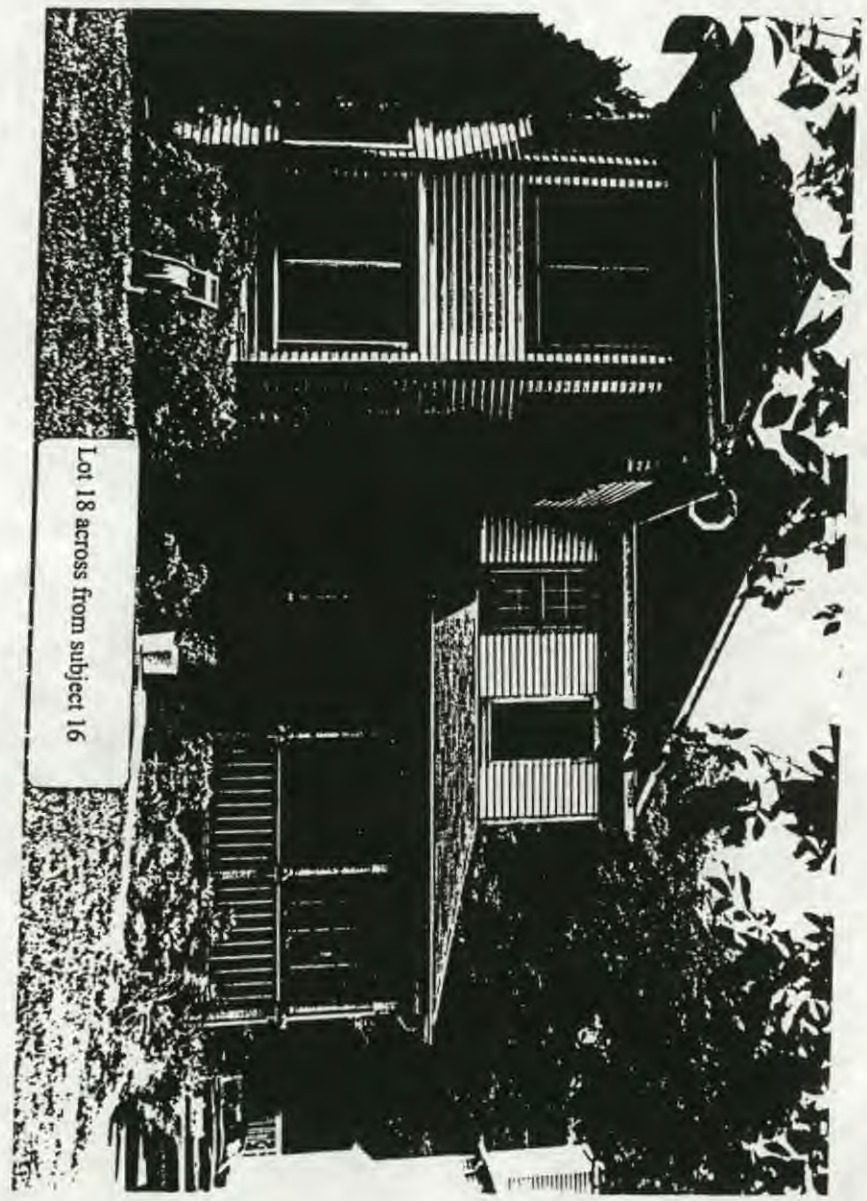


Rear of garage on lot 11

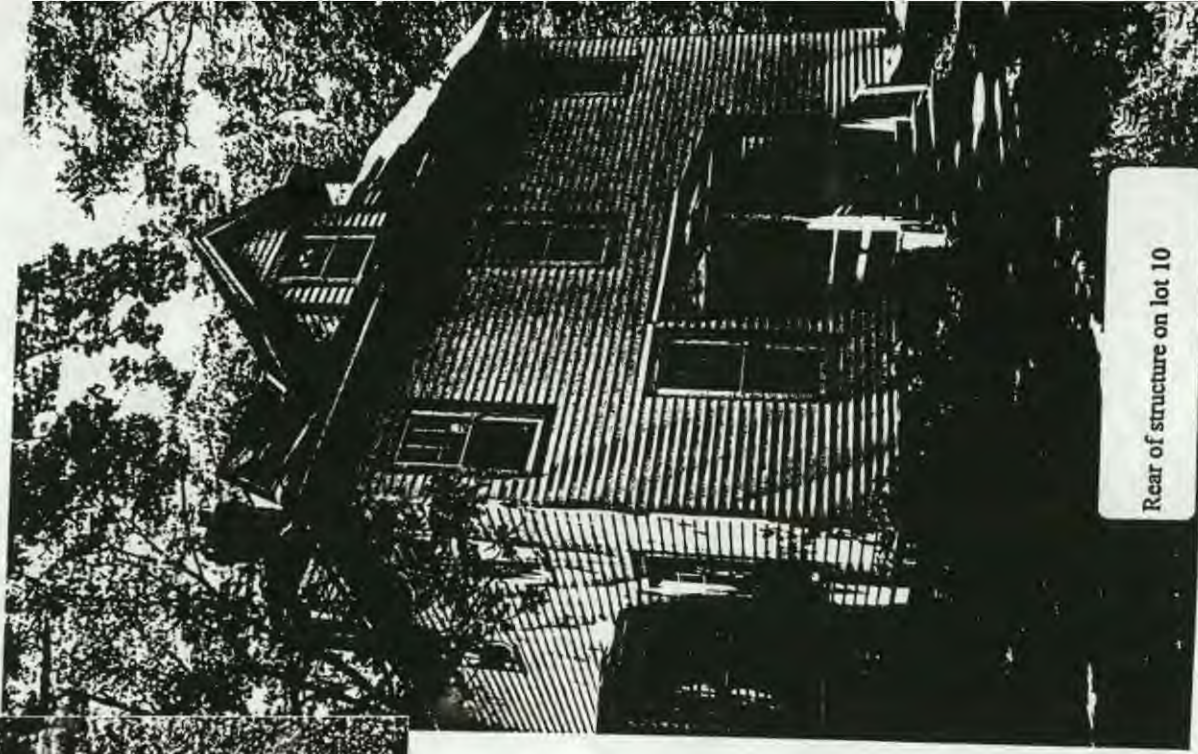




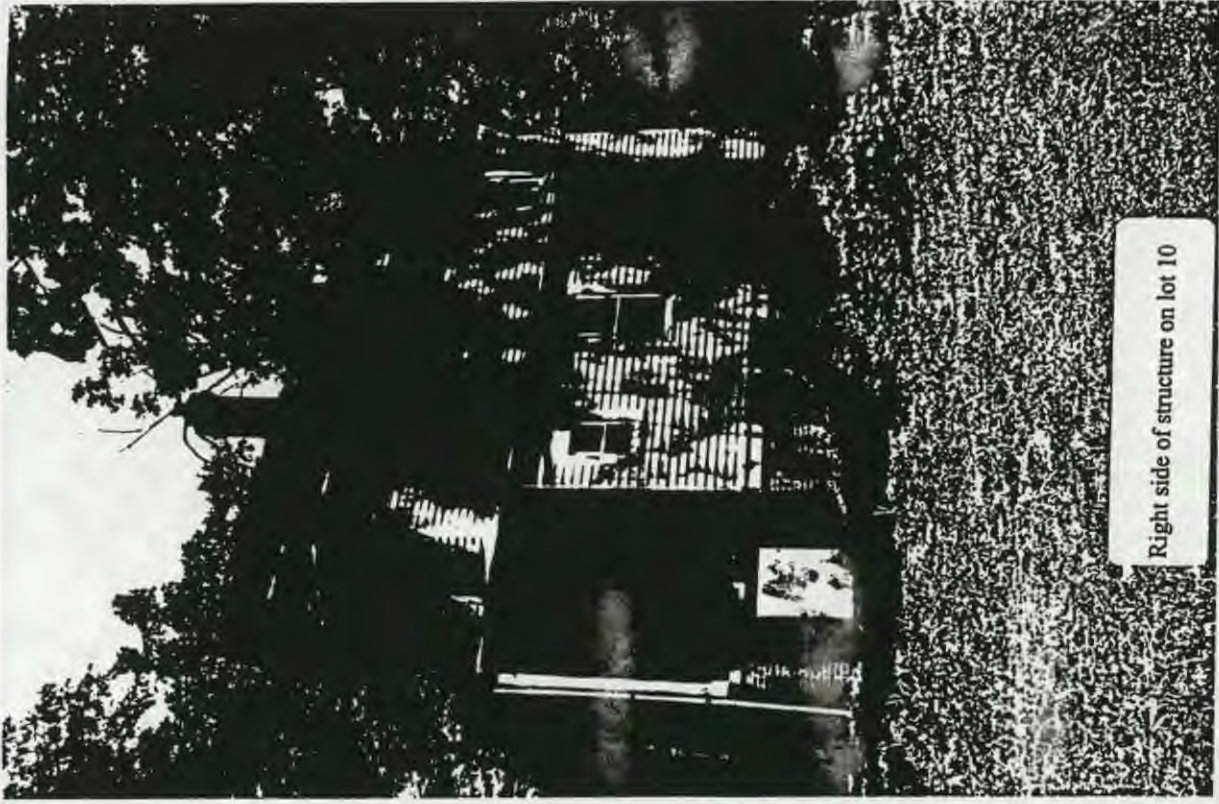
Lot 18 on Grace Church behind  
16 & 17



Lot 18 across from subject 16



Rear of structure on lot 10



Right side of structure on lot 10



# B A R T L E T T T R E E E X P E R T S

Mr. Jonathan Lerner  
Meridian Homes, Inc.  
5110 Ridgefield Road, Suite 413  
Bethesda, MD 20816

October 28, 2002

301.652.4440  
301.652.9224

## **TREE PRESERVATION REPORT: WOODSIDE**

LOCATION: 1<sup>st</sup> Avenue @ Grace Church Road, Silver Spring, MD 20910

DATE OF INVESTIGATION: 10/24/02 & 10/25/02

ARBORIST: Timothy D. Zastrow, ISA Cert. #MA-0043

## **FINDINGS & RECOMMENDATIONS:**

### **TREE REMOVAL**

Twenty-six (26) trees are listed in the Tree Action Key to be taken down. These trees are marked on the Plan with an X. Five (5) present a high risk of structural failure; seven (7) are dead or dying; the remaining fourteen (14) conflict with the proposed construction.

### **LIMIT OF DISTURBANCE & SEDIMENT CONTROL**

The limit of disturbance (LOD) is marked on the attached Tree Preservation Plan. LOD should be marked on site by Arborist and this marking is to govern placement of tree protection fence along the limit of disturbance. Tree protection fence must be installed before any excavation or other construction is begun, but after the performance of root pruning. Sediment control may be installed on the tree preservation fence. If done separately, sediment control fence must be placed on the construction side of the tree preservation fence.

*Local Office:* 8045 Hunterbrooke Lane, Post Office Box 532, Fulton, Maryland 20759-0532

MD/DC: 301-598-8100, Balt.: 410-792-7300, Annap.: 410-741-5900, Fax: 301-598-6700 • [www.treemasters.com](http://www.treemasters.com) • [healthytrees@treemasters.com](mailto:healthytrees@treemasters.com)

THE F.A. BARTLETT TREE EXPERT COMPANY

Corporate Office: P.O. Box 3067, Stamford, Connecticut 06905 • (203) 323-1131, FAX (203) 323-1129  
[www.bartlett.com](http://www.bartlett.com)

49

## **SPECIFIC RECOMMENDATIONS**

**ROOT PRUNING (215 LF)**– Nineteen (19) trees, listed in Tree Action Key, located along the perimeter of the construction zone will experience significant root loss due to excavation or grade changes. It is best to pre-cut these roots to avoid more serious damage caused by excavation equipment.

Prune roots with a Vermeer Root Saw to a depth of 15" as per plan. Roots, which cannot be cut by machine, are to be carefully excavated and cut by hand using a clean sharp saw.

**TREE PRESERVATION FENCE** – Installed along LOD. The tree preservation fence is not to be crossed or damaged. If damage to the fence occurs it must be repaired immediately. No activity or storage of equipment and supplies will be allowed in the preservation areas.

Install tree protection fence as per plan. Fence to be 14 1/2 gauge 2"x4" 4' wide wire mesh supported by 6' long tee-posts at 10' o.c. maximum spacing is the most durable. Top of fence to be marked with bright flagging, placed 3' o.c.

**MYCORRHIZAE AND FERTILIZATION (MyF)** – Seventeen (17) trees, listed in the Tree Action Key and marked with blue tags, which will lose roots from excavation, compaction and/or grade changes will need help to recover from the loss. Treat these trees as follows:

Prior to start of construction – Mycorrhizae & Fertilizer.

Autumn '03 – Mycorrhizae & Fertilizer.

Treat all designated trees with Roots Mycorrhizae @ four (4) ounces per 100 gallons water. Fertilizer to be Bartlett Boost 30-9-7 mixed at 20 pounds per 100 gallons water. Application rate to be 40-50 gallons per 1,000 square feet of treatment area. Post construction treatment area to extend from the trunk to radius of 20' in all directions or the furthest extent of branch spread which ever is greater.

Treatments to be applied by liquid soil injection at 250 psi, three (3) feet on center, four (4) - twelve (12) inches deep over the entire treatment area.

**WOOD CHIP MULCH** - To be applied over the primary root zone for three (3) trees listed in the Tree Action Key. Mulching will conserve water, maintain lower soil temperatures, and encourage growth of non-woody roots essential for continued tree vigor.

Wood chips may be either composted or fresh. Apply two (2) - four (4) inches deep from the trunk to a distance of twenty (20) feet from the trunk, or to the tree protection fence, whichever is less. After spreading chips, broadcast two (2) pounds of prilled urea (46-0-0) or three (3) pounds of urea-form 38-0-0 over every one thousand (1,000) square feet of spread chips.

## **ADDITIONAL CONSIDERATIONS**

### **MONITORING –**

Owner should arrange to have an Arborist check site conditions periodically during construction to make sure; tree preservation is being carried out, damage to trees has not occurred and soil moisture levels are adequate. Follow-up with twice annual inspections by Arborist for three years after construction is complete, once each year thereafter.

### **LONG TERM SURVIVAL AND SAFETY –**

The full implementation of these specifications will give your trees the best possible chance of survival. However, these treatments will not guaranty that the trees will not die, fall over or split during a storm. Recommendations are based upon readily observable conditions and the construction plans made available to us. The practical technology does not exist to provide a comprehensive analysis of root, trunk and limb conditions. Even the strongest trees when exposed to great forces or slow decay will fail.

The trees that have been selected for preservation are those that, in BARTLETT'S experience, have the best chance of continuing healthy growth after construction is completed. All trees present a certain amount of risk. We seek to minimize risk by removing those trees that have obvious defects and targets, but every tree has the potential of causing personal injury and/or property damage. It is up to the property owner to decide how much risk tolerance they have.

**TREE ACTION KEY FOR WOODSIDE @ 1<sup>ST</sup> AVENUE @ GRACE  
CHURCH ROAD, SILVER SPRING, MD**

TREE #.	TREE SPECIES	DBH	CONDITION	RECOMMENDATIONS FOR PRESERVATION
1	Black Gum	14.0	Fair	Cut vines
2	Pin Oak	12.0	Good	
3	Red Mulberry	26.0	Fair	Cut vines & root prune
4	Hickory	12.9	Good	Root prune & fertilize
5	Red Mulberry	12.1	Fair	Root prune
6	Red Mulberry	18.0	Poor	Take down prior to construction
7	White Oak	25.0	Good	Cut vines, root prune, & fertilize
8	Post Oak	34.0	Good	Root prune, mulch, fertilize
9	White Oak	47.0	Good	Root prune & fertilize
10	Hickory	21.2	Good	Root prune & fertilize
11	Am. Holly	9.3	Good	Root prune & fertilize
12	Am. Elm	15.0	Good	
13	Va. Scrub Pine	10.6	Good	
14	Hickory	14.0	Good	
15	Red Oak	46.8	Poor	Take down, in decline with trunk decay
16	Va. Scrub Pine	12.9	Good	
17	Black Cherry	7.5	Fair	
18	Black Locust	15.0	Fair	
19	Black Cherry	12.4	Good	
20	White Oak	33.7	Good	
21	Nor. Spruce	5.8	Dying	Take down
22	Flw Dogwood	5.2	Good	
23	Ailanthus	10.7	Good	
24	Can. Hemlock	10.0	Fair	
25	Black Locust	10.5	Poor	Take down, advanced trunk decay
26	American Elm	8.0	Good	Root prune & fertilize
27	Black Locust	10.1	Fair	Take down, too close to construction.
28	Can. Hemlock	6.8	Dying	Take down
29	Can. Hemlock	6.2	Dead	Take down
30	Hickory	14.0	Fair	Root prune, mulch, fertilize, cable
31	Hickory	16.2	Good	Root prune, mulch, fertilize
32	Black Cherry	15.6	Good	Take down, too close to construction
33	Black Cherry	13.0	Good	Take down, too close to construction
34	Pin Cherry	10.5	Good	Take down too close to construction
35	Tulip Poplar	29.4	Fair	Root prune, mulch, fertilize
36	White Oak	24.3	Dead	Take down
37	Nor. Maple	15.8	Good	

38	Red Oak	50.8	Hazardous	Take down, advanced root and trunk decay
39	Black Locust	6.3	Fair	
40	Pin Cherry	13.3	Dying	Take down
41	Black Locust	12.2	Good	Take down, too close to construction
42	Black Locust	7.8	Fair	Take down, too close to construction
43	Black Locust	11.2	Fair	Root prune
44	Can. Hemlock	14.8	Good	Take down, too close to construction
45	Pin Cherry	12.8	Fair	Take down, too close to construction
46	Persimmon	27.0	Fair	Take down, too close to construction
47	Hickory	13.2	Poor	Take down, too close to construction
48	Hickory	36.0	Hazardous	Take down, decay in trunk
49	Hickory	26.3	Poor	Take down, too close to construction
50	Black Locust	6.6	Fair	
51	Black Locust	6.5	Fair	
52	Red Mulberry	8.0	Good	Cut vines
53	Red Mulberry	14.0	Good	Cut vines
54	White Pine	8.0	Poor	Cut vines
55	White Pine	9.5	Poor	Cut vines
56	Black Locust	6.1	Fair	
57	Red Mulberry	9.0	Fair	Cut vines
58	Black Cherry	6.0	Poor	
59	Box Elder	19.6	Dying	Take down
60	Red Oak	8.0	Fair	Cut vines
61	Box Elder	8.7	Good	
62	Red Mulberry	8.0	Good	
63	Hickory	11.5	Good	
64	Pin Cherry	8.5	Good	
65	Black Cherry	16.0	Good	
66	Nor. Maple	6.0	Good	
67	Can. Hemlock	12.0	Fair	
68	Red Mulberry	10.5	Fair	
69	Black Walnut	9.2	Good	
70	Can. Hemlock	12.0	Good	
71	Hickory	7.0	Good	
72	Tulip Poplar	28.0	Good	Root prune & fertilize
73	Black Walnut	12.0	Good	Root prune & fertilize
74	Black Gum	15.5	Good	Root prune & fertilize
75	Black Gum	28.0	Good	Root prune & fertilize
76	Can. Hemlock	10.0	Good	Root prune & fertilize
77	Black Walnut	9.0	Fair	Root prune & fertilize
78	Red Mulberry	10.0	Good	Root prune & fertilize
79	Can. Hemlock	18.0	Fair	Take down, too close to construction

80	Red Mulberry	15.5	Poor	Take down, too close to construction
81	Black Cherry	12.5	Fair	Take down, too close to construction
82	Can. Hemlock	11.0	Poor	Take down, too close to construction



### HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
5110 Ridgefield Road #413 Bethesda, MD 20816	

#### Adjacent and confronting Property Owners mailing addresses

Thomas E. Owens 9016 1st Avenue Silver Spring, MD 20910	Richard R. Goodden 9014 1st Avenue Silver Spring, MD 20910
---	--

Ralph Cady 9012 1st Avenue Silver Spring, MD 20910	Norman Bissett 9010 1st Avenue Silver Spring, MD 20910
--	--

Victoria Fimea 9007 1st Avenue Silver Spring, MD 20910	Peter Remsen 3938 West Shore Drive Edgewater, MD 21037
--	--

Jean Doing 1708 Grace Church Road Silver Spring, MD 20910	Jevita Kilpatrick 10 Grace Church Court Silver Spring, MD 20910
---	---

g:addresses: noticing table

### HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
-------------------------	---------------------------------

Adjacent and confronting Property Owners mailing addresses

Franklin Jenkins, Jr. 8 Grace Church Court Silver Spring, MD 20910	Adrienne Grant 6 Grace Church Court Silver Spring, MD 20910
--	---

Martin Baltrotsky 1801 Arcola Avenue Silver Spring, MD 20902	
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g addresses: noticing table

1 MR. SPURLOCK: Okay, we're going to reconvene.

2 The first -- we have -- the next item on our agenda are the  
3 preliminary consultations, and we'll start with Case A.

4 MS. WRIGHT: Okay, this first case is in the  
5 potential Woodside Historic District, which is a Locational  
6 Atlas district. It involves this property at 9015 First  
7 Avenue. What I'd like to do is just get a -- quickly go  
8 through some images. Sorry that I have to scan them down  
9 for you to see them, but you do get a sense of the building.

10 This is the house that is on Lot 10 and has the  
11 address on First Avenue. It is a house that was built in  
12 the 1890's; one of the earlier houses in the Woodside  
13 Historic District.

14 Just to give you a couple more views of the house,  
15 it has, especially in the front yard of it, some really fine  
16 large incredible specimen trees. And the property itself is  
17 very heavily wooded. This is Lot 17 viewed from Grace  
18 Church Road. There's some -- you know, very much secondary  
19 growth and there are some large older trees as well. This  
20 is Lot 17 looking from First Avenue. Lot 16, again from  
21 First. And this would be the area of Lot 11, again with the  
22 historic house on Lot 10. They aren't in sort of logical  
23 numerical order. The corner lot is 17, the next lot in is  
24 16, the next lot is 10 with the house, and then this is Lot  
25 11.

1 Turn up the lights. Um, this came in previously  
2 to the HPC as a preliminary consultation and the Commission  
3 offered a lot of guidance. The transcript from that meeting  
4 is included in your packet and I do want to acknowledge that  
5 the applicants have followed a lot of the guidance in the --  
6 from the preliminary consultation. They have reduced the  
7 quantity of paving and grading quite a bit. They've done  
8 that primarily by combining the driveways for Lots 10 and 11  
9 with a shared driveway, putting that entirely on Lot 11.  
10 Also combining the driveways for Lots 16 and 17 and putting  
11 that as a sort of alley from Grace Church. They have gone  
12 to -- for three of the lots -- detached garages. They've  
13 only left the attached garage for Lot 17. The house will  
14 now face Grace Church Road.

15 They have done a detailed tree survey. Twenty-six  
16 trees are being proposed for removal; 12 because they're  
17 dangerous, dead, or dying, and 14 because they conflict with  
18 proposed construction.

19 And they have reduced the size of the house on  
20 Lot 16.

21 I do have the tree survey and the overall plan at  
22 a larger scale, if you'd like to have me pass that around.  
23 Yes, it's a little hard to read as they were reduced for the  
24 packet, so maybe I will pass those around as we're talking.

25 The bottom line is that I think the applicant has

1 been very responsive in terms of many of the HPC comments  
2 from the first preliminary consultation. The only thing I  
3 think that has not been fully resolved really are if the  
4 Commission feels that the houses proposed are of a size and  
5 scale that's appropriate; that won't overwhelm the historic  
6 house.

7           The historic house, using the plan submitted by  
8 the applicant -- I scaled those plans -- and the historic  
9 house has a footprint of very approximately 900 square feet,  
10 plus a front porch. The proposed house for Lot 11 shows a  
11 first floorplan of 1,698 square feet, which -- again, from  
12 what I could scale -- did not appear to include the proposed  
13 porch. The house for Lot 16 had 1,295 square feet, again  
14 which did not appear to include the proposed porch. And on  
15 17, the floorplan was 1,348 square feet, which didn't appear  
16 to include the porch or the two-car attached garage.

17           So, I tried to give you sort of apples to apples  
18 in comparison, and what we see is that even the smallest of  
19 the three houses proposed is still about 50 percent larger  
20 than the historic house in terms of footprint. And  
21 certainly the footprint isn't the end-all/be-all in deciding  
22 if the house is too big, because frequently through  
23 architectural design and massing, create a larger house  
24 which has a -- has a different sense of bulk and mass. It  
25 doesn't appear as massive.

1                   But I think the reality is of a house is two times  
 2 the size of the historic house, no matter how many  
 3 architectural design features you use, the house is going to  
 4 look bigger. I mean, it's very hard, if not impossible, to  
 5 hide that fact. I think the applicant and their architect  
 6 have done a good job with trying to break up the mass of the  
 7 houses and I think that the streetscape plan that they  
 8 provided, and which I have a larger copy of, does show that  
 9 -- you know, again, they -- they've made a good effort to  
 10 accomplish that, but I think in three dimensions the three  
 11 new -- viewed in three dimensions, not just a streetscape --  
 12 the three new houses are going to appear significantly  
 13 larger than the historic house and I think they ultimately  
 14 are going to create a situation where that house doesn't  
 15 have the same precedents and -- presence that it now has.

16                   But I think that's -- again, this is a preliminary  
 17 consultation and this is an opportunity to discuss these  
 18 matters with the applicant. So, with that I'd like to turn  
 19 it over to the applicant who is here and while he's  
 20 speaking, I will go ahead and pass out some of these  
 21 drawings in a larger scale. Unless you have questions?

22                   MR. SPURLOCK: Any questions of Staff? If you  
 23 could just state your name and role for the record.

24                   MR. KLINE: Sure. Good evening, my name is Jody  
 25 Kline. I'm an attorney in Rockville. I was not able to be

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1 here at the first hearing, but I did have a chance to read  
2 the transcript and understood the discussion that you had  
3 before. And that's really how we wanted to initiate our  
4 presentation was just to amplify on some of the comments  
5 that were made by Staff this evening and in the staff report  
6 using a outline that maybe we have given to Ms. Wright --  
7 I'm not sure. Do you have copies you can hand out of the  
8 outline?

9 MR. LERNER: It's right there.

10 MR. KLINE: Yeah. And then, just basically give  
11 you -- as I said, amplify on some of the comments and the  
12 modifications that were made and then -- the question that  
13 Ms. Wright raised about do the new structures defer to the  
14 historic structure.

15 Jonathan Lerner with the contract purchaser is  
16 here on my left. Gerry Yantis, the architect who testified  
17 before you will lead our presentation.

18 MR. YANTIS: Good evening. My name is Gerry  
19 Yantis with Sutton Yantis Associates Architects, and what  
20 I'd like to do is just briefly kind of go through a summary  
21 of the things we had done in terms of revising the site plan  
22 and architecture, which addresses the comments from our last  
23 consultation meeting.

24 One of the biggest issues I think that -- one of  
25 the concerns that you had was the amount of paving. And I

1 believe we had four driveways coming off of First Avenue at  
2 that time. We have reduced that down to one driveway off of  
3 First Avenue, by sharing the lot to the right of the  
4 historic property and the historic property itself -- you  
5 know, sharing the driveway for two detached garages. The  
6 one on the historic property is a proposed one that, you  
7 know, we're showing the ability to have a two-car garage  
8 there; whether that actually gets built or not will be left,  
9 you know, at a future date.

10 But, we're proposing a two-car detached garage on  
11 Lot 11 -- these lots are a little hard to keep track of, but  
12 -- and then the other thing we've done on Lots 16 and 17 is  
13 done a driveway along the rear property line, which would  
14 access a one-car garage on Lot 16 and then a two-car garage  
15 which is still attached to the home on Lot 17. And the big  
16 idea there was to, between these two different concepts was  
17 to minimize the paving, which also would minimize a lot of  
18 the grading and potential tree loss that would go along with  
19 that.

20 The other thing we -- just in general, just the  
21 location of the houses; the orientation of the houses and  
22 the grading. We've been able to minimize extremely by  
23 really mini -- the grading is just around the new homes  
24 itself and a little bit along the driveway for Lots 10 and  
25 11, so the amount of actual grading that's going to need to



1 be done on this entire site will be very minimal, thus we  
2 can save as many trees as possible, and also just the  
3 integrity of the site as it exists.

4 Also, just in terms of the tree save area, you do  
5 have a -- a detailed tree survey was done and as it turns  
6 out, only approximately six percent of the trees that exist  
7 today will be taken down that are in good condition. Also,  
8 the largest of those trees is no greater than a 16-inch  
9 caliper, so I think we've done a very good job in terms of  
10 keeping any significant trees on the entire property.

11 I'd like to continue with the actual architecture  
12 of the three new homes and the changes we've made there. On  
13 Lot 16, which I think in our last meeting was the most  
14 significant of the three for you -- although they're all  
15 significant, but I think more focus was on that particular  
16 one as you drive up First Avenue, it's the one that will  
17 impact the historic property the most. We had a one-car  
18 garage proposed on that. That has been removed from the  
19 structure and, as I said before, we've made it a one-car  
20 detached at the rear of the property.

21 The two-story portion of the front of the house --  
22 that area I just pointed to -- is approximately something  
23 less than 28-feet wide, which is approximately seven feet  
24 less than the width of the actual historic property. It  
25 does widen out at the back of the property, but it's just a

1 small wing or addition kind of effect that would be at the  
2 back of the house. So, again, I think the way that's  
3 smaller in the front and steps back goes a long way to  
4 reducing the mass of that house as it relates to the  
5 historic property.

6 Also, we have added a full porch on the front of  
7 the house and also wrapped it down the right-hand side of  
8 the house, which faces the historic property to help to  
9 minimize the scale of that side of the house that would face  
10 the historic property, again just to keep the scale down to  
11 a more of a one-story feel.

12 On Lot 11, which is the house to the right of the  
13 historic property, there is a two-car garage -- to the  
14 house. That has been removed from the structure. Again,  
15 that was -- we now have a two-car detached garage proposed  
16 at the rear of the property. Also, the house was flipped on  
17 the property so the one-story portion of the house now is  
18 adjacent to the historic property, so the rooflines --  
19 again, where it's -- it's lower in scale, again, it is  
20 adjacent to the historic property, again, to minimize the  
21 impact there.

22 A full porch has also been added to that home on  
23 the front as well as on the left side of the house, and  
24 again, an effort to provide a -- a lower scale of the house  
25 along that side to, again, minimize the impact on the

1 historic property.

2           And also we've made design changes to the front  
3 facade of that home to make it different from Lot 16, since  
4 they kind of are mirror images on each side of the historic  
5 property, but maintain the similar style of Lot 16 as well  
6 as the historic property.

7           Lot 17; probably the most significant thing we did  
8 there was actually reoriented the house to Grace Church Road  
9 in an effort to really take this almost out of the picture  
10 per se. We also reduced the overall width of the house by  
11 two feet. Once we reorient this house and have the ability  
12 to save all the trees on the corner of this property and the  
13 front of this property, which I think you saw in the slides,  
14 in effect from First Avenue you'll just about not even see  
15 this house at all. Now, in the rendering I've shown a few  
16 trees there, but I didn't want to completely obliterate it  
17 so you could still see the house and the architecture, but  
18 in fact, until you -- unless you're really driving up maybe  
19 from the other way on First Avenue, you may not even see  
20 this house at all from First Avenue.

21           But we also -- even if you did, we -- we did add a  
22 full porch, again, to the front of the house, but also  
23 wrapped it along the side that would be facing First Avenue  
24 to enhance the aesthetics of that which would end up being  
25 the side of the house, so whatever you did see would still

1 be a very attractive elevation, so in effect almost have two  
2 fronts to this house.

3 And just like I mentioned before, the -- all the  
4 trees that are really contained in that corner are going to  
5 be saved since we can minimize our grading so we can  
6 preserve the historic setting of the entire property.

7 So, that's just kind of a general summation of the  
8 items that we addressed, and I'd be happy to answer any  
9 questions.

10 MR. KLINE: Mr. Spurlock, maybe we'd do this  
11 better by just responding to your individual questions with  
12 what you can see -- I mean, Ms. Wright's correct --

13 MR. SPURLOCK: Actually, we need to get you on the  
14 portable mic. I'm sorry.

15 MR. KLINE: The other point I was going to make is  
16 that Ms. Wright is correct; this is a one-dimensional  
17 representation what's going on, and we'd be pleased to get  
18 more into the square footages, because he quotation on the  
19 numbers are all correct, but what Mr. Yantis was trying to  
20 point out is how he had taken these two houses and put the  
21 porches basically on the side facing the historic resource  
22 that you had -- and then this elevation is particularly good  
23 because it shows you the shading line and you can see on the  
24 site plan that the longest widest part of the house is  
25 actually on the same plane with the front of the historic

(db)

1 structure, so more of -- the greatest mass of this house  
2 exists is consistent with the setback for the historic  
3 resource. I just point that out.

4 How can we answer questions about what we've done;  
5 where we're trying to get to?

6 MS. WATKINS: I had a comment about the house on  
7 Lot 11. You spoke about reducing the side closest to the  
8 historic resource to one-and-a-half stories. I just feel  
9 that the roof reads as a large mass. I can appreciate what  
10 you were trying to do, but just from elevation it -- I think  
11 there's too much roof.

12 MR. YANTIS: Well, I could -- just to comment on  
13 that. The -- there is roof there, but if that was a two-  
14 story wall, I think it would read significantly different.  
15 So, although there is some mass there, it is significantly  
16 different being a roofline that is, in this particular  
17 rendering, going away from us versus if that was a vertical  
18 plane of wall. So, that was kind of the intent, again, the  
19 other part -- the comment that I made was we flipped the  
20 house because the other side would be a whole two-story wall  
21 along the entire length of the house versus this side where  
22 it is not. So, it was an effort to -- whatever -- to bring  
23 at least the side of the house that has the smallest scale  
24 to it to adjacent to the property.

25 MS. WATKINS: Perhaps even dropping the roof peak

1 a few feet below the top of the gable of the two-story  
2 section would accomplish reducing that mass a little bit, I  
3 think.

4 MR. YANTIS: Well, that's something we can  
5 certainly look at.

6 MR. BRESLIN: I had a question about the location  
7 of the house on Lot 11. Right now it is in front of the  
8 historic resource, and it looks like it could be pushed back  
9 so it's roughly as far back as the historic resource. Have  
10 you thought about that? Is that a possible?

11 MR. YANTIS: That's something we could take a look  
12 at. The -- some effort was given to try to provide -- you  
13 know, on the other two lots, Lot 16 and 17, because of the  
14 envelope -- that is, the building envelope that's left for  
15 us given the average setback and the shorter depth of the  
16 property, certainly there was hardly any rear yards on  
17 there, so we were trying to maintain some sort of a decent  
18 rear yard here, but that's certainly something we could  
19 potentially --

20 MR. BRESLIN: It looks like possibly the historic  
21 house is now the odd man out as far as setback?

22 MR. KLINE: That's probably -- Mr. Lerner had a  
23 comment, but I think part of the idea was to create a step  
24 back because you can see the next lot further to the east --  
25 I'm sorry -- thank you. The next lot further east is a

1 little bit further ahead so you actually are creating  
2 basically a pattern coming back here. But you had a  
3 comment?

4 MR. LERNER: Two things -- and I'm Jon Lerner with  
5 Meridian Homes. Two things also that are worth -- and that  
6 we're considering as we're looking at that lot. One is  
7 there's a -- there is one of the most significant trees on  
8 the property is a 34-inch oak that's on -- actually on Lot  
9 -- on the historic lot. We've spoken with the -- obviously  
10 you've seen we've done the whole tree survey. We've spoken  
11 with the tree survey person and while it's not going to kill  
12 that tree, moving the house back, you know we just didn't  
13 really want to take that chance. I mean, it's not something  
14 -- you know, it's not something that we wanted to mess with.

15 Can we come back another five feet without killing  
16 that tree? Sure. You know, but I don't think we should --  
17 I don't think -- we can't -- I don't believe that it would  
18 be in the best interests of the tree to come all the way  
19 back because it's likelihood of survival and it being one of  
20 the nicest trees on the property, I think that would be  
21 probably not worth --

22 MR. BRESLIN: I'm glad to see you're so concerned;  
23 that's a good thing.

24 MR. LERNER: It's a great tree.

25 MR. BRESLIN: And I think that's -- I would just

1 think that has to be weighed with -- I think the sizes of  
2 the three new houses -- I think you've done a lot to  
3 mitigate the size. I think it reads a lot better than it  
4 did; however, they still are large and you're still kind of  
5 pushing the envelope as far as size, and I think the fact  
6 that they are closer -- all three of them are closer than  
7 the historic house, it just emphasizes the fact and it will  
8 make them seem larger.

9           So, I would explore ways of making -- have the  
10 house on Lot 11 either smaller or farther back or whatever  
11 you can do to mitigate the size.

12           MS. VELASQUEZ: Isn't the house on Lot 11,  
13 however, downhill from the historic house?

14           MR. YANTIS: That is correct.

15           MS. VELASQUEZ: So, the historic house is still  
16 going to sit up higher and of more prominence I would think.

17           MR. YANTIS: That is correct. Actually, both Lots  
18 16 and 11, the houses are going to be sitting lower.  
19 Actually, if you look on the rendering you can actually see  
20 the roofline of the historic property will be taller than  
21 both of the houses, which will, again -- I'm glad you  
22 noticed that. It's -- that will actually add, you know, a  
23 lot to keep the presence of the historic house; certainly  
24 both of those being lower is going to help significantly,  
25 and I think what Mr. Kline had pointed out just in terms of



1 kind of creating a window, if you will. There are other  
2 houses on this street, so instead of just making an abrupt  
3 change, I think it helps to create that kind of -- the curve  
4 to bring back and kind of a presentation to the historic  
5 house.

6 But, again, a lot of effort has been given to try  
7 to save all the trees like Jon Lerner had spoken about, and  
8 that is one of the more significant ones that is between the  
9 historic property and Lot 11.

10 MS. VELASQUEZ: I want to thank you for taking so  
11 much home with you from your first preliminary. We knew  
12 that driveway could go behind those houses and I -- I really  
13 appreciate the fact that you did pay so much attention.  
14 It's just so gratifying -- and everybody down the line, too.

15 MS. O'MALLEY: I'd like to go back to that house  
16 on Lot 11. It's the largest house. It's almost 1,700  
17 square feet, so if you made the house narrower, you could  
18 move it back without really encroaching on the tree any  
19 more. So, that would take off -- if you could take some of  
20 the width off that house?

21 MR. YANTIS: We'd have to take a look at that.  
22 The -- what's hard on this -- at least on this site plan is  
23 obviously the tree cover is not shown there and it's --  
24 because of the large -- it's a large tree and that tree  
25 cover is pretty significant, so we'd have to look at that

1 and see if, you know, that would be possible. But it's -- I  
2 know it does have -- we have to kind of look at that actual  
3 part of it.

4 MR. LERNER: You can probably see we pushed that  
5 -- oh, I'm sorry. Go ahead. You can probably see we pushed  
6 that house all the way to the right so far to try to stay  
7 away from that tree. And, you know, Gerry had said it, but  
8 I just wanted to say it perhaps a different way, the -- the  
9 heights of the houses that you're looking at there are true  
10 heights. We've, you know, measured the top of the existing  
11 building and we have -- you know, we've used real -- the  
12 real heights of the new houses, so you're looking at the  
13 heights as they would look, and, again, the historical  
14 structure is the tallest of the -- stands the tallest from  
15 the street.

16 MS. WRIGHT: And that's something -- I want to add  
17 if that's, again, an important feature for the Commission on  
18 this when this does come in for a Historic Area Work Permit,  
19 we need to have some sort -- we have other situations where  
20 new houses have been built and part of the reason the  
21 Commission approved them was because they were told it's  
22 going to be lower than the adjacent historic house, and then  
23 when they get out there and the foundations are being set  
24 and the inspector comes out and says you've got to do this,  
25 this, and this, suddenly the house ends up being two feet

1 taller than the historic house.

2 So, we need -- if that is something the Commission  
3 thinks is important, we need to have some way to make sure  
4 that that really -- really gets implemented during  
5 construction, because we've had several bad experiences  
6 along those lines.

7 MS. O'MALLEY: Including one where someone had to  
8 take off the top four feet of their house.

9 MR. LERNER: That makes for a low ceiling, doesn't  
10 it?

11 MR. YANTIS: I think the good news here in terms  
12 of that, it would actually be more difficult to build a  
13 house higher and probably more costly, so it would be hard  
14 to err in that direction in this case just because of the  
15 topography, but, you know, certainly if you wanted to  
16 address that --

17 MR. SPURLOCK: You'd be surprised.

18 MR. LERNER: I will tell you that we don't want  
19 more steps than are shown on the fronts of these houses, so  
20 we'll do everything that we can do to keep them right where  
21 they're shown.

22 MR. SPURLOCK: Another question about -- is there  
23 any way of lowering that amount of roof? I mean, we don't  
24 have side elevations and even your front elevations, like,  
25 don't correspond to the renderings. I mean, I assume these

1 are in process and you -- you know, you're adjusting things  
2 as you go, but it would be -- there's a lot of roof there to  
3 look at and that's going to be pretty visible. Is there any  
4 way of maybe squeezing those rooms -- master bedroom and  
5 some of those other rooms -- but to get the ridge line down  
6 to get that down --

7 MR. YANTIS: You're talking about this roofline  
8 here? That's -- that's something we could take a look at.

9 MR. SPURLOCK: Because I think that would help  
10 mitigate the -- I did have one other thing. I was a little  
11 disconcerted when I realized -- you know, I thought it was  
12 pretty clever that you moved the garage -- the attached  
13 garage to the back of the house on Lot 17, and then I was a  
14 little bit disturbed to realize that you'd actually turned  
15 the house sideways and it no longer faces First Avenue.

16 It's -- you know, I think what we were hoping to  
17 do was not have the garages on the front facades of the  
18 building, and in essence, what you've done is just turn the  
19 house and kept the garage on the front facade of the  
20 building.

21 Is there any way -- I don't know how other people  
22 feel about this, but I'd like to hear you discuss that.

23 MS. WILLIAMS: Yeah, I'd like to reiterate that  
24 concern. I guess, basically that -- on Lot 17 your First  
25 Avenue elevation is now a -- side wall elevation. So, it

1 kind of detracts from your whole. I mean, you've got these  
2 nice little -- you know, this four-part thing, but all of a  
3 sudden there's this one giant house that doesn't fit.

4           And to sort of take that a step further, there is  
5 something -- I mean, I think your drawings are beautiful and  
6 they're very compelling. There's something a little bit  
7 disconcerting about them in that there almost this ersatz  
8 quality to them that they look great on the front, but then  
9 you turn that corner and all of a sudden, "Yikes", they're  
10 real houses there with it's attached, you know, integrated  
11 garage and, you know, the real builder subdivision house  
12 look to it. So, it's almost like you've manipulated the  
13 front elevations only and left the whole the same.

14           So, I don't know -- for me, obviously the size is  
15 important, but also I want to look at quality construction.  
16 I mean, what kind of materials are you using, are these  
17 really going to be in keeping with an historic structure and  
18 the character of the -- district? Are we looking at, you  
19 know, authentic materials or are we looking at vinyl walls  
20 and vinyl windows?

21           MR. LERNER: The existing house is aluminum  
22 siding.

23           MS. WILLIAMS: Well, that's a replacement.

24           MS. WRIGHT: One thing I would say that I raised  
25 when we did talk about that house on Lot 17 and about the

1 fact that you would see a side elevation when you have front  
2 elevations along 16, 10, and 11 --

3 MR. LERNER: Right.

4 MS. WRIGHT: -- the two points that the applicant  
5 made to me that I thought were useful is number one, that  
6 the house on Lot 18, which is a modern house, faces Grace  
7 Church Road. So, there is an existing house facing Grace  
8 Church Road. There is a reason that it could make sense to  
9 have a house facing Grace Church Road. The second thing  
10 that I thought was a compelling argument is that by having  
11 the house face Grace Church, they aren't going to have a  
12 walkway or any kind of disturbance in what would be the  
13 front yard of the house if it faced first, and by doing  
14 that, they're going to retain a lot of trees, which really  
15 doesn't show up on this rendering, but does show up on the  
16 site plan. There are lots and lots of trees at that corner.

17 So, I guess I thought maybe that side elevation --  
18 I had talked to them about maybe extending the wraparound  
19 porch a bit or trying to do something that articulates that  
20 side elevation a bit more, but I guess I was sort of  
21 convinced by the fact that there were going to be so many  
22 trees on that side yard that it wasn't going to be as much  
23 of a problem.

24 But I'll let the applicant make their own  
25 arguments, but just that we did have that discussion.

1 MS. WILLIAMS: I think conceptually the idea of  
2 having the side facing First Avenue is fine. I have no  
3 problem with that concept. What I'm saying is that as soon  
4 as you go to Grace Church Road, all of a sudden your front  
5 elevation is nothing unique. It is nothing but a builder  
6 house. It has nothing to do with the character of the  
7 historic district, and so I don't have a problem with the  
8 side elevation being there and I don't really have a problem  
9 with the integrated garage. I guess I'm just looking to see  
10 some of the quality of construction and the builder quality  
11 of --

12 MS. WATKINS: I have one issue with turning the  
13 lot -- house to face Grace Church. Then essentially the  
14 backyard and side yard of that house face First Avenue, so  
15 say something wants to put their swing set in the backyard  
16 or the side yard, it's going to be essentially the front  
17 yard of these other -- of 16. I don't know if that  
18 concerned anybody else, but --

19 MR. LERNER: Where would they put the swing set if  
20 the house faced First Avenue?

21 MS. WATKINS: They would probably put it in the  
22 backyard, but there's no backyard so --

23 MR. LERNER: In the asphalt driveway.

24 MS. WATKINS: Right.

25 MR. LERNER: That's the other reason is, you know

1 we feel like people deserve a -- deserve a backyard when you  
2 buy a house. I mean, that was part of our -- I know that's  
3 not what you guys are here about, but, you know, we felt  
4 like it was -- I felt like if I had to sell this house, it  
5 was important to have a grassy area in the backyard for, you  
6 know, kids to play on.

7 MS. VELASQUEZ: Actually, I thought it was clever  
8 to turn the house, because it accomplished one of my major -  
9 - or, answered one of my major concerns and that is the  
10 driveway is behind the houses there; that gives us a  
11 beautiful green tree area there on the corner -- historic  
12 area and -- and I think it's so much more attractive and  
13 it's just miles away from where you started.

14 MR. LERNER: The other -- thank you. The other  
15 points are that if you spun it around, you would need to  
16 grade further down and you would need to remove more trees  
17 and you would have a walk that comes around the front -- you  
18 know how those things look. Just this, you know, straight  
19 walk. And, you know, we didn't -- you know, we just didn't  
20 want that. We just didn't think that that was appropriate.  
21 And, plus -- you know, and then the other thing that really  
22 makes it work is all these trees here that are -- you know,  
23 that are protecting the view, you know, that get to save at  
24 this point.

25 MR. SPURLOCK: One thing I'd like to have



1 everybody sort of comment on if we could is the sizes. I  
2 mean, that's one of the things that Staff brought up in  
3 their report.

4 MR. LERNER: I have one -- can I make a comment on  
5 that before everybody talks about it? I totally agree with  
6 everything that Gwen said. However, one thing that hasn't  
7 been said is that whenever we talked about the historic  
8 house in the last meeting, we talked about this addition  
9 that had to go on to the house in order to make it livable  
10 whoever -- you know, when that happened and we had a  
11 discussion about that, too.

12 So, when we're comparing the square footage of the  
13 houses, we should probably compare the future square footage  
14 of the historic house versus, you know, what everybody --

15 MR. SPURLOCK: So, you're contemplating an  
16 addition? That's something you would come back --

17 MR. LERNER: No, no, no. I think that -- who was  
18 -- I'm sorry, who worked before you --

19 MS. WRIGHT: Perry. I think what he's saying is  
20 any future owner. Not them --

21 MR. LERNER: Not me.

22 MS. WRIGHT: -- but any future owner is probably  
23 going to want to put --

24 MR. LERNER: Is going to put an addition on that  
25 house.

1 MS. WRIGHT: -- historic house.

2 MR. LERNER: So to -- and that was your  
3 predecessors opinion and I think it was yours, too, and  
4 somebody else's. I don't know. But at any rate --

5 MR. SPURLOCK: But that's sort of the crystal  
6 ball.

7 MR. LERNER: Oh, totally. Totally.

8 MR. SPURLOCK: So, why don't we just deal with  
9 what we have in front of us.

10 MR. LERNER: You got it.

11 MR. HARBIT: I wanted to encourage my fellow  
12 Commissioners to look at the lower floorplan for the house  
13 on Lot 17 and the lower floorplan the house on Lot 11, and  
14 they're basically the same house. They're exactly the same  
15 -- and what you've done is you've taken what used to be the  
16 garage -- or, what is the garage on Grace Church and turned  
17 it into a study and a mudroom. But it's a template house.

18 So, I don't -- while I really think -- commend you  
19 for thinking creatively on how to make the house on Lot 16  
20 look -- it's front facade to look compatible with the  
21 historic resource, you've basically just taken the same  
22 template for the house around the corner and plopped it down  
23 on Lot 11, and for me it doesn't work.

24 It doesn't work for several reasons. It's too  
25 wide in the front. The mass is too large. If you want a

1 house of that size -- total square footage, you need to  
2 think creatively on how to make the front of that house on  
3 First Avenue be respectful of the historic resource in terms  
4 of its width. It just -- it's just too wide for the  
5 appearance, I think, on First Avenue.

6 I don't see any -- the second point -- question I  
7 have is I don't see any plans for how you plan to treat the  
8 historic house itself. What rehabilitation plans do you  
9 have for that?

10 MR. LERNER: We had -- you were here at the  
11 last --

12 MR. HARBIT: I was here, and you said you were  
13 going to sell it to somebody who knew how to do it.

14 MR. LERNER: I said I was -- I said I was going to  
15 sell it to somebody who specialized in --

16 MR. HARBIT: Right.

17 MR. LERNER: -- historic renovation.

18 MR. HARBIT: Exactly. And so it would be very  
19 helpful for us to know what that plan is. If you've  
20 identified that person, I -- what my biggest concern is that  
21 what will hap -- could happen here is that you come in and  
22 peel off the prime lots and no significant attention is paid  
23 to the historic resource itself. So, that's the important  
24 part of the final solution, I think.

25 And the third thing is that I look at your tree

1 plan and there are five trees -- I've passed the sheets down  
2 the way -- that I would encourage you to look at in terms of  
3 why they need to go. Maybe my fellow Commissioner who has  
4 the plan could number them --

5 MR. KLINE: Yeah, if you could give us the  
6 numbers, that would help us.

7 MR. HARBIT: I think the numbers are 6, 32, 33,  
8 81, and 82.

9 MR. KLINE: Mr. Harbit, whereabouts -- just around  
10 which house are those? I can't read --

11 MR. HARBIT: Six is in the back of Lot 11 --

12 MR. SPURLOCK: Commissioner, are those the ones  
13 you circled in blue? Why don't you hold it up for him --  
14 just see --

15 MR. KLINE: Yeah, I got six. Oh, okay.

16 (Discussion off the record.)

17 MR. HARBIT: I don't think any of those trees are  
18 now in dying condition or in bad condition.

19 MR. LERNER: I think the -- number six is, but  
20 exclusive of that --

21 MR. HARBIT: I'm not sure what the rating on the  
22 -- on -- number six?

23 MR. LERNER: Poor. We'll take -- we can take a  
24 look at the rest of them -- you know, I mean at all of them.

25 MR. SPURLOCK: Mr. Harbit, do you want to -- while

1 since you're up, do you want to comment on the size of the  
2 rest of the -- 11 you thought was too wide, but --

3 MR. HARBIT: Eleven is too wide, first of all. I  
4 think the front of -- on Lot 16, the First Avenue elevation  
5 is good. And I can live with the way Lot 17 is laid out.  
6 But Lot 11 is too wide.

7 MR. SPURLOCK: We should all --

8 UNIDENTIFIED FEMALE: Go down the line.

9 MR. SPURLOCK: -- go down the line either way at  
10 this --

11 MS. WILLIAMS: Well, in general I would like to  
12 compliment the applicant in responding to our first  
13 preliminary and reducing the amount of paving and I think,  
14 you know, that has been a huge improvement to the proposed  
15 plan.

16 I think a little bit more attention -- or, the  
17 same level of attention should be given to the architecture  
18 and a little bit more manipulation to try and reduce the  
19 scale of the houses would be appropriate.

20 MR. BRESLIN: I think I would agree with that, and  
21 I think -- you mentioned an addition on the historic  
22 resource, and when and if someone does that -- I kind of  
23 hope they do because it will make the house more valuable  
24 and livable -- it will probably go on the back. It will not  
25 be visible from the street, so even with an addition, the

1 house probably won't look any different than it does now.  
2 So, even with an addition, these size concerns I think will  
3 remain concerns.

4 And another note is that on narrow lots -- long  
5 narrow lots, the houses tended to be long and narrow and  
6 have a smaller face to the street, and which is exactly not  
7 what Lot 11's doing. It's kind of broad to the street. So,  
8 if you were to look at that -- even the same square footage,  
9 but with a narrower side toward the street, that might do a  
10 couple things for you, including breaking it down visually,  
11 which I think would realize that.

12 MS. VELASQUEZ: I tend to agree with most of the  
13 comments. Actually, Lot 11 doesn't bother me as much as it  
14 seems to some of the other Commissioners; however, I do  
15 agree that if we can notch down the left side of the roof so  
16 it steps down toward the house, I think that would help me  
17 in just bringing your eye more in deference to the historic  
18 property, rather than this -- right now in the drawing to me  
19 it looks like a very huge roofline, and that may help.

20 Other than that, I really appreciate the way  
21 you've listened. This is going to be a very beautiful  
22 project when you're all done.

23 MR. SPURLOCK: Julia?

24 MS. O'MALLEY: Well, I agree that you've addressed  
25 a lot of our issues. I would like to see 11 narrower and if

1 possible, moved back a little so as you're coming down the  
2 street, you can actually view the historic resource before  
3 you get in front of it.

4           And on Lot 17 I'd like to see what you can do with  
5 redesigning that house so it's not the same as the one on  
6 11. And if you did need to have your garage in, perhaps the  
7 garage entrance could be on the side rather than in the  
8 front.

9           MR. LERNER: Tell me what -- I'm sorry, I don't  
10 under -- you mean in the rear part?

11           MR. KLINE: Side road.

12           MS. O'MALLEY: A side entrance rather than the  
13 front, facing the street. My neighbors have an arrangement  
14 something like that. They're very adaptive. But the  
15 quality of the architecture needs to be addressed on that  
16 one so it's not the same as the other house.

17           MR. SPURLOCK: Lynne?

18           MS. WATKINS: I would agree with what my fellow  
19 Commissioners said. One additional comment. The driveway  
20 coming -- that serves both Lot 10 and 11 runs very close to  
21 that 34-inch oak. It's probably going to run over the  
22 roots. If you narrowed Lot 11, you may be able to pull the  
23 driveway closer to the -- to Lot 11, the house there and  
24 move the garage over a little bit so it's still further away  
25 from that oak and its root system.

1 MR. SPURLOCK: Just to summarize -- I'm sure you  
2 guys have been taking notes, but it seems like most everyone  
3 has a little concern -- or, some concern with the width of  
4 Lot 11, so I would highly stress that you review that issue.  
5 I guess about half or more think it would be nice to see  
6 everything a little smaller -- that's -- how adamant that  
7 point would be taken.

8 And I think there were several Commissioners  
9 mentioned the Lot 17 -- that the house on 17 you might want  
10 to -- you might want to review that and see if there are  
11 other ways of dealing with, you know, the two facades that  
12 you do have two facades at that corner there.

13 I think otherwise everyone seems to be very  
14 appreciative of your efforts. I mean, you've done a  
15 tremendous amount to weigh what we've asked you to from when  
16 you first came, and I would also thank you for your time and  
17 for your effort, and I guess at this point either come back  
18 for one more preliminary or if you feel like you've got  
19 everything that you think we'll like, then come back for  
20 your HAWP.

21 Thank you.

22 MR. LERNER: Thank you.

23 MR. KLINE: Thank you.

24 MR. SPURLOCK: The last preliminary consultation  
25 will be Case B.





# Trade-Off Worksheet

CABO Model Energy Code (MEC)

Enforcement Agency:
Permit #
Checked By
Date

Builder Name MERIDIAN HOMES Date \_\_\_\_\_  
 Builder Address \_\_\_\_\_  
 Building Address \_\_\_\_\_  
 Zone # \_\_\_\_\_ MEC Edition \_\_\_\_\_  
 Submitted By \_\_\_\_\_ Phone Number \_\_\_\_\_

## PROPOSED

## REQUIRED

U-factors and F-factors can be found in Tables 1 through 10.

Required U-factors can be found in Table 11.

### Ceilings, Skylights, and Floors Over Outside Air

Description	Insulation R-Value	U-Factor	x Area	= UA
Ceiling	R-30	0.035	1395.0 ft <sup>2</sup>	48.83
Floor Over Outside Air	R-30	0.033	26.0 ft <sup>2</sup>	0.86
Skylight	—		ft <sup>2</sup>	
			ft <sup>2</sup>	
			ft <sup>2</sup>	
Ceilings: Total Area			1421.0 ft <sup>2</sup>	

Required U-Factor	x Area	= UA
0.031	1421.0 ft <sup>2</sup>	44.05

### Walls, Windows, and Doors

Description	Insulation R-Value	U-Factor	x Area	= UA
Wall (2x4)	R-11	0.082	2268.95 ft <sup>2</sup>	186.05
Window	—	0.56	285.12 ft <sup>2</sup>	159.67
Door	—		ft <sup>2</sup>	
Sliding Glass Door	—	0.56	86.71 ft <sup>2</sup>	48.56
Wall (2x6)	R-19	0.060	656.25 ft <sup>2</sup>	39.37
			ft <sup>2</sup>	
			ft <sup>2</sup>	
Walls: Total Area			3297.02 ft <sup>2</sup>	

Required U-Factor	x Area	= UA
0.14	3297.02 ft <sup>2</sup>	461.58

### Floors and Foundations

Description	Insulation Depth	Insulation R-Value	U-Factor or F-Factor	Area or Perimeter	= UA
Floor Over Unconditioned				ft <sup>2</sup>	
Basement Wall		R-11	0.067	1345.07 ft <sup>2</sup>	90.12
Unheated Slab	in.			ft	
Heated Slab	in.			ft	
Crawl Wall	in.			ft <sup>2</sup>	

Required U-Factor or F-Factor	Area or Perimeter	= UA
0.081	1345.07 ft <sup>2</sup>	108.85
	ft	
	ft	
	ft <sup>2</sup>	

Total Proposed UA

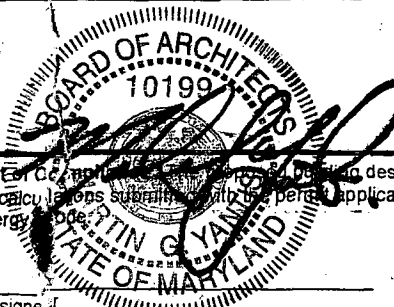
**573.46**

Total Required UA

**614.58**

Total Proposed UA must be less than or equal to the Total Required UA.

Statement of Compliance: The design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the CABO Model Energy Code.



Builder/Designer

Company Name

Date

**I. General Requirements**

- A. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions and approved by the Architect.
- B. Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing, of any discrepancies before proceeding with the work or shall be responsible for same.
- C. Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- D. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- E. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- F. If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- G. AIA General Conditions of the Contract for Construction are a part of this project.
- H. All construction is to be in compliance with the following code:  
International Residential Code For One & Two Family Dwellings, 2000 Edition (As Amended By Montgomery County, MD)
- I. This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- J. Use of these documents without written permission of the Architect is forbidden.  
© Copyright 2003 Sutton Yantis Associates Architects, P.C.
- K. Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.

**II. Structural Specifications**

**A. General Requirements**

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
- These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.
- Soil conditions shall conform to the following conditions:  
Bearing capacity: Min. 2000 psf, field verify, under all footings and slab.  
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings. Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pcf. If backfill pressures exceed 30 pcf then walls must be designed for actual pressures by structural engineer.
- All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

**B. Concrete**

- All concrete shall obtain the following 28 day compressive strengths:  
-Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi  
-All other slabs on grade (including garage slabs) . . . 3500 psi.
- Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.
- Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
- Maximum slump 5".
- All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
- All concrete work shall be in accordance with ACI 318.

**C. Steel**

- All structural steel specified in these documents shall conform to ASTM A-36.
- Steel pipe shall conform to ASTM A-53.
- All welds shall comply with AWS standards.
- All bolts in bolted steel connections shall conform to ASTM A-325.
- All required steel anchors, straps, caps, joist hangers shall be constructed of code approved galvanized steel.
- All connections shall conform to AISC standards.
- Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

**II. STRUCTURAL SPECIFICATIONS (continued)**

**D. Wood**

- All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by NFPA, unless noted. All wood shall comply to the following minimum specifications:

**#2 Hem Fir, 19% M.C.**

F<sub>b</sub> min: 980 psi repetitive use  
850 psi single member use

E min: 1,300,000 psi

F<sub>v</sub> min: 75 psi

F<sub>c</sub> min: 1,250 psi

F<sub>cL</sub> min: 405 psi

**#2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)**

F<sub>b</sub> min: 1,005 psi repetitive use  
875 psi single member use

E min: 1,400,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 1,100 psi

F<sub>cL</sub> min: 425 psi

**#2 Southern Pine, 19% M.C. (#2 SYP.)**

F<sub>b</sub> min: 1,120 psi repetitive use  
975 psi single use

E min: 1,600,000 psi

F<sub>v</sub> min: 90 psi

F<sub>c</sub> min: 1,450 psi

F<sub>cL</sub> min: 565 psi

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to .40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

**MICRO-LAM**

F<sub>b</sub> min: 2,600 psi

E min: 1,900,000 psi

F<sub>v</sub> min: 285 psi

F<sub>c</sub> min: 2,310 psi

F<sub>cL</sub> min: 750 psi

All Studs in bearing walls shall conform to the following minimum specifications:

**Stud Grade Spruce Pine Fir 19% M.C.**

F<sub>b</sub> min: 775 psi repetitive use  
675 psi single use

E min: 1,200,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 675 psi

F<sub>cL</sub> min: 425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TPI) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI "Commentary and Recommendations for Handling, Installing, and Bracing Metal Plate Connected Wood Trusses, HB-91." Roof trusses and all bridging and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.
- All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter galvanized steel anchor bolts min. 7" into poured in place concrete and 15" into graded cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6'-0" on center for one and two story buildings and 4'-0" on center for buildings more than two stories in height. Anchor straps may be used as a substitute and shall be installed per manufacturers' specifications
- All exterior wood framework supported on approved foundation walls shall be minimum 8" above finish grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other approved structural membrane or approved galvanized steel corner bracing.
- Provide continuous double top plate at all bearing stud walls.
- Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed 8'-0".
- All structural wood posts under beams and headers over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing partitions shall be 2x4 studs at 16" a.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist.
- All framing shall be detailed and installed in accordance with NFPA Manual for House Framing.
- All ceramic tile shall be installed per Tile Council of America specifications.
- Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" a.c. at panel edges and 12" o.c. at intermediate supports.
- All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel bearing.

**II. STRUCTURAL SPECIFICATIONS (continued)**

- Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be "TJI Trus Joists" manufactured by Trus Joist MacMillan Corporation. TJI Trus Joists shall be installed in accordance with manufacturers specifications and details.
- All plywood roof, floor and wall sheathing shall be APA approved.

**E. Masonry**

- Materials  
Mortar: Type "S" ASTM C270  
Hollow CMU: ASTM C-90  
Face Brick: ASTM C-216  
Grout Aggregated: ASTM C-404
- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
- Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistant corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
- Provide horizontal joint reinforcement (Durowall) in all masonry walls @ 8" a.c. unless otherwise specified.
- The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- All masonry work shall conform to the applicable requirements of BIA and NCMA.

**III. Doors and Windows**

- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating sash opening in feet and inches (I.E., 2856 DH denotes a 2'-8" wide by 5'-6" tall sash opening double hung window). Contractor shall verify that windows to be installed comply with local code standards for egress, light, and ventilation wind/impact loads.

**IV. Thermal and Moisture Protection**

- All slabs on grade in conditioned spaces shall be insulated with min. R5 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Dampproof all exterior foundation walls enclosing basements and crawl spaces with dampproofing as specified by code at exterior face of wall.
- Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all exterior window and door openings in such manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners do not require additional flashing. Jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings; under and at the ends of masonry wood or metal copings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
- Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.

Approved water resistant sheathing may be substituted for building paper.

**V. Other**

**Symbols**

	Duplex Outlet		One Way Switch
	Duplex Outlet, Weather Protected		Three Way Switch
	Duplex Outlet, Floor Mounted		Switch w/ Rheostat
	Duplex Outlet, Switch Operated		Smoke Detector
	Range Outlet		Chime
	Gas Outlet		Bathroom Exhaust Fan
	Ceiling Mounted Incandescent		Television Outlet
	Junction Box		Telephone Outlet
	Eyeball Light		Medicine Cabinet
	Wall Washer Light (Recessed)		Frost Proof Hose Bib
	Recessed Light		Recessed Waterproof Light
	2 1/2 Fluorescent Light		Dedicated Circuit Outlet
	4 1/2 Fluorescent Light		Steel Angle (Lintel)
	Exterior Flood Lights		
	Wall Mounted Incandescent		
	Pull Switch Light		

**List of Abbreviations**

ADJ.	Adjustable	MC	Medicine Cabinet
A.S.F.	Above Subfloor	MFG.	Manufacturing
BF	Bifold	O.A.	Overhead
BM	Beam	O.C.	On Center
B.O.J.	Bottom of Joist	OPT.	Optional
CLG	Ceiling	PART.	Partial
CMU	Concrete Masonry Unit	PLYWD	Plywood
C.O.	Cased Opening	P.T.	Pressure Treated
COL	Column	R/A	Return Air
CONC.	Concrete	R.C.	Rough Out
CONT.	Continuous	REF	Refrigerator
CS	Casement	R/O	Range Oven
C/VAC	Central Vacuum	SF	Square Feet
OBL	Double	SHWR	Shower
OES.	Oesign	SIM.	Similar
OH	Double Hung	S.L.	Sliding Door/Window
DTL	Detail	STD.	Standard
DW	Dishwasher	STL	Steel
FD	Floor Drain/French Door	S&P	Shelf & Pole
FP	Fireplace	S.V.B.	Solid Valley Blocking
FTG.	Footing	T&G	Tongue & Groove
GFI	Ground Fault Circuit Interrupter	T.O.S.	Top of Slab
GPDW	Gypsum Drywall	T.O.W.	Top of Wall
HD.HGHT	Window Head Height	TR	Trim
HDR	Header	TPP.	Typical
HFL	Head/Fram/Light	WD	Wood
HWH	Hot Water Heater	W/O	Wall Oven
INSUL.	Insulation	W.W.M.	Welded Wire Mesh
L.T.	Laundry Tub		

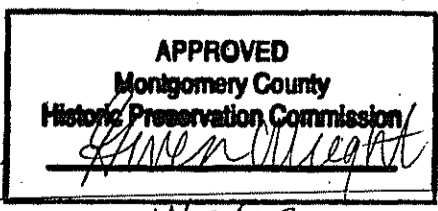
**Area Calculations**

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.

BASEMENT:	1370 SF
LOWER FLOOR :	1380 SF
UPPER FLOOR :	1254 SF
ATTIC :	560 SF
TOTAL :	2711 SF
GARAGE:	264 SF

**List of Drawings**

1	General Notes & Specifications	TJ1	Truss Joist Details
D1	Foundation/Framing Details	TJ2	Truss Joist Details
O2	Foundation/Framing Details	F1	Basement Floor Electrical Plan
D3	Foundation/Framing Details	F2	Lower Floor Electrical Plan
2	Foundation/Basement Plan	F3	Upper Floor Electrical Plan
3	Lower Floor Plan	F4	Attic Electrical Plan
4	Upper Floor Plan		
5	Attic Floor Plan		
6	Building Section 'A'		
7	Building Section 'B'		
8	Building Section 'C'		
9	Partial Building Section Diagram 'D'		
10	Partial Building Section Diagram 'E'		
11	Front Elevation		
12	Rear Elevation		
13	Left Elevation		
14	Right Elevation		
15	Lower Floor Framing Plan		
16	Upper Floor Framing Plan		
17	Attic Framing Plan		
18	Roof Framing Plan		
19	Detached Garage Plan & Elevation		



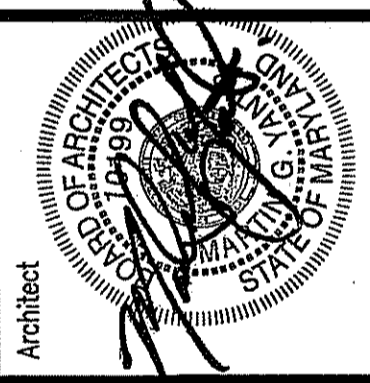
Date	P.S. 01/10/03 ACH	C.S. 04/04/03 ACH
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Project Number: 02206-01

**MERIDIAN HOMES**

**FIRST AVENUE**

**LOT #16**



**SUTTON YANTIS ASSOCIATES ARCHITECTS**

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Sheet Number

1



Montgomery County Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850  
240-777-6298 Fax: 240-777-6339



**NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS**

You are being provided with this Notice so that you will understand which BUILDING INSPECTIONS must be performed as a condition of a permit issuance. You must arrange for the inspection(s) according to the procedures specified below. Please call 240-777-6210 between the hours of 7:30 a.m. - 4:00 p.m. Monday to Friday, if you have any questions about the required inspection(s). If you have job specific questions during construction please call the inspector assigned to the area in which the project is located.

Inspections shall be requested at least 24 hours prior to the date the inspection is needed. To schedule an inspection, call 240-777-6210. Inspection requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time the inspection is scheduled.

The permit must be posted in front of the site or house and be visible from the main road or entrance. If house numbers are not shown on the house or structure, the address must be posted in the same area as the permit and must be displayed in large font-size letters on a temporary card or window. For all inspections, a set of approved plans stamped by Montgomery County must be on the job site for the inspector's review.

**BEFORE YOU DIG call MISS UTILITY 1-800-247-7777 (2 day notice is required)**

The following BUILDING INSPECTIONS are required for your permit number \_\_\_\_\_

- 001 FOOTINGS - Conducted prior to concrete placement and after excavation for wall footings, retaining wall footings (if required), column pier footings, or thickened slabs have been completed, after grade stakes, reinforcing steel, concrete-encased electrode (for new homes) are in place; and after sediment control measures are installed according to the approved sediment control plans.
- 002 REBAR, DEADMAN, GEOGRID PLACEMENT - Conducted prior to pouring backfilling RETAINING WALLS.
- 002 FOUNDATION/PARGING DR BACKFILL - Conducted after the walls have been waterproofed and exterior foundation drainage system has been installed. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
- 011 CONCRETE SLAB-ON-GROUND FLOOR - After the installation of the slab base, the vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PFC, or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS and labeled adequately. Where the sump track is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.
- 003 WALL CHECK (HOUSE LOCATION SURVEY) - Required at foundation completion prior to framing installation. Owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor or a Registered Professional Engineer (where the property

lines and corners are already existing and determined on the ground) and most furnish a copy to the Land Use Compliance Section (LUC) for approval BEFORE ANY FURTHER INSPECTIONS MAY BE SCHEDULED. For questions about wall checks please call LUC at 240-777-6340. A wall check will not be accepted unless permit number and premise address identify it.

- 005 FACTORY-BUILT FIREPLACE CHIMNEYS - Conducted after the framing inspection after the factory-built fireplaces and floor chimneys have been installed in compliance with manufacturer's specifications.
- 006 MASONRY FIREPLACE/CHIMNEY - Conducted after the chimney/fireplace and the first fire liner have been installed.
- 007 WOODSTOVE - Conducted after the wood stoves has been installed in compliance with the manufacturer's specifications and prior to concealing flue or chimney connectors.
- 004 FRAMING (CLOSE-IN) - Conducted after the completion of all framing, rough wiring, plumbing and mechanical distribution systems but prior to installing insulation and drywall. When plumbing work is part of the construction, a Washington Suburban Sanitary Commission (WSSC) plumbing inspection must be approved before requesting a framing inspection. For new construction, the framing, rough wiring and mechanical inspections must be requested at the same time. For other than new construction, or when the scope of the work does not involve structural modifications to the building a rough wiring inspection must be requested prior to concealment and approved prior to the framing inspection, or both may be requested at the same time. When floor framing is less than 36 in. above the surface below, a framing inspection must be requested prior to installation any floor materials.
- 012 SWIMMING POOL BONDING - Conducted when the pool has been formed with the rebar installed and bonded prior to placement of concrete or backfill. During construction pool excavations must be completely enclosed by a 42 in. high safety fence AT ALL TIMES when work is not being performed in the pool.
- 251 FINAL - For new construction, conducted after the building is completed and ready for occupancy, but prior to settlement on the house, unless the contract owner waives the requirements and provides, in writing, the Department of Permitting Services with a copy of the signed waiver. The final mechanical and electrical inspection must be requested with the final building inspection, and the address numbers must be displayed in accordance with the requirements of the fire code. If an owner refuses access within a reasonable time after the house is completed, the building official may close the permit file, but this action will not relieve the owner of from any obligation to comply with applicable building codes. The final inspection must be requested and approved before building for person therein is used and occupied.

**REINSPECTION FEE** - An eighty-two dollar and fifty cent (\$82.50) reinspection fee will be required after a building, electrical or mechanical inspection has been disapproved twice. To alert you of the reinspection fee the inspector will leave a disapproval sticker indicating a fee is due and outlining the payment procedure. This fee must be paid prior to requesting any future inspections. Inspections which cannot be performed because the inspector cannot gain access to the construction, or where work is incomplete, will be considered disapproved, counting toward the total allowed reinspection fee. To avoid reinspection fees, footing, pouring and slab inspections not ready due to weather conditions, may be cancelled by phone or upon the inspector's arrival up to 8:30 a.m. on the scheduled day. All other inspections must be cancelled prior to inspector's arrival on the job site. To cancel an inspection call 240-777-6210 and provide the permit number, address and type of inspection.



Montgomery County Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850  
240-777-6298 Fax: 240-777-6339



**Residential Code Notes**

1. All construction shall be in conformance with the International Residential Code (IRC), 2000 edition, and Montgomery County Executive Regulation No. 16-01.
2. Soil bearing capacity shall be minimum 2000 psf, IRC Table R401.4.1. Unless the footing is insulated or bearing on rock, the bottom of the footing shall be a minimum 24 inches below grade, IRC Table 201.2(1) as amended.
3. Minimum design live load values shall conform to IRC, Table R301.4. Some of them are:

Attics (limited storage)	20 psf	Exterior balconies	50 psf	Stairs	40 psf
Dwelling Units	40 psf	Garage	10 psf		
Sleeping Rooms	30 psf	Decks	40 psf		

4. The residential construction design parameters are shown in the following table, IRC Table R301.2(1) as amended:

Ground Snow Load	Wind Speed	Seismic Design Category	Subjects To Decay From				Water Design Temp. for Hot Facilities	Radon-Resistant Construction Required
			Roofing	Floor Live Loads	Termite	Debris		
20 psf (0.9 kN/m²)	90 mph (110 km/h)	B	Severe	24-inch (610 mm)	Moderate to Heavy	Slight to Moderate	17°F (10°C)	Yes

5. Bathrooms without windows shall be vented to the outside of the building, IRC Section R302.2
6. Habitable rooms, except kitchens, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than 7 feet from the finished floor to the lowest projection of the ceiling. **Exceptions**
  1. Beams and girders spaced not less than 4 feet o.c. may project not more than 6 in below the required ceiling height.
  2. Not more than 50% of the floor area of a room or space is permitted to have a sloped ceiling less than 7 feet in height. Any floor area having less than 5 feet of ceiling height shall not be considered part of the room area and shall not be allowed to have any permanent fixtures or furnishings such as, but not limited to, bathtubs, showers, water closets, sinks, cabinets, counters and shelves, IRC Section 305.1 as amended.
7. Panels of glazing in hazardous locations, IRC Section 308.4, shall be adequately identified, IRC Section 308.1.
8. Garages shall be provided with a minimum 1/2-inch gypsum board applied to garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by 1/2-inch gypsum board applied to garage side. A garage in a house with a built-upping floor must be separated from the balance of the house by at least one-hour fire resistance rating walls supported by at least one-hour fire-resistance-rated columns. A solid core wood door 1 1/2-inch thick or a 2-inch-thick door is required, IRC Section 309 as amended.

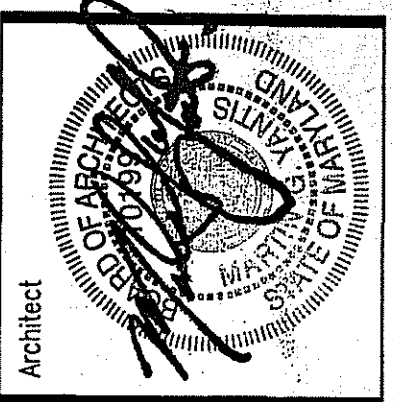
Ducts in the garage and ducts penetrating the walls and ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.45 mm) sheet steel or other approved material and shall have no openings into the garage.

9. Every sleeping room and every habitable room in a townhouse lot shall have at least one operable emergency escape and rescue window or exterior door opening. Escape and rescue windows shall have a maximum sill height of 44-inch above the finished floor. Escape and rescue windows with sill height below grade shall have a minimum net clear opening of 5.7 square feet (5 square feet for grade or egress), a minimum width of 20 inches and a minimum height of 24 inches, IRC Section 310 as amended.
11. Exit access from a townhouse lot to the exit door must not require vertical travel of more than two stories, IRC Section 311.1 as amended.
12. There shall be a floor or landing not more than 1.5 inches lower at each side of each exterior door, IRC Section 312.2
13. Enclosed accessible storage under stairs shall a minimum 1/2-inch gypsum board on the storage side, IRC Section 314.3. All egress doors shall be readily openable from the side which egress is to be made without the use of a key.
14. Stairways shall have minimum 6 feet and fireplaces clear headroom. The minimum head shall be 9 inches and the maximum rise shall be 3 1/2 inches, IRC Section 314 as amended. Open stairs are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter (102 mm) sphere. All stairways shall be illuminated, IRC Section 310.4.
15. Handrails shall have a minimum height of 34 inches and a maximum 38 inches height measured vertically from the nosing of the treads and shall be graspable, IRC Section 315.1.
16. Open sides of porches, balconies, or raised floor surfaces located more than 30 inches above the floor or grade below and retaining walls with a difference in grade level on either side of the wall extending 4 feet (1219 mm) and within 2 feet (610 mm) of a walk, path, parking lot or driveway on the high side shall have guards not less than 36 inches in height. Guards on the open side of stairs with a total rise of more than 30 inches above floor or grade below shall be not less than 34 inches height. Spacing between intermediate rails shall be less than 4 inches and shall not be constructed with horizontal rails or other ornamental pattern that results in a ladder effect, IRC Section 316 as amended.
17. Install interconnected smoke detectors in each sleeping room, outside each sleeping area, and on each level. Detectors shall be hard wired (to the building wiring) with battery back up, IRC Section R317.2 & NFPA 72 Section 2-7.1.1.1. Automatic sprinklers are required in all townhouses, IRC Section R317.3 as amended. Low-voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Services. When alterations, reconstruction, change of use or occupancy, and additions for which the permit was issued after June 1, 2001, occur, smoke detectors must be installed in accordance with the Montgomery County Code Interpretation Policy P02-1.
18. A common 2-hour fire-resistance-rated wall is permitted between townhouses, provided that there is no plumbing, electrical, or mechanical systems constructed within or through the common wall cavity, IRC Section R321.2.
19. All exterior handrails shall be minimum 8 inches above exposed ground and shall comply with IRC Section R322.

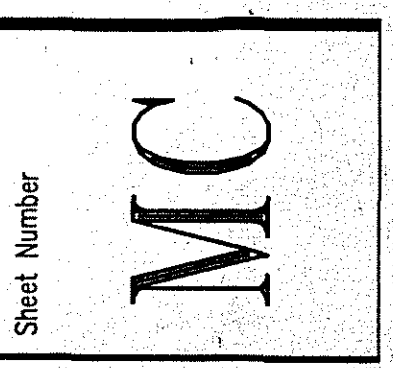
20. Radon-resistant construction is required as per IRC Appendix F, Radon Control Methods.
21. Lot drainage shall comply with IRC Section R401.3.
22. Concrete shall comply with IRC Section R402.2 & Table R402.2.
23. All footings shall comply with IRC Section R403.
24. Sill plates on the top of foundation walls shall be secured with minimum 1/2-inch anchor bolts set at 6 feet o.c. maximum and within 12 inches from the ends of each plate section. The bolts shall extend minimum 7 inches into concrete or masonry. Approved foundation anchor straps that provide equivalent anchorage to 1/2-inch anchor bolts are acceptable, IRC Section R403.1.6.
25. Concrete and masonry foundation walls shall comply with IRC Section R404.1.
26. Concrete and masonry foundation walls shall extend at least 6 inches above the finished grade adjacent to the foundation walls at all points and 4 inches above finished grade with masonry veneer IRC Section R404.1.6.
27. Basement walls shall not be backfilled until the wall has sufficient strength and first floor framing is in place, or the walls have been adequately braced, IRC Section R404.1.7.
28. Maximum unbalanced fill for concrete or masonry foundation walls shall comply with IRC Tables R404.1(1), Tables R404.1(2), Tables R404.1(3), and Tables R404.1(4).
29. Wood foundations shall comply with IRC Section R404.2.
30. Foundation drainage shall comply with IRC Section R405 as amended.
31. Exterior concrete and masonry foundation walls retaining earth and enclosing usable spaces below grade must be waterproofed with an approved waterproofing materials or a membrane extending from the top of the footing to the finished grade, IRC Section R406.2 as amended.
32. Under-floor spaces shall conform to IRC Section R408 as amended.
33. When floor framing is less than 36 inches from the ground, a framing inspection must be requested prior to installing any flooring materials.
34. Floor framing shall comply with IRC Section 502. Allowable spans for wood floor framing shall not exceed the values specified in Tables R502.3.1(1) and R502.3.1(2), R502.5(1) and R502.5(2).
35. Wood floor trusses shall be designed in accordance with approved engineering practice. The truss drawings shall be prepared by a registered design professional and shall include all required details, IRC Section R502.11.
36. For sawn lumber, notches in the top or bottom of the joist shall not exceed 1/4 the depth of the joist, shall not be longer than 1/3 of the depth of the member and shall not be located in the middle third of the span. Notches at the ends of a member shall not exceed 1/4 the joint depth, IRC Section R502.5.
37. Holes drilled or bored in joist shall not be within 2 inches of the top or bottom of the joist, and diameter shall not exceed 1/4 of the depth of the member, IRC Section R502.5.
38. Openings in the floor framing shall comply with IRC Section R502.10.
39. Draftstopping and fireblocking shall be provided in accordance with IRC Sections R502.12 and R502.13 respectively.
40. Concrete floors on ground shall comply with IRC Section R506 as amended.
41. Wall construction shall comply with IRC Chapter 6.
42. Stud spacing shall comply with IRC Section R602.3 and Table 602.3(5).
43. Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Any stud may be drilled or bored, provided that the diameter of the hole is no greater than 40% of the stud width, the edge of the hole is no closer than 1/4 inch to the edge of the stud, and the hole is not located in the same as a cut or notch, IRC Section R602.6.
44. When the top plate of any load-bearing wall is cut or notched more than 20% of its width, a galvanized metal tie shall 0.054 inch thick, 16 gage and 1.5 inches wide shall be fastened to each plate across and on each side of the opening with not less than six 16d nails, IRC Figure R602.6.1.
45. Fireblocking shall comply with IRC Section R602.8.
46. Wall bracing shall comply with IRC Section R602.10.
47. Exterior wall coverings shall comply with IRC Section R703.1 through 703.9.
48. Masonry veneer shall comply with IRC Section R703.7 and R703.8 (weep holes at 33" o.c.)
49. Wood roof framing shall comply with IRC Section R802. Edge beam supports shall transmit loads to the foundation. Allowable spans for ceiling joists and rafters shall comply with IRC Tables R502.4(1), R502.4(2), R502.5(1) through R502.5(9).
50. Wood roof trusses shall be designed in accordance with accepted engineering principles. The truss drawings shall be prepared by a registered design professional and shall include all required details, IRC Section 802.10. Wood roof trusses shall be braced in accordance with TPI BWT, IRC Section R302.10.
51. Roof tie-downs shall comply with IRC R802.11.
52. Roof ventilation and attic access shall comply with IRC Section R806 and R807 respectively.
53. Roof coverings shall comply with IRC Chapter 9.
54. Chimneys and fireplaces shall comply with IRC Chapter 10. Flue size shall be determined in accordance with Figure R1001.11.
55. Masonry chimneys located within the exterior walls of the building shall have a minimum air space clearance to combustibles of 3 inches. Chimneys located entirely outside the exterior wall of the building, including chimneys that pass through the soffit or cornice, shall have a minimum air space clearance of 1 inch. The air space shall not be filled, except to provide fireblocking in accordance with IRC Section R1001.16.
56. Wood or combustible framing shall not be placed within 2 inches of the outside face of a masonry fireplace and not less than 6 inches from the inside surface of the masonry flue liner. Wood framing and other combustible material shall not be placed within 2 inches of the back surface of a masonry fireplace, IRC Section R1003.12.
57. Factory-built or masonry fireplaces shall be equipped with an exterior air supply to assure proper fuel combustion, IRC Section R1005.
58. Heating and cooling equipment shall comply with IRC Chapter 14.
59. Clothes dryer vent systems shall be independent of all other systems and shall be vented to the exterior of the building; flexible duct shall not be concealed within the walls or ceiling, IRC Section R1501.
60. The maximum length of a 4 inches diameter exhaust vent shall not exceed 25 feet from the dryer location to wall or roof penetration. The maximum restriction of 2 feet 6 inches for each 45-degree bend and 5 feet for each 90-degree bend or as required by the manufacturer shall apply, IRC Section R1501.
61. Residential One- and Two-Family Dwellings shall comply with IRC Chapter 11, Energy Efficiency, or International Energy Conservation Code (IECC), 2006 Edition, except one-story additions to existing buildings less than 200 square feet.
62. All residential swimming pools shall comply with IRC Appendix G, as amended, and Article 630 of the National Electrical Code.

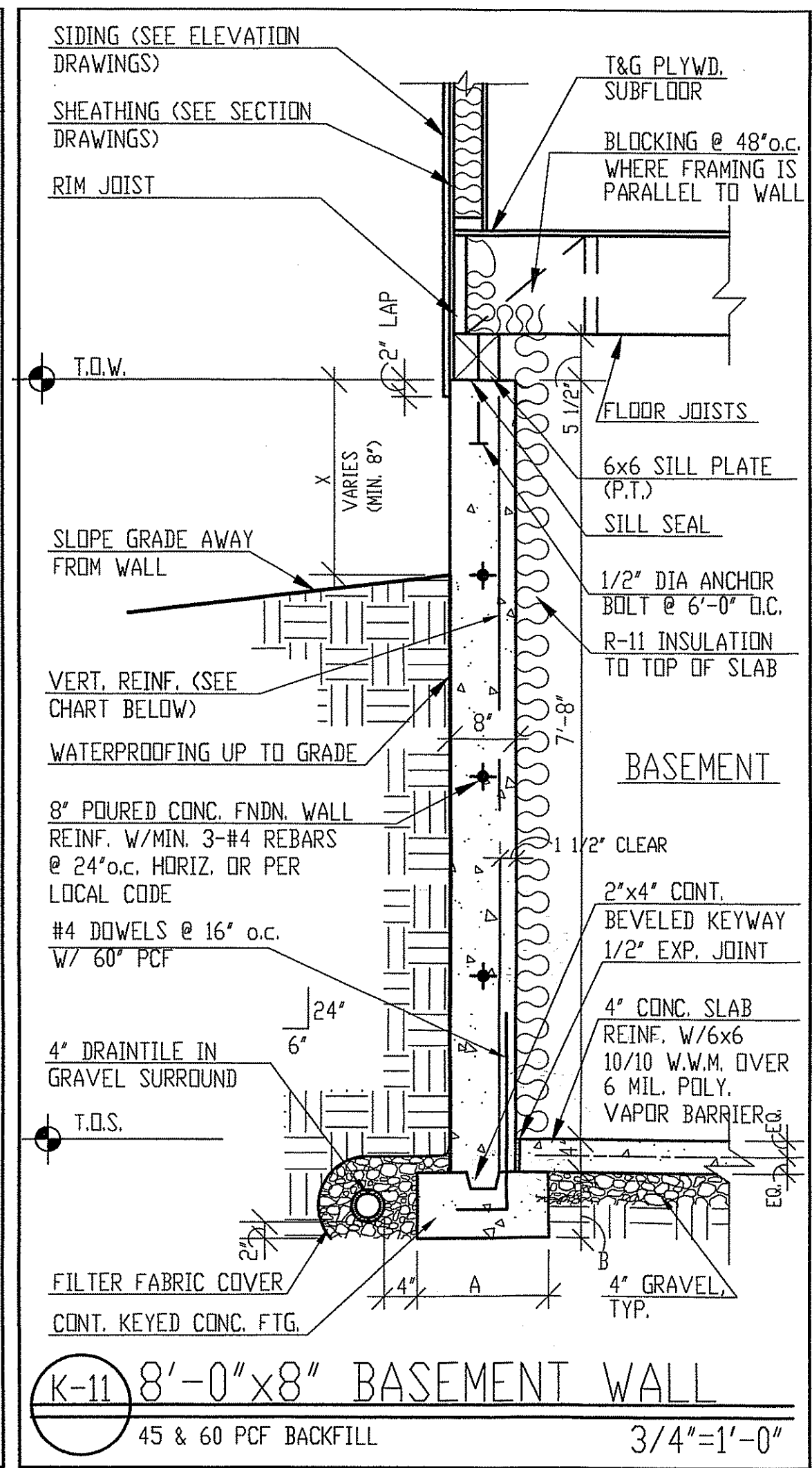
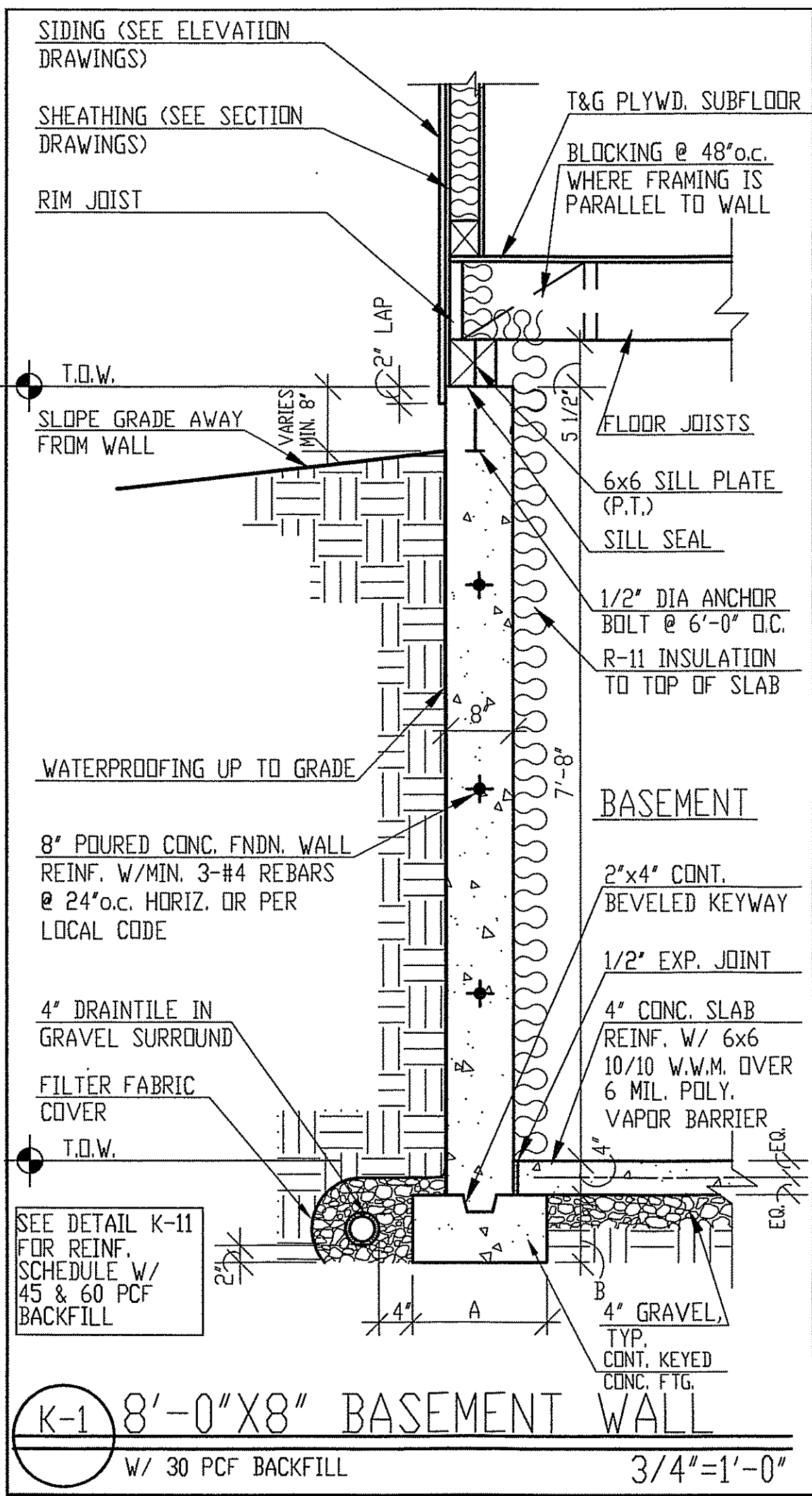
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**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
1052 Galloway Rd. Tel: 703-734-8733  
Virginia, VA 22182 Fax: 703-887-9171  
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### FOOTING SCHEDULE

BEARING CAPACITY OF SOIL (PSF)	FOOTING DIMENSIONS (INCHES)
2000 PSF	A = 22"
	B = 10"
2500 PSF	A = 16"
	B = 8"
3000 PSF	A = 16"
	B = 8"

Refer to Foundation Plans for referencing of applicable details for this project. Substitution or use of details not referenced to plans is prohibited.

Refer to Footing Schedule for footing sizes.

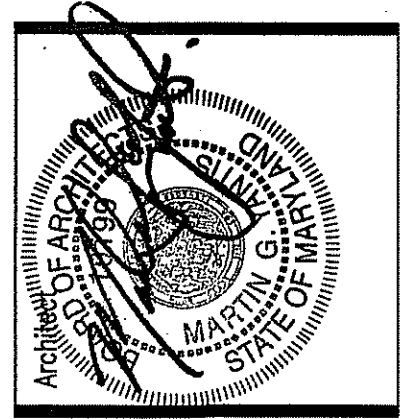
**WHERE APPLICABLE:**  
See specific framing details pertaining to MFG Joists on Framing Detail Sheets.

BACKFILL	VERT. REINF. REQ'D
45 PCF BACKFILL	
X	VERT. REINF. REQ'D
8'-20' GREATER THAN 20'	#4 REBAR @ 20' O.C. NO REINF. REQ'D
60 PCF BACKFILL	
X	VERT. REINF. REQ'D
8'-32' GREATER THAN 32'	#4 REBAR @ 16' O.C. NO REINF. REQ'D

Date: P.S. 02/04/03 ACM  
C.S. 04/04/03 ACM

Project Number: 02206-D1

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**

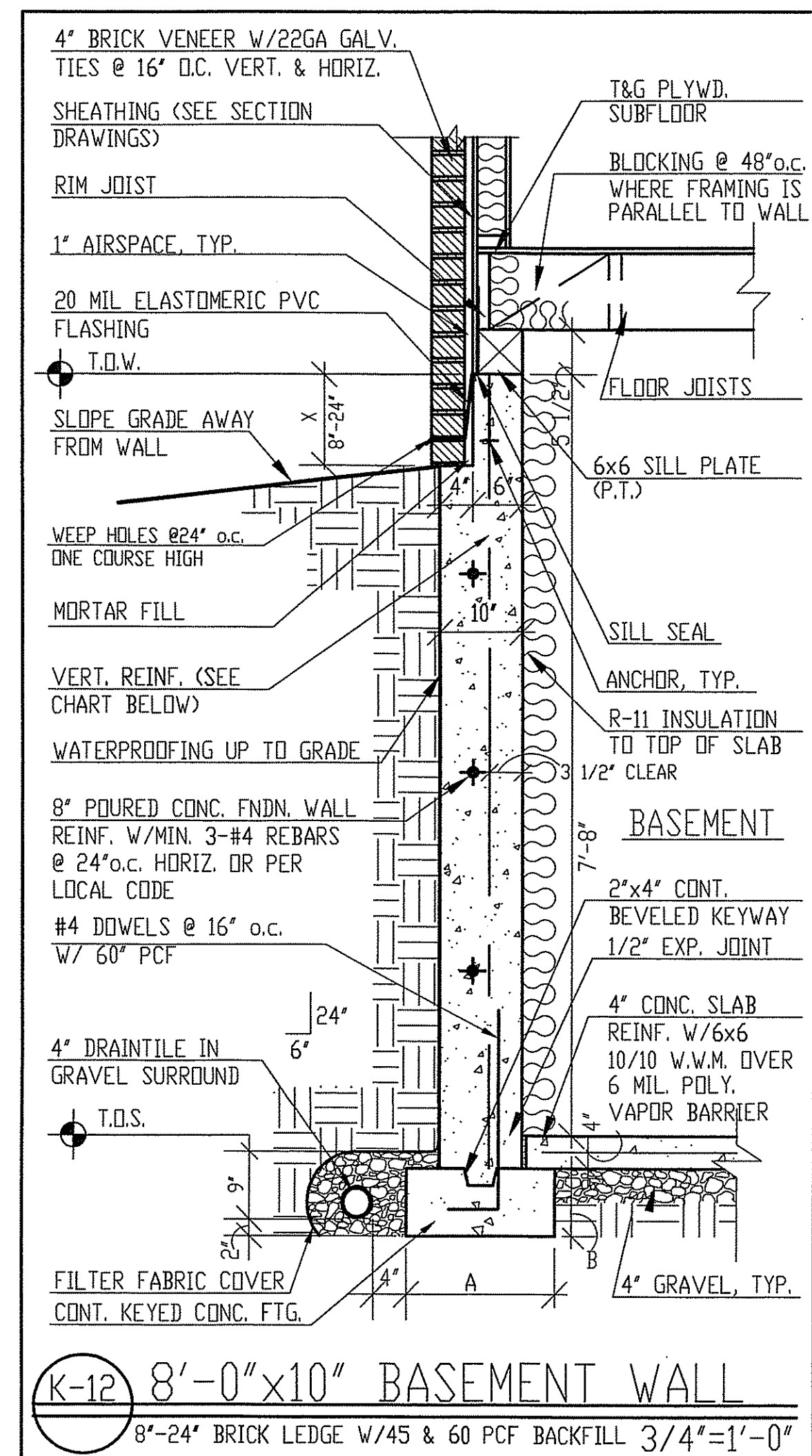
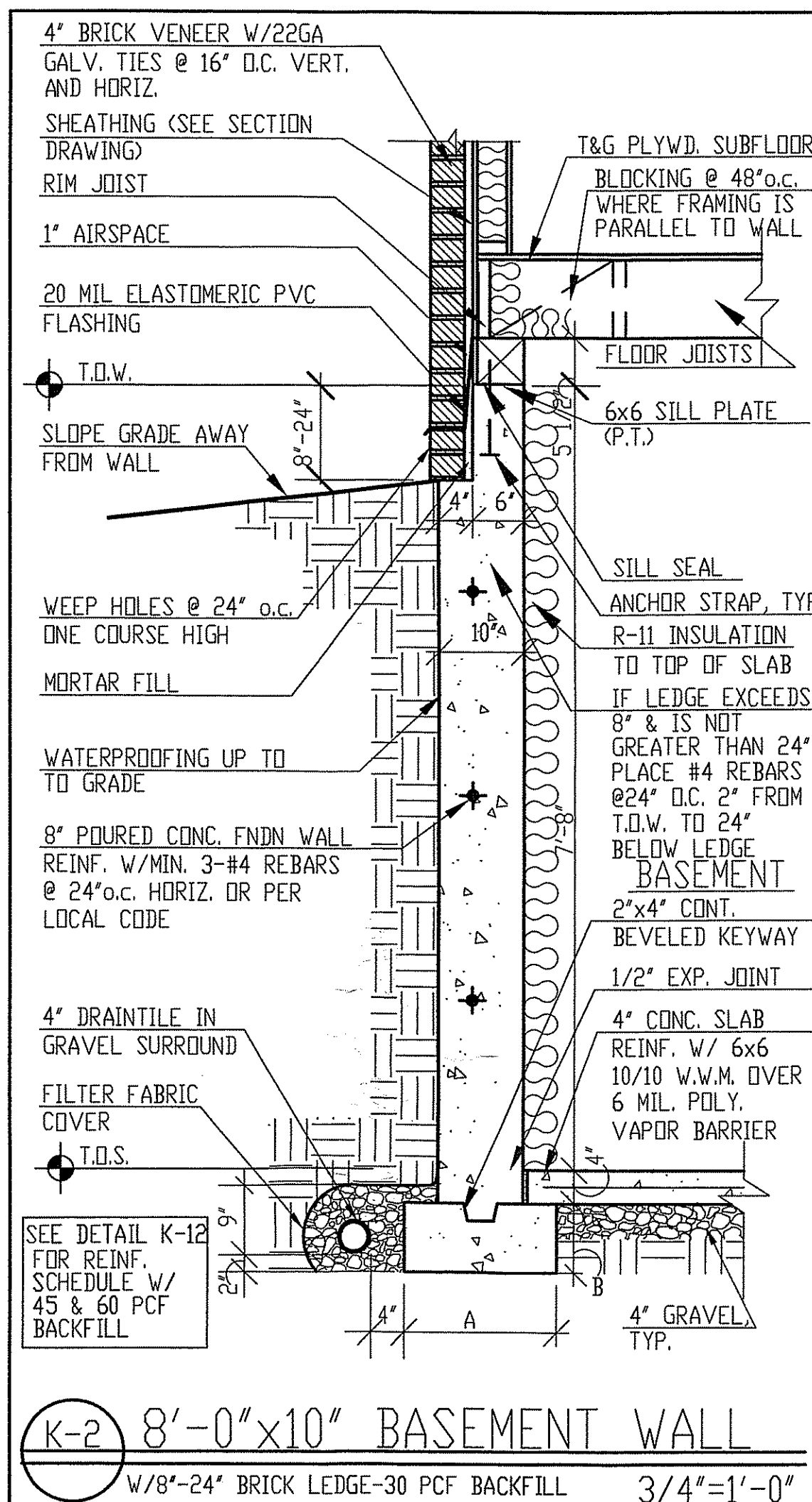
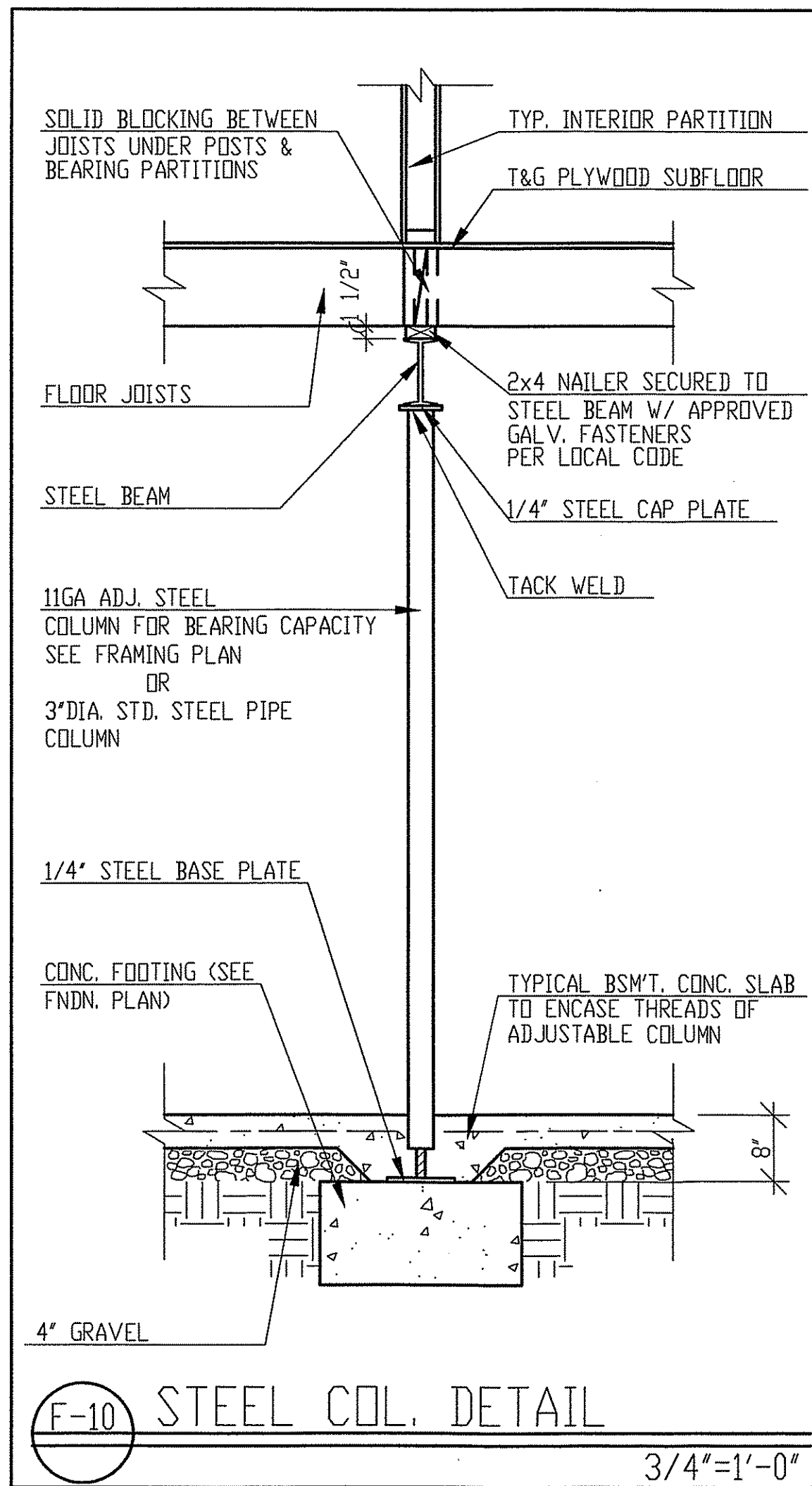


**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**

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Vienna, VA 22182 Fax 703.847.9171

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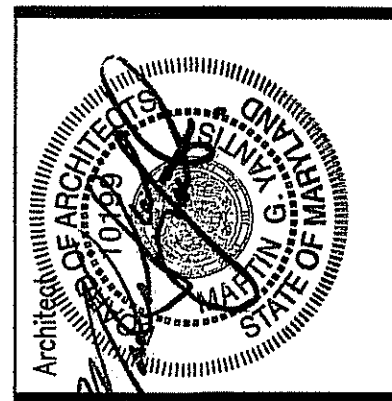
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45 PCF BACKFILL	X	VERT. REINF. REQ'D
	8'-24" GREATER THAN 24"	#4 REBAR @ 16" O.C. WALL CANNOT BE USED
60 PCF BACKFILL	X	VERT. REINF. REQ'D
	8'-24" GREATER THAN 24"	#5 REBAR @ 20" O.C. WALL CANNOT BE USED

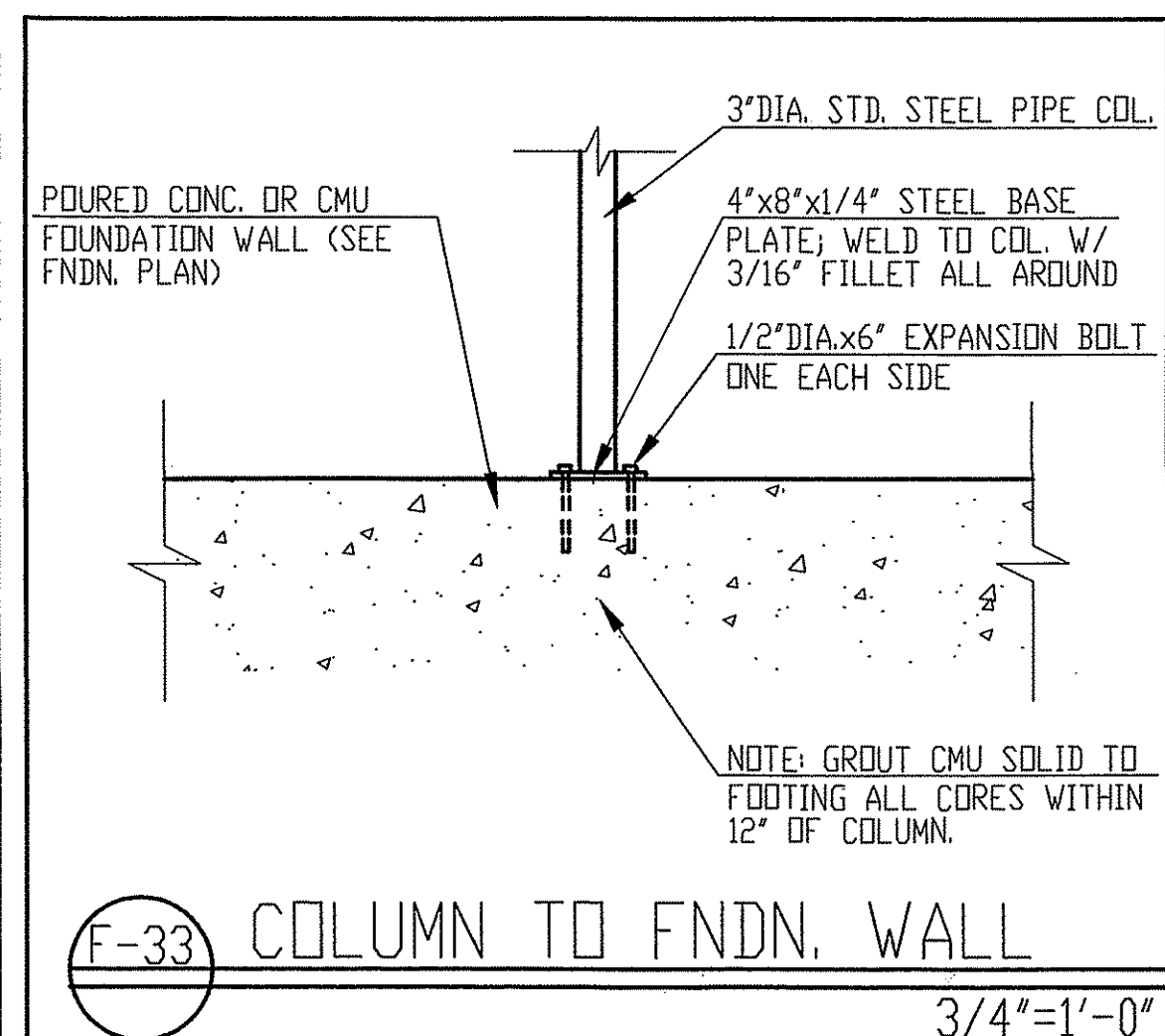
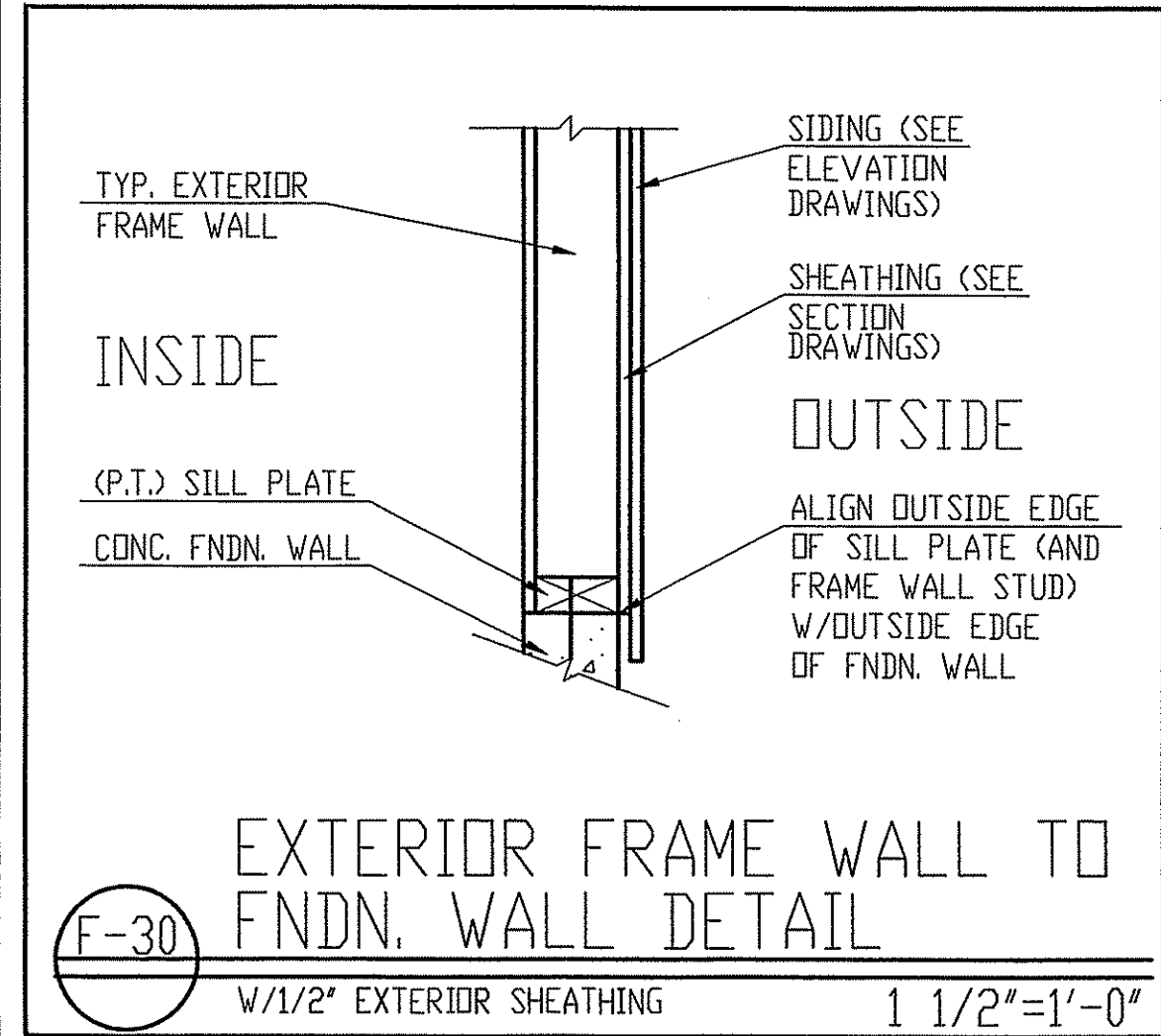
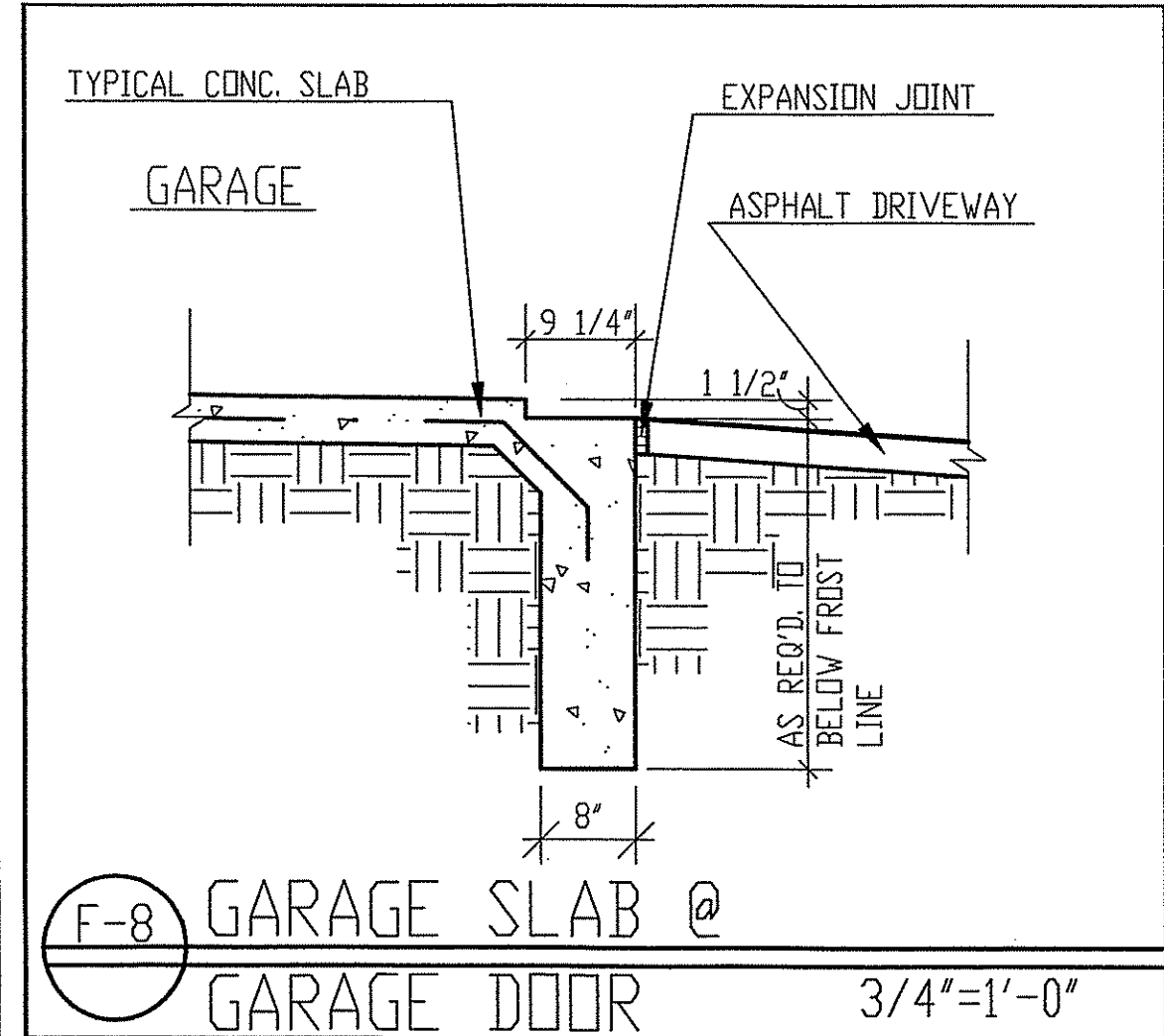
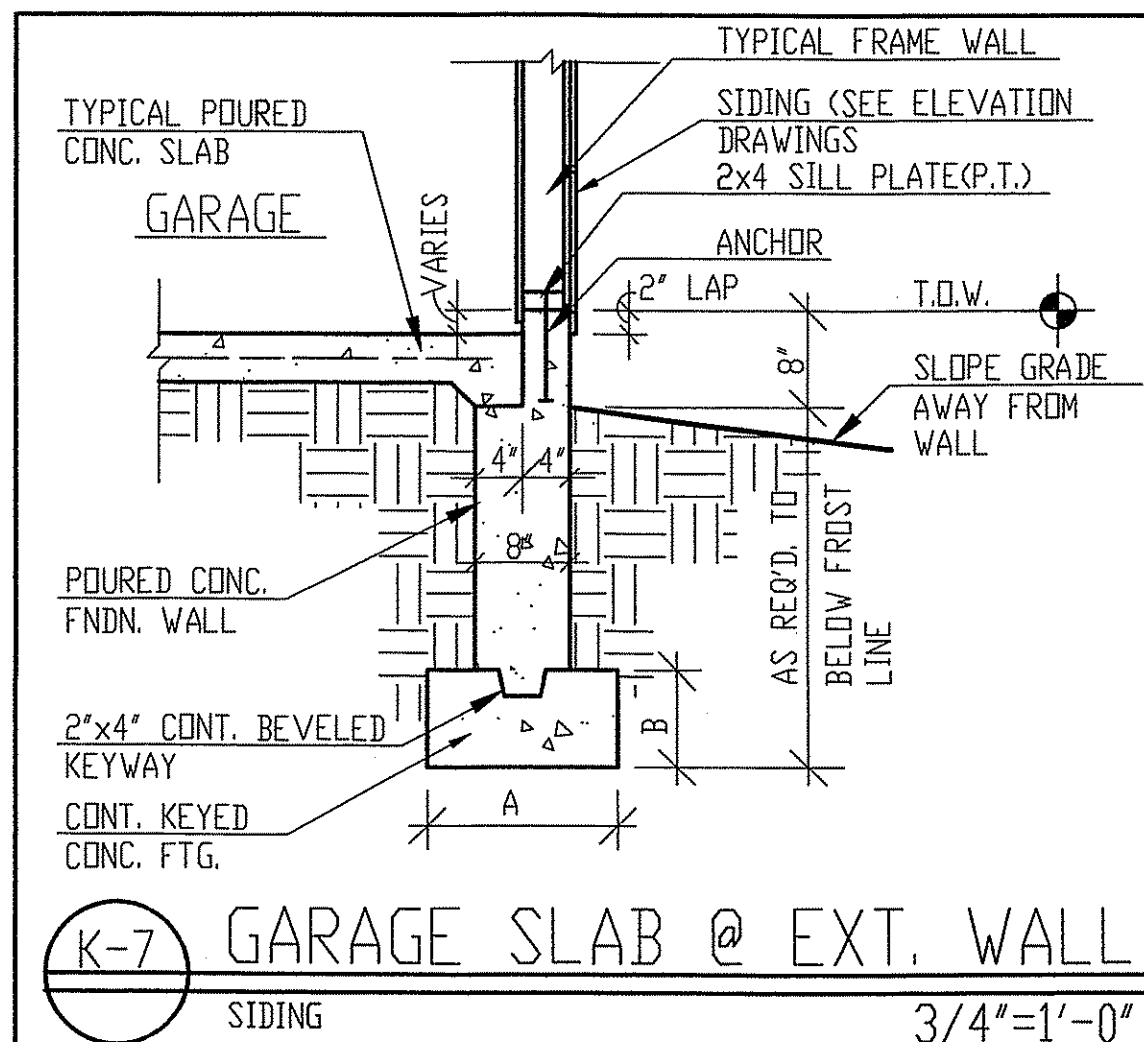
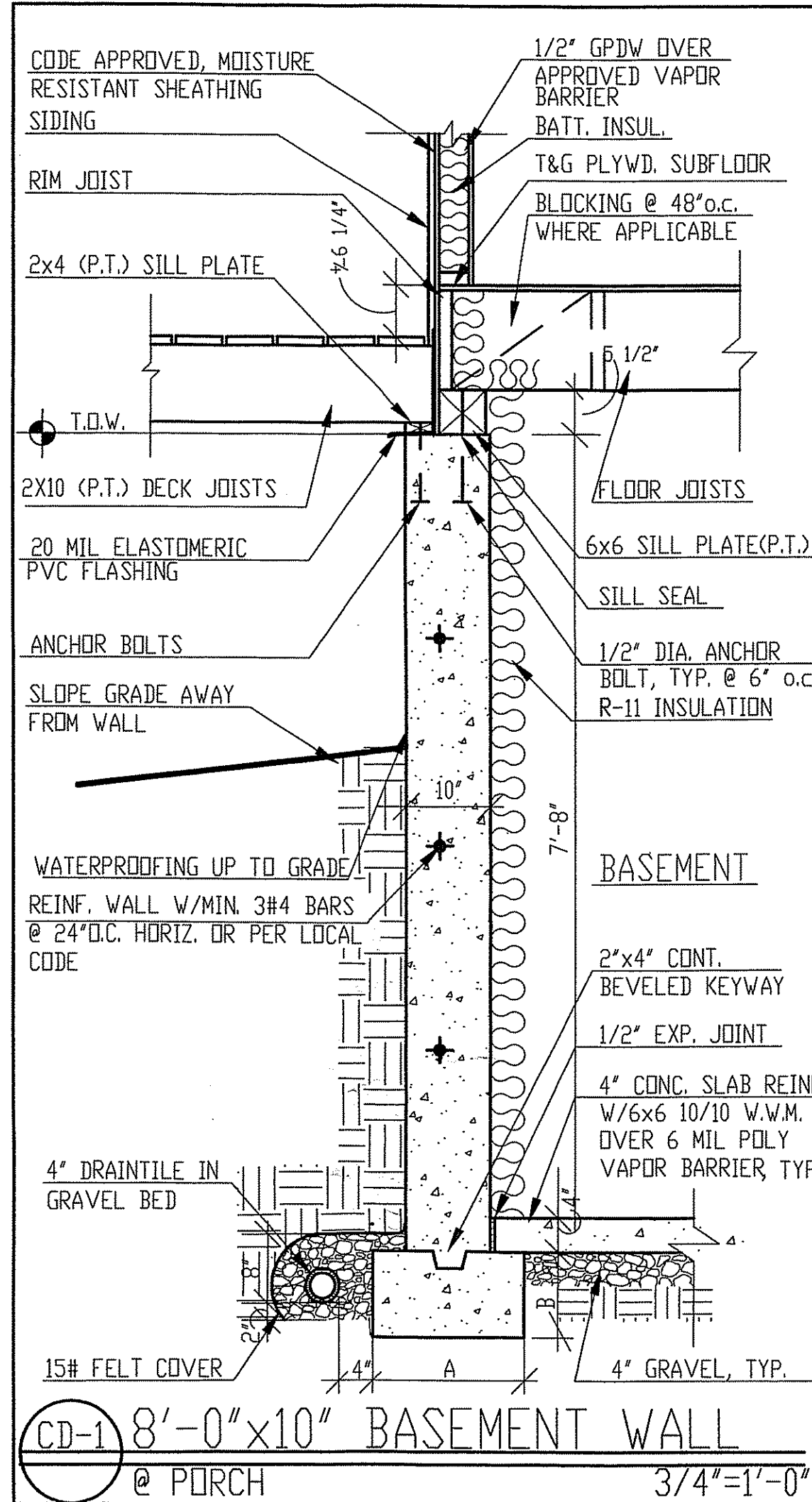
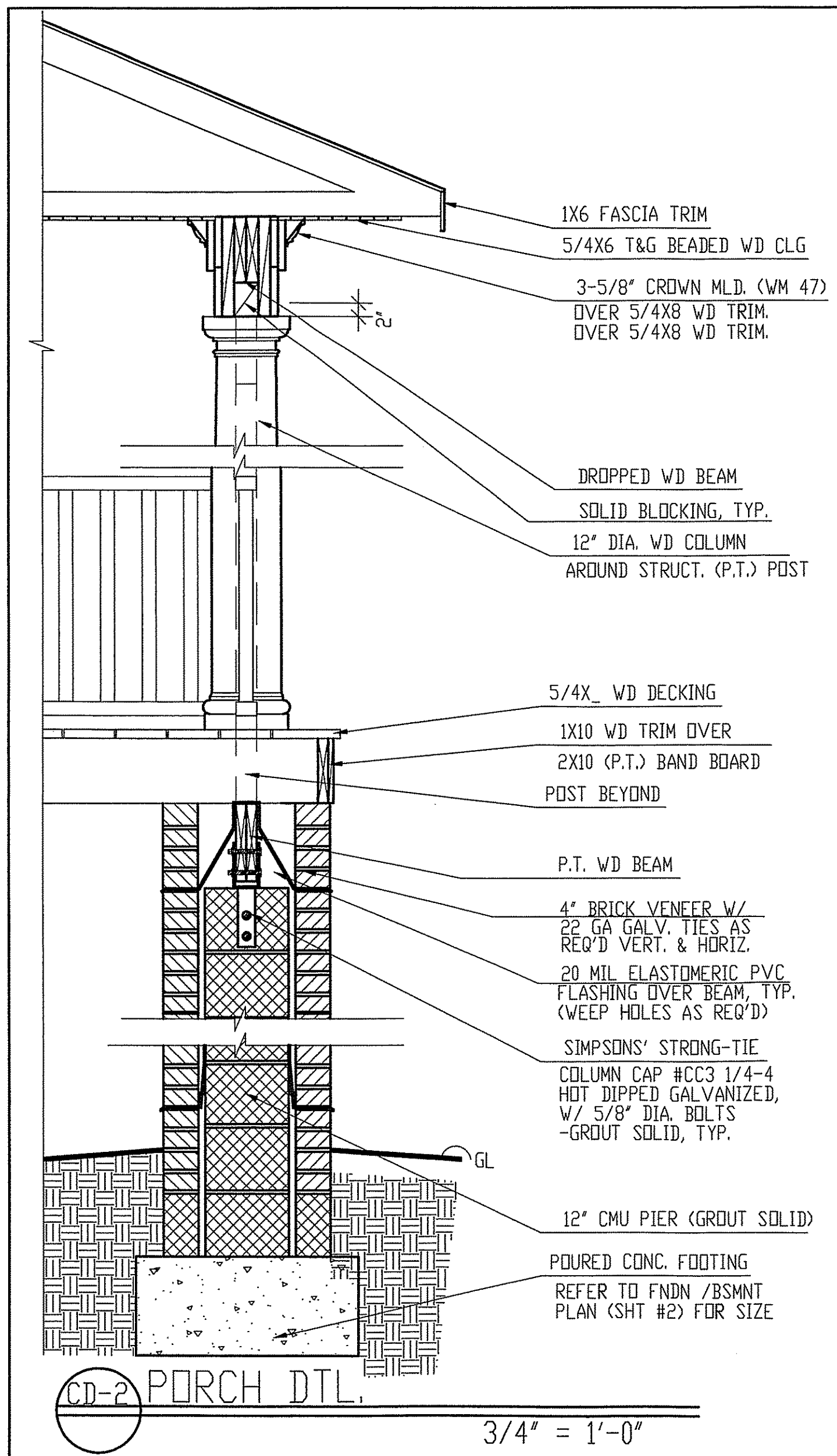
Date	P.S. 02/04/03 ACM
	C.S. 04/04/03 ACM

Project Number: 02206-D2  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



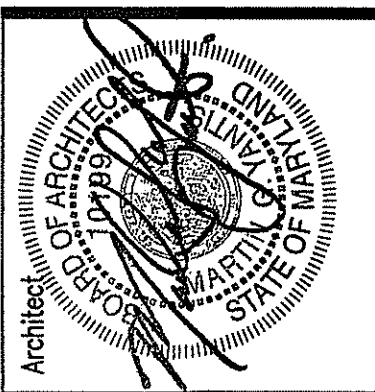
**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
 1952 Gaillovs Rd. Tel. 703.754.9733  
 Vienna, VA 22182 Fax. 703.847.9171  
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Sheet Number  
**D2**



Date	P.S. 02/04/03 ACM
	C.S. 04/04/03 ACM

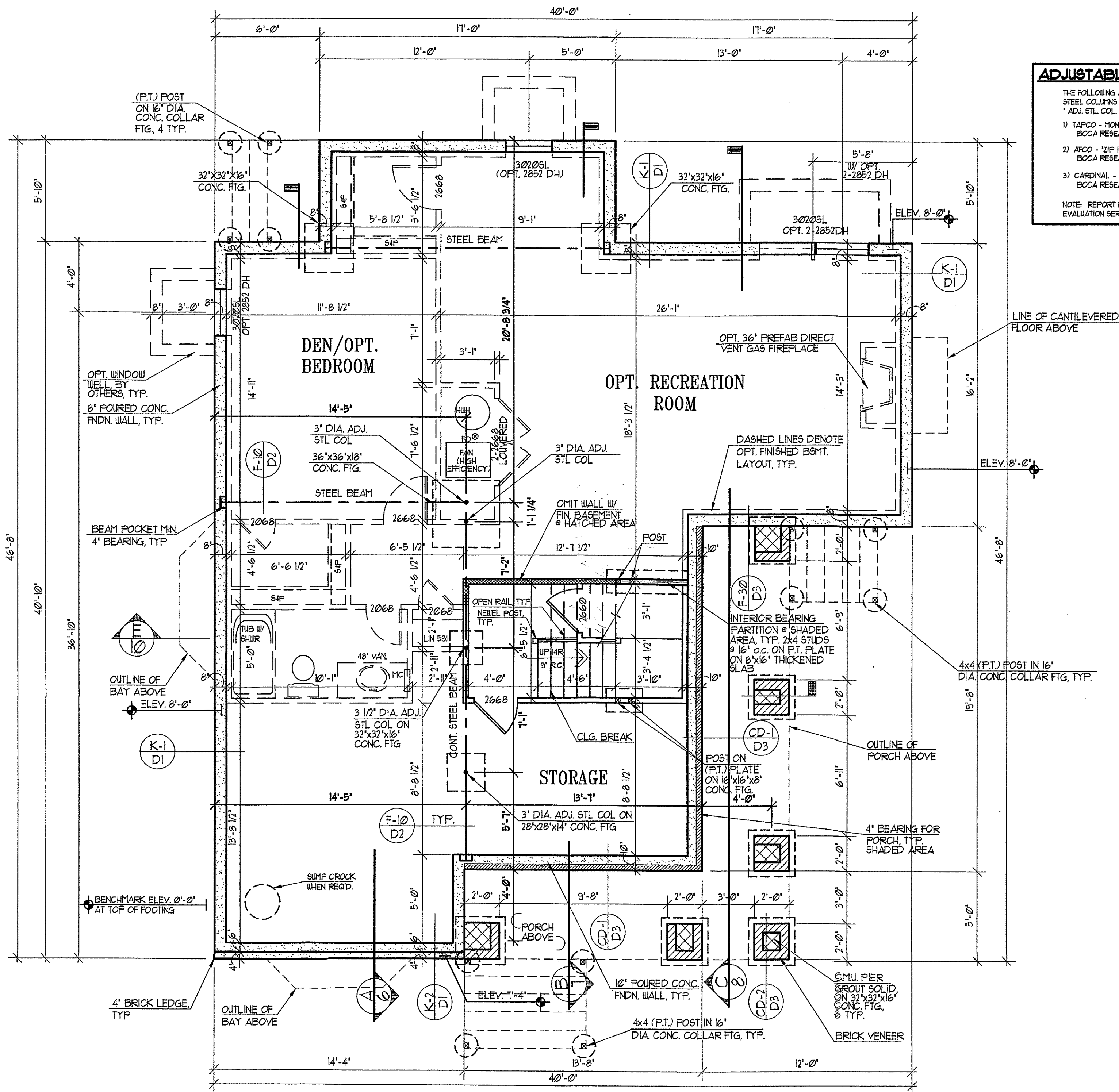
Project Number: 02206-J3  
**MERIDIAN HOMES**  
FIRST AVENUE  
LOT #16



**SUTTON  
YANTIS  
ASSOCIATES**  
ARCHITECTS

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Vienna, VA 22182 Fax 703.847.9171  
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Sheet Number  
**D3**



**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS "ADJ. STL. COL." IN THESE CONSTRUCTION DRAWINGS:

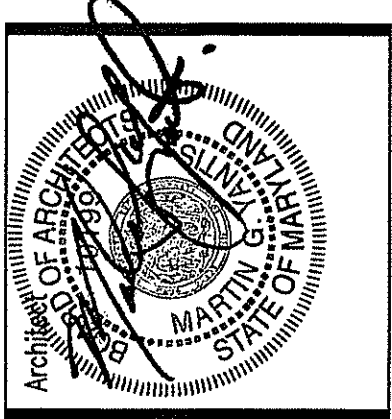
- 1) TAFCO - MONOPOST  
BOCA RESEARCH REPORT #38-60
- 2) AFCC - "ZIP IT'S UP"  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #128

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.

Date	
P.S. 01/10/03 ACH	
C.S. 04/04/03 ACH	

Project Number: 02206-02

**MERIDIAN HOMES  
FIRST AVENUE  
LOT #16**



**SUTTON  
YANTIS  
ASSOCIATES  
ARCHITECTS**

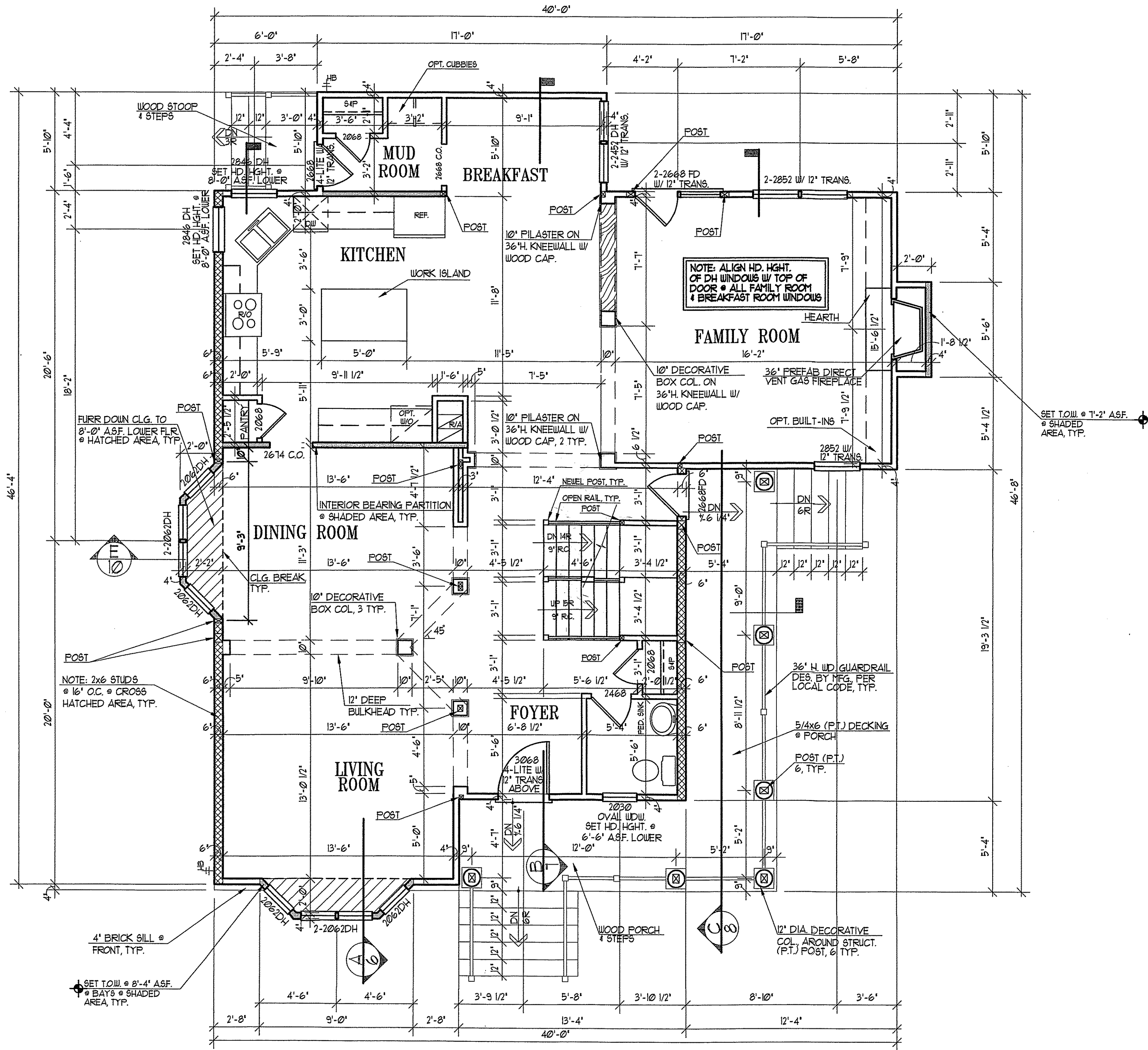
1952 Gallows Rd. Tel 703.734.9733  
Vienna, VA 22182 Fax 703.847.9171

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**FOUNDATION / BASEMENT FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" ABOVE TOP OF SLAB  
UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/2"

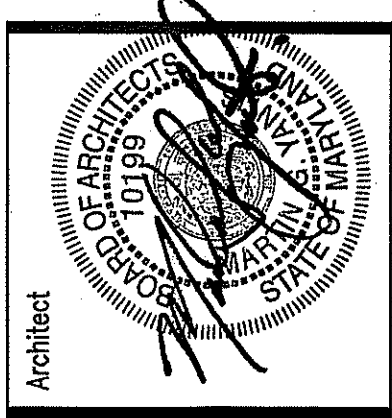
1 / 4" = 1' - 0"



Date	P.S. 01/10/03 ACN
	C.S. 04/04/03 ACN

Project Number: 02206-03

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



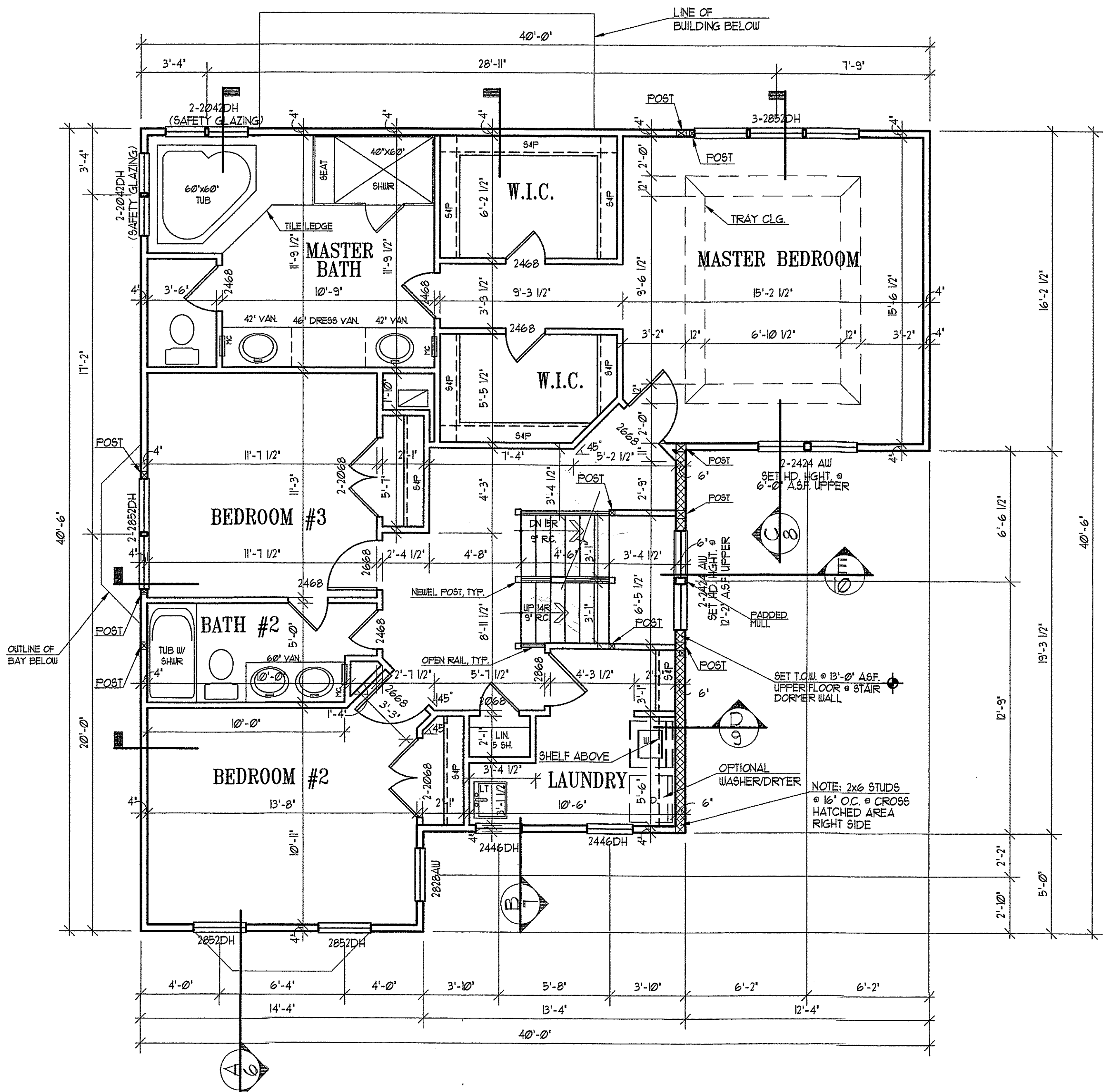
**SUTTON YANTIS ASSOCIATES ARCHITECTS**

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Vienna, VA 22182 Fax. 703.847.9171

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Sheet Number **3**





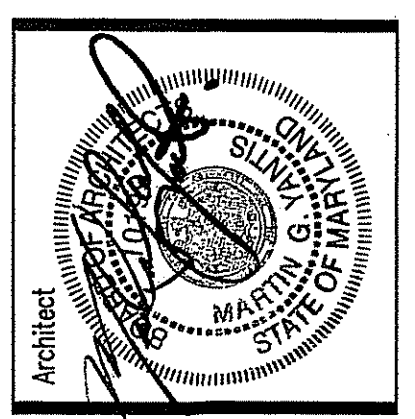
UPPER FLOOR PLAN

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" A.S.F.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3 1/2"

1 / 4" = 1' - 0"

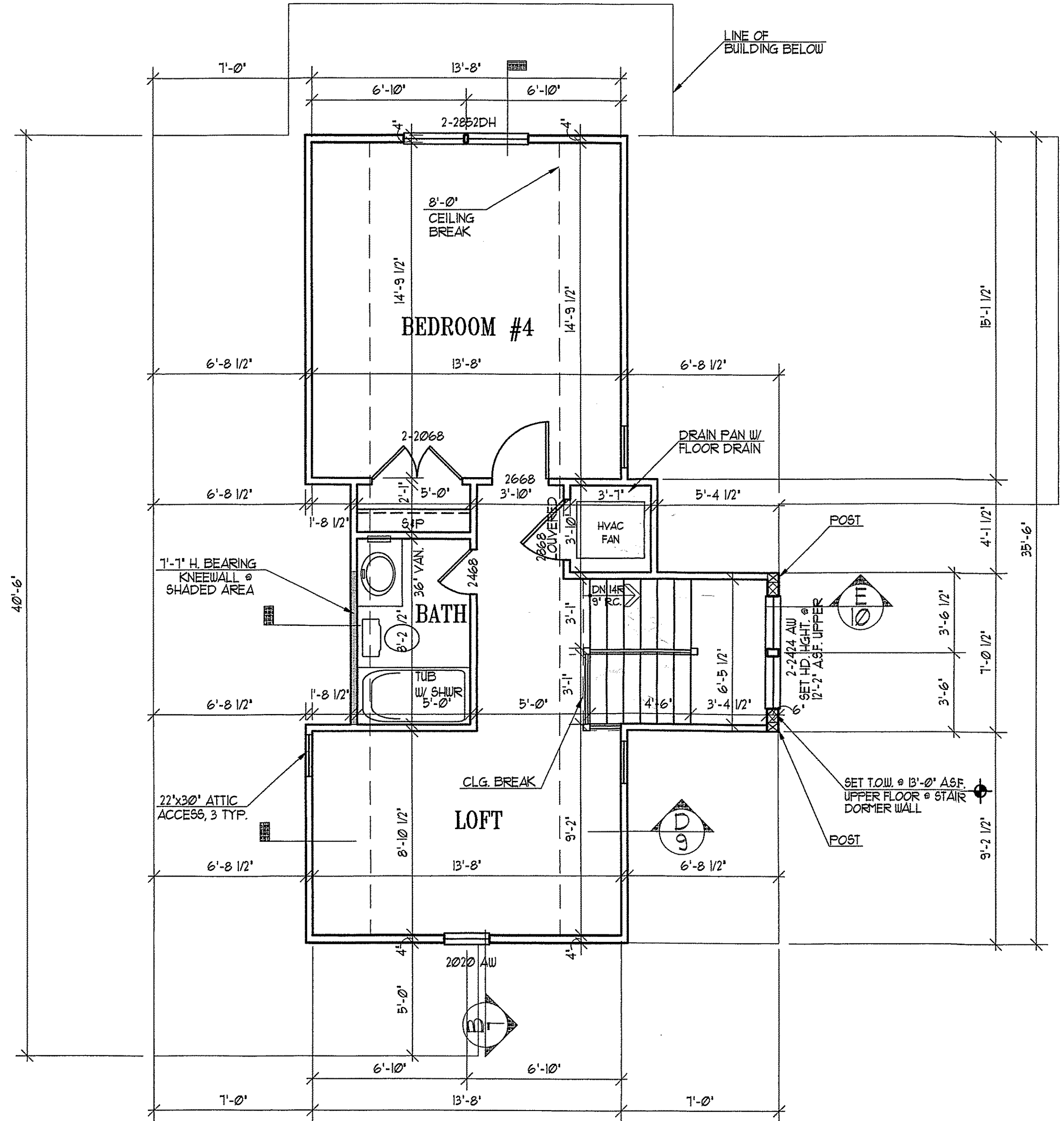
Date	P.S. 01/10/03 ACH
	C.S. 04/04/03 ACH

Project Number: 02206-04  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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Sheet Number  
**4**



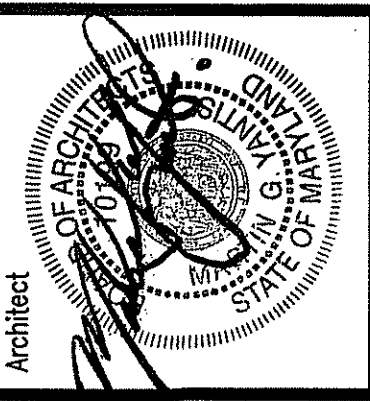
**ATTIC FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" A.S.F.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3 1/2"

1 / 4" = 1' - 0"

Date	
P.S. 01/10/03 ACH	
C.S. 04/04/03 ACH	

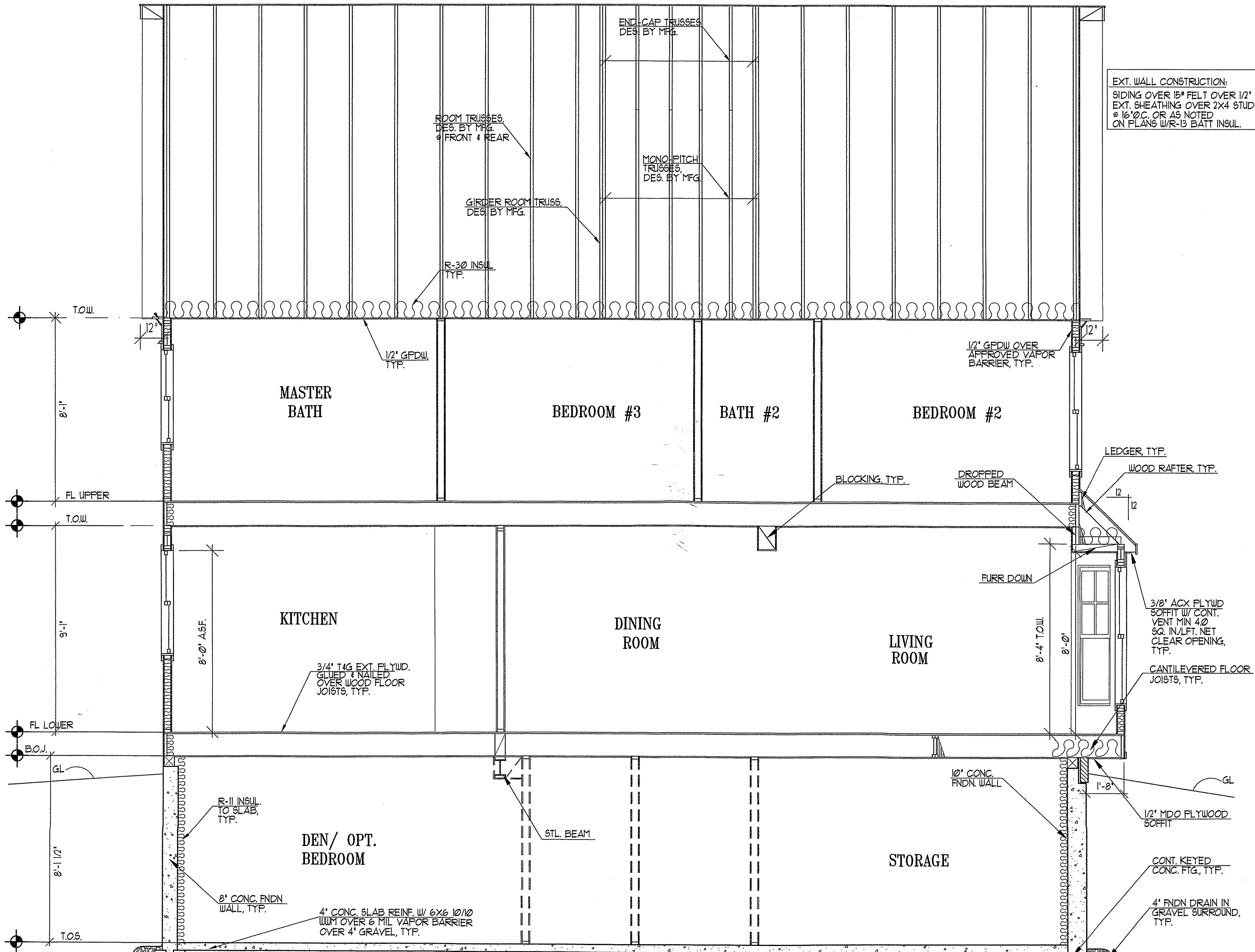
Project Number: 02206-05  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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**ASSOCIATES**  
**ARCHITECTS**

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Sheet Number  
**5**



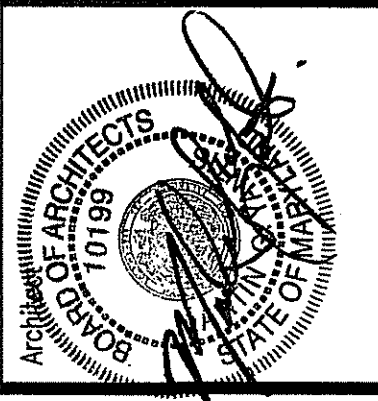
EXT. WALL CONSTRUCTION:  
 SIDING OVER 15# FELT OVER 1/2"  
 EXT. SHEATHING OVER 2X4 STUDS  
 @ 16" O.C. OR AS NOTED  
 ON PLANS W/R-B BATT INSUL.

**BUILDING SECTION 'A'**

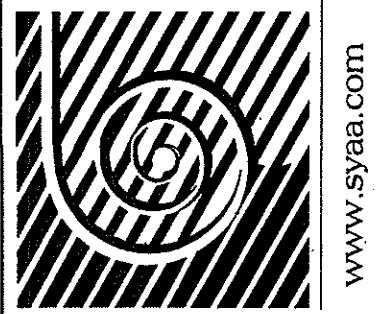
$3/8" = 1' - 0"$

Date	P.S. 02/04/03 ACM
	C.S. 04/04/03 ACM

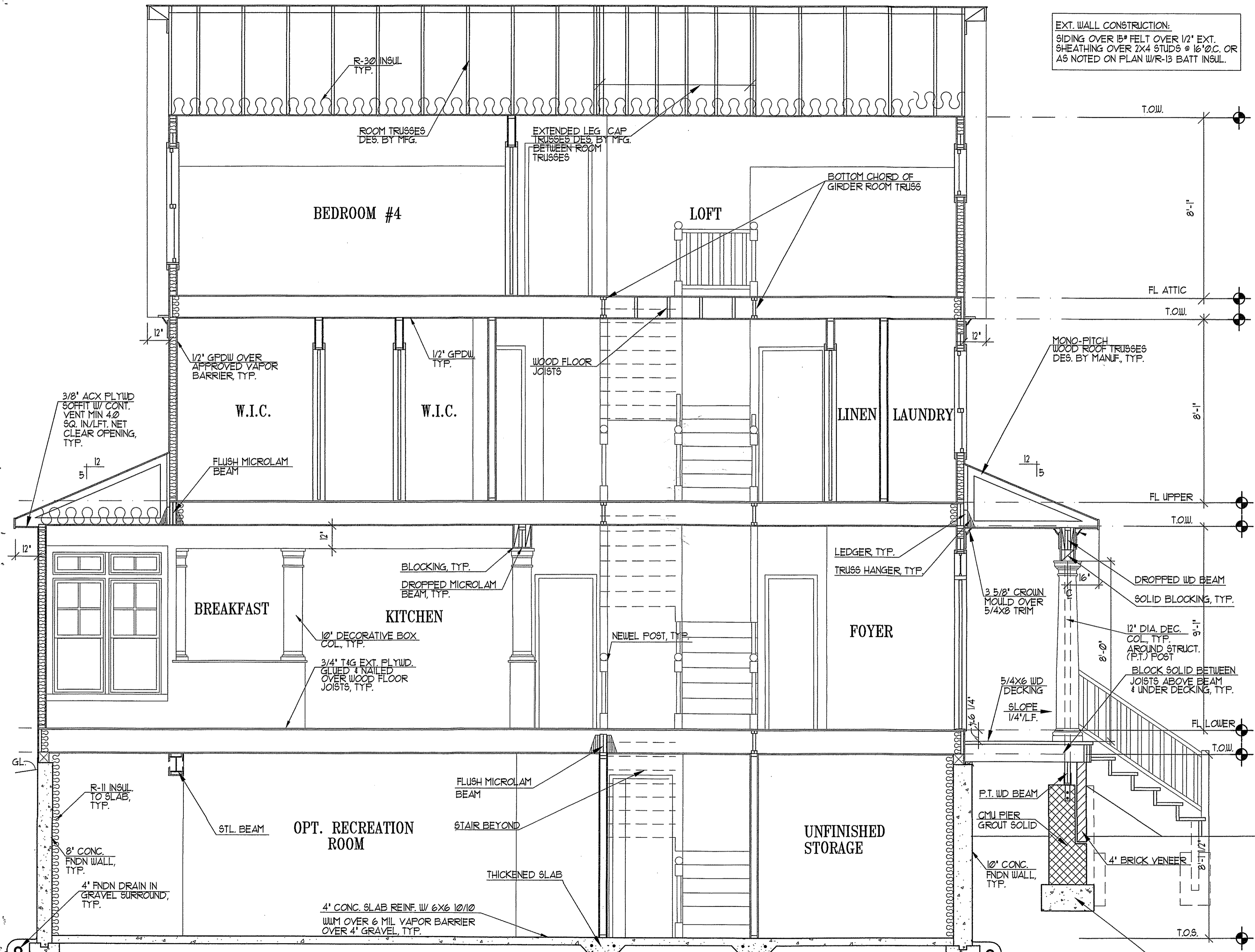
Project Number: 02206-06  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**  
 1823 Gallows Rd.  
 Vienna, VA 22182  
 Tel: 703.784.0793  
 Fax: 703.847.9171  
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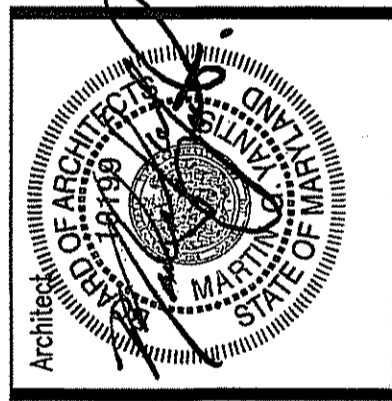
Sheet Number  
**6**



EXT. WALL CONSTRUCTION:  
 SIDING OVER 1/2" FELT OVER 1/2" EXT.  
 SHEATHING OVER 2X4 STUDS @ 16" O.C. OR  
 AS NOTED ON PLAN W/R-13 BATT INSUL.

Date	P.S. 02/04/03 ACM	C.S. 04/04/03 ACM
------	-------------------	-------------------

Project Number: 02206-07  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**

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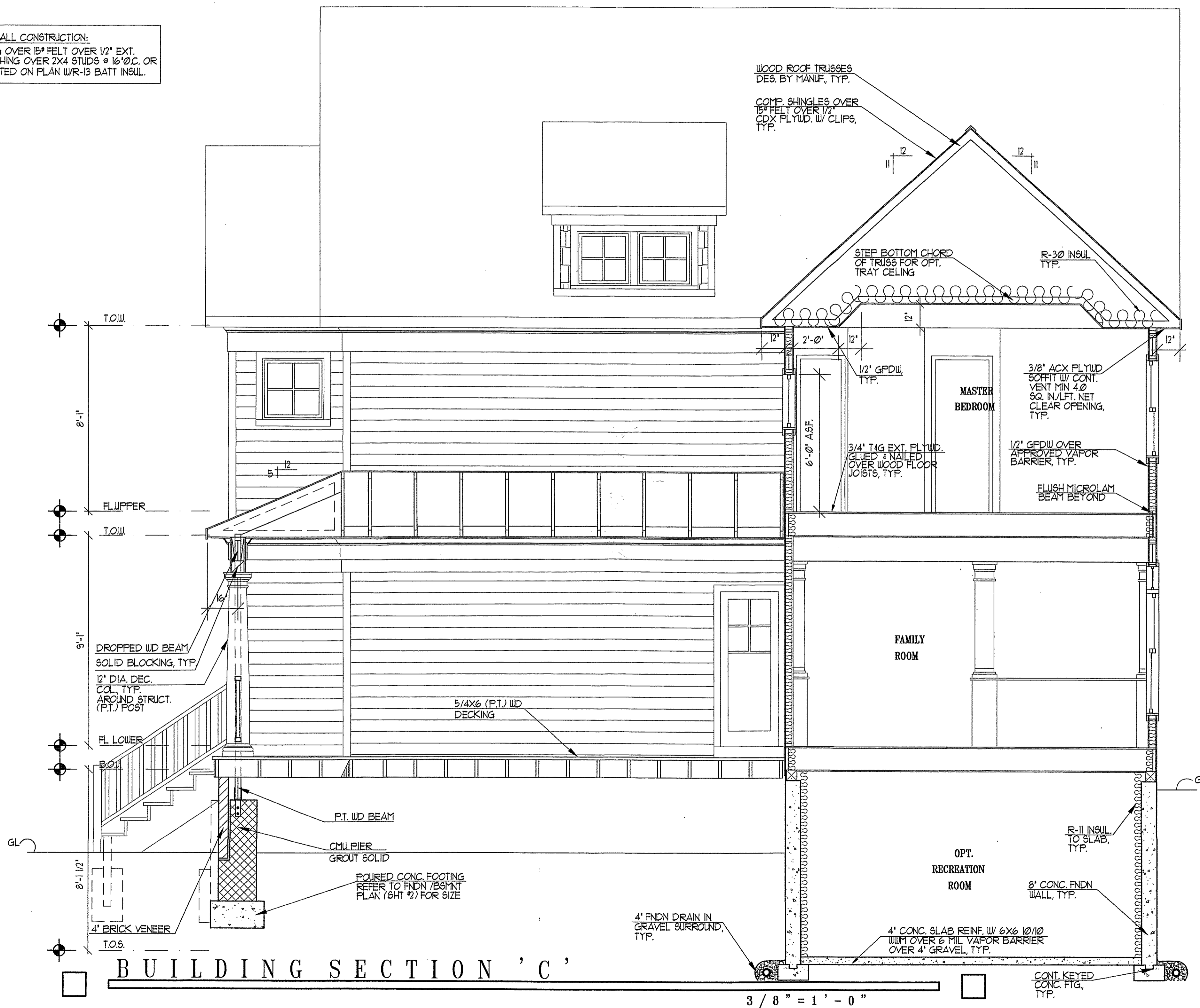
Sheet Number  
 7

**BUILDING SECTION 'B'**

3 / 8 " = 1 ' - 0 "

CONT. KEYED CONC. FIG., TYP.  
 POURED CONC. FOOTING REFER TO FNDN / BSMNT PLAN (SHT #2) FOR SIZE

EXT. WALL CONSTRUCTION:  
 SIDING OVER 15# FELT OVER 1/2" EXT.  
 SHEATHING OVER 2X4 STUDS @ 16" O.C. OR  
 AS NOTED ON PLAN W/R-13 BATT INSUL.

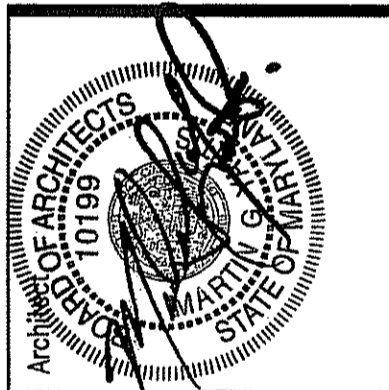


BUILDING SECTION 'C'

3 / 8 " = 1 ' - 0 "

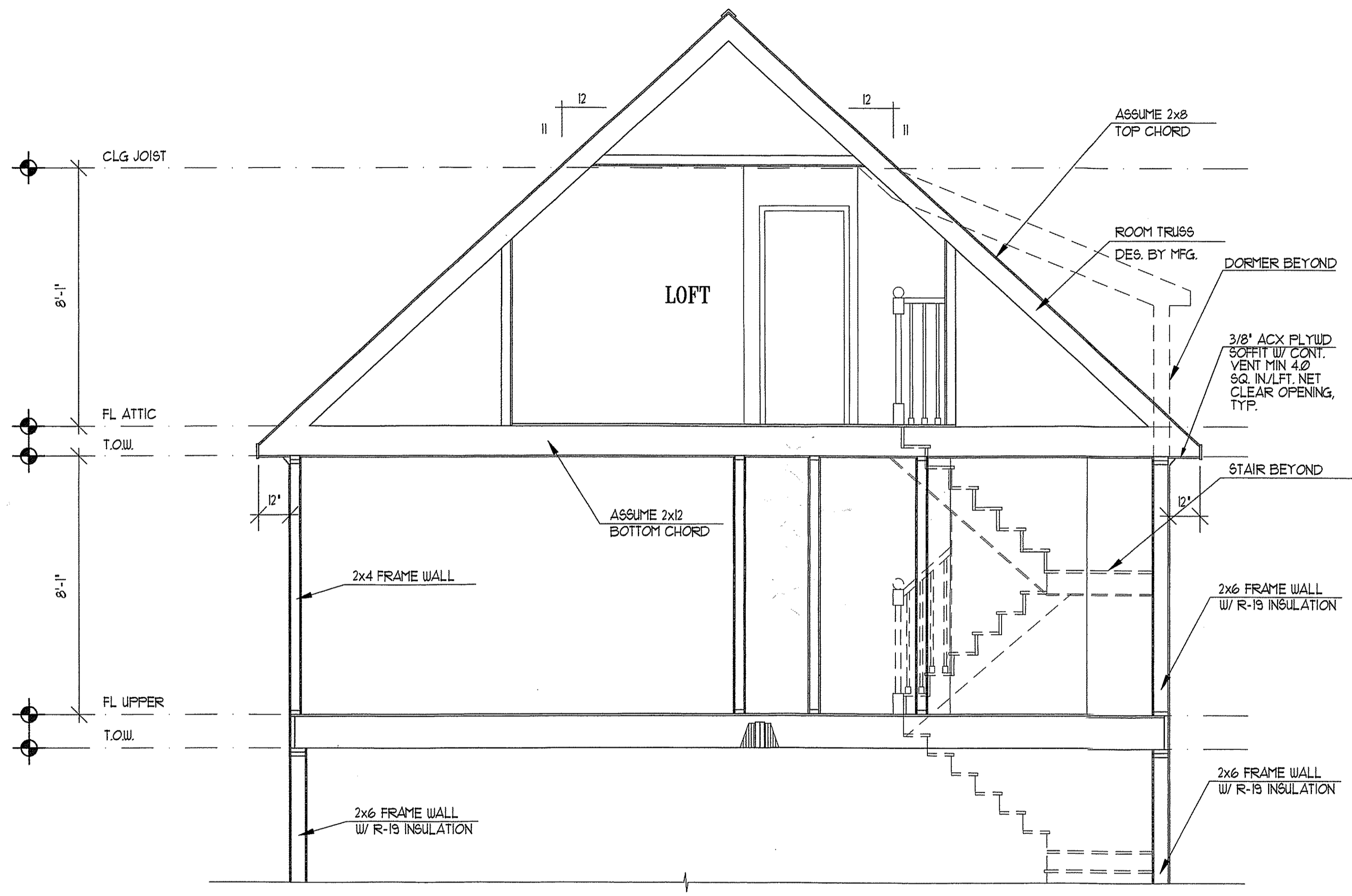
Date	
P.S. 02/04/03 ACH	
C.S. 04/04/03 ACH	

Project Number: 02206-08  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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 Vienna, VA 22182 Fax: 703.647.9171  
 www.sya.com

Sheet Number **8**

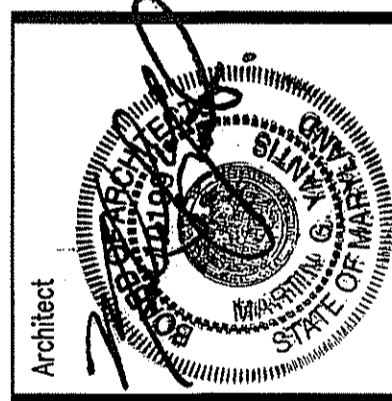


PARTIAL BUILDING SECTION DIAGRAM 'D'

3 / 8 " = 1 ' - 0 "

Date	
P.S.	01/10/03 ACM
C.S.	04/04/03 ACM

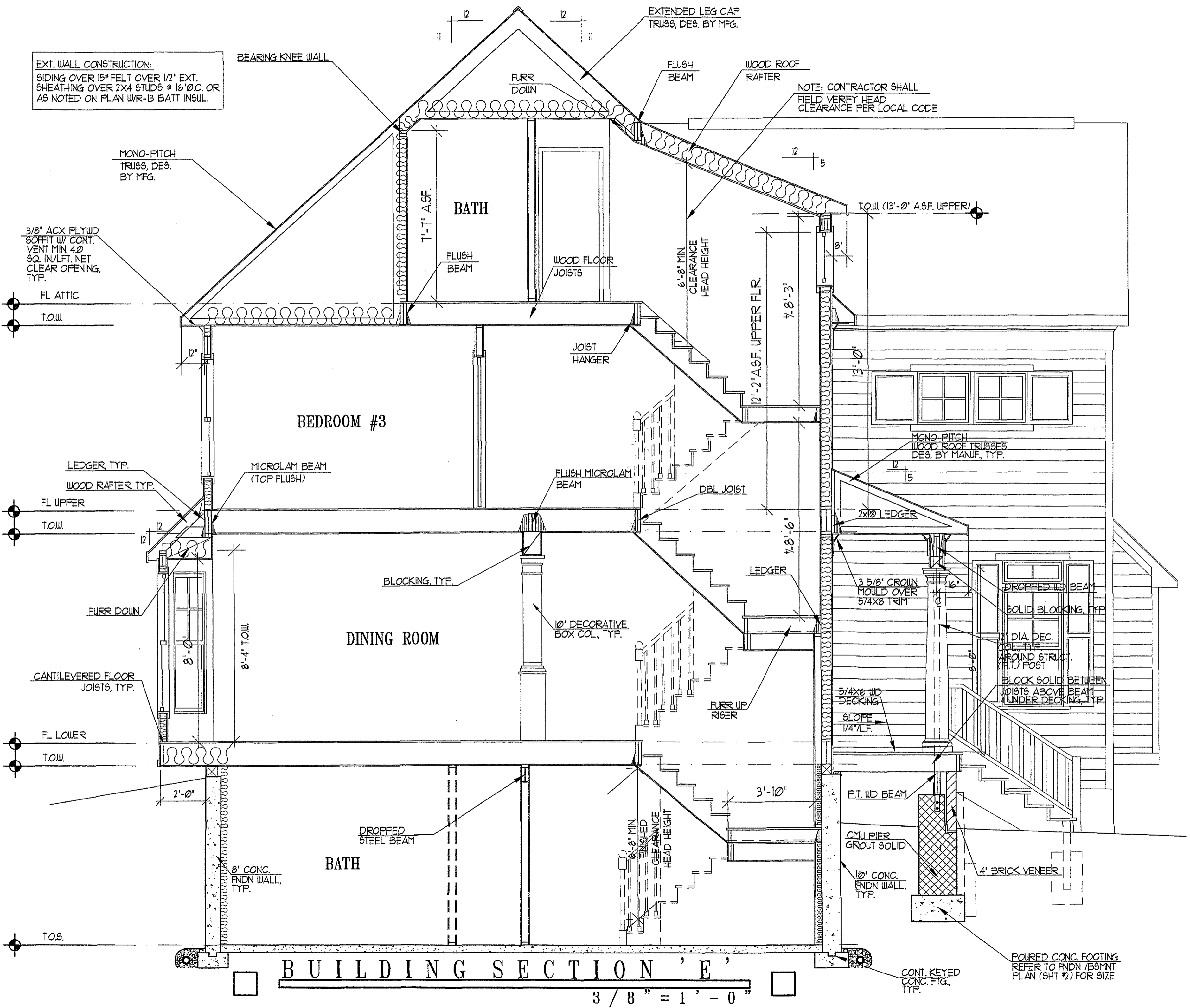
Project Number: 02206-09  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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 Vienna, VA 22182 Fax 703.847.9171  
 www.syaa.com

Sheet Number  
**9**

EXT. WALL CONSTRUCTION:  
SIDING OVER 1/2" FELT OVER 1/2" EXT.  
SHEATHING OVER 2x4 STUDS @ 16" O.C. OR  
AS NOTED ON PLAN W/R-13 BATT INSUL.



**BUILDING SECTION 'E'**  
3/8" = 1'-0"

Date	P.S. 07/10/03 ACH
	C.S. 04/04/03 ACH

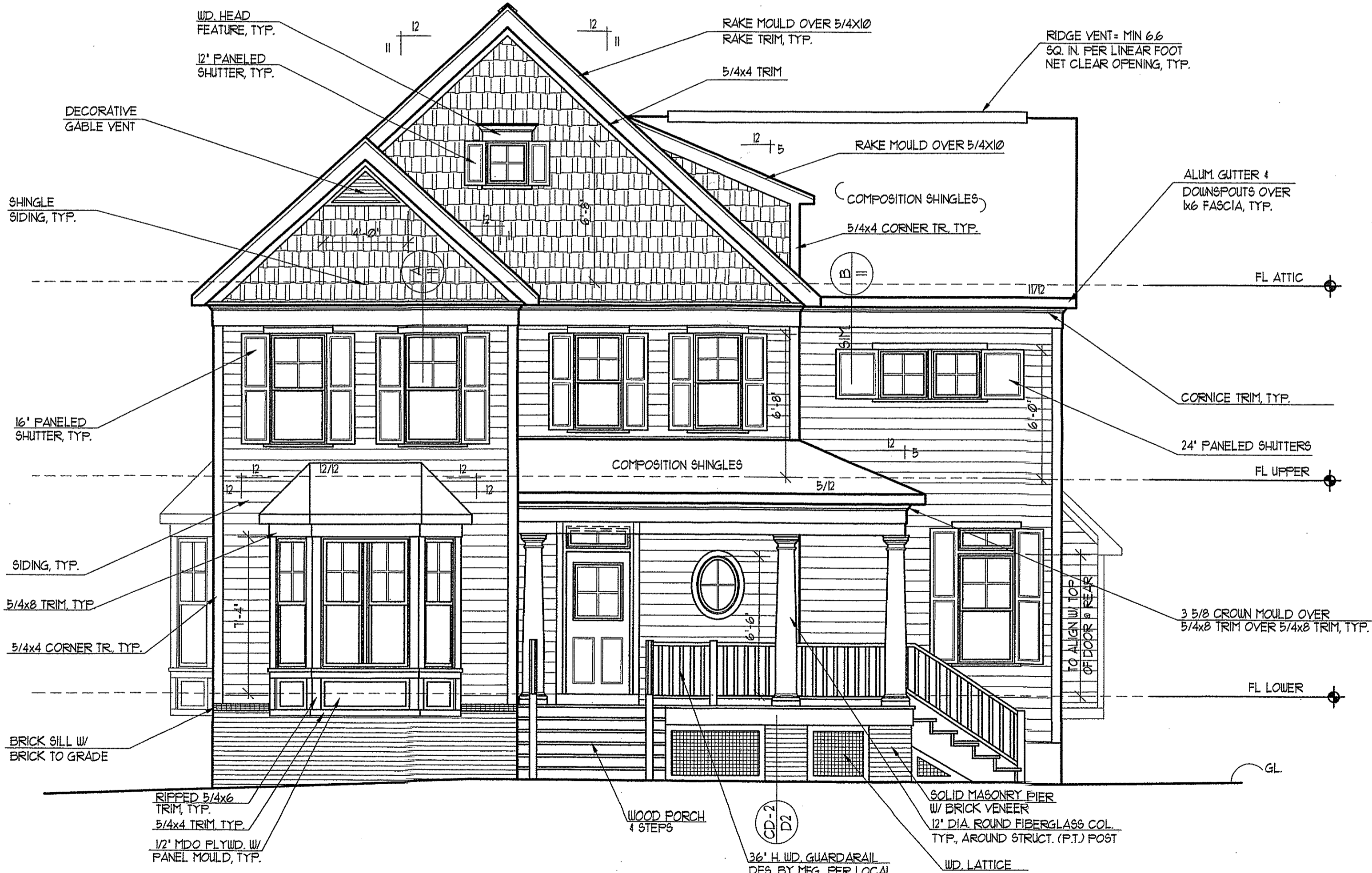
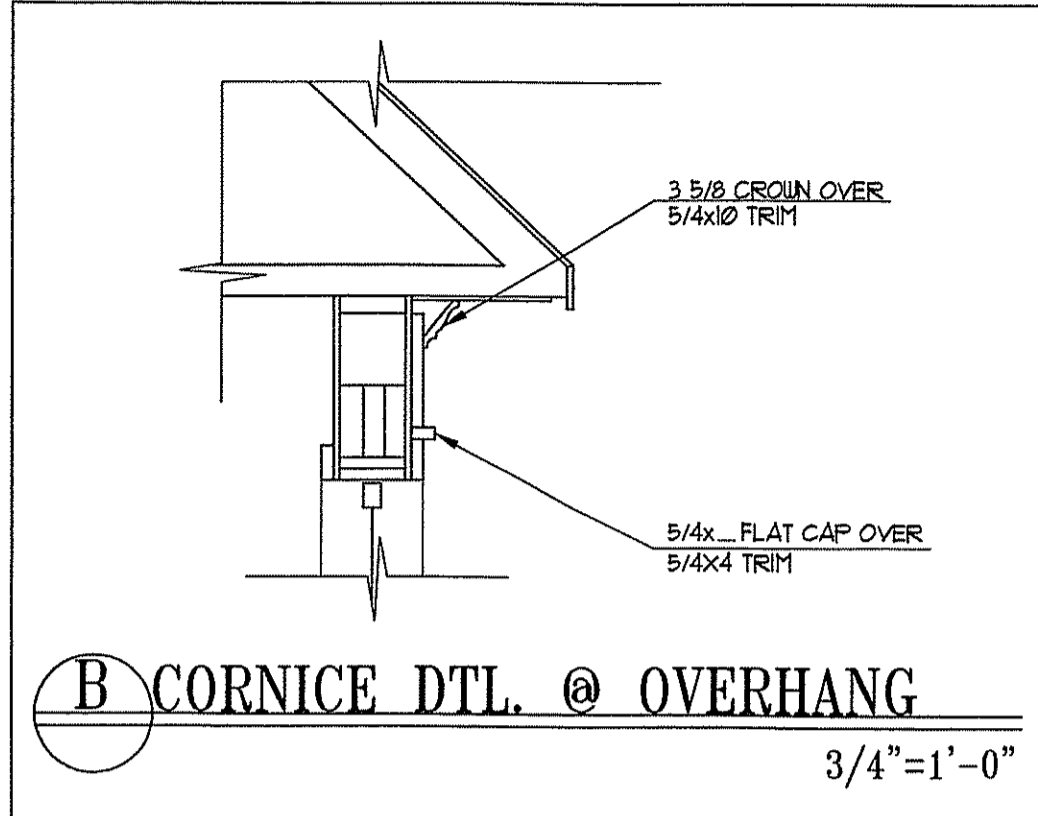
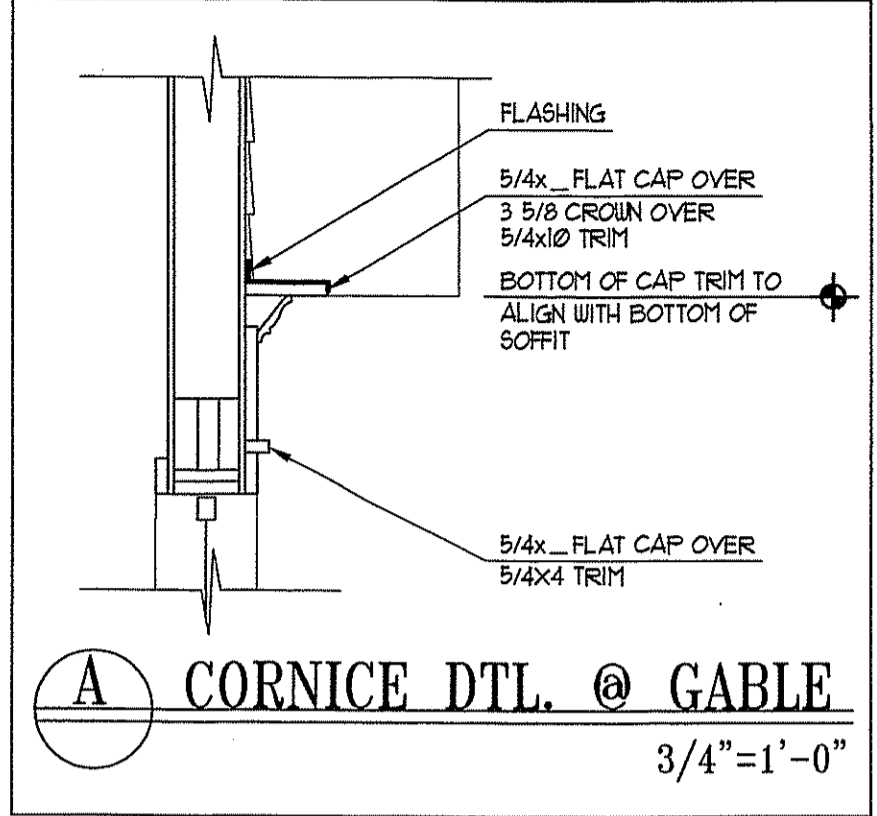
Project Number: 02206-10  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



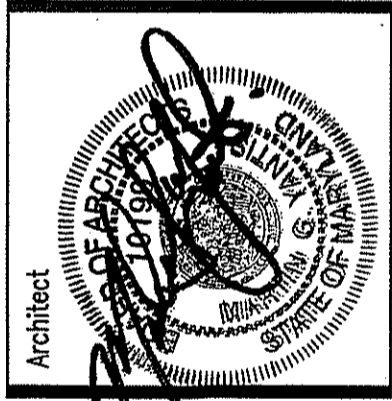
**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
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Sheet Number  
**10**

Date	P.S. 07/10/03 ACH
	C.S. 04/04/03 ACH



Project Number: 02206-11  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



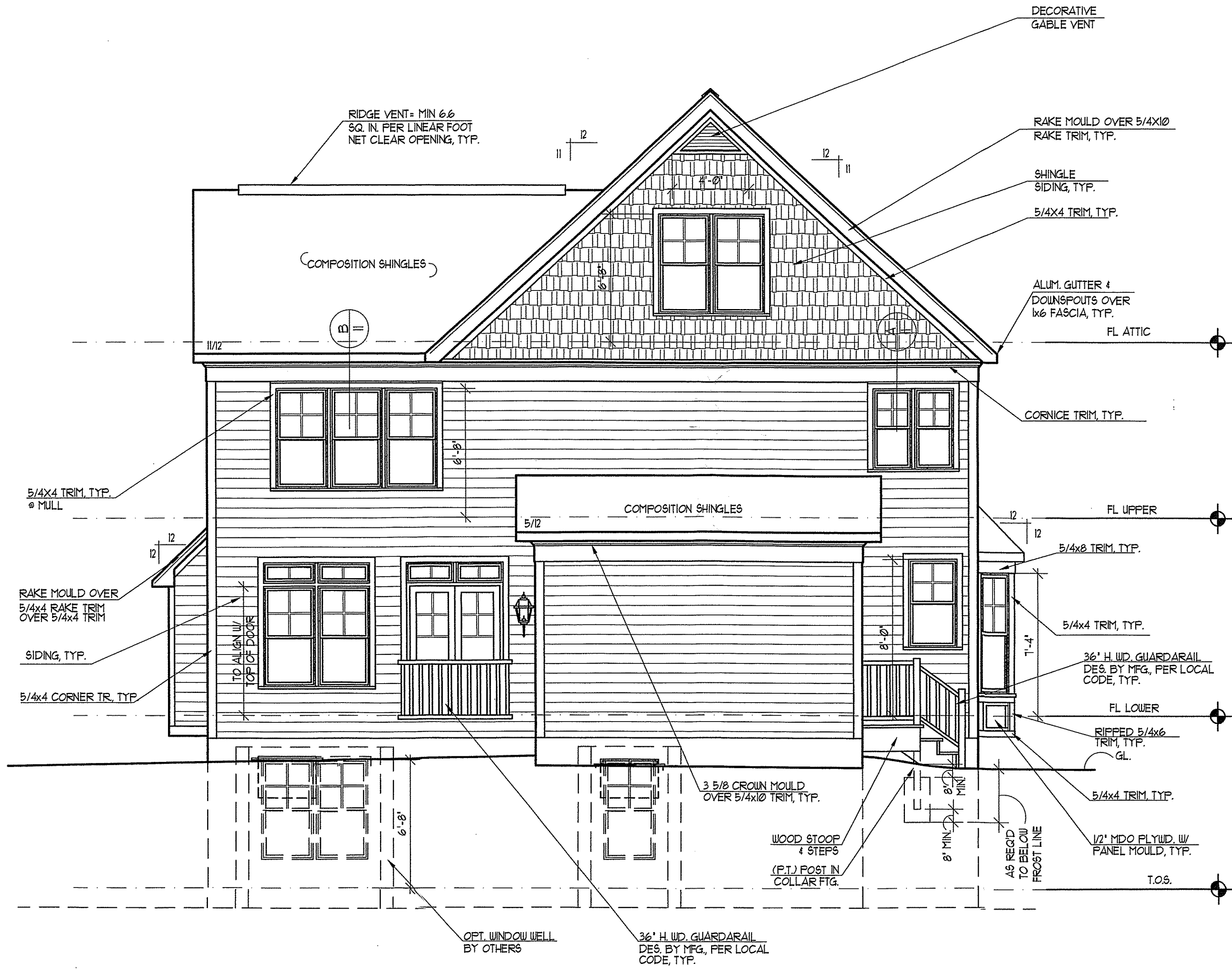
**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
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 1952 Gallows Rd. Tel. 703.794.9733  
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Sheet Number  
**11**

1/4" = 1'-0"



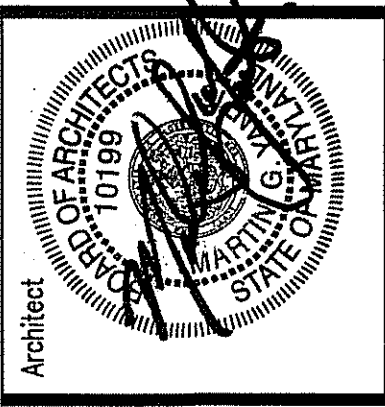
Date	PS. 07/10/03 ACH
	CS. 04/04/03 ACH



REAR ELEVATION

1 / 4" = 1' - 0"

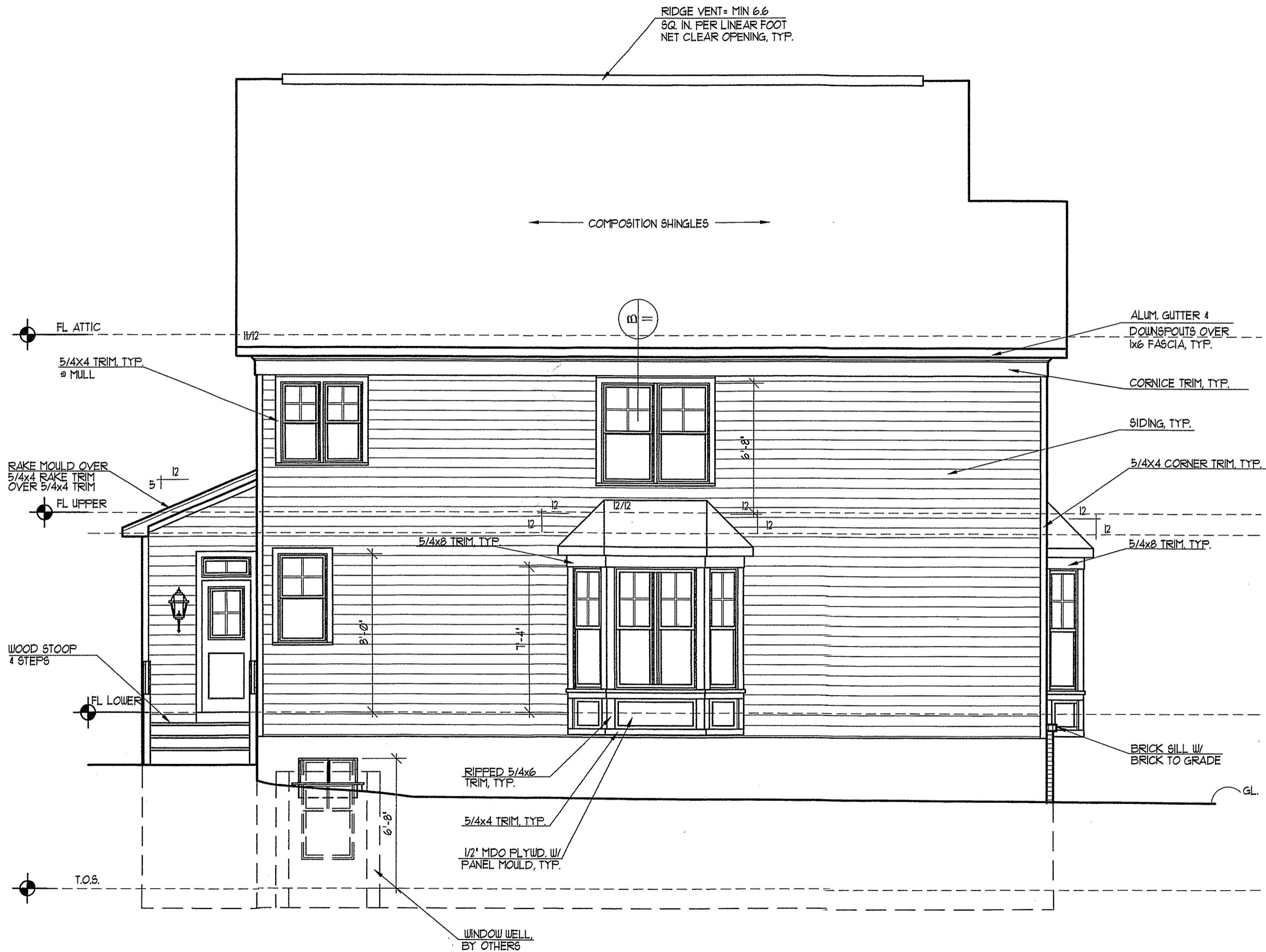
Project Number: 02206-12  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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Sheet Number  
**12**

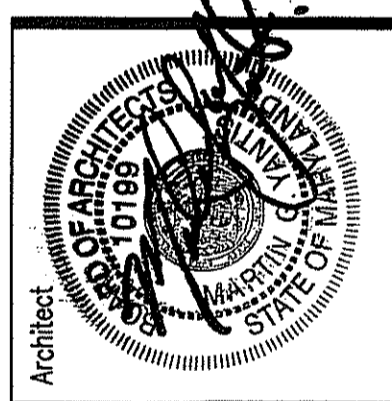
Date	
P.S. 01/10/03 ACM	
C.S. 04/04/03 ACM	



LEFT SIDE ELEVATION

1 / 4" = 1' - 0"

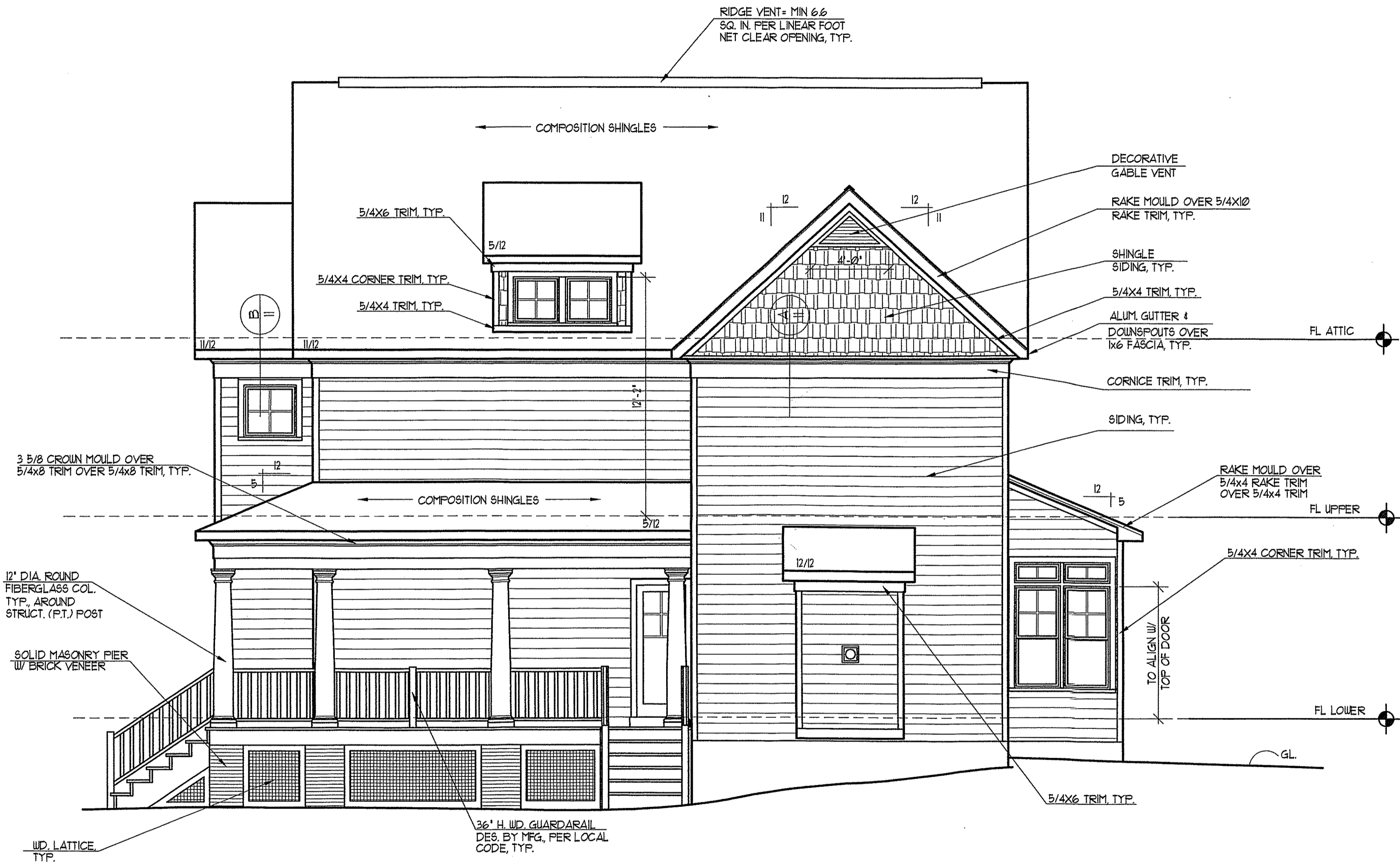
Project Number: 02206-13  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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Sheet Number  
**13**

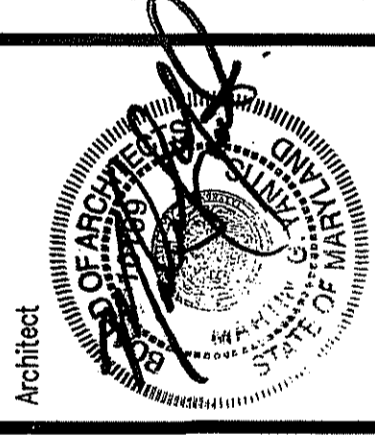
Date	
P.S. 07/10/03 ACH	
C.S. 04/04/03 ACH	



RIGHT SIDE ELEVATION

1 / 4" = 1 ' - 0 "

Project Number: 02206-14  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**

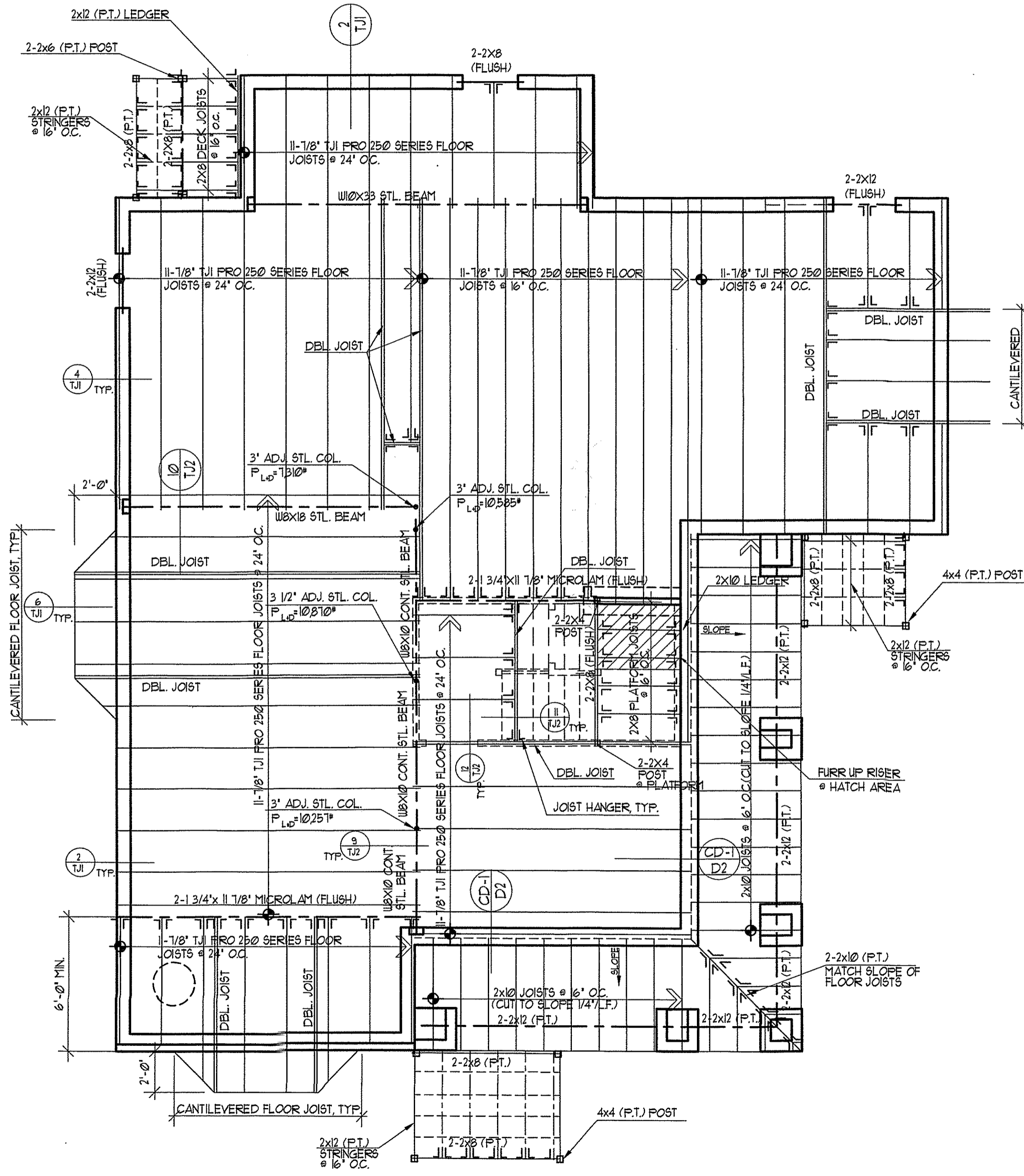


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Date	P.S. 07/07/03 ACH
	C.S. 04/04/03 ACH

Project Number: 02206-15  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



**DESIGN DATA:**

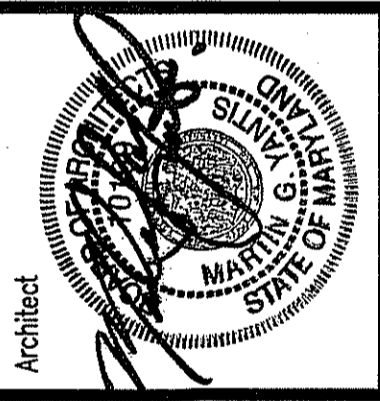
FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 PSF
ALL OTHER AREAS:	40 PSF
DEAD LOAD:	10 PSF

**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS 'ADJ. STL. COL.' IN THESE CONSTRUCTION DRAWINGS:

- 1) TAPCO - MONOPOST  
BOCA RESEARCH REPORT #38-60
- 2) AFCO - 'ZIP IT'S UP'  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #128

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.

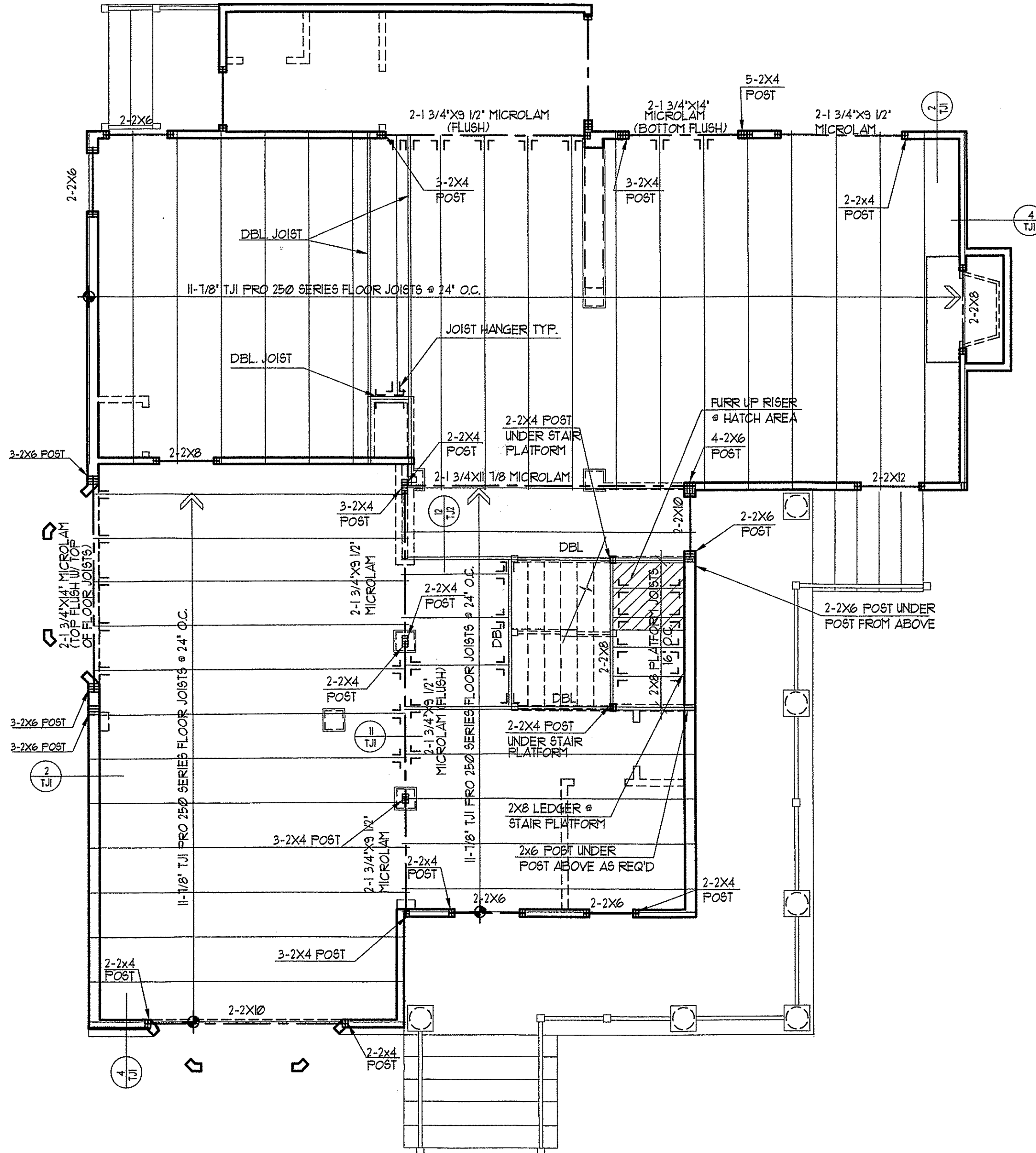


**SUTTON YANTIS ASSOCIATES ARCHITECTS**

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 Vienna, VA 22182 Fax 703.847.9171

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DESIGN DATA:	
FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 P&F
ALL OTHER AREAS:	40 P&F
DEAD LOAD:	10 P&F

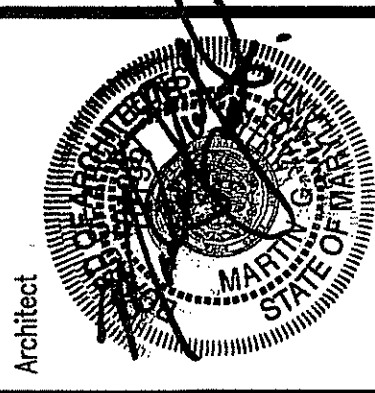


UPPER FLOOR FRAMING PLAN

1 / 4" = 1' 0"

Date	
P.S. 07/10/03 ACM	
C.S. 04/04/03 ACM	

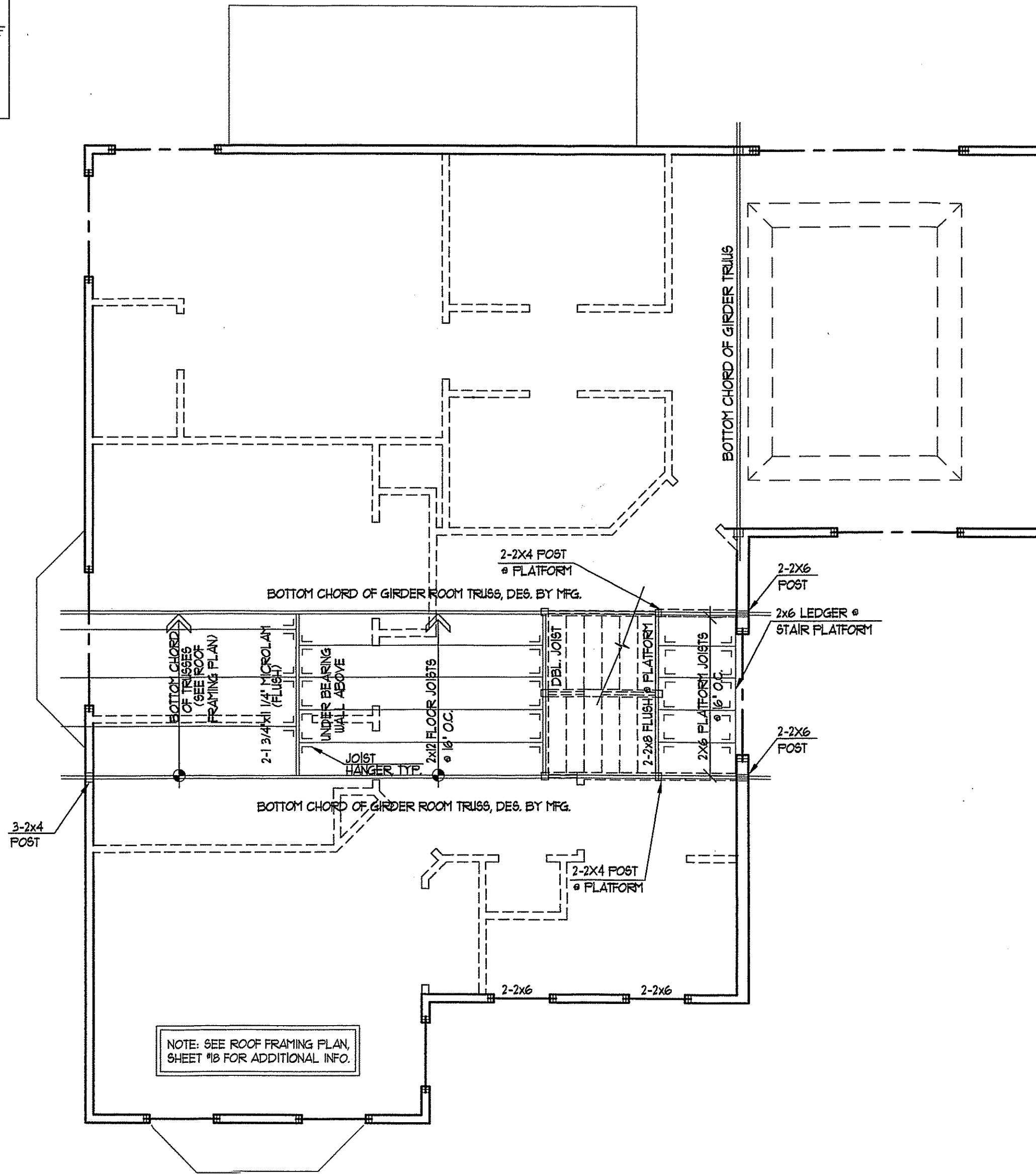
Project Number: 07206-16  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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Sheet Number  
**16**

DESIGN DATA:	
ROOF:	
TRUSSES:	
LIVE LOAD:	30 PSF
DEAD LOAD:	
TOP CHORD:	7 PSF
BOTTOM CHORD:	10 PSF
TOTAL:	47 PSF
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 PSF



NOTE: SEE ROOF FRAMING PLAN, SHEET #18 FOR ADDITIONAL INFO.

ATTIC FLOOR FRAMING PLAN

1 / 4" = 1' - 0"

Date	P.S. 01/10/03 ACM
	C.S. 04/04/03 ACM

Project Number: 02206-17  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**

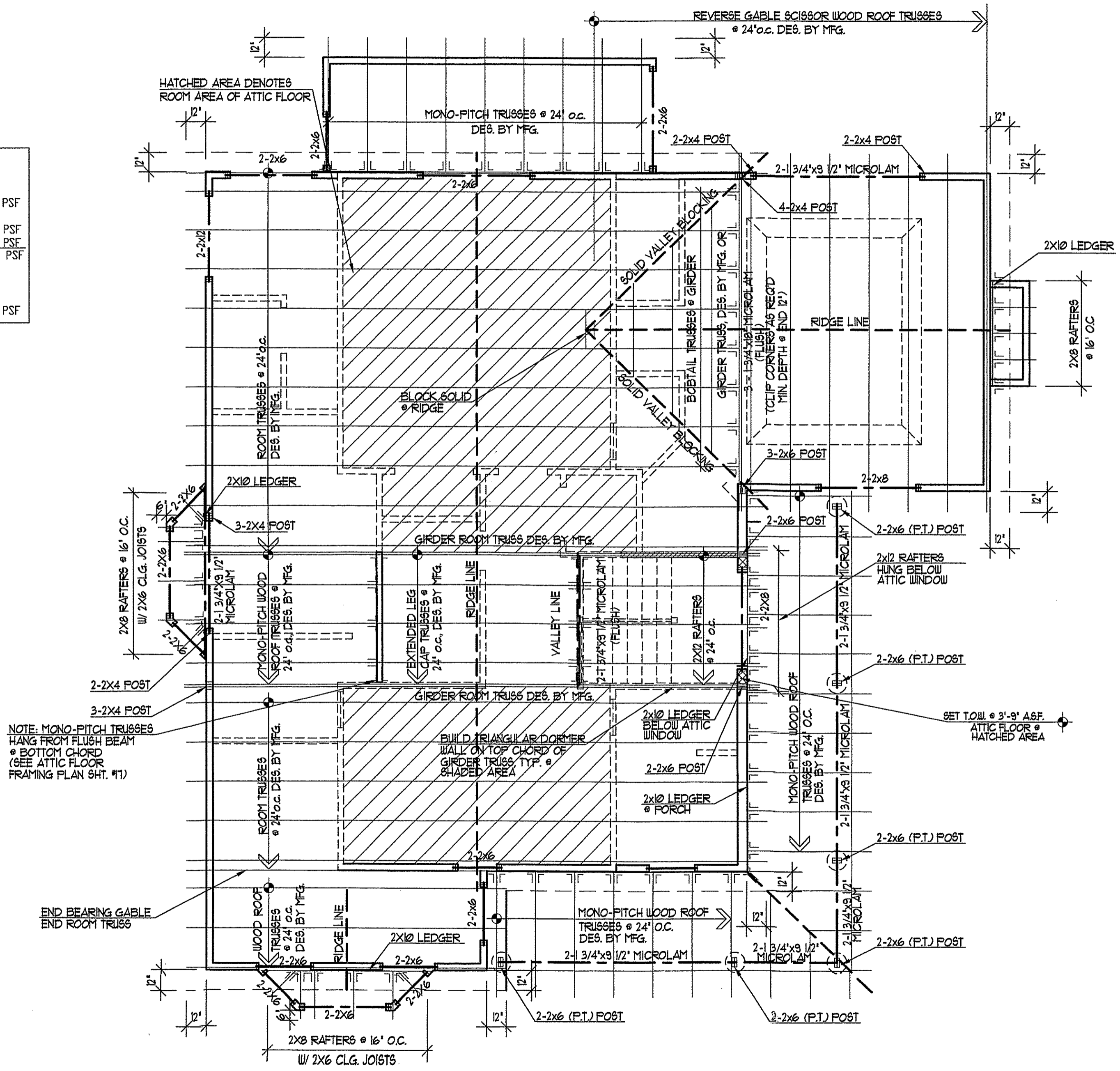


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Sheet Number  
**17**

Date	P.S. 07/10/03 ACM
	C.S. 04/04/03 ACM

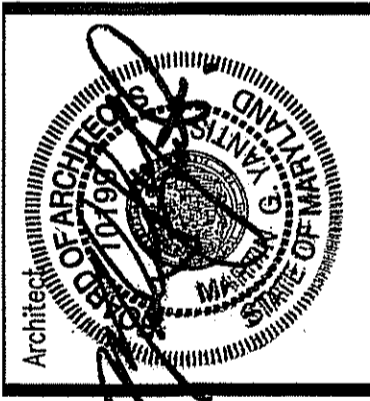
DESIGN DATA:	
ROOF:	
TRUSSES:	
LIVE LOAD:	30 PSF
DEAD LOAD:	
TOP CHORD:	7 PSF
BOTTOM CHORD:	10 PSF
TOTAL:	47 PSF
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 PSF



ROOF FRAMING PLAN

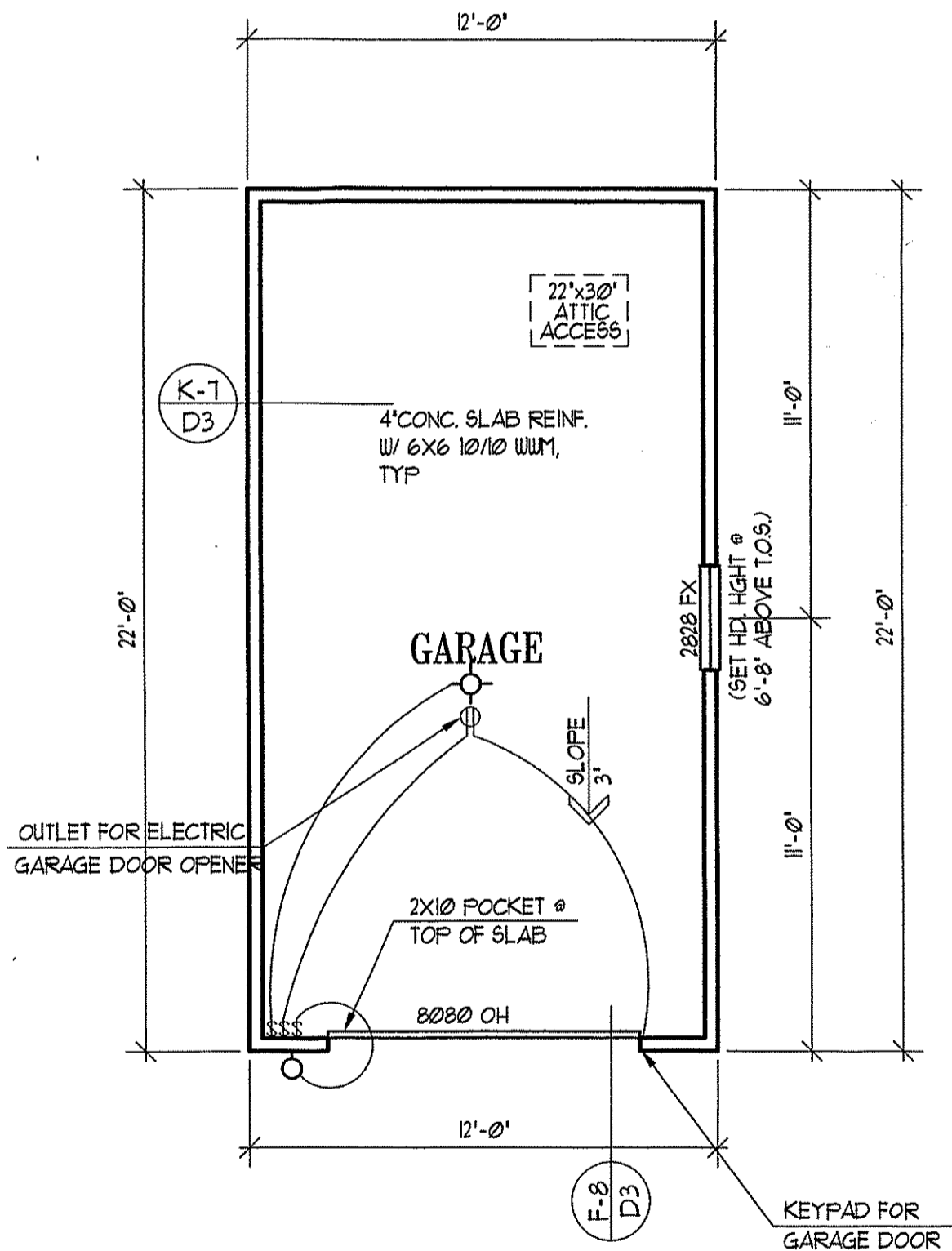
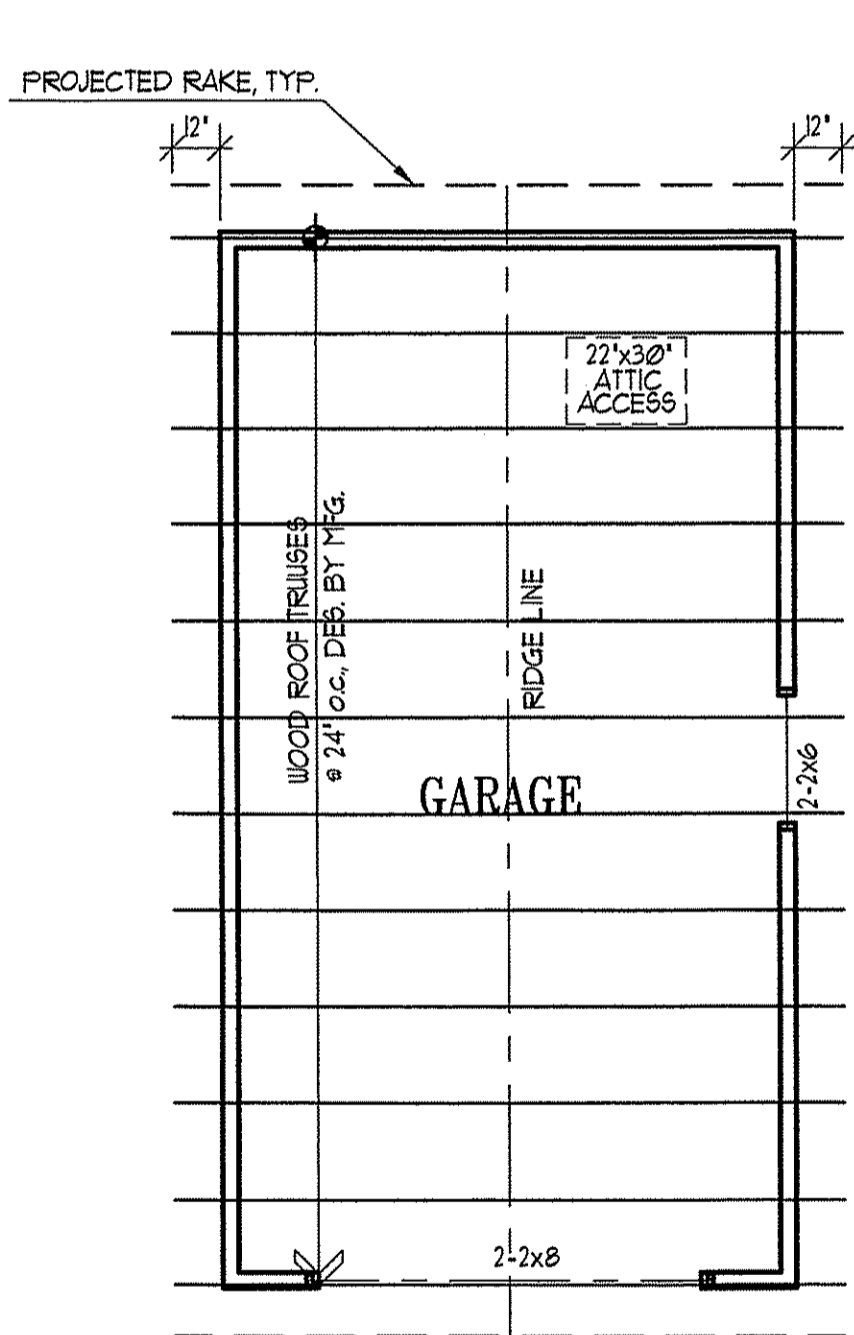
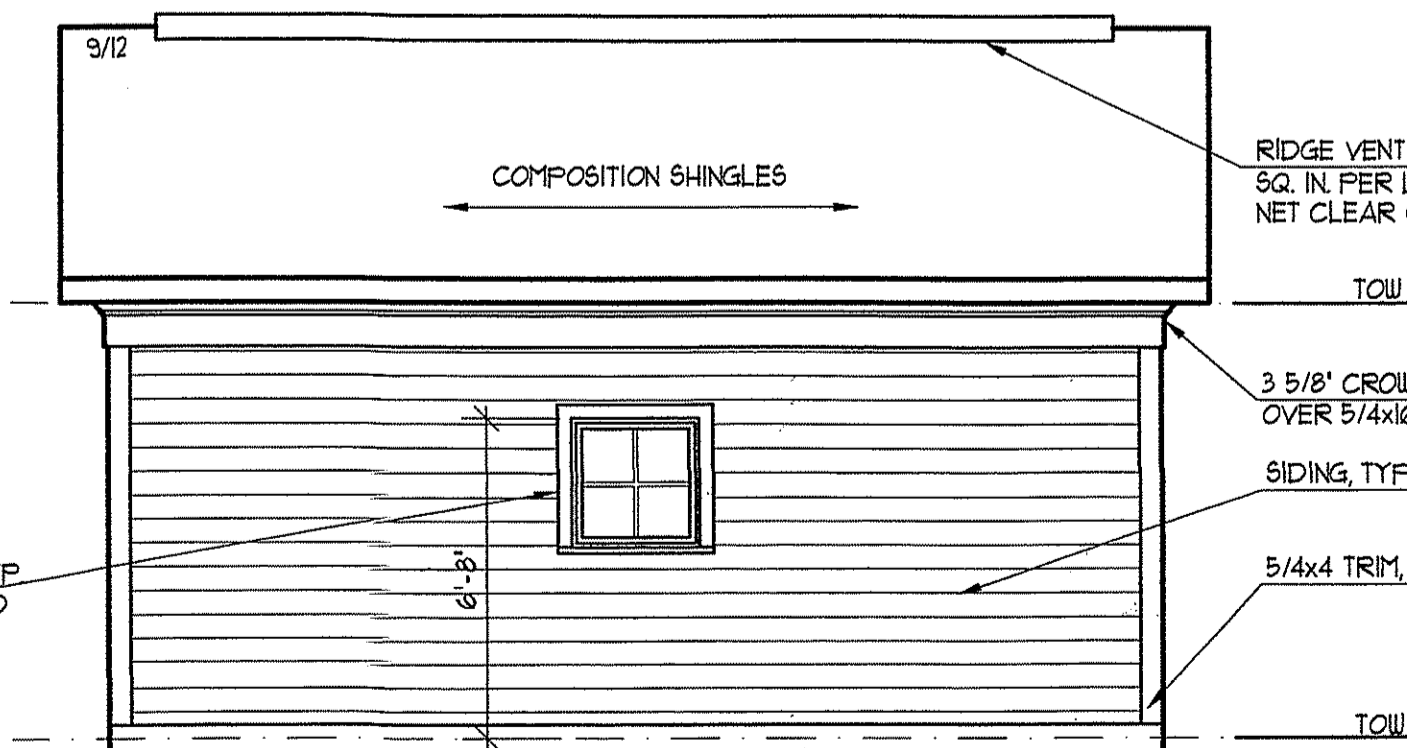
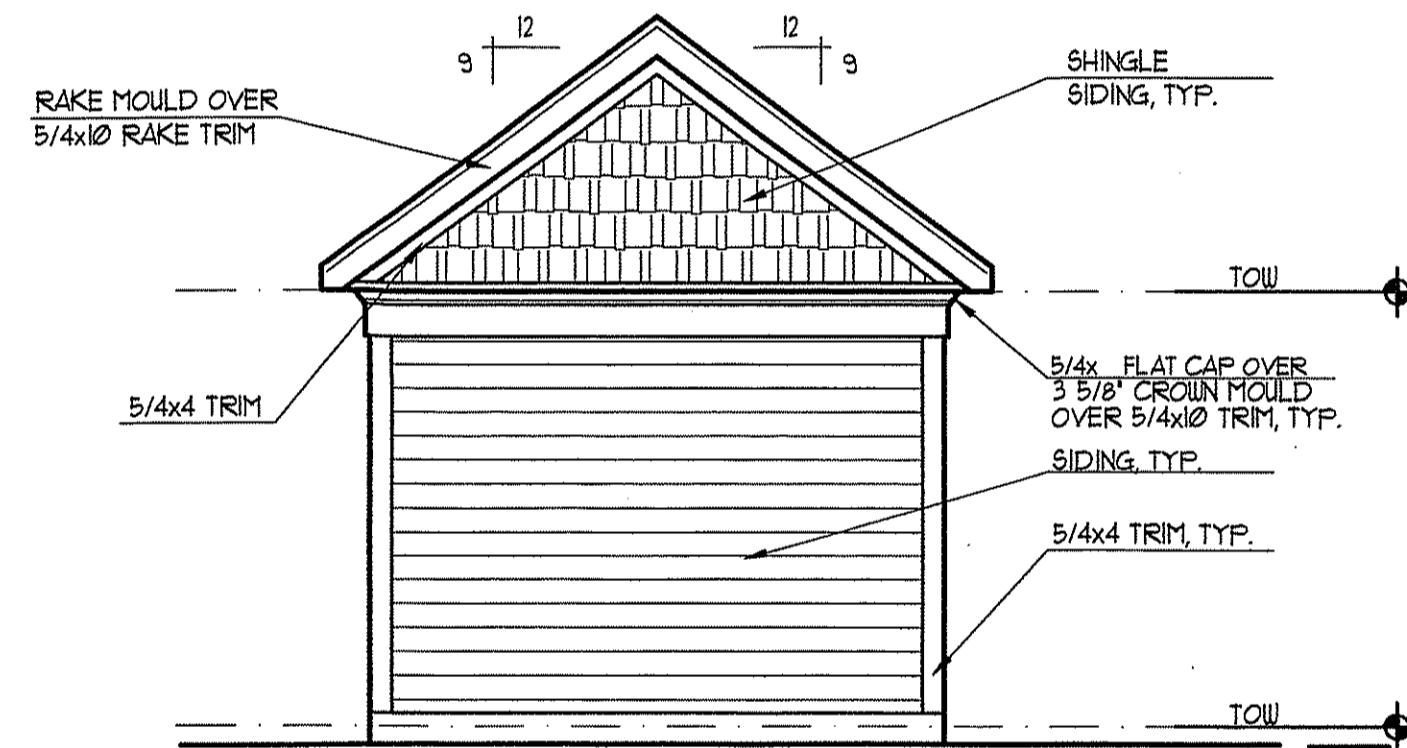
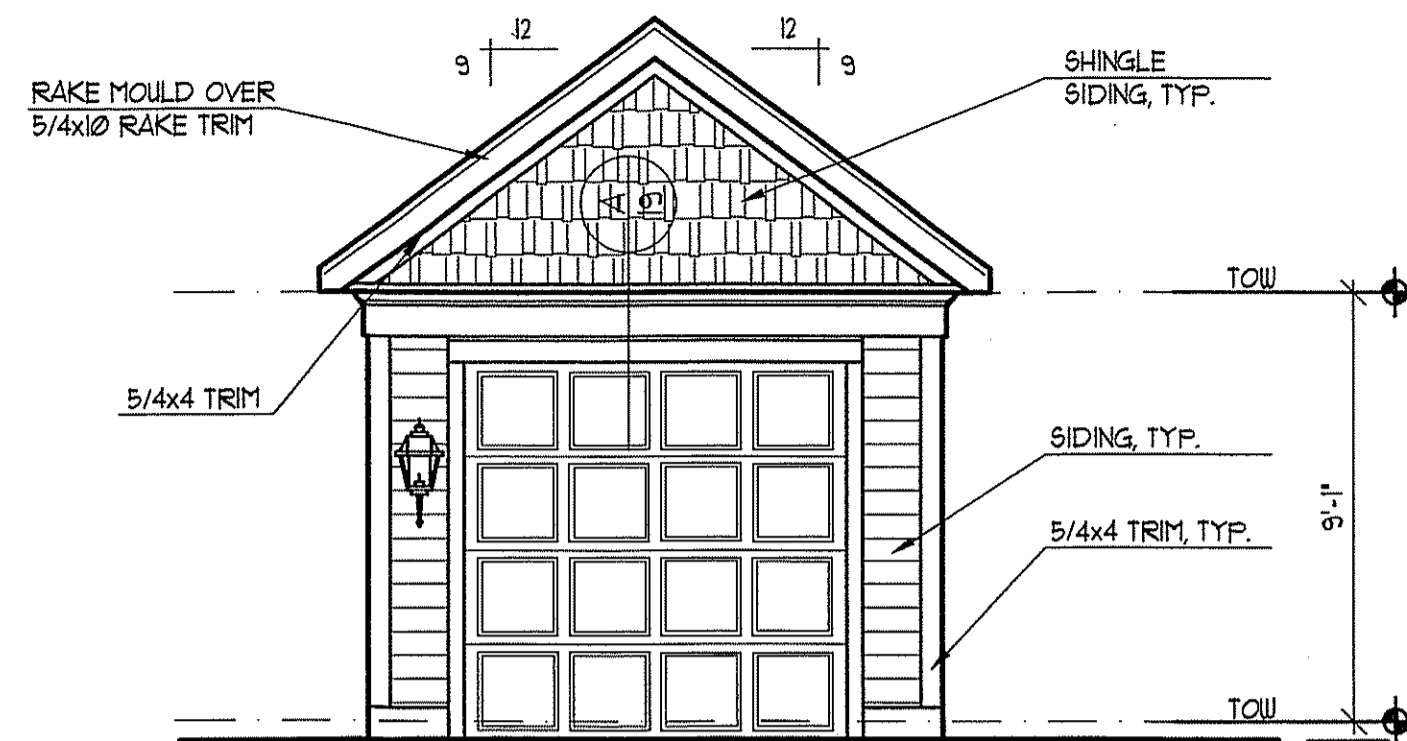
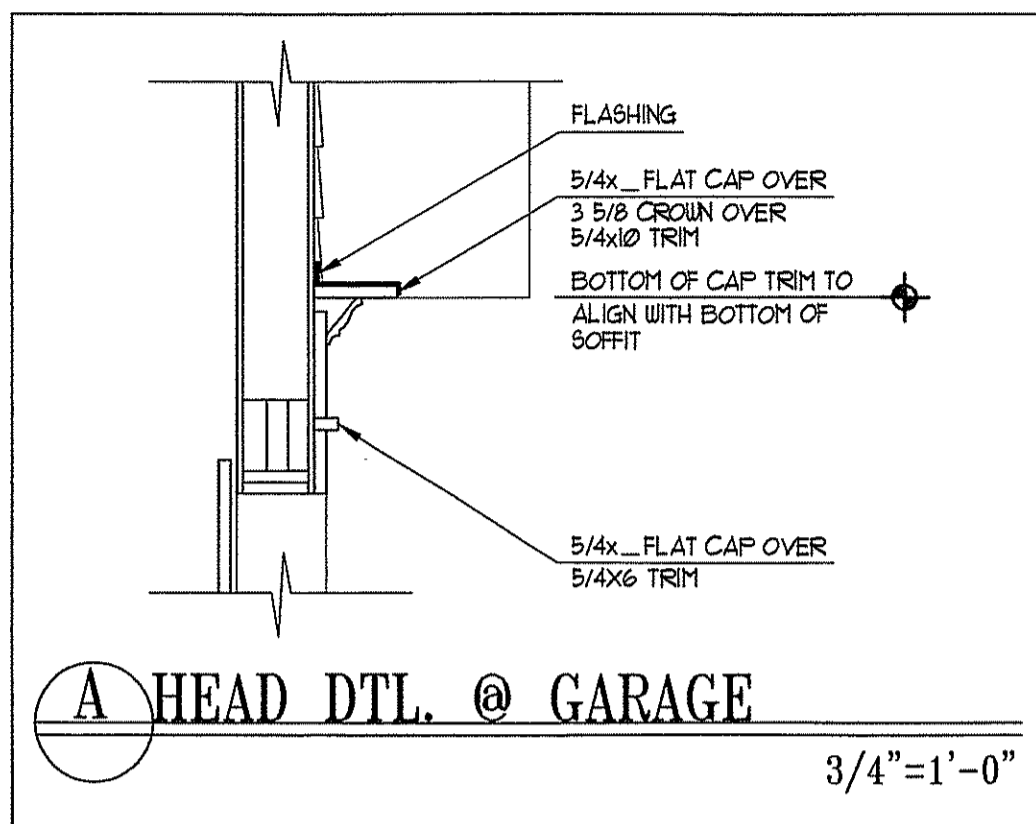
1 / 4" = 1' - 0"

Project Number: 02206-18  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



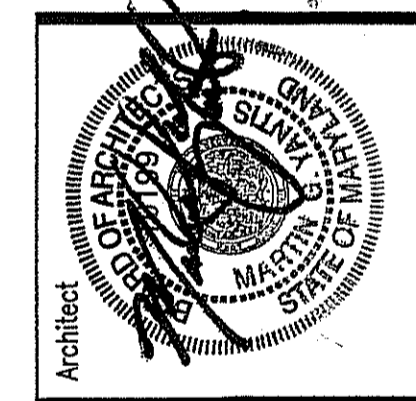
**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
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Sheet Number  
**18**



Date	P.S. 07/10/03 ACN
	C.S. 04/04/03 ACN

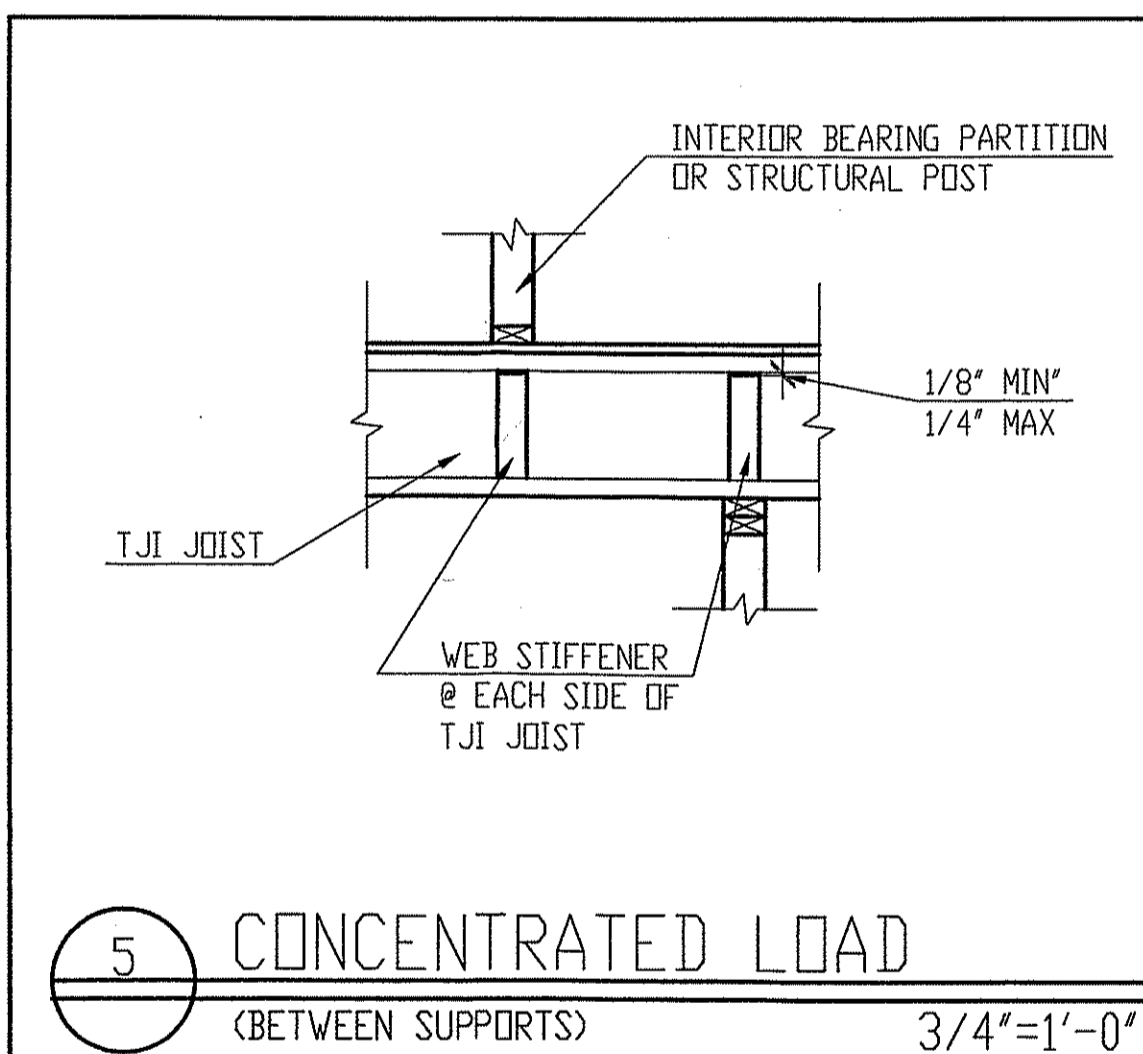
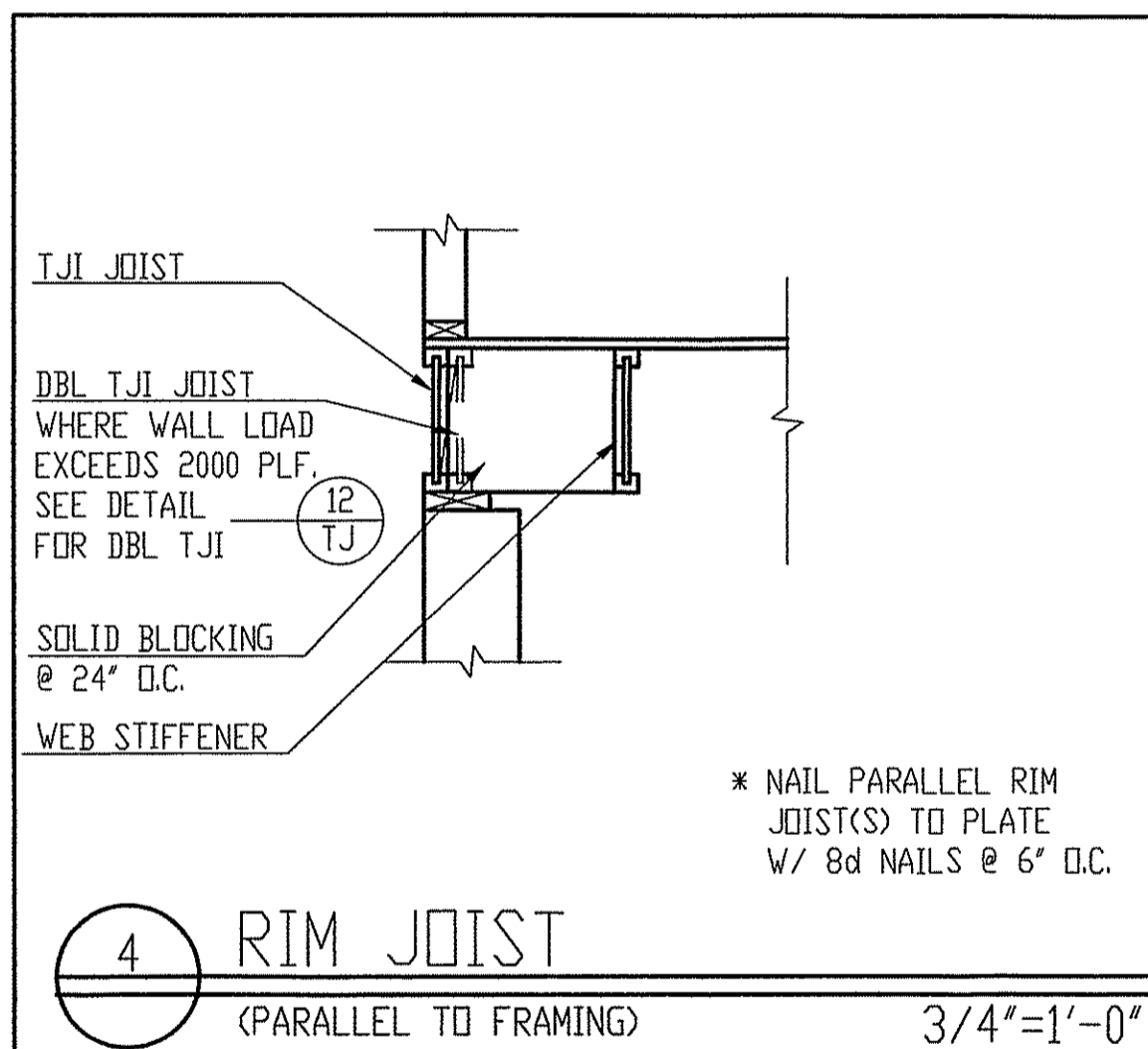
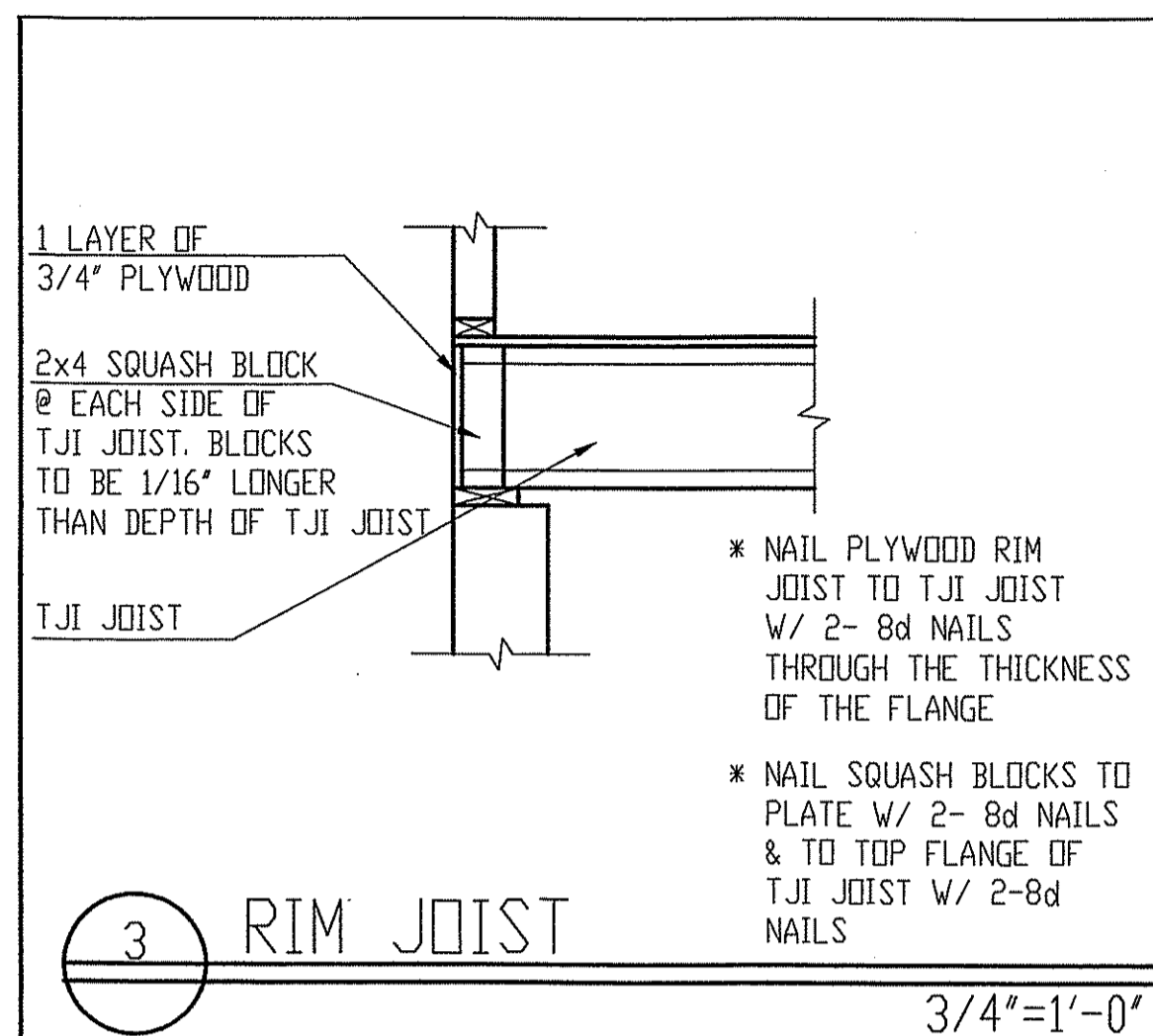
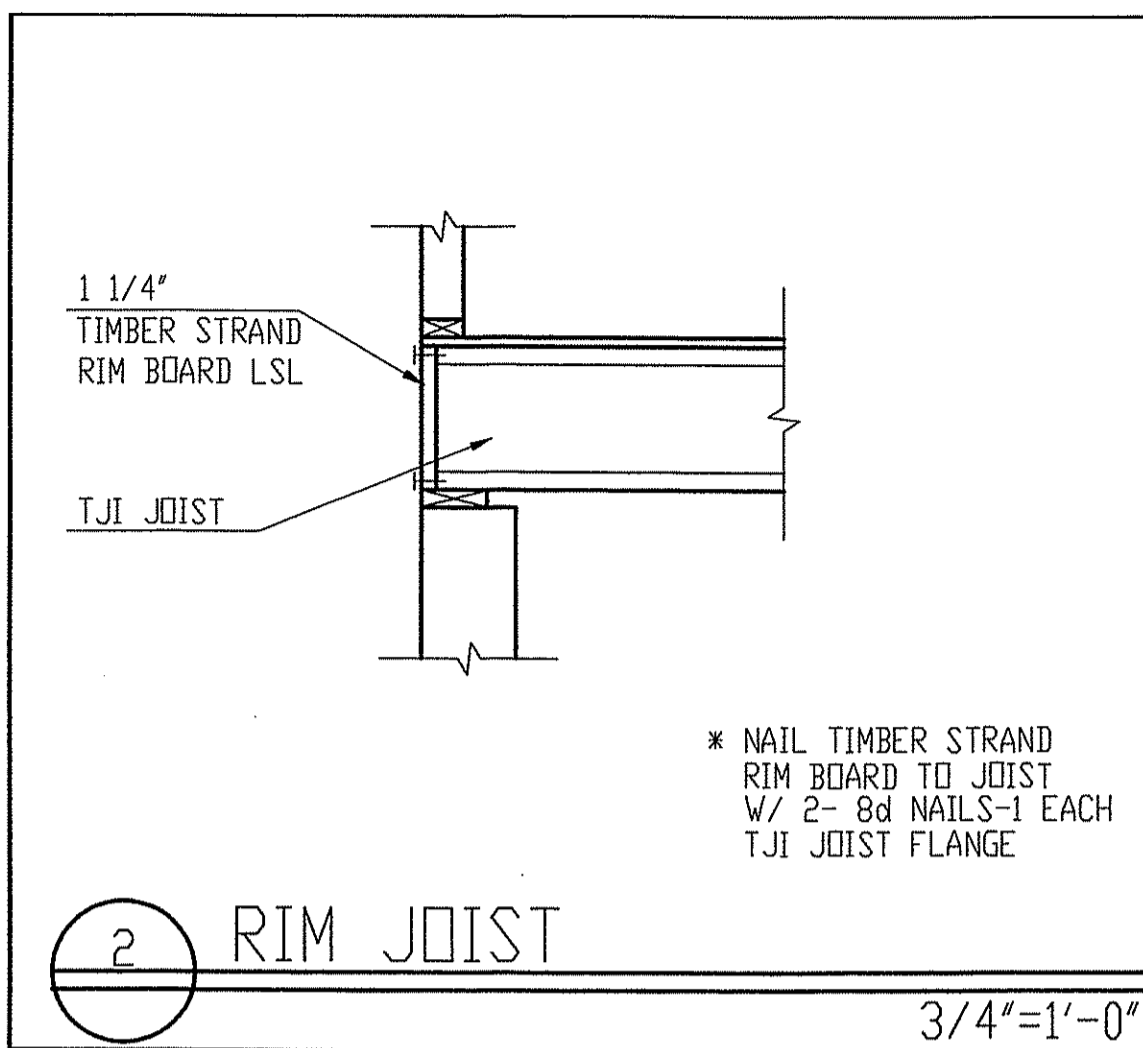
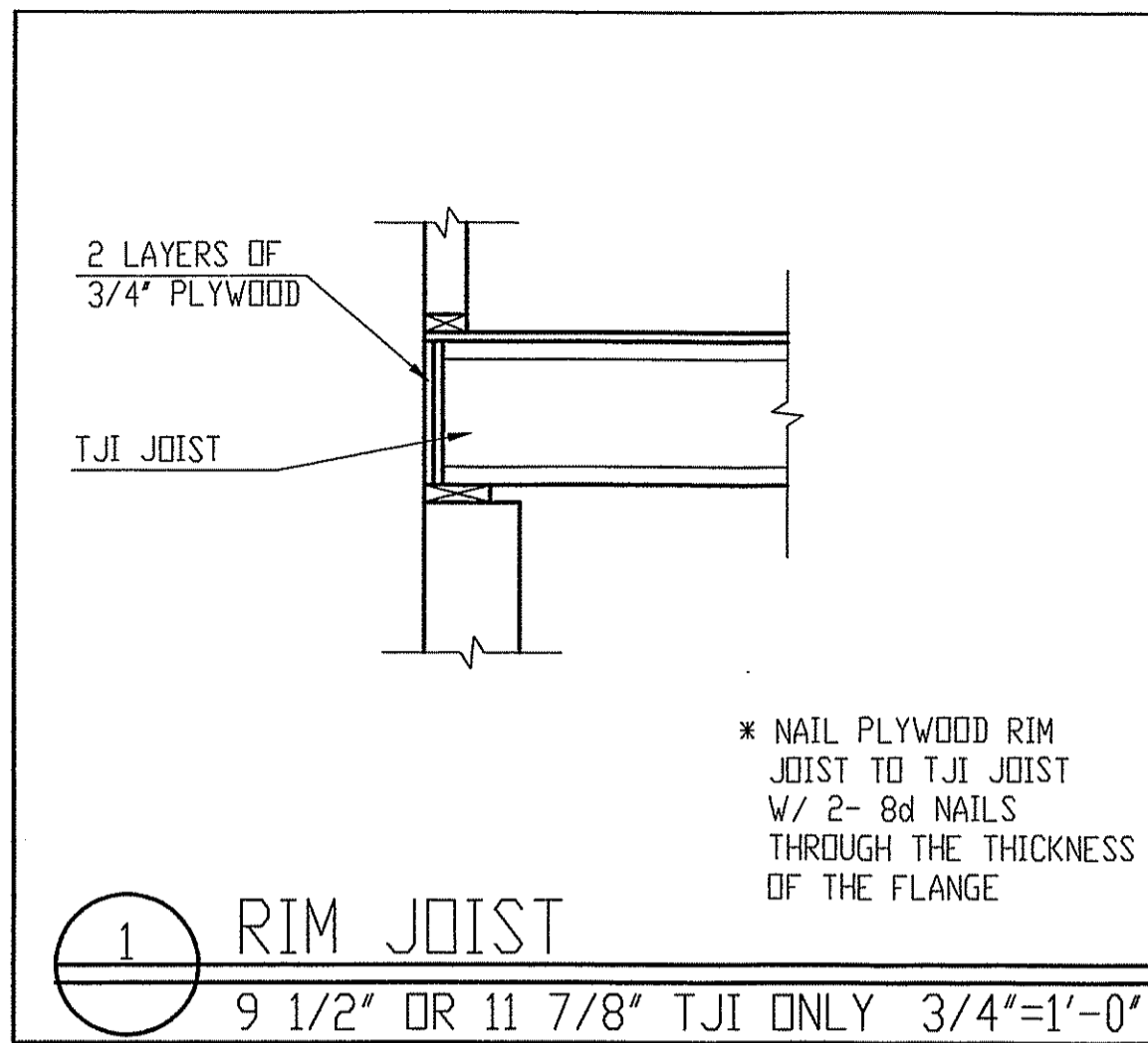
Project Number: 02206-19  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**  
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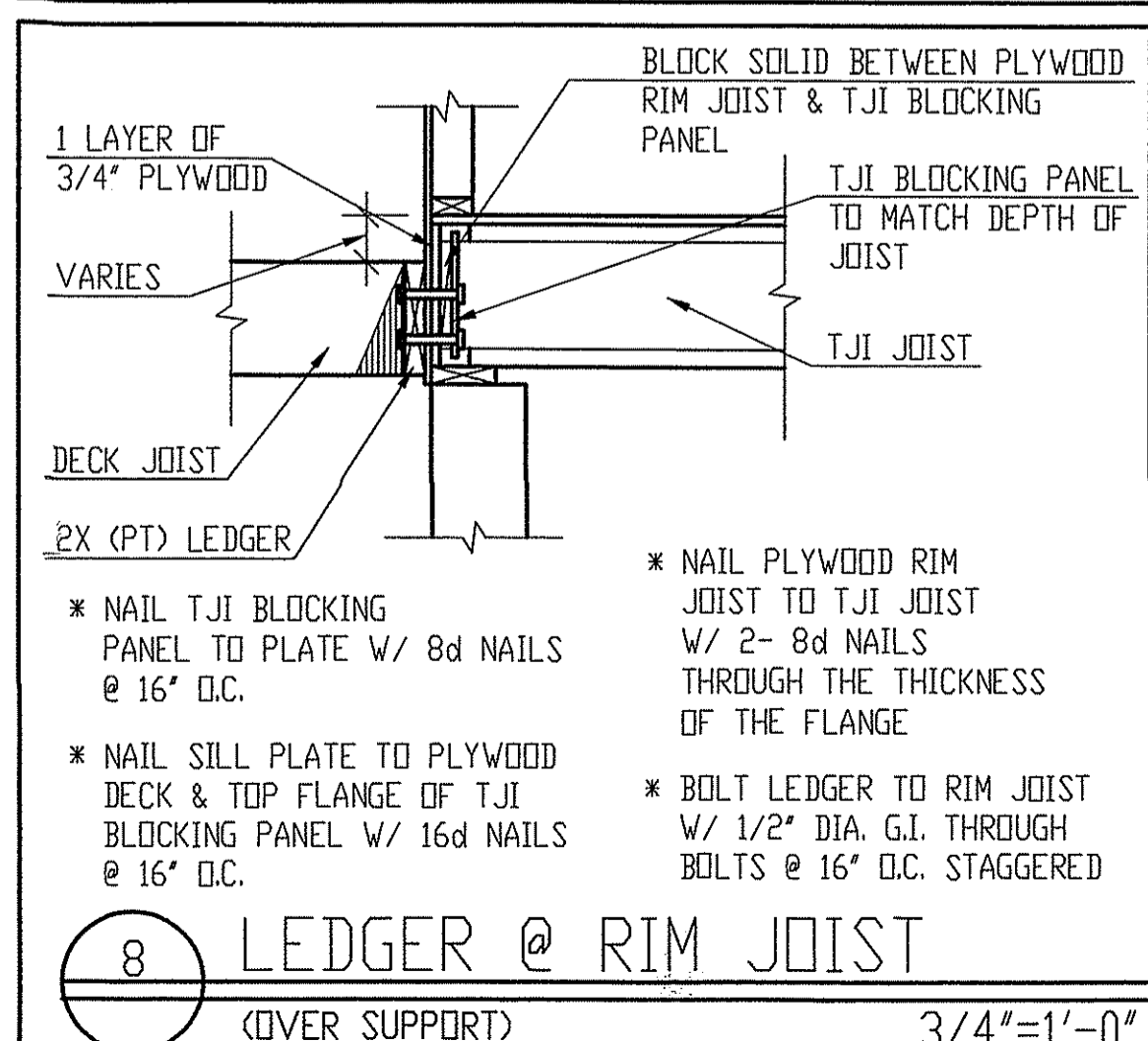
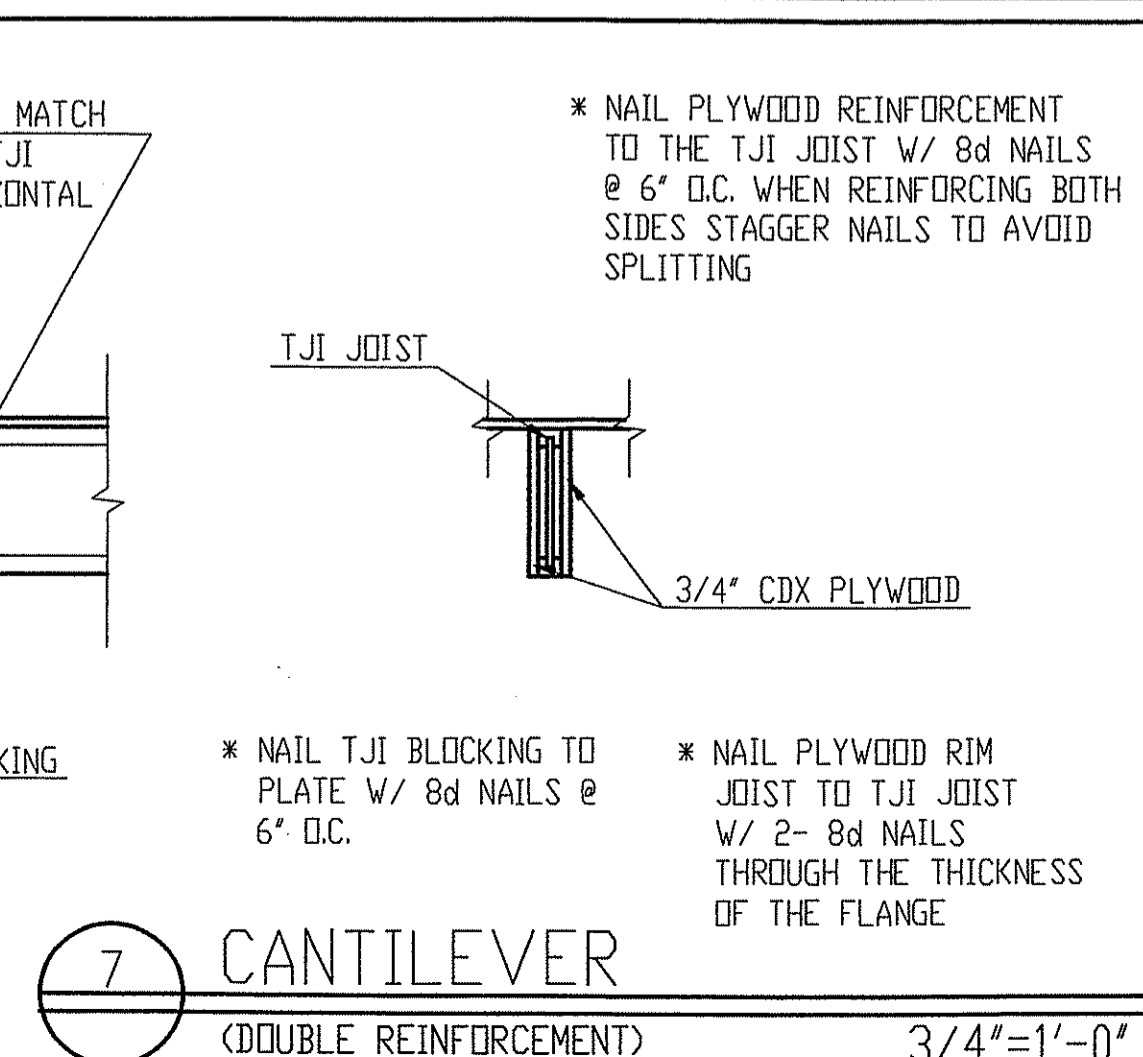
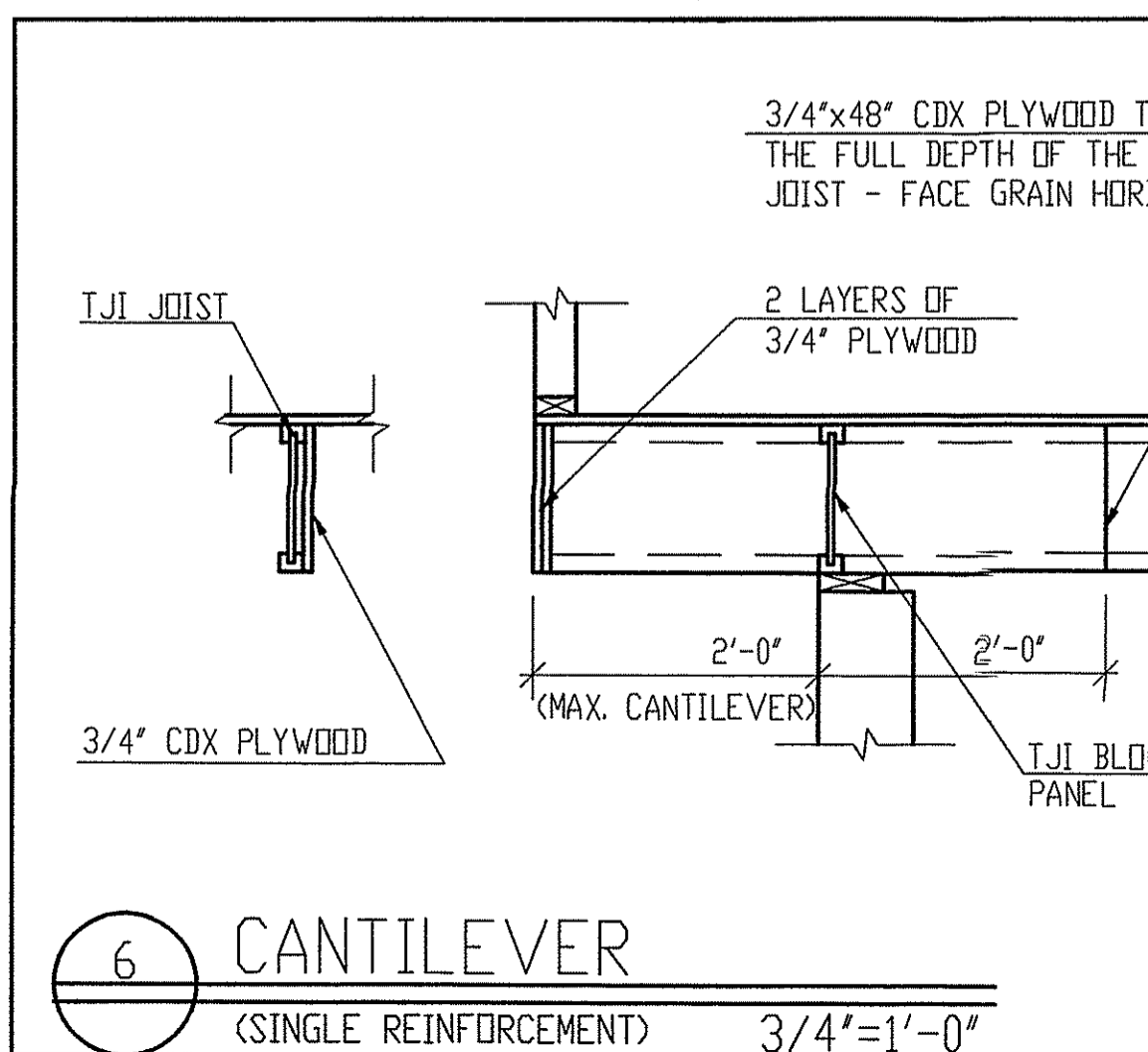
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### GENERAL NOTES

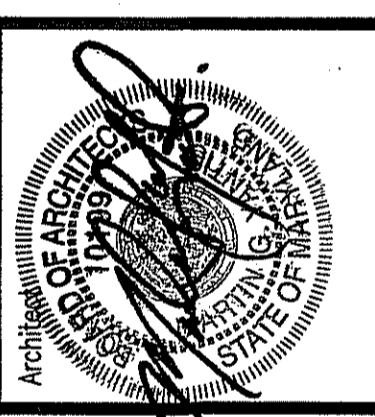
- \* MINIMUM BEARING OF TJI JOIST IS 1 3/4" NAIL TJI JOIST AT BEARING W/ 2- 8d NAILS (1 EACH SIDE) THROUGH THE THICKNESS OF THE FLANGE MINIMUM 1 1/2" FROM END TO AVOID SPLITTING.
- \* FOR INSTALLATION OF ANY SIMPSON STRONG TIE CONNECTORS NOTED ON THESE DETAILS REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* FOR ALLOWABLE SIZE AND LOCATION OF ANY HOLES TO BE CUT THROUGH THE WEB OF ANY TJI JOIST REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* WEB STIFFENERS WHERE SHOWN SHALL FIT TIGHT TO THE WEB AND FLUSH TO THE FACE OF THE FLANGE OF ALL TJI JOISTS. WEB STIFFENERS SHALL BE NAILED TO TJI JOISTS WITH MIN. 3- 10d NAILS EQUALLY SPACED.
- \* REFER TO FRAMING PLANS FOR REFERENCING OF ALL APPLICABLE DETAILS FOR THIS PROJECT. SUBSTITUTION OR USE OF DETAILS NOT REFERENCED TO PLANS IS PROHIBITED.



Date  
P.S. 01/10/03 ACM  
C.S. 04/04/03 ACM

Project Number: 022061-J1

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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**ARCHITECTS**

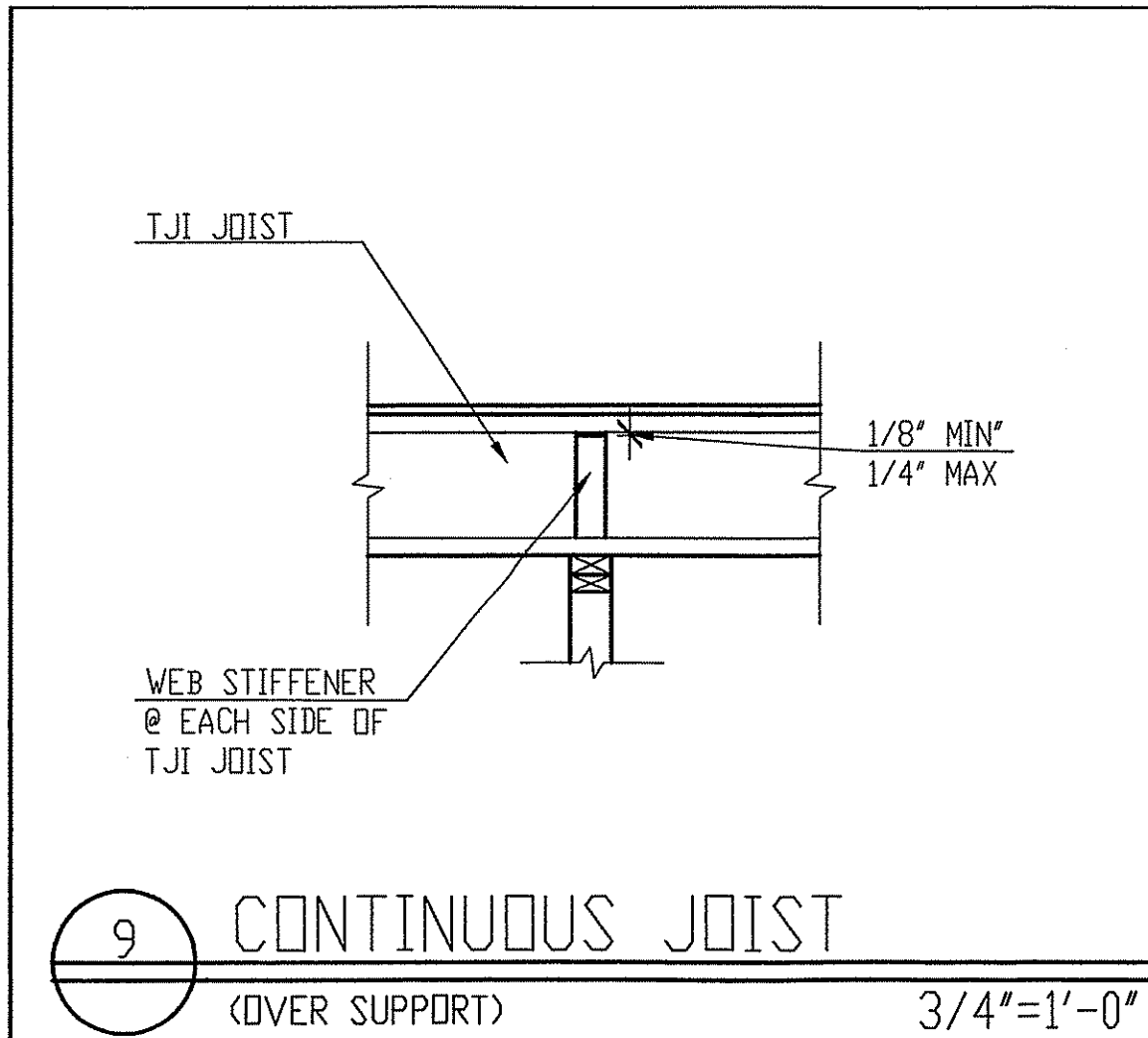
1952 Gallows Rd.  
Vienna, VA 22182

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Fax: 703.847.9171

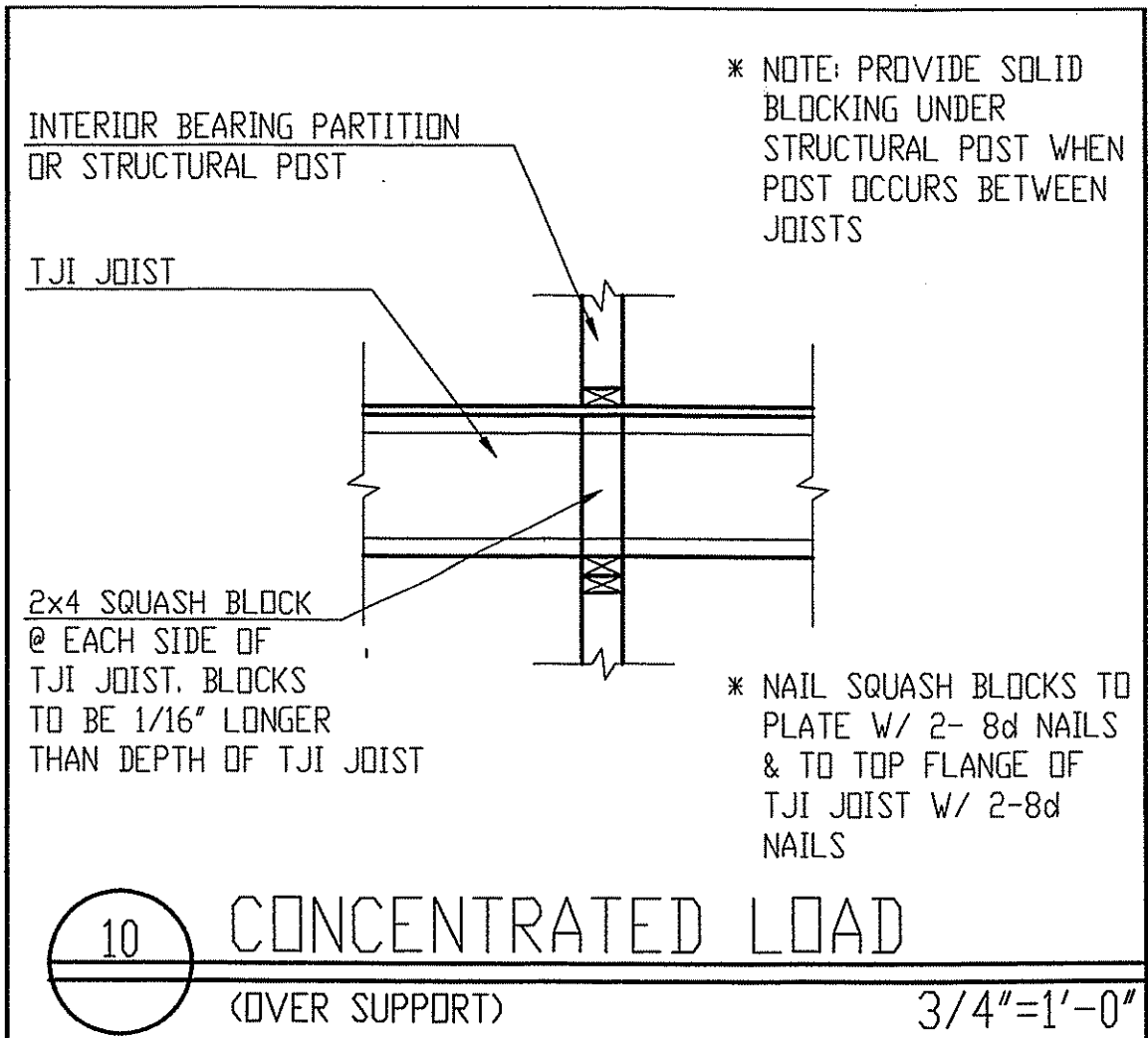
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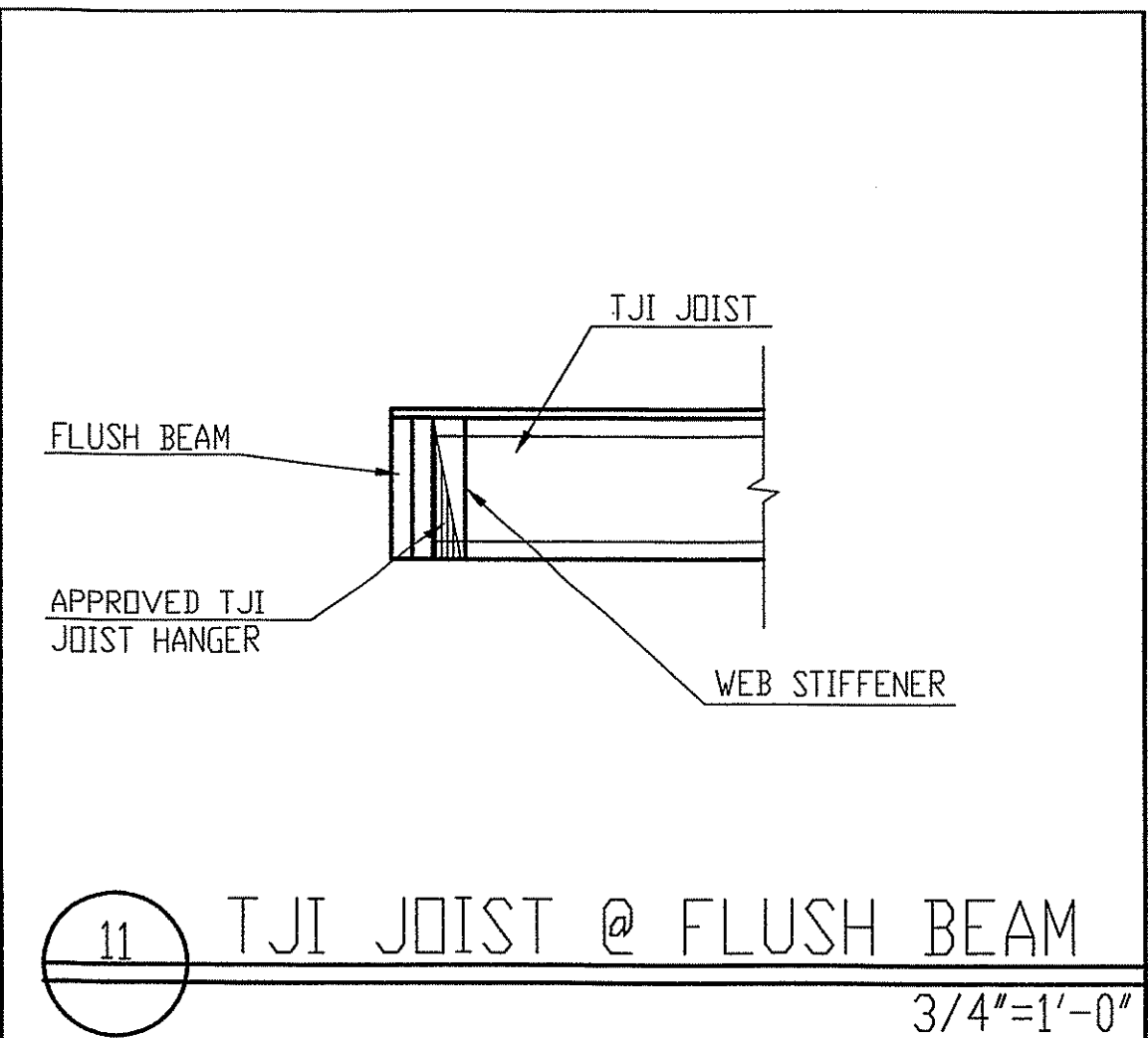
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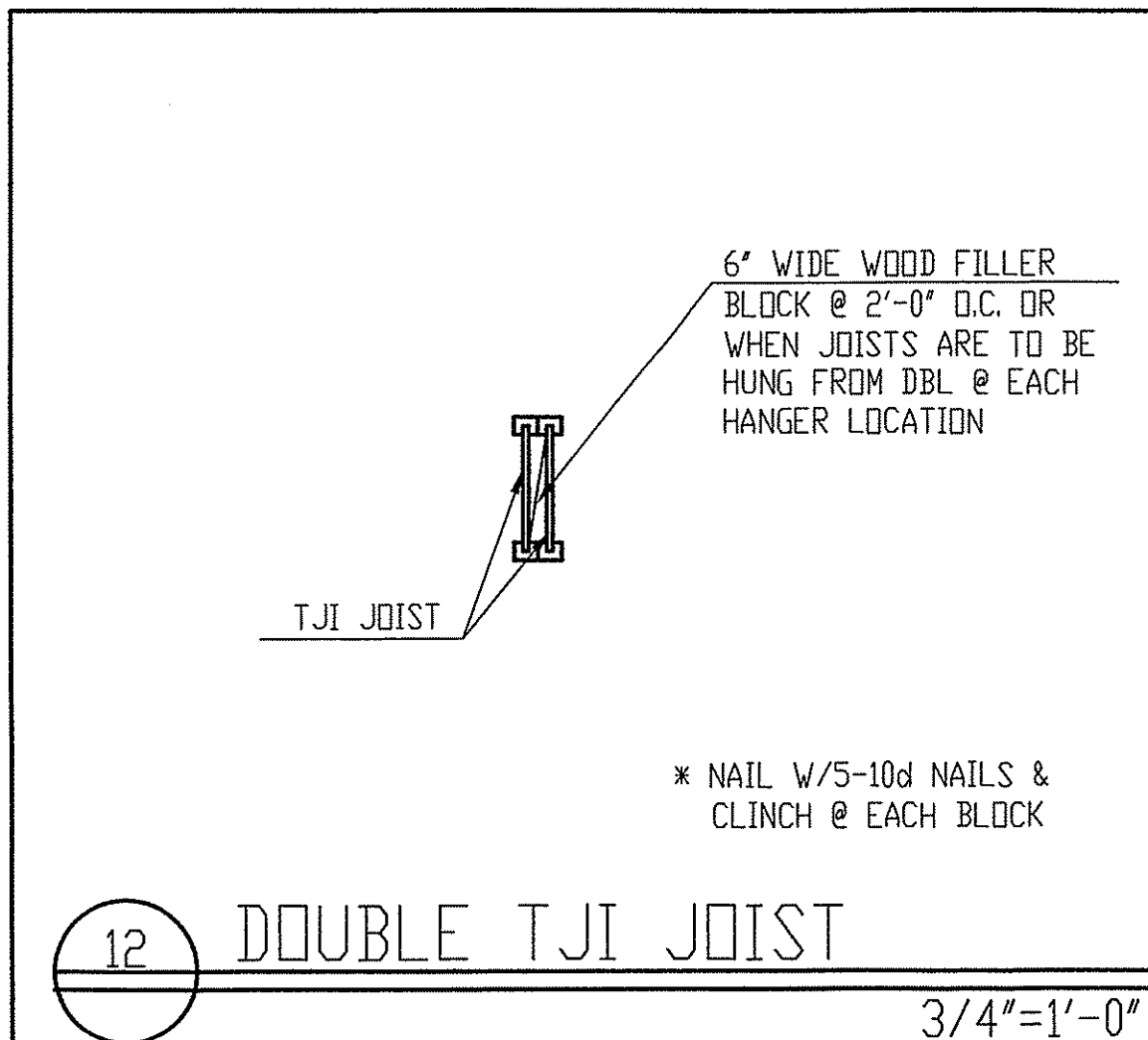
9 CONTINUOUS JOIST  
(OVER SUPPORT) 3/4"=1'-0"



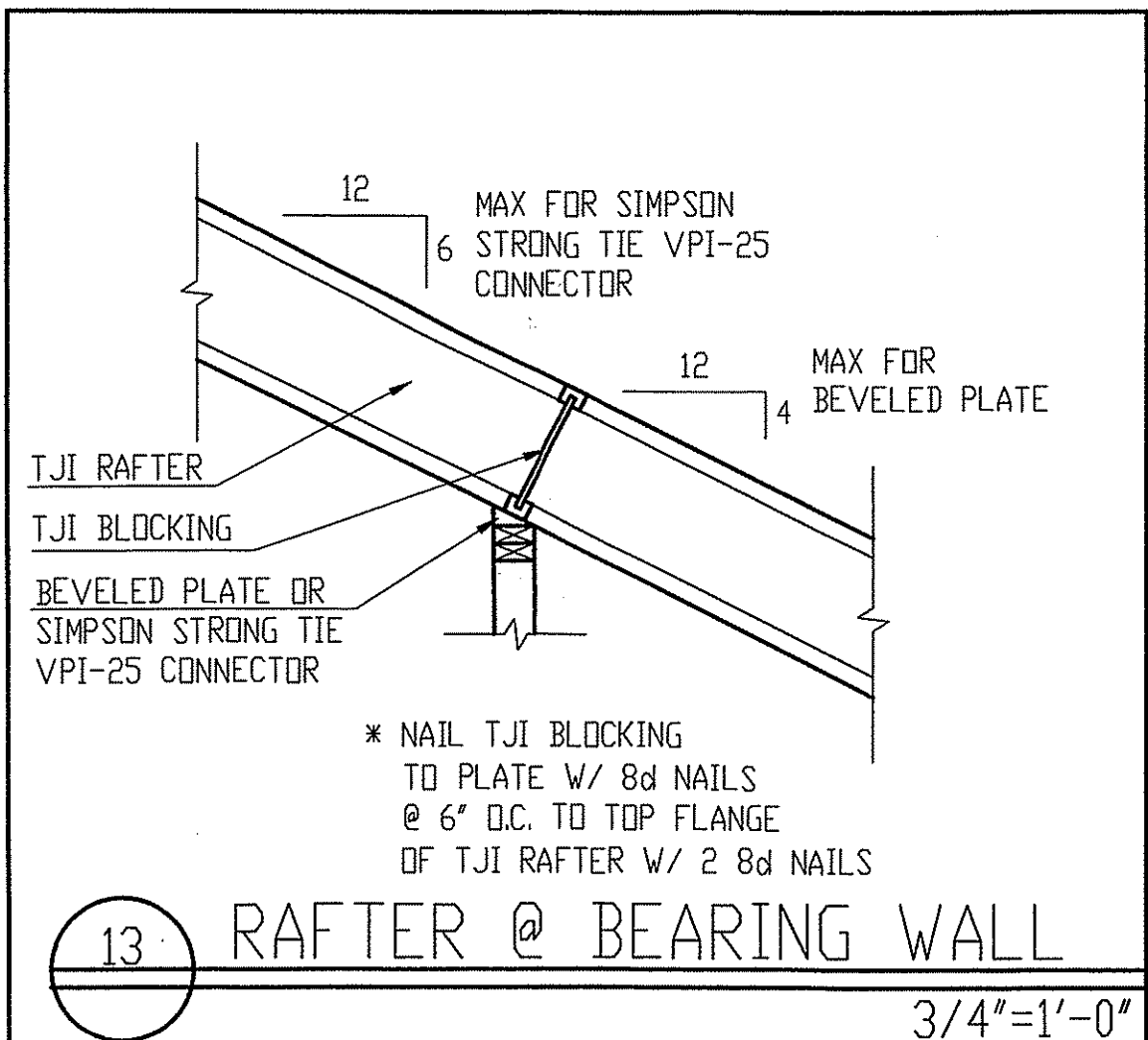
10 CONCENTRATED LOAD  
(OVER SUPPORT) 3/4"=1'-0"



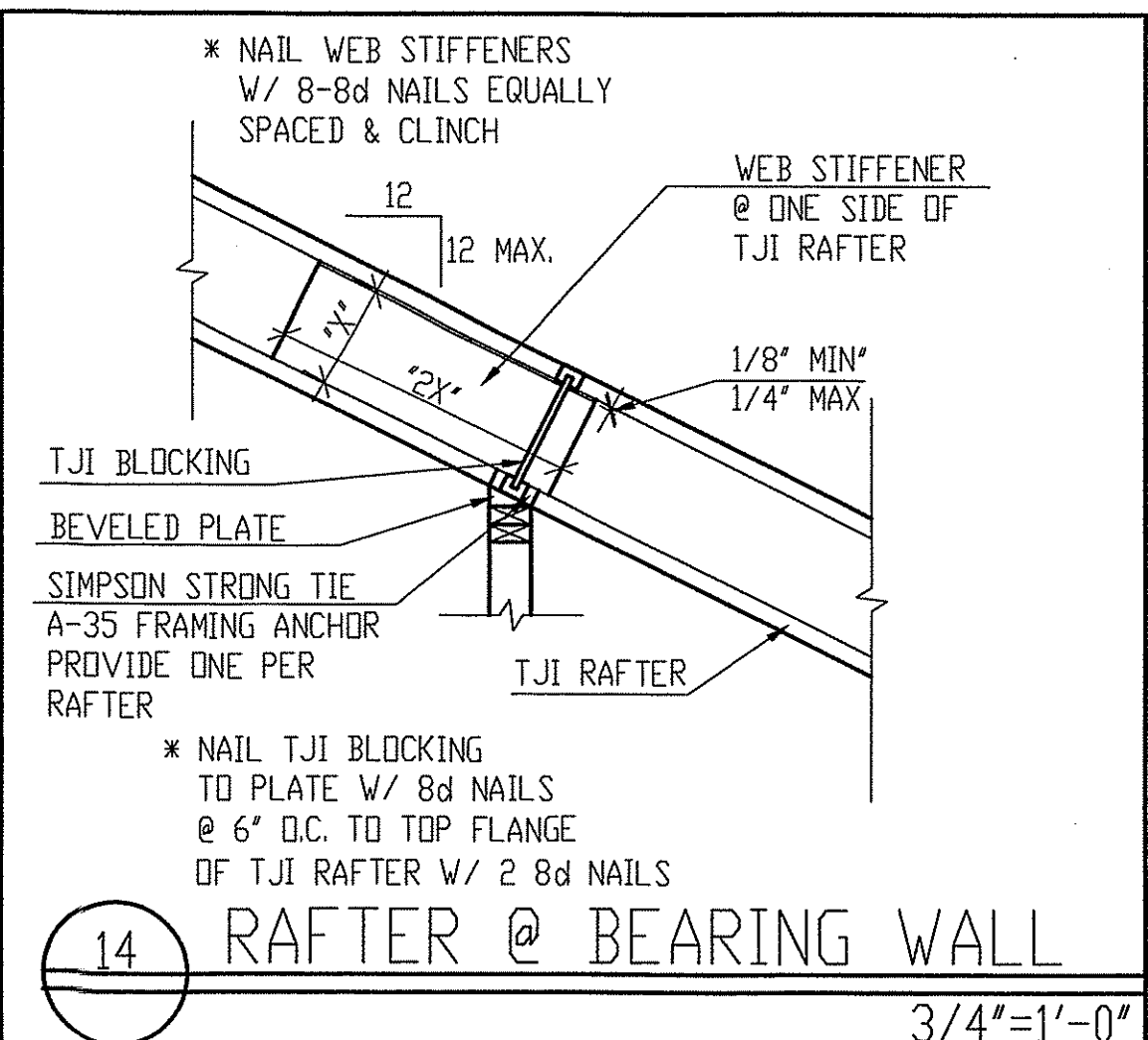
11 TJI JOIST @ FLUSH BEAM  
3/4"=1'-0"



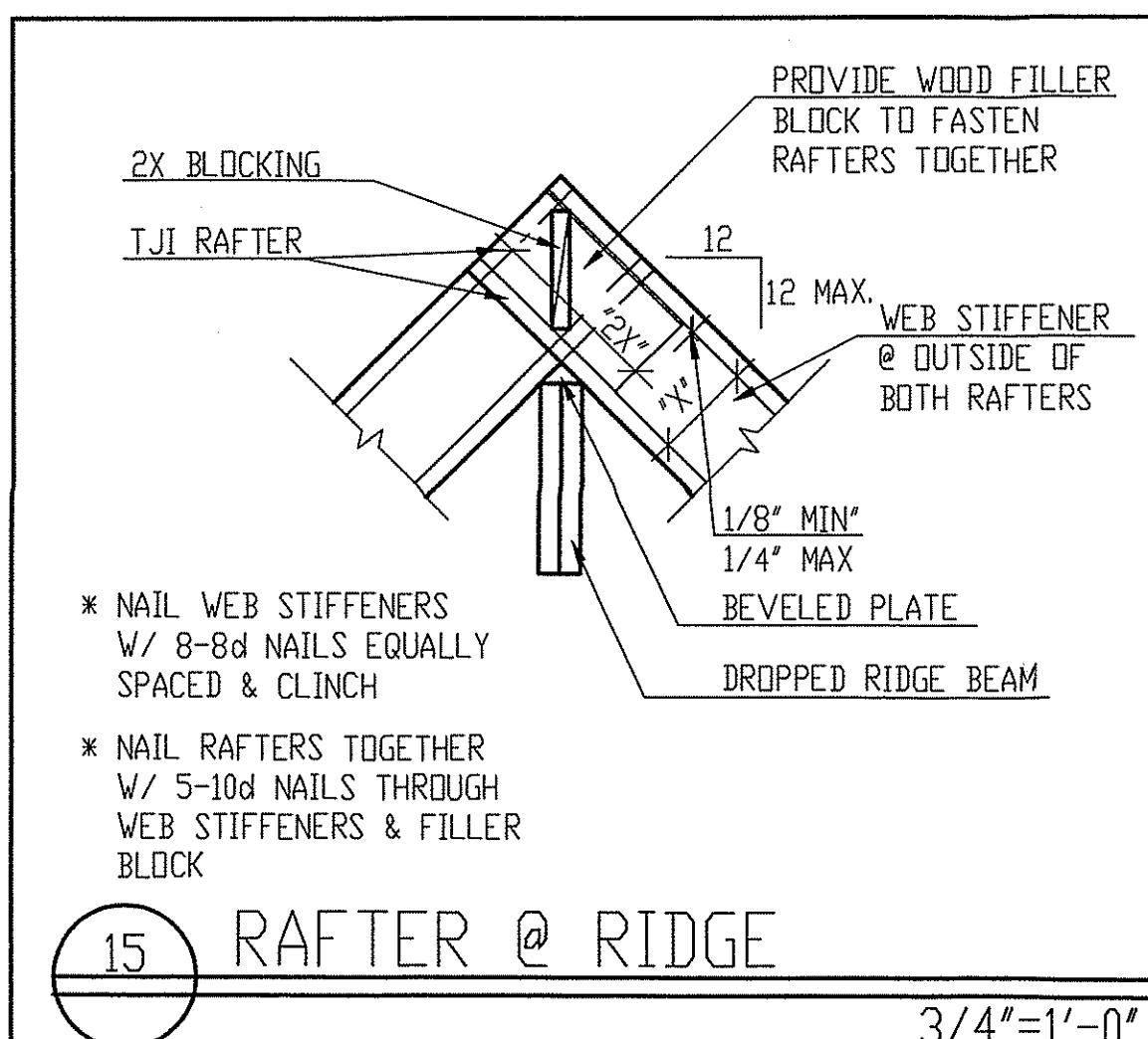
12 DOUBLE TJI JOIST  
3/4"=1'-0"



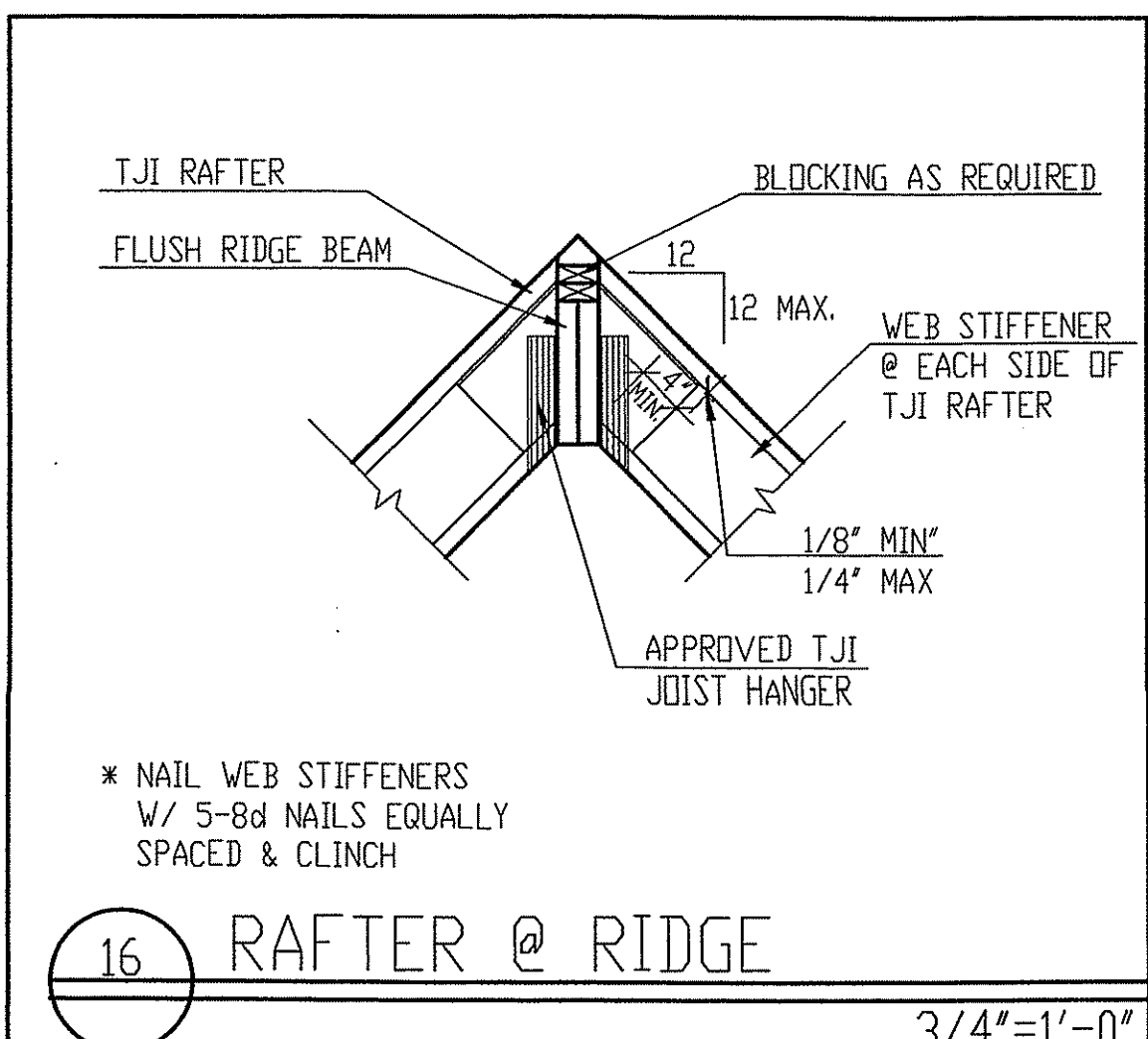
13 RAFTER @ BEARING WALL  
3/4"=1'-0"



14 RAFTER @ BEARING WALL  
3/4"=1'-0"



15 RAFTER @ RIDGE  
3/4"=1'-0"



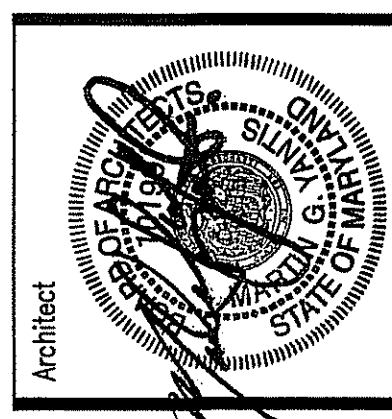
16 RAFTER @ RIDGE  
3/4"=1'-0"

**GENERAL NOTES**

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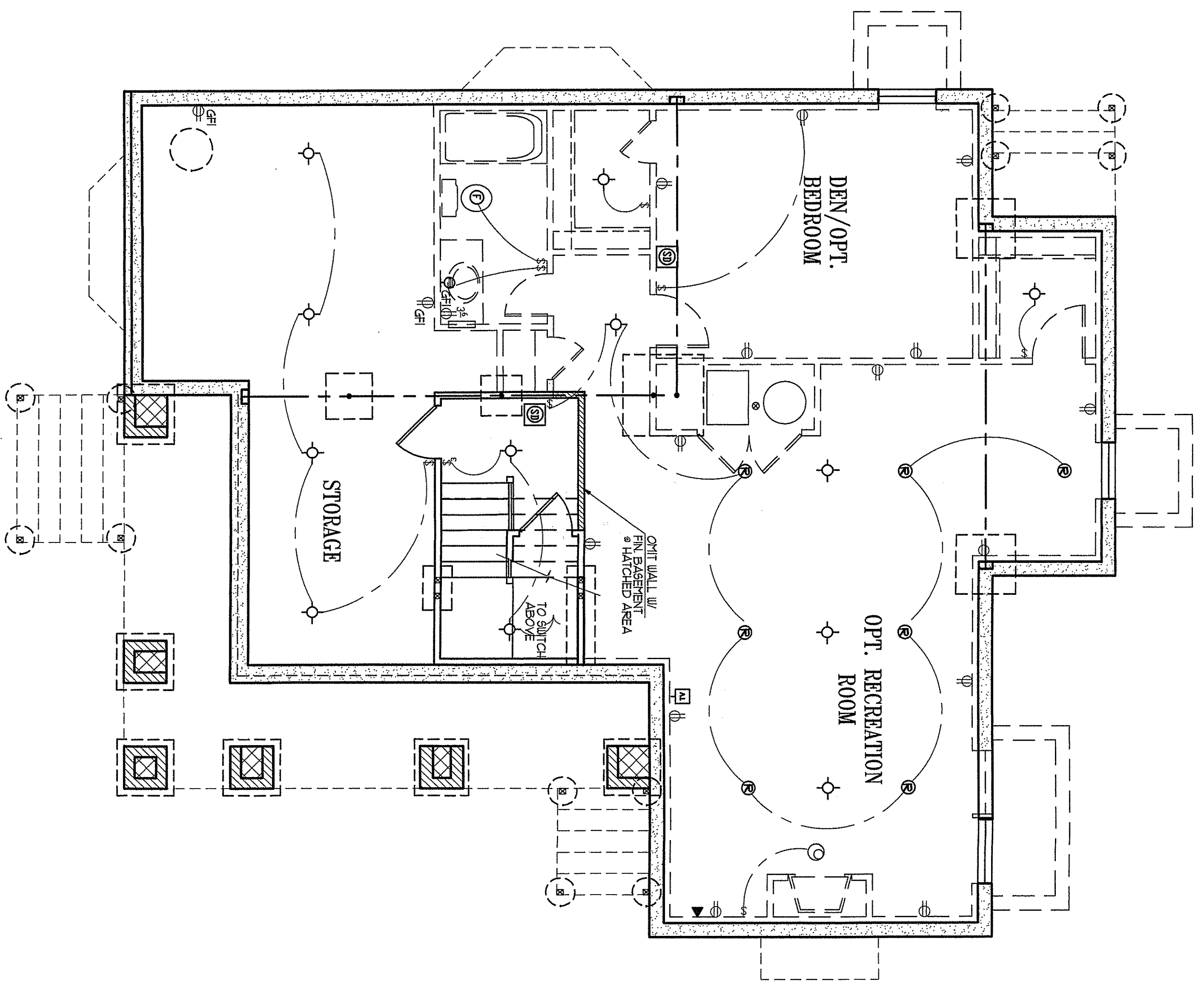
Date	P.S. 01/10/03 ACM
	C.S. 04/04/03 ACM

Project Number: 02206-tje  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**



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Sheet Number  
**TJ2**



BASEMENT ELECTRICAL PLAN

1 / 4" = 1' - 0"

Sheet Number

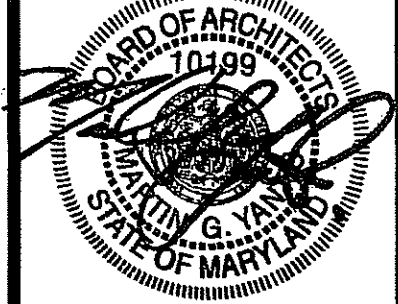
E1



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Architect



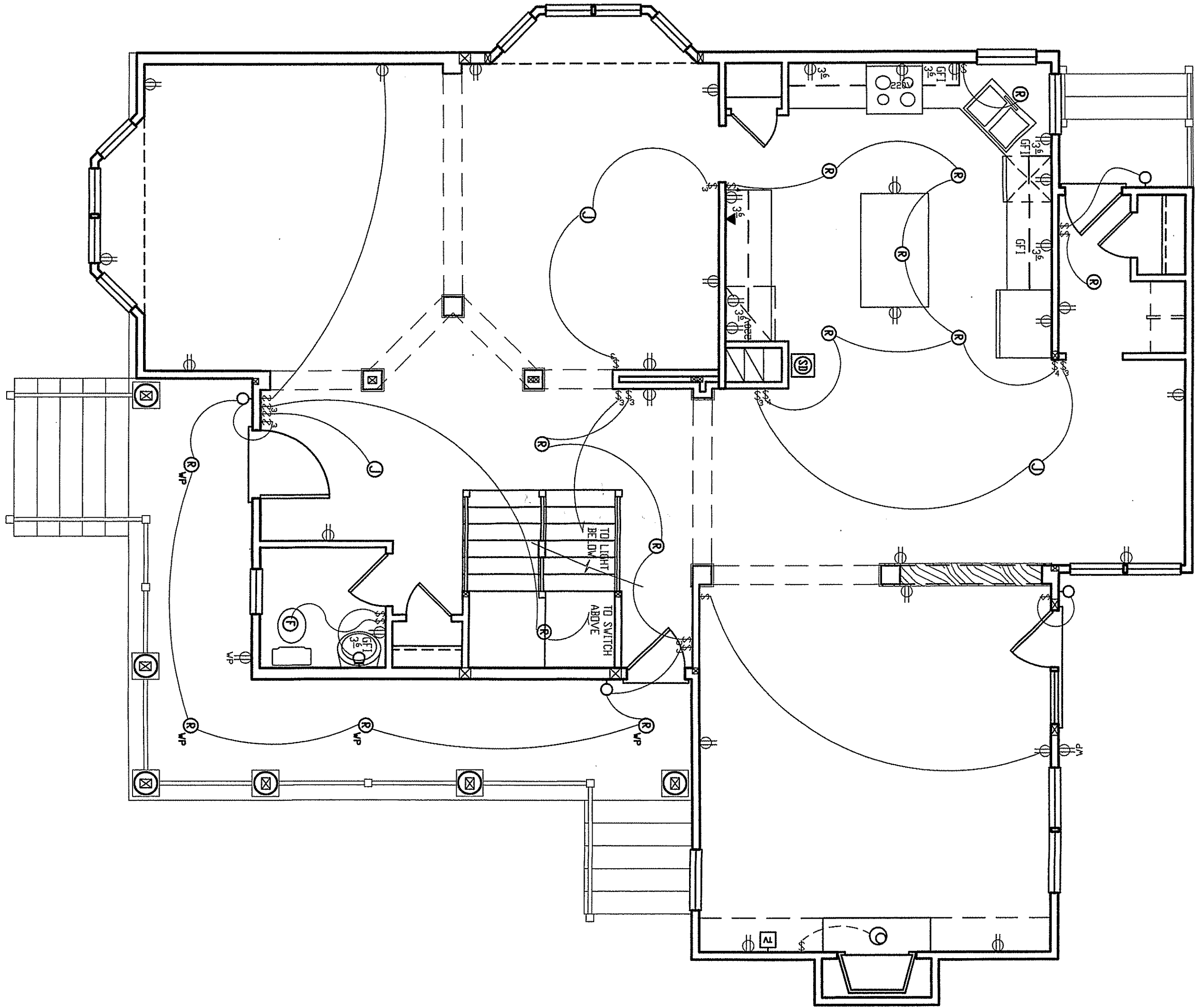
Project Number: 02206-E1

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**

Date

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LOWER FLOOR ELECTRICAL PLAN



1 / 4" = 1' - 0"

Sheet Number

E2



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Architect



Project Number: 02206-E2

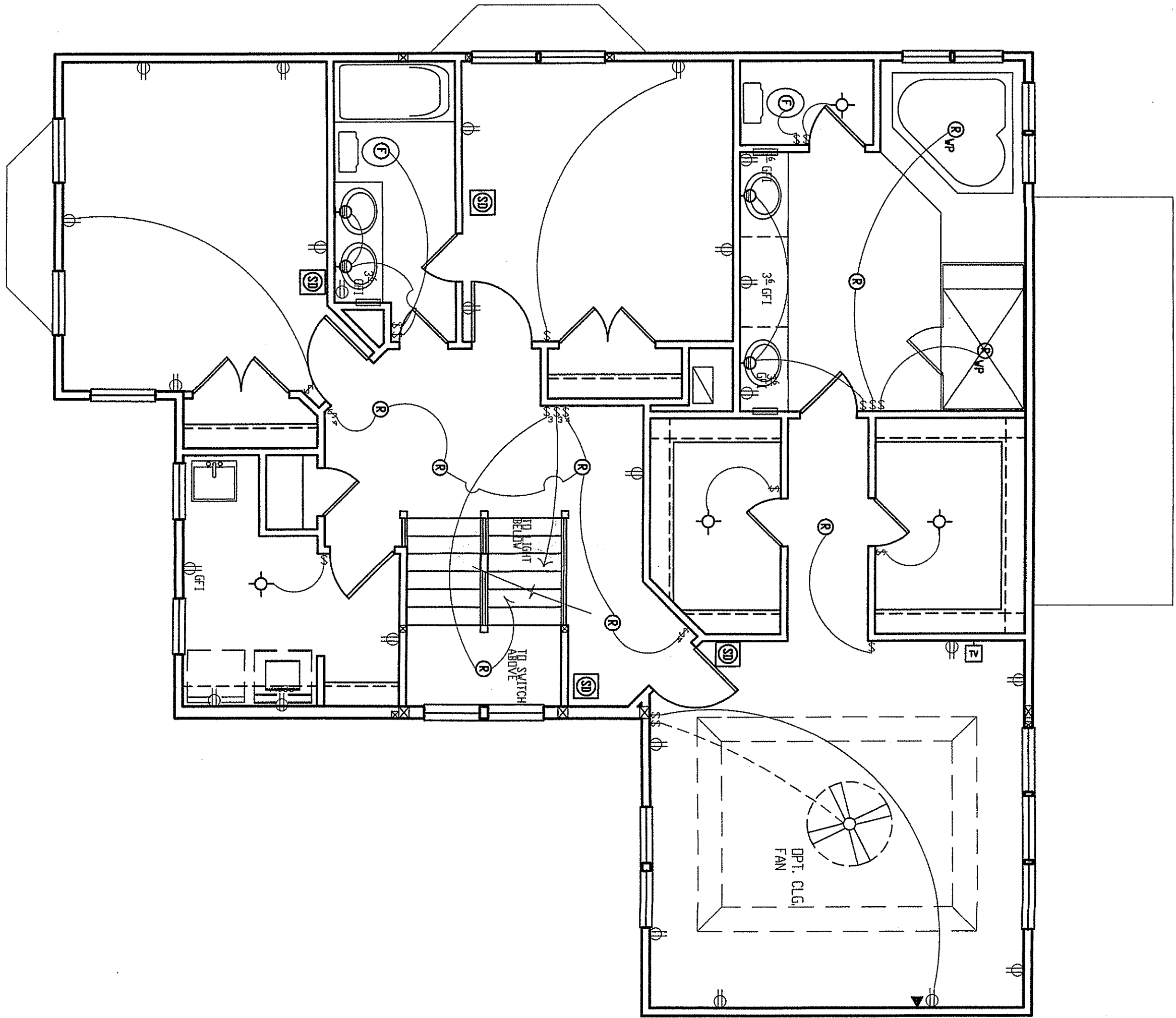
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #16**

Date

P.S. 01/10/03 ACH

C.S. 04/04/03 ACH

UPPER FLOOR ELECTRICAL PLAN



1 / 4" = 1' - 0"

Sheet Number

E3



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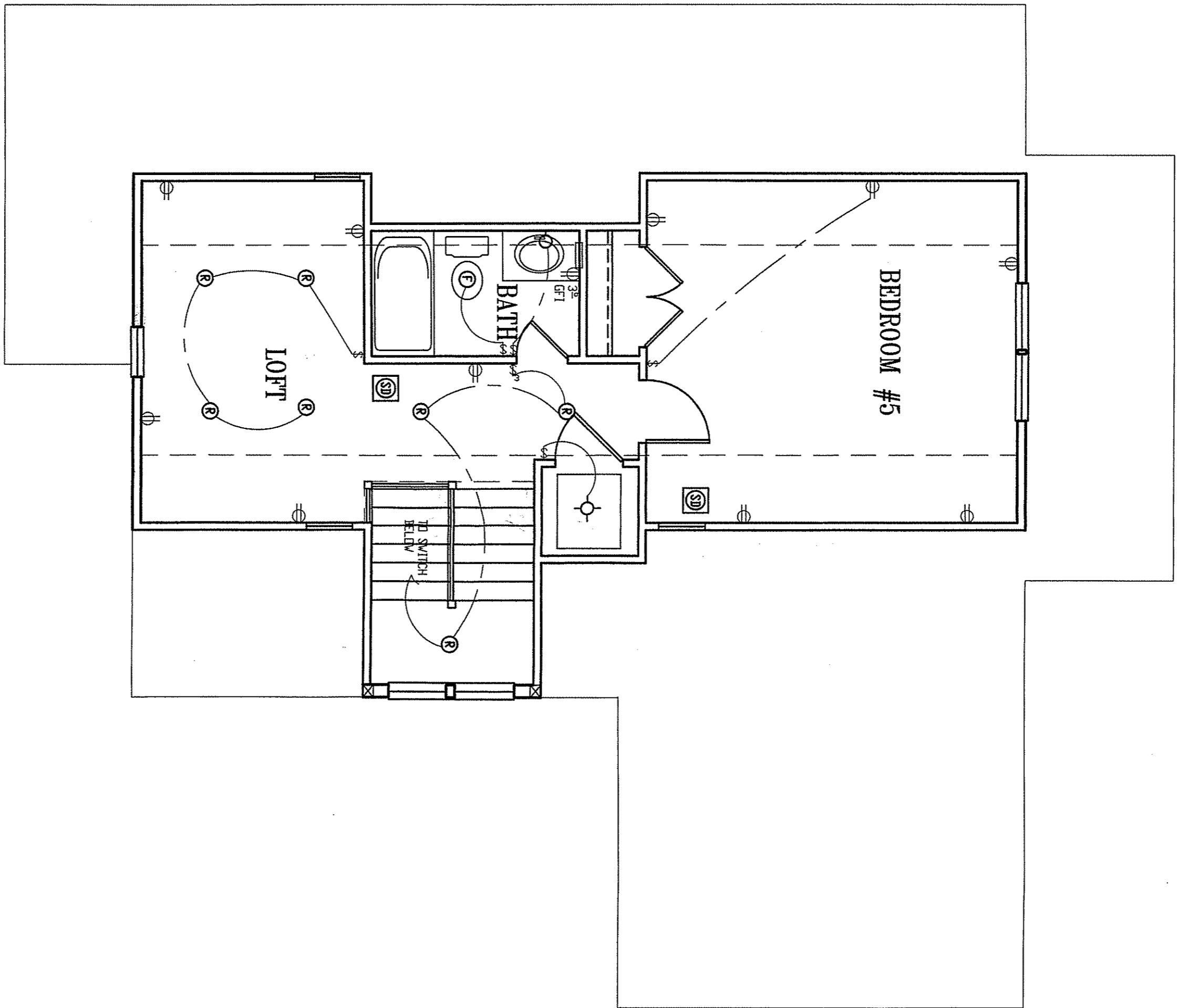
Project Number: 02206-E3

MERIDIAN HOMES  
FIRST AVENUE  
LOT #16

Date

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ATTIC ELECTRICAL PLAN



1/4" = 1'-0"

Sheet Number

E4



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Architect



Project Number: 02206-E4

MERIDIAN HOMES  
FIRST AVENUE  
LOT #16

Date

P.S. 01/10/03 ACM

C.S. 04/04/03 ACM

**I. General Requirements**

- The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions and approved by the Architect.
- Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing, of any discrepancies before proceeding with the work or shall be responsible for same.
- Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- If in the event of conflict between local, state, and national codes, the more stringent shall govern.
- ALA General Conditions of the Contract for Construction are a part of this project.
- All construction is to be in compliance with the following code:  
International Residential Code For One & Two Family Dwellings, 2000 Edition (As Amended By Montgomery County, MD)
- This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- Use of these documents without written permission of the Architect is forbidden.  
© Copyright 2003 Sutton Yantis Associates Architects, P.C.
- Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.

**II. Structural Specifications**

**A. General Requirements**

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
- These requirements may be superceded by more stringent information contained within the drawings. The more stringent shall be followed.
- Soil conditions shall conform to the following conditions:  
Bearing capacity: Min. 2000 psf, field verify, under all footings and slab.  
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings. Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pc. If backfill pressures exceed 30 pc then walls must be designed for actual pressures by structural engineer.
- All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

**B. Concrete**

- All concrete shall attain the following 28 day compressive strengths:  
-Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi  
-All other slabs on grade (including garage slabs) . . . 3500 psi.
- Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.
- Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
- Maximum slump 5".
- All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shared or floor/roof construction shall be in place prior to backfilling.
- All concrete work shall be in accordance with ACI 318.

**C. Steel**

- All structural steel specified in these documents shall conform to ASTM A-36.
- Steel pipe shall conform to ASTM A-53.
- All welds shall comply with AWS standards.
- All bolts in bolted steel connections shall conform to ASTM A-325.
- All required steel anchors, straps, caps, joist hangers shall be constructed of cold approved galvanized steel.
- All connections shall conform to AISC standards.
- Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom B" from each end.

**II. STRUCTURAL SPECIFICATIONS (continued)**

**D. Wood**

- All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by NFA, unless noted. All wood shall comply to the following minimum specifications:

**#2 Hem Fir, 19% M.C.**

F<sub>b</sub> min: 980 psi repetitive use  
85D psi single member use

E min: 1,300,000 psi

F<sub>v</sub> min: 75 psi

F<sub>c</sub> min: 1,250 psi

F<sub>c1</sub> min: 405 psi

**#2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)**

F<sub>b</sub> min: 1,005 psi repetitive use  
875 psi single member use

E min: 1,400,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 1,100 psi

F<sub>c1</sub> min: 425 psi

**#2 Southern Pine, 19% M.C. (#2 S.P.)**

F<sub>b</sub> min: 1,120 psi repetitive use  
975 psi single use

E min: 1,600,000 psi

F<sub>v</sub> min: 90 psi

F<sub>c</sub> min: 1,450 psi

F<sub>c1</sub> min: 565 psi

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to 40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

**MICRO-LAM**

F<sub>b</sub> min: 2,600 psi

E min: 1,900,000 psi

F<sub>v</sub> min: 285 psi

F<sub>c</sub> min: 2,310 psi

F<sub>c1</sub> min: 750 psi

All Studs in bearing walls shall conform to the following minimum specifications:

**Stud Grade Spruce Pine Fir 19% M.C.**

F<sub>b</sub> min: 775 psi repetitive use  
675 psi single use

E min: 1,200,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 675 psi

F<sub>c1</sub> min: 425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TPI) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI Commentary and Recommendations for Handling, Installing, and Bracing Metal Plate Connected Wood Trusses, HB-91. Roof trusses and all bracing and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.
- All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter galvanized steel anchor bolts min. 7" into poured in place concrete and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6'-0" on center for one and two story buildings and 4'-0" on center for buildings more than two stories in height. Anchor straps may be used as a substitute and shall be installed per manufacturers' specifications.
- All exterior wood framework supported on approved foundation walls shall be minimum 8" above finish grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other approved structural membrane or approved galvanized steel corner bracing.
- Provide continuous double top plate at all bearing stud walls.
- Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed 8'-0".
- All structural wood posts under beams and headers over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing partitions shall be 2x4 studs at 16" o.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist.
- All framing shall be detailed and installed in accordance with NFA Manual for House Framing.
- All ceramic tile shall be installed per Tile Council of America specifications.
- Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
- All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel bearing.

**II. STRUCTURAL SPECIFICATIONS (continued)**

- Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be "TJI Truss Joists" manufactured by Trus Joist MacMillan Corporation. TJI Truss Joists shall be installed in accordance with manufacturers specifications and details.
- All plywood roof, floor and wall sheathing shall be APA approved.

**E. Masonry**

- Materials  
Mortar: Type "S" ASTM C270  
Hollow CMU: ASTM C-90  
Face Brick: ASTM C-216  
Grout Aggregated: ASTM C-404
- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
- Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistive corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
- Provide horizontal joint reinforcement (Durowall) in all masonry walls @ 8" o.c. unless otherwise specified.
- The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- All masonry work shall conform to the applicable requirements of BIA and NCMA.

**III. Doors and Windows**

- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating sash opening in feet and inches (I.E., 2856 DH denotes a 2'-8" wide by 5'-6" tall sash opening double hung window). Contractor shall verify that windows to be installed comply with local code standards for egress, light, and ventilation wind/impact loads.

**IV. Thermal and Moisture Protection**

- All slabs on grade in conditioned spaces shall be insulated with min. R5 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Damproof all exterior foundation walls enclosing basements and crawl spaces with damproofing as specified by code at exterior face of wall.
- Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all exterior window and door openings in such manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners do not require additional flashing; jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings; under and at the ends of masonry wood or metal capings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
- Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.  
Approved water resistant sheathing may be substituted for building paper.

**V. Other**

REVIEW SET  
NOT FOR CONSTRUCTION

APPROVED  
Montgomery County  
Historic Preservation Commission  
Gwen Morgan  
5/11/03

**Symbols**

Duplex Outlet	One Way Switch
Duplex Outlet, Weather Protected	Three Way Switch
Duplex Outlet, Floor Mounted	Switch w/ Rheostat
Duplex Outlet, Switch Operated	Smoke Detector
Range Outlet	Chime
Gas Outlet	Bathroom Exhaust Fan
Ceiling Mounted Incandescent	Television Outlet
Junction Box	Telephone Outlet
Eyeball Light	Medicine Cabinet
Wall Washer Light (Recessed)	Frost Proof Hose Bib
Recessed Light	Recessed Waterproof Light
2 <sup>ø</sup> Fluorescent Light	Dedicated Circuit Outlet
4 <sup>ø</sup> Fluorescent Light	Steel Angle (Lintel)
Exterior Flood Lights	
Wall Mounted Incandescent	
Pull Switch Light	

**List of Abbreviations**

ADJ. Adjustable	MC Medicine Cabinet
A.S.F. Above Subfloor	MFG. Manufacturing
BF Bifold	O.A. Overall
BM Beam	O.C. On Center
B.O.J. Bottom of Joist	OPT. Optional
CLG Ceiling	PART. Partial
CMU Concrete Masonry Unit	PLYWD Plywood
C.O. Cased Opening	P.T. Pressure Treated
COL. Column	R/A Return Air
CONC. Concrete	R.C. Rough Cut
CONT. Continuous	REF Refrigerator
CS Casement	R/O Range Oven
CVAC Central Vacuum	SF Square Feet
DBL Double	SHWR Shower
DES. Design	SIM. Similar
DH Double Hung	S.L. Sliding Door/Window
DTL Detail	STD. Standard
DW Dishwasher	STL Steel
FD Floor Drain/French Door	S&P Shelf & Pale
F.P. Fireplace	S.V.B. Solid Valley Blocking
FTG. Footing	T&G Tongue & Groove
GFI Ground Fault Circuit Interrupter	T.O.S. Top of Slab
GPWD Gypsum Drywall	T.O.W. Top of Wall
HD HIGHT	TR Trim
HDR Header	TYP. Typical
HFL Heat/Fan/Light	WD Wood
HWH Hot Water Heater	W/O Wall Oven
INSUL Insulation	W.W.M. Welded Wire Mesh
LT. Laundry Tub	

**Area Calculations**

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.

LOWER FLOOR :	1615 SF
UPPER FLOOR :	1478 SF
ATTIC :	540 SF
TOTAL :	3633 SF
BASEMENT:	983 SF

**List of Drawings**

1 General Notes & Specifications	TJ1 Truss Joist Details
D1 Foundation/Framing Details	TJ2 Truss Joist Details
D2 Foundation/Framing Details	E1 Basement Floor Electrical Plan
D3 Foundation/Framing Details	E2 Lower Floor Electrical Plan
2 Foundation/Basement Plan	E3 Upper Floor Electrical Plan
3 Lower Floor Plan	E4 Attic Electrical Plan
4 Upper Floor Plan	
5 Attic Floor Plan	
6 Building Section 'A'	
7 Building Section 'B'	
8 Building Section 'C'	
9 Partial Building Section Diagram 'D'	
10 Partial Building Section 'E'	
11 Front Elevation	
12 Rear Elevation	
13 Left Elevation	
14 Right Elevation	
15 Lower Floor Framing Plan	
16 Upper Floor Framing Plan	
17 Attic Framing Plan	
18 Roof Framing Plan	
19 Detached Garage Plan & Elevation	

Date  
P.S. 04/18/03 ACM

Project Number: 02208-01

Architect

SUTTON  
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Vienna, VA 22182 Fax 703.847.9171  
WWW.SYGA.COM

Sheet Number

1



**NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS**

You are being provided with this Notice so that you will understand which BUILDING INSPECTION(S) must be performed as a condition of a permit issuance. You must arrange for the inspection(s) according to the procedures specified below. Please call 240-777-6210 between the hours of 7:30 a.m. - 4:00 p.m. Monday to Friday, if you have any questions about the required inspection(s). If you have job specific questions during construction please call the inspector assigned to the area in which the project is located.

Inspections shall be requested at least 24 hours prior to the date the inspection is needed. To schedule an inspection, call 240-777-6210. Inspection requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time that the inspection is scheduled.

The permit must be posted in front of the site or house and be visible from the main road or entrance. If house numbers are not shown on the house or structure, the address must be posted in the same area as the permit and must be displayed in large four-inch letters on a temporary card or sign. For all inspections, a set of approved plans stamped by Montgomery County must be on the job site for inspector's review.

**BEFORE YOU DIG call MISS UTILITY 1-800-257-7777 (2 day notice is required)**

The following BUILDING INSPECTIONS are required for your permit number: \_\_\_\_\_

- 001 **FOUNDATIONS** - Conducted prior to concrete placement and after excavation for wall footings, retaining wall footing (sometimes), column footings, or pile/bored shafts have been completed; after grade stakes, reinforcing steel, concrete-encased electrode (for new homes) are in place; and after sediment control measures are installed according to the approved sediment control plans.
  - 002 **REBAR, DEADMAN, GEGRID PLACEMENT - RETAINING WALLS** - Conducted prior to pouring/backfilling retaining walls.
  - 002 **FOUNDATION/PARGING OR BACKFILL** - Conducted after the walls have been waterproofed and exterior foundation drainage system has been installed. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
  - 011 **CONCRETE SLAB-ON-GROUND FLOOR** - After the installation of the slab base, the vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PVC, or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS, and labeled adequately. Where the sump crack is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.
  - 003 **WALL CHECK (HOUSE LOCATION SURVEY)** - Required at foundation completion prior to framing installation. Owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor or a Registered Professional Engineer (where the property lines and corners are already existing and determined on the ground) and must furnish a copy to the Land Use Compliance Section (LUC) for approval BEFORE ANY FURTHER INSPECTIONS MAY BE SCHEDULED. For questions about wall checks please call LUC at 240-777-6240. A wall check will not be accepted unless permit number and premise address identify it.
  - 005 **FACTORY-BUILT FIREPLACE/CHIMNEYS** - Conducted at the framing inspection after the factory-built fireplaces and flue chimneys have been installed in compliance with manufacturer's specifications.
  - 006 **MASONRY FIREPLACE/CHIMNEY** - Conducted after the chimney/fireplace and the first flue liner have been installed.
  - 007 **WOODSTOVE** - Conducted after the wood stoves have been installed in compliance with the manufacturer's specifications and prior to ceasing flue or chimney connectors.
  - 004 **FRAMING (CLOSE-IN)** - Conducted after the completion of all framing, rough wiring, plumbing and mechanical distribution systems but prior to installing insulation and drywall. When plumbing work is part of the construction, a Washington Suburban Sanitary Commission (WSSC) plumbing inspection must be approved before requesting a framing inspection. For new construction, the framing, rough wiring and mechanical inspections must be requested at the same time. For other than new construction, or when the scope of the work does not involve structural modifications to the building a rough wiring inspection must be requested prior to concealment and approved prior to the framing inspection, or both may be requested at the same time. When floor framing is less than 36 in. above the surface below, a framing inspection must be requested prior to installation any floor materials.
  - 012 **SWIMMING POOL BONDING** - Conducted when the pool has been formed with the rebar installed and bonded prior to placement of concrete or backfill. During construction pool excavations must be completely enclosed by a 42 in. high safety fence AT ALL TIMES when work is not being performed in the pool.
  - 251 **FINAL** - For new construction, conducted after the building is completed and ready for occupancy, but prior to settlement on the house, unless the contract owner waives the requirements and provides, in writing, the Department of Permitting Services with a copy of the signed waiver. The final mechanical and electrical inspection must be requested with the final building inspection, and the address numbers must be displayed in accordance with the requirements of the fire code. If an owner refuses access within a reasonable time after the house is completed, the building official may close the permit file, but this action will not relieve the owner of any obligation to comply with applicable building codes. The final inspection must be requested and approved before building (or portion thereof) is used and occupied.
- REINSPECTION FEE** - An eighty-two dollar and fifty cent (\$82.50) reinspection fee will be required after a building, electrical or mechanical inspection has been disapproved twice. To alert you of the reinspection fee the inspector will leave a disapproval sticker indicating a fee is due and outlining the payment procedure. This fee must be paid prior to requesting any future inspections. Inspections which cannot be performed because the inspector cannot gain access to the construction, or where work is incomplete will be considered disapproval, counting toward the two allowed disapproval. To avoid reinspection fees, footing, parging and slab inspections not ready due to weather conditions, may be cancelled by phone or upon the inspector's arrival up to 8:30 a.m. on the scheduled day. All other inspections must be cancelled prior to inspector's arrival on the job site. To cancel an inspection call 240-777-6210 and provide the permit number, address and type of inspection.



**Residential Code Notes**

1. All construction shall be in conformance with the International Residential Code (IRC), 2000 edition, and Montgomery County Executive Regulation No. 36-01.
2. Soil bearing capacity shall be minimum 2000 psf, IRC Table R401.4.1. Unless the footing is insulated or bearing on rock, the bottom of the footing shall be a minimum 24 inches below grade, IRC Table 301.2(1) as amended.
3. Minimum design live load values shall conform to IRC, Table R301.4. Some of them are:

Attics (limited storage)	20 psf	Exterior balconies	60 psf	Stairs	40 psf
Dwelling Unit	40 psf	Garage	50 psf		
Sleeping Room	30 psf	Decks	40 psf		

4. The residential construction design parameters are shown in the following table, IRC Table R301.2(1) as amended:

Ground Snow Load	Wind Speed	Seismic Design Category	Subject To Decay From				Water Design Temp. for Hot Facilities	Radon-Resistant Construction Required
			Weathering	Frost Life Depth	Termites	Decay		
30 psf (0.96 kN/m²)	90 mph (130 km/hr)	B	Severe	24-inch (610 mm)	Moderate to Heavy	Slight to Moderate	17°F (10.6°C)	Yes

5. Bathrooms without windows shall be vented to the outside of the building, IRC Section R303.3.
6. Habitable rooms, except kitchens, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than 7 feet from the finished floor to the lowest projection of the ceiling. **Exceptions:**
  1. Beams and girders spaced not less than 4 feet o.c. may project not more than 6 in below the required ceiling height.
  2. Not more than 50% of the floor area of a room or space is permitted to have a sloped ceiling less than 7 feet in height. Any floor area having less than 5 feet of ceiling height shall not be considered part of the room area and shall not be allowed to have any permanent fixtures or furnishings such as, but not limited to, bathtubs, showers, water closets, sinks, cabinets, counters and shelves, IRC Section 305.1 as amended.
7. Panes of glazing in hazardous locations, IRC Section 308.4, shall be adequately identified, IRC Section 308.1.
8. Garages shall be provided with a minimum 1/2-inch gypsum board applied to garage side. Where the separation is a floor ceiling assembly, the structure supporting the separation shall also be protected by 1/2-inch gypsum board applied to garage side. A garage in a townhouse with a loft, totaling four floors, must be separated from the balance of the townhouse by at least one-hour fire resistance rated assemblies supported by at least one-hour fire protected construction. A solid core wood door 1 1/2-inch thick or a 20 minute fire door is required, IRC Section 309 as amended.
9. Ducts in the garage and ducts penetrating the walls and ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.
10. Every sleeping room and every habitable room in a townhouse loft shall have at least one operable emergency escape and rescue window or exterior door opening. Escape and rescue windows shall have a maximum sill height of 44-inch above the finished floor. Escape and rescue windows with sill height below grade shall have a minimum net clear opening of 5.7 square feet (5 square feet for grade for openings), a minimum width of 20 inches and a minimum height of 24 inches, IRC Section 310 as amended.
11. Exit access from a townhouse loft to the exit door must not require vertical travel of more than two stories, IRC Section 311.1 as amended.
12. There shall be a floor or landing not more than 1.5 inches lower at each side of each exterior door, IRC Section 312.1.2.
13. Enclosed accessible storage or under stairs shall a minimum 1/2-inch gypsum board on the storage side, IRC Section 314.8. All egress doors shall be readily operable from the side which egress is to be made without the use of a key.
14. Stairways shall have minimum 6 feet and 8 inches clear headroom. The minimum tread shall be 9 inches and the maximum rise shall be 8 1/4 inches, IRC Section R314 as amended. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter (102 mm) sphere. All stairways shall be illuminated, IRC Section R303.4.
15. Handrails shall have a minimum height of 34 inches and a maximum 38 inches height measured vertically from the nosing of the treads and shall be graspable, IRC Section R315.1.
16. Open sides of porches, balconies, or raised floor surfaces located more than 30 inches above the floor or grade below and retaining walls with a difference in grade level on either side of the wall exceeding 4 feet (1219 mm) and within 2 feet (610 mm) of a walk path, parking lot, or driveway on the high side shall have guards not less than 36 inches in height. Guards on the open side of stairs with a total rise of more than 30 inches above floor or grade below shall be not less than 34 inches height. Spacing between intermediate rails shall be less than 4 inches and shall not be constructed with horizontal rails or other permanent pattern that results in a ladder effect, IRC Section R316 as amended.
17. Install interconnected smoke detectors in each sleeping room, outside each sleeping area, and on each level. Detectors shall be hardwired (to the building wiring) with battery back up, IRC Section R317.2 & NFPA 72 Section 2-2.1.1.1.1. Automatic sprinklers are required in all townhouses, IRC Section R317.3 as amended. Low voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Services. When alterations, reconstruction, change of use or occupancy, and additions for which the permit was issued after June 1, 2001, occur, smoke detectors must be installed in accordance with the Montgomery County Code Interpretation Policy P02-1.
18. A common 2-hour fire-resistance-rated wall is permitted between townhouses, provided that there is no plumbing, electrical, or mechanical systems constructed within or through the common wall cavity, IRC Section R321.2.
19. All untreated lumber shall be minimum 8 inches above exposed ground and shall comply with IRC Section R323.

20. Radon-resistant construction is required as per IRC Appendix F, Radon Control Methods.
21. Let drainage shall comply with IRC Section R401.3.
22. Concrete shall comply with IRC Section R402.2 & Table R402.2.
23. All footings shall comply with IRC Section R403.
24. Sill plates on the top of foundation walls shall be secured with minimum 1/2-inch anchor bolts set at 6 feet o.c. maximum and within 12 inches from the ends of each plate section. The bolts shall extend minimum 7 inches into concrete or masonry. Approved foundation anchor straps that provide equivalent anchorage to 1/2-inch anchor bolts are acceptable, IRC Section R403.1.6.
25. Concrete and masonry foundation walls shall comply with IRC Section R404.1.
26. Concrete and masonry foundation wall shall extend at least 6 inches above the finished grade adjacent to the foundation walls at all points and 4 inches above finished grade with masonry veneer IRC Section R404.1.6.
27. Basement walls shall not be backfilled until the wall has sufficient strength and first floor framing is in place, or the walls have been adequately braced, IRC Section R404.1.7.
28. Maximum unbalanced fill for concrete or masonry foundation walls shall comply with IRC Tables R404.1(1), Tables R404.1(2), Tables R404.1(3), and Tables R404.1(4).
29. Wood foundations shall comply with IRC Section R404.2.
30. Foundation drainage shall comply with IRC Section R405 as amended.
31. Exterior concrete and masonry foundation walls retaining earth and enclosing usable spaces below grade must be waterproofed with an approved waterproofing materials or a membrane extending from the top of the footing to the finished grade, IRC Section R406.2 as amended.
32. Under-floor spaces shall conform to IRC Section R408 as amended.
33. When floor framing is less than 36 inches from the ground, a framing inspection must be requested prior to installing any flooring materials.
34. Floor framing shall comply with IRC Section 502. Allowable spans for wood floor framing shall not exceed the values specified in Tables R502.3.1(1) and R502.3.1(2), R502.5(1), and R502.5(2).
35. Wood floor trusses shall be designed in accordance with approved engineering practice. The truss drawings shall be prepared by a registered design professional and shall include all required details, IRC Section R502.11.
36. For sawn lumber, notches in the top or bottom of the joist shall not exceed 1/4 the depth of the joist, shall not be longer than 1/3 of the depth of the member and shall not be located in the middle third of the span. Notches at the ends of a member shall not exceed 1/4 the joist depth, IRC Section R502.8.
37. Holes drilled or bored in joist shall not be within 2 inches of the top or bottom of the joist, and diameter shall not exceed 1/3 of the depth of the member, IRC Section R502.8.
38. Openings in the floor framing shall comply with IRC Section R502.10.
39. Draftstopping and fireblocking shall be provided in accordance with IRC Sections R502.12 and 502.13 respectively.
40. Concrete floors on ground shall comply with IRC Section R506 as amended.
41. Wall construction shall comply with IRC Chapter 6.
42. Stud spacing shall comply with IRC Section R602.3 and Table 602.3(5).
43. Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Any stud may be drilled or bored, provided that the diameter of the hole is no greater than 40% of the stud width, the edge of the hole is no closer than 1/4 inch to the edge of the stud, and the hole is not located in the same as a cut or notch, IRC Section R602.6.
44. When the top plate of any load-bearing wall is cut or notched more than 50% of its width, a galvanized metal tie shall 0.054 inch thick (16 gage) and 1.3 inches wide shall be fastened to each plate across and on each side of the opening with not less than six 16d nails, IRC Figure R602.6.1.
45. Fireblocking shall comply with IRC Section R602.8.
46. Wall bracing shall comply with IRC Section R602.10.
47. Exterior wall coverings shall comply with IRC Section R703.1 through 703.9.
48. Masonry veneer shall comply with IRC Section R703.7 and R703.8 (weep holes at 33" o.c.).
49. Wood roof framing shall comply with IRC Section R802. Ridge beam supports shall transmit loads to the foundation. Allowable spans for ceiling joists and rafters shall comply with IRC Tables R802.4(1), R802.4(2), R802.5(1) through R802.5(9).
50. Wood roof trusses shall be designed in accordance with accepted engineering principles. The truss drawings shall be prepared by a registered design professional and shall include all required details, IRC Section R802.10. Wood roof trusses shall be braced in accordance with TP1BWT, IRC Section R802.10.
51. Roof tie-downs shall comply with IRC R802.11.
52. Roof ventilation and attic access shall comply with IRC Section R806 and R807 respectively.
53. Roof coverings shall comply with IRC Chapter 9.
54. Chimneys and fireplaces shall comply with IRC Chapter 10. Flue size shall be determined in accordance with Figure R1001.11.
55. Masonry chimneys located within the exterior walls of the building shall have a minimum air space clearance to combustibles of 2 inches. Chimneys located entirely outside the exterior wall of the building, including chimneys that pass through the soffit or cornice, shall have a minimum air space clearance of 1 inch. The air space shall not be filled, except to provide fireblocking in accordance with IRC Section R1001.16.
56. Wood or combustible framing shall not be placed within 2 inches of the outside face of a masonry fireplace and not less than 6 inches from the inside surface of the nearest fire liner. Wood framing and other combustible material shall not be placed within 2 inches of the back surface of a masonry fireplace, IRC Section R1003.12.
57. Factory-built or masonry fireplaces shall be equipped with an exterior air supply to assure proper fuel combustion, IRC Section R1005.
58. Heating and cooling equipment shall comply with IRC Chapter 14.
59. Clothes dryer vent systems shall be independent of all other systems and shall be vented to the exterior of the building; flexible duct shall not be concealed within the walls or ceiling, IRC Section R1801.
60. The maximum length of a 4 inches diameter exhaust vent shall not exceed 25 feet from the dryer to the exterior wall or roof termination. The most restrictive reduction of 2 feet 6 inches for each 45-degree bend and 5 feet for each 90-degree bend or as required by the manufacturer shall apply, IRC Section R1501.
61. Residential One- and Two-Family Dwellings shall comply with IRC Chapter 11, Energy Efficiency, or International Energy Conservation Code (IECC), 2000 Edition, except one story additions to existing buildings less than 200 square feet.
62. All residential swimming pools shall comply with IRC Appendix G, as amended, and Article 680 of the National Electrical Code.

Date									
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Project Number:	
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Architect	
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**REVIEW SET  
NOT FOR CONSTRUCTION**

**SUTTON  
YANTIS  
ASSOCIATES**

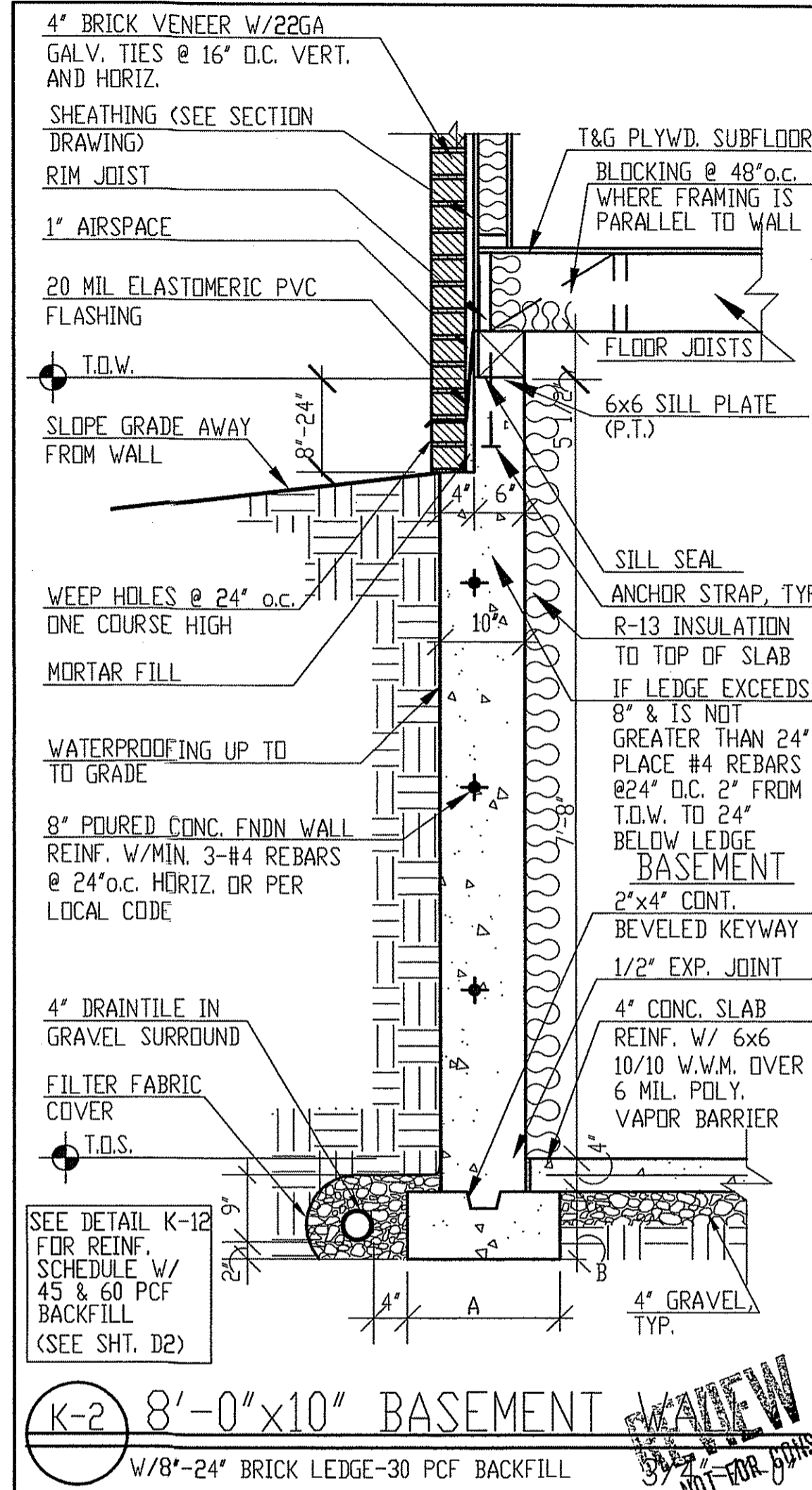
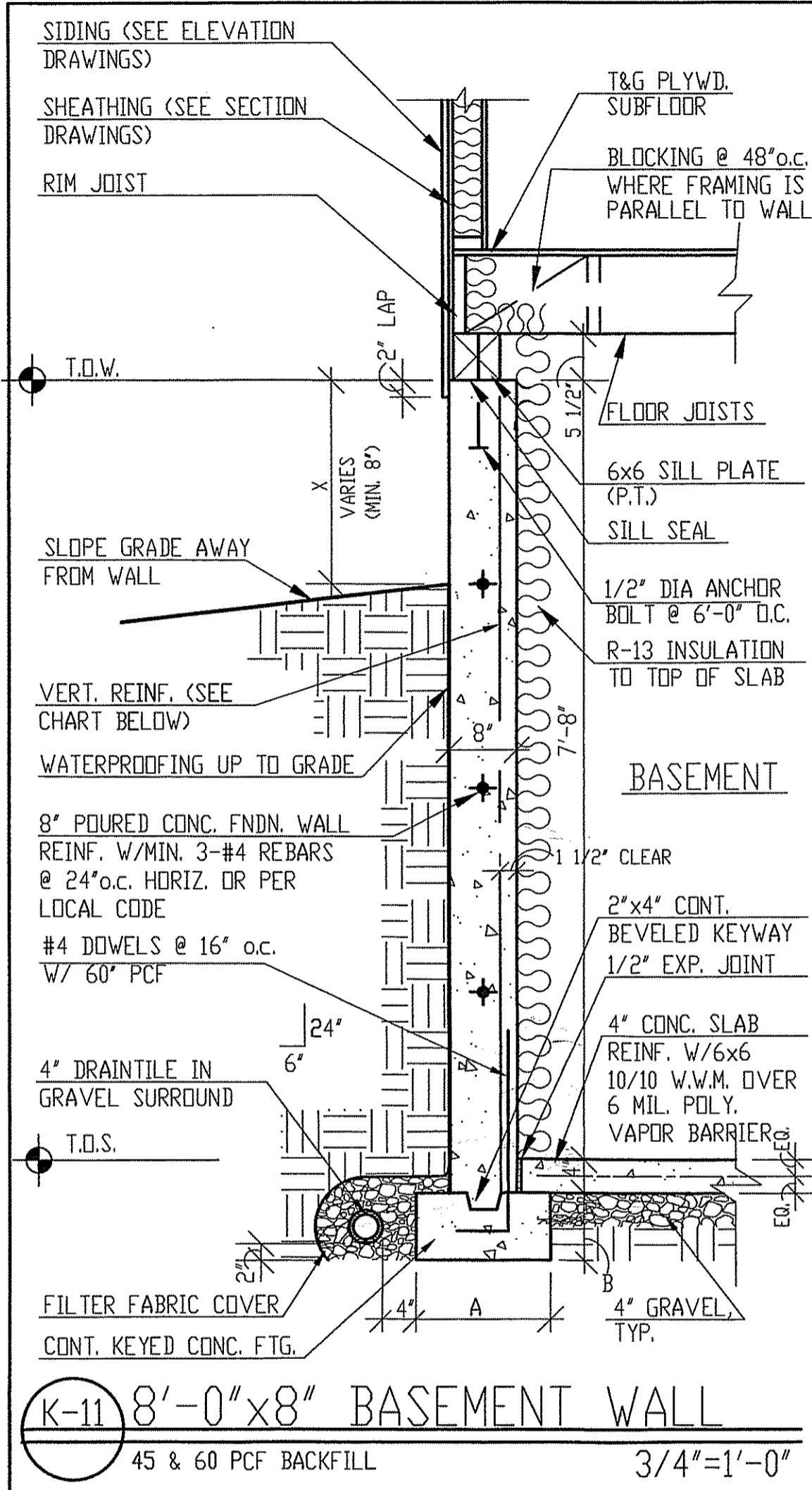
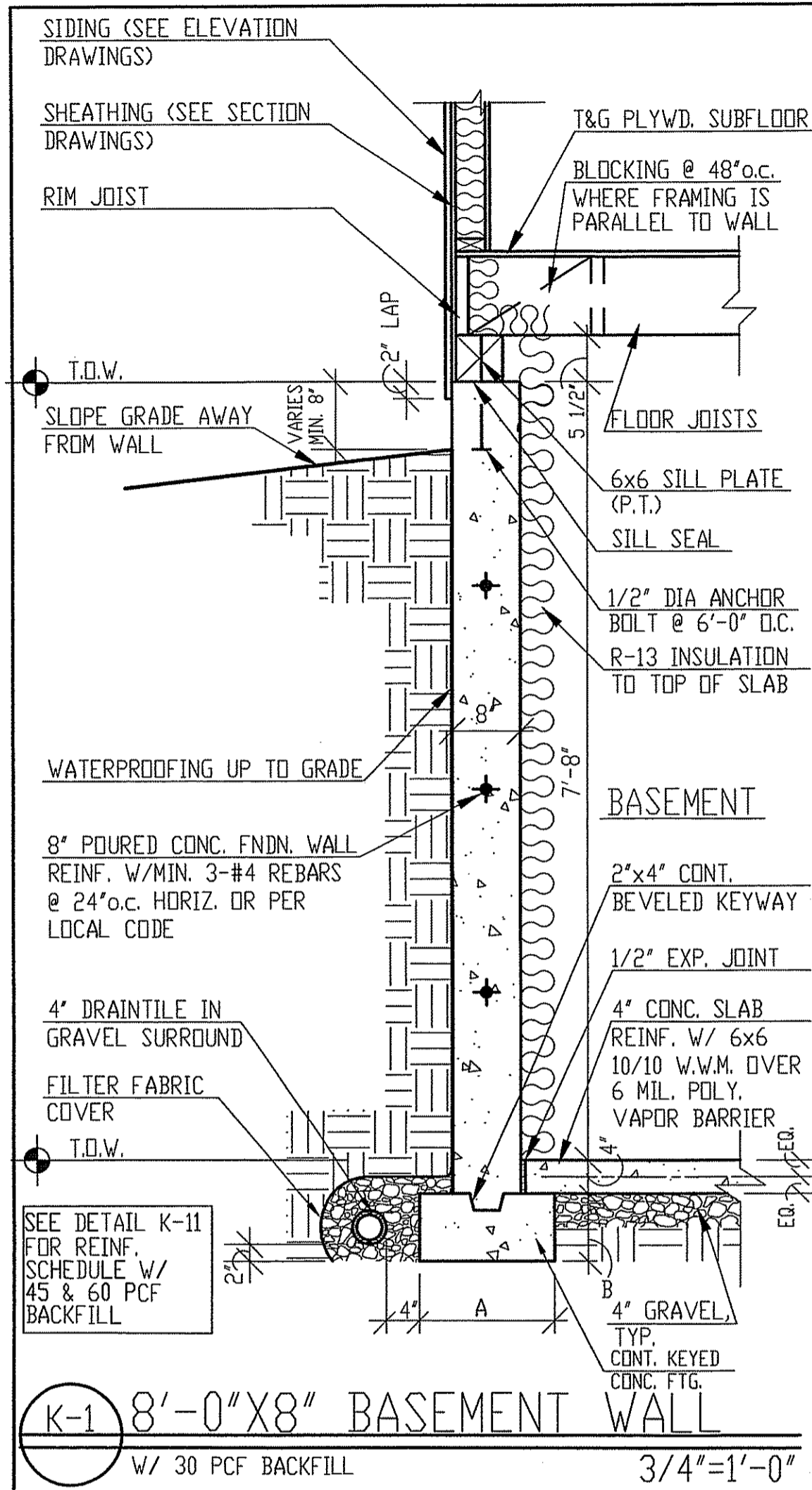
**ARCHITECTS**

1952 Gallows Rd.  
Vienna, VA 22182  
Tel: 703.734.0739  
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Sheet Number	<b>MC</b>
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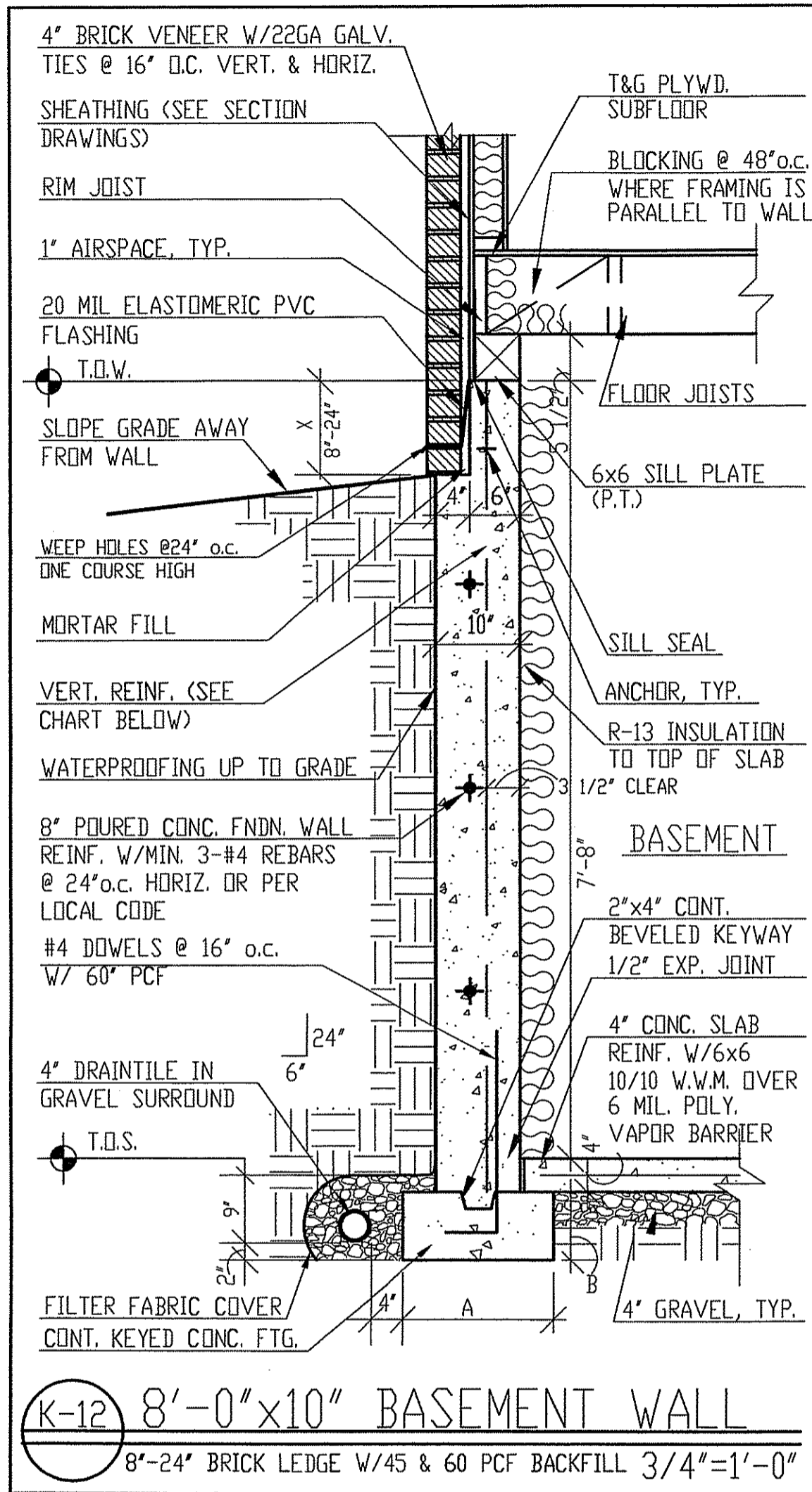
**REVIEW SET**  
NOT FOR CONSTRUCTION

Refer to Foundation Plans for referencing of applicable details for this project. Substitution or use of details not referenced to plans is prohibited. Refer to Footing Schedule for footing sizes.

**WHERE APPLICABLE:**  
See specific framing details pertaining to MFG Joists on Framing Detail Sheets.

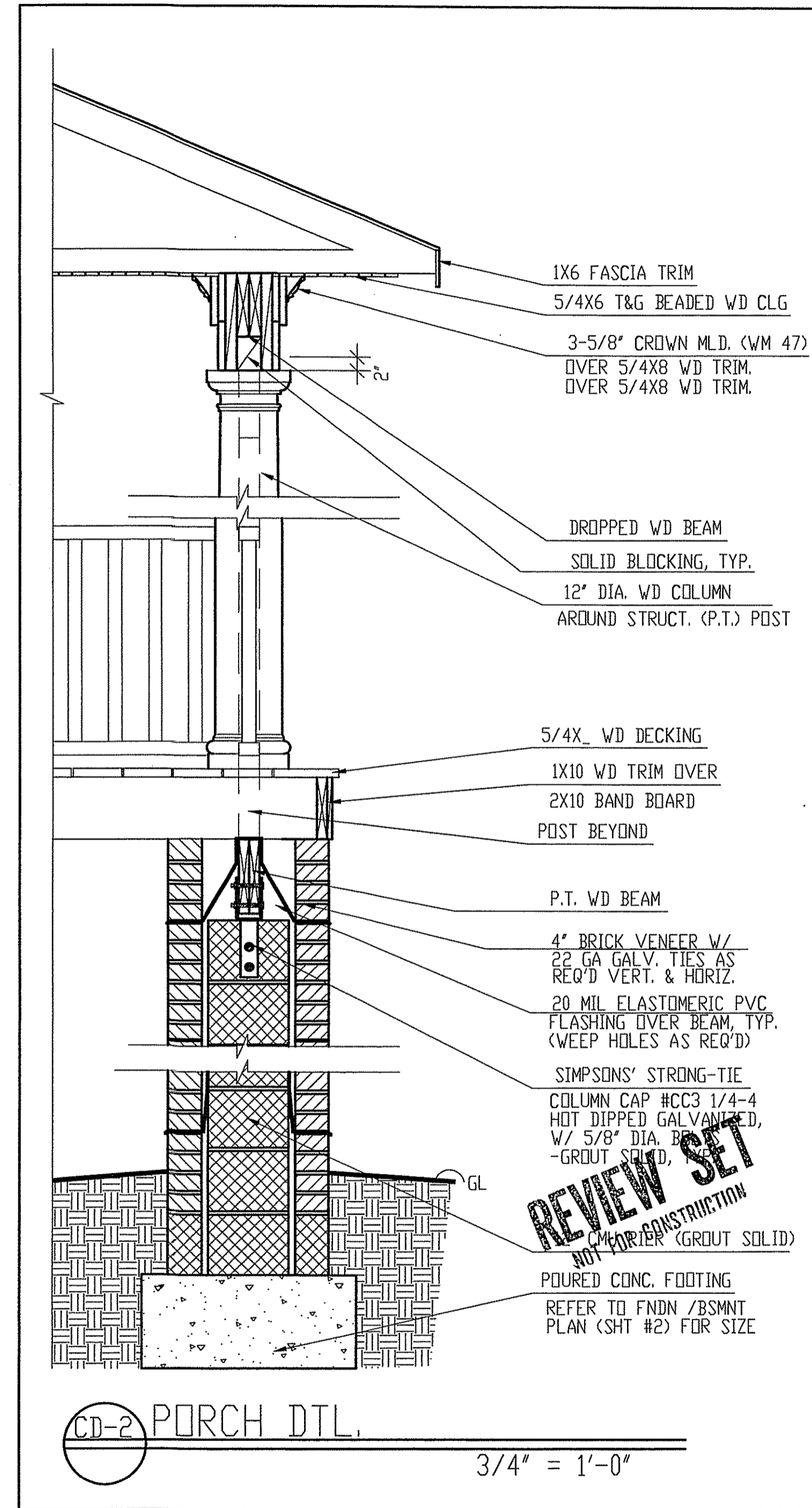
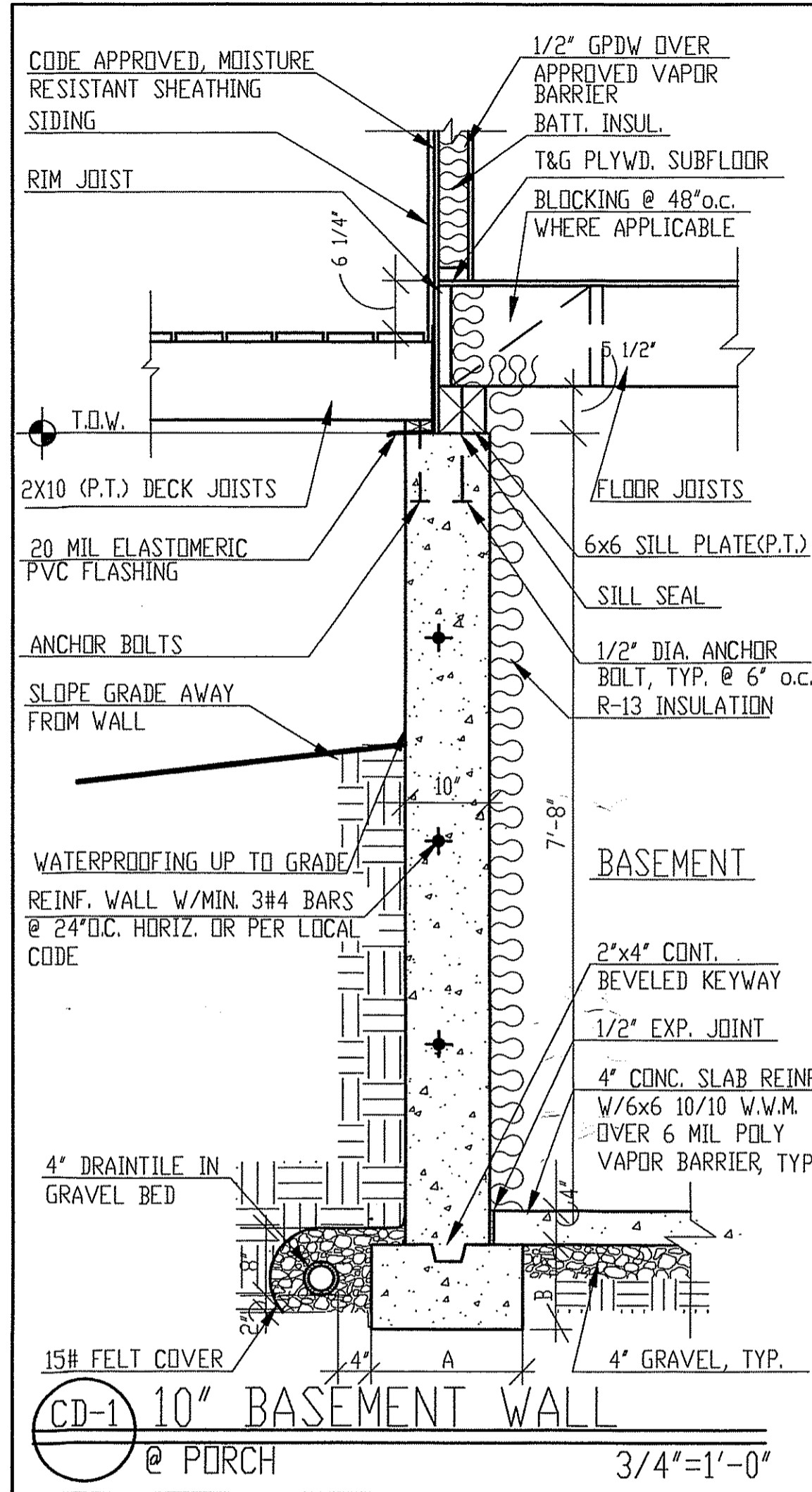
BACKFILL	VERT. REINF. REQ'D
45 PCF BACKFILL	X VERT. REINF. REQ'D
8'-20' GREATER THAN 20'	#4 REBAR @ 20' O.C. NO REINF. REQ'D
60 PCF BACKFILL	X VERT. REINF. REQ'D
8'-32' GREATER THAN 32'	#4 REBAR @ 16' O.C. NO REINF. REQ'D

FOOTING SCHEDULE	
BEARING CAPACITY OF SOIL (PSF)	FOOTING DIMENSIONS (INCHES)
2000 PSF	A = 20"
	B = 10"
2500 PSF	A = 16"
	B = 8"
3000 PSF	A = 16"
	B = 8"



45 PCF BACKFILL	X	VERT. REINF. REQ'D
8'-24" GREATER THAN 24"		#4 REBAR @ 16" O.C. WALL CANNOT BE USED

60 PCF BACKFILL	X	VERT. REINF. REQ'D
8'-24" GREATER THAN 24"		#5 REBAR @ 20" O.C. WALL CANNOT BE USED



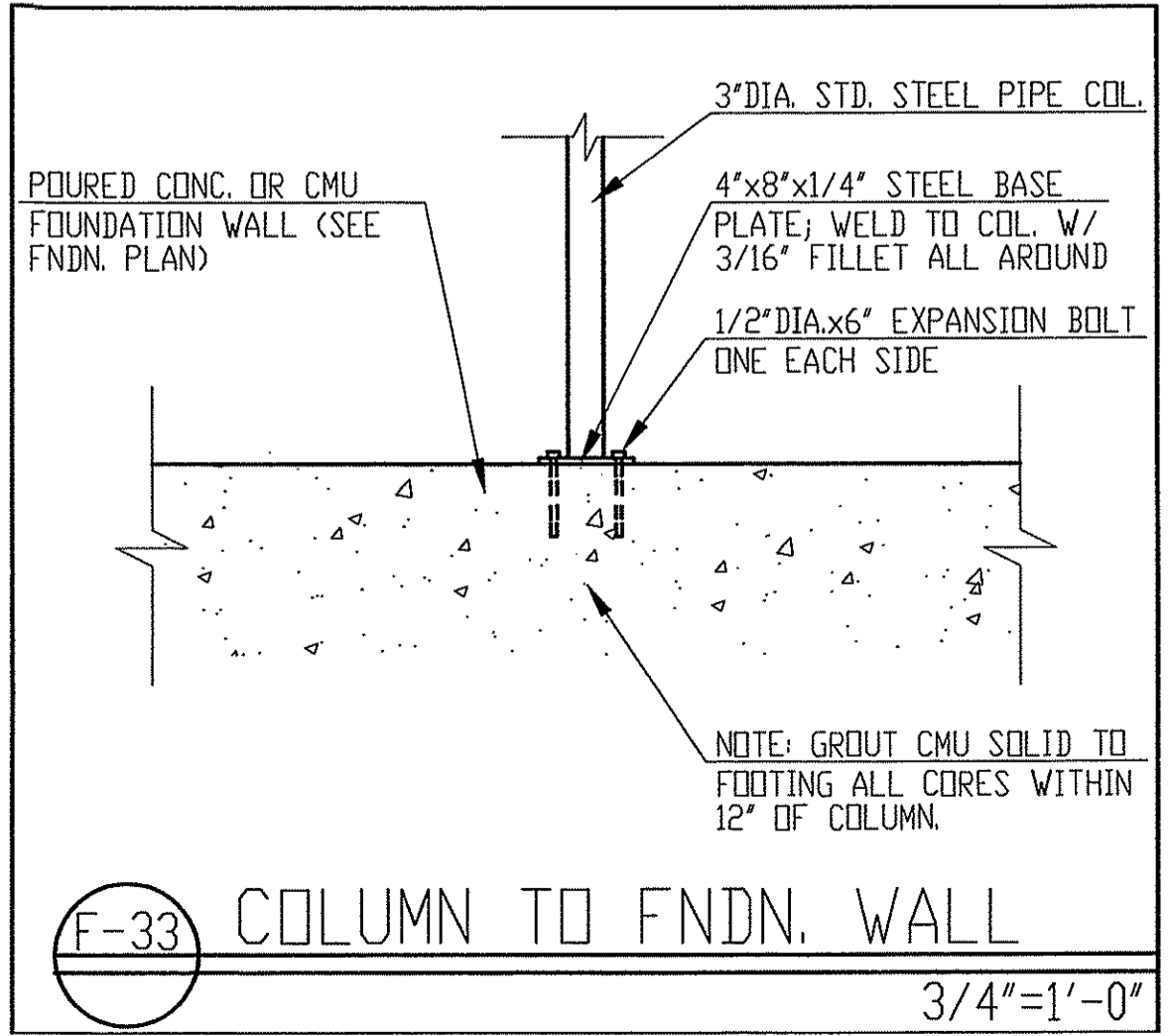
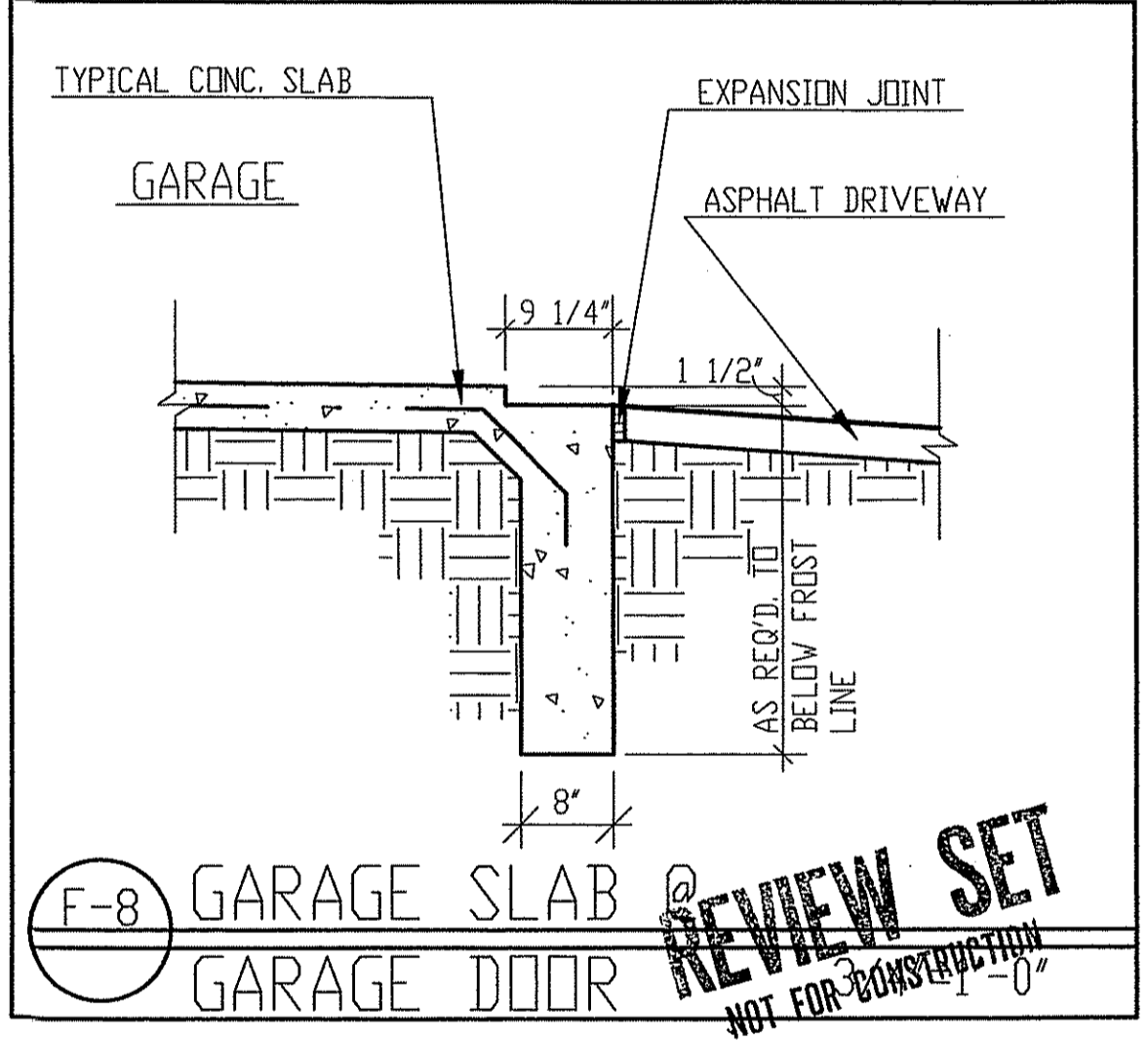
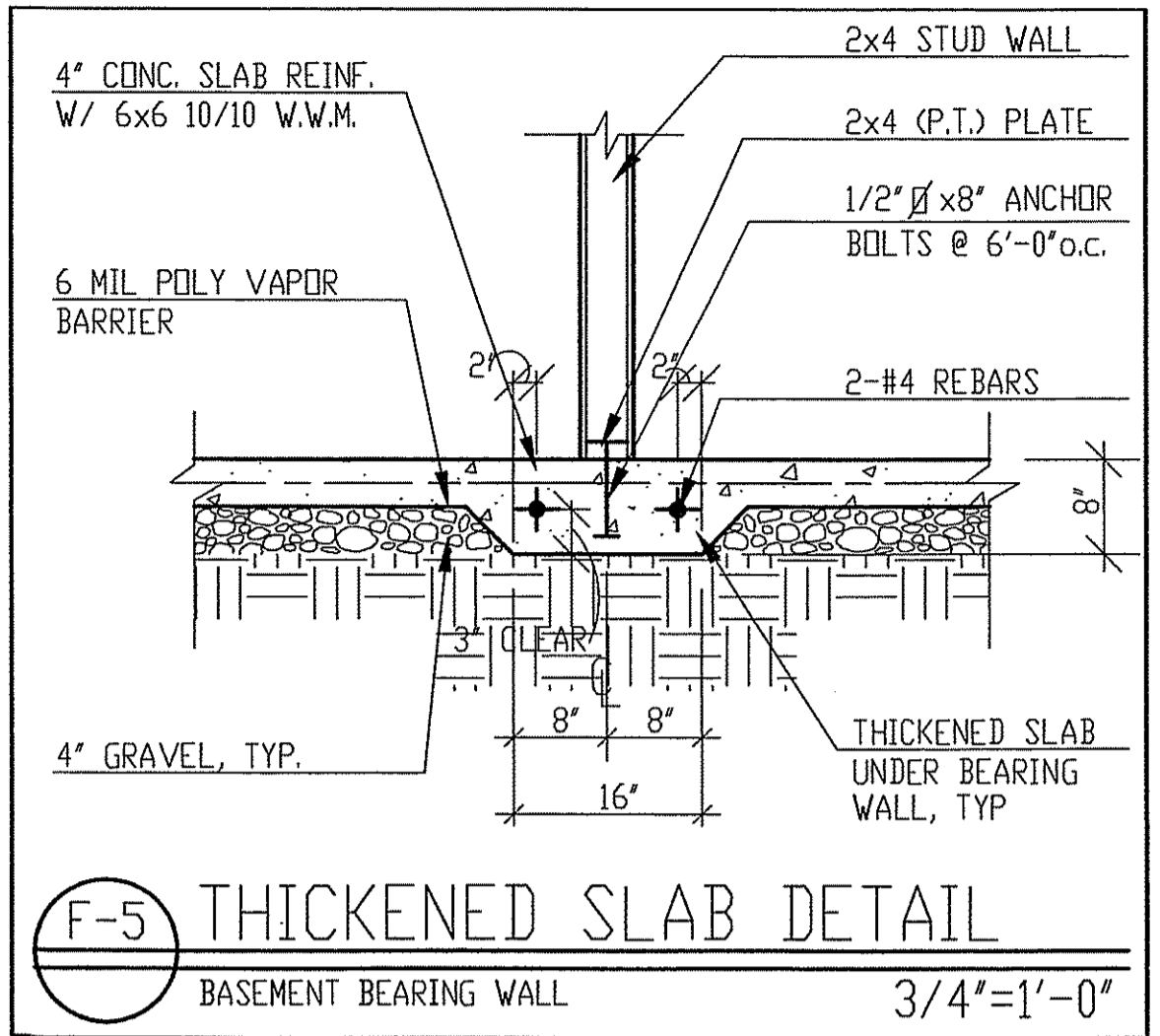
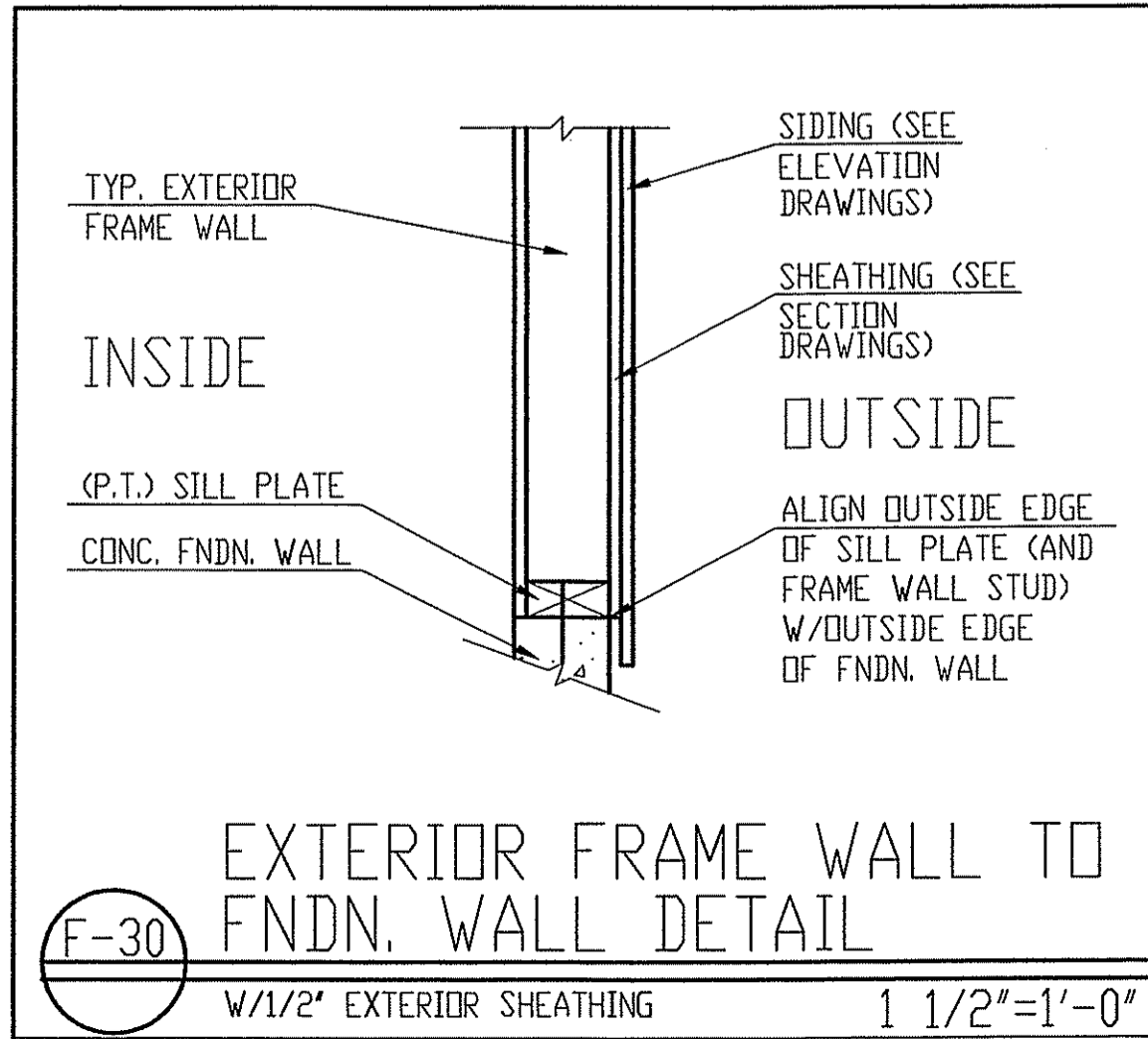
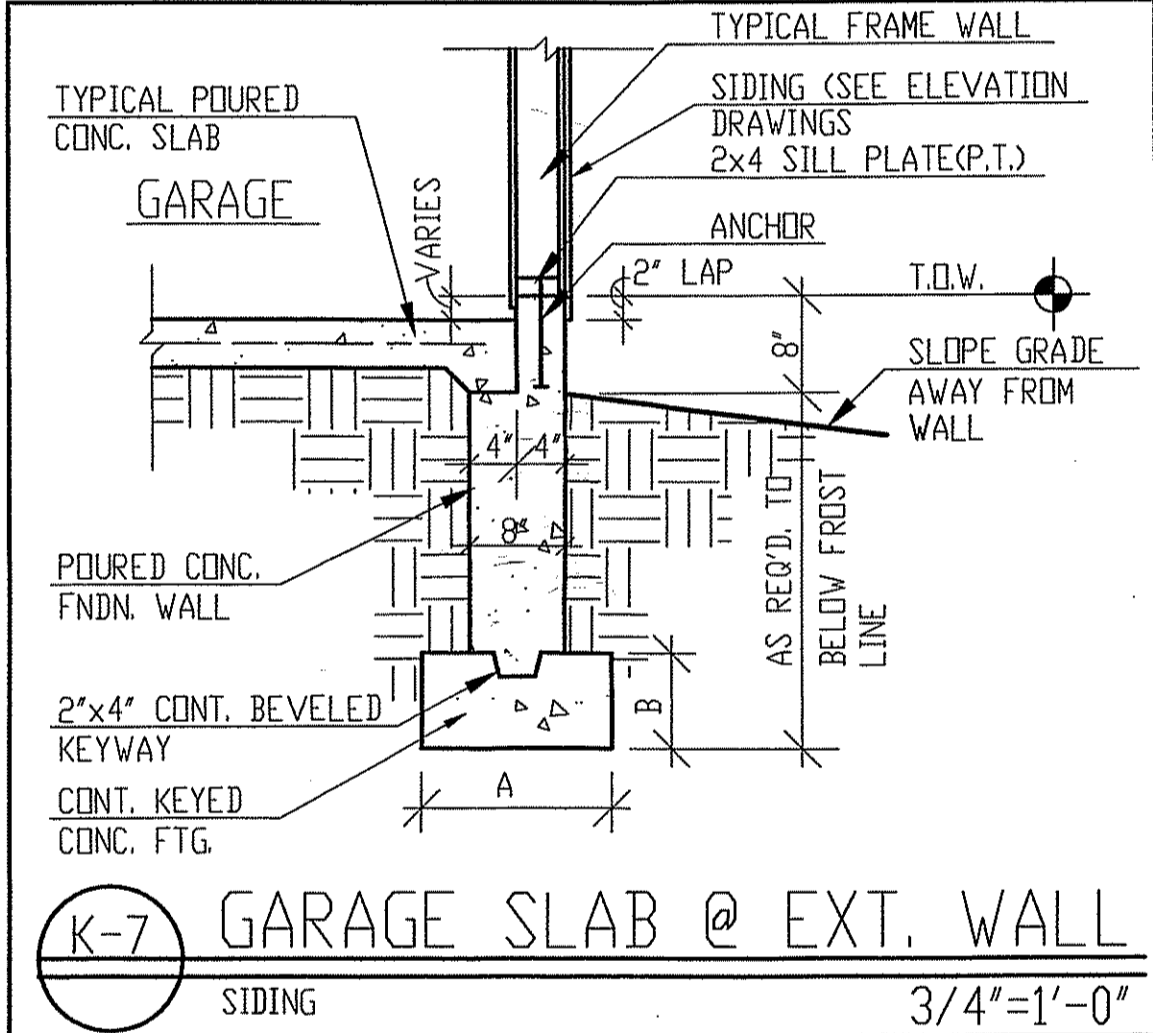
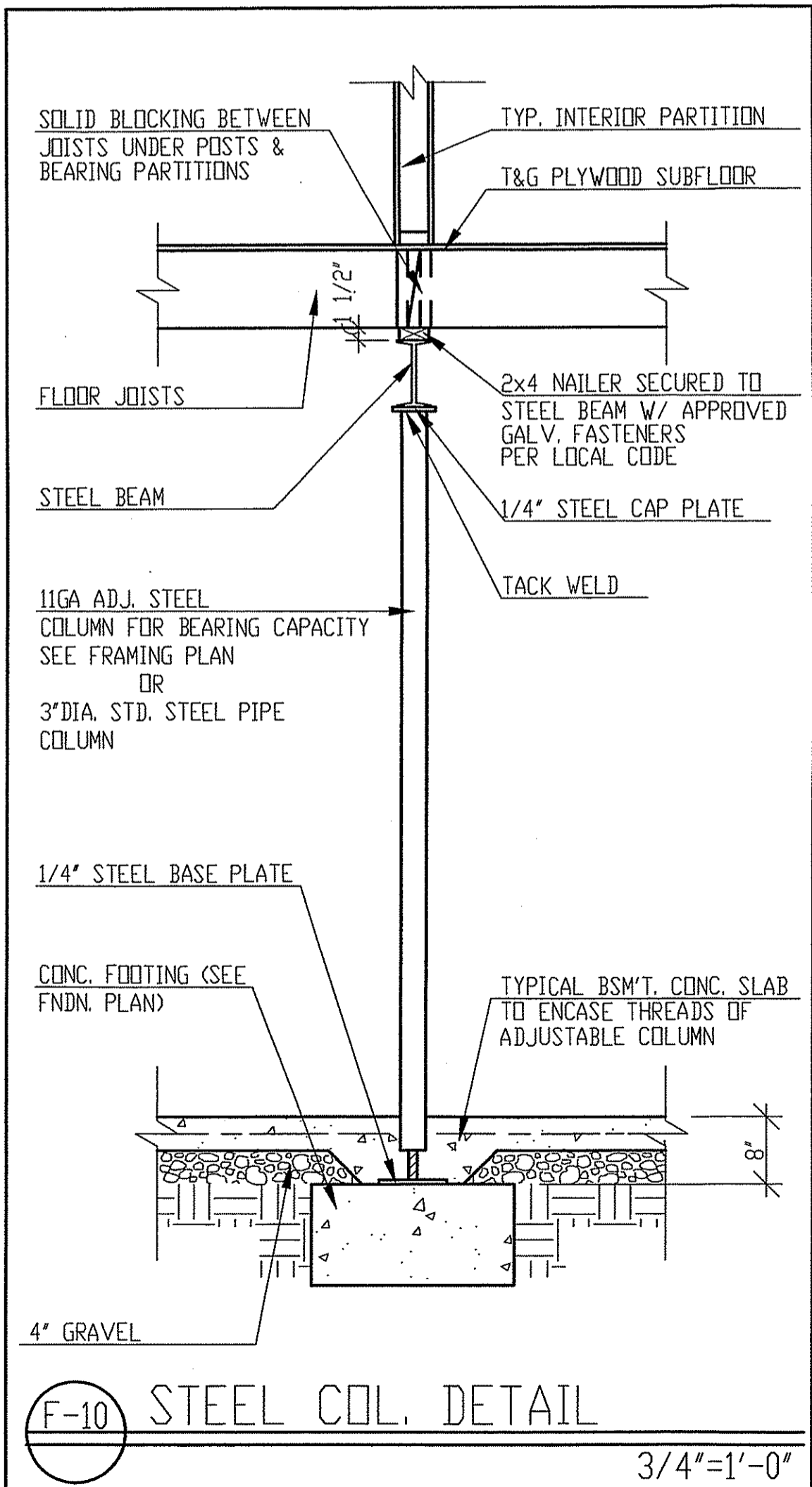
Date	F.S. 04/18/03 ACM
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Project Number: 02208-D2  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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Sheet Number  
**D2**



Date	P.S. 04/18/03 ACM
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Project Number: 02208-D3

**MERIDIAN HOMES**  
FIRST AVENUE  
LOT #11

Architect

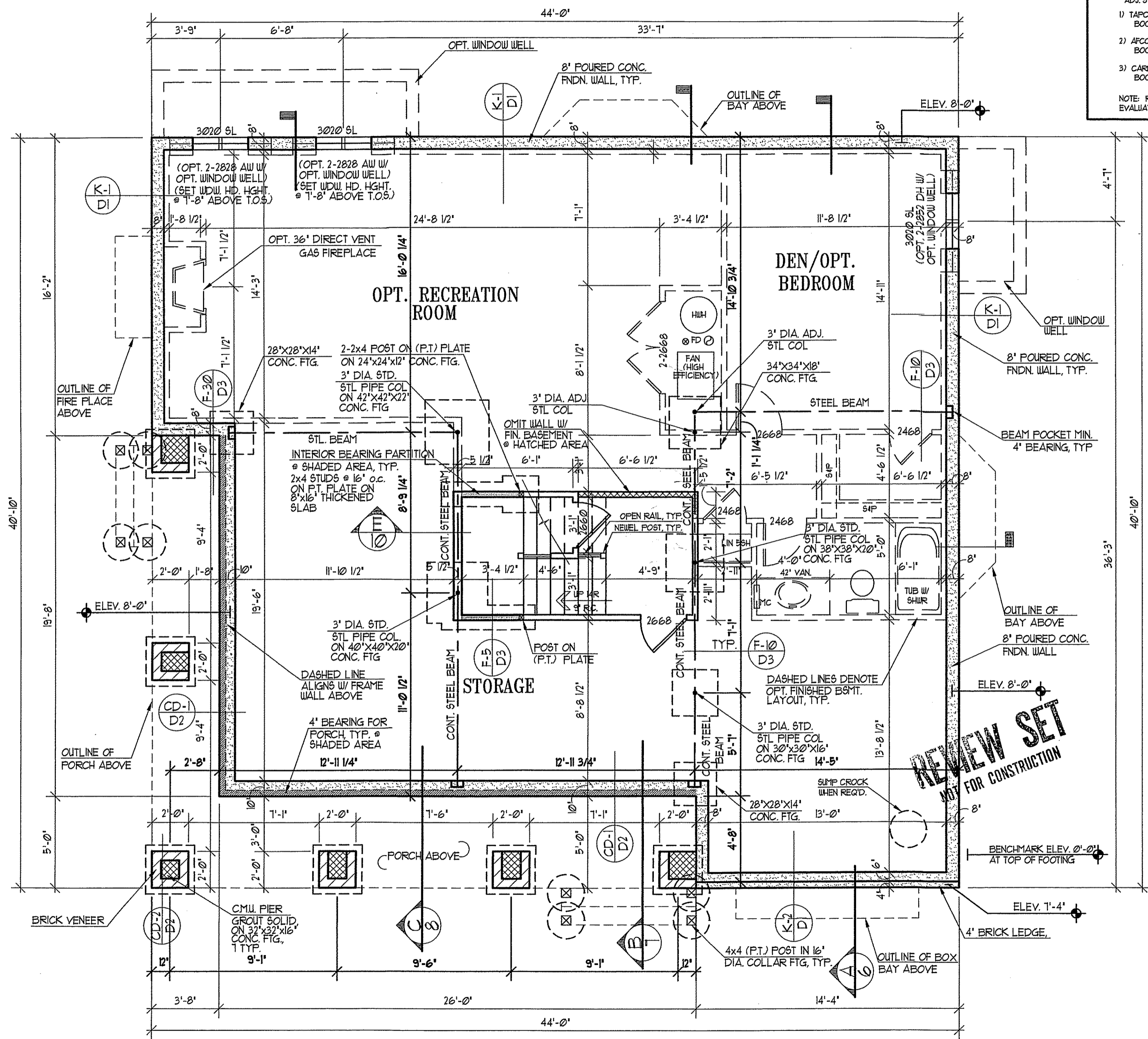
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Sheet Number

**D3**



**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNING FOR USE AS SPECIFIED AS 'ADJ. STL. COL.' IN THESE CONSTRUCTION DRAWINGS:

- 1) TAPCO - MONOPOST  
BOCA RESEARCH REPORT #38-60
- 2) AFCCO - ZIP IT'S UP!  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #128

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.

Date	P.S. 04/18/03 ACM

Project Number: 02208-02

**MERIDIAN HOMES  
FIRST AVENUE  
LOT #11**

Architect

**SUTTON  
YANTIS  
ASSOCIATES**

**ARCHITECTS**

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Sheet Number

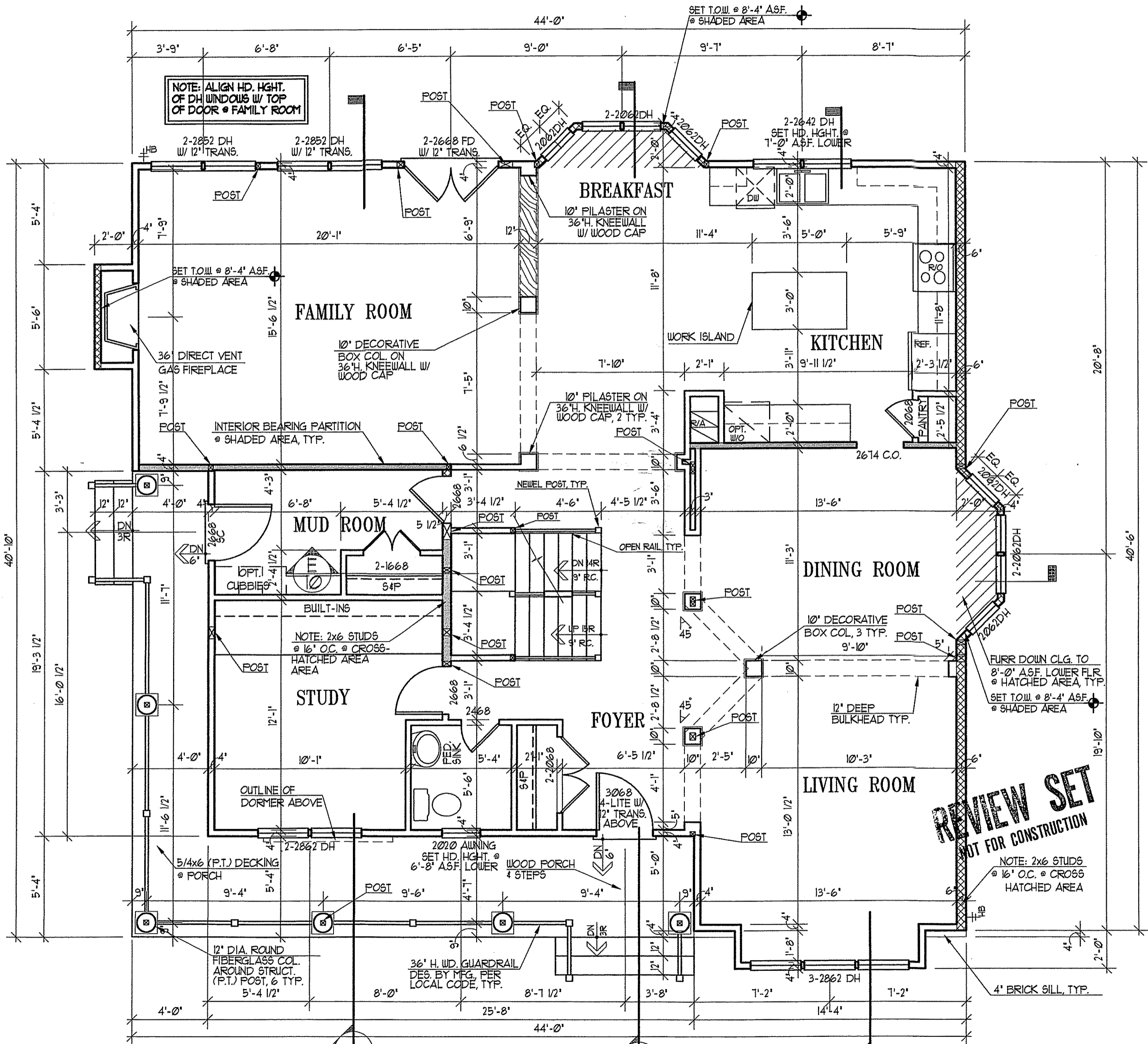
**2**

**FOUNDATION / BASEMENT FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" ABOVE TOP OF SLAB  
UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/2"

1 / 4" = 1' - 0"

Date	P.S. 04/18/03 ACM



**LOWER FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 1'-4" A.S.F.  
UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3 1/2"

1 / 4" = 1' - 0"

Project Number: 02208-03  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

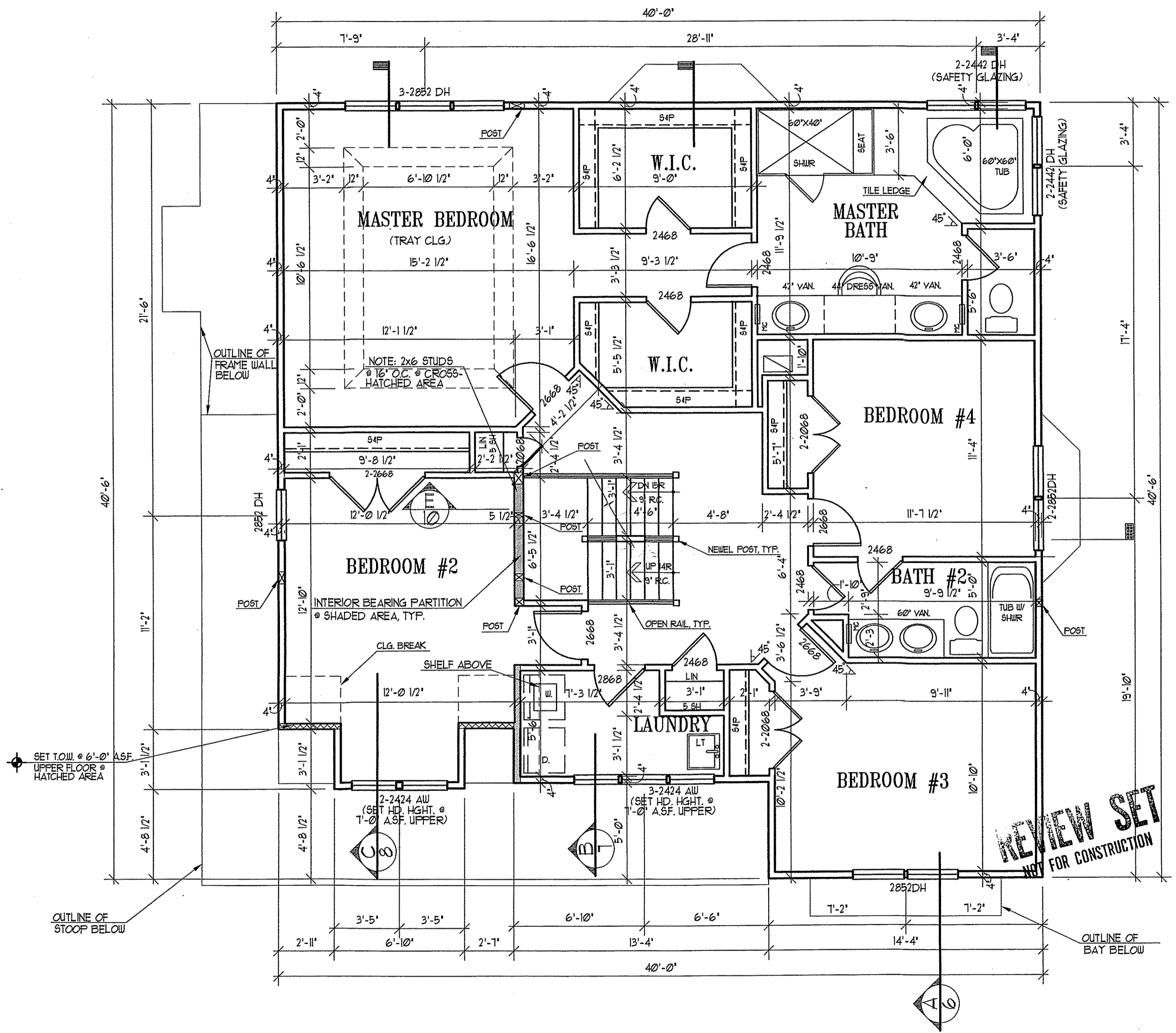
Architect

**SUTTON YANTIS ASSOCIATES ARCHITECTS**

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Sheet Number

**3**



UPPER FLOOR PLAN

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" A.S.F.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3 1/2"

1 / 4" = 1' - 0"

Date	P.S. 04/18/03 ACM

Project Number: 02288-04  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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**YANTIS**  
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**ARCHITECTS**

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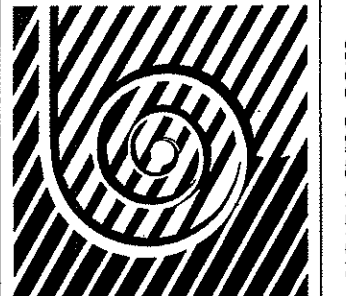
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Date	P.S. 04/18/03 ACM

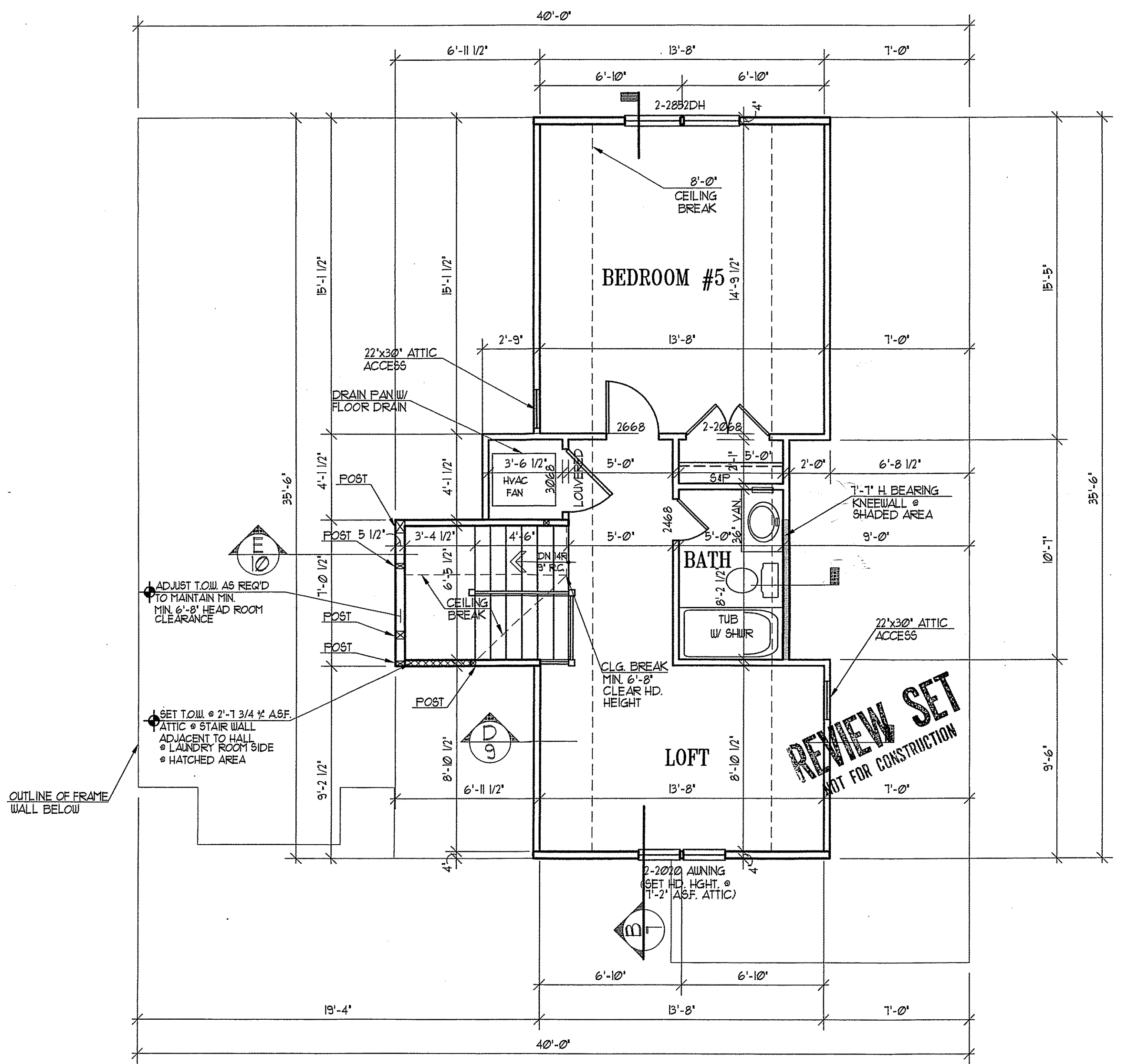
Project Number: 02208-05  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
 1952 Gallows Rd. Tel: 703.794.8795  
 Vienna, VA 22182 Fax: 703.847.9171  
 www.syaa.com



Sheet Number  
**5**



**REVIEW SET**  
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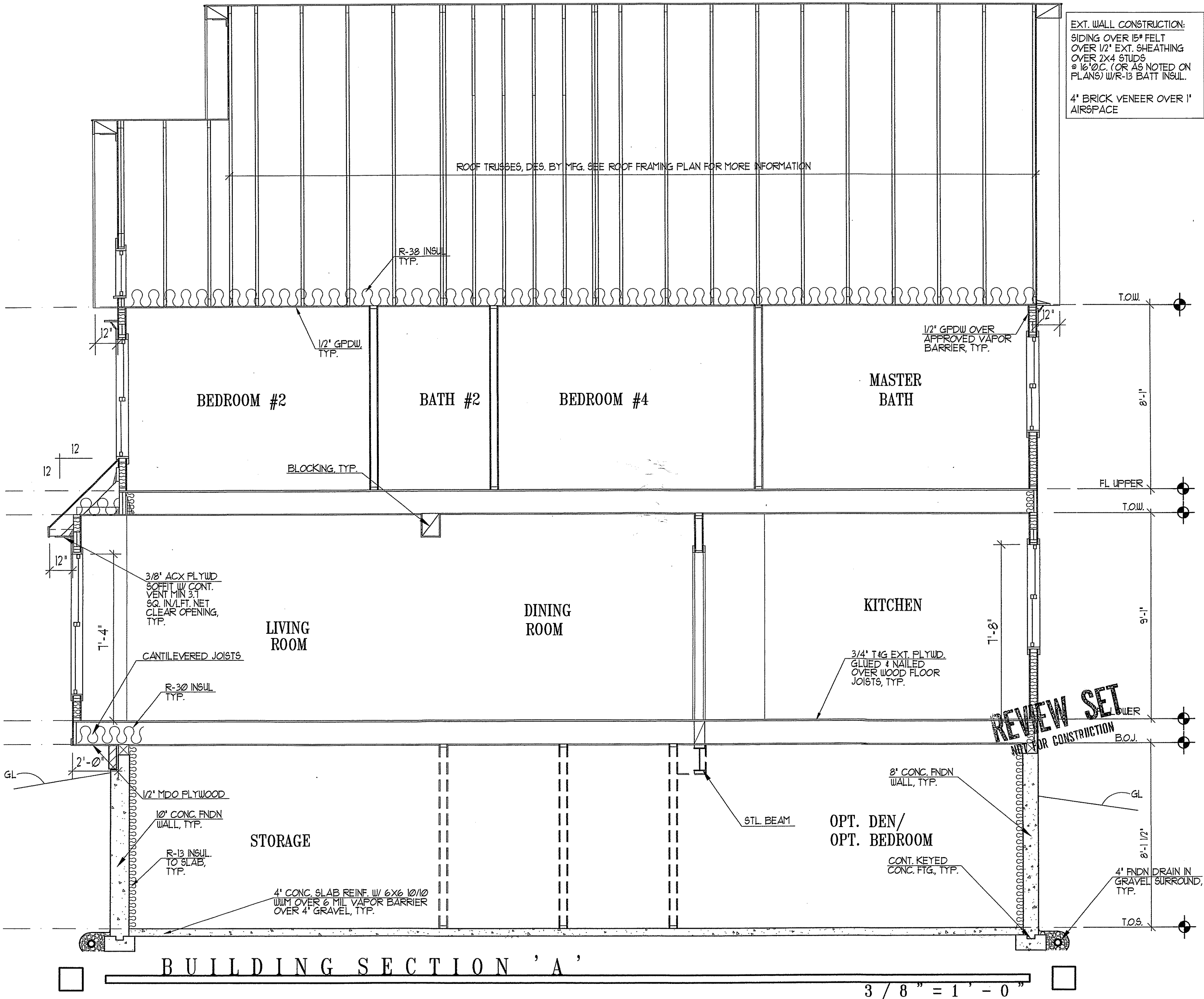
**ATTIC FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" ASF.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/4"

1 / 4" = 1' - 0"

OUTLINE OF FRAME WALL BELOW





EXT. WALL CONSTRUCTION:  
 SIDING OVER 15# FELT  
 OVER 1/2" EXT. SHEATHING  
 OVER 2X4 STUDS  
 @ 16" O.C. (OR AS NOTED ON  
 PLANS) W/R-13 BATT INSUL.  
  
 4' BRICK VENEER OVER 1'  
 AIRSPACE

ROOF TRUSSES, DES. BY MFG. SEE ROOF FRAMING PLAN FOR MORE INFORMATION

R-38 INSUL  
 TYP.

1/2" GPDW  
 TYP.

1/2" GPDW OVER  
 APPROVED VAPOR  
 BARRIER, TYP.

BEDROOM #2

BATH #2

BEDROOM #4

MASTER  
 BATH

BLOCKING, TYP.

3/8" ACX PLYWD  
 SOFFIT W/ CONT.  
 VENT MIN 3" x  
 SQ. IN/LFT. NET  
 CLEAR OPENING,  
 TYP.

LIVING  
 ROOM

DINING  
 ROOM

KITCHEN

3/4" T&G EXT. PLYWD.  
 GLUED & NAILED  
 OVER WOOD FLOOR  
 JOISTS, TYP.

CANTILEVERED JOISTS

R-30 INSUL  
 TYP.

**REVIEW SET**  
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1/2" MDO PLYWOOD

10" CONC. FNDN  
 WALL, TYP.

R-13 INSUL.  
 TO SLAB,  
 TYP.

STORAGE

4" CONC. SLAB REINF. W/ 6X6 10/10  
 W/UM OVER 6 MIL VAPOR BARRIER  
 OVER 4" GRAVEL, TYP.

STL. BEAM

8" CONC. FNDN  
 WALL, TYP.

OPT. DEN/  
 OPT. BEDROOM

CONT. KEYED  
 CONC. FTG., TYP.

4" FNDN DRAIN IN  
 GRAVEL SURROUND,  
 TYP.

BUILDING SECTION 'A'

3 / 8 " = 1 ' - 0 "

Date	PS: 04/18/03 ACH
------	------------------

Project Number: 02208-06  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

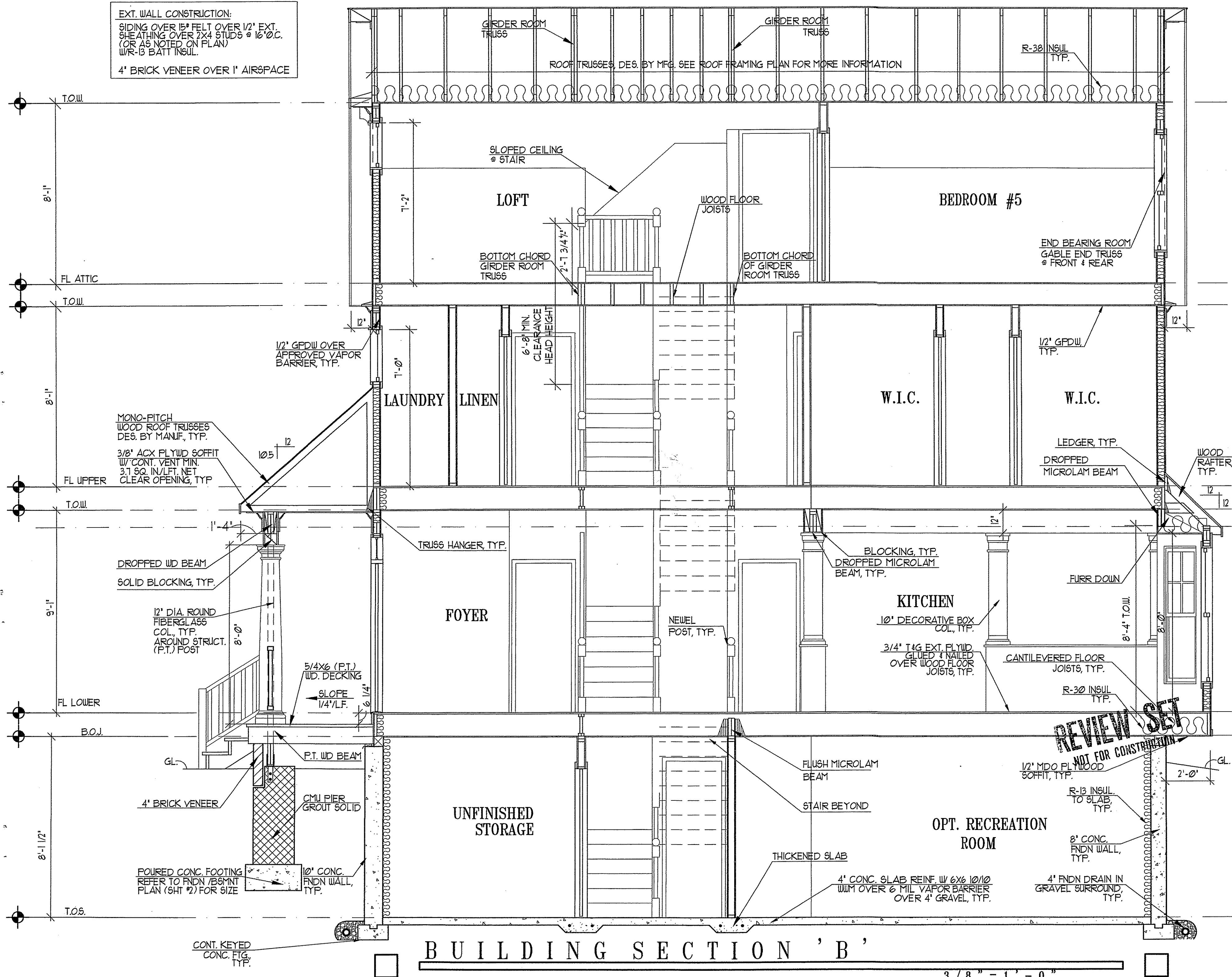
Architect

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 YANTIS  
 ASSOCIATES**  
**ARCHITECTS**  
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**6**



EXT. WALL CONSTRUCTION:  
 SIDING OVER 15" FELT OVER 1/2" EXT.  
 SHEATHING OVER 2X4 STUDS @ 16" O.C.  
 (OR AS NOTED ON PLAN)  
 W/R-13 BATT INSUL.  
 4" BRICK VENEER OVER 1" AIRSPACE



BUILDING SECTION 'B'

3/8" = 1' - 0"

Date	P.S. 04/18/03 ACM
------	-------------------

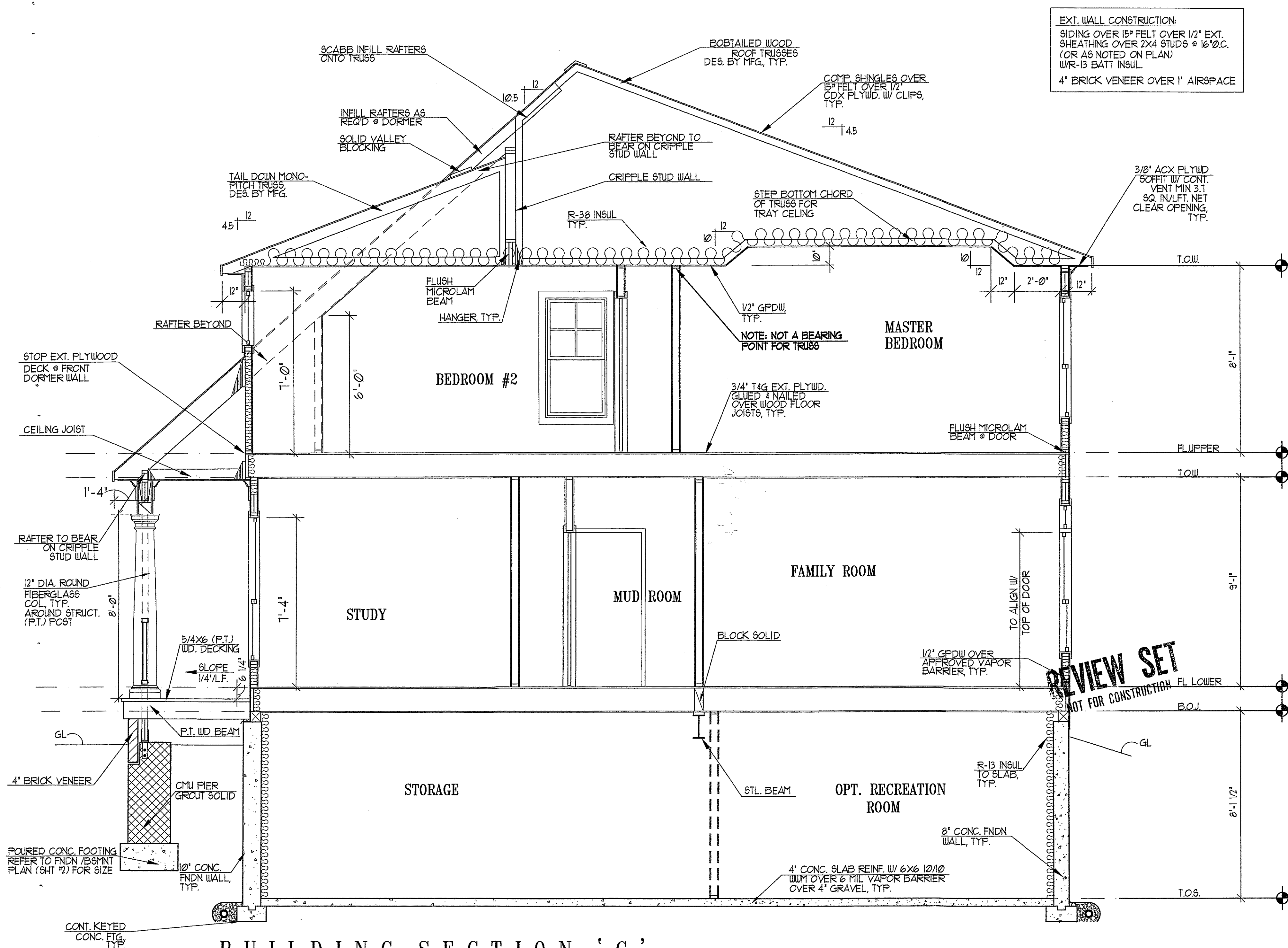
Project Number: 02208-07  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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 7



**BUILDING SECTION 'C'**

3 / 8" = 1' - 0"

Date	P.S. 04/18/03 ACM
------	-------------------

Project Number: 022009-08

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

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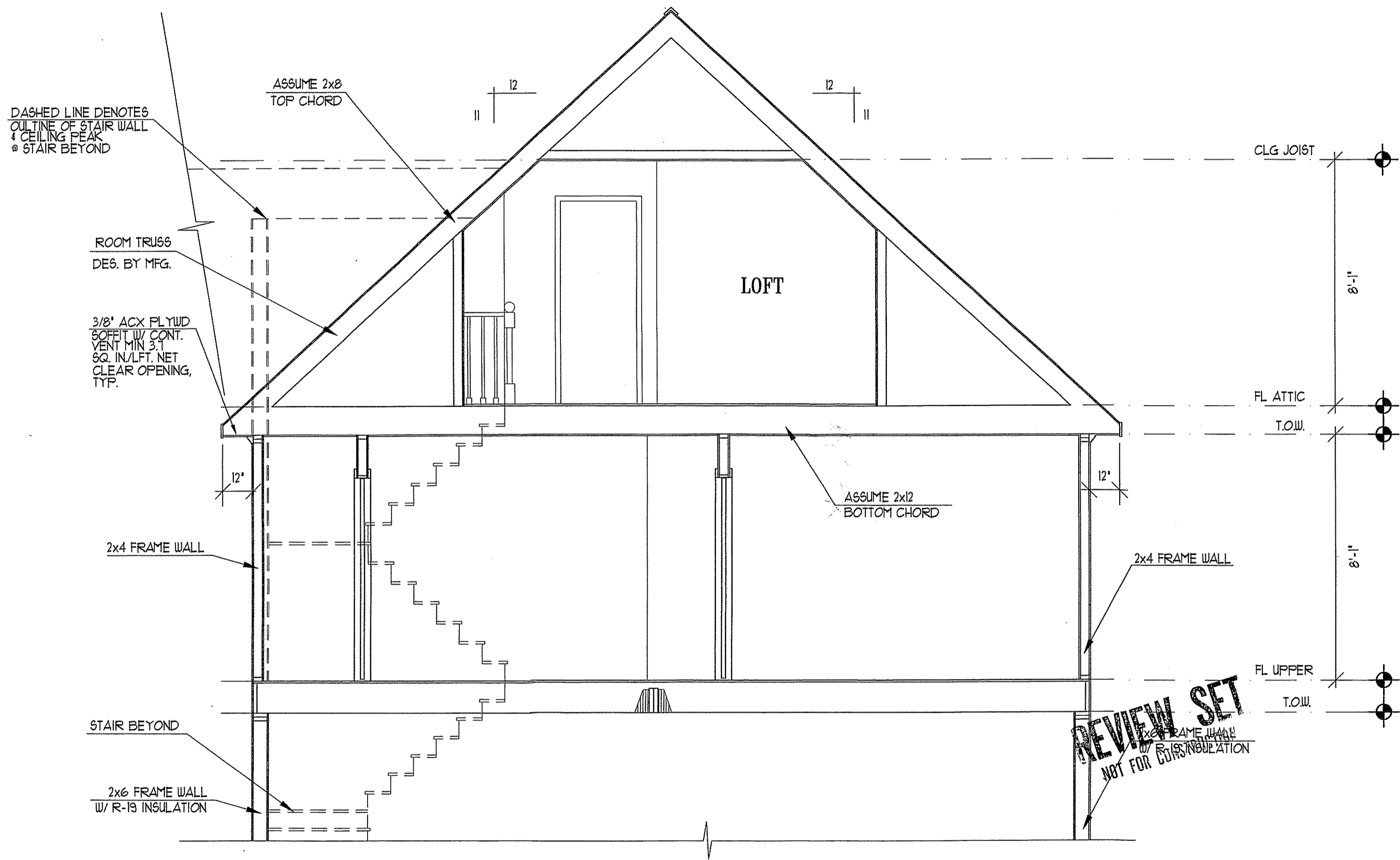
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Sheet Number

**8**



DASHED LINE DENOTES  
OUTLINE OF STAIR WALL  
& CEILING PEAK  
@ STAIR BEYOND

ASSUME 2x8  
TOP CHORD

ROOM TRUSS  
DES. BY MFG.

3/8" ACX PLYWD  
SOFFIT W/ CONT.  
VENT MIN 3.1  
SQ. IN/LFT. NET  
CLEAR OPENING,  
TYP.

LOFT

CLG JOIST

FL ATTIC  
T.O.W.

ASSUME 2x12  
BOTTOM CHORD

2x4 FRAME WALL

2x4 FRAME WALL

FL UPPER  
T.O.W.

STAIR BEYOND

2x6 FRAME WALL  
W/ R-19 INSULATION

**REVIEW SET**  
NOT FOR CONSTRUCTION

PARTIAL BUILDING SECTION DIAGRAM 'D'

3 / 8 " = 1 ' - 0 "

Date	P.S. 04/18/03 ACM

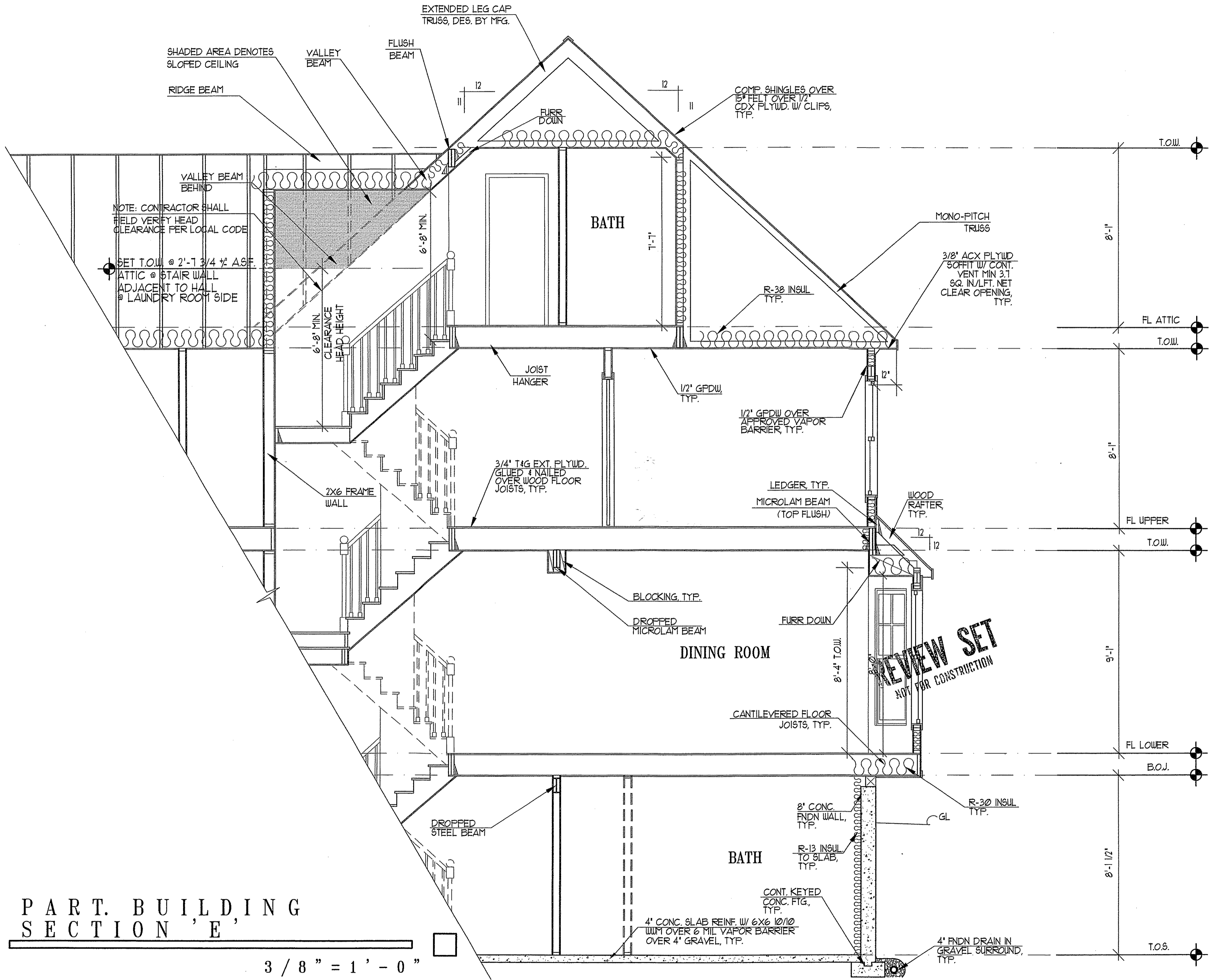
Project Number: 02208-09  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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**9**



PART. BUILDING SECTION 'E'

3/8" = 1'-0"

Date	PS. 04/18/03 ACM

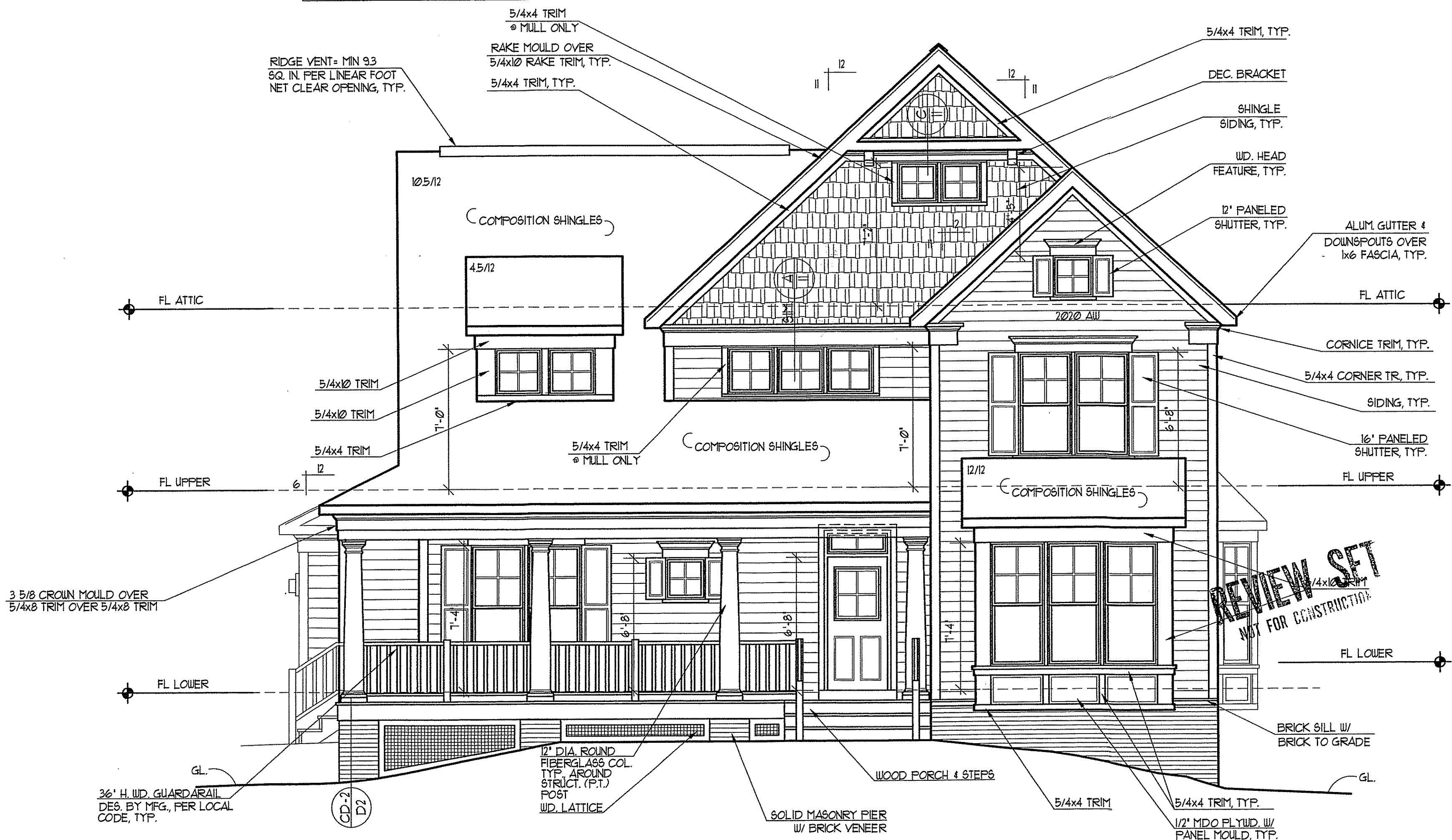
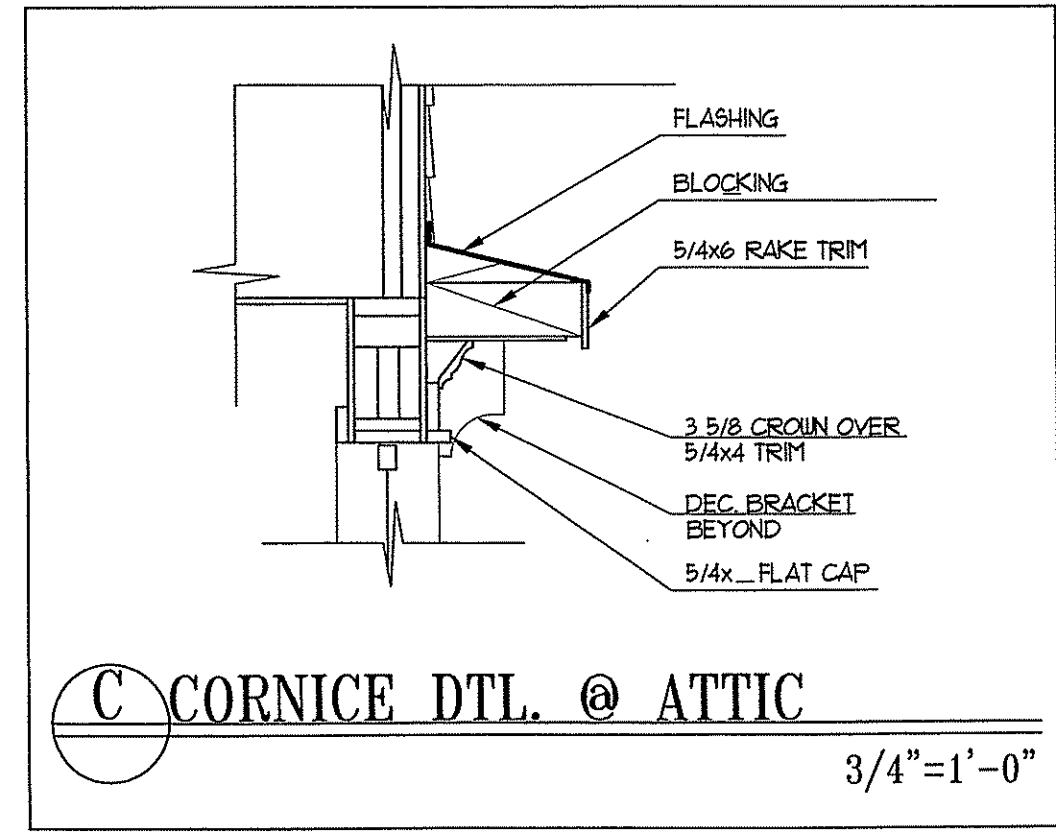
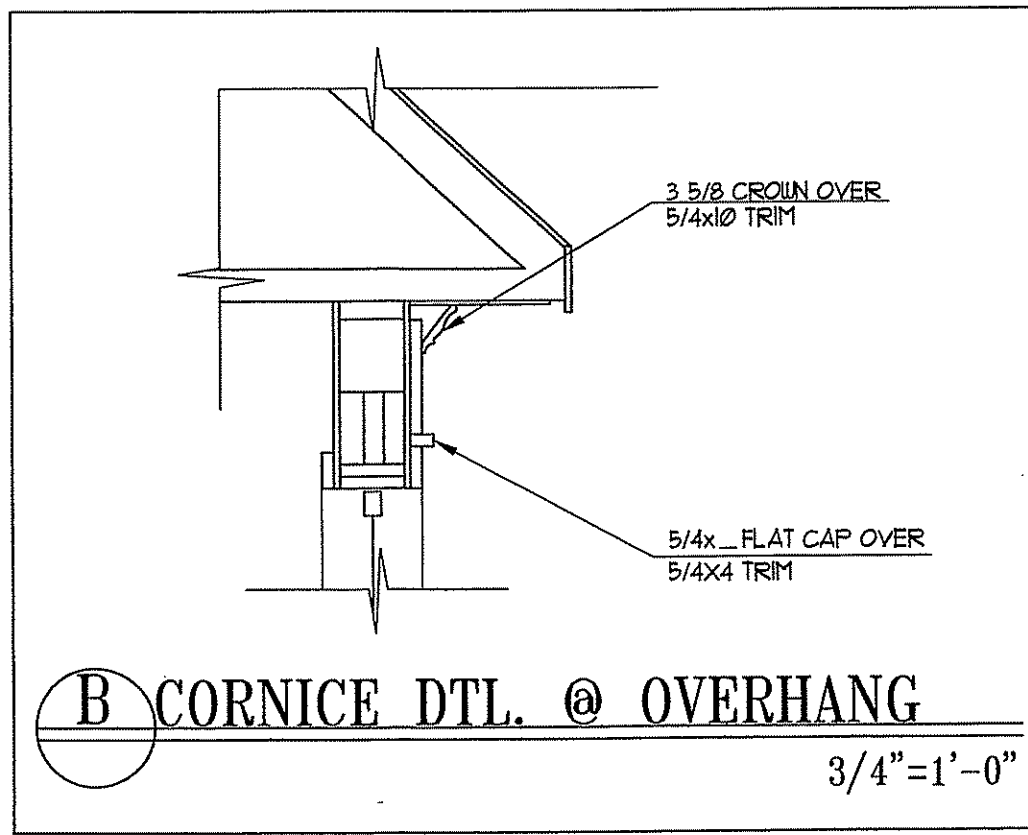
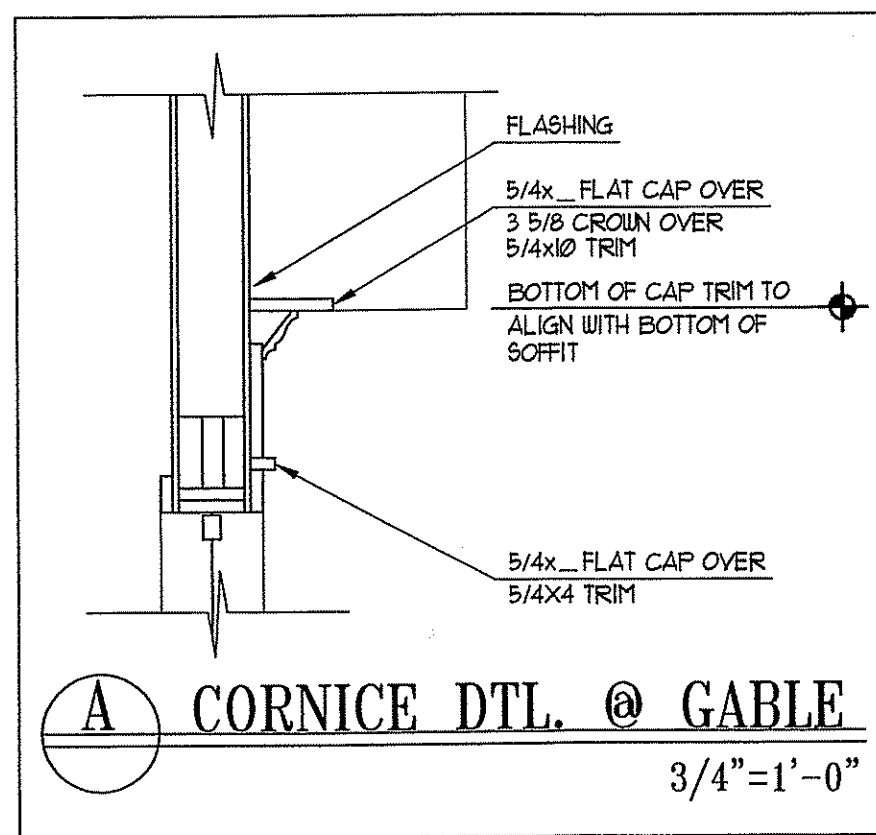
Project Number: 02208-10  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

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**10**



**FRONT ELEVATION**

1/4" = 1'-0"

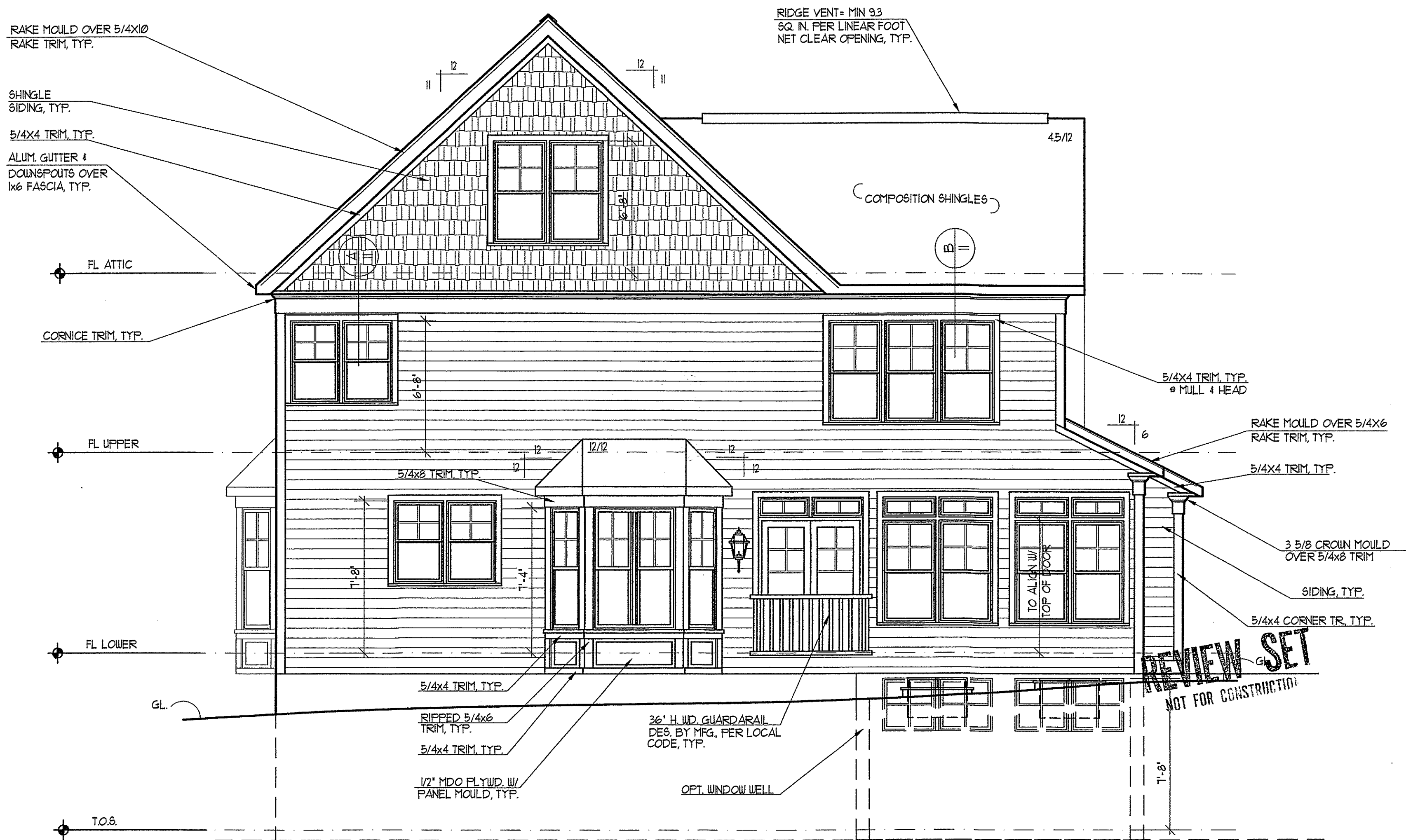
Date	PS. 04/18/03 ACH
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Project Number: 02208-11  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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**11**



REAR ELEVATION

1 / 4" = 1' - 0"

Date	P.S. 04/18/03 ACM

Project Number: 02208-12  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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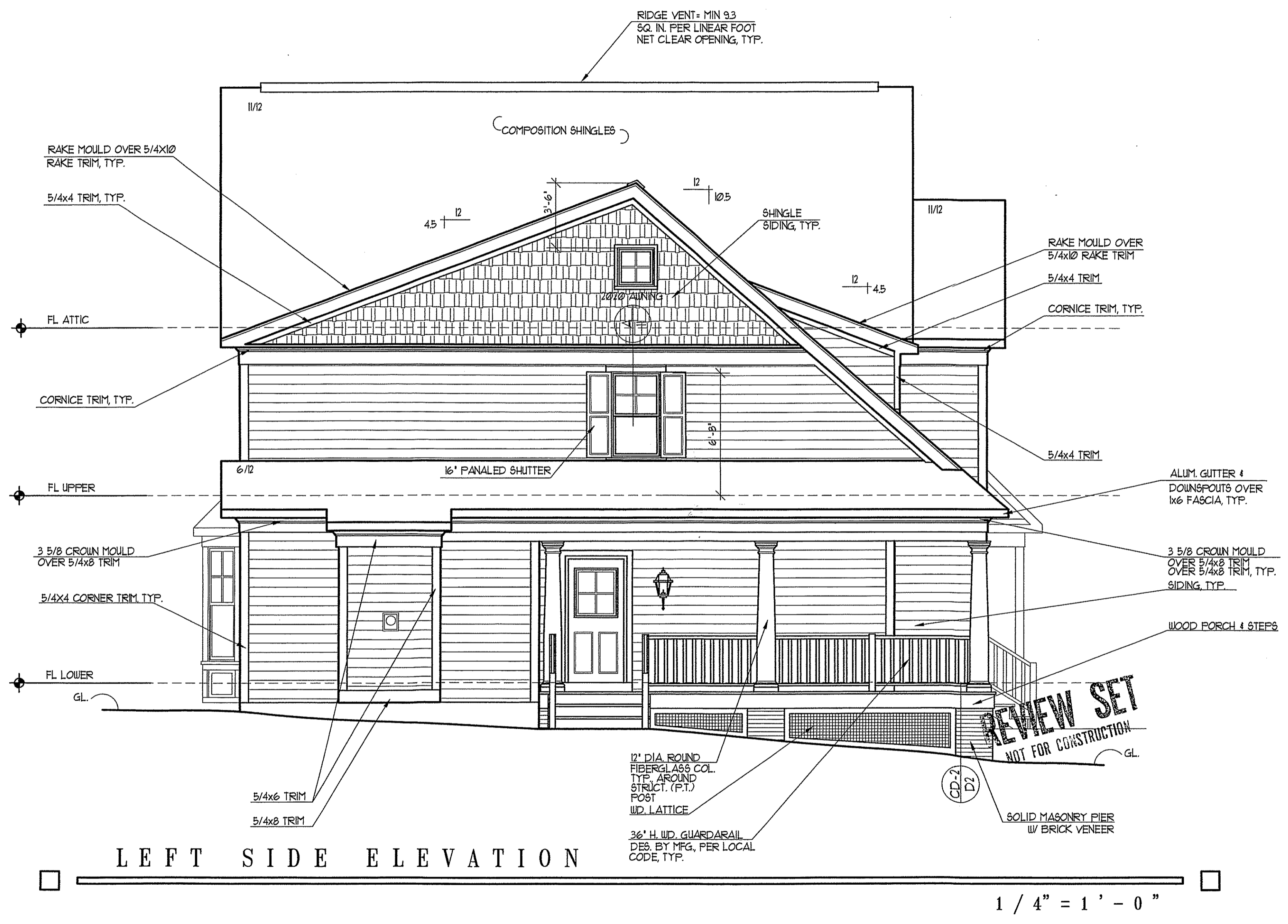
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**12**

**REVIEW SET**  
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Date	RS. 04/18/03 ACM



LEFT SIDE ELEVATION

1 / 4" = 1' - 0"

Project Number: 02208-13  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

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**13**

**REVIEW SET**  
 NOT FOR CONSTRUCTION

12" DIA. ROUND FIBERGLASS COL. TYP. AROUND STRUCT. (P.T.) POST W/D. LATTICE  
 36" H. W.D. GUARDRAIL DES. BY MFG., PER LOCAL CODE, TYP.

ALUM. GUTTER & DOWNSPOUTS OVER 1x6 FASCIA, TYP.

3 5/8" CROWN MOULD OVER 5/4x8 TRIM OVER 5/4x8 TRIM, TYP. SIDING, TYP.

WOOD PORCH & STEPS

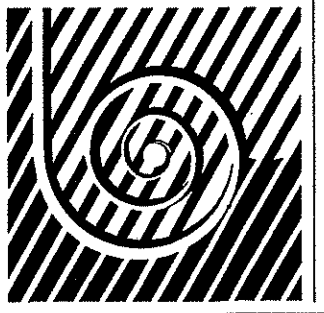
SOLID MASONRY PIER W/ BRICK VENEER

Date	P.S. 04/18/03 ACM

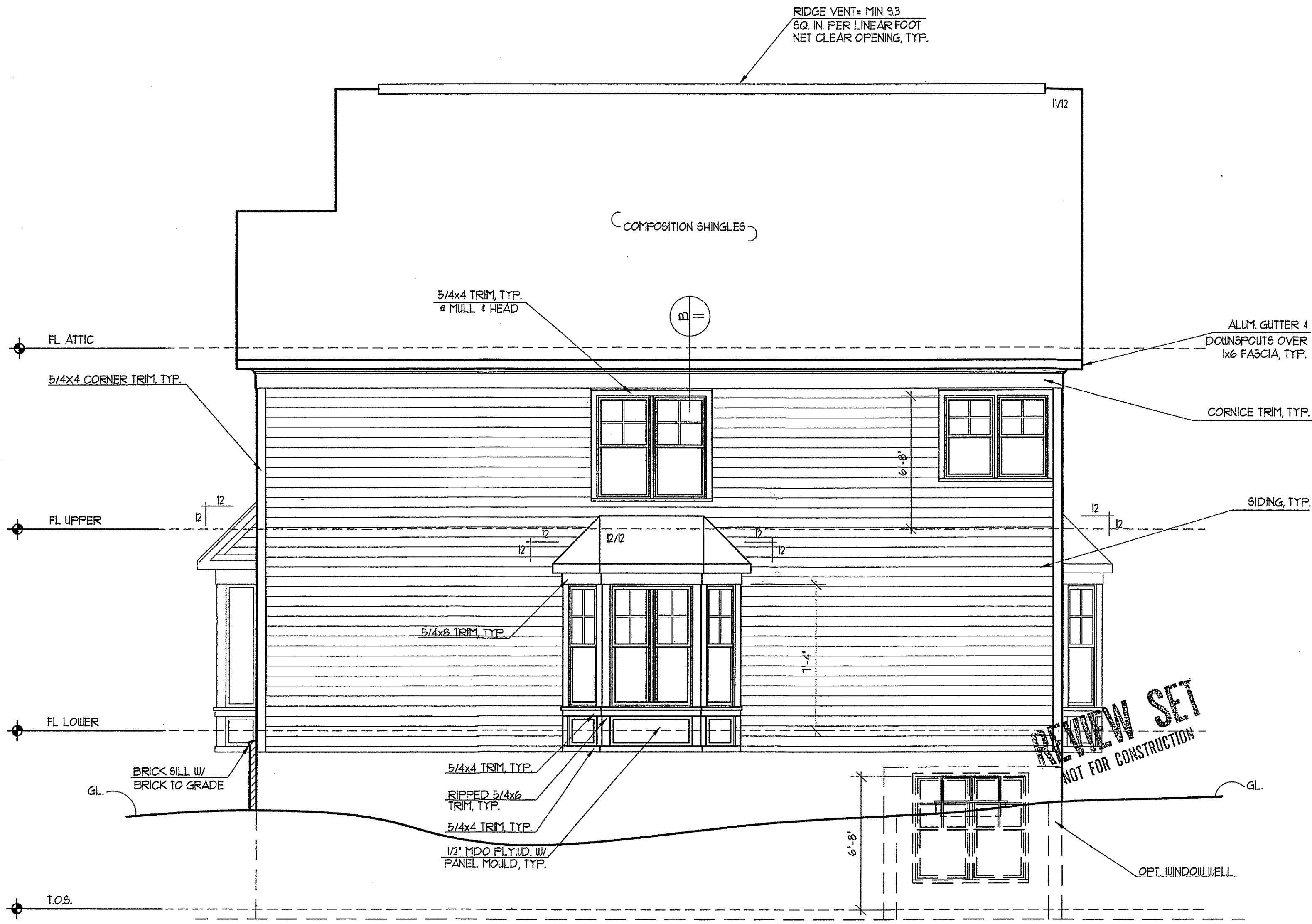
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**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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Sheet Number  
**14**



RIGHT SIDE ELEVATION

1 / 4" = 1' - 0"

**REVIEW SET**  
**NOT FOR CONSTRUCTION**



DESIGN DATA:	
FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 PSF
ALL OTHER AREAS:	40 PSF
DEAD LOAD:	10 PSF

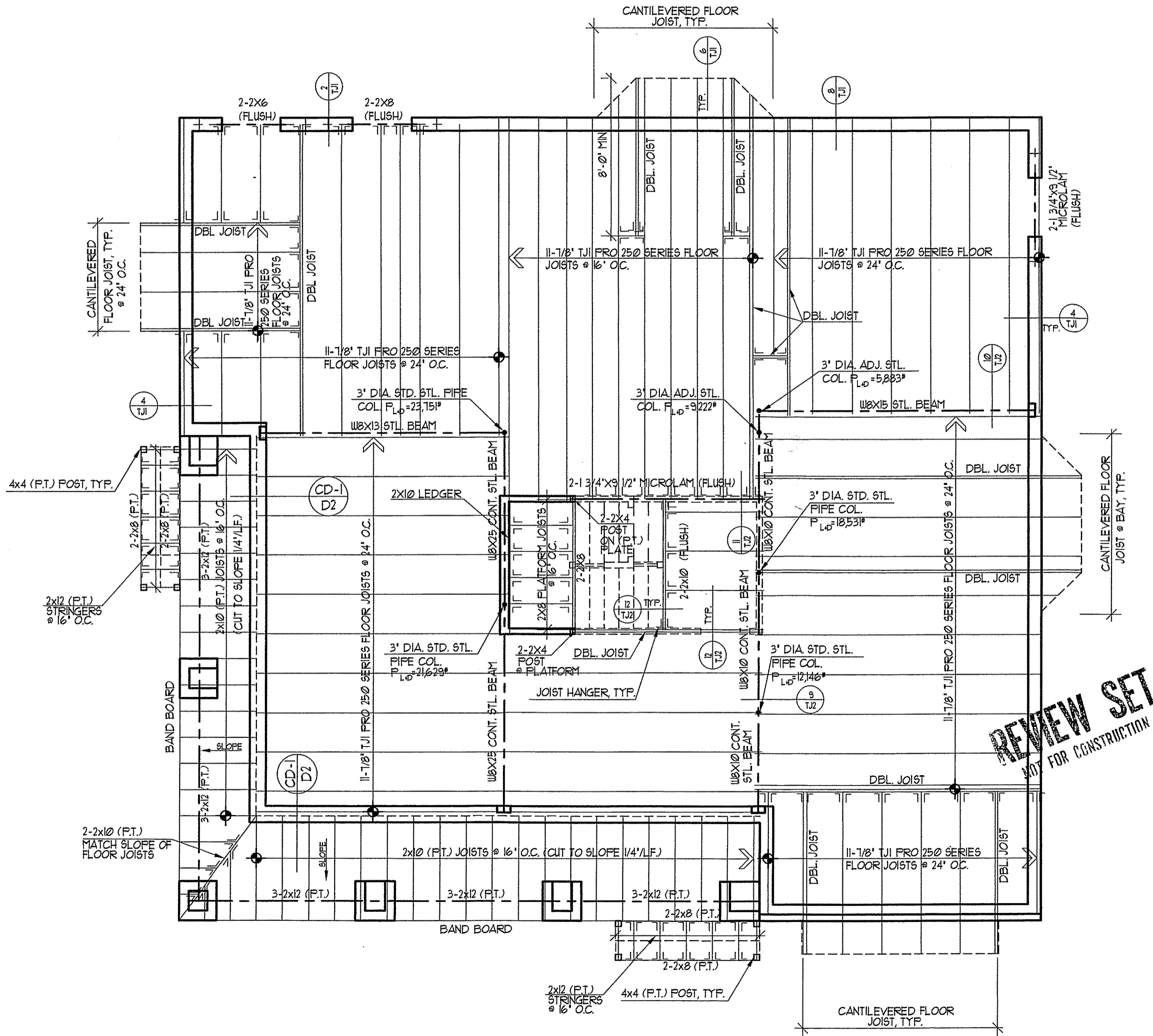
Date	
PS	04/18/03 ACM

**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS 'ADJ. STL. COL.' IN THESE CONSTRUCTION DRAWINGS:

- 1) TAPCO - MONOPOST  
BOCA RESEARCH REPORT #38-60
- 2) AFCO - 'ZIP IT'S UP'  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #228

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.



**REVIEW SET**  
NOT FOR CONSTRUCTION

□ **LOWER FLOOR FRAMING PLAN** □

1 / 4" = 1' - 0"

Project Number: 02208-15  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

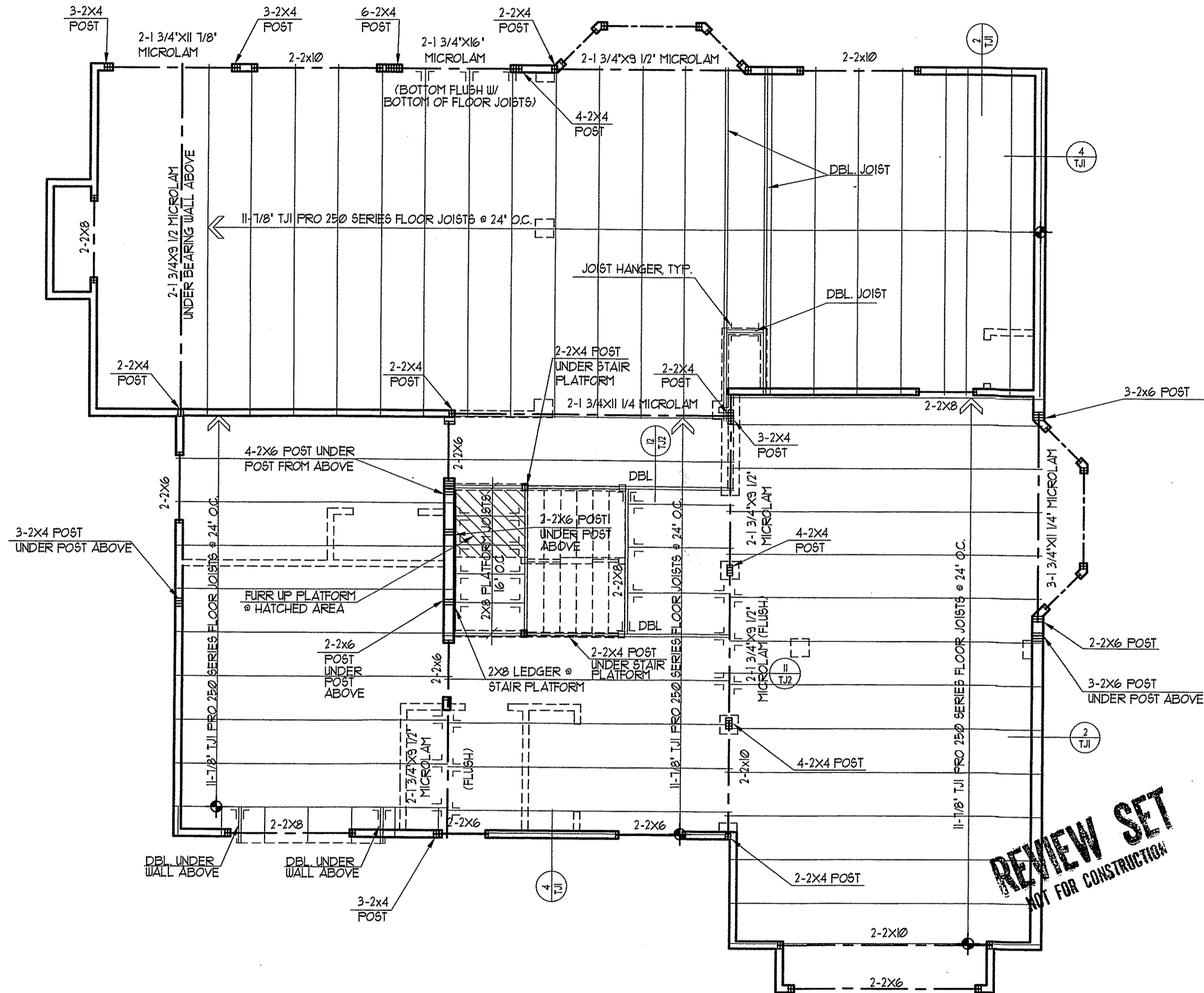
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Sheet Number **15**

DESIGN DATA:	
FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 PSF
ALL OTHER AREAS:	40 PSF
DEAD LOAD:	10 PSF

Date	P.S. 04/18/03 ACH



UPPER FLOOR FRAMING PLAN

1 / 4" = 1' - 0"

Project Number: 02208-16  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

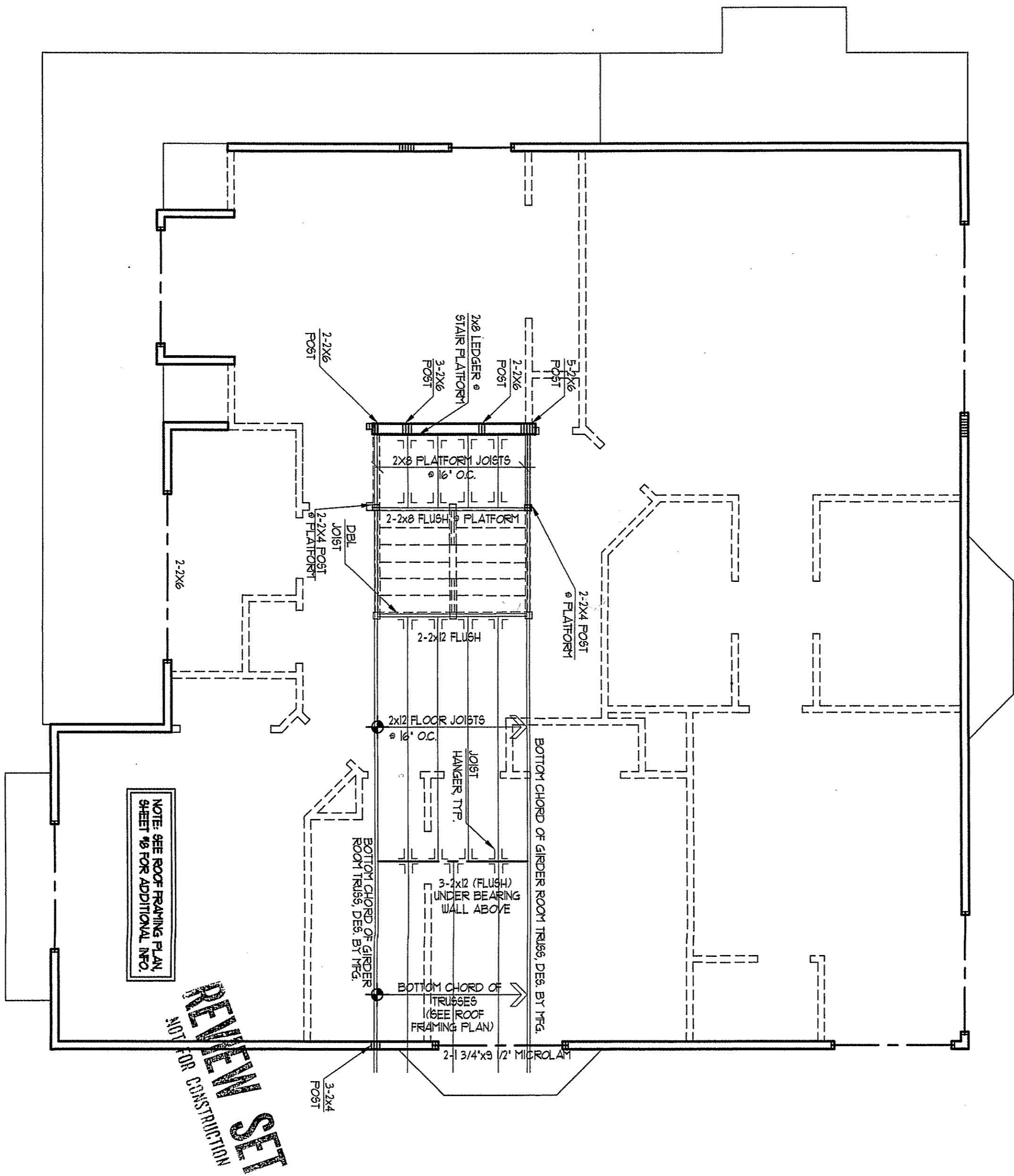
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Sheet Number

16

DESIGN DATA:	
ROOF TRUSSES:	30 PSF
LIVE LOAD:	1 PSF
DEAD LOAD:	10 PSF
TOP CHORD:	41 PSF
BOTTOM CHORD:	41 PSF
TOTAL:	40 PSF
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 PSF



NOTE: SEE ROOF FRAMING PLAN SHEET 16 FOR ADDITIONAL INFO.

**REVIEW SET**  
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ATTIC FLOOR FRAMING PLAN

1 / 4" = 1' - 0"

Sheet Number

17



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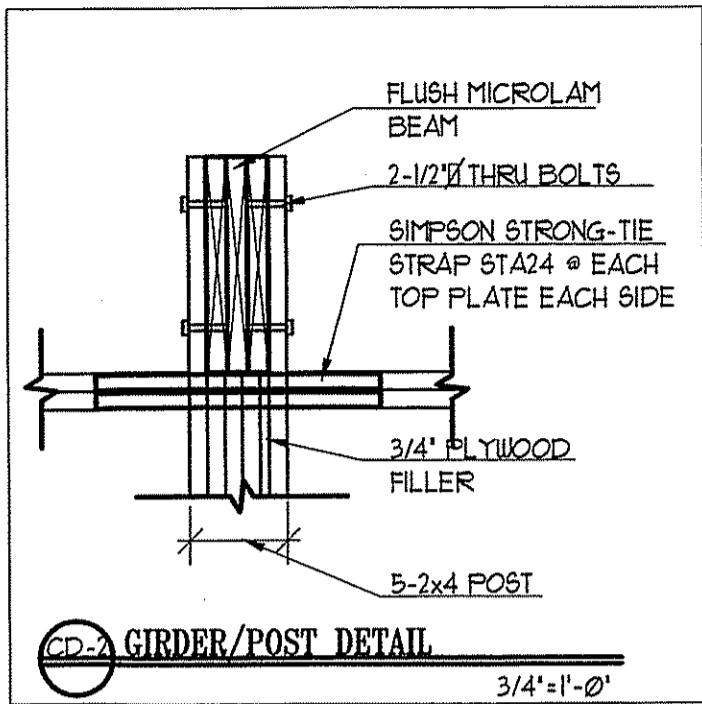
Architect

Project Number: 02208-17

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

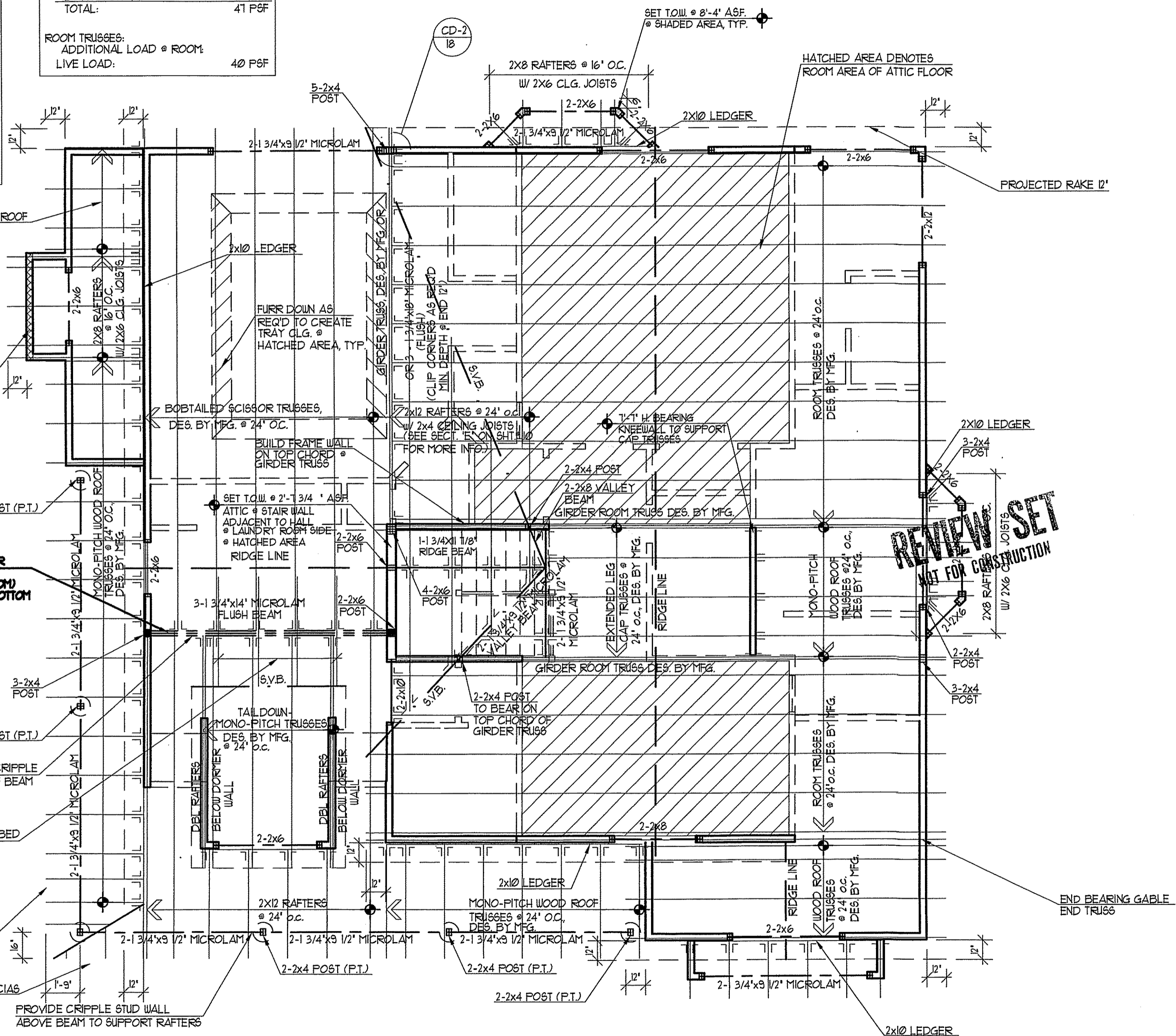
Date

P.S. 04/18/03 ACM



DESIGN DATA:

ROOF:	
TRUSSES:	
LIVE LOAD:	30 P5F
DEAD LOAD:	
TOP CHORD:	1 P5F
BOTTOM CHORD:	10 P5F
TOTAL:	41 P5F
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 P5F



**REVIEW SET**  
NOT FOR CONSTRUCTION

ROOF FRAMING PLAN

1 / 4" = 1' - 0"

Date	PS: 04/18/03 ACH
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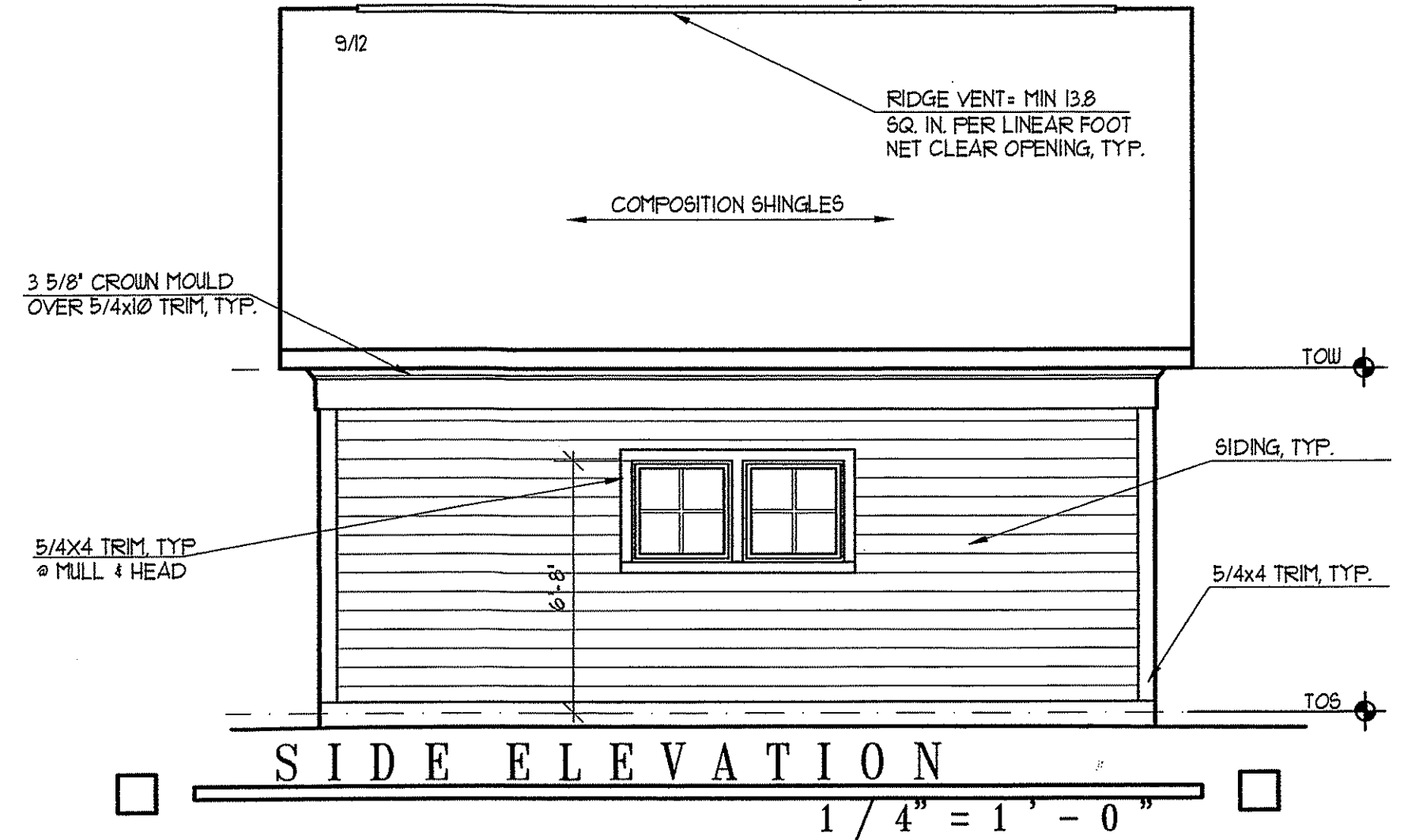
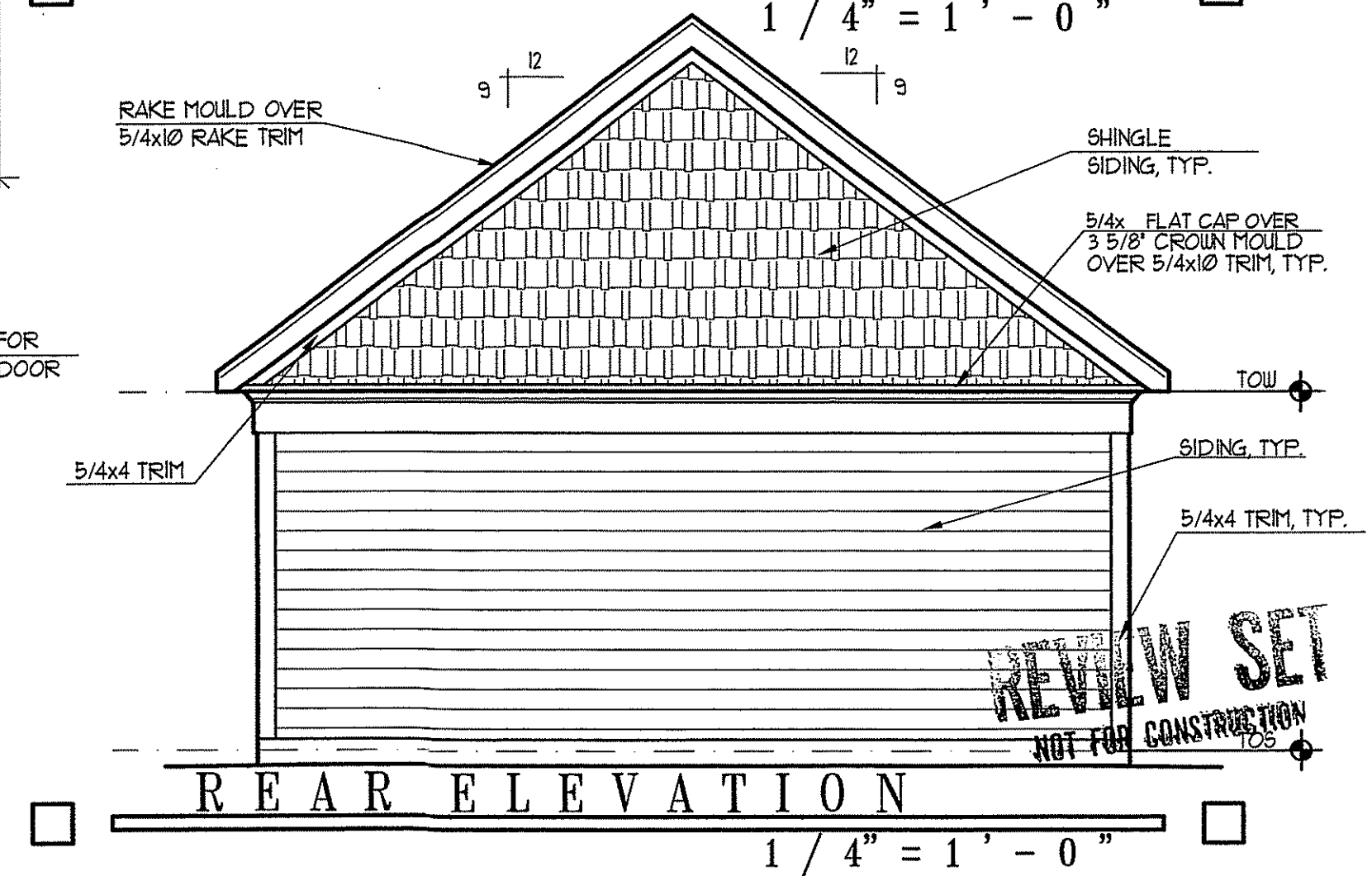
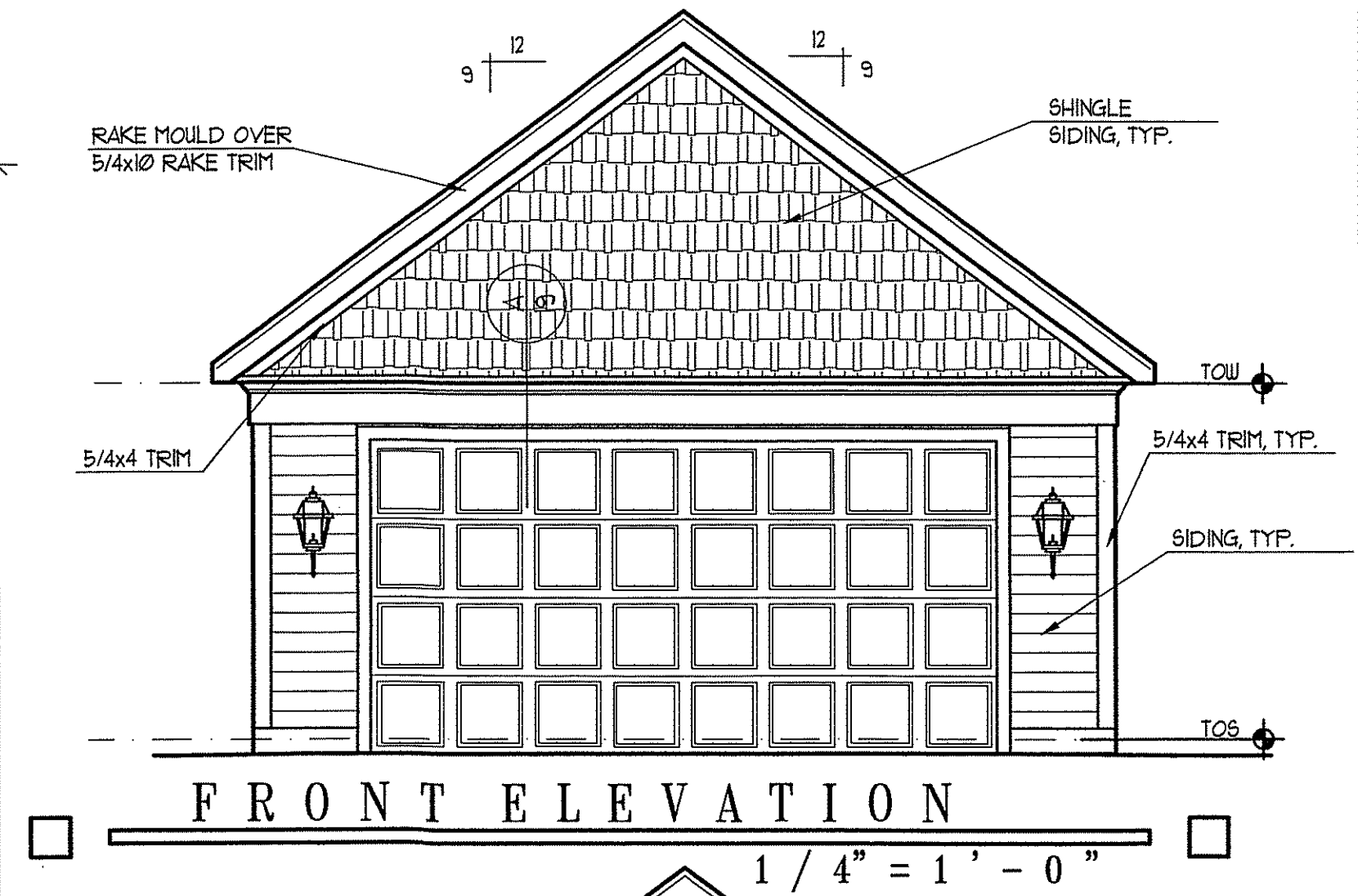
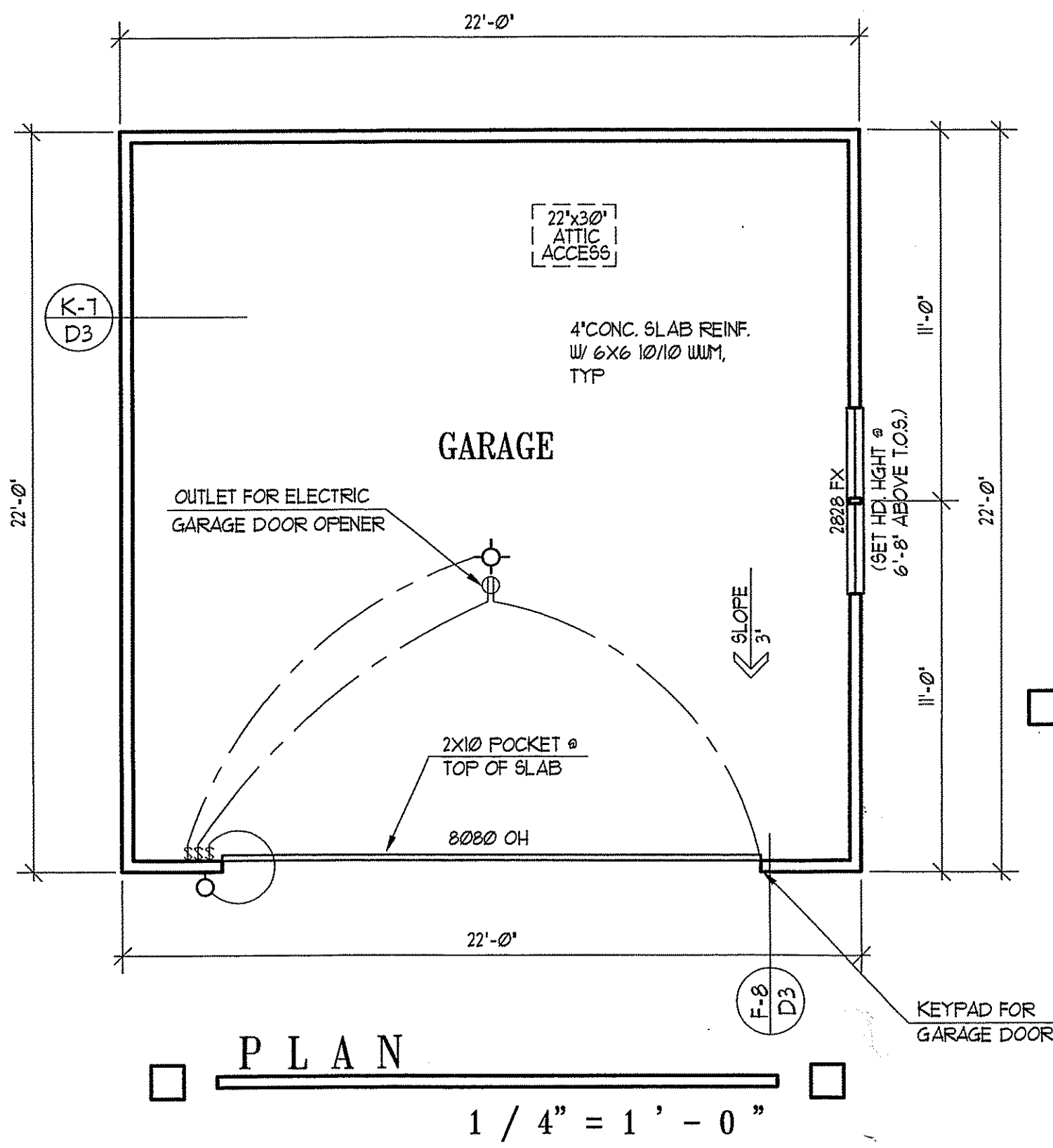
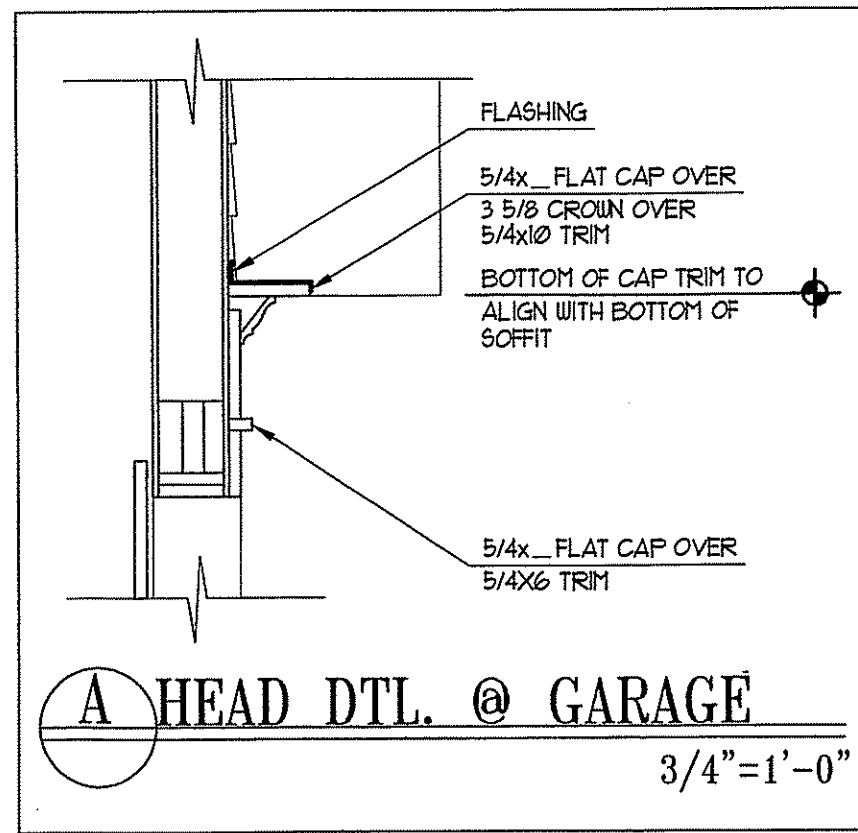
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**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

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**18**



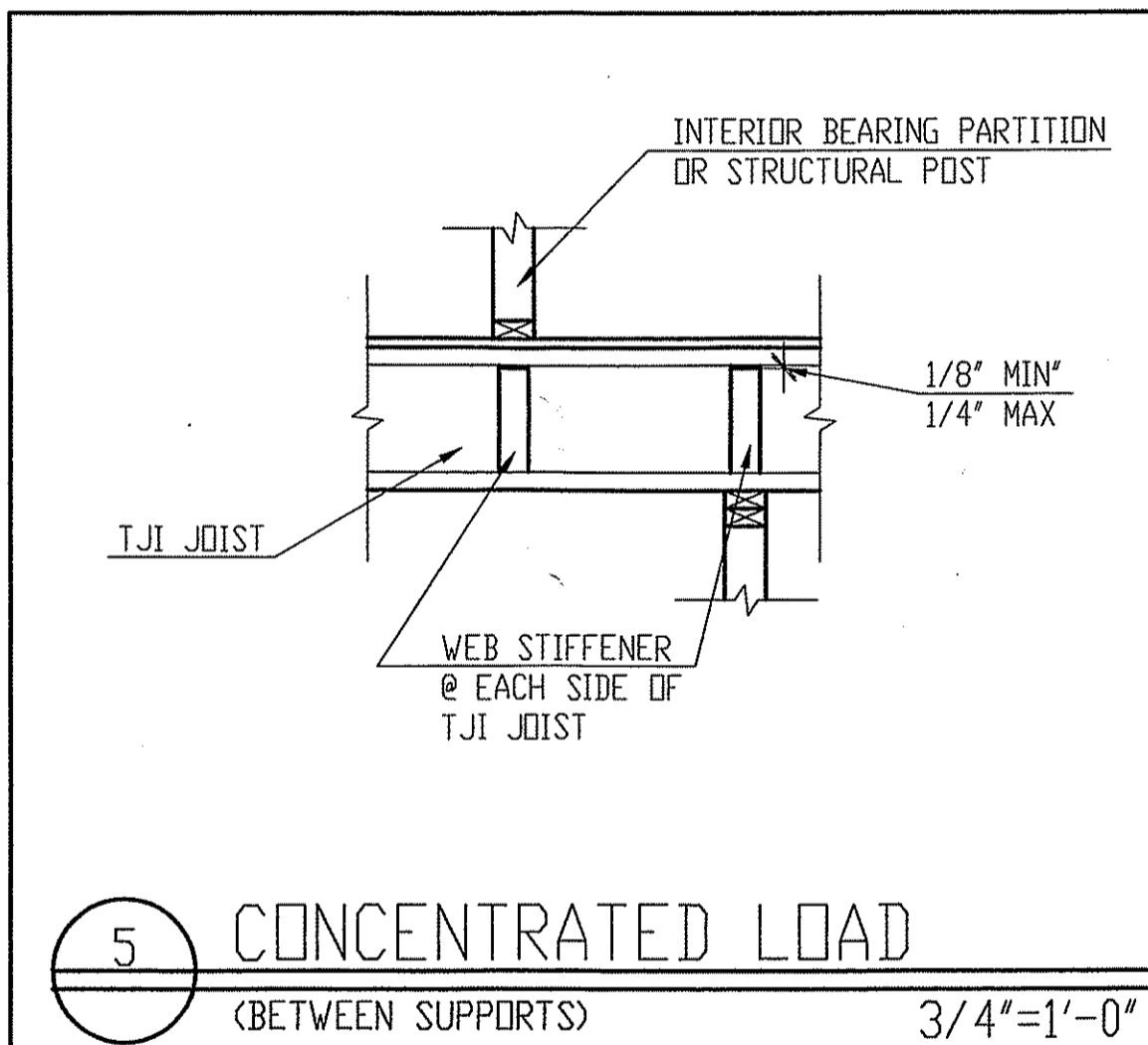
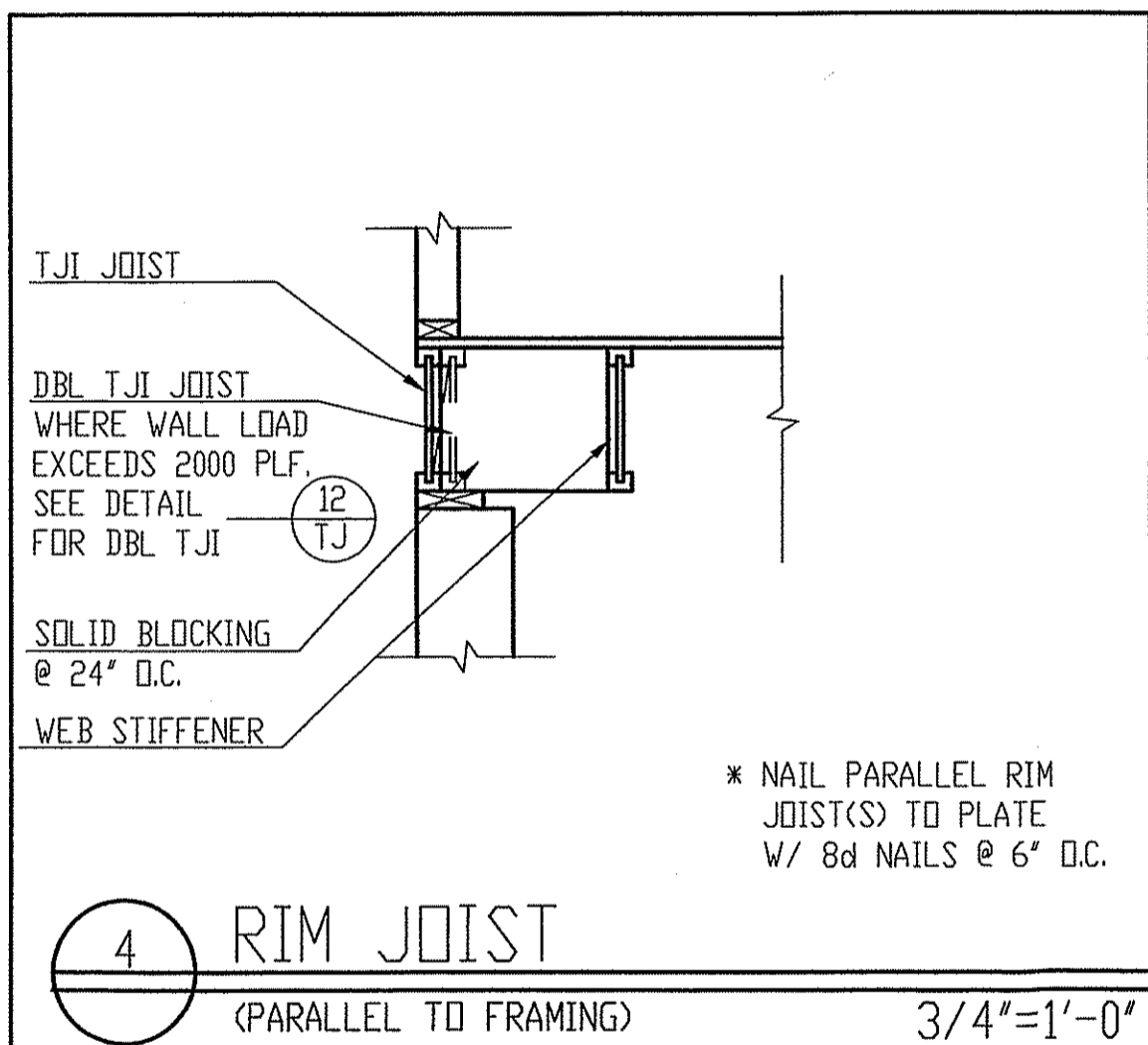
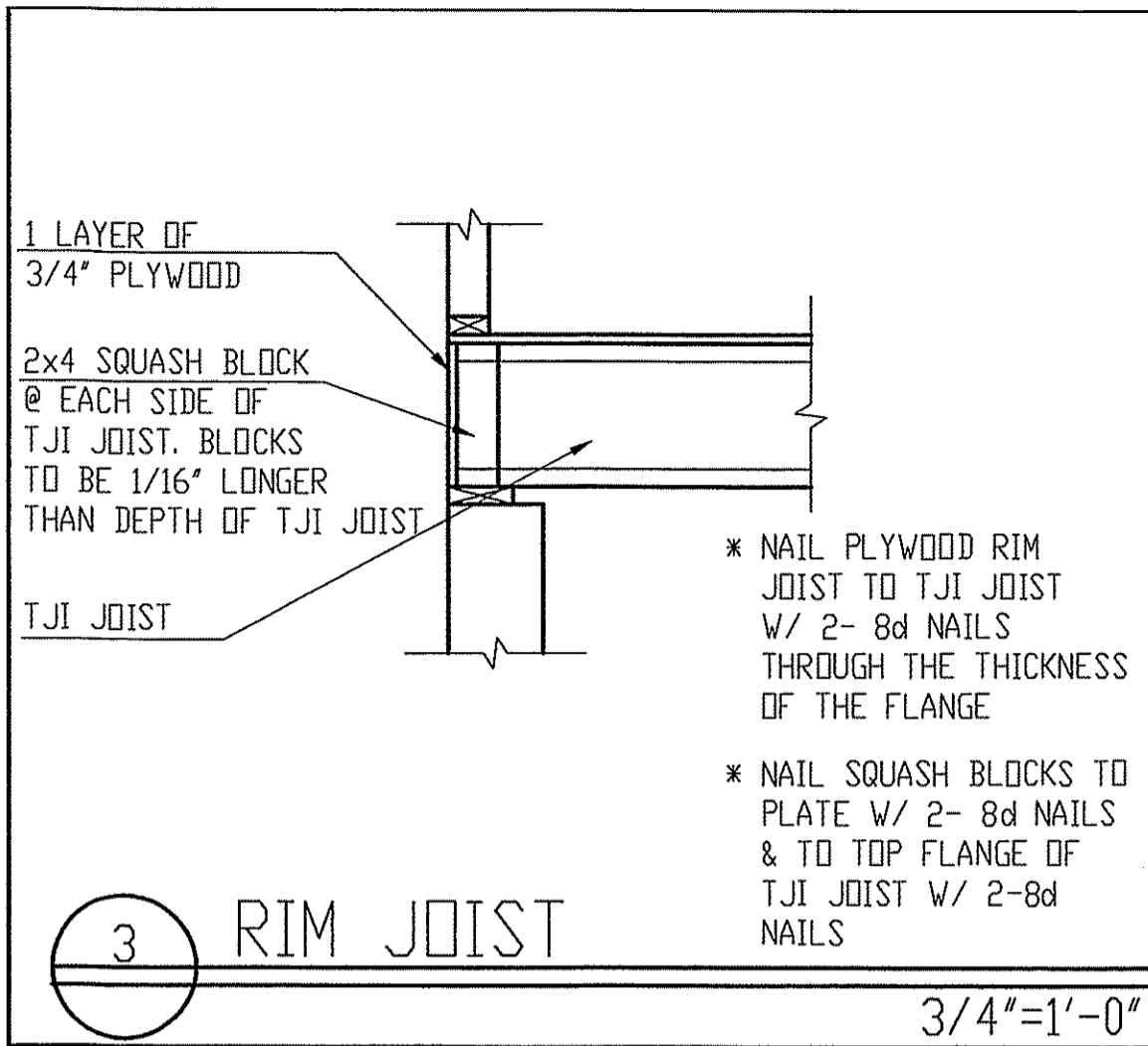
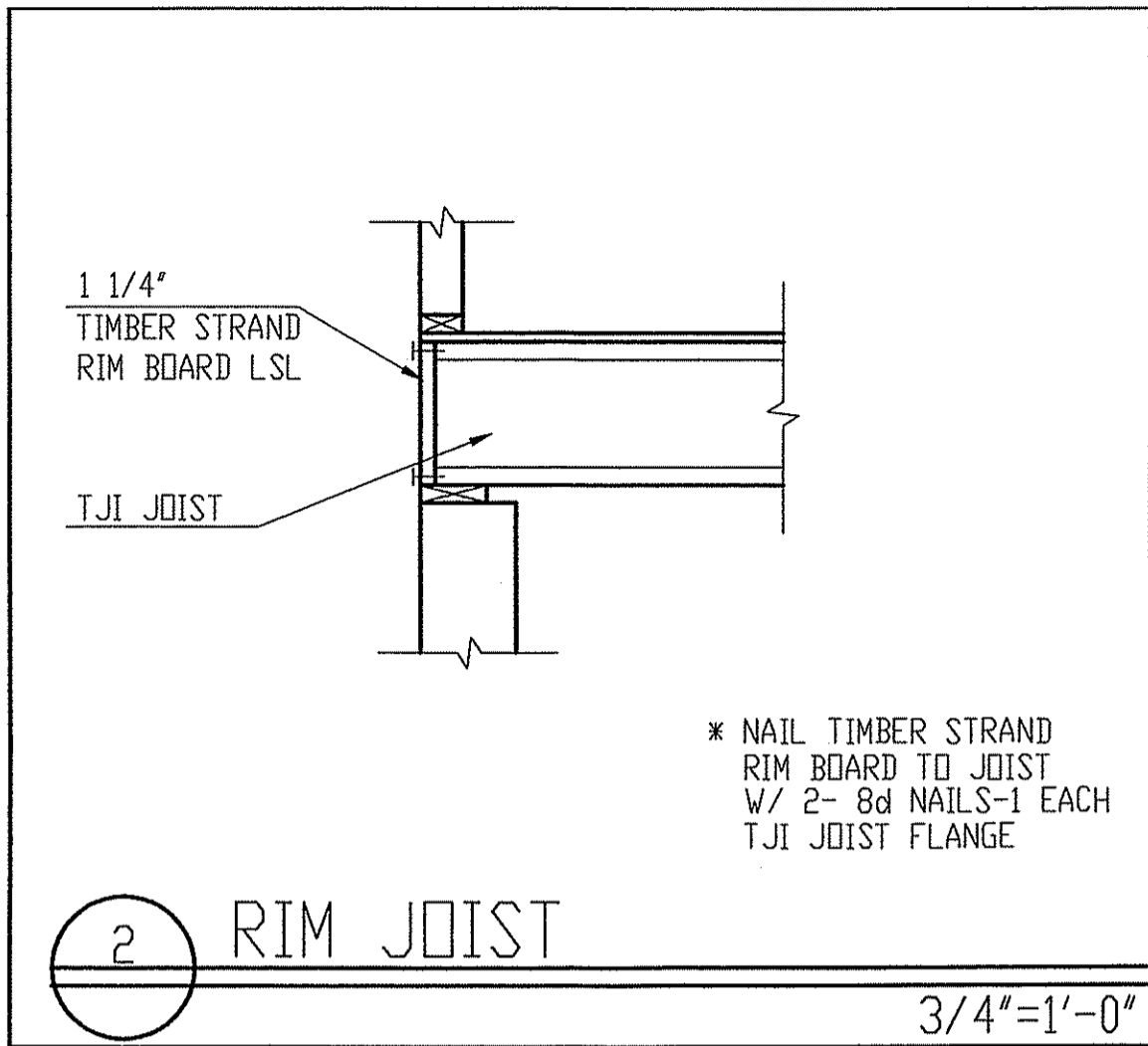
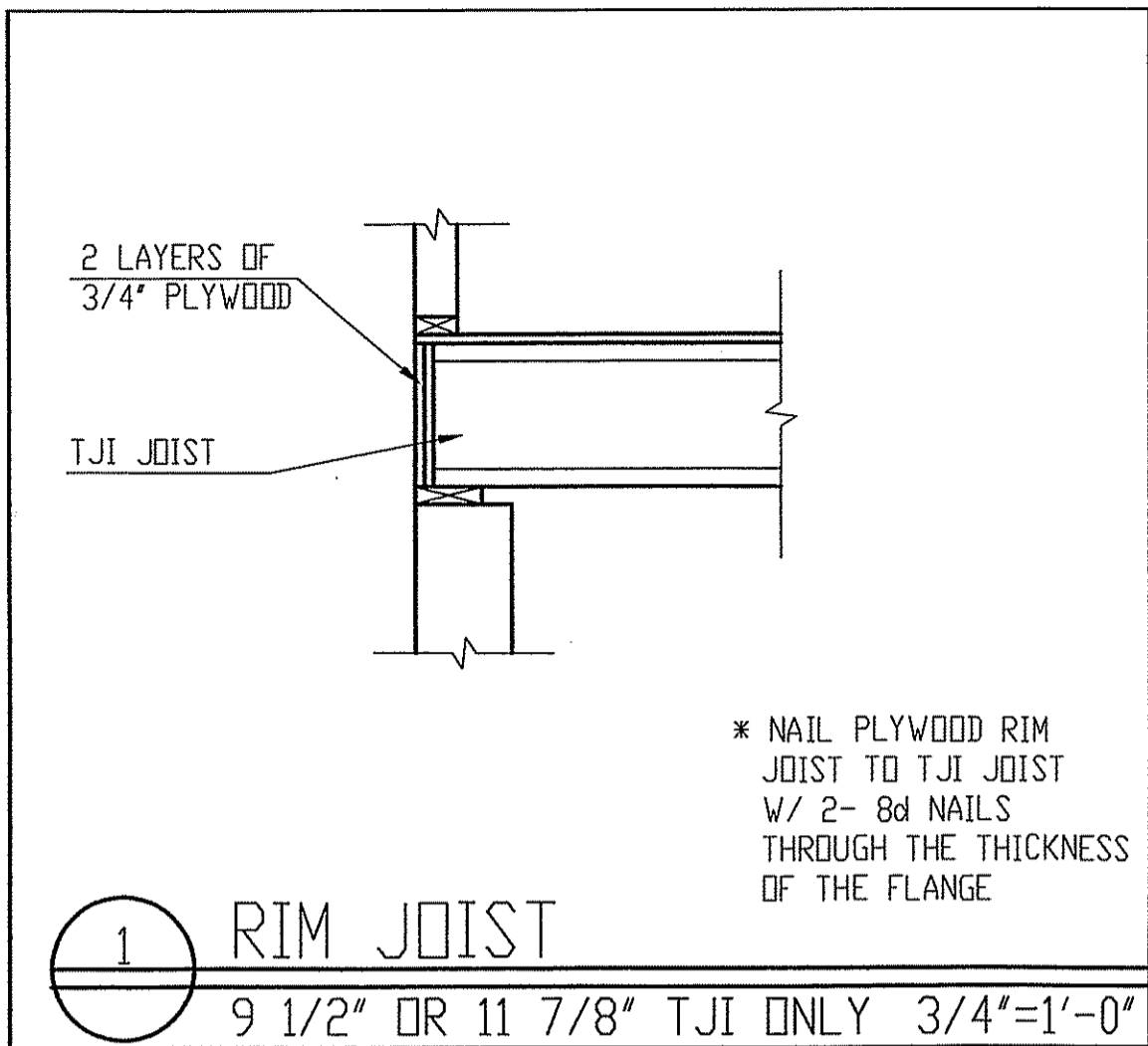
Date	P.S. 04/18/03 ACH
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Project Number: 02208-19  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

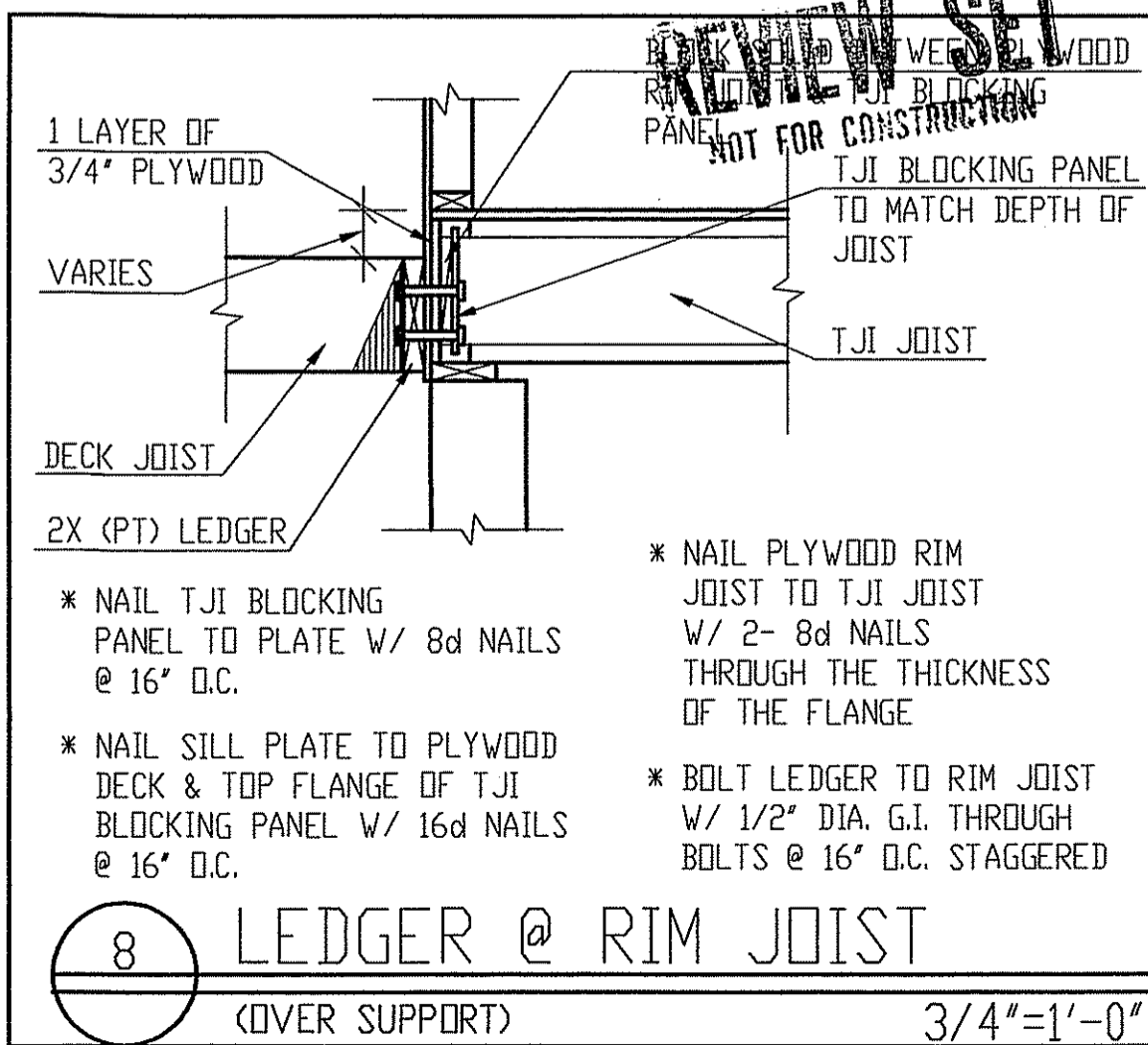
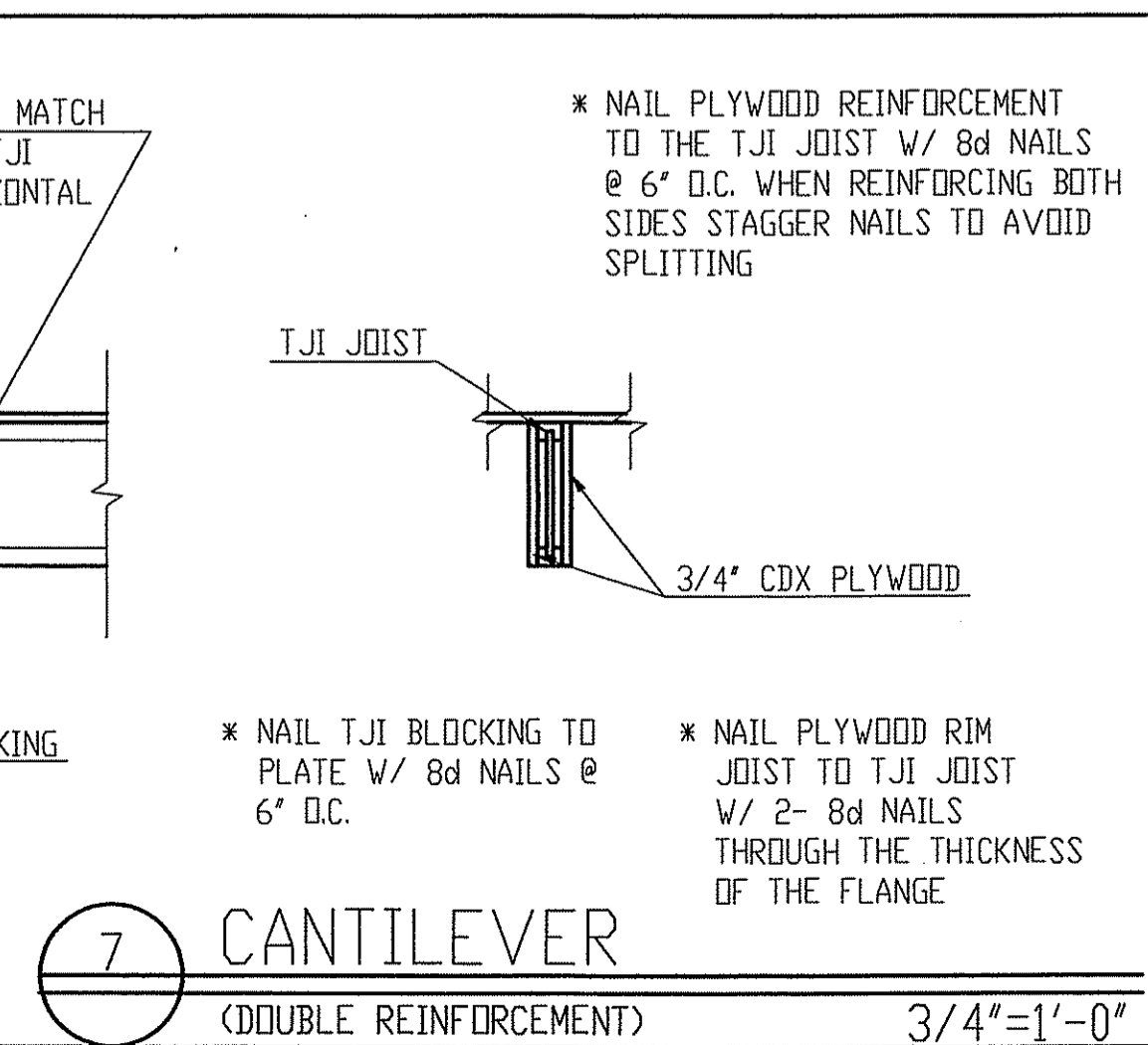
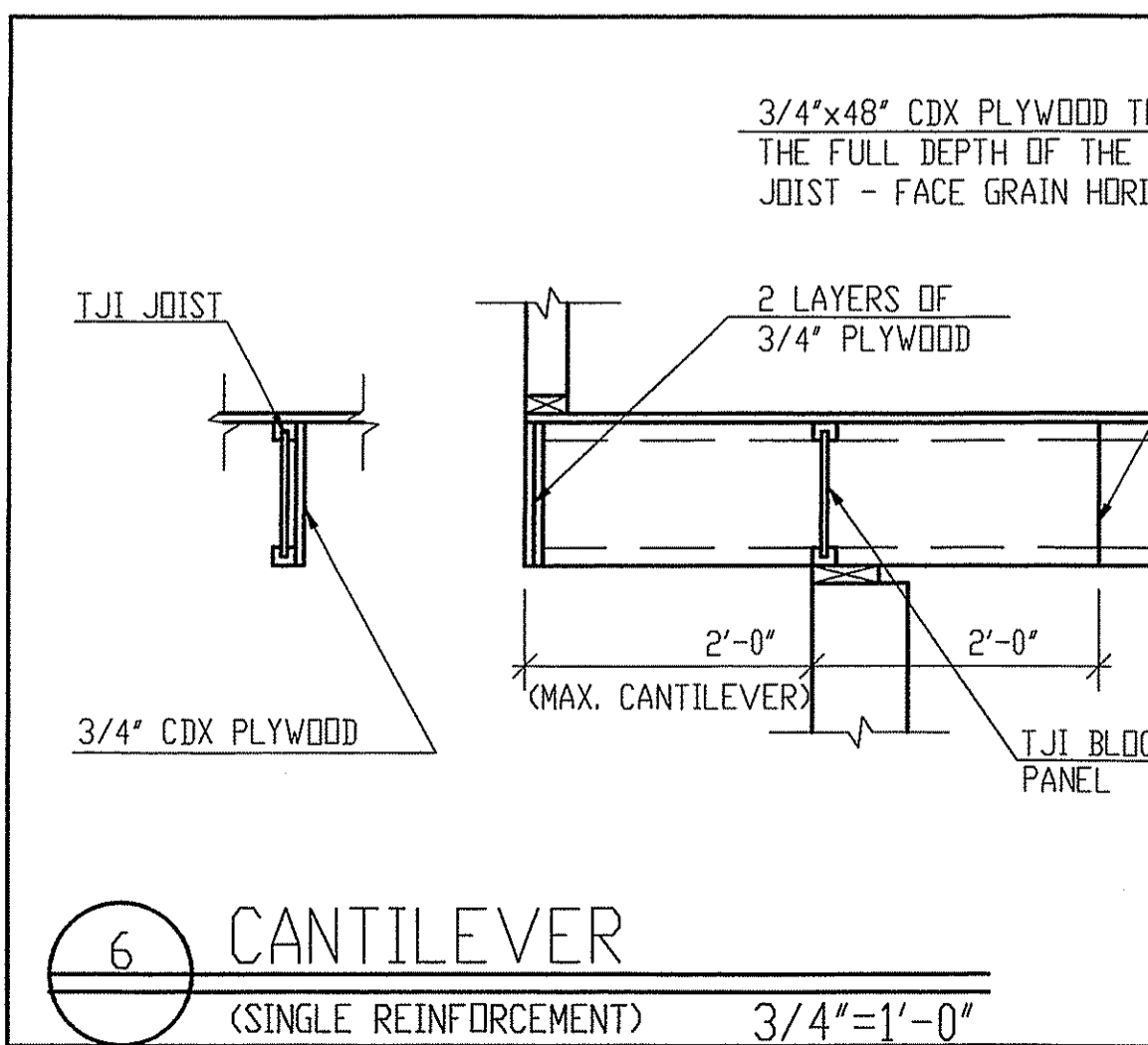
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Vienna, VA 22182 Fax 703.847.9171  
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Sheet Number  
**19**



### GENERAL NOTES

- \* MINIMUM BEARING OF TJI JOIST IS 1 3/4" NAIL TJI JOIST AT BEARING W/ 2- 8d NAILS (1 EACH SIDE) THROUGH THE THICKNESS OF THE FLANGE MINIMUM 1 1/2" FROM END TO AVOID SPLITTING.
- \* FOR INSTALLATION OF ANY SIMPSON STRONG TIE CONNECTORS NOTED ON THESE DETAILS REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* FOR ALLOWABLE SIZE AND LOCATION OF ANY HOLES TO BE CUT THROUGH THE WEB OF ANY TJI JOIST REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* WEB STIFFENERS WHERE SHOWN SHALL FIT TIGHT TO THE WEB AND FLUSH TO THE FACE OF THE FLANGE OF ALL TJI JOISTS. WEB STIFFENERS SHALL BE NAILED TO TJI JOISTS WITH MIN. 3- 10d NAILS EQUALLY SPACED.
- \* REFER TO FRAMING PLANS FOR REFERENCING OF ALL APPLICABLE DETAILS FOR THIS PROJECT. SUBSTITUTION OR USE OF DETAILS NOT REFERENCED TO PLANS IS PROHIBITED.



Date	P.S. 04/18/03 ACM
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Project Number: 022084-J1

**MERIDIAN HOMES**  
FIRST AVENUE  
LOT #11

Architect

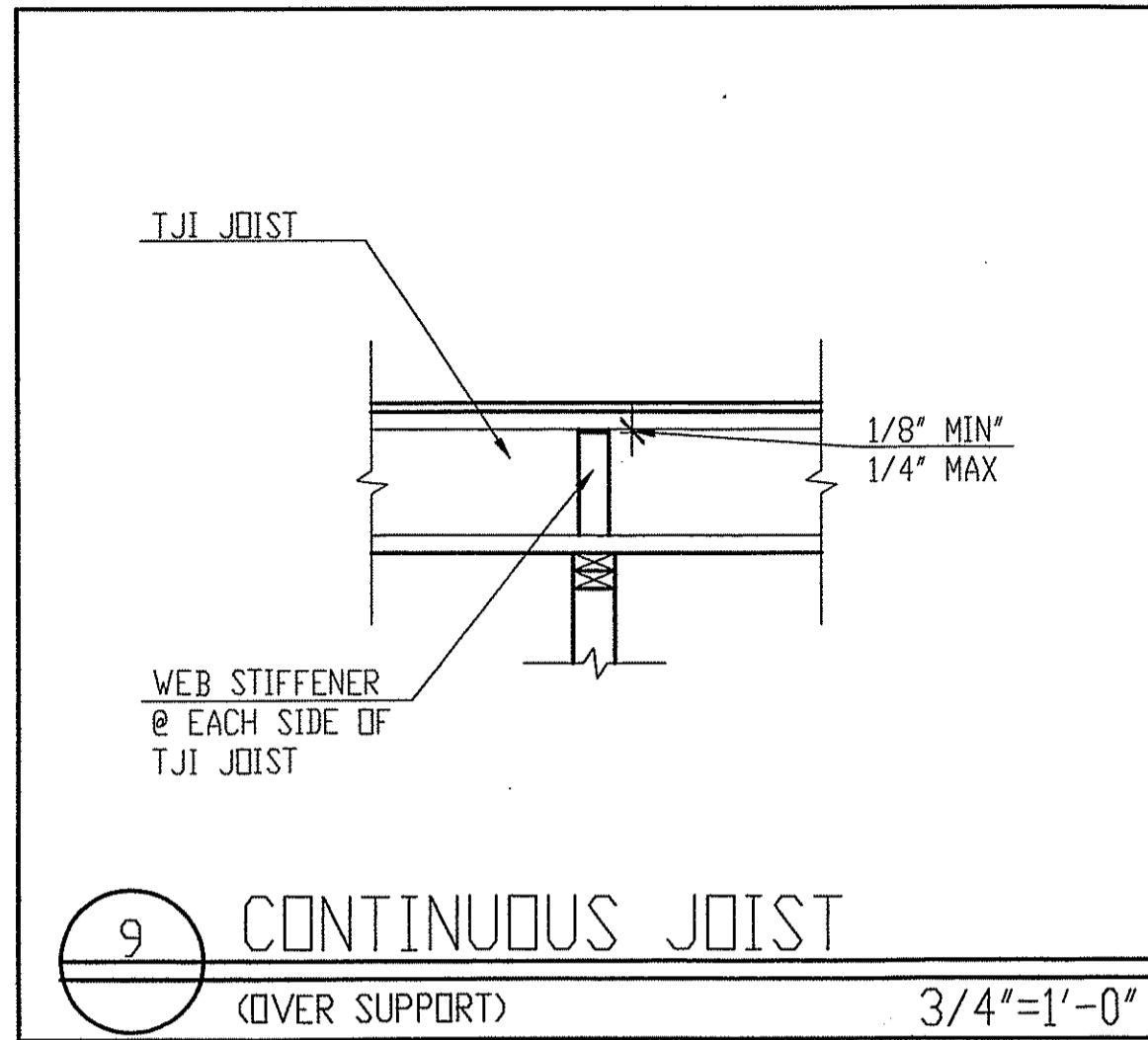
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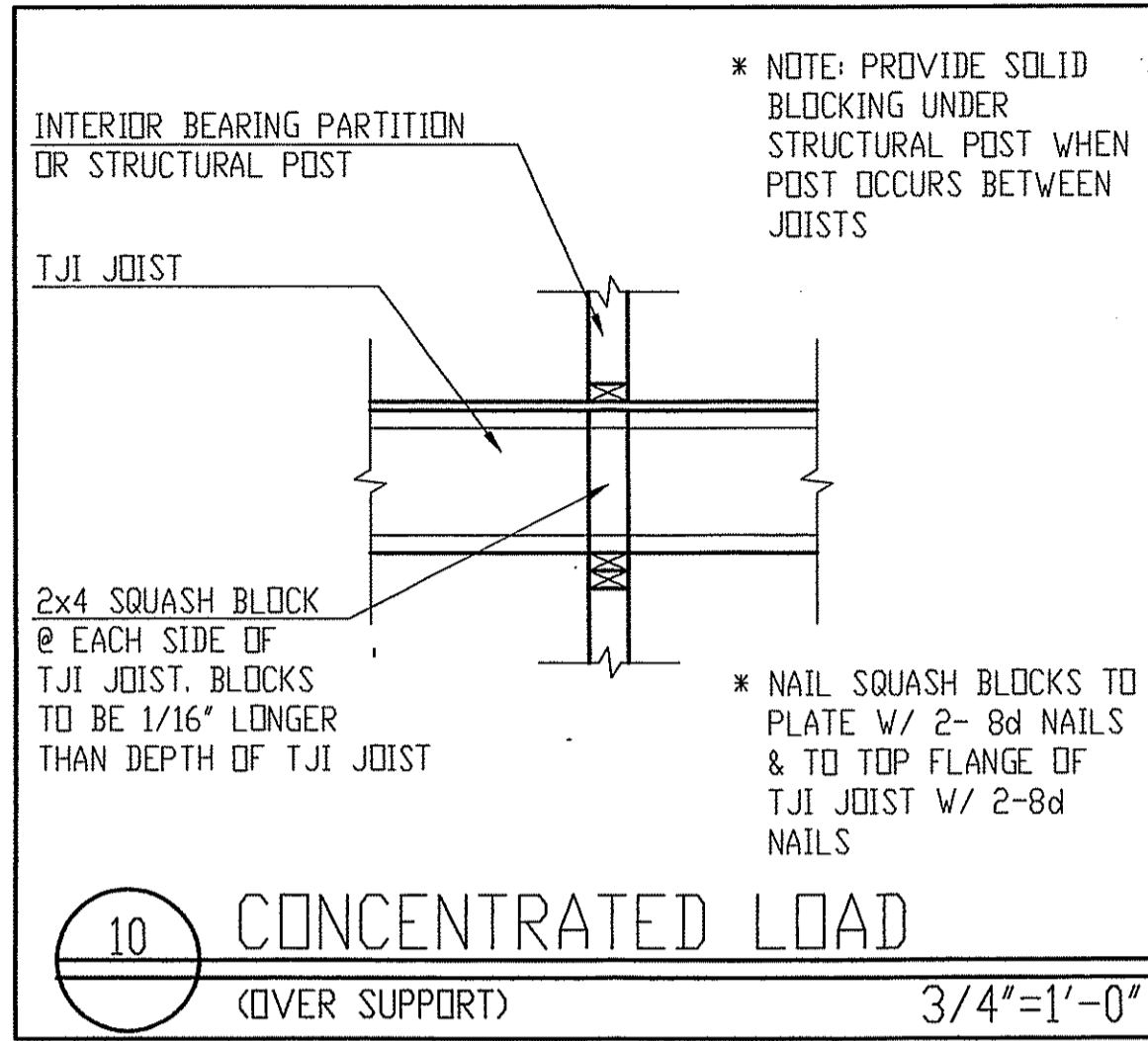
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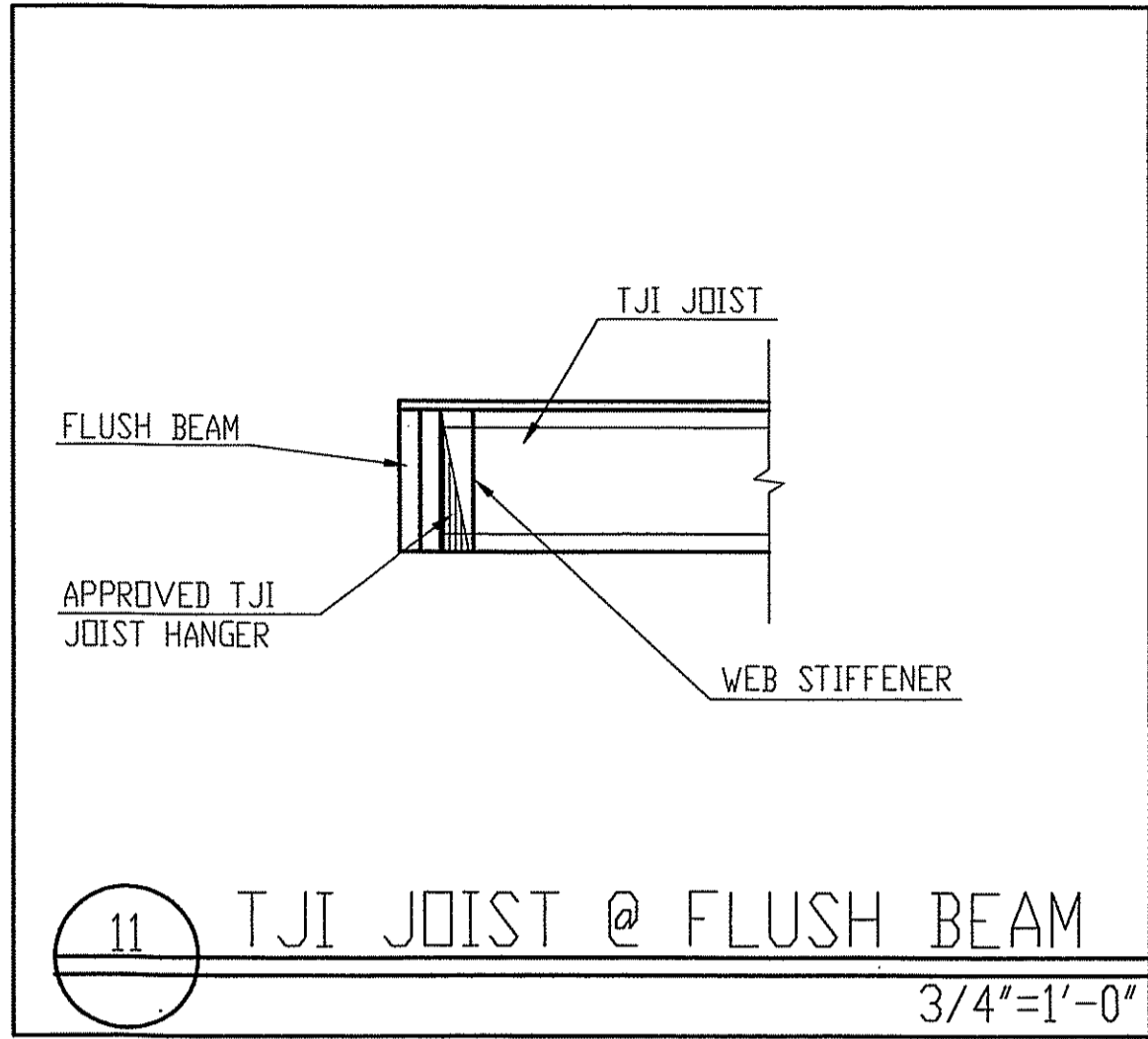
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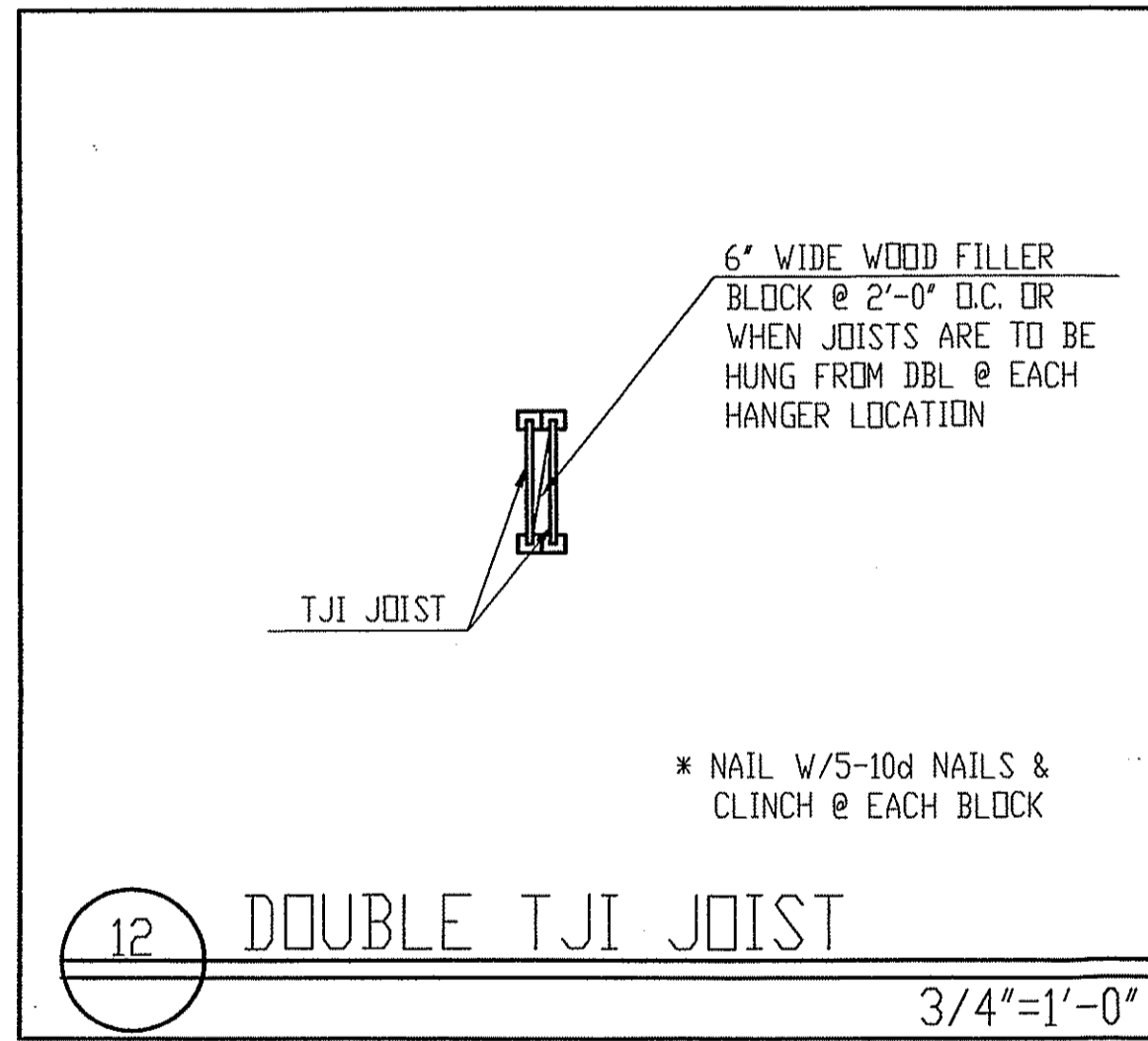
9 CONTINUOUS JOIST  
(OVER SUPPORT) 3/4"=1'-0"



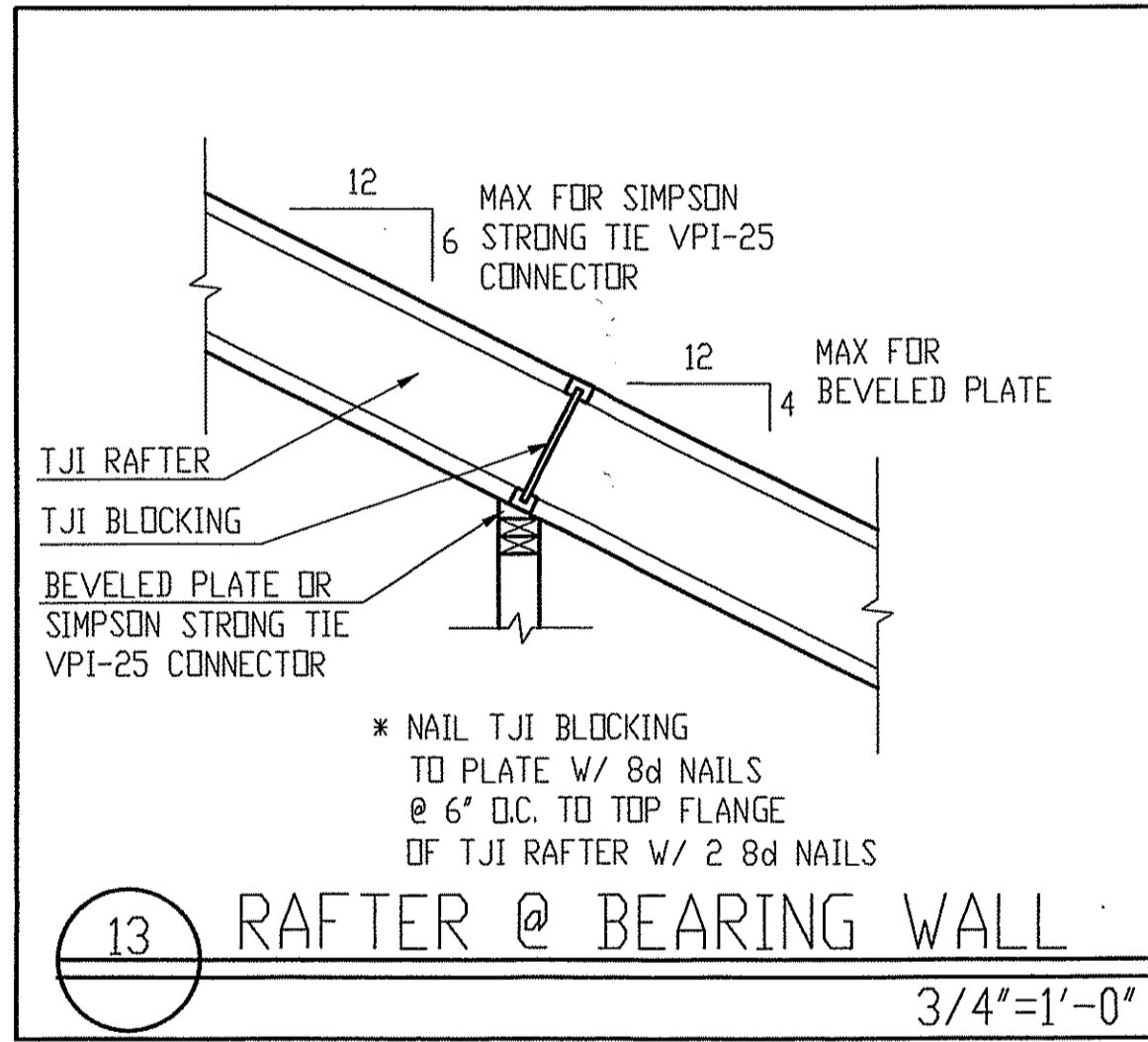
10 CONCENTRATED LOAD  
(OVER SUPPORT) 3/4"=1'-0"



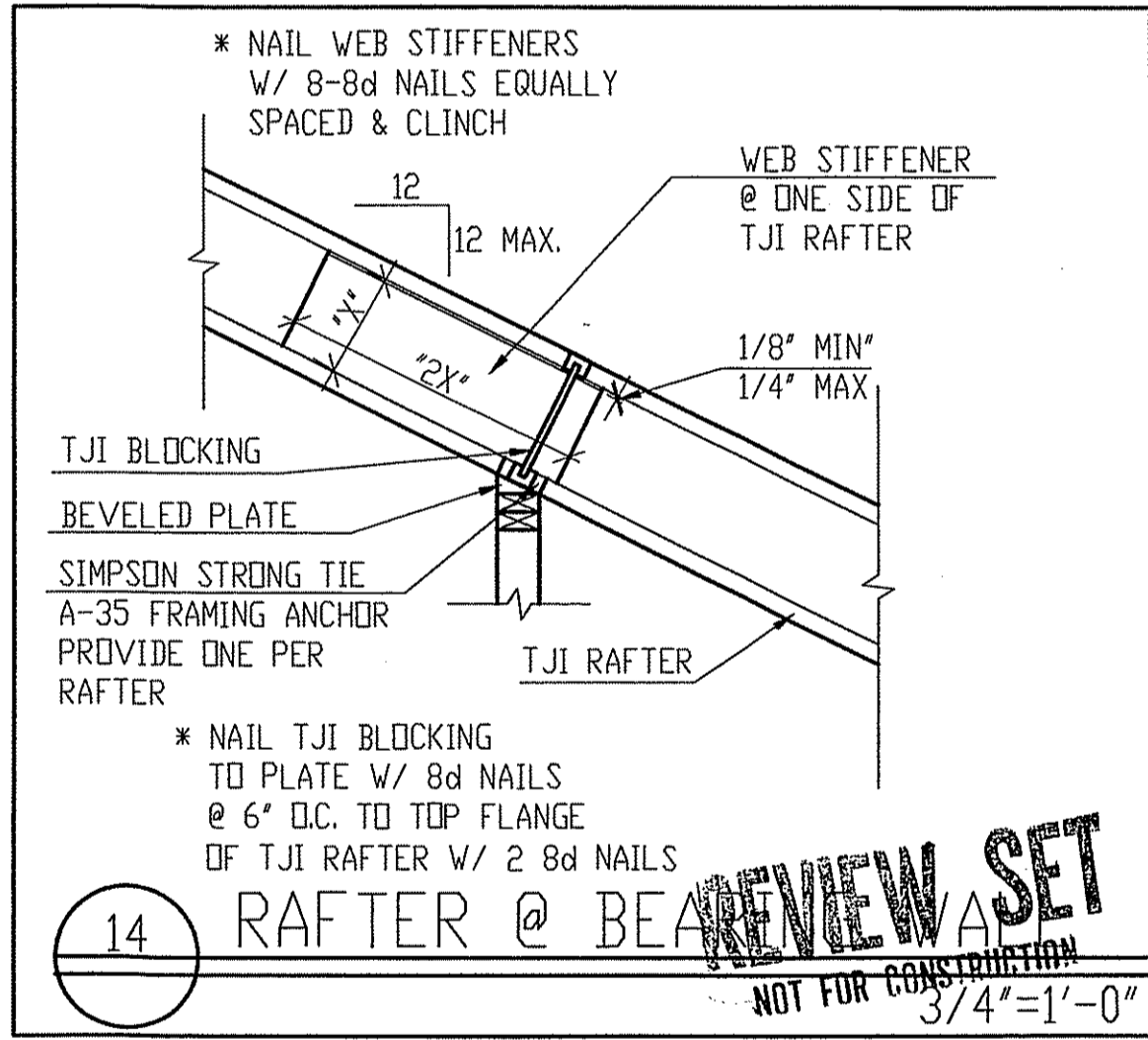
11 TJI JOIST @ FLUSH BEAM 3/4"=1'-0"



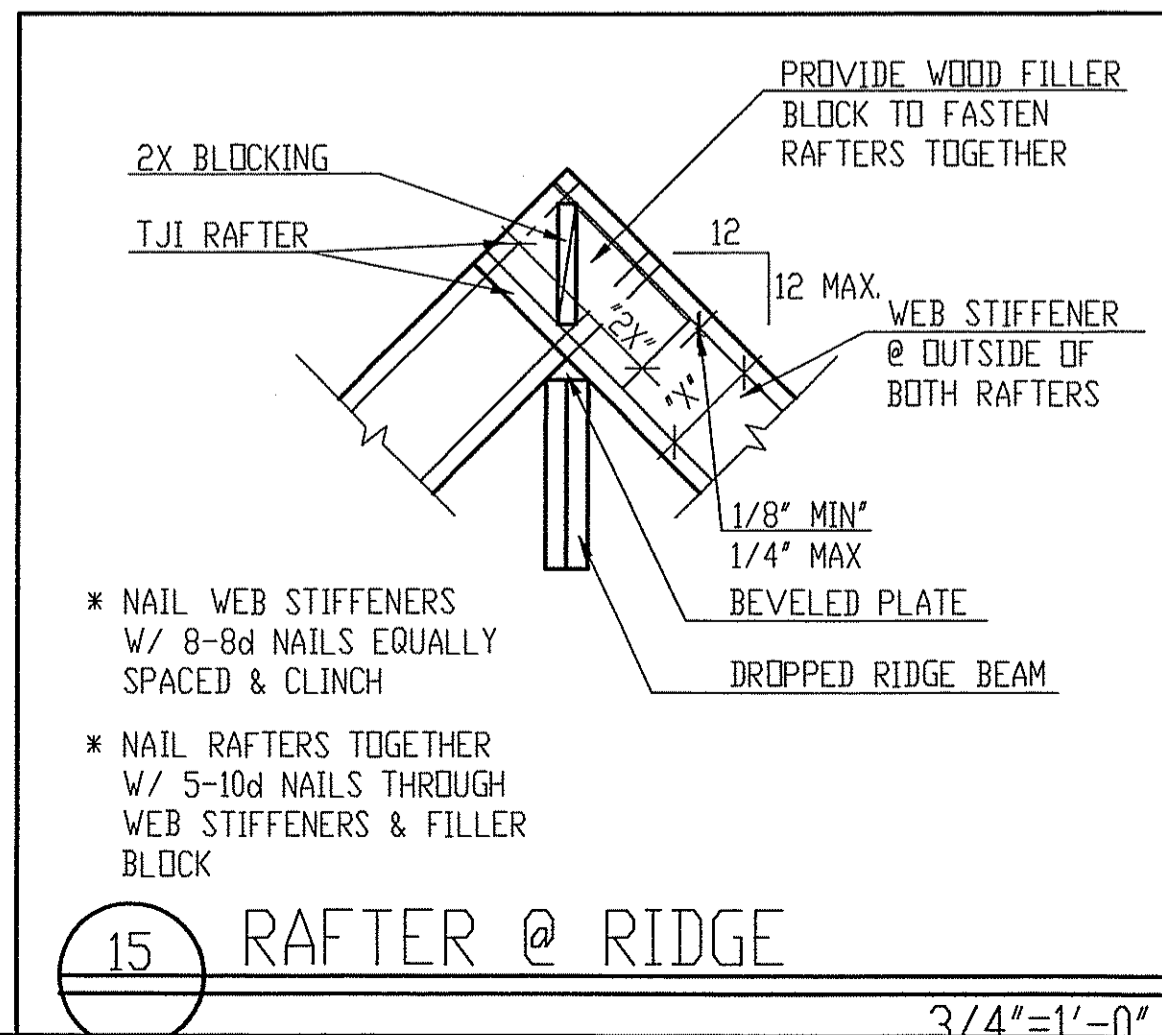
12 DOUBLE TJI JOIST 3/4"=1'-0"



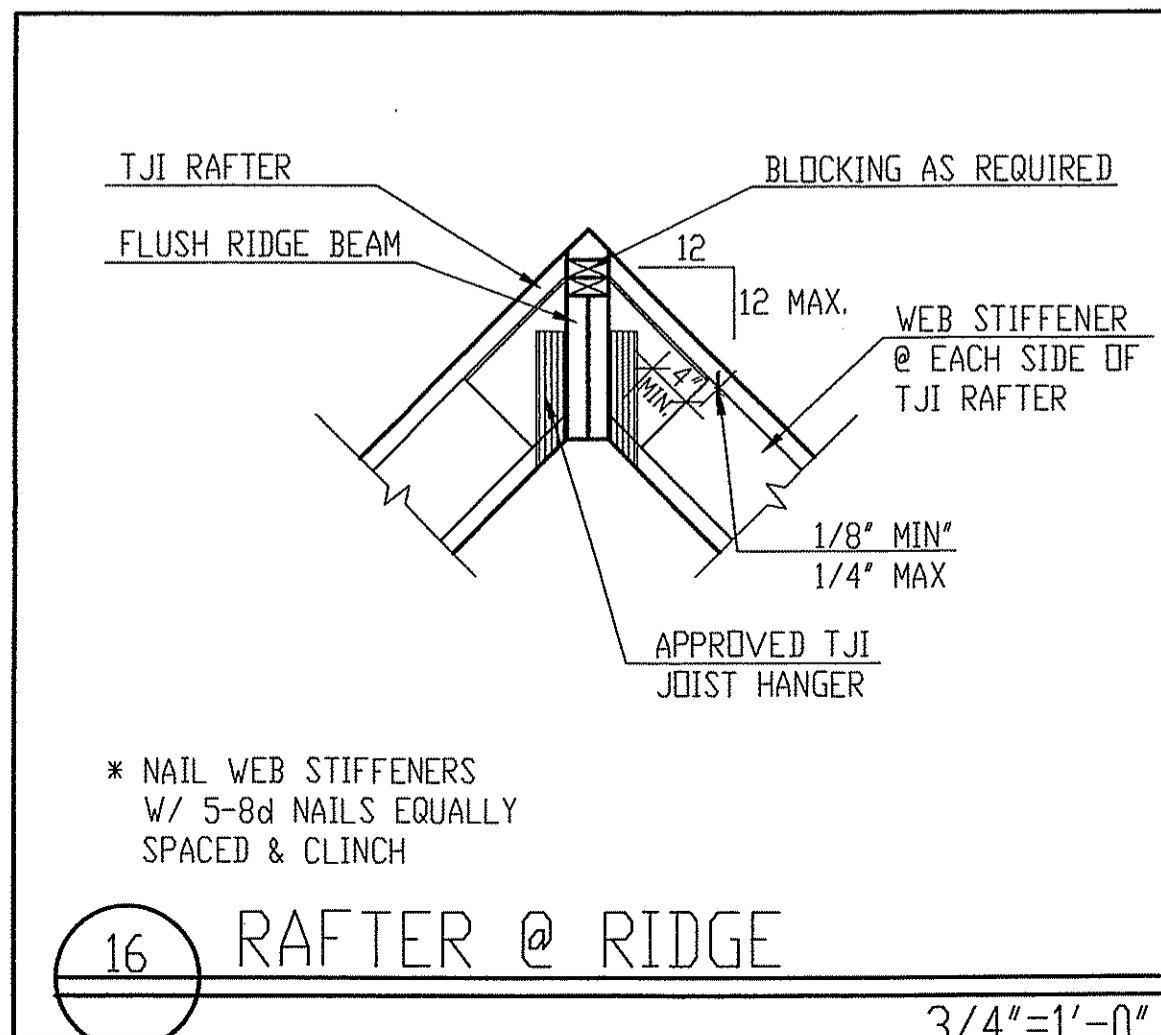
13 RAFTER @ BEARING WALL 3/4"=1'-0"



14 RAFTER @ BEARING WALL 3/4"=1'-0"



15 RAFTER @ RIDGE 3/4"=1'-0"



16 RAFTER @ RIDGE 3/4"=1'-0"

**GENERAL NOTES**

- \* MINIMUM BEARING OF TJI JOIST IS 1 3/4" NAIL TJI JOIST AT BEARING W/ 2- 8d NAILS (1 EACH SIDE) THROUGH THE THICKNESS OF THE FLANGE MINIMUM 1 1/2" FROM END TO AVOID SPLITTING.
- \* FOR INSTALLATION OF ANY SIMPSON STRONG TIE CONNECTORS NOTED ON THESE DETAILS REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* FOR ALLOWABLE SIZE AND LOCATION OF ANY HOLES TO BE CUT THROUGH THE WEB OF ANY TJI JOIST REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* WEB STIFFENERS WHERE SHOWN SHALL FIT TIGHT TO THE WEB AND FLUSH TO THE FACE OF THE FLANGE OF ALL TJI JOISTS. WEB STIFFENERS SHALL BE NAILED TO TJI JOISTS WITH MIN. 3- 10d NAILS EQUALLY SPACED.
- \* REFER TO FRAMING PLANS FOR REFERENCING OF ALL APPLICABLE DETAILS FOR THIS PROJECT. SUBSTITUTION OR USE OF DETAILS NOT REFERENCED TO PLANS IS PROHIBITED.

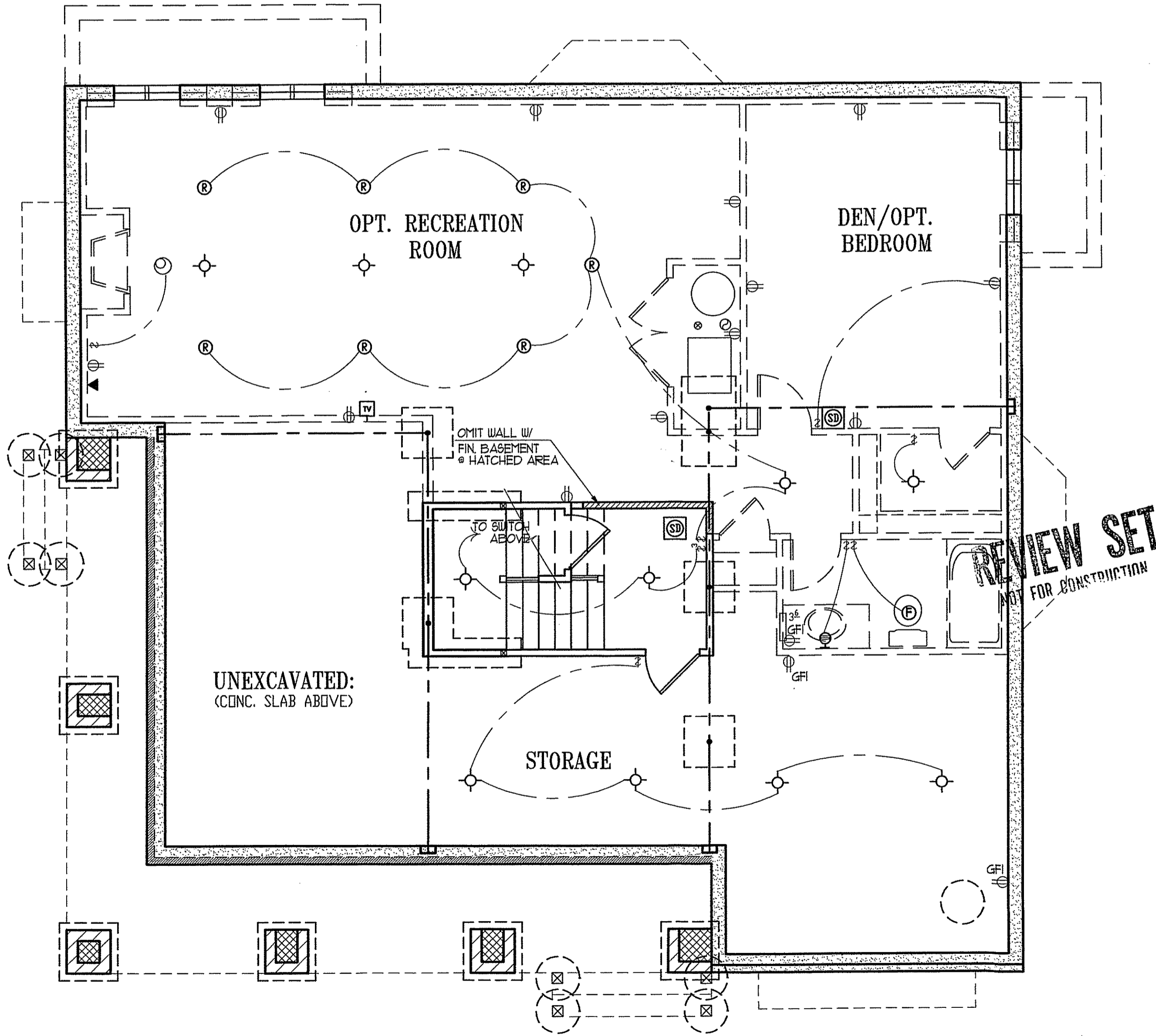
Date	P.S. 04/18/03 ACM

Project Number: 022081-JE  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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Sheet Number  
**TJ2**



BASEMENT FLOOR ELECTRICAL PLAN

1/4" = 1' - 0"

Date	P.S. 04/18/03 ACH

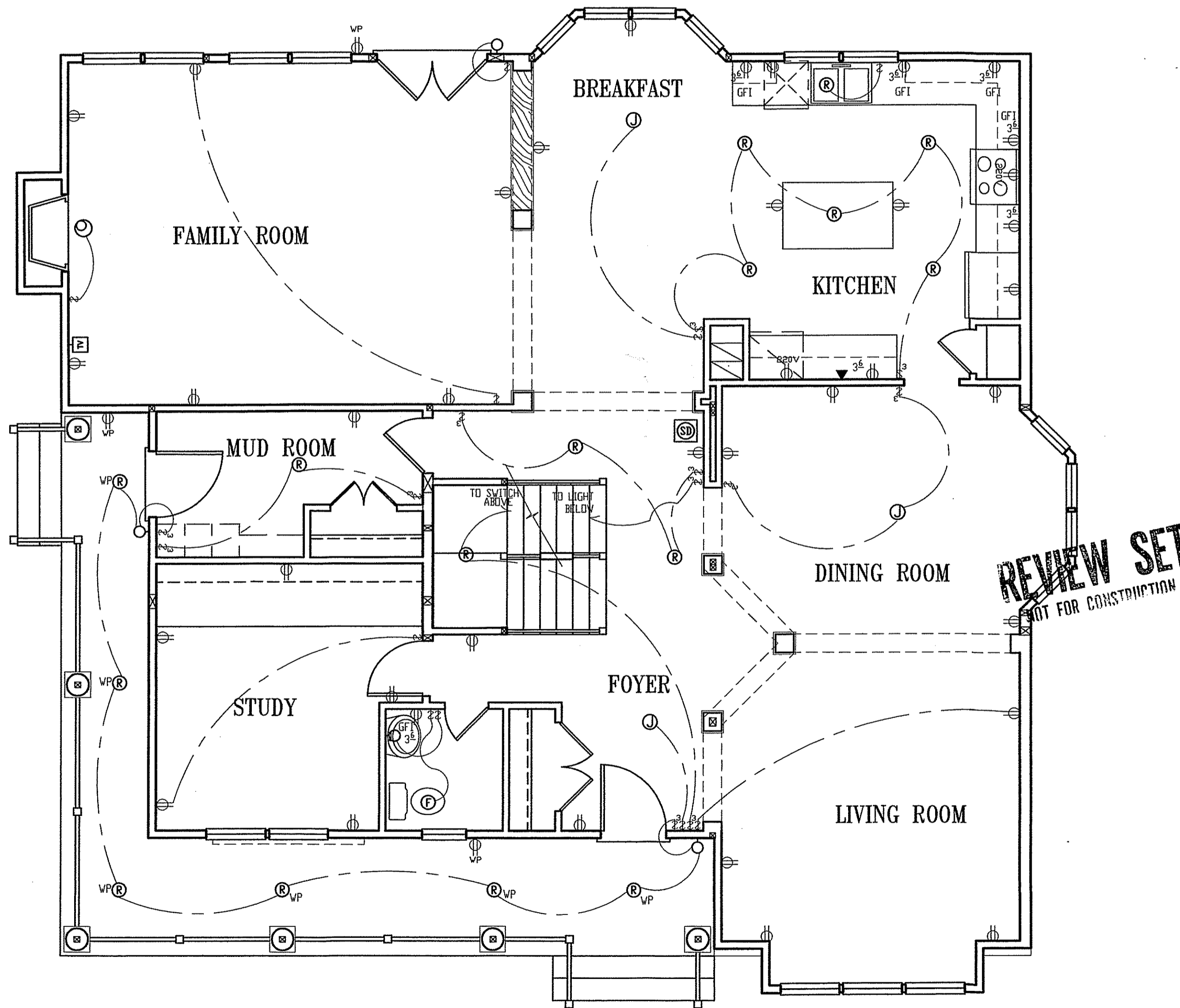
Project Number: 02208-E1  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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YANTIS  
ASSOCIATES**  
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 www.syaa.com

Sheet Number  
**E1**





LOWER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

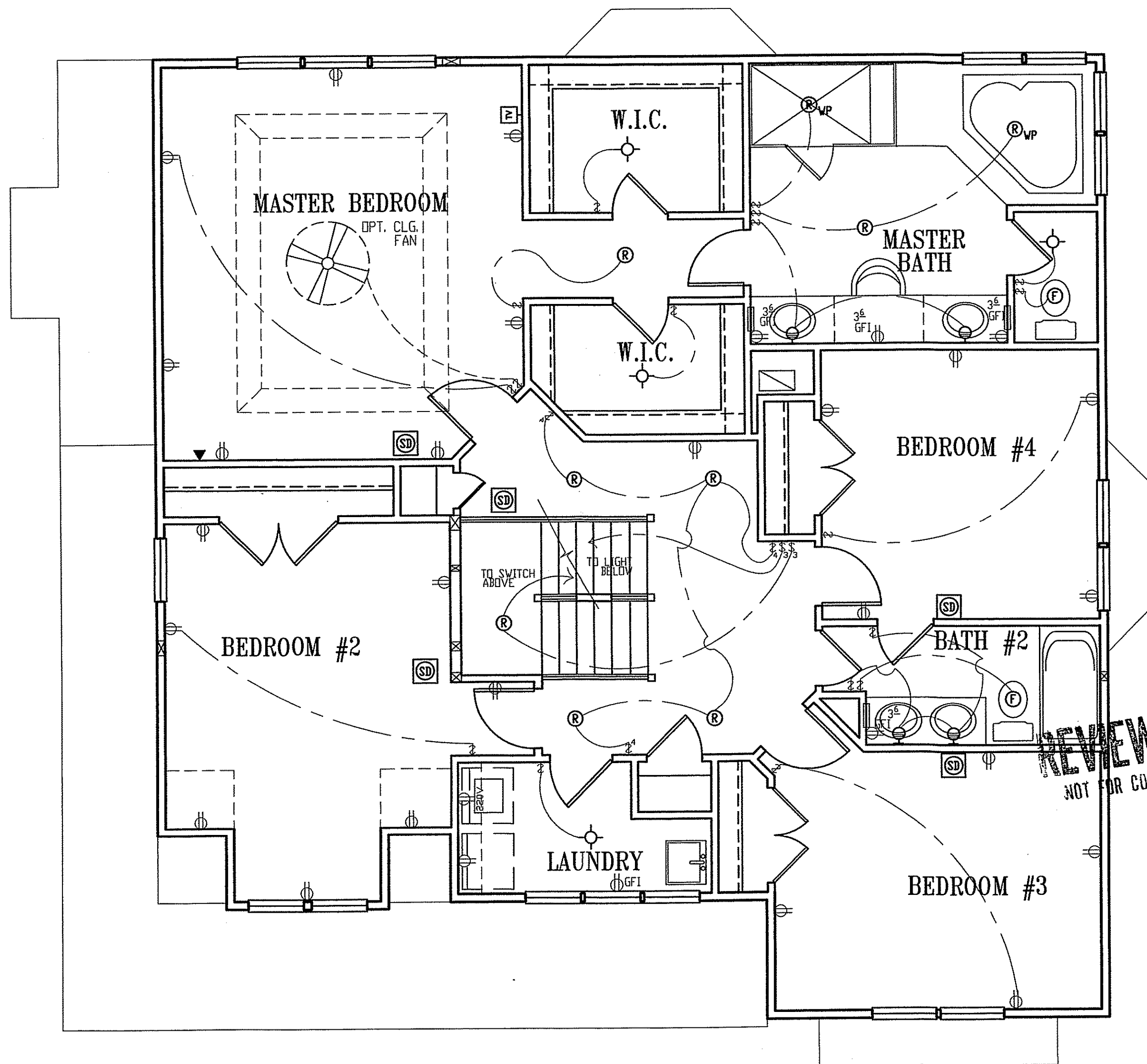
Date	P.S. 04/18/03 ACH

Project Number: 0208-E2  
**MERIDIAN HOMES**  
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Architect

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Sheet Number  
**E2**



UPPER FLOOR ELECTRICAL PLAN

1 / 4" = 1' - 0"

Date	P.S. 04/18/03 ACM

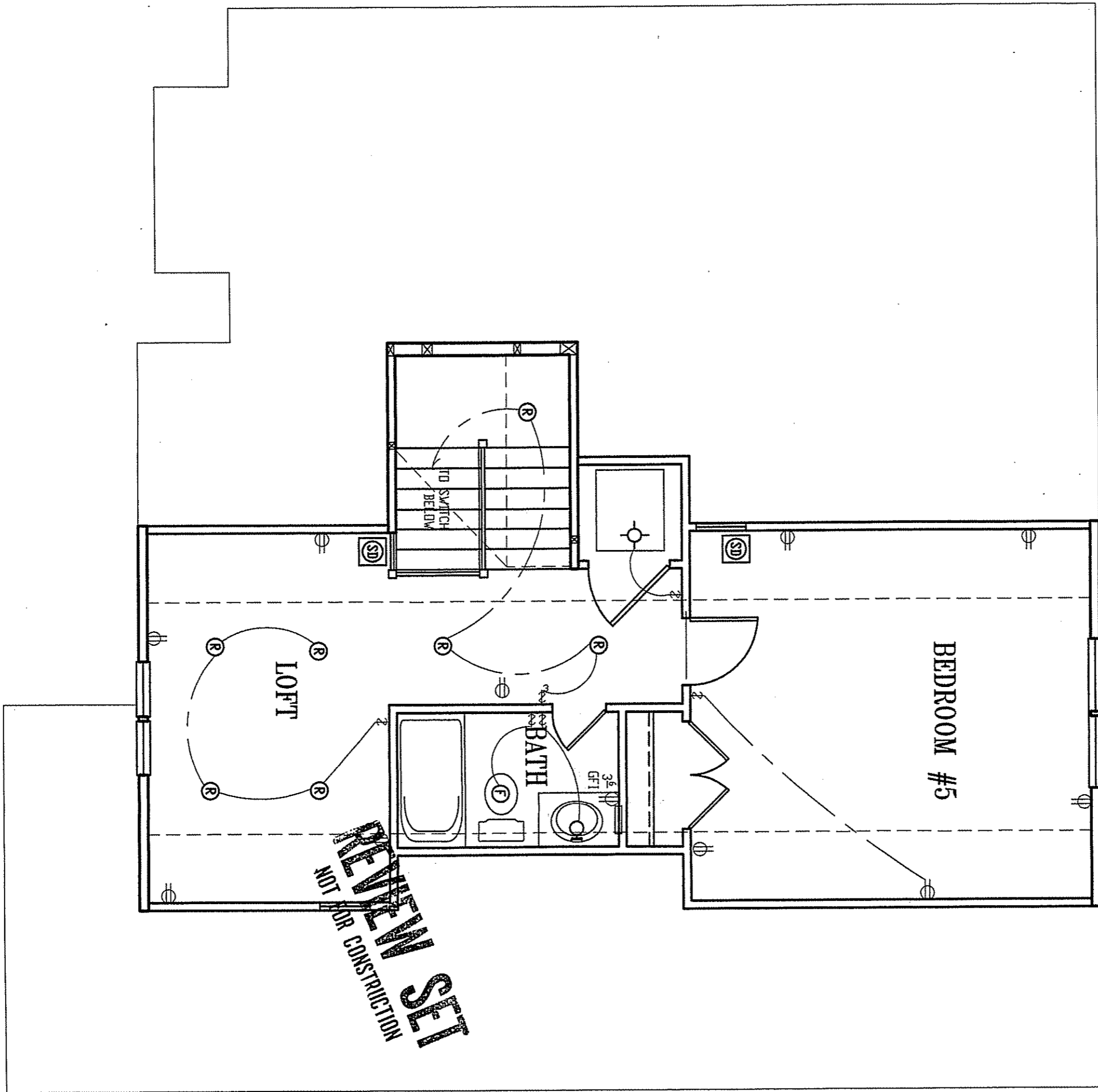
Project Number: 02208-E3  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #11**

Architect

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Sheet Number  
**E3**

ATTIC FLOOR ELECTRICAL PLAN



1 / 4" = 1' - 0"

Sheet Number

E4



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Vienna, VA 22182 Fax 703.947.9171

Architect

Project Number: 02208-E4

MERIDIAN HOMES  
FIRST AVENUE  
LOT #11

Date

P.S. 04/18/03 ACH

## I. General Requirements

- The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions and approved by the Architect.
- Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Architect in writing, of any discrepancies before proceeding with the work or shall be responsible for same.
- Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/Contractor contract is, and shall be, the Contractor's responsibility.
- Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- In the event of conflict between local, state, and national codes, the more stringent shall govern.
- AA General Conditions of the Contract for Construction are a part of this project.
- All construction is to be in compliance with the following code:  
International Residential Code For One & Two Family Dwellings,  
2000 Edition (As Amended By Montgomery County, MD)
- This project is an Owner/Builder project wherein the Owner is performing as the Contractor. The Owner is responsible for all construction means and methods as well as all compliance with building codes and other applicable laws, ordinances and regulations. The Architect is available to the Owner, however, all questions regarding this project must be directed to the Owner. The Architect assumes no responsibility for the means and methods of construction of the project, inasmuch as the Owner/Builder has full control and has assumed full responsibility.
- Use of these documents without written permission of the Architect is forbidden.  
© Copyright 2003 Sutton Yantis Associates Architects, P.C.
- Any and all drawings and specifications for sitework, plumbing supply or waste, electrical circuiting, and heating, ventilation, and air conditioning systems not contained in the "list of drawings" listed on this page are not a part of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies with these documents by any of the above listed services shown in documents by others should be indicated in writing to Architect immediately.

## II. Structural Specifications

### A. General Requirements

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and special engineering requirements shall be applied to insure the building's structural integrity.
- These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.
- Soil conditions shall conform to the following conditions:  
Bearing capacity: Min. 2000 pcf, field verify, under all footings and slab.  
Water Table: Min. 2'-0" below bottom of all concrete slabs and footings.  
Footings, foundations, walls and slabs shall not be placed on or in Marine Clay, Peat and other organic materials.
- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2'-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pcf. If backfill pressures exceed 30 pcf then walls must be designed for actual pressures by structural engineer.
- All backfill under slabs and footings shall be clean, porous soil compacted in 8" layers to 95% density. Where distance from edge of foundation wall exceeds 16", but is less than 4'-0", provide backfill as described above or reinforce with #4 rebar @ 2'-0" o.c., 1'-0" beyond edge of undisturbed soil and 1'-0" into foundation wall.

### B. Concrete

- All concrete shall obtain the following 28 day compressive strengths:  
-Foundation Walls, Footings, Piers and Interior Slabs . . . 3000 psi  
-All other slabs on grade (including garage slabs) . . . 3500 psi.
  - Reinforcing steel shall conform to ASTM A-615, new billet, grade 60.
  - Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
  - Maximum slump 5".
  - All exposed exterior concrete shall be 6+/-1% air entrained or shall conform to ASTM C26D.
  - Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
  - All concrete work shall be in accordance with ACI 318.
- ### C. Steel
- All structural steel specified in these documents shall conform to ASTM A-36.
  - Steel pipe shall conform to ASTM A-53.
  - All welds shall comply with AWS standards.
  - All bolts in bolted steel connections shall conform to ASTM A-325.
  - All required steel anchors straps, caps, joist hangers shall be constructed of code approved galvanized steel.
  - All connections shall conform to AISC standards.
  - Fitch Beams: Unless noted otherwise, all steel fitch beams shall be assembled with 2 rows of 1/2" bolts @ 12" o.c. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

## II. STRUCTURAL SPECIFICATIONS (continued)

### D. Wood

- All structural wood joists and headers shall be stressed graded #2 Hem Fir 19% M.C. in accordance with NDS by NFPA, unless noted. All wood shall comply to the following minimum specifications:

#### #2 Hem Fir, 19% M.C.

F<sub>b</sub> min: 980 psi repetitive use  
850 psi single member use

E min: 1,300,000 psi

F<sub>v</sub> min: 75 psi

F<sub>c</sub> min: 1,250 psi

F<sub>cL</sub> min: 405 psi

#### #2 Spruce Pine Fir 19% M.C. (#2 S.P.F.)

F<sub>b</sub> min: 1,005 psi repetitive use  
875 psi single member use

E min: 1,400,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 1,100 psi

F<sub>cL</sub> min: 425 psi

#### #2 Southern Pine, 19% M.C. (#2 S.P.)

F<sub>b</sub> min: 1,120 psi repetitive use  
975 psi single use

E min: 1,600,000 psi

F<sub>v</sub> min: 90 psi

F<sub>c</sub> min: 1,450 psi

F<sub>cL</sub> min: 565 psi

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to .40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

#### MICRO-LAM

F<sub>b</sub> min: 2,600 psi

E min: 1,900,000 psi

F<sub>v</sub> min: 285 psi

F<sub>c</sub> min: 2,310 psi

F<sub>cL</sub> min: 750 psi

All Studs in bearing walls shall conform to the following minimum specifications:

#### Stud Grade Spruce Pine Fir 19% M.C.

F<sub>b</sub> min: 775 psi repetitive use  
675 psi single use

E min: 1,200,000 psi

F<sub>v</sub> min: 70 psi

F<sub>c</sub> min: 675 psi

F<sub>cL</sub> min: 425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to Truss Plate Institute (TPI) and other requirements specified by local building authority. Manufacturer shall submit to Architect, shop drawings and calculations sealed by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI "Commentary and Recommendations for Handling, Installing, and Bracing Metal Plate Connected Wood Trusses, HB-91". Roof trusses and all bridging and/or lateral bracing required for structural integrity of roof truss system is to be designed by Manufacturer's drawings.
- All structural wood exposed to outside unprotected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" diameter galvanized steel anchor bolts min. 7" into poured in place concrete and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Maximum spacing of anchors 6'-0" on center for one and two story buildings and 4'-0" on center for buildings more than two stories in height. Anchor straps may be used as a substitute and shall be installed per manufacturers' specifications.
- All exterior wood framework supported on approved foundation walls shall be minimum 6" above finish grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other approved structural membrane or approved galvanized steel corner bracing.
- Provide continuous double top plate at all bearing stud walls.
- Provide blocking between all joists, 2 x 12 or greater, at intervals not to exceed 8'-0".
- All structural wood posts under beams and headers over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing partitions shall be 2x4 studs at 16" o.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and first interior parallel joist.
- All framing shall be detailed and installed in accordance with NFPA Manual for House Framing.
- All ceramic tile shall be installed per Tile Council of America specifications.
- Plywood subfloors shall be glued and nailed to Floor Joists with APA approved elastomeric structural adhesive and Bd common nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
- All wood posts labeled continuous (cont.) shall be continuous from under side of beam to concrete or steel bearing.

## II. STRUCTURAL SPECIFICATIONS (continued)

- Manufactured Floor Trusses: Unless otherwise noted manufactured floor trusses shall be "TJI Truss Joists" manufactured by Trus Joist MacMillan Corporation. TJI Truss Joists shall be installed in accordance with manufacturers specifications and details.
- All plywood roof, floor and wall sheathing shall be APA approved.

### E. Masonry

- Materials:  
Mortar: Type "S" ASTM C270  
Hollow CMU: ASTM C-90  
Face Brick: ASTM C-216  
Grout Aggregated: ASTM C-404
- All masonry shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions necessary to prevent freezing. No anti-freeze admixtures shall be added to the mortar.
- Brick veneer shall be attached to wood frame with minimum #22 galvanized sheet gage corrosion-resistant corrugated metal ties min. 7/8" wide at vertical intervals max. 16" and horizontal intervals max 16". Provide weep holes at 2'-0" o.c. @ first course above grade and first course above steel lintels.
- Provide horizontal joint reinforcement (Durawall) in all masonry walls @ 8" o.c. unless otherwise specified.
- The top course of all masonry bearing walls shall be constructed of solid masonry units or grout filled hollow units or otherwise designed to insure adequate distribution of load.
- All masonry work shall conform to the applicable requirements of BIA and NCMA.

## III. Doors and Windows

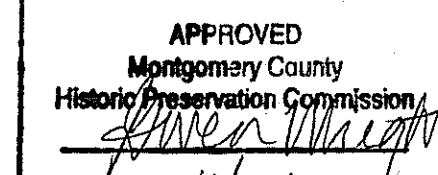
- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating sash opening in feet and inches (I.E., 2856 DH denotes a 2'-8" wide by 5'-6" tall sash opening double hung window). Contractor shall verify that windows to be installed comply with local code standards for egress, light, and ventilation wind/impact loads.

## IV. Thermal and Moisture Protection

- All slabs on grade in conditioned spaces shall be insulated with min. R5 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Damproof all exterior foundation walls enclosing basements and crawl spaces with damproofing as specified by code at exterior face of wall.
- Flashing: Code approved corrosion resistive flashing shall be provided at top and sides of all exterior window and door openings in such manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners do not require additional flashing: jamb flashing may also be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings; under and at the ends of masonry wood or metal copings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
- Building Paper: When veneer of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with flashing whenever necessary to prevent moisture penetration behind the veneer.

Approved water resistant sheathing may be substituted for building paper.

## V. Other



## Symbols

	Duplex Outlet		One Way Switch
	Duplex Outlet, Weather Protected		Three Way Switch
	Duplex Outlet, Floor Mounted		Switch w/ Rheostat
	Duplex Outlet, Switch Operated		Smoke Detector
	Range Outlet		Chime
	Gas Outlet		Bathroom Exhaust Fan
	Ceiling Mounted Incandescent		Television Outlet
	Junction Box		Telephone Outlet
	Eyeball Light		Medicine Cabinet
	Wall Washer Light (Recessed)		Frost Proof Hose Bib
	Recessed Light		Recessed Waterproof Light
	2 Fluorescent Light		Dedicated Circuit Outlet
	4 Fluorescent Light		Steel Angle (Lintel)
	Exterior Flood Lights		
	Wall Mounted Incandescent		
	Pull Switch Light		

## List of Abbreviations

ADJ.	Adjustable	MC	Medicine Cabinet
A.S.F.	Above Subfloor	MFG.	Manufacturing
BF	Bifold	O.A.	Overall
BM	Beam	O.C.	On Center
B.O.J.	Bottom of Joist	OPT.	Optional
CLG	Ceiling	PART.	Partial
CMU	Concrete Masonry Unit	PLYWD	Plywood
C.D.	Cased Opening	P.T.	Pressure Treated
COL.	Column	R/A	Return Air
CONC.	Concrete	R.C.	Rough Cut
CONT.	Continuous	REF	Refrigerator
CS	Casement	R/O	Range Oven
CVAC	Central Vacuum	SF	Square Feet
DBL.	Double	SHWR	Shower
DES.	Design	SIM.	Similar
DH	Double Hung	S.L.	Sliding Door/Window
DTL.	Detail	STD.	Standard
DW	Dishwasher	STL.	Stair
FD	Floor Drain/French Door	S&P	Shelf & Pole
F.P.	Fireplace	S.V.B.	Solid Valley Blocking
FIG.	Footing	T&G	Tongue & Groove
GF1	Ground Fault Circuit Interrupter	T.O.S.	Top of Slab
GPDW	Gypsum Drywall	T.D.W.	Top of Wall
HD,HGHT	Window Head Height	TR	Trim
HDR	Header	TYP.	Typical
HFL	Head/Fan/Light	WD	Wood
HW	Hot Water Heater	W/O	Wall Oven
INSUL	Insulation	W.W.M.	Welded Wire Mesh
L.T.	Laundry Tub		

## Area Calculations

Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.

BASEMENT:	1018 SF
LOWER FLOOR :	1408 SF
UPPER FLOOR :	1706 SF
ATTIC:	530 SF
TOTAL :	3642 SF
GARAGE:	426 SF

## List of Drawings

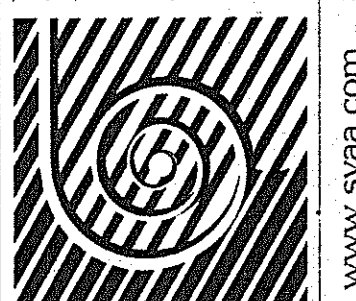
General Notes & Specifications	TJ1 Truss Joist Details
D1 Foundation/Framing Details	TJ2 Truss Joist Details
D2 Foundation/Framing Details	F1 Basement Floor Electrical Plan
D3 Foundation/Framing Details	F2 Lower Floor Electrical Plan
DK Deck Details	F3 Upper Floor Electrical Plan
2 Foundation/Basement Plan	F4 Attic Electrical Plan
3 Lower Floor Plan	
4 Upper Floor Plan	
5 Attic Floor Plan	
6 Building Section 'A'	
7 Building Section 'B'	
8 Building Section 'C'	
9 Partial Building Section Diagram 'D'	
10 Partial Building Section 'E'	
11 Front Elevation	
12 Rear Elevation	
13 Left Elevation	
14 Right Elevation	
15 Lower Floor Framing Plan	
16 Upper Floor Framing Plan	
17 Attic Framing Plan	
18 Roof Framing Plan	

Date  
P.S. 03/19/03 ACH

Project Number: 02207-01  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**1**



Montgomery County Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850  
240-777-6298 Fax: 240-777-6339



**NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS**

You are being provided with this Notice so that you will understand which BUILDING INSPECTIONS must be performed as a condition of a permit issuance. You must arrange for the inspection(s) according to the procedures specified below. Please call 240-777-6210 between the hours of 7:30 a.m. - 4:00 p.m. Monday to Friday, if you have any questions about the required inspection(s). If you have job specific questions during construction please call the inspector assigned to the area in which the project is located.

Inspections shall be requested at least 24 hours prior to the date the inspection is needed. To schedule an inspection call 240-777-6210. Inspection requests must include the street address, permit number, and the date of inspection needed. Inspection requests made before 11 noon will be scheduled for the next working day; requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time that the inspection is scheduled.

The permit must be posted in front of the site or house and be visible from the main road or entrance. If house numbers are not shown on the house or structure, the address must be posted in the same area as the permit and must be displayed in large four-inch letters on a temporary card or the window. For all inspections, a set of approved plans stamped by Montgomery County must be on the job site for inspector's review.

**BEFORE YOU DIG call MISS UTILITY 1-800-557-7777** (5 day notice is required)

The following BUILDING INSPECTIONS are required for your permit number \_\_\_\_\_

- 001 FOOTINGS - Conducted prior to concrete placement and after excavation for wall footings, retaining wall footings (from ditches), columns/footings, or thickened slabs have been completed; after grade stakes, reinforcing steel, concrete-encased electrode (for new homes) are in place; and after sediment control measures are installed according to the approved sediment control plan.
- 402 REBAR, DEADMAN, GEOGRID PLACEMENT - Conducted prior to pouring/backfilling RETAINING WALLS.
- 002 FOUNDATION/PARGING OR BACKFILL - Conducted after the walls have been waterproofed and exterior foundation drainage system has been installed. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
- 011 CONCRETE SLAB-ON-GROUND FLOOR - After the installation of the slab base, the vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PVC or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS and labeled adequately. Where the sump crack is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.
- 003 WALL CHECK (HOUSE LOCATION SURVEY) - Required at foundation completion prior to framing installation. Owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor or a Registered Professional Engineer (where the property lines and corners are already existing and determined on the ground) and must furnish a copy to the Land Use Compliance Section (LUIC) for approval BEFORE ANY FURTHER INSPECTIONS MAY BE SCHEDULED. For questions about wall checks please call LUIC at 240-777-6240. A wall check will not be accepted unless permit number and premise address identify it.
- 005 FACTORY-BUILT FIREPLACE/CHIMNEYS - Conducted at the framing inspection after the factory-built fireplaces and flue chimneys have been installed in compliance with manufacturer's specifications.
- 006 MASONRY FIREPLACE/CHIMNEY - Conducted after the chimney/fireplace and the first flue liner have been installed.
- 007 WOODSTOVE - Conducted after the wood stoves has been installed in compliance with the manufacturer's specifications and prior to concealing flue or chimney connectors.
- 004 FRAMING (CLOSE-IN) - Conducted after the completion of all framing, rough wiring, plumbing and mechanical distribution systems but prior to installing insulation and drywall. When plumbing work is part of the construction, a Washington Suburban Sanitary Commission (WSSC) plumbing inspection must be approved before requesting a framing inspection. For new construction, the framing, rough wiring and mechanical inspections must be requested at the same time. For other than new construction, or when the scope of the work does not involve structural modifications to the building a rough wiring inspection must be requested prior to concealment and approved prior to the framing inspection, or both may be requested at the same time. When floor framing is less than 36 in. above the surface below, a framing inspection must be requested prior to installation any floor materials.
- 012 SWIMMING POOL BONDING - Conducted when the pool has been formed with the rebar installed and bonded prior to placement of concrete or backfill. During construction pool excavations must be completely enclosed by a 42 in. high safety fence AT ALL TIMES when work is not being performed in the pool.
- 251 FINAL - For new construction, conducted after the building is completed and ready for occupancy, but prior to settlement on the house, unless the contract owner waives the requirements and provides, in writing, to the Department of Permitting Services with a copy of the signed waiver. The final mechanical and electrical inspection must be requested with the final building inspection, and the address numbers must be displayed in accordance with the requirements of the fire code. If an owner refuses access within a reasonable time after the house is completed, the building official may close the permit file, but this action will not relieve the owner of their obligation to comply with applicable building codes. The final inspection must be requested and approved before building (or portion thereof) is used and occupied.

**REINSPECTION FEE** - An eighty-two dollar and fifty cent (\$82.50) reinspection fee will be required after a building, electrical or mechanical inspection has been disapproved twice. To alert you of the reinspection fee the inspector will leave a disapproval sticker indicating a fee is due and outlining the payment procedure. This fee must be paid prior to requesting any future inspections. Inspections which cannot be performed because the inspector cannot gain access to the construction, or where work is incomplete, will be considered disapproval, counting toward the two allowed disapprovals. To avoid reinspection fees, footing, parging and slab inspections not ready due to weather conditions, may be cancelled by phone or upon the inspector's arrival up to 8:30 a.m. on the scheduled day. All other inspections must be cancelled prior to inspector's arrival on the job site. To cancel an inspection call 240-777-6210 and provide the permit number, address and type of inspection.



Montgomery County Department of Permitting Services  
255 Rockville Pike  
Rockville, MD 20850  
240-777-6298 Fax: 240-777-6339



**Residential Code Notes**

1. All construction shall be in conformance with the International Residential Code (IRC), 2000 edition, and Montgomery County Executive Regulation No. 36-9.
2. Soil bearing capacity shall be minimum 2000 psf, IRC Table R401.4.1. Unless the footing is insulated or bearing on rock, the bottom of the footing shall be a minimum 24 inches below grade, IRC Table 301.2(1) as amended.
3. Minimum design live load values shall conform to IRC, Table R301.4. Some of them are:

Attics (limited storage)	20 psf	Exterior Balconies	60 psf	Stairs	40 psf
Dwelling Units	40 psf	Garage	20 psf		
Sleeping Rooms	30 psf	Decks	40 psf		

4. The residential construction design parameters are shown in the following table, IRC Table R301.2(1) as amended:

Ground Snow Load	Wind Speed	Seismic Design Category	Subject To Decay From			Welder Design Temp for Hot Fasteners	Radon-Resistant Construction Required
			Weathering	Frost Load Depth	Termin. Decay		
20 psf (0.96 kN/m²)	99 mph (130 km/hr)	B	Severe	24-inch (610 mm)	Moderate to Heavy	131°F (10.6°C)	Yes

5. Bathrooms without windows shall be vented to the outside of the building, IRC Section R303.3.
6. Habitable rooms, except kitchens, hallways, corridors, bedrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of not less than 7 feet from the finished floor to the lowest projection of the ceiling. Exceptions:
  1. Beams and girders spaced not less than 4 feet o.c. may project not more than 6 in below the required ceiling height.
  2. Not more than 50% of the floor area of a room or space is permitted to have a sloped ceiling less than 7 feet in height. Any floor area having less than 5 feet of ceiling height shall not be considered part of the room area and shall not be allowed to have any permanent fixtures or furnishings such as, but not limited to, bathtubs, showers, water closets, sinks, cabinets, counters and shelves, IRC Section 305.1 as amended.
7. Panes of glazing in hazardous locations, IRC Section 308.4, shall be adequately identified, IRC Section 308.1.
8. Garages shall be provided with a minimum 1/2-inch gypsum board applied to garage side. Where the separation is a floor ceiling assembly, the structure supporting the separation shall also be protected by 1/2-inch gypsum board applied to garage side. A garage in a townhouse with a loft, totaling four floors, must be separated from the balance of the townhouse by at least one-hour fire resistance rated assemblies supported by at least one-hour fire protected construction. A solid core wood door 1-1/2 inch thick or a 20 minute fire door is required, IRC Section 209 as amended.

9. Ducts in the garage and ducts penetrating the walls and ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

10. Every sleeping room and every habitable room in a townhouse loft shall have at least one operable emergency escape and rescue window or exterior door opening. Escape and rescue windows shall have a minimum sill height of 44 inches above the finished floor. Escape and rescue windows with sill height below grade shall have a minimum net clear opening of 5.7 square feet (5 square feet for grade openings), a minimum width of 20 inches and a minimum height of 24 inches. IRC Section 310 as amended.

11. Exit access from a townhouse loft to the exit door must not require vertical travel of more than two steps, IRC Section 311.1 as amended.

12. There shall be a floor or landing not more than 1.5 inches lower at each side of each exterior door, IRC Section 312.1.2.

13. Enclosed accessible storage under stairs shall a minimum 1/2-inch gypsum board on the storage side, IRC Section 314.3. All egress doors shall be readily openable from the side which egress is to be made without the use of a key.

14. Stairways shall have minimum 6 feet and 8 inches clear headroom. The minimum tread shall be 9 inches and the maximum riser shall be 8 1/4 inches. IRC Section R314 as amended. Openings are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter (102 mm) sphere. All stairways shall be illuminated. IRC Section R303.4.

15. Handrails shall have a minimum height of 34 inches and a maximum 38 inches height measured vertically from the nosing of the treads and shall be graspable. IRC Section R315.1.

16. Open sides of porches, balconies, or raised floor surfaces located more than 30 inches above the floor or grade below and retaining walls with a difference in grade level on either side of the wall exceeding 4 feet (1219 mm) and within 2 feet (610 mm) of a walk, path, parking, lot, or driveway on the high side shall have guards not less than 36 inches in height. Guards on the open side of stairs with a total rise of more than 30 inches above floor or grade below shall be not less than 34 inches high. Spacing between intermediate rails shall be less than 4 inches and shall not be constructed with horizontal rails or other ornamental pattern that results in a ladder effect. IRC Section R316 as amended.

17. Install interconnected smoke detectors in each sleeping room, outside each sleeping area, and on each level. Detectors shall be hardwired (to the building wiring) with battery back up, IRC Section R317.2 & NFPA 72 Section 2.2.1.1.1. Automatic sprinklers are required in all townhouses, IRC Section R317.3 as amended. Low voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Services. When alterations, reconstruction, changes of use or occupancy, and additions for which the permit was issued after June 1, 2001, occur, smoke detectors must be installed in accordance with the Montgomery County Code Interpretation Policy 102.1.

18. A common 2-hour fire-resistance-rated wall is permitted between townhouses, provided that there is no plumbing, electrical, or mechanical systems constructed within or through the common wall cavity, IRC Section R321.2.

19. All untreated lumber shall be minimum 8 inches above exposed ground and shall comply with IRC Section R321.2.

20. Radon-resistant construction is required as per IRC Appendix F, Radon Control Methods.
21. Lot drainage shall comply with IRC Section R401.3.
22. Concrete shall comply with IRC Section R402.2 & Table R402.2.
23. All footings shall comply with IRC Section R403.
24. Sill plates on the top of foundation walls shall be secured with minimum 1/2-inch anchor bolts set at 6 feet o.c. maximum and within 12 inches from the ends of each plate section. The bolts shall extend minimum 7 inches into concrete or masonry. Approved foundation anchor straps that provide equivalent anchorage to 1/2-inch anchor bolts are acceptable. IRC Section R403.1.6.
25. Concrete and masonry foundation walls shall comply with IRC Section R404.1.
26. Concrete and masonry foundation wall shall extend at least 6 inches above the finished grade adjacent to the foundation walls at all points and 4 inches above finished grade with masonry veneer IRC Section R404.1.6.
27. Basement walls shall not be backfilled until the wall has sufficient strength and first floor framing is in place or the walls have been adequately braced, IRC Section R404.1.7.
28. Maximum unbalanced fill for concrete or masonry foundation walls shall comply with IRC Tables R404.1(1), Tables R404.1(2), Tables R404.1(3), and Tables R404.1(4).
29. Wood foundations shall comply with IRC Section R404.2.
30. Foundation drainage shall comply with IRC Section R405 as amended.
31. Exterior concrete and masonry foundation walls retaining earth and enclosing usable spaces below grade must be waterproofed with an approved waterproofing materials or a membrane extending from the top of the footing to the finished grade. IRC Section R406.2 as amended.
32. Under-floor spaces shall conform to IRC Section R408 as amended.
33. When floor framing is less than 36 inches from the ground, a framing inspection must be requested prior to installing any flooring materials.
34. Floor framing shall comply with IRC Section 502. Allowable spans for wood floor framing shall not exceed the values specified in Tables R502.2.1(1) and R502.3.1(2), R502.5(1), and R502.5(2).
35. Wood floor trusses shall be designed in accordance with approved engineering practice. The truss drawings shall be prepared by a registered design professional and shall include all required details. IRC Section R502.11.
36. For sawn lumber, notches in the top or bottom of the joist shall not exceed 1/4 the depth of the joist, shall not be longer than 1/2 of the depth of the member and shall not be located in the middle third of the span. Notches at the ends of a member shall not exceed 1/4 the joist depth, IRC Section R502.8.
37. Holes drilled or bored in joist shall not be within 2 inches of the top or bottom of the joist, and diameter shall not exceed 1/3 of the depth of the member, IRC Section R502.8.
38. Openings in the floor framing shall comply with IRC Section R502.10.
39. Draftstopping and fireblocking shall be provided in accordance with IRC Sections R502.12 and 502.13 respectively.
40. Concrete floors on ground shall comply with IRC Section R506 as amended.
41. Wall construction shall comply with IRC Chapter 6.
42. Stud spacing shall comply with IRC Section R602.3 and Table 602.3(5).
43. Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Any stud may be drilled or bored, provided that the diameter of the hole is no greater than 40% of the stud width, the edge of the hole is no closer than 1/4 inch to the edge of the stud, and the hole is not located in the same as a cut or a notch. IRC Section R602.6.
44. When the top plate of any load-bearing wall is cut or notched more than 50% of its width, a galvanized metal nail shall 0.54 inch thick (16 gage) and 1.5 inches wide shall be fastened to each plate across and on each side of the opening with not less than six 16d nails. IRC Figure R602.6.1.
45. Fireblocking shall comply with IRC Section R602.8.
46. Wall bracing shall comply with IRC Section R602.10.
47. Exterior wall coverings shall comply with IRC Section R703.1 through 703.9.
48. Masonry veneer shall comply with IRC Section R703.7 and R703.8 (weep holes at 33" o.c.).
49. Wood roof framing shall comply with IRC Section R802. Ridge beam supports shall transmit loads to the foundation. Allowable spans for ceiling joists and rafters shall comply with IRC Tables R802.4(1), R802.4(2), R802.5(1) through R802.5(9).
50. Wood roof trusses shall be designed in accordance with accepted engineering principles. The truss drawings shall be prepared by a registered design professional and shall include all required details. IRC Section 802.10. Wood roof trusses shall be braced in accordance with TPI DWG7. IRC Section R802.10.
51. Roof tie downs shall comply with IRC R802.11.
52. Roof ventilation and attic airc shall comply with IRC Section R806 and R807 respectively.
53. Roof coverings shall comply with IRC Chapter 9.
54. Chimneys and fireplaces shall comply with IRC Chapter 10. Flue size shall be determined in accordance with Figure R1001.11.
55. Masonry chimneys located within the exterior walls of the building shall have a minimum air space clearance combustibles of 2 inches. Chimneys located entirely outside the exterior wall of the building, including chimneys that pass through the soffit or cornice, shall have a minimum air space clearance of 1 inch. Air space shall not be filled, except to provide fireblocking in accordance with IRC Section R1001.16.
56. Wood or combustible framing shall not be placed within 2 inches of the outside face of a masonry fireplace and not less than 6 inches from the inside surface of the nearest flue liner. Wood framing and other combustible material shall not be placed within 2 inches of the back surface of a masonry fireplace, IRC Section R1003.12.
57. Factory-built or masonry fireplaces shall be equipped with an exterior air supply to assure proper fuel combustion, IRC Section R1005.
58. Heating and cooling equipment shall comply with IRC Chapter 14.
59. Clothes dryer vent systems shall be independent of all other systems and shall be vented to the exterior of the building; flexible duct shall not be concealed within the walls or ceiling, IRC Section R1501.
60. The maximum length of a 4 inch diameter exhaust vent shall not exceed 25 feet from the dryer location to wall or roof termination. The most restrictive reduction of 2 feet 6 inches for each 45-degree bend and 5 feet for each 90-degree bend or as required by the manufacturer shall apply, IRC Section R1501.
61. Residential One- and Two-Family Dwellings shall comply with IRC Chapter 11, Energy Efficiency, or International Energy Conservation Code (IECC), 2000 Edition, except on story additions to existing buildings less than 200 square feet.
62. All residential swimming pools shall comply with IRC Appendix G, as amended, and Article 610 of the National Electrical Code.

Date					
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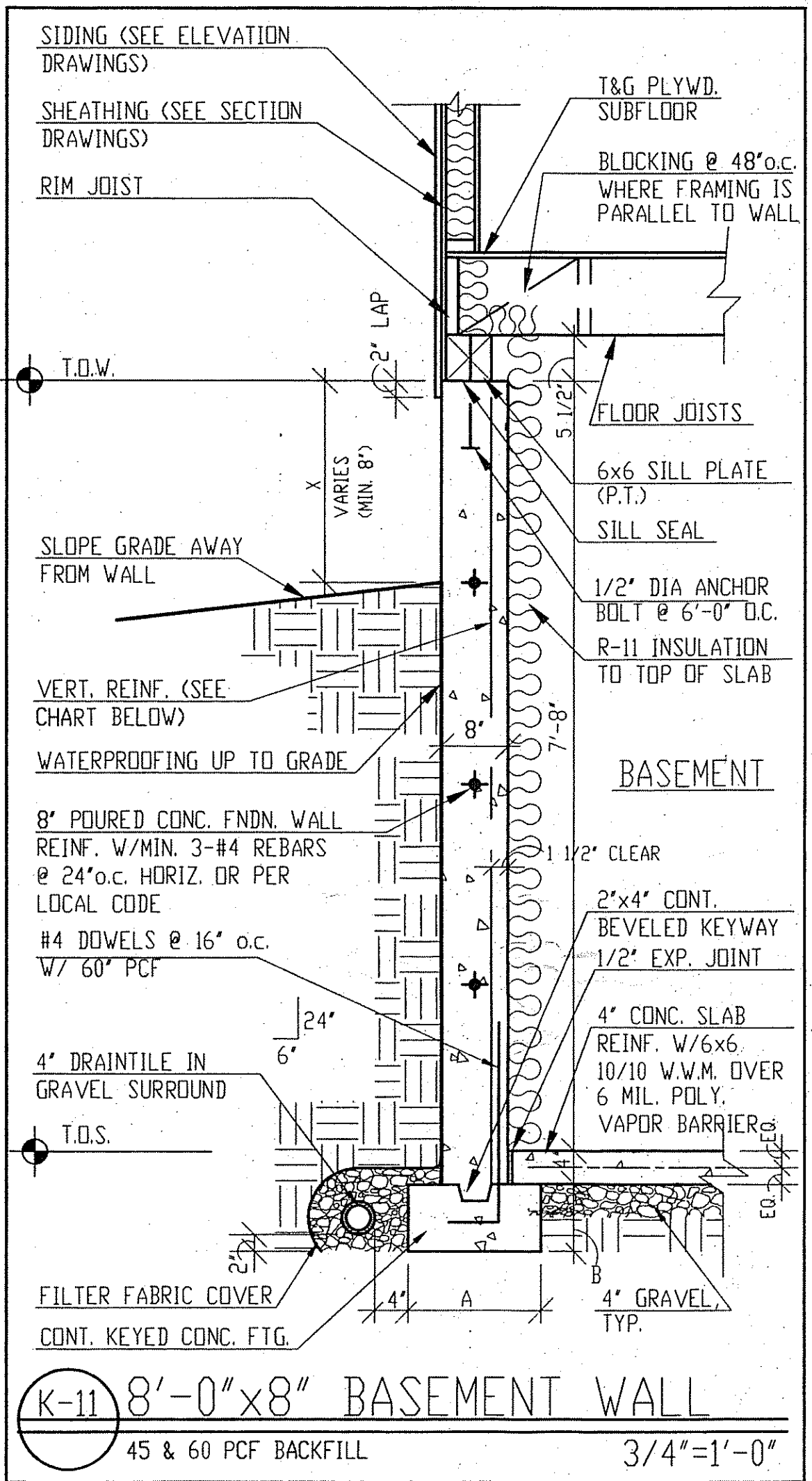
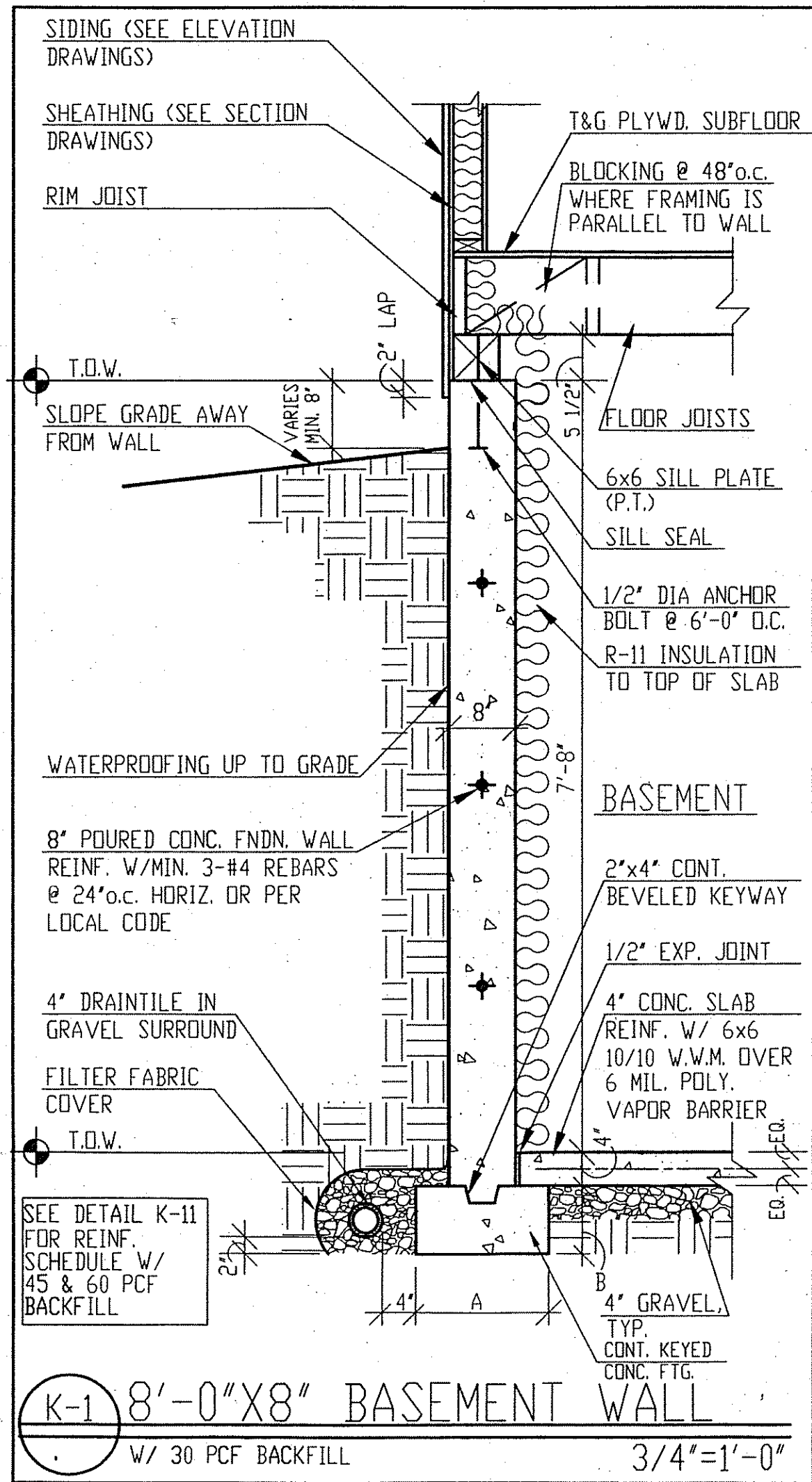
Project Number:	
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Architect	
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**MC**  
Sheet Number



Refer to Foundation Plans for referencing of applicable details for this project. Substitution or use of details not referenced to plans is prohibited.

Refer to Footing Schedule for footing sizes.

**WHERE APPLICABLE:**  
See specific framing details pertaining to MFG Joists on Framing Detail Sheets.

45 PCF BACKFILL	X	VERT. REINF. REQ'D
	8'-20'	#4 REBAR @ 20' O.C.
	GREATER THAN 20'	NO REINF. REQ'D
60 PCF BACKFILL	X	VERT. REINF. REQ'D
	8'-32'	#4 REBAR @ 16' O.C.
	GREATER THAN 32'	NO REINF. REQ'D

FOOTING SCHEDULE	
BEARING CAPACITY OF SOIL (PSF)	FOOTING DIMENSIONS (INCHES)
2000 PSF	A = 20"
	B = 10"
2500 PSF	A = 16"
	B = 8"
3000 PSF	A = 16"
	B = 8"

**BID SET  
NOT FOR CONSTRUCTION**

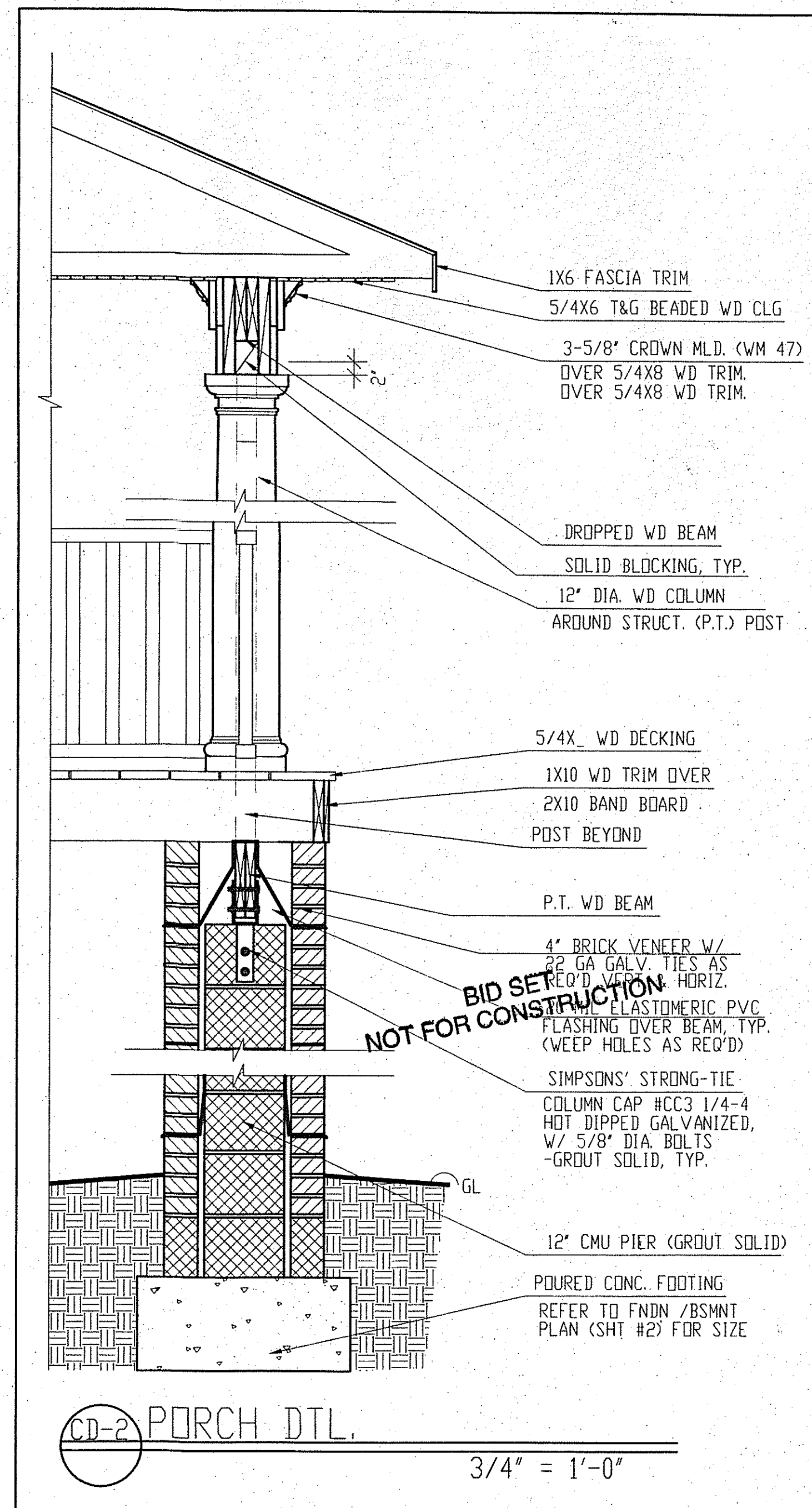
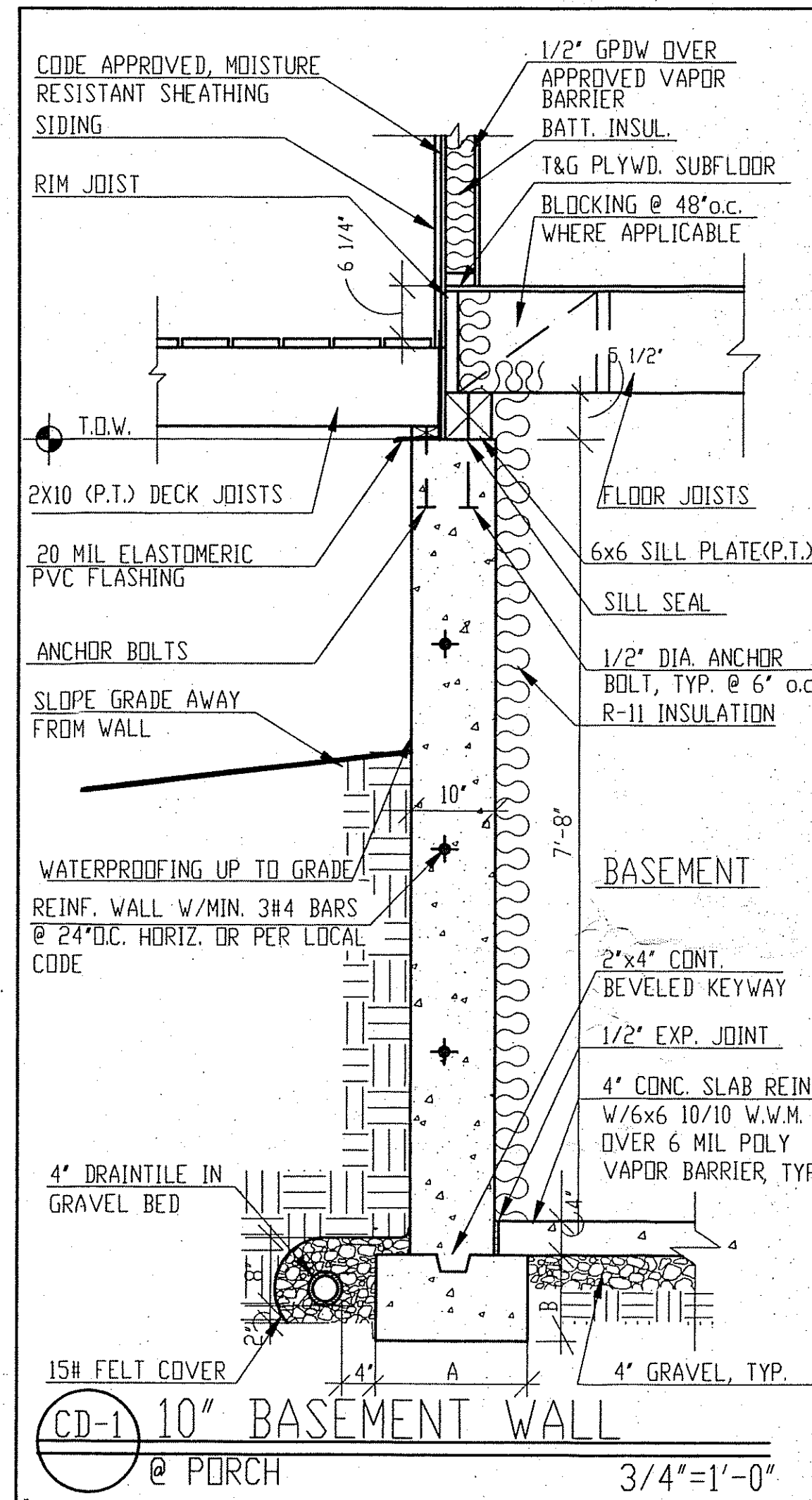
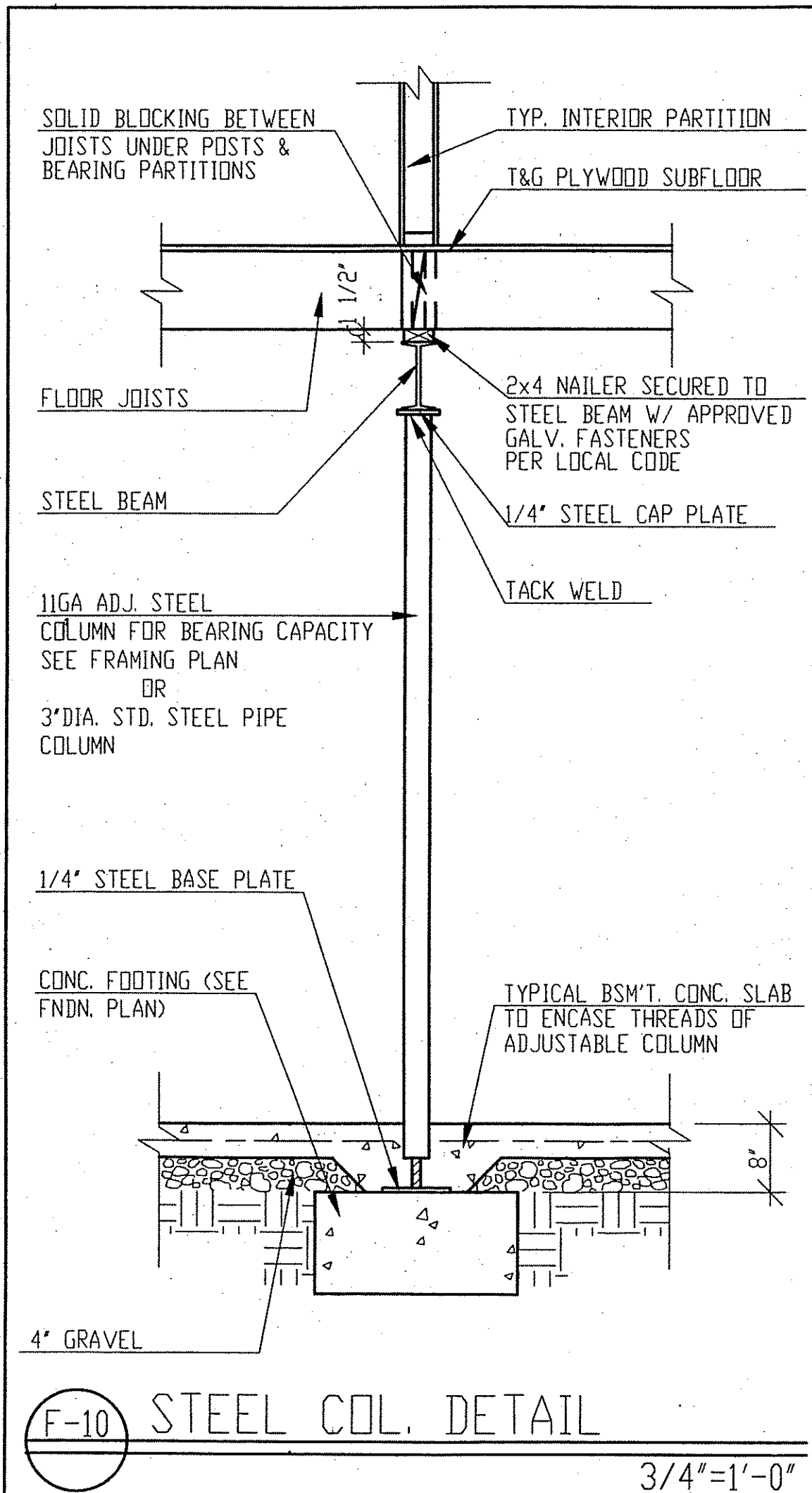
Date	P.S. 03/19/03 ACM
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Project Number: 02207-D1  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number **D1**



Date	PS, 03/19/03 ACM
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Project Number: 02207-02

**MERIDIAN HOMES**

**FIRST AVENUE**

**LOT #17**

Architect

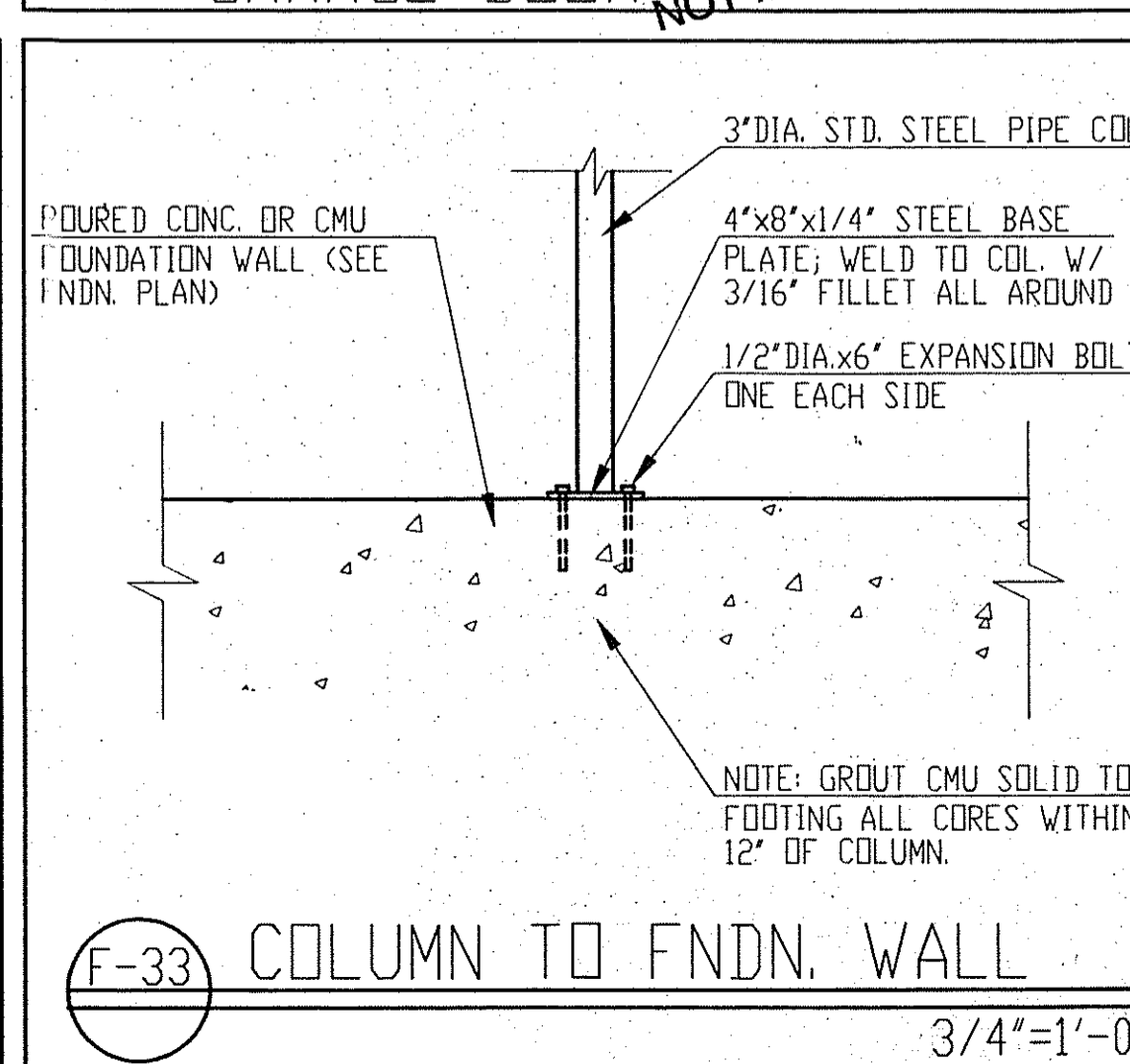
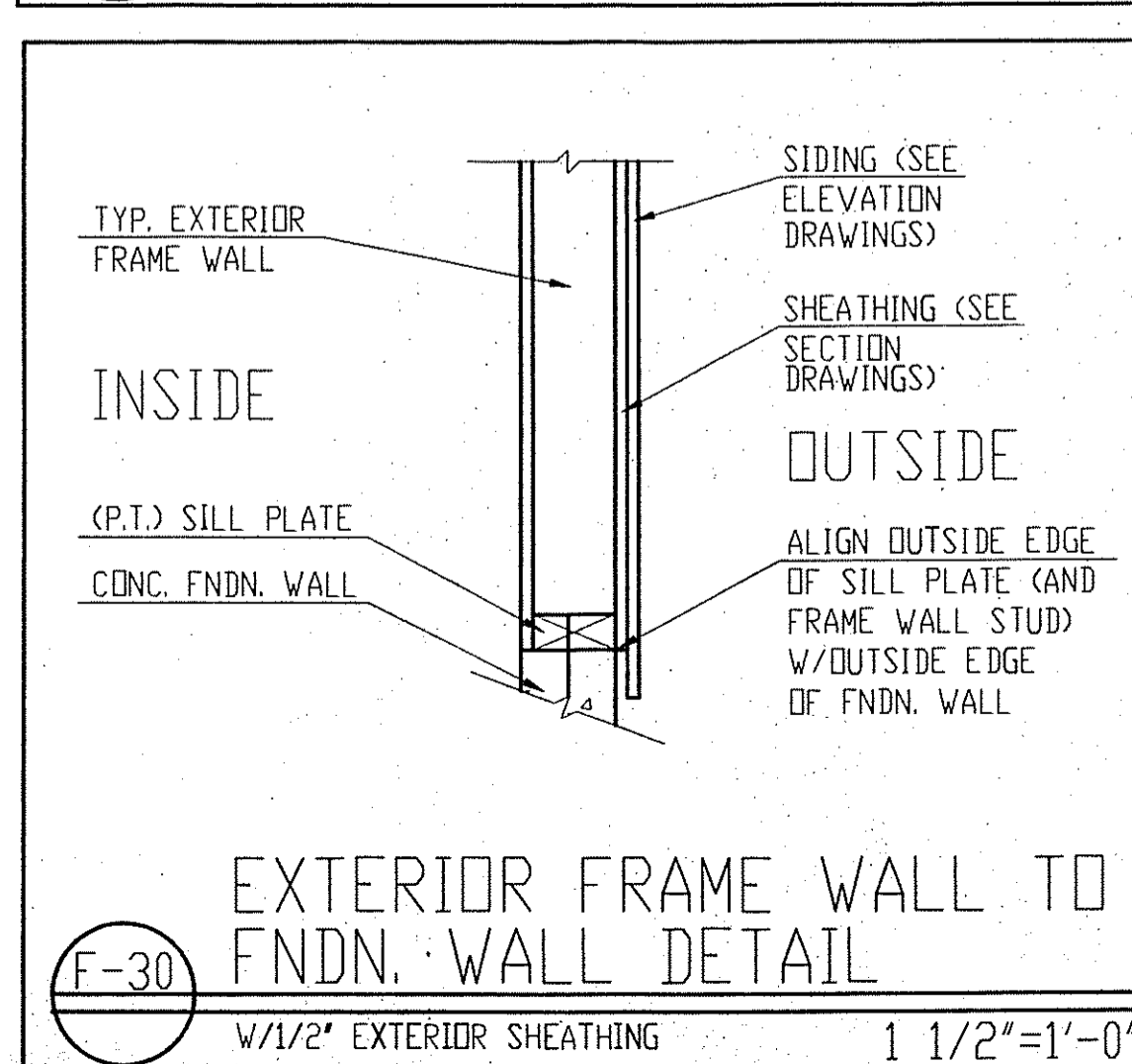
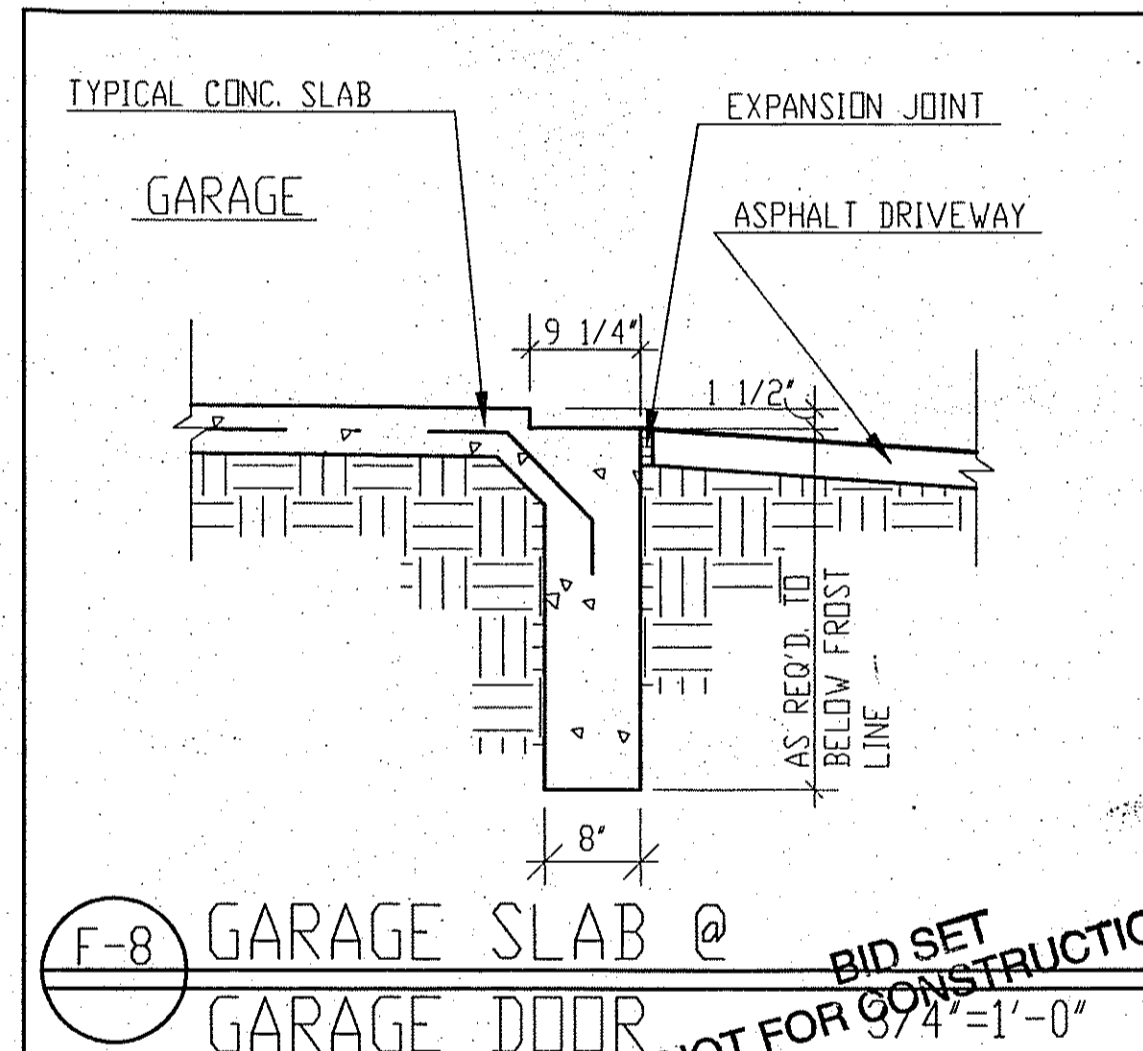
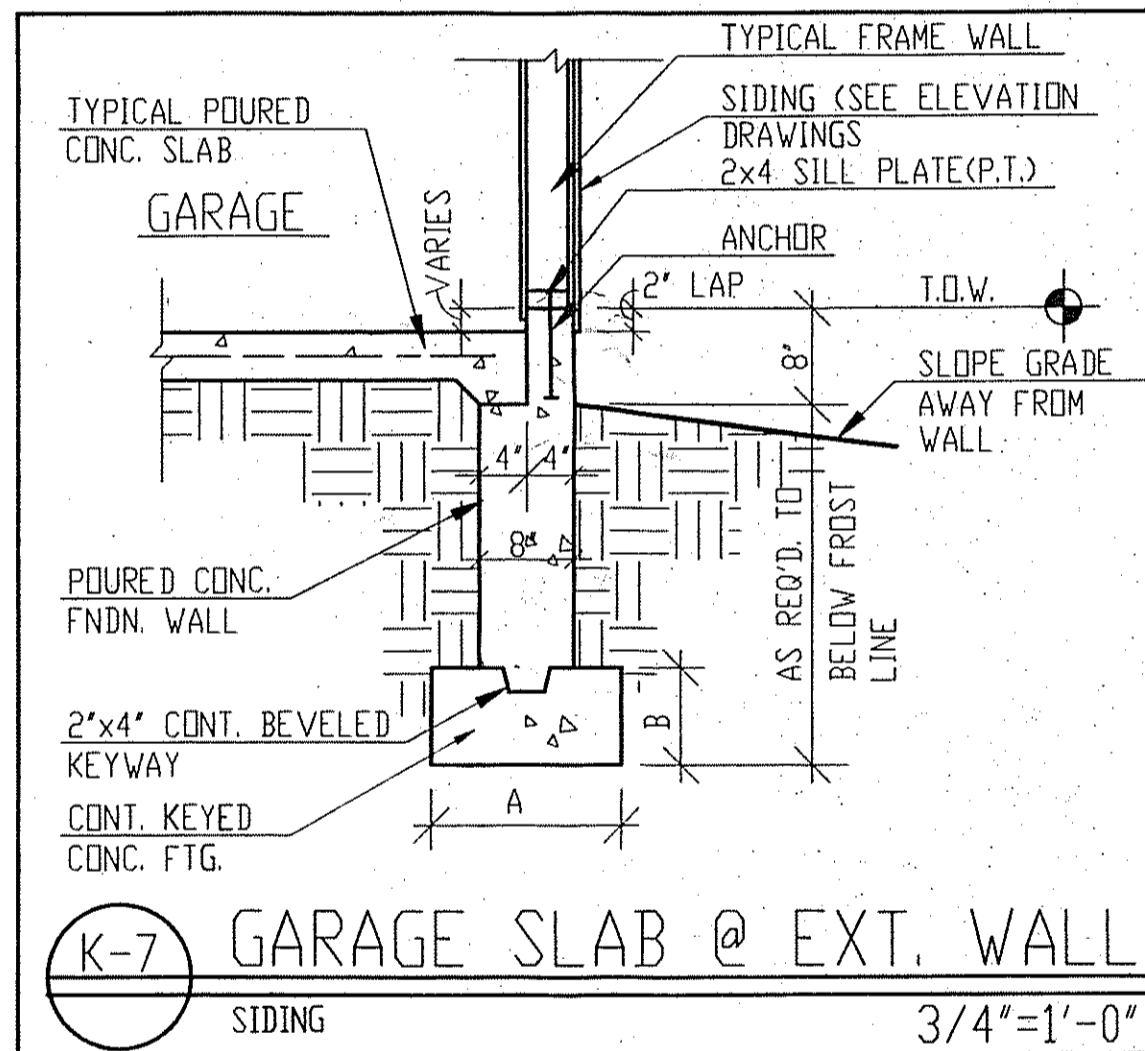
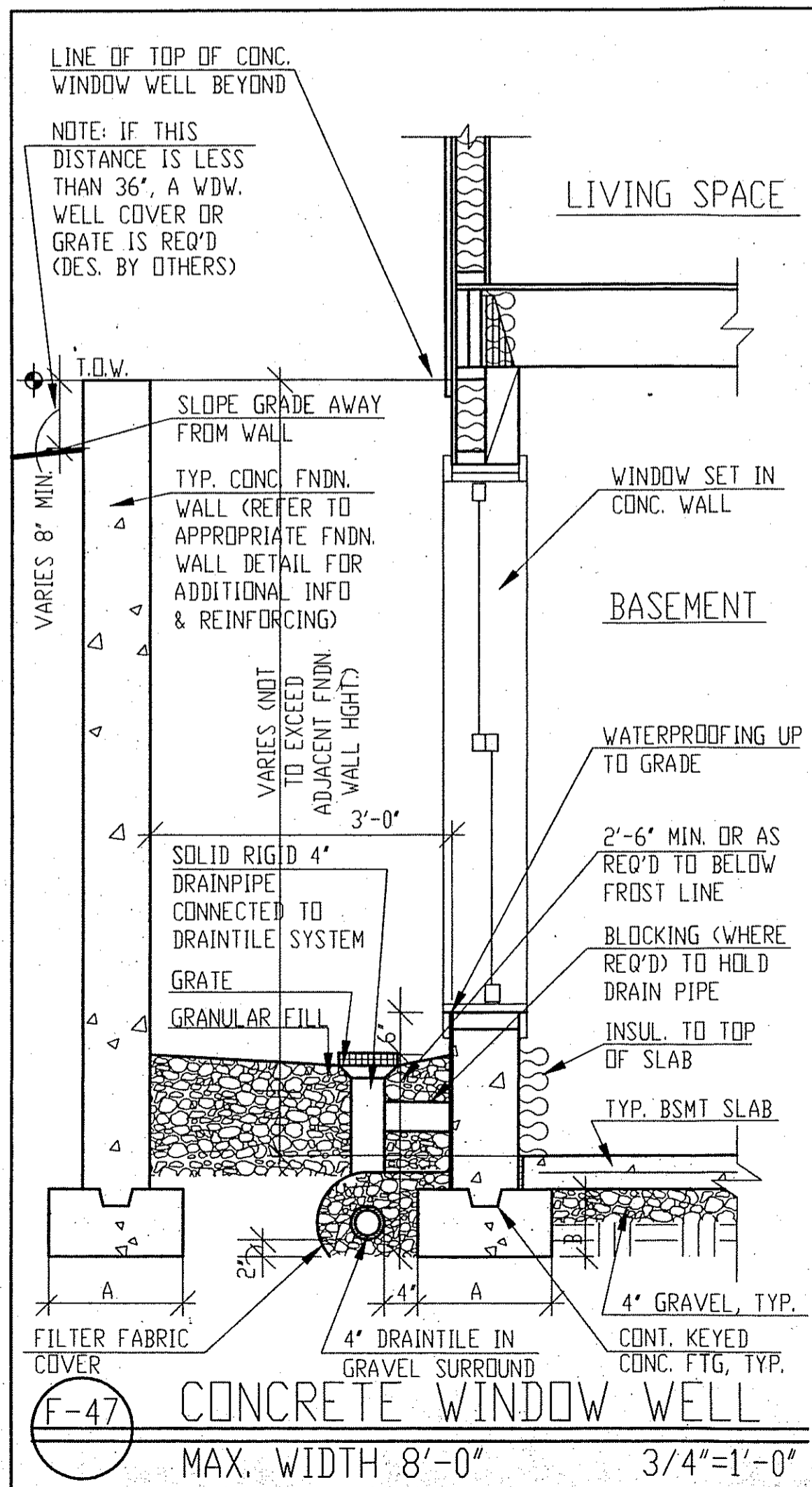
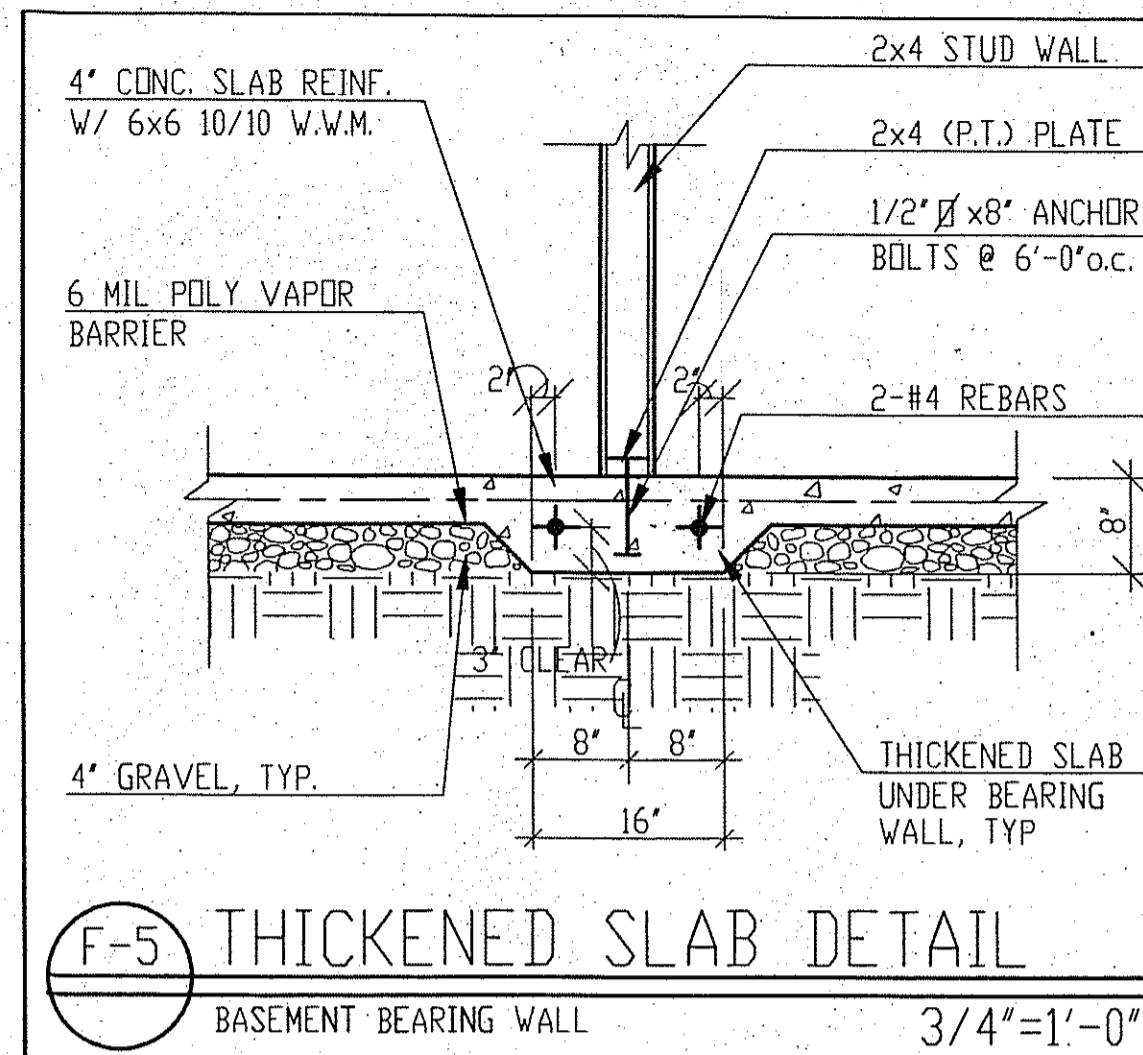
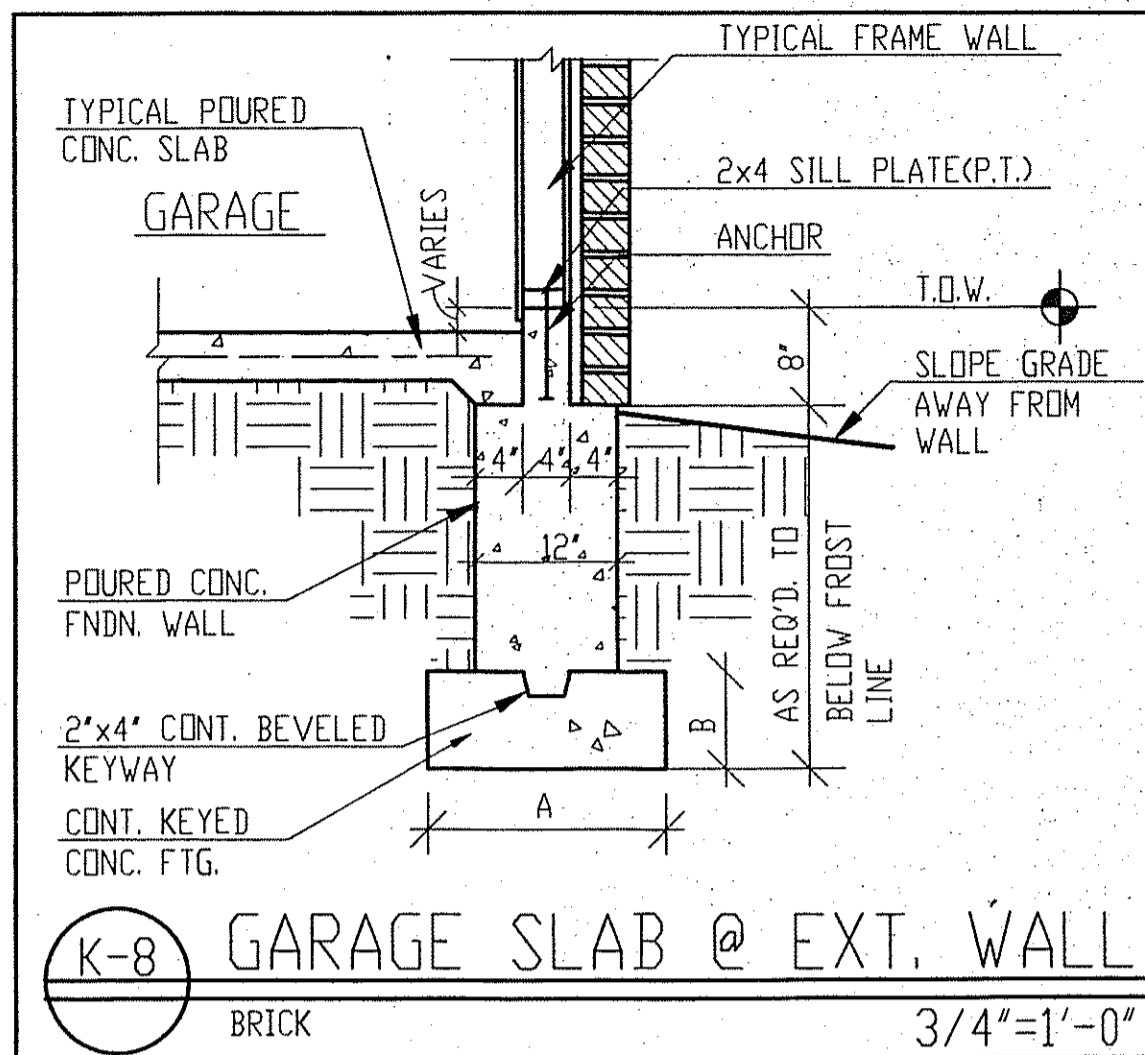
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Sheet Number

**D2**



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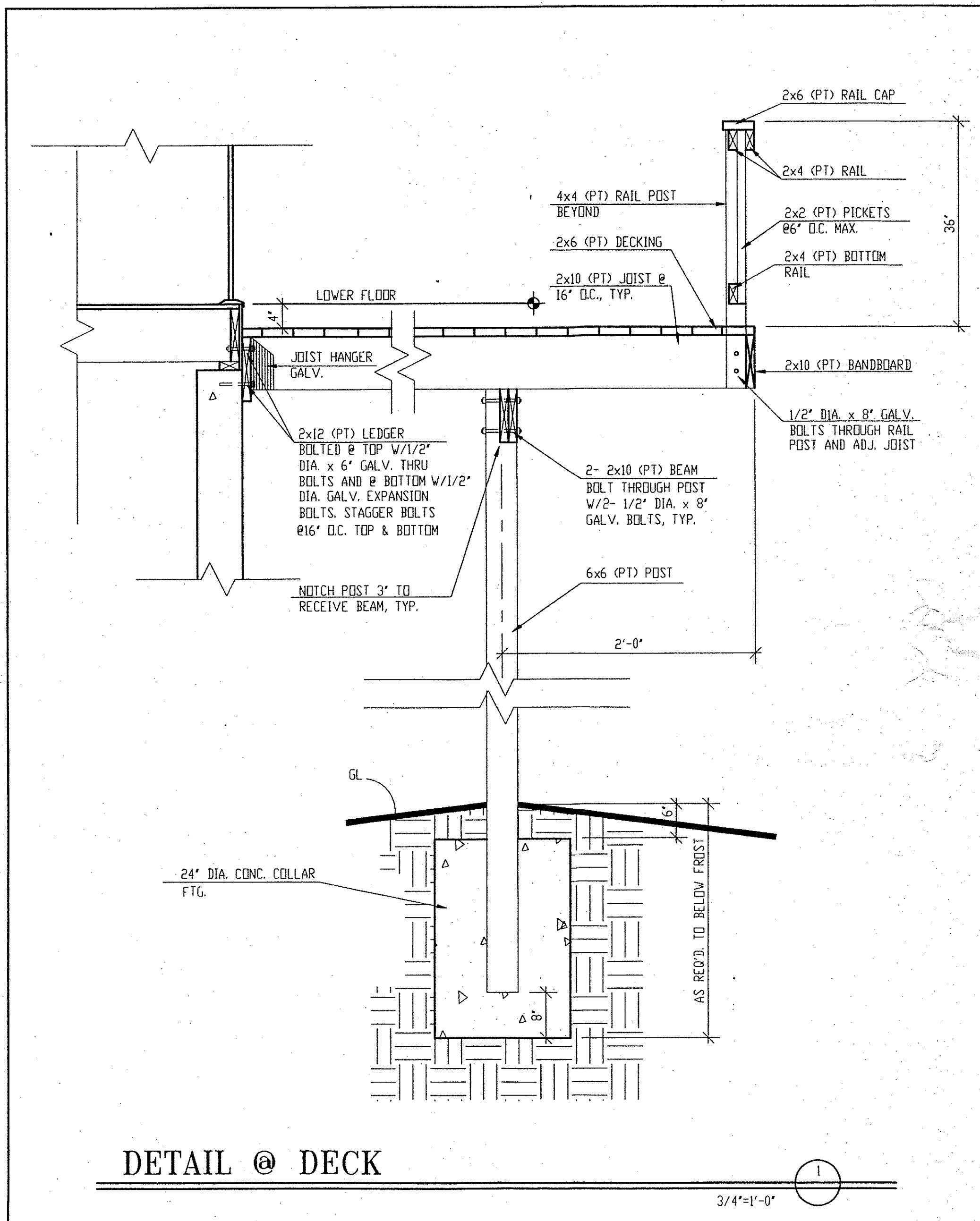
Project Number: 02207-03  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**D3**





DETAIL @ DECK

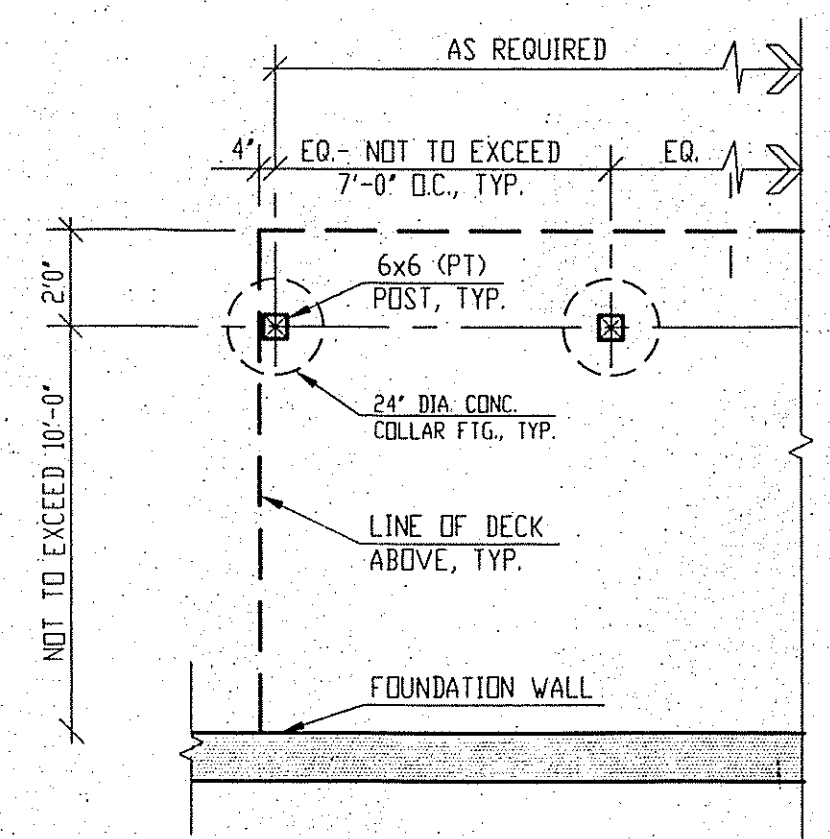
3/4"=1'-0"

DESIGN DATA:	
DECK:	
LIVE LOAD	40 PSF
DEAD LOAD	10 PSF
TOTAL DECK LOAD	50 PSF

TYPICAL DECK DETAILS

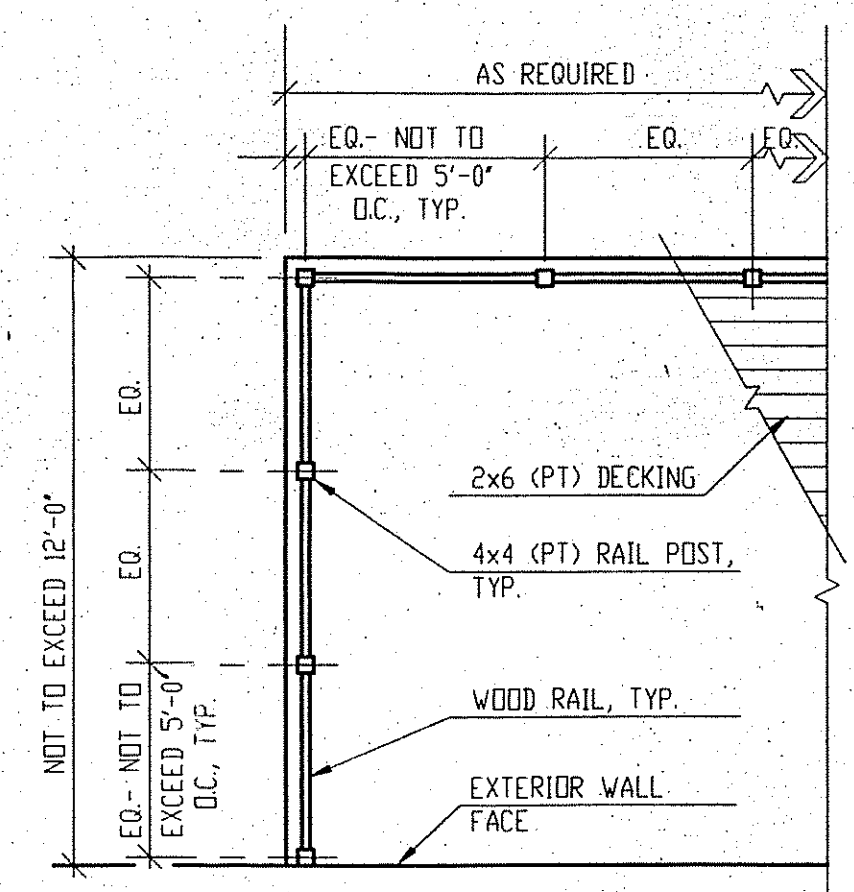
PARTIAL FNDN. PLAN @ DECK

1/4"=1'-0"



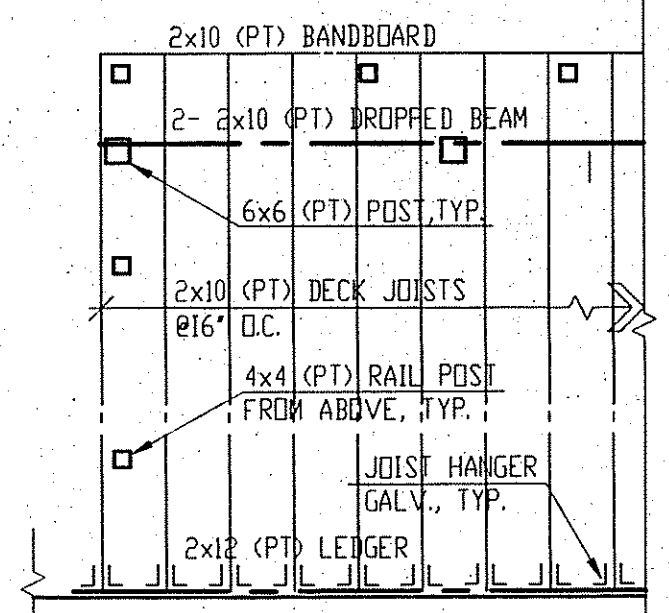
PART. LOWER FLOOR PLAN @ DECK

1/4"=1'-0"



PART. LW. FL. FRAMING PLAN @ DECK

1/4"=1'-0"



Date	03/19/03 ACM

Project Number: 02207-DK

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

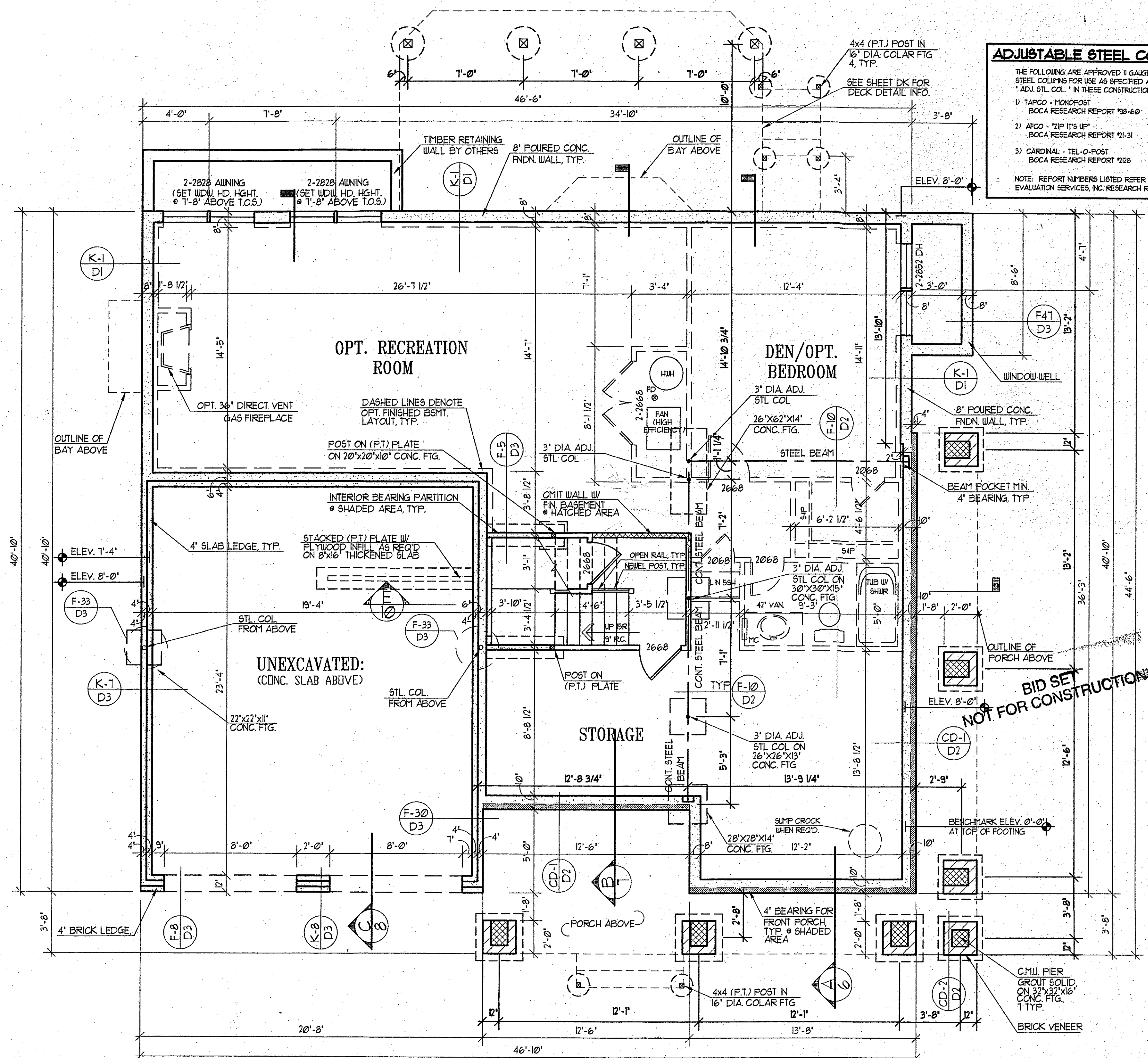
Architect

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Sheet Number

**DK**



**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS 'ADJ. STL. COL.' IN THESE CONSTRUCTION DRAWINGS.

- 1) TAPCO - MONOPOST  
BOCA RESEARCH REPORT #38-60
- 2) AFCO - ZIP IT'S UP  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #128

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.

**FOUNDATION / BASEMENT FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" ABOVE TOP OF SLAB  
UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3 1/2"

1/4" = 1'-0"

Date	PS 03/19/03 RCM
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Project Number: 02207-02

**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

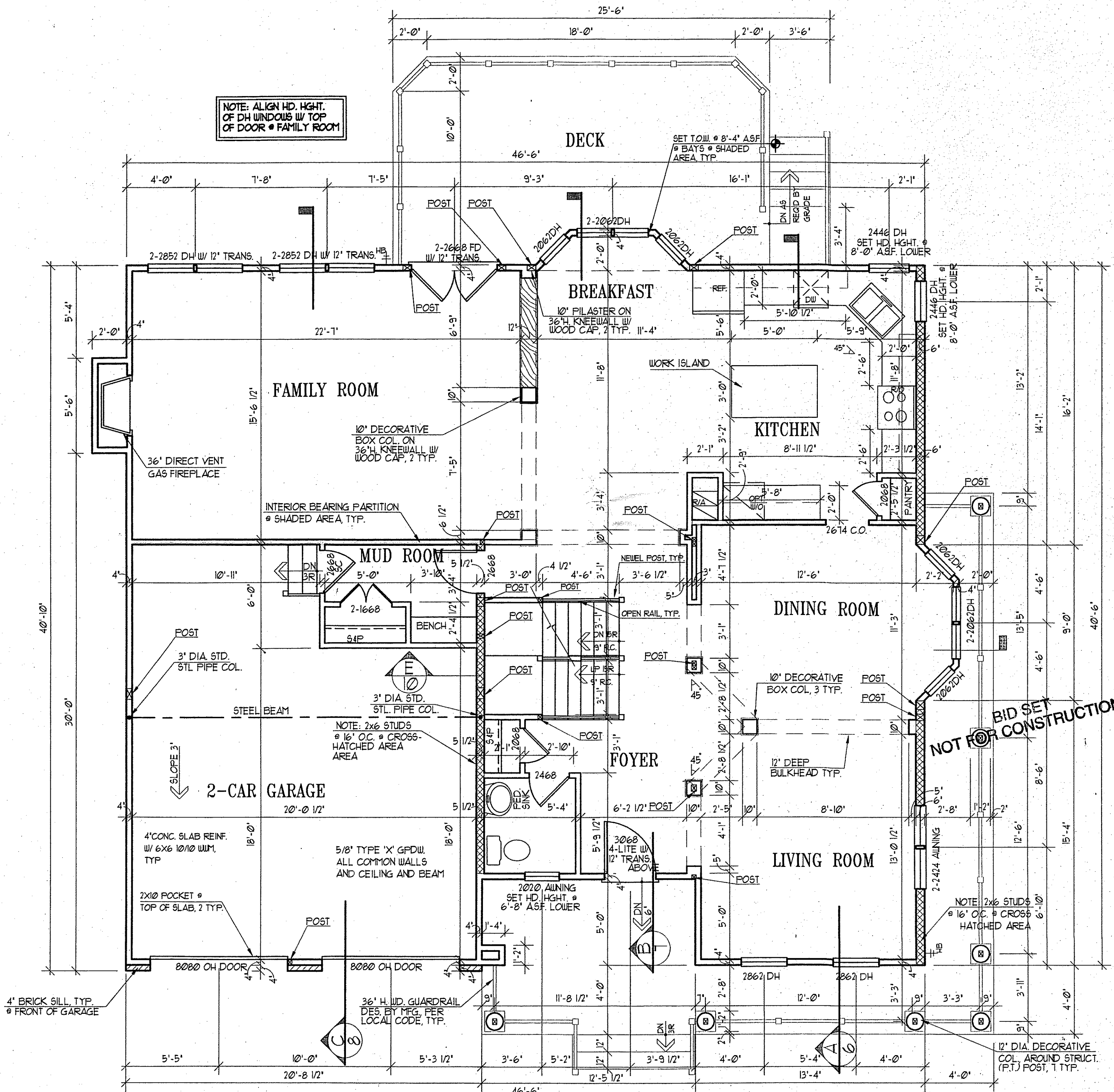
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**2**



**LOWER FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 1'-4" ASF.  
UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/4"

1 / 4" = 1' - 0"

Date	PS. 03/19/03 ACH

Project Number: 02207-03  
**MERIDIAN HOMES**  
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Sheet Number  
**3**

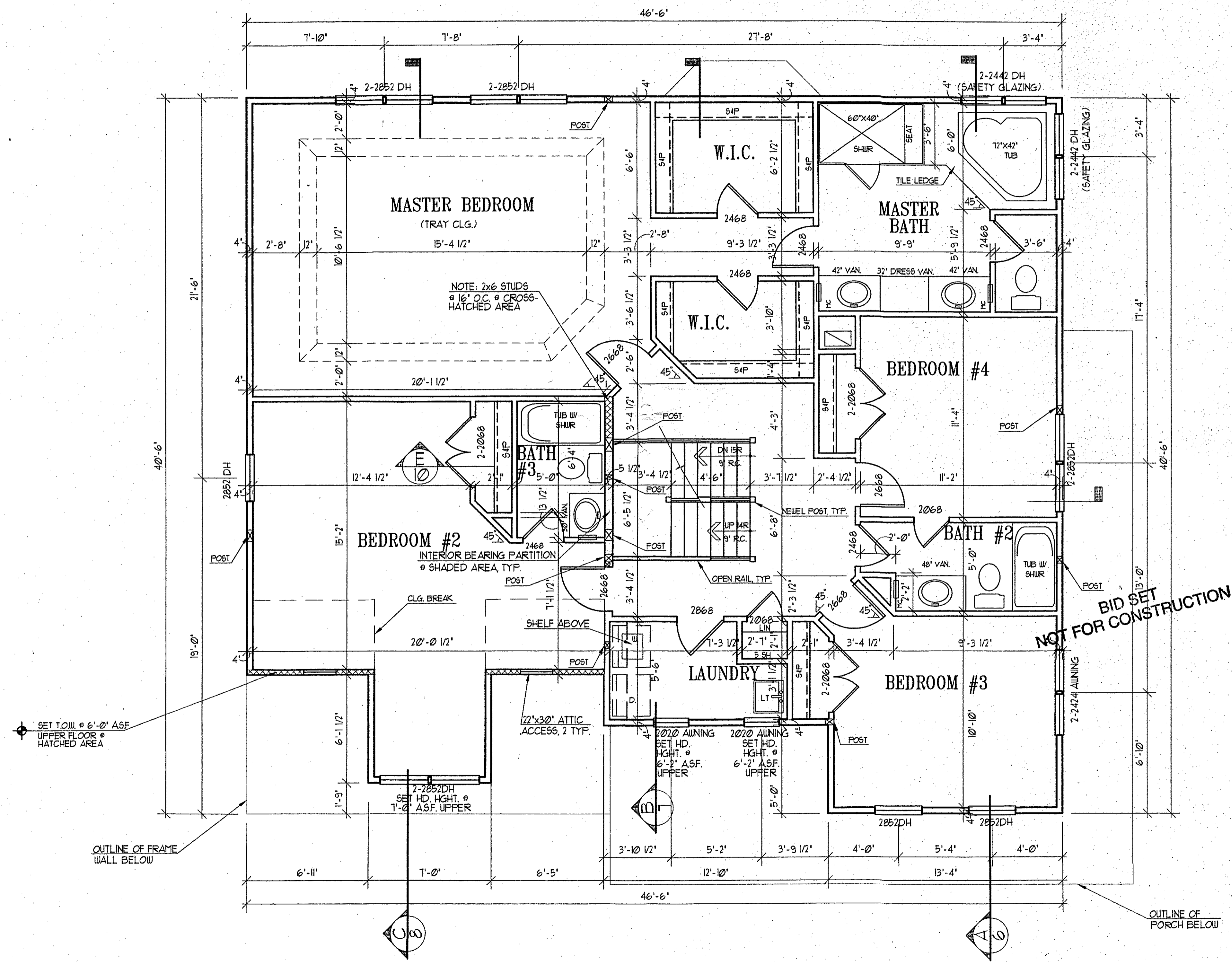
Date	P.S. 02/19/03 ACH

Project Number: 02207-04  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

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**4**

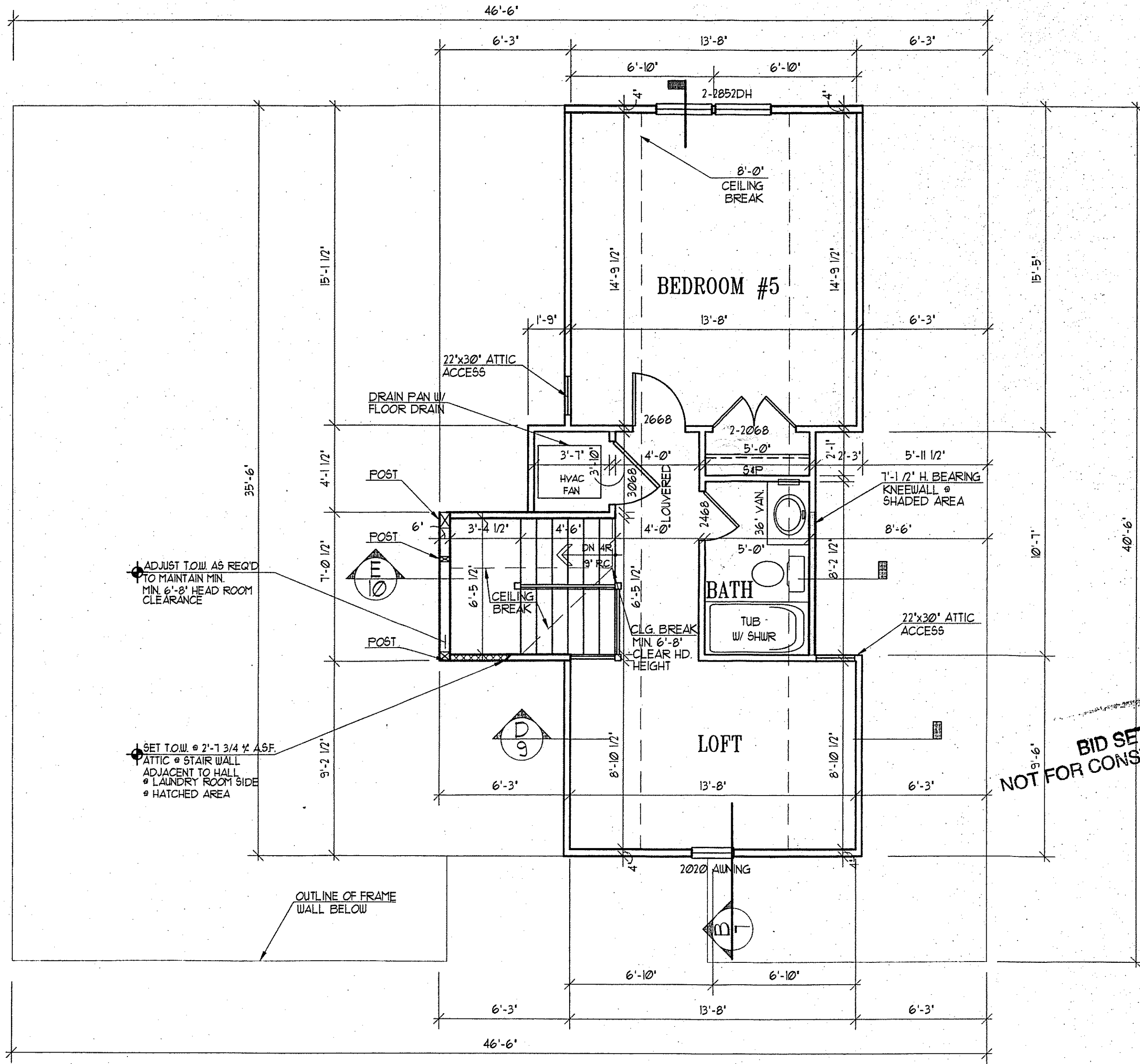


**UPPER FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" A.S.F.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/2"

1/4" = 1'-0"

**BID SET**  
**NOT FOR CONSTRUCTION**



**ATTIC FLOOR PLAN**

UNLESS OTHERWISE NOTED WINDOW HEAD HEIGHT SHALL BE 6'-8" A.S.F.  
 UNLESS OTHERWISE NOTED ALL UNDIMENSIONED PARTITIONS SHALL BE 3/2"

1/4" = 1'-0"

Date	P.S. 02/19/03 ACH

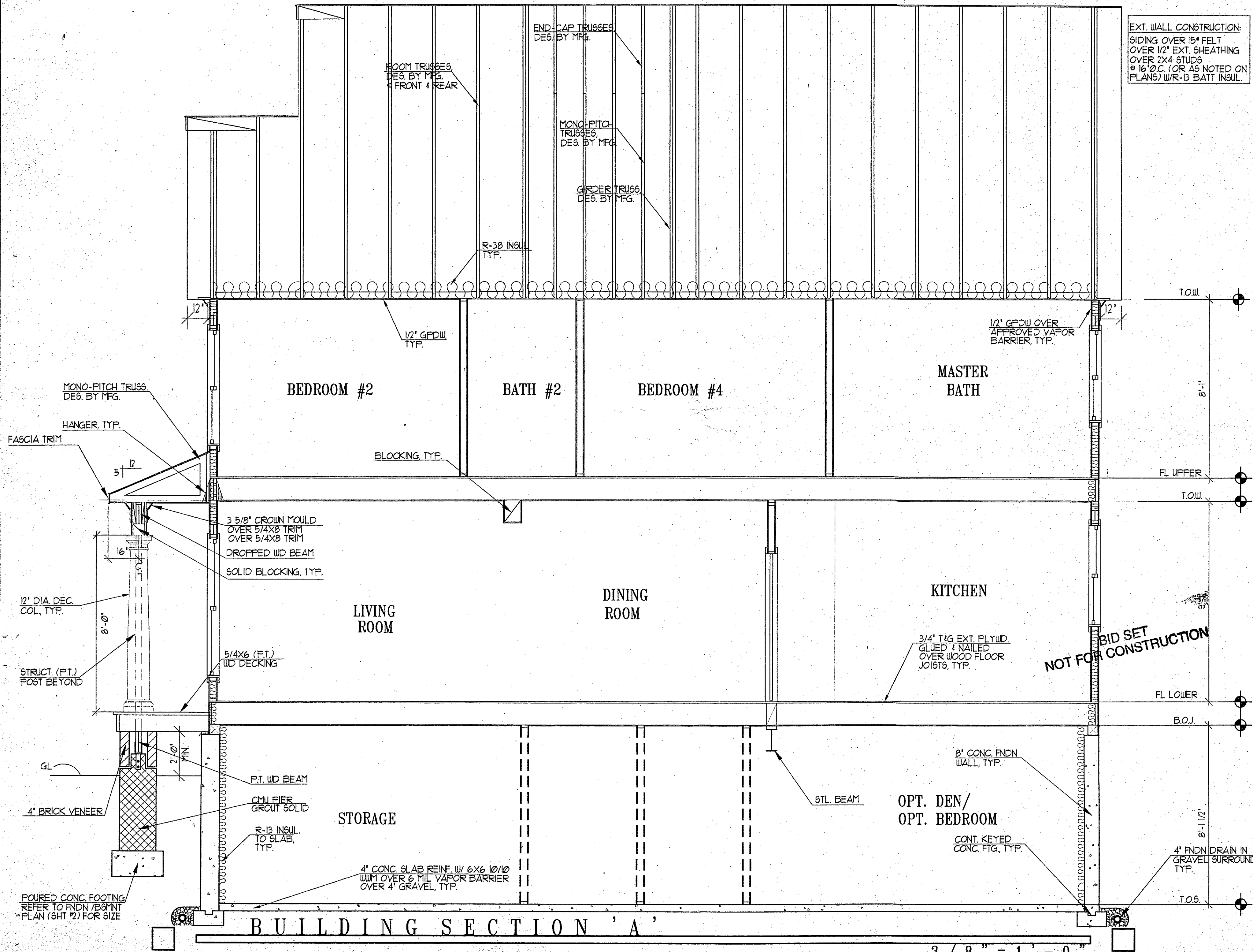
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**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**5**



**EXT. WALL CONSTRUCTION:**  
 SIDING OVER 15" FELT  
 OVER 1/2" EXT. SHEATHING  
 OVER 2X4 STUDS  
 @ 16" O.C. (OR AS NOTED ON  
 PLANS) W/R-13 BATT INSUL.

Date	P.S. 03/19/03 ACH

Project Number: 02207-06  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT # 17**

Architect:

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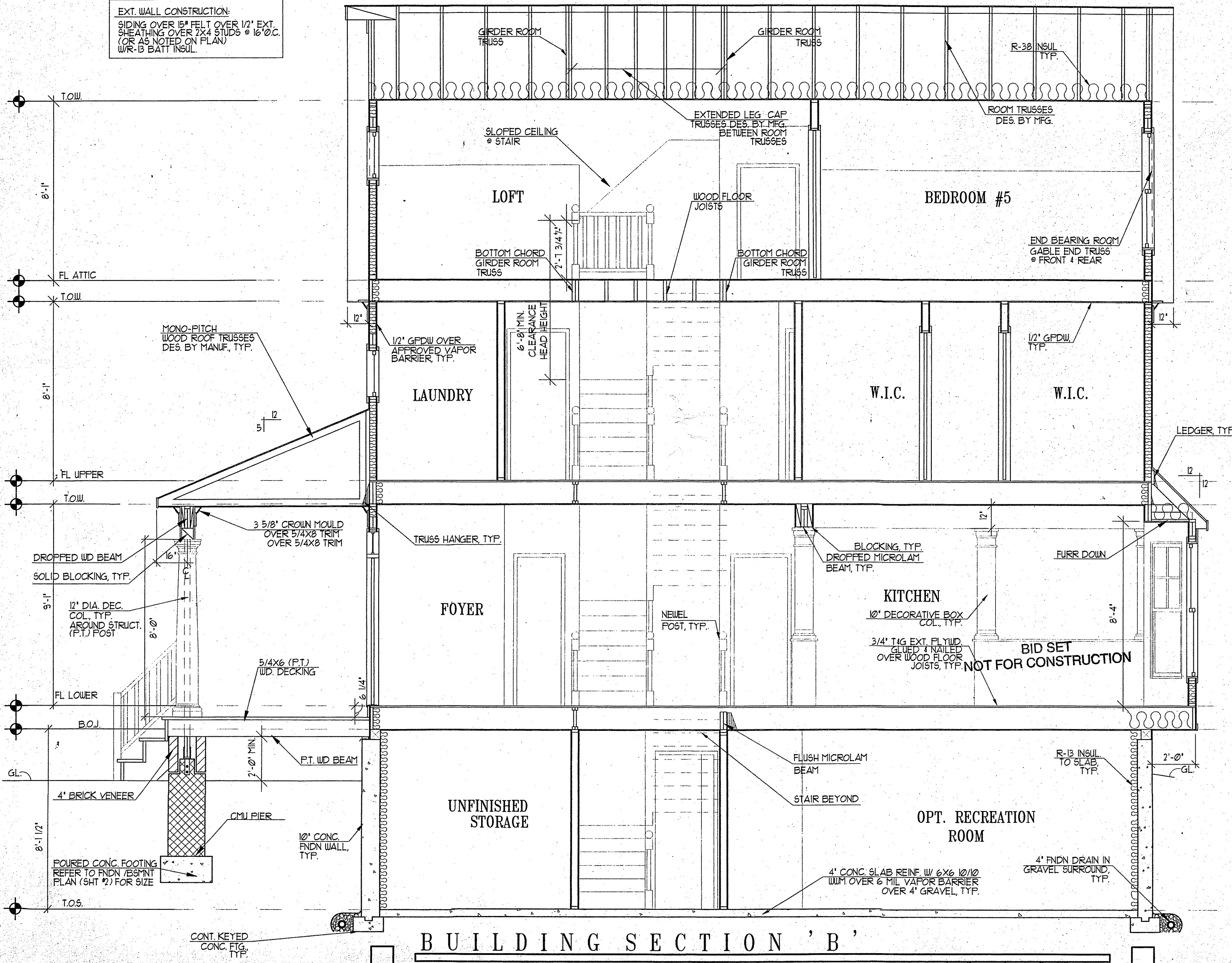
**NOT FOR CONSTRUCTION**

**BUILDING SECTION 'A'**

$3/8" = 1' - 0"$

Sheet Number **6**

EXT. WALL CONSTRUCTION:  
 SIDING OVER 1/2" FELT OVER 1/2" EXT.  
 SHEATHING OVER 2X4 STUDS @ 16" O.C.  
 (OR AS NOTED ON PLAN)  
 W/R-B BATT INSUL.



BUILDING SECTION 'B'

3/8" = 1'-0"

Date	P.S. 03/19/03 ACH
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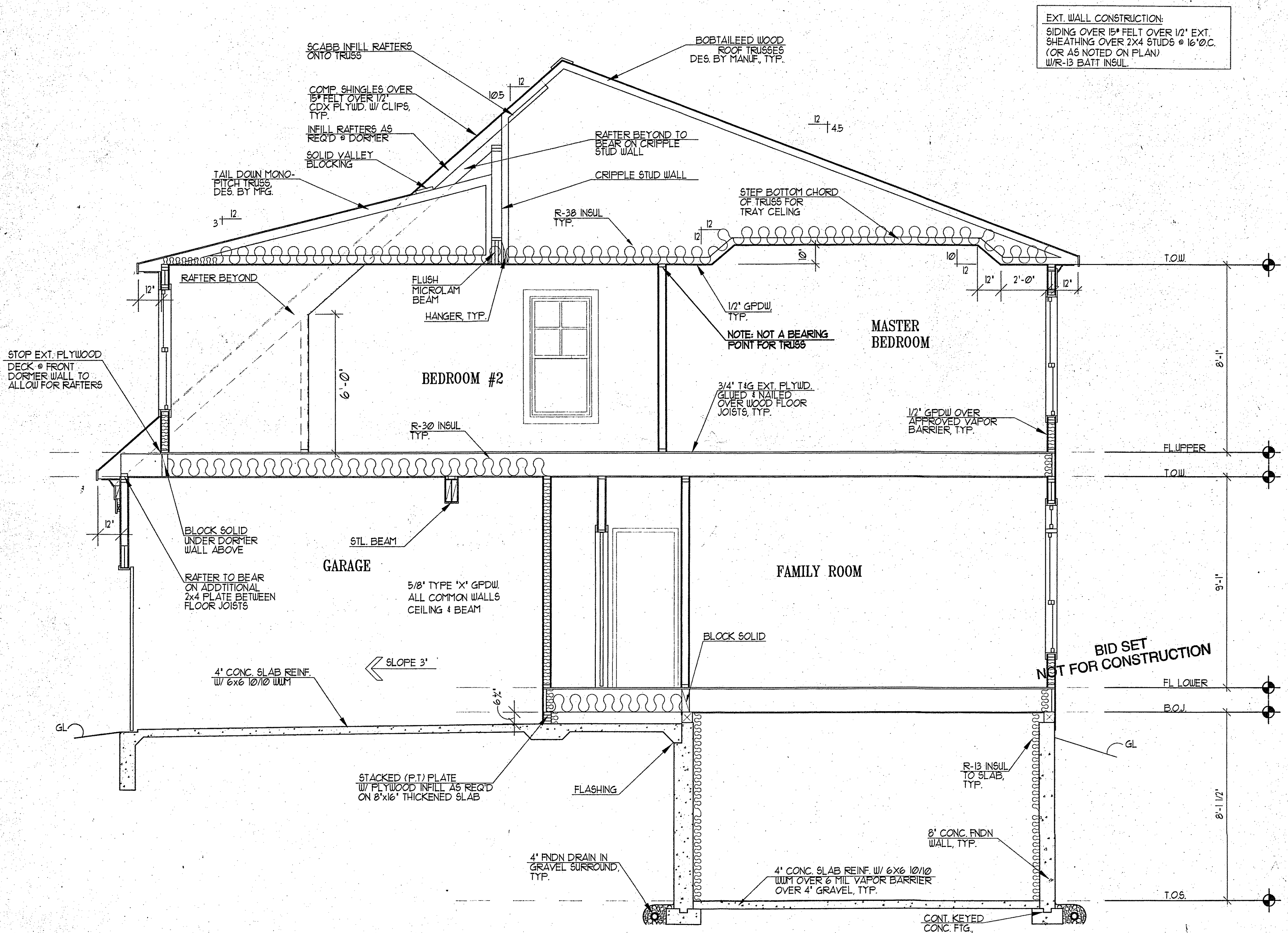
Project Number: 02207-07  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

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Sheet Number  
 7



EXT. WALL CONSTRUCTION:  
 SIDING OVER 1/2" FELT OVER 1/2" EXT.  
 SHEATHING OVER 2X4 STUDS @ 16" O.C.  
 (OR AS NOTED ON PLAN)  
 W/R-13 BATT INSUL.

Date	PS: 03/19/03 ACM
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Project Number: 02207-08  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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**BUILDING SECTION 'C'**

$3/8" = 1' - 0"$

Sheet Number  
**8**



Date	P.S. 03/19/03 ACM

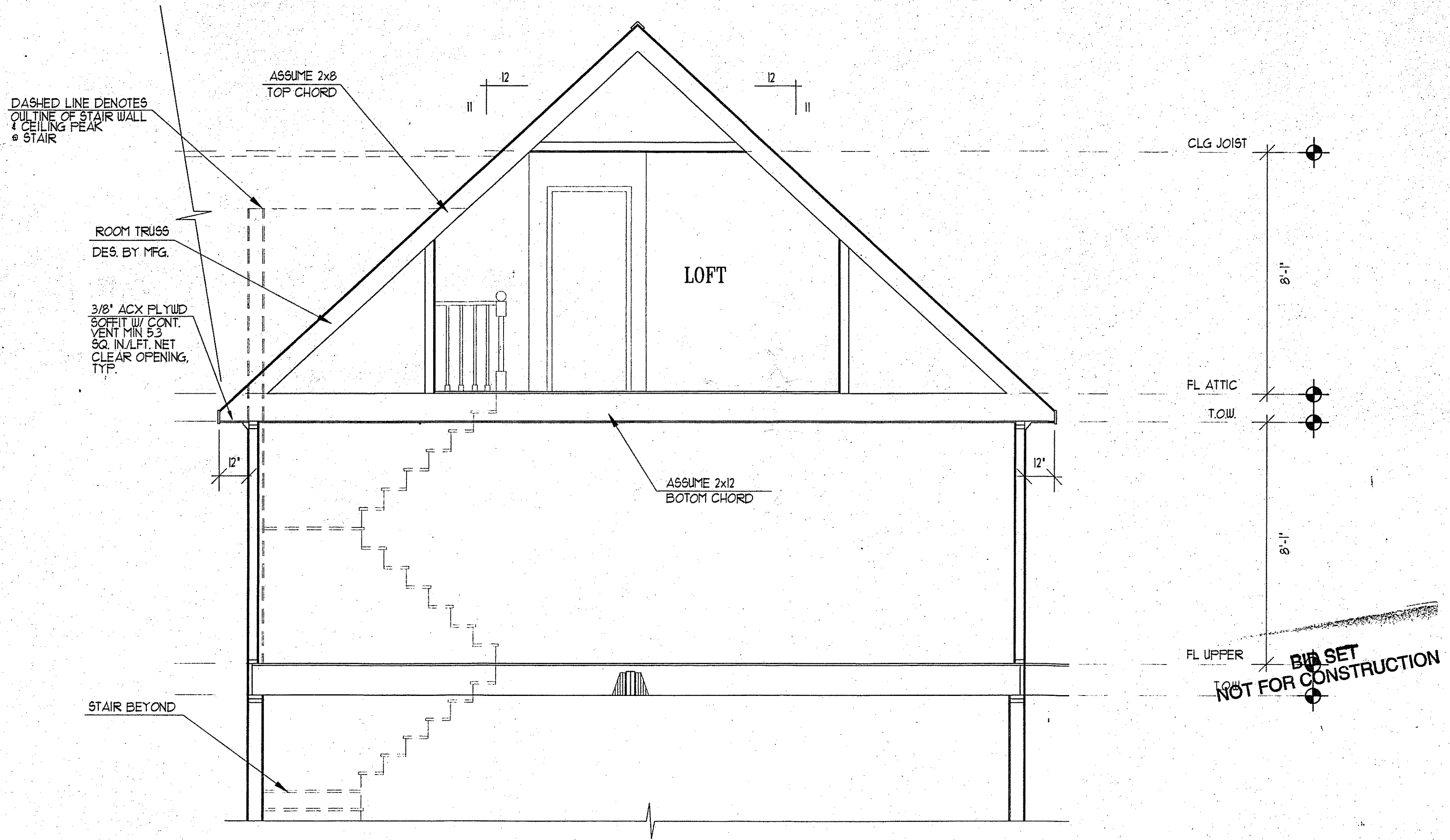
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**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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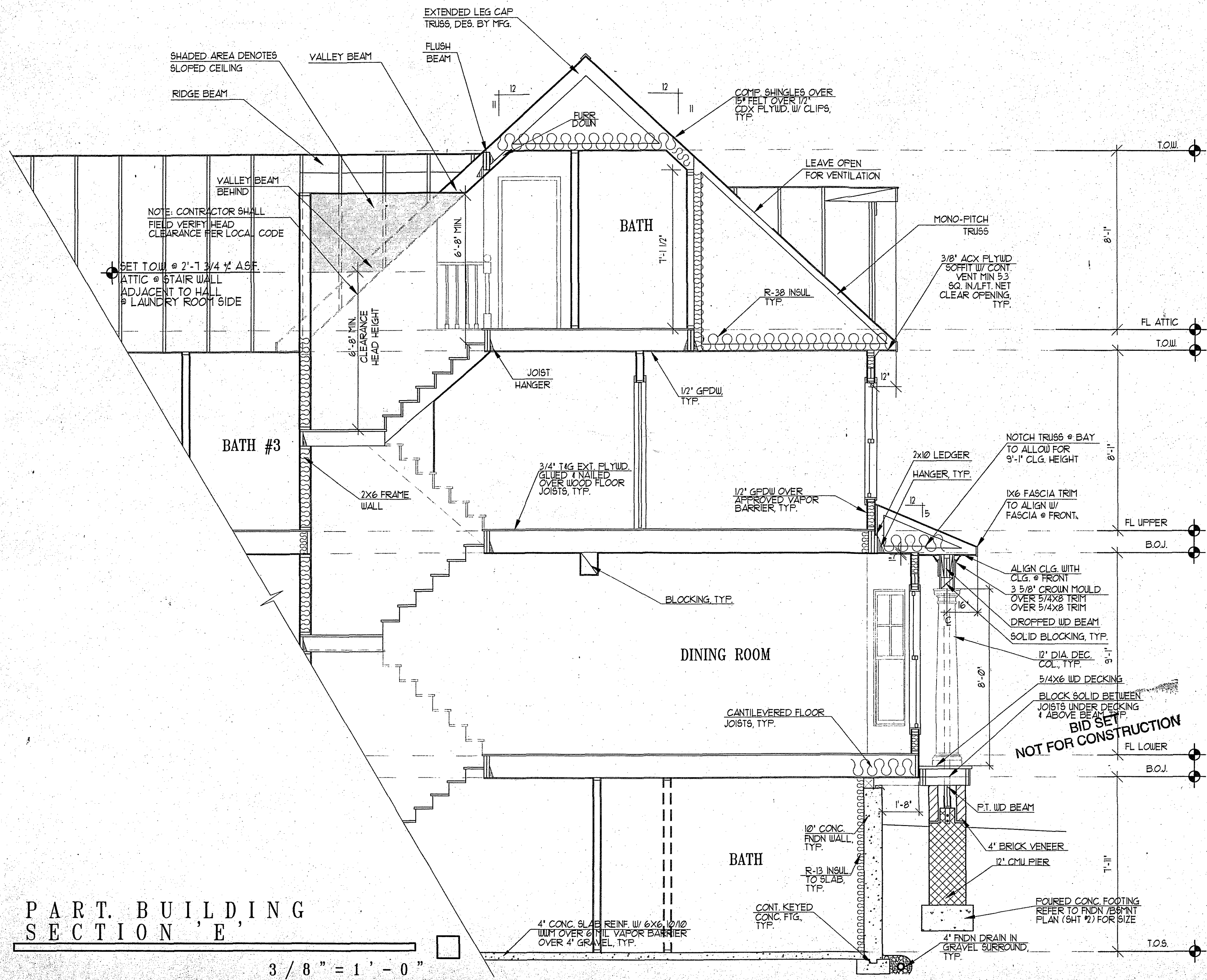
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Sheet Number  
**9**



PARTIAL BUILDING SECTION DIAGRAM 'D'

$3/8" = 1' - 0"$



NOTE: CONTRACTOR SHALL FIELD VERIFY HEAD CLEARANCE PER LOCAL CODE

SET T.O.W. @ 2'-1 3/4" AS.F.  
ATTIC @ STAIR WALL ADJACENT TO HALL @ LAUNDRY ROOM SIDE

SHADED AREA DENOTES SLOPED CEILING

VALLEY BEAM

EXTENDED LEG CAP TRUSS, DES. BY MFG.

FLUSH BEAM

COMP. SHINGLES OVER 15" FELT OVER 1/2" CDX FLYWD. W/ CLIPS, TYP.

FURR DOWN

LEAVE OPEN FOR VENTILATION

BATH

MONO-PITCH TRUSS

3/8" ACX FLYWD SOFFIT W/ CONT. VENT MIN 5.3 SQ. IN./FT. NET CLEAR OPENING, TYP.

R-38 INSUL. TYP.

T.O.W.

FL ATTIC

T.O.W.

BATH #3

JOIST HANGER

1/2" GPDW, TYP.

6'-8" MIN. CLEARANCE HEAD HEIGHT

2X6 FRAME WALL

3/4" T&G EXT. FLYWD. GLUED & NAILED OVER WOOD FLOOR JOISTS, TYP.

1/2" GPDW OVER APPROVED VAPOR BARRIER, TYP.

NOTCH TRUSS @ BAY TO ALLOW FOR 9'-1" CLG. HEIGHT

2X10 LEDGER HANGER, TYP.

1X6 FASCIA TRIM TO ALIGN W/ FASCIA @ FRONT.

FL ATTIC

T.O.W.

FL UPPER

B.O.J.

BLOCKING, TYP.

DINING ROOM

ALIGN CLG. WITH CLG. @ FRONT

3 5/8" CROWN MOULD OVER 5/4X8 TRIM OVER 5/4X8 TRIM

DROPPED WD BEAM SOLID BLOCKING, TYP.

12" DIA. DEC. COL., TYP.

5/4X6 WD DECKING

BLOCK SOLID BETWEEN JOISTS UNDER DECKING & ABOVE BEAM, TYP.

12" DIA. DEC. COL., TYP.

CANTILEVERED FLOOR JOISTS, TYP.

5/4X6 WD DECKING

BLOCK SOLID BETWEEN JOISTS UNDER DECKING & ABOVE BEAM, TYP.

12" DIA. DEC. COL., TYP.

5/4X6 WD DECKING

BLOCK SOLID BETWEEN JOISTS UNDER DECKING & ABOVE BEAM, TYP.

12" DIA. DEC. COL., TYP.

BATH

10" CONC. FNDN WALL, TYP.

R-13 INSUL. TO SLAB, TYP.

P.T. WD BEAM

4" BRICK VENEER

12" CMU PIER

POURED CONC. FOOTING REFER TO FNDN / BSMT PLAN (SHT #2) FOR SIZE

4" FNDN DRAIN IN GRAVEL SURROUND, TYP.

CONT. KEYED CONC. FTG., TYP.

4" CONC. SLAB REINF. W/ 6X6, 10/10 W/M OVER 2" MIL VAPOR BARRIER OVER 4" GRAVEL, TYP.

FL LOWER

B.O.J.

FL LOWER

B.O.J.

T.O.S.

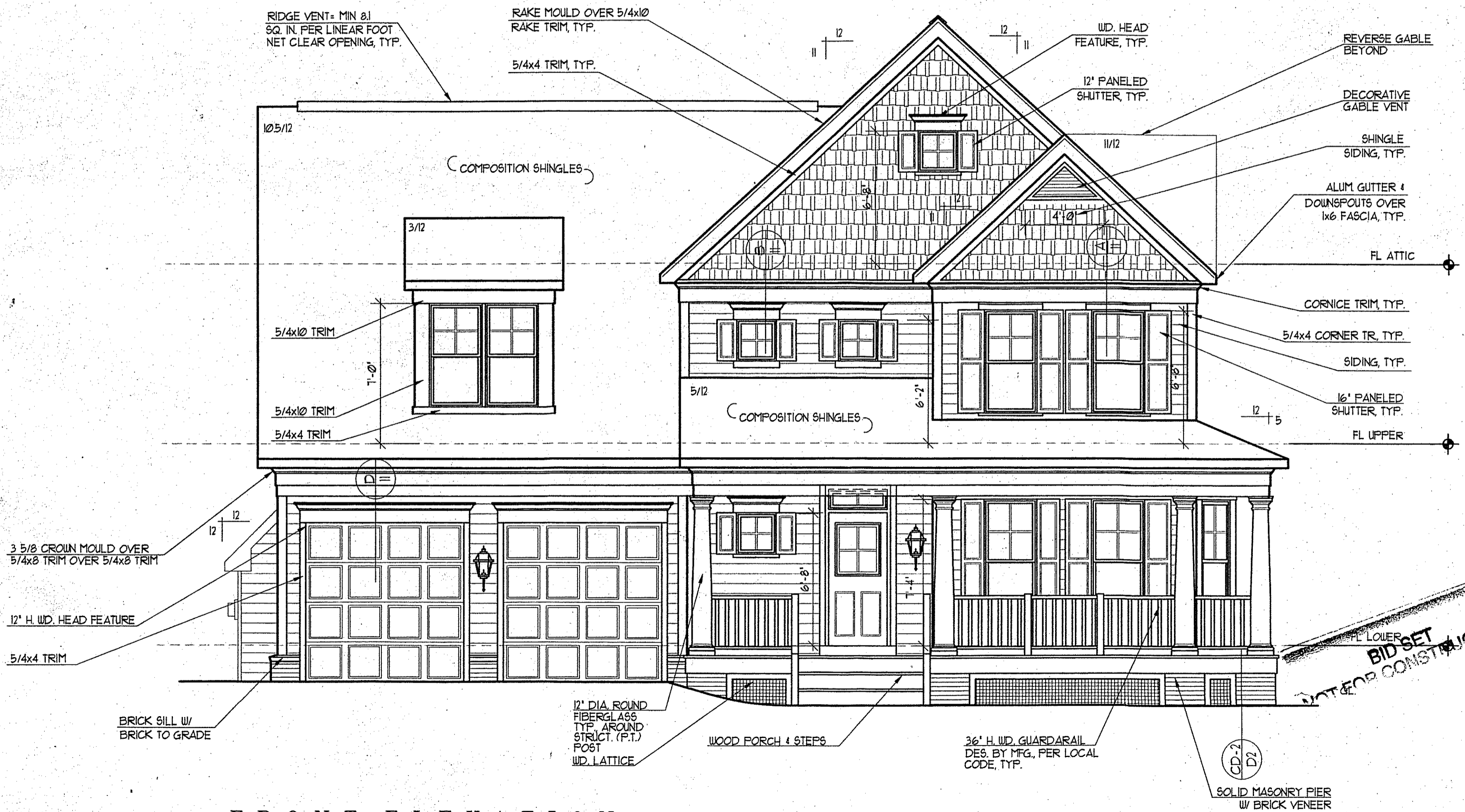
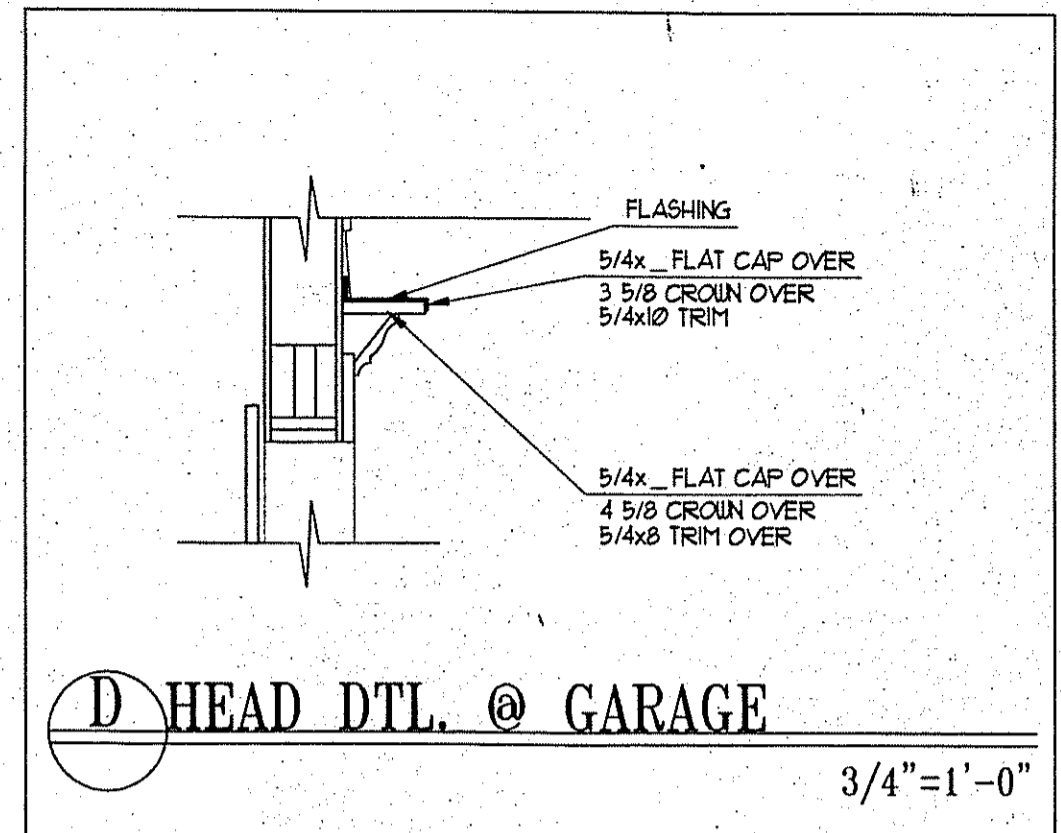
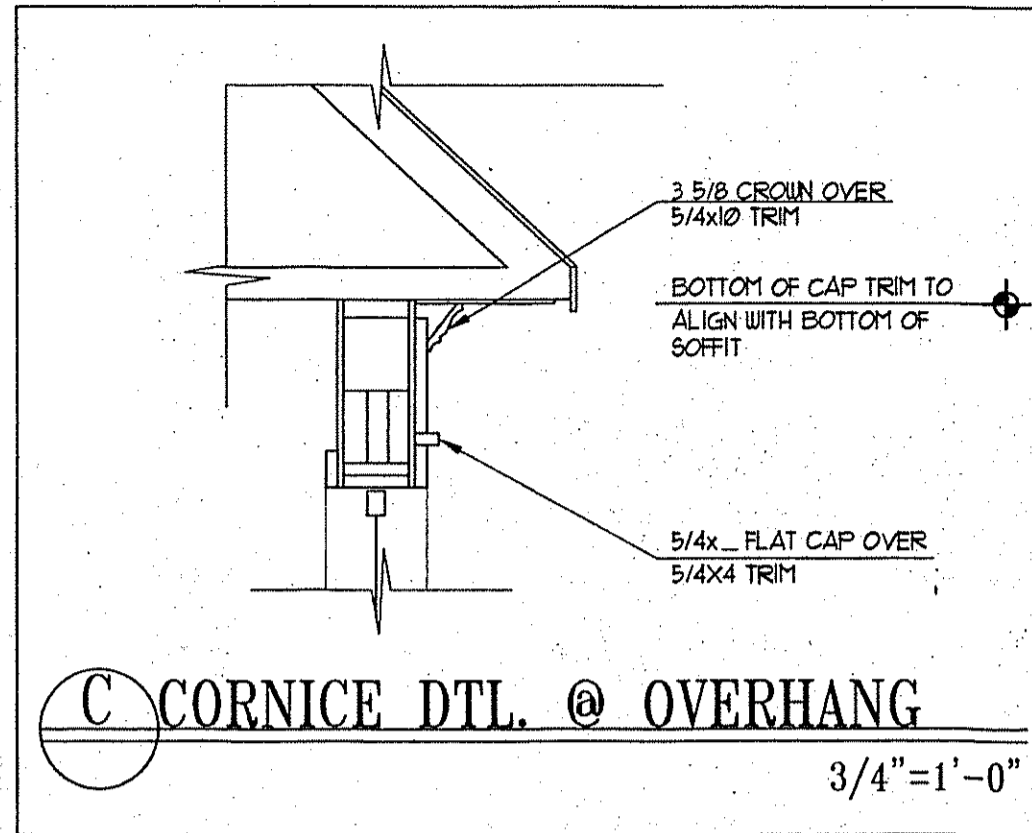
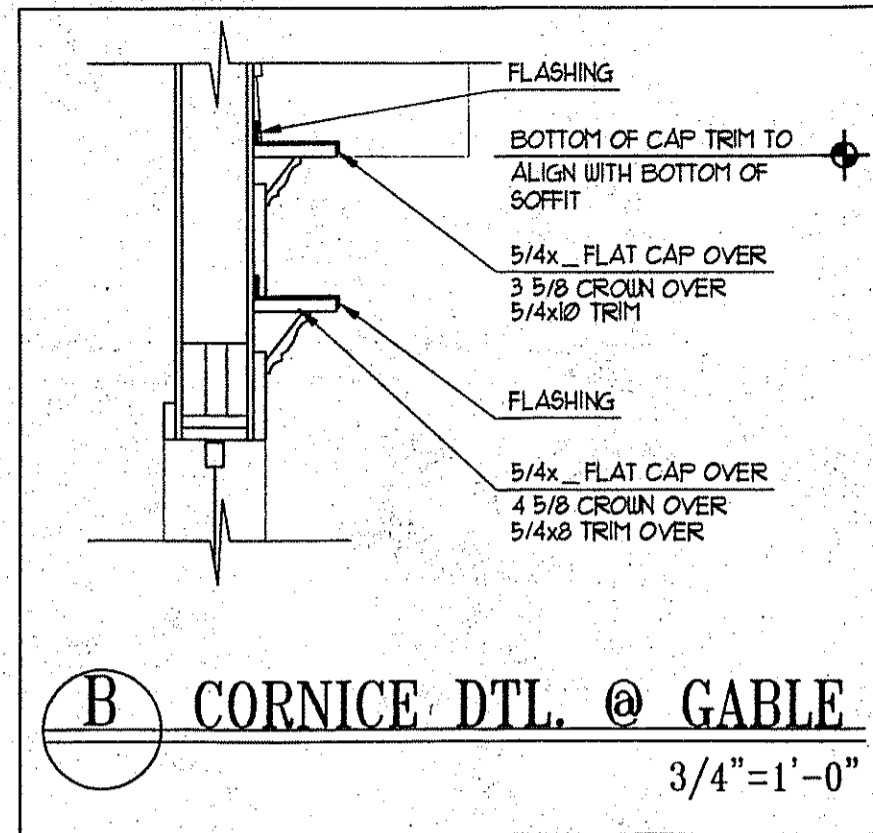
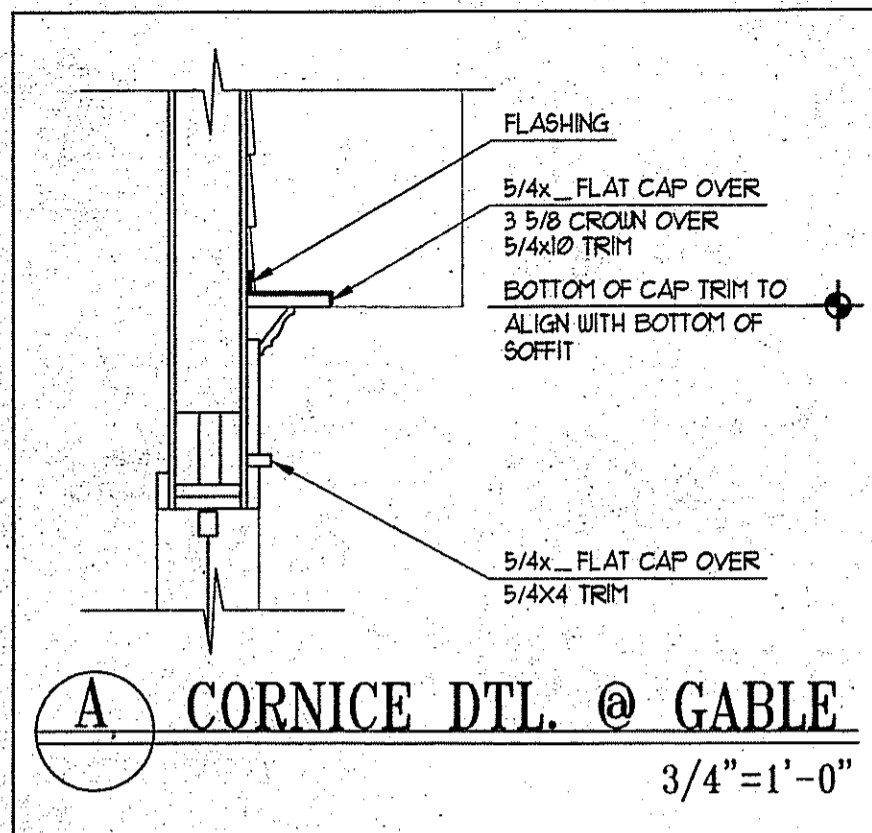
PART. BUILDING SECTION 'E'

3/8" = 1' - 0"

Project Number: 02207-10  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

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**FRONT ELEVATION**

1/4" = 1'-0"

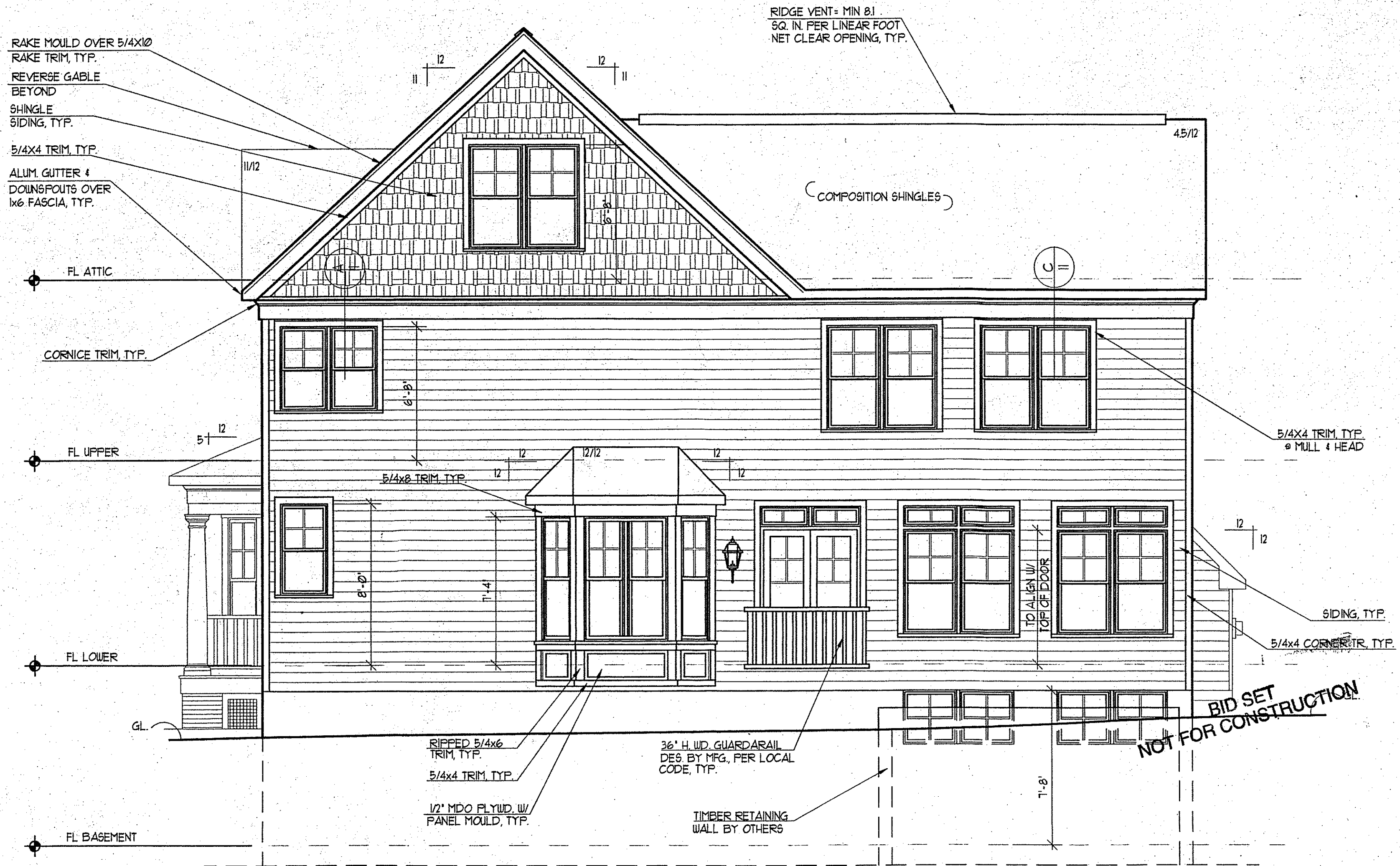
Date	12/19/03
PS	02/19/03
ACH	

Project Number: 02207-11  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**11**



REAR ELEVATION

1 / 4" = 1' - 0"

Date	P.S. 03/19/03 AM

Project Number: 02207-12  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**12**

Date	P.S. 03/19/03 ACH

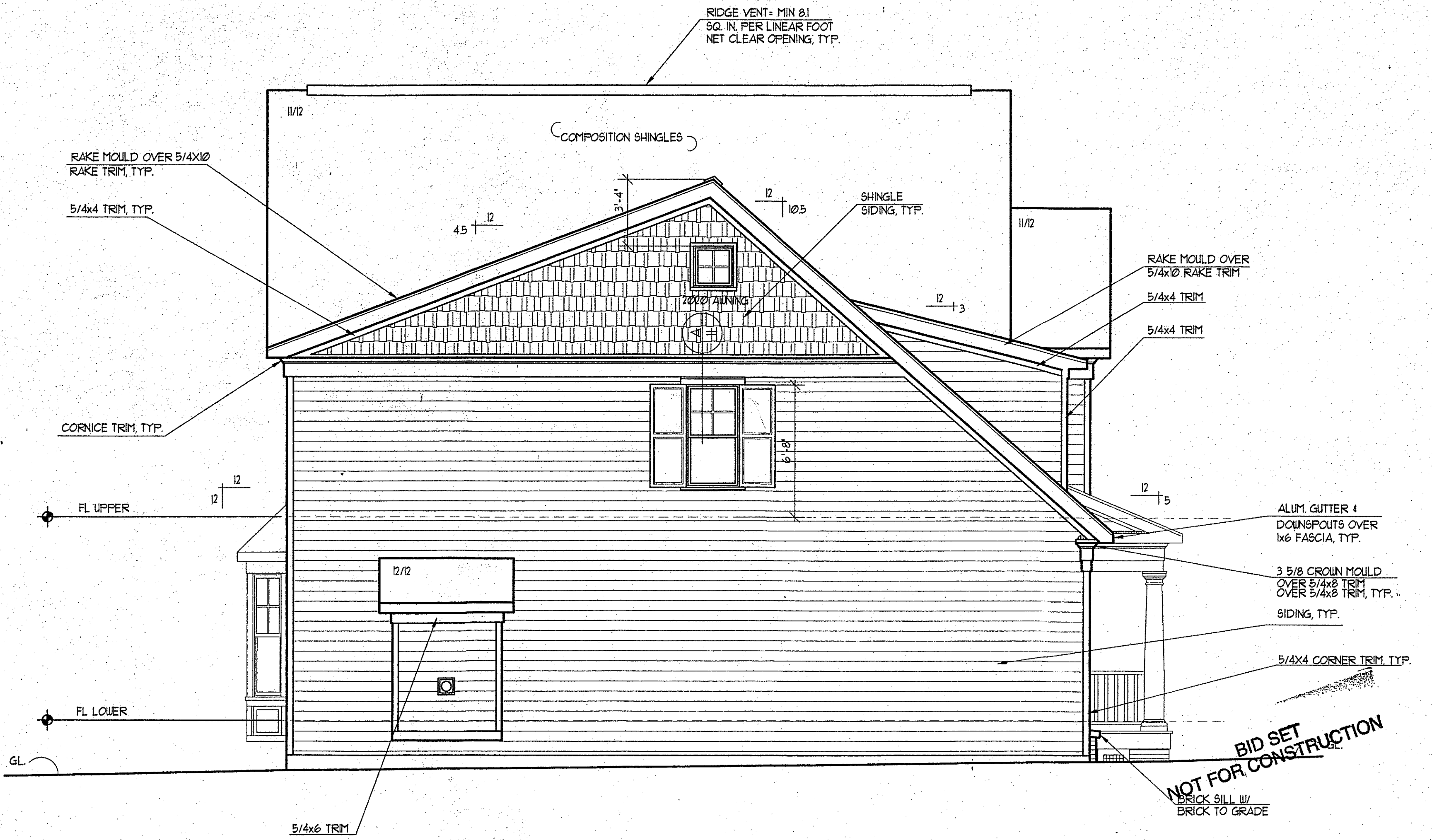
Project Number: 02207-13  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**

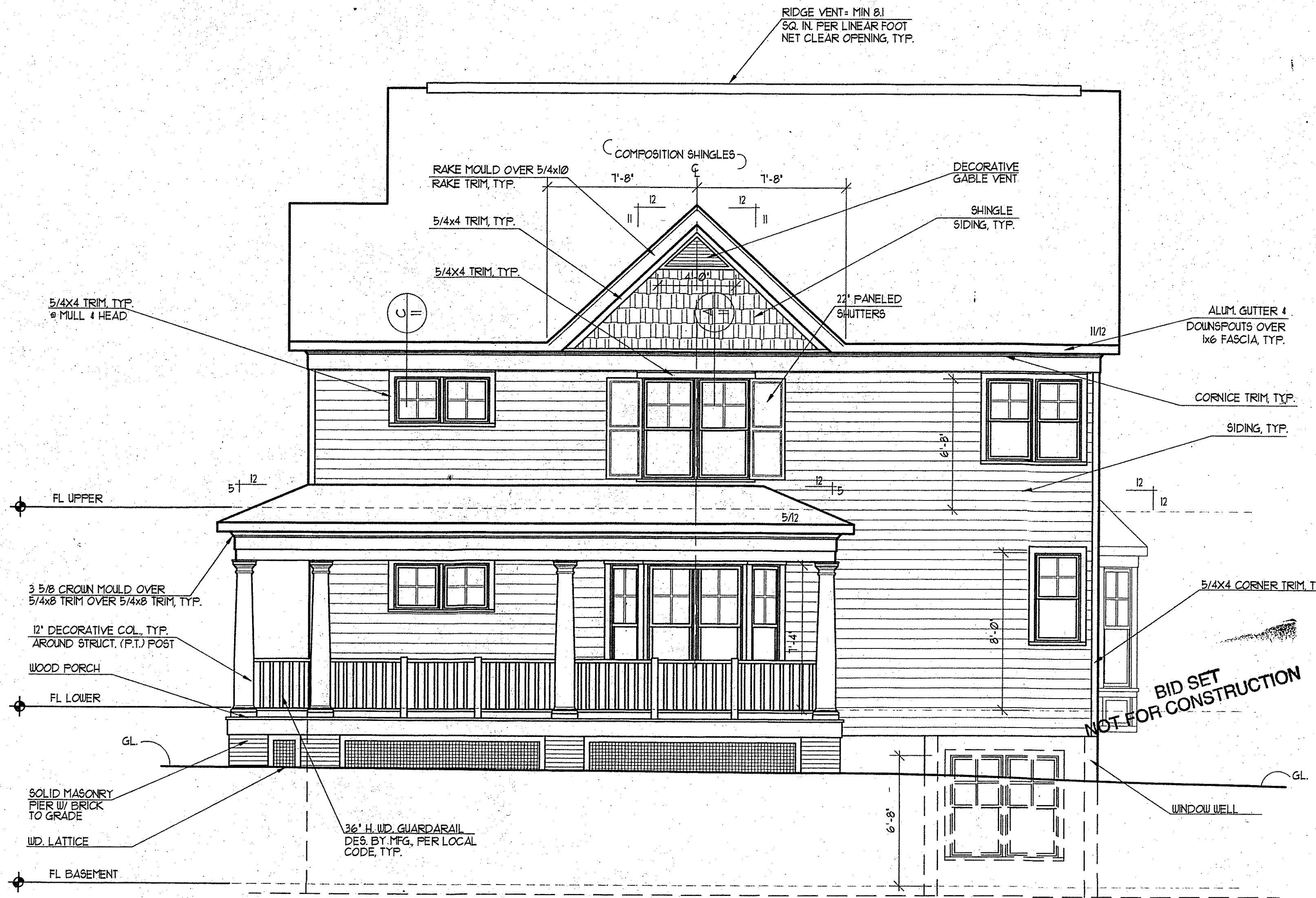
1952 Gallows Rd. Tel: 703.734.0733  
 Vienna, VA 22182 Fax: 703.847.0171  
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Sheet Number  
**13**



LEFT SIDE ELEVATION

1 / 4" = 1' - 0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"

Date	P.S. 03/19/09 ACM

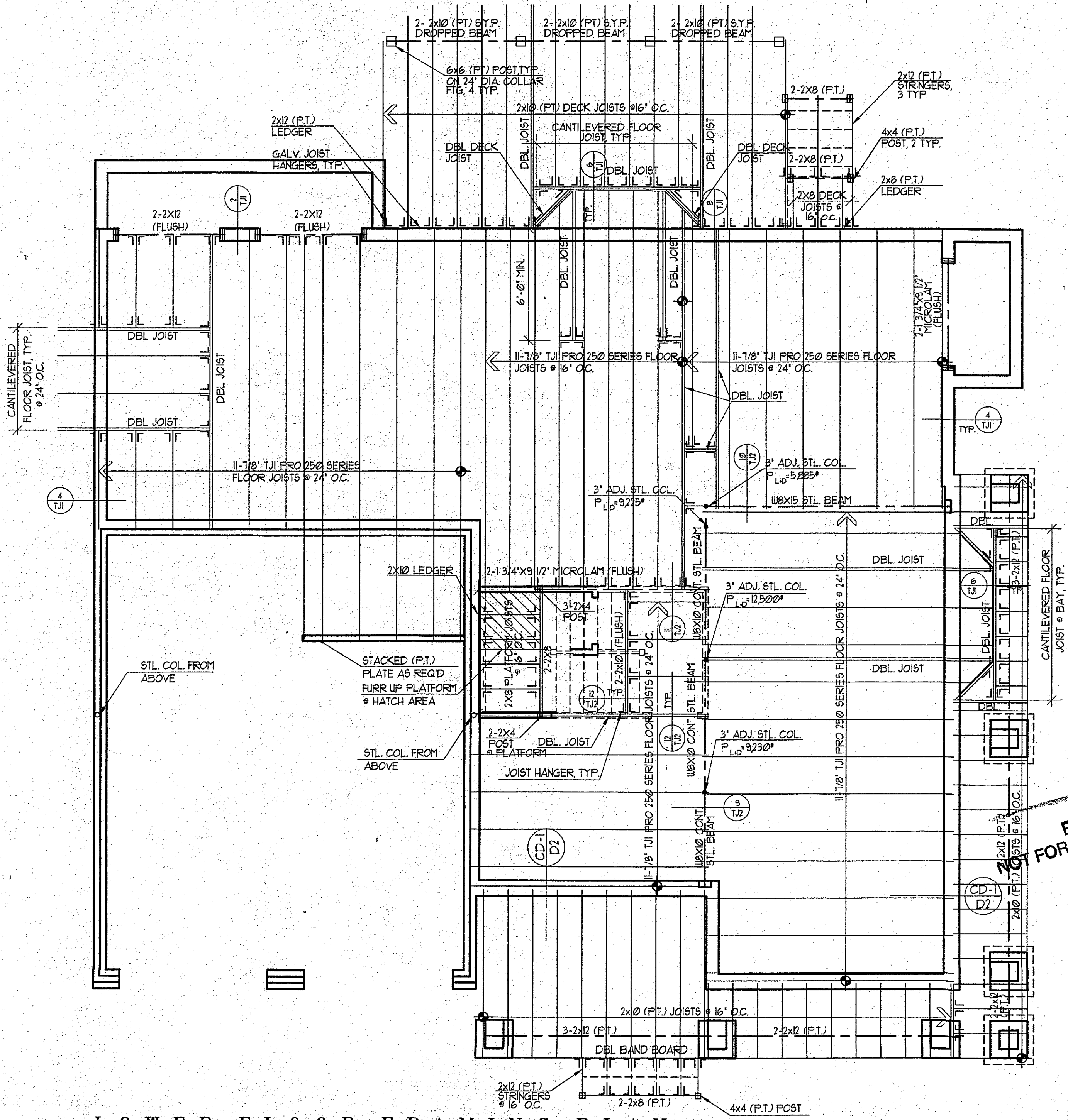
Project Number: 02207-14  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

**SUTTON YANTIS ASSOCIATES ARCHITECTS**  
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 Vienna, VA 22182 Fax 703.847.9171  
 www.syaa.com

Sheet Number  
**14**

**BID SET  
 NOT FOR CONSTRUCTION**



DESIGN DATA:

FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 PSF
ALL OTHER AREAS:	40 PSF
DEAD LOAD:	10 PSF

**ADJUSTABLE STEEL COLUMNS**

THE FOLLOWING ARE APPROVED 11 GAUGE ADJUSTABLE STEEL COLUMNS FOR USE AS SPECIFIED AS 'ADJ. STL. COL.' IN THESE CONSTRUCTION DRAWINGS:

- 1) TAPCO - MONOFPOST  
BOCA RESEARCH REPORT #98-60
- 2) AFCO - 'ZIP IT'S UP'  
BOCA RESEARCH REPORT #21-31
- 3) CARDINAL - TEL-O-POST  
BOCA RESEARCH REPORT #108

NOTE: REPORT NUMBERS LISTED REFER TO BOCA EVALUATION SERVICES, INC. RESEARCH REPORTS.

Date	PS 03/19/03 ACH

Project Number: 02207-15

**MERIDIAN HOMES**

**FIRST AVENUE**

**LOT #17**

Architect

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**BID SET FOR CONSTRUCTION**

**LOWER FLOOR FRAMING PLAN**

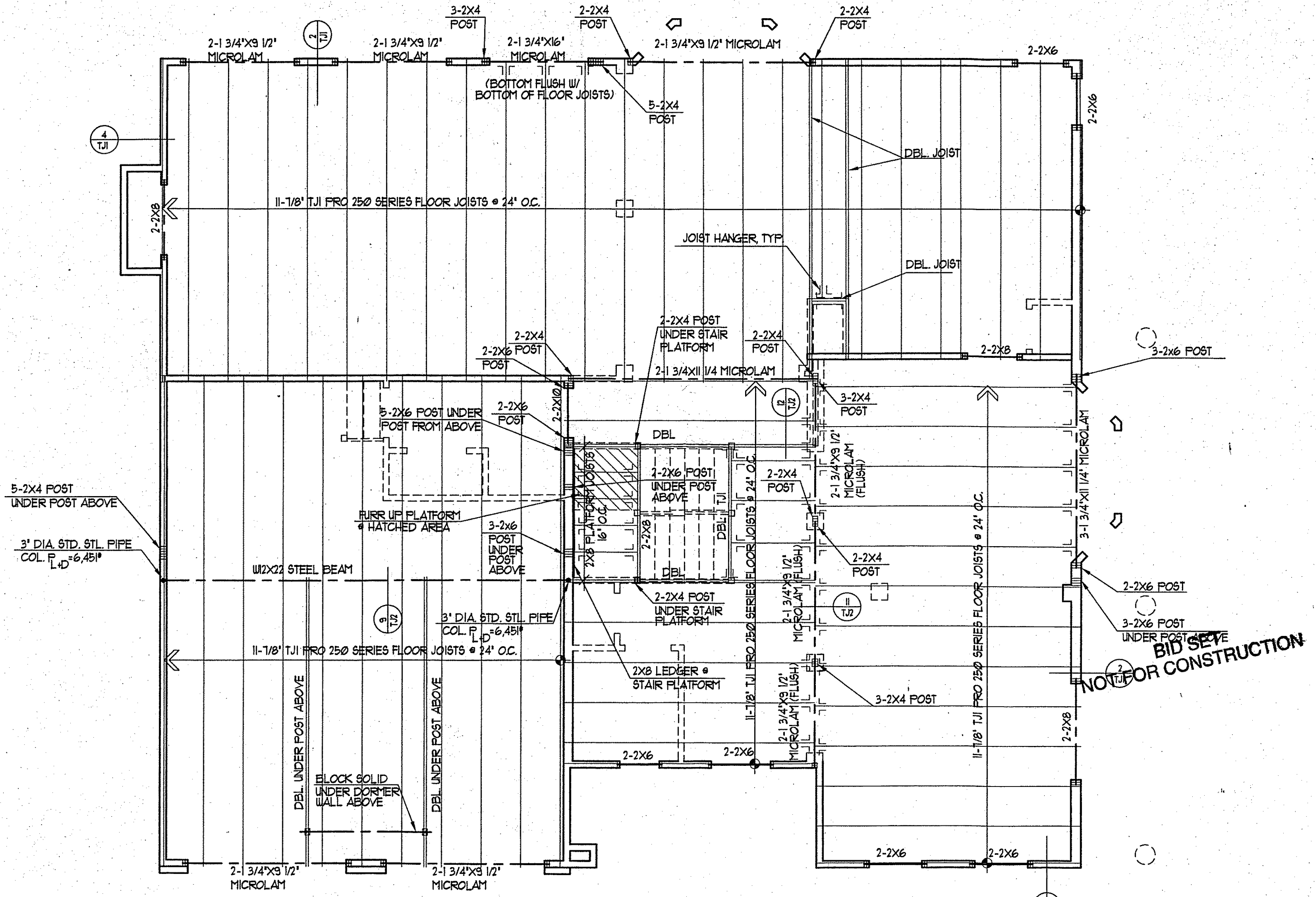
1/4" = 1' - 0"

Sheet Number

**15**

DESIGN DATA:	
FLOOR:	
LIVE LOAD:	
SLEEPING ROOMS:	30 PSF
ALL OTHER AREAS:	40 PSF
DEAD LOAD:	10 PSF

Date	PS 03/19/03 ACH



UPPER FLOOR FRAMING PLAN

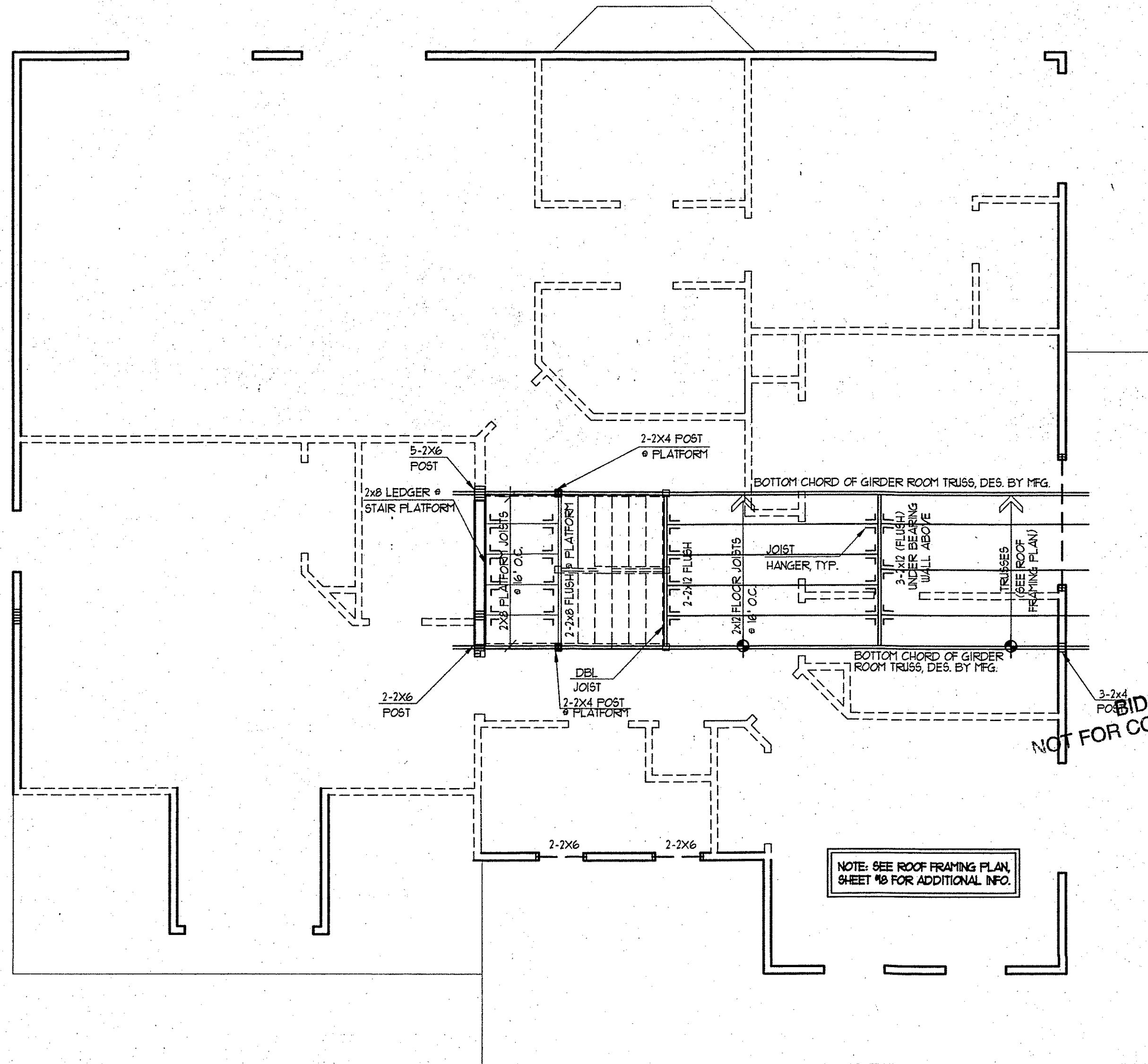
1/4" = 1' - 0"

Project Number: 022071-16  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

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DESIGN DATA:	
ROOF:	
TRUSSES:	
LIVE LOAD:	30 PSF
DEAD LOAD:	
TOP CHORD:	7 PSF
BOTTOM CHORD:	10 PSF
TOTAL:	47 PSF
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 PSF



**BID SET  
NOT FOR CONSTRUCTION**

ATTIC FLOOR FRAMING PLAN

1/4" = 1' - 0"

Date	PS 03/15/03 AZH

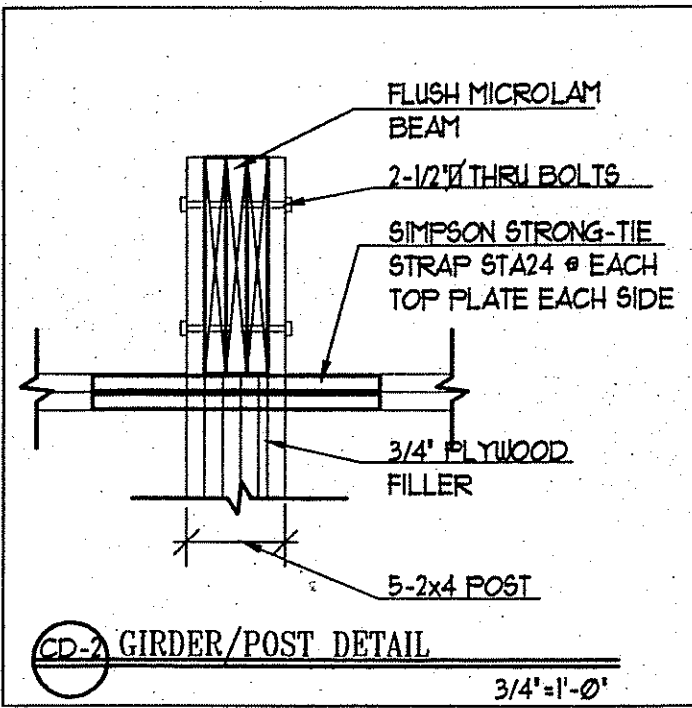
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**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

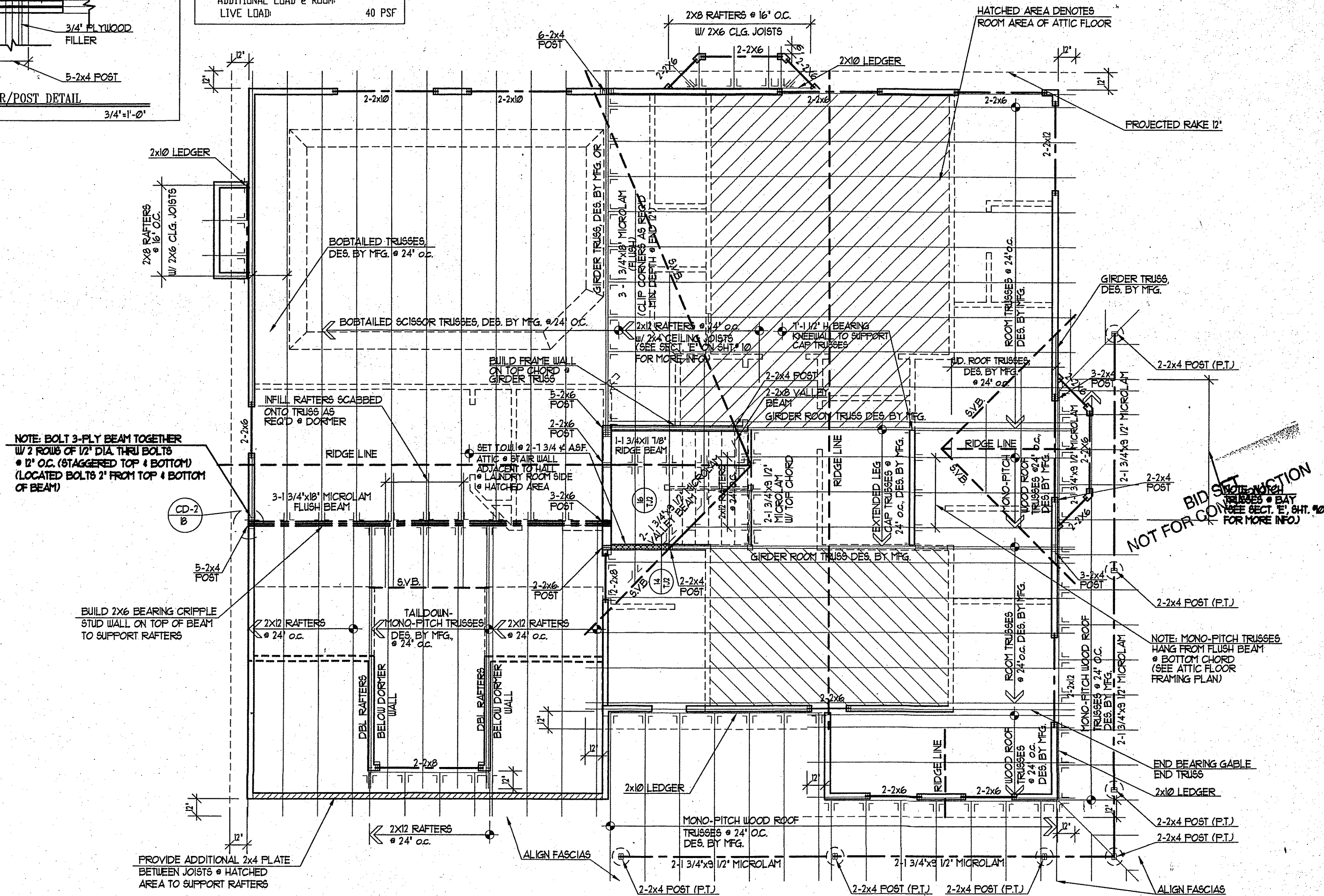
**SUTTON  
YANTIS  
ASSOCIATES  
ARCHITECTS**

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 Vienna, VA 22182  
 Tel: 703.794.9733  
 Fax: 703.647.9171  
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Sheet Number  
**17**



DESIGN DATA:	
ROOF:	
TRUSSES:	
LIVE LOAD:	30 PSF
DEAD LOAD:	7 PSF
TOP CHORD:	10 PSF
BOTTOM CHORD:	10 PSF
TOTAL:	47 PSF
ROOM TRUSSES:	
ADDITIONAL LOAD @ ROOM:	
LIVE LOAD:	40 PSF



NOTE: BOLT 3-PLY BEAM TOGETHER W/ 2 ROWS OF 1/2" DIA. THRU BOLTS @ 12" O.C. (STAGGERED TOP & BOTTOM) (LOCATED BOLTS 2" FROM TOP & BOTTOM OF BEAM)

BID SET NOT FOR CONSTRUCTION

ROOF FRAMING PLAN

1/4" = 1' - 0"

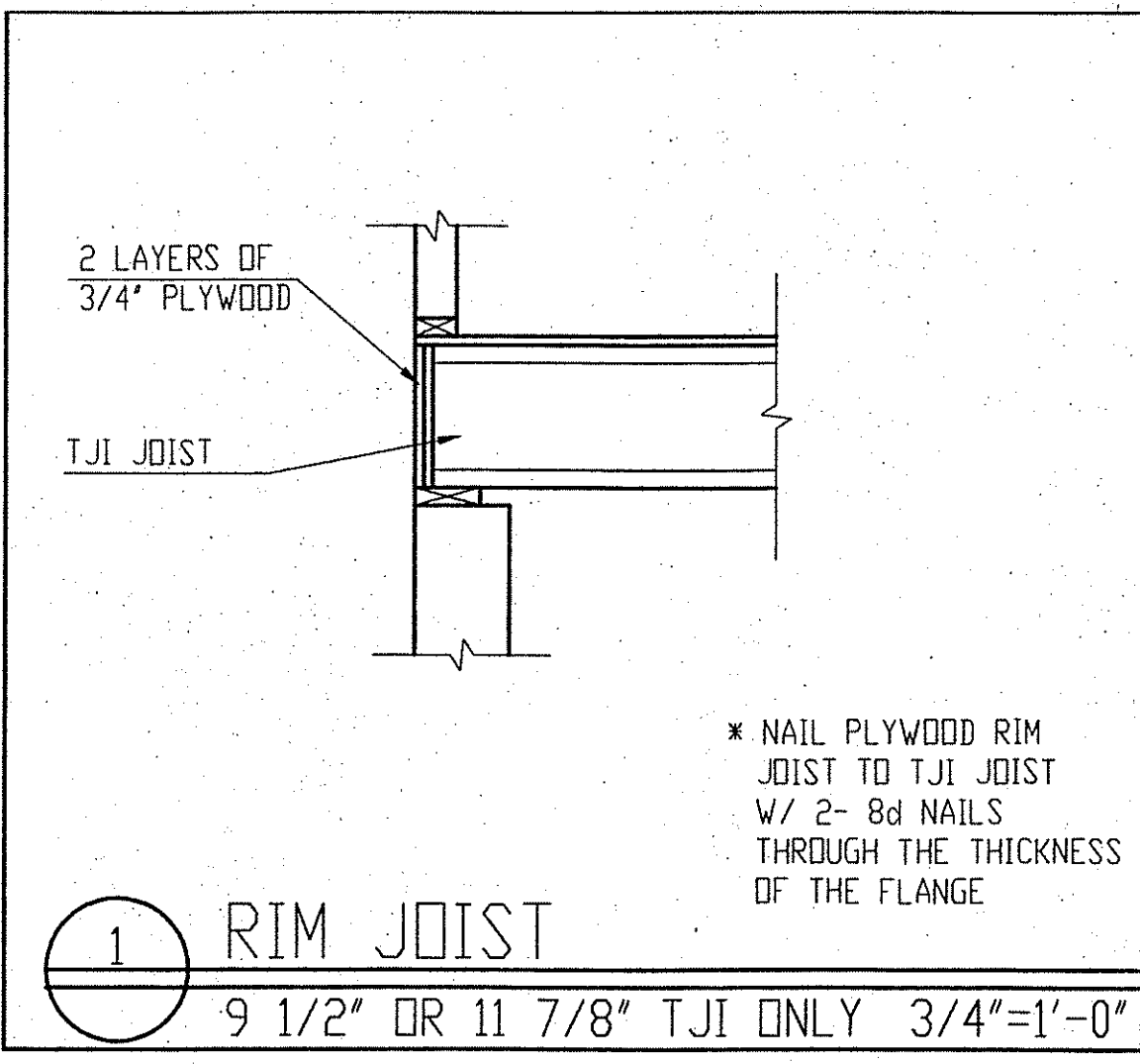
Date	PS 03/19/03 ACM
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Project Number: 02207-18  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

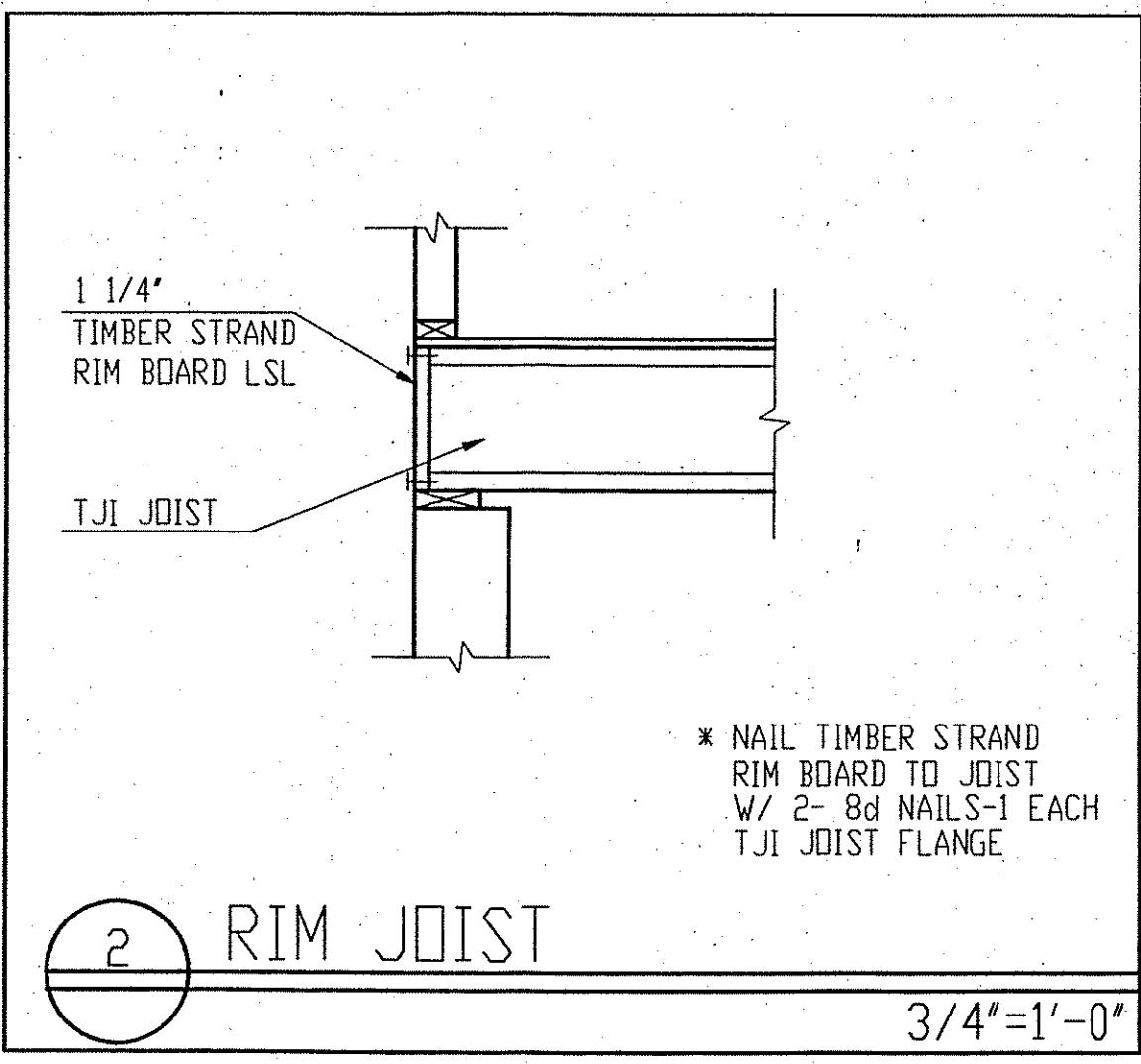
Architect

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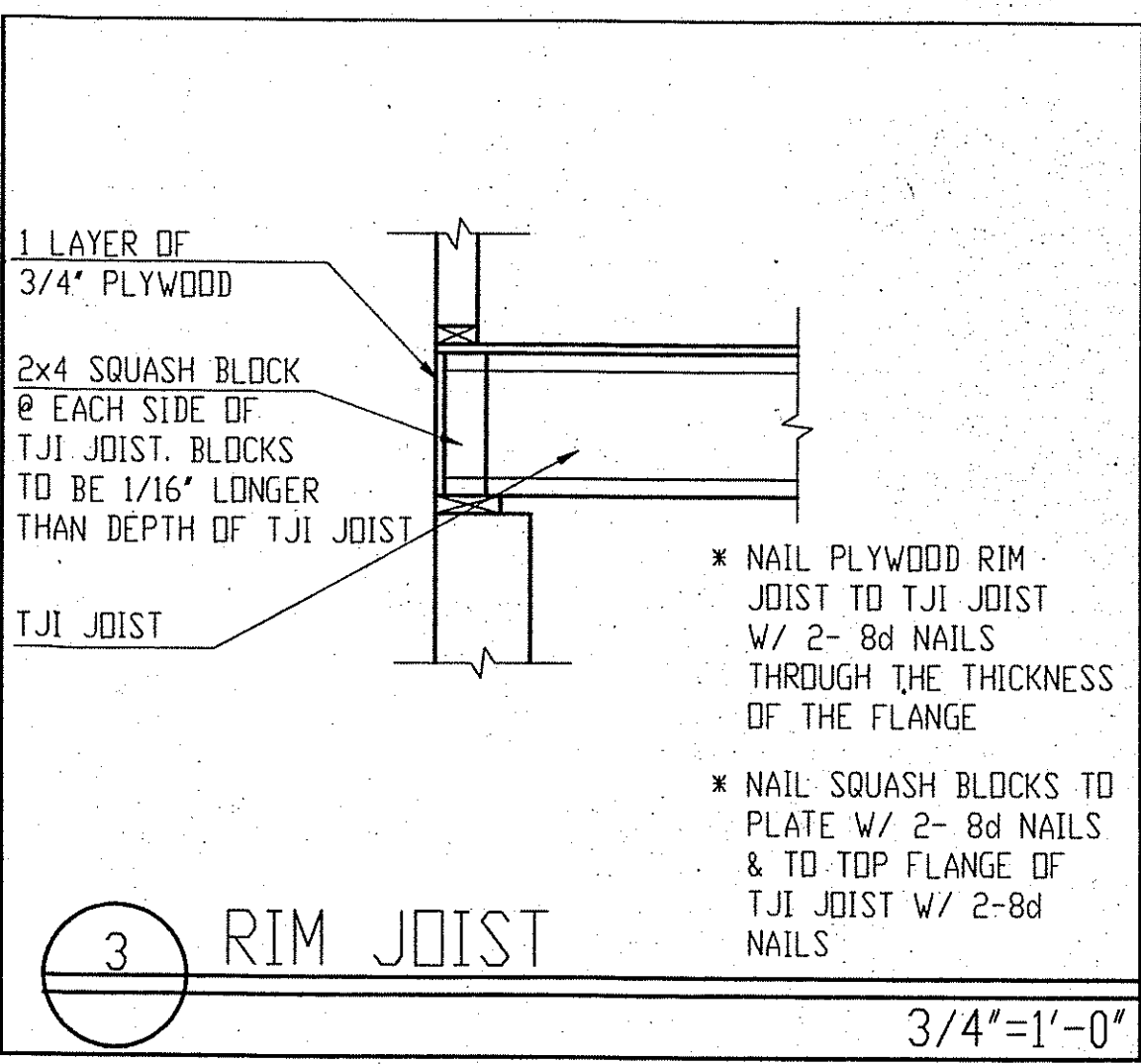
Sheet Number  
**18**



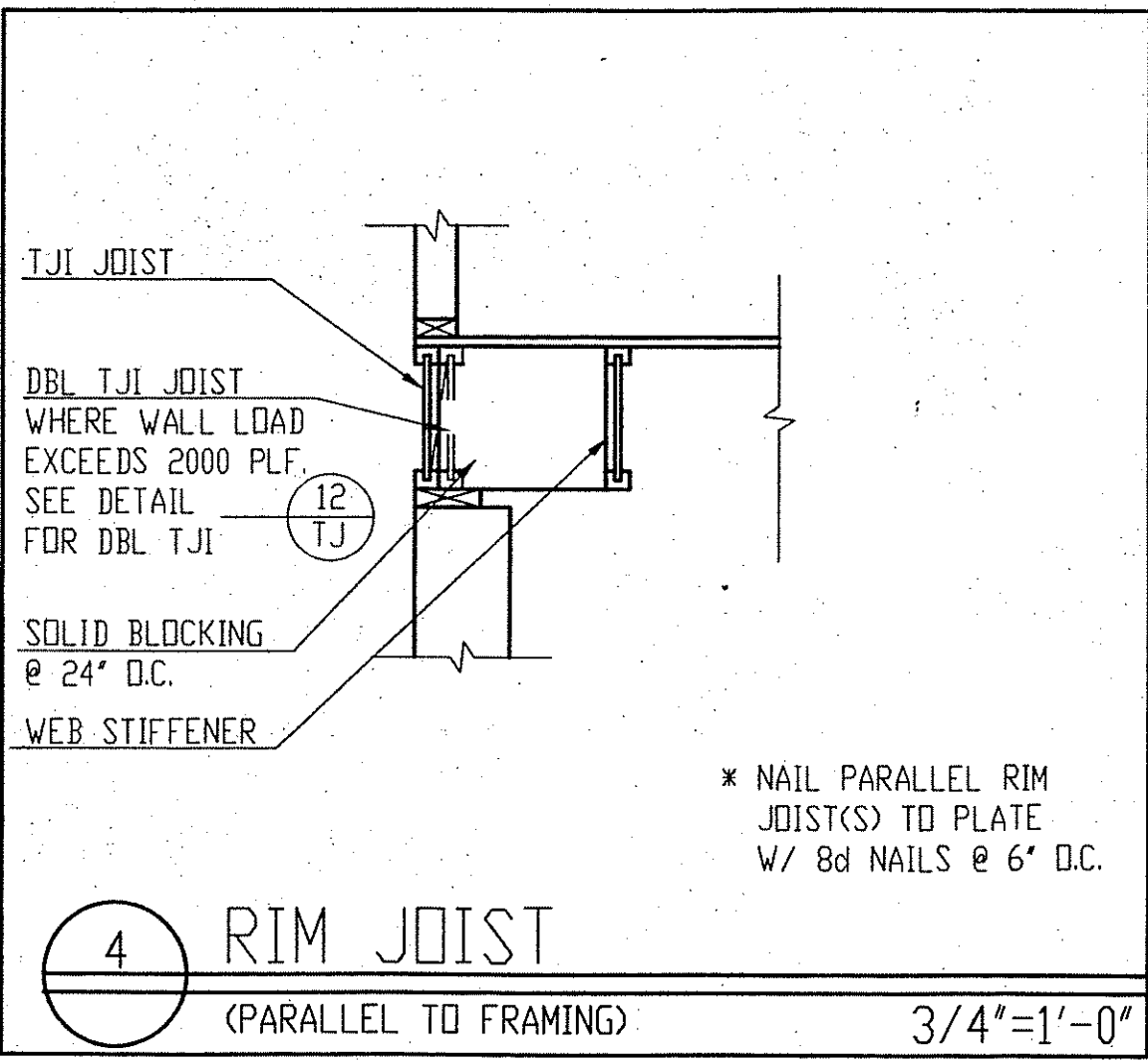
1 RIM JOIST  
9 1/2" OR 11 7/8" TJI ONLY 3/4"=1'-0"



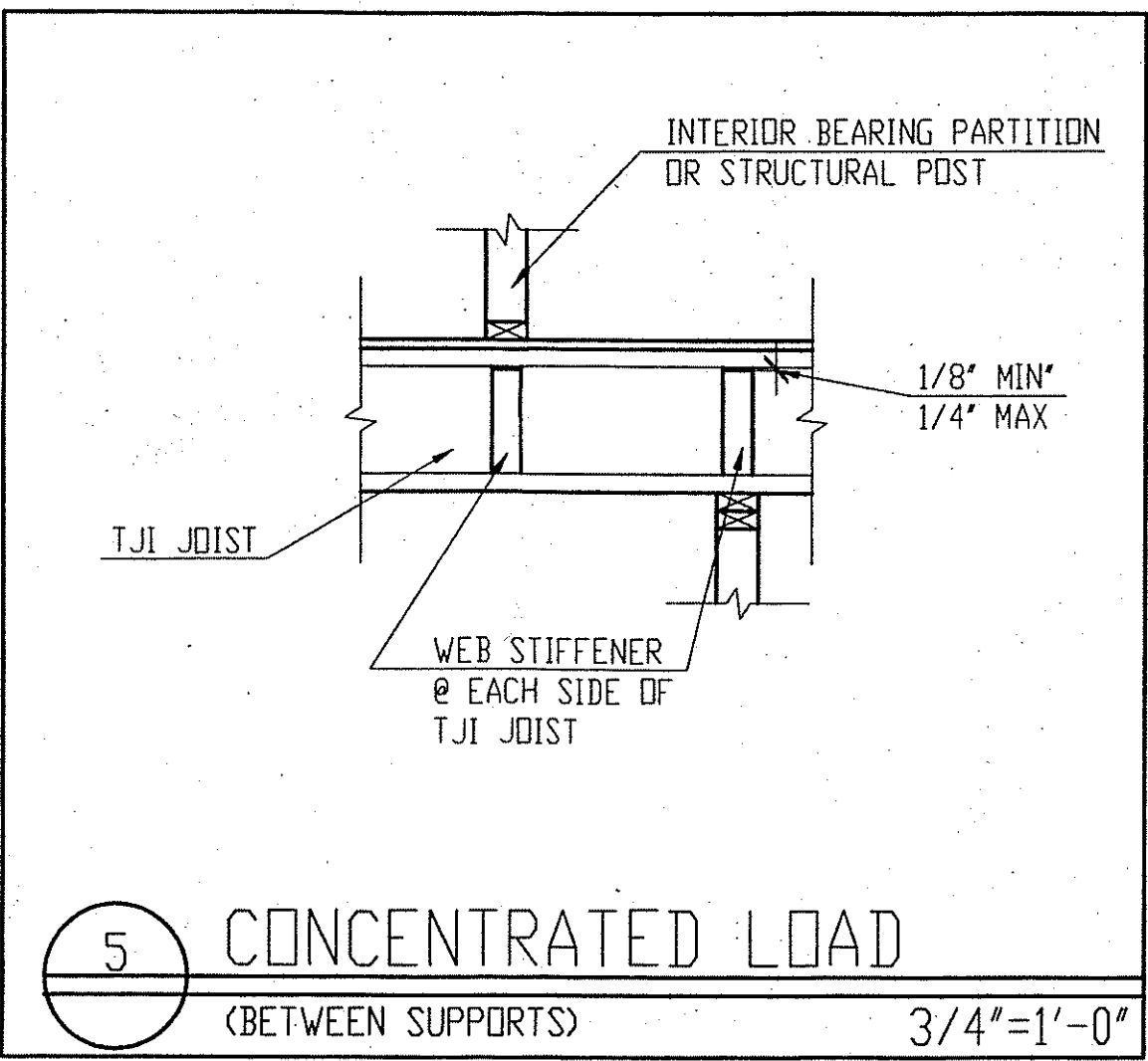
2 RIM JOIST  
3/4"=1'-0"



3 RIM JOIST  
3/4"=1'-0"



4 RIM JOIST  
(PARALLEL TO FRAMING) 3/4"=1'-0"

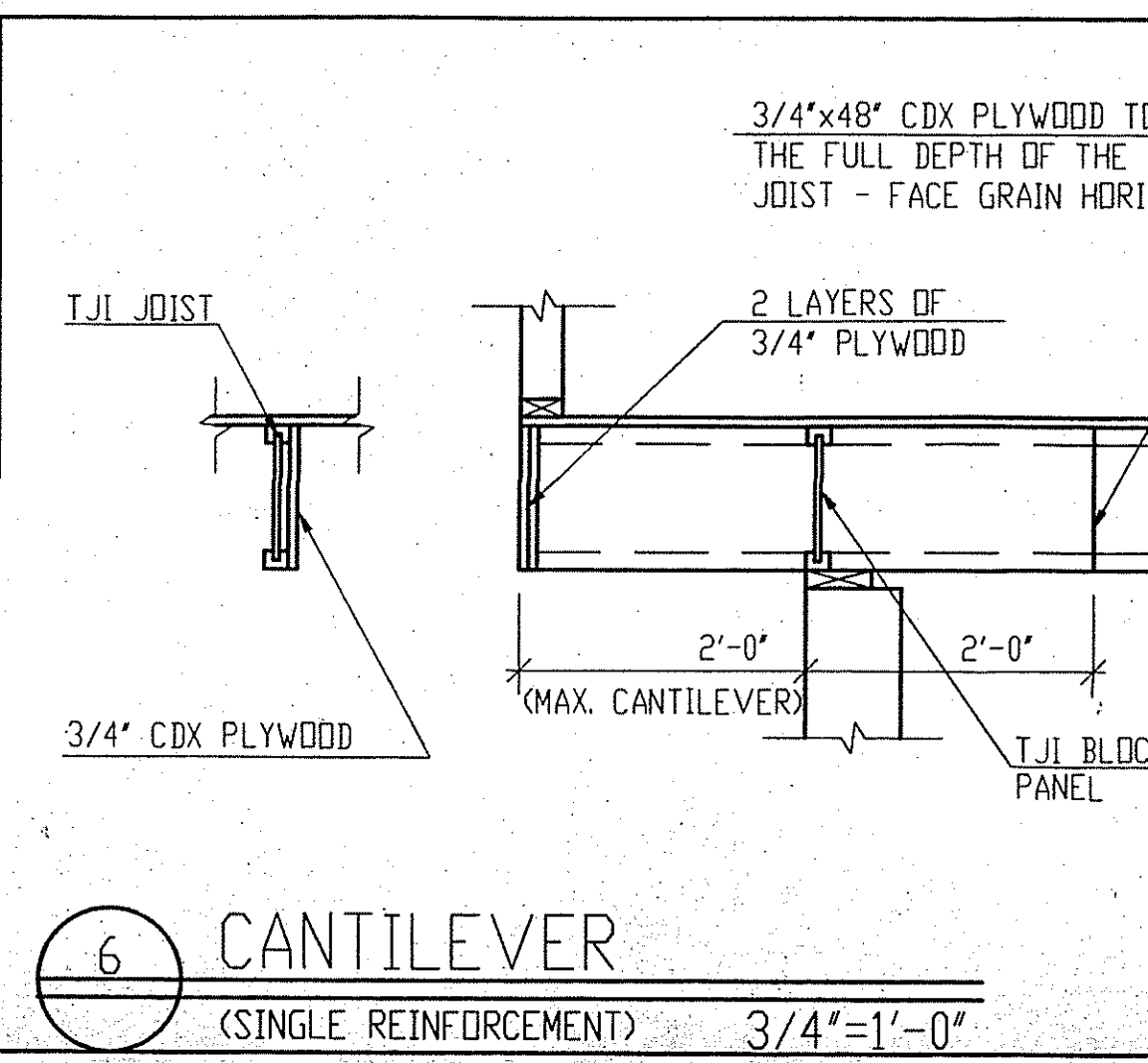


5 CONCENTRATED LOAD  
(BETWEEN SUPPORTS) 3/4"=1'-0"

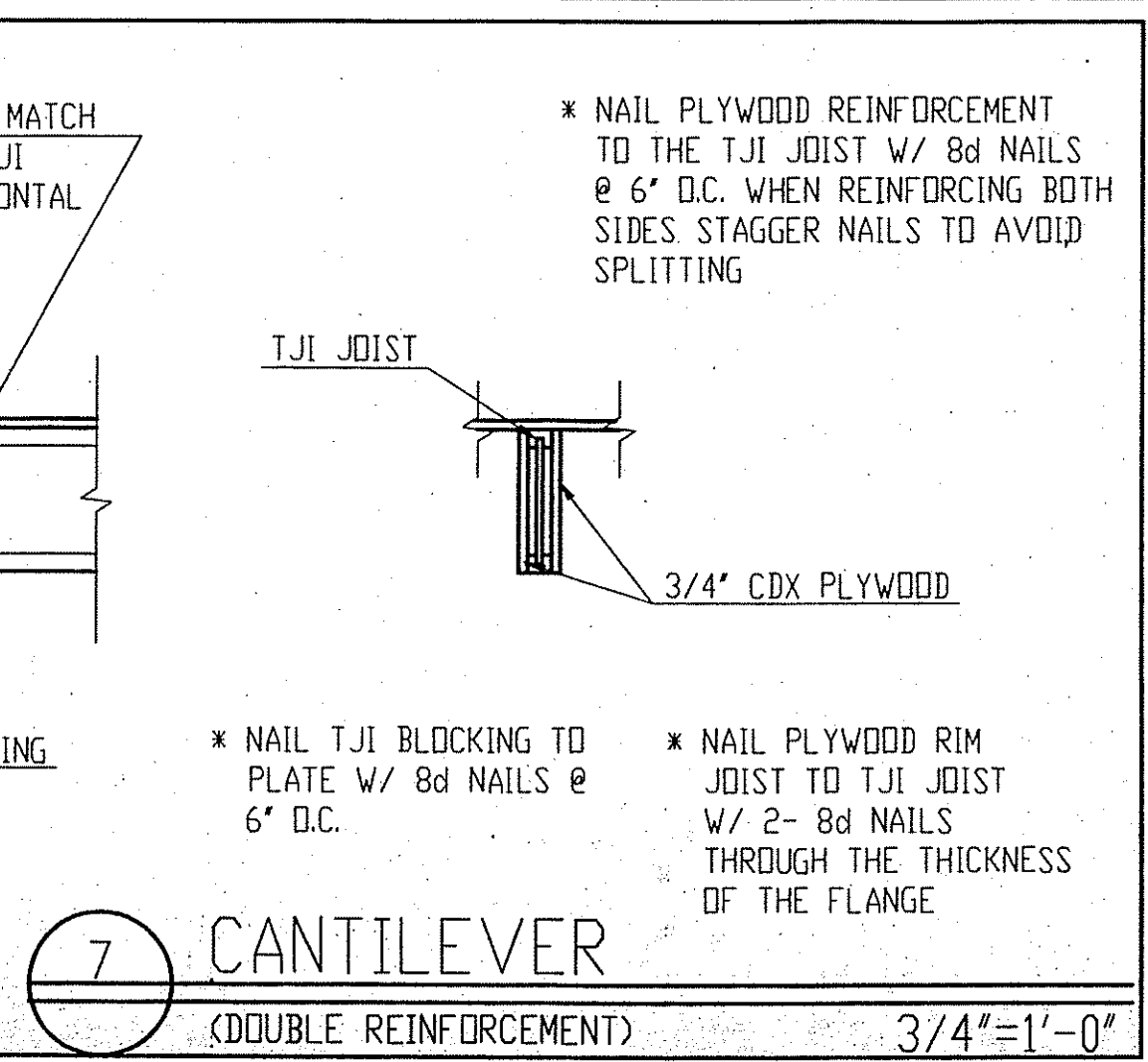
**GENERAL NOTES**

- \* MINIMUM BEARING OF TJI JOIST IS 1 3/4" NAIL TJI JOIST AT BEARING W/ 2- 8d NAILS (1 EACH SIDE) THROUGH THE THICKNESS OF THE FLANGE MINIMUM 1 1/2" FROM END TO AVOID SPLITTING.
- \* FOR INSTALLATION OF ANY SIMPSON STRONG TIE CONNECTORS NOTED ON THESE DETAILS REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* FOR ALLOWABLE SIZE AND LOCATION OF ANY HOLES TO BE CUT THROUGH THE WEB OF ANY TJI JOIST REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* WEB STIFFENERS WHERE SHOWN SHALL FIT TIGHT TO THE WEB AND FLUSH TO THE FACE OF THE FLANGE OF ALL TJI JOISTS. WEB STIFFENERS SHALL BE NAILED TO TJI JOISTS WITH MIN. 3- 10d NAILS EQUALLY SPACED.
- \* REFER TO FRAMING PLANS FOR REFERENCING OF ALL APPLICABLE DETAILS FOR THIS PROJECT. SUBSTITUTION OR USE OF DETAILS NOT REFERENCED IN PLANS IS PROHIBITED.

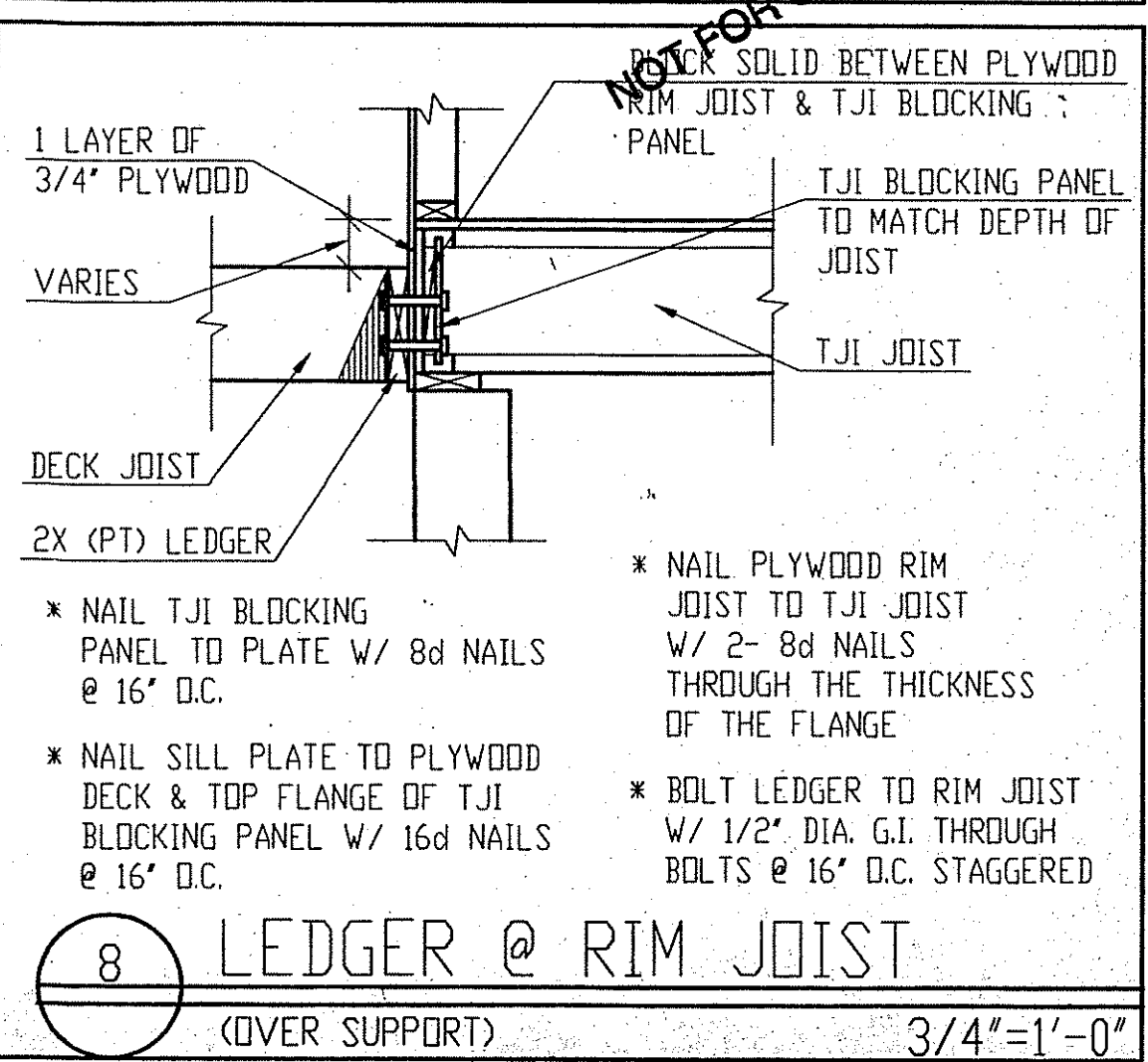
**BID SET  
NOT FOR CONSTRUCTION**



6 CANTILEVER  
(SINGLE REINFORCEMENT) 3/4"=1'-0"



7 CANTILEVER  
(DOUBLE REINFORCEMENT) 3/4"=1'-0"



8 LEDGER @ RIM JOIST  
(OVER SUPPORT) 3/4"=1'-0"

Date	P.S. 03/19/03 ACH

Project Number: 022074-J1

**MERIDIAN HOMES  
FIRST AVENUE  
LOT #17**

Architect

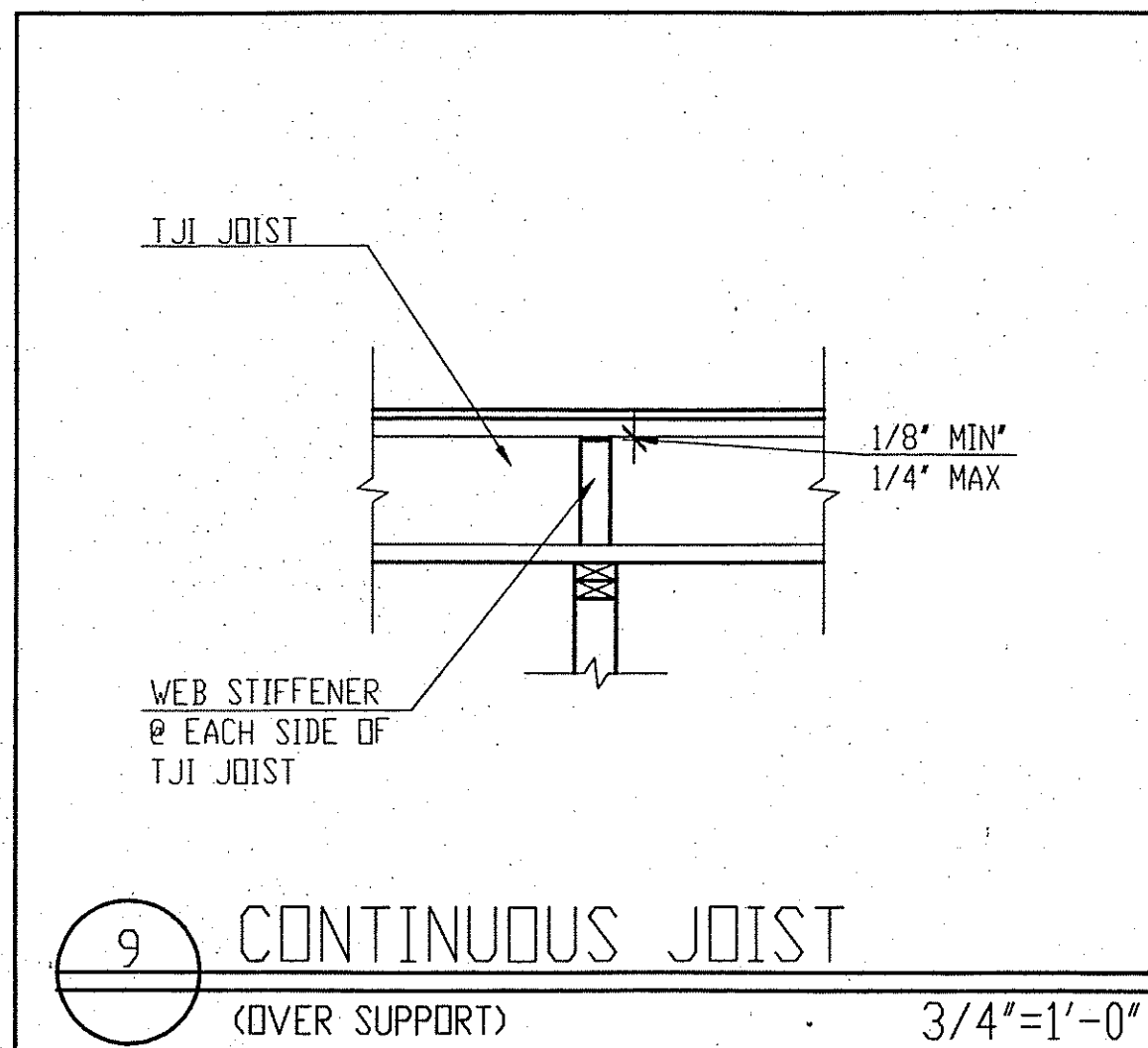
**SUTTON  
YANTIS  
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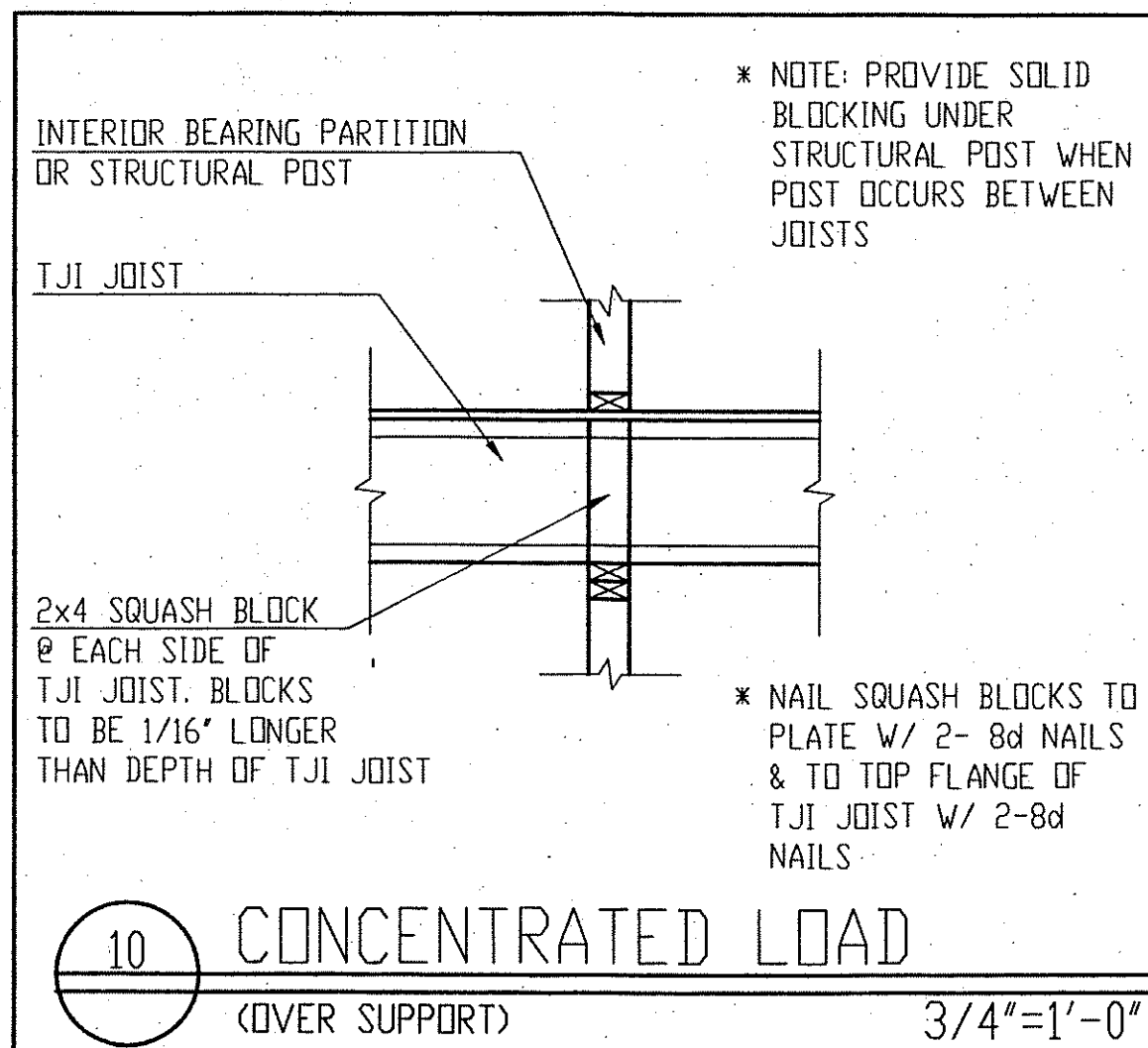
www.syaa.com

Sheet Number

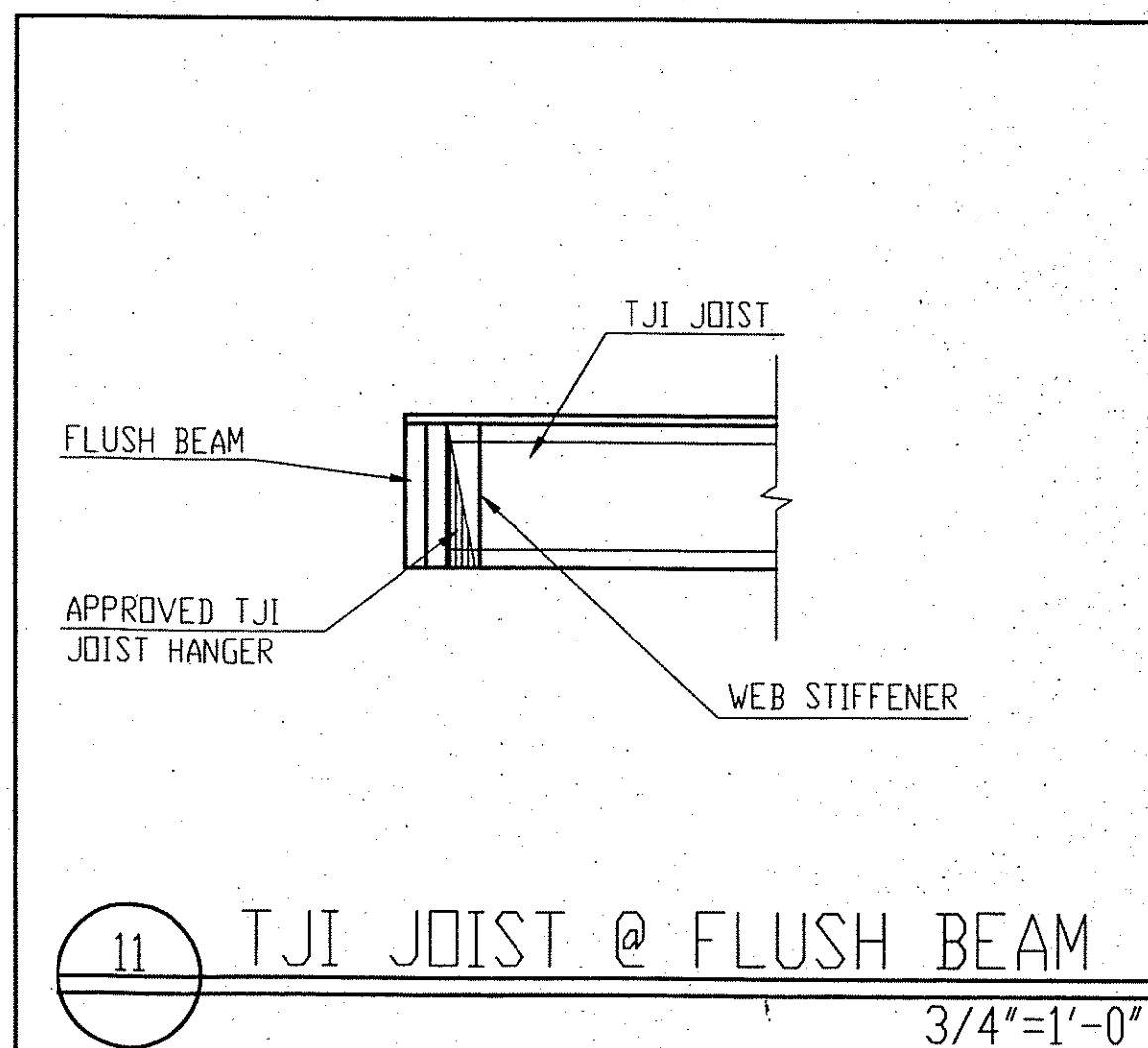
**TJI**



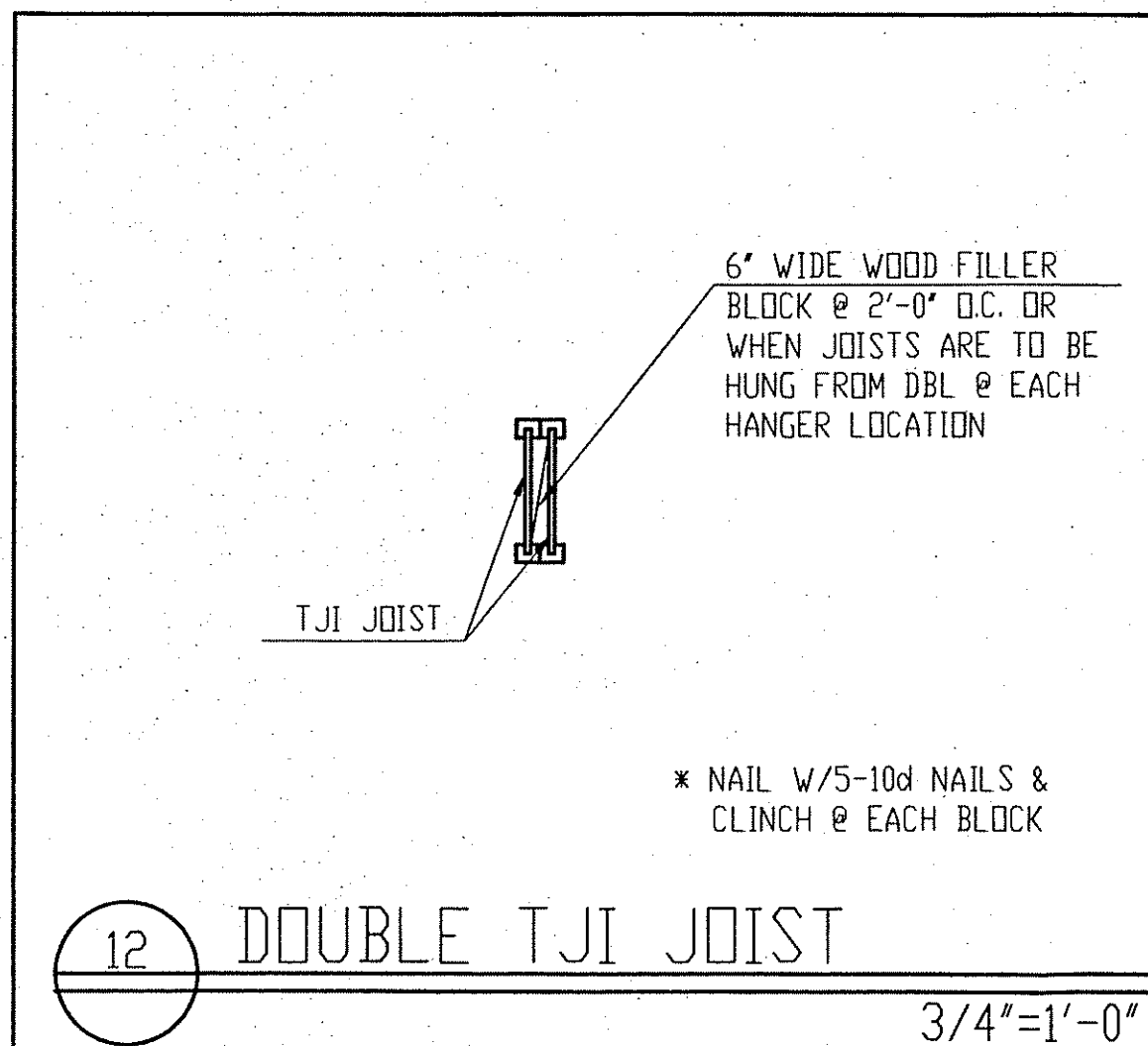
9 CONTINUOUS JOIST  
(OVER SUPPORT) 3/4"=1'-0"



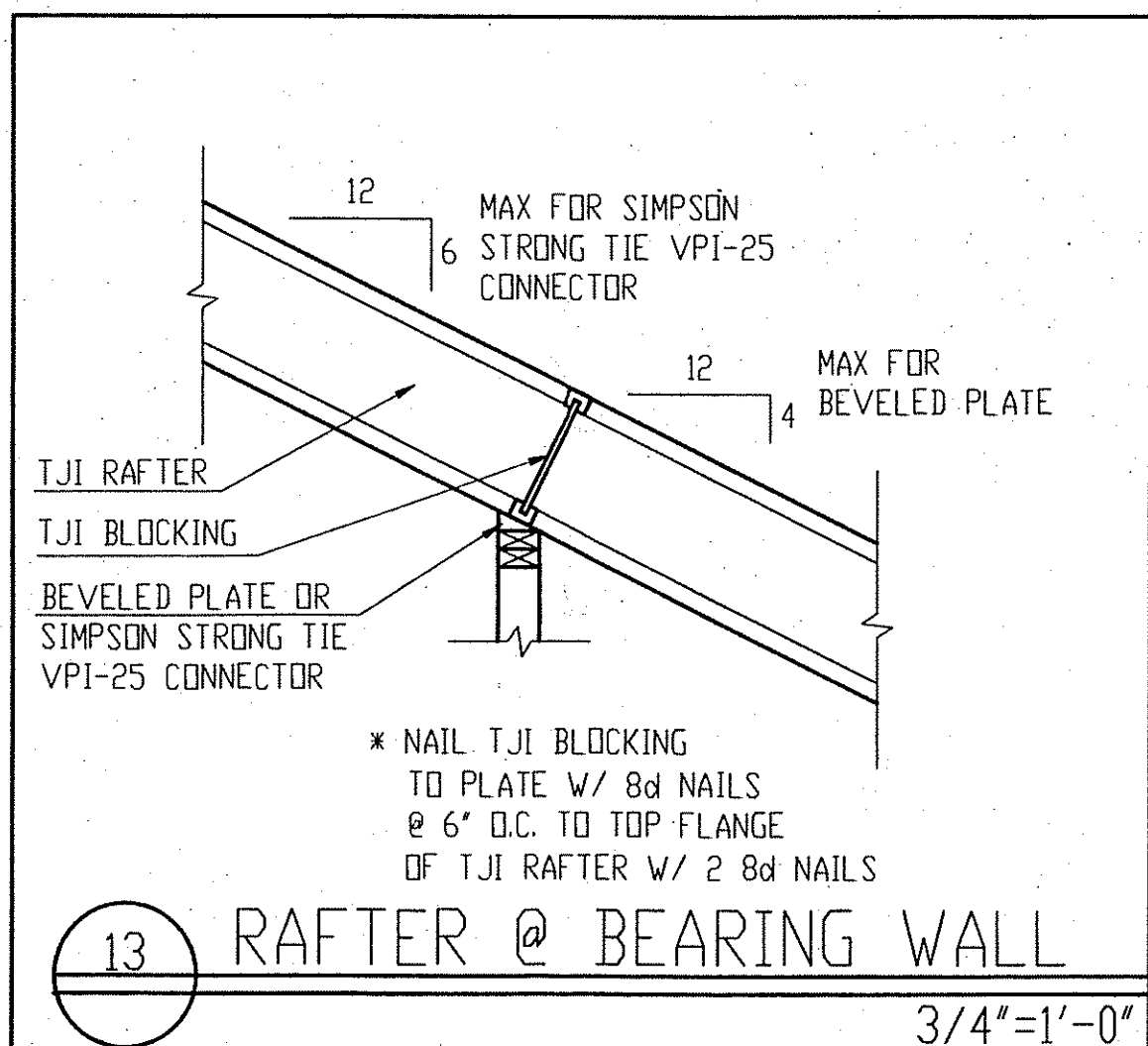
10 CONCENTRATED LOAD  
(OVER SUPPORT) 3/4"=1'-0"



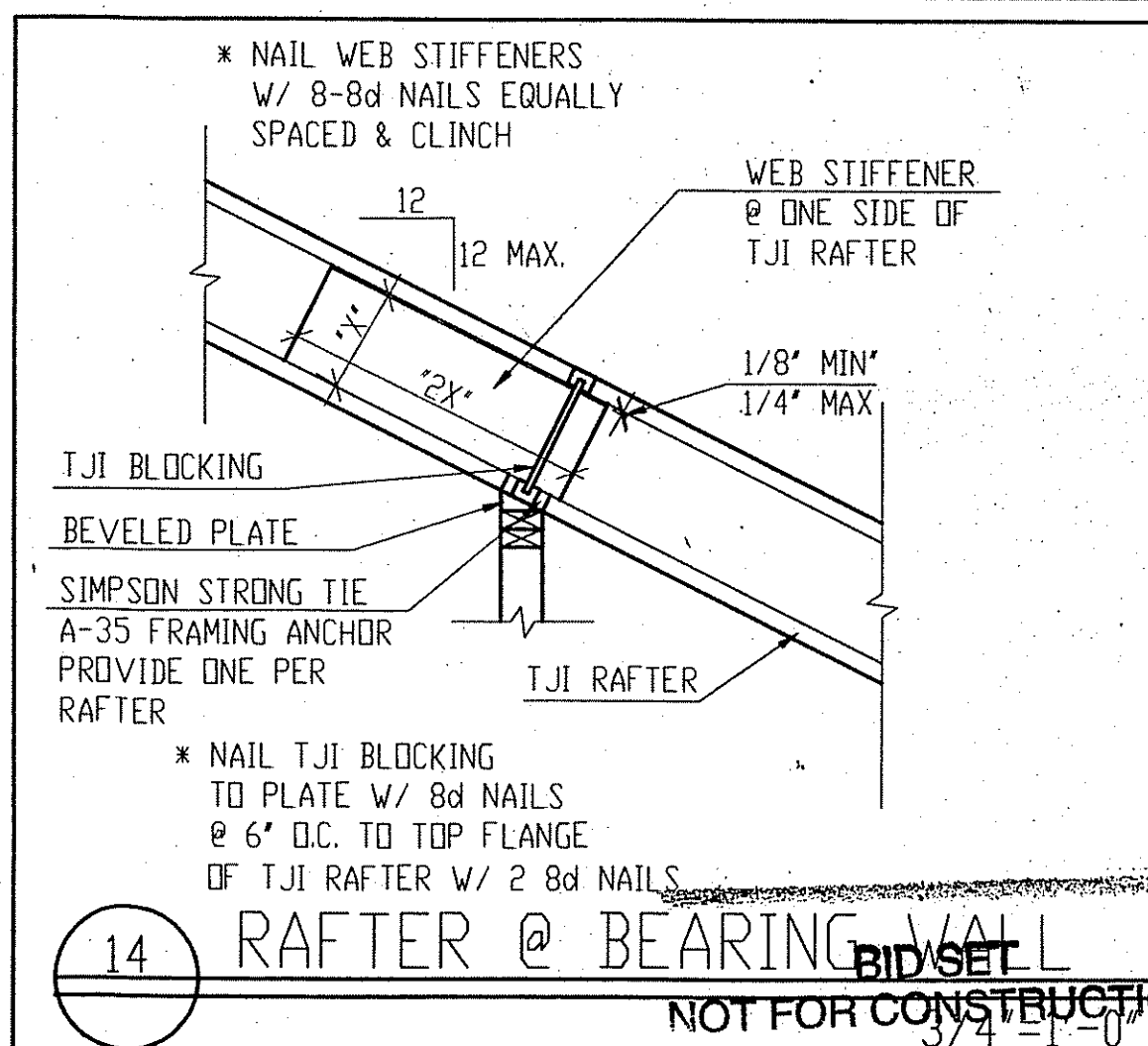
11 TJI JOIST @ FLUSH BEAM  
3/4"=1'-0"



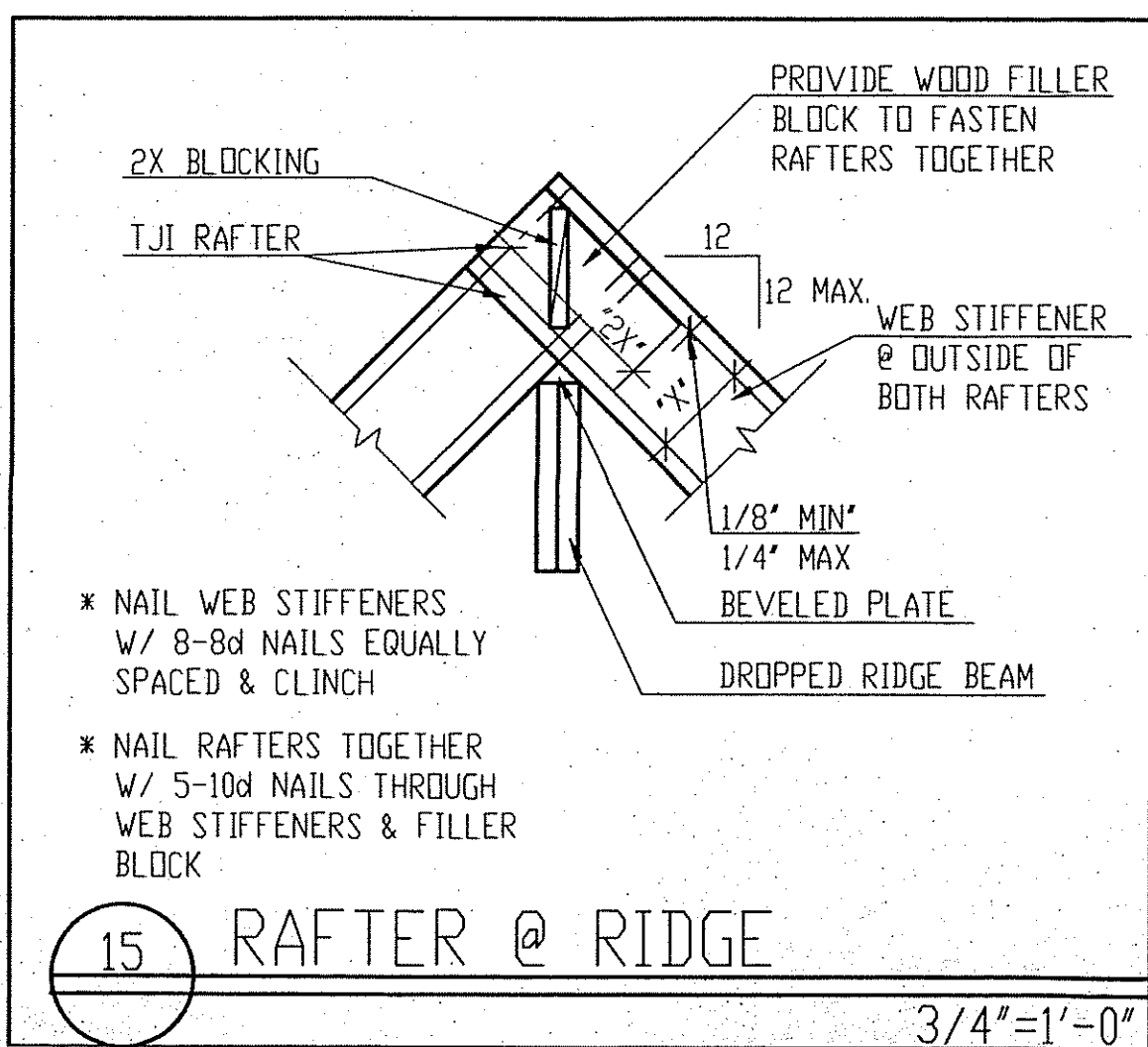
12 DOUBLE TJI JOIST  
3/4"=1'-0"



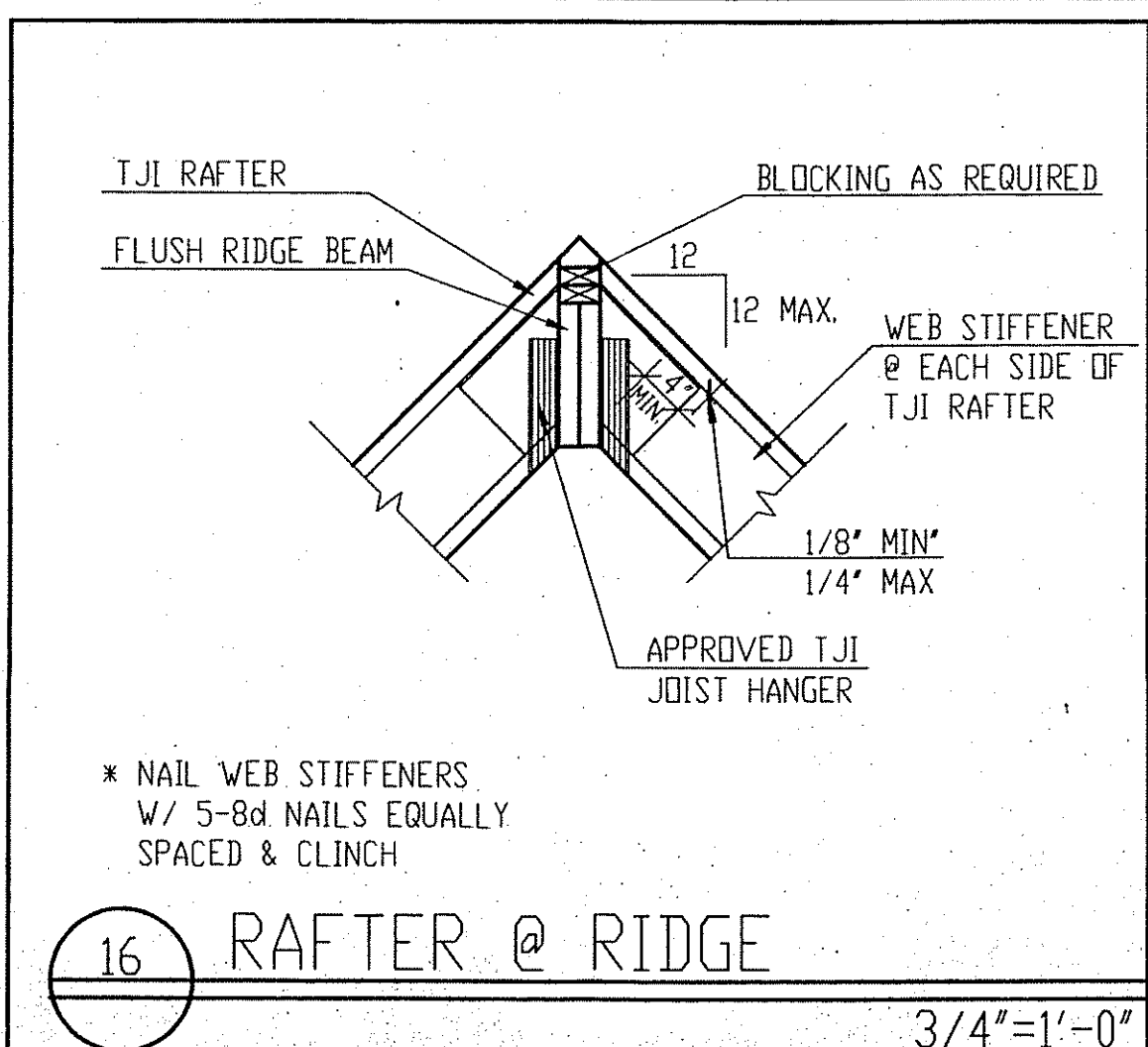
13 RAFTER @ BEARING WALL  
3/4"=1'-0"



14 RAFTER @ BEARING WALL  
3/4"=1'-0"



15 RAFTER @ RIDGE  
3/4"=1'-0"



16 RAFTER @ RIDGE  
3/4"=1'-0"

**GENERAL NOTES**

- \* MINIMUM BEARING OF TJI JOIST IS 1 3/4" NAIL TJI JOIST AT BEARING W/ 2- 8d NAILS (1 EACH SIDE) THROUGH THE THICKNESS OF THE FLANGE MINIMUM 1 1/2" FROM END TO AVOID SPLITTING.
- \* FOR INSTALLATION OF ANY SIMPSON STRONG TIE CONNECTORS NOTED ON THESE DETAILS REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* FOR ALLOWABLE SIZE AND LOCATION OF ANY HOLES TO BE CUT THROUGH THE WEB OF ANY TJI JOIST REFER TO MANUFACTURER'S SPECIFICATIONS.
- \* WEB STIFFENERS WHERE SHOWN SHALL FIT TIGHT TO THE WEB AND FLUSH TO THE FACE OF THE FLANGE OF ALL TJI JOISTS. WEB STIFFENERS SHALL BE NAILED TO TJI JOISTS WITH MIN. 3- 10d NAILS EQUALLY SPACED.
- \* REFER TO FRAMING PLANS FOR REFERENCING OF ALL APPLICABLE DETAILS FOR THIS PROJECT. SUBSTITUTION OR USE OF DETAILS NOT REFERENCED TO PLANS IS PROHIBITED.

Date	P.S. 03/19/03 ACM
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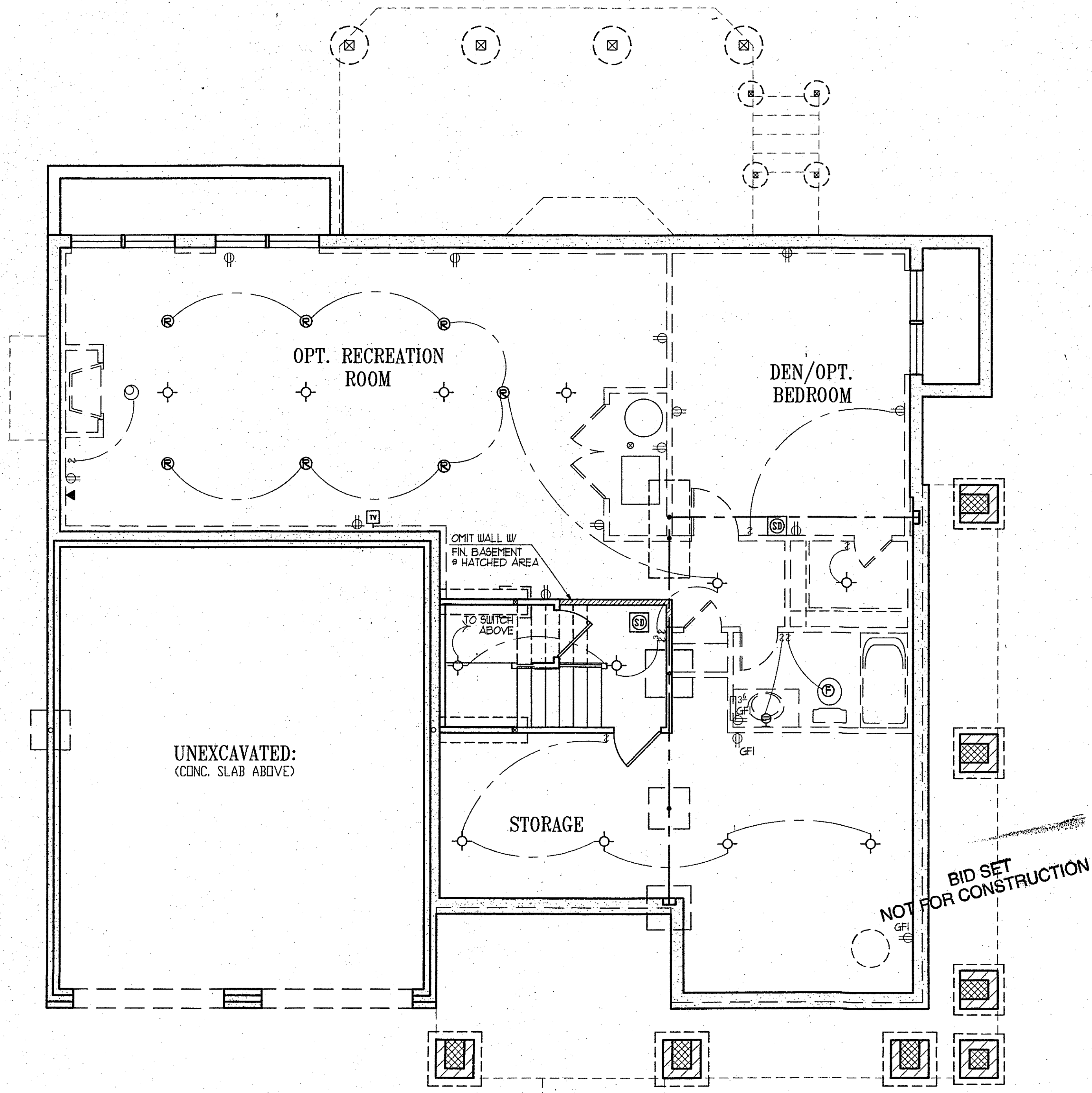
Project Number: 022074-JE  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

SUTTON  
YANTIS  
ASSOCIATES  
ARCHITECTS

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Sheet Number  
**TJ2**



BASEMENT FLOOR ELECTRICAL PLAN

1 / 4" = 1' - 0"

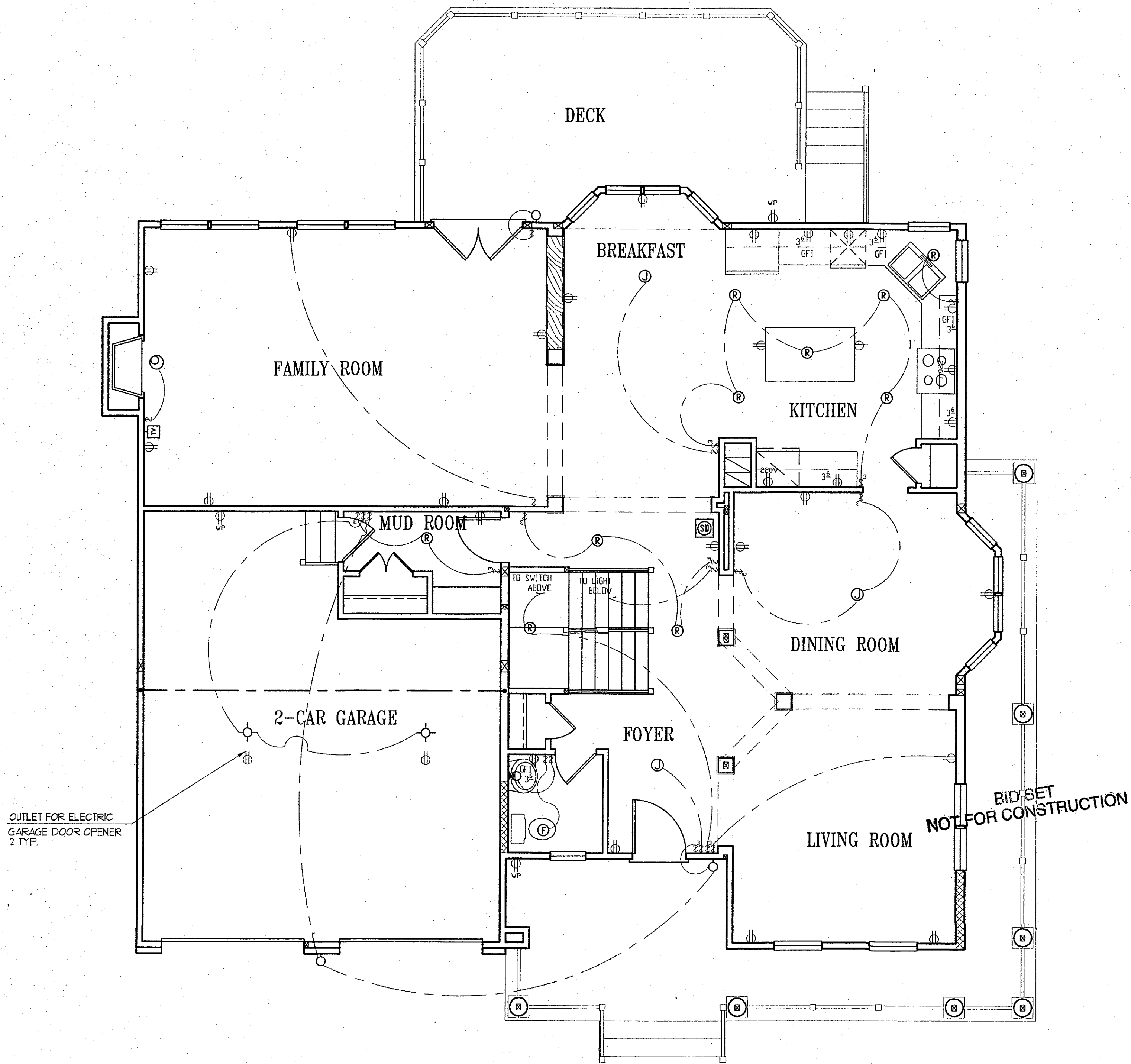
Date	P.S. 03/19/03 AM

Project Number: 02207-E1  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**E1**



LOWER FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

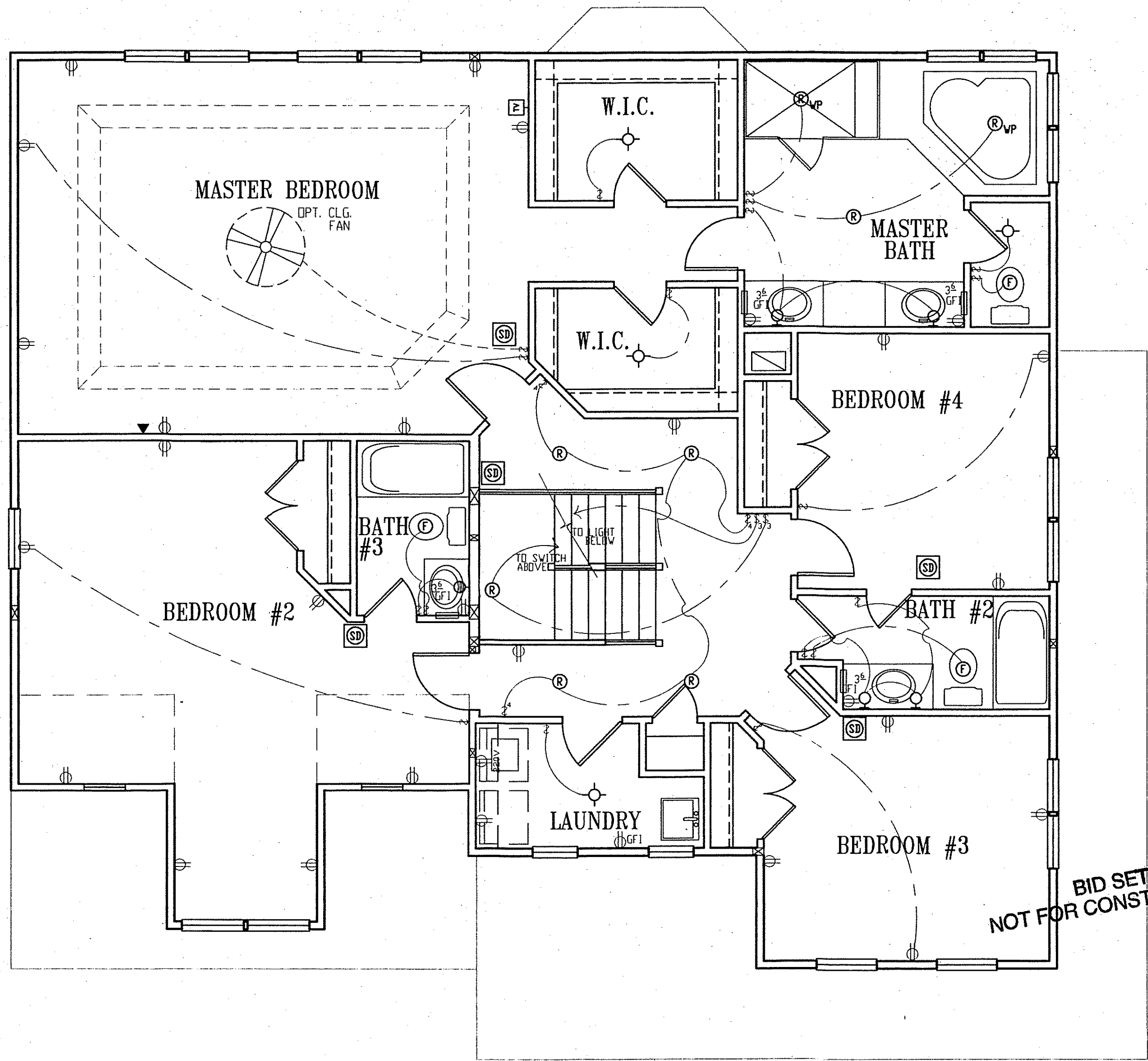
Date	PS: 03/19/03 ACH

Project Number: 02207-E2  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

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Sheet Number  
**E2**



UPPER FLOOR ELECTRICAL PLAN

1 / 4" = 1' - 0"

Date	P.S. 03/19/03 ACH

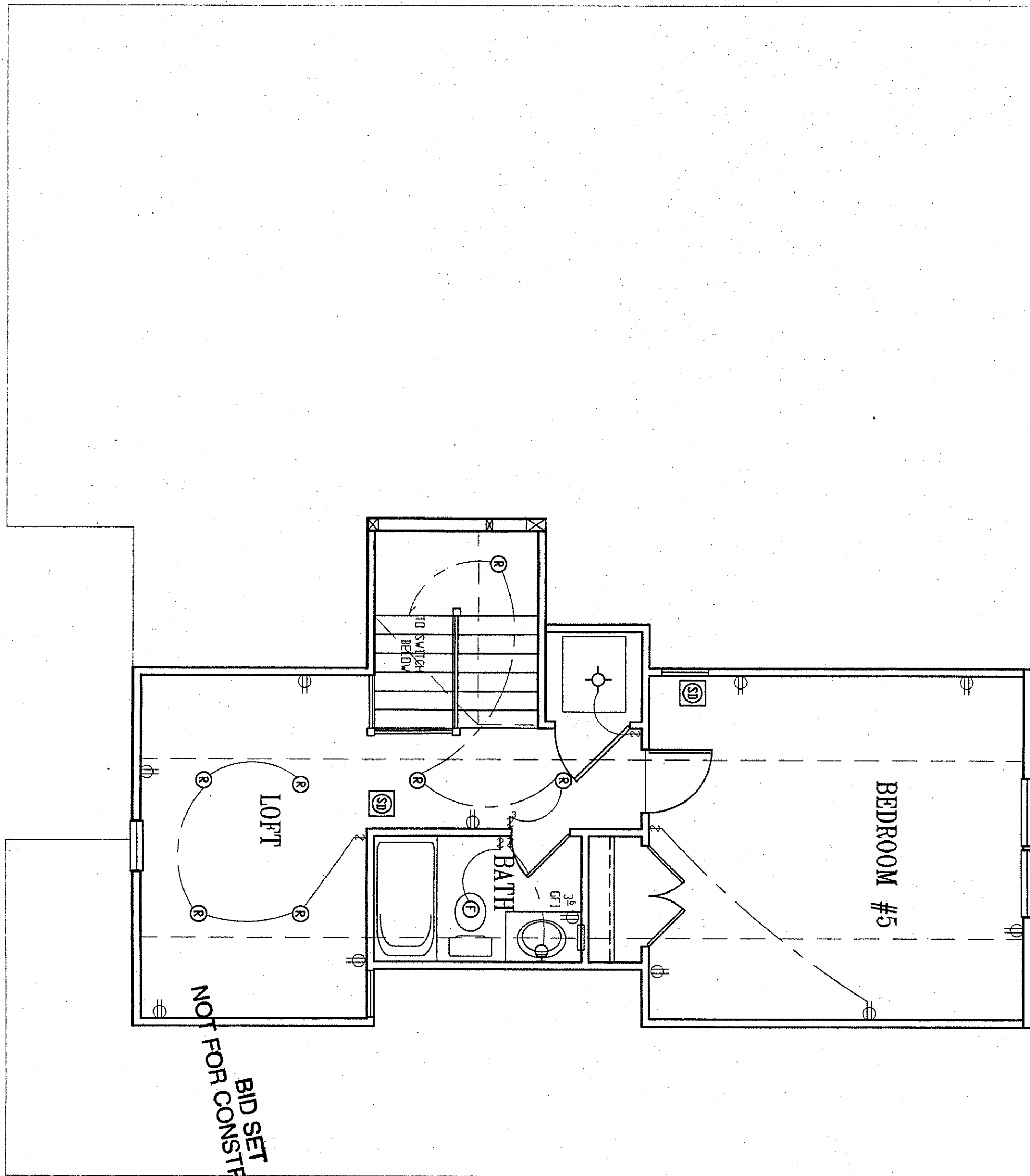
Project Number: 02207-E3  
**MERIDIAN HOMES**  
**FIRST AVENUE**  
**LOT #17**

Architect

**SUTTON**  
**YANTIS**  
**ASSOCIATES**  
**ARCHITECTS**  
 10523 Gullwings Rd. Tel: 703.564.9793  
 Vienna, VA 22182 Fax: 703.564.9171  
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Sheet Number  
**E3**

ATTIC FLOOR ELECTRICAL PLAN



1 / 4" = 1' - 0"

Sheet Number  
**E4**

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Vienna, VA 22182 Fax 703.847.9171

Architect

Project Number: 02207-E4  
**MERIDIAN HOMES  
FIRST AVENUE  
LOT #17**

Date  
P.S. 03/19/03 ACM