37/03-06CC 515 New York Ave Takoma Park Historic District, 37/03

(

### HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 515 New York Avenue, Takoma Park

**Meeting Date:** 

06/21/06

Resource:

Contributing Resource

Report Date:

06/14/06

Takoma Park Historic District

Review:

HAWP

**Public Notice:** 

06/07/06

Case Number: 37/03-06CC

Tax Credit:

Partial – front

porch floor

Applicant:

Carole Crandon (Yerko Pallominy, Agent)

Staff:

Michele Oaks

**PROPOSAL:** Alterations

**RECOMMEND:** Approval with Conditions

### **STAFF RECOMMENDATION:**

Staff recommends that the Commission approve this HAWP application with the following conditions:

- 1. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
- 2. The windows will be fabricated of painted wood, or solid wood with an exterior cladded in vinyl or aluminum. If the windows are to have a muntin profile, the windows will be a simulated divided light wood window, which contain wood muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.
- 3. The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
- 4. The specifications for the front and rear wood screen doors will be included in the permit sets of drawings submitted to staff at the time of stamping.
- 5. The applicant's front porch floor will be replaced with painted or stained, oak, tongue and groove flooring.

### **BACKGROUND**

On September 28, 2005 the Commission approved with conditions a HAWP application to:

- Widen the current three-bay dormer by creating a full-width dormer on the front façade. The dormer will continue to have the overhanging eves and exposed rafter tail details as the original. Additionally, the applicant is proposing to use a painted, wood, lap siding on the dormer in preparation for a future removal of the asbestos siding and rehabilitation of the original wood siding on the original massing. The proposed windows are wood with a camed glass pattern. The dormer will be sheathed in a standing seam copper or tin roof.
- ➤ Handicapped ramp (Deleted from this current application by applicant in order to continue to work with HPC staff and Takoma Park's arborist to address design and material concerns ramp will return to HPC at a later date with a new design that better addresses these issues.)
- Remove the existing gutter and downspouts on the property and replace with copper ½ round gutters and new downspouts.
- > Remove the Masonite siding and trim on the rear addition and replace with cement fiber siding with 11" exposure.
- > Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking.
- > Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame.
- > Repair/replace in-kind existing beaded wood soffit and damaged fascia and rake mould drip.

### The HAWP's conditions of approval were:

- 1. A tree protection plan for the existing trees will be drafted and approved by the Takoma Park City Arborist.
- 2. The proposed windows in the dormer are changed to a 4 or 6 light, wood, casement or awning, simulated, divided-light window.
- 3. The handicapped ramp and landscaping plan is deleted from this current proposal and the applicant and her design staff continues to work with the Takoma Park Arborist and HPC staff on the design and material selection for this structure and overall landscaping plan to create a product that will be user-friendly, environmentally-sensitive and historically compatible to the site.

### PROJECT DESCRIPTION

SIGNIFICANCE:

Contributing Resource

STYLE:

Bungalow

DATE:

1918

515 New York Avenue is a contributing resource within the Takoma Park Historic District. The building is a 1-½ story frame bungalow clad in wood siding with an asbestos shingle siding veneer. The house is ornamented with a full-width front porch supported by brick columns. The roof is detailed with a full-width dormer (widened from three bays wide in 2005) with overhanging eves and exposed rafter tails and four light casement windows.

A 1986 addition was added to the rear of the house. The rear addition is of frame construction and was clad in Masonite lap siding. The applicant received approval to remove the Masonite siding and replace it with the Hardi-plank lap siding in 2005.

The entire roof was covered in 3-tab asphalt shingles. The new dormer will be covered in copper.

### PROPOSAL:

The applicants are proposing to:

- 1. Increase the size of and replace the existing basement level windows to provide for egress on the side elevations of the house (see details on attached plans beginning on circle 13).
- 2. Remove the existing brick walkway beneath the existing addition (165 sf) and replace it with a 4" thick concrete pad (235 sf).
- 3. Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking (approved with the previous HAWP on 9/28/05).
- 4. Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame (approved with the previous HAWP on 9/28/05).

### **APPLICABLE GUIDELINES:**

Alterations to the buildings within the Takoma Park Master Plan Historic District are reviewed by the Commission with the guidance of the Secretary of Interior's Standards for Rehabilitation, the Takoma Park Historic District Guidelines, Approved and Adopted in August 1992 and the Montgomery County Code Chapter 24A. The pertinent information in these documents is outlined below.

### Secretary of Interior's Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

### The applicable Standards are as follows:

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### Takoma Park Historic District Guidelines

The Takoma Park Guidelines define contributing resources as:

A resource that contributes to the overall character of the district and its streetscape, but is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

### The following guidelines pertain to this project:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Original size and shape of window and door openings should be maintained, where feasible.
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### Montgomery County Code; Chapter 24A

### A HAWP permit should be issued if the Commission finds that:

- 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
- 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within a historic district in a

manner compatible with the historical, archaeological, architectural or cultural value of the historic site or district in which a historic resource is located.

### **STAFF DISCUSSION:**

The main aspect of the subject proposal is the foundation level window size increase and replacement. The designs of the proposed windows take details from the original windows on the upper levels. As such, the proposal does not alter the existing bungalow's characteristic features or original form and continues to be consistent and compatible with the surrounding streetscape. Therefore, this proposal meets the criteria outlined in the Takoma Park Guidelines. The above-recommended conditions are standard conditions required for any HAWP within the Takoma Park Historic District and the proposed conditions are suggested for clarification of the materials to be used for the subject project.

### STAFF RECOMMENDATION

Staff recommends that the Commission approve with the above-stated conditions the HAWP application as being consistent with Chapter 24A-8(b)1, 2 & 3.

and with the Takoma Park Guidelines, adopted in August 1997.

With the general condition that the applicant shall present the <u>3 permit sets of drawings</u> to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.



Edit 6/21/99



DPS - #8

Ceritact Person: YERKO H. PALLOHINY

4227.26

# HISTORIC PRESERVATION COMMISSION 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

(laytime Phone No.: 202-421-6685 Name of Property Owner. CAROLE CRANDON Daytime Phone No. 301 - 565 - 0617 Address SIS NEW YORK AVE, TAKOMA PARK, MD 20912 Contraction LANOIS CONSTRUCTION CORP. Phone No.: 202-726-3777 Contractor Registration No.: 46256 Agent for Owner: YERKO PALLOMINY DANIEL OLUM Daysune Phone No: 202- 421-6685 LOCATION OF BUILDING/PREMISE House Number: 515 Street <u>NEW YORK AUE.</u> TOWN/City, TAKOMA PARK Nestest Cross Street: Eat: PY Black 73 Subdivision: 25 tiber Folio. Parcel: PART DNE: TYPE OF PERMIT ACTION AND USE 1A. CHECK ALL APPLICABLE CHECK ALL APPLICABLE: X Alter/Renovate TI AC [] Slab [] Ruary Addition [] Porch [] Deck [] Shed ☐ Install ☐ Wreck/Bage □ Søler □ Fireplace □ Woodburning Stove 🗶 Неран ☐ Fence/Wall (complete Section 4) ☐ Other: \_: Revision ☐ Revocable 45,000 18. Construction cost estimate: \$ PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND; ADDITIONS 02 Fin Septic Type of sewage disposal. 03 📋 Other: 62 ELL Well 28. Type of svater supply: PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL Indicate whether the lence or retaining wall is to be constructed on one of the following locations: Co party line/property line For Champerson, Historic Preservation Commission Approved:

SEE REVERSE SIDE FOR INSTRUCTIONS

# THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

N&422772le

	Please	See	Attached	Description	
			· · · · · · · · · · · · · · · · · · ·	/	
	. <u> </u>				
				· · · · · · · · · · · · · · · · · · ·	
neral description of p	oject and its effect o	n the historic re	esource(s), the environmen	tal setting, and, where applicable, the	historic district:
		~			
<del></del>					

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat, Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11' x 17", Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the
  front of photographs
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs

### 6. TREE SURVEY

If you are proposing construction adjacent to or within the statute of any tree 6° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, rocation, and species of each tree of at least that dimension.

### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names; addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

SCOPE OF WORK - for Historic Area Work Permit at 515 New York Ave.

May 31st, 2006

# a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is located on a wooded lot in the Takoma Park Historic District, and listed as a contributing resource in that district. The lot is fairly deep (225 feet) and somewhat overgrown in both the front and rear yards. The original house was built on the lot in 1918 and is in the bungalow, side-gable style. It is among additional bungalow houses built in the 1920s, and the neighborhood includes Queen Anne houses built in the 1890s. 515 New York Avenue is a 1-1/2 story house with a full basement. The basement is constructed of clay tile blocks with the exterior parged. The upper portion of the house is wood frame with asbestos shingle siding. At the street elevation of the house there is an eight foot deep porch with stepped brick porch columns, painted wood porch decking that is in poor condition, and a painted wood guardrail.

At the back of the house an addition was added in 1986. This addition is wood framed with lap siding made from Masonite. The entire addition rests on 6x6 posts, leaving an open space beneath as rear patio, accessible from the basement's rear entrance.

## b. General description of project and its effect on the historic resource(s), environmental setting, and, where applicable, the historic district:

At the basement level, we'll re-design and re-build the interior as per plans. Lighting fixtures and a few additional electrical devices will be installed throughout the basement.

Exterior work includes; On the Southeast side of the house, we will replace an existing window and we'll enlarge the other two to match the height of existing one. On the Northwest side, we will replace one window, and the other will also be enlarged to match existing one on that side (please see windows' specs).

In the back of the house, an existing deteriorated brick walkway beneath existing addition (area of 165 s.f.), will be removed and replaced by a concrete pad as per plans, (4" thick and area of 235 s.f.), (Please see attached Floor Plans, elevations and Site Plan for specifics on this issue).

At the front porch we will remove the existing wood decking that is deteriorating, and replace it with new oak tongue-and-groove decking. The existing wood guardrail will be saved and reinstalled if its removal is necessary for porch decking work. Beneath the porch, new-framed lattice will be installed. A screened door will also be installed (front door will remain).

1 of 1 5/30/2006

pf#472726

### HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

CAROLE CRANDON 515 NEW YORK AVE TAKOMA PARK, MD 20912 Owner's Agent's mailing address

YERKO PALLOMINY 7058 SPRING PL NW WASHINGTON DC 20012

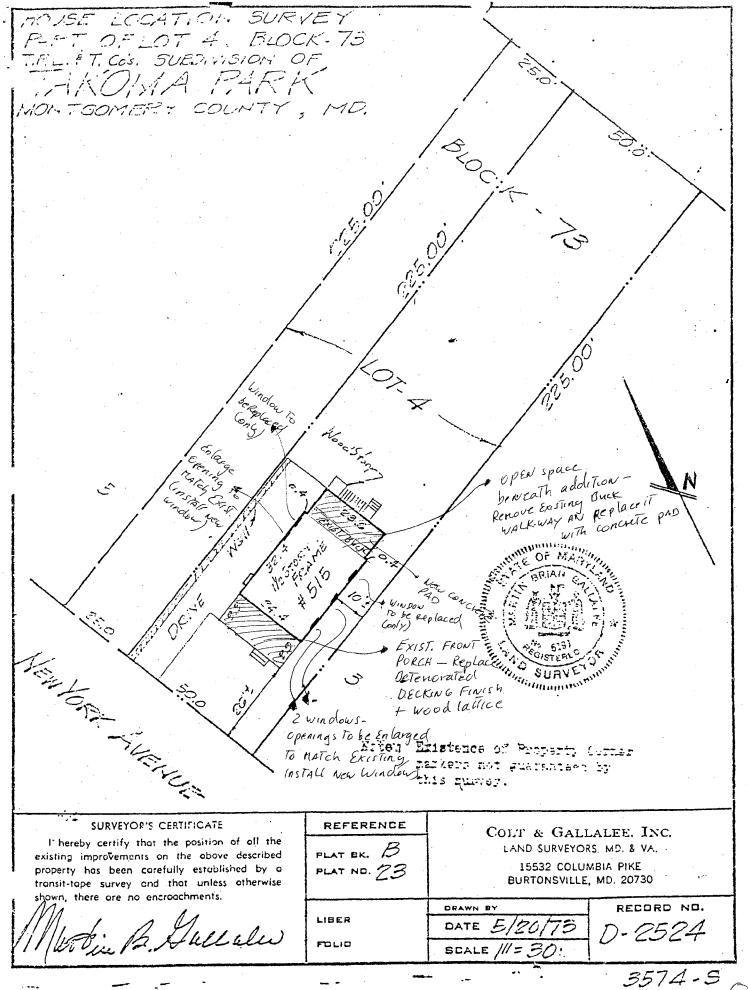
Adjacent and confronting Property Owners mailing addresses

KRISTINE D. TEMPLIN 508 NEW YORK AVE TAKO MA PARK, MD 20912 HENRY S. ALLEN IV 513 NEW YORK AVE TAKOMA PARK, MD 20912

EUGENE H HERMAN 511 NEW YORK AVE TAKOMA PARK, MD 20912 FRANCINE POLLNER 510 PHILADELPHIA AVE TAKOMA PARK, MD 20912

JEFFREY P. COHN
514 PHILADELPHIA AVE
TAKOMA PARK, MD
20912.

JAMES C. BENFIELD 519 NEW YORK AVE TAKOMA PARK, MD 20912 PETER M. CLOSE ELLEN M. CONWAY 510 NEW YORK AVE TAKOMA PARK, MD. 20912



(II)

#### A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com



### **Street Elevation**

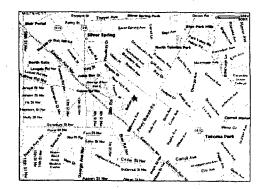
- 1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
- 2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
- 3. NEW INTERIOR WALLS ARE FRAMEO WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
- 4. DESIGN BASEO ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENOMENTS.
- .5. GONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
- 6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
- 7. BEFORE ANY EXCAVATION IS TO OCCUR UN SITE CONTACT "MISS UTILITY" AT (BOO) 257-7777 BETWEEN THE HOURS DF 7.00 a.m. TO 5.00 p.m., MONGAY TROUGH FRIDAY. YOU MAY ALSO WISIT THEIR WEB SITE AT WHY MISSUTUITY.NET. A MINIMUM OF 48 HOURS ADVANCE NOTICE, EXCLUDING MEEKENDS AND HOLIDAYS, IS REDUIRED.

General Notes

422726

Carole Crandon 515 New York Avenue Takoma Park, MD 20912

Cate: 05-30-06 TITLES AND NOTES NOT TO SCALE



### 2 Vicinity Map

1- BASEMENT LEVEL REMODELATION.

2- FRONT PORCH FINISHES REPLACEMENT.

### General Scope of Work

AO.1 - TITLES AND NOTES

01.0A — PROPOSAL 1 — DEMOLITION BASEMENT FLOOR PLAN D1.0B — PROPOSAL 2 — DEMOLITION BASEMENT FLOOR PLAN

A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN A1.1 - PROPOSED FROST FLOOR PLAN A3.1 - PROPOSED FROST FLOOR PLAN A3.2 - PROPOSED BERT SIGE ELEVATION A3.3 - PROPOSED BE

E1.DA - PROPOSAL 1 - ELECTRICAL BASEMENT FLOOR PLAN E1.DB - PROPOSAL 2 - ELECTRICAL BASEMENT FLOOR PLAN

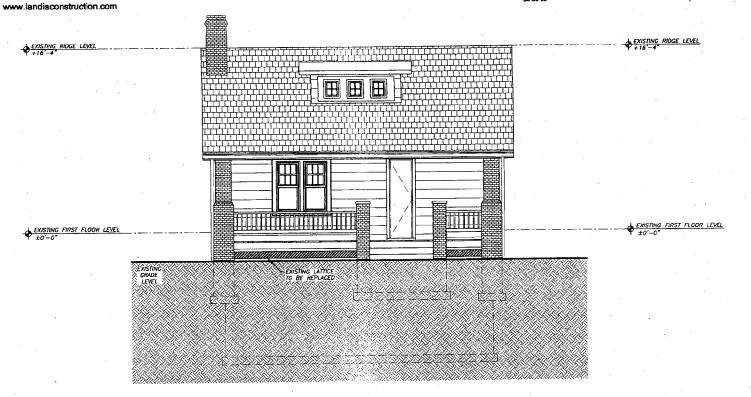
Table of Contents

LANDIS CONSTRUCTION CORPORATION A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 Project

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **D3.1** 

Date: 05-30-08 Sheet Trite: DEMOLITION FRONT ELEVATION Scale: 3/16" = 1'-0"



NOTES

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PONCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
r, L	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Front Elevation
3/16° = 1'-0°



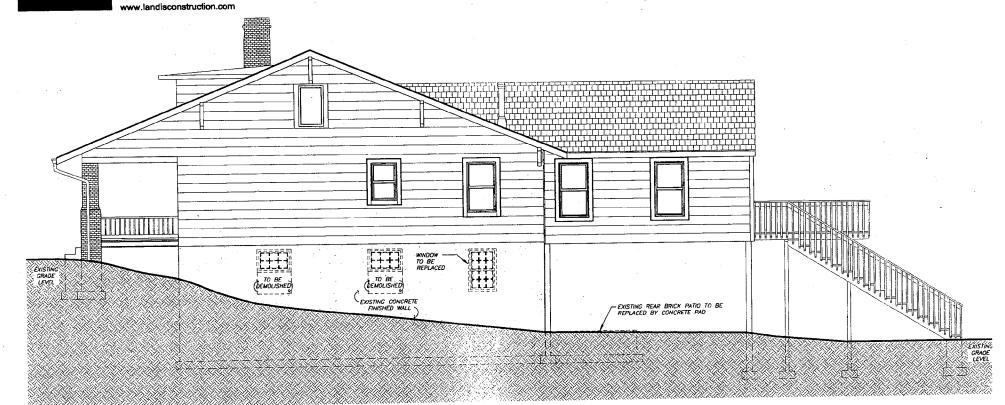
LANDIS CONSTRUCTION CORPORATION

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 Project

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **D3.2** 

Date: 05-30-06 Sheet Title: DEMOLITION RIGHT SIDE ELEVATION Scale: 2/16" = 11.0"



NOTEŚ

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 TAG PINE DECKING. REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Right Side Elevation



**D3.4** A DESIGN / BUILD FIRM LANDIS Carole Crandon 515 New York Avenue Takoma Park, MD 20912 CONSTRUCTION 7058 Spring Place, NW Sheet Title: DEMOLITION LEFT SIDE ELEVATION Washington, DC 20012 Phone: 202-726-3777 CORPORATION Scale: 3/16" = 1'-0" Fax: 202-882-9700 05-30-06 www.landisconstruction.com  $\blacksquare$  $\blacksquare$ REPLACED WINDOW-IN EXISTING OPENING TO BE EXISTING CONCRETE
FINISHED WALL EXISTING BRICK PATIO TO BE REPLACED BY CONCRETE PAD REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY AREA WILL NOT INCREASE. LEGENDS EXIST CONSTRUCTION/ WALLS REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING. REPLACE EXISTING WOODEN LATTICE UNDER THE POHCH EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP) Left Side Elevation SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATID UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LANDIS
CONSTRUCTION
CORPORATION

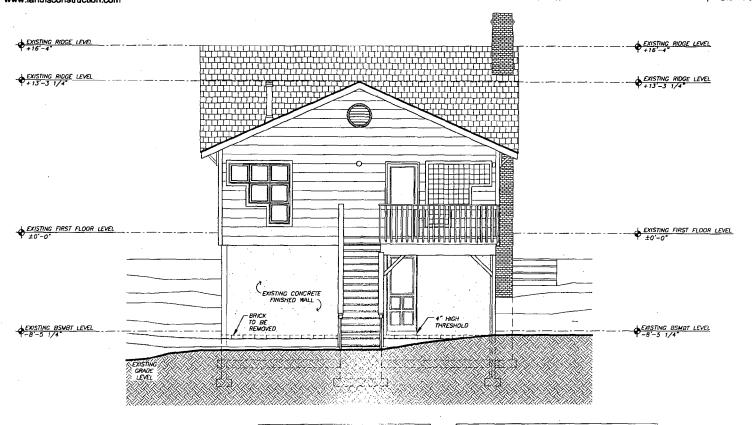
A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon 515 New York Avenue Teksme Park, MD 20912 **D3.3** 

Sheet Title: DEMOLITION REAR ELEVATION Scale: 3/16" = 1'-0"

Date: 05-30-06



OTES

SUPPLY & INSTALL SCALEN INNER ID ACCESS TO REAR PATIO LUDGER EXISTING ID (X EXISTING PEAR BRICK PAIN) TO HE HILACED BY CONCRETE PAD UNDER EXISTING DECK

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Rear Elevation



A DESIGN / BUILD FIRM

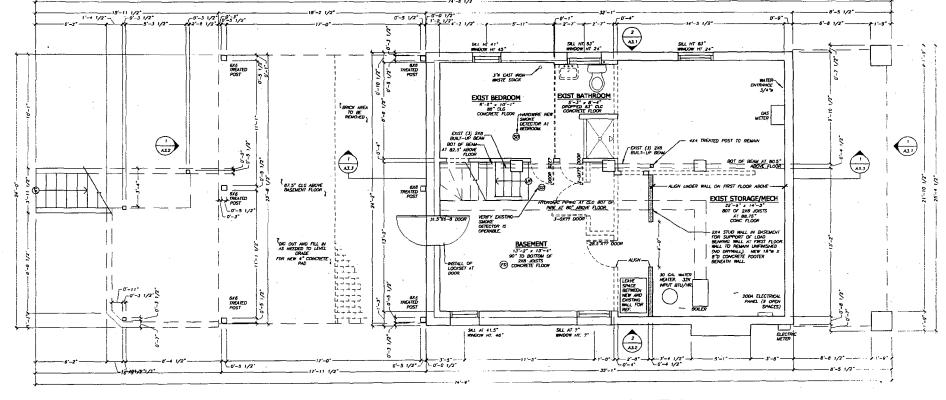
7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon 515 New York Avenue Tatoma Park, MD 20912

**D1.0A** 

Date: 05-30-06

DEMOLITION BASEMENT FLOOR PLAN Scale: 3/16" = 1'-0"



LEGENDS EXIST CONSTRUCTION/ WALLS EXIST CONSTRUCTION TO BE REMOVED (SEE ALSD DEMO PLANS, TYP)

**Basement Floor Plan** 

7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

www.landisconstruction.com

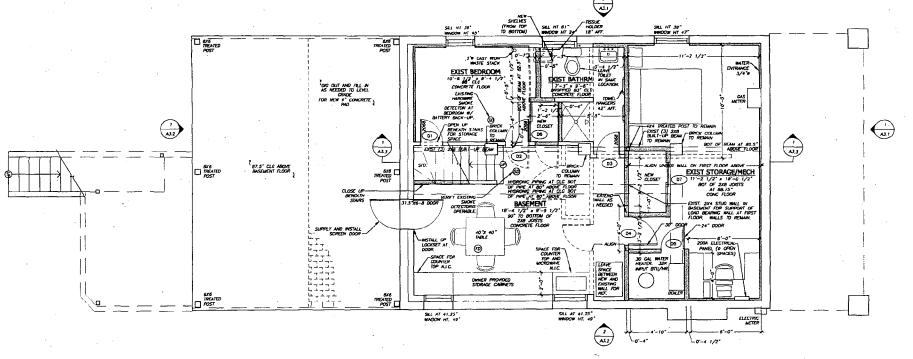
Fax: 202-882-9700

Project

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **A1.0A** 

Sheet Title:
PROPOSED BASEMENT FLOOR PLAN
Scale:
3/16" = 1'-0"

Date: 05-30-06



LEGENOS	<del></del>
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Basement Floor Plan

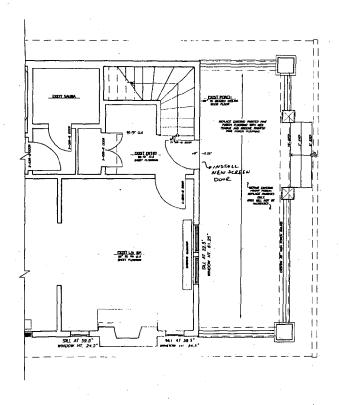
7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

www.landisconstruction.com

Fax: 202-882-9700

Date: 05-30-06 Sheet Title: PROPOSED FIRST FLOOR PLAN Scale: 3/16" = 1'-0"



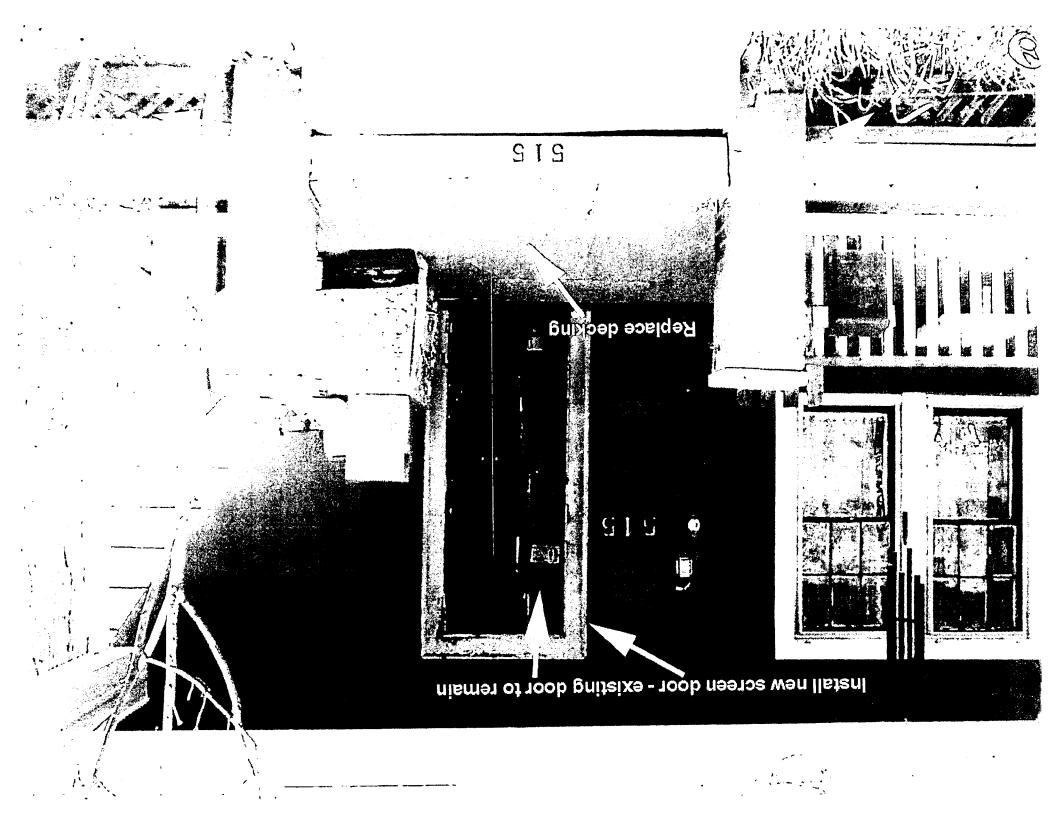
#### NOTES

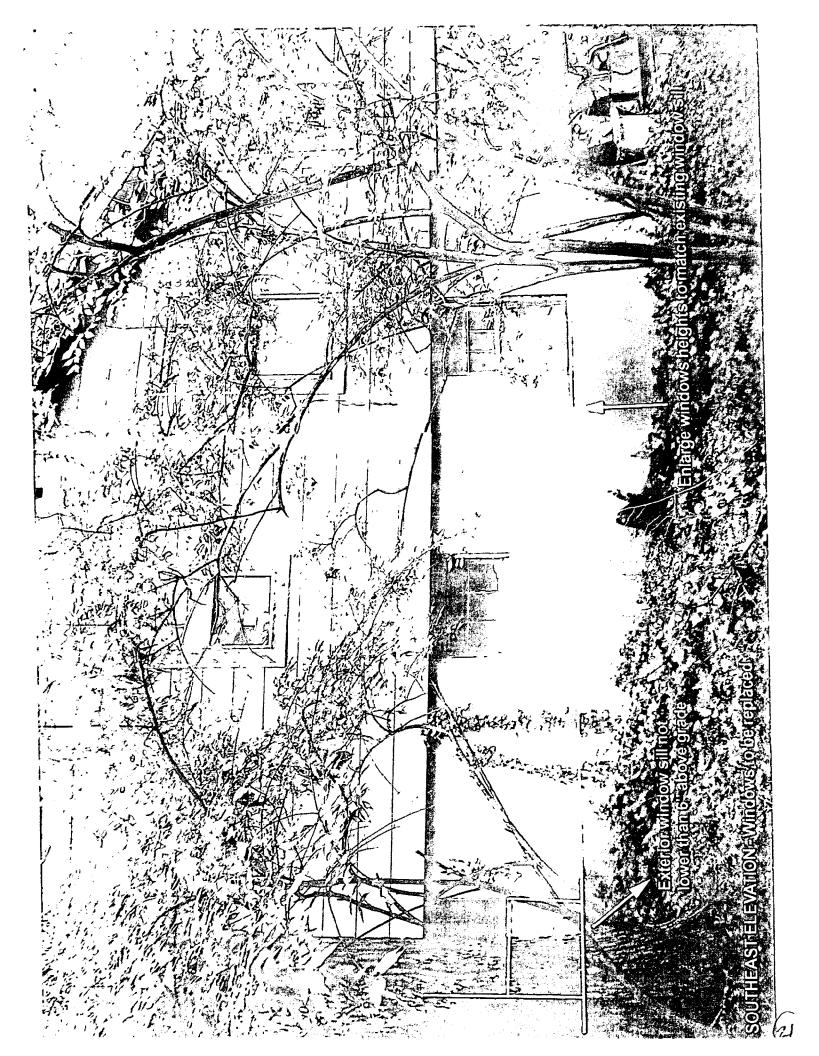
REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY -AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATID UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

1 Proposed Floor Plan - Current Expansion











### HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

515 New York Avenue, Takoma Park

Takoma Park Historic District

**Meeting Date:** 

06/21/06

Resource:

Contributing Resource

**Report Date:** 

06/14/06

Review:

HAWP

**Public Notice:** 

06/07/06

Case Number: 37/03-06CC

Tax Credit:

Partial – front

porch floor

Applicant:

Carole Crandon (Yerko Pallominy, Agent) Staff:

Michele Oaks

**PROPOSAL:** Alterations

**RECOMMEND:** Approval with Conditions

### **STAFF RECOMMENDATION:**

Staff recommends that the Commission approve this HAWP application with the following conditions:

- 1. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
- 2. The windows will be fabricated of painted wood, or solid wood with an exterior cladded in vinyl or aluminum. If the windows are to have a muntin profile, the windows will be a simulated divided light wood window, which contain wood muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.
- 3. The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
- 4. The specifications for the front and rear wood screen doors will be included in the permit sets of drawings submitted to-staff at the time of stamping.
- 5. The applicant's front porch floor will be replaced with painted or stained, oak, tongue and groove flooring.

### **BACKGROUND**

On September 28, 2005 the Commission approved with conditions a HAWP application to:

- Widen the current three-bay dormer by creating a full-width dormer on the front façade. The dormer will continue to have the overhanging eves and exposed rafter tail details as the original. Additionally, the applicant is proposing to use a painted, wood, lap siding on the dormer in preparation for a future removal of the asbestos siding and rehabilitation of the original wood siding on the original massing. The proposed windows are wood with a camed glass pattern. The dormer will be sheathed in a standing seam copper or tin roof.
- Handicapped ramp (Deleted from this current application by applicant in order to continue to work with HPC staff and Takoma Park's arborist to address design and material concerns ramp will return to HPC at a later date with a new design that better addresses these issues.)
- Remove the existing gutter and downspouts on the property and replace with copper ½ round gutters and new downspouts.
- Remove the Masonite siding and trim on the rear addition and replace with cement fiber siding with 11" exposure.
- Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking.
- Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame.
- Repair/replace in-kind existing beaded wood soffit and damaged fascia and rake mould drip.

### The HAWP's conditions of approval were:

- 1. A tree protection plan for the existing trees will be drafted and approved by the Takoma Park City Arborist.
- 2. The proposed windows in the dormer are changed to a 4 or 6 light, wood, casement or awning, simulated, divided-light window.
- 3. The handicapped ramp and landscaping plan is deleted from this current proposal and the applicant and her design staff continues to work with the Takoma Park Arborist and HPC staff on the design and material selection for this structure and overall landscaping plan to create a product that will be user-friendly, environmentally-sensitive and historically compatible to the site.

### **PROJECT DESCRIPTION**

SIGNIFICANCE:

Contributing Resource

STYLE:

Bungalow

DATE:

1918

515 New York Avenue is a contributing resource within the Takoma Park Historic District. The building is a 1-½ story frame bungalow clad in wood siding with an asbestos shingle siding veneer. The house is ornamented with a full-width front porch supported by brick columns. The roof is detailed with a full-width dormer (widened from three bays wide in 2005) with overhanging eves and exposed rafter tails and four light casement windows.

A 1986 addition was added to the rear of the house. The rear addition is of frame construction and was clad in Masonite lap siding. The applicant received approval to remove the Masonite siding and replace it with the Hardi-plank lap siding in 2005.

The entire roof was covered in 3-tab asphalt shingles. The new dormer will be covered in copper.

### **PROPOSAL**:

The applicants are proposing to:

- 1. Increase the size of and replace the existing basement level windows to provide for egress on the side elevations of the house (see details on attached plans beginning on circle 13).
- 2. Remove the existing brick walkway beneath the existing addition (165 sf) and replace it with a 4" thick concrete pad (235 sf).
- 3. Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking (approved with the previous HAWP on 9/28/05).
- 4. Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame (approved with the previous HAWP on 9/28/05).

### **APPLICABLE GUIDELINES:**

Alterations to the buildings within the Takoma Park Master Plan Historic District are reviewed by the Commission with the guidance of the Secretary of Interior's Standards for Rehabilitation, the Takoma Park Historic District Guidelines, Approved and Adopted in August 1992 and the Montgomery County Code Chapter 24A. The pertinent information in these documents is outlined below.

### Secretary of Interior's Standards for Rehabilitation

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

### The applicable Standards are as follows:

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### Takoma Park Historic District Guidelines

The Takoma Park Guidelines define contributing resources as:

A resource that contributes to the overall character of the district and its streetscape, but is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

### The following guidelines pertain to this project:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Original size and shape of window and door openings should be maintained, where feasible.
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### Montgomery County Code; Chapter 24A

### A HAWP permit should be issued if the Commission finds that:

- 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
- 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within a historic district in a

manner compatible with the historical, archaeological, architectural or cultural value of the historic site or district in which a historic resource is located.

### **STAFF DISCUSSION:**

The main aspect of the subject proposal is the foundation level window size increase and replacement. The designs of the proposed windows take details from the original windows on the upper levels. As such, the proposal does not alter the existing bungalow's characteristic features or original form and continues to be consistent and compatible with the surrounding streetscape. Therefore, this proposal meets the criteria outlined in the Takoma Park Guidelines. The above-recommended conditions are standard conditions required for any HAWP within the Takoma Park Historic District and the proposed conditions are suggested for clarification of the materials to be used for the subject project.

### STAFF RECOMMENDATION

Staff recommends that the Commission approve with the above-stated conditions the HAWP application as being consistent with Chapter 24A-8(b)1, 2 & 3.

and with the Takoma Park Guidelines, adopted in August 1997.

With the general condition that the applicant shall present the <u>3 permit sets of drawings</u> to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.

PPHYZZZZ

### HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

CAROLE CRANDON 515 NEW YORK AVE TAKOMA PARK, MD 20912 Owner's Agent's mailing address

YERKO PALLOMINY 7058 SPRING PL NW WASHINGTON DC 20012

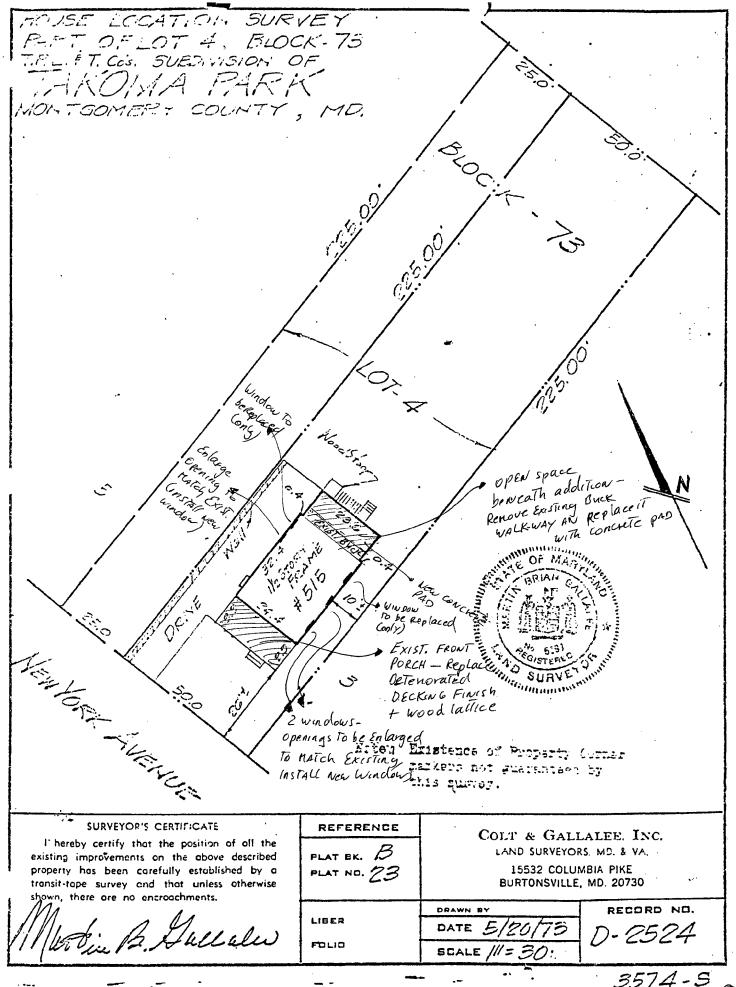
Adjacent and confronting Property Owners mailing addresses

KRISTINE D. TEMPLIN 508 NEW YORK AVE TAKO MA PARK, MD 20912 HENRY S. ALLEN IV 513 NEW YORK AVE TAKOMA PARK, MD 20912

EUGENE H HERMAN 511 NEW YORK AVE TAKOMA PARK, MD 20912 FRANCINE POLLNER 510 PHILADELPHIA AVE TAKOMA PARK, MD 20912

JEFFREY P. COHN
514 PHILADELPHIA AVE
TAKOMA PARK, MD
20912

JAMES C. BENFIELD 519 NEW YORK AVE TAKOMA PARK, MD 20912 PETER M. CLOSE
ELLEN M. CONWAY
510 NEW YORK AVE
TAKOMA PARK, MD.
20912



### LANDIS CONSTRUCTION CORPORATION

#### A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com



### **Street Elevation**

- 1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE DR AS NOTED.
- 2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
- 3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
- 4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENDMENTS.
- 5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
- 6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROLECT MANAGER AND DESION TEAM PRIOR TO DEMOLITION.
- 7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-7777 BETWEEN THE HOURS OF 7.00 cm. TO 5.00 pm. MONDAY TROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET A MINIMUM OF 88 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS, IS REDUIRED.

**General Notes** 

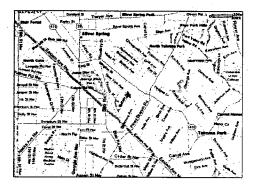
422726

Carole Crandon 515 New York Avenue Takoma Park, MD 20912

**A0.1** 

Date: 05-30-06

TITLES AND NOTES NOT TO SCALE



2 Vicinity Map

- 1- BASEMENT LEVEL REMODELATION.
- 2- FRONT PORCH FINISHES REPLACEMENT.

### 3 General Scope of Work

AD.1 - TITLES AND NOTES

D1.OA — PROPOSAL 1 — DEMOLITION BASEMENT FLOOR PLAN D1.OB — PROPOSAL 2 — DEMOLITION BASEMENT FLOOR PLAN

A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN A1.1 - PROPOSED BIRST FLOOR PLAN A3.1 - PROPOSED FRONT ELEVATION A3.2 - PROPOSED BERT SIDE ELEVATION A3.3 - PROPOSED BERT SIDE ELEVATION A3.4 - PROPOSED LETT SIDE ELEVATION

E1.GA — PROPOSAL 1 — ELECTRICAL BASEMENT FLOOR PLAN E1.GB — PROPOSAL 2 — ELECTRICAL BASEMENT FLOOR PLAN

5 Table of Contents

LANDIS CONSTRUCTION CORPORATION

A DESIGN / BUILD FIRM

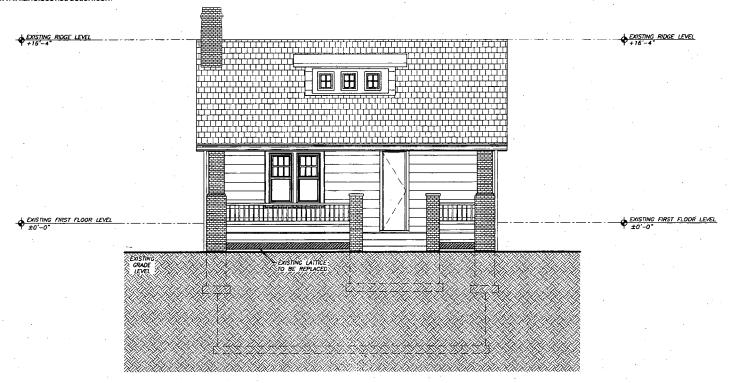
7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Proje

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **D3.1** 

Date: 05-30-06 Sheet Title:
DEMOLITION FRONT ELEVATION
Scale:
3/18" = 1'-0"



NOTES

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Front Elevation
3/16' = 1'-0'



LANDIS
CONSTRUCTION
CORPORATION

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777
Fax: 202-882-9700

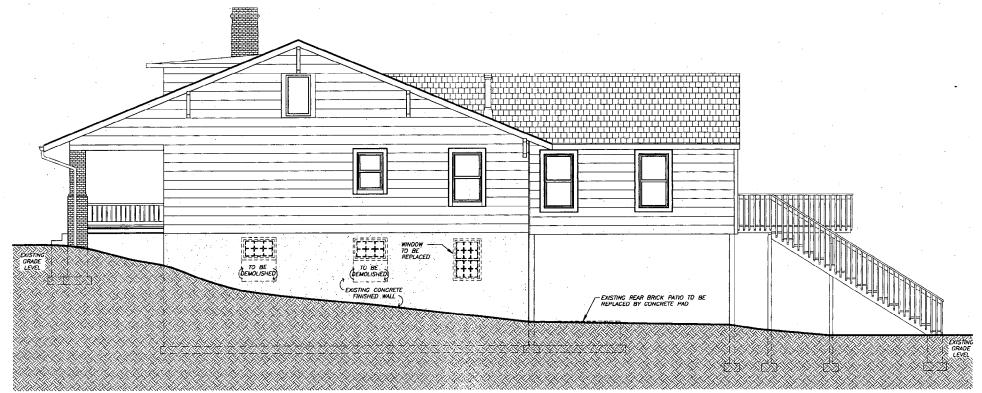
www.landisconstruction.com

Carole Crandon 515 New York Avenue Taloma Park, MD 20912

**D3.2** 

Date: 05-30-06

Sheet Title: DEMOLITION RIGHT SIDE ELEVATION Scale: 3/16" = 1'-0"



REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO OEMO PLANS, TYP)

Right Side Elevation



A DESIGN / BUILD FIRM

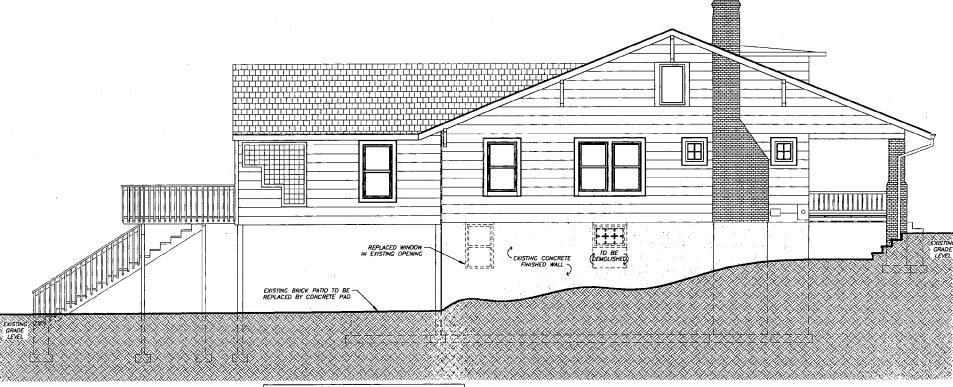
7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com

Carole Crandon 515 New York Avenue Takoma Park, MD 20912

**D3.4** 

Date: 05-30-06

Sheet Title: DEMOLITION LEFT SIDE ELEVATION Scale: 3/16" = 1'-0"



NDTES

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY AREA WILL NOT INCREASE.

REPLACE DNLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE OECKING.
REPLACE EXISTING WOOGEN LATTICE UNDER THE PORCH

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	·
	EXIST CONSTRUCTION/ WALLS
.[[]]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**Left Side Elevation** 3/16" = 1'-0'



A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon 515 New York Avenue Tekoma Perk, MD 20912 **D3.3** 

Date: 05-30-06 Sheet Title: DEMOLITION REAR ELEVATION Scale: 3/16" = 1'-0"



NOTES

SUPPLY & INSTALL SCREEN DOOM TO ACCESS TO REAR PATIO UNDER EXISTING DEEN. EXISTING REAR BRICK PATIO TO BE HELACED BY CONCRETE PAD UNDER EXISTING DEEK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Rear Elevation



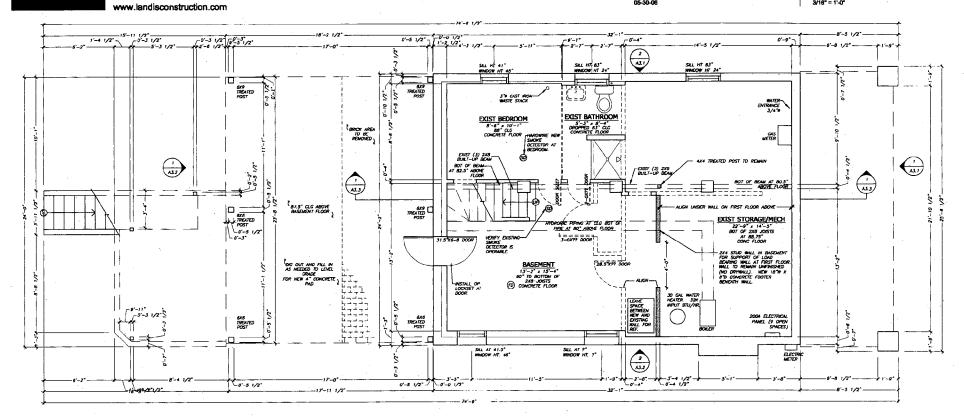
7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

Fax: 202-882-9700

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **D1.0A** 

Date: 05-30-06 Sheet Title:
DEMOLITION BASEMENT FLOOR PLAN
Scale:
3/16" = 1'-0"



LEGENDS	
<u> </u>	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Basement Floor Plan
3/16' = 1'-0'



7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

www.landisconstruction.com

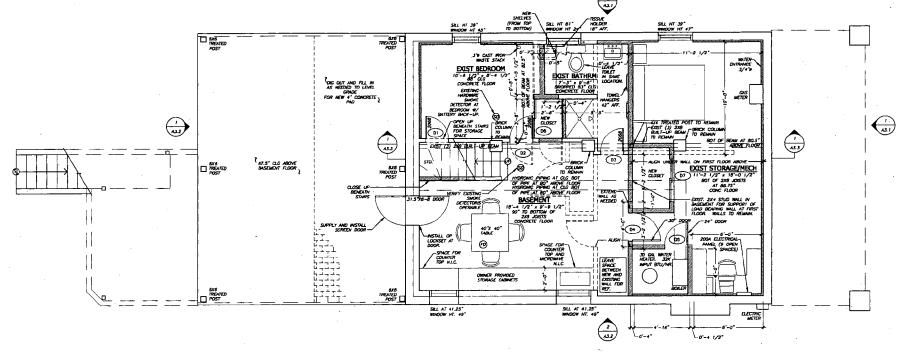
Fax: 202-882-9700

Project

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **A1.0A** 

Date:

Sheet Title:
PROPOSED BASEMENT FLOOR PLAN
Scale:
3/16" = 1'-0"



LEGENDS

EXIST CONSTRUCTION/ WALLS

NEW CONSTRUCTION/ WALLS

EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, 17P)

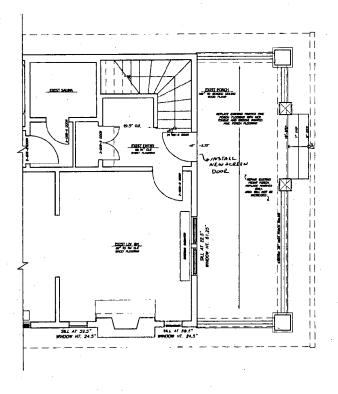
**1 Basement Floor Plan** 



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Proje

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 A1.1

Date: 05-30-08 Sheet Title: PROPOSED FIRST FLOOR PLAN Scale: 3/18" = 1'-0'



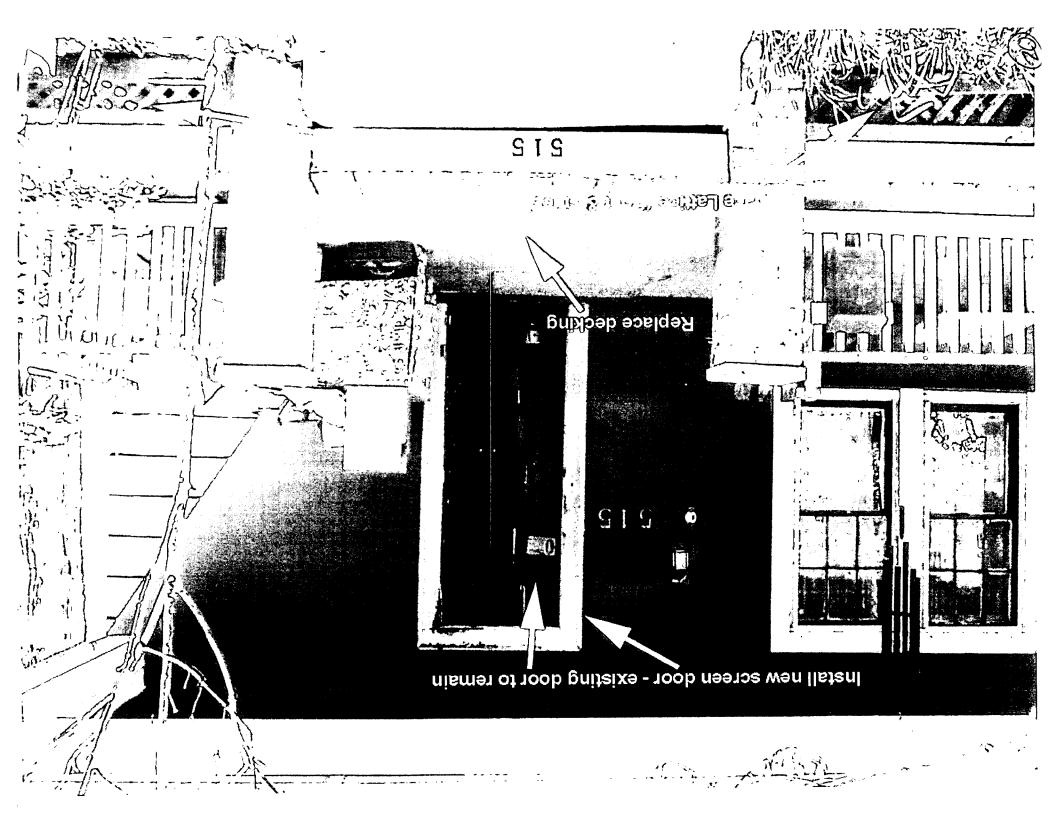
#### NOTES

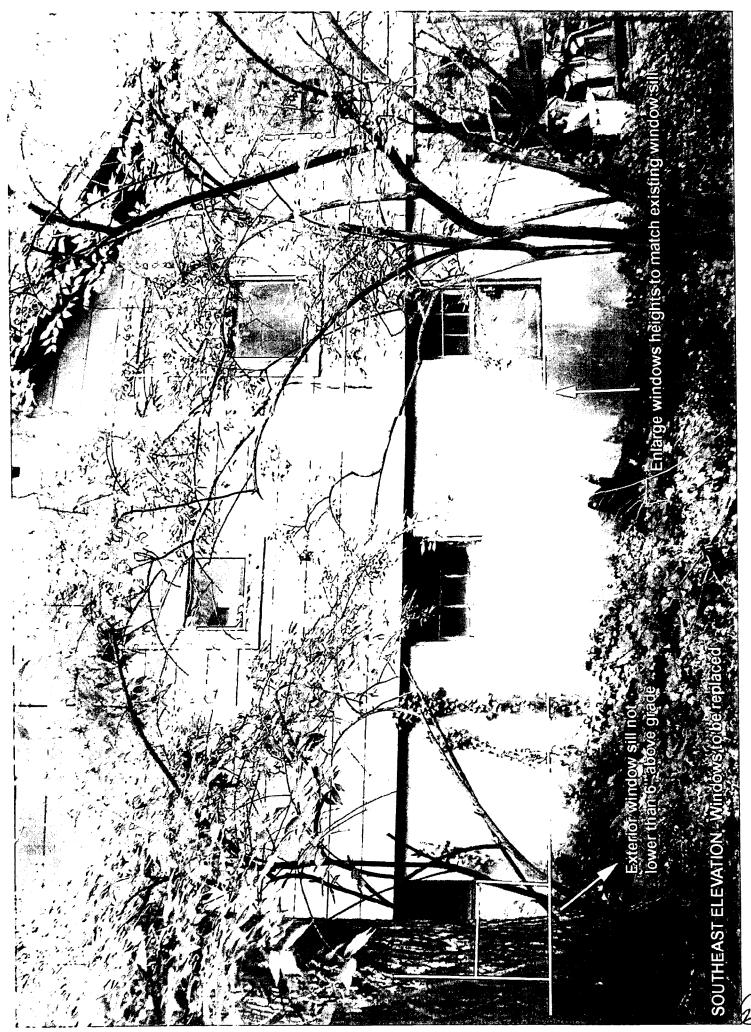
REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

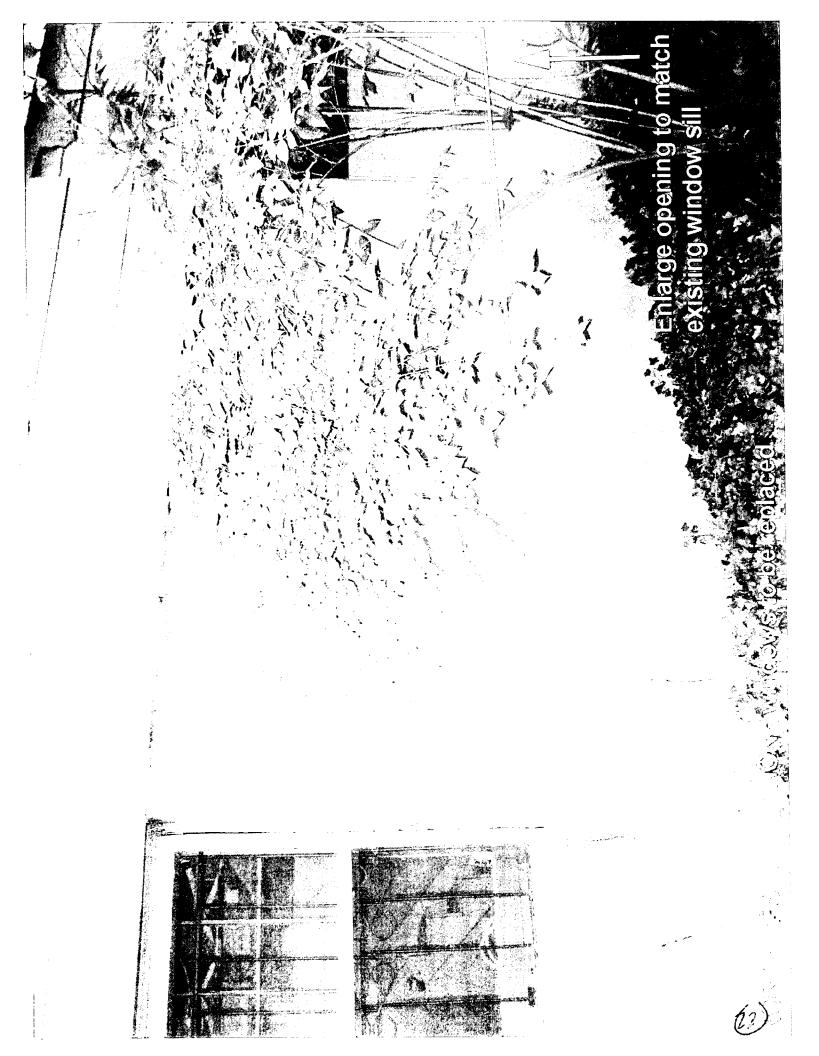
REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PDRCH.

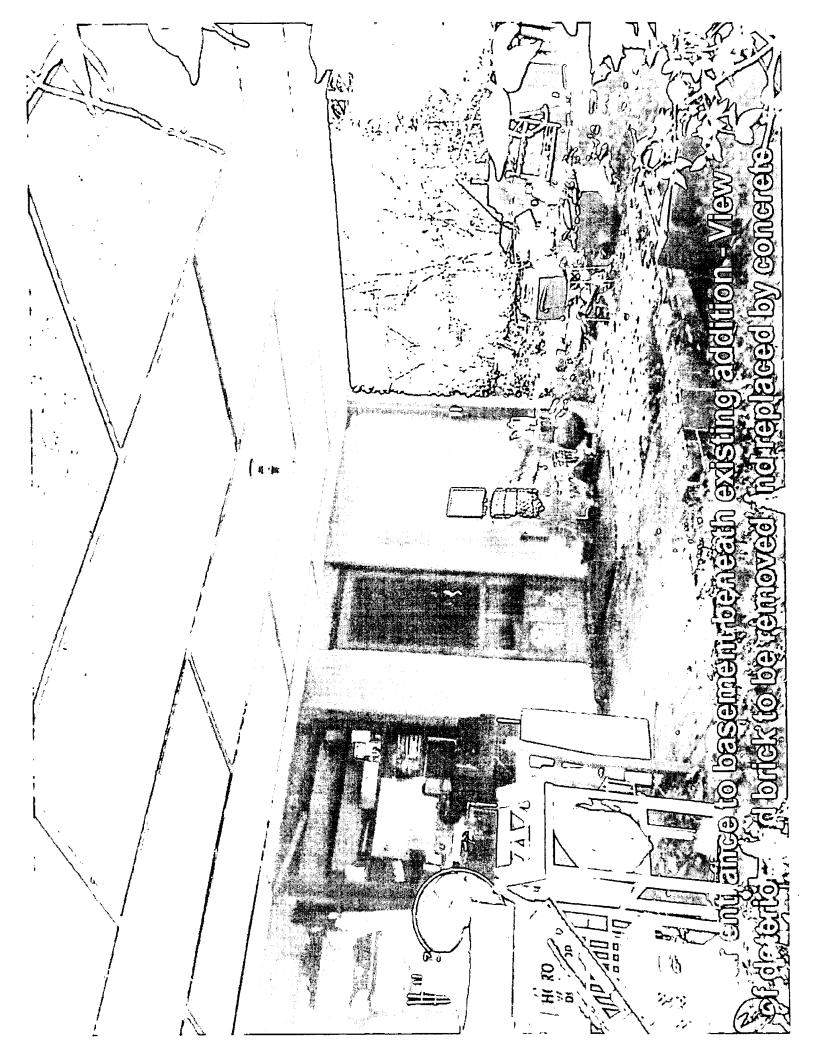
SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

1 Proposed Floor Plan - Current Expansion









and the second of the second of the sale in the sale in the sale of the second of the

Olather-bramed—
Ospecs bon rear +
Despecs bon rear +
Green power

(4) specs for windows

(5) T. P. Krybonist

(6) T. P. Krybonist

## ONSTRUCTION

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

THIS BLELD WITHOUT AND WHITHOUT THE DESCRIPTION OF COLUMN PARK THE DESCRIPTION OF CONSTRUCTION CEMERAL NOTES (FOR THE DISTRICT OF COLUMBA): CORPORATION

THE FLIMBING AND OUS DESIGN IS TO BE IN COMPORANCE WITH INSIC PLIMBING CODE AND PSTA. WEIGHNESTS AS APPROVED BY THE DISTRICT OF COLLIMBIA IN THE 2013 D.C. CONSTRUCTION CODES.

THE WORK SHILL BE IN CONTRAMMER WITH MPH-161/1907 AND PRI LICCU, AMDICHADINS AS APPROADS BY THE COSTINCT OF COLLINGS AS SHILT SHILT ONCE IN THE 200J D.C. CONSTRUCTION TOWNS.

AND SLOTE ALANG SHILL RE IN ACCIDIONNIC WITH THE WITH-T2/1004 AND THE LOCK.

THE STATE AS MEMORY OF THE CONTROLLING WE HAN THE THE CASTINATION COURS.

IN MORE ACCIDISATE (NOW THE STATEMENT OF MEMORY OF STATEMENT AND THE STATEMEN

MEN OMBLINGS SHALL GE IN ACCOMPANCE WITH HPTH-LIJ/1004 SYRMALDS CODE AND PER LOOK. AMENDARISTS AS APPRIMED BY THE DETINGT OF COLLARGIA IN THE 2023 D.C. CONSTRICTION CODES. ACCESSION'S CODES SHALL BE EXTERMED PER COMPA GAGALLE, AUMAG, & STANG.

DESIST CONSTRAINEN SYML DE CONCINED DY THE CC. MITENVIDAN, DISTIST CONSTRAINEN CONSTRUCION HO DES LOCAL AMERIKATIS AS APPRINCID ET THE DISTINCT OF COLUMBAN DE THE 2001, O.C. FRACTI MS EETH ESCHOOL FOR the MEDIC OF the MITBALS ANCHOOL ON the DAMMASS THE SECRETARY OF THE MITBALS ANCHOOL OLD SOME MADE (I SECRETARY OF COMPANIES AND SECRETARY OF THE STORM AND THE SECRETARY OF THE SECRET

LANS COGRETICION CORPORIDM MANIMAS A MOTTON SAFIT PROCESA. IS RICLARD BY CISAL FOR SET SETS CONSTRUCTION PROCESSARIZ AND A SAFIT EDUCATION PROCESSARIZ. LUNG GEALER HOW THE APPLICAGE BESIGN LOAGS NOTED ABOVE SWILL NOT DE PLACED ON THE DESTRUCTIONE HOUSENES SWILL EN MAN TON ACCOUNT BRUING WE SEPPORT OF ALARCENT CONTINUENT WITHIN AND EXCHANDIAGE.

NO NOT BECAUSE, CARNELL AND STREAMENT FLOORS AT STREAM, IN ACCORDING SPECIAL DISCUSSION OF STREAMENT AND ACCORDING SPECIAL DISCUSSION OF STREAMENT AND ACCORDING SPECIAL DISCUSSION OF STREAMENT OF STRE COMPRENES AND HANDONIS SHALL BE RESOLD AND CONSTRUCTED TO THE STRUCTURAL LOUDING SETSEED IN SECTION 44 OF THE ASSE STAURAND 7-423 "MEMBELL DESCH. LOADS FOR BRAINERS, "AND OTHER STRUCTURES".

SIGN DRIBNE SLEAFING, F CALLD FOR ME SUBMITTO IN LANDS CONSTINCTION CO

CONTINUE BALLAGO CONTINUE ANTI-ORI CONTINUE ANTI-

HITS DELAKTED WITH AN ASTERIOR (\*) ARE SPECIALTY STRUCTURES REQUIRENC THE SHRAFTLA OF BOTH CALLALATORS AN SING DEMINAS SIDED AND SCALED BY A PROTESSIONAL DIAMENT RECEIVED AN PROFESSIONAL STATE. For over the to report the presence of the first first, which the first confidence for an experience of the formation of the first confidence of the first first confidence of the first f

BOTTON BLANDON OF MEW FOOTINGS ALAMCIOT TO EXISTING FOOTINGS SHALL MATCH THE BOTTOM OF

INS. CONTINCTOR SHALL NOTION A STRUCTURAL DEPORTOR F THE MEDIATED GOTTON OF EXCHANTON TORM MEN FORCES IS LONGOT THAN THE EXITING OF ALLACOST. BELLEWIST.

4. UTAIY LIKES SWILL HOT BE PLACED THROUGH OR BELOW THE FOUNDATION LIKESS SPECIFICALLY ORDAND ON THE SITURCITUM, CHROMINGS, OR APPROVED BY AN DIGREED. S. THE CONTINCTOR SHALL EXCLURE THAT EXCHANTORIS FOR FOOTINGS RESIDEN DRY CLARING CONSTIT CONCRETE NOTES:

ALL CONCEST, CANDEST, SERVICE AND ALL STATEMENT CONCESTS AND ASSESSMENT OF CONCESTS AND ASSESSMENT ASSESSM

REPRETATION OF THE VALUE SHALL SHARL SHALL SHALL

ALL CONCETT FORMORY, SMILL OF IN ACCORDANCE WITH THE MASSICAN CONCRETE ASTITUTE. TORNORING THE SECURION FIG. 4, MO. NO. "SWADAYO RECOMMEND PRACTICE TORNORING" (AJL 347).

AL TELL HO LAN TETTING OF CONCETT, E RETARRED SHALL CONCERN IN THE LATEST ANNOYED (OF CONCERNS OF CONCERNS STREAMS, AND CEN UN TESTING OF STREAMS OF CONCERNS STREAMS, AND CEN UN TESTING OF CONCERNS OF CONCERNS STREAMS OF CONCERNS OF C A CONCEST FOR SALE CONTROL IN TAXABLE OF THE CONTROL OF THE CONTRO

CONTRY THE RELL AND LIB TESTING CONTRIBES TO THE ASTN DOCIMENTS AND GOOD PROUTICES.  $\rho_{\mathcal{L}}$ 

COMPETE FORWARDS SWILL NOT BE DETARRED LATE. THE COMPETE HAS CLARD LONG BOLLOW DE HIGH. TO SUPPORT IS ONN MEDIOR FLICK. A MEMBER OF DE PSY CONTRICIONAL LOUGH CONDESS. THE CHARLE HAVE NOT SUPPORT ITS DESCRIPTION LIKE LONG LATE, IT WAS CHARD FOR 28 DAYS. 

F MEDSTED DE DEMENTE OF MEDSME, COMMUNE PAUL, SAMME TO AMHORAL DE COMMUNE ON THE COMMUNE OF MEDSTED DE COMMUNE ON THE COMMUNE ON THE COMMUNE OF MEDSME ON THE COMMUNE OF TH

 The LOS OF ADDITION TO THE CONCINENT AND WALL NOT BE POTATION LINESS THE CONTINUENCE WAS MEDINAND THE PROOF WHITTEN APPROVAL OF THE DIVIDION OF RECORD. ADDITION CONTINUENCE 10. COMONETE TOR STRUCTURES THAT ARE TO RECOVER A PROTECTIVE SAFACE CONTINCTION CORPORATION INTEREST BY ARE CONTINCTION CORPORATION.

ALL RENOTIONS SMILL BE NEW BLLET STEEL CONTINUES IN ASTE AGIS, CHACK ON FINANCIOS PAUL ALL RENOTIONES SMILL BE DESTALDEN MONTHANDER MODERNOS IN PROSESSORIE OFFI THE NEW SMILL ALL DOWNES SMILLER FOR ENLAND CONCRETE STEELENES (AZ 1513). LINEAS SHERMER, ONLY ALL DOWNES SMILL BE THE SMILL SEE AND SPRICHO AS THE VERTICAL BIOLS TO WHICH THE WITH SMILLER. CONCRETE REPRORUNG NOTES:

LIP ALL RENDOCING SALCES AN BAY SHARTEN FOR UP TO \$6 BAYS AND ALS BAY DANFTED FOR MANUFACTORS BAY DANFENCE. BROOM THE SALCES AN AND SK BAY DANFENCE, BROOM SALCES AN AND SK BAY DANFENCE. BROOM SAL AND SK BAY DANFENCE. BROOM SALCES BAY DANFENCE. BROOM SALCES BAY DANFENCE. BROOM SALCES BAY DANFENCE. MEDIZOD MINE FARRIC (MINE) SAMI, COMPRINE TO ASTA AND SAMI, RE S" X 8" WI A IF WI A STRULL ATT 5 TRUE WITH TOP OF THE CONTROL TO MESS MILLION WITH FARRIC TOWN LAVE CAND LAVY ONE FILL MESS AND SAMI, DETFOR WITH SERVICING RELIES OF MALLS (MINERE MESSA). MODE CONCERT BRITTING FOR PROPERS OR RULDINGS.

R. RITTING J.Y. (DOUGHTE LOST AGANT BRITTING BRITTING OR BRITTING OR RULDING OR RULDING OR BRITTING OR RULDING OR BRITTING OR RULDING OR BRITTING OR B

amer confirmation sets, if a reconserved min set automatic contribution of a set and a set and a set a

Date: 05-30-06

As a series were considered to the construction of the constructio

HUL SECTIONS AND POTS WITH LESS THAN TOUR SOUME FEET OF GROSS GROSS SECTIONAL AND SHALL BE CONSTRUCTED OF SOLIO MISSIANT.

TOOSE TRULTS FOR MASCHETY WALLS SAME BE AS FOLLOWS FOR EACH 4" WITH

3 1/3" x 3 1/2" x 5/10" male 6" x 3 1/3" x 5/16" male 6" x 3 1/3" x 5/16" male A 0-0-75 S-0-0 B J-1-70 S-0-0 C S-1-70 S-0-0

6. ALL MICLIS SHALL HHE "DOIC LES MOTIONE", MOD" SHE REMONG, LIMITIS OUR DOIDNESS PR MITISMA BECOMM HARMING AND INCHMINES SPECIED SHALL SHE MECKET LOHMINGS IN COMMISS OF MICH. MITISS & DOIS SHIT I, SO SHE TOS AND SOTTOM FOR DOIL I" WERTH.

ALL STRUCTURE, TIED. THEE CALMEE SHALE SHALL CONDING TO KEEN ARRY. ALL INCO SHAELD SHALL SHALL THE SHALL SHA

ALL SOW ON THE DEMOCRACY WILL REFER TO ONLY IN THE THE THE SECOND AND THE SECOND

AND BOLTS SHULL BY ASTA AND RODS WITH THOM-WIDDED HICK HOLD MATS AT EMBEDDED END OR AND BOLLS WITH THE HOLD EMBEDDED. MOLES SONIL NOT SET CLIT IN STEEL MEMBERS LINKLESS INDICATED ON THE DOWNINGS OR APPROVED IN INTERPROPERTY OF PROPERTY IN

STEEL HOW HELD HOT BE CONCEALED BY MITCHON BALLOWO PHISH OR HILL BE IN CONTLICT HITH CONCERTE HEED HOT BE PHINTED. ALL OTHER STEELHOOF SPALL BE CINCH ONE COAT OF SIZE PHINT ALL MODE CONSTRUCTORY, MICLIDIANE, MALMO, AND RETAKE, SHALL BR. BY ACCORDANCE WITH THE MICHIGAN EXPONENT OF THE LOCKING MACHINE CONST. AND THE ZERO I STATEM OF THE "MICHINA" LOCKING AND SECENCIAL FOR THE PROPERTY OF THE MICHINA (FIFM).

ALE THANKS LIMBER SAUL OF SPRICE—PRE-FIR (SPF) (F)/(R OR BETTE), UNLESS NOTED OTHERWISE LIMBER TO BE ORNOTE FIR MITCHILLIMBER DRIVES ALTHORITY (ALCA) PRAES PROVIDE DOLELE LIOSTS AT PARALLE. PARTITIONS THENCE PARTITION LENGTH EXCELLS 1/3 JOINT SPAN

ALL BOOM BORRED EXTRAHLD AS THEISSME-REATED! (PT) SAUL RE SOURBH PIE ET OR BOOMSEN-AFFRODE SECURIA AND BUILD-AFFRE MEXISMING REATED IN ACCORDANCE WITH THE AMERICAN FOLD-PRESENTATION SCIENCING (APPLY) STANDANG CI-LAL TAL RIBERT MEXICIS:—MEXIMANING REALINGS PROCESSES.

A SECOND SECOND

MYNNE ERICTION ERICHO TOR FLOOR AND ROOF TRAMING IRRICH SALL MICLLOE STRAT BRICHAS, CRIMIS BRACHG TOR BUTTOM CHORD BENEWS, BUTTOM CHORD RESTRIENT, AND SINY BRACHG

Carole Crandon 515 New York Avenue Talcome Park, MD 20912

Sheet Title: GENERAL NOTES Scale: NOT TO SCALE

PARE, CAST OF CHARLES AND TO A CONTROL OF EXPERIENCES TO THE PROPERTY OF THE P MACSS SORWE OTHERWISE, ALL LANTES AND READES SHALL OF THE SPRINGER-PROFESS IN THE PROFESS AND ADMINISTRATION OF THE STATE AND ADMINISTRATION OF THE OFFICE AND PROFESS AT IN THE COMPANIENCE OF THE STATE OF OF THE S

12. SID BRANE MARTINES SMILL LANK & COMPAGES ALLES AL TO THE THE LANKS ACIDED DIAGNES.
WHICH ARE RE SPECIAL ALCES LECTORS ACIDED TO SECURIFY STATES THE SECONDARY ALCEST ACIDED THE LANKS ACIDED TO SECURIFY STATES THE LANKS ACIDED TO SECURIFY ACIDED THE SECURIFY STATES ACIDED THE SECURIFY STATES ACIDED THE CONTINUE ACIDED THE SECURIFY STATES ACIDED THE CONTINUE ACIDED THE SECURIFIES ACIDED THE SECURIFIES AND ACIDED THE SECURIFIES ACIDED T

AL COTTON TO BULL SHALL WENGO, THE COMENTS WEN AS TRACKING WENDING WAS A STATE OF THE CONTRIBUTE OF TH

ROOF SHALLHAM SHILL BE STANDHOU YOF C-0 34/16 (SHIW MITHO) DITERED GLE RYMODD. MA. RYMODD OR GOD ID JUSTS HAD RINGSON WITH BO MAIS AT 8" G.C. AT SHETI DIDES AND AT 13" G.C. A'LL MITHOUGH THE GOTS AND PRICESS. RIDGO SHOWNERS SHALL BE 3/4 MCH 34" D.C. SHAN TONGUR, MAD DROOM PAYMOOD OF 0583. CLUF INTO SERVICOR AND SHOWNER, MAD SHOWNER, FATHOOD TO LOSTS AMD TRANSOSS WITH MACIO SCHORES AIF 9" C.C. AT DREET DROOM AND THE CLUF AND THE AND THANSOSS.

IMML SHEITHING SHALL BE STANDARD 1/2" 34/16 (SHAM RATING) EXTENDR GLIED REVINCED ON COSTS. AND AT 12" OL AT ALL METHOD ON COST TO STALCE AND AT 12" ON WALS AT 8" OL AT 50 METHOD STAND AT 12" ON AT 12" OLD AT 13" OLD AT 13" OLD AT 13" OLD AT 13" OLD AT 14" OLD AT 15" OLD AT 1

THE CONTINCTOR IS CUITONED THAT NEEDLING, SHOOKING, AND IDENCATION ARE POTENTIALLY HADNOOM WAS ARE EXPLAINED THESE OF RORA, REQUIRENCE STRINGHISMANT ONE, AND CHUTCH EARLY FRANCESHANGE. I've Confecting-Adecorment-To Status Status (and Adecorment and Adecorment and Adecorment and Adecorment and Adecorment The Status Health Status (Adecorment Design Report to Status Health Health Status Health Hea

AT ALL TREES DARRING THES WORK, THE CONTRACTOR SHOULD MONTER THE PERFORMANCE OF THE THE CONTRACTOR SHOWS AND HER LANDRING. LETTER SHOWNER TREAT. I MALLAGE ON SITE IN THE EPOST OF DESIGNATION. 4. THE CONTRICTOR IS RESPONDED FOR THE DESCRIPTION, MAINTINNICE, AND PERFORM THE TERPORARY SHOWS.

S. ALEXANTE BRACING AND COMPETIONS BETWEEN THE COMPONENTS OF THE SHORMS STSTEM SHALL BE PROMISED BY THE COMPINENTER.

FRO MEN CONSTRUCTOR OR SUBSTRACTULY RESCOUNDS CONSTRUCTOR, MASSAMED SUDGE DETECTORS SAUL DE PLACED OR ALL LIPEZ AND M SUCY SLEPING ROOM OR AREA ACCORDANG TO THE .... 2023

CORESS WHOOMS ARE TO CONTORIA TO 2003

HANDRAILS AND GLANDRAILS:



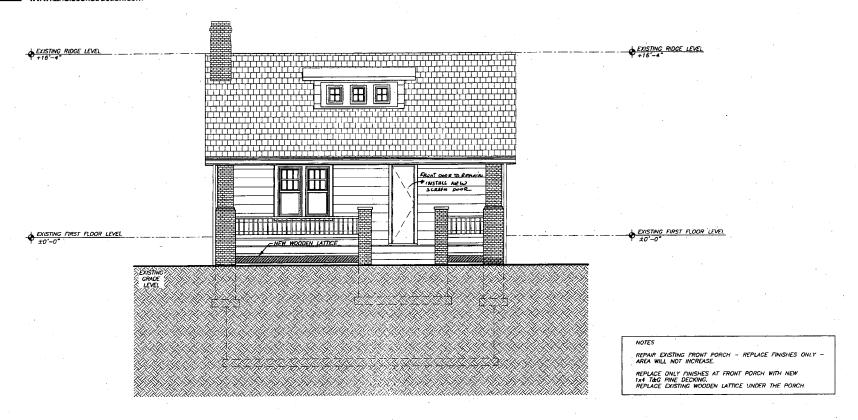
7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777

Fax: 202-882-9700 www.landisconstruction.com

Carole Crandon 515 New York Avenue Takome Park, MD 20912

**A3.1** 

PROPOSED FRONT ELEVATION Scale: 3/16" = 1'-0"



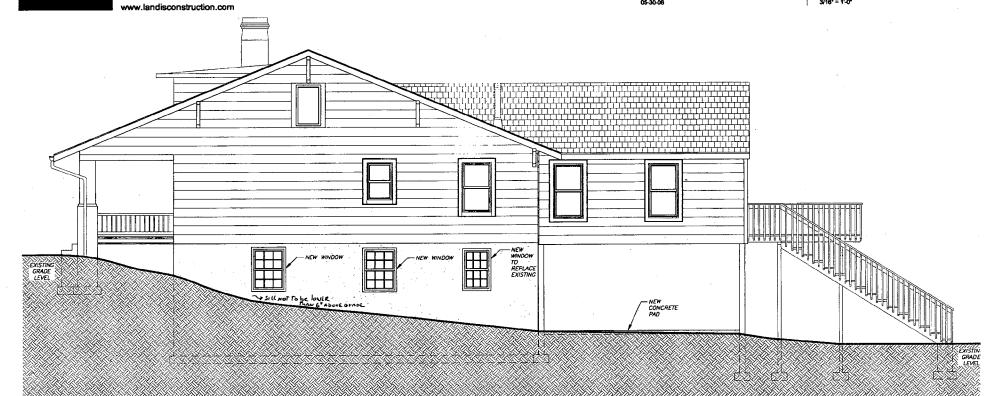
The second secon

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 Projec

Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **A3.2** 

Data: 05-30-06 Sheet Title: RIGHT SIDE ELEVATION Scale: 3/16\* = 1'-0"



NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 114 Tag PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SSUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATID TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

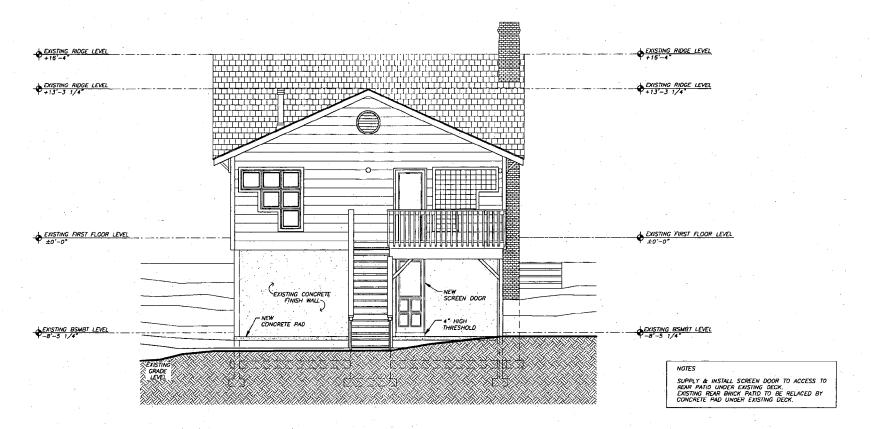
1 Right Side Elevation



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon 515 New York Avenue Takome Park, MD 20912 **A3.3** 

Date: 05-30-08 Sheet Title: PROPOSED REAR ELEVATION Scale: 3/18" = 1'-0"





7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777

Fax: 202-882-9700 www.landisconstruction.com Proi

Carole Crandon 515 New York Avenue Takoms Park, MD 20912 **A3.4** 

Date: 05-30-06 Sheet Title: PROPOSED LEFT SIDE ELEVATION Scale:

Scale: 3/16° = 1'-0"



NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE DNLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK. 1 Left Side Elevation

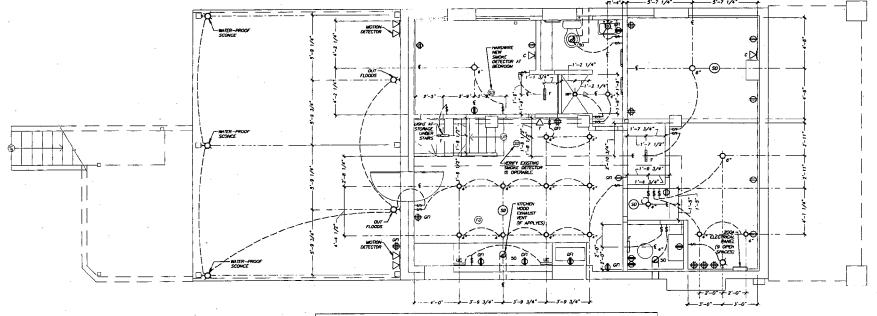
7058 Spring Place, NW Washington, DC 20012

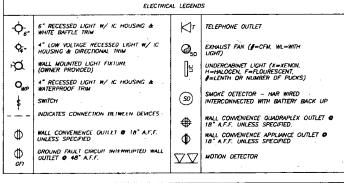
Phone: 202-726-3777

Fax: 202-882-9700 www.landisconstruction.com Project

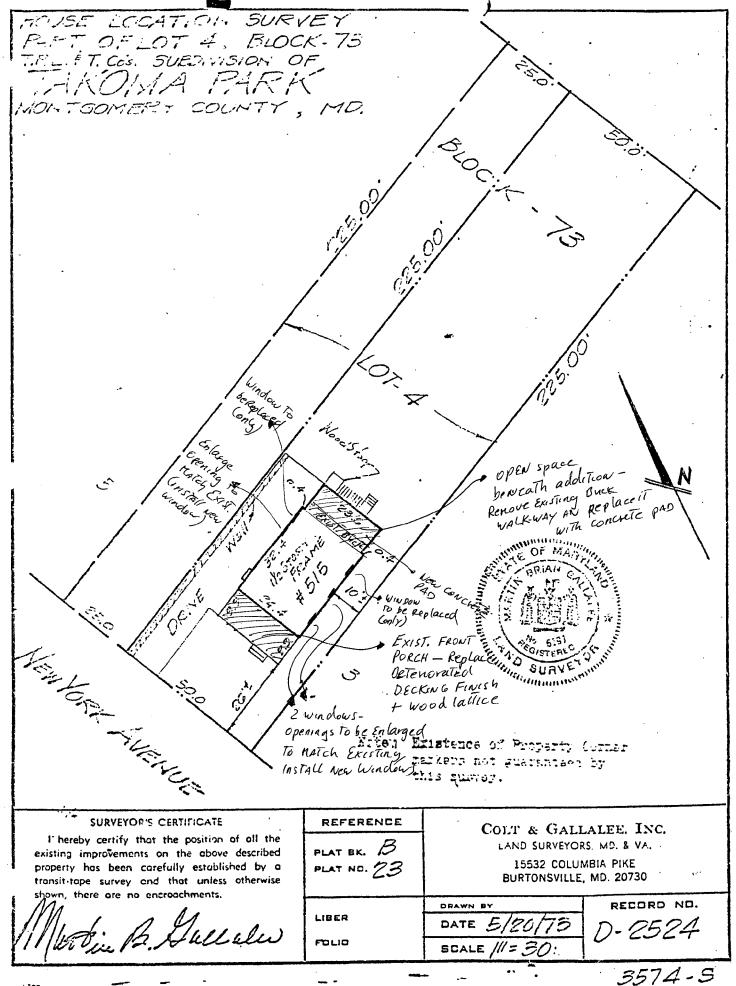
Carole Crandon 515 New York Avenue Takoma Park, MD 20912 **E1.0A** 

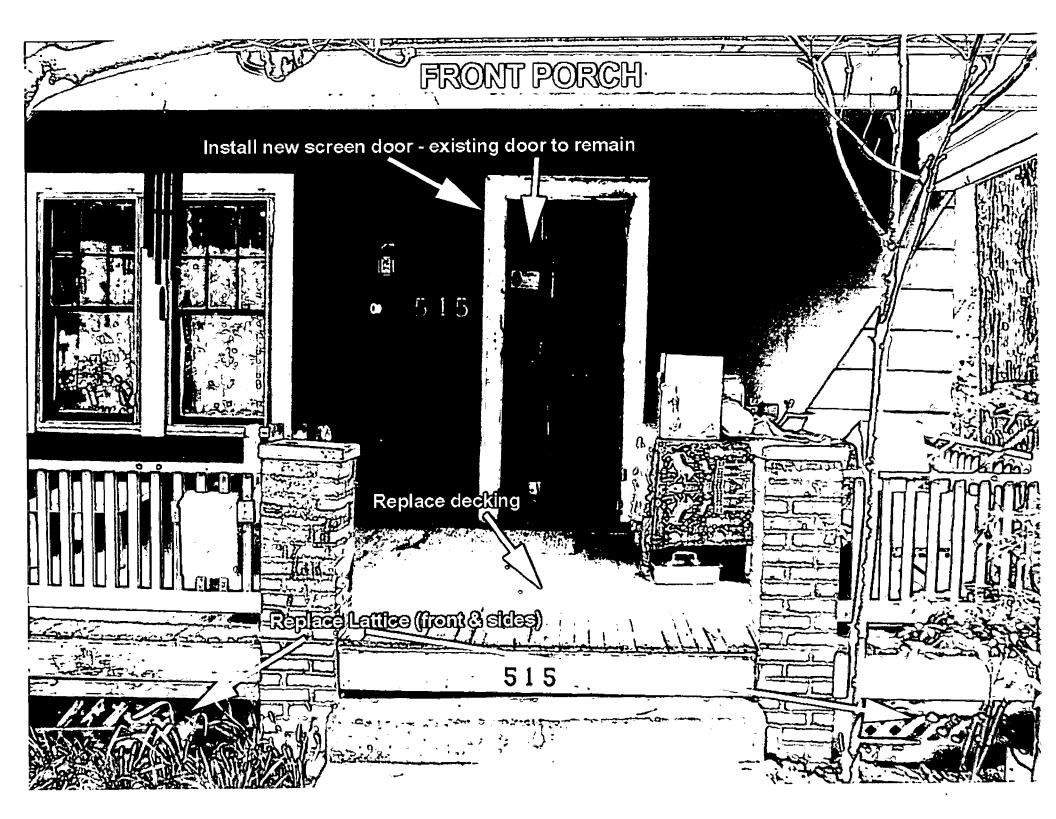
Date: 05-30-06 Sheet Title: ELECTRICAL BASEMENT FLOOR PLAN Scale: 3/16" = 1-0"

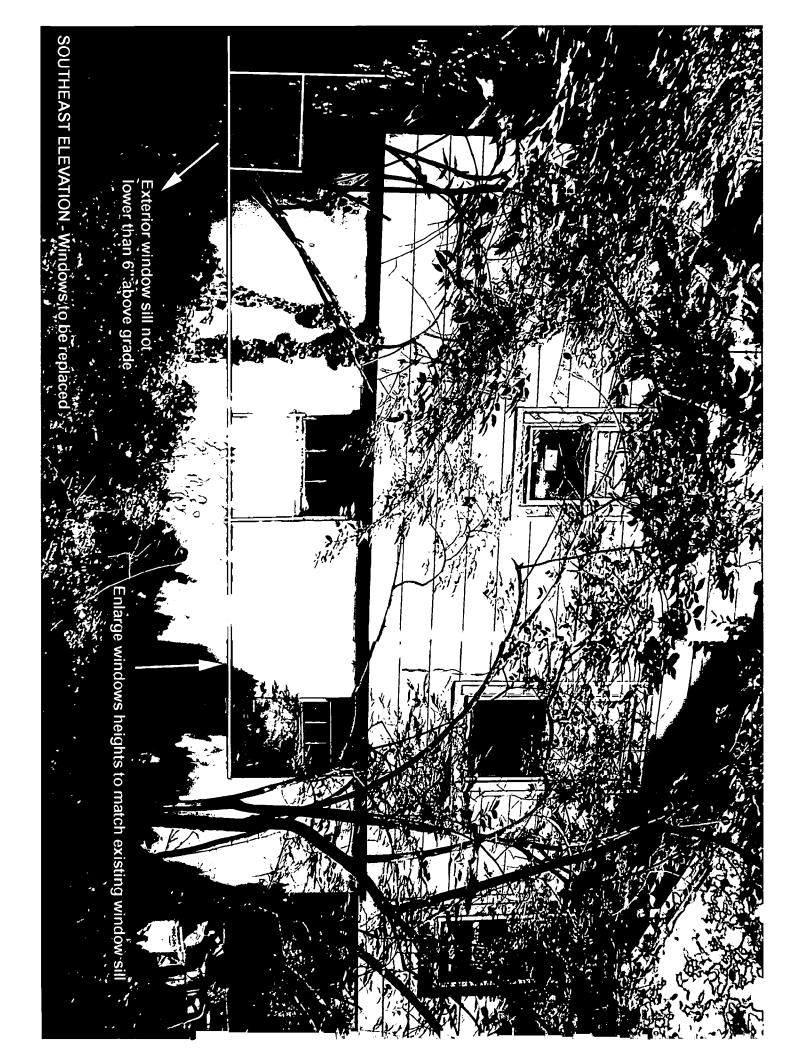


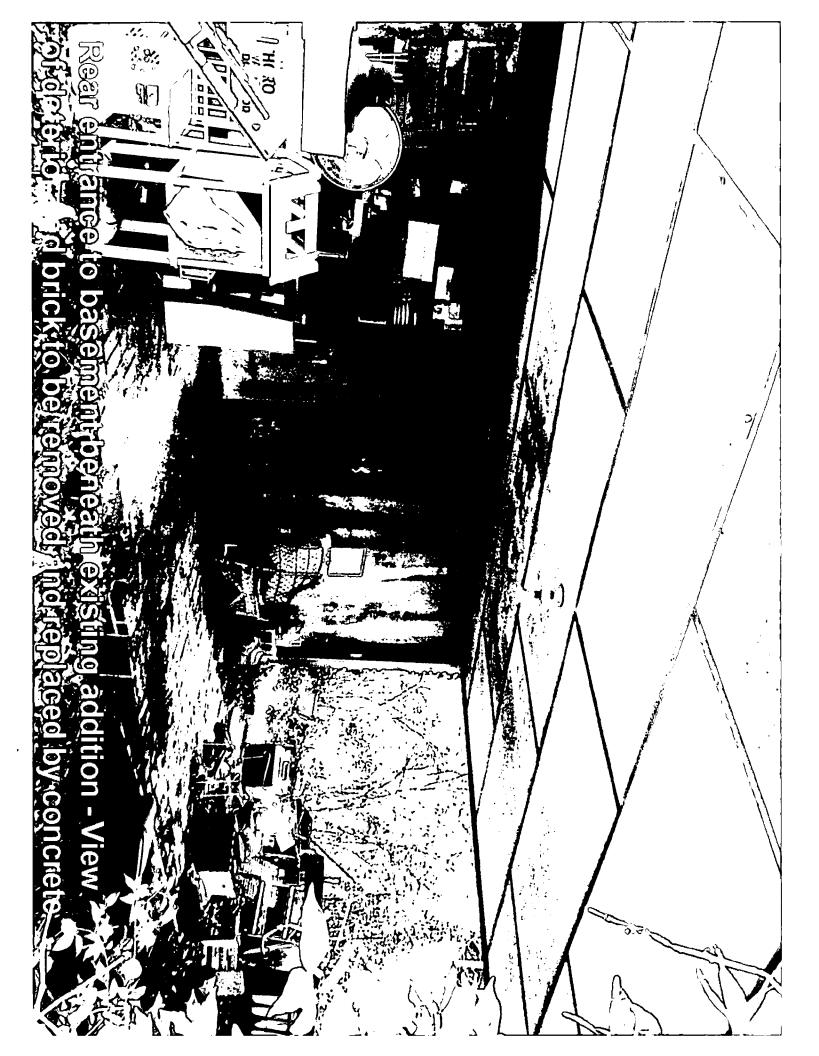


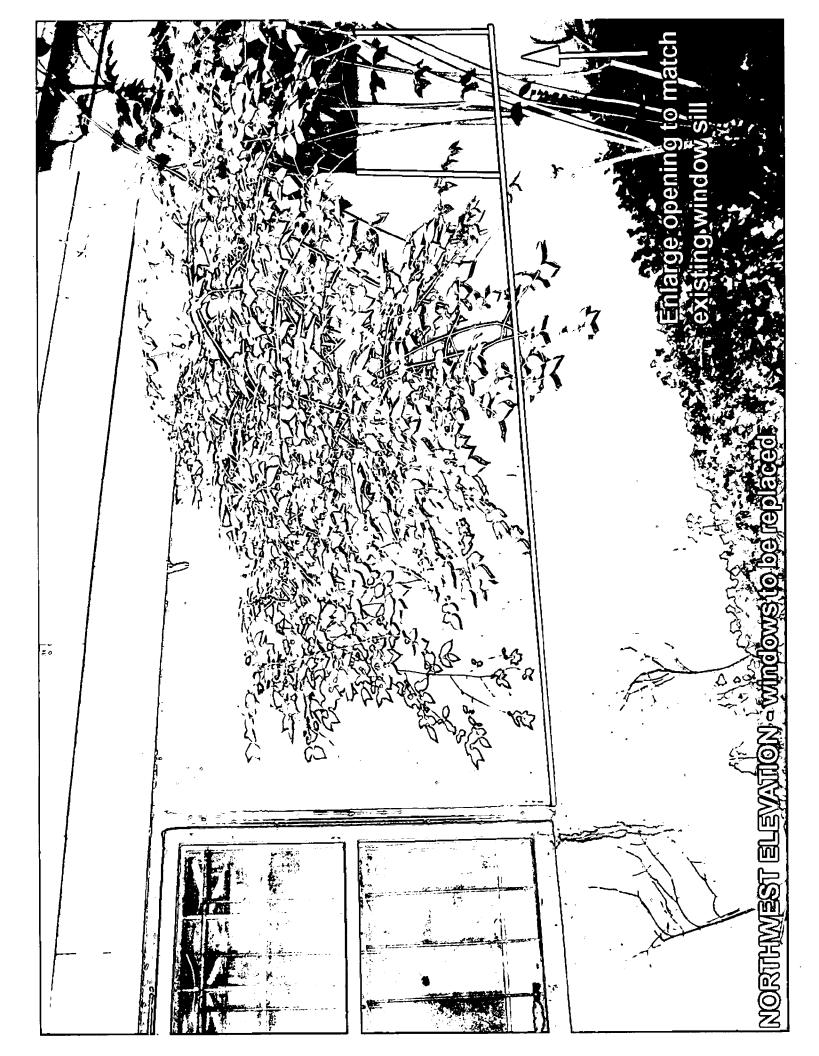
**1** Basement Floor Plan 3/16" = 1'-0"

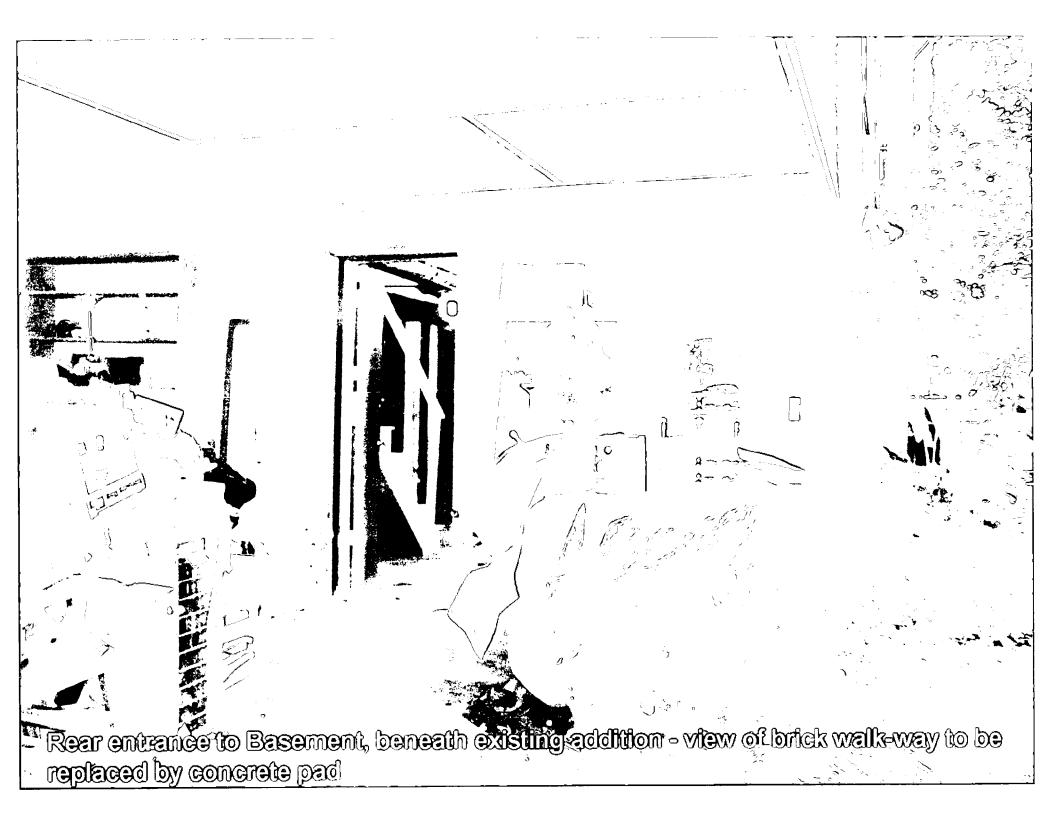












Edit 6/21/99

DPS - #8

422726

## HISTORIC PRESERVATION COMMISSION 301/563-3400

## APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: YERKO H. PALLOHINY
	Daytime Phone No.: 202-421-6685
Tax Account No.:	
Name of Property Owner: <u>CAROLE</u> CRANDON	Daytime Phone No.: 201 - 565 - 0617
	A PARK, MD ZO9/Z Stact Zip Code
	·
	Phone No.: <u>202-726-3777</u>
Contractor Registration No.: 46256	
Agent for Owner: YERKO PALLOMINY / DANIEL	D[[//] Uaytime Phone No.: _/0/- 45/- 6682
LOCATION OF BUILDING/PREMISE	and an experimental control of the state of
House Number:5/5_	
Town/City: TAKOMA PARK Nearest Cross	Street:
Lot: <u>P4</u> Block: <u>73</u> Subdivision: <u>25</u>	
Liber: Folio: Parcel:	
PART ONE: TYPE OF PERMIT ACTION AND USE	
	ECK ALL APPLICABLE:
	A/C Slab Room Addition Porch Deck Shed
	Solar   Fireplace   Woodburning Stove   Single Family
•.4	Fence/Well (complete Section 4)
1B. Construction cost estimate: \$	
1C. If this is a revision of a previously approved active permit, see Permit #_	N/A
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/	
2A. Type of sewage disposal: 01 XWSSC 02 D Sep	
2B. Type of water supply: 01 ▼WSSC 02 □ Wel	1 03 🖸 Other:
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Height feet inches	
38. Indicate whether the fence or retaining wall is to be constructed on one	e of the following locations:
On party line/property line	On public right of way/easement
I hereby certify that I have the authority to make the foregoing application, to approved by all agencies listed and I perby acknowledge and accept this to	hat the application is correct, and that the construction will comply with plans o be a condition for the issuance of this permit.
Brongwo of Johns or authorized agent	
Approved: X LY CONDITIONS FO	of Chairperson, Historic Preservation Commission
Disapproved: Signature: Signature: Application/Permit No.: 422 726	Date Filed, 370 Date issued:
· · · · · · · · · · · · · · · · · · ·	Smed

**SEE REVERSE SIDE FOR INSTRUCTIONS** 

## THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

A #422726

••	
	a. Description of existing structure(s) and environmental setting, including their historical features and significance:

WRITTEN DESCRIPTION OF PROJECT

	Please See Attached Description
eneral descrip	tion of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district
<del></del>	

#### 2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If you are proposing construction adjacent to or within the cricine of any tree 6° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

#### 7. AODRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

#### SCOPE OF WORK - for Historic Area Work Permit at 515 New York Ave.

May 31st, 2006

## a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is located on a wooded lot in the Takoma Park Historic District, and listed as a contributing resource in that district. The lot is fairly deep (225 feet) and somewhat overgrown in both the front and rear yards. The original house was built on the lot in 1918 and is in the bungalow, side-gable style. It is among additional bungalow houses built in the 1920s, and the neighborhood includes Queen Anne houses built in the 1890s. 515 New York Avenue is a 1-1/2 story house with a full basement. The basement is constructed of clay tile blocks with the exterior parged. The upper portion of the house is wood frame with asbestos shingle siding. At the street elevation of the house there is an eight foot deep porch with stepped brick porch columns, painted wood porch decking that is in poor condition, and a painted wood guardrail.

At the back of the house an addition was added in 1986. This addition is wood framed with lap siding made from Masonite. The entire addition rests on 6x6 posts, leaving an open space beneath as rear patio, accessible from the basement's rear entrance.

## b. General description of project and its effect on the historic resource(s), environmental setting, and, where applicable, the historic district:

At the basement level, we'll re-design and re-build the interior as per plans. Lighting fixtures and a few additional electrical devices will be installed throughout the basement.

Exterior work includes; On the Southeast side of the house, we will replace an existing window and we'll enlarge the other two to match the height of existing one. On the Northwest side, we will replace one window, and the other will also be enlarged to match existing one on that side (please see windows' specs).

In the back of the house, an existing deteriorated brick walkway beneath existing addition (area of 165 s.f.), will be removed and replaced by a concrete pad as per plans, (4" thick and area of 235 s.f.), (Please see attached Floor Plans, elevations and Site Plan for specifics on this issue).

At the front porch we will remove the existing wood decking that is deteriorating, and replace it with new oak tongue-and-groove decking. The existing wood guardrail will be saved and reinstalled if its removal is necessary for porch decking work. Beneath the porch, new-framed lattice will be installed. A screened door will also be installed (front door will remain).

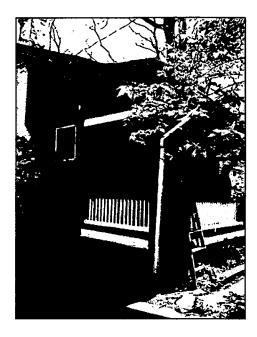
1 of 1 5/30/2006



#### A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com



## **Street Elevation**

- 1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
- 2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN ORAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
- 3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
- 4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENDMENTS.
- 5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL OEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
- 6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
- 7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-777 BETWEEN THE HOURS OF 7.00 a.m. TO 5.00 p.m., MONGAY TROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET. A MINIMUN OF 48 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS,

**General Notes** 

422726

**Project** 

05-30-06

#### Carole Crandon

515 New York Avenue Takoma Park, MD 20912

**TITLES AND NOTES** NOT TO SCALE

**2** Vicinity Map

- 1- BASEMENT LEVEL REMODELATION.
- 2- FRONT PORCH FINISHES REPLACEMENT.

## 3 General Scope of Work NOT TO SCALE

AO.1 - TITLES AND NOTES

D1.OA — PROPOSAL 1 — DEMOLITION BASEMENT FLOOR PLAN D1.OB — PROPOSAL 2 — DEMOLITION BASEMENT FLOOR PLAN

A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN A1.1 - PROPOSEO FIRST FLOOR PLAN A3.1 - PROPOSEO FRONT ELEVATION

A3.2 - PROPOSED RIGHT SIDE ELEVATION

A3.3 - PROPOSED REAR ELEVATION
A3.4 - PROPOSED LEFT SIDE ELEVATION

E1.0A - PROPOSAL 1 - ELECTRICAL BASEMENT FLOOR PLAN E1.0B - PROPOSAL 2 - ELECTRICAL BASEMENT FLOOR PLAN

# (10)\STR[(TI0)\

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012

www.landisconstruction.com Phone: 202-726-3777 Fax: 202-882-9700

THIS BILLING HIS BEDY DESIGNED IN ACCIDENANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2000 WITH LOCAL AMENDMENTS AS APPROVED BY THE DISTRACT OF COLLUMBA IN THE 2003 D.C. CONSTRUCTION CODES. 30" SURSHT TO MODERATE 13" F. AS MORCATED ON SITE PLANS GENERAL NOTES (FOR THE DISTRICT OF COLLMBIA): SSON LOADS:
POROS:
POROS:
STATES
ATTES
ATTES
MINOS
STATES
MINOS
STATES
MINOS
STATES
MINOS

THE PLIMBNG AND GAS DESIGN IS TO BE IN CONFORMANCE WITH MSSC PLIMBNG CODE AND PER LOCAL AMENDMENTS AS APPROVED BY THE DISTRICT OF COLUMBN IN THE 2003 D.C. CONSTRUCTION CODES.

THE WORK SHALL BE IN CONTRIBUNCE WITH NPA-101/1897 AND PER LOCAL AMENDALISTS AS APPROVED BY THE DISTINCT OF COLUMBA FOR LIFE SMETY CODE IN THE 2003 D.C. CONSTRUCTION CODES.

FIRE AND SOURCE ALMANS SHALL BE IN ACCORDANCE WITH THE WAYN-27/1869 AND PITS LOCAL AMERICANTS AS APPROVED BY THE DISTRICT OF COLLUBIA IN THE 2003 D.C. CONSTRUCTION CODES. ARESE MILEST ACCESSIVE (NEW CONSTRUCTION MICHOLD), SHORE PRETICATION AND WAYN WAYN HAVE WHICH IS NOT PRETICATION AND THE DESCRIPTION OF SHALL ASSESSABE WHITEN OPERATOR SHALL RECEIVED AND AND WAYN WAS IN SECURIOR AND ASSESSABE WHITEN OPERATOR SHALL RECEIVED AND ASSESSABE WHITEN OPERATOR SHALL RECEIVED AND ASSESSABE WHITEN OPERATOR DISTRICTION AND ASSESSABE WHITEN OPERATOR DISTRICTION AND ASSESSABE WHITEN OPERATOR DISTRICTION AND ASSESSABLE WHITEN OPERATOR DISTRICTION ASSESSABLE WHITEN ASSESSABLE WHITEN OPERATOR DISTRICTION ASSESSABLE WHITEN OPERATOR DISTRICTION ASSESSABLE WHITEN ASSE

NEW DWELLINGS SYLLL BE IN ACCORDANCE WITH NETH-13/1980 SPRINKLER CODE AND PER LOCAL. AMENDIMENTS AS APPROVED BY THE DISTRICT OF COLUMBIA IN THE 2003 D.C. CONSTRUCTION CODES

ACCESSIBILITY CODES SYULL BE DETERMINED PER COMMR 05.02.02, ADMG, & FFMG.

DIERGY CONSERVATOW SWILL BE COMERNED BY THE FCE INTERNATIONAL ENERGY CONSERVATION CODE, 2000 WHO PER LOCAL AMENDAEDNIS AS APPROVED BY THE DISTRICT OF COLLAMBY IN THE 2003 D.C. CONSTRUCTIVE CODES.

THIS PROJECT HAS BEEN DESCRIED FOR THE WEDGITS OF THE MATERIALS RECOLDED ON THE DOWNWARD THE TRESCHOSTING TO DESCRIBE MADERAL SHARMOTTON'S TRESCHOSTING TO DESCRIBE TO THE THE CONTRICTORY LIGHT TO THE THE MADERAL ALGORITHMS CONSTRUCTION LIGHTS AND TO PROVIDE PROPER DESCRIPE AND CONSTRUCTION FOR THE PROPER PROPER DESCRIBE TO COMPONENTS.

LANOS CONSTRUCTION COPPORATION MANITAINS A WATTON SAFETY PROCESAM, AS REQUIRED BY OSM FOR JOB STE SAFETY, CONSTRUCTION PROCEDURES, AND A SAFETY EDUCATION PROGRAMM. LOAGS GRENTRY THAN THE APPLICABLE DESIGN LOADS NOTED ABOVE SHALL NOT BE PLACED ON THE STRUCTURE PROPERTIES, MYD DECIMITIONS. THE DECIMITARIES WAS ELEPORT OF ADJACENT CONSTRUCTION, UTILITIES, MYD DECIMITARIES.

DO NOT BROKTLI AGNIST WILLS UMT. SIAPORTING FLOORS ARE SECURED! WI PLACE. BRIGE ALL WILLS GIVILLE OF PERFORMED WITH MILLS SHALLE DE PERFORMED WITH LIGHTREST EQUIVARY. WITH A MANARIAL OF ONE TIN TOTAL WESTER FLOORED WITH WITH CONTINUE OF THE WALL AND WIDEAWG OUT FROM THE WILL ON A 1:1

GUNDONIS AND HANDRAIS SHILL BE DESCHED AND CONSTRUCTED TO THE STRUCTURAL LOLDING CONTINUES SECRED BY SECRED AS OF THE ASSE STRUCHORY OF DEPRENTATION OF THE MILITARY AND OTHER STRUCTURES.

THE GONDAL CONTRACTOR AND/OR APPLICABLE FARRICATOR SHALL NETHER STRUCTURAL CONTRACTOR AND APPLICATION STRUCTURAL CONTRACTOR AND APPLICATION STRUCTURAL CONTRACTOR AND APPLICATION CONTRACTOR AND APPLICATION OF STRUCTURAL CONTRACTOR AND APPLICATION AND APPLICATION OF STRUCTURAL ELEBERTOR CONTRACTOR AND APPLICATION OF STRUCTURA AND THE CONTRACTOR AND APPLICATION OF STRUCTURA AND APPLICATION AND APPLICATION OF STRUCTURA AND APPLICATION OF STRUCTURAL AND APPLICATION OF APPLICATION AND APPLICATION OF APPLICATION AND APPLICATION APPLICATION AND APPLICATION APPLICATION AND APPLICATION APPLICATION

"W" ON ANY DRAININGS SAUL MEAN THAT ALL TRUDES AND APPLICABLE FRENCHIDIS SAUL WENTY THE STETCH DAMENSON OF CONTINUENT WIN THE FRED. IT REMANS THE CENERAL CONTINUENTS. TRUDESPRESSAYS, AMONG APPLICABLE FRENCHIONES RESPONSIBILITY TO VENRY OTHER DAMENSONS AND CONDITIONS AS SHOWN ON THE DRAINING.

SHOP DRAWINGS:

SHOP DONING SUBBITILS, IF CALLED FOR, ARE TO BE SUBBITIZED TO LANDS CONSTRUCTION CORPORATION FOR REVIEW AND APPROVAL. TYPICAL ELEMENTS REQUIRING SHOP EXHIBING APPROVAL ARE LISTED BELON: COMMISSION STRUCTURAL ELEMENTS SUCH AS:

LONGINETRED CONCRETE MAY DESCON

IN ENGINETRED CONCRETE MAY DESCON

IN ENGINETRED CONCRETE AND MISSION ACCESSIONES

IN ENGINETRED CONCRETE AND MISSION ACCESSIONES

IN ENGINETRED STRUCTURAL STEEL

IN ENGINETRED STRUCTURAL STEEL

IN MISSION AND ACCESSION ACCESSIONES

IN SETAL PALLE SUPPORT STEEL

IN STONE FLAUE SUPPORT SYSTEM

IN STONE FLAUE SUPPORT SYSTEM NETON BUILT-NS

WIBLS DEJMENTED WITH AN ASTEROSY (\*) ARE SPECIALTY STRUCTURES REQUIRING THE SUBMITTLE OF BIOTH LEGISLAL CHACLATORIS NOW, SOFTO DAMINES SICHED HY A PROFESSIONAL BOWNER RECORDED BY THE PROJECT'S STATE.

A JAMMALLA OF FOURTEN CLEDGAR DAYS FROM DATE OF RECEDY ARE RECURDED FOR REVEN'S OF SHOOD DRAININGS. TOR STRUCTURAL SINCE DAVINNESS CONNECTION DETAIL SUBSTITUTIONS WILL BE ACCEPTED AND SERVED DAY WHEN ACCURATED WELL DECALLY CONNECTED CANALIZED ACCULATIONS SOMED AND SOLUZED BY A RAYLESSINGLE PRINKER RECESTED IN THE PROLECT'S STATE. MATERIAL DAYS. F OWNER FILS TO PROVICE SNOP DEMINIOS FOR FROR RENEW AND APPROVAL BY THE CONTRICTOR FOR ANY CONTRICTOR F STRUCTURAL SNOP DEMINIOS ARE RECURRED, THEY SNULL BE REVENIED BY THE BICINESS OF RECORD.

PROVIDE J CONTINUOUS COURSES OF BRICK OR 8" MINIMAN DETH) OF 1008 SOLIO MISCONEY BELOW ALL SOLIO OR SOLIO BESTOWN LINES. PROVIDE A MINIMAN OF 34" WITH AND 16" DETH OF 80 BRICK ON 1008 SOLIO MISCONEM BELOW ALL LINES AND TO MISCONEM BELAGS MALES NOTIO DIPEMBRES. WRITE SOLIDED ON THE PLANE, 1008 25.01 MISCONEM WINT SOLIO MINIMAN CONTINUO CONTINUO AS MISCONEM LINES OF THE MISCONEM LINES AND MINIMAN LINES A

05-30-08

ALL BELOW-GRUDE MISCHAFF STHULL DE LIND IN THE'S EMPITHA CONFORMING TO ASSUL DESCRIPTION OF SHALL AND MISCHAEL AND STRUCK DESCRIPTION OF SHALL REAL AND MISCHAEL ASSULTANCE SHALL BELOW THAT A MINIMAL CONFORMING TO THE CONFORMING TO THE SHALL BELOW SHALL DESCRIPTION OF SHALL BELOW SH

ALL MORTAR SHALL CONFORM TO THE RECURBLENTS OF ASTN C270. THE PROPORTION SEPECIFICATION RECURBLENTS OF C270, III PART, PROMEE FOR THE FOLLOWING PROPORTIONS OF VIOLANCE THE SEASON SEPECIFICATION OF CABINATE THE WASON TO CABINATE SHALL SE PROPORTIONED AS FOLLOWS: (1 : 0 TO 1/10 : 2-1/4 TO 3 I COUNSE FINE CABINATE SHALL SE PROPORTIONED AS FOLLOWS: (1 : 0 TO 1/10 : 2-1/4 TO 3 I TO 2) (FORTIAND CENENT). HIPPORTED LIME, FINE AGGREGATE, COANSE AGGREGATE)

WILL SECTIONS AND PRES WITH LESS THAN FOUR SQUIME FEET OF GROSS CROSS SECTIONAL AREA SHALL BE CONSTRUCTED OF SOLID JAISONRY UNITS.

TOOSE TIMES FOR MASONRY WALLS SHALL BE AS FOLLOWS FOR EACH 4" WIDTH.

FIGURES ARE DESIGNED FOR AN ASSUMED SOIL BEARING CHANCITY OF 2007 PSF. FIGURES SHULL BEEN ON WITHOUT WISCENDED CALL AND BEEN ON WARRIES OF ON CHANCITED CALLANCED FILL AND BOTTIONS OF ETTERNOR FOOTINGS SHULL BE 2"-8" BEING THANSHED STREAM GOVERNMENT OF COMPANIONS AND BE PROSENDED. IT FOUND TO BE LESS THAN SHOWN MORE, HE FOOTINGS WIT WIT TO BE REDESIGNED. BOTTOM ELEMINON OF MEW FOOTMICS ADJACENT TO EXISTING FOOTMICS SHALL MATCH THE BOTTOM OF DISTING FOOTMICS.

THE CONTRACTOR SHALL MOTHY A STRUCTURAL DHONKER IF THE MEDURED DEPTH OF EXCUNTION FOR KEY FOOTINGS E LIMED THAN THE BOTTOM OF FOOTINGS FOR THE EDISTING STRUCTURE OR ADJACENT BUILDINGS.

UTUTY LINES SHALL NOT BE PLICED THROUGH OR BEOW THE FOUNDATION UMLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWNINGS, OR APPROVED BY AN ENGINEER.

THE CONTRACTOR SHULL ENSURE THAT EXCHINATIONS FOR FOOTINGS REJUMN DRY DURING CONSTRUCTION

ALL CONCRETE, DICEPT AS NOTES, SAULL BE FT = 3,000 PSS, STONE—AGREBAT, CONCRETE AT 28 DAYS, INSCRAINL, CONCRETE (FILMWOR) BOTOSCO TO THE WENGHER (AND CONCRETE SAULE) SAULL BE ARE—DITRANCO WHITE SAULL BE ARE—DITRANCO WHITE TO CONCRETE SAULL BE ARE—DITRANCO WHITE TO SAULL BE THATCH MAY BE SUBJECT TO FREZENC DAMPO CONCRETE WHITE MAY BE SUBJECT TO FREZENC DAMPO CONCRETE WHITE SAULL BE AS—DITRANCO WHITE AS ARE CONTIDIT +/- 1.58. ALL DIPOSCIO CONFIGS OF SUBS. WALLS, AND BETALS SYULL BE COMMETTED I MOS.

BETORE FRESH CONCRETE IS POURDD AGAINST CONCRETE IN PLACE. THE CONTACT SURFACES OF CONCRETE IN PLACE SWILL BE THOROUGH. TALGINGS, AND LOOSE MITTAIN, SWILL BE RELOVED, AND THE CONTROL SIRPLACE SHALL BE THOROUGH CONTED WITH GROUT CONSISTING OF ONE PART SAND TO ONE PART CENERT WITH A MINIMUM ARCUNT OF WITER.

ALL CONCRETE FORMWORK SPALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE TO TOWNSHETE FORMWORK (MISSEL) PROLITICAL FOR CONCRETE FORMWORK (MIS 347).

ALL CONCRETE NORK SIVILL CONFIDENT TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDRONS OF THE FOLLOWING ACT DOCUMENTS: ACT 31 THE POST OFFICE ACT 31 THE CONFESSION TESTS ACT 301 SPECTSCATIONS. ACT 304 PACKING CONCRETE. ACT 305 HOT INSTITUTE, ACT 310 COLD MENTIFER. ACT 310 COLD.

WENTER: ACT 315 DETAULNG: ACT 316 CODE: AND ACT AND TORNMENTS.

ALL FIELD AND LAB TESTING OF CONCRETE, IF REQUIRED, SHALL CONFORM TO THE LATEST APPROVED (BY LOUGH ENGINE) STATEST OF THE ASSET ASSET ASSET OF A WARREN SHALL SHARE SHALL SHAL

T CERTEY THAT THE FIELD AND LAB TESTING CONFORMS TO THE ASTA DOCUMENTS AND GOOD PROLITICE (FOR MERICS)

CONCRETE PROMINDIN SAUL NOT BE DISTINABD UNTIL THE CONCRETE MAS CHRID LONG DIOLOH TO BE: BLILL TO SUPPORT INTO DIM MEDICAL PLUS A MANIMAL OF 20 PS' CONSTRUCTION LOUGH A CONCRETE STRUCTURE MAY MAY OF SUPPORT INTO RESIDENCE. FORMS MUST REDAMN IN PLACE A MINIMULIA OF SERBY LON'S BEFORE REMOVAL PROVIDED THE MENY DALLY ASSERTED THE MENY OF STREAMS THE SAT LEGYS TO EXCRETE THE PROPARE TO STREAM IN CONTINUE. IN THE CONTINUE, MAN EXAMINATION STREAMS ASSERTED TO STREAM IN ACCOUNTER THE PROPARE STREAMS IN THE STREAMS ASSERTED TO STREAM IN PLACE UNIT, CONTINUED TO STREAMS ASSERTED TO STREAM IN THE STREAMS ASSERTED THE MAN OF THE MADINE THE MENON TO STREAM IN THE STREAMS ASSERTED THE MADINE STREAMS SOURCE THE MADINE STREAMS ASSERTED THE MADINE STREAMS SOURCESTED TO THE MADINE REQUIREMENTS TO STREAMS THE MENON SOURCE THE MADINE STREAMS SOURCESTED TO THE MADINE AND THE MADINE STREAMS SOURCESTED TO THE MADINE STREAMS SOURCESTED.

F REDESTED OF DIVIDER OF RECORD, COMPACTOR SHALL SLOWN FOR APPROVAL BY ENCAMEDR A MONETER RESPONDENCE THE AND ASSOCIATED COLOR, WARPOND ENTERLY, SECHOLDESCON AND SHALL BE ACCOMPANIED OF THE APPROPABILE GOADERS AND BACCEROLUM DATA. COMPORTE DESCONDED AND SHALL MONETE 7 AND SO BAY STREAMERS, COLOR COMPORT, ON WITE TAXABLE AND ADMINISTRATE AND ADMINISTRATE OF THE ADMINISTRATE AND ADMINISTRATE OF THE ADMINISTRATE AND ADMINISTRATE OF THE SPECIFICD MILED ASSOCIATION OF WITER AT PROMERY OF WHITE ALL PROMEDULES FOR EACH DESCONDENCE.

CONCRETE FOR STRUCTURES THAT ARE TO RECENE A PROTECTIFE SURFACE CONTING IS NOT TO BE TREATED WITH ANY CLIRING COMPOUND UNLESS APPROVED BY LANDS CONSTRUCTION CORPORATION.

THE USE OF ADDITINES TO THE COMPRETE MAY SHALL NOT BE DEPARTED UNLESS THE CONTRACTOR MAS RECENTED THE PROOR RETITLE APPROVAL OF THE ENGINEER OF RECORD. ADDITINES CONTRAMING CALCARA CHLORDE SHALL NOT BE USED.

CONCRETE REINFORCING NOTES:

ALL REWFORCHIG SAULI BE NEW BILLET STED. CONFORMING TO ASTA ABIS, GRODE BO (FY-80,000 PS). ALL REWFORCHIG SAULI PACES IN ALCOSON MACKORANICE. MIN THE ACT WANTE. OF STANDARD PRACTICE FOR DETUBLE CONFORTE STINCTIMES' (AUI 315). UNLESS OTHERWISE NOT. ALL DOTTES SAULI BE THE SAME SEE AND SPACED. IN EVERY NET. SPACED.

PROVIDE CONCRETE PROTECTION FOR RESMEDIRGMS AS FOLLOWS:

A. FOOTINGS 3 (CONCRETE CAST AGAINST BEATH OF DEVOSED TO EARTH OR INSTINETY)

B. WITSTON SLAGS AND IMPLIS 1/4" (CONCRETE EPROSED TO EARTH OR INSTINETY)

C. ETTERIOR SLAGS AND IMPLIS 1-1/2" (CONCRETE EPROSED TO EARTH OR INSTINETY)

O. BOJMS AND COLUMNS 1-1/2" (TO TIES, STRRIJPS, SPRBLIS, OR PRIMARY RESPECTABLY)

SAL PLIES SHUL BE PRESSURE TRENED AND SHULL BE ANCHORED WITH 1/2 MCH DAWETER ANCHOR BY SHOUTS BREDGOED W FRUNDATIONS TO A BEFTH of § (MM) of POLINEAR—A-LACE CONVERTE, AND 18° (MM) AN GROUTED WAT MASONEY. THERE SHULL BE A MANAMA OF THO BOLTS PRES SECTION OF PLAIE WHAT WAS ANCHORED BY STAND 18° FROM THE END OF EICH SECTION OF PLAIE WITH MITHEMEDIAE BOATS SHULLS FOR THE FIRE OF EICH SECTION OF PLAIE WITH MITHEMEDIAE BOATS SHULLS FIND STORIES WITH STORIES AND 4-0° (MM) O.C. FOR BULLDMCS AND 4-0° (MM)

THE FOLLOWING WOOD MEDIBERS SAUL BE PRESSURE TREATED (FT):
4. SLEE OR PALIES BERNING DIN CONCRET OR MACKARINE TOTAL SAND WILLS
6. EXTERIOR WOOD SOUNG, SHEETH-WIG. AND WILL FRAMMO WITH CLEANANCES OF LESS THAN 6
MINLEY FROM THE GROUND
C. SALLS AND SELEPER BEAMED DIRECTLY ON A CONCRET. SAUB IN DIRECT CONTACT WITH THE GROUND STREAMS OR FRAMMO. MEDIES ATTACHED DIRECTLY TO THE WITHOUGH CONCRET. OR MASONRY WILLS BELOW GOOD!

USE SMYSON STRONG-TR. OR ENGNEET-APPROVED EDUNALDIT STRUCTURU, WOOD CONNECTIORS, UNLESS WITTO OTHERWISE THREN AND LAWHITED LUBBRE BEAUS AND RELOADES SHUL RE CANNECTION TO PROSE SHUL RE FASTERED TO THEN SUPPORTS AND A LIKE MARKER, ALL LOSTS AND BEAUS SHUL RE SEPROVITED WITH JOST ON BEAUS SHUL RE SEPROVITED WITH JOST ON ROOF TRUCS SHUL RE STRPOOM WITH HARMOOME TRS, UNITED OTHER NOOF LUBBLE ON ROOF TRUCS SHUL RE ATTICHED TO ITS SUPPORT WITH HARMOOME TRS, UNITED OTHERWISE.

LIP ALL RENYDROUNG SELECTS 34 DAY ENLETES FOR UP TO \$6 DAYS AND 43 DAY DAMETERS FOR \$7 AND LANGER DAYS CACOTT LAW TOP DAY SELECTS 44 AND 56 DAY DAMETERS, RESPECTIVELY, BEHOD THE WASTERNEY BEYONG 24" AROUND CORNESS OF PROVINCE CORNESS DAY DAYS HORIZONTAL

MELLOD WHE FABRY (MINT) SAUL CONTON TO SYTU ATES AND SAUL BE 8"X 8" W1 4 X W1.4 X W1.4 X W1.2 X W1.4 X W1.4

MISONAY CONSTRUCTION AND MITERALS SHULL BE IN ACCORDANCE WITH ALL REQUIREMENTS OF ADDITED MILLION CONSTRUCTION OF ADDITED MILLS AND THE RECOMMENDATIONS OF BRICK MIDISTRY ASSOCIATION (BM) AND MINISTRY ASSOCIATION (MCML). ALL MASSARY CONGINULATION SAUL BE IN ACCORDANCE WITH THE "BILLONG CODE RECURREMENTS FOR MASSARY TOPICAL CONTROL OF CALLING SAUL ANGENOR EDHAND WILL. PREPRESSAUL CONTROL CONTROL OF CALCULAR SOCIACIO, MASSARY BENEVO WILLS, PARTITIONS, AND PERES SAUL CONTROL CONTROL CONTROL OF CALCULAR LAND CONTROL OF CALCULAR LAND, AND, ONE CALCULAR LAND, CALCULAR LAN

Carole Crandon 515 New York Avenue Takoma Park, MD 20912

GENERAL NOTES NOT TO SCALE

UNESS SHOWN OTHERWISE, ALL LUNTES AND HEADERS SHALL BE TWO 2012 SPRINGE—PINE—FIRE \$1/42, MANAGE WITH STATE DESCRIPTION DESCRIPTION WILLS AND THREE 2010 SPRINGE—PINE—PIRE \$1/42, MANAGE WITH STATE SHOWN WILLS. AT THE EXPANS WILLS, AND FOR FIRE AND ANY STATES AND ONE KING STATE AT LOOP BELOW. UNLESS SHOWN OTHERWISE. ALL JUNCS OF POSTS SHALL LINE UP WITH THOSE AT THE FLOOP BELOW. ALL JUNCS OF POSTS ARE TO BE CONTINUOUS, OR MORBISED AS SHOWN, TO THE LOWEST LIPEL OF THE STRUCTURE. BEMS, HENDERS, AND LIMITES DESCRIMIND "M." ARE TO BE INFORMED IN WOOD BEMS MAINFACTURE OF TRINS, JOST OF BEGINEER, HENDERDE ESTIMALISM STRICTIVED, FROMERINES.

FOR 32 2000 TO PER LINE MAINTER LANDLANGE MAINFACH FOR FOLLOWISE STEED TO BE AS STOWN OF PARKS AND EXPLANCE MAINFACH MAINFACH OF 2 PROWN OF 160 MAILS, M.I.T.P.C. (STAGETED). WHIS ARE TO BE SPACED 3" FROM INF. TOP AND BOTTOM OF THE BEM. MOROLLANG ARE DESCRIMED ON PLANS. AS FULLOWS: (AL. 1-3/4" THOM INF. TOP AND BOTTOM OF THE BEM. MOROLLANG ARE DESCRIMED ON PLANS. AS FULLOWS: (AL. 1-3/4" THOM INF. TOP AND BOTTOM OF THE BEM. "SOUTH OF THE BEM." IN MAINFACH OF THE BEM." IN MAINFACH OF THE BEM. "SOUTH OF THE BEM." IN MAINFACH OF THE BEM." IN MAINFACH OF THE BEM. "SOUTH OF THE BEM." IN MAINFACH OF THE BEM." IN MAINFACH OF THE BEM. "SOUTH OF THE BEM." IN MAINFACH OF THE BEM." IN MAINFACH OF THE BEM. "IN MAINFACH OF THE BEM." IN MAINFACH OF THE BEM. "IN MAINFACH OF THE BEM." IN MAINF

STUD BEABING PARTITIONS SHALL MAYE 2 CONTINUOUS PLATES AT THE TOP UMLESS MOTED OTHERWISE. WHAT ARE TO BE SPLACED AT STALL DOLONDAY ONLY. SELECES TO BE STACKERDD AT LEAST 4—0. CONTINUENT OF PROME MANIMA OF ONE ROW OF BLOCKING AT MOD-MEDIAT OF NITEMAR STILD WALLS MOD-MEDIAT BLOCKING SHALL CONSIST OF SHAE SZE, SPECIES, AND GRAVE OF LUMBER AS FIRM THE WITH MODERN AS FIRM THE WAY AURENOW WALLS IF THE STRUCTURAL SHEATHANG IS NOT AURENOW IN FLACE.

SHEATHING

ROOF SHEATHING SHULL BE STANDARD 5/8" C-D 24/16 (SSAW RATING) EATEROR BLIE RYWOOD. MAL AF WALD ON OR SET LOOSTS AND THISSES WITH BO WALS AT 6" D.C. AT SHEET EDGES AND AT 12" D.C. ALL HATEROLDINE LOOSTS AND THISSES.

FLOOR SHEATHING SHILL BE 3/4 INCH 24" O.C. STAW TOMGLE AND GROOF PLYNOOD OR OSB. GLLE HIT SERLOOM AMERIKA AND STAFF RIPMOOD TO JOSTS AND TRICKESS HITH NO.10 SCREWS AT 9" O.C. HIT DRECT EDGES AND 18" O.C. AT ALL WITHREADHIE ANSTS AND TRICKSES.

ALL STRUCTION, STEEL WIDE TANGE SHALE CONFORM TO ASTA 4082. ALL INSS SHADES SHALL CONFORM TO ASTA 4082. ALL INSS SHADES SHALL CONFORM TO ASTA 4000. GOVERN AS THE WITH AT A STAN FROM THE NATO THE NAT THE NATIONAL SHEEL (ANALES, CHAMBES, PALIES, ETC.) SHALL CONFORM TO ASTA ASTA ASTA AND THE THE SHALL CONFORM TO ASTA ASTA AND THE SHALL CONFORMATE WITH THE THE

ALL ANGLES SHALL HAIR TONG LEG VERTICAL" AND 6" MRY BEARMES. LANTES OVER OPENMES M KITENCH MESUKIP PAUTINED NOT OTHERWES SECREDED SHALL BE RETECS! LIGHTWEDAIT CONDETE LINELS & DEEP MITH. 1 FO BUT TOP AND BOTTEM FOR EXCH. \*\* WITH.

3 1/2" X 3 1/2" X 5/16" ANGLE 4" X 3 1/2" X 5/16" ANGLE 6" X 3 1/2" X 5/16" ANGLE

A 0'-0" 70 3'-0" B 3'-1" 70 5'-0" C. 5'-1" 70 6'-0"

ALL SHOP AND FIELD CONNECTIONS SHALL BE BY WELLING OR WITH 13/4" DAWETER ALSS HIGH STRENGT BACK. IN SHARLY, FELL CONNECTIONS SHALL BE WELLING STRENGT BY SHALL FELL CONNECTIONS SHALL BE WELLING STRENGTON, IN ACCORDANCE WELLING SHALL BE USENING TO THE ALL SHALL BY USENING TO REPUBLIE SHALL BY USENING SHALL BY SHOW, ACCORDANCE WHILL BY SHOW, ACCORDANCE WHILL BY SHOW, ACCORDANCE WHILL BY SHOW SHOW THE ALSO SHALL BY SHOW, SHOW THE ALSO SHALL BY CHARLE SHOW SHALL BY CHARLES WELLING SHALL BY EPERSARED BY CHARLES WE SHALL BY SHOW SHALL BY CHARLES WELLING SHALL BY EPERSARED BY CHARLES WELLING SHALL BY CHARLES SHALL BE FERROMED SHALL BE FERROMED.

ANCHOR BOLTS SHALL BE ASTWANS WITH TROK-WELDED HEX HEND MITS AT EMBEDDED END OR AND BOLTS WITH THE MEND EMBEDDED. HOLES SHUL NOT BE CUT IN STEEL MEMBERS UNLESS INDICATED ON THE DIMININGS OR APPROVED IN WATHOUGH OF ENCINEER OF RECORD.

5. STEEL WORK WHICH WILL BE CONCEALED BY MIERROR BUALDING FINISH OR WILL BE IN CONTINCT WITH CONCRETE NEED NOT BE PUNITED. ALL OTHER STEELWORK SMALL BE GIVEN ONE COAT OF SHOP PANN

WOOD.

WLL SHEATHWIC SWILL BE STANDARO 1/2" 24/16 (SOWN RATING) EATHRORG GLUED PLYWOOD OR OSB. ALL PLYWOOD OR DOSB. AND ALVIES WITH 80 WALS AT 6" D.C. AT SHEET EDGES AND AT 12" D.C. AT WITH INTERPRETATE LECHTORIS.

SHORING / DEMOLITION:

THE CONTRACTOR/SUBCONTRACTOR SHOULD BE EXPERIENCED IN SHORMS AND DEMOLTON WORK AND MACHOL CHRENLLY FAILLINE THE STUMINN WHICH EXISTS PROP TO STATING WORK. THE COMPACTOR SHALL NOTIFY THE SHORMS DESCEN DRIGHERS OF STRACTORINE PACKEDS IF ANY CRECUMSTRACES EXIST WHICH AFFECT THE STABULTY OF THE EXISTING STRACTURE OR THE SHORMS.

THE CONTRACTOR IS CAUTIONED THAT MEDLING, SHORING, AND DENOUTION ARE POTENTIALLY HIGHBOOIS AND ME DESTINANCE OF WORK, REDURNING ESTRUCKONINKRY CHEE AND CHUTCH DURING THERE PERFORMANCE. AT ALL TIMES DURBNG THIS WORK, THE COMPRACTOR SHOULD MONITOR THE PERFORMANCE OF THE TELEFORM SHORMS AND HIME MODIFIED STRING REGIOTY ANALOSE ON SITE IN THE EVENT OPSTHERMY OF STREAM MODIFIED OF STREAM.

THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTILLATION, MANTEWAVICE, AND PERFORMANCE OF THE TRACKING SHOWN SHOWN SHOWN THE TRACKING SHOWN SH

ADEDINIE BRICHNO AND COMMECTIONS BETHEEN THE COMPONENTS OF THE SHORING SYSTEM SHULL BE PROMOED BY THE CONTRACTOR:

FOR NEW CONSTRUCTION OR SUBSTANTIALY REMODELED CONSTRUCTION, MADIWRED SMOKE DETECTORS SMULL BE PLACED ON ALL LENELS AND IN EACH SLEEPING ROOM OR AREA ACCORDANG TO THE .... 2003 SMC.

ALL FRAUNC LIMBER SHULL BE SPRUCE—PING—FIR (SPC) [F1/[2] OR BETTER, UNLESS MOTED OTHERWISE LUMBER TO BE GROUDD BY MATRIMIL LIMBER GROUDS AUTHORITY (NACA) RULES.

PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS INHERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAN

ALL WOOD WEARERS DESIGNATED AS THEISTIRE—TREATED" (PT) SAULL BE SOUTHERN PHE \$2 OR BONGMENT HAPPROAD EQUA, NO WITHEN BOOKE PRESENDING TREATED IN ACCORDANCE WITH THE AMERICAN WOOD—PRESENTERS ASSOCIATION (AMPA) STANDARD (1—93, YLL TAMBER PRODUCTS — PRESENTATIVE TREATEMENT OF PRESSAME PRODUCTS —

ALL WOOD CONSTRUCTION, MICLIDING WALMS, AND DETALS, SHALL BE IN ACCORDANCE WITH THE EXEMPERATION OF THE LOOUL BRAILING CORDES AND THE STORT DETAINS OF THE THINMAL DESAIN SPECIFICATION FOR WOOD CONSTRUCTION (NOTS). WERROAN FOREST AND PAPER ASSOCIATION (APPA).

EGRESS IMMOOWS ARE TO CONFORM TO 2003 IRC

HANDRAILS AND GUARDRAILS:

HANDRAILS AND GLANDRAILS ARE TO BE CONSTRUCTED



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

Project

Carole Crandon

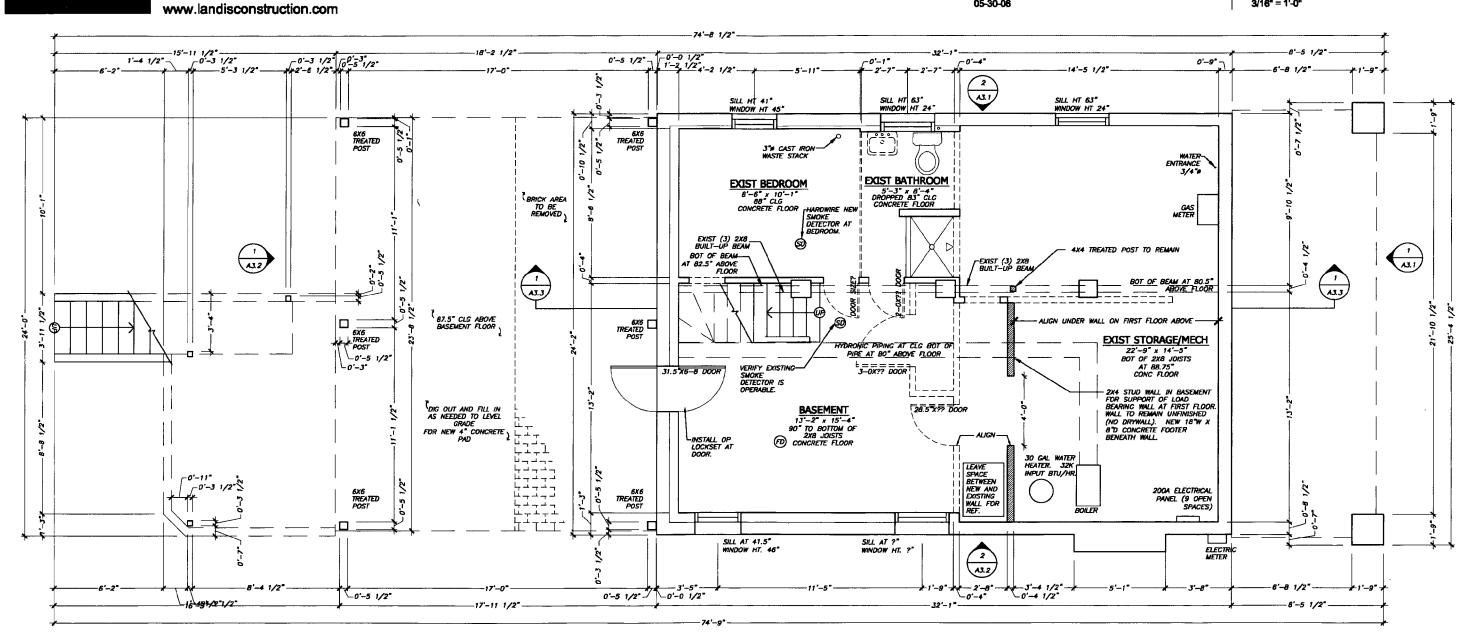
515 New York Avenue Takoma Park, MD 20912 **D1.0A** 

Sheet Title:

DEMOLITION BASEMENT FLOOR PLAN

Scale: 3/16" = 1'-0"

Date: 05-30-06



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Basement Floor Plan
3/16\* = 1'-0"

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

05-30-06

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.1** 

Sheet Title:

DEMOLITION FRONT ELEVATION
Scale:

3/16" = 1'-0"



NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Front Elevation

3/16" = 1'-0"

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

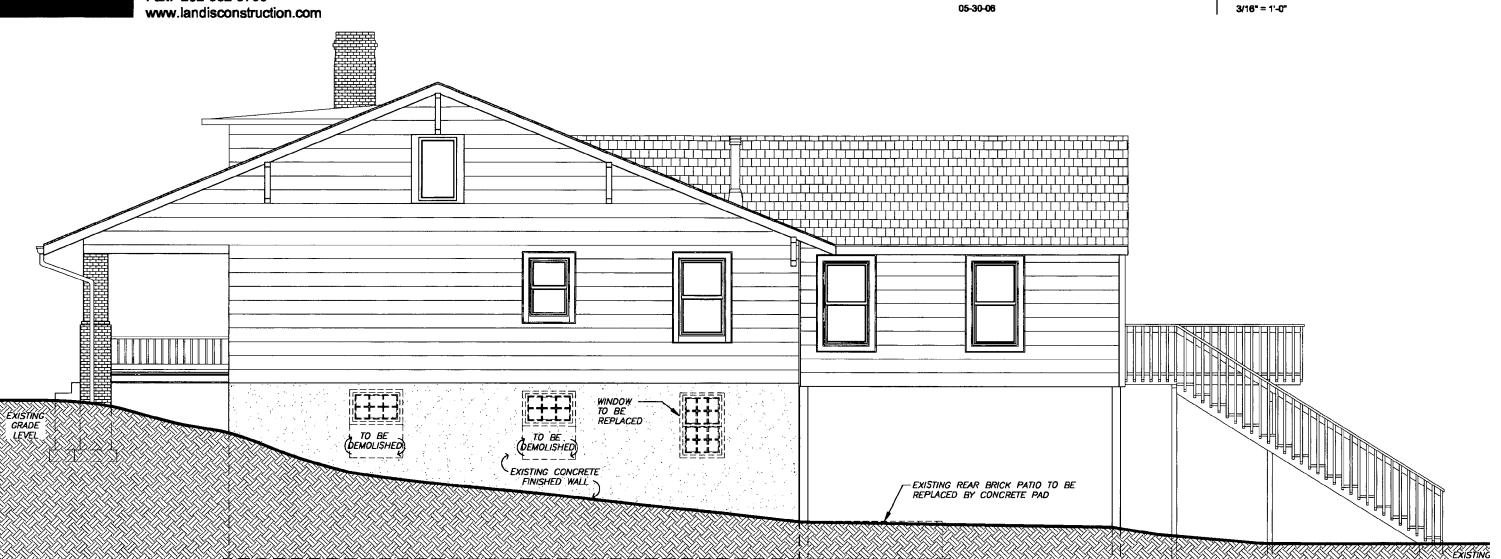
**Project** 

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.2** 

Sheet Title: **DEMOLITION RIGHT SIDE ELEVATION** 

3/16" = 1'-0"



REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY
CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Right Side Elevation
3/16" = 1'-0"



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

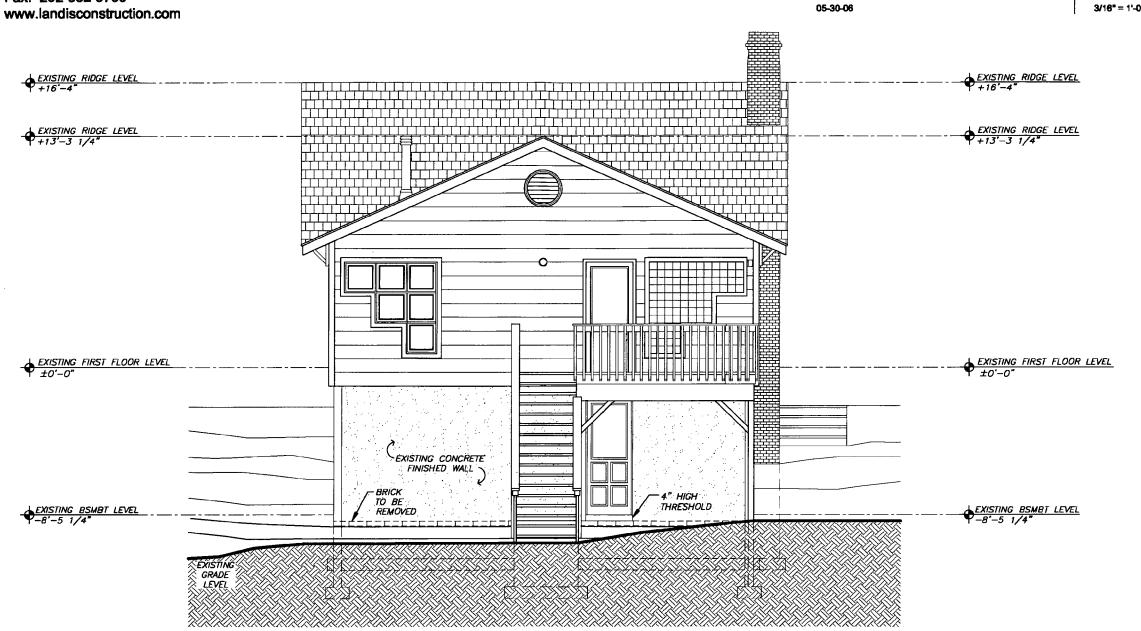
Project

**Carole Crandon** 

515 New York Avenue Takoma Park, MD 20912 **D3.3** 

DEMOLITION REAR ELEVATION

3/16" = 1'-0"



SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Rear Elevation

3/16" = 1'-0"

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

Carole Crandon

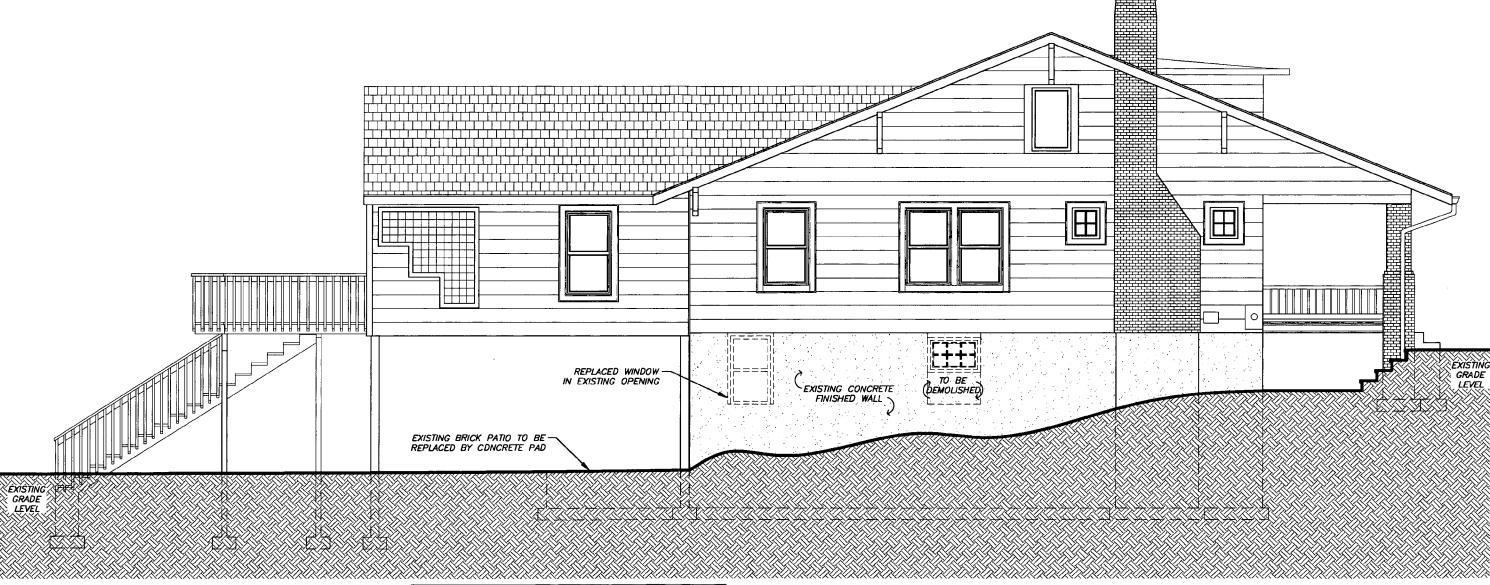
515 New York Avenue Takoma Park, MD 20912 **D3.4** 

Sheet Title:

DEMOLITION LEFT SIDE ELEVATION

Scale: 3/16" = 1'-0"

Date: 05-30-06



NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENUS	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Left Side Elevation**3/16" = 1'-0"



Project

Date: 05-30-06

Carole Crandon

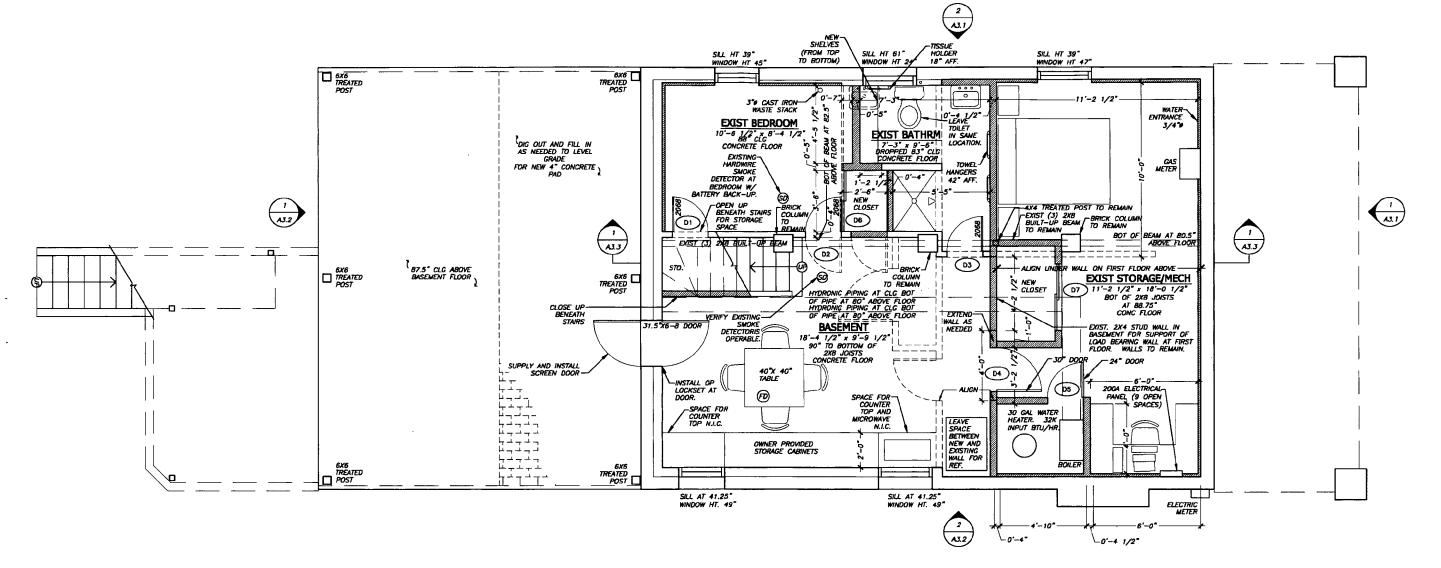
515 New York Avenue Takoma Park, MD 20912 **A1.0A** 

Sheet Title: PROPOSED BASEMENT FLOOR PLAN Scale:

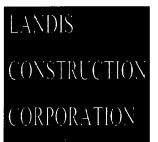
3/16" = 1'-0"

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com

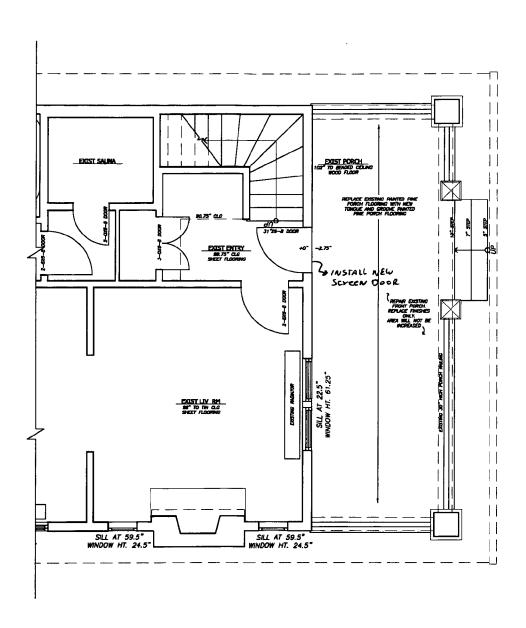
Project

Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title: PROPOSED FIRST FLOOR PLAN 3/16" = 1'-0"

05-30-06



REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

**Project** 

Date:

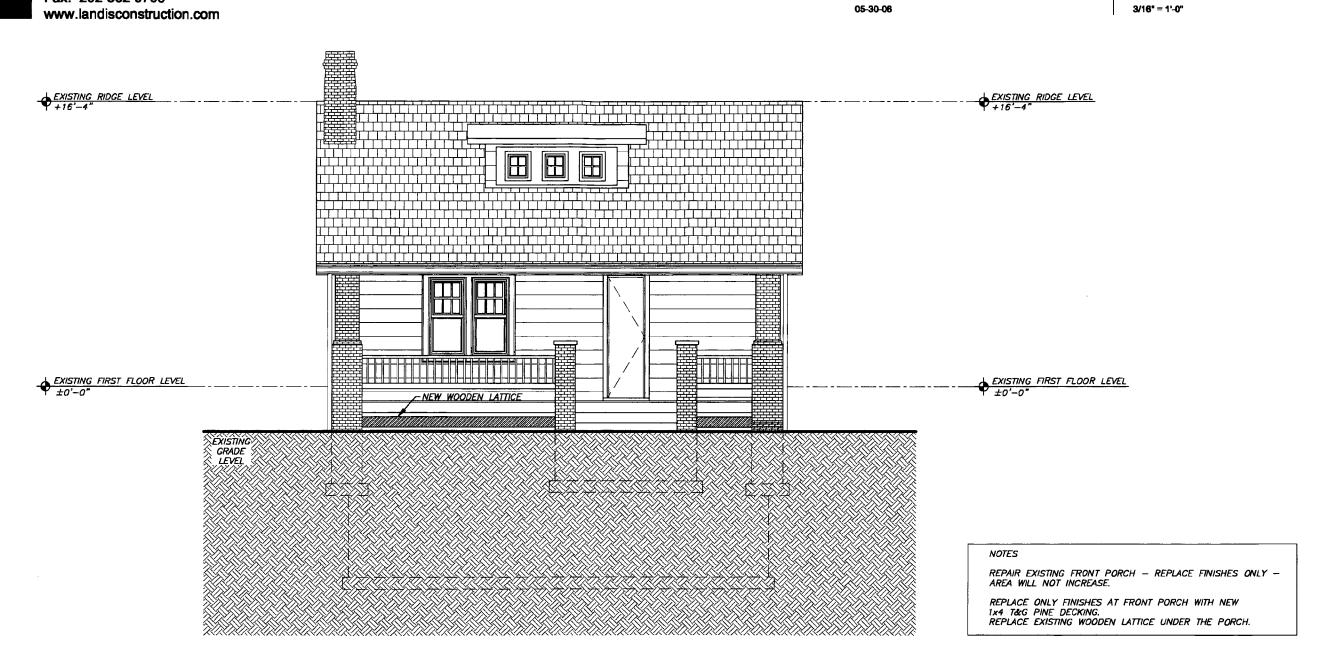
Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title:

PROPOSED FRONT ELEVATION

3/16" = 1'-0"



A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777

Fax: 202-882-9700

www.landisconstruction.com

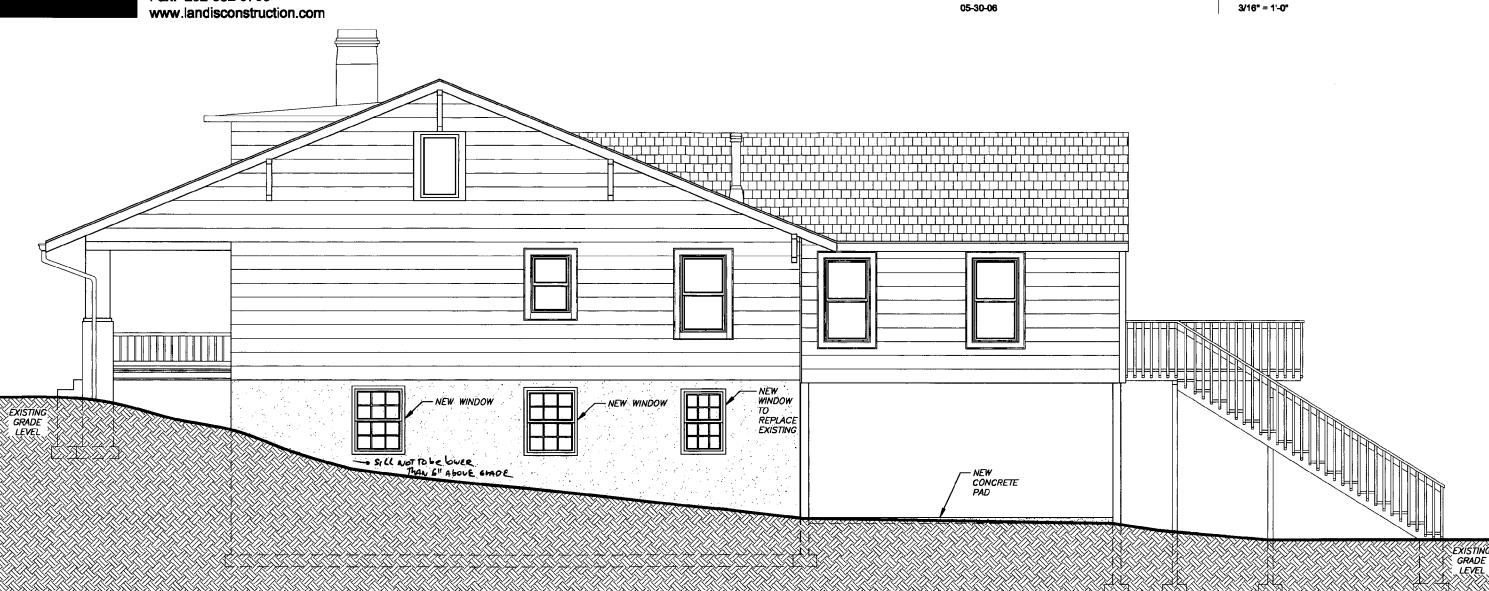
Project

Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title: RIGHT SIDE ELEVATION Scale:

3/16" = 1'-0"



REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY -AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1×4 T&G PINE DECKING. REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SSUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

Right Side Elevation

3/16" = 1'-0"



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

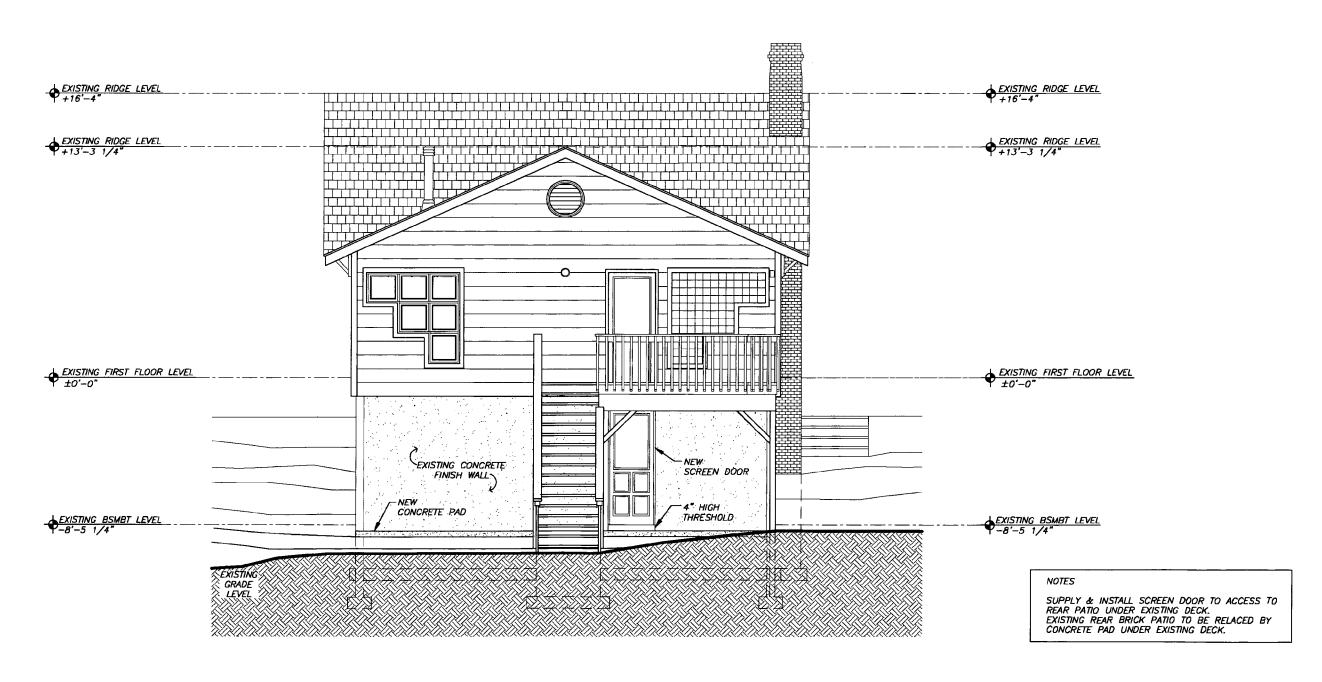
Date: 05-30-06

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **A3.3** 

PROPOSED REAR ELEVATION

Scale: 3/16" = 1'-0"



A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

**Project** 

05-30-06

Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title:

PROPOSED LEFT SIDE ELEVATION

3/16" = 1'-0"



REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 124 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY
CONCRETE PAD UNDER EXISTING DECK.

**1** Left Side Elevation  $\frac{3/16^n = 1'-0^n}{}$ 

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

Fax: 202-882-9700

Project

Carole Crandon

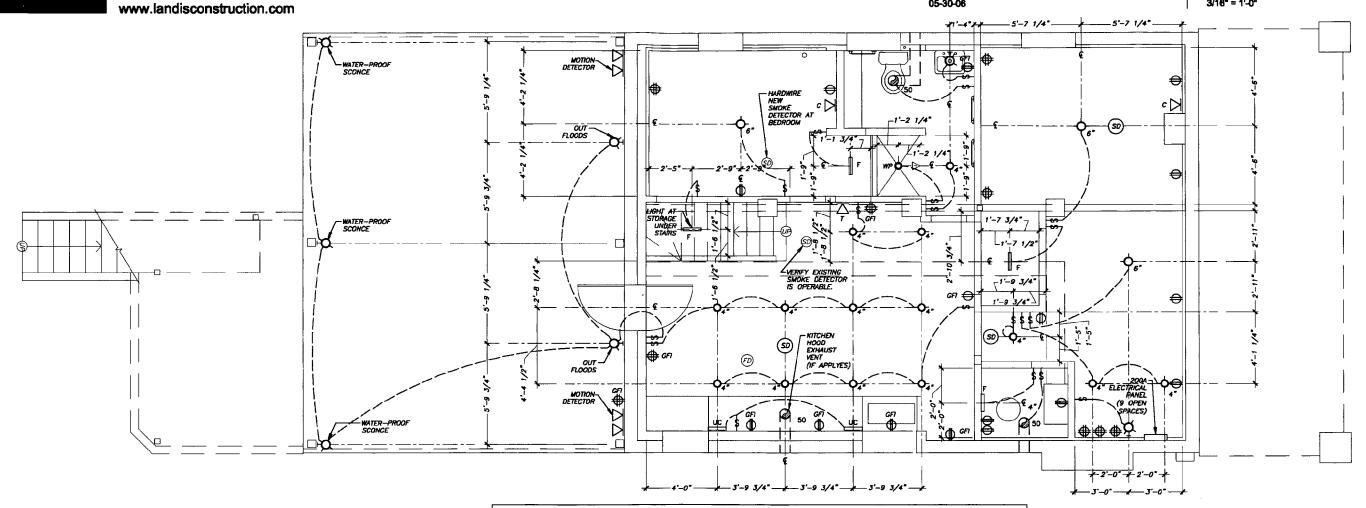
515 New York Avenue Takoma Park, MD 20912 **E1.0A** 

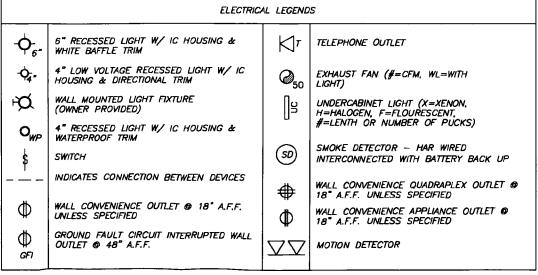
Sheet Title:

ELECTRICAL BASEMENT FLOOR PLAN

Scale: 3/16" = 1'-0"

Date: 05-30-06



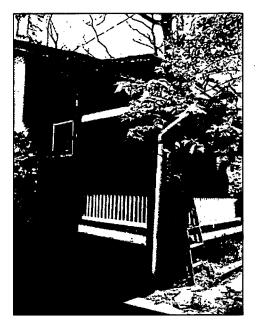


**1** Basement Floor Plan  $\frac{3}{16''} = \frac{1}{100''}$ 



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com



# **Street Elevation**

- 1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
- 2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
- 3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS:
- 4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF CDLUMBIA AMENDMENTS.
- 5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
- 6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMDLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
- 7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-7777 BETWEEN THE HOURS OF 7.DO a.m. TO 5.00 p.m., MONDAY TROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET. A MINIMUN OF 48 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS,

**General Notes** 

422726

Project

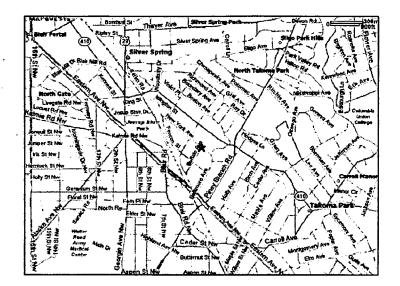
Date:

05-30-06

#### Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title: **TITLES AND NOTES** Scale: NOT TO SCALE



2 Vicinity Map

- 1- BASEMENT LEVEL REMODELATION.
- 2- FRONT PORCH FINISHES REPLACEMENT.

# **General Scope of Work**

AO.1 - TITLES AND NOTES

D1.0A - PROPOSAL 1 - DEMOLITION BASEMENT FLOOR PLAN D1.0B - PROPOSAL 2 - DEMOLITION BASEMENT FLOOR PLAN

A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN

A1.1 - PROPOSED FIRST FLOOR PLAN
A3.1 - PROPOSED FRONT ELEVATION
A3.2 - PROPOSED RIGHT SIDE ELEVATION

AJ.J - PROPOSEO REAR ELEVATION

- PROPOSED LEFT SIDE ELEVATION

E1.0A — PROPOSAL 1 — ELECTRICAL BASEMENT FLOOR PLAN E1.0B — PROPOSAL 2 — ELECTRICAL BASEMENT FLOOR PLAN

**Table of Contents** 

Washington, DC 20012 7058 Spring Place, NW

Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

. THE BILLDMG MIS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE. 2000 WITH LOCAL AMENDMENTS AS APPROVED BY THE DISTRICT OF COLLUMBIA IN THE 2003 D.C. CONSTRUCTION DODGE.

GENERAL NOTES (FOR THE DISTRICT OF COLUMBIA):

SO. SUCHT TO MODERATE 15 F NOCATED ON STE PLANS 8-28282838 8-282848888 ATTIC:
MODE:
MINO:
MODE:
MINO:
MODE:

THE PLIMBING AND GAS DESIGN IS TO BE IN CONFORMANCE WITH WISC PLIMBING CODE AND PER LOCAL AMENGMENTS AS APPROVED BY THE DISTRICT OF COLUMBIA IN THE 2003 O.C. CONSTRUCTION CODES.

THE WORK SWILL BE IN CONFORMANCE WITH NETH-101/1997 AND PER LOCAL AMENDMENTS AS APPROVED BY THE DISTRICT OF COLLAMBN FOR LEFE SAFETY CODE. IN THE 2003 D.C. CONSTRUCTION CODES.

4

THE AND STATE ALMANS SALE OF MACHINAMES THIS THE WITH-27/1998 AND PRY LOCAL MACHINERY S. APPROVED BY THE DESTRICT OF COLLIMBR IN THE 2003 OLG. CONSTITUTION CODES. ARROW METRIC ACCESSING METRIC TO THE DESTRICTION WELLIND.) SAVOR DETECTION ARE TO BE SAVOR DETECTION AND THE WITH DEPART OF SAVOR DETECTION AND THE WITHOUT OF THE SAVOR DETECTION AND THE WITHOUT OF WHITE DESTRUCTION AND THE ACCESSING WITHOUT OF THE SAVOR DETECTION AND THE ACCESSING WITHOUT OF THE SAVOR DETECTION AND THE S NEY DIFELLINGS SHALL BE IN ACCORDANCE WITH HETH-13/1986 SPRINCER CODE AND PER LOCAL. AMENDMENTS AS APPROVED BY THE DISTRICT OF COLUMBIA IN THE 2003 D.C. CONSTRUCTION CODES

ACCESSIBILITY CODES SYMLL BE DETERMINED PER COMMR 05.02.02. ADAMG. & FFMA

BUEROT CONSERVATON SWILL BE CONFIRMED BY THE LICE INTERNATIONAL EMERGY CONSERVATION COORSERVATION THE EXCENT OF COLUMBA IN THE EXCENTINGTORY COORSE THE DISTRICT OF COLUMBA IN THE EXCENTINGTORY COORSE

THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRUMMAS MAY FOR THE EXPERIMENTATIONS RESPONDEBILITY TO DETERMINE ALLDINING FOR CONSTRUCTION LOADS AND TO PRODUE PROPER DESIGN. AND CONSTRUCTION OF THE EXPENSE AND CONSTRUCTION OF THE SERVICE AND SHOWN, AND CONSTRUCTION OF COMPANYING THE PROPERTY OF THE

LOAGS GRENTRY THAN THE APPLICABLE DESIGN LOADS NOTED ABOVE SHALL NOT BE PLACED ON THE STRUCTURE PROVISIONS SHALL BE ADMORPHED FOR ADEQUATE BROADE AND SUPPORT OF ADMORPH CONSTRUCTORY, UTILITIES, AND EXCLANATIONS.

LANDIS CONSTRUCTION CORPORATION MANTANS A WATTEN SAFETY PROCESUL AS RECURRED BY OSIAL FOR UDB SITE SAFETY, CONSTRUCTION PROCEDURES, AND A SAFETY EDUCATION PROCESUL.

DO NOT BLOCALL AGANST WALLS WATL SUPPORTING FLOORS ARE SECURED? W PLACE. BROCE ALL MALE WATL MEDIATELY SUPPORTING DE STATEMENT BE BLOCALL OF WALLS SOROLL DE PROTABLED WITH LIGHTRECHT EUNEMENT, WITH A MANAMA OF ONE THAT NOTAL BECAUT ALLINED WITHIN THE GRAFFUL SLOPE,

GUNTHONIS AND HANDONIS SHULL BE DESIGNED AND CONSTRUCTED TO THE STRUCTURAL LOUDING CONDITIONS SECRETED IN SECTION 44. OF THE ASSE STANDARD 7-02 "BINNIOUS DESIGN LOUDIS FOR BULLIANS AND OTHER STRUCTURES."

"W" ON ANY DRAINNOS SHALL MEWN THAT ALL TRODES AND APPLICABLE FABRICATORS SWALL NEBYT THE EXPERT CAMERICAPS SWALL NEBYT ON TRACESSERSAN'S, AND/CHOLLE FABRICATOR'S RESPONSELLY TO VERY OTHER DAMENSIONS AND CONDITIONS AS SHOWN ON THE DRAINING.

SHOP DANIMG SUBMITIALS IF CALLED FOR ARE TO BE SUBMITTED TO LANDS CONSTRUCTION ARE CONCOMING APPROVAL ARE LETED BELOW. D BELOW.

4. CASTINE BAILT-MS

B. CAMPETEN

C. DEMONSTREED STRUCTHON, ELDENIS SLICH AS:

C. DEMONSTREED CONCRETE MAY DESSIGN

E. DEMONSTREED CONCRETE MY DEMONSTREE

W. DEMONSTREED CONCRETE AND MISSIONER ACCESSIONES

W. DEMONSTREED CONCRETE FORMWORM

Y. DEMONSTREED CONCRETE FORMWORM

W. METAL PAIR COMPLETED PRODO FLOOR AND ROOF TRUSSES

M. STONE PAGAGE SUPPORT STREET

M. STONE PAGAGE SUPPORT STREET

W. STONE PAGAGE SUPPORT STREET

M. STONE PAGAGE

M. STREET

M. ST

"MENS DEJINGATED WITH AM ASTERISK (") ARE SPECIALTY STRUCTURES REQUIRMO THE SUBMITTAL OF BOTH DESTAND CALCULATIONS AND SAND DAMINES SIGNED AND SEALED BY A PROFESSIONAL BURNER RESISTEDED WITHE PROJECT'S STATE.

A WANKELD OF FOURTEDY CLENGAR DAYS FROM DATE OF RECEDY ARE REDIMED FOR REARD OF SIMP DEMININGS. THE SETTIND FOR SETTIND OF STREET OF CASCENSING SCHOOL OF STREET ON SETTIND FOR A RECORDING SCHOOL OF SCHOOL O F OWNER FALS TO PROVIDE SHOP DROWNES FOR PRIOR RENEW AND APPROVAL BY THE CONTRACTOR FOR ANY DROBEN-SLIP-LED TILL ALMOS CONSTRUCTIVE CORPORATION SWILL NOT BE HELD RESPONSED. FOR DECORDANCES OR CLARELGATORS CAUSED BY SUCH TIBLE, IS STRUCTURAL SHOP DRAWNES ARE RECURRED, THEY SWILL BE REVIEWD BY THE DIVANLER OF RECORD.

FOOTINGS ARE DESIGNED FOR AN ASSUMED SOIL BEVIEWS CHANGITY OF 2000 PSF. FOOTINGS SAULL BEWN ON MINISTAL UNGSILLANDED SOIL 1-0. REDAY GAMEL, GAME OF ON CONTRICTIED COMPACTED TO CONTRICTION OF FORTINGS SAULE RESIDENCE FOOTINGS SAULE RESIDENCE FOR FOOTINGS SAULE RESIDENCE FOR THE PROPERTY OF THE STATE OF THE PROPERTY OF THE STATE OF THE PROPERTY OF THE PROSENCE FOR THE PROPERTY OF T

PROVIDE 3 COMPINADAS COURSES OF BRICK OR 8" MINIMALIA DEPTH OF 100# SOLID MASONATI BEDOW ALL COR SALE BESINGO LINES FROME OF 100# SOLID MASONATI BESINGO LINES FROME OF 100# SOLID MASONATI BESINGO LINES FROME SOLID MASONATI BESINGO LINES FROME SOLID MASONATI BESINGO LINES FOR SOLID MASONATI BESINGO LINES FOR SOLID MASONATI LINES SOLID MASONATI LINES SOLID MASONATI LINES SOLID MASONATI LINES SOLID MASONATI CIDASSI OF ACTUAL CONSTRUCTORY CATALLET OF SOLID MASONATI LINES SOLID MATHOMATICAL CONSTRUCTORY OF ACTUAL CONSTRUCTORY.

ALL MORTAR SWLL COMFORM TO THE REQUIREMENTS OF ASTN COTO. THE PROPOSITION SPECIFICATION REQUIREMENTS OF COTOT. IN PART IN PROPERTY OF CHARGE AND CHARGE THE WOLLD. THE SE MORTARINE OF CHARGE AND CHAR

INUL SECTIONS AND PERS WITH LESS THAN FOLIA SOLUME FEET OF GROSS CROSS SECTIONAL AREA SMALL BE CONSTRUCTED OF SOLUD MASONATY UNITS.

LOOSE LINTELS FOR MASOARY WALLS SHALL BE AS FOLLOWS FOR EACH 4" MIDTH:

воттом въситком ог мем гоотнись ломиселт то влетим гоотнысь sawll waten тhe воттом он влетные гоотнысь

THE CONTROCTOR SHUL NOTITY A STRUCTURAL ENCHRETR IF THE REQUIRED DEPTH OF EXCUNITION FOR RESPONDENCES LOWER THAN THE BOTTOM OF POOTINGS FOR THE DOSTING STRUCTURE ON ADJACENT BURDANCE.

UTILITY LINES SHULL NOT BE PLACED THROUGH OR BELOW THE FOUNDATION UNLESS SPECIFICALLY DEMINACS, OR APPROVED BY AN ENGINEER.

THE CONTRACTOR SHALL ENSURE THAT EXCAMITIONS FOR FDOTINGS RELAIN DRY DURING CONSTRUCTION CONCRETE NOTES: ALL CONCRETE, DICEPT AS NOTED, SHALL BE FT = \$,1000 PSS, STONE-AGGREGATE CONCRETE AT 28 DAYS. INSTAURTING CONCRETE (ATLINGA) DAYS. INSTAURTING CONCRETE (ATLINGA) DAYS. INSTAURTING SALVES) SHALL BE FTC = \$,1500 PSS. ALL DITERED \$,300 PSS CONCRETE SHALL BE ARR-DITIONED WITH 68 AND CONTRET PROPER DAY BE \$,04657 TO FREZING COMPAC CONSTRUCTION) SHALL BE ARR-DITIONED WITH 4.58 AND CONTRET CONSTRUCTION) SHALL BE ARR-DITIONED WITH 4.58 AND CONTRET P. 1.58. ALL DITERED TO CONTRET CONTRET CONTRET P. 1.58. ALL DITERED TO CONTRET CONTRET CONTRET P. 1.58. ALL DITERED TO CONTRETE D. 1.68. ALL DITERED TO CONTRET D. 1.68. ALL DITERED TO CONTRET D. 1.6

BEDDIE FRESH CONCRETE IS POURD AGAINST CONCRETE IN PLACE, THE CONTACT SURFACES OF CONCRETE IN PLACE SHALL BY CHARGOLINE SHALL BE PROPERLY LOST THE CONTROL SHALL BY REDDIES, AND THE CONTROL SHIPPICES SHALL BE THEORIGH, WITH GROUP CONSISTING OF ONE PART SHAD TO ONE PART CELEDIT WITH A MANABUM ANOUNT OF WINTER.

ALL CONCRETE FORMINGIRE SWILL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE HISTORIE PROLITICE FOR CONCRETE, SPECIAL PUBLICATION NO. 4, AND ACL "STANDARD RECOMMENDED PRICTICE FOR CONCRETE FORMINGIR" (AS 347).

SIE:

CONCRETE WORK SHALL COMPINA TO THE LATEST APPROVED (BY LOCAL CONFINAENT) EDITIONS OF PROLIMENTS ACT ST PROPERTIES OF CONFICES ACT ST COMPRESSON TESTS. 201 SPECIFICATIONS, ACT SUP ALCANC CONCRETE, ACT 305 HOT WENTER, ACT 305 COLD. THERE, ACT 315 COLD ACT 347 PORTMORK.

ALL FIELD AND LAB RESTING OF CONCINETE. F. REQUINED, SAULL CONFORM TO THE LATEST APPROVED (BY LOUR CONFORMER) THE LATES SET ALS A CASE A CASE

) CERTIFY THAT THE FIELD AND LAB TESTING CONTORMS TO THE ASTAL DOCUMENTS AND GOOD PPAICTIC STONED AGENCY) CONCRETE FPRIMORE SAUL NOT BE DISTURBED UNTIL THE CONCRETE MUS CURED LONG DIOUGH TO BE BEET DI SUFFORT ITS OWN REPORT FULLS A MUMBLUL OF SYS CONSTRIENTION LLONA. A CONCRETE STRUCTURE, MAY MAY IS ARROWED ITS DESIGNA LIFE LOND UNTIL IT MAS CURED FOR 28 DAYS.

FORMS, MUST RELAWN IN PLACE A LAMMAILLE OF STEPN DAYS REFORE RELAYAL PROMISED THE MEM DALY AND THE MEM DALY AND THE MEM DAYS THE MEMORY OF THE

IF REDESTED BY BHOMER OF RECORD, COMPACTOR SHALL SUBMIT FOR APPROVED ENTONY, SLEVE DESON MAY RESON MAY NEW WAS ASSESSED WAY NEW AND ASSESSED WAY NEW ASSESSED WAY NEW ASSESSED WAY NEW ASSESSED WAS ANO BEACHCROUND DAY, CONFIDER DESCON MAY DISK SUBMIT NEW DISK STREAMEN, SOUNDS WAS ASSESSED WAS ASSESSED WAS ASSESSED WAS ASSESSED WAS ADMINITY OF WAITH OR WAY THE PAUM OR WE THE CHANT OF WE THE CHANT OF WAITH OR WE THE CONTENT IS STREAMEN.

THE USE OF ADDITINES TO THE CONCRETE AND SHALL NOT BE PERMITTED UNLESS THE CONTRAVITOR MICE. PRICEDED THE PROOF RETITED APPROVAL OF THE ENGINEER OF RECORD. ADDITINES CONTRAVING CALCULA CALCURES SHALL NOT BE USED. CONCRETE FOR STRUCTURES THAT ARE TO RECEIVE A PROTECTIVE SURFACE COATING IS NOT TO BE TREATED WITH ANY CURING COMPOUND UNLESS APPROVED BY LANDS CONSTRUCTION CORPORATION.

CONCRETE REINFORCING MOTES

ALL REWINDRONG SAALL BE HEV BILLET STEEL CONFORMING TO ASTA AGIS, GRADE 60 (FY-60,000 PS), ALL REWINDRONG SAALL BE STATUEL, REWINDRONG SAACH SAACH SAACH SAALL BOOK SAACH SAAC

LIP ALL RENYDROWS SPLACES 34 BAP DAMETERS FOR UP TO \$6 BARS AND 43 BAP DAMETERS FOR \$7 MAD LANGER BARS EXCEPT LIP TOP BAP SPLACES 44 MO 56 BAP DAMETERS, RESPECTIVELY, BEND THAT HORIZOWEL, RESPECTIVELY, BEND CORNERS OF PROMEE CORNERS BARS TO MATCH HORIZOWILL REPRODUCED. PROVICE COUNTIEST PROTECTION TOR REPRESENCE AS FOLLOWS:

A. FOOTINGS SLASS NO WILLS SIT CONCRETE MOT EXPOSED TO SAFTI OR WESTHERS)

C. EXTERIOR SLASS NO WILLS SIT CONCRETE MOT EXPOSED TO SAFTI OR WESTHERS)

C. EXTERIOR SLASS NO WILLS SIT CONCRETE SPORSED TO SAFTI OR WESTHERS)

C. EXEMPLE AND COLUMNS 1—1/2" (TO TIES, STRINGLY, SPIRALS, OR PRIMARY REPRESENT)

MELDED WHEE FABRIC (MWF) SAUL CONFIDEN TO ASTA AND SAULL BE: 6" X 6" W14 X W14 A WSTALL AT "S TROU THE TOP OF THE CONFIDENT SAULE MELDED WHE FABRIC SHALL HAVE ENDS LUFFED ONE FURESHAM ON SUPPORTING BEAUS ON WALLS (MMESS PRESSAU).

USE SMASON STRONG-TRE OR BNOMEDT-APPROVED EDUNILENT STRUCTURAL, WOOD COMMETTENS. UM ESS THE DIFFERENCE THREE AND LAWNITED LIGHER BEAGA WOUR FIGURES BY LIKE CONVECTED. TO POSTS WITH PASTS OF DOWNETONES, PAST BASES SAMU, RE FASTRED TO PAST SUPPORTS M.A. LIKE MANNER. ALL AUSTS AND BEAUS SAMU, RE SUPPORTED WITH AUST OR BEAU MANREYS AS MOTED. LIKE ENERTH ROOF ADOLF TRUES SAMU, RE STATIONED TO ITS SUPPORT WITH HARMONE THES, UMLESS WOTED DIFFERENCE.

PROVIDE ERECTION BIBICING FOR FLOOR AND ROOF FRAILING MINCH SWILL INCLUDE STRUT BIBICING. CROSS BIBICING FOR BOTTOM CHORD BEARING, BOTTOM CHORD RESTRAINT, AND SIMIY BIBICING.

WOOD TRUGGES ARE TO BE METAL PLATE—COMMETTED DESCAR FREEDMENTON, AND WISTLLINDW OF METAL PLATE—COMMETTED DESCAR FREEDMENT WITH THE MESS. THE METAL PLATE—COMMETTED ROOM WAS TRUGGED TO THE METAL PLATE COMMETTED WOOD DAYS TRUGGED THE METAL PLATE COMMETTED WOOD TRUGGED THE METAL PLATE TO THE PLATE TO THE PLATE TO THE TO THE PLATE TO THE PLATE TO THE TO

SEL PLATES SYULL BE PRESSURE TREATED AND SYULL BE ANCHORED WITH 1/2 INCY DAWLETER ANCHOR OF BACKES GREEDOBY POWNETER. AND 18\* (MM) IN GROUTED LAND MASONER: THERE SYULL BE A MANAGAM OF TWO BOLTS PER SETTING OF PLATE (MM) IN GROUTED LAND MASONER: THERE SYULL BE A MANAGAM OF TWO BOLTS PER SETTING OF PLATE WITH MITHIBURE BOXES SYULL BE PLACED 18\* FROM THE BID OF EACH SETTING OF PLATE WITH MITHIBURE BOXES SYULL SHOULD (MA) DOWNET OF ONE AND THO STORY BUILDINGS AND 4"-0" (MA) OC FOR BUILDINGS AND 4"-0" (MA)

THE FOLLOWING WOOD WEIGERS SAUL BE PRESSURE TREATED (PT):

4. SILS OR PLATES BEACHING ON CONFERTE OR WEIGHTH EXPRORM WILLS

B. STETENOR WOOD STUNKS, SEATHWAY, AND WILL FRAUND WITH CLEARANCES OF LESS THAN 6

NEWSES FROW THE GROUND

C. SULLS AND SLEEPENS BEACHING DIRECTLY ON A CONCRETE SLAB IN DIRECT CONTACT WITH THE GROUND

C. SULLS AND SLEEPENS BEANING DIRECTLY ON A CONCRETE SLAB IN DIRECT CONTACT WITH THE GROUND

C. SULLS AND SLEEPENS BEANING DIRECTLY TO THE WITHOUT SHAPING WITHOUT SHAPING STREAMS STREAMS CONCRETE ON MASONRY WILLS BELDIN GRADE.

ALL MASCHET CONSTRUCTON SHALL BE IN ACCORDANCE WITH THE "BILLDING CODE REDUREMENTS TOR MASCHET, PROFILED STATEMENTS TO AUGUSTA THE SPECIFICATIONS TOR MASCHET STATEMENT STATEMENTS TO AUGUSTA WASCHET BEHAVE WILLS, PHOTTOMIS, AND PERTS SHALL CONSTST BITHERS OF TADO STATEMENT WITH SCHAFFORMS TO ASTIN CON CHALLOW WITS) AND STATEMENT TO ASTIN CON CHALLOW WITS) AND OWNERS CHAEL SCALL IN LIFE OF AND SERVE OF THE STATEMENT PRESS FOR CHALLOW WITS).

MASONPY CONSTRUCTION AND MATERIALS SHULL BE IN ACCORDANCE WITH ALL REQUIREMENTS OF ADOPTED BLAND CONTROL MADIBLENITS AND THE PETCHMENDATIONS OF BRICK MOUSTRY ASSOCIATION (BM) AND MADINAL COMPETE MASONATION (PICHAL).

Carole Crandon 515 New York Avenue Takoma Park, MD 20912

**GENERAL NOTES** 

NOT TO SCALE

UNIESS SHOWN OTHERWISE, ALL LUTIES AND NEJOEPS SHALL BE TWO 2X12 SPRINCE—PWE—FIR \$1/42.

WHALLA NE ZAS STUD BECHON, WILLS AND THESE ZX10 SPRINCE—PME—PME—\$1/42.

STUD BECHON WILLS. AT BECHON WILLS AND THESE SYON STUDS AND ONE KING STUD AT BOCK DOWN.

UNIESS SHOWN OTHERWISE. ALL JACKS ON POSTS SHALL LINE UP WITH THOSE AT THE FLOOP BELDIN

ALL JACK STUDS OR POSTS ARE TO BE CONTINUOUS, OR NOTBLASED AS SHOWN, TO THE LOWEST LINE.

OF THE STRUCTURE. BEWIS, KEUERS, AND LINTELS DESCRIPTION.
BY THIS JOSEPH OF ENABERTA-LEGENCY BY THE TO BE MORDLAN IN, WOOD BEJUS MANIFRICTIME
BY A 2009 OF CROP 17.2 EDITHLY, FV = 385 PS, AND E = 1800 NS. SIES TO BE AS SHOWN OF
HANS AND DETAILS. WILTHER WITHOUT MANIFORM TO SET STEEDED TOGETHER WITH A MINIMAM FO 2
ROWS OF 180 MALS AT 12.3 C. (STAGOSPEL), MALS ARE TO BE SHOLD 3. FROW THE TOP AND
BOTTOM OF THE BEAU MICROLLANS ARE DESCRIPTED ON PLANS AS TOLLOWS. (ALL 1-3/4" THOM) S.S
FIL. = 3-1/2" DEEP, 8.25 ML = 9-1/4" DEEP, 11.8 ML = 11-7/8" DEEP, 14.0 ML = 14" DEEP
FIL.

STUD BENEMO PARTITIONS SAUL MAYE 2 COMMANDOS PLATES AT THE TOP LALLESS MOTED OTHERWISE.

THEM ARE TO BE SPLICED ALS THEM LOCATION ONLY. SPLICEST TO BE STROSTERD AT LEIGHT 4-10.

COMPACITY TO PROMORE HANKING OF ONE ROW OF BLOCKING AT MID-HESPAT OF MITTERNO STLID WILLS

STUD-HESPAT SOCKING SAUL CONSIST OF SAME SZE. SPRICES, AND GROVE OF LUMBER AS FIRE THE STAULTHONLY SPRINGING IS

NOT AUREDITY IN PLACE.

ALL ENTERIOR STUD WALLS SHALL BE BRACED AT THE CORNERS WATT. THE STRUCTURAL SHEATHANG IS IN PLACE. THES BROCHE SHALL BE STIME YET IS GLOUE STEED FALT WILL BROCHE CONFORMEND TO STALL ALL GROUE A SPECIFICATIONS OF THA WOOD MEMBERS INSTILLED AT A SPECIFIC WALLE OF ALTHORYD MEMBERS IN SHALLED AT A SPECIFIC WALL OF ALTHORYD MEMBERS SHOW CONFORMERS, BLOOM MAY SHALL BE ALTHORYD MEMBERS THAT SHALL BE AND ON CONMICH MALS IN FIGH WHIS SHALL SHALL BE AND ON CONMICH WALLS IN FIGH WHIS OF THE STUDS.

SHEATHING

MOOF SHEATHING SHULL BE STANDARD 5/8" C-D 24/16 (SPAW RATING) EATEROR BLUE PLYWODD. MAL PLYWOOD OR OBST D JOSTS AND TRISSES WITH BD WALS A! 6" O.C. A! SHEET EDGES AND A! 12" O.C. A! ALL MITHAEDMIE JOSTS AND TRISSES.

PLODE SEETHING SHALL BE 3/04 MCH 24" OC. SPAN TONGLE AND GRODE PLINGOD OR OSB. GLLE HITH SUBFLOOD ANDESNE AND SOSEW PLINGOD TO JUSTIS AND TRUSSES WITH NO.10 SCREIPS AT 9" OC. HI DREET EDGES AND 16" OC. AT ALL MITPINEDAILE JUSTIS AND TRUSSES. WILL SHEATHING SWILL BE STANDARD 1/2" 24/16 (594N RATING) EATENOR GLUED PLYNOOD OR OSB. AL PHYDOLOGY OR OSB TO STANDARD WIT PLANDARD AT NEW PARTE EDGES AND AT 12" OCH AT MITTHEREVIEL COUNTAINS.

SHORING / DEMOLITION:

HOLSS SHALL NOT BE CUT AN STEEL MEMBERS LINIESS MONCATED ON THE DRAWNISS OR APPROVED IN WRITING BY ENGINEER OF RECORD. ANCHOR BOLTS SHUL BE ASTU ASB ROOS WITH TACK—WELDED HEY HEAD NITS AT EMBEDGED END OR ADO'T BOLTS WITH THE HEAD EMBEDGED.

ALL ANGLES SWILL MWE LONG LEG VERTICAL" AND 8" MM. BEARING. LINTELS OVER OPPINIOS IN MITEMEN MISSIME PARTICIS LIGHTINGS NOT OTHERWES SPECIFED SWILL BE PRECIST LIGHTINGSHI CONCRETE. LIGHTLES 8" DEEP WITH 1 \$5 BAR TOP AND BOTTOM FOR EXCH 4" WIDTH.

THE CONTRACTOR/SUBCONTRACTOR SHOULD BE EUPBRENCED IN SHORMIG AND DEMOLTION WORK AND MACHOL CHEMILLY EMULIATE IN STRUMMEN WHAT EXCESS PRORY TO STAFFING WORK. THE CONTRACTOR SHALL NOTIFY THE SHOURD EXCENSE BIGGREER OF STRUCTURAL ENGEREER # ANY CRICIASSTANCES EXIST WHICH AFFECT THE STABLITY OF THE EMISTING STRUCTURE OR THE SHORMIG.

THE CONTRACTOR IS CULTONED THAT MEDIANG, SHORING, AND DEBICUTION ARE POTENTIALLY HAZARDOUS AND MEDICATE TYPES OF WORK, REDUMENG ENTRUMENING ONE AND CULTUM DURING THER PERFORMANCE. AT ALL TIMES DURING THIS WORK, THE CONTRACTOR SHOULD MONITOR THE PERFORMANCE OF THE TELEGOOM SHOWN AND WINK MODIFICAL ETTING SHOWN, RECULY ANALYBEE ON SITE IN THE EVENT DEFLICATION OF PHESE WHOLEHOFF OF THE SHOWN.

THE CONTRICTOR IS RESPONSIBLE FOR THE DESIGN, INSTILLATION, MAINTENANCE, AND PERFORMANCE OF THE TEMPORANT SCIENCE.

ADEDIAITE BRAICHIO AND COMMECTIONS BETMEEN THE COMPONENTS OF THE SHORING SYSTEM SHALL BE PROMISED BY THE COMPINCTOR. SHOKE DETECTORS:

all fromms limber simil be sprince—fir (595) \$1/\$2 or better, uness note) otherwise Lumber to be groupd by mitomu. Lumber groups authority (mga) rules

PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS INFERE PARTITION LENGTH EXCEEDS 1/3 JOIST SPAIN

ALL WOOD MENERS DESIGNATED AS PRESSINE—TREATED" (PT) SWILL BE SOUTHERN PINE 1/2 OR EUROPEAN - APPROADE EIGHT, AND MISSEN PERESTRAINE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD—PRESSINENTS' ASSOCIATION (MINK) STANDAGE CI-83; "ALL TIMBER PRODUCTS — PRESENTATIVE TREATMENT OF PRESSIVE PROCESSES".

ALL MODO DAGERRACTION, MILLLANDER MUHALES, SAULL ER MA HACKROMANE WITH THE REQUIREMENTS OF THE VAINTUM, DESCHI MACHINES ONDS AND THE ZOOT SENTON OF THE VAINTUM, DESCHI SERVINGENTION OF THE VAINTUM, DESCHI MACHINES OND THE CONTRACT OF THE VAINTUM, DESCHI MACHINES OND THE MACHINES OF THE VAINTUM, DESCHI MACHINES OND THE MACHINES OF THE VAINTUM, DESCHI MACHINES OND THE MACHINES OF T

STEEL WORK WAICH WIL BE CONCELLED BY WITEROR BUILDING FWISH OR WILL BE IN CONTACT WITH CONCRETE NEED NOT BE PAINTED. ALL OTHER STEELWORK SAUL BE GINEN OME COAT OF SHOP PAUN

Ö W

FOR NEW CONSTRUCTORY OR SUBSTANTALLY REMODELD CONSTRUCTOR, HARDWERD SADIE DETECTORS SHALLE PROSED ON ALL LEYELS AND IN EACH SLEEPING ROOM OR AREA ACCORDING TO THE .... 2003. RG.

HANDRAILS AND GUARDRAILS:



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777

Fax: 202-882-9700 www.landisconstruction.com

**Project** 

Date: 05-30-06

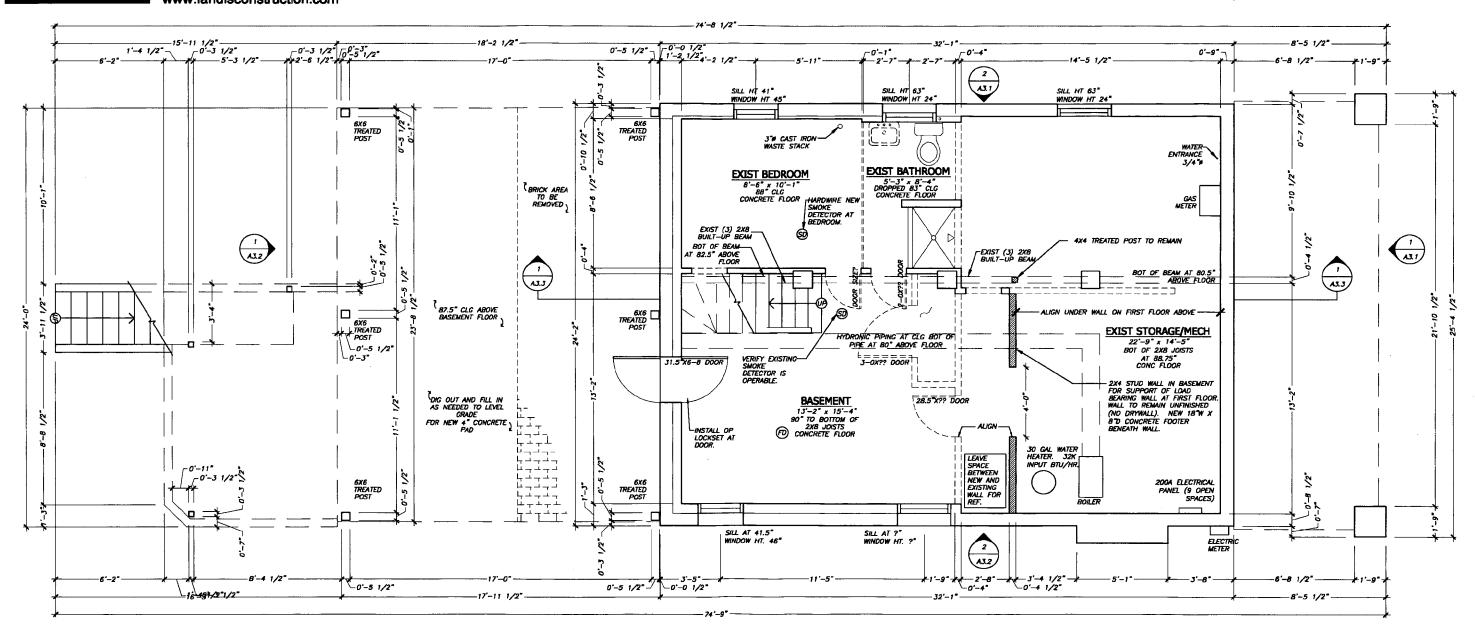
Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D1.0A** 

Sheet Title:

DEMOLITION BASEMENT FLOOR PLAN

Scale: 3/16" = 1'-0"



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Basement Floor Plan  $\frac{3/16^* = 1^2-0^*}{}$ 

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

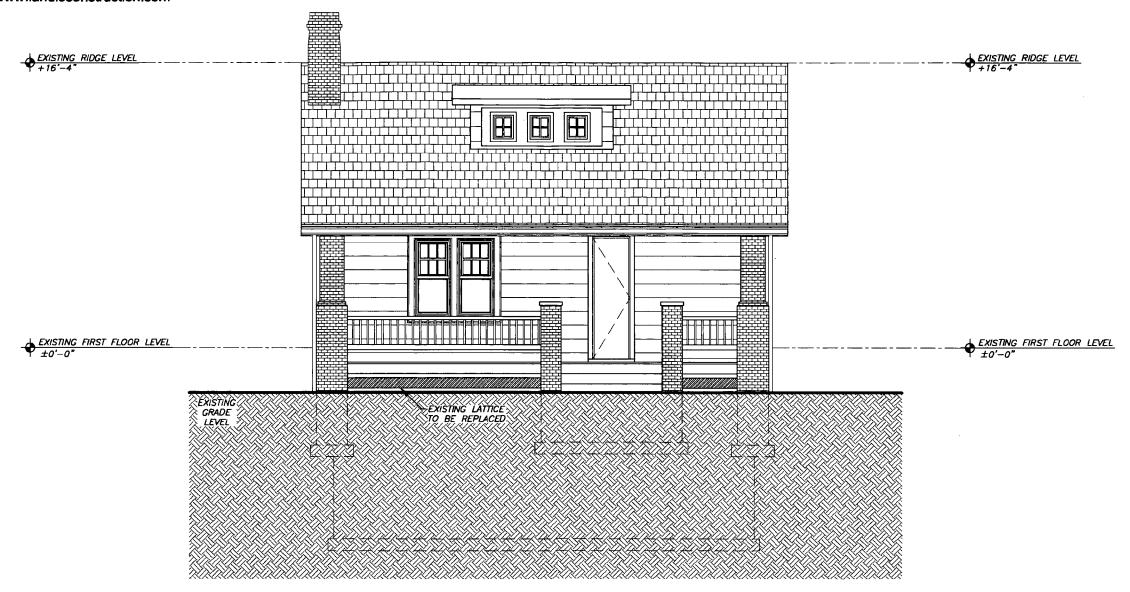
Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.1** 

Sheet Title:
DEMOLITION FRONT ELEVATION
Seele:

Scale: 3/16" = 1'-0"

Date: 05-30-06



OTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE-ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Front Elevation  $\frac{3/16^n = 1'-0^n}{}$ 

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

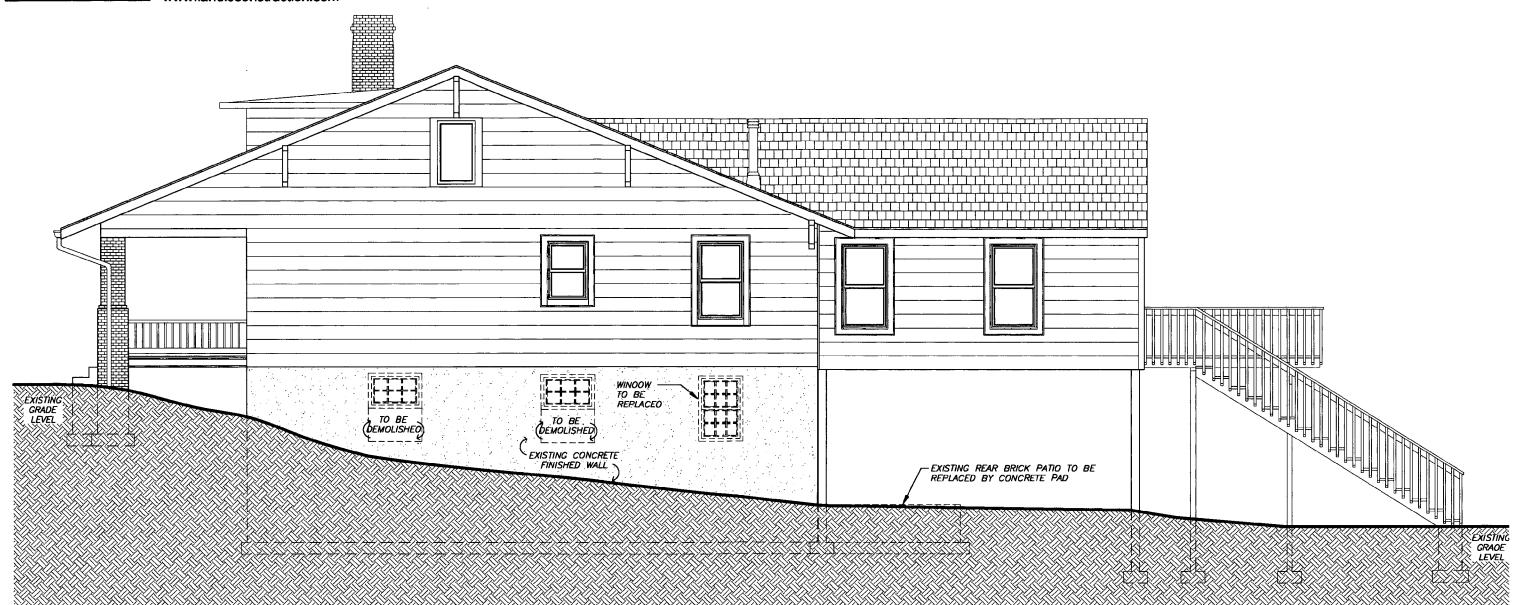
Proje

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.2** 

Sheet Title:
DEMOLITION RIGHT SIDE ELEVATION
Scale:
3/16" = 1'-0"

Date: 05-30-06



OTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE OECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN OOOR TO ACCESS TO REAR PATIO UNOER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACEO BY CONCRETE PAD UNOER EXISTING OECK.

LEGENOS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Right Side Elevation  $\frac{3/16^n = 1'-0^n}{1}$ 

#### A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

BUILD FIRM

Project

## Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.3** 

Sheet Title:

DEMOLITION REAR ELEVATION

Scale: 3/16" = 1'-0"

Date: 05-30-06



NOTES

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.

EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

1 Rear Elevation
3/16" = 1'-0"

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

Date: 05-30-06

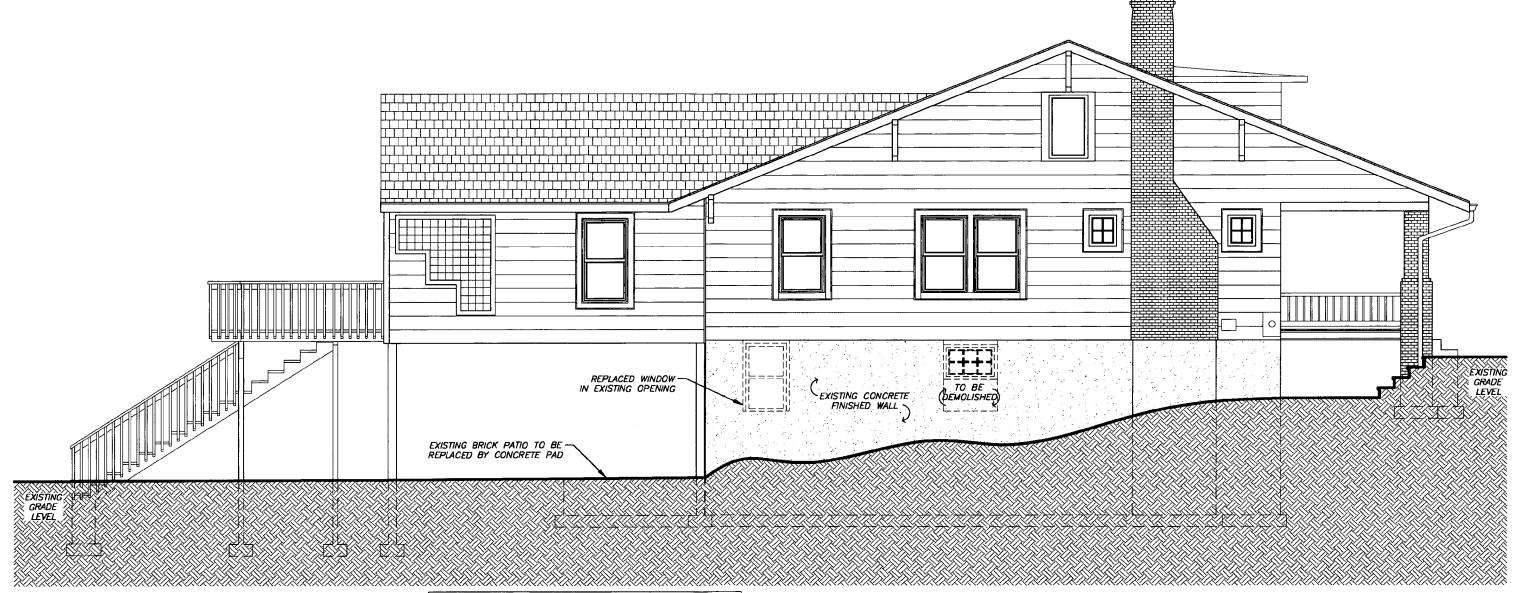
Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **D3.4** 

Sheet Title:

DEMOLITION LEFT SIDE ELEVATION

Scale: 3/16" = 1'-0"



#### NOTES

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

Left Side Elevation  $\frac{3/16'' = 1'-0''}{3}$ 



7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

Project

**Carole Crandon** 

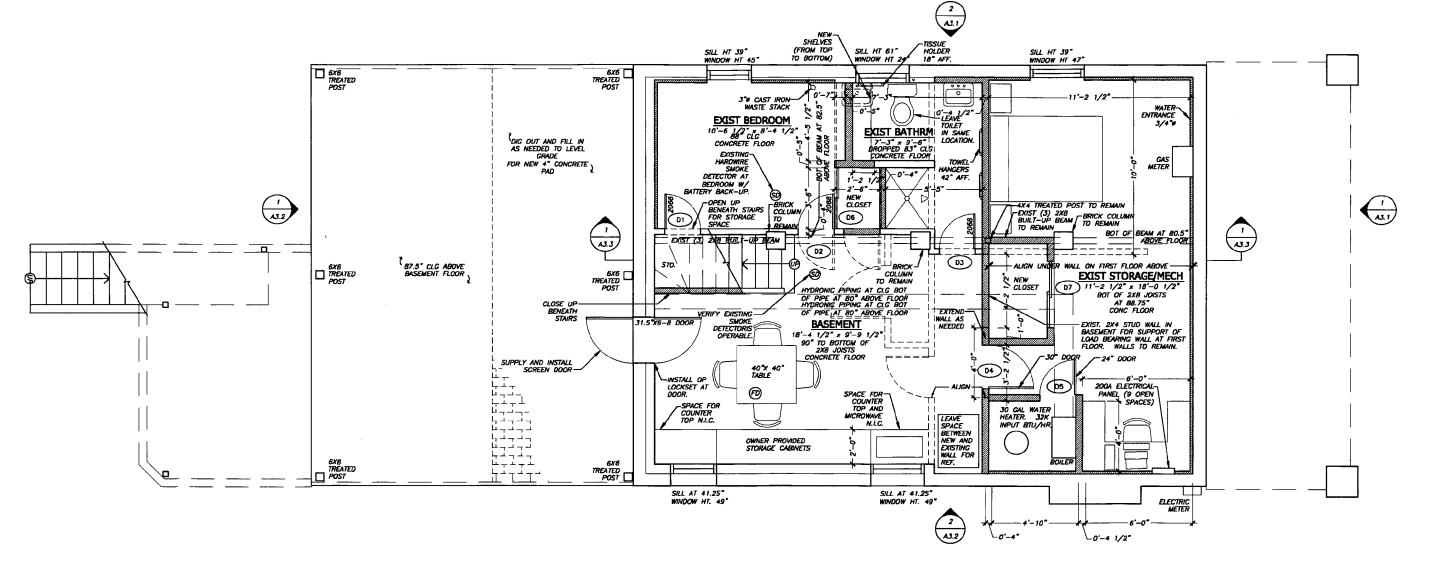
515 New York Avenue Takoma Park, MD 20912 **A1.0A** 

Sheet Title:

PROPOSED BASEMENT FLOOR PLAN

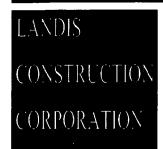
3/16" = 1'-0"

Date: 05-30-06



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
[]	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**Basement Floor Plan**3/16" = 1'-0"

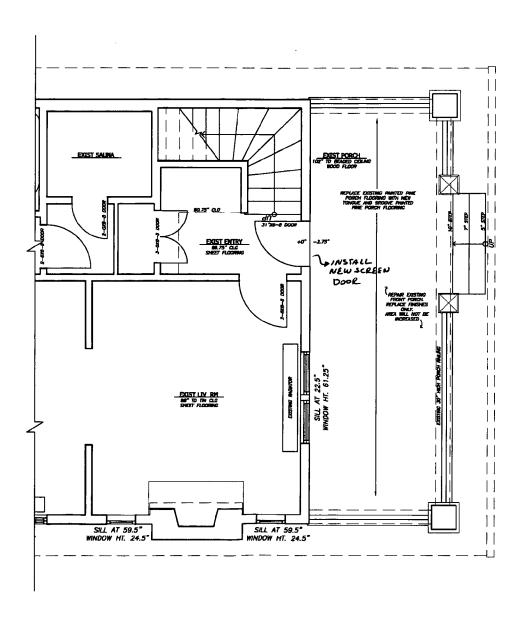


7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **A1.1** 

Date: 05-30-06 Sheet Title:
PROPOSED FIRST FLOOR PLAN
Scale:
3/16" = 1'-0"

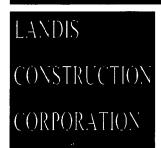


#### NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK. EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.



7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777 Fax: 202-882-9700

www.landisconstruction.com

**Project** 

### Carole Crandon

515 New York Avenue Takoma Park, MD 20912

Sheet Title:

PROPOSED FRONT ELEVATION

Scale: 3/16" = 1'-0"

Date: 05-30-06

EXISTING RIDGE LEVEL EXISTING RIDGE LEVEL FRONT DOOR TO REMAIN SCREEN DOOR EXISTING FIRST FLOOR LEVEL EXISTING FIRST FLOOR LEVEL ±0'-0" ±0'-0" EXISTING GRADE LEVEL

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700

Project

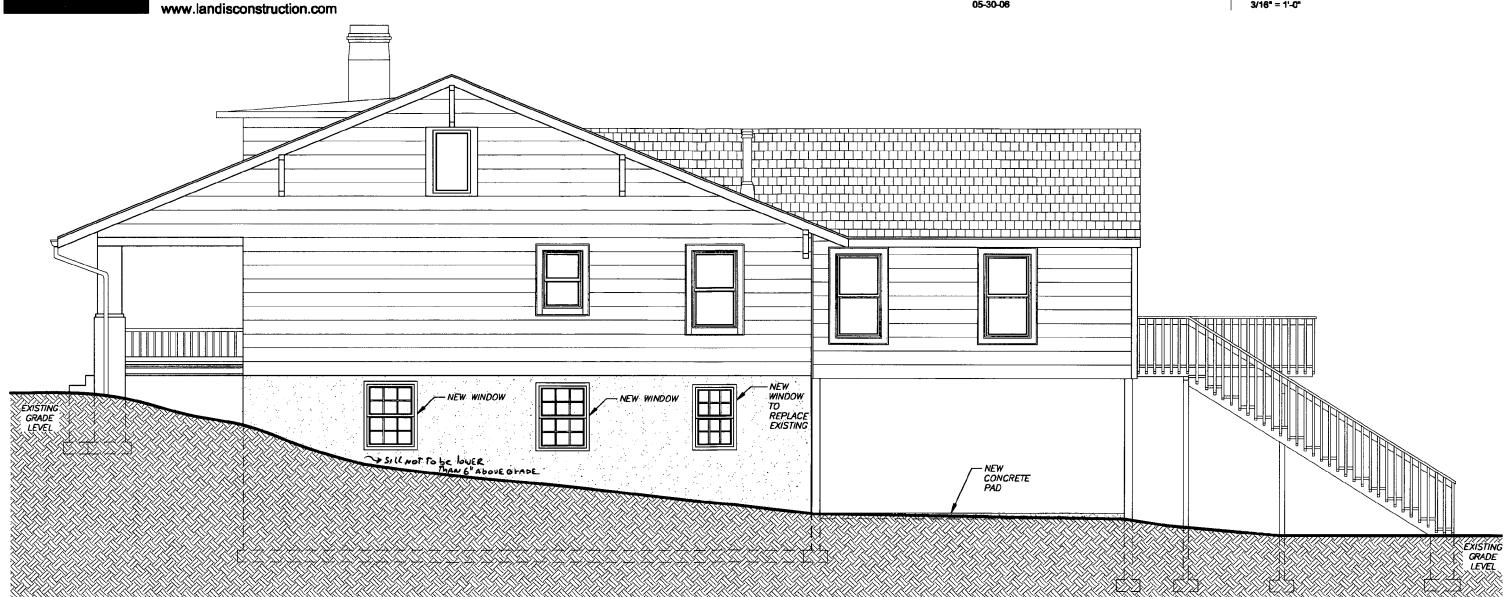
Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **A3.2** 

Sheet Title: RIGHT SIDE ELEVATION Scale:

3/16" = 1'-0"

Date: 05-30-06



REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY -AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SSUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

1 Right Side Elevation  $\frac{3/16^n = 1'-0^n}{3}$ 

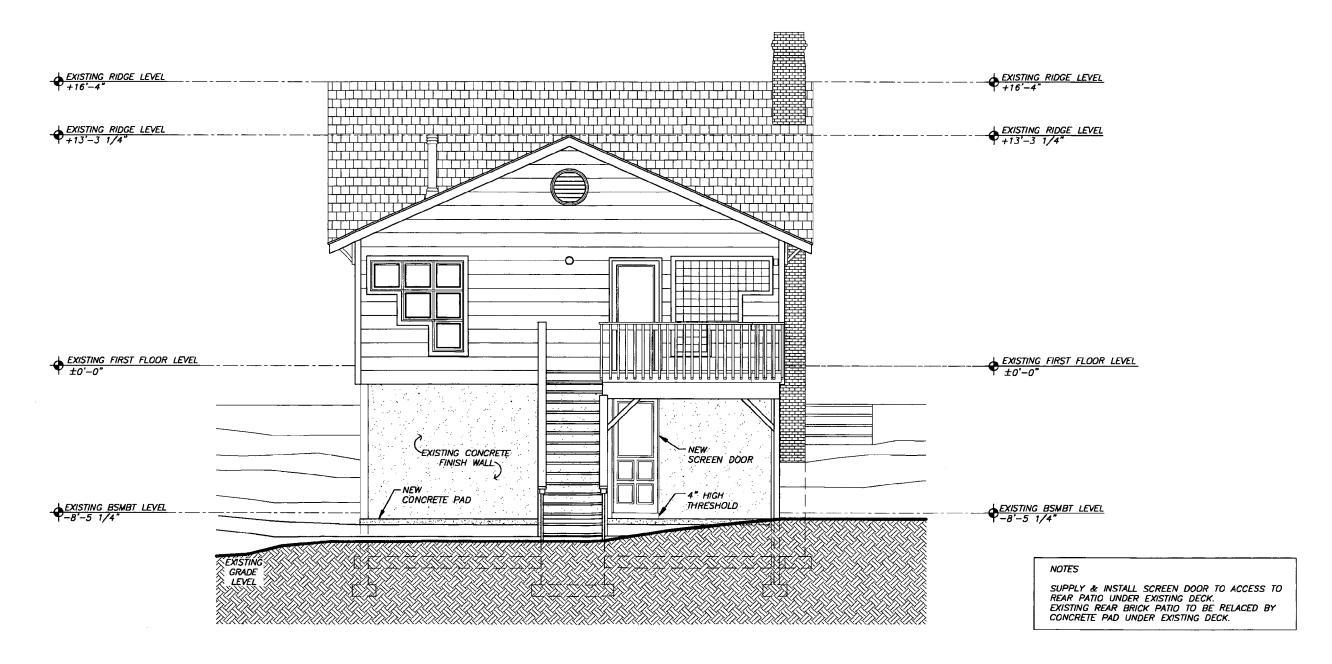


7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **A3.3** 

Date: 05-30-06 Sheet Title: PROPOSED REAR ELEVATION Scale: 3/16" = 1'-0"



A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012 Phone: 202-726-3777 Fax: 202-882-9700 www.landisconstruction.com Project

Date:

05-30-06

## Carole Crandon

515 New York Avenue Takoma Park, MD 20912 **A3.4** 

Sheet Title:

PROPOSED LEFT SIDE ELEVATION

Scale: 3/16" = 1'-0"

NEW T&G -PINE DECKING EXISTING GRADE LEVEL EXISTING CONCRETE FINISHED WALL NEW -CONCRETE PAD

#### NOTES

REPAIR EXISTING FRONT PORCH — REPLACE FINISHES ONLY — AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

1 Left Side Elevation  $\frac{3/16^n = 1'-0^n}{1}$ 

A DESIGN / BUILD FIRM

7058 Spring Place, NW Washington, DC 20012

Phone: 202-726-3777

Fax: 202-882-9700

Project

Carole Crandon

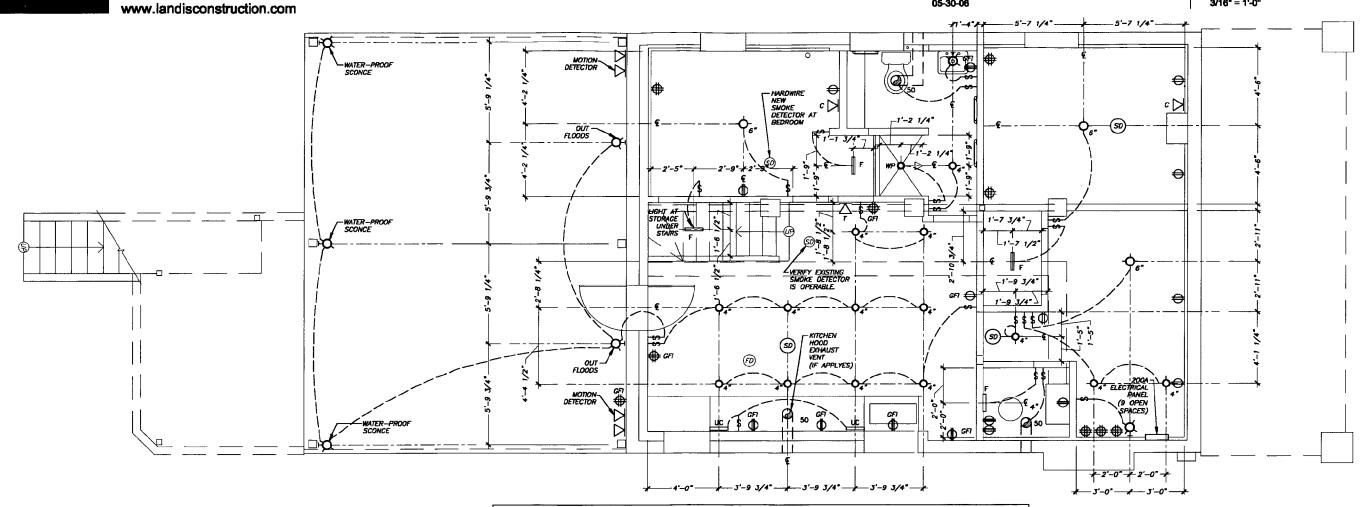
515 New York Avenue Takoma Park, MD 20912 **E1.0A** 

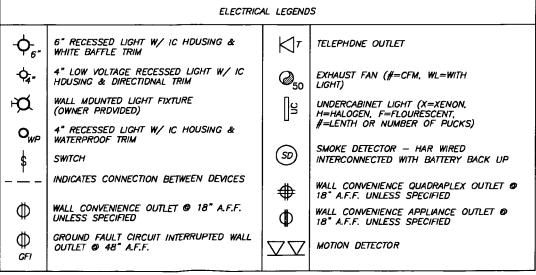
Sheet Title:

ELECTRICAL BASEMENT FLOOR PLAN

Scale: 3/16" = 1'-0"

Date: 05-30-06





1 Basement Floor Plan
3/16" = 1'-0"