


37/03-06CC 515 New York Ave  
Takoma Park Historic District, 37/03



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 515 New York Avenue, Takoma Park      **Meeting Date:** 06/21/06  
**Resource:** Contributing Resource      **Report Date:** 06/14/06  
                  **Takoma Park Historic District**  
**Review:** HAWP      **Public Notice:** 06/07/06  
**Case Number:** 37/03-06CC      **Tax Credit:** Partial – front porch floor  
**Applicant:** Carole Crandon (Yerko Pallominy, Agent)      **Staff:** Michele Oaks

**PROPOSAL:** Alterations

**RECOMMEND:** Approval with Conditions

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**STAFF RECOMMENDATION:**

Staff recommends that the Commission approve this HAWP application with the following conditions:

1. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. The windows will be fabricated of painted wood, or solid wood with an exterior clad in vinyl or aluminum. If the windows are to have a muntin profile, the windows will be a simulated divided light wood window, which contain wood muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.
3. The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
4. The specifications for the front and rear wood screen doors will be included in the permit sets of drawings submitted to staff at the time of stamping.
5. The applicant's front porch floor will be replaced with painted or stained, oak, tongue and groove flooring.

## **BACKGROUND**

On September 28, 2005 the Commission approved with conditions a HAWP application to:

- Widen the current three-bay dormer by creating a full-width dormer on the front façade. The dormer will continue to have the overhanging eaves and exposed rafter tail details as the original. Additionally, the applicant is proposing to use a painted, wood, lap siding on the dormer in preparation for a future removal of the asbestos siding and rehabilitation of the original wood siding on the original massing. The proposed windows are wood with a camed glass pattern. The dormer will be sheathed in a standing seam copper or tin roof.
- Handicapped ramp (Deleted from this current application by applicant in order to continue to work with HPC staff and Takoma Park's arborist to address design and material concerns – ramp will return to HPC at a later date with a new design that better addresses these issues.)
- Remove the existing gutter and downspouts on the property and replace with copper ½ round gutters and new downspouts.
- Remove the Masonite siding and trim on the rear addition and replace with cement fiber siding with 11" exposure.
- Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking.
- Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame.
- Repair/replace in-kind existing beaded wood soffit and damaged fascia and rake mould drip.

### **The HAWP's conditions of approval were:**

1. A tree protection plan for the existing trees will be drafted and approved by the Takoma Park City Arborist.
2. The proposed windows in the dormer are changed to a 4 or 6 light, wood, casement or awning, simulated, divided-light window.
3. The handicapped ramp and landscaping plan is deleted from this current proposal and the applicant and her design staff continues to work with the Takoma Park Arborist and HPC staff on the design and material selection for this structure and overall landscaping plan to create a product that will be user-friendly, environmentally-sensitive and historically compatible to the site.

## **PROJECT DESCRIPTION**

SIGNIFICANCE:     Contributing Resource  
STYLE:             Bungalow  
DATE:              1918

515 New York Avenue is a contributing resource within the Takoma Park Historic District. The building is a 1-½ story frame bungalow clad in wood siding with an asbestos shingle siding veneer. The house is ornamented with a full-width front porch supported by brick columns. The roof is detailed with a full-width dormer (widened from three bays wide in 2005) with overhanging eaves and exposed rafter tails and four light casement windows.

A 1986 addition was added to the rear of the house. The rear addition is of frame construction and was clad in Masonite lap siding. The applicant received approval to remove the Masonite siding and replace it with the Hardi-plank lap siding in 2005.

The entire roof was covered in 3-tab asphalt shingles. The new dormer will be covered in copper.

## **PROPOSAL:**

The applicants are proposing to:

1. Increase the size of and replace the existing basement level windows to provide for egress on the side elevations of the house (see details on attached plans beginning on circle 13).
2. Remove the existing brick walkway beneath the existing addition (165 sf) and replace it with a 4" thick concrete pad (235 sf).
3. Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking (approved with the previous HAWP on 9/28/05).
4. Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame (approved with the previous HAWP on 9/28/05).

## **APPLICABLE GUIDELINES:**

Alterations to the buildings within the Takoma Park Master Plan Historic District are reviewed by the Commission with the guidance of the *Secretary of Interior's Standards for Rehabilitation*, the *Takoma Park Historic District Guidelines, Approved and Adopted in August 1992* and the *Montgomery County Code Chapter 24A*. The pertinent information in these documents is outlined below.

### **Secretary of Interior's Standards for Rehabilitation**

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The applicable *Standards* are as follows:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **Takoma Park Historic District Guidelines**

The *Takoma Park Guidelines* define contributing resources as:

A resource that contributes to the overall character of the district and its streetscape, but is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

The following guidelines pertain to this project:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Original size and shape of window and door openings should be maintained, where feasible.
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### **Montgomery County Code; Chapter 24A**

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within a historic district in a

manner compatible with the historical, archaeological, architectural or cultural value of the historic site or district in which a historic resource is located.

**STAFF DISCUSSION:**

The main aspect of the subject proposal is the foundation level window size increase and replacement. The designs of the proposed windows take details from the original windows on the upper levels. As such, the proposal does not alter the existing bungalow's characteristic features or original form and continues to be consistent and compatible with the surrounding streetscape. Therefore, this proposal meets the criteria outlined in the Takoma Park Guidelines. The above-recommended conditions are standard conditions required for any HAWP within the Takoma Park Historic District and the proposed conditions are suggested for clarification of the materials to be used for the subject project.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with the above-stated conditions** the HAWP application as being consistent with Chapter 24A-8(b)1, 2 & 3.

and with the Takoma Park Guidelines, adopted in August 1997.

With the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
 235 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
 410/777-6370

UPS - #8

422726

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: YERKO H. PALLOMINY  
 Daytime Phone No.: 202-421-6685

Tax Account No. \_\_\_\_\_  
 Name of Property Owner: CAROLE CRANDON Daytime Phone No.: 301-565-0617  
 Address: 515 NEW YORK AVE, TAKOMA PARK, MD 20912  
Street Number City State Zip Code  
 Contractor: CANDIS CONSTRUCTION CORP. Phone No.: 202-726-3444  
 Contractor Registration No.: 46256  
 Agent for Owner: YERKO PALLOMINY / DANIEL OLUM Daytime Phone No.: 202-421-6685

**LOCATION OF BUILDING/PREMISE**

House Number: 515 Street: NEW YORK AVE.  
 Town/City: TAKOMA PARK Nearest Cross Street: \_\_\_\_\_  
 Lot: P4 Block: 73 Subdivision: 25  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  AC  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Blaze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revison  Repair  Revocable  Fence/W&E (complete Section 4)  Other: \_\_\_\_\_  
 1B. Construction cost estimate: \$ 45,000  
 1C. If this is a revision of a previously approved active permit, see Permit # N/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
 Signature of owner or authorized agent

05/31/06  
 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Application/Permit No: 422726 Date Filed: 5-31-06 Date Issued: \_\_\_\_\_  
emc

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

AP #422736

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Please see Attached Description

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;  
b. dimensions of all existing and proposed structures; and  
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.  
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.  
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**SCOPE OF WORK - for Historic Area Work Permit at 515 New York Ave.**

May 31<sup>st</sup>, 2006

**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The house is located on a wooded lot in the Takoma Park Historic District, and listed as a contributing resource in that district. The lot is fairly deep (225 feet) and somewhat overgrown in both the front and rear yards. The original house was built on the lot in 1918 and is in the bungalow, side-gable style. It is among additional bungalow houses built in the 1920s, and the neighborhood includes Queen Anne houses built in the 1890s. 515 New York Avenue is a 1-1/2 story house with a full basement. The basement is constructed of clay tile blocks with the exterior parged. The upper portion of the house is wood frame with asbestos shingle siding. At the street elevation of the house there is an eight foot deep porch with stepped brick porch columns, painted wood porch decking that is in poor condition, and a painted wood guardrail.

At the back of the house an addition was added in 1986. This addition is wood framed with lap siding made from Masonite. The entire addition rests on 6x6 posts, leaving an open space beneath as rear patio, accessible from the basement's rear entrance.

**b. General description of project and its effect on the historic resource(s), environmental setting, and, where applicable, the historic district:**

At the basement level, we'll re-design and re-build the interior as per plans. Lighting fixtures and a few additional electrical devices will be installed throughout the basement.

Exterior work includes; On the Southeast side of the house, we will replace an existing window and we'll enlarge the other two to match the height of existing one. On the Northwest side, we will replace one window, and the other will also be enlarged to match existing one on that side (please see windows' specs).

In the back of the house, an existing deteriorated brick walkway beneath existing addition (area of 165 s.f.), will be removed and replaced by a concrete pad as per plans, (4" thick and area of 235 s.f.), (Please see attached Floor Plans, elevations and Site Plan for specifics on this issue).

At the front porch we will remove the existing wood decking that is deteriorating, and replace it with new oak tongue-and-groove decking. The existing wood guardrail will be saved and reinstalled if its removal is necessary for porch decking work. Beneath the porch, new-framed lattice will be installed. A screened door will also be installed (front door will remain).

AP# 422726

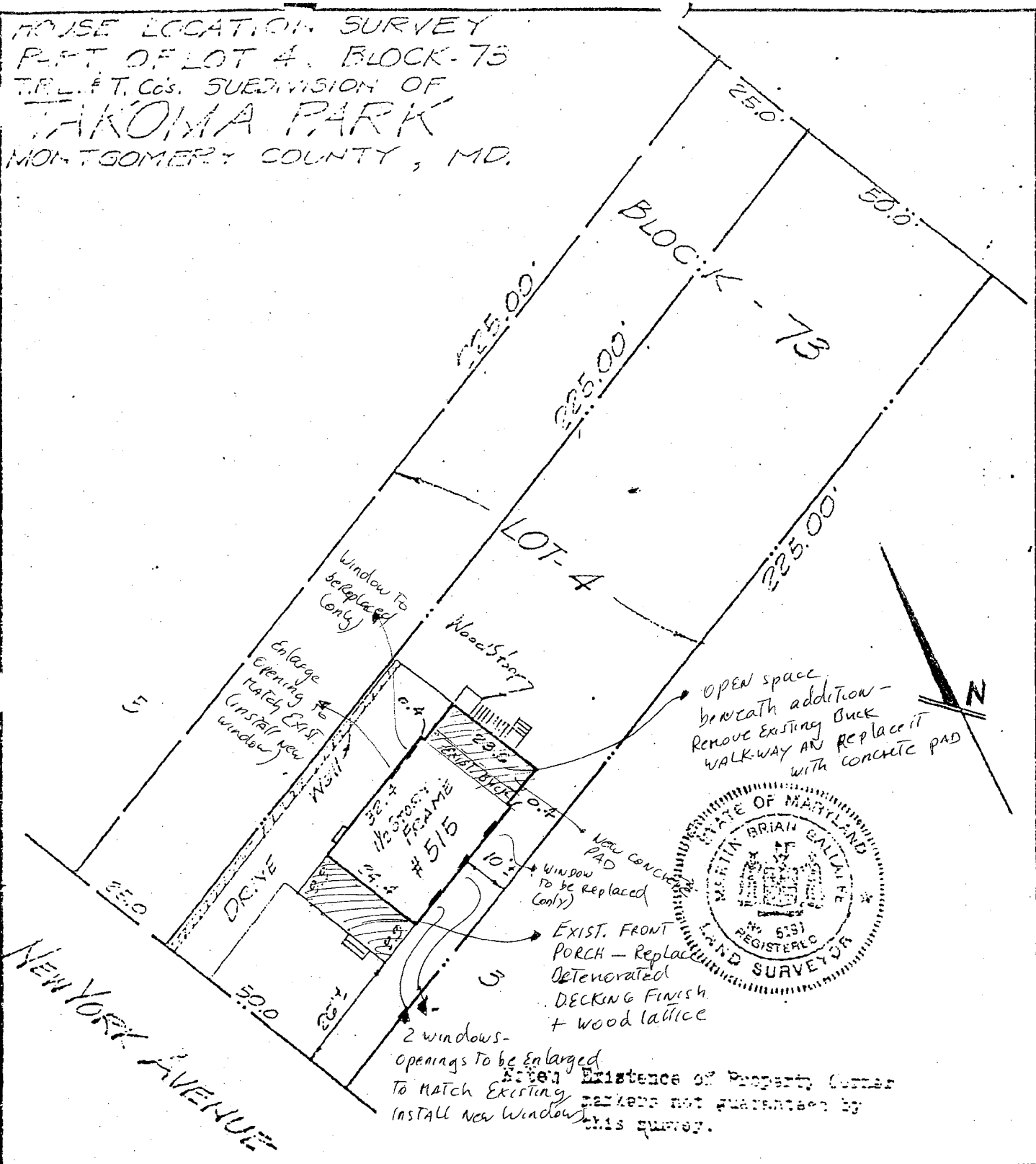
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address CAROLE CRANDON 515 NEW YORK AVE TAKOMA PARK, MD 20912</p>	<p>Owner's Agent's mailing address YERKO PALLOMINY 7058 SPRING PL NW WASHINGTON DC 20012</p>
<p>Adjacent and confronting Property Owners mailing addresses</p>	
<p>KRISTINE D. TEMPLIN 508 NEW YORK AVE TAKOMA PARK, MD 20912</p>	<p>HENRY S. ALLEN IV 513 NEW YORK AVE TAKOMA PARK, MD 20912</p>
<p>EUGENE H HERMAN 511 NEW YORK AVE TAKOMA PARK, MD 20912</p>	<p>FRANCINE POLLNER 510 PHILADELPHIA AVE TAKOMA PARK, MD 20912</p>
<p>JEFFREY P. COHN 514 PHILADELPHIA AVE TAKOMA PARK, MD 20912</p>	<p>JAMES C. BENFIELD 519 NEW YORK AVE TAKOMA PARK, MD 20912</p>

AP # 422726

PETER M. CLOSE  
ELLEN M. CONWAY  
510 NEW YORK AVE  
TAKOMA PARK, MD.  
20912

HOUSE LOCATION SURVEY  
 PART OF LOT 4, BLOCK-73  
 T.P.L. & T. Co's. SUBDIVISION OF  
 TAKOMA PARK  
 MONTGOMERY COUNTY, MD.



<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments.</p> <p><i>Martin B. Gallalee</i></p>	<p><b>REFERENCE</b></p> <p>FLAT BK. <b>B</b></p> <p>FLAT NO. <b>23</b></p>	<p><b>COLT &amp; GALLALEE, INC.</b></p> <p>LAND SURVEYORS, MD. &amp; VA.</p> <p>15532 COLUMBIA PIKE</p> <p>BURTONSVILLE, MD. 20730</p>		
	<p><b>LIBER</b></p> <p><b>FOLIO</b></p>	<p><b>DRAWN BY</b></p> <p><b>DATE</b> 5/20/75</p> <p><b>SCALE</b> 1/4" = 30'</p>	<p><b>RECORD NO.</b></p> <p><b>D-2524</b></p>	

7058 Spring Place, NW  
Washington, DC 20012  
Phone: 202-726-3777  
Fax: 202-882-9700  
www.landisconstruction.com



**1 Street Elevation**  
NOT TO SCALE

1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENDMENTS.
5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-7777 BETWEEN THE HOURS OF 7.00 a.m. TO 5.00 p.m., MONDAY THROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET. A MINIMUM OF 48 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS, IS REQUIRED.

**4 General Notes**  
NOT TO SCALE

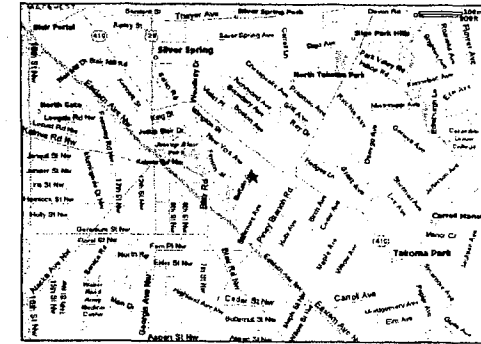
Project

Carole Crandon  
515 New York Avenue  
Takoma Park, MD 20912

**A0.1**

Date:  
05-30-06

Sheet Title:  
TITLES AND NOTES  
Scale:  
NOT TO SCALE



**2 Vicinity Map**  
NOT TO SCALE

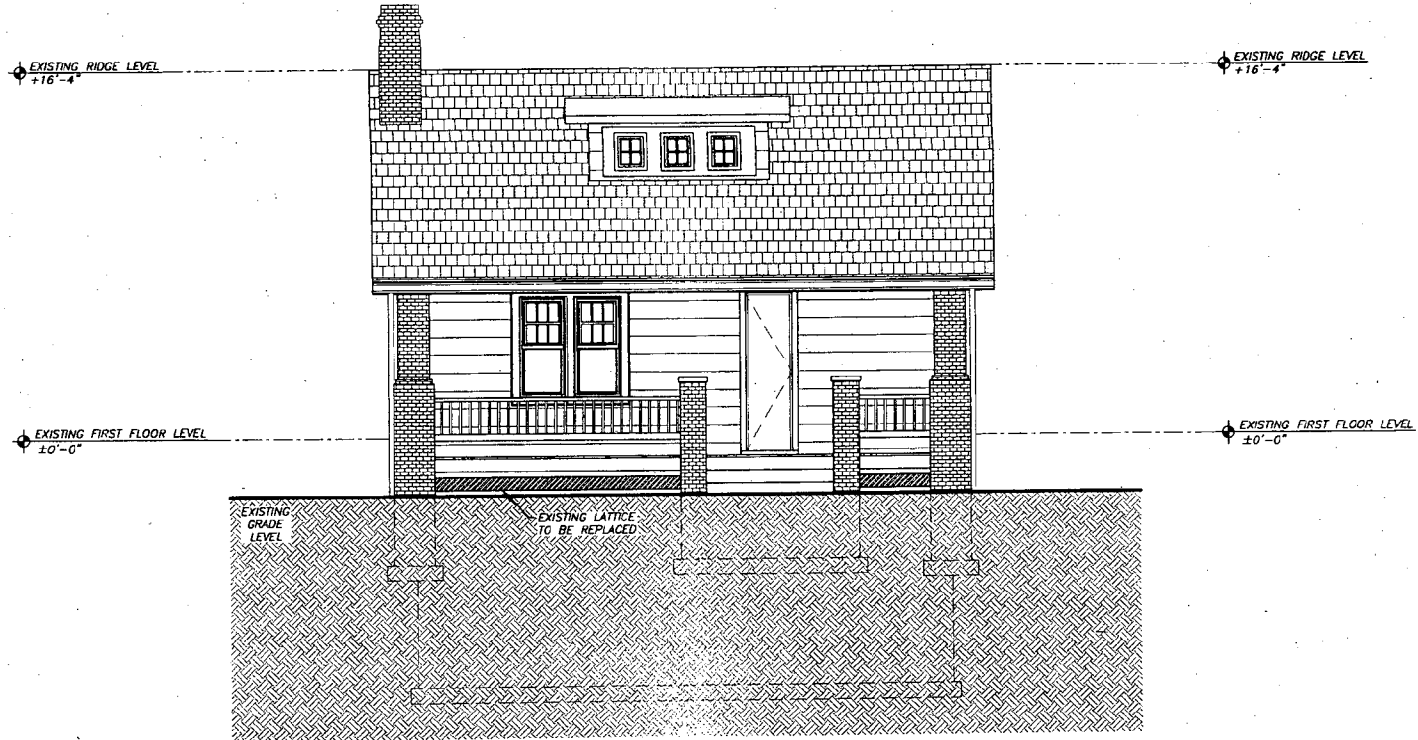
- 1 - BASEMENT LEVEL REMODELATION.
- 2 - FRONT PORCH FINISHES REPLACEMENT.

**3 General Scope of Work**  
NOT TO SCALE

- A0.1 - TITLES AND NOTES
- D1.0A - PROPOSAL 1 - DEMOLITION BASEMENT FLOOR PLAN
  - D1.0B - PROPOSAL 2 - DEMOLITION BASEMENT FLOOR PLAN
  - A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN
  - A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN
  - A1.1 - PROPOSED FIRST FLOOR PLAN
  - A3.1 - PROPOSED FRONT ELEVATION
  - A3.2 - PROPOSED RIGHT SIDE ELEVATION
  - A3.3 - PROPOSED REAR ELEVATION
  - A3.4 - PROPOSED LEFT SIDE ELEVATION
  - E1.0A - PROPOSAL 1 - ELECTRICAL BASEMENT FLOOR PLAN
  - E1.0B - PROPOSAL 2 - ELECTRICAL BASEMENT FLOOR PLAN

**5 Table of Contents**  
NOT TO SCALE

4.22 7.26

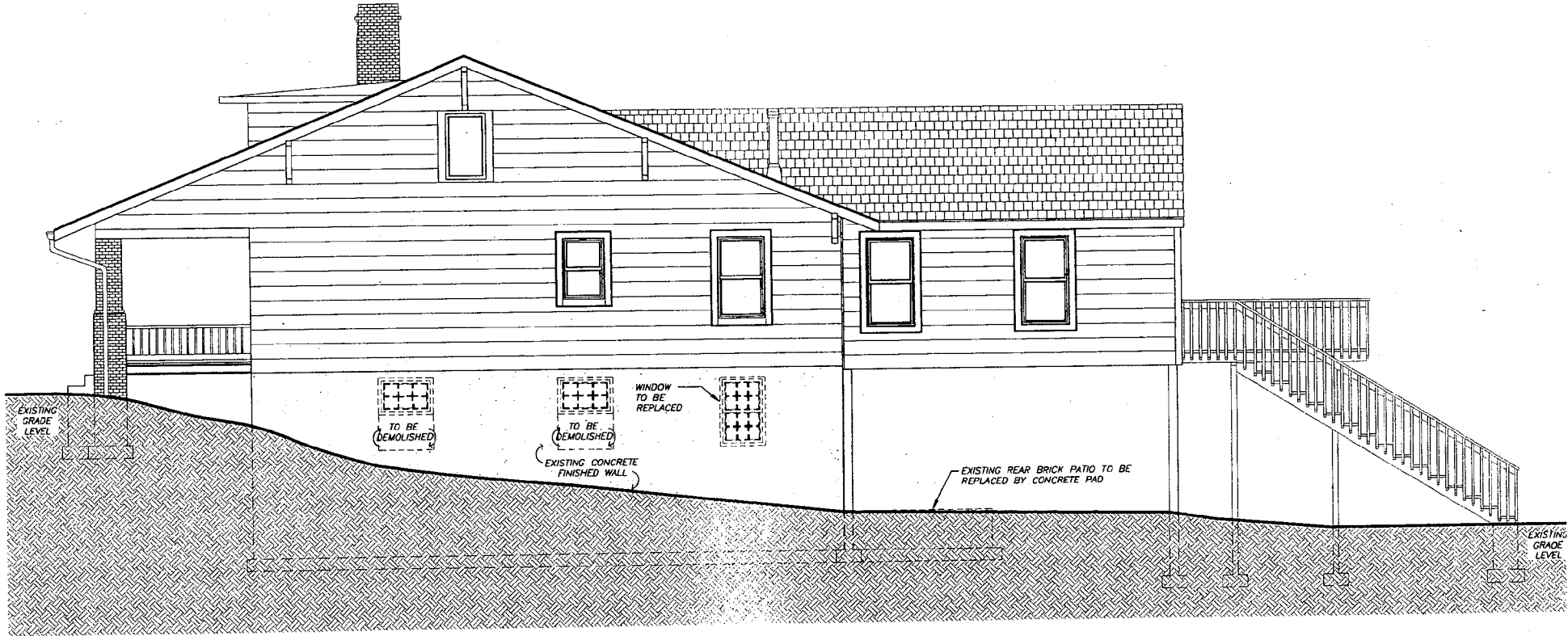


**NOTES**  
REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.  
REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.  
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Front Elevation**  
3/16" = 1'-0"

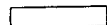
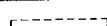
125



**NOTES**

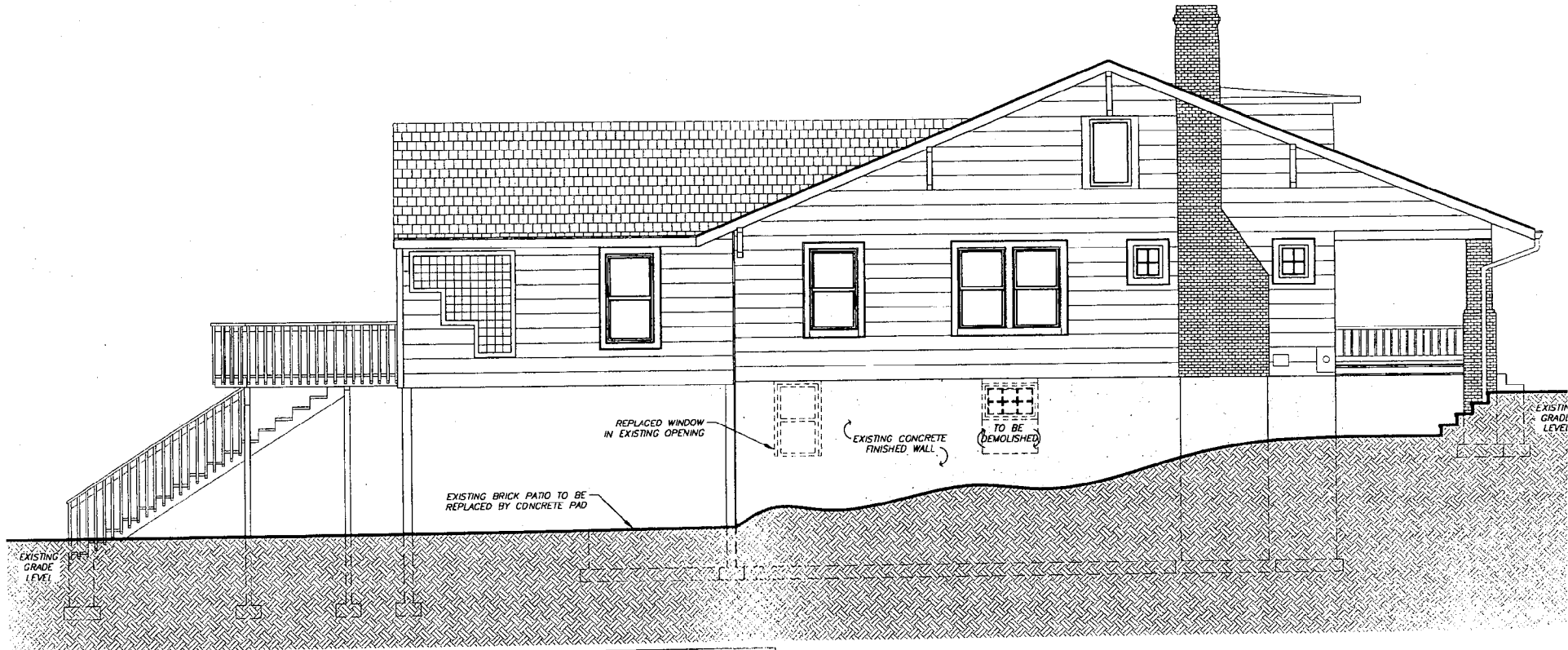
- REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.
- REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
- REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH
- SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
- EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

**LEGENDS**

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Right Side Elevation**  
3/16" = 1'-0"

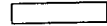
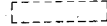
714



**NOTES**

REPAIR EXISTING FRONT PORCH - REPLACE FINISH'S ONLY - AREA WILL NOT INCREASE.  
REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.  
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.  
SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE REPLACED BY CONCRETE PAD UNDER EXISTING DECK.

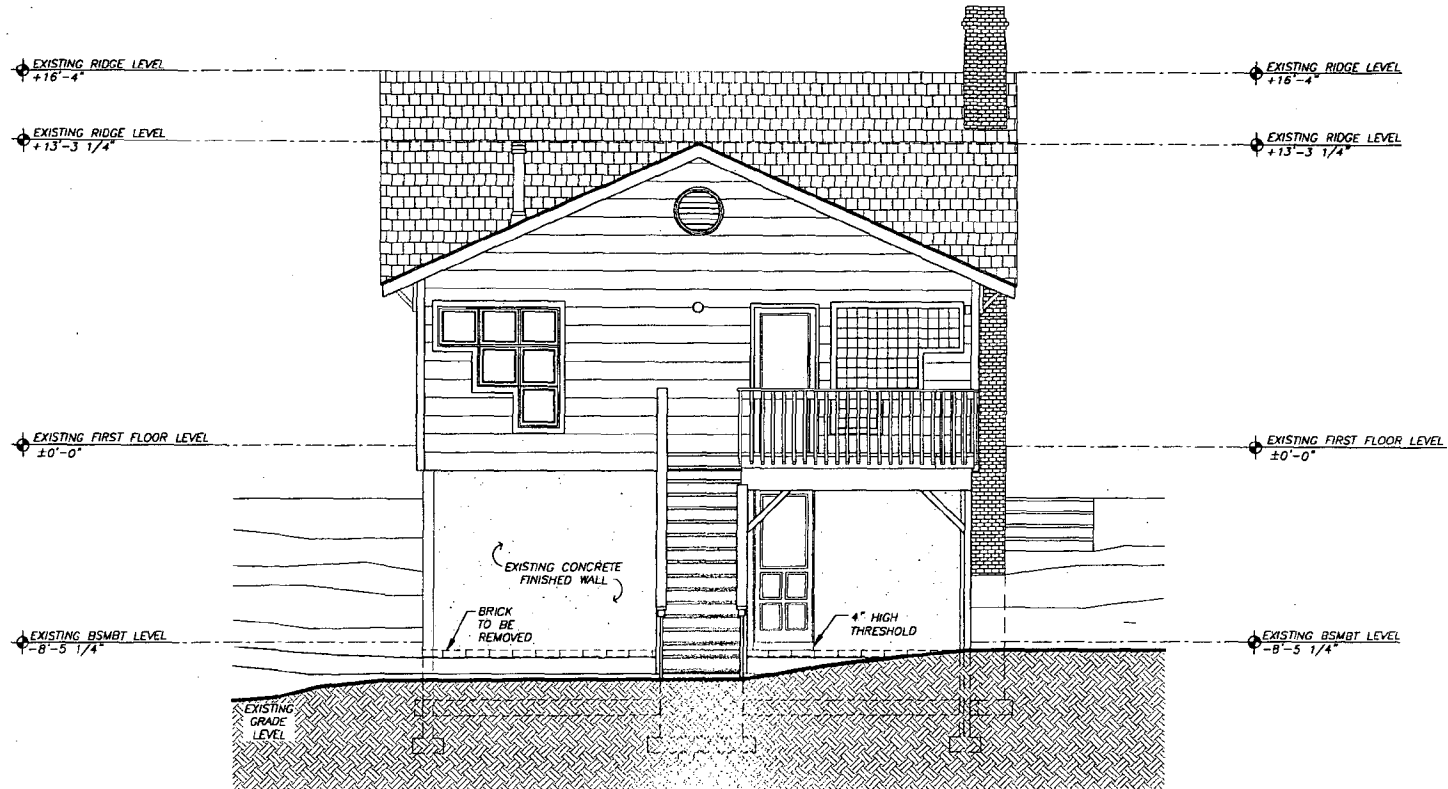
**LEGENDS**

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Left Side Elevation**  
3/16" = 1'-0"

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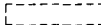




**NOTES**

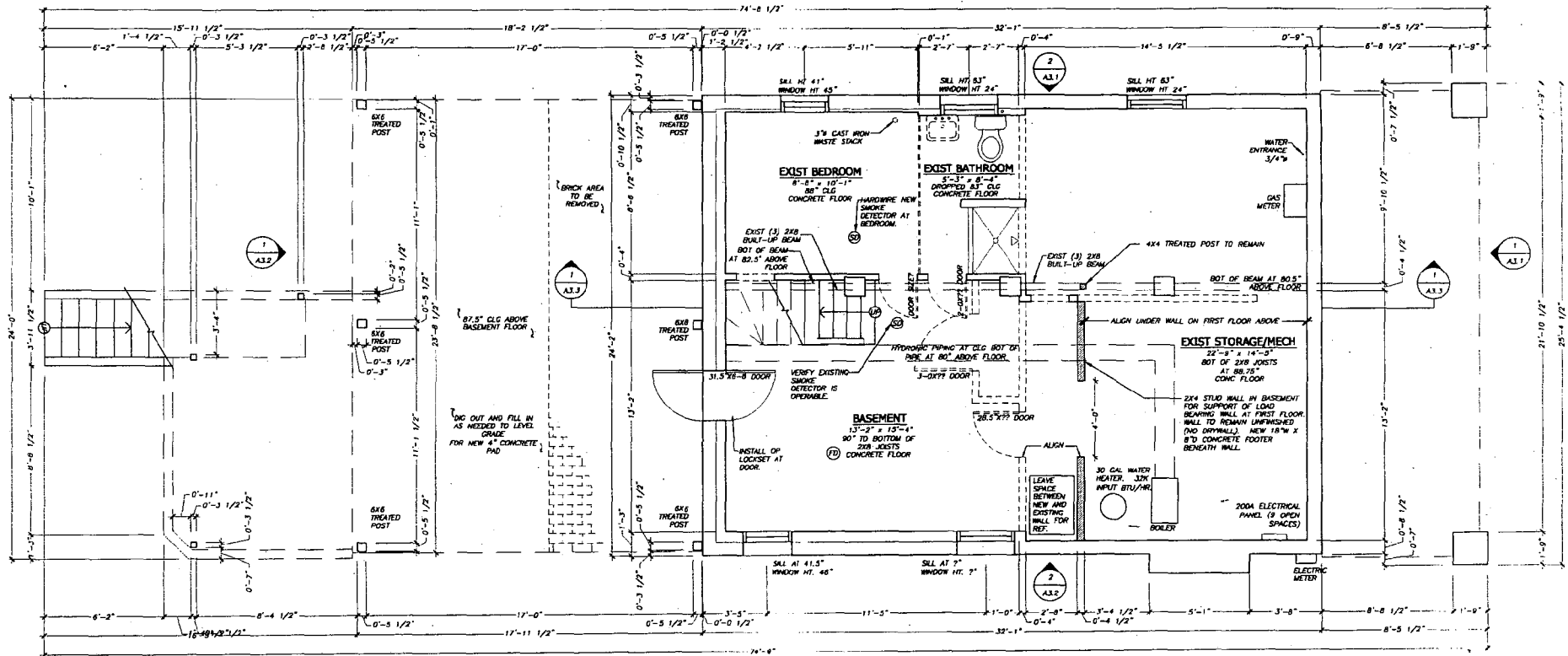
SUPPLY & INSTALL SCHEDULE 40 I-BEAM TO ACCESS TO REAR PATIO UNDER EXISTING TRUCK. EXISTING REAR BRICK PAIN TO BE REPLACED BY CONCRETE PAD UNDER EXISTING TRUCK.

**LEGENDS**

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Rear Elevation**  
3/16" = 1'-0"

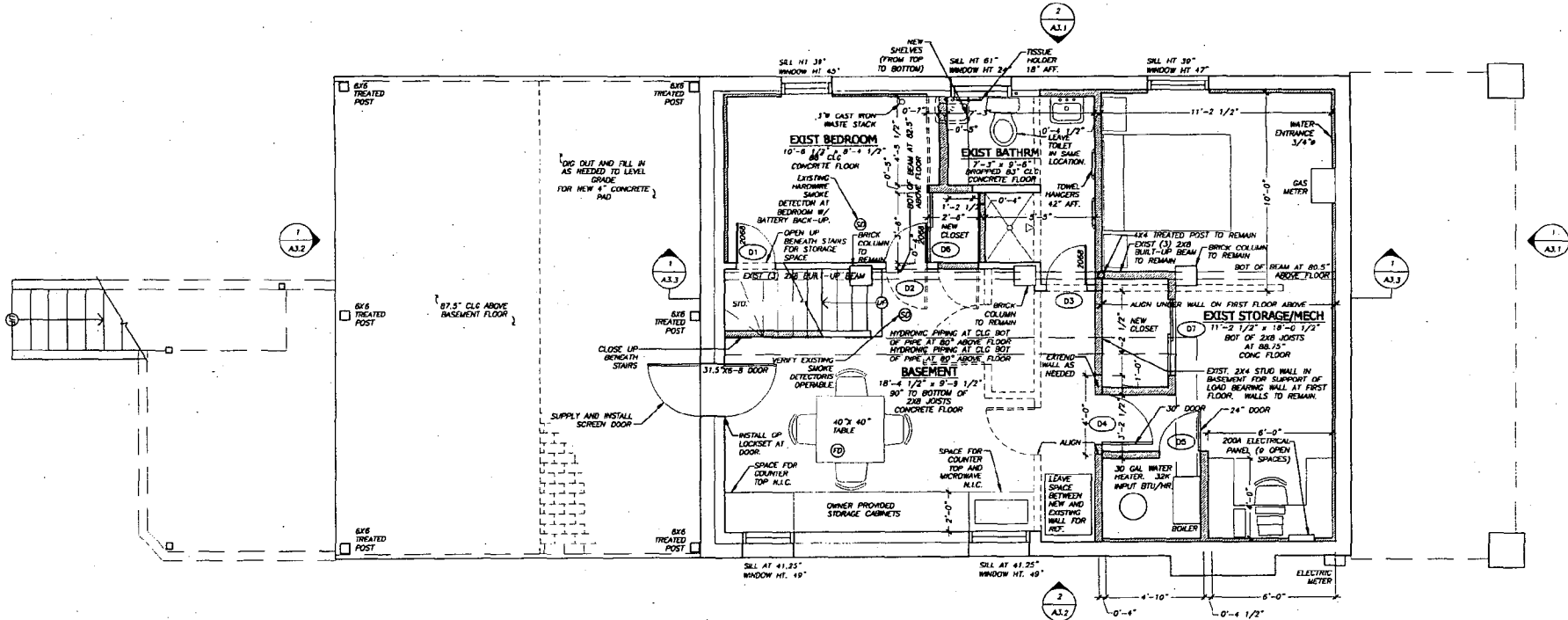
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LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Basement Floor Plan**  
3/16" = 1'-0"

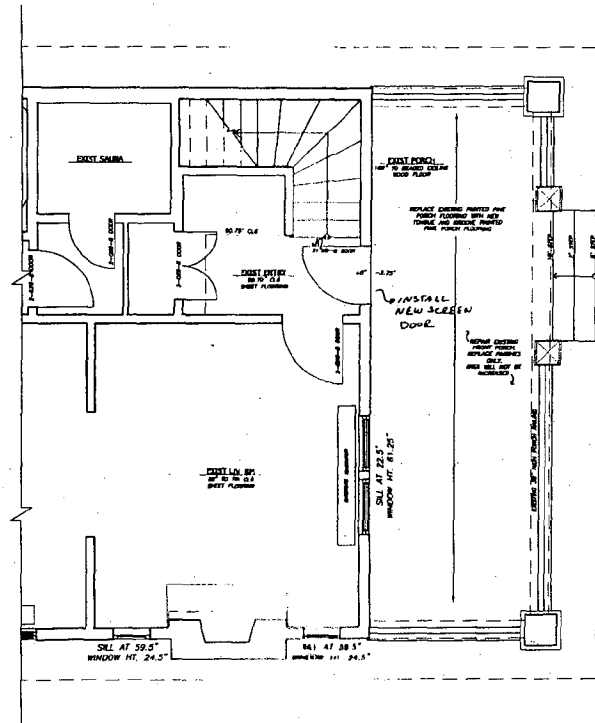
(17)



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Basement Floor Plan  
3/16" = 1'-0"

18

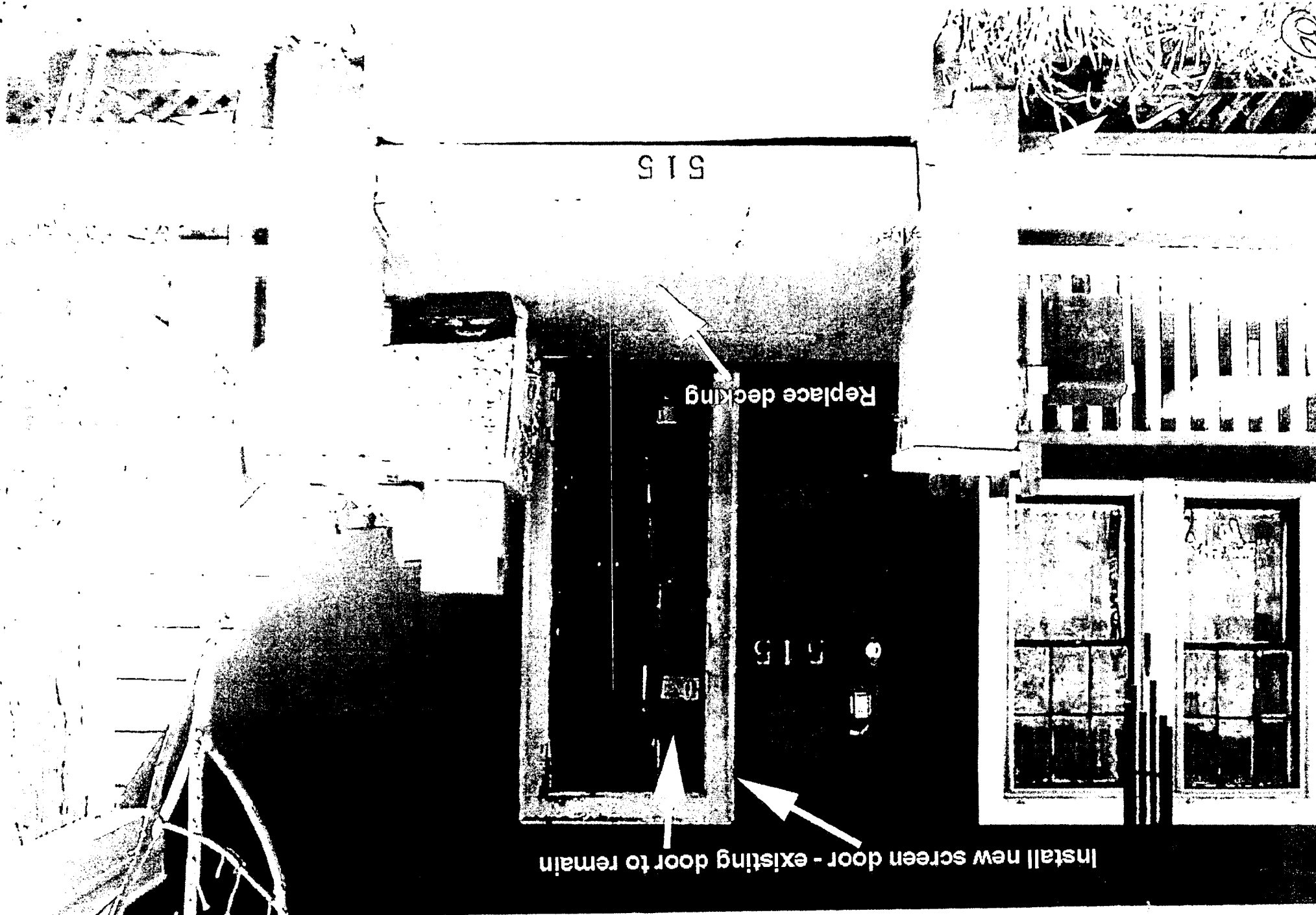


**NOTES**

- REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.
- REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.
- REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.
- SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.
- EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

**1 Proposed Floor Plan - Current Expansion**  
3/16" = 1'-0"

19



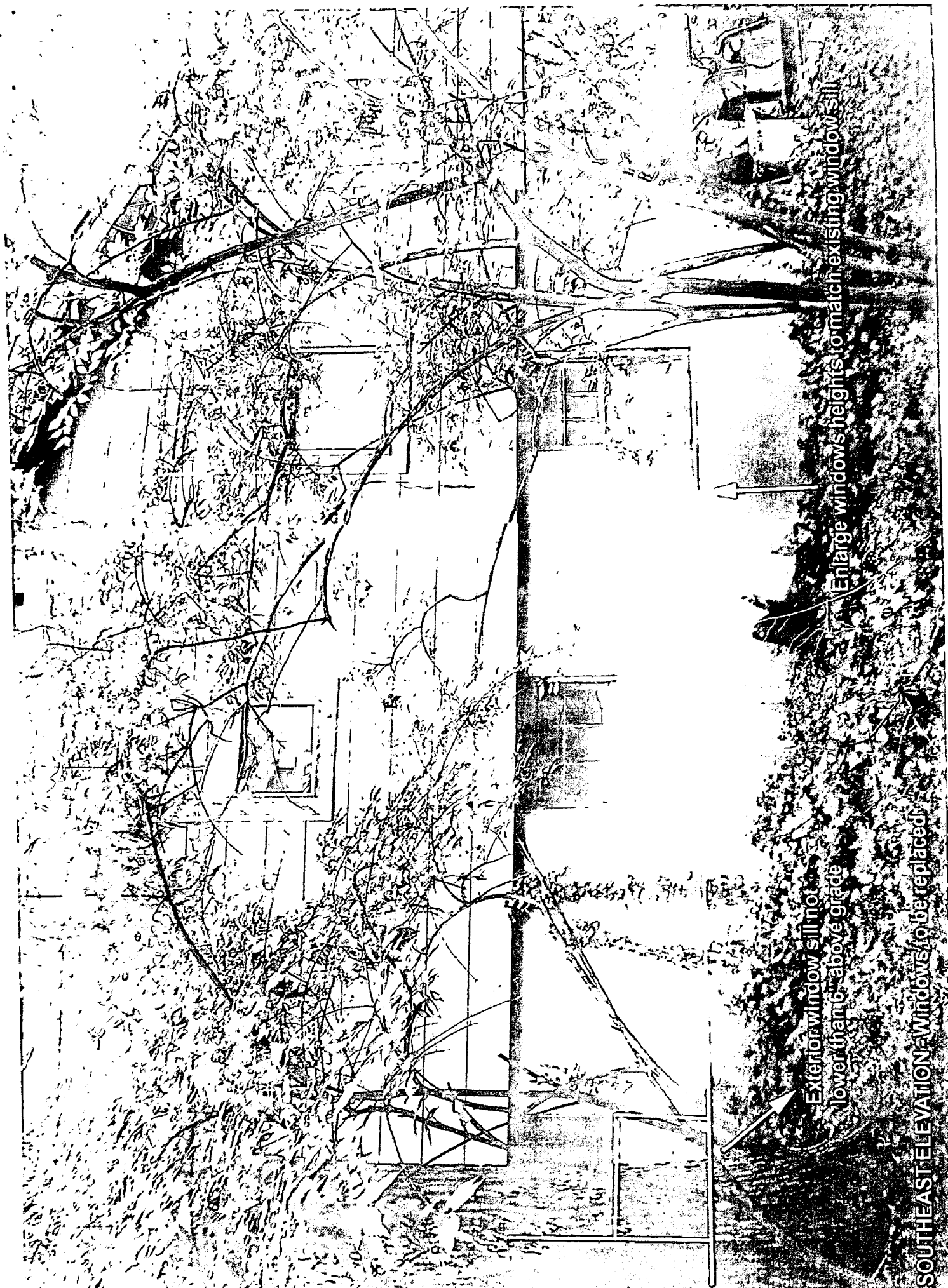
515

Replace decking

515

Install new screen door - existing door to remain

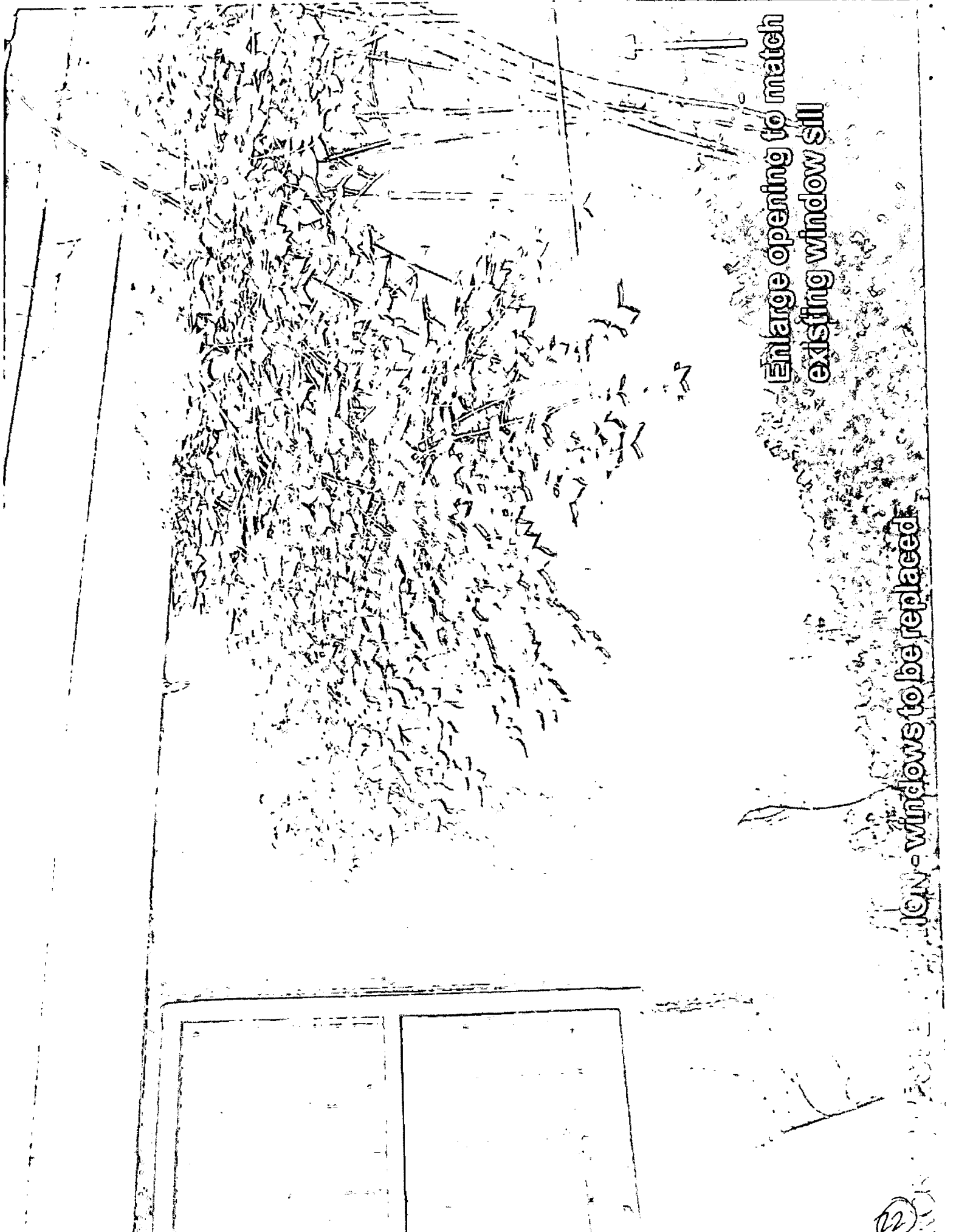
70



Enlarge window heights to match existing window sill

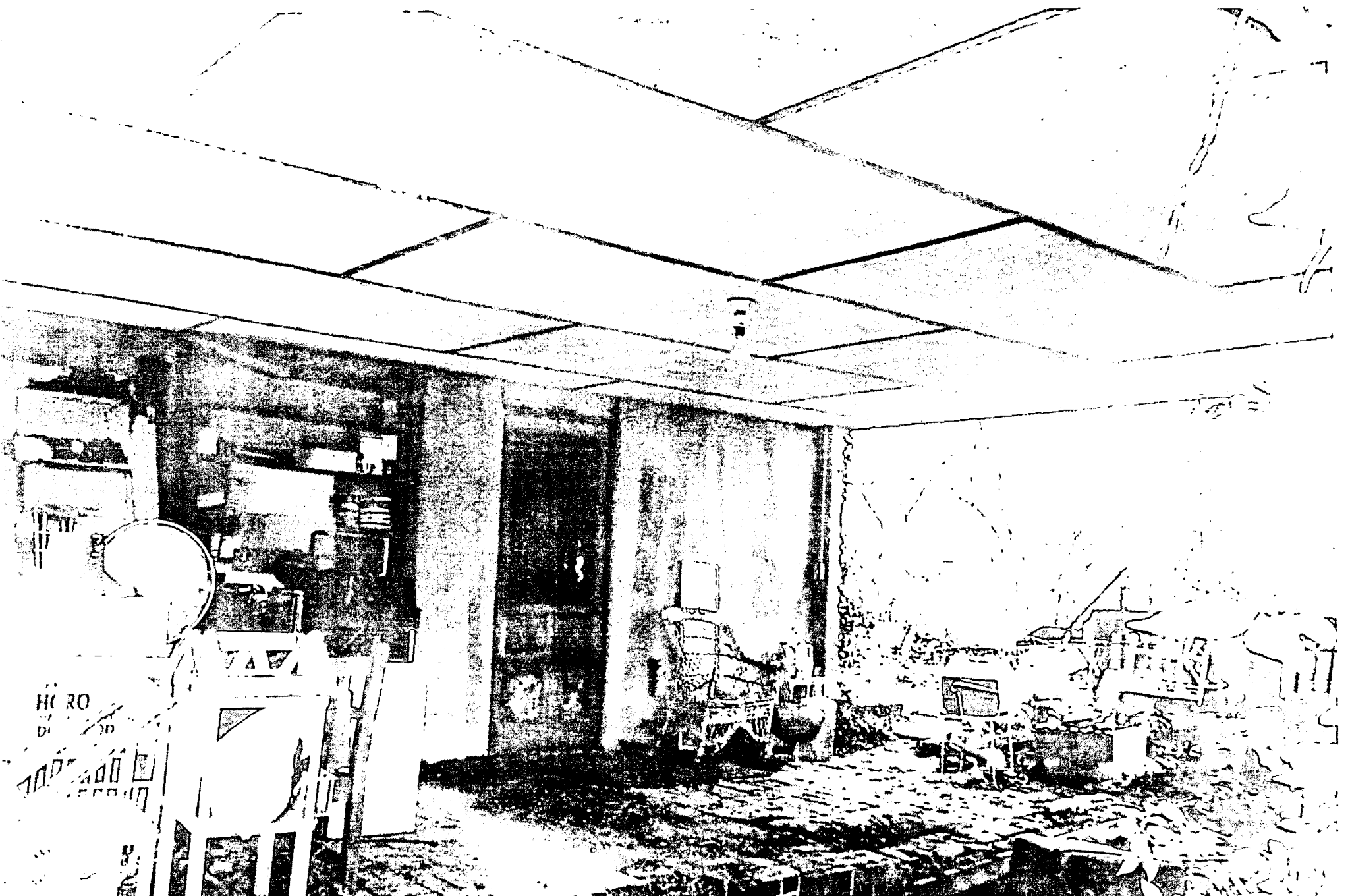
Exterior window sill not lower than 6" above grade

SOUTHEAST ELEVATION - Windows to be replaced



Enlarge opening to match  
existing window sill

Join - windows to be replaced



Entrance to basement beneath existing addition - View  
of deteriorated brick to be removed and replaced by concrete





Near entrance to Baschman beneath existing addition - view of  
replaced by concrete

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	515 New York Avenue, Takoma Park	<b>Meeting Date:</b>	06/21/06
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	06/14/06
<b>Review:</b>	HAWP	<b>Public Notice:</b>	06/07/06
<b>Case Number:</b>	37/03-06CC	<b>Tax Credit:</b>	Partial – front porch floor
<b>Applicant:</b>	Carole Crandon (Yerko Pallominy, Agent)	<b>Staff:</b>	Michele Oaks

**PROPOSAL:** Alterations

**RECOMMEND:** Approval with Conditions

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**STAFF RECOMMENDATION:**

Staff recommends that the Commission approve this HAWP application with the following conditions:

1. The applicant will work with the Takoma Park arborist to determine if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.
2. The windows will be fabricated of painted wood, or solid wood with an exterior clad in vinyl or aluminum. If the windows are to have a muntin profile, the windows will be a simulated divided light wood window, which contain wood muntins that are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.
3. The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
4. The specifications for the front and rear wood screen doors will be included in the permit sets of drawings submitted to staff at the time of stamping.
5. The applicant's front porch floor will be replaced with painted or stained, oak, tongue and groove flooring.

## **BACKGROUND**

On September 28, 2005 the Commission approved with conditions a HAWP application to:

- Widen the current three-bay dormer by creating a full-width dormer on the front façade. The dormer will continue to have the overhanging eaves and exposed rafter tail details as the original. Additionally, the applicant is proposing to use a painted, wood, lap siding on the dormer in preparation for a future removal of the asbestos siding and rehabilitation of the original wood siding on the original massing. The proposed windows are wood with a camed glass pattern. The dormer will be sheathed in a standing seam copper or tin roof.
- Handicapped ramp (Deleted from this current application by applicant in order to continue to work with HPC staff and Takoma Park's arborist to address design and material concerns – ramp will return to HPC at a later date with a new design that better addresses these issues.)
- Remove the existing gutter and downspouts on the property and replace with copper ½ round gutters and new downspouts.
- Remove the Masonite siding and trim on the rear addition and replace with cement fiber siding with 11" exposure.
- Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking.
- Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame.
- Repair/replace in-kind existing beaded wood soffit and damaged fascia and rake mould drip.

### **The HAWP's conditions of approval were:**

1. A tree protection plan for the existing trees will be drafted and approved by the Takoma Park City Arborist.
2. The proposed windows in the dormer are changed to a 4 or 6 light, wood, casement or awning, simulated, divided-light window.
3. The handicapped ramp and landscaping plan is deleted from this current proposal and the applicant and her design staff continues to work with the Takoma Park Arborist and HPC staff on the design and material selection for this structure and overall landscaping plan to create a product that will be user-friendly, environmentally-sensitive and historically compatible to the site.

## **PROJECT DESCRIPTION**

SIGNIFICANCE:     Contributing Resource  
STYLE:             Bungalow  
DATE:             1918

515 New York Avenue is a contributing resource within the Takoma Park Historic District. The building is a 1-½ story frame bungalow clad in wood siding with an asbestos shingle siding veneer. The house is ornamented with a full-width front porch supported by brick columns. The roof is detailed with a full-width dormer (widened from three bays wide in 2005) with overhanging eaves and exposed rafter tails and four light casement windows.

A 1986 addition was added to the rear of the house. The rear addition is of frame construction and was clad in Masonite lap siding. The applicant received approval to remove the Masonite siding and replace it with the Hardi-plank lap siding in 2005.

The entire roof was covered in 3-tab asphalt shingles. The new dormer will be covered in copper.

## **PROPOSAL:**

The applicants are proposing to:

1. Increase the size of and replace the existing basement level windows to provide for egress on the side elevations of the house (see details on attached plans beginning on circle 13 ).
2. Remove the existing brick walkway beneath the existing addition (165 sf) and replace it with a 4" thick concrete pad (235 sf).
3. Replace existing tongue and groove front porch decking with new, tongue and groove, oak porch decking (approved with the previous HAWP on 9/28/05).
4. Replace the existing wood lattice with new treated wood lattice with a 1 x 4 treated wood frame (approved with the previous HAWP on 9/28/05).

## **APPLICABLE GUIDELINES:**

Alterations to the buildings within the Takoma Park Master Plan Historic District are reviewed by the Commission with the guidance of the *Secretary of Interior's Standards for Rehabilitation*, the *Takoma Park Historic District Guidelines, Approved and Adopted in August 1992* and the *Montgomery County Code Chapter 24A*. The pertinent information in these documents is outlined below.

### ***Secretary of Interior's Standards for Rehabilitation***

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The applicable *Standards* are as follows:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **Takoma Park Historic District Guidelines**

The *Takoma Park Guidelines* define contributing resources as:

A resource that contributes to the overall character of the district and its streetscape, but is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing.

The following guidelines pertain to this project:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Original size and shape of window and door openings should be maintained, where feasible.
- Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### **Montgomery County Code; Chapter 24A**

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within a historic district in a

manner compatible with the historical, archaeological, architectural or cultural value of the historic site or district in which a historic resource is located.

**STAFF DISCUSSION:**

The main aspect of the subject proposal is the foundation level window size increase and replacement. The designs of the proposed windows take details from the original windows on the upper levels. As such, the proposal does not alter the existing bungalow's characteristic features or original form and continues to be consistent and compatible with the surrounding streetscape. Therefore, this proposal meets the criteria outlined in the Takoma Park Guidelines. The above-recommended conditions are standard conditions required for any HAWP within the Takoma Park Historic District and the proposed conditions are suggested for clarification of the materials to be used for the subject project.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with the above-stated conditions** the HAWP application as being consistent with Chapter 24A-8(b)1, 2 & 3.

and with the Takoma Park Guidelines, adopted in August 1997.

With the general condition that the applicant shall present the ***3 permit sets of drawings*** to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.

AP# 422726

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

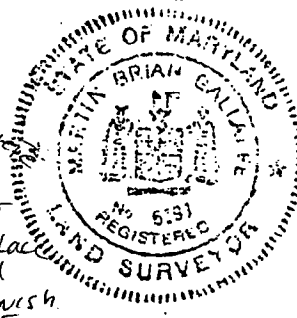
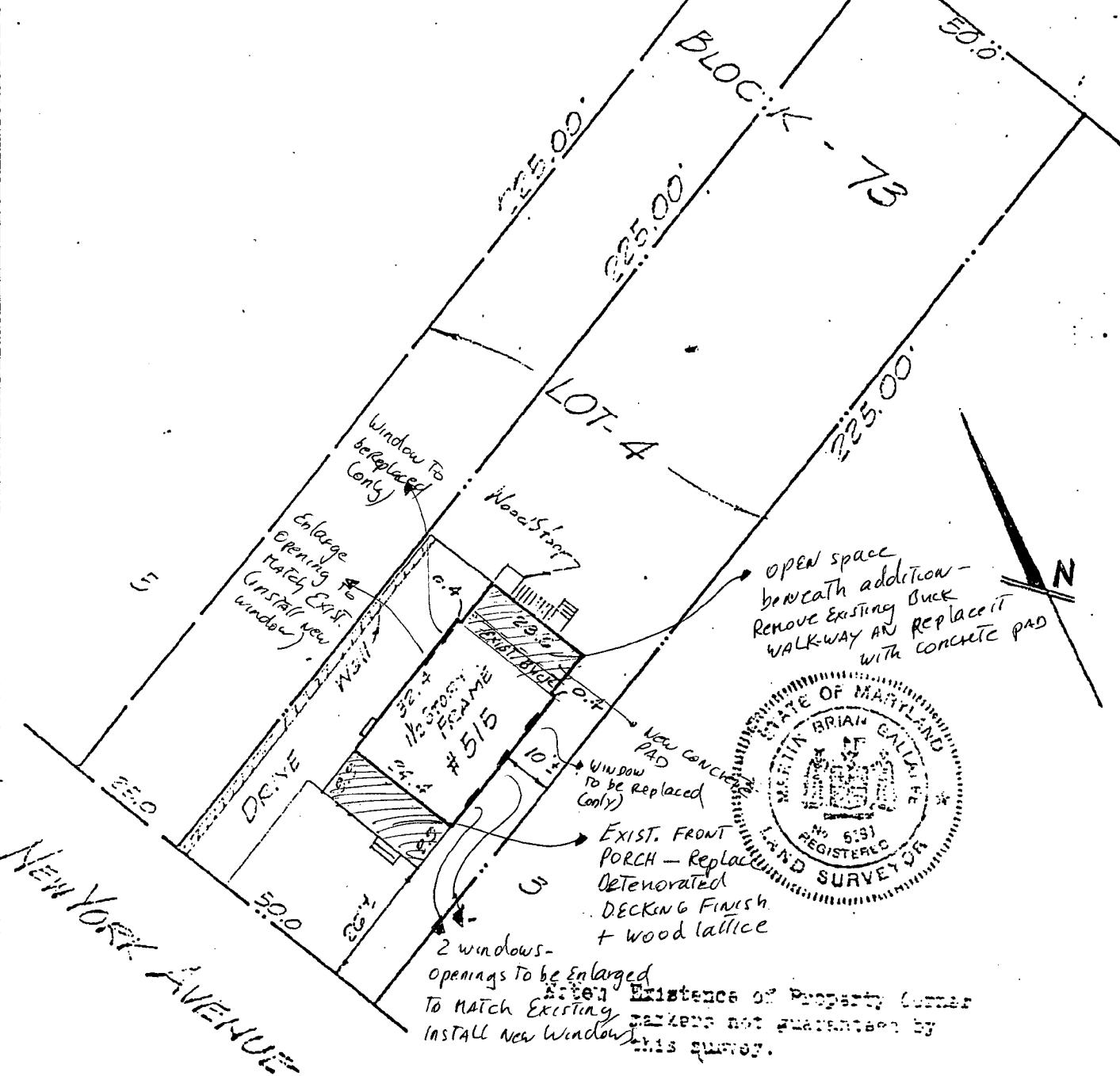
<b>Owner's mailing address</b> CAROLE CRANDON 515 NEW YORK AVE TAKOMA PARK, MD 20912	<b>Owner's Agent's mailing address</b> YERKO PALLOMINY 7058 SPRING PL NW WASHINGTON DC 20012
<b>Adjacent and confronting Property Owners mailing addresses</b>	
KRISTINE D. TEMPLIN 508 NEW YORK AVE TAKOMA PARK, MD 20912	HENRY S. ALLEN IV 513 NEW YORK AVE TAKOMA PARK, MD 20912
EUGENE H HERMAN 511 NEW YORK AVE TAKOMA PARK, MD 20912	FRANCINE POLLNER 510 PHILADELPHIA AVE TAKOMA PARK, MD 20912
JEFFREY P. COHN 514 PHILADELPHIA AVE TAKOMA PARK, MD 20912	JAMES C. BENFIELD 519 NEW YORK AVE TAKOMA PARK, MD 20912

AP # 422726

PETER M. CLOSE ELLEN M. CONWAY 510 NEW YORK AVE TAKOMA PARK, MD. 20912	
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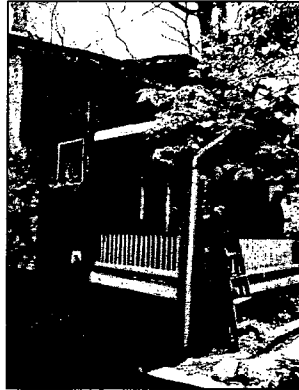


HOUSE LOCATION SURVEY  
 PART OF LOT 4, BLOCK-73  
 T.P.L. & T. Co's. SUBDIVISION OF  
**TAKOMA PARK**  
 MONTGOMERY COUNTY, MD.



Existence of Property Corner markers not guaranteed by this survey.

<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments.</p> <p><i>Martin B. Gallalee</i></p>	<p><b>REFERENCE</b></p> <p>FLAT BK. <b>B</b></p> <p>FLAT NO. <b>23</b></p>	<p><b>COLT &amp; GALLALEE, INC.</b></p> <p>LAND SURVEYORS, MD. &amp; VA.</p> <p>15532 COLUMBIA PIKE</p> <p>BURTONSVILLE, MD. 20730</p>		
	<p><b>LIBER</b></p> <p><b>FOLIO</b></p>	<p><b>DRAWN BY</b></p> <p><b>DATE</b> 5/20/75</p> <p><b>SCALE</b> 1/16" = 30'</p>	<p><b>RECORD NO.</b></p> <p><b>D-2524</b></p>	
	<p>3574-S</p>			

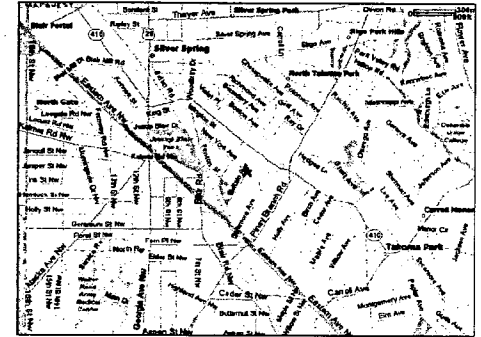


**1 Street Elevation**  
NOT TO SCALE

1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENDMENTS.
5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-7777 BETWEEN THE HOURS OF 7.00 a.m. TO 5.00 p.m., MONDAY THROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET. A MINIMUM OF 48 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS, IS REQUIRED.

**4 General Notes**  
NOT TO SCALE

422 7.26



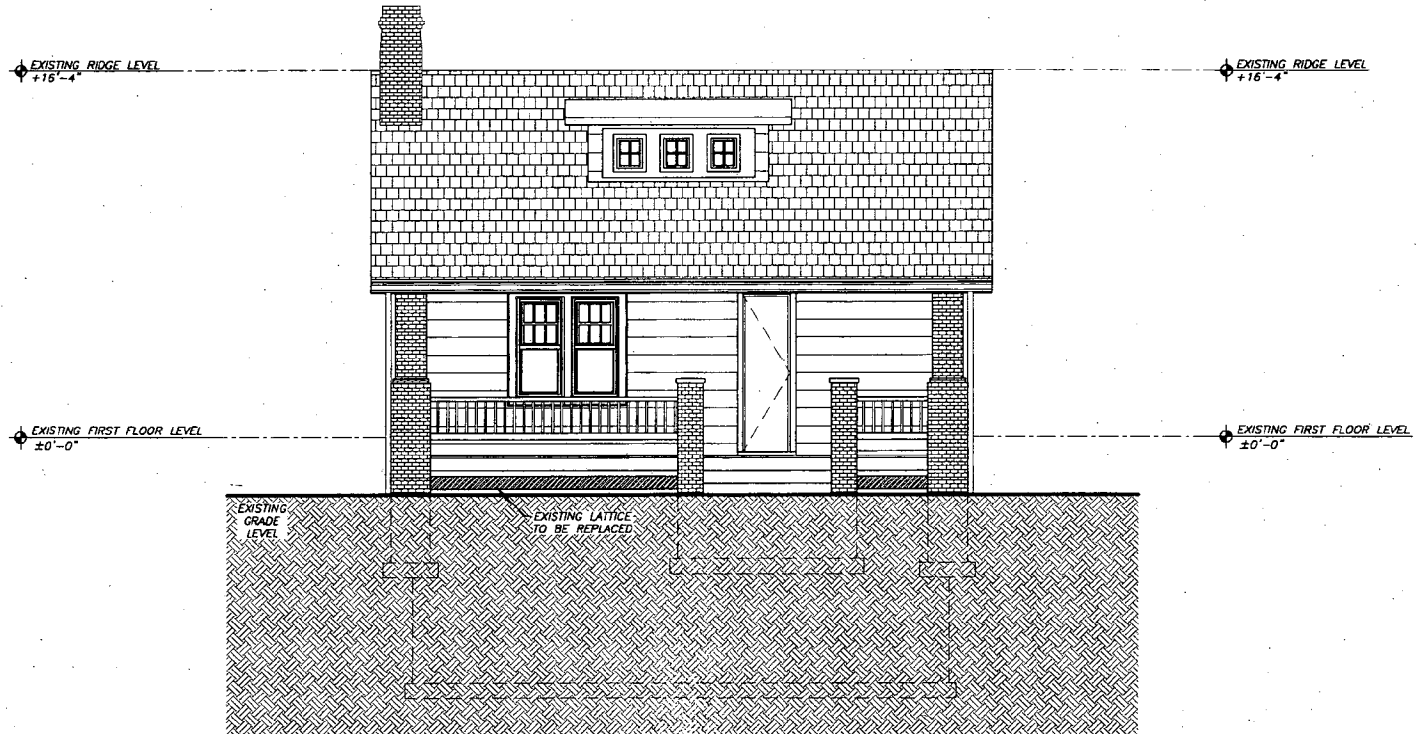
**2 Vicinity Map**  
NOT TO SCALE

- 1- BASEMENT LEVEL REMODELATION.
- 2- FRONT PORCH FINISHES REPLACEMENT.

**3 General Scope of Work**  
NOT TO SCALE

- AD.1 - TITLES AND NOTES
- D1.0A - PROPOSAL 1 - DEMOLITION BASEMENT FLOOR PLAN  
D1.0B - PROPOSAL 2 - DEMOLITION BASEMENT FLOOR PLAN
- A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN  
A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN
- A1.1 - PROPOSED FIRST FLOOR PLAN  
A3.1 - PROPOSED FRONT ELEVATION  
A3.2 - PROPOSED RIGHT SIDE ELEVATION  
A3.3 - PROPOSED REAR ELEVATION  
A3.4 - PROPOSED LEFT SIDE ELEVATION
- E1.0A - PROPOSAL 1 - ELECTRICAL BASEMENT FLOOR PLAN  
E1.0B - PROPOSAL 2 - ELECTRICAL BASEMENT FLOOR PLAN

**5 Table of Contents**  
NOT TO SCALE



**NOTES**

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

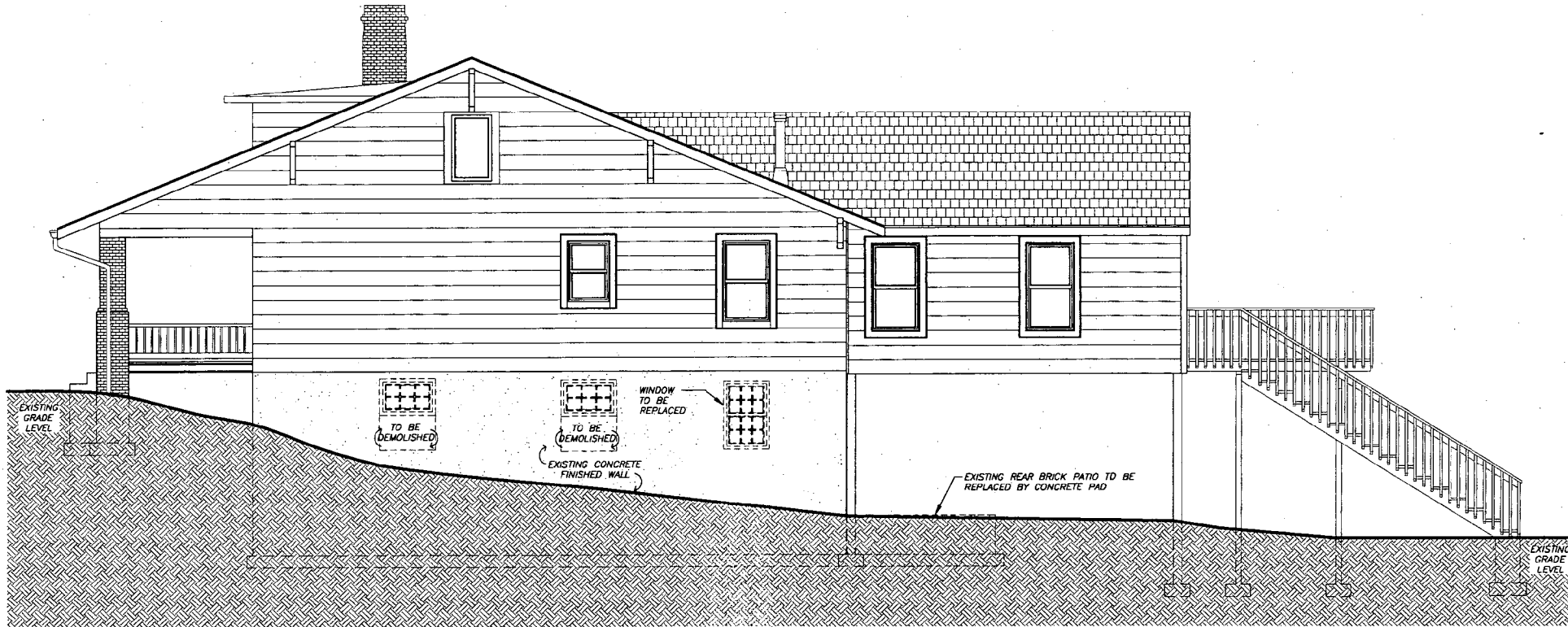
REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.

REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Front Elevation**  
3/16" = 1'-0"

123





NOTES

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

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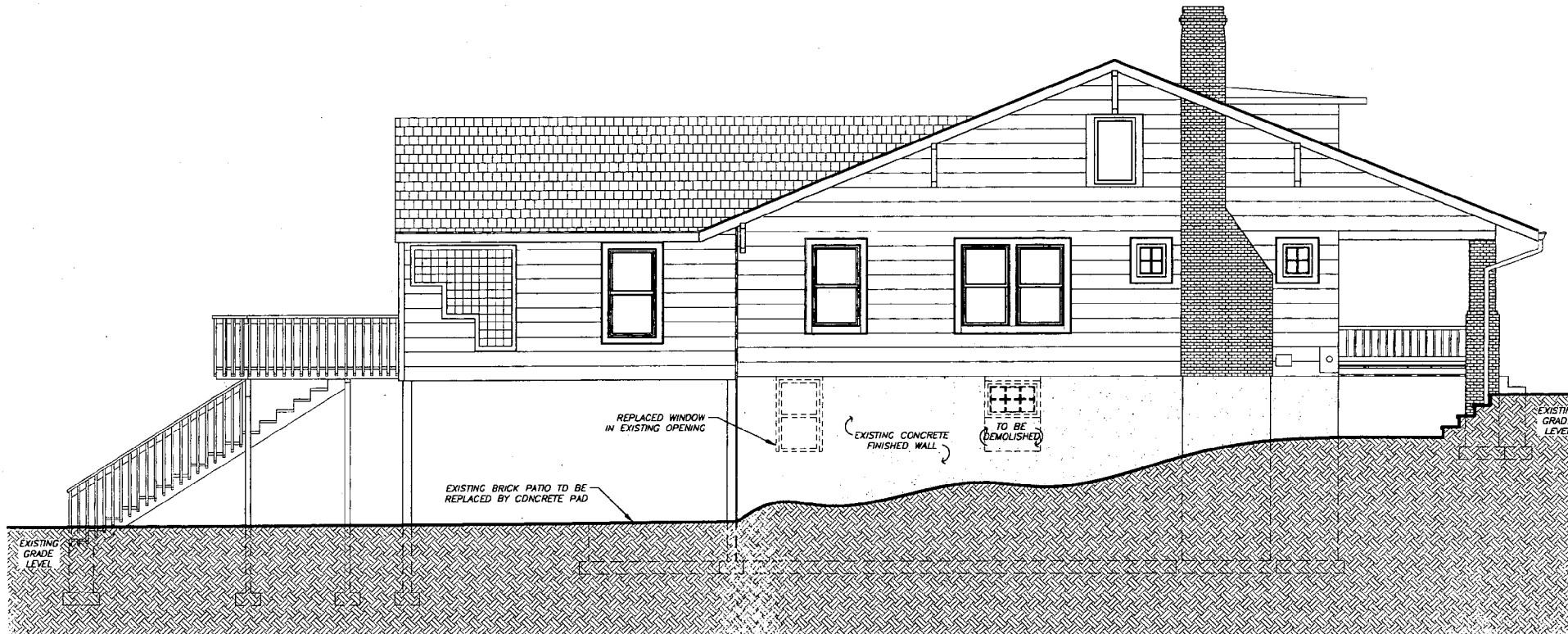
SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Right Side Elevation**  
3/16" = 1'-0"

71




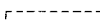
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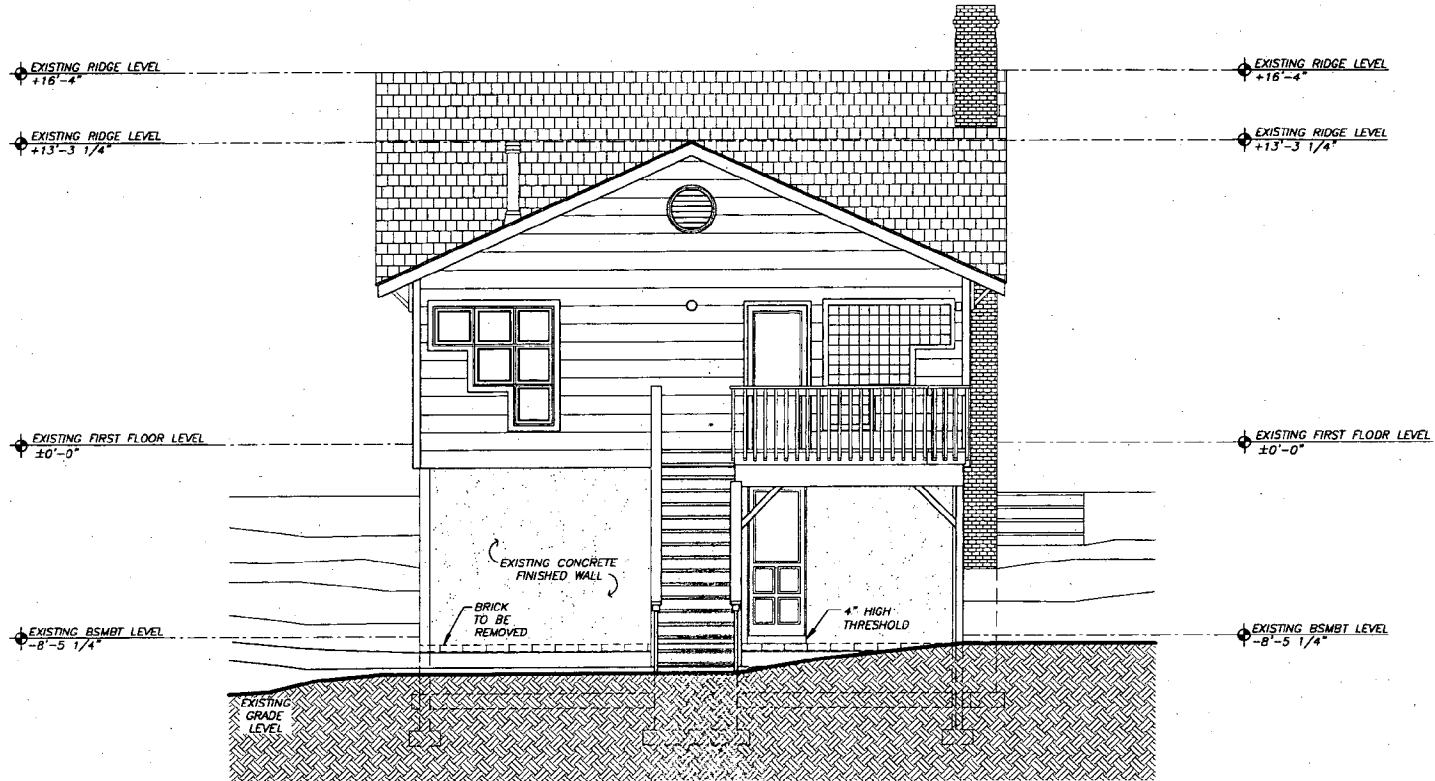
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EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

**LEGENDS**

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Left Side Elevation**  
3/16" = 1'-0"

5



NOTES

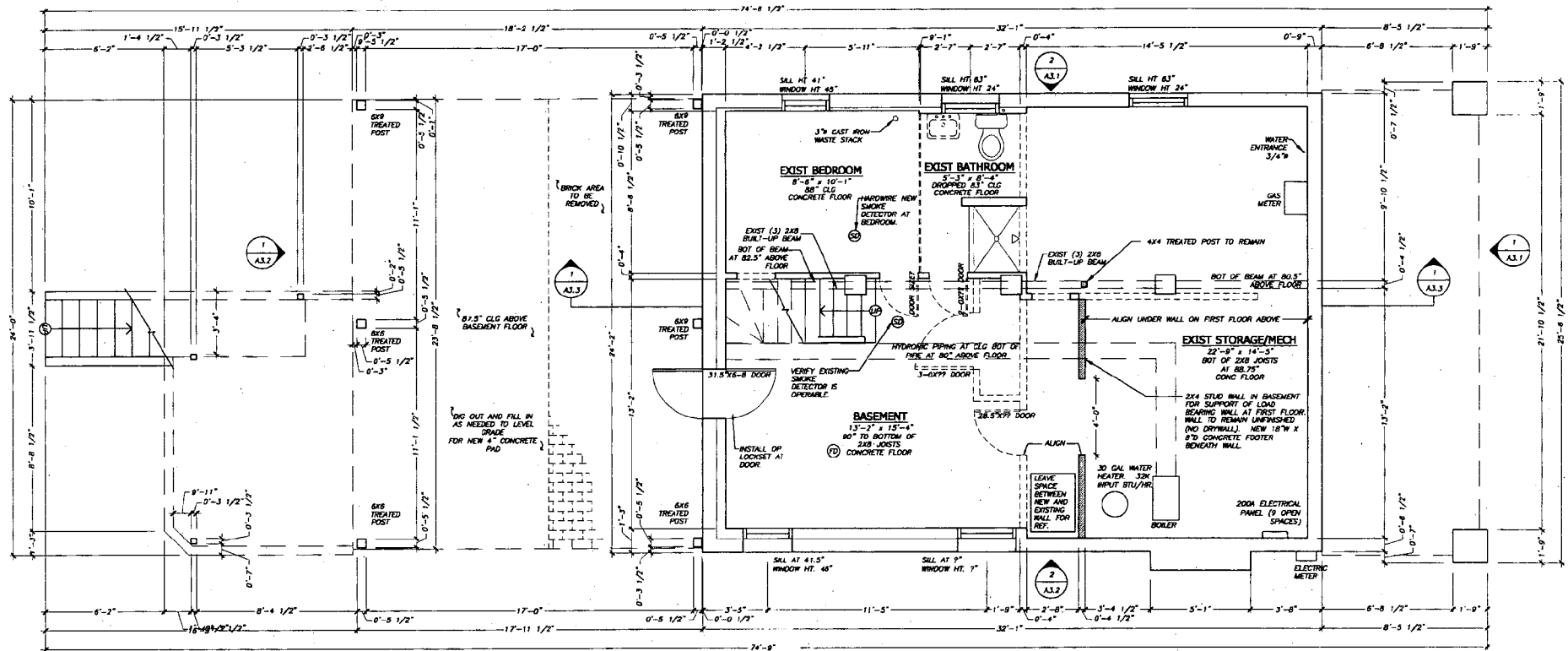
SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PAINT TO BE REMOVED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS

	EXIST CONSTRUCTION / WALLS
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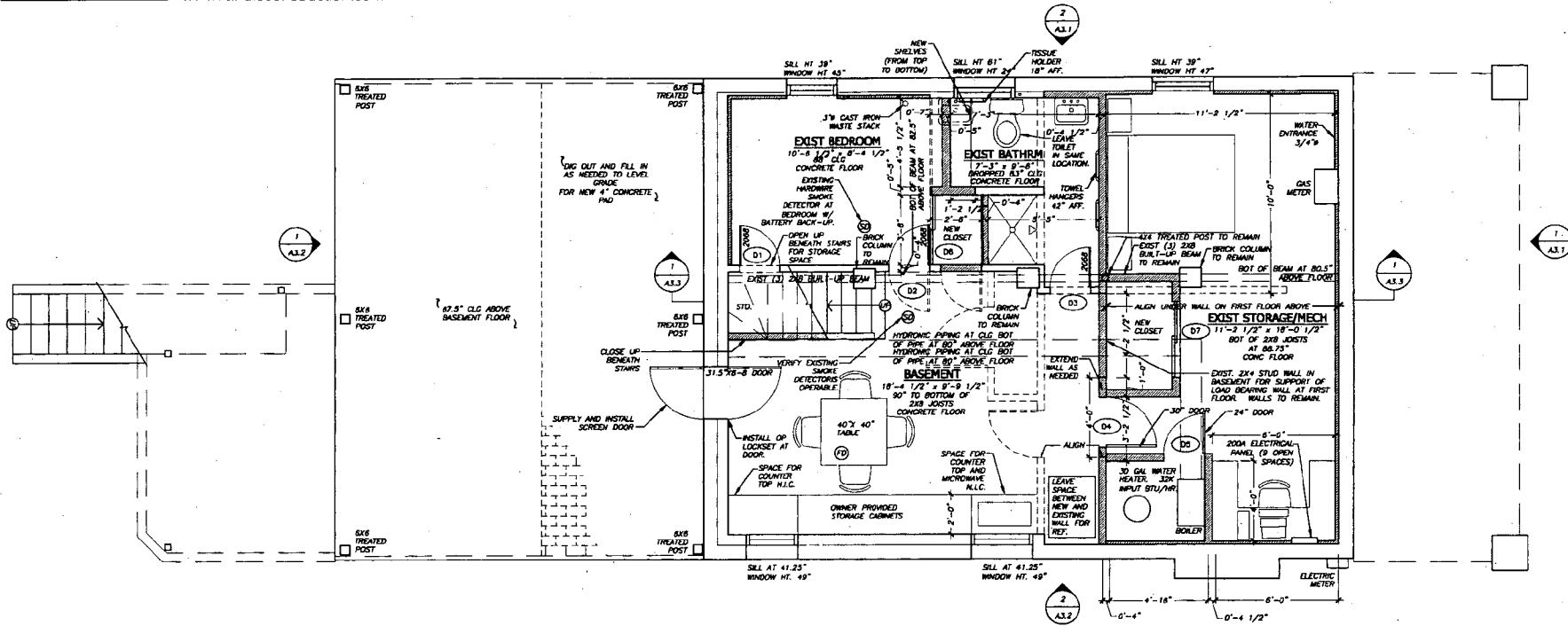
**1 Rear Elevation**  
3/16" = 1'-0"

16



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Basement Floor Plan  
3/16" = 1'-0"

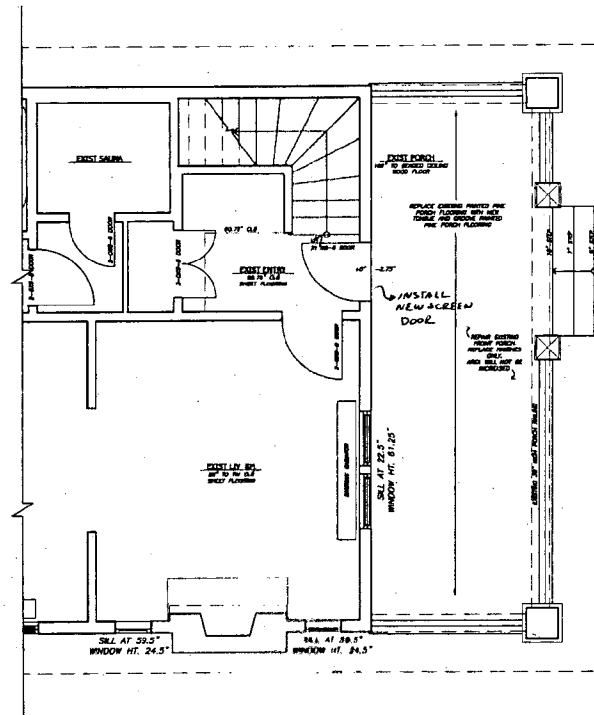


LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1** Basement Floor Plan  
3/16" = 1'-0"

81



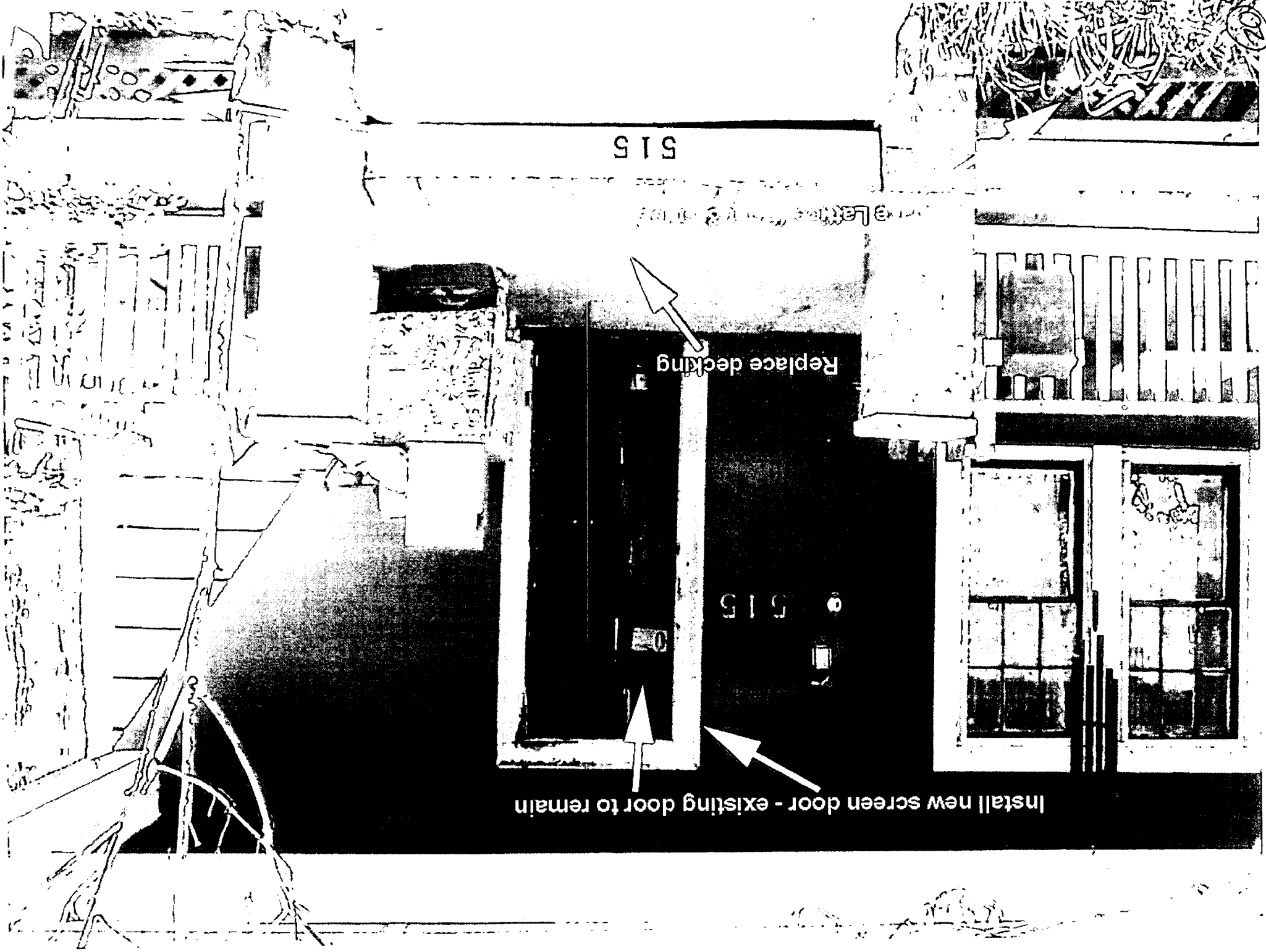


**NOTES**

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**1 Proposed Floor Plan - Current Expansion**  
3/16" = 1'-0"

19



515

Replace existing door

Replace decking

515

Install new screen door - existing door to remain



Enlarge window heights to match existing window sill

Exterior window sill not lower than 6" above grade

SOUTHEAST ELEVATION - Windows to be replaced



Enlarge opening to match  
existing window sill

Old windows to be replaced



any chance to basement beneath existing addition - View  
of deteriorated brick to be removed and replaced by concrete

Basement entrance to basement beneath existing addition - view of brick walkway to be replaced by concrete pad



① lattice-framed -

② specs for rear +  
front screen ~~door~~

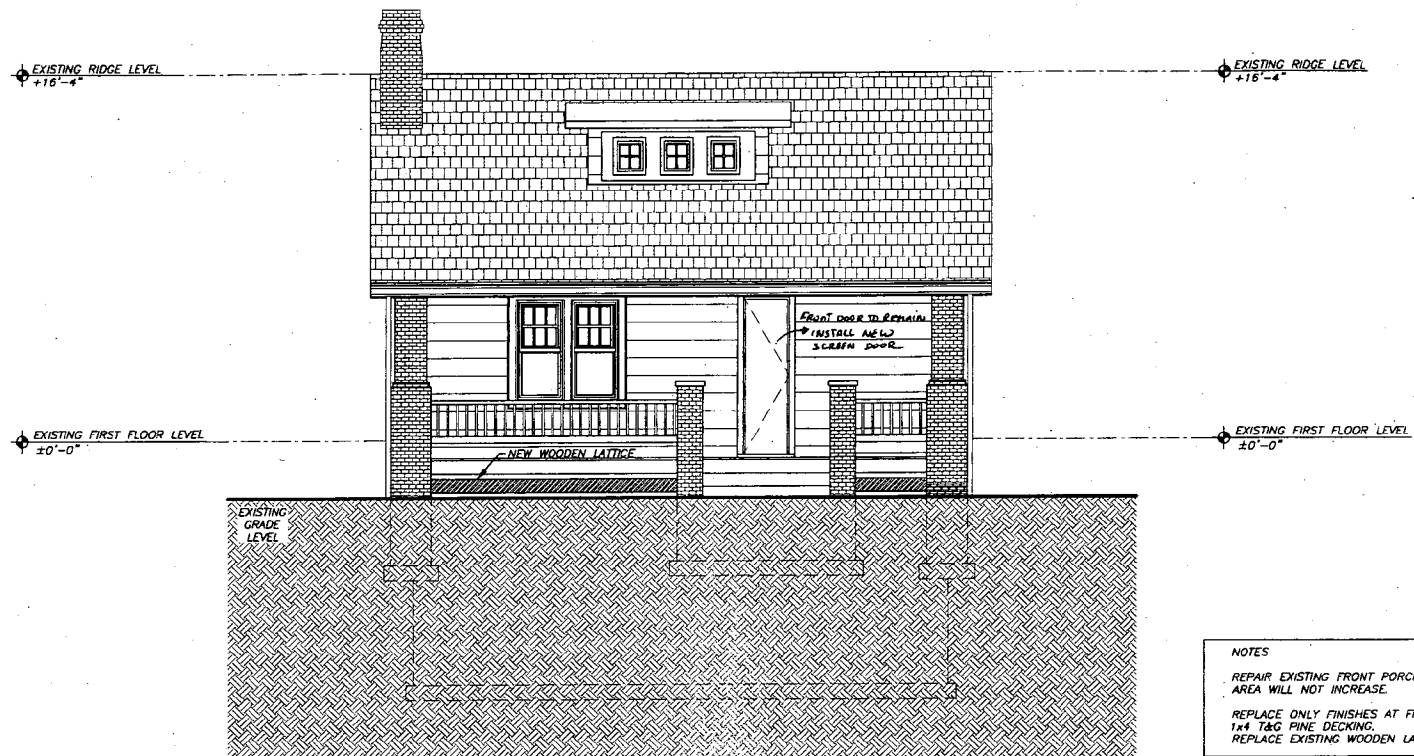
③ description: oak tag  
dwgs = pine tag

④ specs for windows

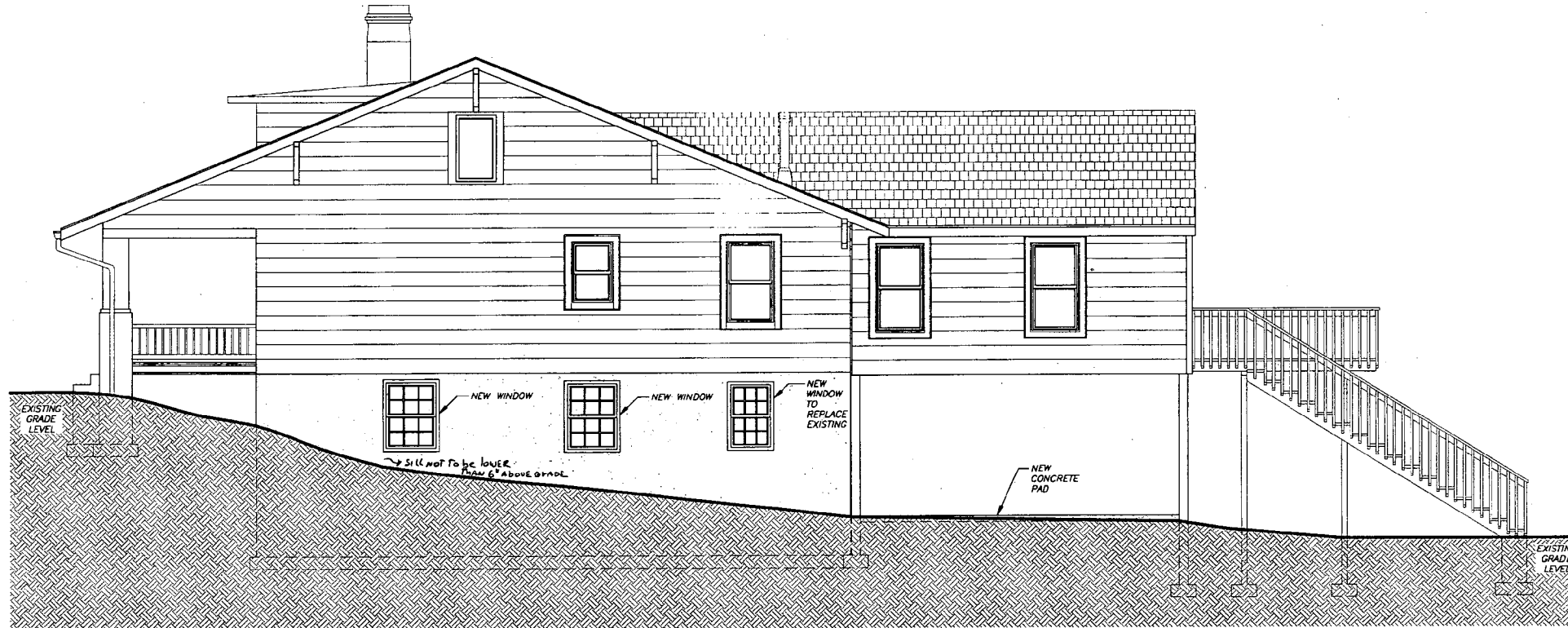
⑤ T.P. ARBORIST







**1 Front Elevation**  
3/16" = 1'-0"



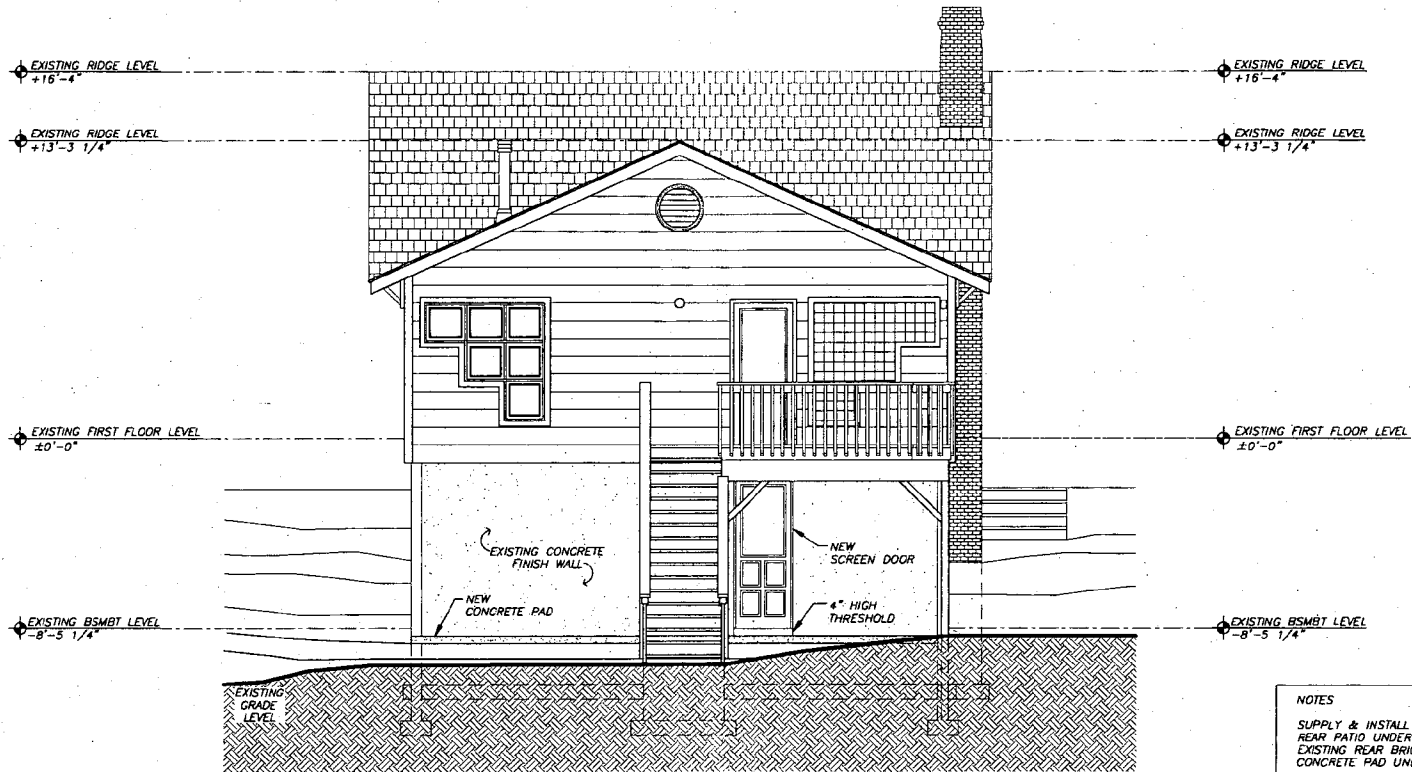
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**1 Right Side Elevation**  
3/16" = 1'-0"



NOTES  
SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

**1 Rear Elevation**  
3/16" = 1'-0"



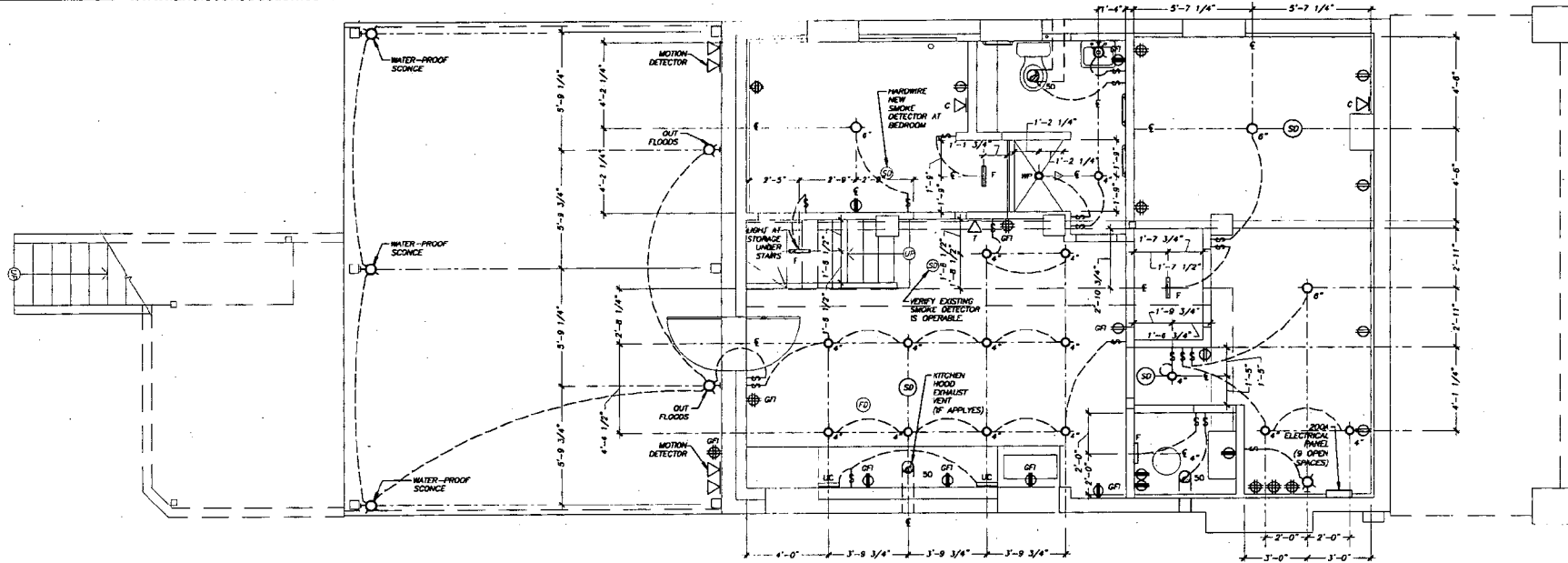
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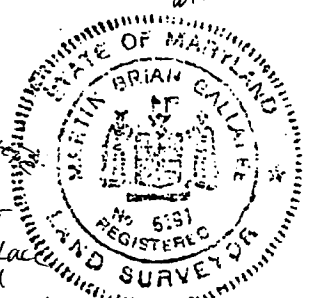
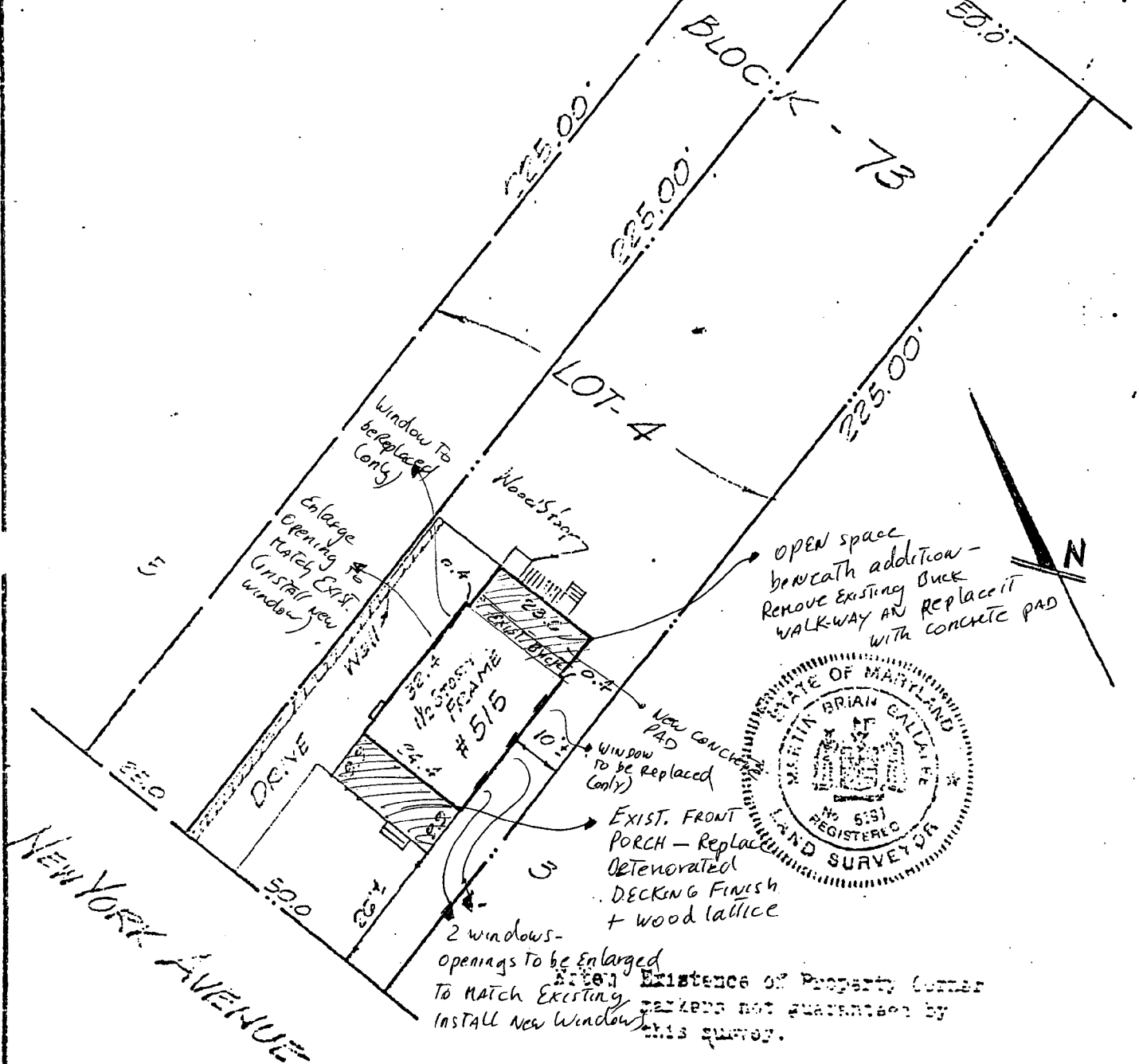
**1 Left Side Elevation**  
3/16" = 1'-0"



ELECTRICAL LEGENDS			
	6" RECESSED LIGHT W/ IC HOUSING & WHITE BAFFLE TRIM		TELEPHONE OUTLET
	4" LOW VOLTAGE RECESSED LIGHT W/ IC HOUSING & DIRECTIONAL TRIM		EXHAUST FAN (#=CFM, WL=WITH LIGHT)
	WALL MOUNTED LIGHT FIXTURE (OWNER PROVIDED)		UNDERCABINET LIGHT (X=XENON, H=HALOGEN, F=FLUORESCENT, #=LENGTH OR NUMBER OF PICKS)
	4" RECESSED LIGHT W/ IC HOUSING & WATERPROOF TRIM		SMOKE DETECTOR - HAR WIRE INTERCONNECTED WITH BATTERY BACK UP
	SWITCH		WALL CONVENIENCE QUADRUPLEX OUTLET @ 18" A.F.F. UNLESS SPECIFIED
	INDICATES CONNECTION BETWEEN DEVICES		WALL CONVENIENCE APPLIANCE OUTLET @ 18" A.F.F. UNLESS SPECIFIED
	WALL CONVENIENCE OUTLET @ 18" A.F.F. UNLESS SPECIFIED		MOTION DETECTOR
	GROUND FAULT CIRCUIT INTERRUPTED WALL OUTLET @ 48" A.F.F.		

**1 Basement Floor Plan**  
3/16" = 1'-0"

HOUSE LOCATION SURVEY  
 PART OF LOT 4, BLOCK-73  
 T.P.L. & T. Co's. SUBDIVISION OF  
 TAKOMA PARK  
 MONTGOMERY COUNTY, MD.



**SURVEYOR'S CERTIFICATE**

I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments.

*Martin B. Gallalee*

**REFERENCE**

PLAT BK. **B**  
 PLAT NO. **23**  
 LIBER  
 FOLIO

**COLT & GALLALEE, INC.**  
 LAND SURVEYORS, MD. & VA.  
 15532 COLUMBIA PIKE  
 BURTONSVILLE, MD. 20730

DRAWN BY  
 DATE **5/20/75**  
 SCALE **1" = 30'**

RECORD NO.  
**D-2524**

# FRONT PORCH

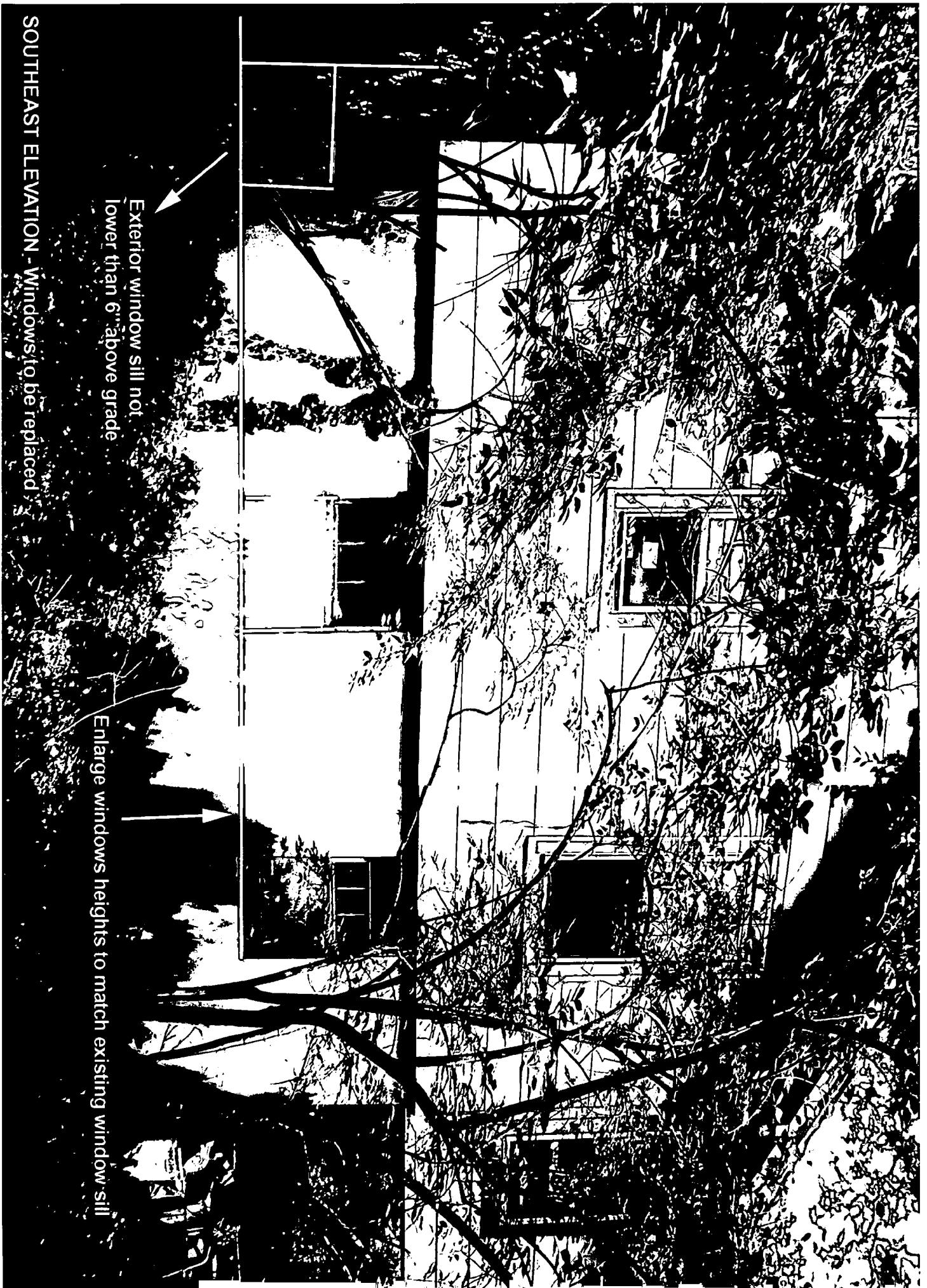
Install new screen door - existing door to remain

Replace decking

Replace Lattice (front & sides)

515





Exterior window sill not lower than 6" above grade

Enlarge windows heights to match existing window sill

SOUTHEAST ELEVATION - Windows to be replaced





Rear entrance to basement beneath existing addition - View  
Of exterior of brick to be removed and replaced by concrete



Enlarge opening to match  
existing window sill

NORTHWEST ELEVATION - windows to be replaced



Rear entrance to Basement, beneath existing addition - view of brick walk-way to be replaced by concrete pad



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8  
422726

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: YERKO H. PALLOMINY  
Daytime Phone No.: 202-421-6685

Tax Account No.: \_\_\_\_\_

Name of Property Owner: CAROLE CRANDON Daytime Phone No.: 301-565-0617

Address: 515 NEW YORK AVE, TAKOMA PARK, MD 20912  
Street Number City Street Zip Code

Contractor: LANDIS CONSTRUCTION CORP. Phone No.: 202-726-3477

Contractor Registration No.: 46256

Agent for Owner: YERKO PALLOMINY / DANIEL BLUM Daytime Phone No.: 202-421-6685

### LOCATION OF BUILDING/PREMISE

House Number: 515 Street: NEW YORK AVE

Town/City: TAKOMA PARK Nearest Cross Street: \_\_\_\_\_

Lot: P4 Block: 73 Subdivision: 25

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 45,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Agent for Owner or Authorized Agent

05/31/06  
Date

Approved: X W/ CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 6/8/06

Application/Permit No.: 422726 Date Filed: 5/31/06 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

*AP #422726*

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Please! See Attached Description*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**SCOPE OF WORK - for Historic Area Work Permit at 515 New York Ave.**

**May 31<sup>st</sup> , 2006**

**a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

The house is located on a wooded lot in the Takoma Park Historic District, and listed as a contributing resource in that district. The lot is fairly deep (225 feet) and somewhat overgrown in both the front and rear yards. The original house was built on the lot in 1918 and is in the bungalow, side-gable style. It is among additional bungalow houses built in the 1920s, and the neighborhood includes Queen Anne houses built in the 1890s. 515 New York Avenue is a 1-1/2 story house with a full basement. The basement is constructed of clay tile blocks with the exterior parged. The upper portion of the house is wood frame with asbestos shingle siding. At the street elevation of the house there is an eight foot deep porch with stepped brick porch columns, painted wood porch decking that is in poor condition, and a painted wood guardrail.

At the back of the house an addition was added in 1986. This addition is wood framed with lap siding made from Masonite. The entire addition rests on 6x6 posts, leaving an open space beneath as rear patio, accessible from the basement's rear entrance.

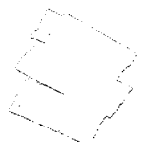
**b. General description of project and its effect on the historic resource(s), environmental setting, and, where applicable, the historic district:**

At the basement level, we'll re-design and re-build the interior as per plans. Lighting fixtures and a few additional electrical devices will be installed throughout the basement.

Exterior work includes; On the Southeast side of the house, we will replace an existing window and we'll enlarge the other two to match the height of existing one. On the Northwest side, we will replace one window, and the other will also be enlarged to match existing one on that side (please see windows' specs).

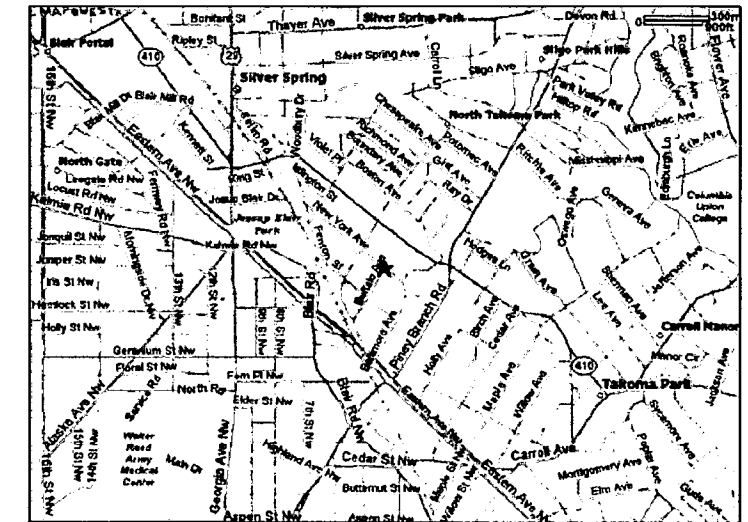
In the back of the house, an existing deteriorated brick walkway beneath existing addition (area of 165 s.f.), will be removed and replaced by a concrete pad as per plans, (4" thick and area of 235 s.f.), (Please see attached Floor Plans, elevations and Site Plan for specifics on this issue).

At the front porch we will remove the existing wood decking that is deteriorating, and replace it with new oak tongue-and-groove decking. The existing wood guardrail will be saved and reinstalled if its removal is necessary for porch decking work. Beneath the porch, new-framed lattice will be installed. A screened door will also be installed (front door will remain).





**1 Street Elevation**  
NOT TO SCALE



**2 Vicinity Map**  
NOT TO SCALE

1- BASEMENT LEVEL REMODELATION.  
2- FRONT PORCH FINISHES REPLACEMENT.

**3 General Scope of Work**  
NOT TO SCALE

- A0.1 - TITLES AND NOTES
- D1.0A - PROPOSAL 1 - DEMOLITION BASEMENT FLOOR PLAN  
D1.0B - PROPOSAL 2 - DEMOLITION BASEMENT FLOOR PLAN
- A1.0A - PROPOSAL 1 - PROPOSED BASEMENT FLOOR PLAN  
A1.0B - PROPOSAL 2 - PROPOSED BASEMENT FLOOR PLAN
- A1.1 - PROPOSED FIRST FLOOR PLAN
- A3.1 - PROPOSED FRONT ELEVATION  
A3.2 - PROPOSED RIGHT SIDE ELEVATION  
A3.3 - PROPOSED REAR ELEVATION  
A3.4 - PROPOSED LEFT SIDE ELEVATION
- E1.0A - PROPOSAL 1 - ELECTRICAL BASEMENT FLOOR PLAN  
E1.0B - PROPOSAL 2 - ELECTRICAL BASEMENT FLOOR PLAN

1. ALL DIMENSIONS ARE TO THE FINISHED SURFACE OR AS NOTED.
2. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ASSUMED IN DRAWINGS ARE TO BE REPORTED TO PROJECT MANAGER AND DESIGN TEAM.
3. NEW INTERIOR WALLS ARE FRAMED WITH 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED ON DRAWINGS.
4. DESIGN BASED ON THE INTERNATIONAL RESIDENTIAL CODE 2003 EDITION WITH DISTRICT OF COLUMBIA AMENDMENTS.
5. CONFIRM ALL LOCATIONS FOR PLUMBING AND ELECTRICAL DEVICES ASSOCIATED WITH APPLIANCES AND FIXTURES WITH CUT SHEETS FOR THOSE ITEMS.
6. VERIFY ALL WALLS, AND FLOORS TO BE REMOVED ARE NOT LOAD BEARING PRIOR TO DEMOLITION. REPORT ANY LOAD BEARING WALLS THAT ARE TO BE REMOVED TO THE PROJECT MANAGER AND DESIGN TEAM PRIOR TO DEMOLITION.
7. BEFORE ANY EXCAVATION IS TO OCCUR ON SITE CONTACT "MISS UTILITY" AT (800) 257-7777 BETWEEN THE HOURS OF 7.00 a.m. TO 5.00 p.m., MONDAY THROUGH FRIDAY. YOU MAY ALSO VISIT THEIR WEB SITE AT WWW.MISSUTILITY.NET. A MINIMUM OF 48 HOURS ADVANCE NOTICE, EXCLUDING WEEKENDS AND HOLIDAYS, IS REQUIRED.

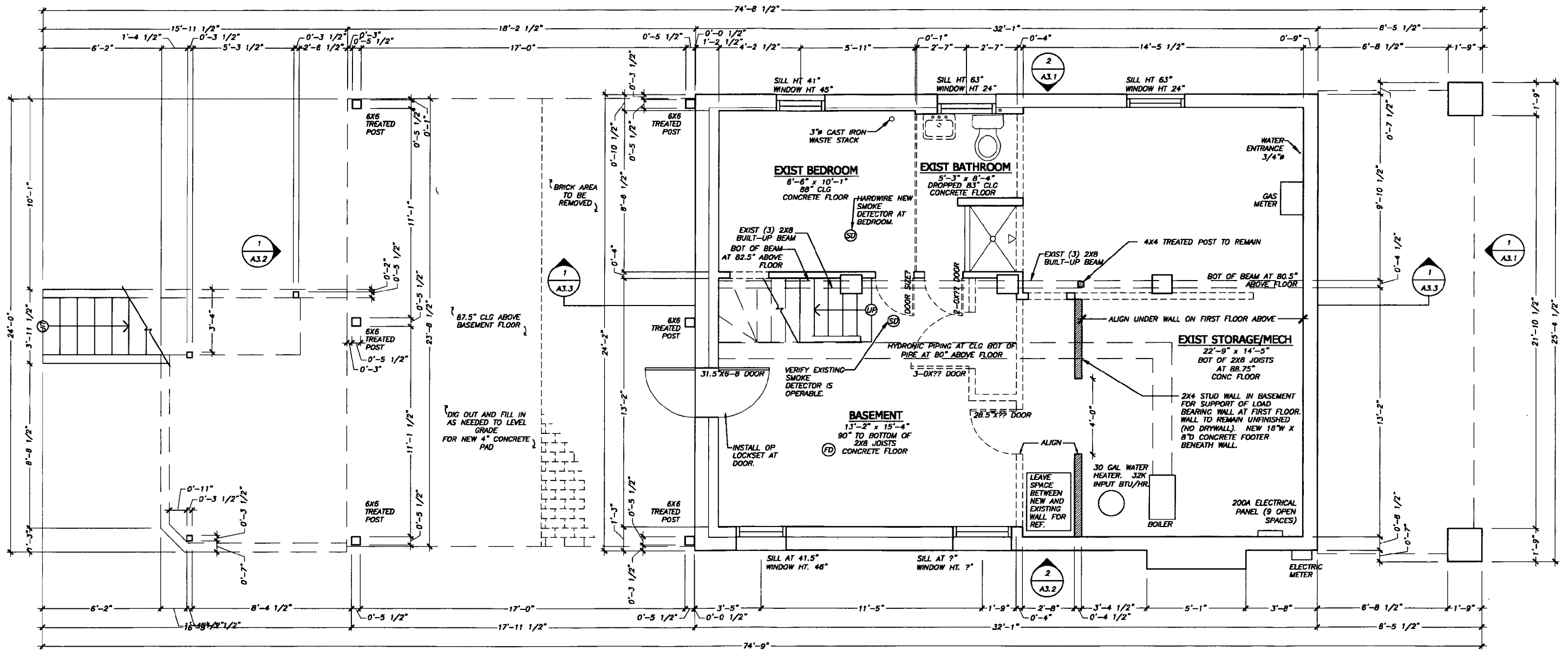
**4 General Notes**  
NOT TO SCALE

422 726

**5 Table of Contents**  
NOT TO SCALE







LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Basement Floor Plan**  
3/16" = 1'-0"


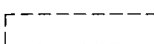


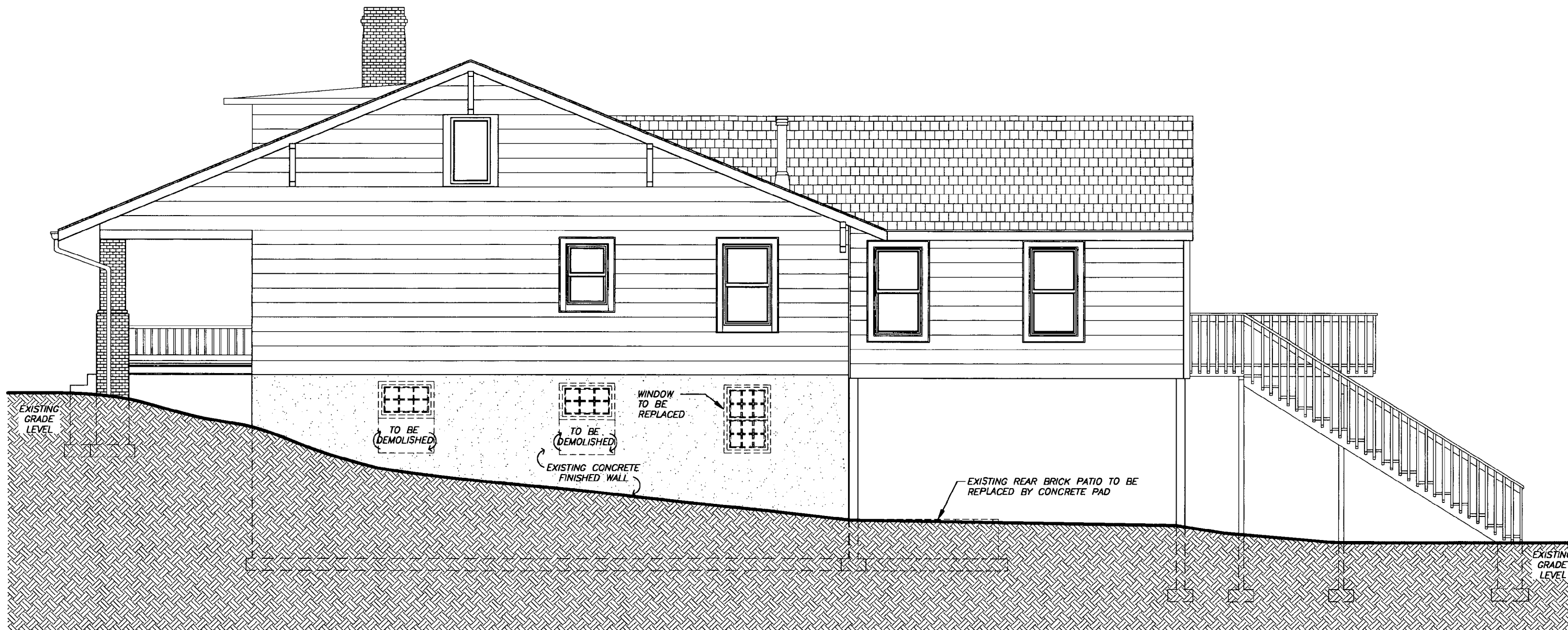
**NOTES**

REPAIR EXISTING FRONT PORCH -- REPLACE FINISHES ONLY -- AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.  
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

**LEGENDS**

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**NOTES**

REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

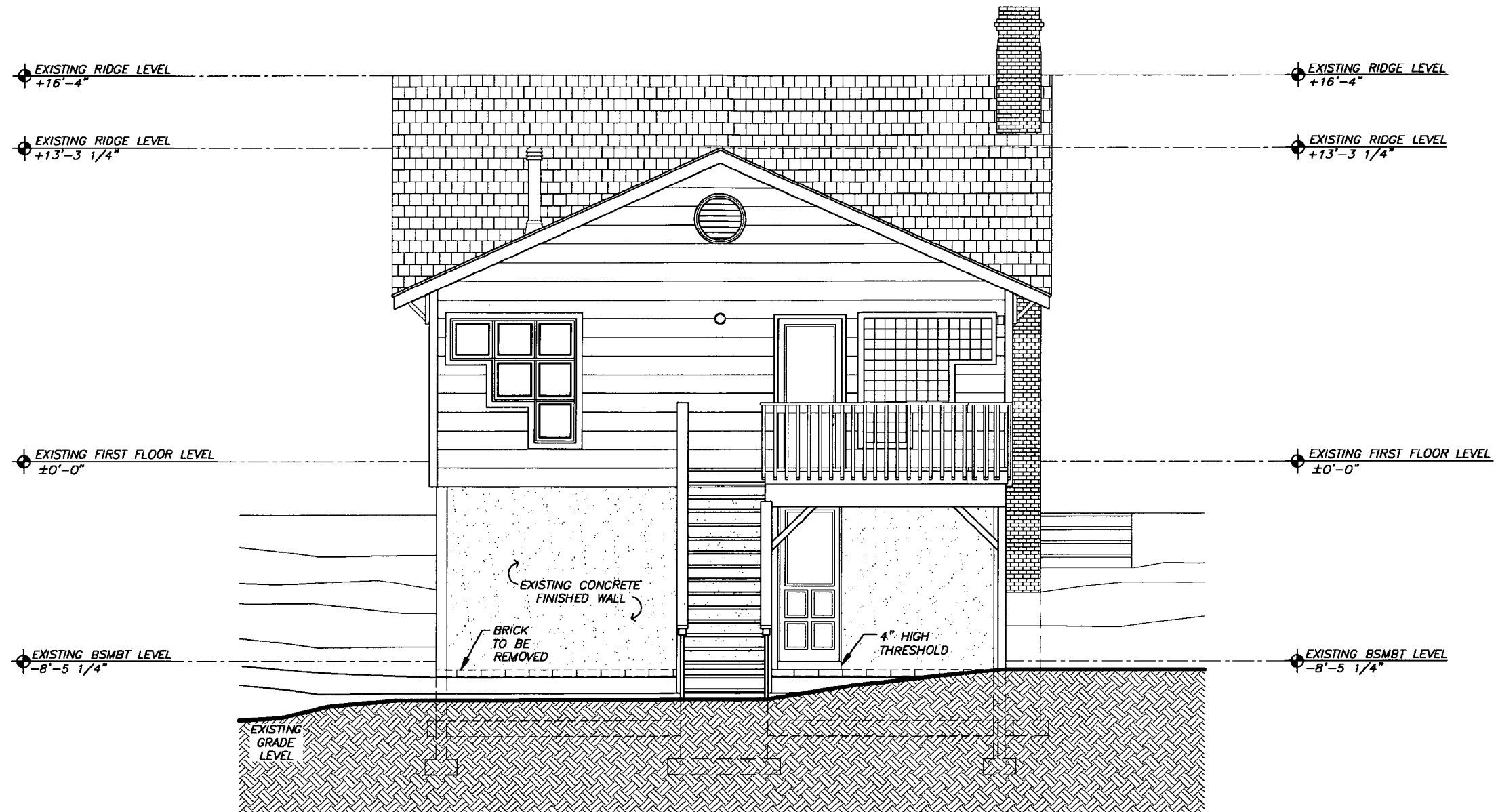
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SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

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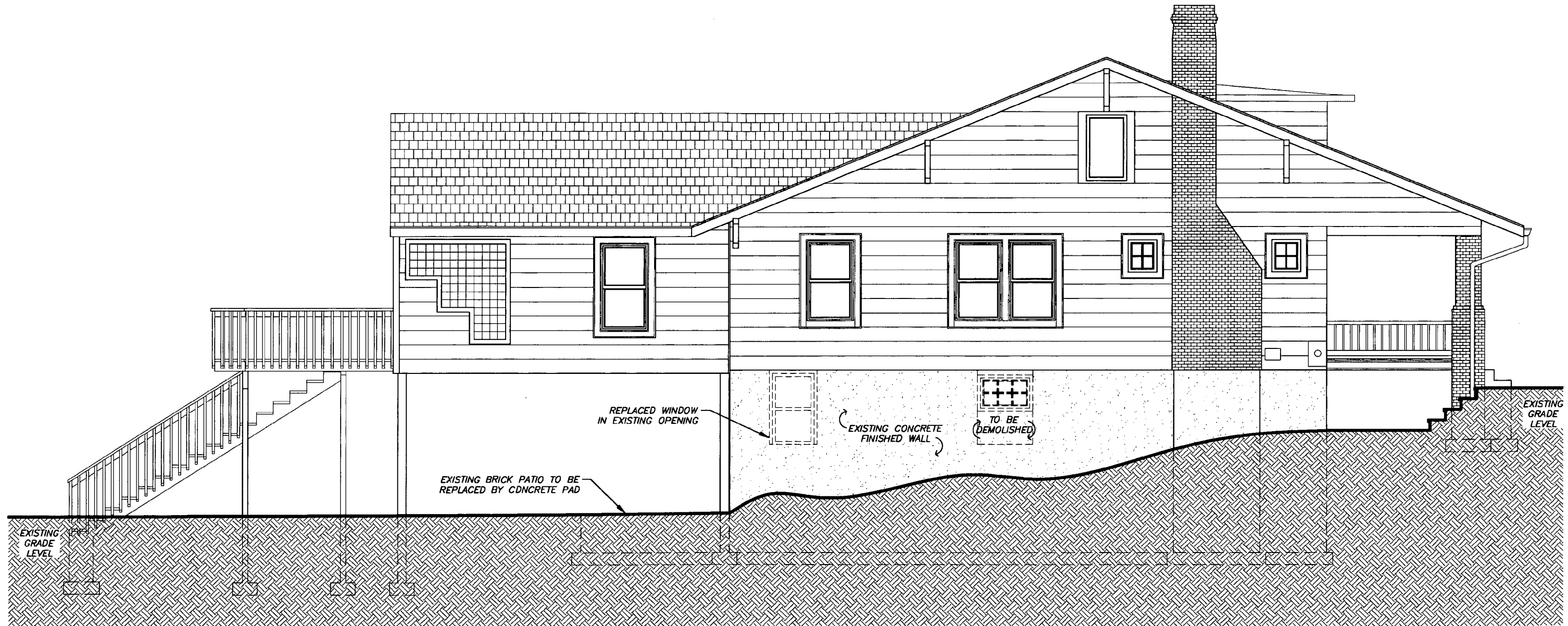
**1 Right Side Elevation**  
3/16" = 1'-0"



**NOTES**

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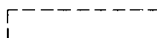
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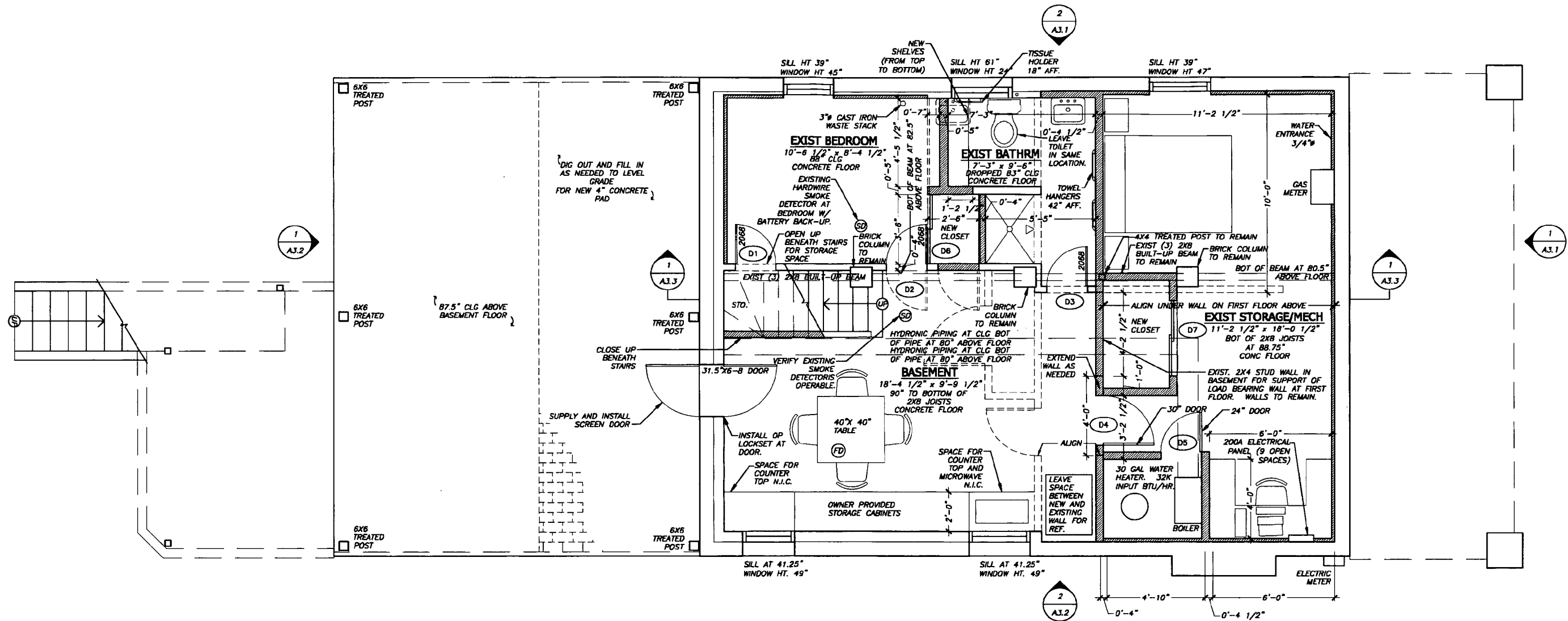
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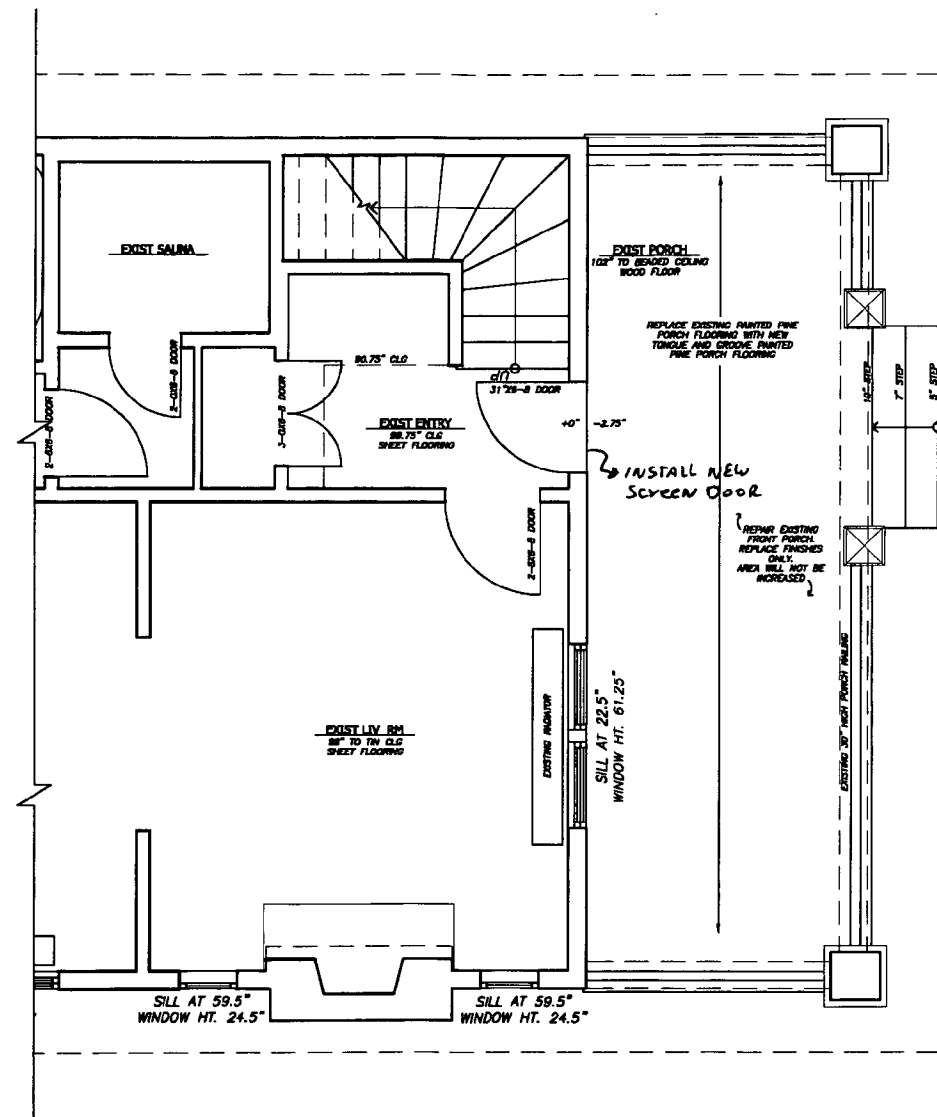
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**1 Left Side Elevation**  
3/16" = 1'-0"



LEGENDS	
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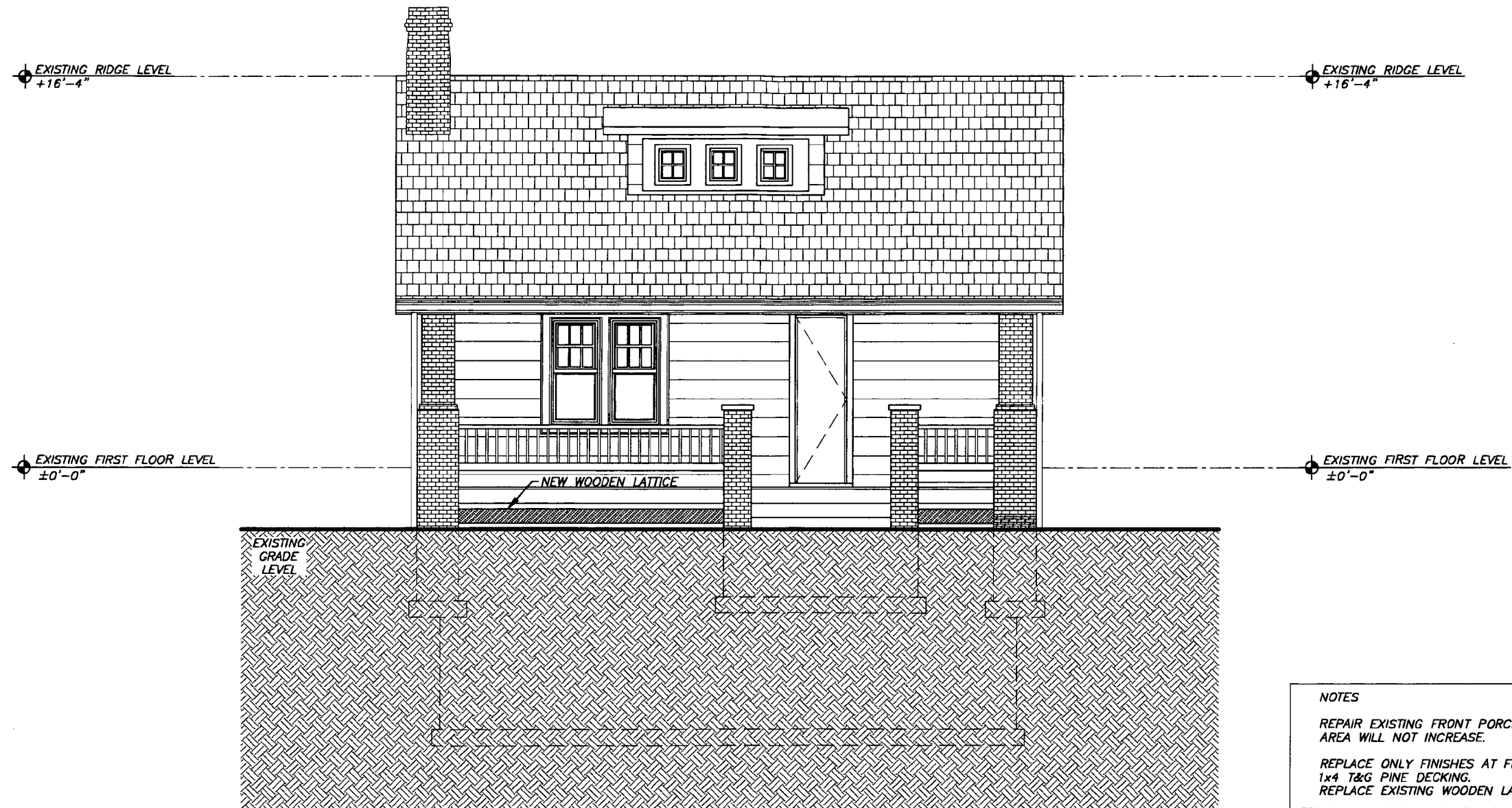


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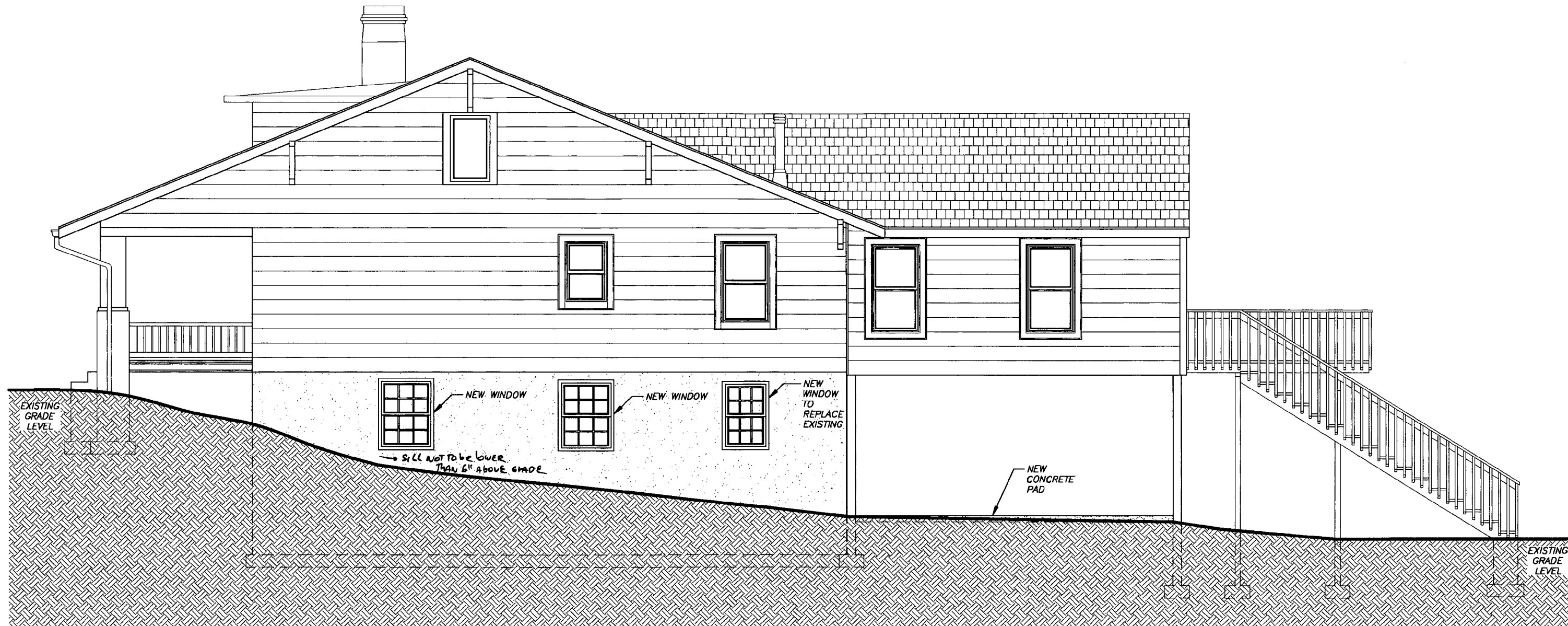
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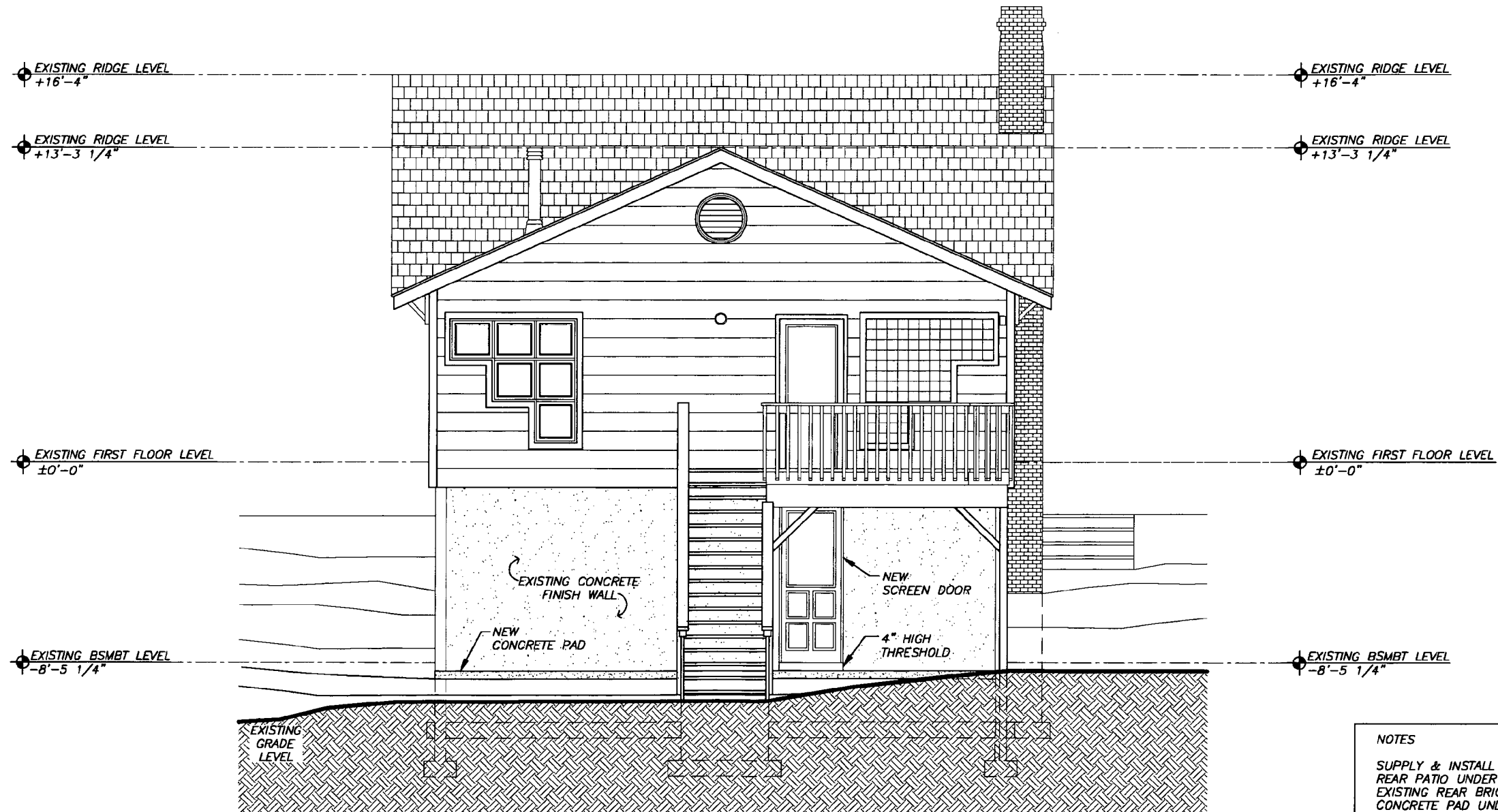
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**1 Right Side Elevation**  
3/16" = 1'-0"



NOTES  
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**1 Rear Elevation**  
3/16" = 1'-0"



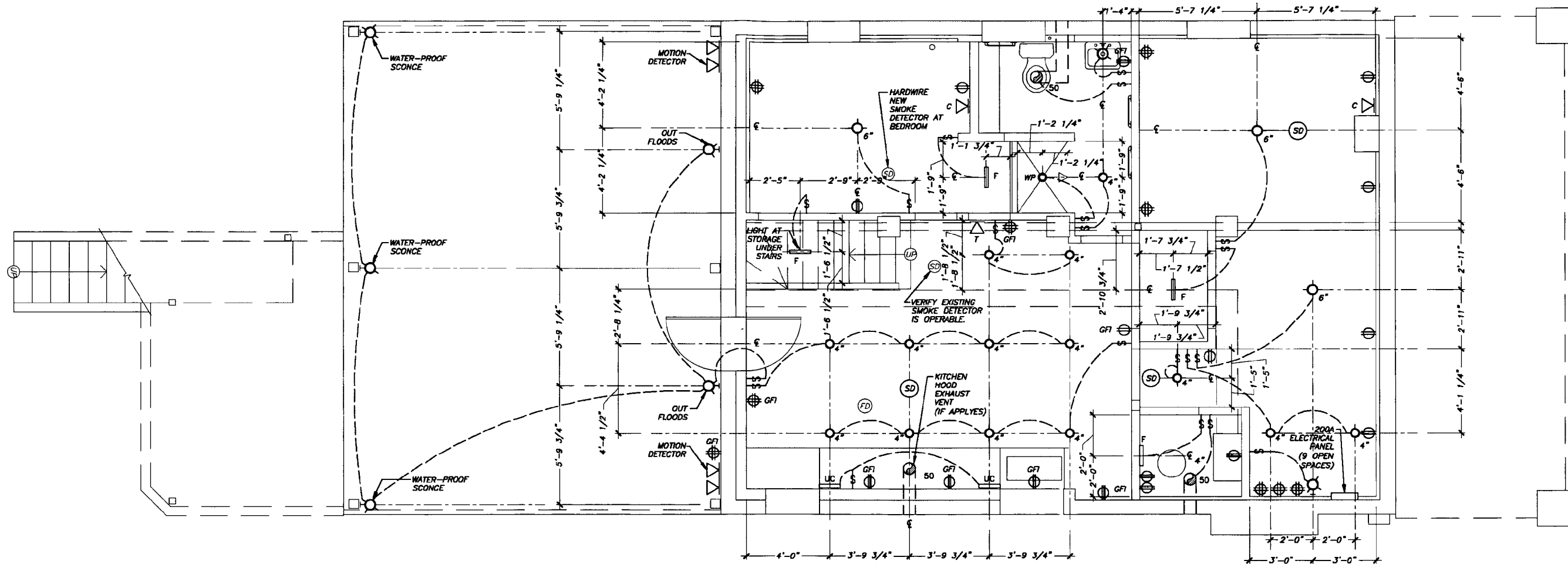
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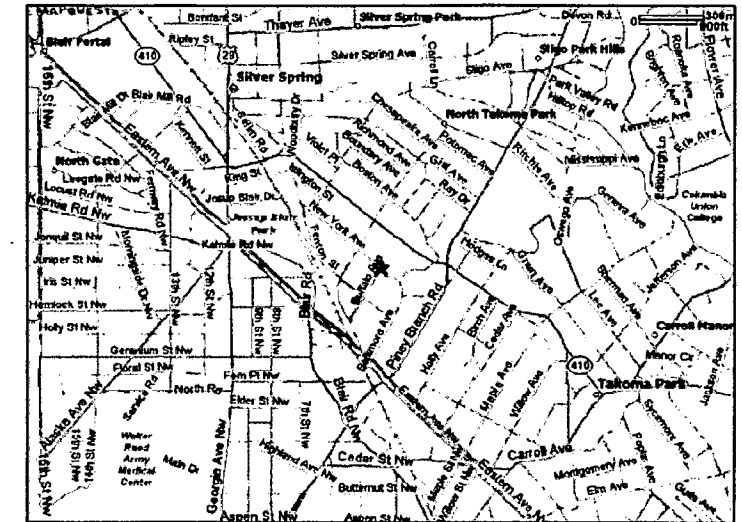
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ELECTRICAL LEGENDS			
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	4" LOW VOLTAGE RECESSED LIGHT W/ IC HOUSING & DIRECTIONAL TRIM		EXHAUST FAN (#=CFM, WL=WITH LIGHT)
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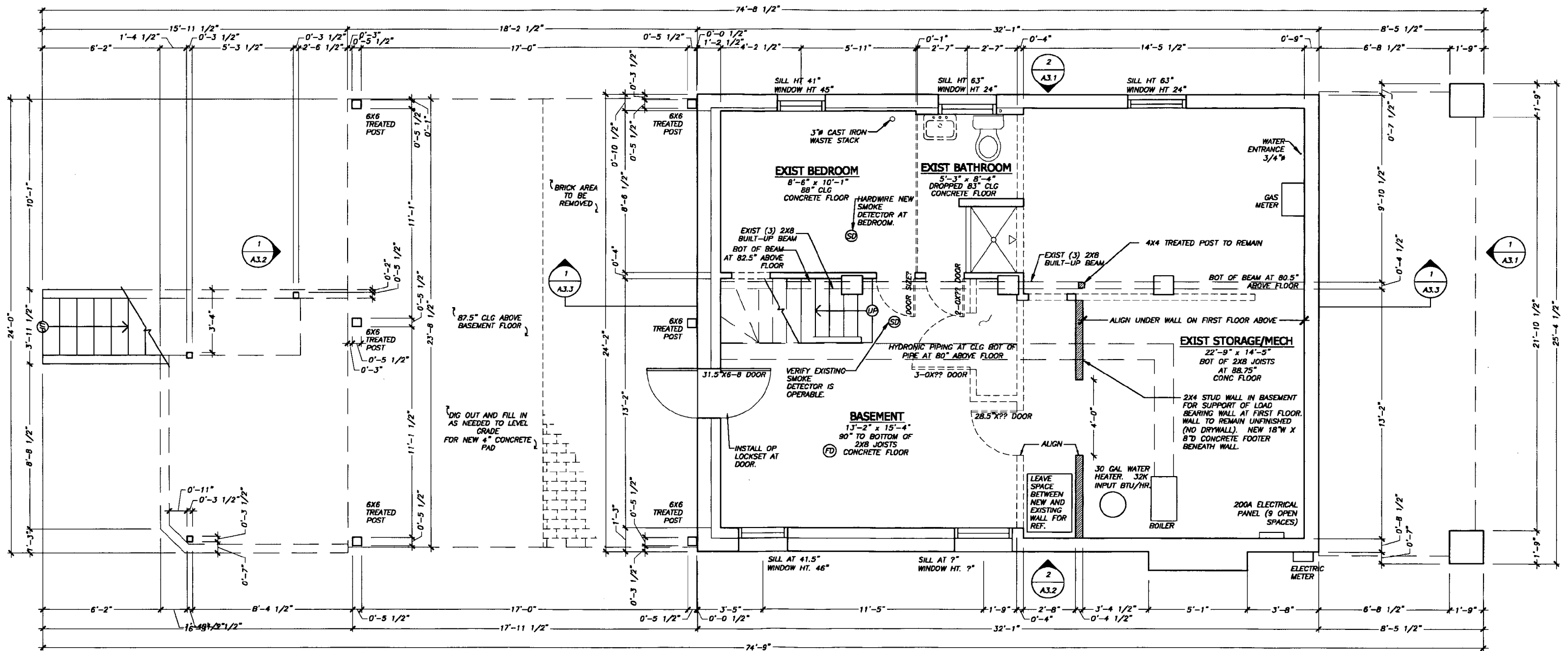
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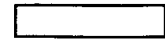
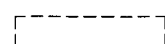
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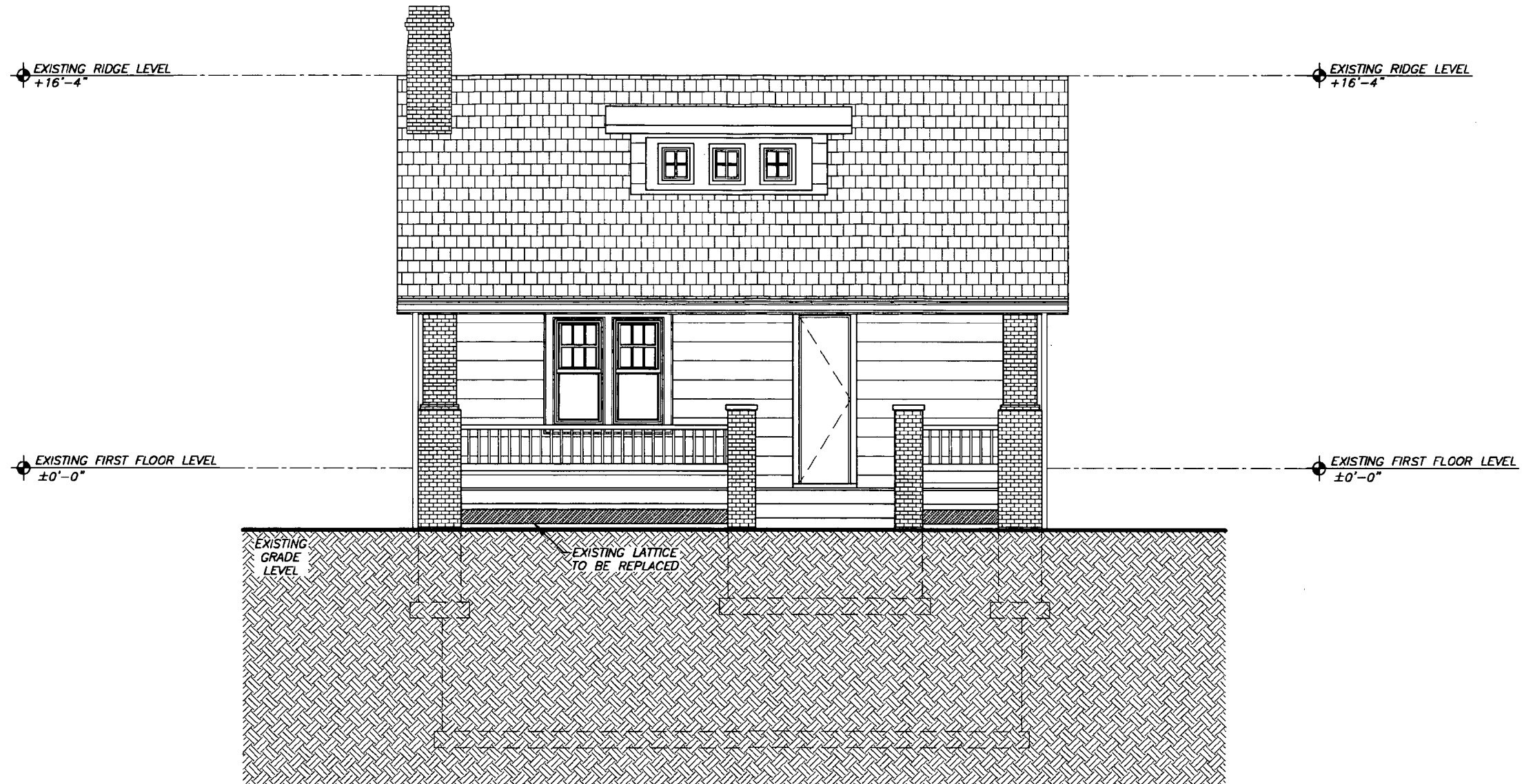
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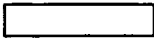
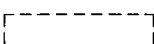


NOTES

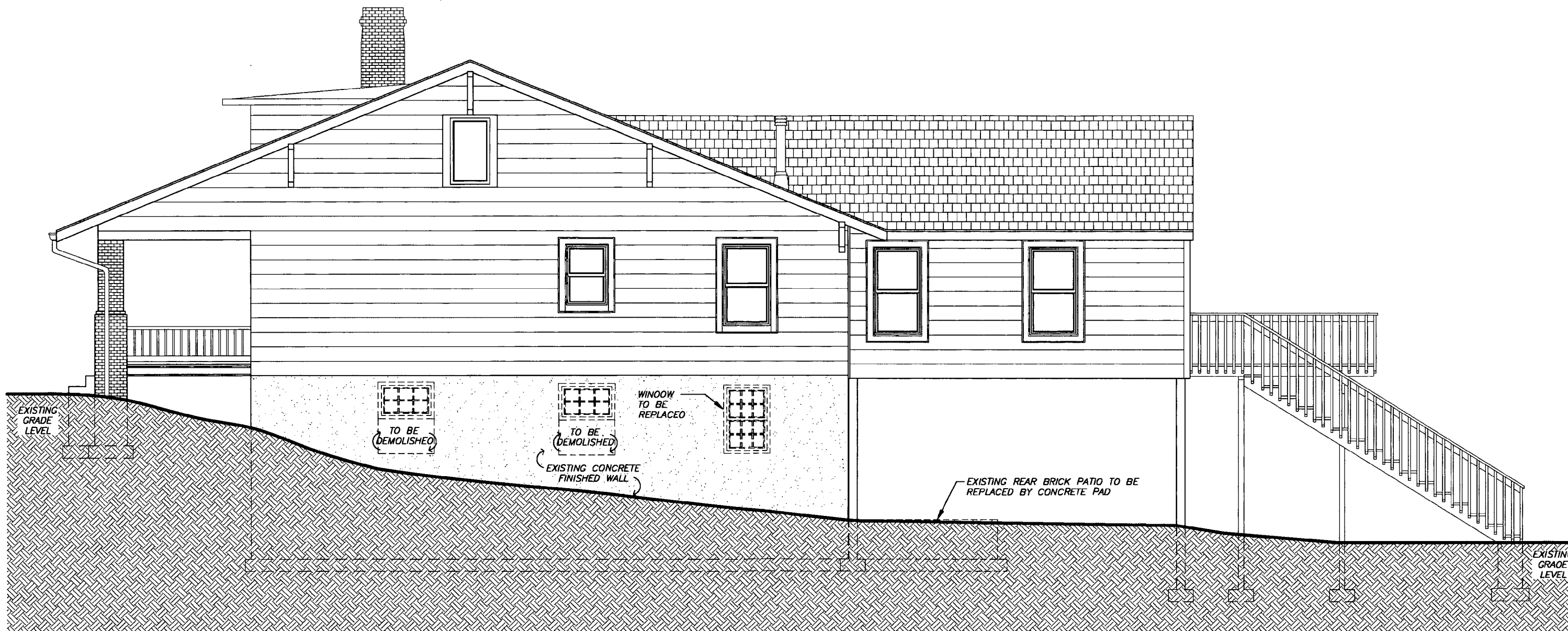
REPAIR EXISTING FRONT PORCH - REPLACE FINISHES ONLY - AREA WILL NOT INCREASE.

REPLACE ONLY FINISHES AT FRONT PORCH WITH NEW 1x4 T&G PINE DECKING.  
REPLACE EXISTING WOODEN LATTICE UNDER THE PORCH.

LEGENDS

	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)






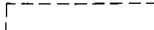
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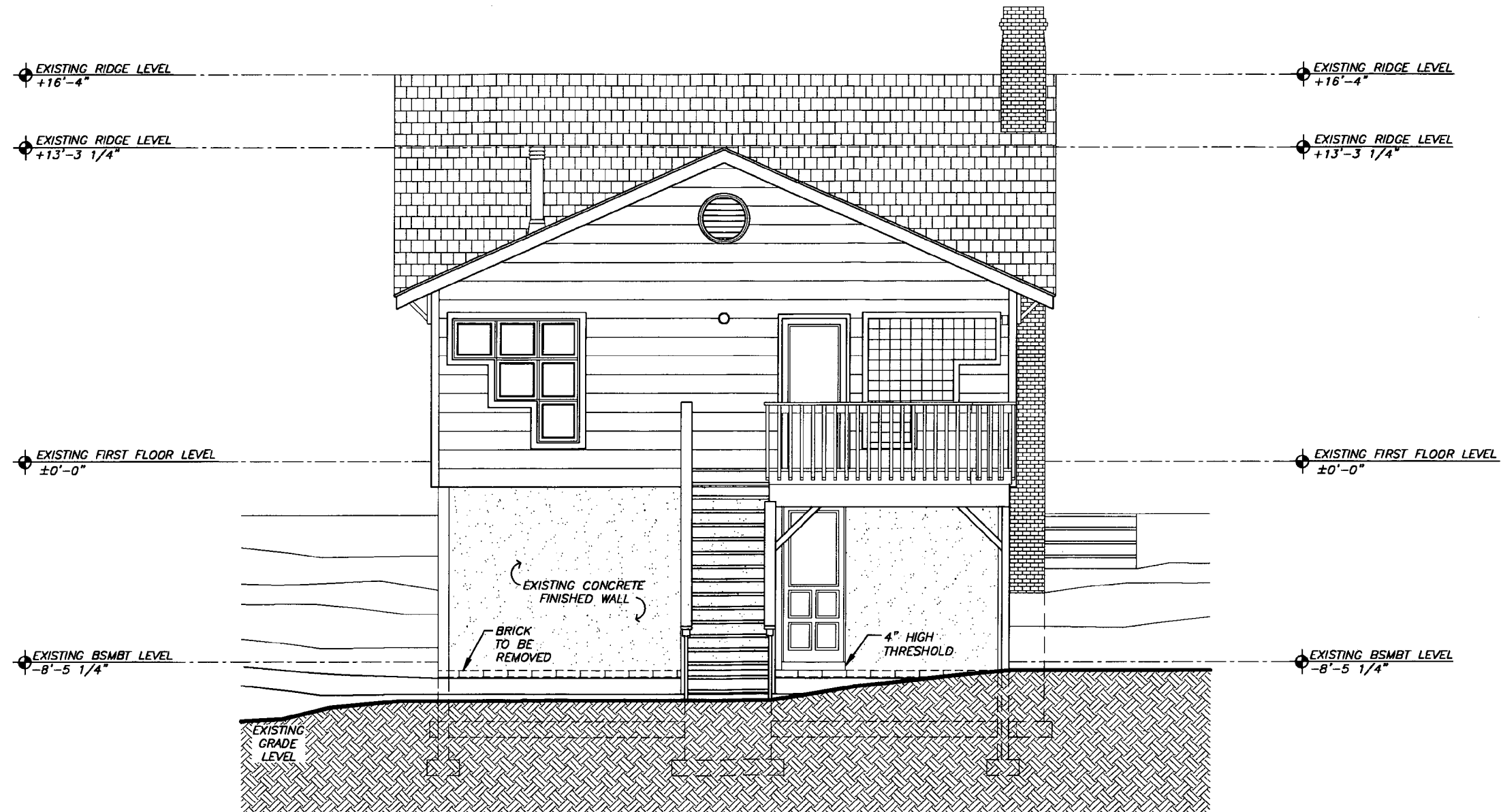
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SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS

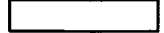
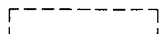
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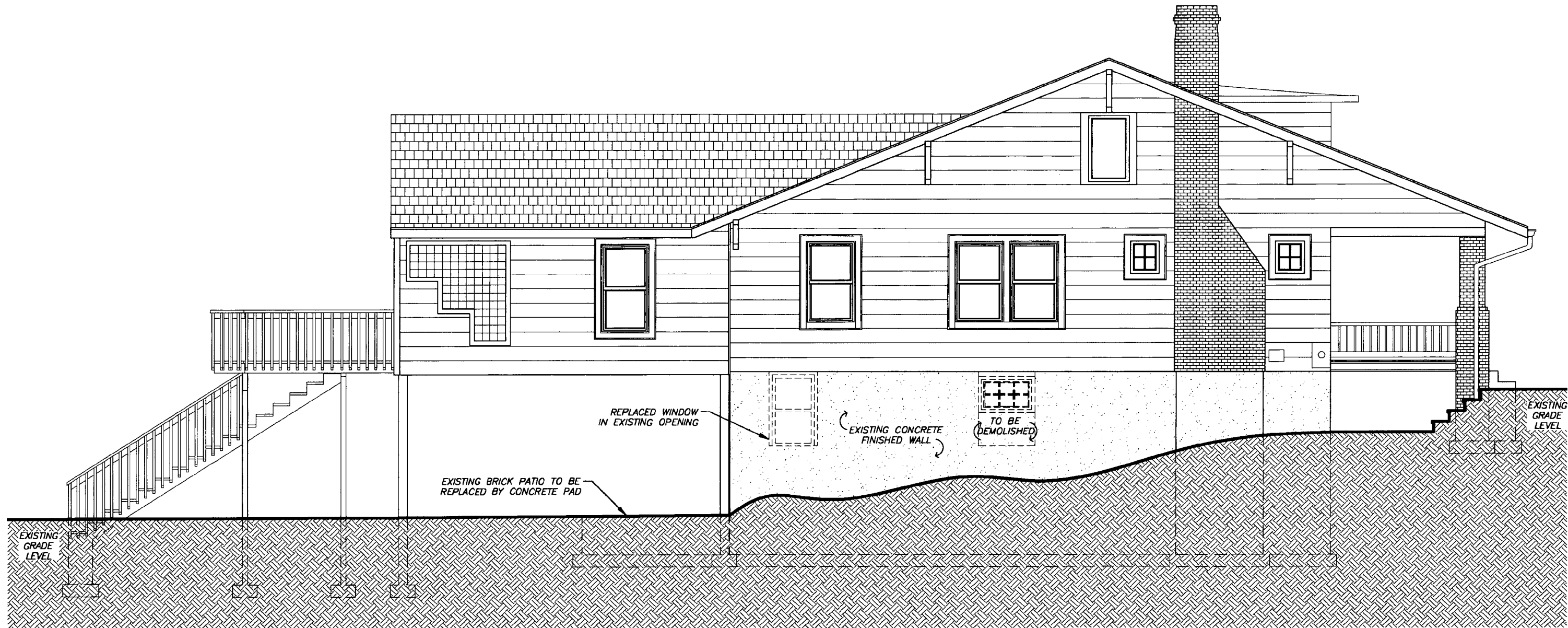
**1 Right Side Elevation**  
3/16" = 1'-0"



**NOTES**

SUPPLY & INSTALL SCREEN DOOR TO ACCESS TO REAR PATIO UNDER EXISTING DECK.  
EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.

LEGENDS	
	EXIST CONSTRUCTION/ WALLS
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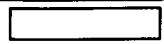
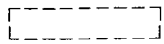
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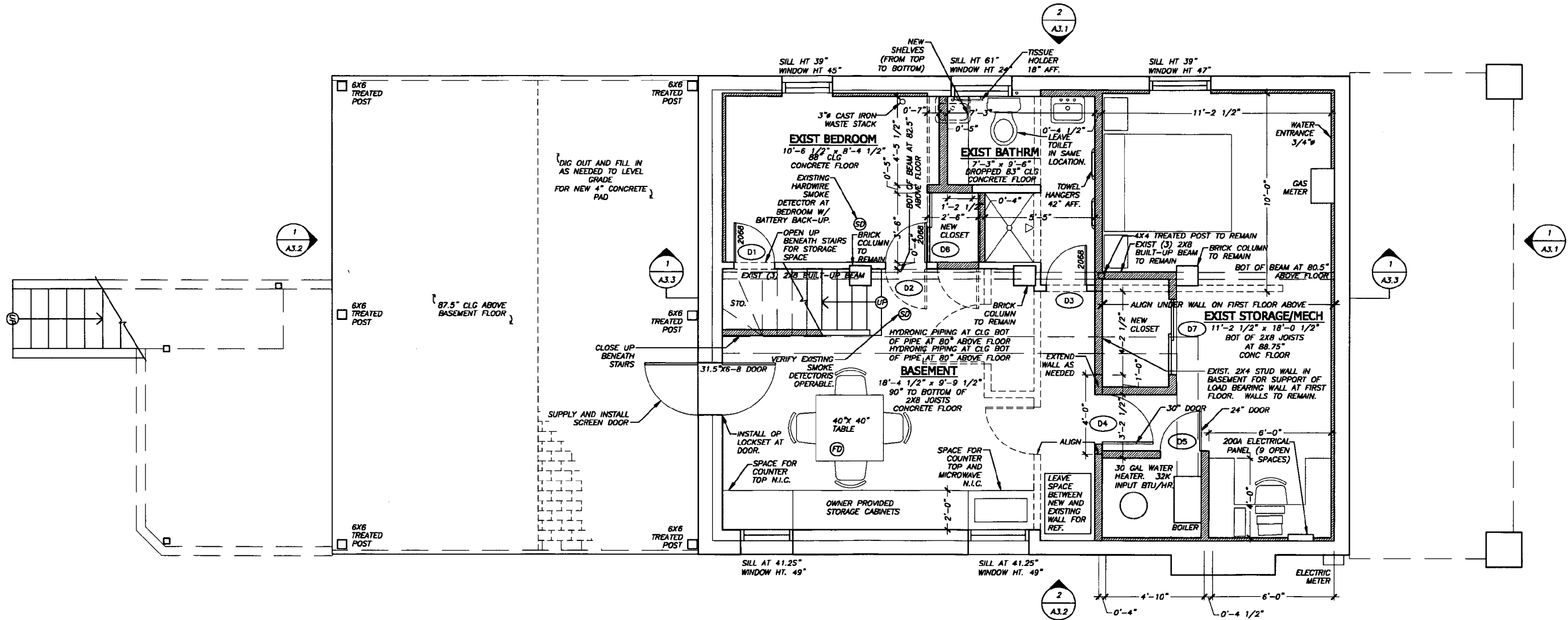
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**LEGENDS**

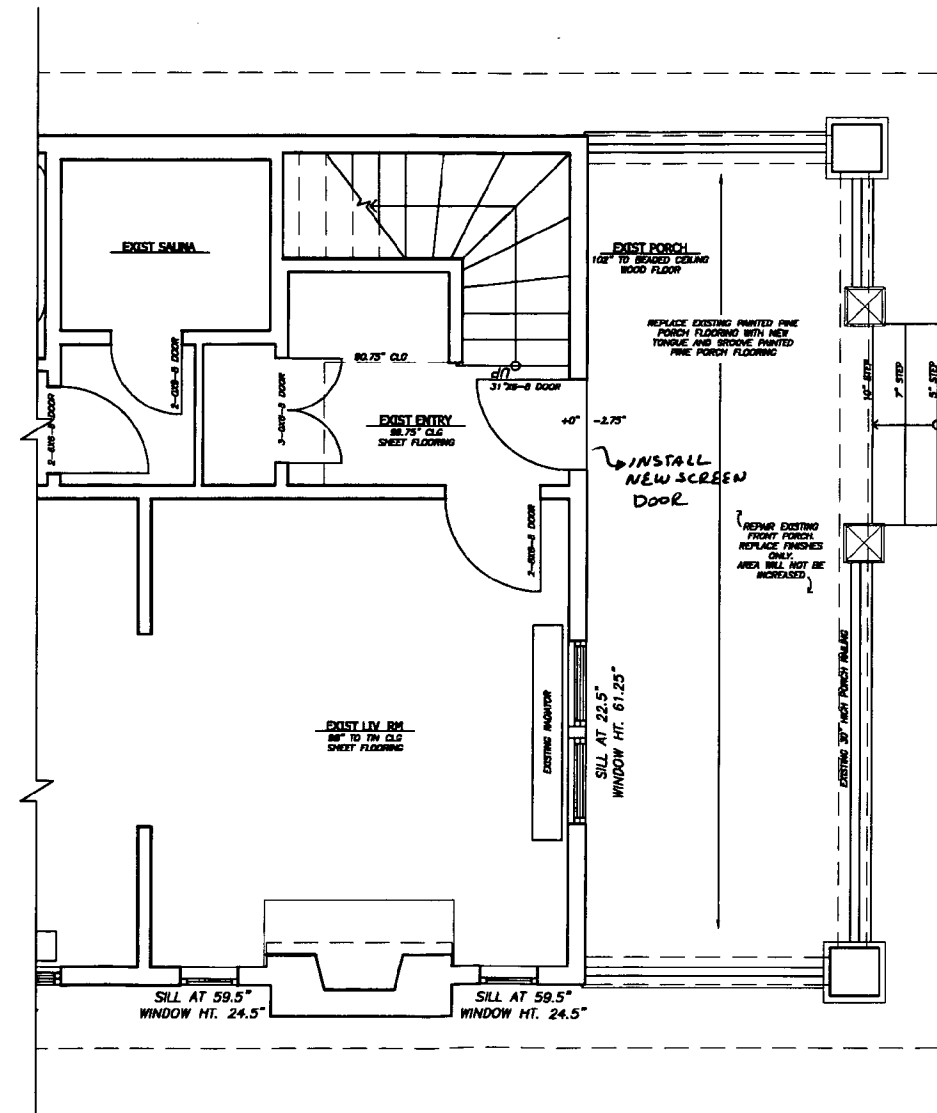
	EXIST CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Left Side Elevation**  
3/16" = 1'-0"



LEGENDS	
	EXIST CONSTRUCTION/ WALLS
	NEW CONSTRUCTION/ WALLS
	EXIST CONSTRUCTION TO BE REMOVED (SEE ALSO DEMO PLANS, TYP)

**1 Basement Floor Plan**  
3/16" = 1'-0"

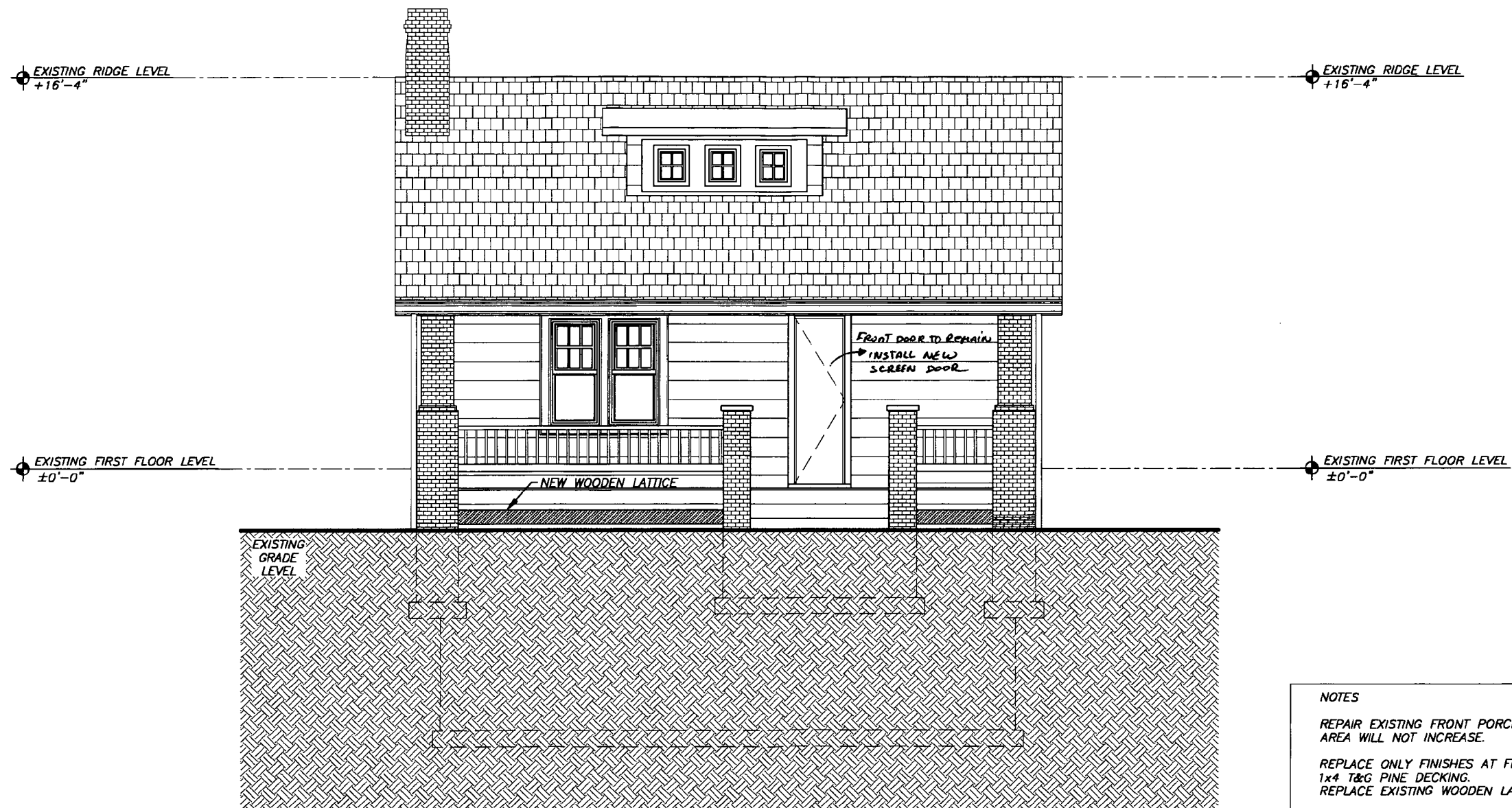


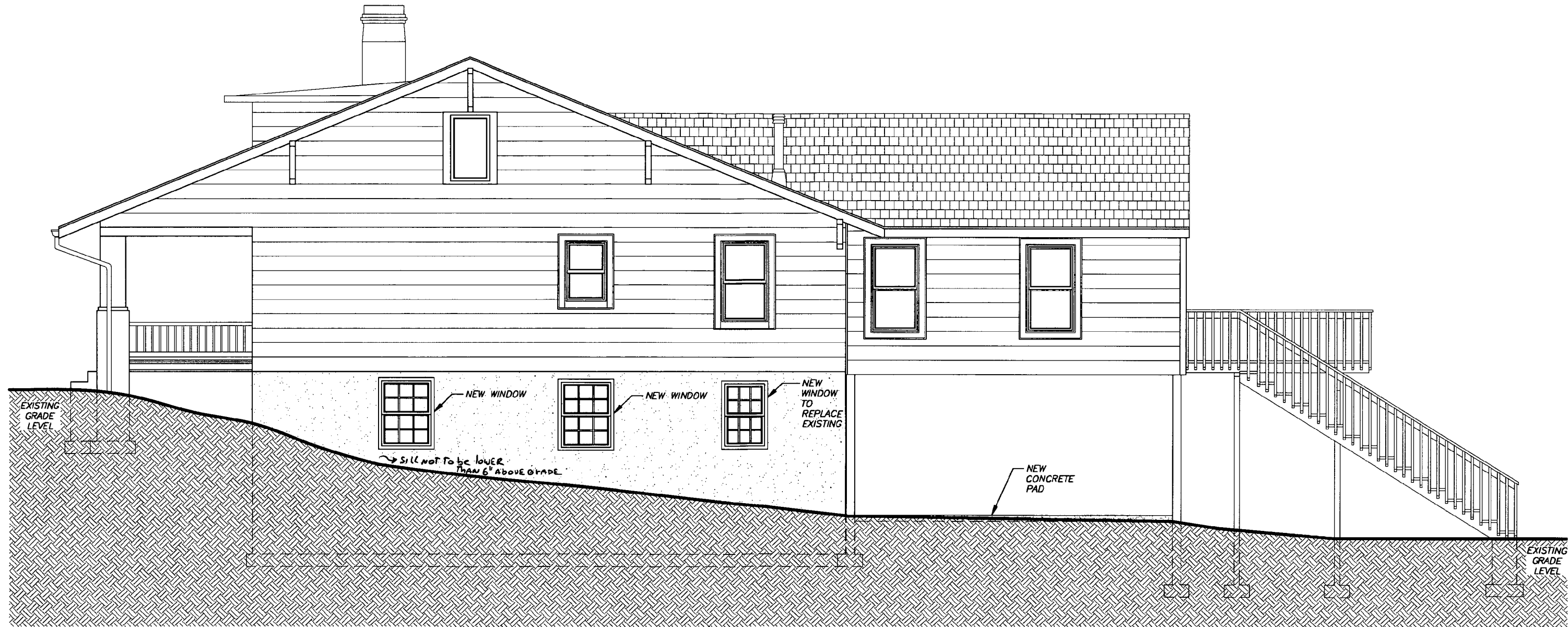
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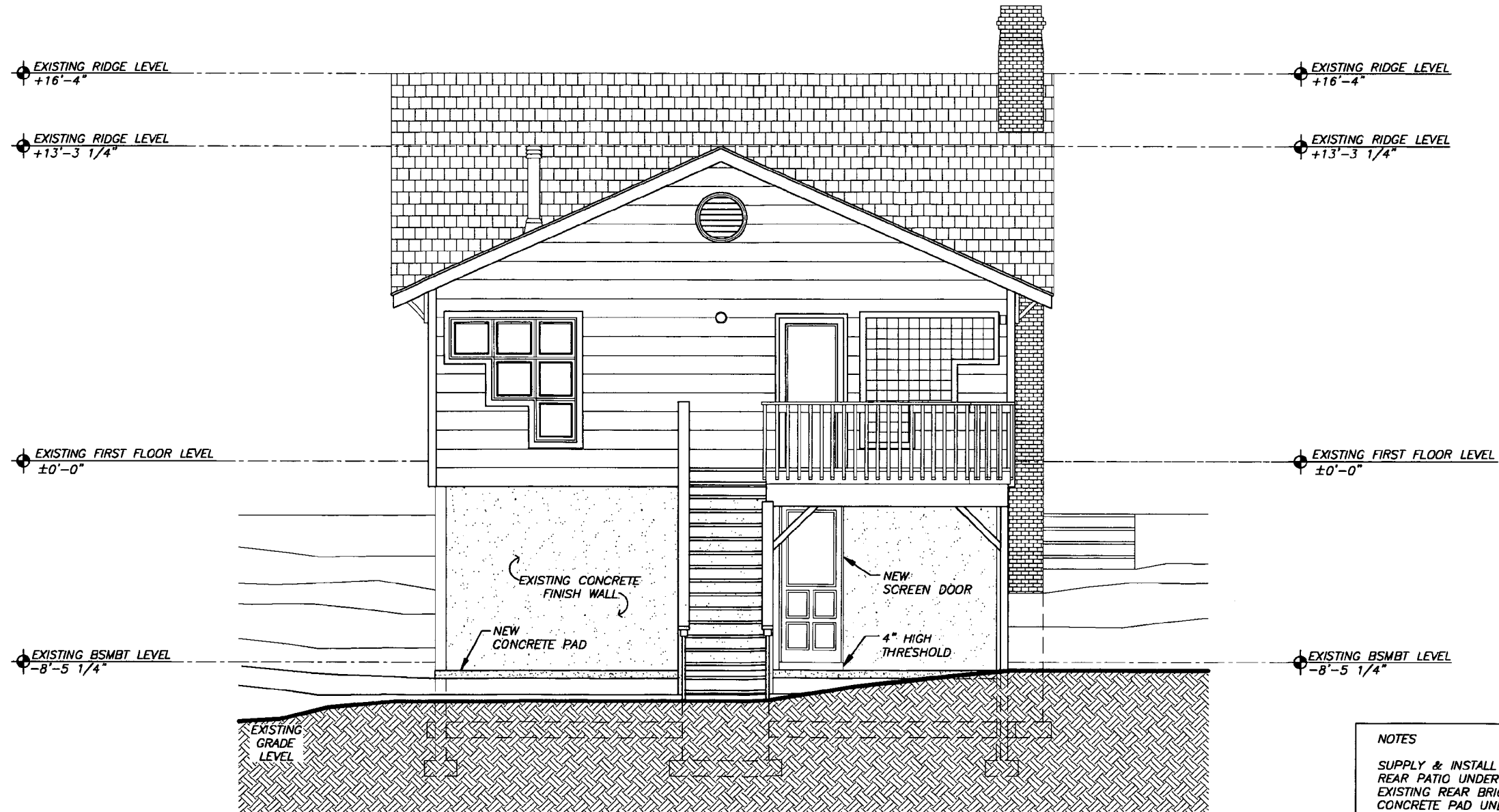
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**1 Right Side Elevation**  
3/16" = 1'-0"



NOTES

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EXISTING REAR BRICK PATIO TO BE RELACED BY CONCRETE PAD UNDER EXISTING DECK.





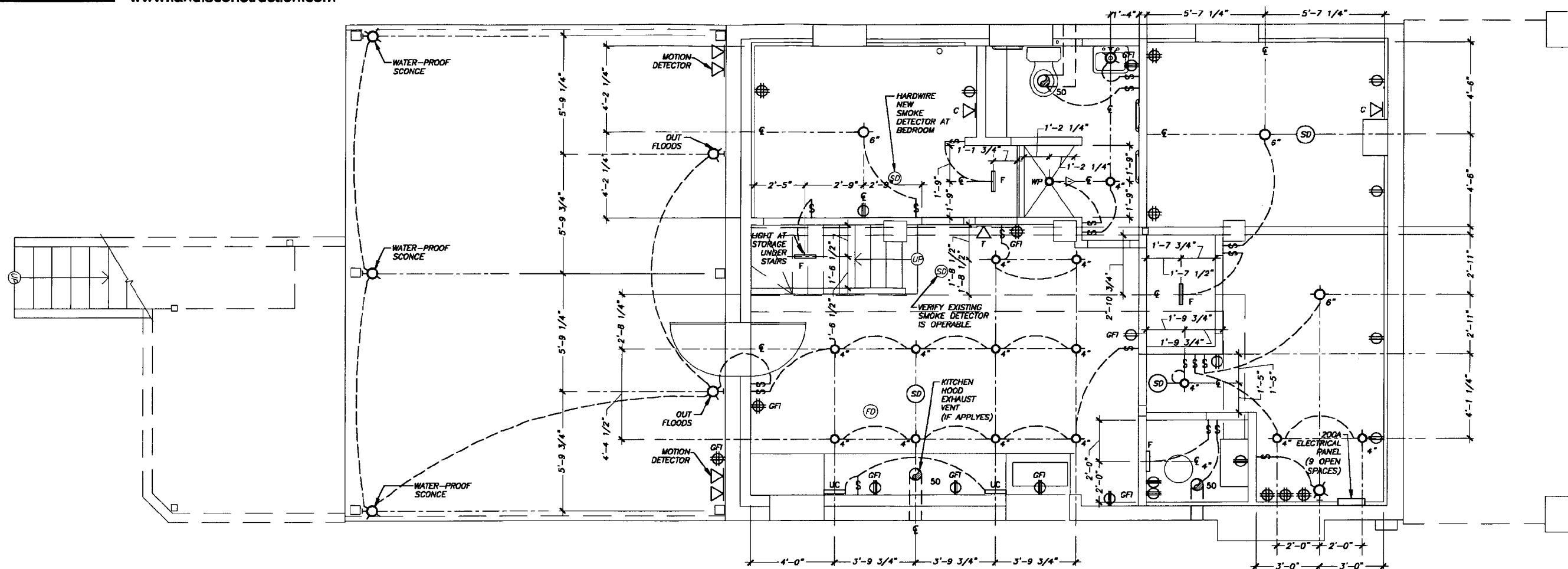
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**1 Left Side Elevation**  
3/16" = 1'-0"



ELECTRICAL LEGENDS

	6" RECESSED LIGHT W/ IC HDUSING & WHITE BAFFLE TRIM		TELEPHONE OUTLET
	4" LOW VOLTAGE RECESSED LIGHT W/ IC HDUSING & DIRECTIDNAL TRIM		EXHAUST FAN (#=CFM, WL=WITH LIGHT)
	WALL MOUNTED LIGHT FIXTURE (OWNER PROVIDED)		UNDERCABINET LIGHT (X=XENON, H=HALOGEN, F=FLUORESCENT, #=LENTH OR NUMBER OF PUCKS)
	4" RECESSED LIGHT W/ IC HOUSING & WATERPROOF TRIM		SMOKE DETECTOR - HAR WIRED INTERCONNECTED WITH BATTERY BACK UP
	SWITCH		WALL CONVENIENCE QUADRAPLEX OUTLET @ 18" A.F.F. UNLESS SPECIFIED
	INDICATES CONNECTION BETWEEN DEVICES		WALL CONVENIENCE APPLIANCE OUTLET @ 18" A.F.F. UNLESS SPECIFIED
	GROUND FAULT CIRCUIT INTERRUPTED WALL OUTLET @ 48" A.F.F.		MOTION DETECTOR